



## Jones Gillam Renz Architects

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## ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

<b>PROJECT:</b>	<b>Lee Lofts II, Building 2</b> Historic Bldg Rehabilitation Salina, KS	<b>Report No.</b>	<b>Seven (7)</b>
<b>OWNER:</b>	<b>OPG Lee Lofts II Partners, LLC</b> Dan Maximuk 254 N. Santa Fe Ave, Suite A Salina, KS 67401	<b>Date</b>	<b>Nov. 30, 2023</b>
<b>CONTRACTOR:</b>	<b>MCP Group</b> 3501 SW Fairlawn Rd. Topeka, KS 66614	<b>Architect's Proj No.</b>	<b>21-3120</b>
		<b>Contract For:</b>	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

### DESCRIPTION:

- 1) Eliminate Door D03 in basement elevator shaft. Due to elevator company requiring pit to be filled, door will no longer fit. Access to the pit shall be via ladder from first floor. Reference revised sheet A2.1
- 2) Door 113 shall be a hollow metal frame (painted) and hollow metal (90 minute rated) door with clear 90-minute rated glass, in lieu of aluminum door & frame. Door shall be 6'-8" in height, frame has been adjusted accordingly. Reference revised Sheet A10.6
- 3) Door 117 shall be a hollow metal frame (painted) with wood door (full glass), in lieu of aluminum door & frame. Door shall be 6'-8" in height, frame has been adjusted accordingly. Reference revised Sheet A10.6
- 4) Door 121 shall be a hollow metal frame (painted) with wood door (full glass), in lieu of aluminum door & frame. Door shall be 6'-8" in height, frame has been adjusted accordingly. Reference revised Sheet A10.6
- 5) Door 128 shall be a hollow metal frame (painted) with wood door (full glass), in lieu of aluminum door & frame. Door shall be 6'-8" in height, frame has been adjusted accordingly. Frame type shall be Type 5. Reference revised Sheet A10.6
- 6) Door 129 121 shall be a hollow metal frame (painted) with wood door (full glass), in lieu of aluminum door & frame. Door shall be 6'-8" in height, frame has been adjusted accordingly. Reference revised Sheet A10.6
- 7) Door 123 & Door 127 shall have key pad entry on outside of door, with privacy lock on interior.
- 8) Door 128 shall have Office Privacy type lock/latch.

### Attachments:

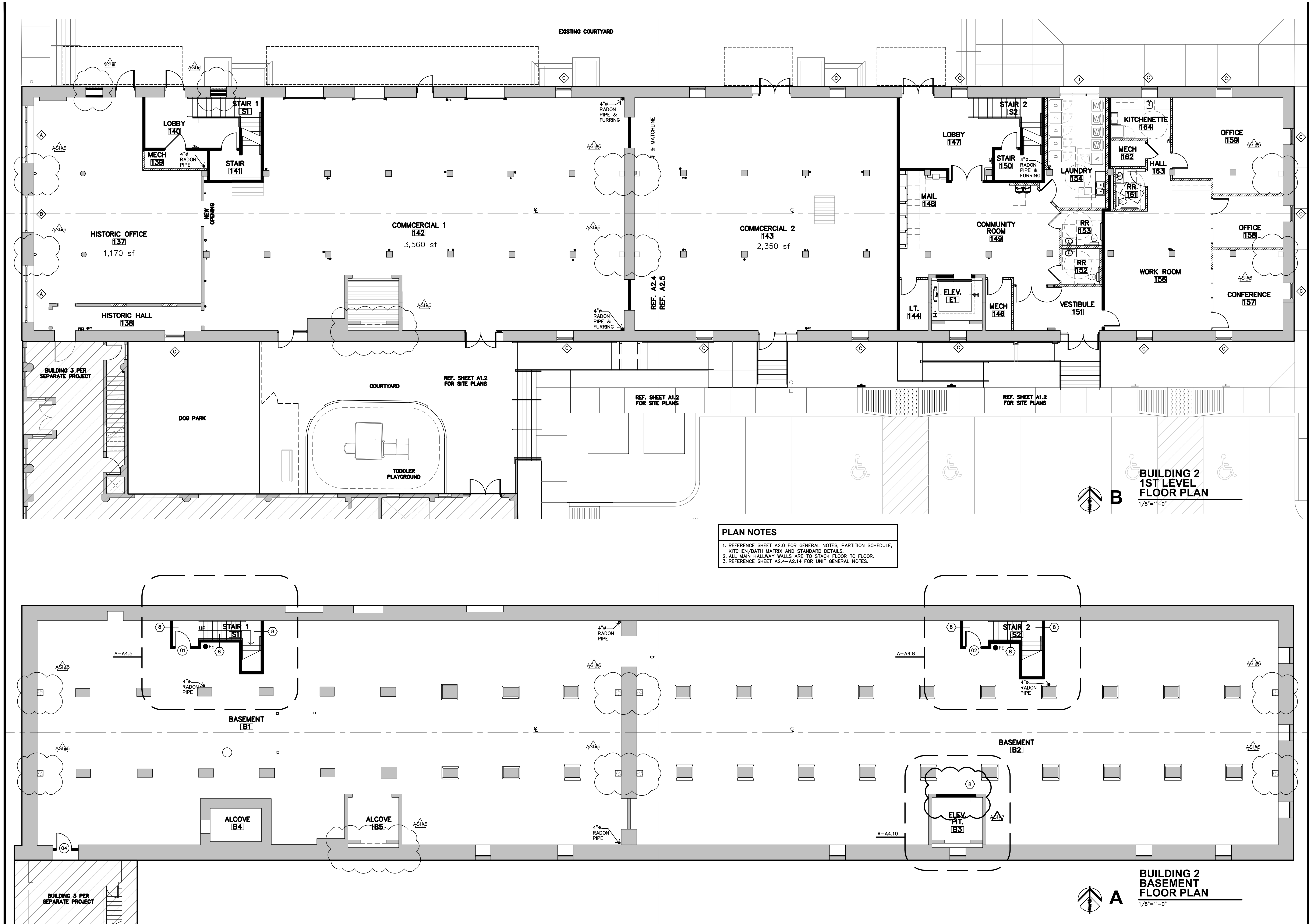
Revised Architectural Sheets A2.4 – A2.13, A9.2, A9.5  
Revised Electrical Sheets E1.17, E1.18, E1.5 & E1.6  
Additional Structural Details: 1<sup>st</sup> Floor Columns & Elevator Shaft Sketches  
Additional Architectural Details: RFI Sheet 6.1

### Issued by:

Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402  
Maggie Gillam, Project Architect 785-827-0386 mgillam@jgrarchitects.com

### Copies to:

MCP Group - Eric Hubener  
OPG - Dan Maximuk, Austin Kack  
JGR Architects - Maggie Gillam  
LST - John Lewis-Smith, Brian Ochs and Tim Tredway  
Eng Cons - Brett Engelland



**LEE LOFTS, PHASE II, BUILDING 2**  
**HISTORIC REHAB. (APARTMENTS, COMMERCIAL)**  
**SALINA, KANSAS**



REVISION:	
A2.1	6-1-2023
A2.6	11-13-2023
A2.7	11-13-2023
DATE:	2-15-2023
JOB:	20-3120
SHEET NO.:	

**A2.1**

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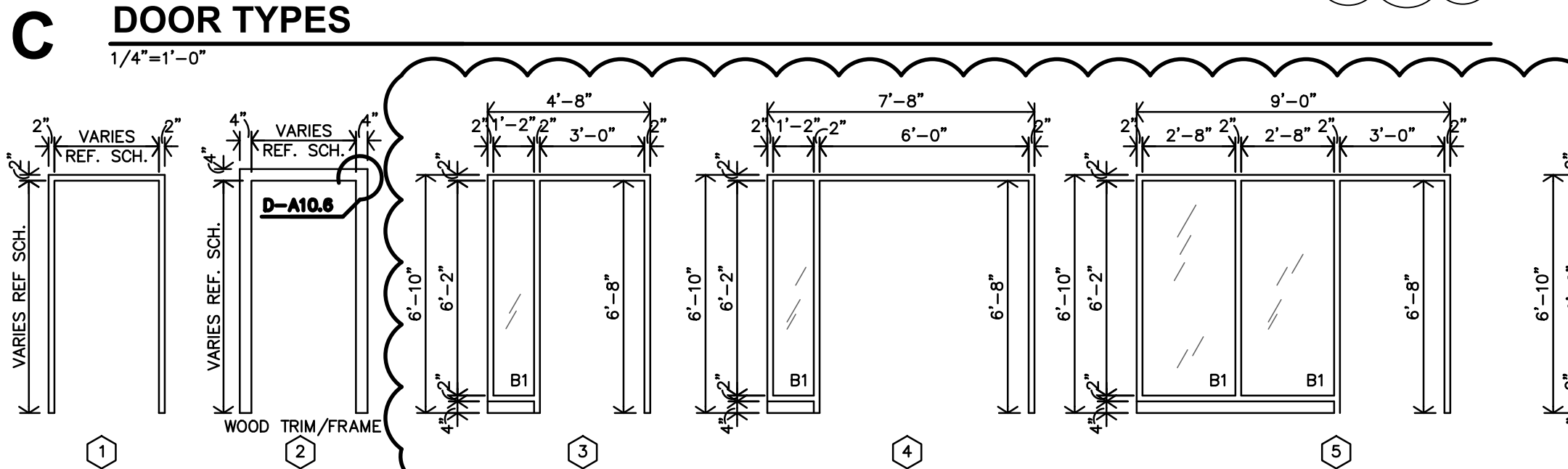
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[illegible]

NOTES: 1. INSTALL PRIVACY LATCH SET @ BEDROOM & BATH ONLY  
2. UNDERCUT DOOR 1"  
3. MECHANICAL DOORS WITHIN UNITS SHALL BE LOCKED, NOT ACCESSIBLE TO RESIDENTS

MARK		INTERIOR	EXTERIOR	FIRE RATED (90min)	1/4"	1" INSULATED	CLEAR	TINTED	TEMPERED	SPANDREL GLASS
A1										
A2			●			●	●			
A3			●						●	
B1		●			●					
B2		●		●					●	●

$$1 - 1/2'' = 1' - 0''$$


**D**  $1/4''=1'-0''$



PUBLIC DOOR SCHEDULE																					
MARK	DOOR										FRAME			RATING	DETAILS	REMARKS					
	SIZE			MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH												
	W	H	T	ALUMINUM	HOLLOW METAL	S.C. WOOD	TYPE	PREFINISHED	PAINT	STAINED	ALUMINUM	HOLLOW METAL	WOOD				INTERIOR TYPE	EXTERIOR TYPE	PREFINISHED	PAINT	STAINED
FOURTH FLOOR																					
401	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, E			
402	3'-6"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
403	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	90min	Y/Z-A10.2				
404	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
406	3'-6"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
407	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
408	3'-6"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
409	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
411	3'-6"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
412	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
413	3'-6"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
414	3'-6"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
416	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
417	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
418	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
419	3'-6"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
421	3'-6"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
422	3'-6"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
423	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
424	3'-0"	6'-8"	1 3/4"		●	E		●		●		●	1		●	20min	O/P-A10.2				
426	3'-0"	6'-8"	1 3/4"		●	G		●		●		●	1		●	90min	Y/Z-A10.2				
427	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
428	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
429	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P-A10.2	C, D			
FIFTH FLOOR																					
501	3'-0"	6'-8"	1 3/4"		●	A		●		●		●	1		●	20min	O/P				

PUBLIC DOOR SCHEDULE																
MARK	DOOR						FRAME						RATING	DETAILS	REMARKS	
	SIZE			MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH	RATING	DETAILS	REMARKS				
	W	H	T													
BASEMENT																
01	3'-0"	6'-8"	1 3/4"	●	G	●	●	●	●	90min						
02	3'-0"	6'-8"	1 3/4"	●	G	●	●	●	●	90min						
03	3'-0"	6'-8"	1 3/4"	●	G	●	●	●	●	90min						
04	3'-0"	6'-8"	1 3/4"	●	G	●	●	●	●	90min						
FIRST FLOOR																
100	HISTORIC DOOR & FRAME			●	H	●	●	●	1	●		A				
101	3'-4"	7'-0"		●	H	●	●	●	1	●	A/C/D/J-A10.2	F				
102	3'-4"	7'-0"		●	H	●	●	●	1	●	A/C/D/J-A10.2	F				
103	4'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Y/Z-A10.2					
104	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Y/Z-A10.2					
105	HISTORIC OPENING								8			B, F				
106	3'-0"	7'-0"		●	H	●	●	●	7	●	A/B/C/D/J/K-A10.2					
107	2'-10"	7'-0"		●	H	●	●	●	2	●	A/C/D/J-A10.2					
108	PR(3'-0")	7'-0"		●	H	●	●	●	6	●	A/B/E/J/K-A10.2	F				
109	PR(3'-0")	7'-0"		●	H	●	●	●	6	●	A/B/E/J-K-A10.2	F				
110	HISTORIC OPENING								8			B, F				
111	3'-0"	7'-0"		●	H	●	●	●	9	●	A/J/L-A10.4	F				
112	PR(3'-0")	7'-0"		●	H	●	●	●	3	●	A/J/L-A10.4	F				
113	PR(3'-0")	6'-8"	1 3/4"	●	H	●	●	●	1	●	Y/Z-A10.2	G, I				
114	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Y/Z-A10.2					
115	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Q/R-A10.2					
116	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Q/R-A10.2					
117	3'-0"	6'-8"	1 3/4"	●	H	●	●	●	3	●	Q/R-A10.2					
118	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Q/R-A10.2	H				
119	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Q/R-A10.2	H				
120	HISTORIC OPENING								8			B, F				
121	PR(3'-0")	6'-8"		●	H	●	●	●	4	●	Q/R-A10.4	G				
122	PR(3'-0")	7'-0"		●	H	●	●	●	6	●	A/B/E/J/K-A10.2	F				
123	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	O/P-A10.2	K				
124	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Q/R-A10.2	J				
126	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Q/R-A10.2	J				
127	3'-0"	6'-8"	1 3/4"	●	E	●	●	●	1	●	Q/R-A10.2	J				
128	3'-0"	6'-8"	1 3/4"	●	H	●	●	●	5	●	Q/R-A10.4					
129	3'-0"	6'-8"	1 3/4"	●	H	●	●	●								

GENERAL NOTES:	SPECIFIC NOTES:
<p>1. ALL EXPOSED LINTELS TO BE PAINTED AT INTERIOR AND EXTERIOR.</p> <p>2. CONTRACTOR MUST INSTALL MILL FLASHINGS &amp; CONT. CAULK FOR A WEATHERTIGHT SEAL, AT ALL EXTERIOR DOORS &amp; WINDOWS.</p> <p>3. ALUMINUM THERMAL BREAK EXPANSION JOINT COVER BETWEEN EXTERIOR DOOR AND WINDOW.</p> <p>4. ALL DOORS WITH A "TYPE 2" FRAME SHALL HAVE A "SIMPLE DOOR" FRAME DESIGN UNLESS OTHERWISE IN THIS SCHEDULE. REF. DETAIL D-10.6</p>	<p>A. HISTORIC DOOR &amp; FRAME: RESTORE EXISTING, INSTALL NEW HARDWARE, FIELD VERIFY CONDITIONS. REF. DETAIL D-10.6</p> <p>B. HISTORIC OPENING: RESTORE EXISTING OPENING SIZE AND CONDITIONS. UNIT ENTRY DOOR: TO BE KEYPAD LOCKS &amp; NON-KEYED DEADBOLT W/ 1" MIN. THICK.</p> <p>C. UNIT ENTRY DOOR: PEEL HOLES AT ADAPTING TO FRAME. (1) PEEL HOLES TO BE INSTALLED @ 60" AFF.</p> <p>D. UNIT ENTRY DOOR: PEEL HOLES AT ACCESSING. (2) PEEL HOLES TO BE INSTALLED @ 43" AFF.</p> <p>E. EXTERIOR DOORS: INSTALL NEW SILL &amp; FASHING, WEATHERSTRIPPING, CONT. CAULK FOR A WEATHERTIGHT SEAL. FIELD VERIFY CONDITIONS.</p> <p>F. EXTERIOR DOORS: SHALL BE EQUIPPED WITH MAGNETIC HOLD OPEN DEVICES &amp; CLOSERS.</p> <p>G. DOOR SHALL BE EQUIPPED WITH CLOSER.</p> <p>H. DOOR TO BE 90-MIN. WALL WITH CLEAR RATED GLASS PER BASE BID.</p> <p>I. DOOR SHALL HAVE A "CRAFTSMAN STYLE" FRAME. REF. DETAIL D-10.6</p> <p>J. ON THE VESTIBULE SIDE, THIS DOOR SHALL HAVE A "SIMPLE DOOR" FRAME. ON THE OFFICE SIDE, THIS DOOR SHALL HAVE A "CRAFTSMAN STYLE" FRAME. REF. DETAIL D-10.6</p>