



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	The Reserves at Magnolia New Apartment Complex Denton, TX	Report No.	One (1)
OWNER:	Overland Property Group Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	Oct. 22, 2024
CONTRACTOR:	Snyder Construction Group 4820 N. Town Centre Dr. Ozark, MO 65721	Architect's Proj No.	21-3205
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

Please Note: Drawings and Specification Edits associated with this ASI are dated as **7-17-2024**. This date above is the date this ASI was issued.

DESCRIPTION:

Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions. Items associated with a VE item, will be noted as such.

- 1) At Perimeter Fence: Utilize Doug Fir pickets (in lieu of Cedar) with galvanized post (in lieu of wood posts) and treated pine rails. All "Structure" (posts, rails, etc) must face inside, towards the property. (VE Item #3)
- 2) Omit staining and sealing of the wood fence and dumpster fence enclosure pickets. (VE Item #4)
- 3) Utilize a black chain link fence in lieu of the Aluminum Ameristar Montage Fence product. Fence must be 4' tall. (VE Item #5)
- 4) Omit sealed finish at all interior concrete areas designated as "sealed concrete". These shall be exposed concrete finish. (VE Item #7)
- 5) Utilize king sized brick in lieu of standard specified modular sized brick. (VE Item #8)
- 6) Omit all interior thin pre-cast panels at Community Room #106 - accent wall, and the entry vestibule area. (VE Item #9)
Reference Revised plans and details on Sheets A2.1, A4.2, A4.8 and A8.2.
- 7) Utilize standard vertical pickets at the metal stair/landing handrails/guardrail systems in lieu of the custom metal panel railings. (VE Item #10). Reference revised details on Sheets A6.2 & A6.3.
- 8) Utilize 5/8" OSB Roof deck sheathing in lieu of the specified 3/4" Zip System Roof Sheathing. (VE Item #11)
- 9) Casework in Food Pantry #107 has been reduced and reconfigured. (VE Item #12). Reference revised plan on Sheet A2.1 and revised details on Sheet A8.3.
- 10) Omit all wood heads and jambs at pocket doors and bypass doors in apartment units. All will have a drywall return. (VE Item #13)
- 11) Omit all solid surface/marble windowsills. All windows to have painted wood windows sills. (VE Item #14)
- 12) Omit the requirement of water repellants at all exterior masonry. (VE Item #15)
- 13) Utilize a 1/2" HD wood fiber coverboard in lieu of the specified 1/2" secure rock coverboard at the roofing assembly. (VE Item #16)
- 14) Utilize residential grade aluminum soffit panels in lieu of the specified Nichiha soffit panels at the underside of the entry canopy. Aluminum panels must have a "wood look" appearance and are subject to Architect's review and approval. (VE Item #18)
- 15) Utilize 5/8" type 'x' exterior-grade gypsum board finish at exterior breezeways in lieu of fiber cement siding and soffit. (VE Item #19) Exception: within 10 feet of each exterior opening. At these areas, fiber cement panel and trim shall be used. Reference revised details on Sheets A2.0, A3.3, A4.1, A4.6, A4.7, A4.8, A6.1, A6.2, A6.3, A7.1, A7.2, A7.3, and A7.4
- 16) Utilize hardie board and batten (smooth finish) in lieu of hardie reveal panels on the exterior façade. Reference revised elevations on A3.1 and A3.2 (VE Item #20)
- 17) Omit Security Gate and Doors #114, #116, #121 and #122. (VE item #22). Reference revised plans and details on Sheets A2.1, A3.1, A3.2, A6.1, A6.2 and A10.2.
- 18) Utilize 20-minute rated PVC Composite Door Jambs in lieu of 20-minute Hollow metal Door Jambs. Reference revised Sheet A10.2 (VE Item #23)
- 19) Reduce the indicated door hardware allowance from \$120,000 to \$60,000. (VE Item #24)
- 20) Omit tile backsplashes, at the kitchen, in all apartment units. (VE Item #25) Add 4" P.Lam backsplash to all kitchen countertops.
- 21) Utilize Earthwerks Chassis Advantage 7"x48" 12 mil LVT flooring in lieu of the specified Patcraft Timber Grove 12 mil LVT Flooring. Final color to be selected by Architect from full range of collection's selections. (VE Item #26)
- 22) Utilize 1-1/4" beveled edge plate glass mirrors in lieu of the specified wood framed mirrors, at apartment unit bathrooms. (VE Item #27)

- 23) Utilize standard metal fire extinguisher cabinets in lieu of specified stainless steel fire extinguisher cabinets. (VE Item #28) Fire-rated cabinets must be provided where indicated on floor plans.
- 24) Omit mirrors in Fitness Room #102. (VE Item #29)
- 25) Omit all in-unit Washer and Dryer Appliances. (VE Item #30)
- 26) Fill floor and roof truss cavities completely with blown-in insulation in lieu of fire sprinkler coverage within these cavities. (VE Item #31)
- 27) Utilize a Watts model PLT-5 or equal expansion tank at HWH-A water heaters in lieu of the specified Watts Model DETA-12 expansion tanks. (VE Item #32) Reference revised Sheet P6.1
- 28) Utilize residential grade plastic p-traps at all sinks in lieu of brass p-traps. (VE Item #33) Reference revised sheet P6.1
- 29) Utilize foam insulation in lieu of specified fiberglass insulation at indicated domestic water piping. Conditional upon review of shop drawings and submittals. (VE item #34)
- 30) Omit domestic cold water piping insulation in its entirety (exception: where piping crosses the breezeway). (VE Item #35) Reference revised sheet P2.5
- 31) Utilize PEX plumbing fixture stub outs in lieu of the specified copper stub outs. (VE Item #37)
- 32) Utilize CPVC mains and risers in lieu of specified copper at plumbing systems. (VE Item #38)
- 33) Utilize EP fittings and multiport tees in lieu of copper mainfolds and brass fittings at plumbing systems. (VE Item #39) Reference revised sheets P4.1, P4.2, P4.3 and P6.1
- 34) Utilize rubber condensing unit pads in lieu of specified Nvent Caddy Pyramid supports at rooftop condensing units. (VE Item #40). Reference revised Sheet ME2.1
- 35) Utilize an alternative light fixture package in lieu of the specified light fixtures. Conditional upon review of shop drawings and submittals. (VE Item #41)
- 36) Utilize SER aluminum feeders in lieu of aluminum feeders. (VE Item #42). Reference revised Sheet E6.2
- 37) Omit sales taxes from all material purchases. (VE Item #43)
- 38) Reduction in Storefront (VE Item #44) Reference revised Sheets A2.1, A3.1 and A10.2
 - a. Omit Storefront Windows C & D, replace all with Window A.
 - b. Storefront Door 101 (frame type 5) has been reduced in size.
 - c. Storefront window F has been eliminated.
 - d. Door 102 has been changed to a Solid Core Wood Door with Hollow Metal Frame, Frame type 1.
 - e. Door 104 has been changed to a Solid Core Wood Door (type L) with PVC Composite Frame (type 1). Door and frame to be rated 20-minute.
 - f. Doors 107, 109, 111 & 112 have been changed to a Solid Core Wood Door with Hollow Metal Frame.
- 39) Utilize a \$200,000 landscaping and irrigation allowance in lieu of received bids. (VE Item #46). Landscaping design must meet City's requirements and calculations as noted on the landscaping plan. Final design will be subject to Architect's review and approval.
- 40) Omit all individual unit water submeters from the project. (VE Item #47). Reference revised sheets P5.2 and P5.3
- 41) Omit the island casework in Community Room #106. (VE Item #48). Reference revised plans and details on A2.1 and A8.2.

Attachments:

1. Revised Architectural Sheets: A2.0, A2.1 A3.1, A3.2, A3.3, A4.1, A4.2, A4.6, A4.7, A4.8, A6.1, A6.2, A6.3, A7.1, A7.2, A7.3, A7.4, A8.2, A8.3, A10.2
2. Revised MEP Sheets: ME2.1, E6.2, P2.5, P4.1, P4.2, P4.3, P5.2, P5.3, P6.1

Issued by:

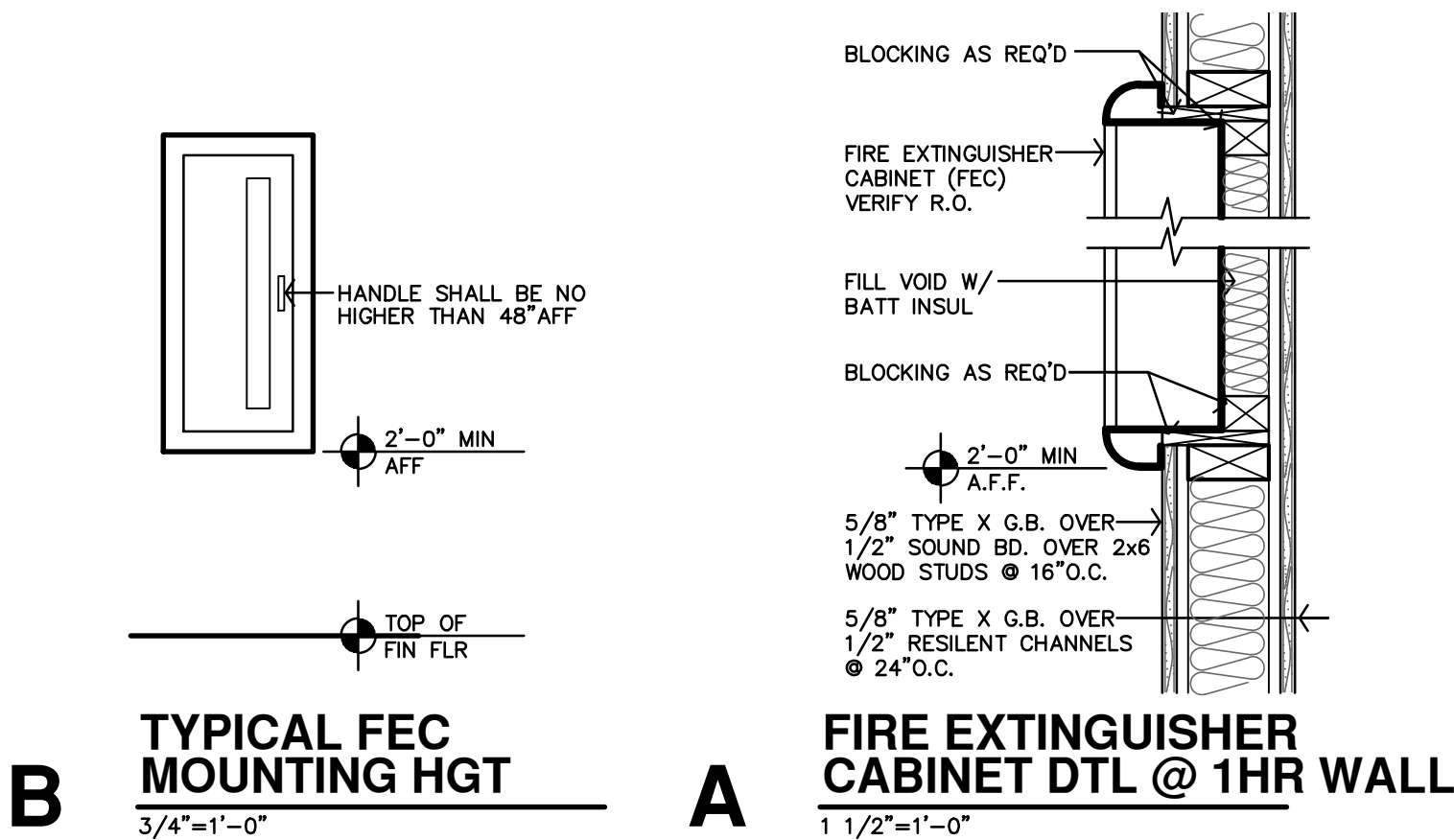
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Copies to:

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Dan Maximuk, April Engstrom – Overland Property Group
John Lewis-Smith, Ryan Lies – LST
Mike Falbe – BDC
Andrea Taylor – MMA

PROJECT UNIT SUMMARY						
BUILDING LABEL	FLOORS	UNITS #			COMMON USE SF	TOTAL SF
		1 BD	2 BD	3 BD		
APT BLDG	4	20	28	12	53,376	13,581
		60				66,957

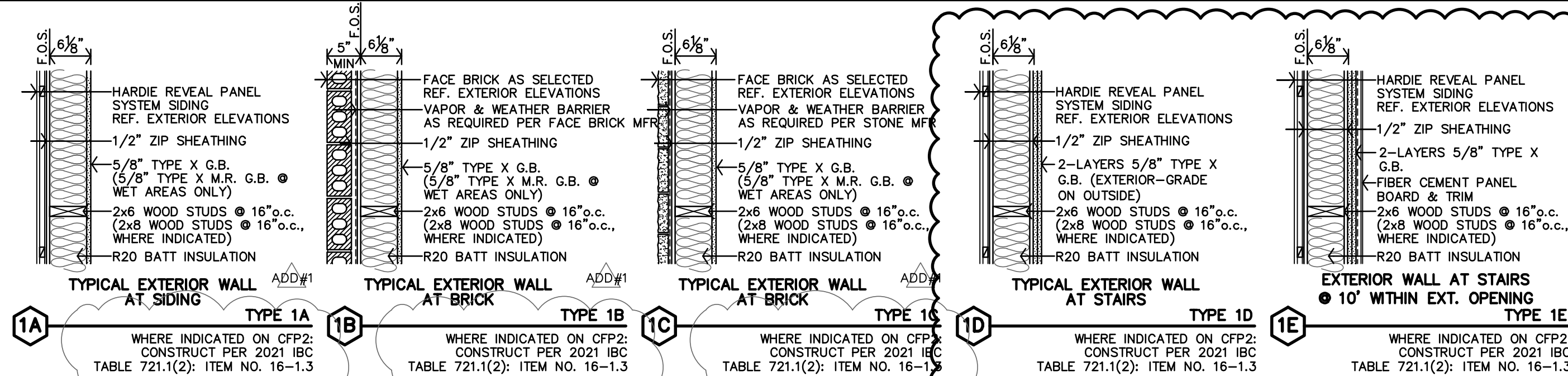


APARTMENT CHART	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
ACCESSIBLE UNITS (w/ REMOVEABLE TUB SEAT)	123	219	321		3
HEARING/VISION IMPAIRED & ADAPTABLE UNITS		218		424	2
ALL REMAINING UNITS ADAPTABLE	111,112,113,114, 116,118,121,124, 126,127,128,129, 131	211,212,213,214, 216,217,221,223, 224,226,227, 228,229,231	311,312,313,314, 316,317,318,319, 323,324,326, 327,328,329,331	413,414,416,417, 418,419,421,423, 426,427,428,429, 431	55
TOTAL	14	16	16	14	60

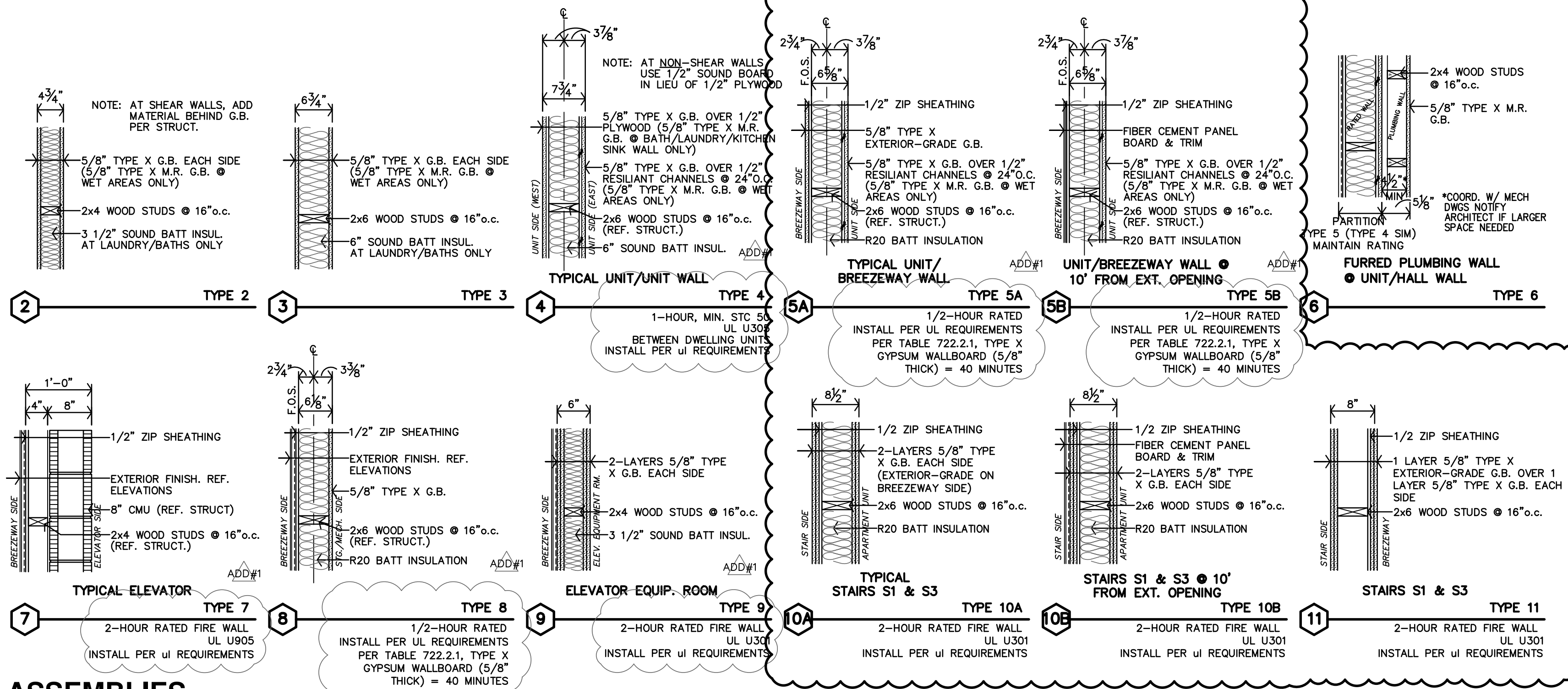
ARCHITECTURAL GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
- INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
- ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
- ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MINIMUM CLEARANCE REQUIRED.
- IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
- DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA.
- FEC - INDICATES LOCATION OF RECESSED FIRE EXTINGUISHER CABINET, REF. SPECS. AND DETAILS A/B-A2.0. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2021 IBC, SECTION 906. REF. SHEET A2.1.
- WHO - INDICATES DOOR WITH MAGNETIC HOLD OPEN.
- F.O.S. - INDICATES DIMENSIONS ARE TO THE FACE OF STUD AT THE EXTERIOR/BREEZEWAY WALLS U.N.O.
- FURNITURE SHOWN IS BY OWNER.
- INDICATES RADON PIPE LOCATION. REF. MEP DRAWINGS.

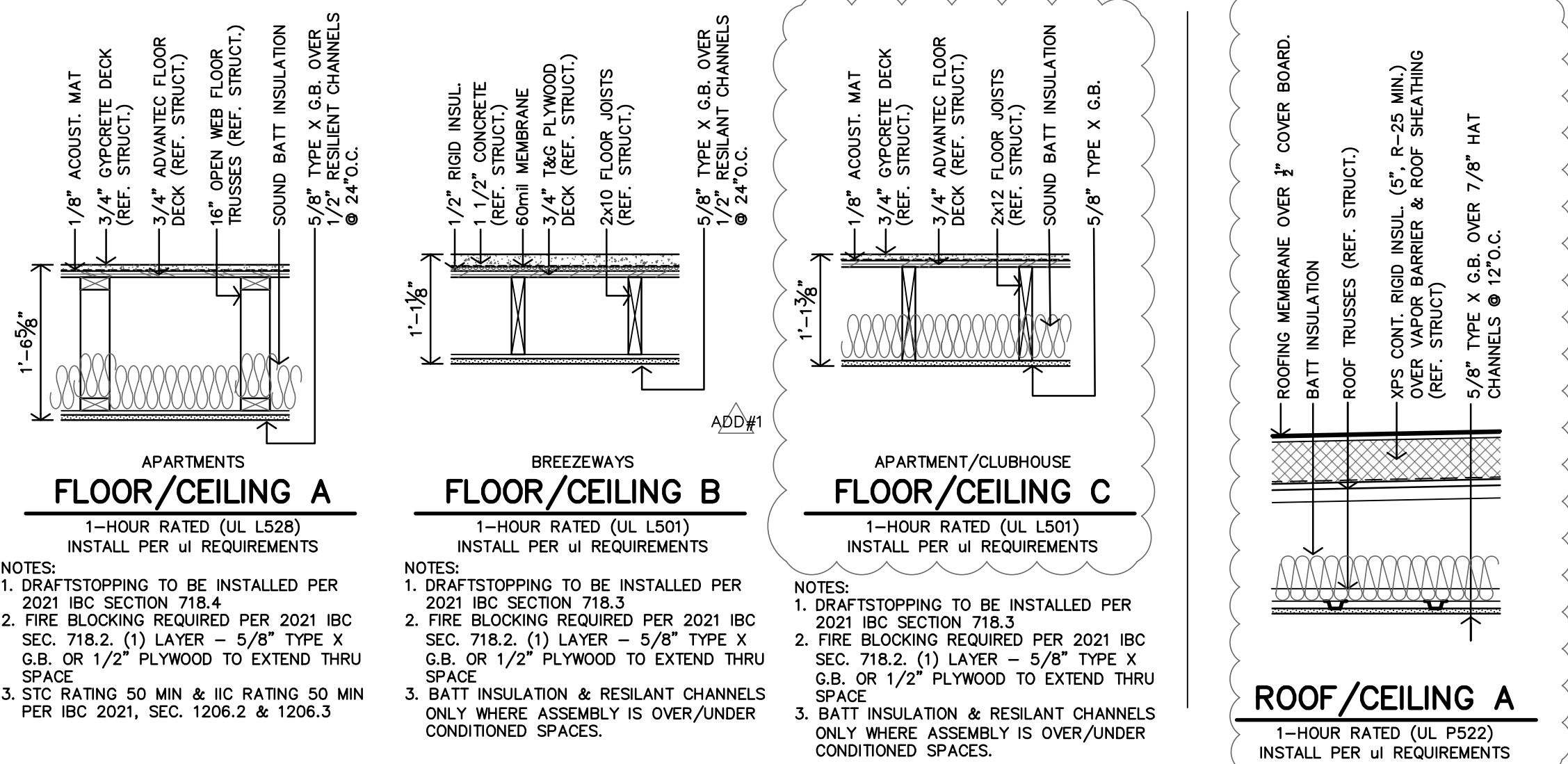
EXTERIOR PARTITION SCHEDULE

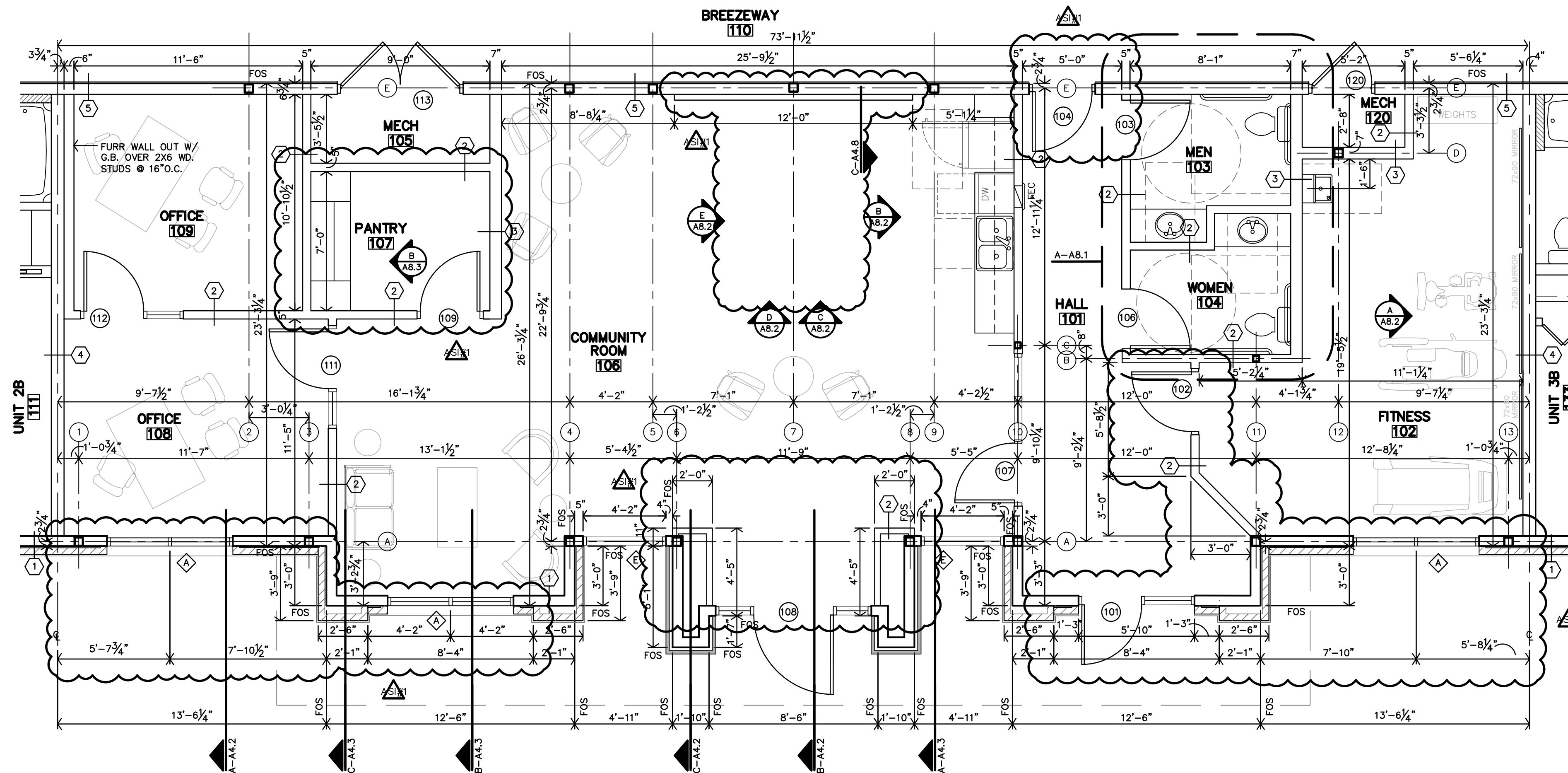


INTERIOR PARTITION SCHEDULE



ASSEMBLIES



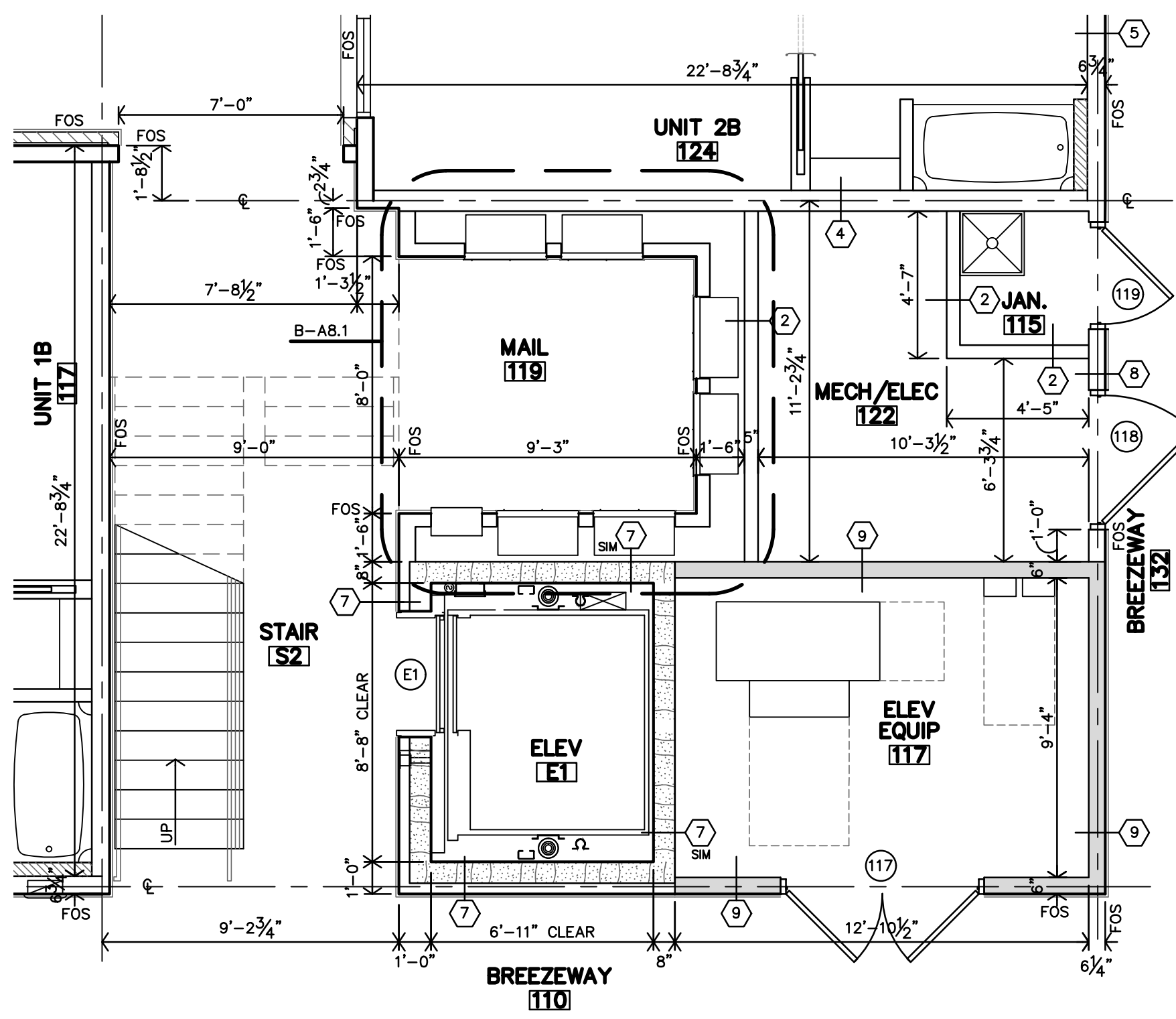


B ENLARGED PARTIAL FLOOR PLAN
1/4"=1'-0"

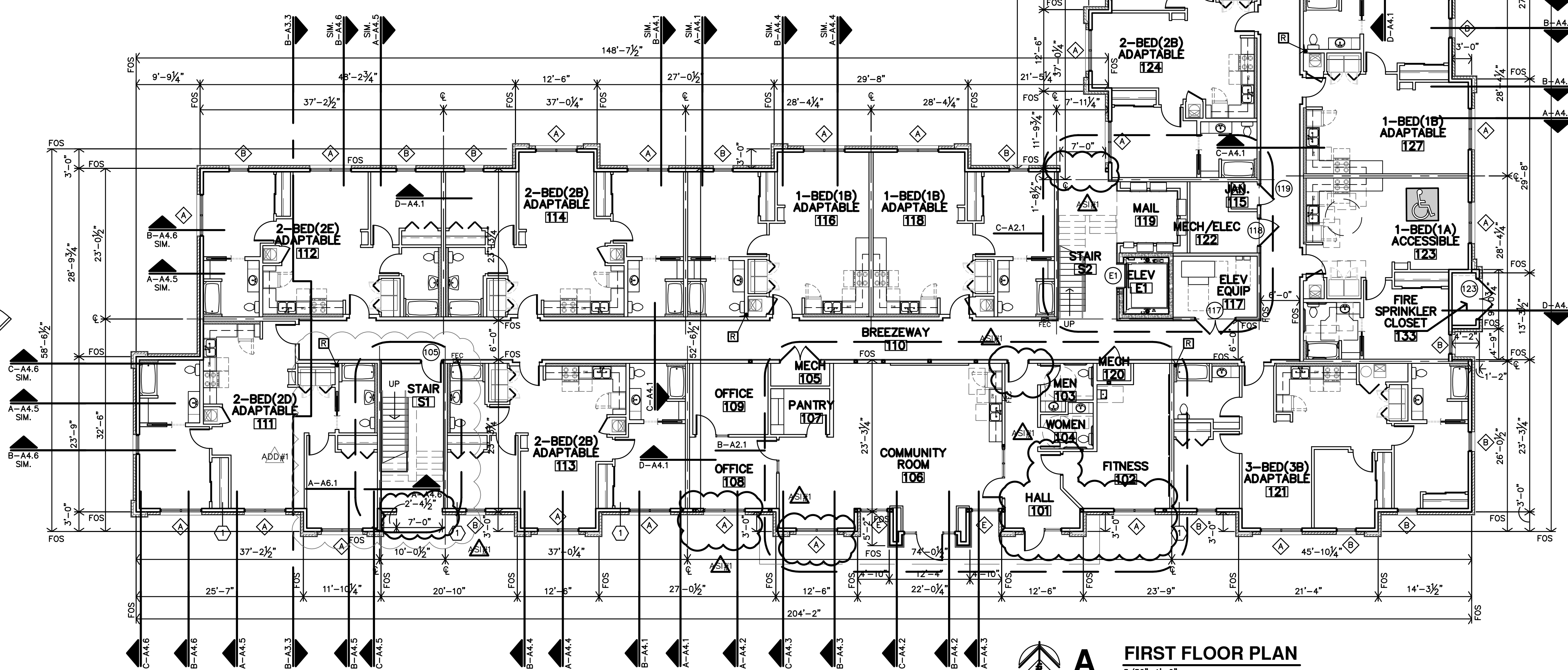
NOTES

1. REF. SHEET A2.0 FOR GENERAL NOTES.
2. REF. SHEET A2.0 FOR PARTITION SCHEDULES & ASSEMBLIES.
3. FURR WALLS TO HIDE 4" ROOF DRAIN PIPES SHOWN PER PLUMBING SHEETS. UNIT CLOSETS & CORNER LOCATIONS.

INDICATES RADON PIPE LOCATION. REF. 0-A4.7 AND MEP DRAWINGS.



C ENLARGED PARTIAL FLOOR PLAN
1/4"=1'-0"



A FIRST FLOOR PLAN
3/32"=1'-0"

THE RESERVES at MAGNOLIA
NEW APARTMENT COMPLEX

DENTON, TEXAS



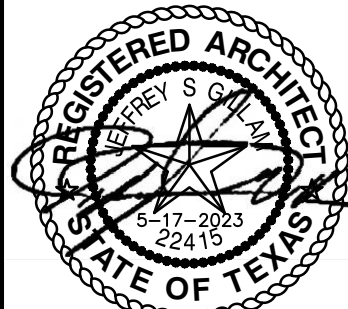
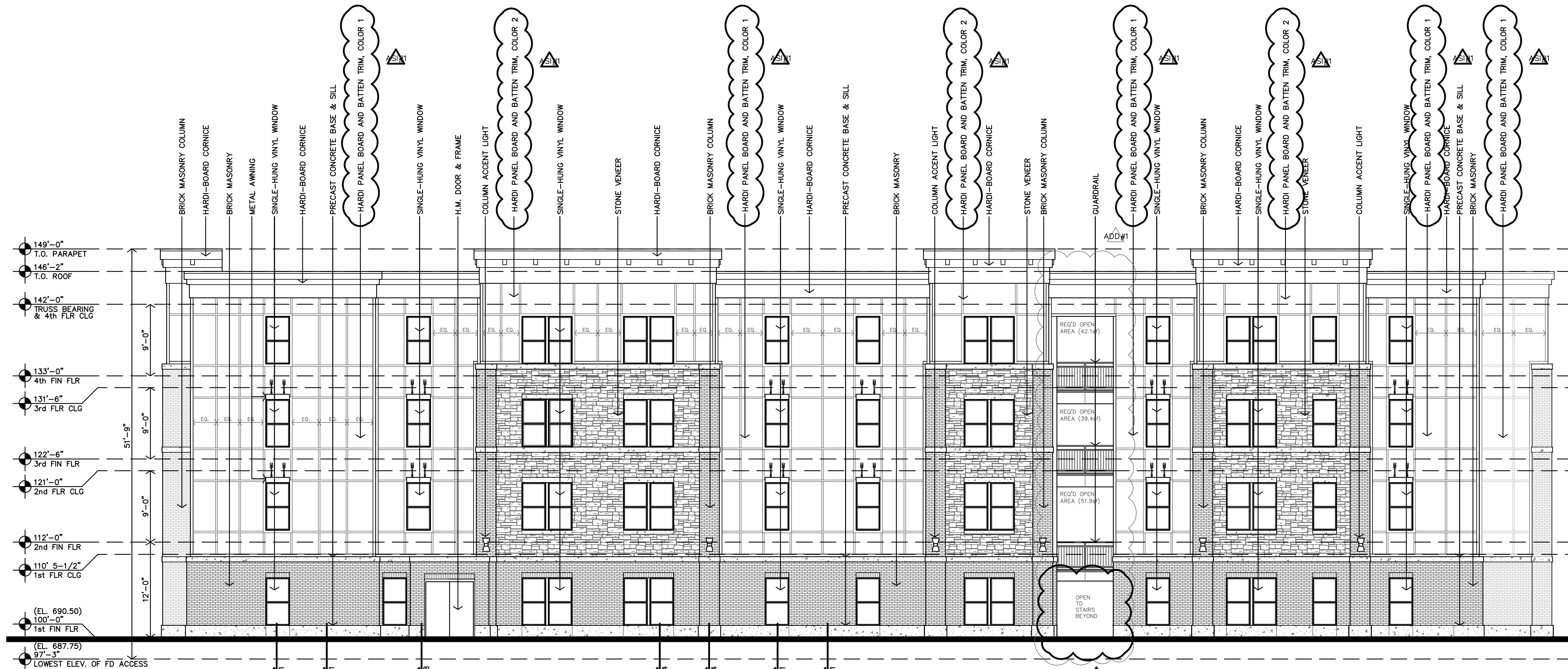
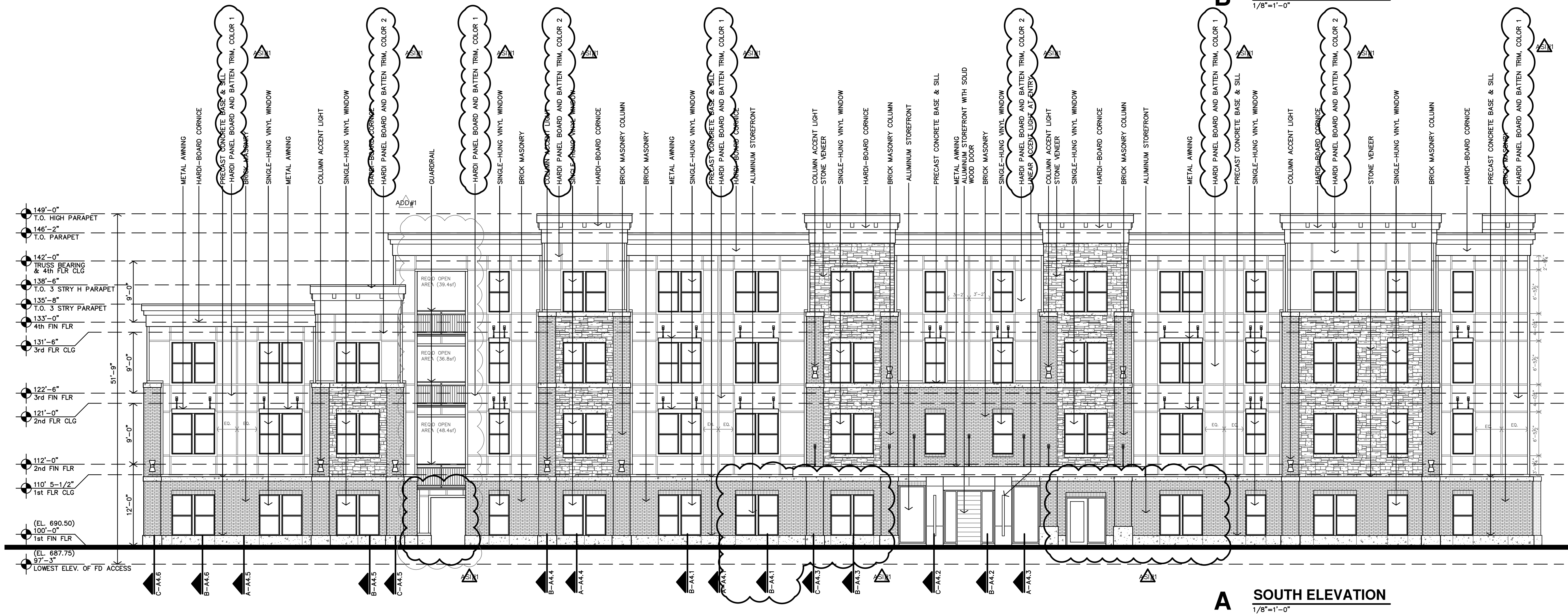
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A2.1

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DENTON DEVELOPMENT CODE & PLANNED DEVELOPMENT (PD22-0001) DESIGN STANDARDS		
DESCRIPTION	REQUIRED	PROVIDED
MAX BUILDING HEIGHT	50' MAX	49'
SOUTH-FACING FACADE SHALL CONSIST OF 25% WINDOWS AND DOORS	25% MIN.	25%
ALL OTHER FACADES SHALL CONSIST OF 15% WINDOWS AND DOORS	15% MIN.	
EAST FACADE		18%
NORTH FACADE		18%
WEST FACADE		16%
ALL FACADES SHALL CONSIST OF AT LEAST 40% STONE, PRECAST OR BRICK	40% MIN.	
SOUTH FACADE		46%
EAST FACADE		44%
NORTH FACADE		40%
WEST FACADE		43%
AT LEAST 15% OF ALL WINDOWS MUST BE FINISHED WITH A CANOPY OF AWNING	15% MIN.	16%
WALL SCONCES MUST BE INSTALLED ALONG GROUND FLOOR AT REGULAR INTERVALS		YES
GROUND FLOOR MUST BE IDENTIFIABLE FROM THE UPPER FLOORS WITH A HORIZONTAL & DIFFERENTIATING EXTERIOR BUILDING MATERIAL		YES
PRIMARY VERTICAL BUILDING PROJECTIONS MUST HAVE DIFFERENTIATING EXTERIOR BUILDING MATERIAL		YES
PRIMARY ENTRANCE ON THE SOUTH FACADE MUST BE DISTINGUISHED BY A CANOPY OR AWNING		YES
ALL FLAT ROOFS SHALL PROVIDE A DECORATIVE CORNICE		YES



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75%	7-17-2024
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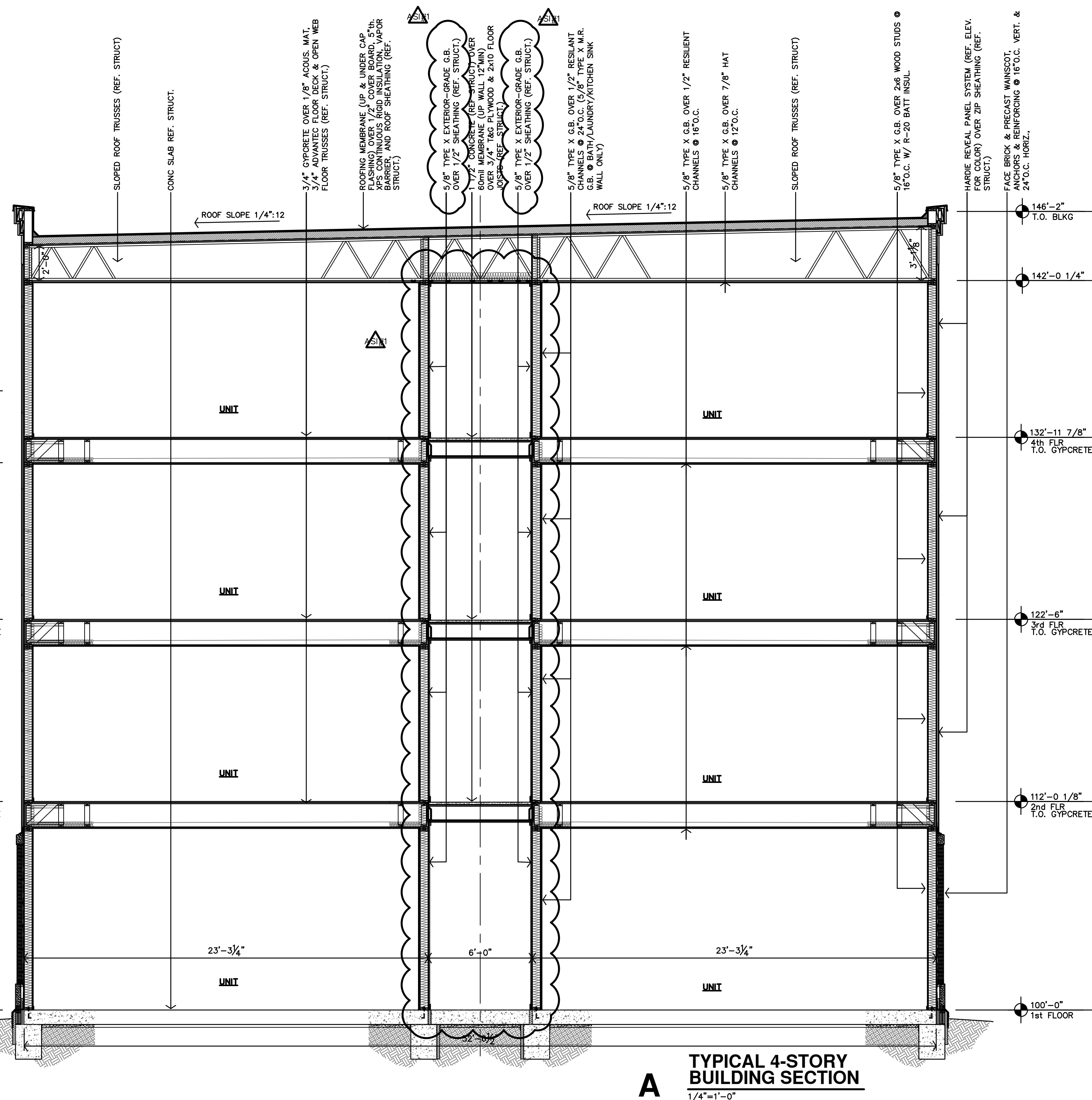
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THE RESERVES at MAGNOLIA
NEW APARTMENT COMPLEX
DENTON,
TEXAS

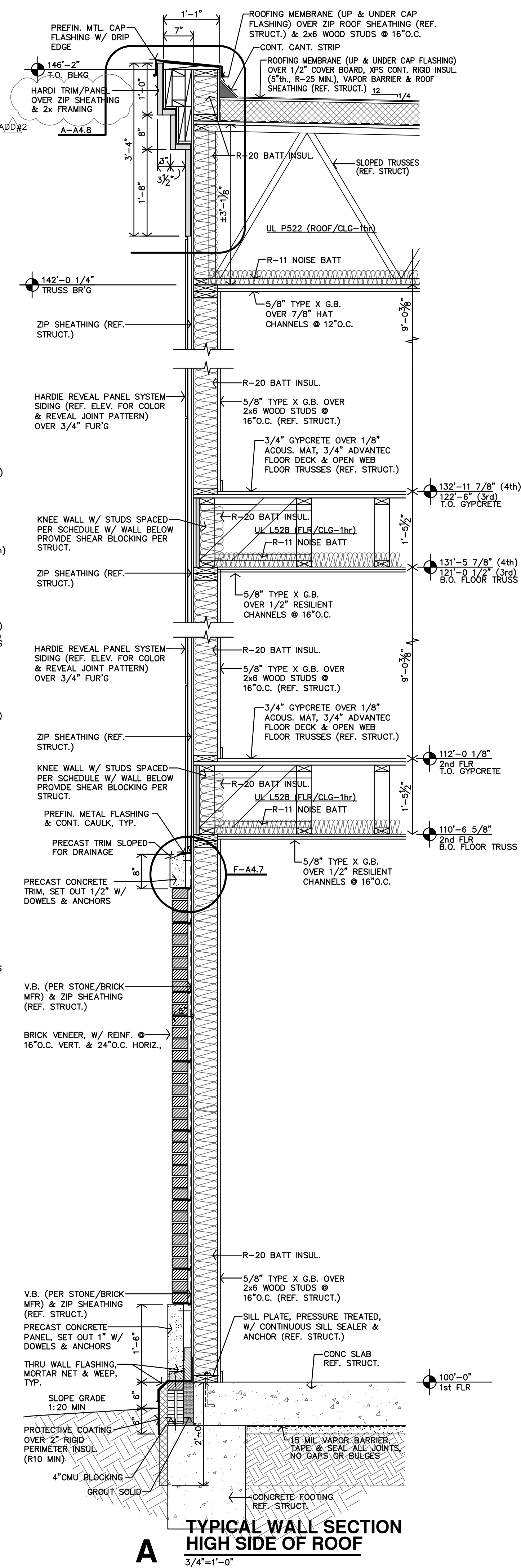
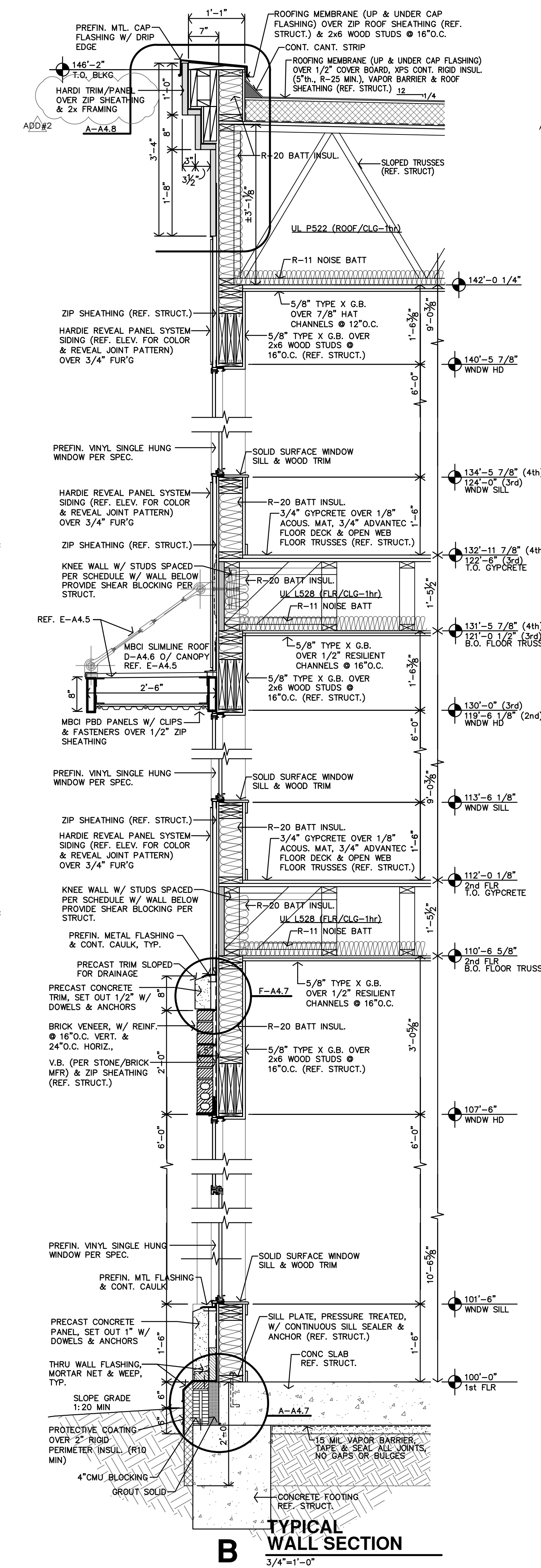
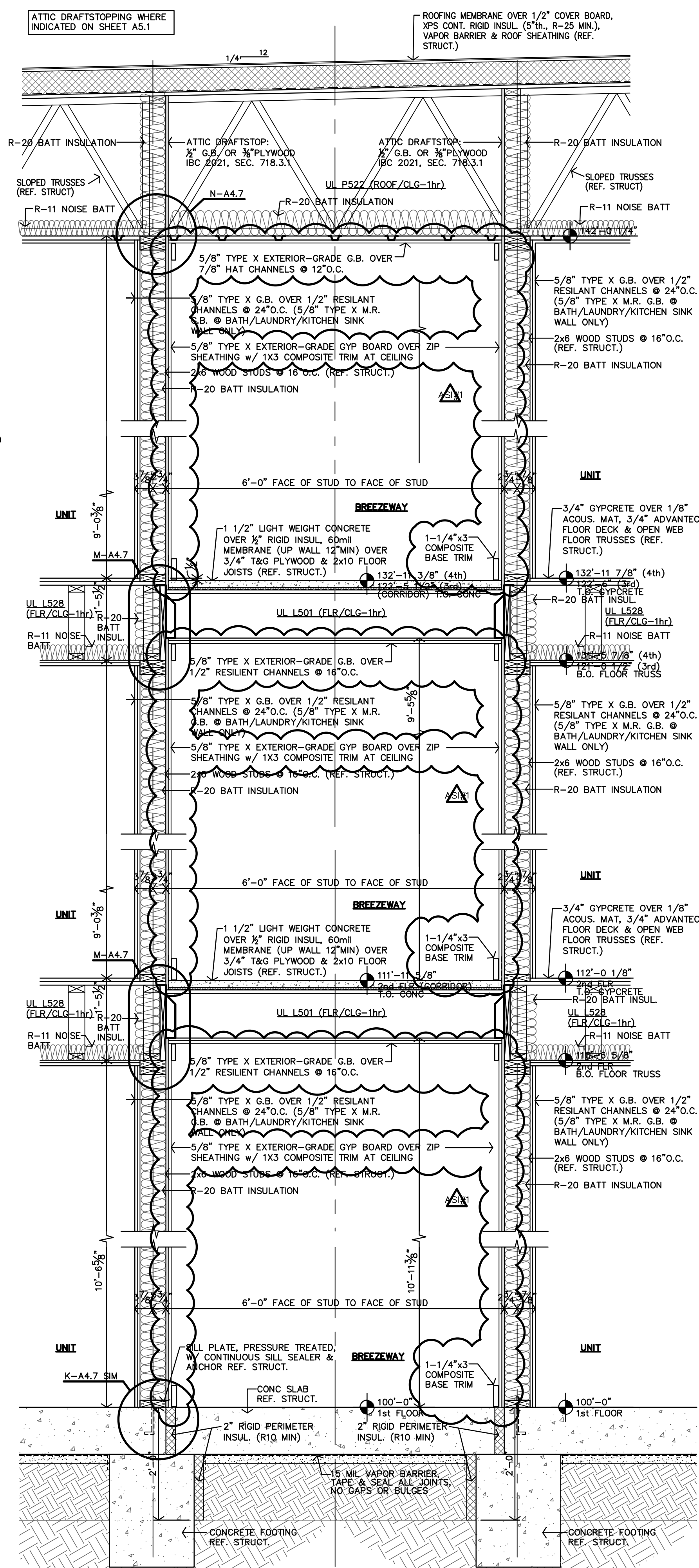
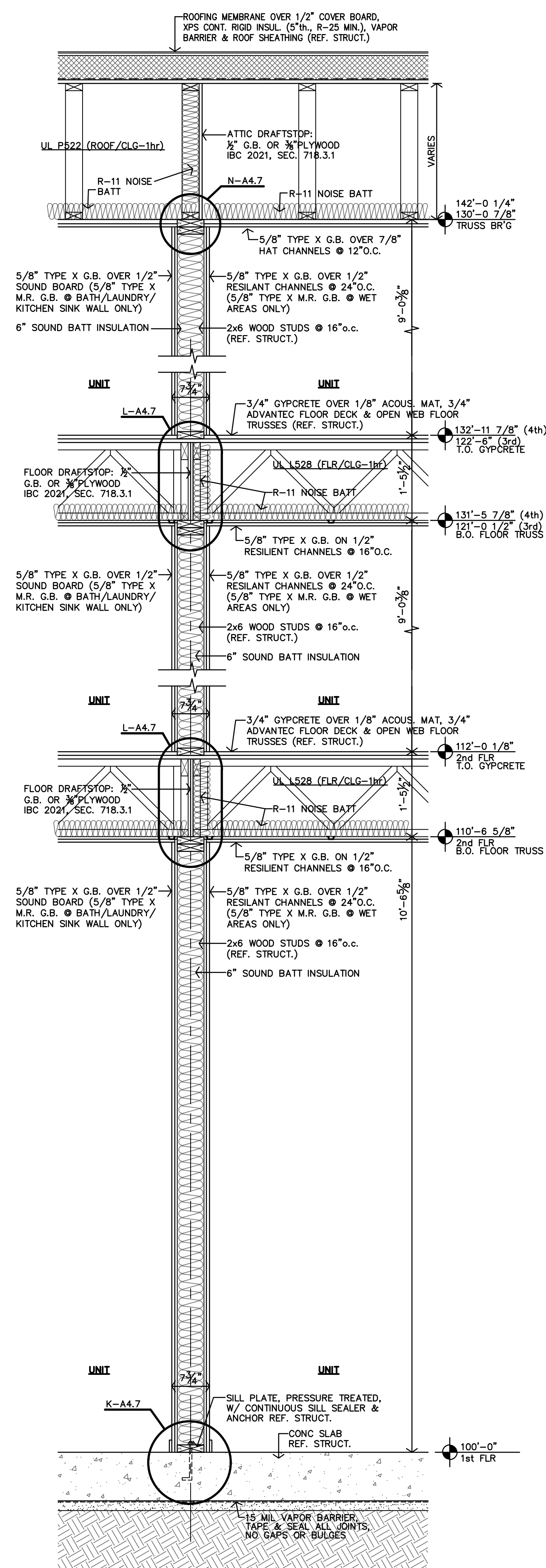
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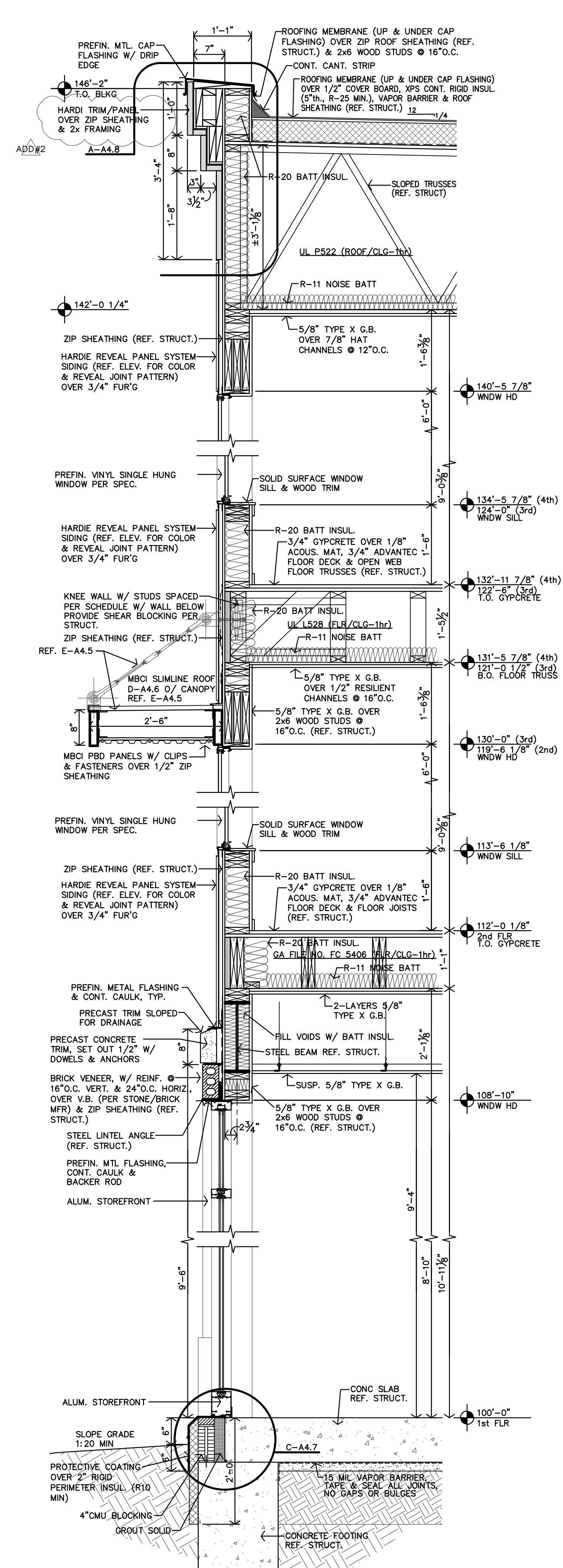
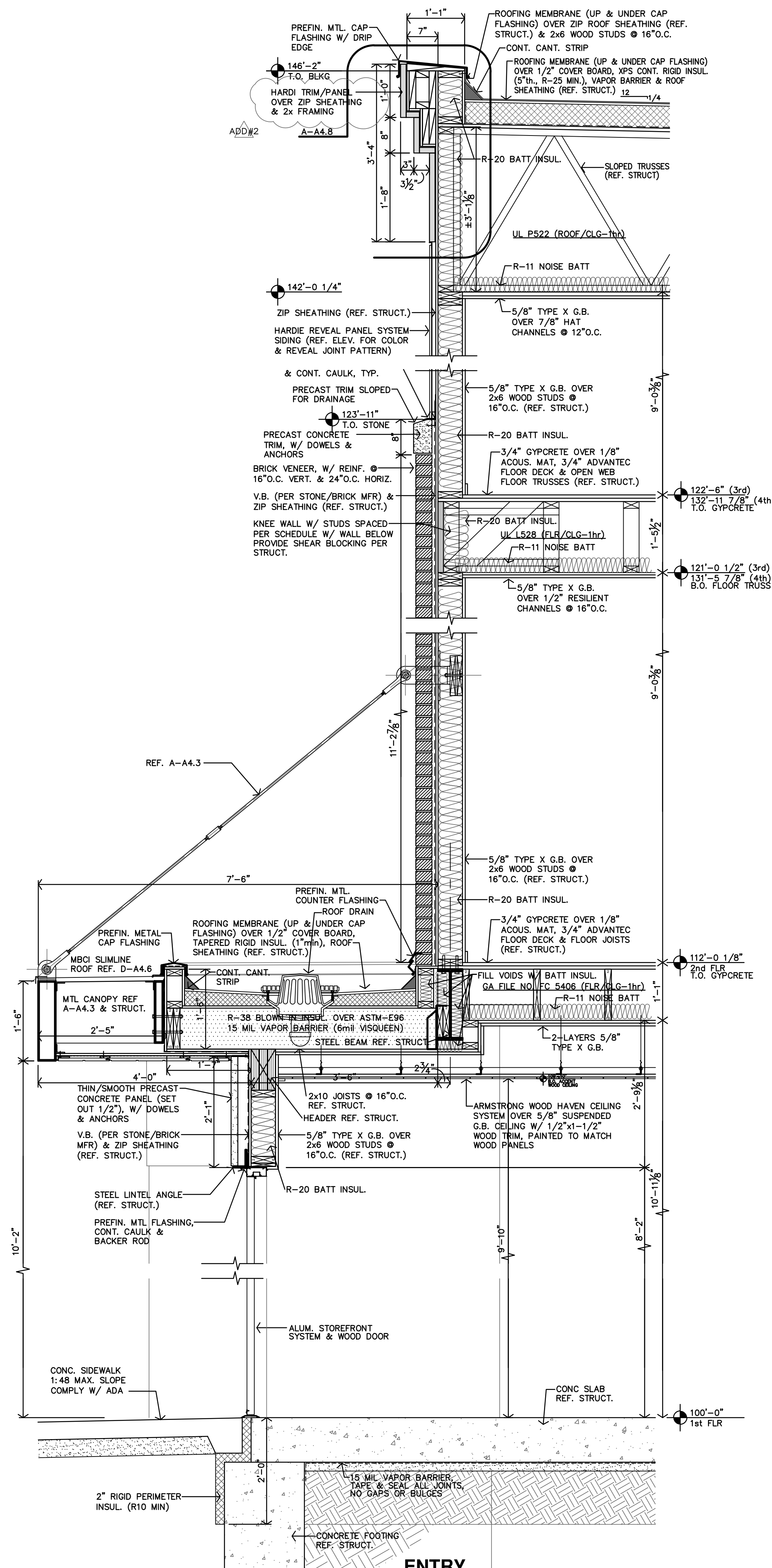
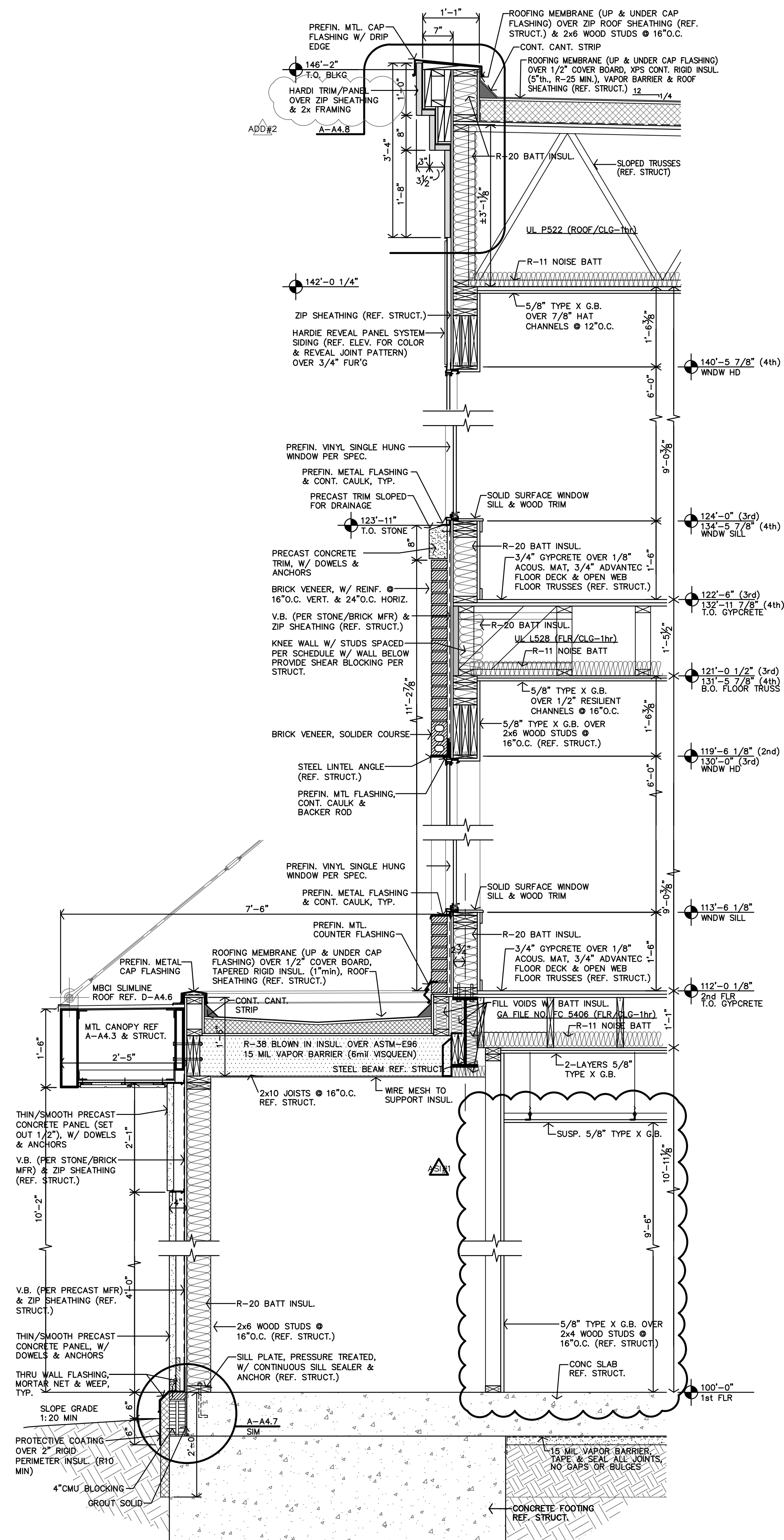
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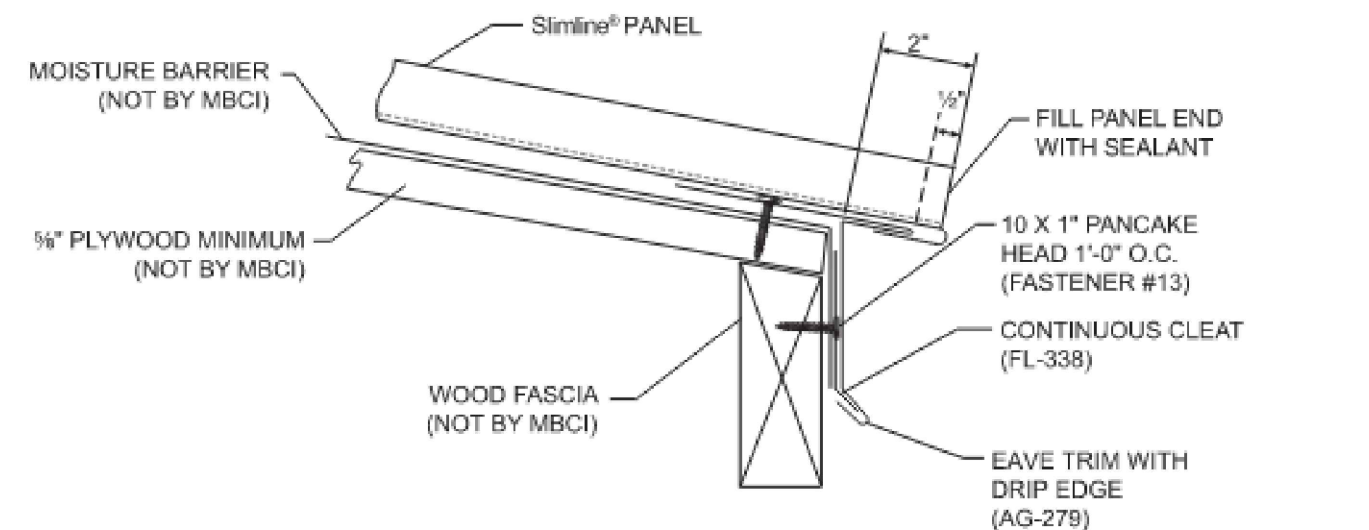
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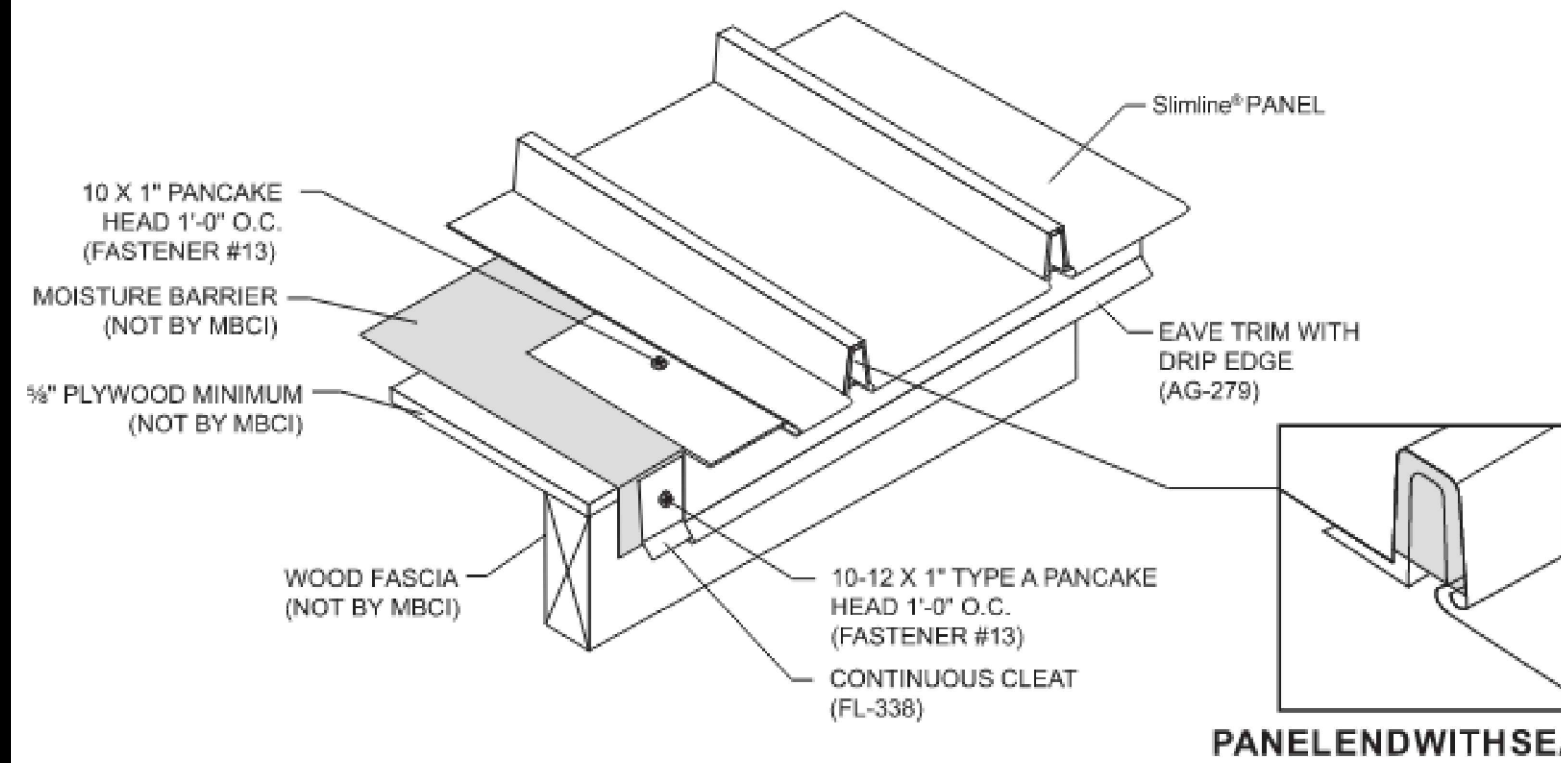




EAVE TRIM WITH DRIP EDGE

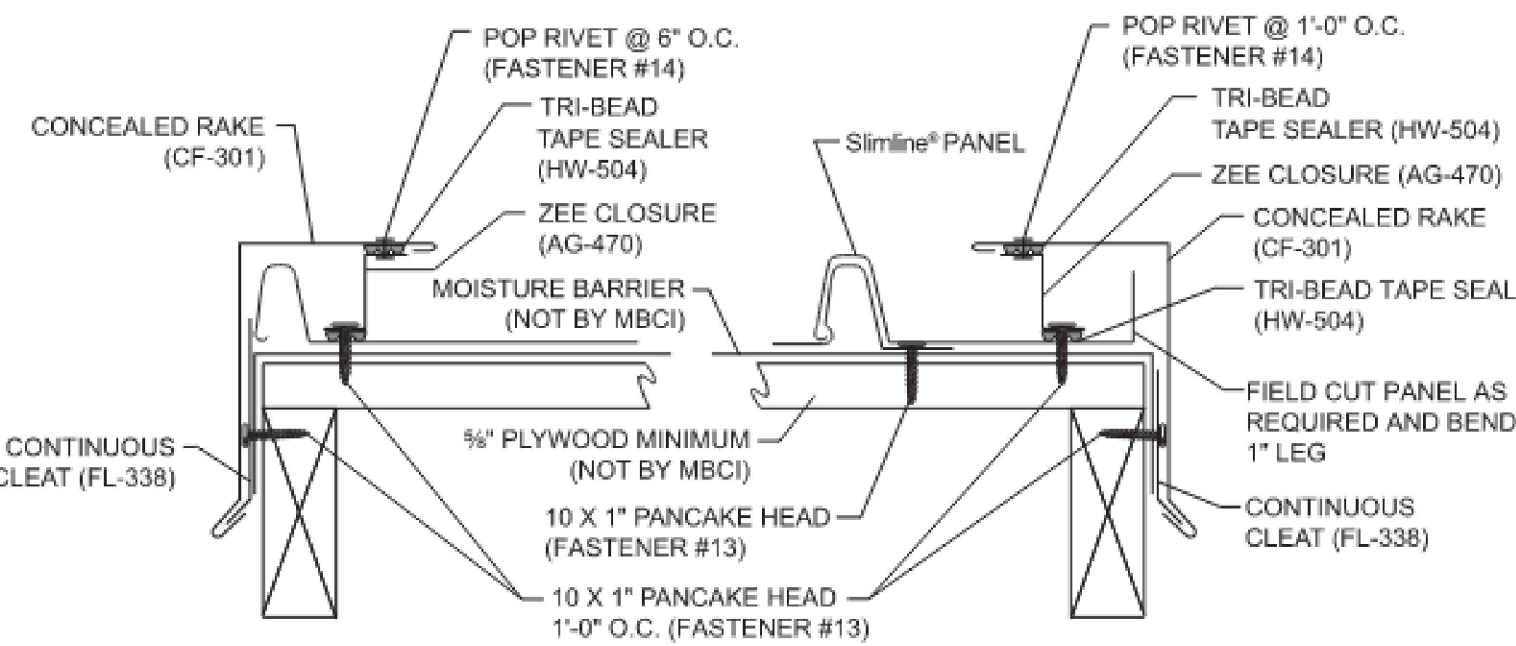


CROSS SECTION OF EAVE TRIM WITH DRIP EDGE



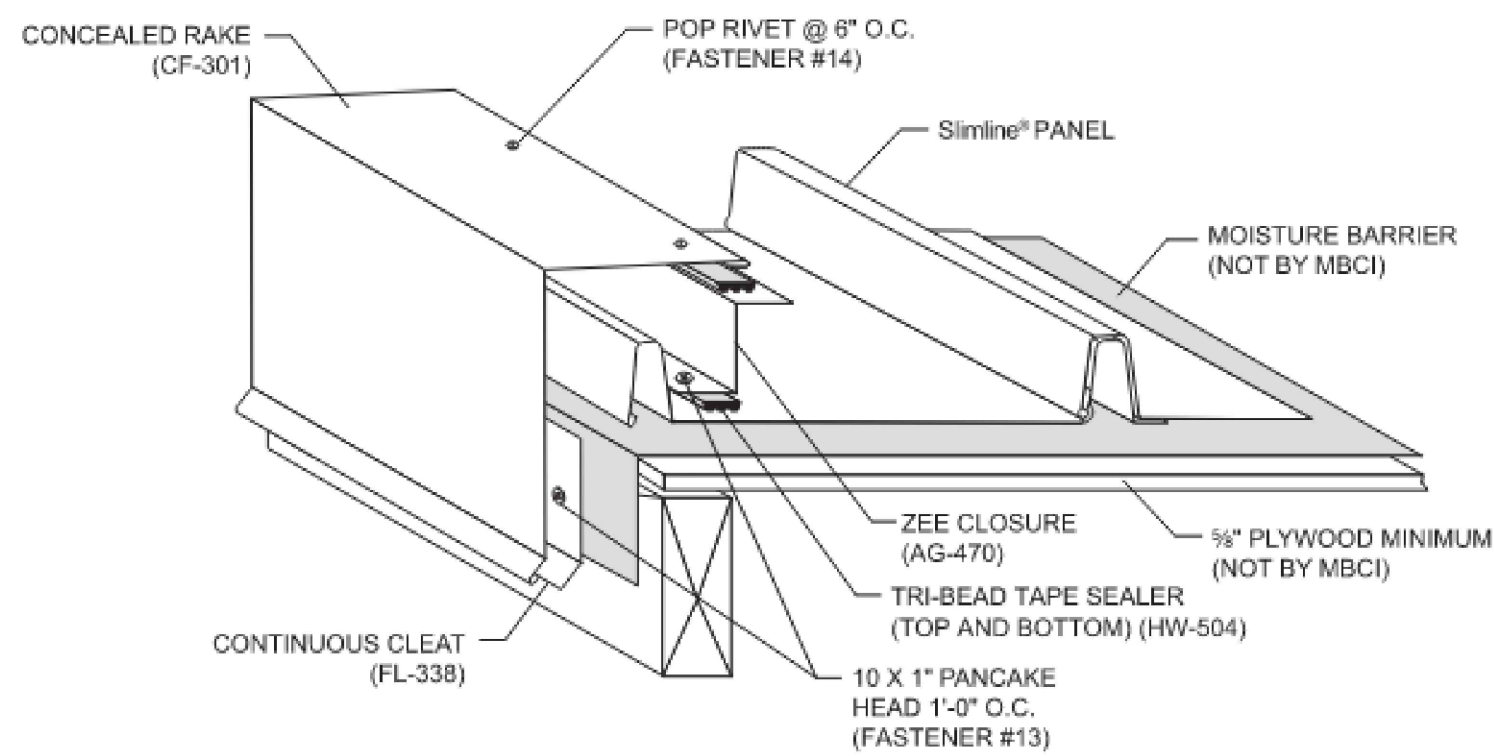
PANEL END WITH SEALANT

RAKE

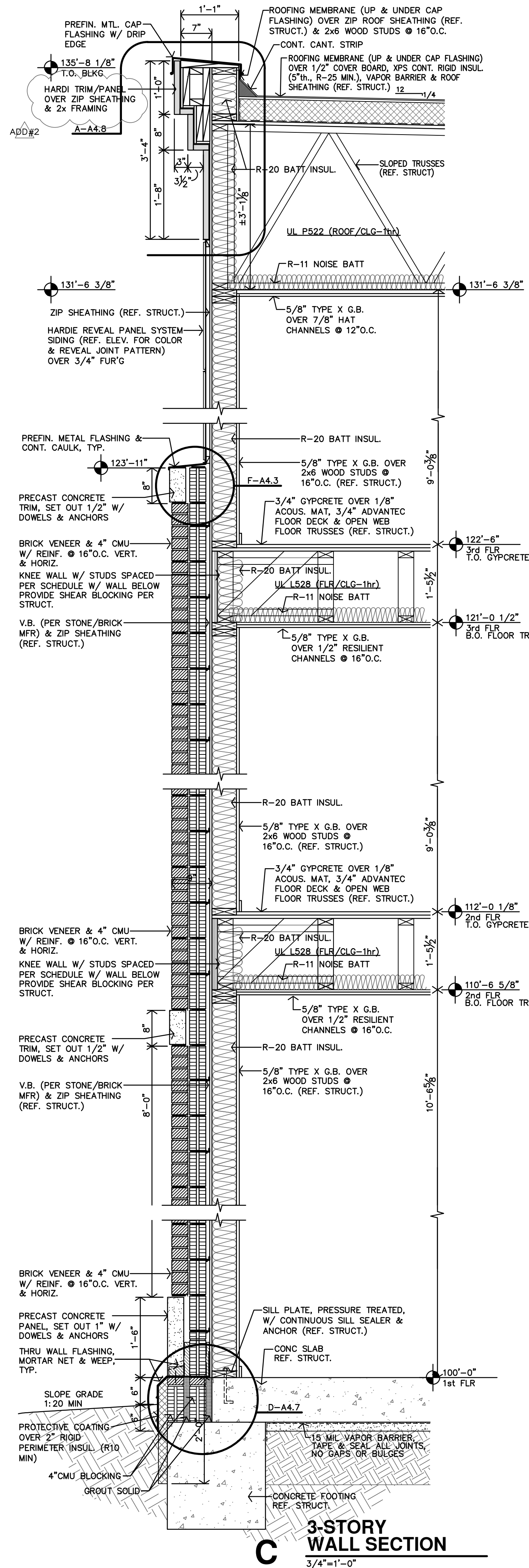


BEGINNING ON MODULE

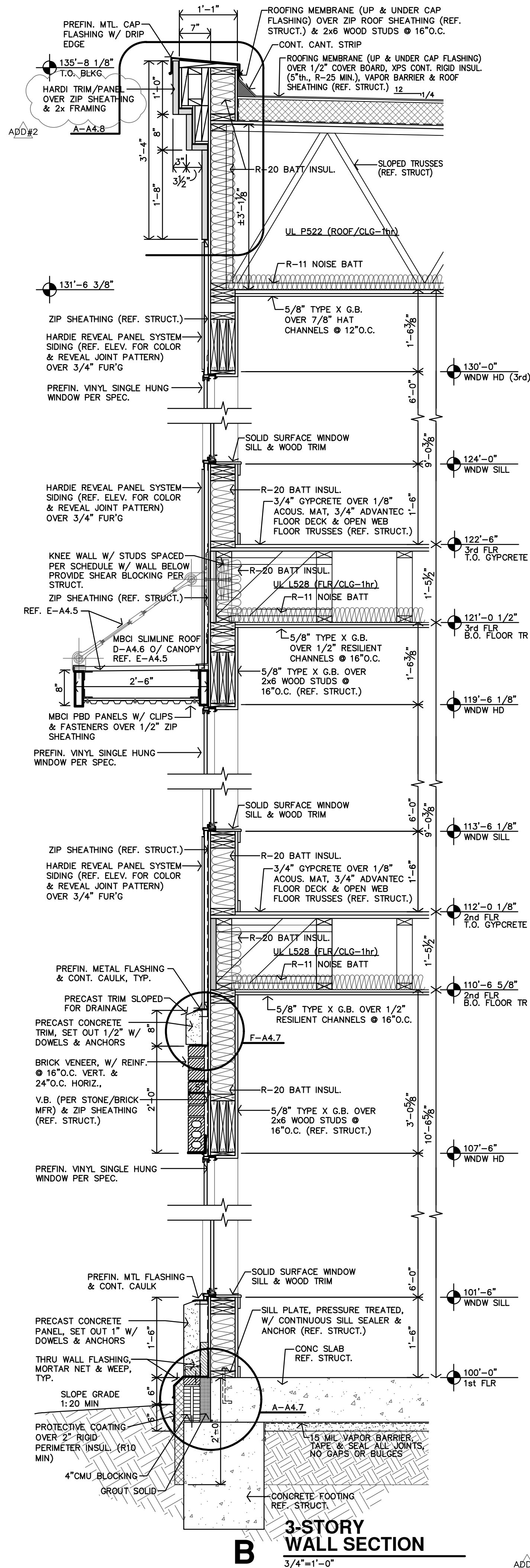
FINISHING OFF MODULE



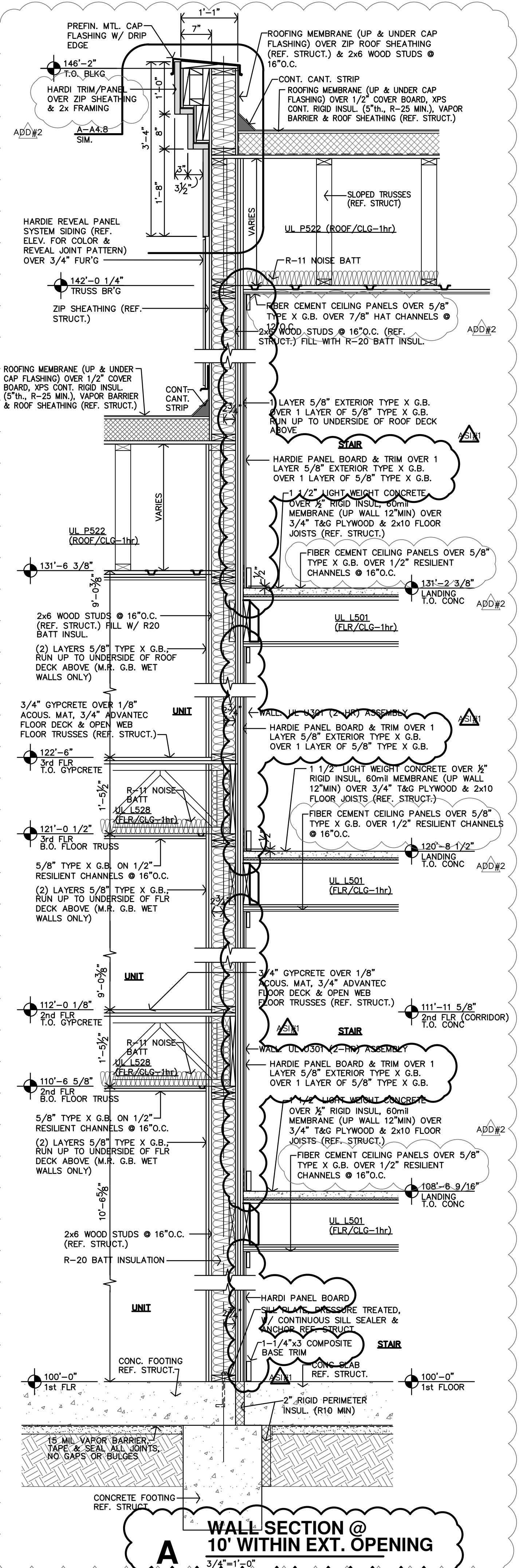
MBCI SLIMLINE ROOF SYSTEM
NTS



3-STORY WALL SECTION
3/4"=1'-0"



3-STORY WALL SECTION
3/4"=1'-0"

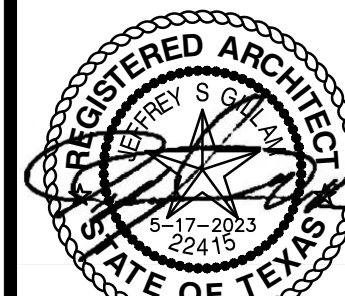


WALL SECTION @ 10' WITHIN EXT. OPENING
3/4"=1'-0"

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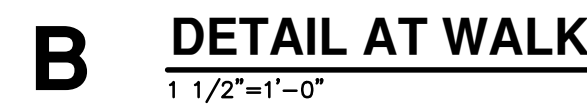
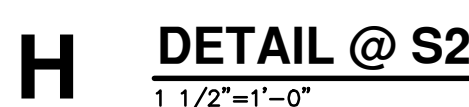
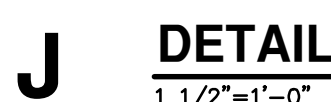
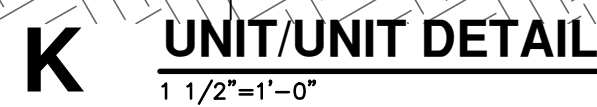
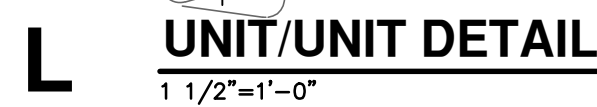
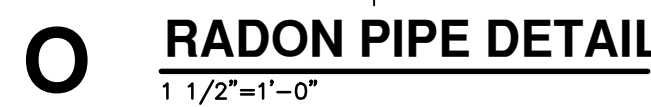
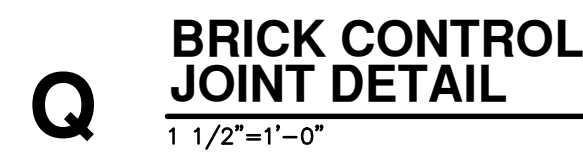
THE RESERVES at MAGNOLIA
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DENTON, TEXAS



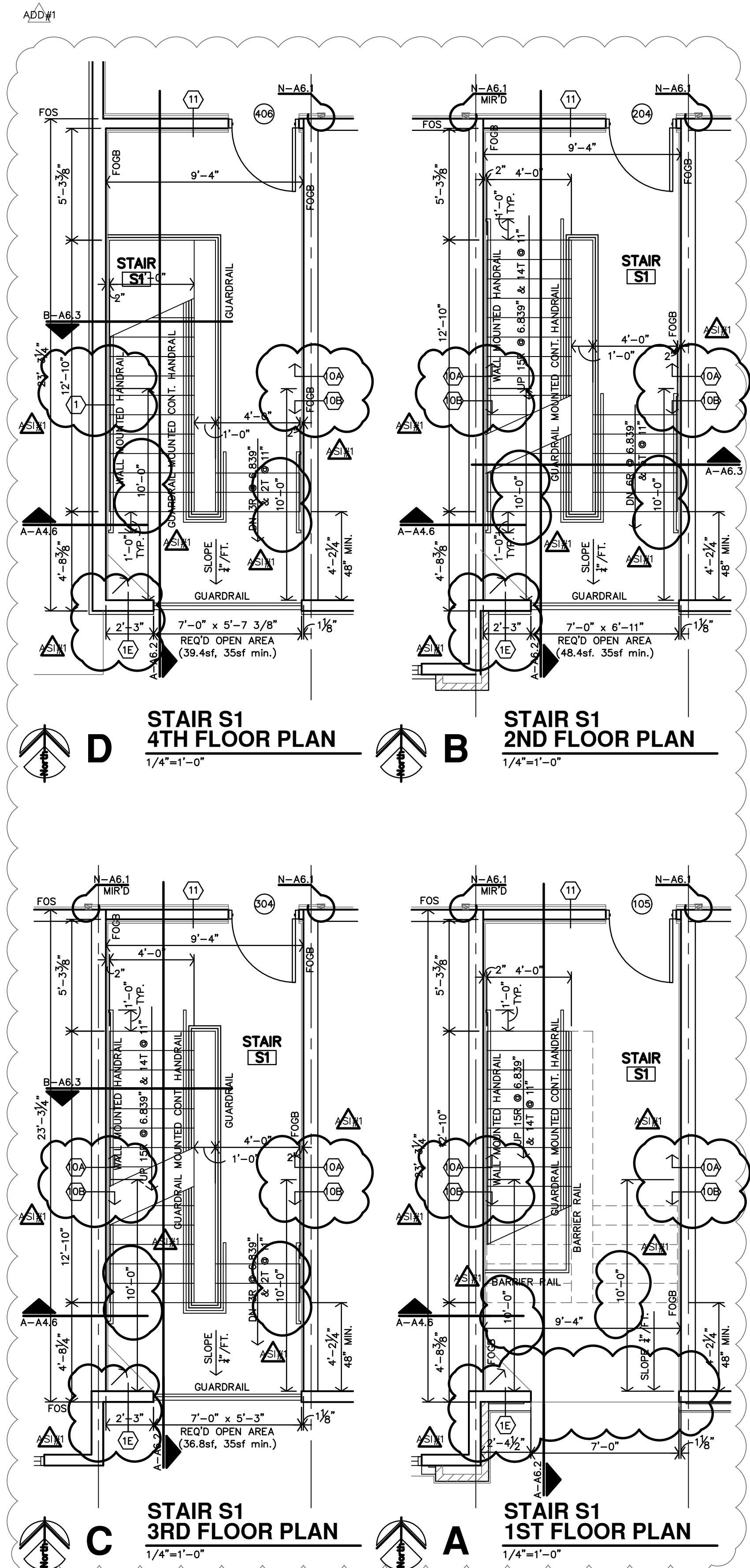
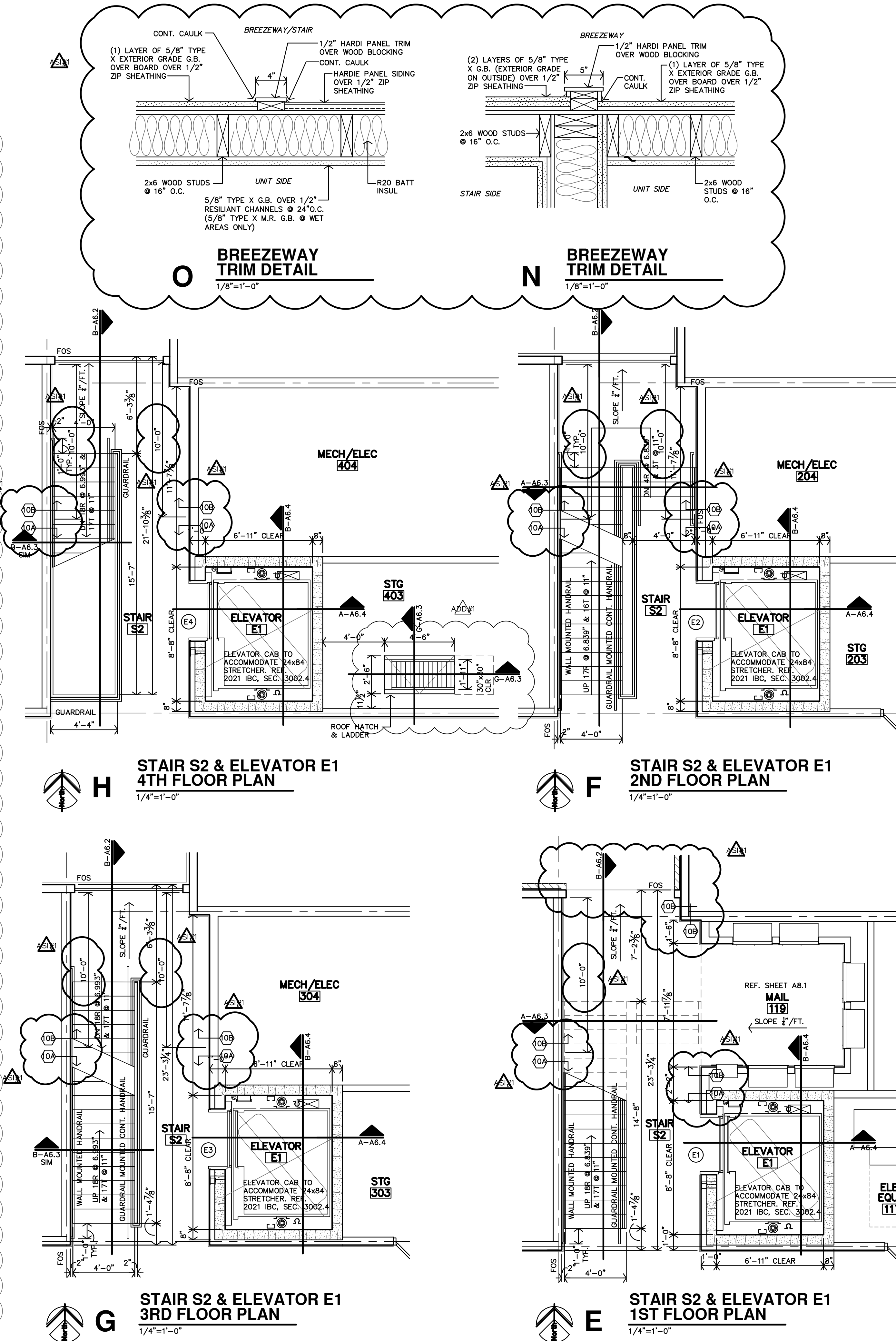
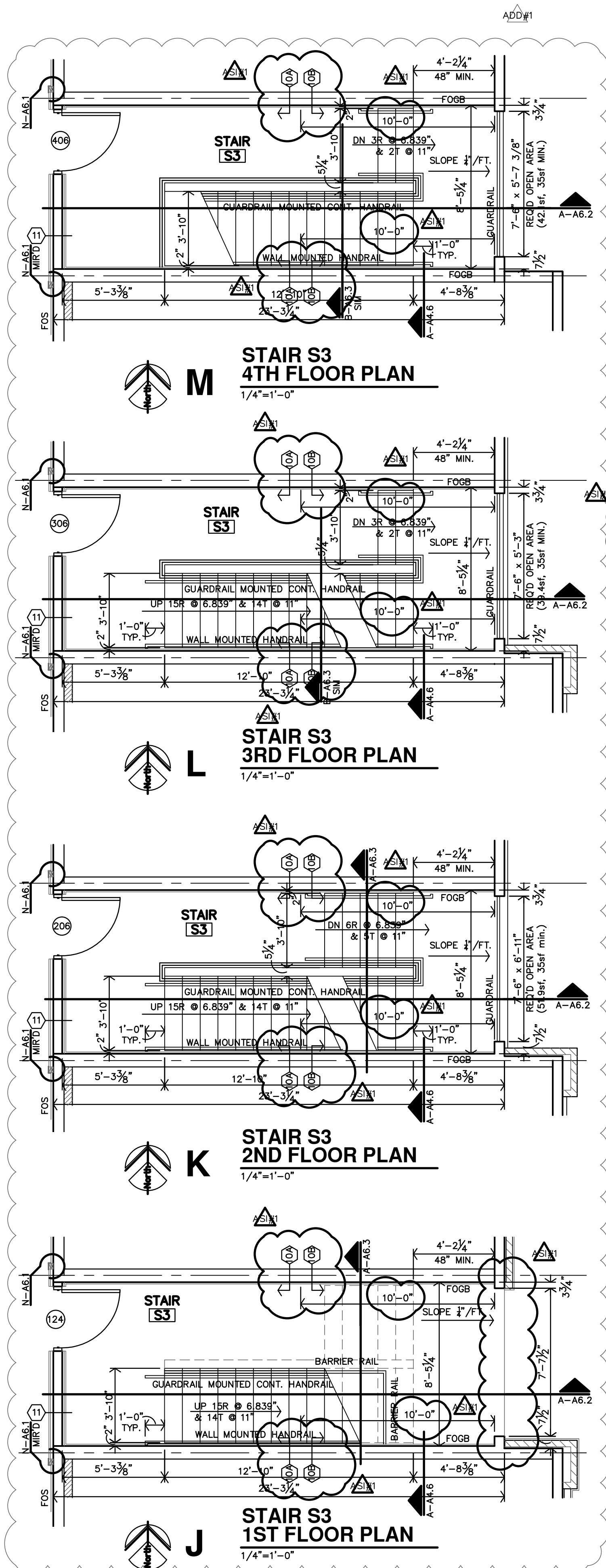
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ADD#1	6-19-2023
ADD#2	9-8-2023
ADD#3	7-22-2024
DATE:	5-17-2023
JOB:	21-3205
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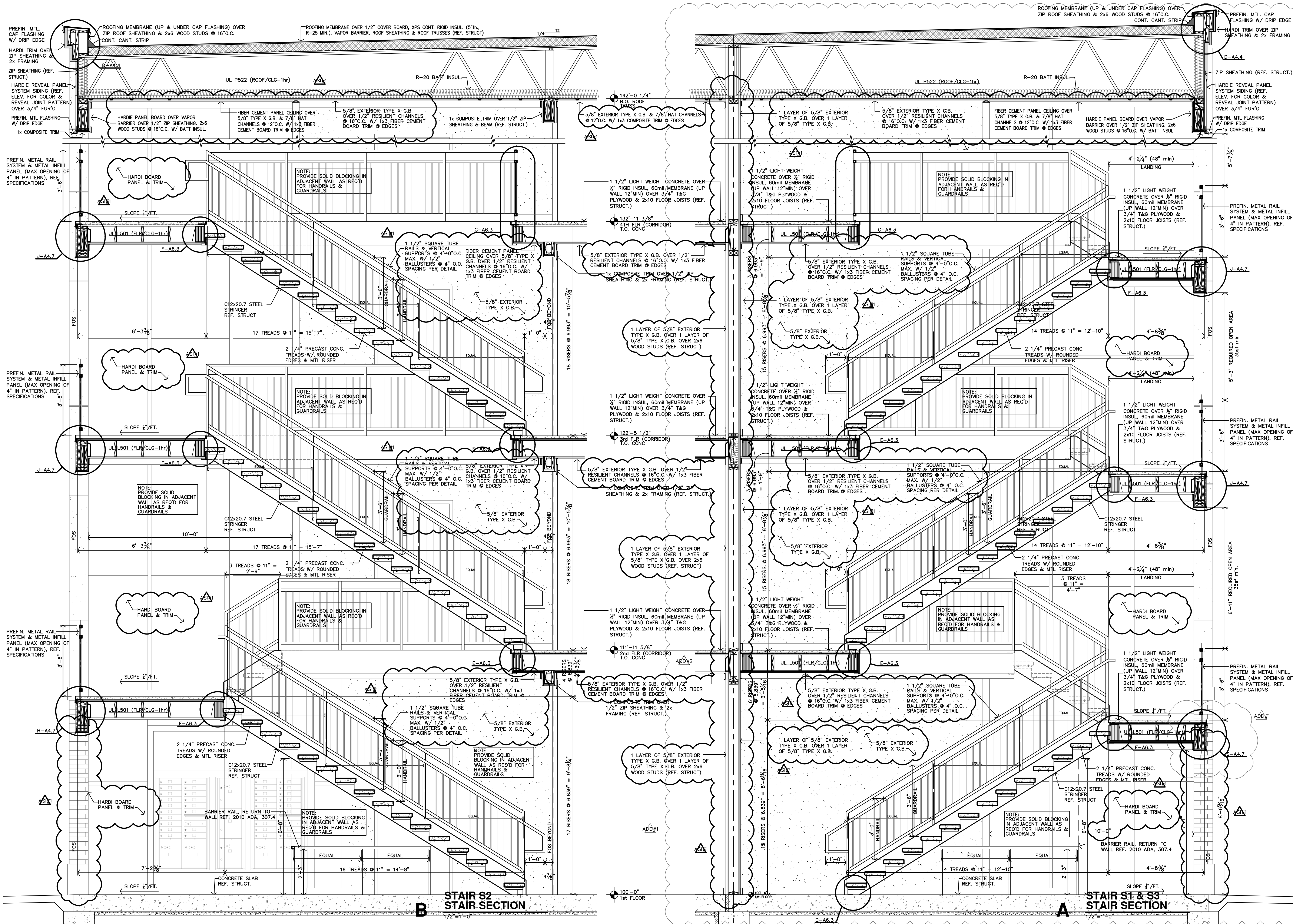


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6-19-2023
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DENTON, TEXAS

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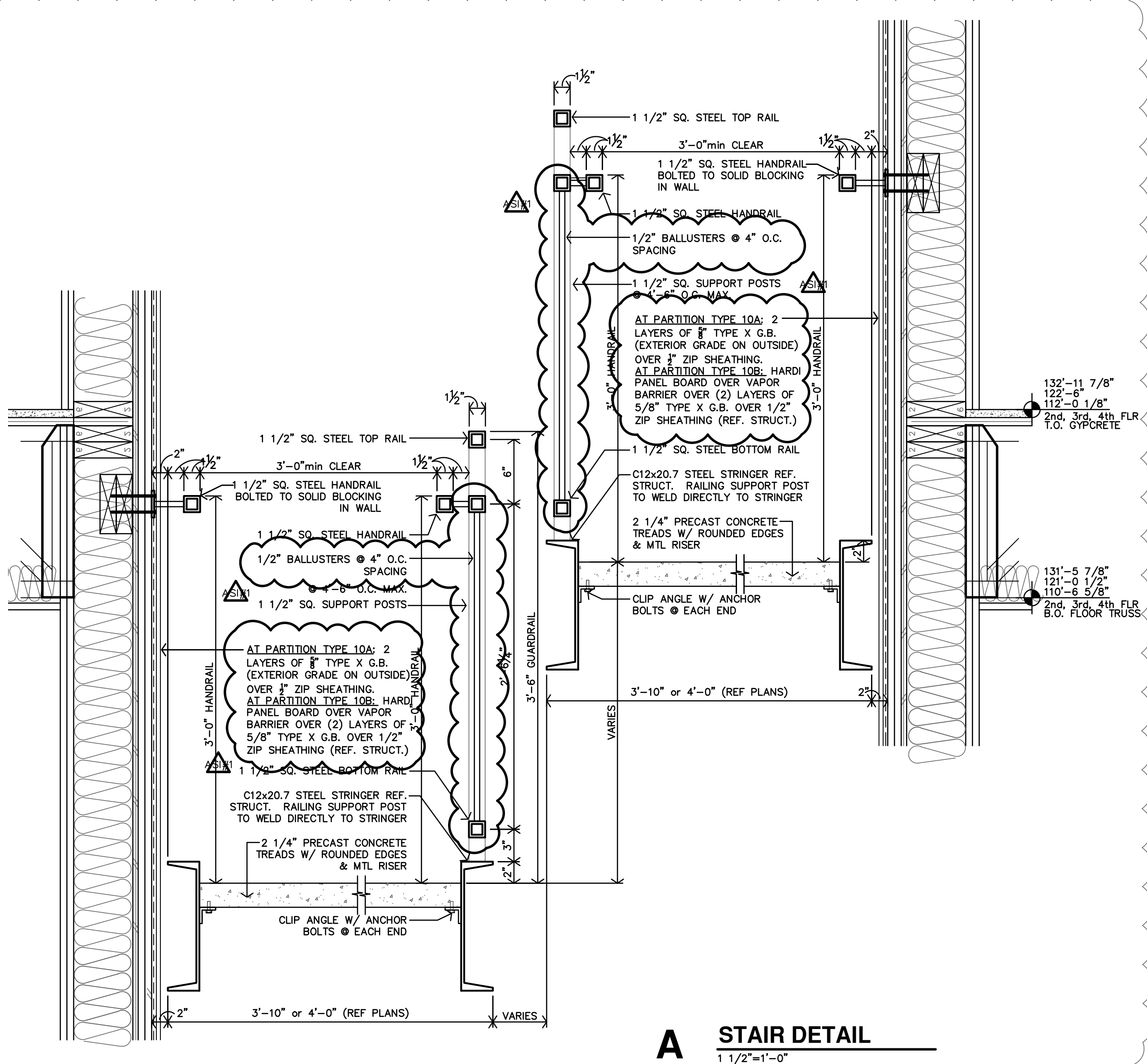
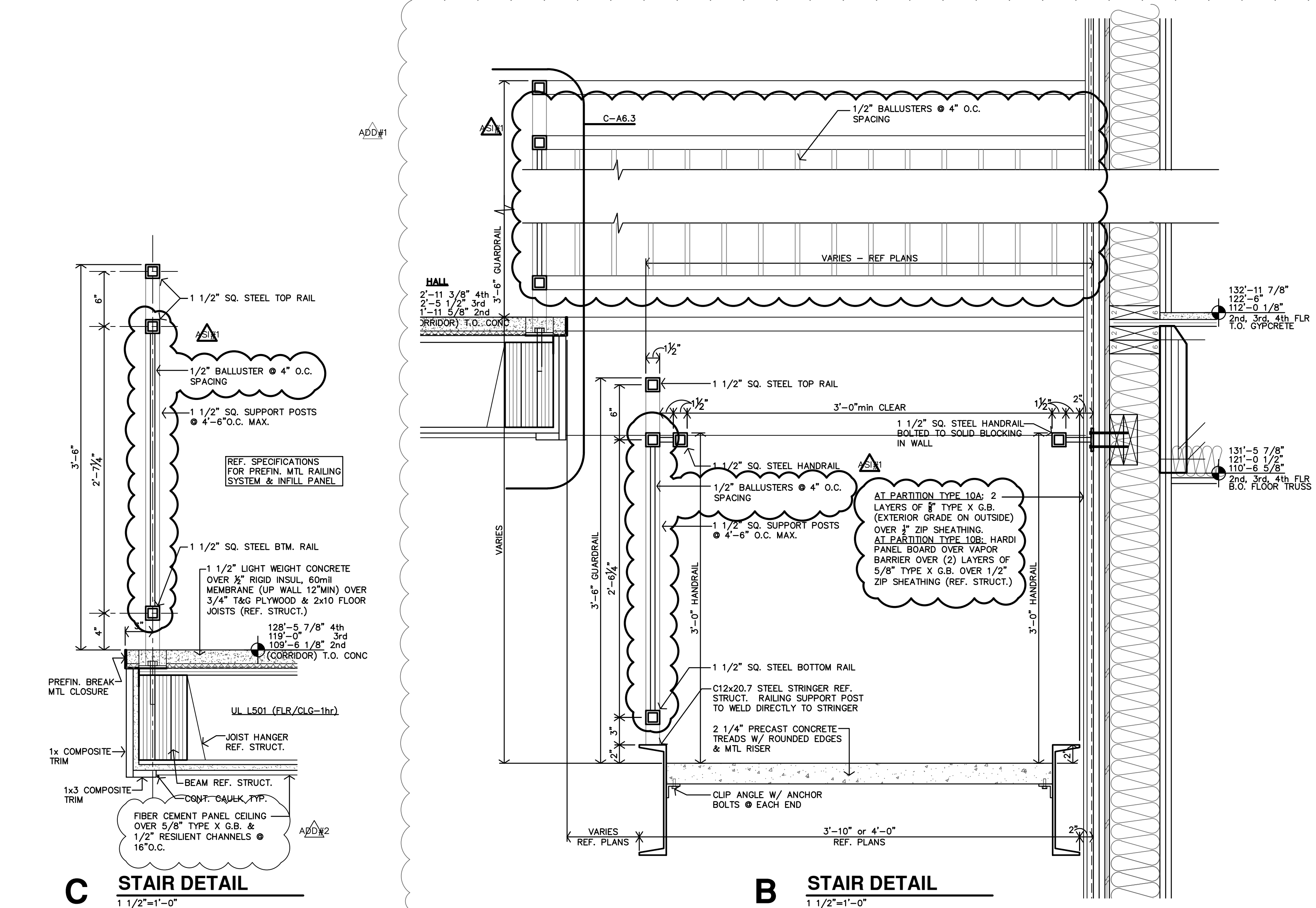
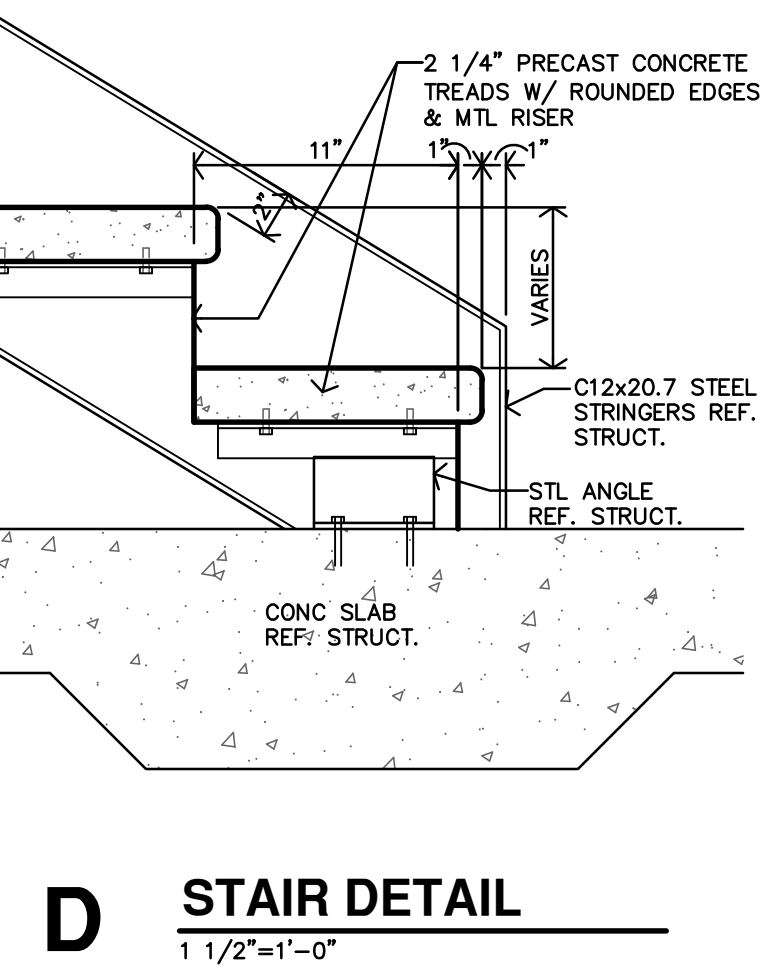
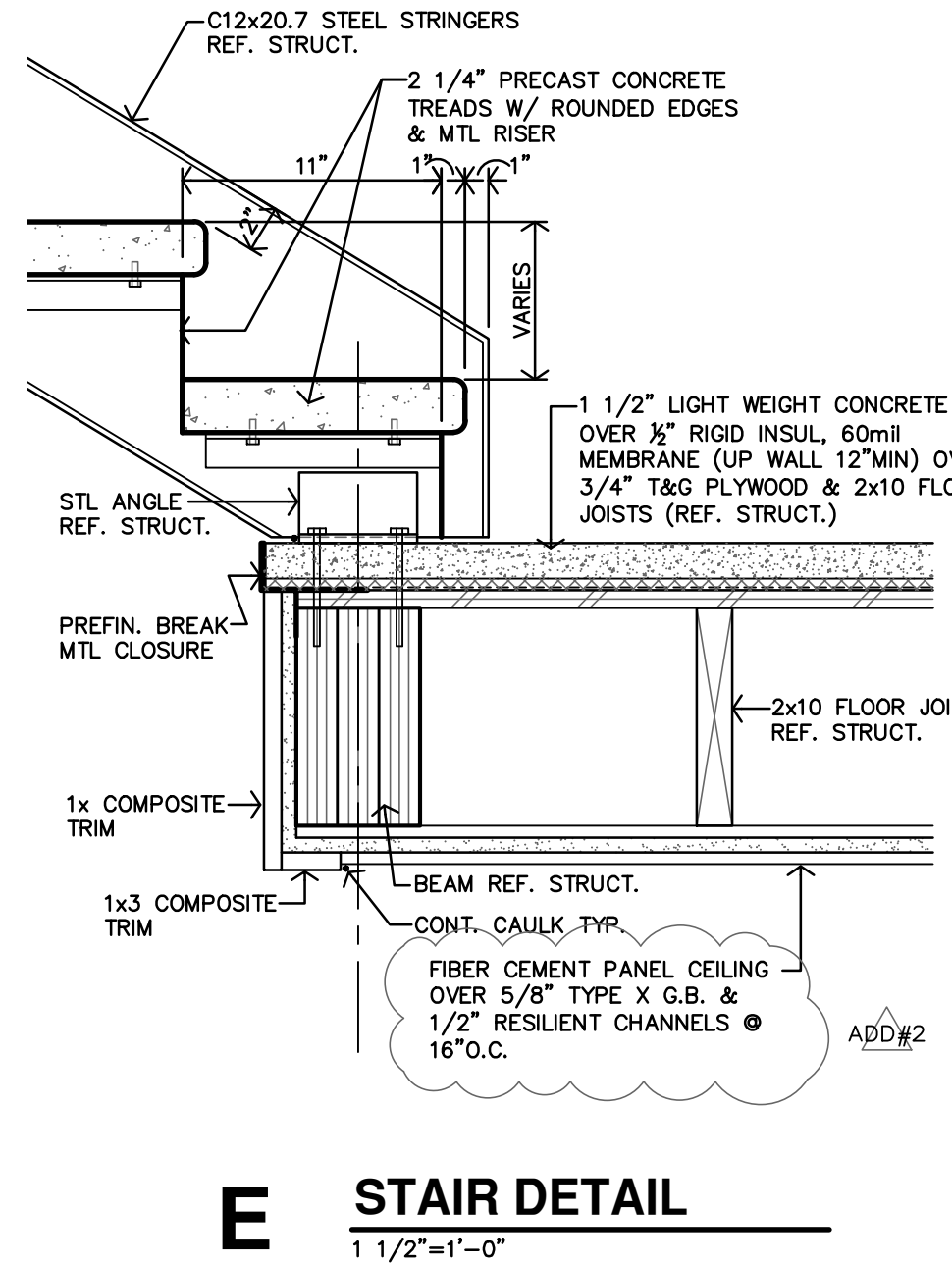
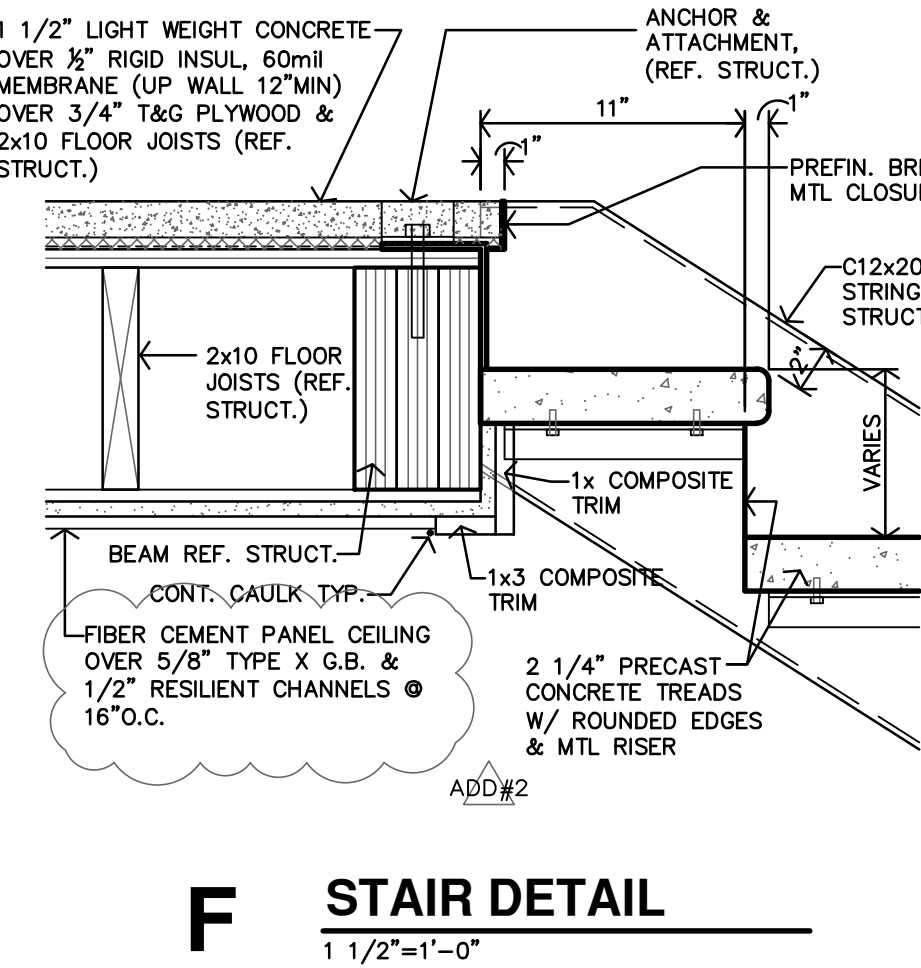
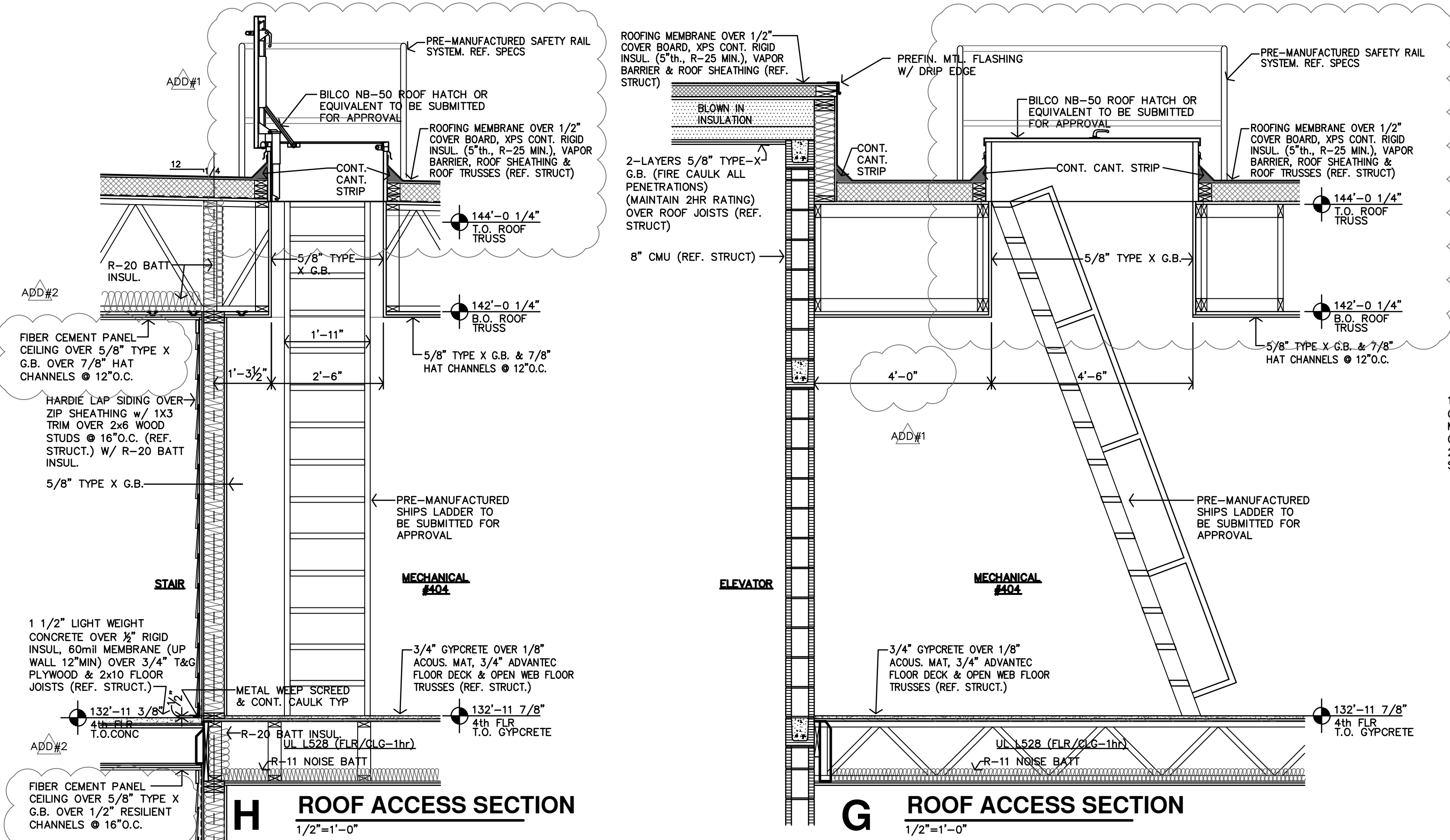
THE RESERVES at MAGNOLIA
NEW APARTMENT COMPLEX
DENTON, TEXAS

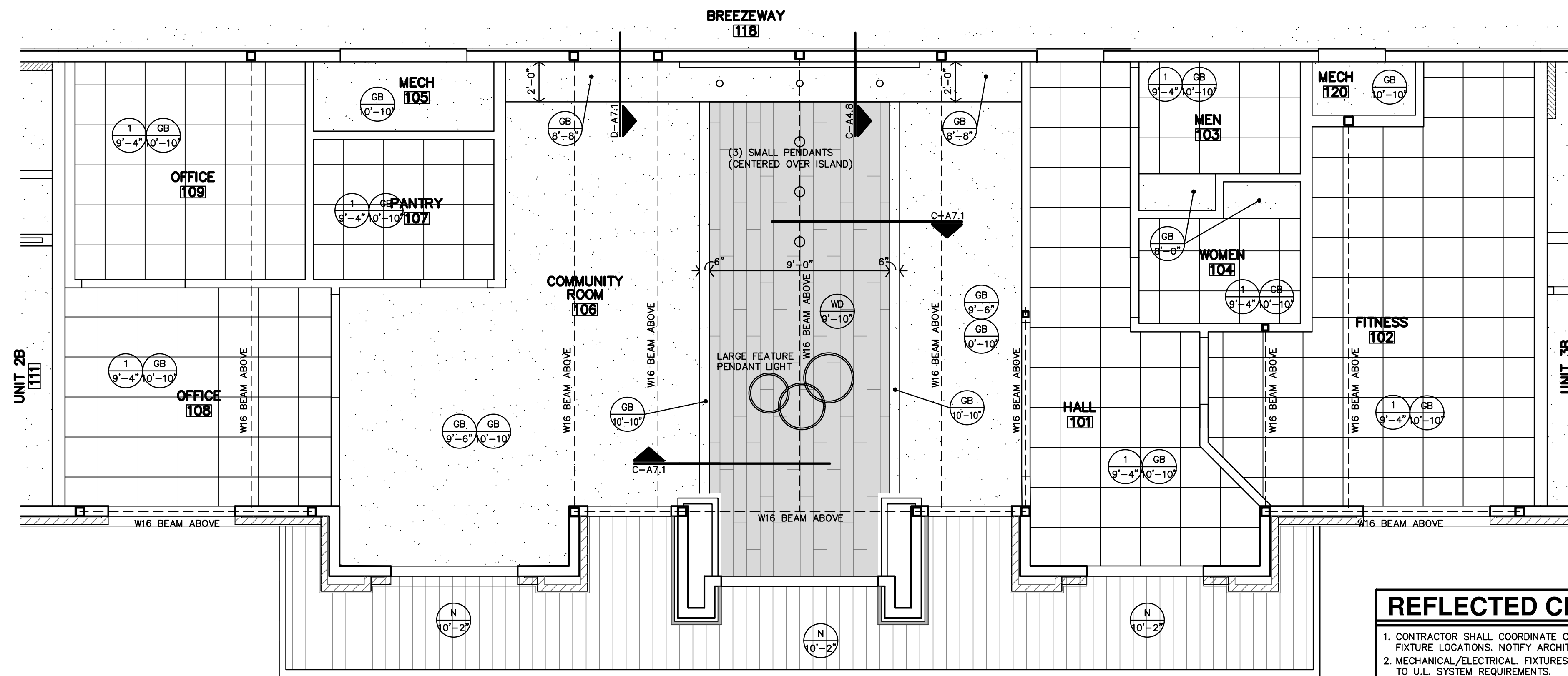
REGISTERED ARCHITECT
STATE OF TEXAS
22413

REVISION:	
ADD#1	6-19-2023
ADD#2	9-8-2023
ADD#3	7-22-2024
DATE:	5-17-2023
JOB:	21-3205
SHEET NO.:	

A6.2

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B ENLARGED PARTIAL REFLECTED CEILING PLAN
1/4"=1'-0"

REFLECTED CEILING PLAN NOTES

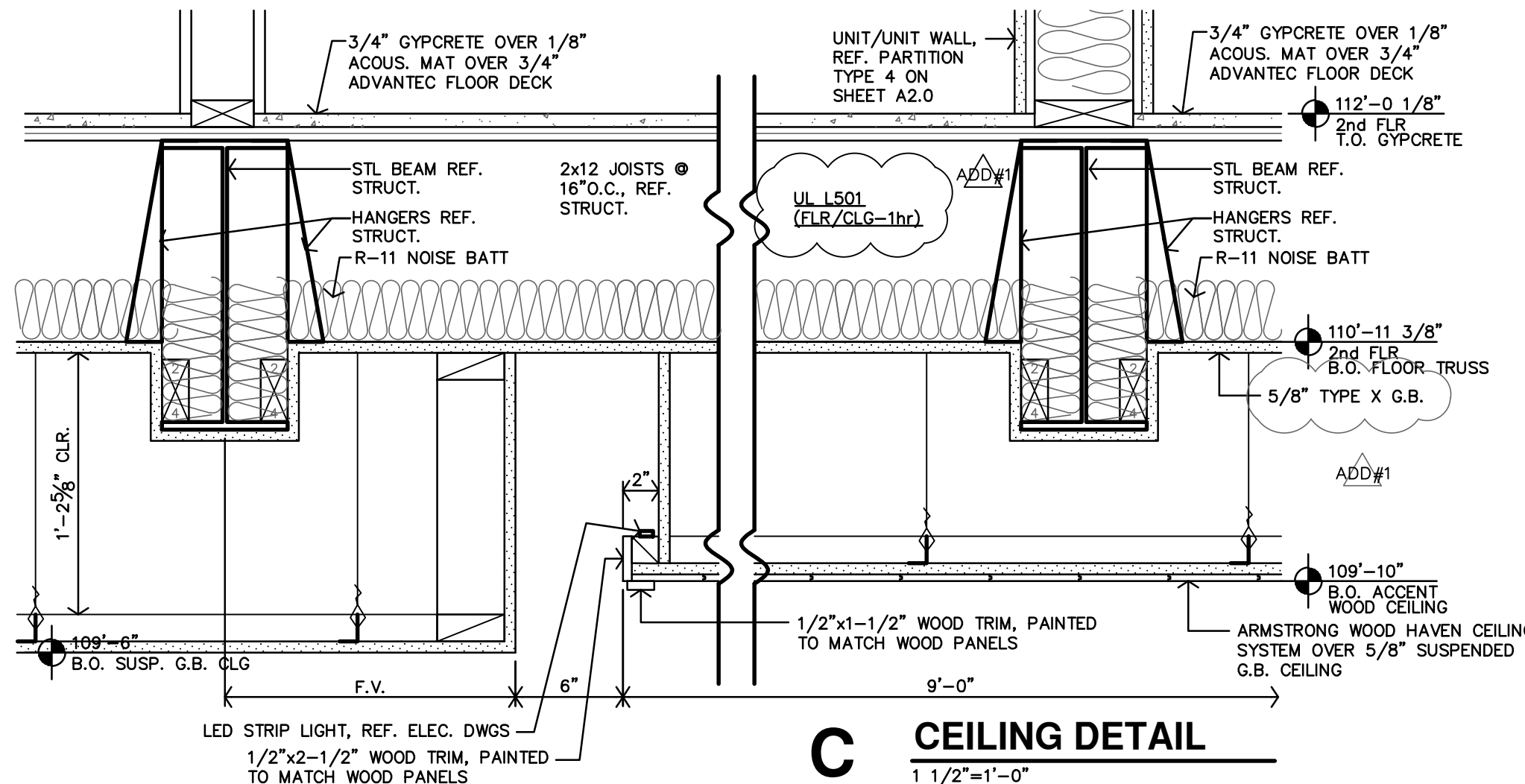
1. CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.
2. MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.
3. CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.
4. WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.

- NON-RATED WALLS
1 HOUR LOAD BEARING WALLS
1/2 HOUR FIRE PARTITION; CORRIDOR
2 HOUR CONSTRUCTION; SHAFT WALLS
1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
- SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.

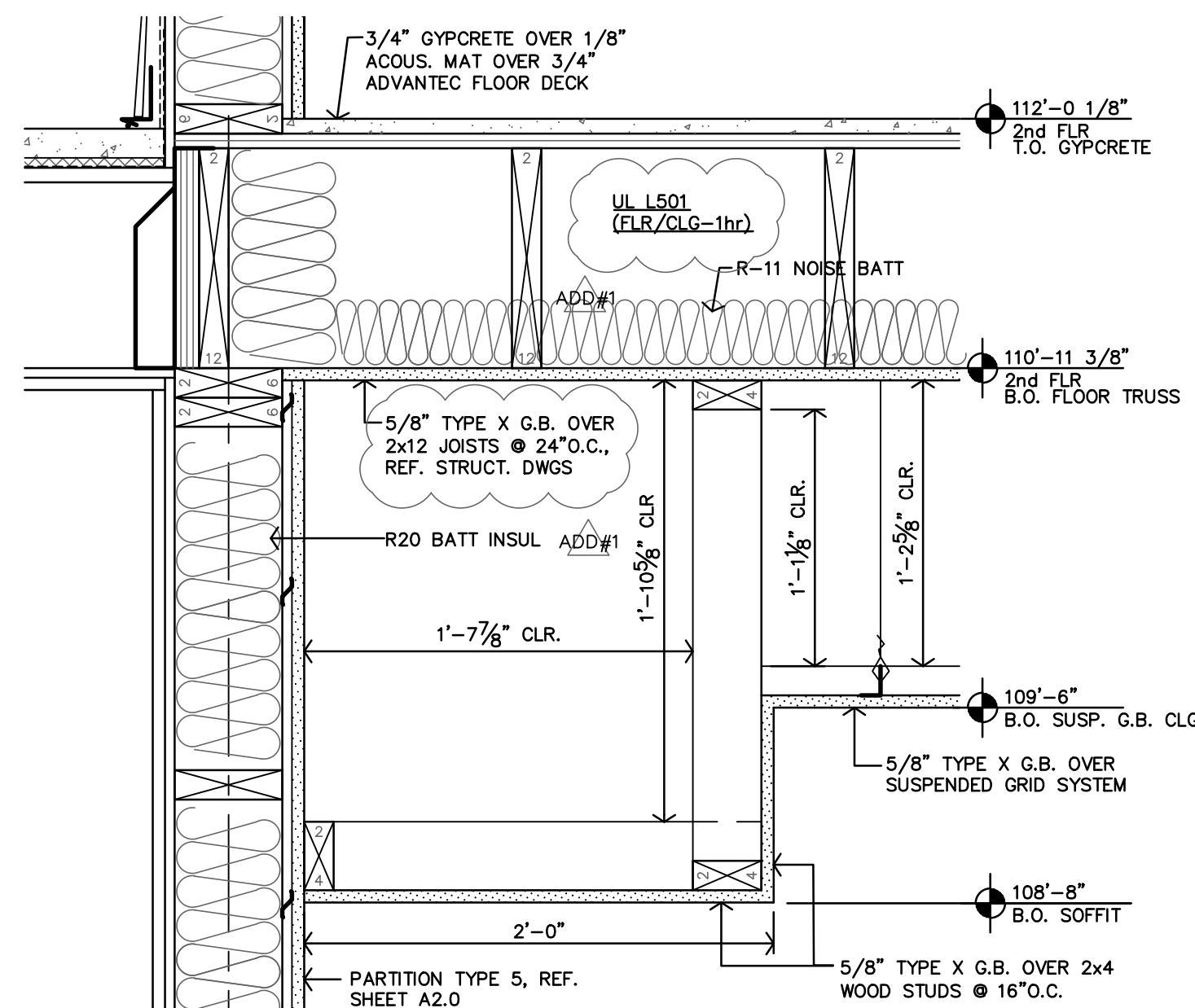
CEILING TYPES

REFER SPECIFICATIONS

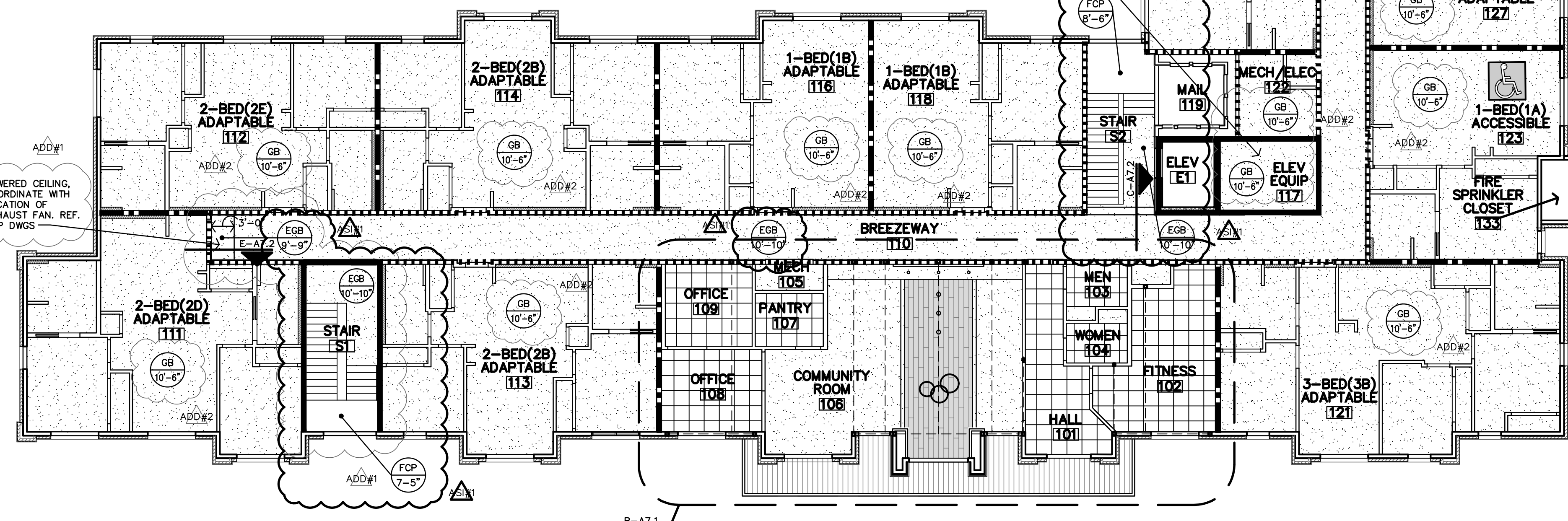
1	2x2 ACOUSTIC LAY-IN TILES & GRID
GB	TYPE X G.B. (PAINTED)
EG	EXTERIOR GYP-BD (PAINTED)
CG	CORRUGATED GALVANIZED STEEL
WD	WOOD-LOOK "CEILING" SYSTEM
N	NICHHA PANEL AMP SOFFIT
M	PREFIN. MTL. SOFFIT PANEL
CLG	CLG. TYPE
CLG	CLG. HEIGHT



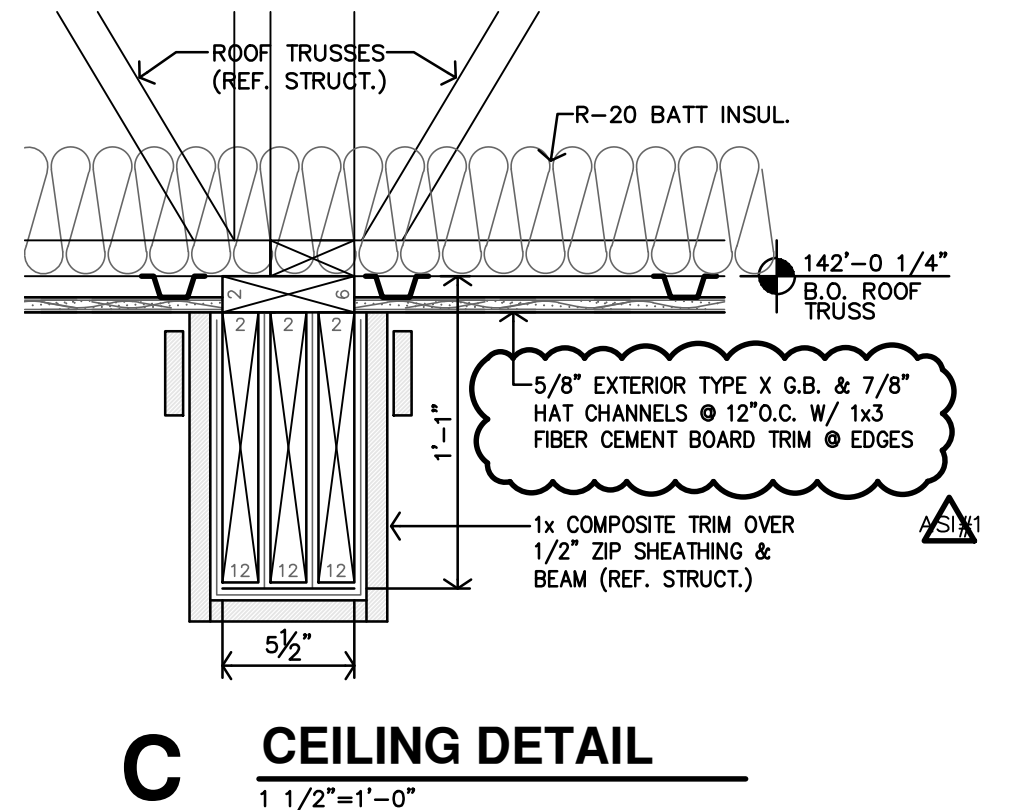
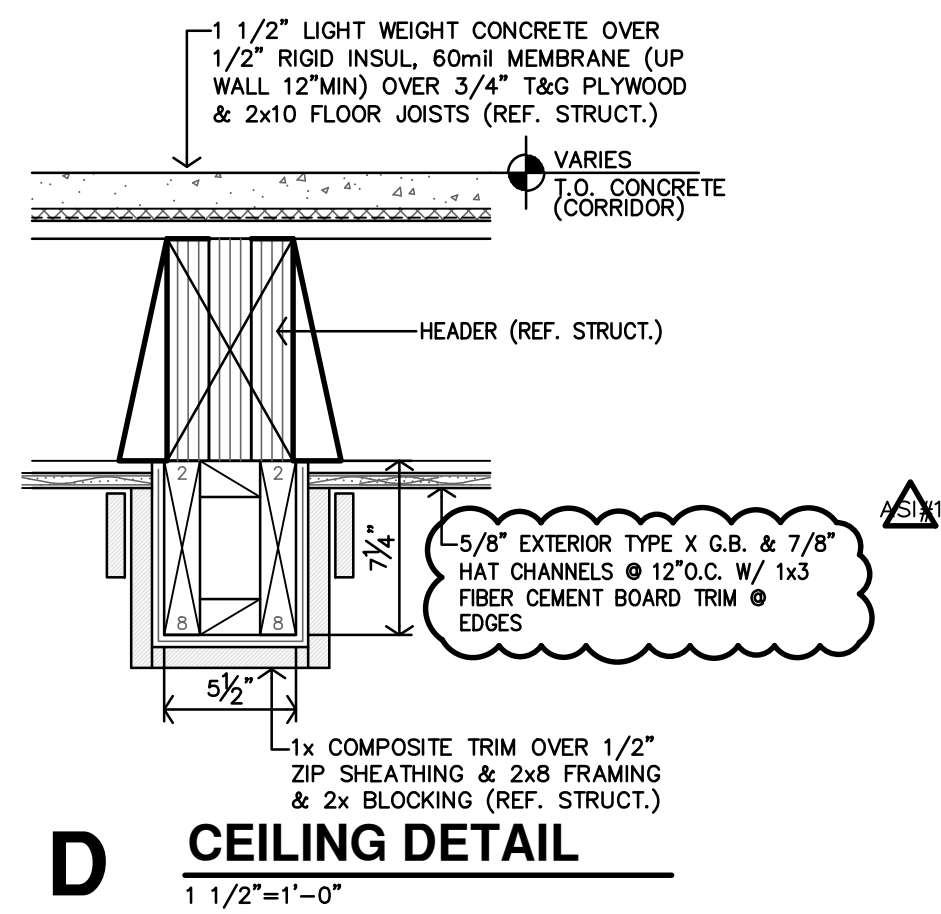
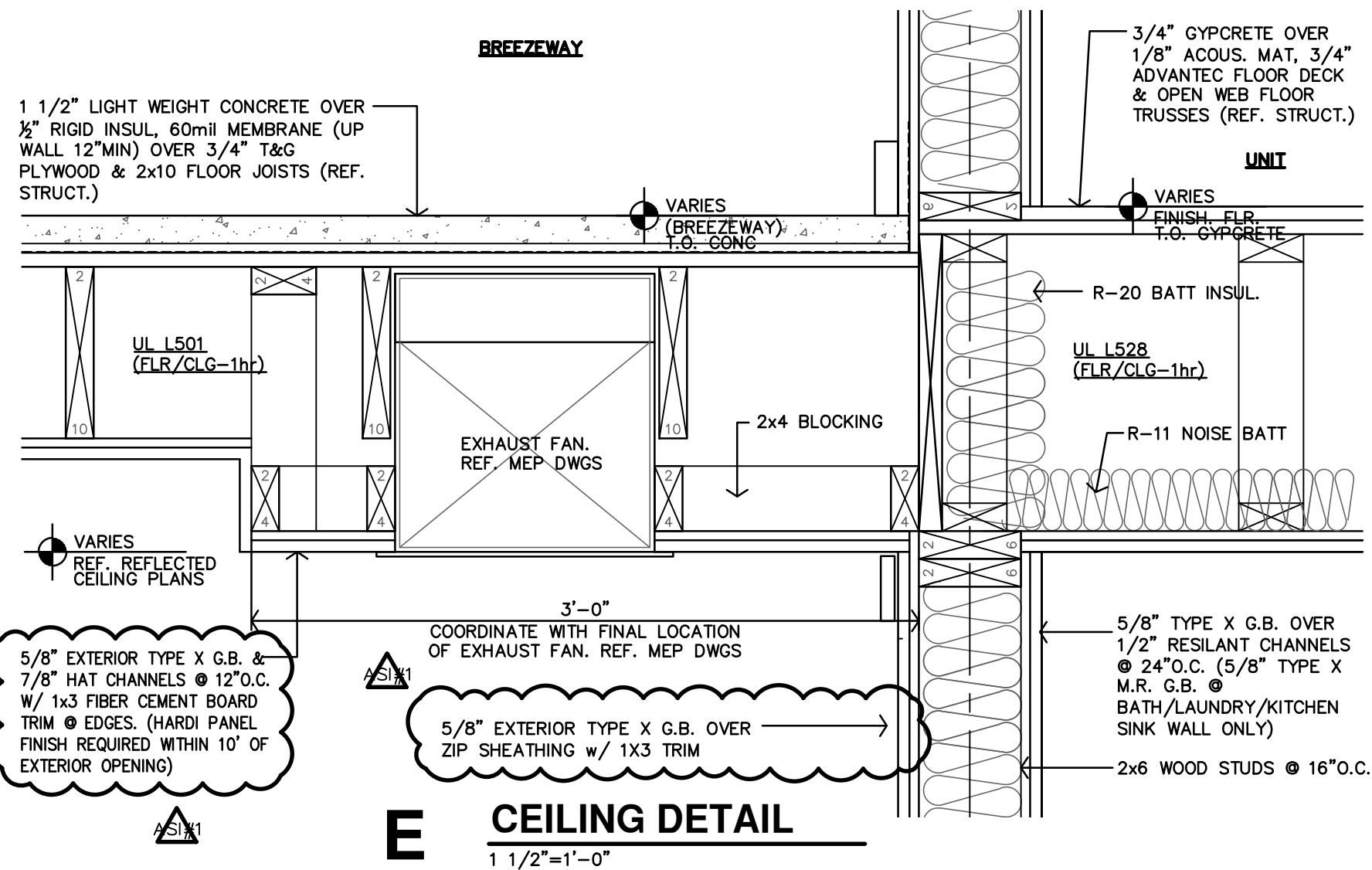
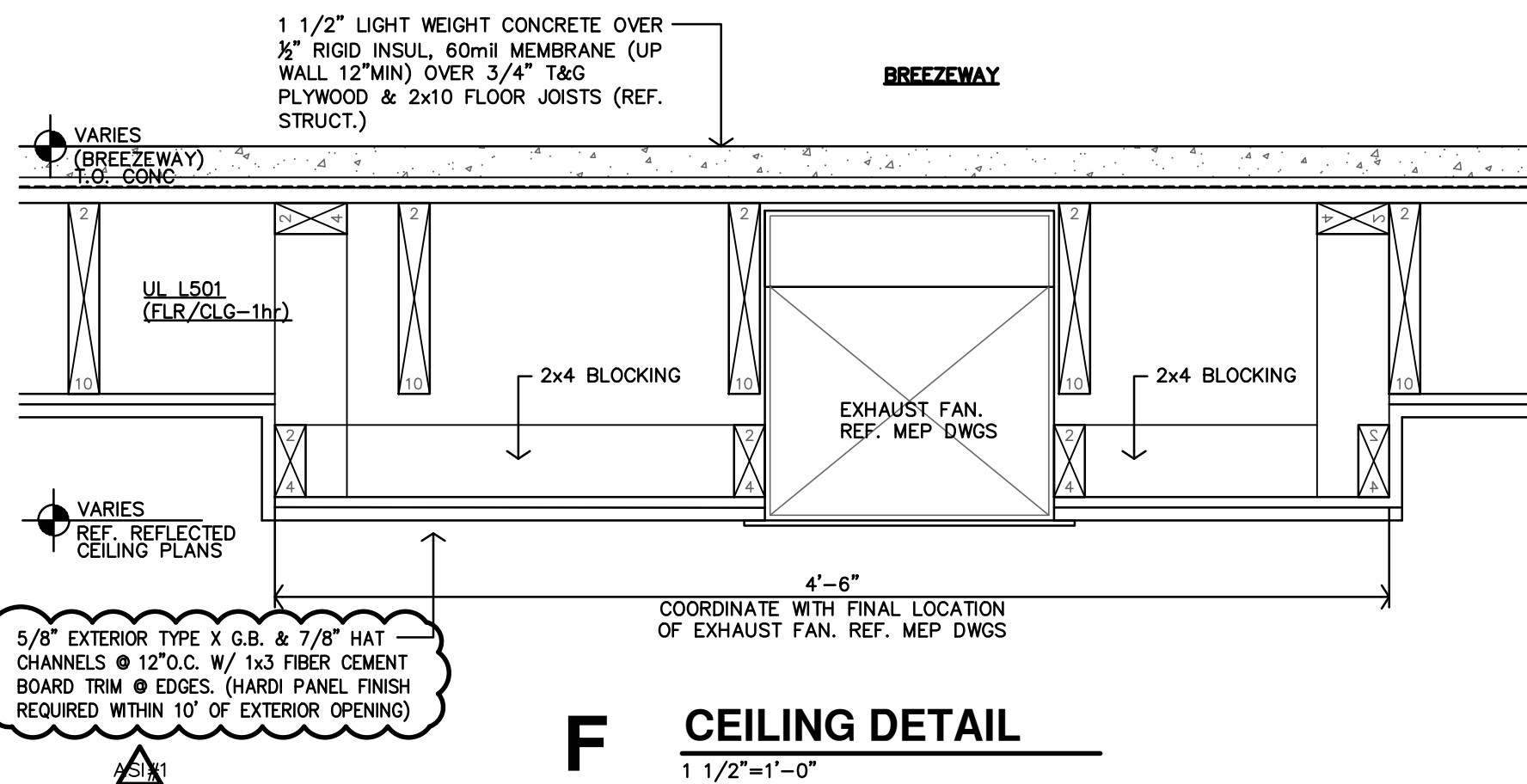
C CEILING DETAIL
1 1/2"=1'-0"



D CEILING DETAIL
1 1/2"=1'-0"



A FIRST FLOOR REFLECTED CEILING PLAN
3/32"=1'-0"

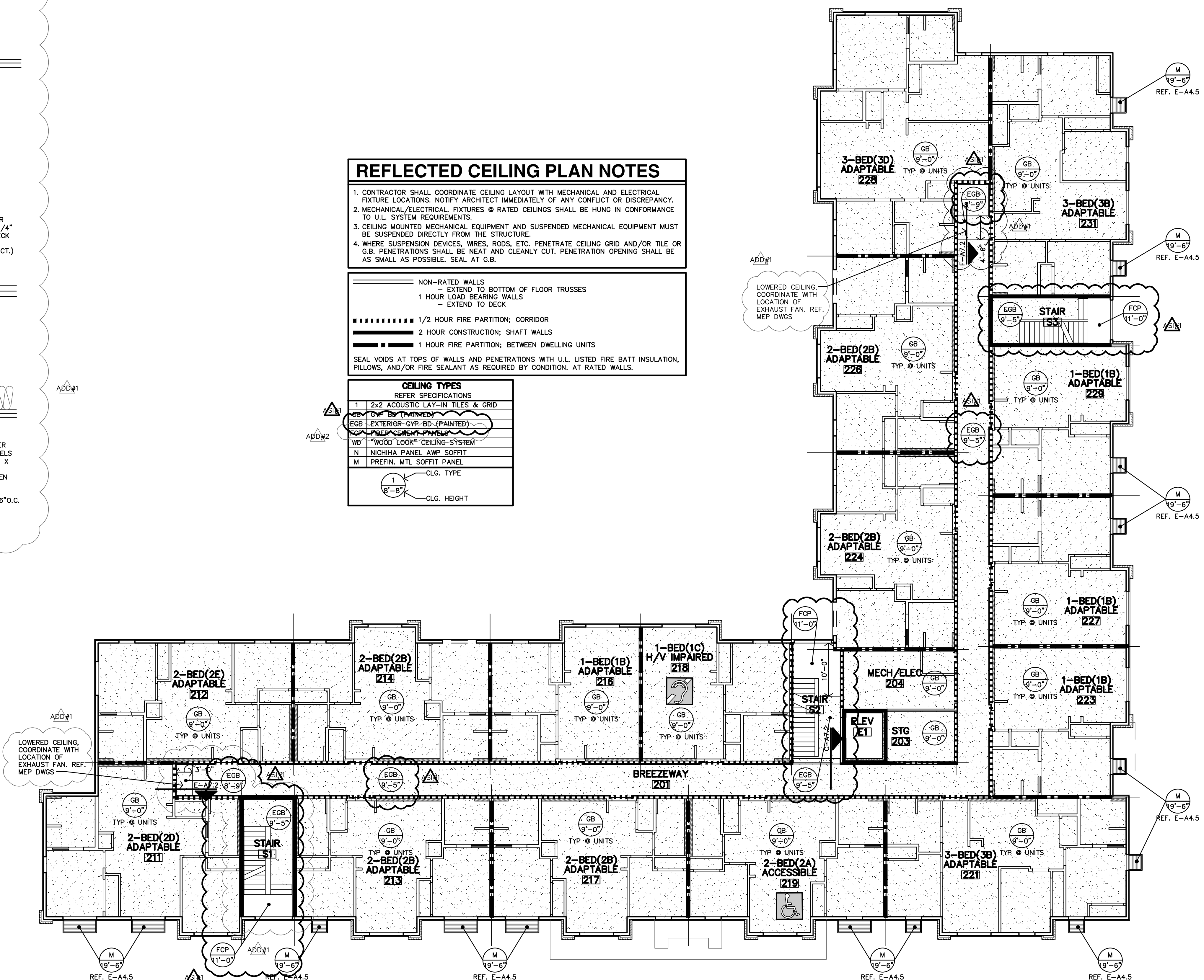


REFLECTED CEILING PLAN NOTES

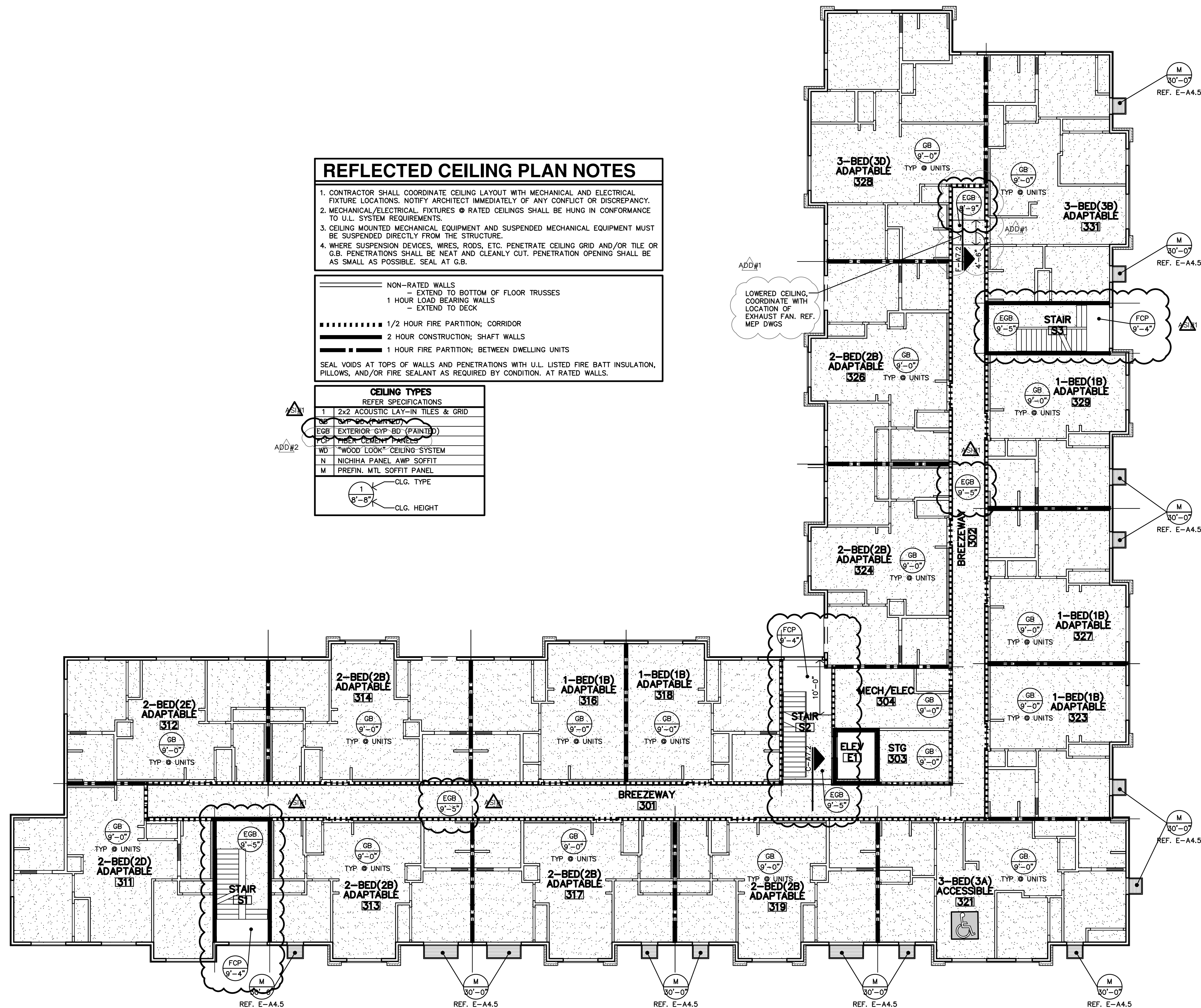
- CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.
- MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.
- CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.
- WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.

- NON-RATED WALLS
 - EXTEND TO BOTTOM OF FLOOR TRUSSES
 - 1 HOUR LOAD BEARING WALLS
 - EXTEND TO DECK
 - 1/2 HOUR FIRE PARTITION; CORRIDOR
 - 2 HOUR CONSTRUCTION; SHAFT WALLS
 - 1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
- SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.

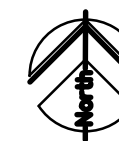
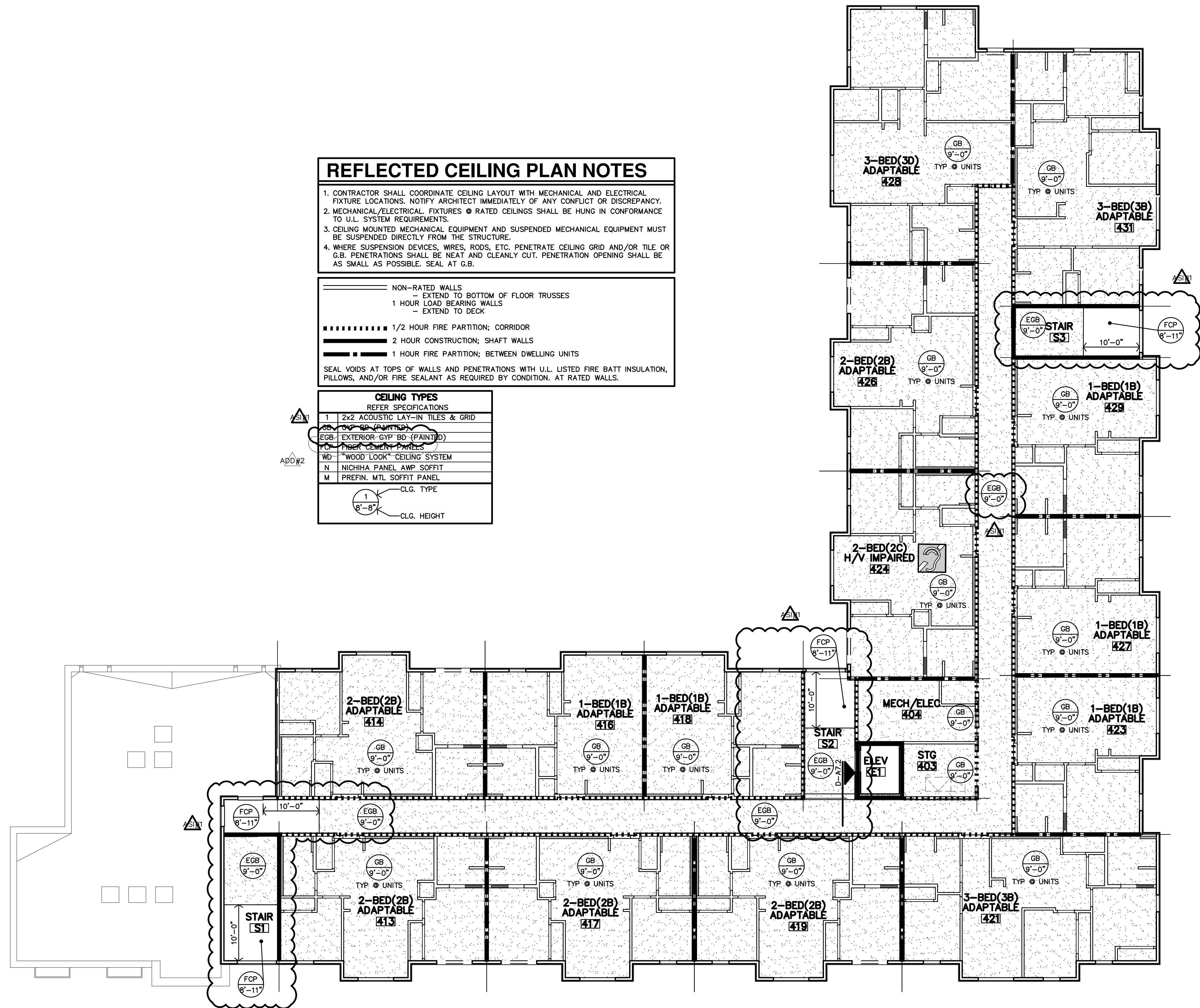
CEILING TYPES	
REFER SPECIFICATIONS	
1	2x2 ACOUSTIC LAY-IN TILES & GRID
GB	GYPSUM BOARD (PAINTED)
EGB	EXTERIOR GYP. BD. (PAINTED)
WD	WOOD LOOK CEILING SYSTEM
N	NICHIA PANEL AWP SOFFIT
M	PREFIN. MTL SOFFIT PANEL
1	CLG. TYPE
9'-8"	CLG. HEIGHT



A SECOND FLOOR REFLECTED CEILING PLAN
3/32"=1'-0"



THIRD FLOOR REFLECTED CEILING PLAN
3/32"=1'-0"



A

**FOURTH FLOOR
REFLECTED CEILING PLAN**
3/32"=1'-0"



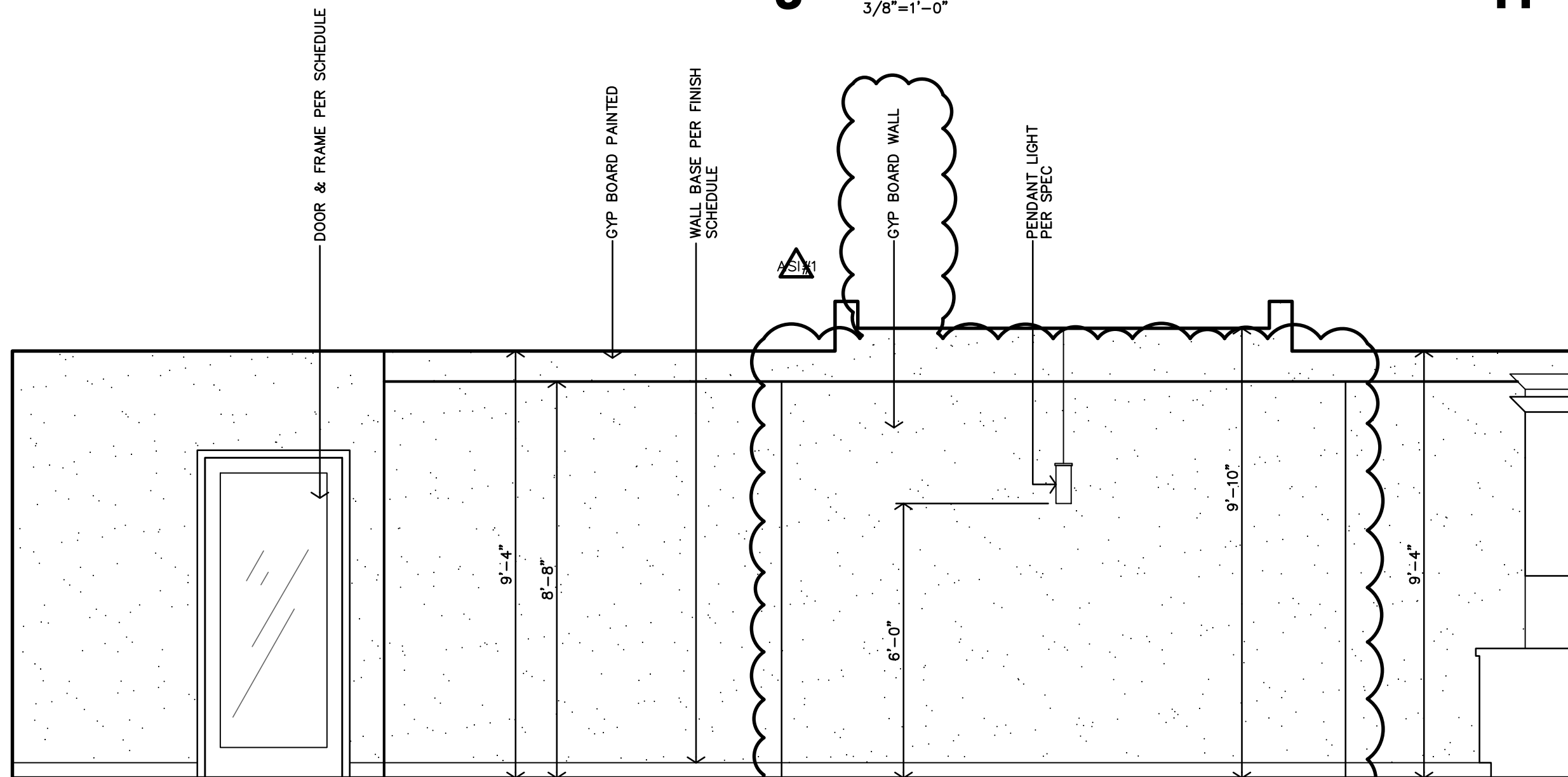
REVISION:

ADD#1	6-19-2023
ADD#2	9-8-2023
ASA	7-22-2024
DATE:	5-17-2023
JOB:	21-3205
SHEET NO.:	

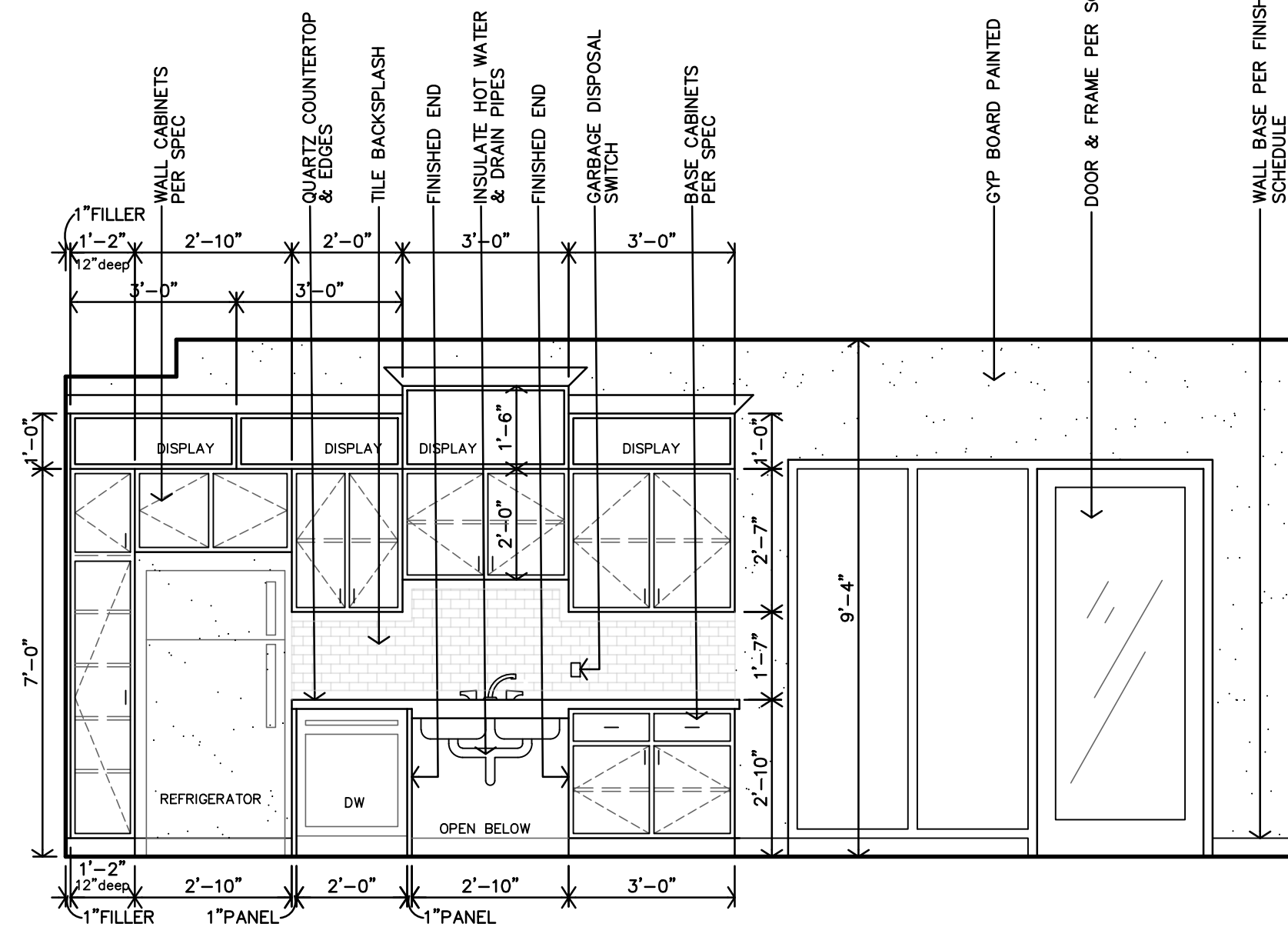
A7.4

THE RESERVES at MAGNOLIA
NEW APARTMENT COMPLEX
DENTON, TEXAS

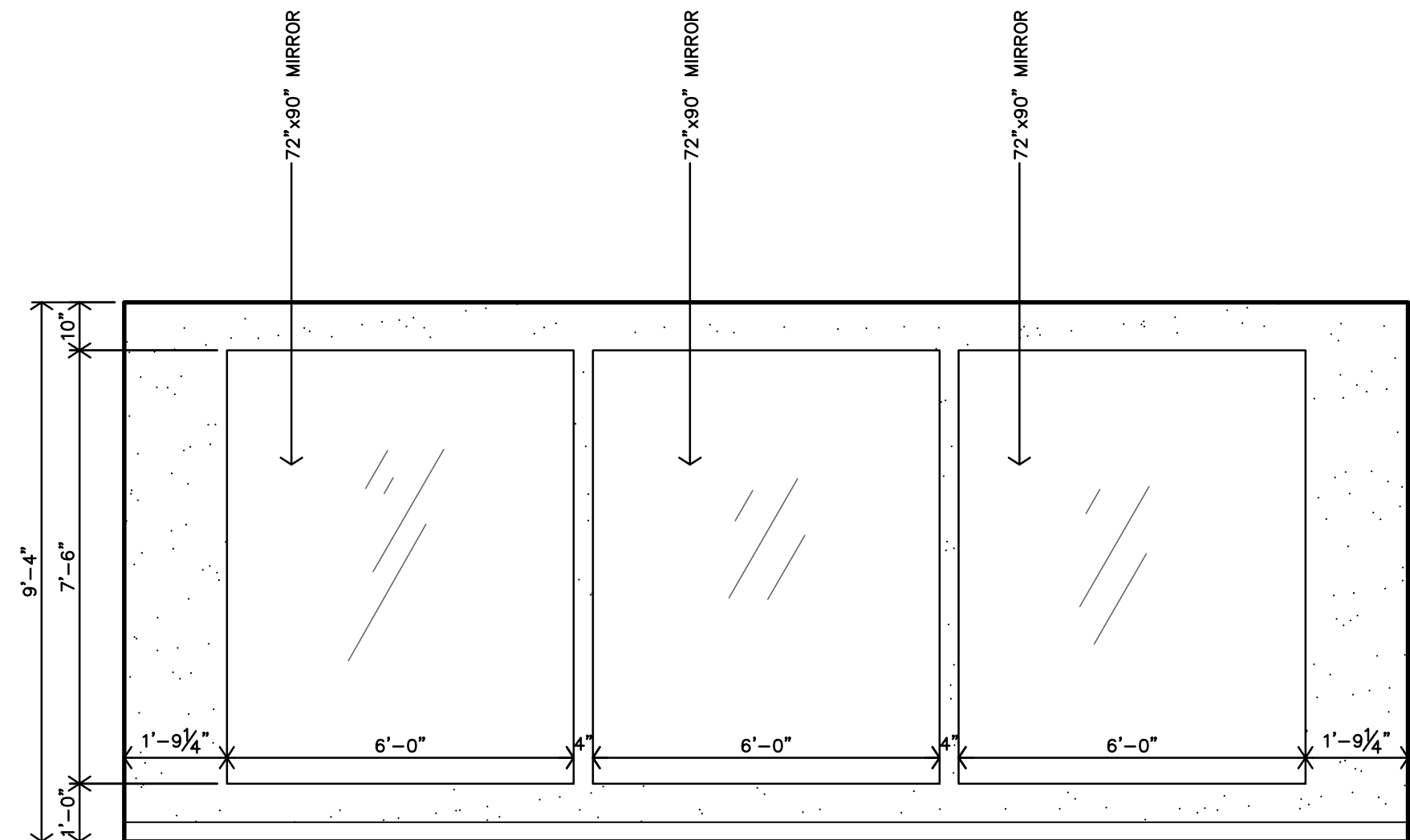
JGR Jones Gillam Renz
730 N. Ninth
Salina, KS 67401
785.827.0386
1881 Main Street, Suite 301
Kansas City, MO 64108
jgr@jgarchitects.com



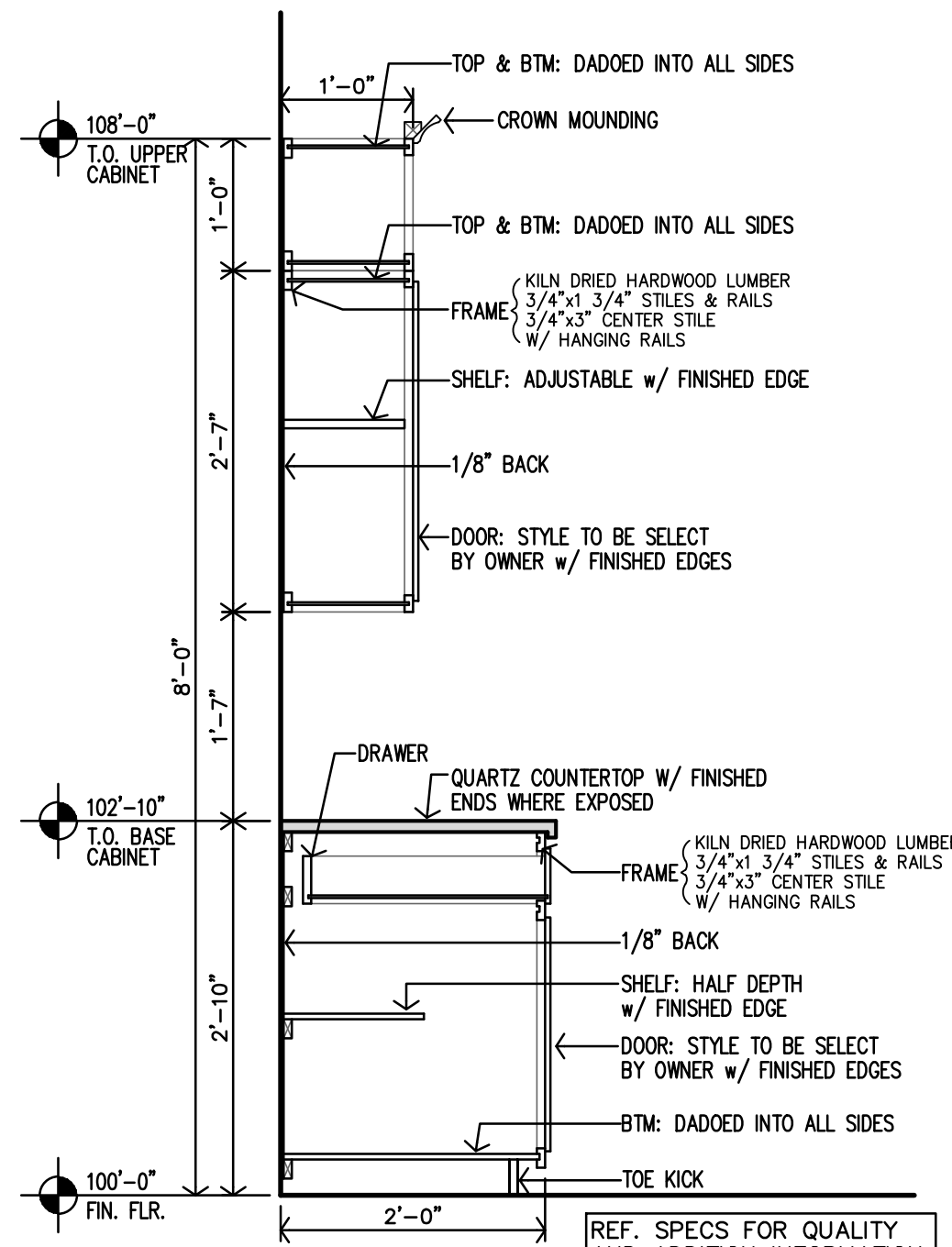
C **COMMUNITY ROOM #106**
INTERIOR ELEVATION
3/8"=1'-0"



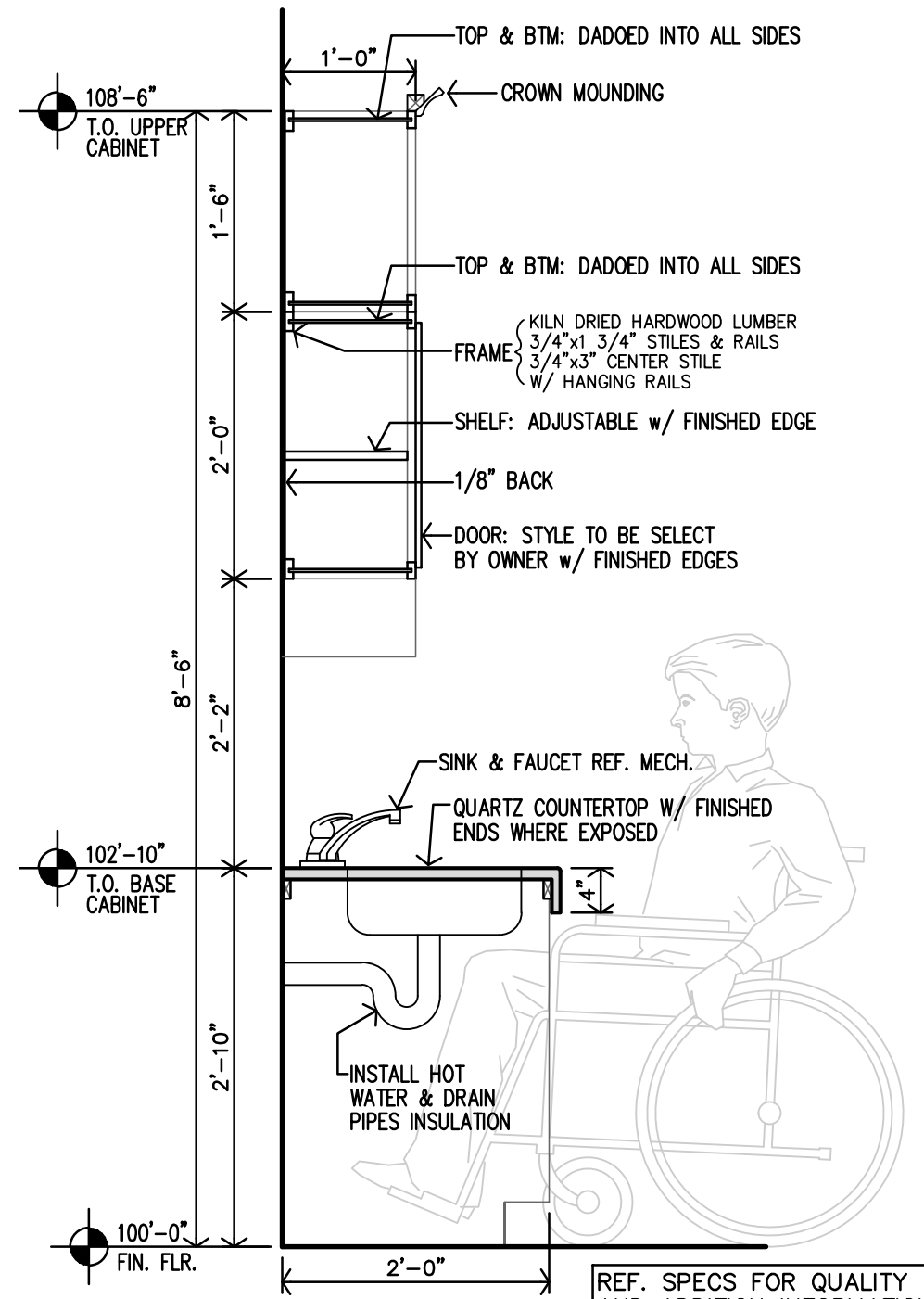
B **COMMUNITY ROOM #106**
INTERIOR ELEVATION
3/8"=1'-0"



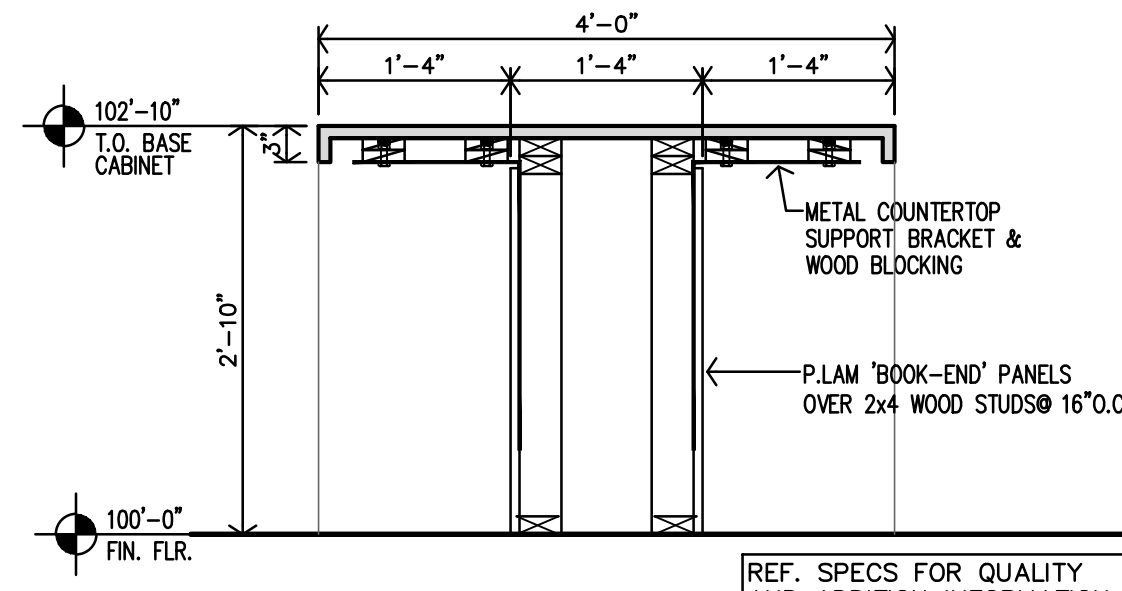
A **FITNESS #102**
INTERIOR ELEVATION
3/8"=1'-0"



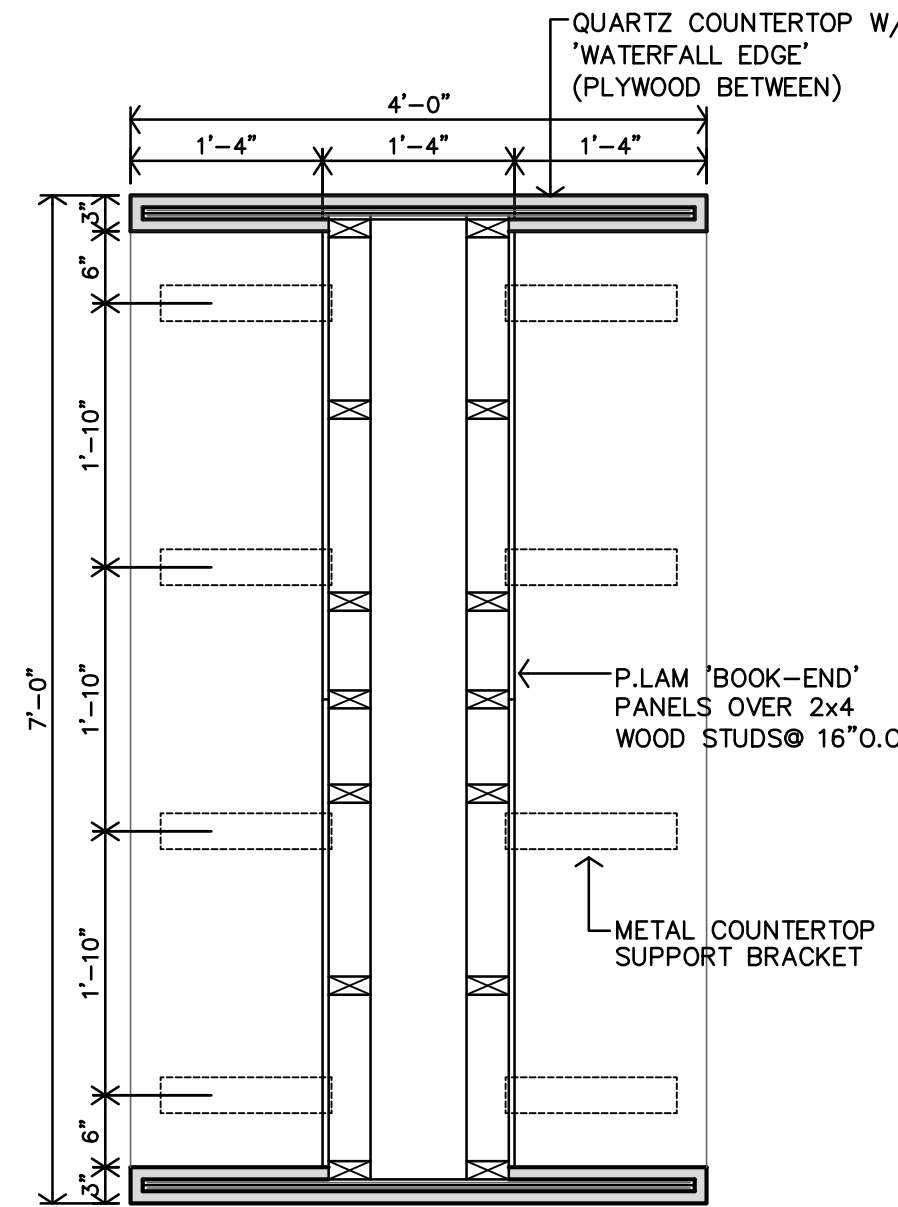
J **COMMUNITY ROOM #106**
CASEWORK SECTION
3/8"=1'-0"



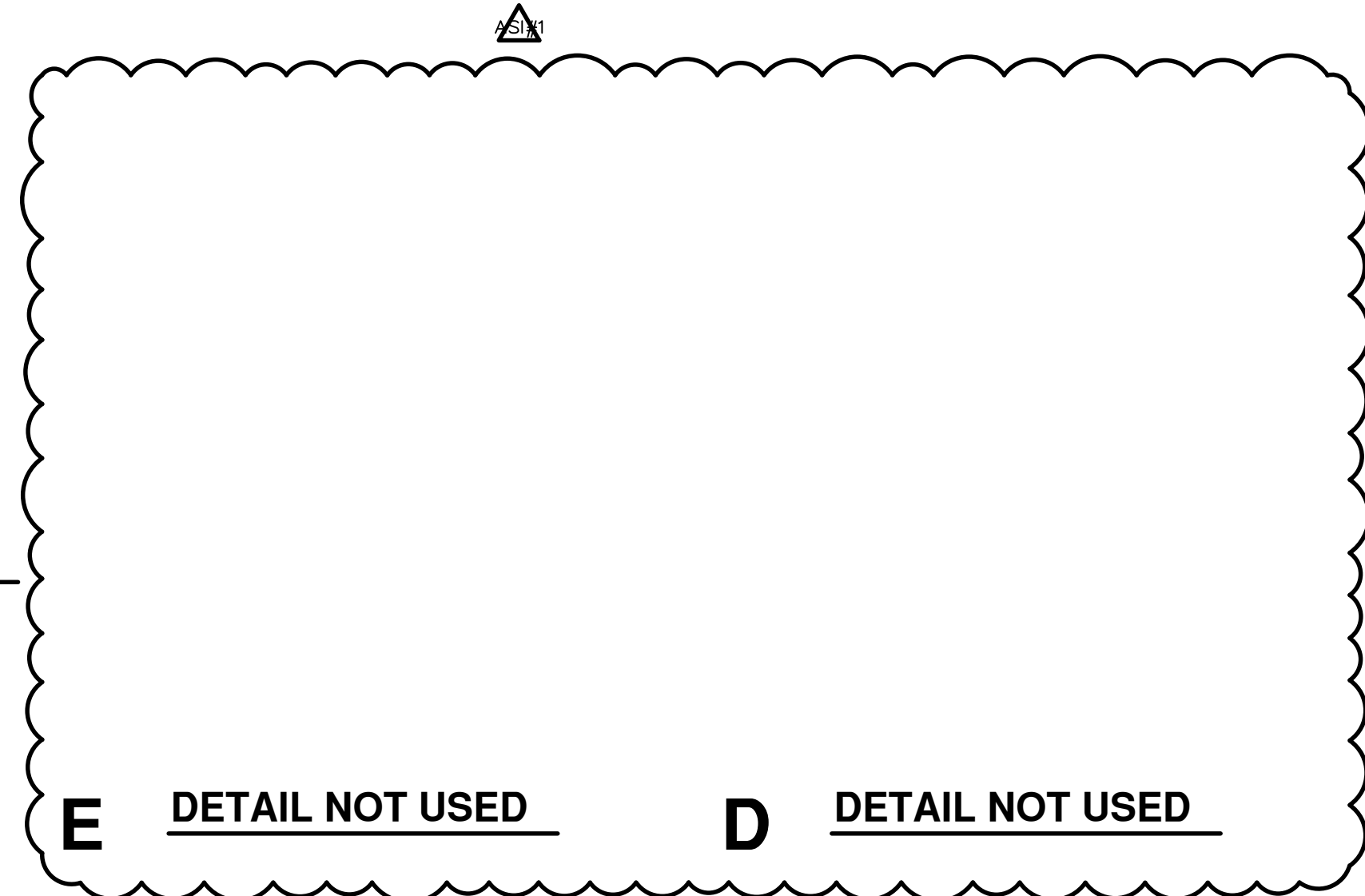
H **COMMUNITY ROOM #106**
CASEWORK SECTION
3/8"=1'-0"



F **ISLAND**
CASEWORK SECTION
3/8"=1'-0"



G **ISLAND**
CASEWORK PLAN
3/8"=1'-0"

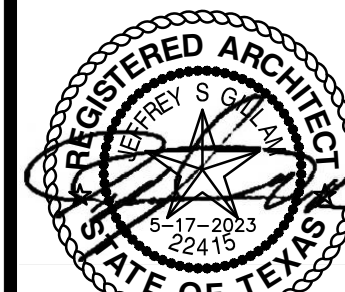


E **DETAIL NOT USED**

D **DETAIL NOT USED**

CASEWORK NOTES

1. PLASTIC LAMINATE ON ALL EXPOSED SURFACES UNLESS NOTED OTHERWISE.
2. PLASTIC LAMINATE AT ALL EXPOSED EDGES UNLESS NOTED OTHERWISE.
3. ENTIRE CABINET DOOR (INTERIOR & EXTERIOR) TO BE PLASTIC LAMINATE.
4. INTERIOR UNEXPOSED SURFACES TO BE "BLACK" MELAMINE UNLESS NOTED OTHERWISE.
5. COUNTERTOPS & BACKSPLASHES TO BE PLASTIC LAMINATE W/ EASED EDGES.
6. PROVIDE ALL NECESSARY FILLERS OF MATCHING MATERIALS. INSTALL CONTINUOUS FINISH FLOORING BASE @ CASEWORK TOE KICK.
7. ALL ADJUSTABLE SHELVING SHALL BE 3/4" THICK MATERIAL.
8. ALL ADJUSTABLE UNEXPOSED MELAMINE SHELVING SHALL HAVE ALL FOUR EDGES TAPED.
9. EXPOSED ADJUSTABLE SHELVING SHALL HAVE FULL THICKNESS PLASTIC LAMINATE AT ALL EXPOSED SURFACES AND ALL FOUR EDGES. TAPE IS NOT ACCEPTABLE.
10. COUNTERTOPS SHALL RECEIVE 1/8" W x 3mm EDGE BAND.
11. ALL UPPER CABINETS SHALL HAVE (2) ADJUSTABLE SHELVES PER EACH, UNLESS NOTED OTHERWISE.
12. REFERENCE ELEVATIONS FOR NUMBER OF ADJUSTABLE SHELVES AT LOWER CABINET UNITS.
13. STAINING AND PAINTING OF ALL HARDWOOD TRIM SHALL BE PER THE PAINTER.
14. MULTIPLE LAMINATES (PREMIUM FINISHES AS WELL) WILL BE SELECTED BY ARCHITECT.
15. CABINETS TO BE FLUSH OVERLAY UNLESS NOTED OTHERWISE.
16. PROVIDE BLOCKING BEHIND WALL FOR SUPPORT OF CABINETRY.
17. PROVIDE & INSTALL ANGLE SUPPORT BRACKETS WHERE COUNTERTOP SPAN EXCEEDS 48" IN WIDTH.



REVISION:	
APR 2	9-8-2023
2/21	7-22-2024

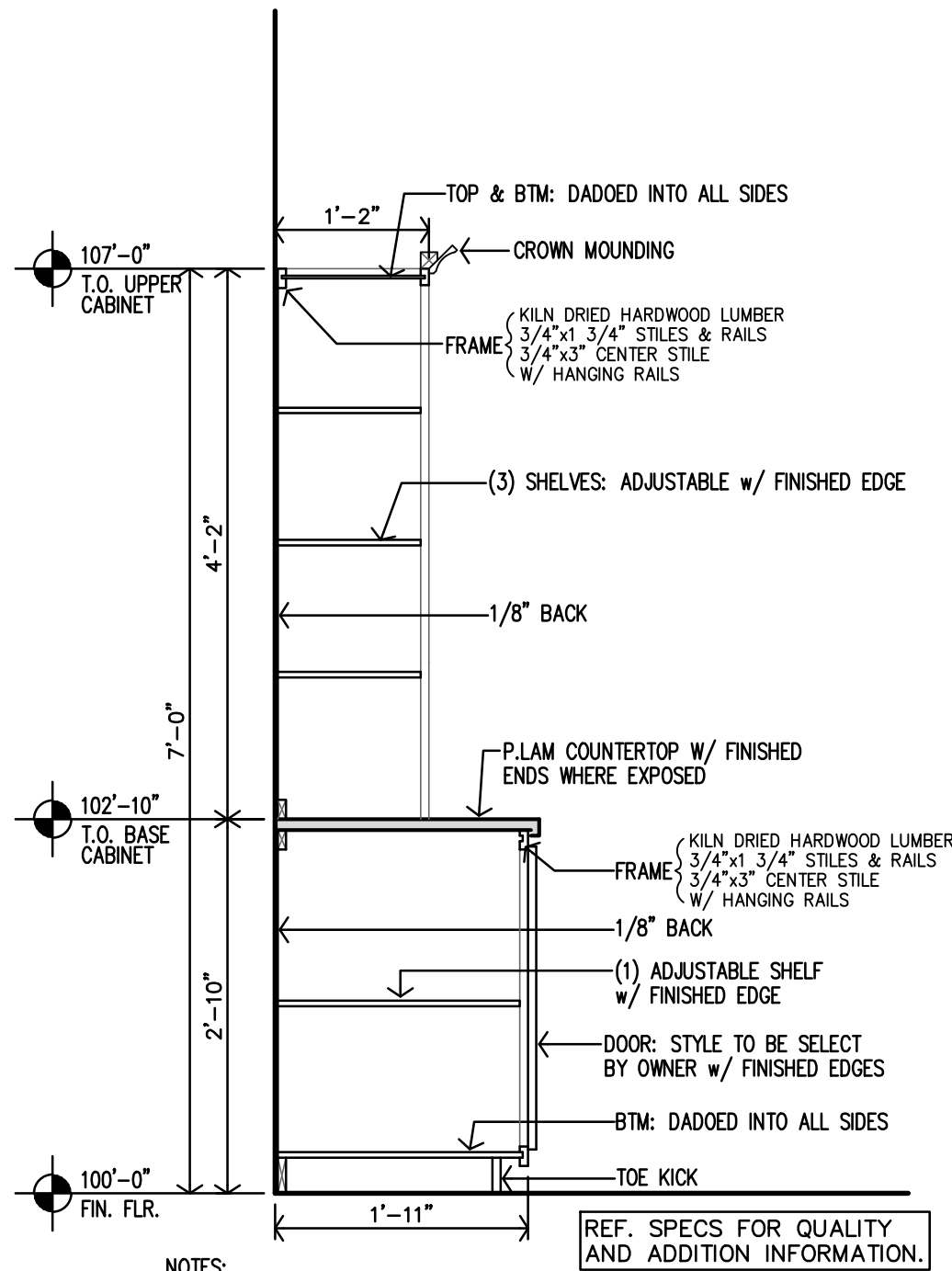
DATE: 5-17-2023
JOB: 21-3205
SHEET NO.:

A8.2

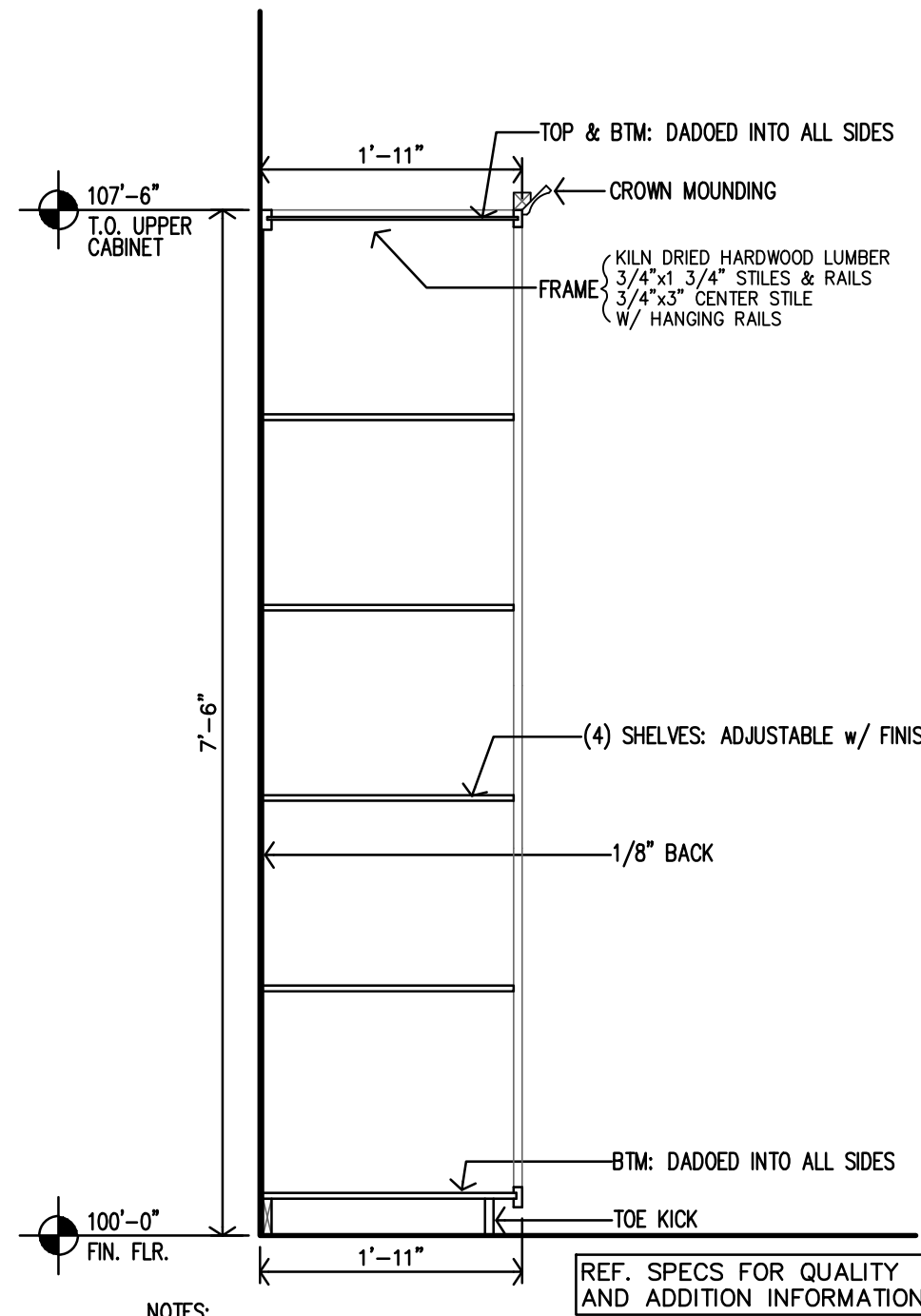
THE RESERVES at MAGNOLIA
NEW APARTMENT COMPLEX
DENTON, TEXAS

Jones Gillam Renz
1881 Main Street, Suite 301
Kansas City, MO 64108
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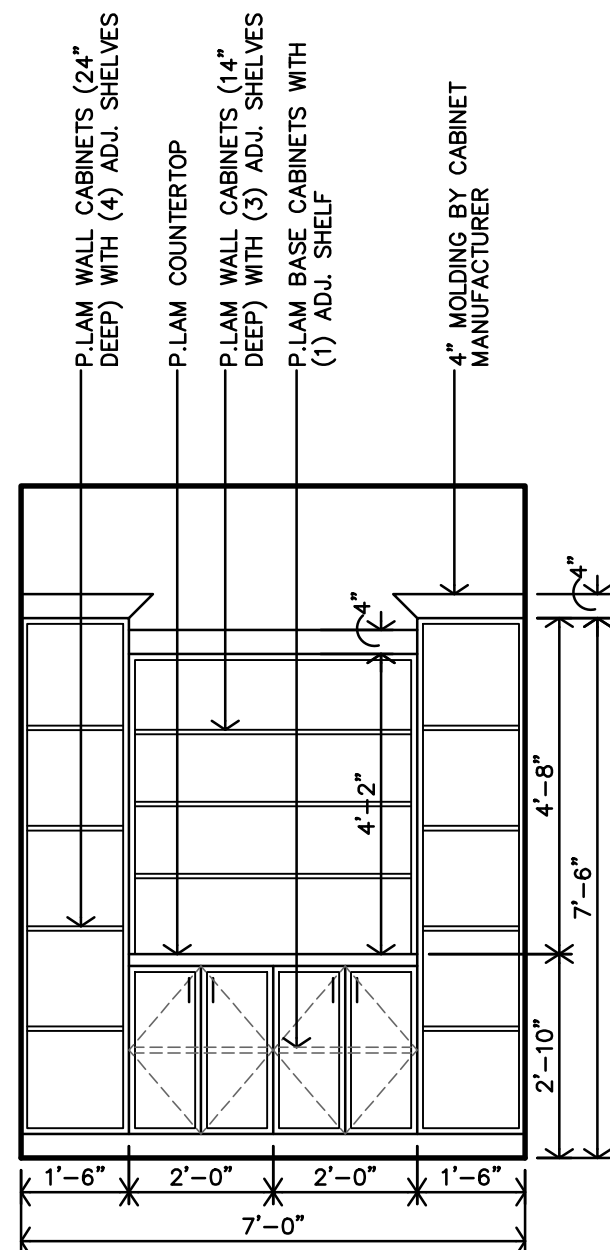
JGR



D PANTRY #107
CASEWORK SECTION
3/4"=1'-0"

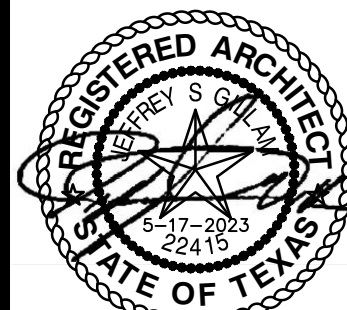


C PANTRY #107
CASEWORK SECTION
3/4"=1'-0"



B PANTRY #107
INTERIOR ELEVATION
3/8"=1'-0"

A DETAIL NOT USED



REVISION:
7-22-2024

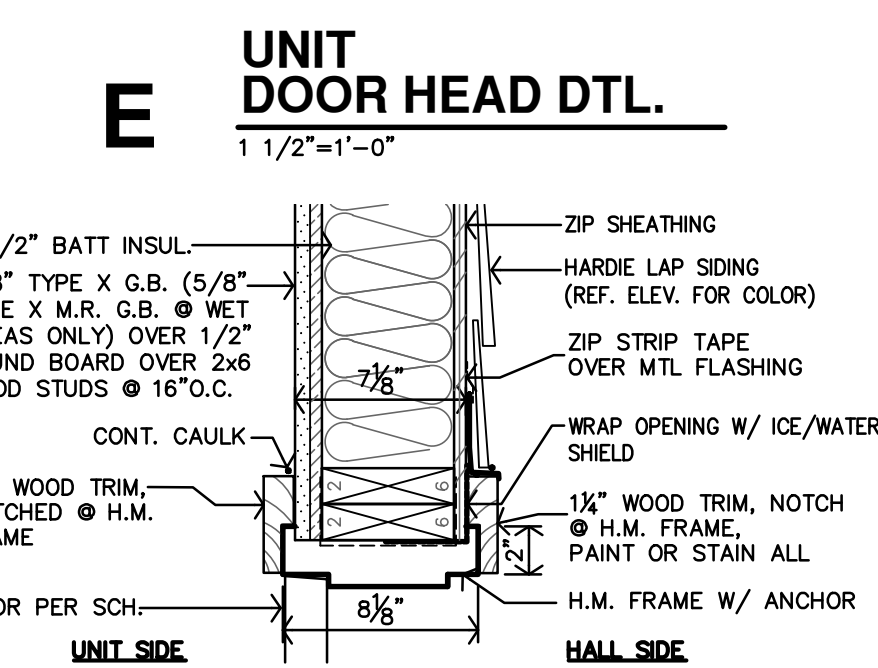
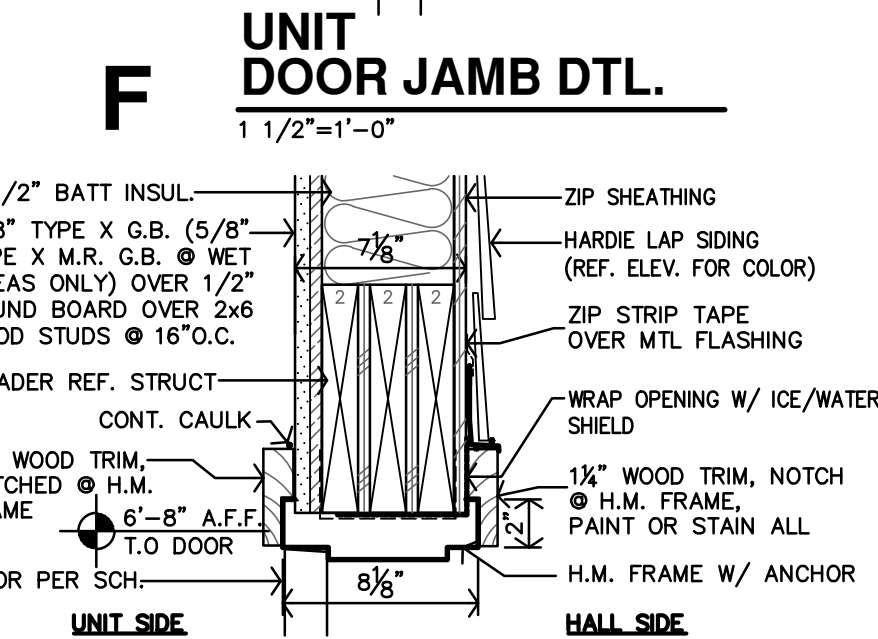
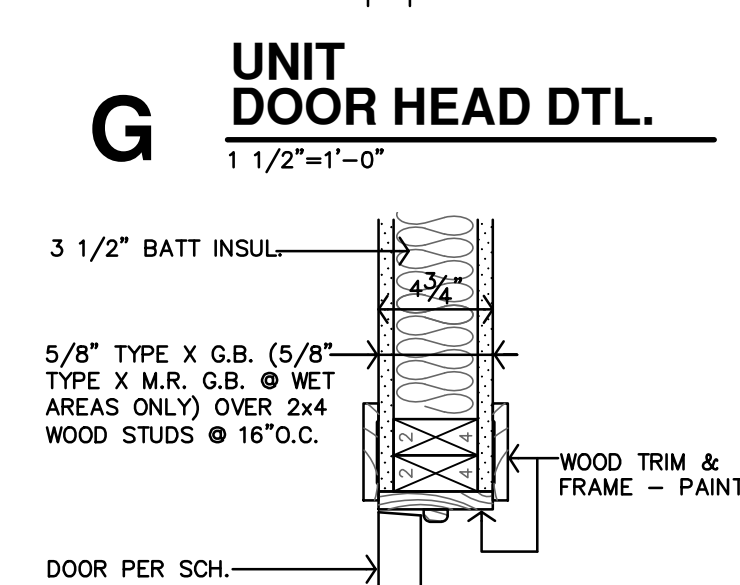
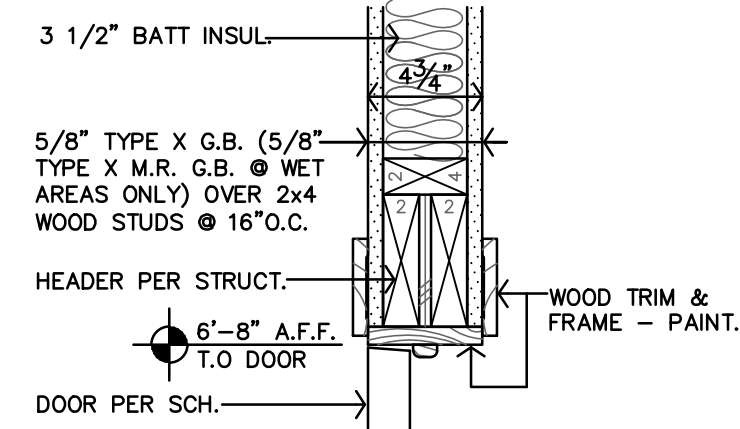
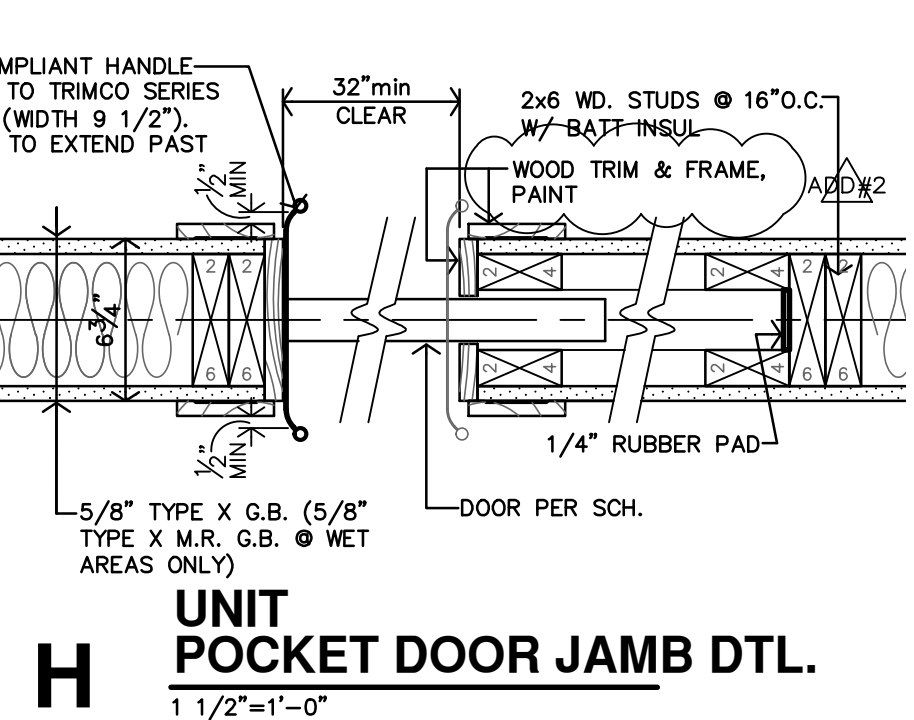
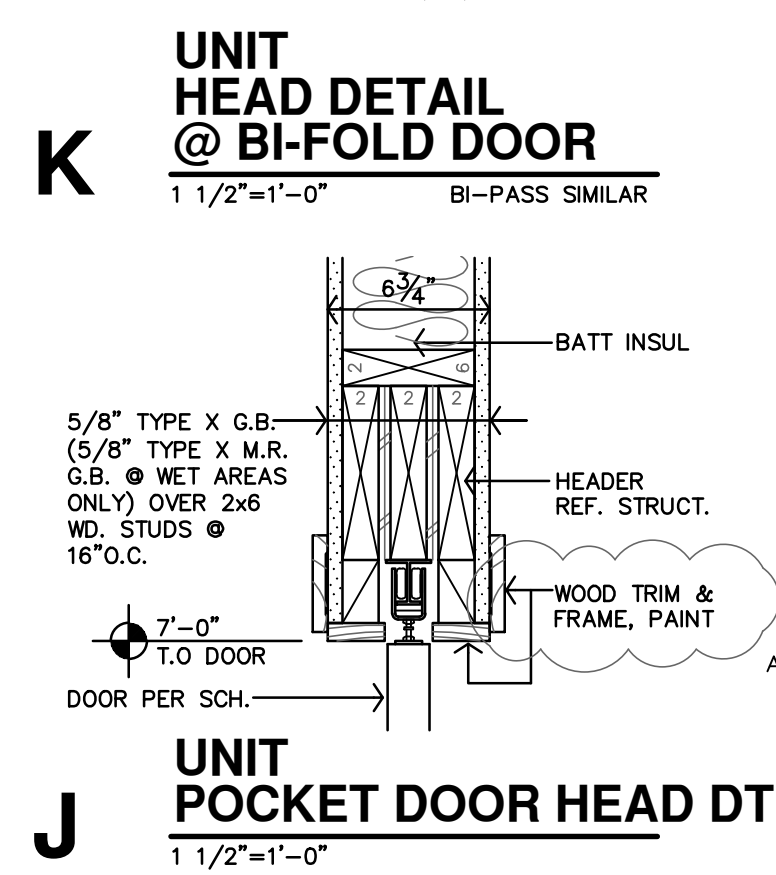
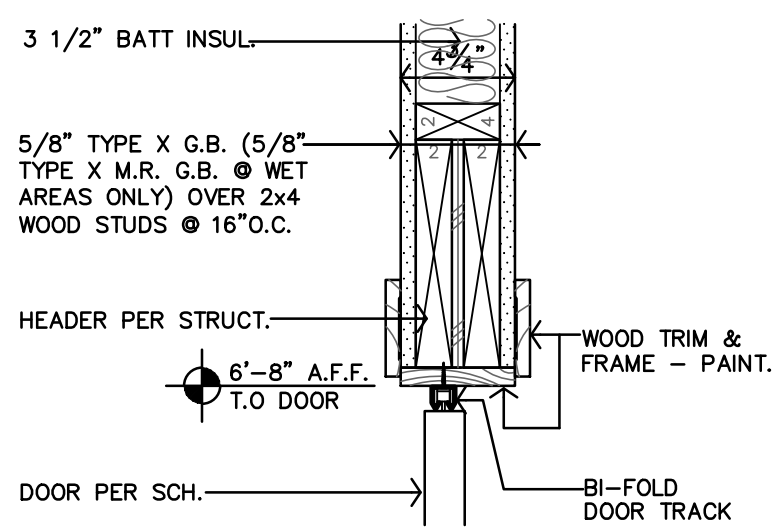
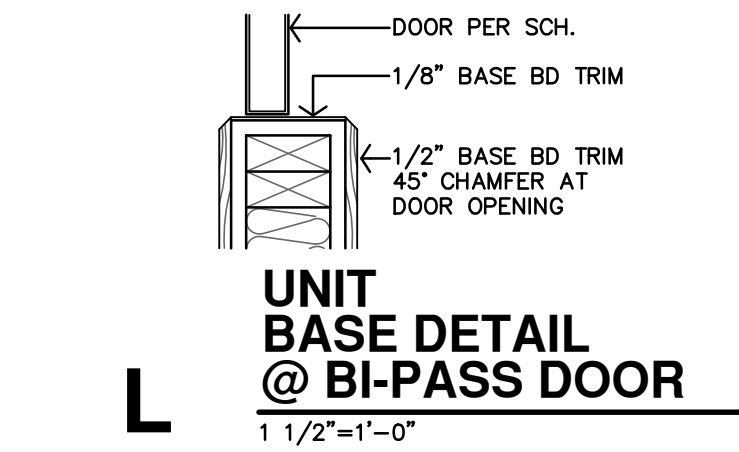
DATE: 5-17-2023
JOB: 21-3205
SHEET NO.:

A8.3

THE RESERVES at MAGNOLIA
NEW APARTMENT COMPLEX
DENTON, TEXAS

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APARTMENT DOOR SCHEDULE - 60 UNITS - REF. SHEETS A2.5-A2.14																				
MARK	DOOR					FRAME					RATING	DETAILS	NOTES							
	SIZE					MATERIAL														
	W	H	T	ADD#2		MTL	INSUL	FINISH	MTL	INSUL				FINISH						
						WOOD H.C.	WOOD LOUVER	TYPE	BI-FOLD	BI-PASS	POCKET	PAINT	PRE-PRIMED	WOOD LOUVER	PVC COMPOSITE	PAINT	PRE-PRIMED	GYP. BD.		
1	3'-0"	6'-8"	1 3/8"			●		A	B			●	●	2	1			20min	D/E-A10.2	NOTES 1,2,3,4,5
2	3'-0"	6'-8"	1 3/8"			●	●	A	B			●	●	2	2				F/G-A10.2	NOTES 6,7
3	3'-0"	6'-8"	1 3/8"			●	●			B		●	●	2	2				H/J-A10.2	NOTES 7,8
4	PR3'-0"	6'-8"	1 3/8"			●				B		●	●	2	2				K/L-A10.2 SIM	
5	(4)1'-3"	6'-8"	1 3/8"			●	●					●	●	2	2				K-A10.2	
6	(2)2'-0"	6'-8"	1 3/8"			●	●	C	E			●	●	2	2				K-A10.2	
7	2'-6"	6'-8"	1 3/8"			●	●	B				●	●	2	2				F/G-A10.2	
9	(4)1'-3"	6'-8"	1 3/8"			●	●	D				●	●	2	2				K-A10.2	

GENERAL NOTES:		SPECIAL NOTES:	
A. ALL DOOR HARDWARE TO BE LEVER TYPE LATCH SETS PROVIDED & INSTALLED PER SPECIFICATIONS SEC. 8710		1. ENTRY DOOR - HARDWARE TO BE LEVER TYPE LATCH SETS, KEYPED OUTSIDE & RELEASE INSIDE LOCKSET & DEADBOLT W/ THUMB TURN INSIDE & NO KEY OUTSIDE W/ 1" MIN THROW. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEY REQUIREMENTS WITH OWNER. WEATHER STRIPPING TO ITEMS AND STATUTES HAVE BEEN MET; http://x.cedexusa.com/pr_title2_chapter2_sec.92.153	
B. CONTRACTOR TO REVIEW AND ENSURE THE FOLLOWING ITEMS AND STATUTES HAVE BEEN MET:		2. ENTRY DOOR - 180° PEEP HOLES AT STANDARD/ADAPTATIVE UNITS: (1) PEEP HOLE TO BE INSTALLED ● 60" AFF	
(1) window latch on each exterior side of dwelling;		3. ENTRY DOOR - 180° PEEP HOLES AT ACCESSIBLE UNITS: (2) PEEP HOLES TO BE INSTALLED ● 43" AFF & 60" AFF	
(2) downlock lock or keyed deadbolt on each exterior door;		4. ENTRY DOOR - WEATHER STRIPPING TO BE INSTALLED.	
(3) sliding door pin lock on each exterior sliding glass door;		5. ENTRY DOOR - HARDWARE TO BE PRIVACY LEVER TYPE LATCH SET.	
(4) handle latch or security bar on each exterior sliding glass door;		6. BEDROOM & BATH DOORS - HARDWARE TO BE PRIVACY LEVER TYPE LATCH SET.	
(5) keying bolting device and a door seal on each exterior door.		7. BEDROOM & BATH DOORS - UNDERCUT DOORS PER MECH DWGS 1" TYPE.	
C. ALL SINGNAGE TO HAVE BRAILLE/TACTILE SURFACE.		8. PEEK DOOR - 32" MIN CLEAR OPENING, W/ ADA COMPLIANT HANDLE SIMILAR TO TRIMCO SERIES 69.	

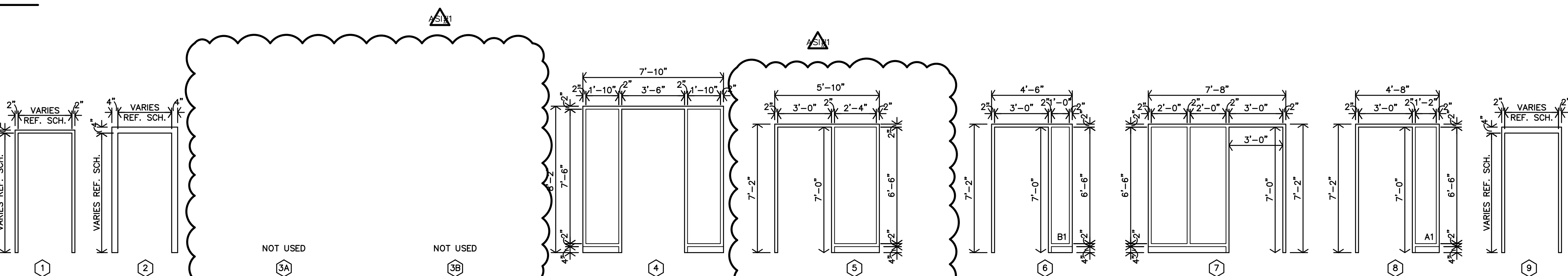
GENERAL NOTES:
A. ALL DOOR HARDWARE TO BE LEVER TYPE LATCH SETS, PROVIDED & INSTALLED PER SPECIFICATIONS SEC. 8710.
B. CONTRACTOR TO REVIEW AND ENSURE THE FOLLOWING ITEMS AND STATUTES HAVE BEEN MET:
(1) window latch on each exterior window of dwelling;
(2) door lock or keyed dead bolt on each exterior door;
(3) sliding door pin lock on each exterior sliding glass door;
(4) handle latch or security bar on each exterior sliding glass door;
(5) keyless entry device and a door viewer on each exterior door.
C. ALL SIGNAGE TO HAVE BRAILLE/TACTILE SURFACE.

WINDOW SCHEDULE											
MARK	WIDTH		HEIGHT	STYLE	INTERIOR		EXTERIOR	DETAILS			
	W	H			INT	EXT					
A	6'-4"	6'-0"		SINGLE HUNG				Q/R/S-A10.3			
B	3'-0"	6'-0"		SINGLE HUNG				Q/R/S-A10.3			
C	1'-0"	8'-10"		ALUM. STOREFRONT SYSTEM				H-A10.3			
D	6'-4"	8'-10"		ALUM. STOREFRONT SYSTEM				H-A10.3			
E	4'-2"	8'-10"		ALUM. STOREFRONT SYSTEM				H-A10.3			
F	6'-0"	4'-2"		ALUM. STOREFRONT SYSTEM				H-A10.3			

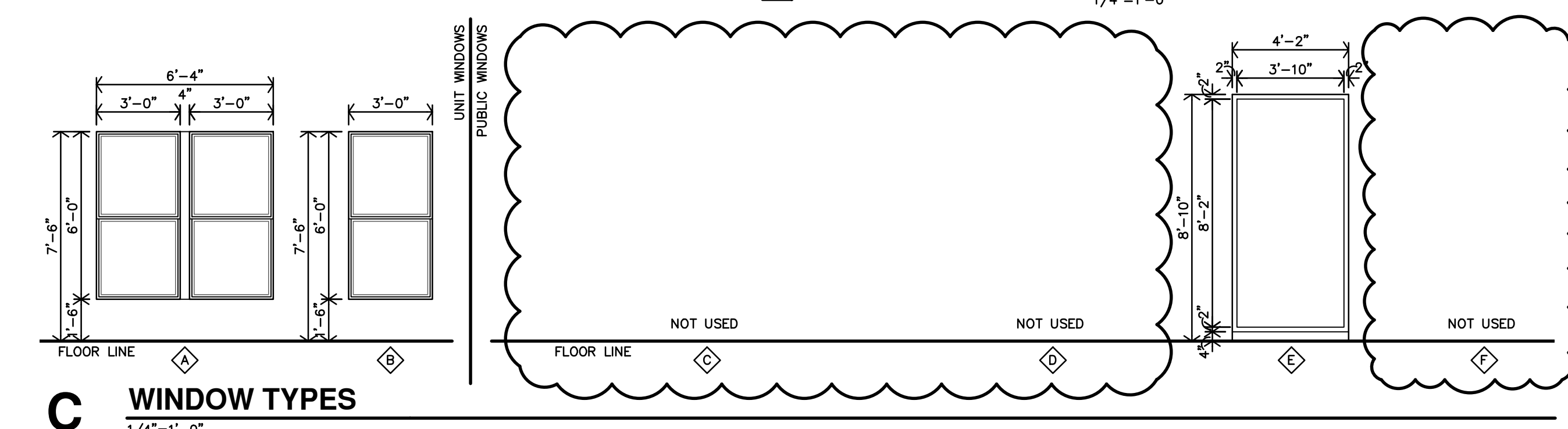
NOTES:
1. CONTRACTOR MUST INSTALL MTL FLASHINGS & CONT. CAULK FOR A WEATHER & WATERTIGHT CONDITIONS.
2. CONTRACTOR MUST INSTALL 1/4" INSUL. OR THERMAL BREAK. CONTINUOUS AROUND WINDOW.
3. CONTRACTOR TO PROVIDE & INSTALL MANUFACTURERS COORDINATING PANNING SYSTEM FOR ALUM. WINDOWS.
4. WINDOWS A & B MUST BE SIZED TO MEET EGRESS REQUIREMENTS.
5. ALL OPERABLE WINDOWS W/ THE SILL 6'-0" ABOVE GRADE, SHALL BE PROVIDE W/ WINDOW OPENING CONTROL DEVICE PER ASTM 2090 & 2021 IBC SEC. 1015.8.1.
6. PROVIDE & INSTALL SAFETY GLASS AT HAZARDOUS LOCATIONS, PER 2021 IBC CODE 2406. IN DOORS, ADJACENT & WITHIN 24" TO DOORS, LESS THAN 18" ABV FLOOR, IN GUARDS & HANDRAILS, ADJACENT TO STAIRS AND RAMPS, STAIRS AND RAMPS.
7. ALL OPERABLE WINDOWS SHALL HAVE INSECT SCREENS.

PUBLIC DOOR SCHEDULE														
MARK	DOOR					FRAME			RATING	HARDWARE			DETAILS	
	W	H	T	MATERIAL		TYPE	FINISH	MATERIAL		TYPE	FINISH			
				ALUMINUM INSULATED METAL S.C. WOOD	PREFIN. METAL			ALUMINUM WOOD				PREFIN. METAL		
FIRST FLOOR														
101	3'-0"	7'-0"	1 3/4"	●	J	●	●	1	●	●	●	●	20 Min	L-A10.3
102	3'-0"	7'-0"	1 3/4"	●	B	●	●	1	●	●	●	●	90 Min	A/B-A10.3
103	3'-0"	7'-0"	1 3/4"	●	L	●	●	1	●	●	●	●	20 Min	M-A10.3
104	3'-0"	7'-0"	1 3/4"	●	L	●	●	1	●	●	●	●	90 Min	T/U-A10.3
105	3'-0"	7'-0"	1 3/4"	●	B	●	●	1	●	●	●	●	20 Min	A/B-A10.3
106	3'-0"	7'-0"	1 3/4"	●	J	●	●	7	●	●	●	●	90 Min	L-A10.3
107	3'-0"	7'-0"	1 3/4"	●	H	●	●	4	●	●	●	●	20 Min	P-A10.3
108	3'-6"	8'-0"	1 3/4"	●	J	●	●	1	●	●	●	●	90 Min	L-A10.3
109	3'-0"	7'-0"	1 3/4"	●	J	●	●	6	●	●	●	●	20 Min	L-A10.3
111	3'-0"	7'-0"	1 3/4"	●	J	●	●	8	●	●	●	●	90 Min	L-A10.3
112	3'-0"	7'-0"	1 3/4"	●	J	●	●	4	●	●	●	●	20 Min	E/F/G-A10.3
113	PR 3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	90 Min	L-A10.3
114	PR 3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	T/U-A10.3
116	PR 3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	90 Min	E/F/G-A10.3
117	PR 3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
118	4'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	90 Min	E/F/G-A10.3
119	3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
120	3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	90 Min	E/F/G-A10.3
121	3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
122	3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	90 Min	E/F/G-A10.3
123	PR 3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
124	3'-0"	7'-0"	1 3/4"	●	L	●	●	1	●	●	●	●	90 Min	T/U-A10.3
SECOND FLOOR														
201	PR 3'-0"	6'-8"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
202	4'-0"	6'-8"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
203	3'-0"	6'-8"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
204	3'-0"	7'-0"	1 3/4"	●	L	●	●	1	●	●	●	●	90 Min	T/U-A10.3
206	3'-0"	7'-0"	1 3/4"	●	L	●	●	1	●	●	●	●	90 Min	T/U-A10.3
THIRD FLOOR														
301	PR 3'-0"	6'-8"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
302	4'-0"	6'-8"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
303	3'-0"	6'-8"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
304	3'-0"	7'-0"	1 3/4"	●	L	●	●	1	●	●	●	●	90 Min	T/U-A10.3
306	3'-0"	7'-0"	1 3/4"	●	L	●	●	1	●	●	●	●	90 Min	T/U-A10.3
FOURTH FLOOR														
401	PR 3'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
402	4'-0"	7'-0"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
403	3'-0"	6'-8"	1 3/4"	●	K	●	●	1	●	●	●	●	20 Min	E/F/G-A10.3
404	3'-0"	7'-0"	1 3/4"	●	L	●	●	1	●	●	●	●	90 Min	T/U-A10.3
406	3'-0"	7'-0"	1 3/4"	●	L	●	●	1	●	●	●	●	90 Min	T/U-A10.3
ELEVATOR														
E1	3'-6"	7'-0"		●				●	●	●	●	●	90 Min	REF. SHEETS A6.1 & A6.4
E2	3'-6"	7'-0"		●				●	●	●	●	●	90 Min	REF. SHEETS A6.1 & A6.4
E3	3'-6"	7'-0"		●				●	●	●	●	●	90 Min	REF. SHEETS A6.1 & A6.4
E4	3'-6"	7'-0"		●				●	●	●	●	●	90 Min	REF. SHEETS A6.1 & A6.4
NOTES:														
1. ALL EXPOSED UNTELS TO BE PAINTED AT INTERIOR AND EXTERIOR.														
2. CONTRACTOR MUST INSTALL MTL. FLASHINGS & CONT. CAULK FOR A WEATHER & WATERIGHT CONDITIONS ● ALL EXTERIOR DOORS & DOOR FRAMES/UNITS.														
3. INSTALL ALUMINUM THRESHOLD/EXPANSION JOINT COVER BETWEEN CONCRETE AND WOOD FLOORS.														
4. ALL SIGNAGE TO HAVE BRAILLE/TACTILE SURFACE.														

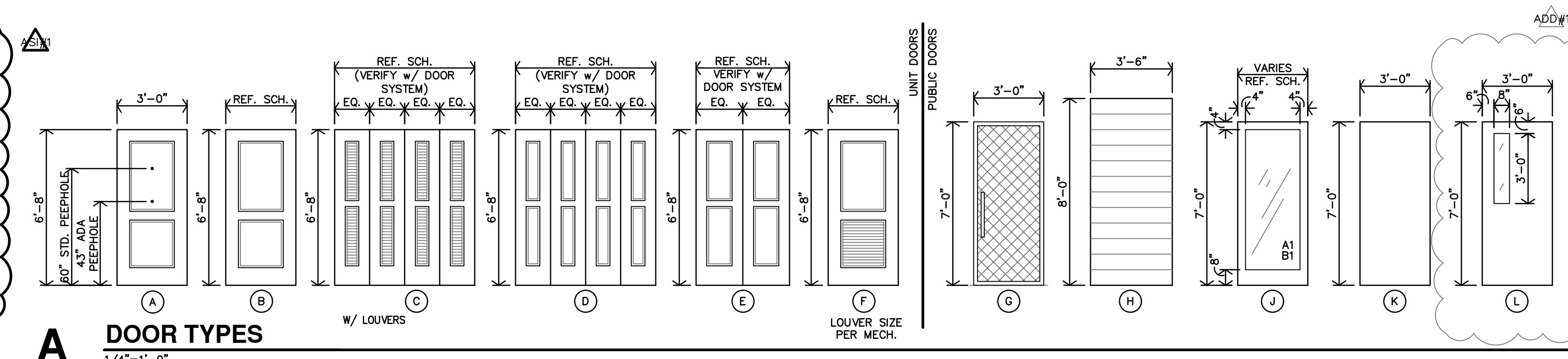
NOTES:
1. ALL EXPOSED UNITS TO BE PAINTED AT INTERIOR AND EXTERIOR.
2. CONTRACTOR MUST INSTALL MTL FLASHINGS & CONT. CAULK FOR A WEATHER & WATERTIGHT CONDITIONS @ ALL EXTERIOR DOORS & DOOR FRAMES/UNITS.
3. INSTALL ALUMINUM THRESHOLD/EXPANSION JOINT COVER BETWEEN CONCRETE AND WOOD FLOORS.
4. ALL SIGNAGE TO HAVE BRAILLE/TACTILE SURFACE.



DOOR FRAME TYPES
1/4"=1'-0"



WINDOW TYPES
1/4"=1'-0"



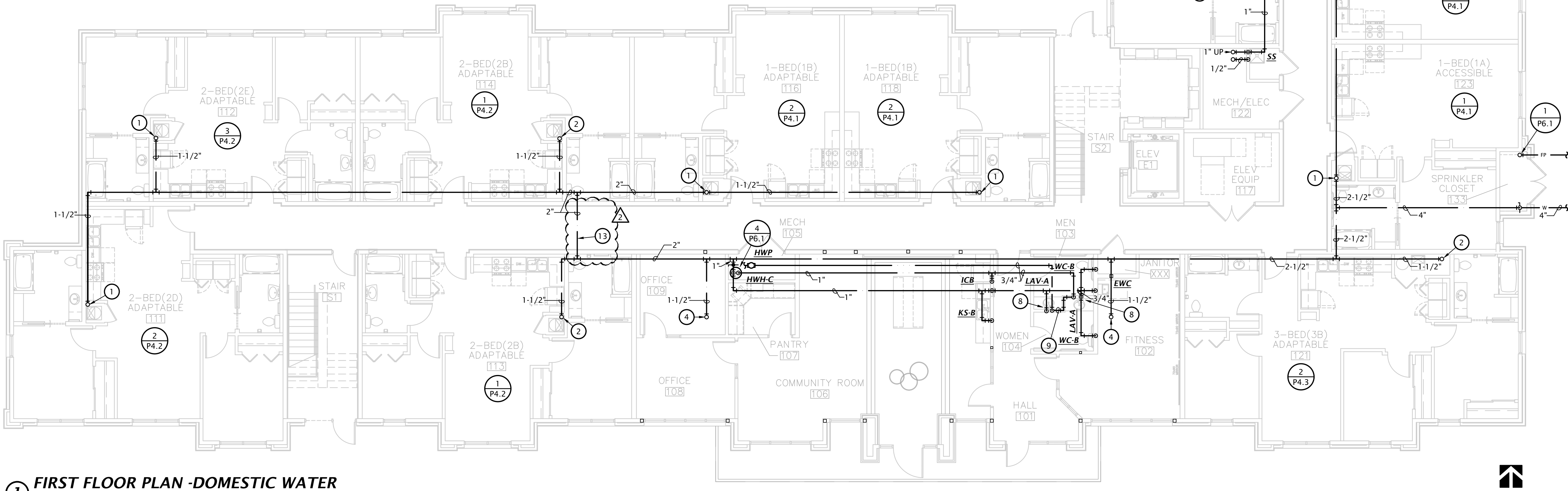
DOOR TYPES
1/4"=1'-0"

DOMESTIC WATER PLAN NOTES BY SYMBOL

- ROUTE 1-1/4" UP TO FLOOR ABOVE, SEE 1:P2.6 FOR CONTINUATION. ROUTE BRANCH TO FIRST FLOOR APARTMENT. SEE ENLARGED DOMESTIC WATER PLANS FOR SIZING AND ROUTING IN APARTMENT. PROVIDE SHUT-OFF VALVE AT BASE OF RISER.
- ROUTE 1-1/2" UP TO FLOOR ABOVE, SEE 1:P2.6 FOR CONTINUATION. ROUTE BRANCH TO FIRST FLOOR APARTMENT. SEE ENLARGED DOMESTIC WATER PLANS FOR SIZING AND ROUTING IN APARTMENT. PROVIDE SHUT-OFF VALVE AT BASE OF RISER.
- ROUTE 1-1/4" TO FIRST FLOOR APARTMENT. SEE ENLARGED DOMESTIC WATER PLANS FOR SIZING AND ROUTING IN APARTMENT.
- ROUTE 1-1/2" UP TO FLOOR ABOVE, SEE 1:P2.6 FOR CONTINUATION.
- ROUTE 1-1/4" UP TO FLOOR ABOVE, SEE 1:P2.7 FOR CONTINUATION. ROUTE BRANCH TO SECOND FLOOR APARTMENT. SEE ENLARGED DOMESTIC WATER PLANS FOR SIZING AND ROUTING IN APARTMENT.
- ROUTE 1-1/4" UP TO FOURTH FLOOR APARTMENT ABOVE, SEE 1:P2.8 FOR CONTINUATION. ROUTE BRANCH TO THIRD FLOOR APARTMENT. SEE ENLARGED DOMESTIC WATER PLANS FOR SIZING AND ROUTING IN APARTMENTS.
- ROUTE ALL APARTMENT WATER PIPING BELOW FLOOR.
- PROVIDE PUBLIC LAVATORIES WITH POINT OF USE TEMPERING VALVE.
- ROUTE HOT WATER DOWN IN WALL TO MINIMIZE DISTANCE TO LAVATORIES.
- ROUTE 1" UP TO FOURTH FLOOR APARTMENT ABOVE, SEE 1:P2.8 FOR CONTINUATION. ROUTE BRANCH TO THIRD FLOOR APARTMENTS. SEE ENLARGED DOMESTIC WATER PLANS FOR SIZING AND ROUTING IN APARTMENTS.
- 3/4" DOMESTIC COLD WATER LINE ROUTED IN ATTIC SPACE.
- 3/4" DOMESTIC COLD WATER UP TO ROOF HYDRANT.
- PROVIDE PIPING INSULATION PER SPECIFICATIONS WHERE PIPING CROSSES BREEZEWAYS.

		ALTERNATE MATERIAL/SIZE	
		Cross-linked polyethylene (PEX)	Polypropylene (PP)
COPPER PIPE SIZE INDICATED	1/2"	3/4"	1/2"
	3/4"	1"	1"
	1"		1-1/4"
	1-1/4"		1-1/2"
	1-1/2"		2"
	2"		2-1/2"
	2-1/2"		3"
	3"		3-1/2"
Note: Pipe sizes indicated on drawings are for Type L copper pipe. If alternate materials are used, sizes shall be as indicated above. Where no pipe size is shown, use of indicated material in design pipe size is prohibited. Do not use materials other than those listed.			

PROJECT NUMBER: 22062			
PROJECT NAME: The Reserves at Magnolia, Denton, TX			
DATE: 26-Jun-23			
FIXTURE TYPE	QUANTITY	TOTAL WATER FIXTURE UNITS	
Bathroom Group (Private FT)	100	360	
Dishwasher (Private)	61	85.4	
Drinking Fountain	1	0.25	
Ice Maker Connection Box	61	15.25	
Kitchen Sink (Private)	61	85.4	
Lavatory (Public)	2	4	
Service Sink	4	12	
Washing Machine(Private, 8lb.)	60	84	
Water Closet (Public, FT)	2	10	
	TOTAL F.U. =	657	
2021 IPC		VELOCITY	TOTAL FT GPM= 152.9
		3.3 PSI	MIN. PIPE SIZE = 3"



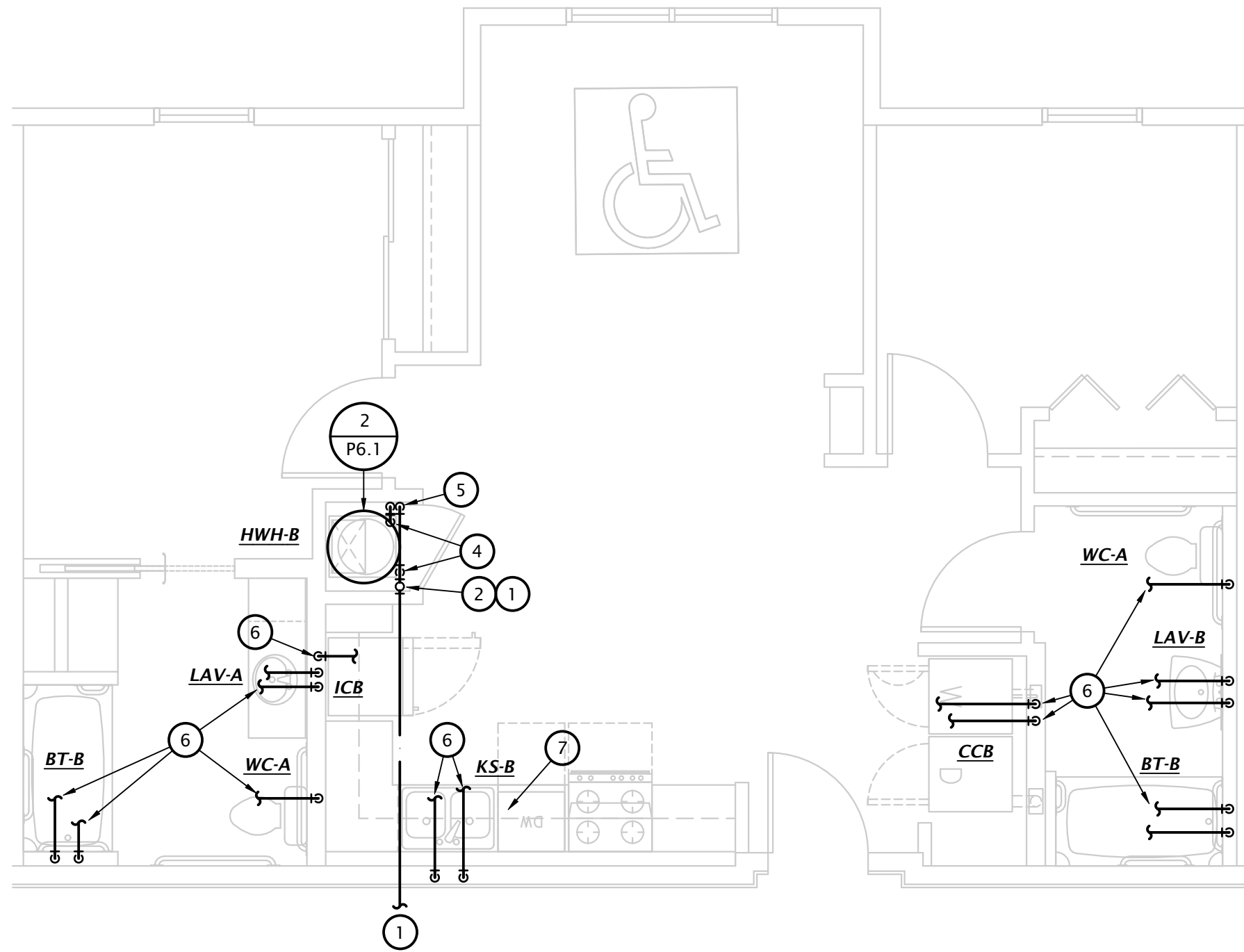
1 FIRST FLOOR PLAN -DOMESTIC WATER
1/8" = 1'-0"

- NOTES:
- PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS.
 - COORDINATE INSTALLATION OF PIPING IN MECHANICAL CLOSET W/ M.C. & E.C.
 - SEE PLUMBING FIXTURE SCHEDULE ON SHEET P6.1 FOR FIXTURE ROUGH-IN INFORMATION.
 - ROUTE PIPING BELOW FLOOR FOR 4TH FLOOR APARTMENTS AND WHERE NOTED ON OVERALL PLAN. DO NOT ROUTE PIPING ABOVE CEILING IN UNCONDITIONED ATTIC/ PLENUM SPACES EXPOSED TO EXTERIOR.
 - INSULATE ALL HW PIPING WITH MINIMUM R-3 INSULATION PER 2021 IECC R403.5.2.

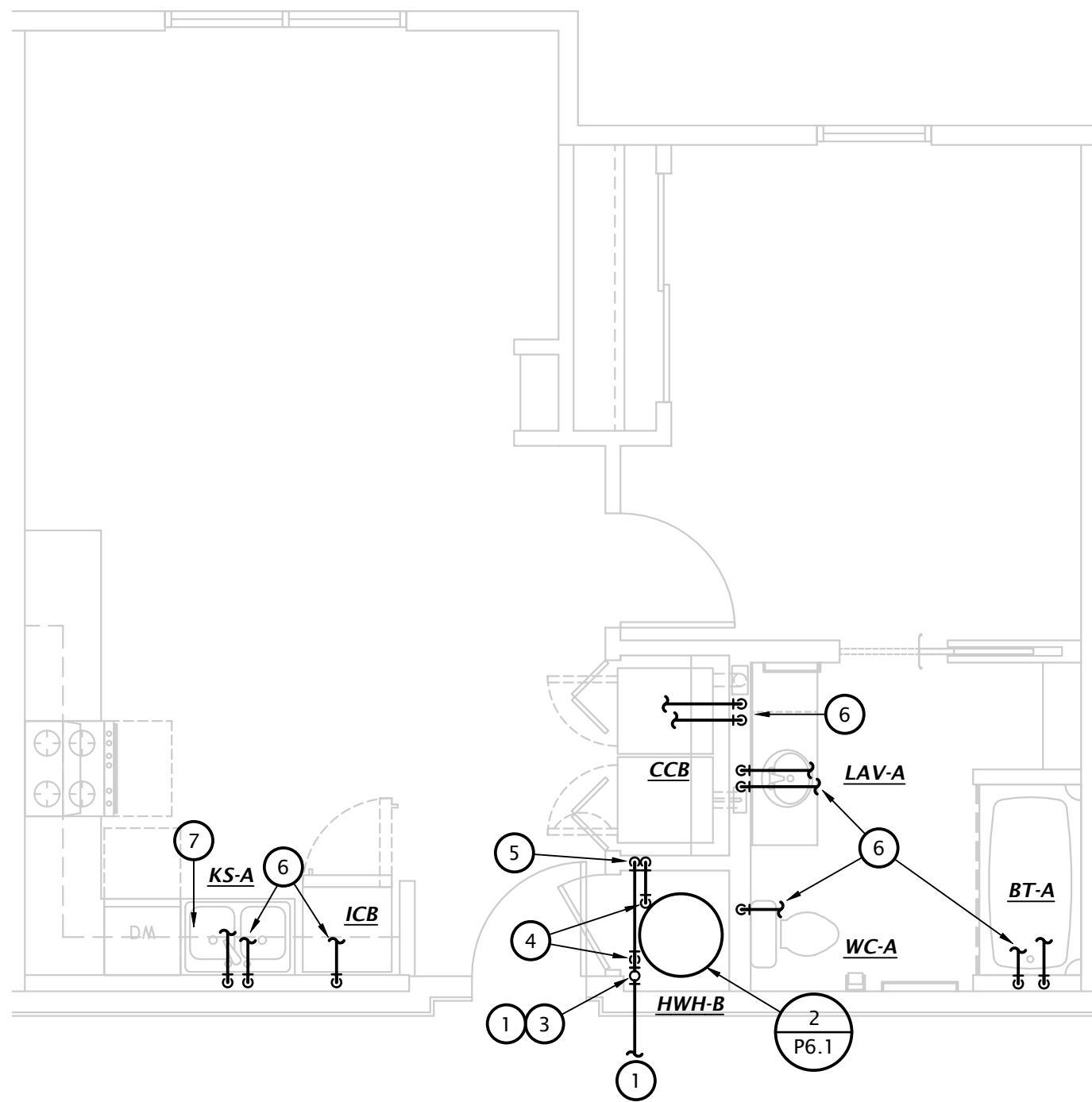
PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2021 IECC. REFERENCE SPECIFICATIONS FOR COMMISSIONING REQUIREMENTS.

ENLARGED DOMESTIC WATER PLAN NOTES BY SYMBOL

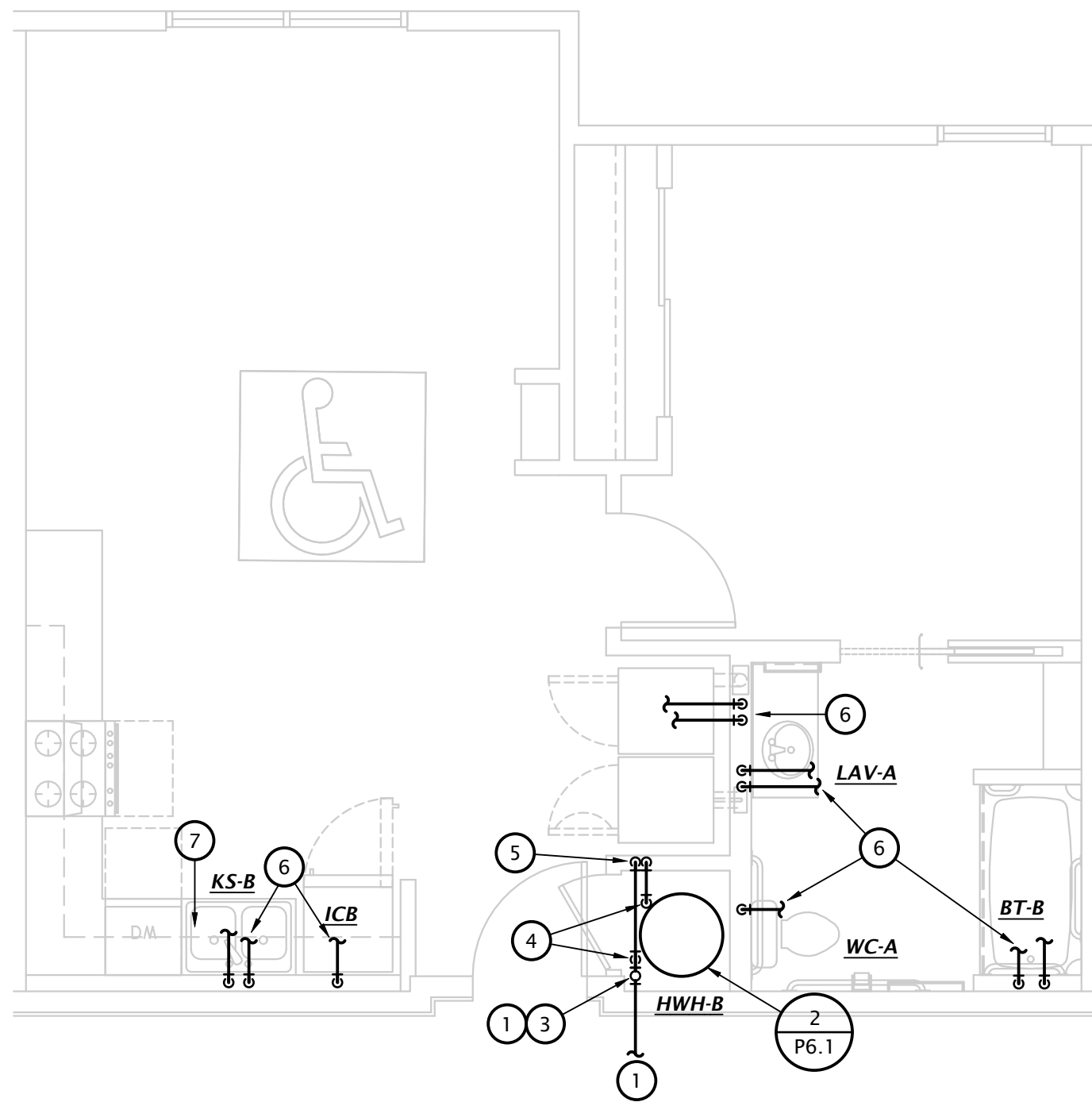
1. SEE OVERALL DOMESTIC WATER PLANS FOR SIZING AND CONTINUATION.
2. PROVIDE 1-1/4" WATER SERVICE TO ALL TWO AND THREE BEDROOM APARTMENTS. PROVIDE INDIVIDUAL SHUT-OFF VALVE FOR EACH DWELLING UNIT.
3. PROVIDE 1" WATER SERVICE TO ONE BEDROOM APARTMENTS. PROVIDE INDIVIDUAL SHUT-OFF VALVE FOR EACH DWELLING UNIT.
4. CONNECT 1" CW AND HW TO WATER HEATER.
5. PROVIDE FIELD FABRICATED 1" HW AND CW MANIFOLD WITH 1/2" PEX BRANCHES AND ROUTE 1/2"PEX BRANCHES TO EACH FIXTURE. MOUNT MANIFOLDS IN ACCESSIBLE LOCATION FIELD COORDINATE EXACT LOCATION OF MANIFOLD WITH G.C. AND OTHER TRADES. PROVIDE ACCESS PANEL IF MOUNTED IN WALL.
6. ROUTE 1/2" PEX BRANCHES TO MANIFOLD. PROVIDE COPPER STUB-OUTS AT ROUGH-IN FOR EACH FIXTURE.
7. PROVIDE 1/2" VALVED BRANCH BELOW SINK AND CONNECT DISHWASHER. ROUTE PIPING ALONG BACK OF CABINETRY, COORDINATE EXACT ROUTING WITH G.C. COORDINATE EXACT REQUIREMENTS WITH DISHWASHER PROVIDED.



3 2 BEDROOM ACCESSIBLE DOMESTIC WATER PLAN (TYPE A)
1/4" = 1'-0"



2 1 BEDROOM DOMESTIC WATER PLAN (TYPES B, AND C)
1/4" = 1'-0"



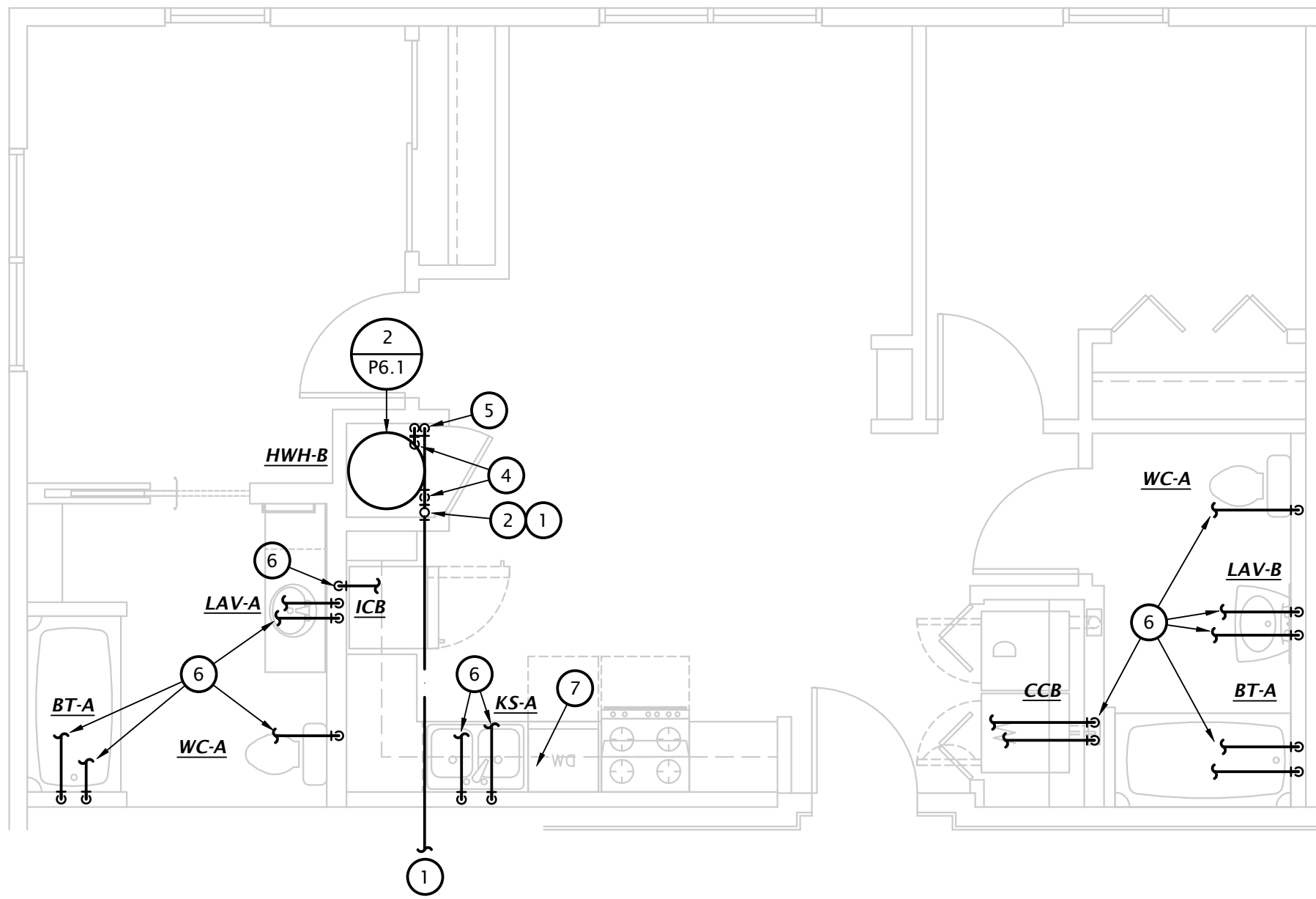
1 1 BEDROOM ACCESSIBLE DOMESTIC WATER PLAN (TYPE A)
1/4" = 1'-0"

- NOTES:
- PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS.
 - COORDINATE INSTALLATION OF PIPING IN MECHANICAL CLOSET W/ M.C. & E.C.
 - SEE PLUMBING FIXTURE SCHEDULE ON SHEET P6.1 FOR FIXTURE ROUGH-IN INFORMATION.
 - ROUTE PIPING BELOW FLOOR FOR 4TH FLOOR APARTMENTS AND WHERE NOTED ON OVERALL PLAN. DO NOT ROUTE PIPING ABOVE CEILING IN UNCONDITIONED ATTIC/ PLENUM SPACES EXPOSED TO EXTERIOR.
 - INSULATE ALL HW PIPING WITH MINIMUM R-3 INSULATION PER 2021 IECC R403.5.2.

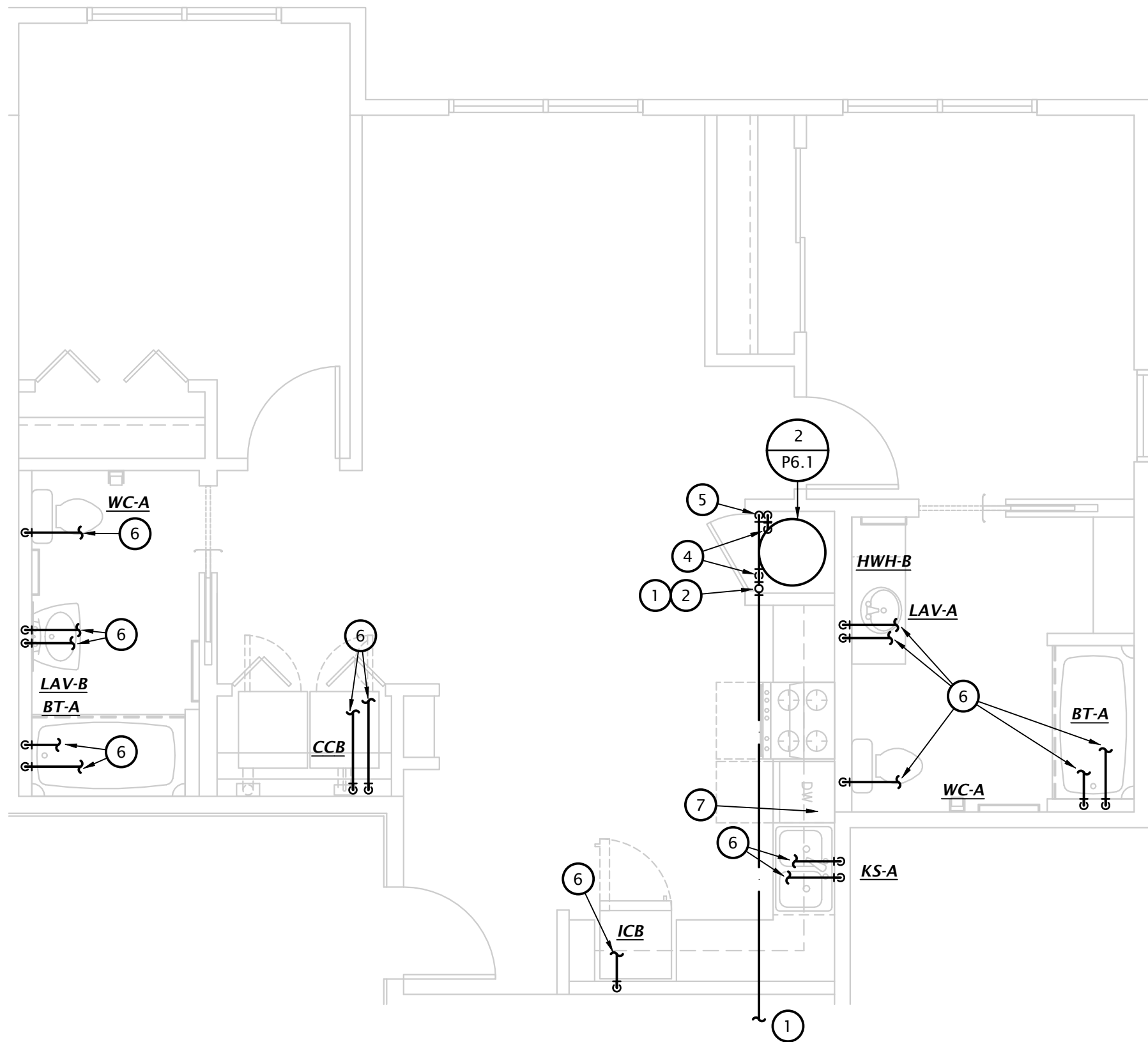
PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2021 IECC. REFERENCE SPECIFICATIONS FOR COMMISSIONING REQUIREMENTS.

ENLARGED DOMESTIC WATER PLAN NOTES BY SYMBOL

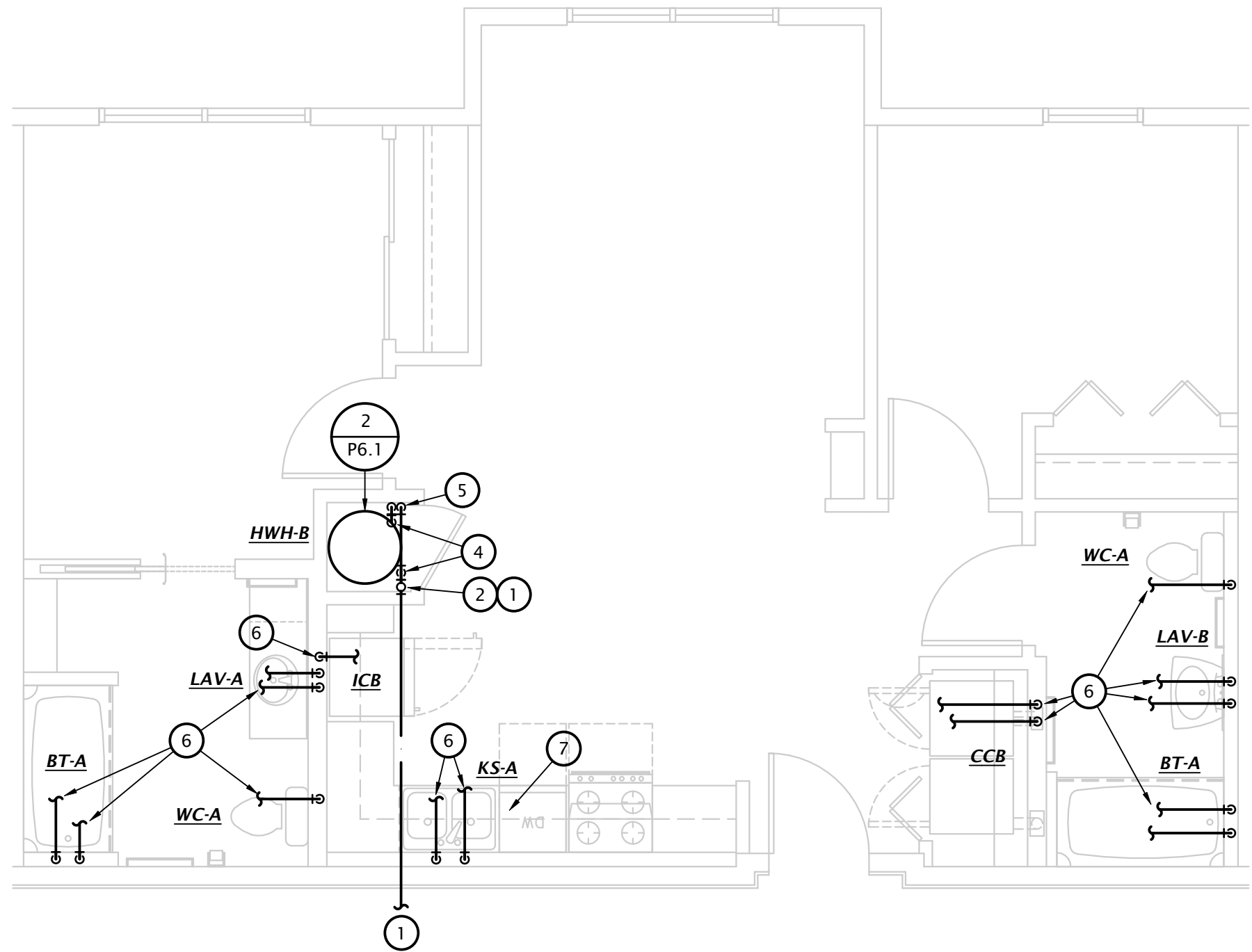
1. SEE OVERALL DOMESTIC WATER PLANS FOR SIZING AND CONTINUATION.
2. PROVIDE 1-1/4" WATER SERVICE TO ALL TWO AND THREE BEDROOM APARTMENTS. PROVIDE INDIVIDUAL SHUT-OFF VALVE FOR EACH DWELLING UNIT.
3. PROVIDE 1" WATER SERVICE TO ONE BEDROOM APARTMENTS. PROVIDE INDIVIDUAL SHUT-OFF VALVE FOR EACH DWELLING UNIT.
4. CONNECT 1" CW AND HW TO WATER HEATER.
5. PROVIDE FIELD FABRICATED 1" HW AND CW MANIFOLD WITH 1/2" PEX BRANCHES AND ROUTE 1/2"PEX BRANCHES TO EACH FIXTURE. MOUNT MANIFOLDS IN ACCESSIBLE LOCATION FIELD COORDINATE EXACT LOCATION OF MANIFOLD WITH G.C. AND OTHER TRADES. PROVIDE ACCESS PANEL IF MOUNTED IN WALL.
6. ROUTE 1/2" PEX BRANCHES TO MANIFOLD. PROVIDE COPPER STUB-OUTS AT ROUGH-IN FOR EACH FIXTURE.
7. PROVIDE 1/2" VALVED BRANCH BELOW SINK AND CONNECT DISHWASHER. ROUTE PIPING ALONG BACK OF CABINETRY, COORDINATE EXACT ROUTING WITH G.C. COORDINATE EXACT REQUIREMENTS WITH DISHWASHER PROVIDED.



3 2 BEDROOM DOMESTIC WATER PLAN (TYPE E)
1/4" = 1'-0"



2 2 BEDROOM DOMESTIC WATER PLAN (TYPE D)
1/4" = 1'-0"



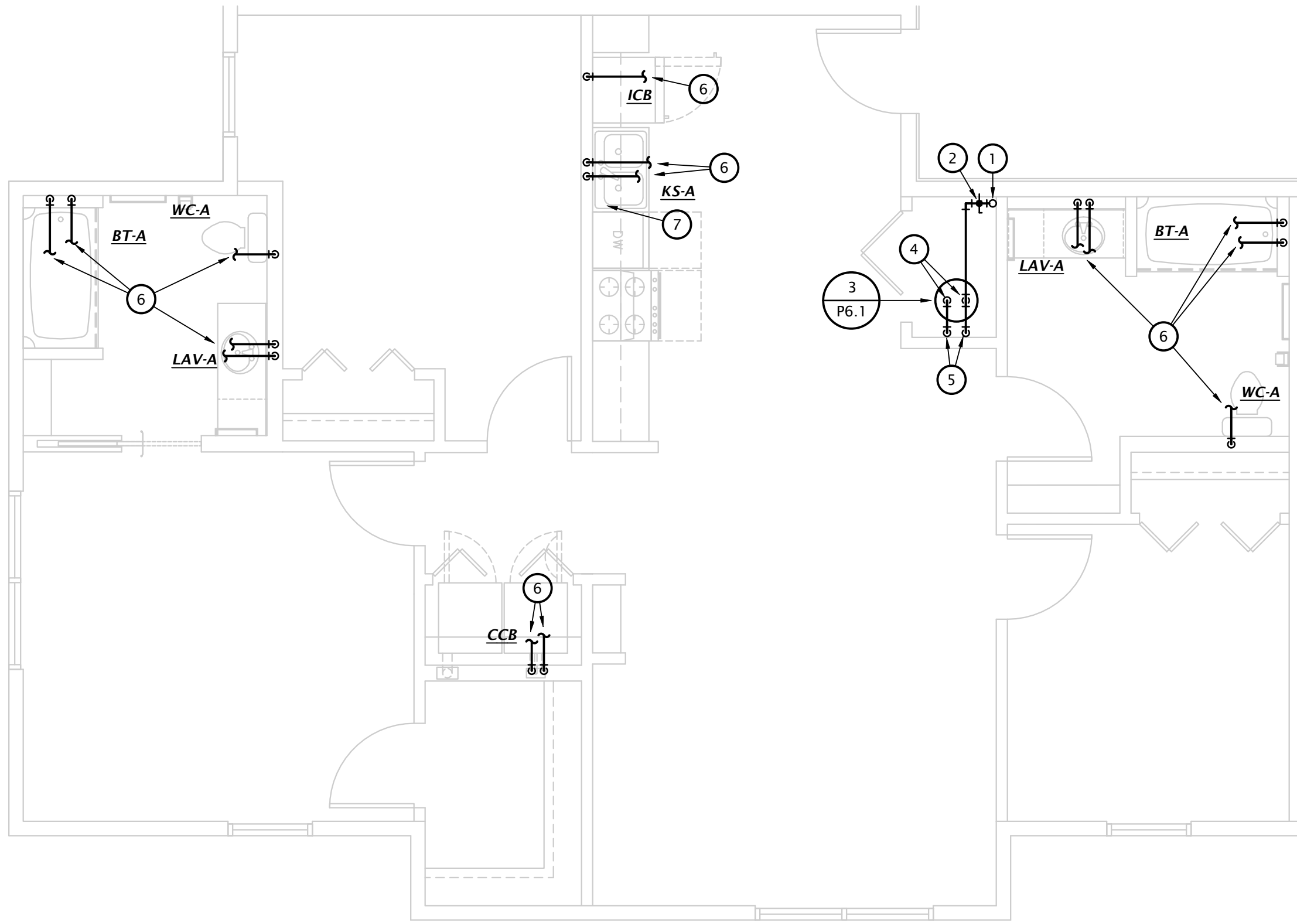
1 2 BEDROOM DOMESTIC WATER PLAN (TYPES B, AND C)
1/4" = 1'-0"

- NOTES:
- PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS.
 - COORDINATE INSTALLATION OF PIPING IN MECHANICAL CLOSET W/ M.C. & E.C.
 - SEE PLUMBING FIXTURE SCHEDULE ON SHEET P6.1 FOR FIXTURE ROUGH-IN INFORMATION.
 - ROUTE PIPING BELOW FLOOR FOR 4TH FLOOR APARTMENTS AND WHERE NOTED ON OVERALL PLAN. DO NOT ROUTE PIPING ABOVE CEILING IN UNCONDITIONED ATTIC/ PLENUM SPACES EXPOSED TO EXTERIOR.
 - INSULATE ALL HW PIPING WITH MINIMUM R-3 INSULATION PER 2021 IECC R403.5.2.

PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2021 IECC. REFERENCE SPECIFICATIONS FOR COMMISSIONING REQUIREMENTS.

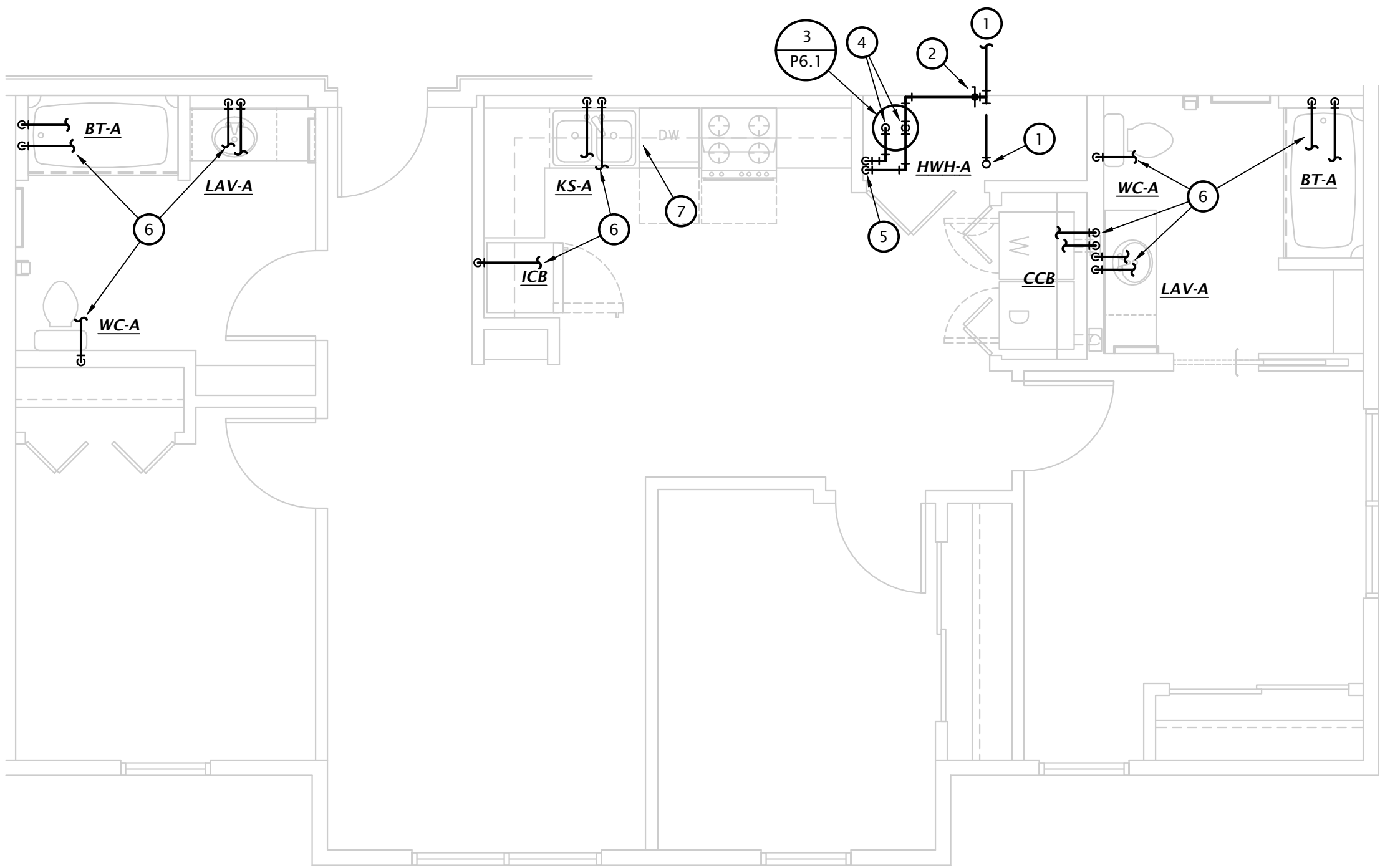
ENLARGED DOMESTIC WATER PLAN NOTES BY SYMBOL

1. SEE OVERALL DOMESTIC WATER PLANS FOR SIZING AND CONTINUATION.
2. PROVIDE 1-1/4" WATER SERVICE TO ALL TWO AND THREE BEDROOM APARTMENTS. PROVIDE INDIVIDUAL SHUT-OFF VALVE FOR EACH DWELLING UNIT.
3. PROVIDE 1" WATER SERVICE TO ONE BEDROOM APARTMENTS. PROVIDE INDIVIDUAL SHUT-OFF VALVE FOR EACH DWELLING UNIT.
4. CONNECT 1" CW AND HW TO WATER HEATER.
5. PROVIDE FIELD FABRICATED 1" HW AND CW MANIFOLD WITH 1/2" PEX BRANCHES AND ROUTE 1/2" PEX BRANCHES TO EACH FIXTURE. MOUNT MANIFOLDS IN ACCESSIBLE LOCATION FIELD COORDINATE EXACT LOCATION OF MANIFOLD WITH G.C. AND OTHER TRADES. PROVIDE ACCESS PANEL IF MOUNTED IN WALL.
6. ROUTE 1/2" PEX BRANCHES TO MANIFOLD. PROVIDE COPPER STUB-OUTS AT ROUGH-IN FOR EACH FIXTURE.
7. PROVIDE 1/2" VALVED BRANCH BELOW SINK AND CONNECT DISHWASHER. ROUTE PIPING ALONG BACK OF CABINETRY, COORDINATE EXACT ROUTING WITH G.C. COORDINATE EXACT REQUIREMENTS WITH DISHWASHER PROVIDED.



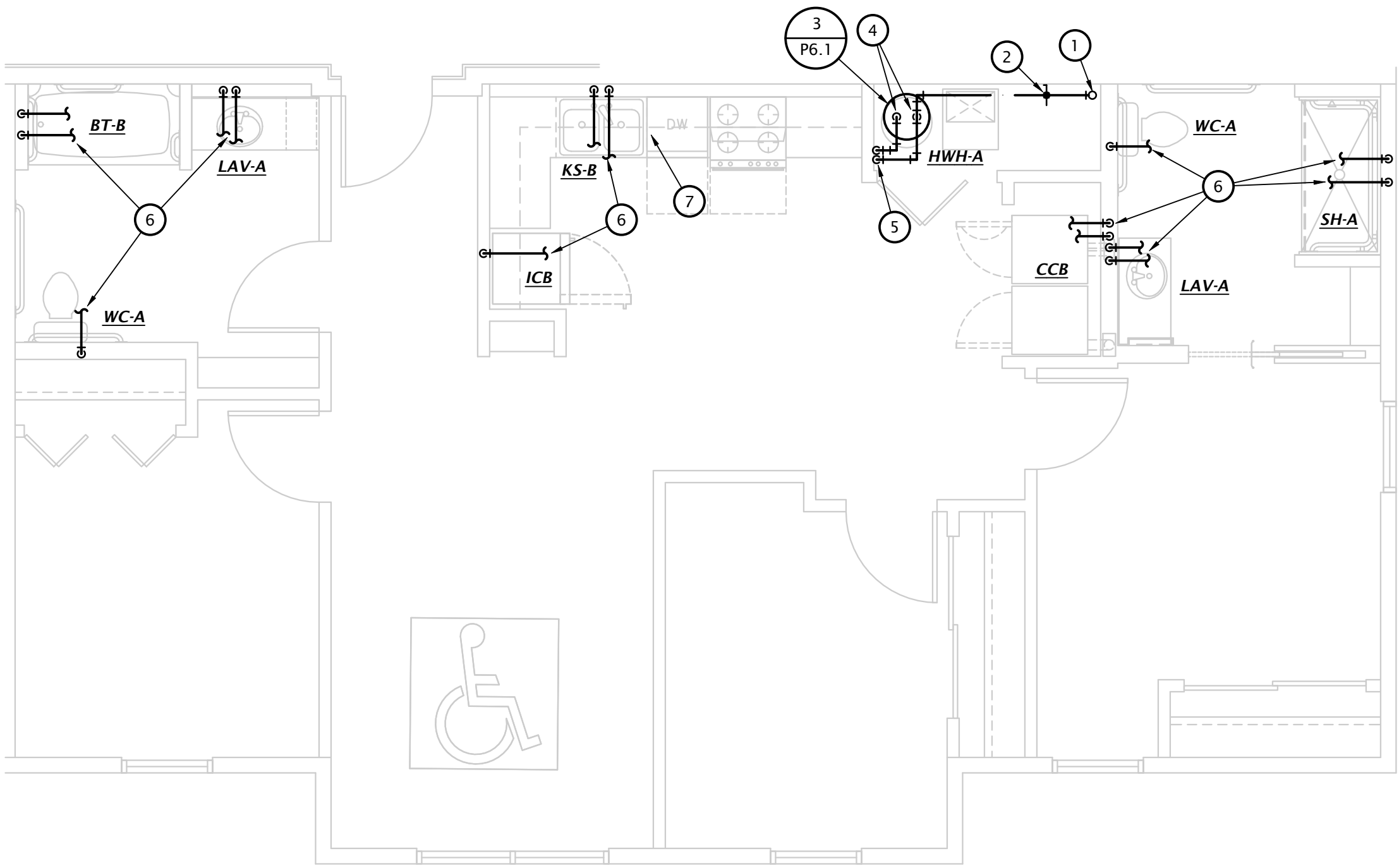
3 3 BEDROOM DOMESTIC WATER PLAN (TYPE D)

1/4" = 1'-0"



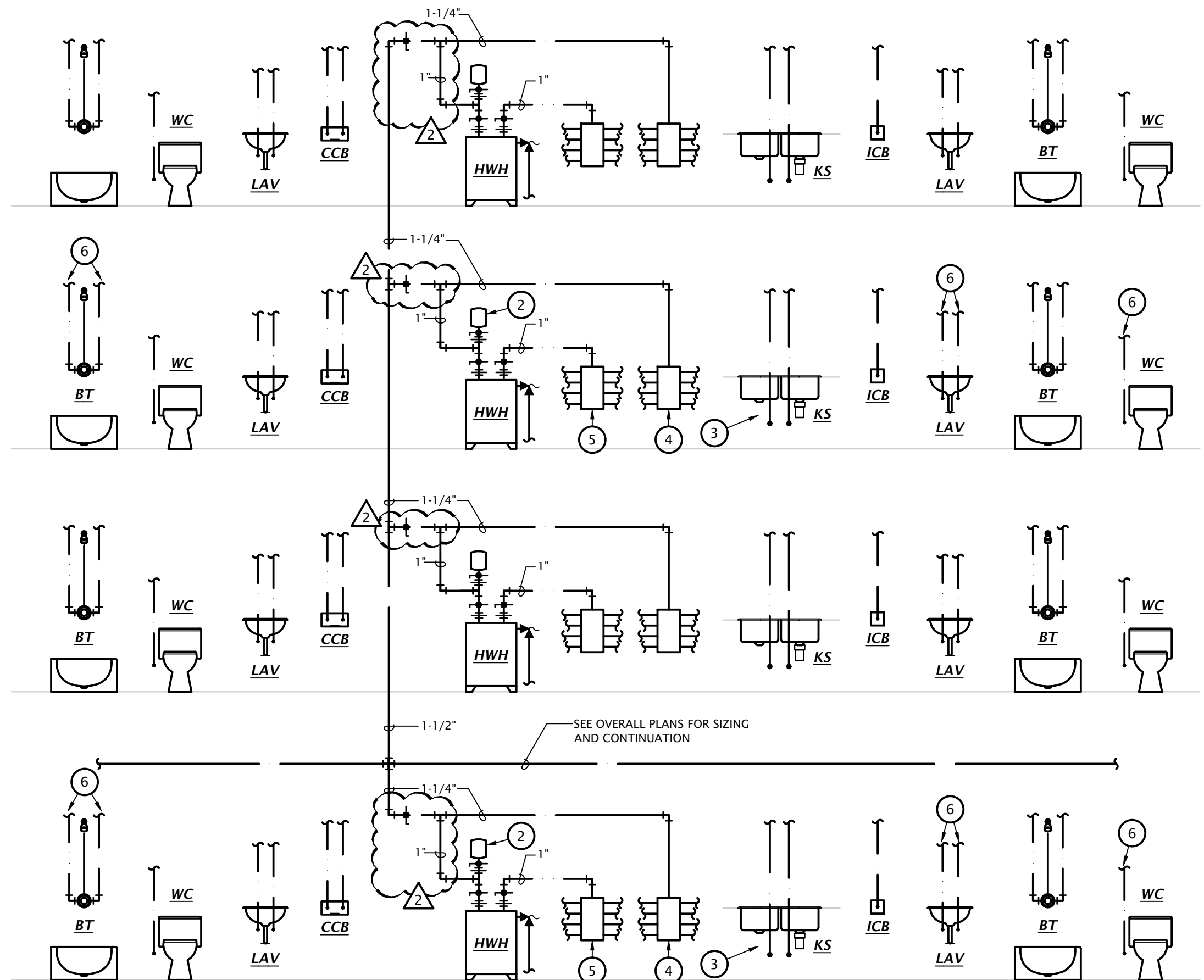
2 3 BEDROOM DOMESTIC WATER PLAN (TYPE B, AND E)

1/4" = 1'-0"

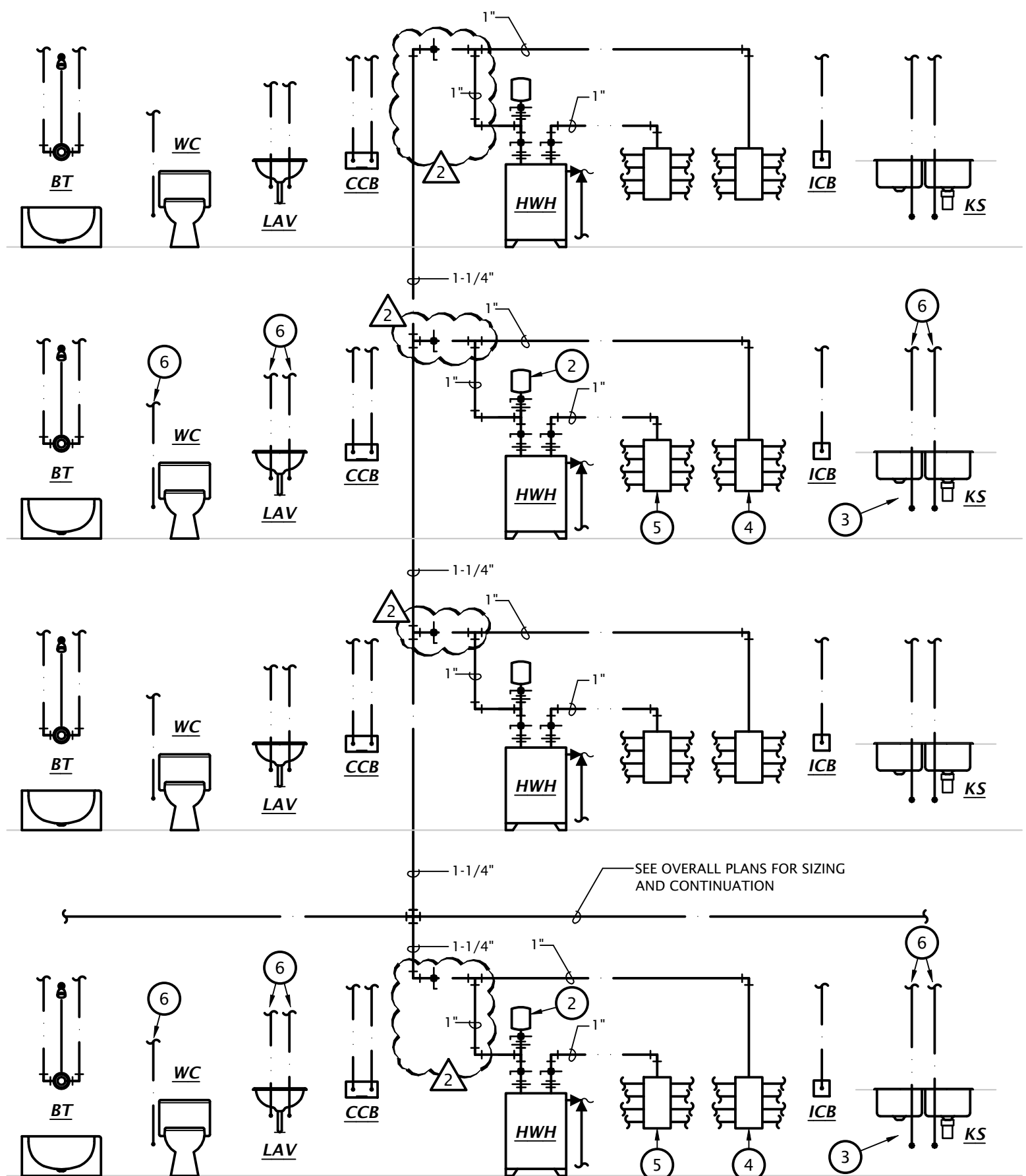


1 3 BEDROOM ACCESSIBLE DOMESTIC WATER PLAN (TYPE A)

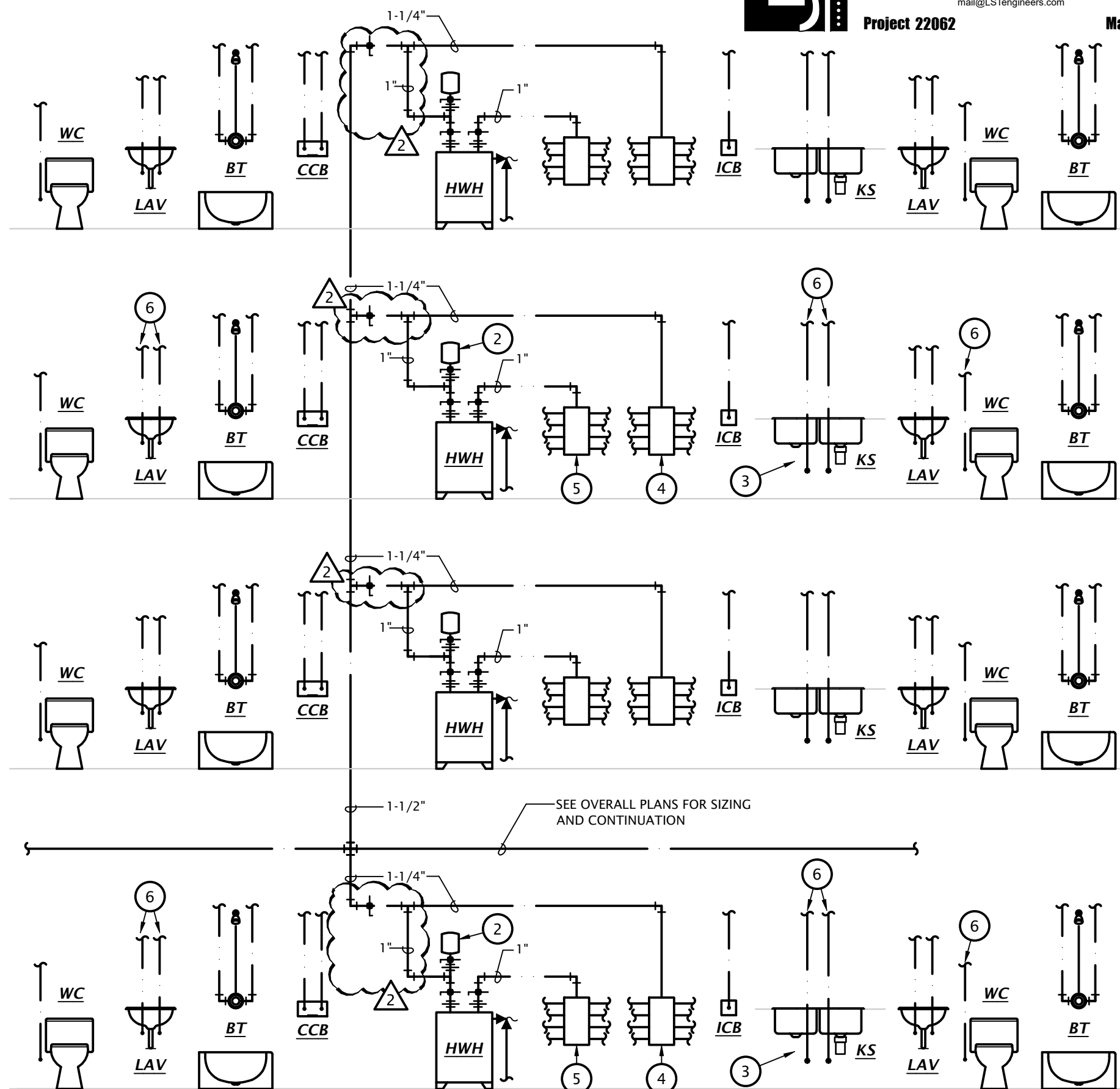
1/4" = 1'-0"



6 THREE BEDROOM TYPICAL DOMESTIC WATER RISER DIAGRAM
Not to Scale
REFERENCE P4 SHEETS FOR EXACT FIXTURE TYPES



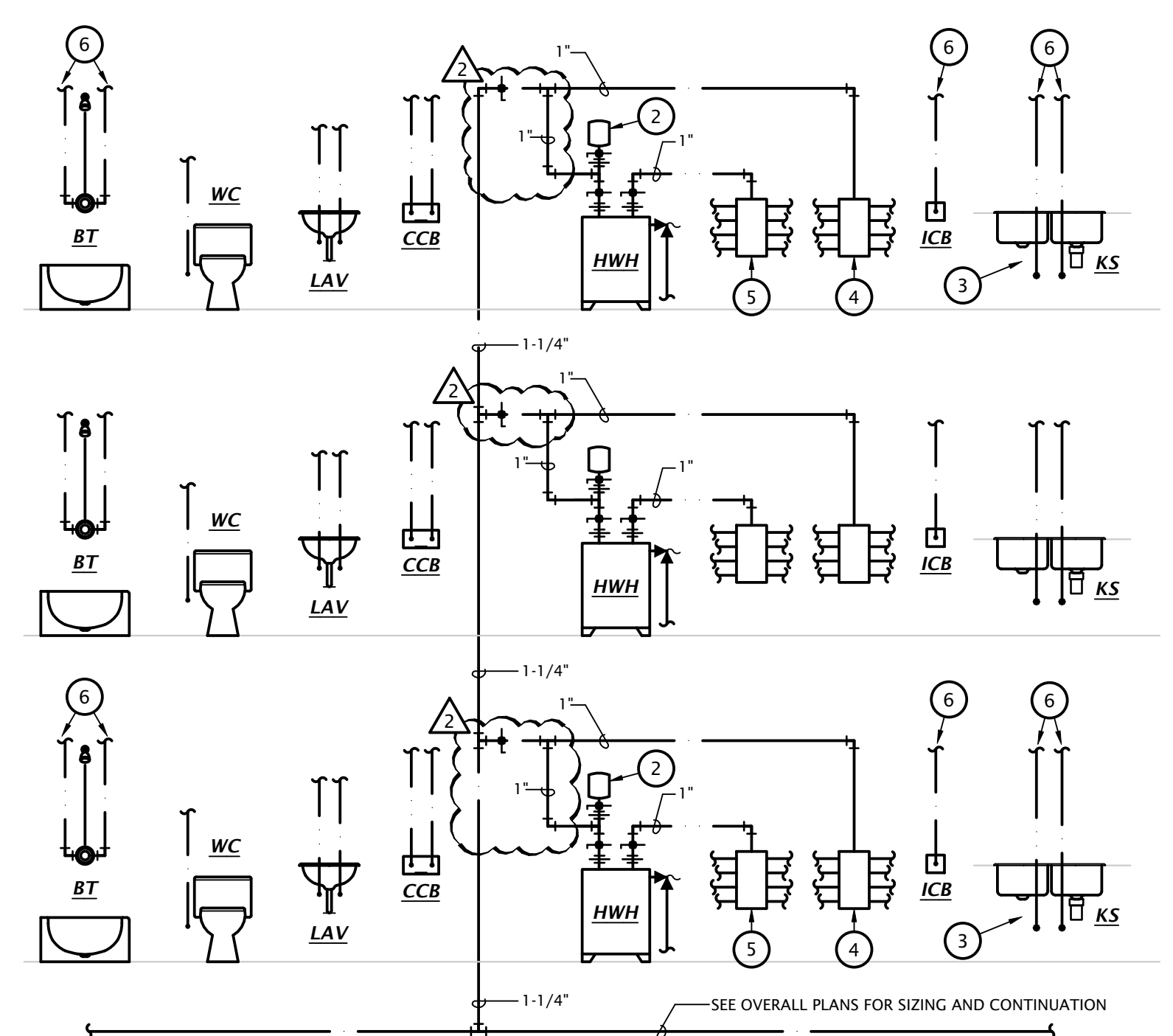
5 ONE BEDROOM TYPICAL DOMESTIC WATER RISER DIAGRAM
Not to Scale
REFERENCE P4 SHEETS FOR EXACT FIXTURE TYPES



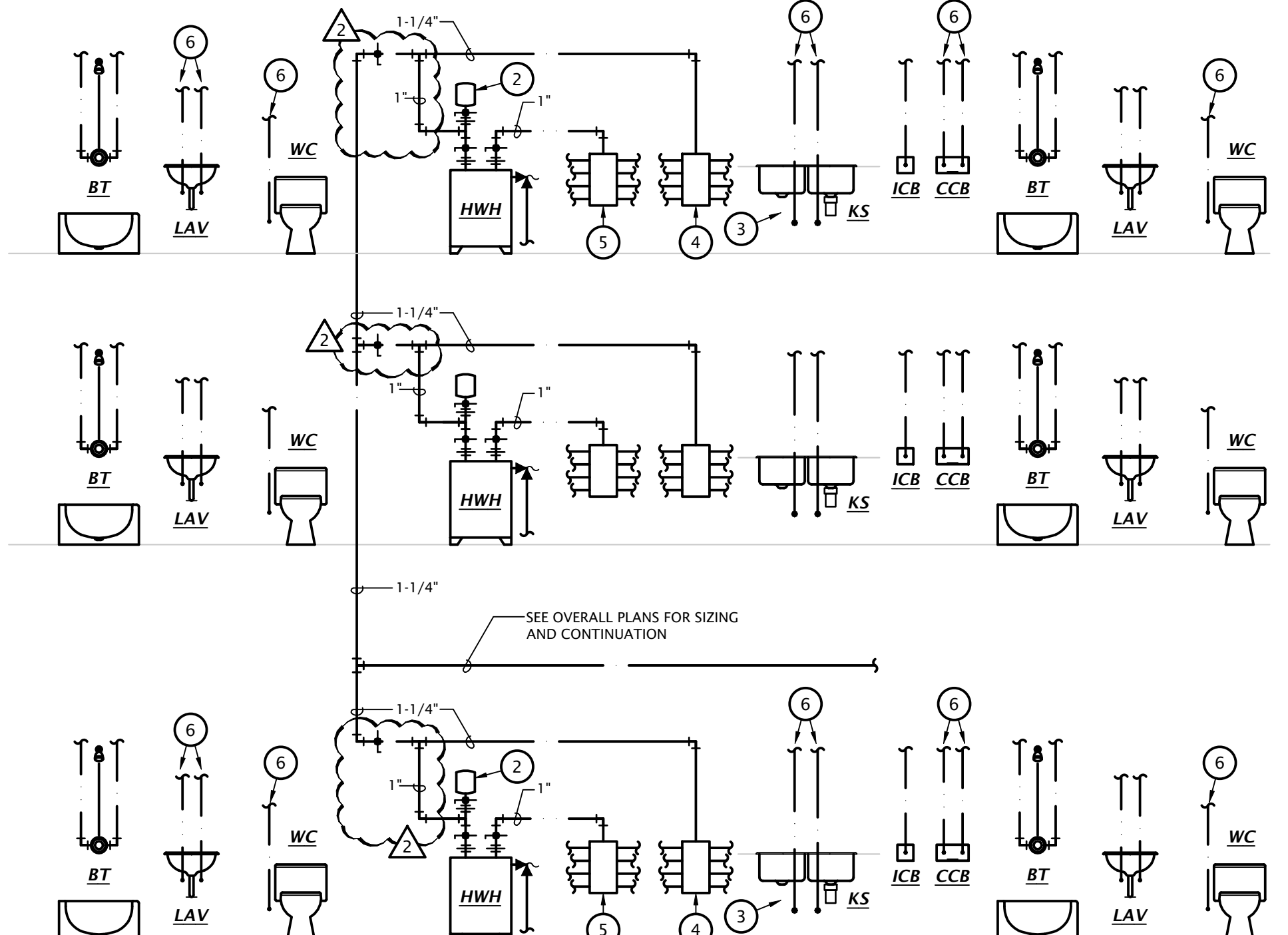
4 '2A, 2B, & 2C' TYPICAL DOMESTIC WATER RISER DIAGRAM
Not to Scale
REFERENCE P4 SHEETS FOR EXACT FIXTURE TYPES

WATER RISER DIAGRAM NOTES

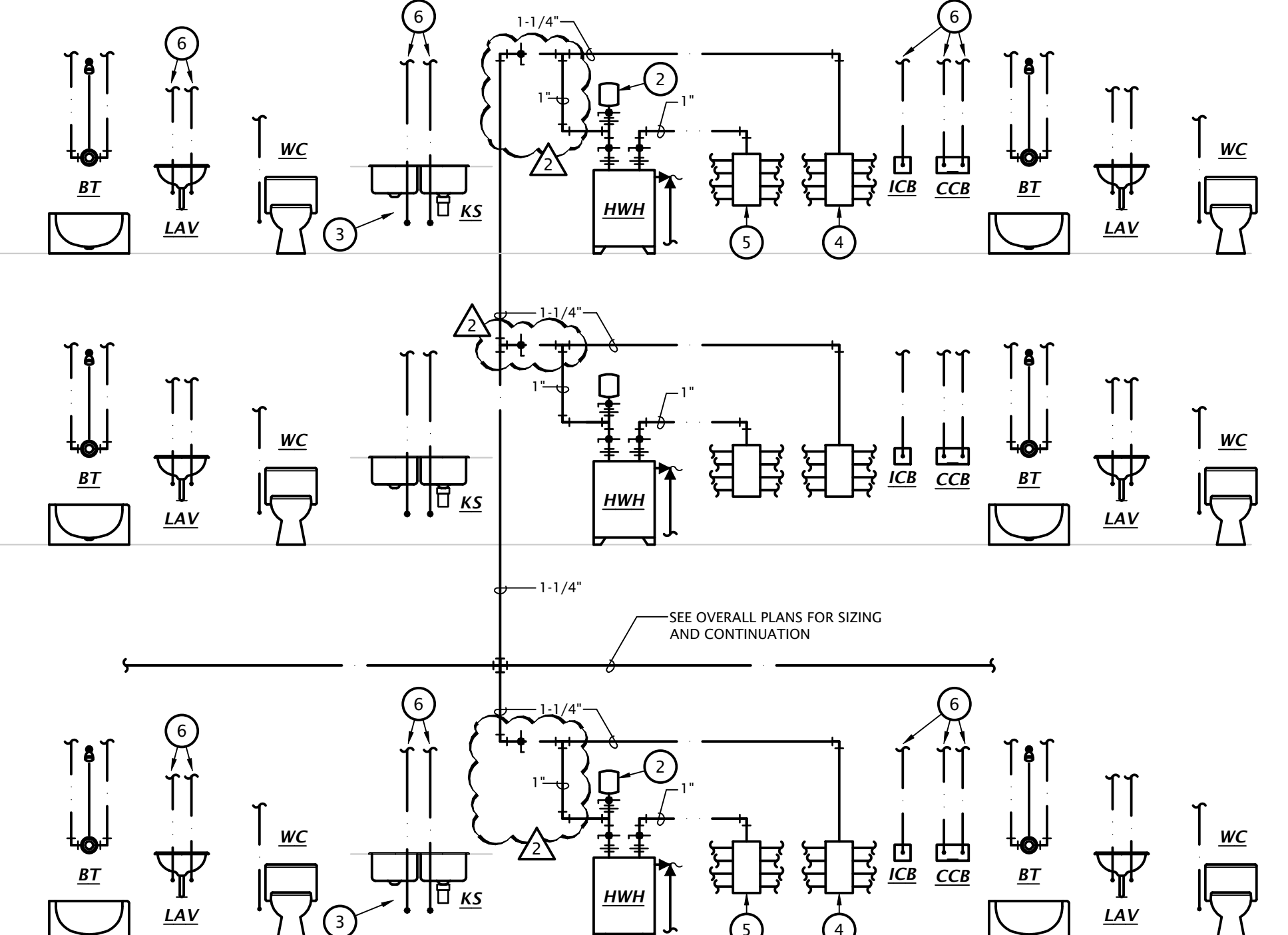
1. NOT USED.
2. PROVIDE WATTS MODEL PLT-5 EXPANSION TANK. (TYPICAL)
3. PROVIDE 1/2" VALVED HOT WATER CONNECTION TO DISHWASHER. (TYPICAL)
4. COLD WATER SUPPLY PEX MANIFOLD. (TYPICAL)
5. HOW WATER SUPPLY PEX MANIFOLD. (TYPICAL)
6. ROUTE HOT AND COLD WATER PEX AS REQUIRED FROM FIXTURE TO APPROPRIATE MANIFOLD. SEE P4 SHEETS FOR SIZING AND CONTINUATION. (TYPICAL)



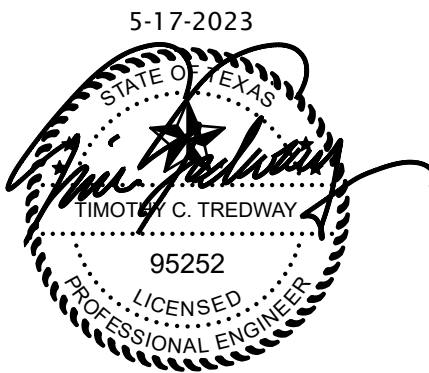
3 ALT. ONE BEDROOM DOMESTIC WATER RISER DIAGRAM
Not to Scale
REFERENCE P4 SHEETS FOR EXACT FIXTURE TYPES



2 '2E' TYPICAL DOMESTIC WATER RISER DIAGRAM
Not to Scale
REFERENCE P4 SHEETS FOR EXACT FIXTURE TYPES



1 '2D' TYPICAL DOMESTIC WATER RISER DIAGRAM
Not to Scale
REFERENCE P4 SHEETS FOR EXACT FIXTURE TYPES



REVISION:

ASI #1 07-22-2024

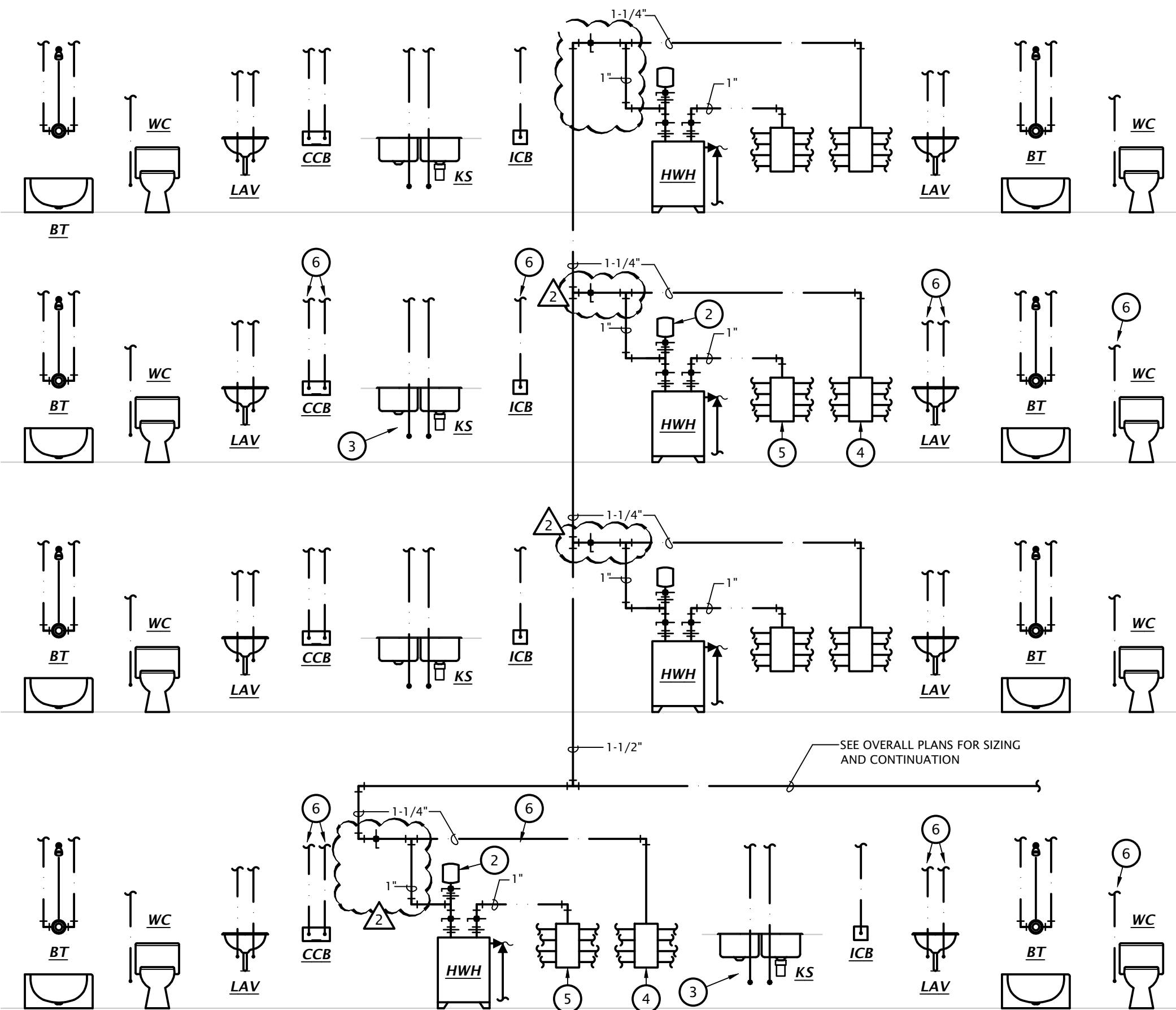
DATE: 06-26-2023

JOB: 21-3205

SHEET NO.:

WATER RISER DIAGRAM NOTES

1. NOT USED.
2. PROVIDE WATTS MODEL PLT-5 EXPANSION TANK. (TYPICAL)
3. PROVIDE 1/2" VALVED HOT WATER CONNECTION TO DISHWASHER. (TYPICAL)
4. COLD WATER SUPPLY PEX MANIFOLD. (TYPICAL)
5. HOW WATER SUPPLY PEX MANIFOLD. (TYPICAL)
6. ROUTE HOT AND COLD WATER PEX AS REQUIRED FROM FIXTURE TO APPROPRIATE MANIFOLD. SEE P4 SHEETS FOR SIZING AND CONTINUATION. (TYPICAL)

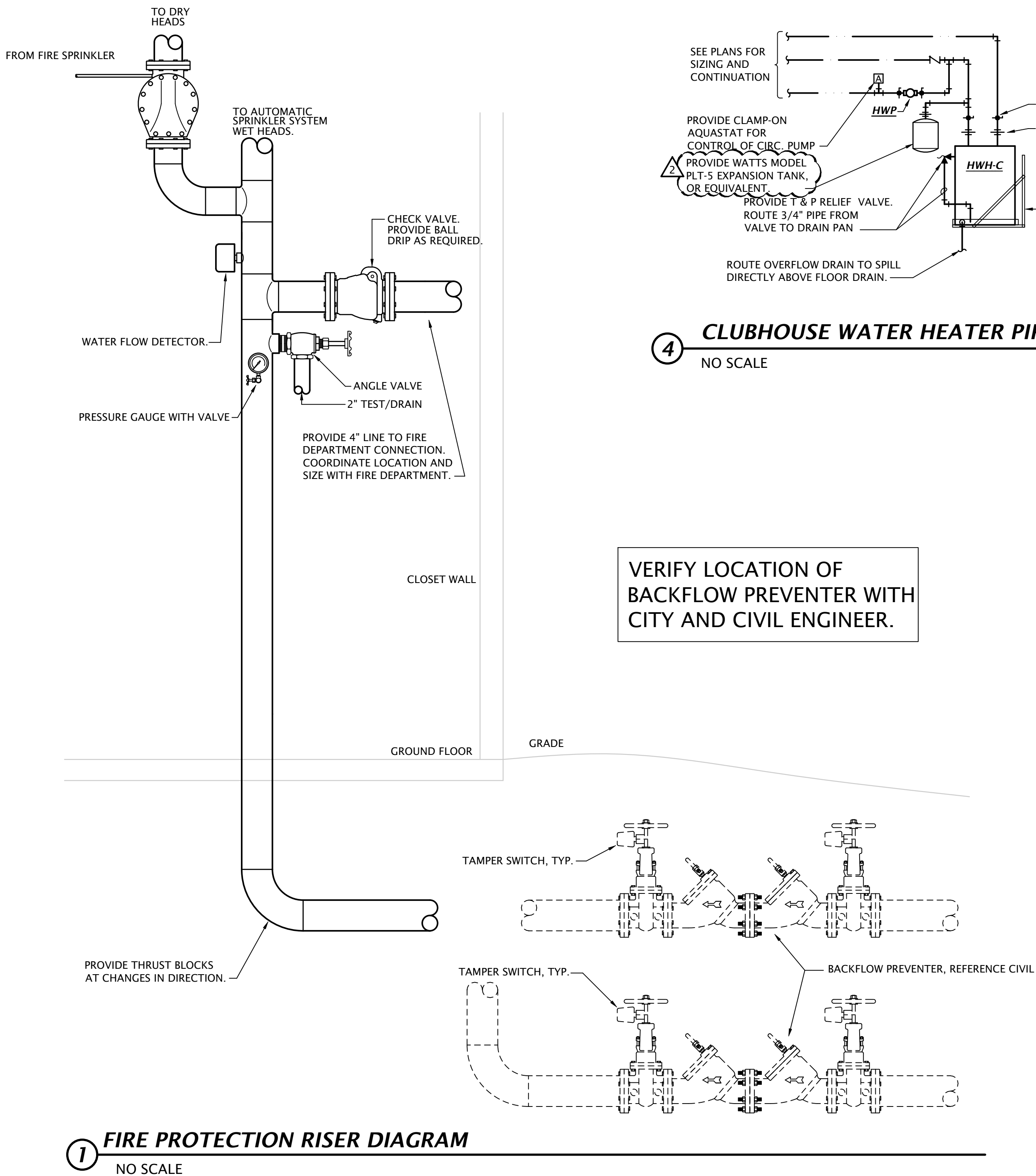
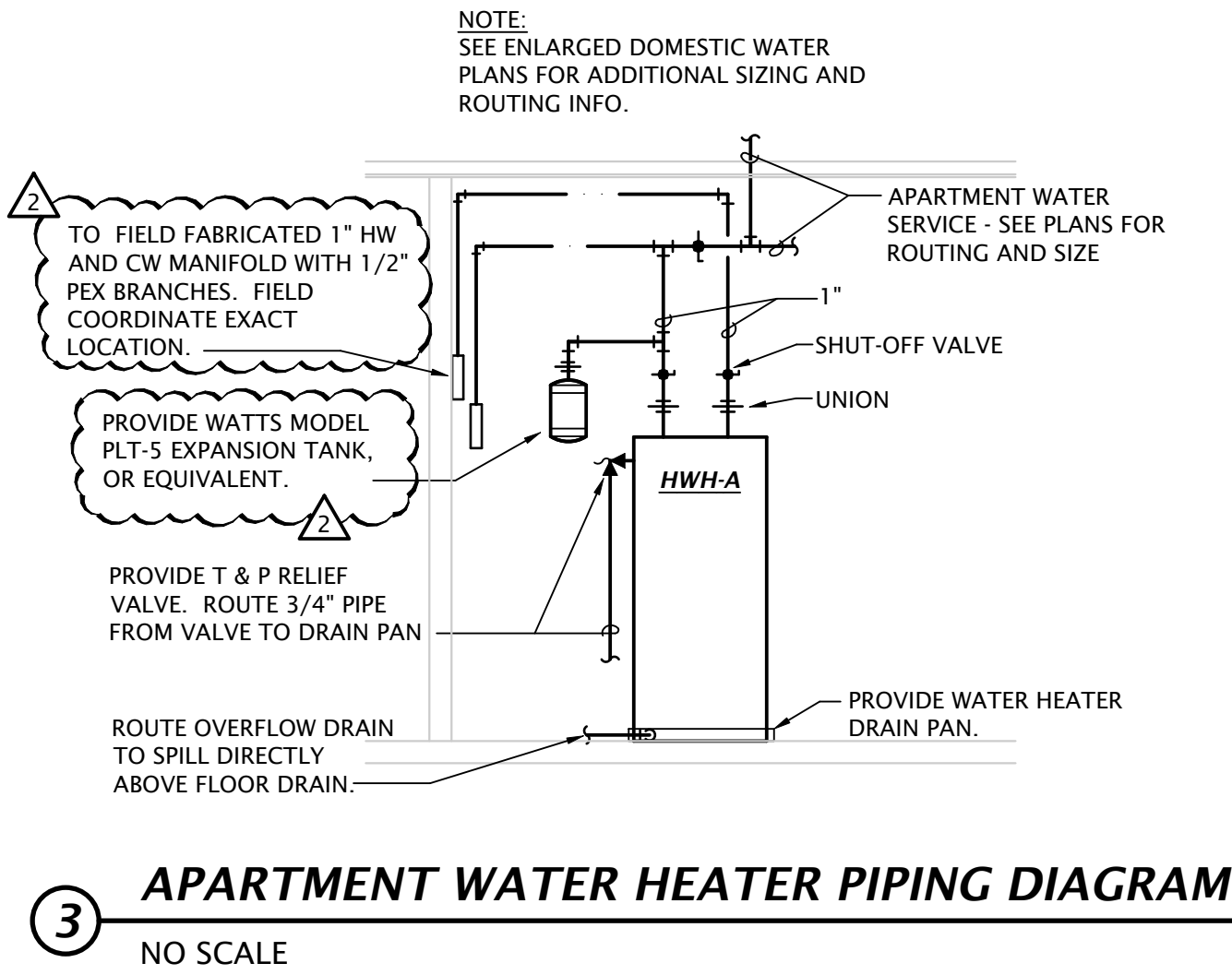
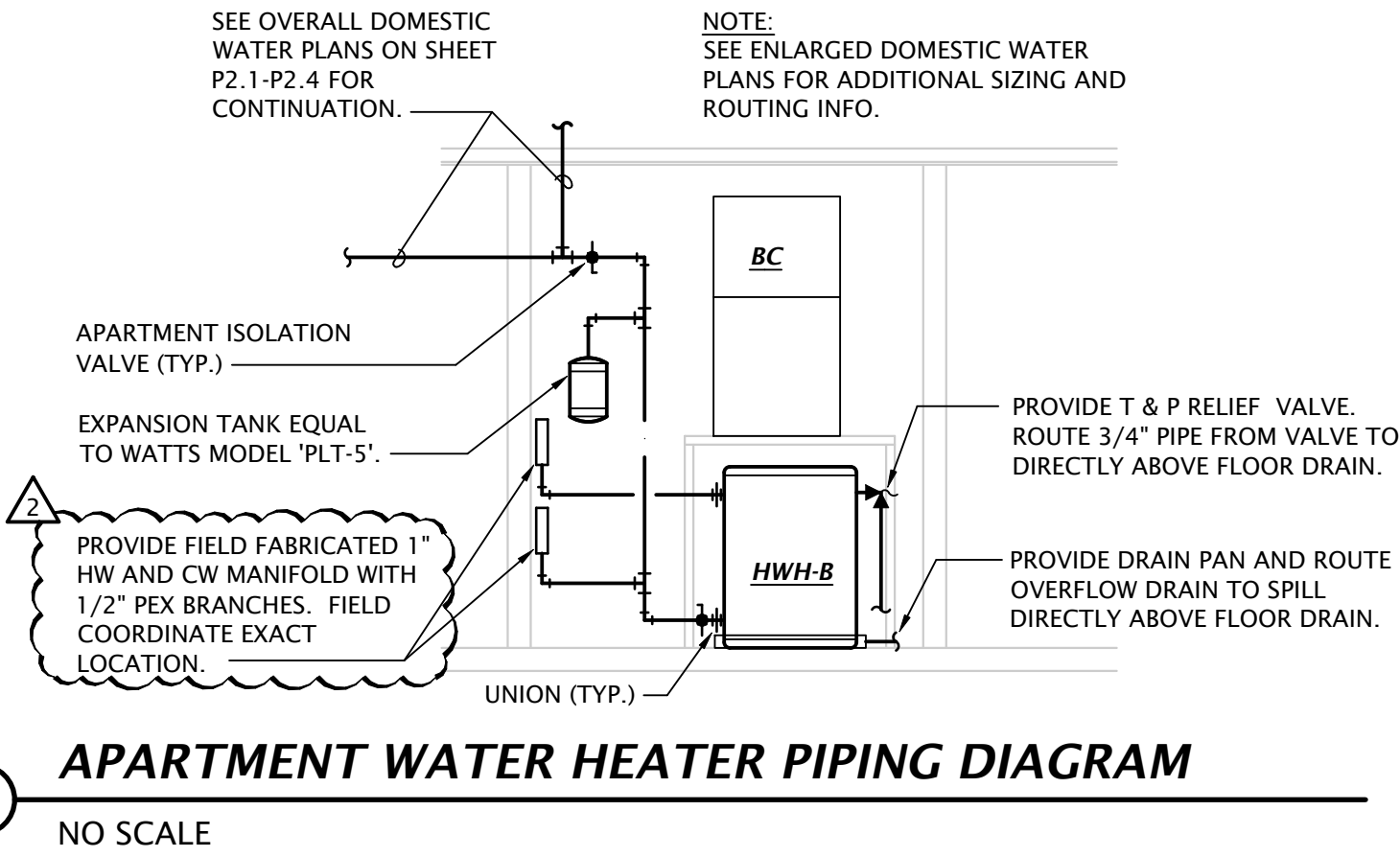


1 ALT. THREE BEDROOM DOMESTIC WATER RISER DIAGRAM

Not to Scale

REFERENCE P4 SHEETS FOR EXACT FIXTURE TYPES

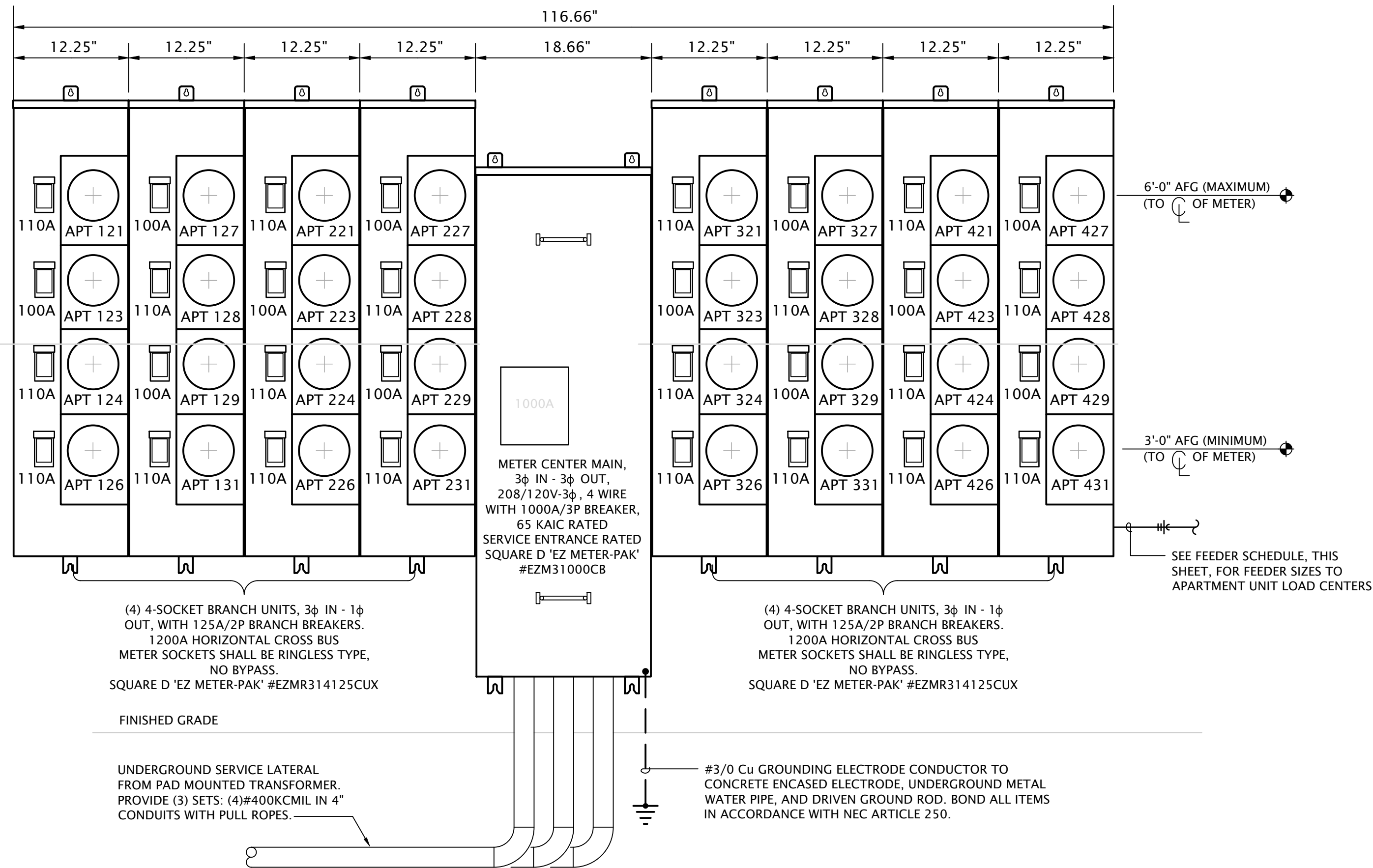
PLUMBING FIXTURE SCHEDULE									
MARK	MANUFACTURER	DESCRIPTION	TRIM		ROUGH-IN SIZES				NOTES
			MANUFACTURER	DESCRIPTION	WASTE	VENT	CW	HW	
WC-A	KOHLER	Model #K-3658-(RA)-0 "Highline Classic" ADA compliant flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, siphon jet flushing action, 1.28 GPF, polished chrome actuator. Coordinate location of trip lever with installation.	KOHLER	#K-4636-0 white, closed front plastic seat with slow closing lid.	4"	2"	1/2"	---	1
WC-B	KOHLER	Model #K-3658-(RA)-0 "Highline Classic" ADA compliant flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, siphon jet flushing action, 1.28 GPF, polished chrome actuator. Coordinate location of trip lever with installation.	KOHLER	#K-4731-CA-0 white, open front, anti-microbial plastic seat without lid, with check hinge.	4"	2"	1/2"	---	1
LAV-A	KOHLER	Model 2196-4-0 self-rimming lavatory, white vitreous china, 20"W x 17", faucet holes on 4" centers.	KOHLER	#K-394-4-2 two handle faucet with pop-up drain and nickel finish.	2"	1-1/2"	1/2"	1/2"	1,2,3
LAV-B	KOHLER	Model 2005-0 wall hung lavatory, white vitreous china, 18-1/4"W x 17-1/4", faucet holes on 4" centers.	KOHLER	#K-394-4-2 two handle faucet with pop-up drain and nickel finish.	2"	1-1/2"	1/2"	1/2"	1,2,3
KS-A	KOHLER	Model K-3369-3 two compartment 18 GA stainless steel top-mount sink, 14-1/2"x16-1/2"x8"D inside, fully undercoated, faucet holes as required.	KOHLER INSINKERATOR	#K-780 single handle pull down kitchen sink faucet with chrome finish, single hole installation. Provide basket strainer. Badger 5 1/2 HP garbage disposal with dishwasher waste connection.	2"	1-1/2"	1/2"	1/2"	1,2,4
KS-B	JUST	Model DL-ADA-2233-A-GR two compartment 18 GA stainless steel sink, self rimming, 14"x16"x5"D inside, fully undercoated, faucet holes as required, and drain hole center rear.	KOHLER IN-SINK-ERATOR	#K-780 single handle pull down kitchen sink faucet with chrome finish, single hole installation. Provide basket strainer. Badger 5 1/2 HP garbage disposal with dishwasher waste connection.	2"	1-1/2"	1/2"	1/2"	1,2,4,5
SH-A	AQUARIUS	Model G-6233-BF-.75 reinforced fiberglass ADA roll-in shower, 60"W x33"D x73-3/4"H, with integral soap/toiletry shelves and grab bars in accordance with ADA requirements, fold-up seat, right or left hand rough-in as required, white finish. Provide with collapsible dam.	KOHLER	#K-304 pressure balancing valve with integral temperature limits and stops, #K-TS10584-4 valve trim, #K-355 wall supply elbow, #K-9514 60" hose, #K-22163-G hand shower, and #K-8524/K-349 slide bar. Entire assembly shall have nickel finish. Max. 2 GPM.	2"	1-1/2"	1/2"	1/2"	1
BT-A	AQUARIUS	Model A 6000 TS OT 2P cast acrylic ADA tub/shower, 60"W x33-3/4"D x78"H, with integral soap/toiletry shelves in accordance with ADA requirements right or left hand rough-in as required, white finish. Provide with blocking for grab bars and seat to be added at tenant's request.	KOHLER	#K-304 pressure balancing valve with integral temperature limits and stops, #K-TS10582-4 valve trim, #K-355 wall supply elbow, #K-9514 60" hose, #K-22163-G hand shower, and #K-8524/K-349 slide bar. Entire assembly shall have nickel finish. Max. 2 GPM.	2"	1-1/2"	1/2"	1/2"	2,4
BT-B	AQUARIUS	Model A 6000 TS OT 2P cast acrylic ADA tub/shower, 60"W x33-3/4"D x78"H, with integral soap/toiletry shelves and grab bars in accordance with ADA requirements, seat at end of tub, right or left hand rough-in as required, white finish.	KOHLER	#K-304 pressure balancing valve with integral temperature limits and stops, #K-TS10582-4 valve trim, #K-355 wall supply elbow, #K-9514 60" hose, #K-22163-G hand shower, and #K-8524/K-349 slide bar. Entire assembly shall have nickel finish. Max. 2 GPM.	2"	1-1/2"	1/2"	1/2"	1,2,4
SS	FIAT	Model MSB-2424 one piece molded stone mop basin, 24" square, stainless steel integral drain body with caulk connection, stainless steel wall guards.	DELTA	Model 28T9 faucet with hose thread outlet, vacuum breaker, pail hook, wall brace, metal lever handles.	3"	1-1/2"	3/4"	3/4"	4
WH	WOODFORD	Model 25 frost proof wall hydrant with anti-siphon vacuum breaker, metal handle.			---	---	3/4"	---	
RH	WOODFORD	Model RHY2-MS freezeless roof hydrant with vacuum breaker, cast iron mounting system, and vent to allow draining. Provide with 1/8" tapping for drain.			---	---	3/4"	---	
CCB	WATER-TITE	SUPPLIED BY OTHERS			2"	2"	1/2"	1/2"	
ICB	OATEY	Model 3848X fire rated ice maker connection box with 1/4 turn ball valve.			---	---	1/2"	---	
FD	WADE	Model 1102STD5 floor drain with satin nickel bronze strainer. Provide trap protection device equal to ProSet Trapguard.			2"	1-1/2"	---	---	
FS	WADE	Model 9140 floor sink with 8" deep body, enameled interior, sediment bucket, nickel bronze trim and grate with openings as required. Provide trap protection device equal to ProSet Trapguard.			3"	1-1/2"	---	---	
EWC	MURDOCK	Model A172108F-UG ADA compliant dual height, self contained water cooler with stainless steal basin, from push bar actuator, and lead-free cooling system capable of cooling 8.0 GPH, 120 volts.			2"	1-1/2"	1/2"	---	1
RD	WADE	Model 3000 cast iron side outlet body roof drain with flange, flashing ring with gravel stop, undeck clamp and cast iron dome strainer.							
OD	WADE	Model 3000 cast iron side outlet body roof drain with flange, flashing ring with gravel stop, undeck clamp and cast iron dome strainer.							
DN	ZURN	Model ZF199 black downspout nozzle with threaded outlet and flange to secure nozzle to wall.							
HWH-A	A.O. SMITH	Model ENT-40, 40 gallon electric water heater, (2) non simultaneous 4500 watts, 208 volts heating elements, 21 GPH recovery @ 90°F temp rise. Minimum 0.92 UEF. Supplied with temperature & pressure relief valve and brass drain valve.							
HWH-B	A.O. SMITH	Model ENJ-40, 40 gallon electric water heater, (2) non simultaneous 4500 watts, 208 volts heating elements, 21 GPH recovery @ 90°F temp rise. Minimum 0.93 UEF. Supplied with temperature & pressure relief valve and brass drain valve.							
HWH-C	A.O. SMITH	Model EJCS-20, 20 gallon electric water heater, 2500 watts, 208 volts heating element, 11 GPH recovery @ 90°F temp rise. Supplied with temperature & pressure relief valve and brass drain valve.							6
HWP	BELL & GOSSETT	Model NBF-33 circulation pump, bronze body, 10 GPM @ 10' head, 120 VAC. Provide clamp-on aquastat for pump control.							7
GENERAL:									
· Provide fixtures with all trim necessary for complete installation.									
· All toilets, lavatory faucets, showerheads, and kitchen faucets shall have EPA's WaterSense label.									
NOTES:									
1. In areas open to the public, fixture and installation to meet requirements of Americans with Disabilities Act. In apartments, fixture and installation to meet requirements of the Fair Housing Act.									
2. Provide Dearborn supplies with stops and escutcheon plate, 1-1/4" cast brass or PVC p-trap.									
3. Insulate water and waste piping below lavatory. Utilize insulation kit equivalent to LavGuard by Truebro.									
4. Trim shall be provided with polished chrome finish.									
5. Insulate water and waste piping below sink. Utilize insulation kit equivalent to LavGuard by Truebro. Provide Plumberex model #3071WD-N waste disposal cover.									
6. Provide wall hung platform for water heater equal to Holdrite #50-SWHP-W-C. Coordinate exact location and mounting height with architect.									
7. Pump shall have controls to prevent startup within 5 minutes from the end of the previous heating cycle. Hot water recirculation system shall meet all requirements of 2015 IECC.									



APARTMENT FEEDER SCHEDULE	
Apartment #	Feeder Size
111, 112, 113, 114, 128, 131, 211, 212, 213, 214, 226, 228, 231, 311, 312, 313, 314, 328, 331, 428, 431	COPPER (BASE BID): (3)#3, #6G IN 1-1/4" C OR MC-CABLE ALUMINUM (ALTERNATE BID): (3)#1, #4G IN 1-1/4" C OR SER CABLE
116, 124, 126, 129, 216, 217, 224, 229, 316, 326, 329, 413, 414, 426, 429	COPPER (BASE BID): (3)#2, #6G IN 1-1/4" C OR MC-CABLE ALUMINUM (ALTERNATE BID): (3)#1/0, #4G IN 1-1/4" C OR SER CABLE
118, 127, 218, 227, 317, 324, 416, 417, 424	COPPER (BASE BID): (3)#1, #4G IN 1-1/4" C OR MC-CABLE ALUMINUM (ALTERNATE BID): (3)#2/0, #2G IN 1-1/2" C OR SER CABLE
121, 123, 219, 221, 223, 318, 319, 323, 327, 418, 419, 423, 427	COPPER (BASE BID): (3)#1/0, #3G IN 1-1/2" C OR MC-CABLE ALUMINUM (ALTERNATE BID): (3)#3/0, #1G IN 2" C OR SER CABLE
321, 421	COPPER (BASE BID): (3)#2/0, #2G IN 1-1/2" C OR MC-CABLE ALUMINUM (ALTERNATE BID): (3)#4/0, #1G IN 2" C OR SER CABLE
NOTES: 1. Voltage drop has been accounted for in sizes indicated, further up-sizing of feeders is not necessary 2. Ensure panel lugs are adequately sized to handle up-sized feeders.	

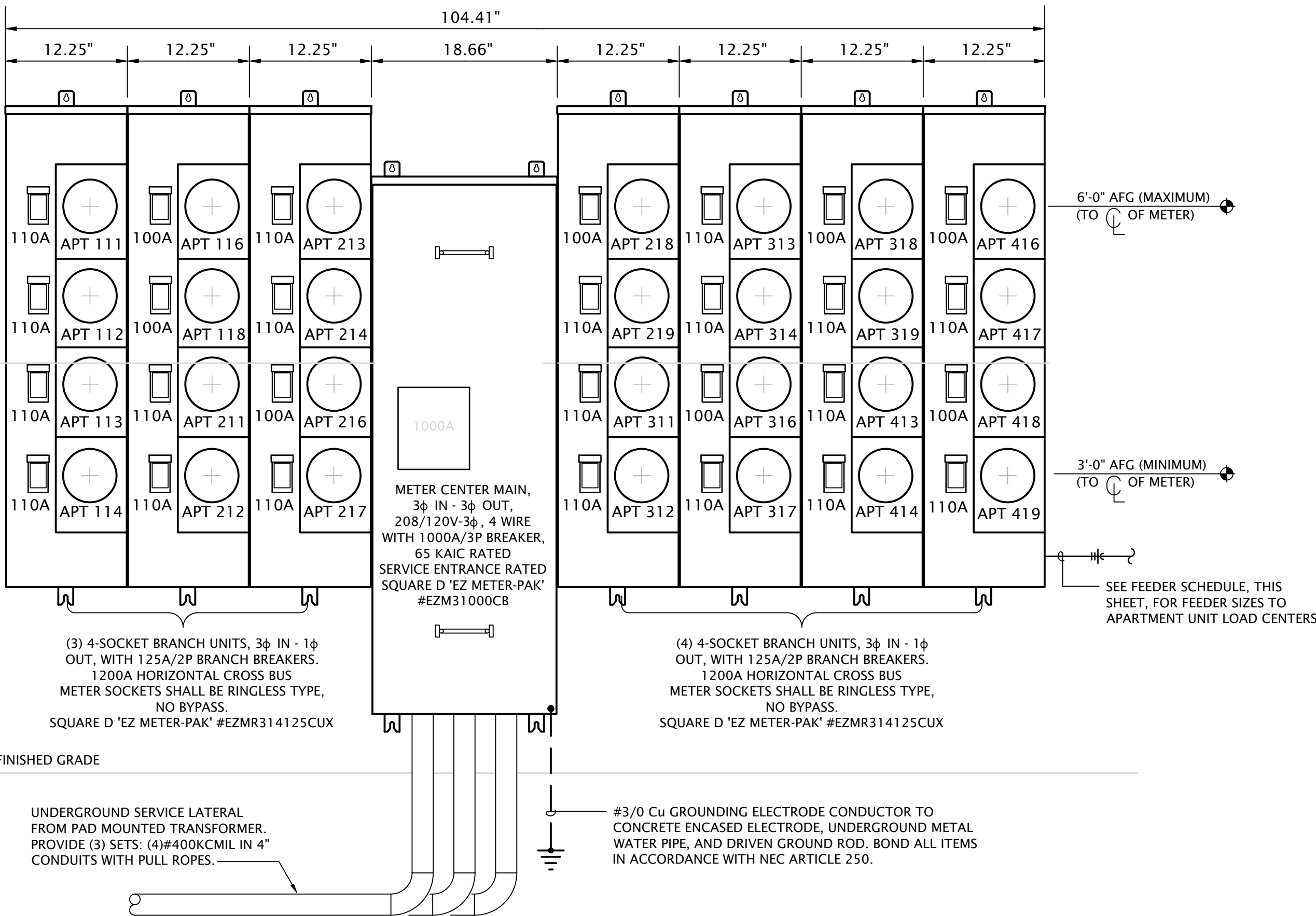
- NOTES:
- Meter Center main circuit breakers shall be 65 kAIC fully rated. Feeder breakers may be series rated with main breaker for a 65 kAIC rating.
 - All conductor sizes are based on copper, U.N.O.
 - Entire installation shall comply with NEC.
 - Coordinate all responsibilities and requirements with power utility company and pay associated fees. Contact Information:
Denton Municipal Electric
Daniel Howington
Line Designer
(940) 349-7168
daniel.howington@cityofdenton.com
 - Coordinate final location of meter assemblies with utility company. Provide shop drawings of proposed equipment whether as specified or substituted to utility company for approval.
 - All meter center components shall be NEMA 3R.
 - All dimensions based on Square D equipment. It is the contractor's responsibility to verify the dimensions of substitute equipment.
 - For each meter, provide a permanent brass, copper or aluminum tag identifying the apartment served. Tags shall be securely fastened to the meter base and be stamped with 1/8" letters, minimum.

Dwelling Unit Meter Center 'MCA' Load Calculation				
Area:	28,279 SF (Dwelling Units Only)			
	32 Dwelling Units	Connected Demand Load (VA)		Load (VA)
Feeder & Service Loads per NEC 220.84 Part IV				
C1 General Loads (220.84 (C)(1))				
a Lighting & Receptacles	3 VA/SF	28279 SF	84,837	
C2 Required Circuits (220.84 (C)(2))				
a Laundry Circuit	1,500 VA/Circuit	32 Circuit	48,000	
b Kitchen Circuits	1,500 VA/Circuit	64 Circuit	96,000	
C3 Nameplate Ratings of Equipment (220.84 (C)(3))				
a1 Microwave	1,000 VA/Circuit	32 ea	32,000	
a2 Dishwasher	840 VA/Circuit	32 ea	26,880	
a3 Disposal	1175 VA/Circuit	32 ea	37,600	
a4 Refrigerator	1200 VA/Circuit	32 ea	38,400	
b Electric Range	8,000 VA/Circuit	32 ea	256,000	
c Electric Clothes Dryer	5,000 VA/Circuit	32 ea	160,000	
C4 Nameplate Ratings of Motors (220.84 (C)(4))				
Blower Fan #1	956 VA/Circuit	12 ea	11,472	
Blower Fan #2	956 VA/Circuit	8 ea	7,648	
Blower Fan #3	900 VA/Circuit	12 ea	10,800	
C5 Larger of Heating and A/C load (220.84 (C)(5))				
Electric Heat (5 kW)	3,900 VA/Circuit	12 ea	46,800	
Electric Heat (8 kW)	5,200 VA/Circuit	8 ea	41,600	
Electric Heat (9.6 kW)	6,900 VA/Circuit	12 ea	82,800	
		Connected Load Total	980,837	
		Dwelling Unit Demand Load from Table 220.84 = 31%		304,059
Meter Center NEC Demand Load (VA) Sub-Total				304,059
Spare Capacity 10%				30,406
Total Meter Center Demand Load (VA)				334,465
Total Meter Center Demand Load (Amperes) @ 208Y/120V-3Ph, 4W				929
Provide 1000A Meter Center				



2 ELECTRICAL RISER DIAGRAM 'MCA'
No Scale

Dwelling Unit Meter Center 'MCB' Load Calculation				
Area:	25,097 SF (Dwelling Units Only)			
	28 Dwelling Units	Connected Demand Load (VA)		Load (VA)
Feeder & Service Loads per NEC 220.84 Part IV				
C1 General Loads (220.84 (C)(1))				
a Lighting & Receptacles	3 VA/SF	25097 SF	75,291	
C2 Required Circuits (220.84 (C)(2))				
a Laundry Circuit	1,500 VA/Circuit	28 Circuit	42,000	
b Kitchen Circuits	1,500 VA/Circuit	56 Circuit	84,000	
C3 Nameplate Ratings of Equipment (220.84 (C)(3))				
a1 Microwave	1,000 VA/Circuit	28 ea	28,000	
a2 Dishwasher	840 VA/Circuit	28 ea	23,520	
a3 Disposal	1175 VA/Circuit	28 ea	32,900	
a4 Refrigerator	1200 VA/Circuit	28 ea	33,600	
b Electric Range	8,000 VA/Circuit	28 ea	224,000	
c Electric Clothes Dryer	5,000 VA/Circuit	28 ea	140,000	
C4 Nameplate Ratings of Motors (220.84 (C)(4))				
Blower Fan #1	956 VA/Circuit	8 ea	7,648	
Blower Fan #2	956 VA/Circuit	18 ea	17,208	
Blower Fan #3	900 VA/Circuit	4 ea	3,600	
C5 Larger of Heating and A/C load (220.84 (C)(5))				
Electric Heat (5 kW)	3,900 VA/Circuit	8 ea	31,200	
Electric Heat (8 kW)	5,200 VA/Circuit	18 ea	93,600	
Electric Heat (9.6 kW)	6,900 VA/Circuit	4 ea	27,600	
		Connected Load Total	864,167	
		Dwelling Unit Demand Load from Table 220.84 = 33%		285,175
Meter Center NEC Demand Load (VA) Sub-Total				285,175
Spare Capacity 10%				28,518
Total Meter Center Demand Load (VA)				313,693
Total Meter Center Demand Load (Amperes) @ 208Y/120V-3Ph, 4W				871
Provide 1000A Meter Center				



1 ELECTRICAL RISER DIAGRAM 'MCB'
No Scale