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- CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE AS SHOWN, IN ACCORDANCE WITH THE SPECIFICATIONS AND THE CITY OF KANSAS CITY AND STATE REGULATIONS.
- ALL STRUCTURES AND MATERIAL WITHIN DEMOLITION LIMITS TO BE REMOVED AND DISPOSED OF IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL HAZARDOUS ASBESTOS AND OTHER HAZARDOUS MATERIALS MUST BE IDENTIFIED AND REMOVED PRIOR TO ANY BUILDING DEMOLITION, IN STRICT CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- DRIVES, PAVING AND OTHER STRUCTURES ON STREET OR HIGHWAY RIGHT-OF-WAY SHALL BE REMOVED AS NECESSARY TO CONSTRUCT IMPROVEMENTS SHOWN ON THESE PLANS. REMOVAL AND DISPOSAL SHALL BE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- 5. ALL PAVING WITHIN PROPERTY TO BE REMOVED AND DISPOSED OF IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- 6. CONTRACTOR SHALL SMOOTH GRADE THE SITE TO MATCH EXISTING CONTOURS OF THE SURROUNDING LAND TO ENSURE POSITIVE DRAINAGE. 7. ALL SIDEWALK REMOVAL SHALL BE TO THE NEAREST JOINT.

 $\sim\sim\sim\sim\sim\sim$ 2 CONTRACTOR TO REMOVE WALKWAY TO NEAREST JOINT

- 4 CONTRACTOR TO REMOVE ASPHALT SURFACE
- 7 CONTRACTOR TO INSPECT, AND CLEAN OUT EXISTING STORM PIPE
- 8 CONTRACTOR TO REMOVE ADA PARKING SIGNS

3 CONTRACTOR TO REMOVE CURBS

5 CONTRACTOR TO REMOVE CONCRETE SURFACE

6 CONTRACTOR TO REMOVE EXISTING STORM PIPE

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MATTHEW A. CROSS

ENGINEER MO # 2020008364 ENGINEERING

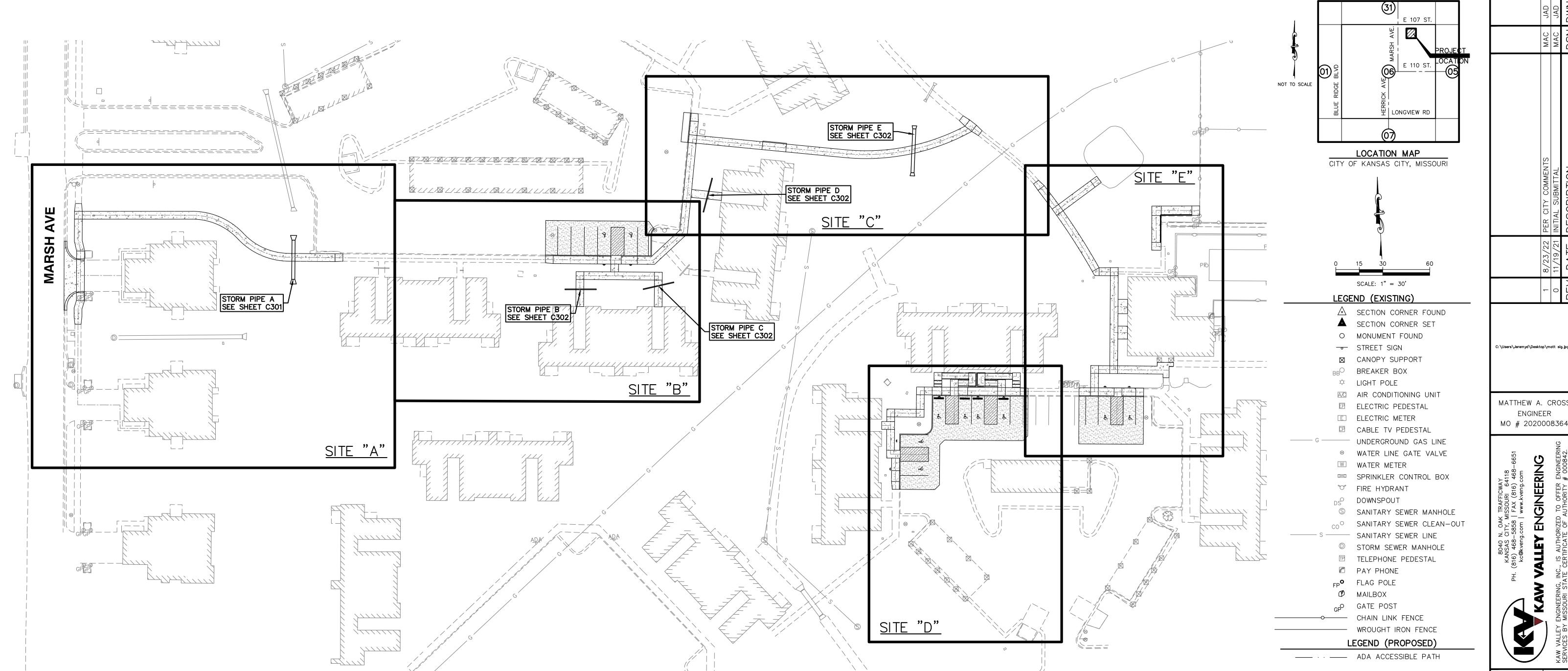
S SANITARY SEWER MANHOLE

CO SANITARY SEWER CLEAN-OUT STORM SEWER MANHOLE

WROUGHT IRON FENCE

SEPORT APARTME 108TH STREET S CITY, MO 64134 BRIDGE 8426 E. 10 KANSAS (CIVIL PLA DEMOLITI

DESIGNER DRAWN B 4272DEMO SHEET



UTILITY STATEMENT:

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THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION. Know what's below, Call before you dig.



- 2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE CITY OF KANSAS CITY, MISSOURI.
- 3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION, AND IN ACCORDANCE WITH, REGULATIONS OF THE AUTHORITIES CONCERNED.
- 4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG, AND ADJACENT TO, HIGHWAYS IN THE CONSTRUCTION
- 5. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- 6. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL. ALL TRAFFIC CONTROL DEVICES, INSTALLATION, AND OPERATIONS, SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- 7. PAINT FOR STRIPING ON PUBLIC STREETS, HIGHWAYS, AND ENTRANCES, SHALL BE REFLECTORIZED PAINT CONFORMING TO THE SPECIFICATIONS OR REQUIREMENTS OF THE AUTHORITY GOVERNING THE STREET OR HIGHWAY.

FLOOD STATEMENT:

THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN FLOOD HAZARD ZONE "A, V, A99" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP NUMBER 29095C0411G EFFECTIVE DATE JANUARY 20, 2017.

BM #60: SQUARE CUT ON S.E. CORNER OF A CURB INLET LOCATED ON THE EAST CURB RETURN OF THE 2ND ENTRANCE TO BRIDGE PORT APARTMENTS ON N. SIDE OF 108TH STREET.

BM #61: NORTHWEST FLANGE BOLT OF FIRE HYDRANT ON EAST SIDE OF GREENWOOD RD. IN FRONT OF HOUSE #10725 ELEV=947.52

BM #62: NORTH FLANGE BOLT OF A FIRE HYDRANT LOCATED ± CENTER OF THE BLOCK ON THE SOUTH SIDE OF 107TH STREET.

BM #63: T FLANGE BOLT OF A FIRE HYDRANT LOCATED ON EAST SIDE OF MARSH AVE. AND ± 100' SOUTH OF ENTRANCE TO BRIDGE PORT APARTMENTS. ELEV=963.23

CP 100: 1/2" IRON BAR WITH CONTROL CAP SET ON THE WEST SIDE MARSH AVE. AND \pm \bigcirc OF 108TH STREET. ELEV=956.12 CP 101: 1/2" IRON BAR WITH CONTROL LOCATED ON THE NORTH SIDE OF 107TH AND € OF

CP 102: 1/2" IRON BAR WITH CONTROL CAP SET AT THE NORTH SIDE OF 107TH STREET AND \pm 150' EAST OF MARSH AVE.

CP 103: 1/2" IRON BAR WITH CONTROL CAP SET AT THE SOUTHEAST QUADRANT OF INTERSECTION OF 107TH AND GREENWOOD RD. ELEV=949.92 CP 104: 1/2" IRON BAR WITH CONTROL CAP SET ON THE WEST SIDE GREENWOOD RD. AT

ELEV=947.20 CP 105: 1/2" IRON BAR WITH CONTROL CAP SET ON THE EAST SIDE GREENWOOD RD. AND \pm 100' NORTH OF 108TH STREET. ELEV=9932.04

DATUM BENCHMARK:

MARSH AVE.

DATUM IS U.S. SURVEY FEET AND REFERS TO NAVD88 DATUM DERIVED FROM CONNECTIONS TO NATIONAL CORS NETWORK VIA GPS STATIC SESSIONS ON PROJECT CONTROL PROCESSED WITH THE NATIONAL GEODETIC SURVEY'S OPUS PROJECTS UTILITY. ORTHOMETRIC HEIGHT WAS CALCULATED USING THE GEOID12B MODEL.

PROPERTY DESCRIPTION

(WARRANTY DEED RECORDED WITH Instrument #200510014882

LOTS 1 THROUGH 5, BLOCK 1, INCLUSIVE AND LOT 6, BLOCK 1, BRIDGEPORT, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, EXCEPT THAT PART DESCRIBED AS FOLLOWS: A TRACT OF LAND IN SECTION 6, TOWNSHIP 47, RANGE 32, NOW IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCING AT THE NORTHEAST CORNER OF LOT 6, BLOCK 1, BRIDGEPORT A SUBDIVISION OF LAND IN SAID SECTION 6, JACKSON COUNTY, MISSOURI, AS NOW ESTABLISHED; THENCE WEST ALONG THE NORTH LINE OF SAID LOT 6, A DISTANCE OF 217.61 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE EASTERLY LINE OF ARCO PIPE LINE COMPANY, 33 FOOT GAS LINE EASEMENT, DOCUMENT NO. 748099 IN BOOK 1393 AT PAGES 95, 96, 97; THENCE NORTH 39 DEGREES 39 MINUTES 07 SECONDS EAST, ALONG SAID EASTERLY GAS LINE EASEMENT, A DISTANCE OF 18.72 FEET; THENCE NORTH 87 DEGREES 06 MINUTES 20 SECONDS WEST PARALLEL TO THE CENTERLINE OF 107TH STREET AS NOW ESTABLISHED, A DISTANCE OF 41.19 FEET, TO A POINT ON THE WESTERLY LINE | 1 OF SAID GAS LINE EASEMENT; THENCE SOUTH 39 DEGREES 39 MINUTES 07 SECONDS WEST, ALONG THE WESTERLY LINE OF SAID GAS LINE EASEMENT, A DISTANCE OF 18.72 FEET THENCE SOUTH 87 DEGREES 06 MINUTES 20 SECONDS EAST, PARALLEL TO THE CENTERLINE OF SAID 107TH STREET, A DISTANCE OF 41.19 FEET TO THE POINT OF BEGINNING. AND ALL OF LOTS 7 THROUGH 12, INCLUSIVE, BLOCK 1, AND LOTS 1 THROUGH 10, INCLUSIVE, BLOCK 2, BRIDGEPORT, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

ELEV=980.31

"AN EASEMENT FOR STORM WATER DETENTION FACILITY FOR THE BENEFIT OF PARCEL AS ESTABLISHED E THE RECORDED PLAT OF BRIDGEPORT RECORDED IN PLAT BOOK1-44AT PAGE 7 AND BY THE COVENANT FOR MAINTENANCE OF STORM WATER DETENTION FACILITY BRIDGEPORT CONTAINED IN THE ORDINANCE RECORDED AS DOCUMENT NO. 1-786091 IN BOOK 1-1702 AT PAGE 928, OVER THE PROPERTY LABELED AS 'STORM WATER DETENTION EASEMENT' ON THE RECORDED PLAT OF BRIDGEPORT, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI."

FORMERLY DESCRIBED AS FOLLOWS:

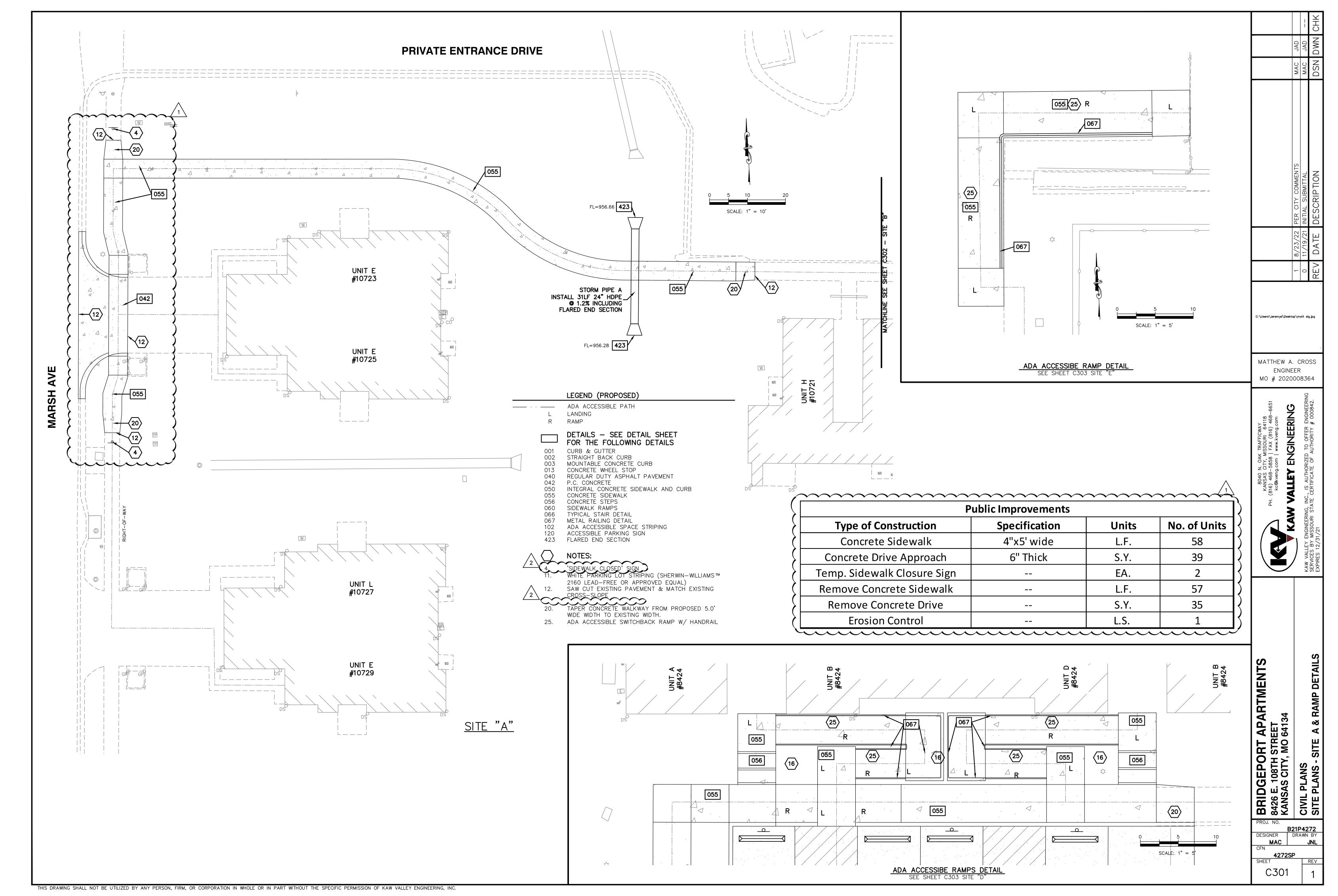
BRIDGEPORT A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, RECORDED IN PLAT BOOK 1 AT PAGE 7, IS DESCRIBED AS FOLLOWS: THIS IS A SURVEY AND RESUBDIVISION OF LOTS 3, 4, 5, 6 AND PART OF LOTS 22 AND 23 OF THE SUBDIVISION OF RUSKIN VIEW, ALSO LOTS 89 THROUGH 116 INCLUSIVE OF THE SUBDIVISION OF GREENWOOD HIGHLANDS, SUBDIVISIONS OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI, BEING A PART OF THE NORTH 1/2 (N 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 6, TOWNSHIP 47, RANGE 32, IN KANSAS CITY, JACKSON COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 6-47-32 THENCE NORTH 87 DEGREES 06 MINUTES 20 SECONDS WEST ALONG THE NORTH LINE OF SAID SECTION 6A DISTANCE OF 749.12 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE NORTH LINE OF SAID SECTION 6AND THE CENTERLINE OF GREENWOOD ROAD, AS NOW ESTABLISHED, THENCE SOUTH 3 DEGREES 23 MINUTES 44 SECONDS WEST ALONG SAID CENTERLINE GREENWOOD ROAD A DISTANCE OF 1055.18 FEET, THENCE NORTH 80 DEGREES 23 MINUTES 23 SECONDS WEST A DISTANCE OF 571.90 FEET THENCE NORTH 87 DEGREES 06 MINUTES 20 SECONDS WEST A DISTANCE OF 660.00 FEET TO THE CENTERLINE OF MARSH AVENUE, AS NOW ESTABLISHED, THENCE NORTH 3 DEGREES 23 MINUTES 44 SECONDS EAST ALONG SAID CENTERLINE OF MARSH AVENUE A DISTANCE OF 988.30 FEET TO THE NORTH LINE OF SAID SECTION 6, THENCE SOUTH 87 DEGREES 06 MINUTES 20 SECONDS EAST ALONG THE NORTH LINE OF SAID SECTION 6, A DISTANCE OF 1228.56 FEET TO THE POINT OF BEGINNING. EXCEPT THAT PART IN STREET RIGHT-OF-WAY AND PART SHOWN ABOVE AS STORM WATER DETENTION EASEMENT.

RT STR MO EPO 08TH CITY, RIDGI 126 E. 10 ANSAS

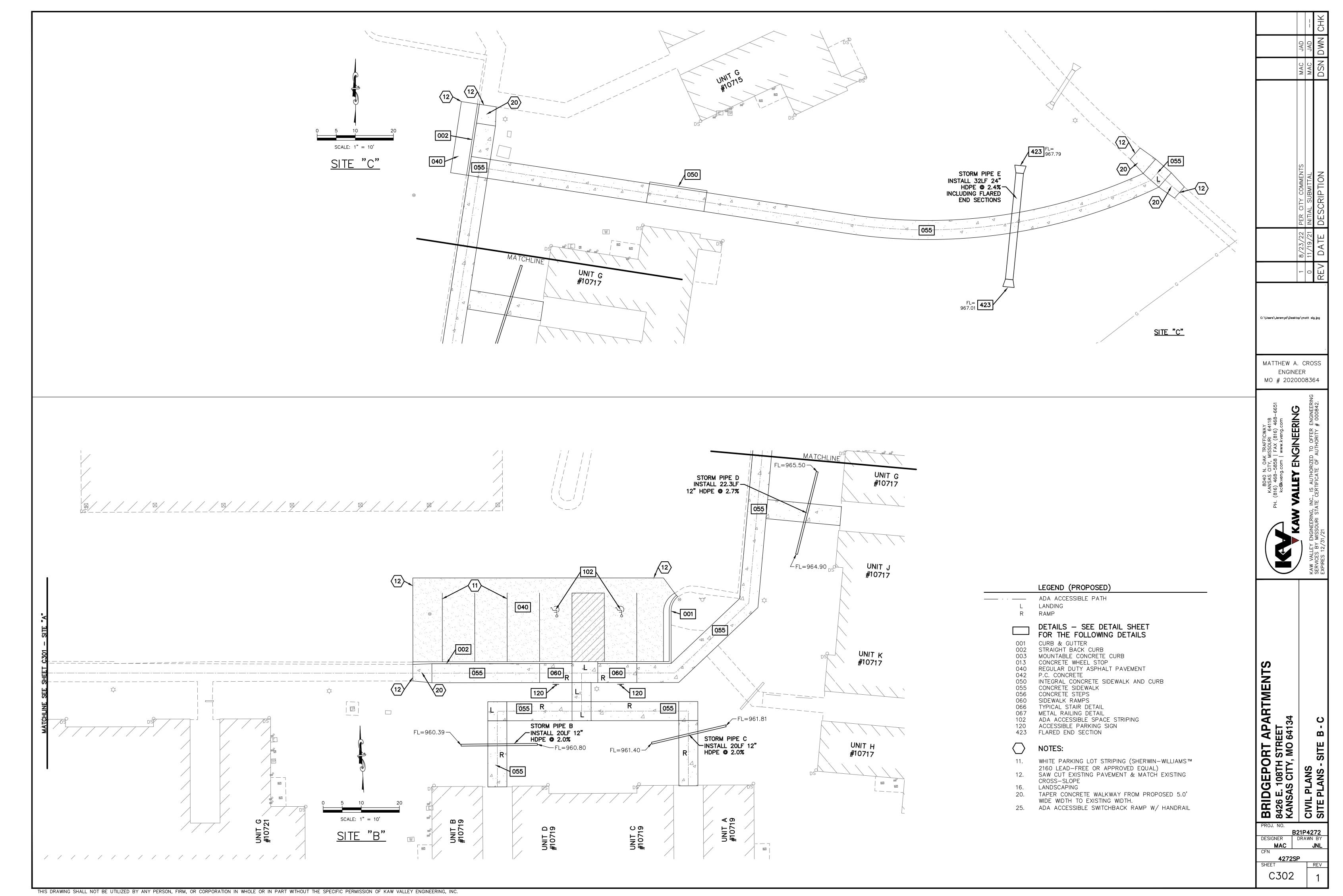
ENGINEER

ENGINEERING

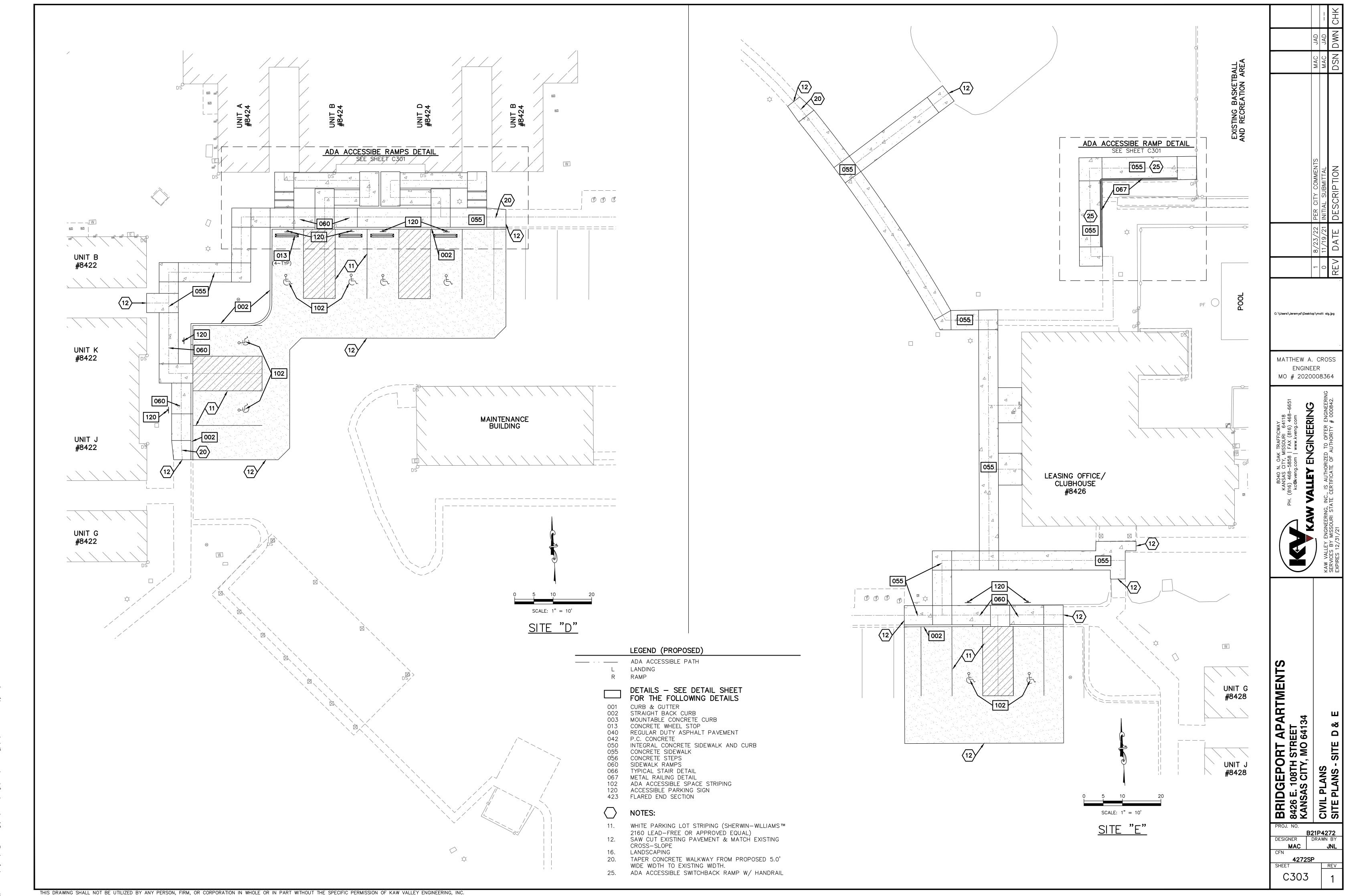
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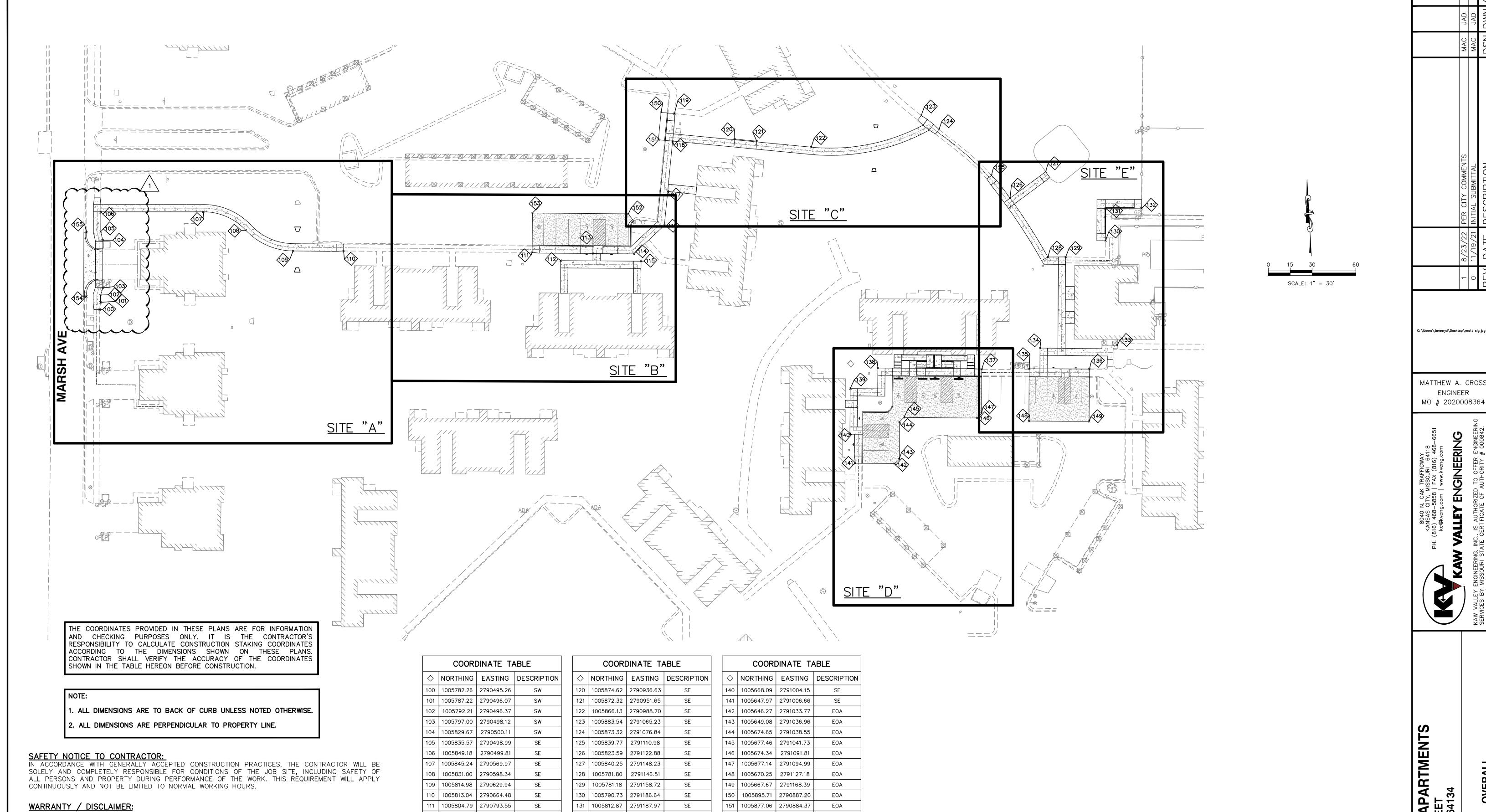
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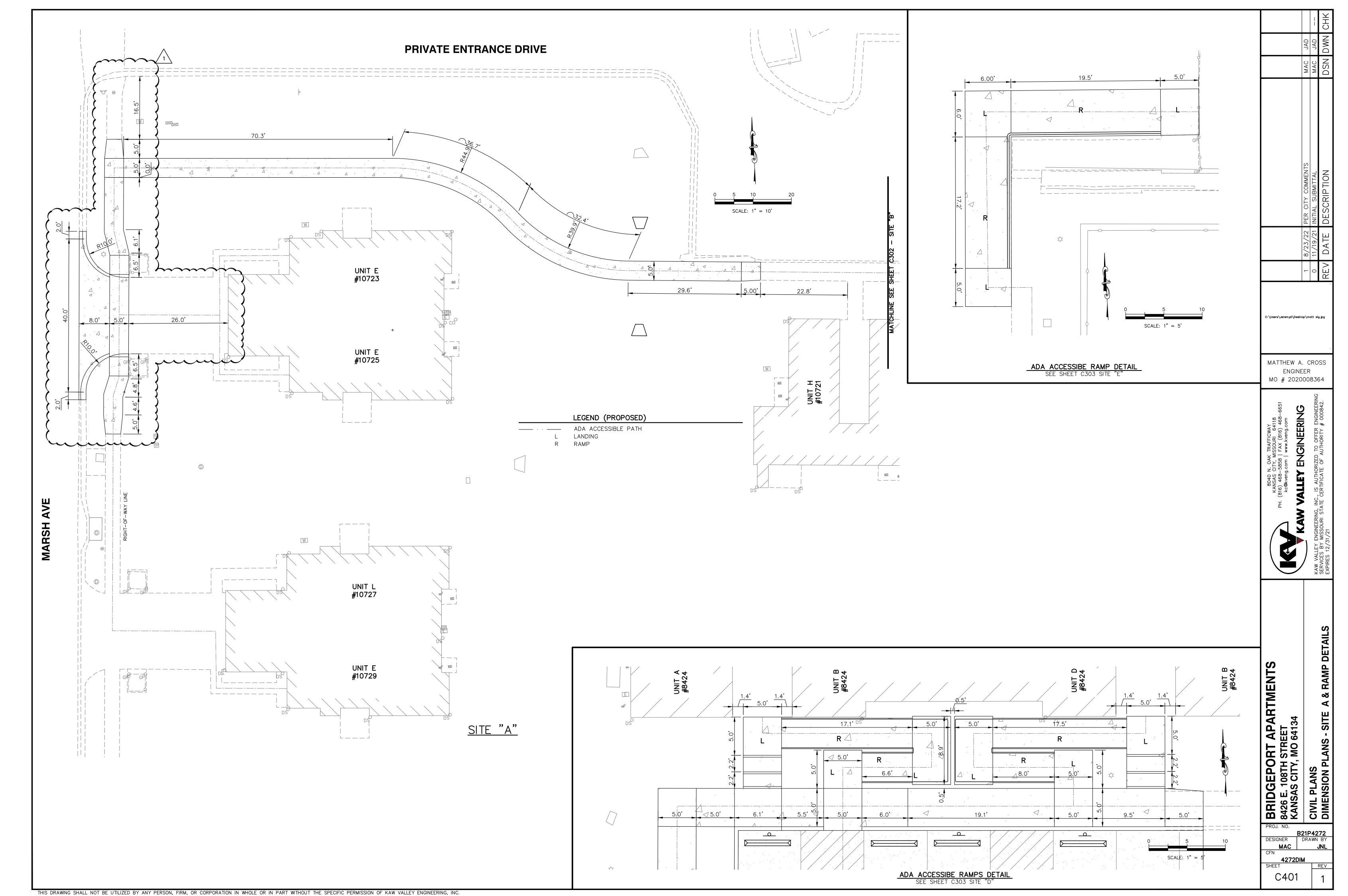
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101	1005787.22	2790496.07	SW	121	1005872.32	2790951.65	
102	1005792.21	2790496.37	SW	122	1005866.13	2790988.70	
103	1005797.00	2790498.12	SW	123	1005883.54	2791065.23	
104	1005829.67	2790500.11	SW	124	1005873.32	2791076.84	
105	1005835.57	2790498.99	SE	125	1005839.77	2791110.98	
106	1005849.18	2790499.81	SE	126	1005823.59	2791122.88	
107	1005845.24	2790569.97	SE	127	1005840.25	2791148.23	
108	1005831.00	2790598.34	SE	128	1005781.80	2791146.51	
109	1005814.98	2790629.94	SE	129	1005781.18	2791158.72	
110	1005813.04	2790664.48	SE	130	1005790.73	2791186.64	
111	1005804.79	2790793.55	SE	131	1005812.87	2791187.97	
112	1005798.07	2790812.81	SE	132	1005811.62	2791212.55	
113	1005801.66	2790835.19	SE	133	1005718.77	2791190.61	
114	1005799.88	2790863.12	SE	134	1005719.77	2791137.62	
115	1005794.57	2790867.80	SE	135	1005706.05	2791129.42	
116	1005818.17	2790885.13	SE	136	1005703.45	2791170.63	
117	1005841.31	2790888.74	SE	137	1005707.53	2791096.88	
118	1005875.59	2790894.00	SE	138	1005712.34	2791025.81	
119	1005894.33	2790896.33	SE	139	1005699.36	2791006.10	

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141	1005647.97	2791006.66	SE	
42	1005646.27	2791033.77	EOA	
43	1005649.08	2791036.96	EOA	
44	1005674.65	2791038.55	EOA	
45	1005677.46	2791041.73	EOA	
46	1005674.34	2791091.81	EOA	
47	1005677.14	2791094.99	EOA	
48	1005670.25	2791127.18	EOA	
49	1005667.67	2791168.39	EOA	
50	1005895.71	2790887.20	EOA	
151	1005877.06	2790884.37	EOA	
52	1005827.51	2790860.91	EOA	
53	1005831.76	2790795.29	EOA	
54	1005791.70	2790486.74	ВС	
55	1005835.66	2790489.31	BC	

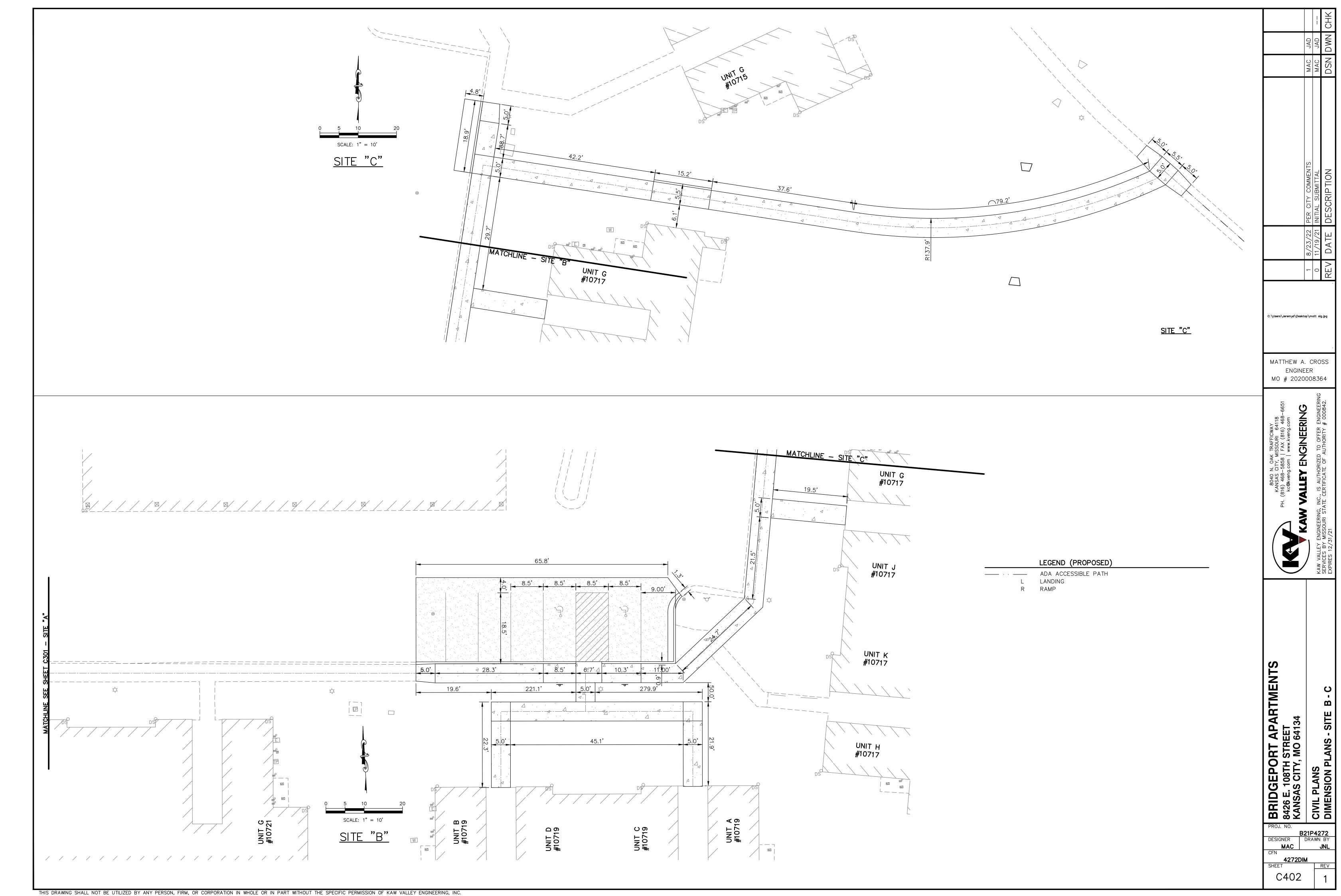
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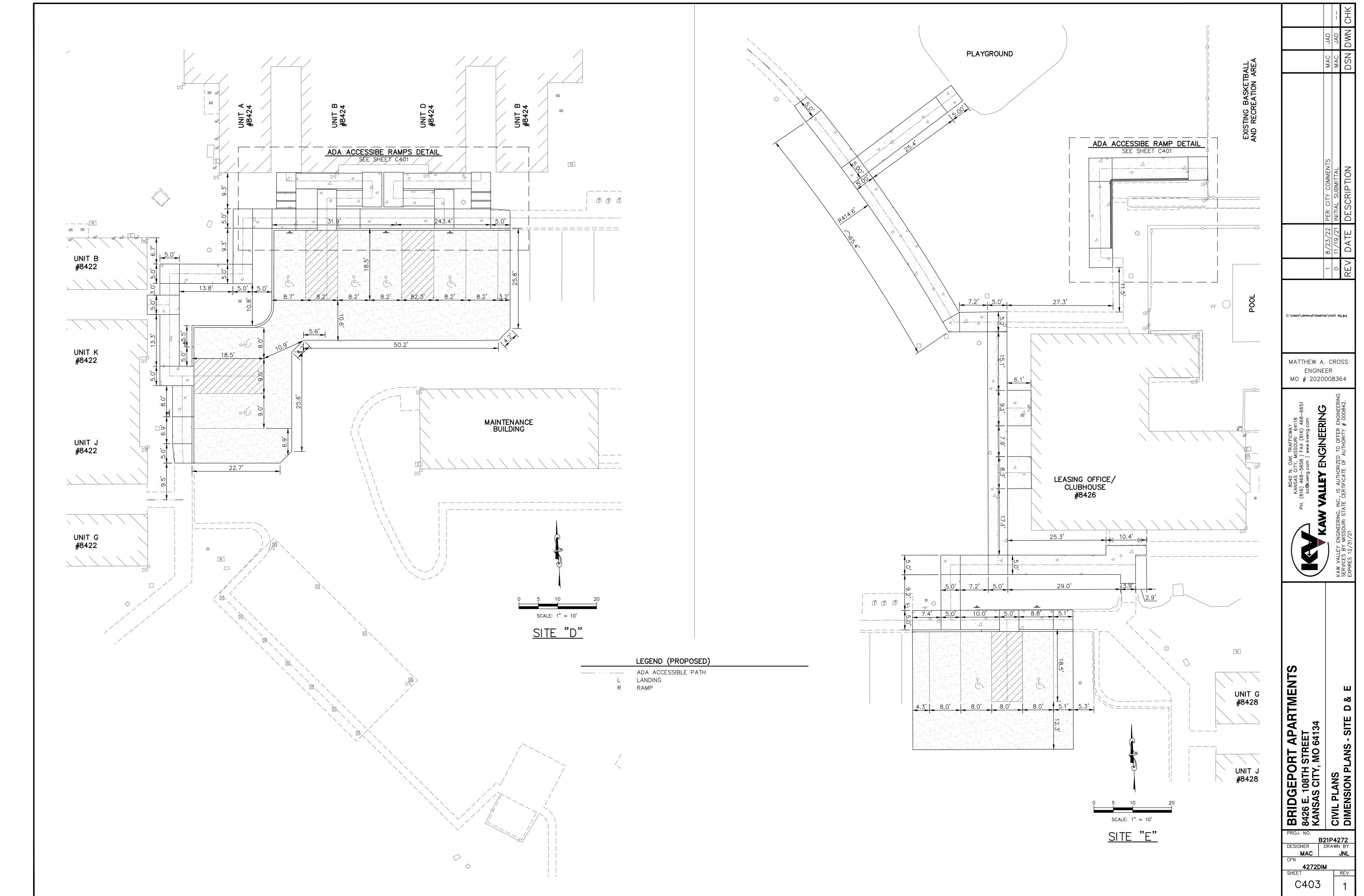
BRIDGEPORT APARTME
8426 E. 108TH STREET
KANSAS CITY, MO 64134
CIVIL PLANS
DIMENSION PLANS - OVERALL B21P4272
DESIGNER DRAWN BY L 4272DIM C400



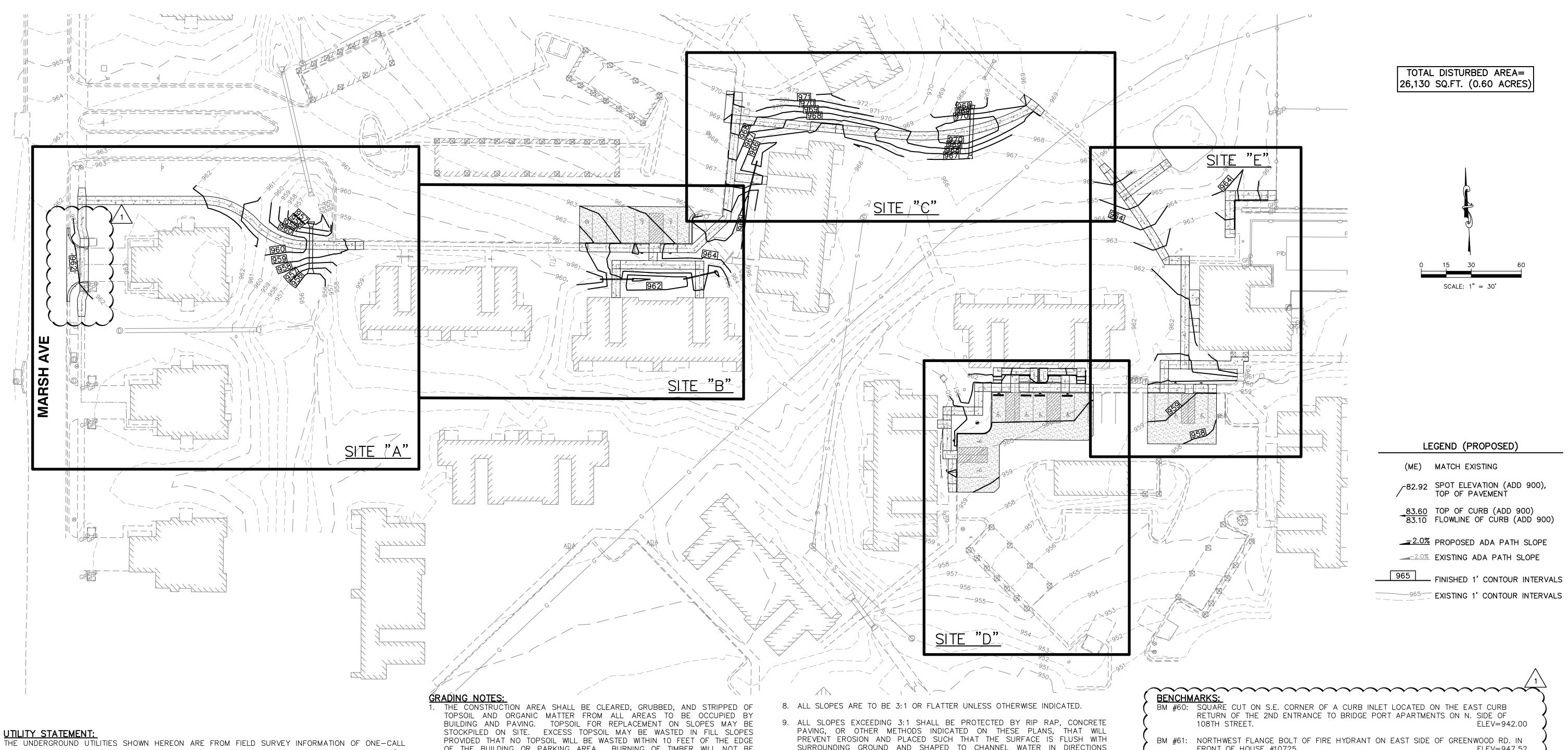
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OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM

2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.

DEPTH OF 6 INCHES.

- 3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO BRINGING ON SITE.
- 4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
- 5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
- 6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

- SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS
- 10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- 11. CONTRACTOR SHALL USE SILT FENCE, BALES OF HAY OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
- 12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION
- 13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- 14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
- 15. HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 16. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.

- FRONT OF HOUSE #10725 ELEV=947.52
- BM #62: NORTH FLANGE BOLT OF A FIRE HYDRANT LOCATED ± CENTER OF THE BLOCK ON THE SOUTH SIDE OF 107TH STREET.
- BM #63: T FLANGE BOLT OF A FIRE HYDRANT LOCATED ON EAST SIDE OF MARSH AVE. AND ± 100' SOUTH OF ENTRANCE TO BRIDGE PORT APARTMENTS. ELEV=963.23
- CP 100: 1/2" IRON BAR WITH CONTROL CAP SET ON THE WEST SIDE MARSH AVE. AND \pm \oplus OF 108TH STREET. ELEV=956.12 CP 101: 1/2" IRON BAR WITH CONTROL LOCATED ON THE NORTH SIDE OF 107TH AND & OF
- MARSH AVE. ELEV=980.31 CP 102: 1/2" IRON BAR WITH CONTROL CAP SET AT THE NORTH SIDE OF 107TH STREET

AND \pm 150' EAST OF MARSH AVE.

- CP 103: 1/2" IRON BAR WITH CONTROL CAP SET AT THE SOUTHEAST QUADRANT OF INTERSECTION OF 107TH AND GREENWOOD RD. ELEV=949.92
- CP 104: 1/2" IRON BAR WITH CONTROL CAP SET ON THE WEST SIDE GREENWOOD RD. AT ELEV=947.20 HOUSE #10728
- CP 105: 1/2" IRON BAR WITH CONTROL CAP SET ON THE EAST SIDE GREENWOOD RD. AND \pm 100' NORTH OF 108TH STREET. ELEV=9932.04

DATUM BENCHMARK:

DATUM IS U.S. SURVEY FEET AND REFERS TO NAVD88 DATUM DERIVED FROM CONNECTIONS TO NATIONAL CORS NETWORK VIA GPS STATIC SESSIONS ON PROJECT CONTROL PROCESSED WITH THE NATIONAL GEODETIC SURVEY'S OPUS PROJECTS UTILITY. ORTHOMETRIC HEIGHT WAS CALCULATED USING THE GEOID12B MODEL.

ENGINEERING

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ELEV=976.17

APAI EET 64134

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EPO 08TH CITY,

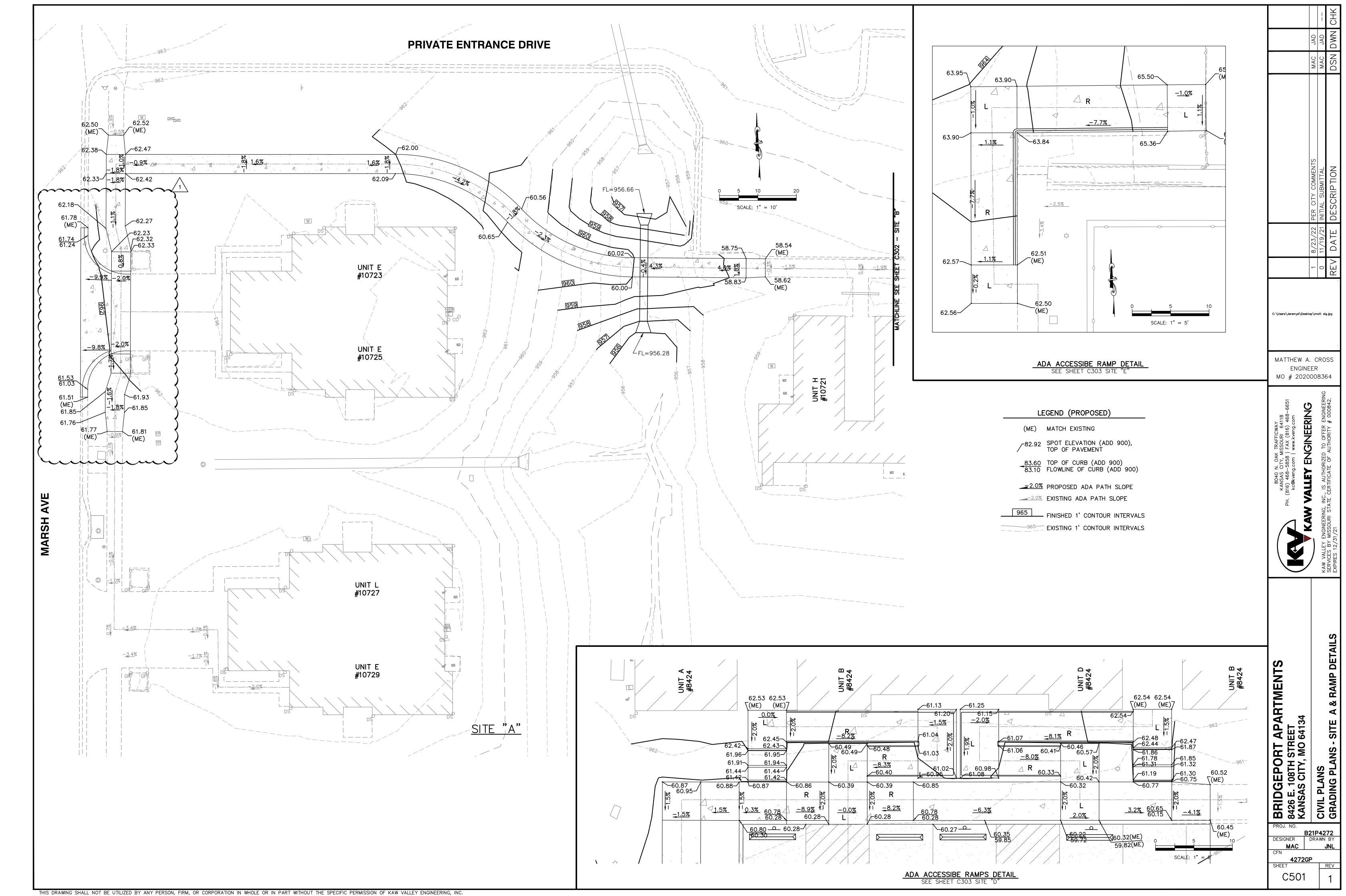
BRIDGE 8426 E. 10 KANSAS (CIVIL PLA GRADING

DESIGNER DRAWN E

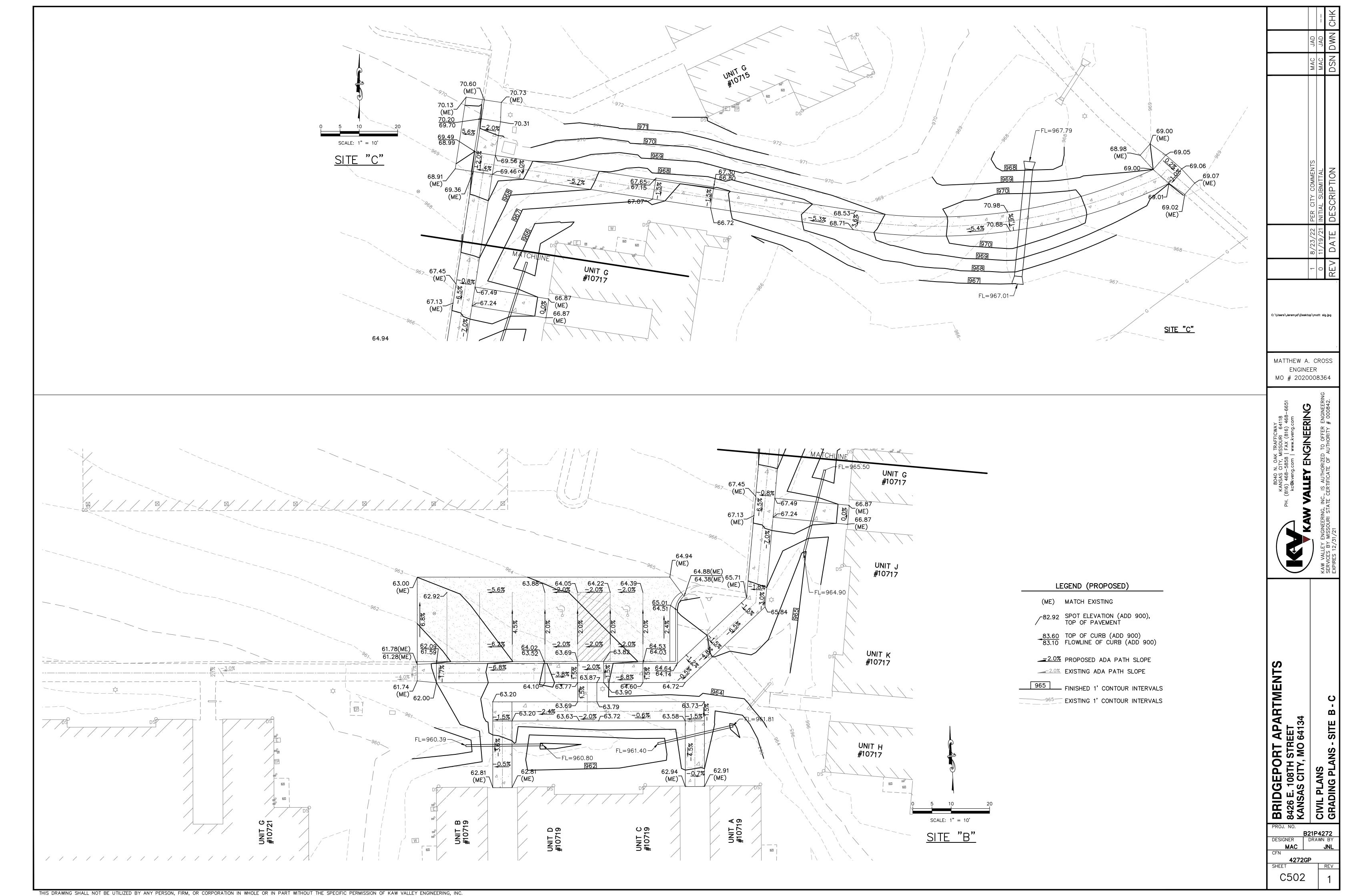
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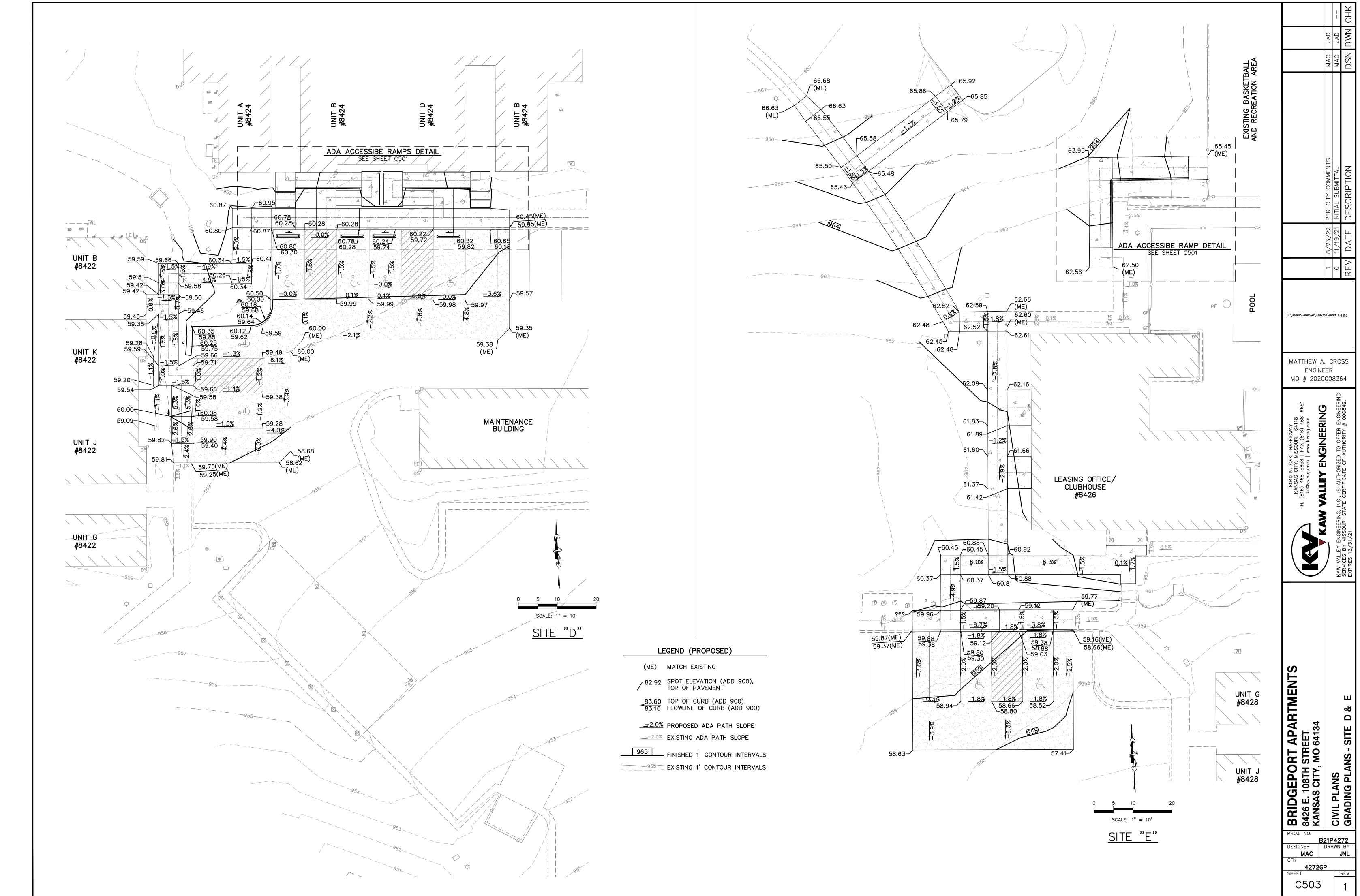
MATTHEW A. CROSS ENGINEER MO # 2020008364



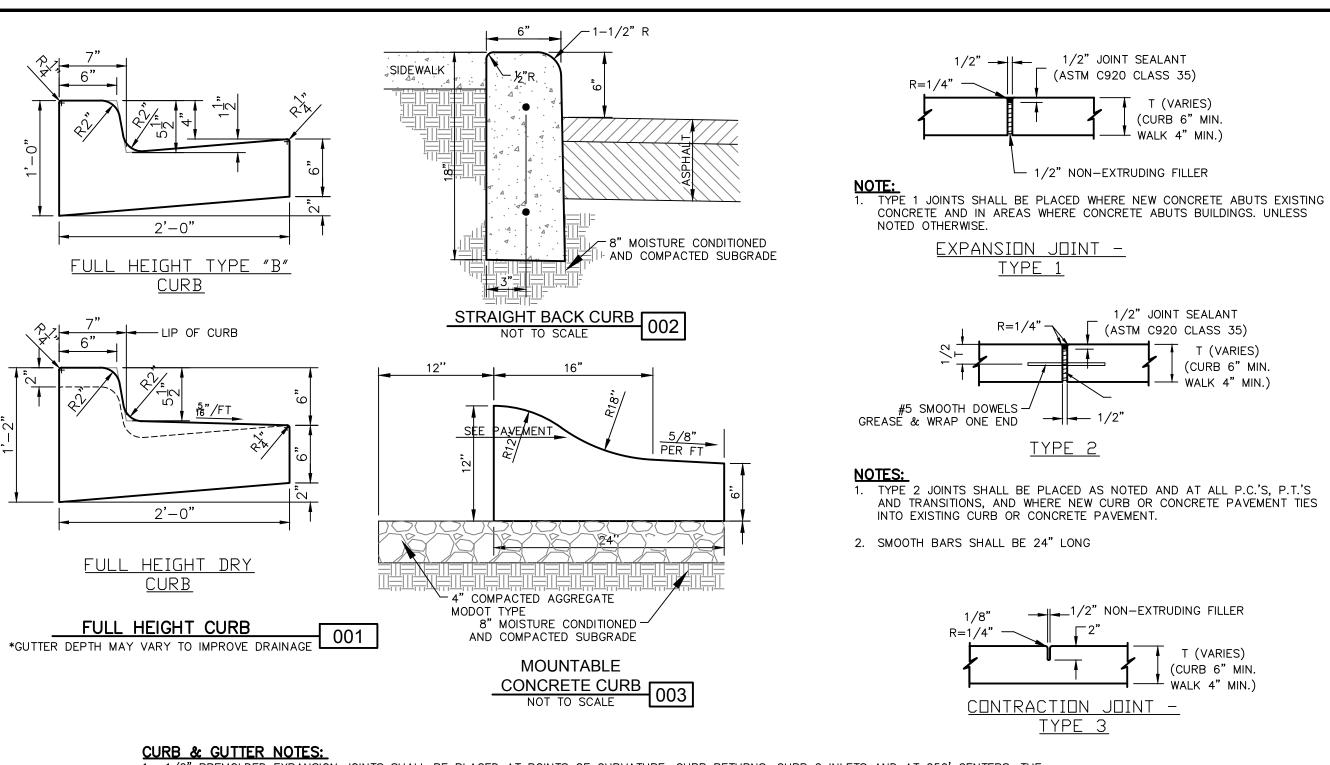
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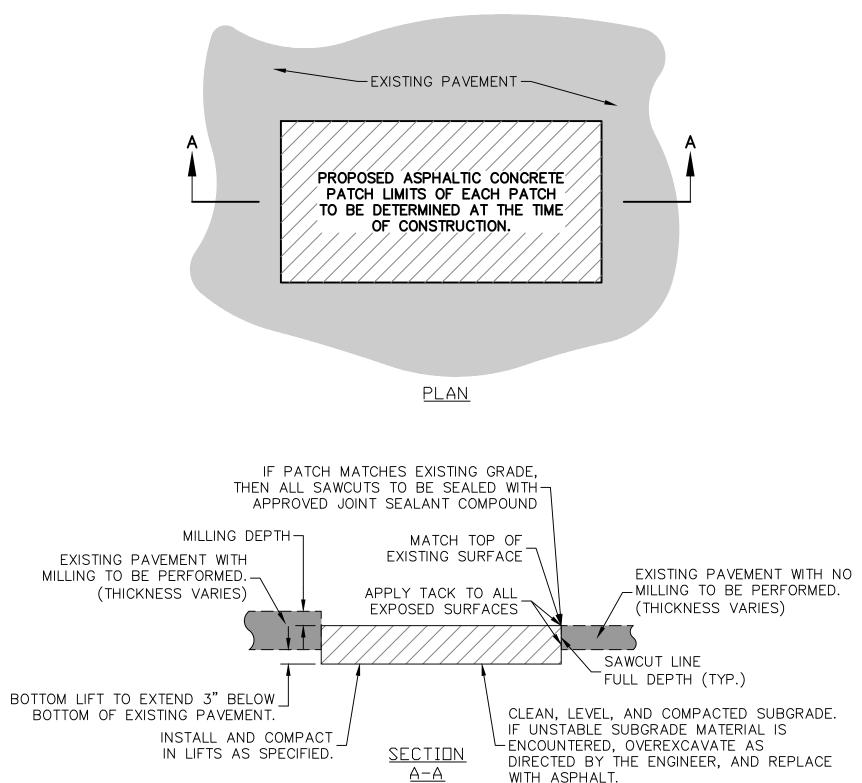
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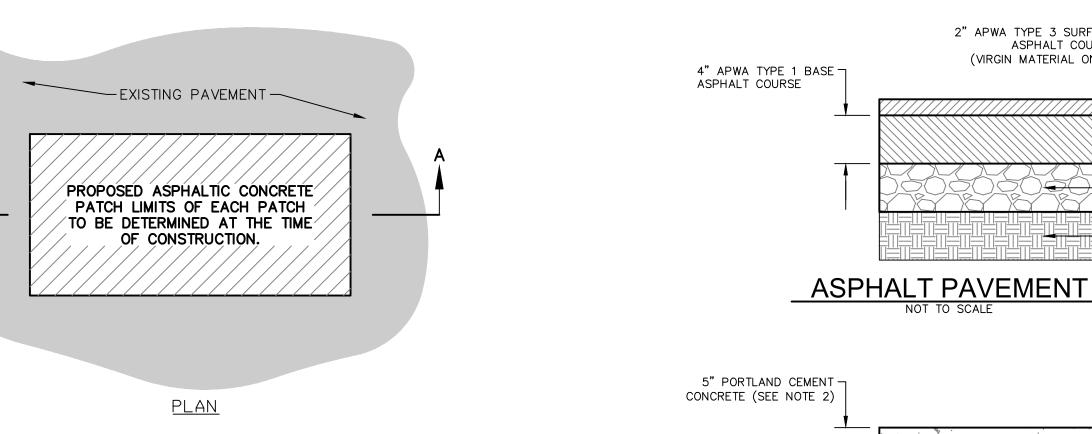
1. 1/2" PREMOLDED EXPANSION JOINTS SHALL BE PLACED AT POINTS OF CURVATURE, CURB RETURNS, CURB 2 INLETS AND AT 250' CENTERS. THE EXPANSION JOINTS SHALL BE DOWELED IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTION JOINTS SHALL BE 2" DEEP AND PLACED AT 15' INTERVALS EQUALLY SPACED BETWEEN EXPANSION JOINTS.

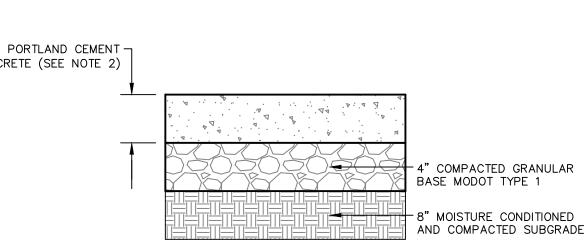
- 2. ALL CONCRETE USED IN THIS WORK SHALL MEET THE LATEST EDITION OF THE KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION. KCMMB4K CONCRETE SHALL BE USED THROUGHOUT.
- 3. ALL REINFORCING STEEL SHALL BE SUPPORTED ON FABRICATED STEEL BAR SUPPORTS @ 3'-0" MAXIMUM SPACING.
- 4. REINFORCING STEEL SHALL BE GRADE 60 REINFORCING STEEL SHALL BE GRADE 60 AND COMPLY WITH ASTM A615. EPOXY COATED BARS AS NOTED SHALL COMPLY WITH ASTM A775. ALL CUT ENDS OR DAMAGED AREAS SHALL BE FIELD REPAIRED WITH EPOXY COATING.
- 5. SEE SIDEWALK RAMP DETAILS FOR TYPICAL SIDEWALK RAMP CURB & GUTTER SECTIONS.
- 6. DETAILS AS SHOWN FOR CONCRETE AND ASPHALT PAVING. WHEN USED WITH CONCRETE PAVING POURED MONOLITHICALLY WITH CURB NO MODIFICATIONS ARE REQUIRED. WHEN CURB AND CONCRETE PAVING ARE TO BE POURED SEPARATELY #4 BARS, 24" LONG ARE TO BE PROVIDED TO TIE CURB TOGETHER WITH CONCRETE PAVING.
- 7. CURBS TO BE CONSTRUCTED ON MINIMUM 6 INCHES OF COMPACTED WELL GRADED BASE ROCK.
- 8. CONTRACTOR TO PROVIDE DEDUCT TO OMIT 3-#4 BARS IN ALL CURB CONSTRUCTION.

CURB & GUTTER



STREET CUT RESTORATION





2" APWA TYPE 3 SURFACE

ASPHALT COURSE (VIRGIN MATERIAL ONLY)

4" COMPACTED GRANULAR

8" MOISTURE CONDITIONED

BASE MODOT TYPE 1

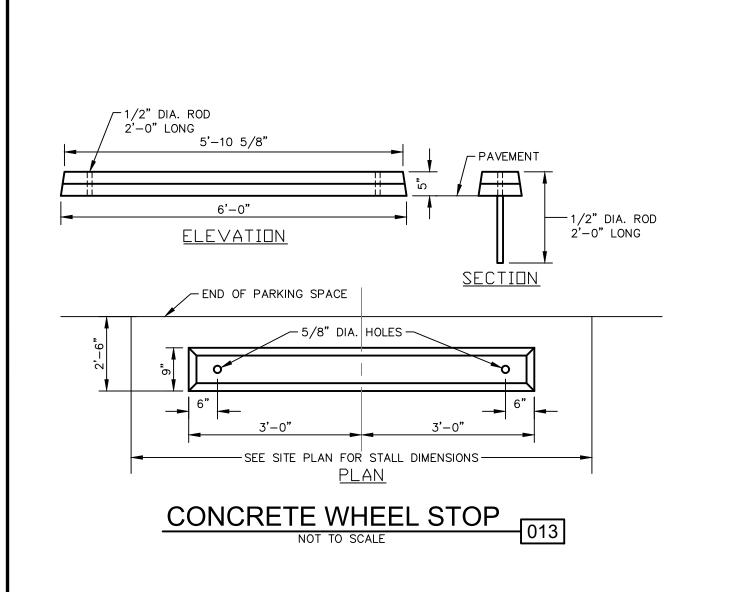
AND COMPACTED SUBGRADE

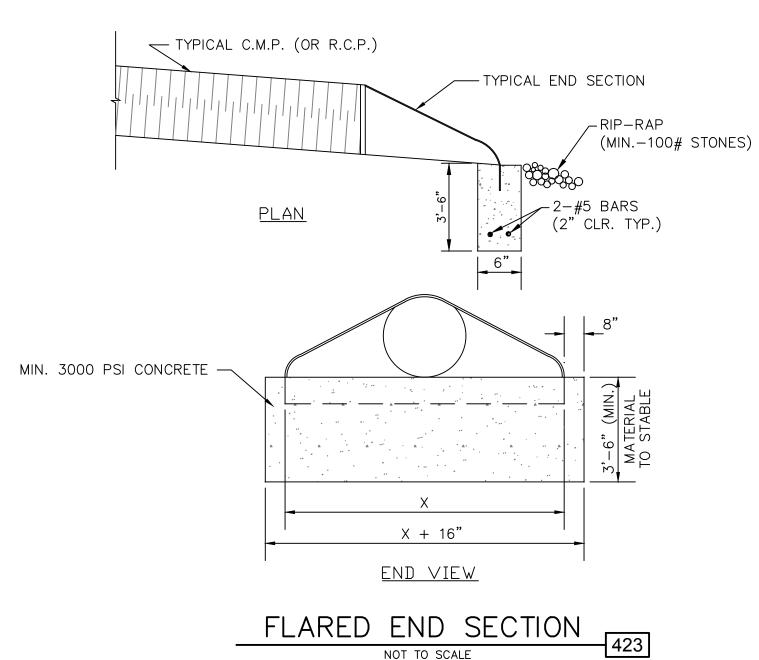
P.C. CONCRETE PAVEMENT

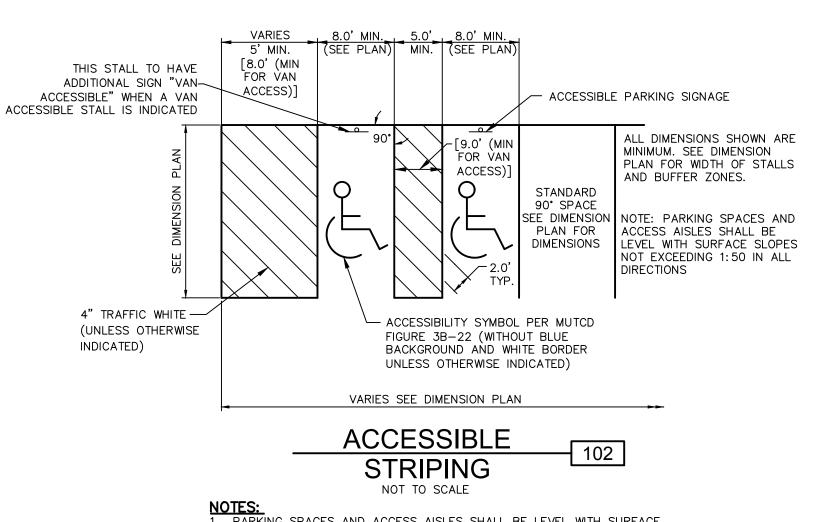
1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST (FEBRUARY 2017) EDITION OF THE KANSAS CITY METROPOLITAN CHAPTER OF APWA SECTION 2200 AS AMENDED BY PROJECT SPECIFICATIONS.

> ASPHALT SURFACE COURSE - APWA TYPE 5-01 ASPHALT BASE COURSE - APWA TYPE 1-01 OR APWA TYPE 5-01

- 2. SURFACE COURSE SHALL BE VIRGIN ASPHALT. RECYCLED MIXES MEETING APWA SPECIFICATIONS MAY BE CONSIDERED FOR BASE COURSE.
- 3. PORTLAND CEMENT CONCRETE SHALL BE A KCMMB4K MIX AND SHALL MEET THE LATEST EDITION OF THE KANSAS CITY METROPOLITAN CHAPTER OF APWA SECTION 2200 AS AMENDED BY THE CITY OF KANSAS CITY, MISSOURI TECHNICAL SPECIFICATIONS.
- 4. HEAVY DUTY CONCRETE IS AN OPTIONAL PAVEMENT FOR DETAIL 041 HEAVY DUTY ASPHALT. WHEN PLANS SPECIFY DETAIL 042 NO ALTERNATES ARE ALLOWED.
- 5. SUBGRADE TO BE COMPACTED TO 90% SUBGRADE TO BE COMPACTED TO 90% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698. MOISTURE CONTENT TO BE WITHIN A RANGE OF 2% BELOW TO 2% ABOVE OPTIMUM MOISTURE AS DEFINED BY ASTM D698.
- 6. SIDEWALK JOINTS MAY BE SAWN UNLESS SHOWN OTHERWISE ON ARCHITECT/LANDSCAPE
- 7. SIDEWALKS TO BE BROOM FINISHED.



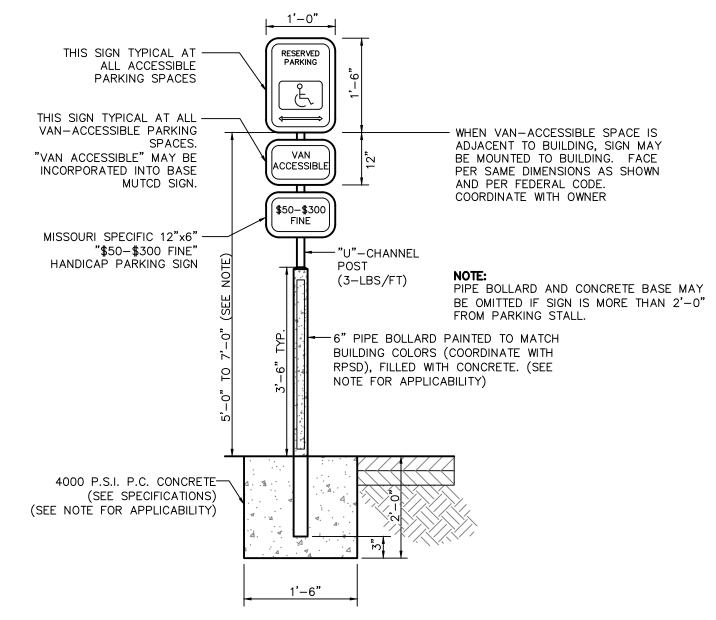




NOTES:

1. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS.

- 2. ALL DIMENSIONS SHOWN ARE MINIMUM. SEE DIMENSION PLAN FOR WIDTH OF STALLS AND BUFFER ZONES.
- 3. ADA PARKING SPACES AND ACCESS ISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS.



ACCESSIBLE PARKING SIGN

HEIGHT ABOVE GRADE FOR POLE MOUNTED SIGNS VARIES. TYPICAL INSTALLATION IS 5'-0" ABOVE GRADE. SIGN SHALL BE MOUNTED AT 7'-0" IF IT FALLS WITHIN A WALKING PATH.

SEPORT APARTME 108TH STREET S CITY, MO 64134 BRIDGE 8426 E. 10 KANSAS (CIVIL PLA DETAIL SI DESIGNER | DRAWN B 4272DET

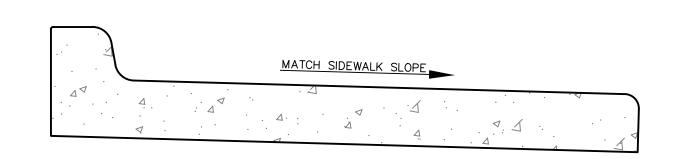
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MATTHEW A. CROSS

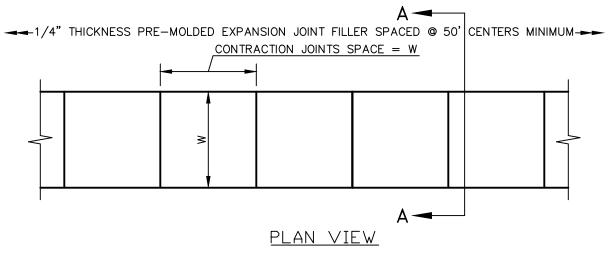
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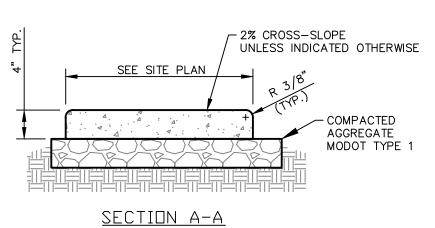
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ENGINEERING



INTEGRAL SIDEWALK AND CURB 050



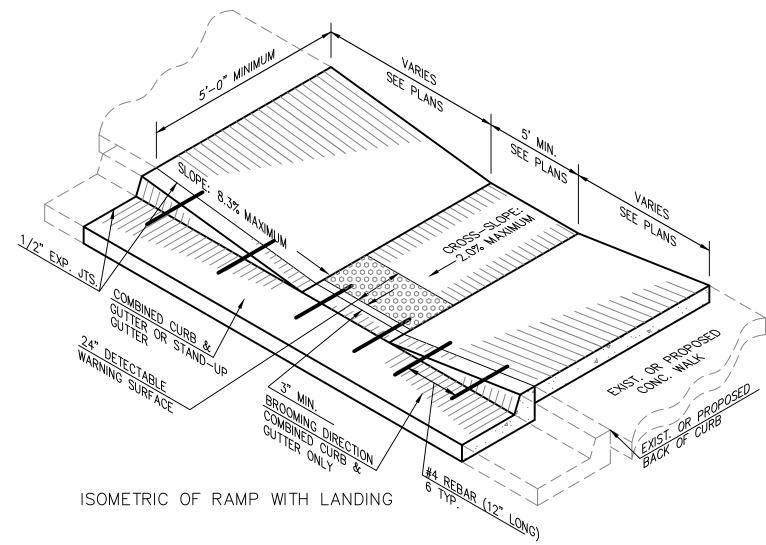


NOTES:

1. PORTLAND CEMENT CONCRETE USED IN CONSTRUCTION OF SIDEWALKS SHALL CONFORM TO KCMMB4K AND KCMO-APWA SECTION 2208.

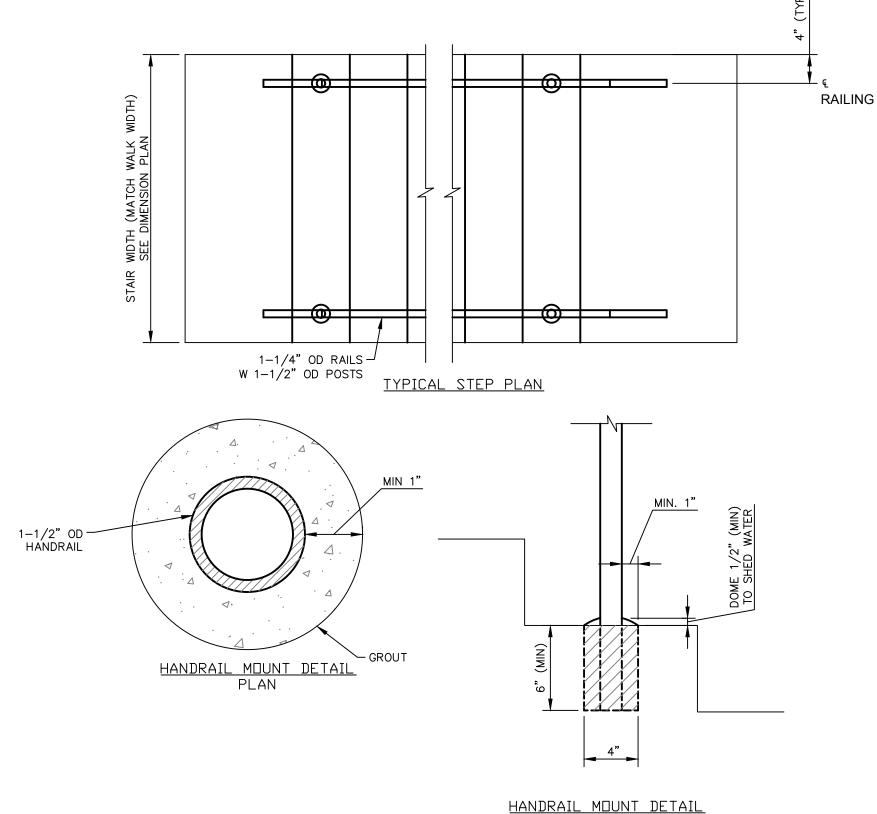
2. CONTRACTOR SHALL BACKFILL SIDEWALKS WITH TOPSOIL AND SEED/SOD IN ACCORDANCE WITH LANDSCAPE PLAN AND PROJECT SPECIFICATIONS.

CONCRETE SIDEWALK 055



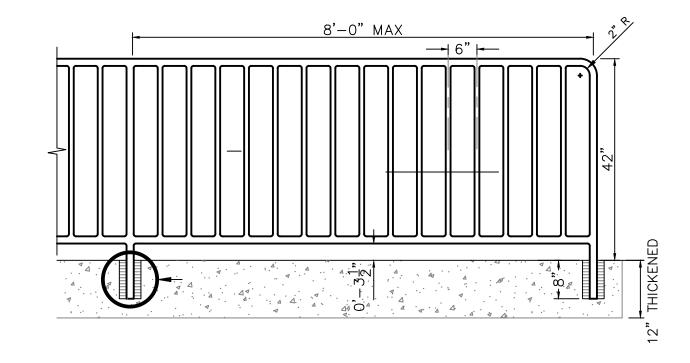
NOTE:
DETECTABLE WARNING SURFACE TO BE PLACED A MINIMUM OF 3
INCHES FROM BACK OF CURB AND ALIGNED IN THE DIRECTION
OF PEDESTRIAN TRAVEL.

SIDEWALK RAMP



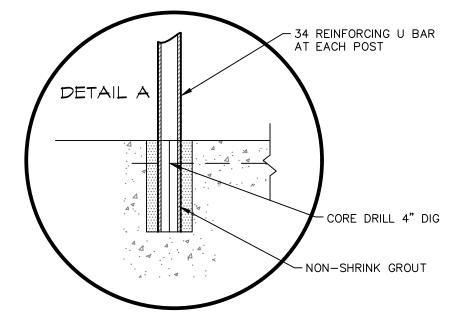
<u>PROFILE</u> TYPICAL STAIR DETAIL 066A

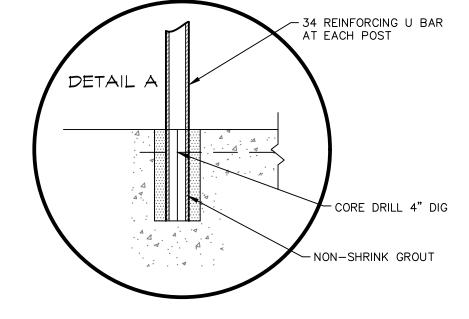
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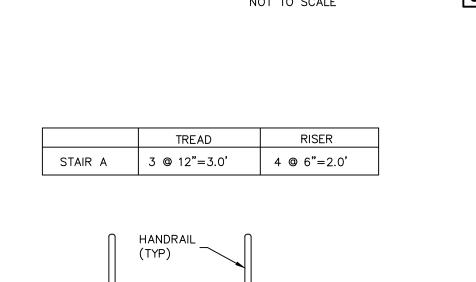


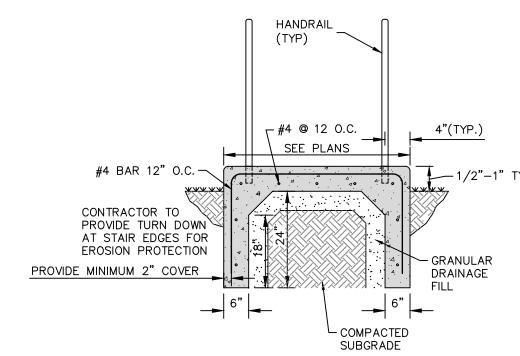
METAL RAILING DETAIL

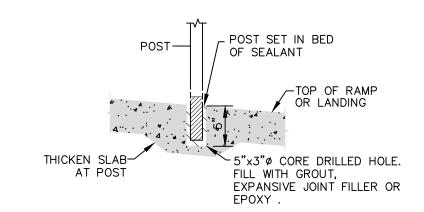
067



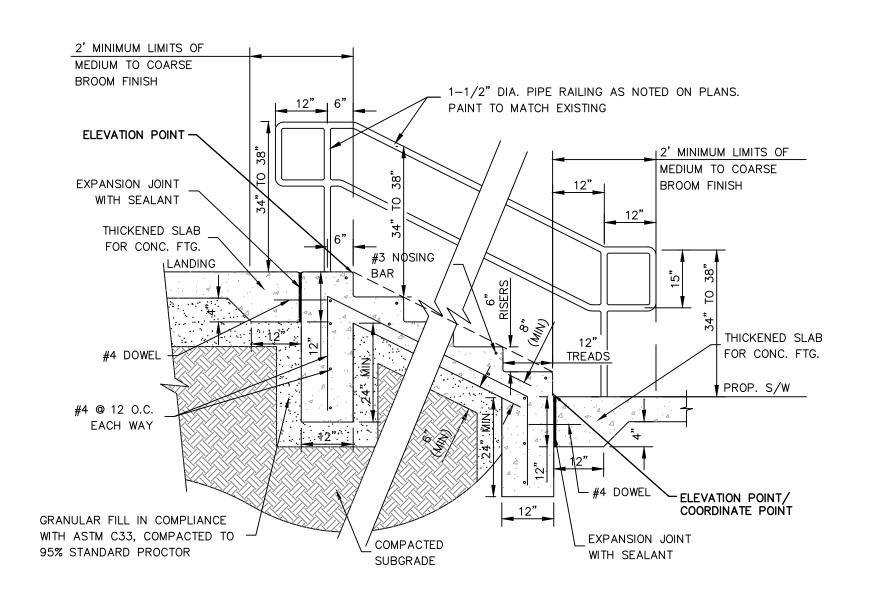








CONCRETE STEP DETAIL



- CONCRETE AND SIDEWALK NOTES:

 1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI, 6% AIR ENTRAINMENT AND TOWNEY WITH ACCOUNT WITH ACCOUNT OF THE PROPERTY OF TH IN ACCORDANCE WITH APWA SECTION 2200.
- 2. REINFORCING STEEL SHALL BE GRADE 60 EPOXY COATED AND COMPLY WITH ASTM A615. ALL CUT ENDS OR DAMAGED AREAS SHALL BE FIELD REPAIRED WITH EPOXY COATING.
- 3. SIDEWALKS TO BE BROOM FINISHED.
- 4. SUBGRADE TO BE COMPACTED TO 90% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698. MOISTURE CONTENT TO BE WITHIN A RANGE OF 2% BELOW TO 2% ABOVE OPTIMUM MOISTURE AS DEFINED BY ASTM D698.
- 5. SIDEWALK JOINTS MAY BE SAWN UNLESS SHOWN OTHERWISE ON ARCHITECT/LANDSCAPE ARCHITECT PLANS.

STAIR SCHEDULE (SEE SITE PLAN FOR LOCATIONS)						
STAIR NO.	LENGTH (L) FT-INCHES	HEIGHT (H) FT-INCHES	TREAD WIDTH (TW)	RISER HEIGHT (RH)		

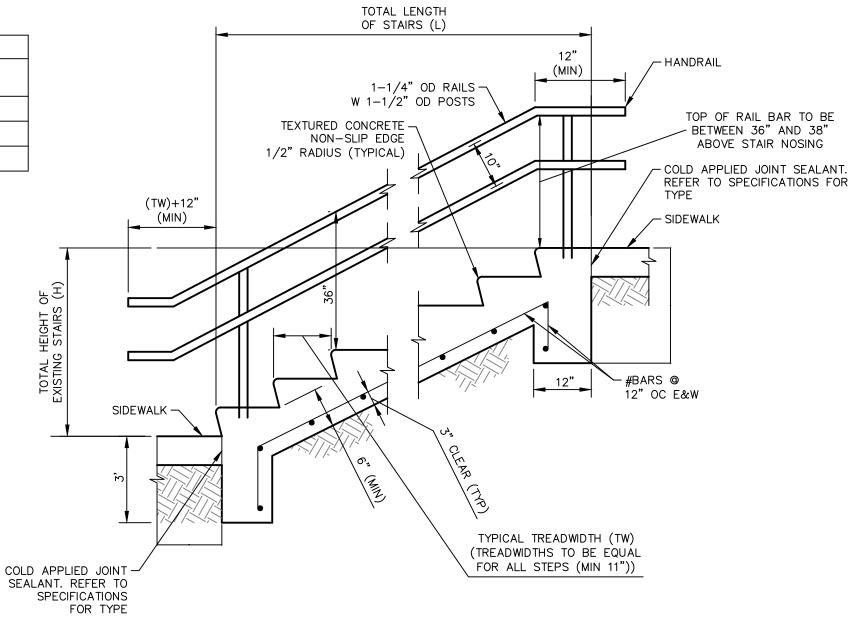
1. CONCRETE SHALL BE 4000 psi AIR ENTRAINED (AE) CONCRETE WITH 7% AE \pm 2%.

2. REINFORCING STEEL SHALL BE EPOXY COATED 60 ksi DEFORMED REBAR. REBAR SHALL BE FREE OF FORM RELEASE AGENT AT TIME

OF CONCRETE PLACEMENT. CONTRACTOR TO PROVIDE CHAIRS TO

SUPPORT REBAR IN POSITION DURING CONCRETE PLACEMENT.

- 3. HANDRAILS SHALL BE CONSTRUCTED ONSITE TO ENSURE VERTICAL ALIGNMENT AND SHALL BE CONSTRUCTED OF 1-1/4" OUTSIDE DIAMETER SCHEDULE 40 PIPE FOR HANDRAIL AND 1-1/2" OUTSIDE DIAMETER SCHEDULE 40 PIPE FOR THE POSTS.
- 4. HANDRAIL POSTS SHALL BE SPACED NO FURTHER APART THEN 4-FEET.
- 5. HANDRAIL SHALL BE SET USING QUICKRETE FAST SET NON-SHRINK GROUT (OR APPROVED EQUAL).
- 6. ALL HANDRAIL COMPONENTS SHALL BE JOINED BY WELDING, ALL HANDRAIL SURFACES TO BE SMOOTHED BY GRINDING OR SANDING PRIOR TO PAINTING.
- 7. HANDRAILS TO BE PAINTED IN FIELD AFTER SMOOTHING AND PREPPED PER COATING MANUFACTURERS DIRECTIONS. CONTRACTOR TO COAT HANDRAIL USING SHERWIN-WILLIAMS INDUSTRIAL URETHANE ALKYD COATING COLOR : _____ COAT USING 1K ACRYLIC CLEAR COAT FOR COLOR RETENTION (OR APPROVED EQUAL COATING SYSTEM).



TYPICAL STAIR DETAIL 066B

(THIS DETAIL IS CONTINUED ON

ORT APARTME I STREET , MO 64134 BRIDGEPOF 8426 E. 108TH S KANSAS CITY, I CIVIL PLANS DETAIL SHEET B21P4272
DESIGNER DRAWN BY 4272DET

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MATTHEW A. CROSS **ENGINEER**

MO # 2020008364