



Jones Gillam Renz Architects

Address

730 N 9th St.
Salina, KS 67401

1881 Main St., Suite 301
Kansas City, MO 64108

Contact

jgr@jgrarchitects.com
(785) 827-0386

Web

jgrarchitects.com

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	The Reserves at Magnolia New Apartment Complex Denton, TX	Report No.	Four (4)
OWNER:	Overland Property Group Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	May 20, 2025
CONTRACTOR:	Snyder Construction Group 4820 N. Town Centre Dr. Ozark, MO 65721	Architect's Proj No.	21-3205
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions.

- 1) Eliminate all wall-mounted fire extinguishers within individual apartment units. Reference attached revised sheets A2.6-A2.13.
- 2) Add (1) Fire Extinguisher and rated cabinet in each corridor. Reference attached revised sheets CFP2, A2.1-A2.4 for location. These are located outside of units 123, 223, 323, and 423.
- 3) Eliminate (3) Small Pendant Lights (Fixture 'A') located in Community Room #106. Replace with (1) Large Pendant Light (Fixture 'B'). Reference revised Sheets, A7.1, E4.1 and E6.6
- 4) Fixture 'B' (2 total) located in Community Room #106, shall be Access, Anello LED 31.5 inch Matte Black Pendant Ceiling Light, Matte Black Finish. Bottom of fixtures shall be mounted at 7'-8" a.f.f. Reference revised Sheets, A7.1, E4.1 and E6.6

Attachments:

1. Revised Architectural Sheets: CFP2, A2.1-A2.4, A2.6-A2.13, A7.1
2. Revised Mep Sheets E4.1 and E6.6

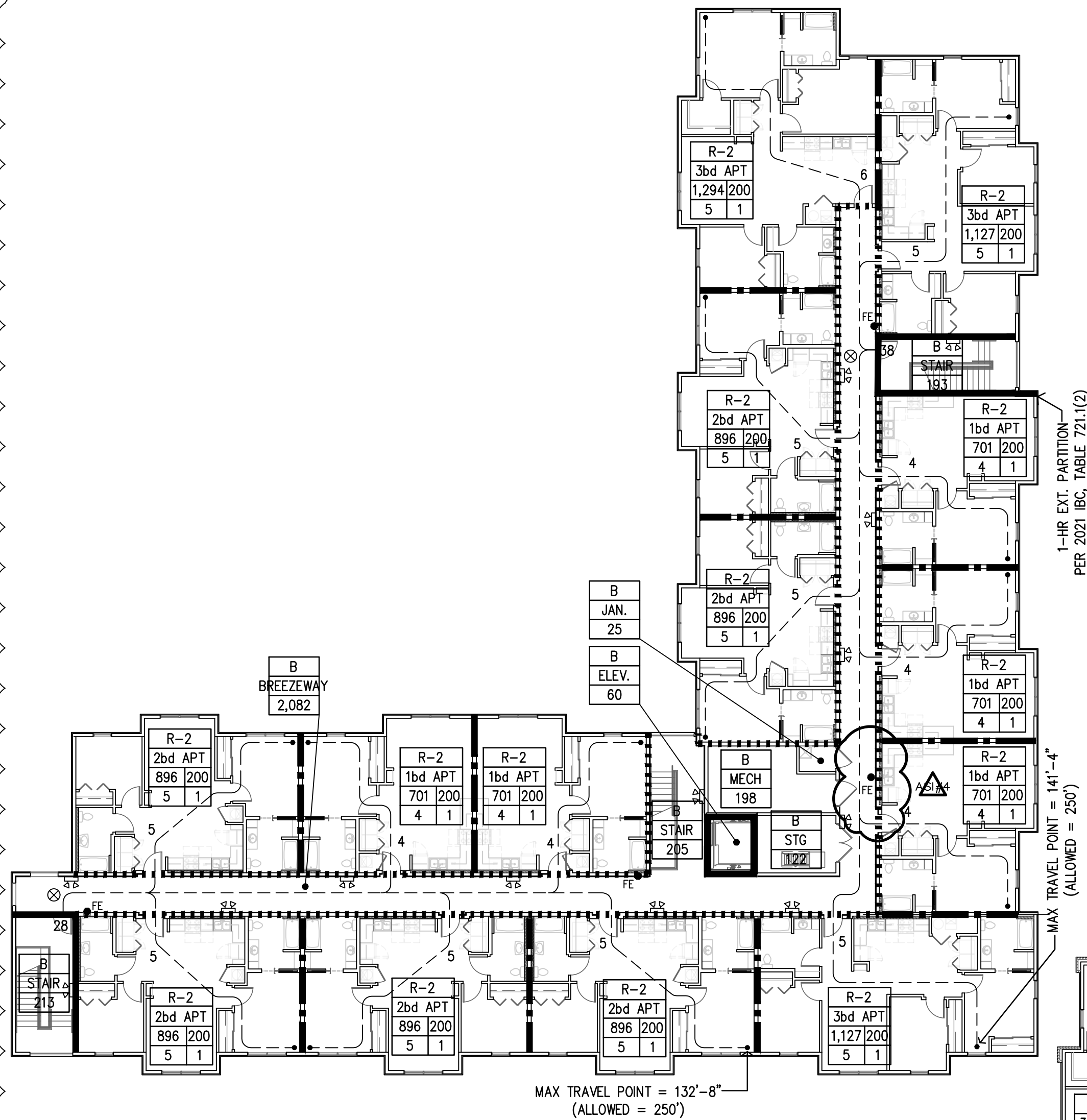
Issued by:

Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Jeff Gillam, Project Architect 785 827 0386
Maggie Gillam, Project Manager

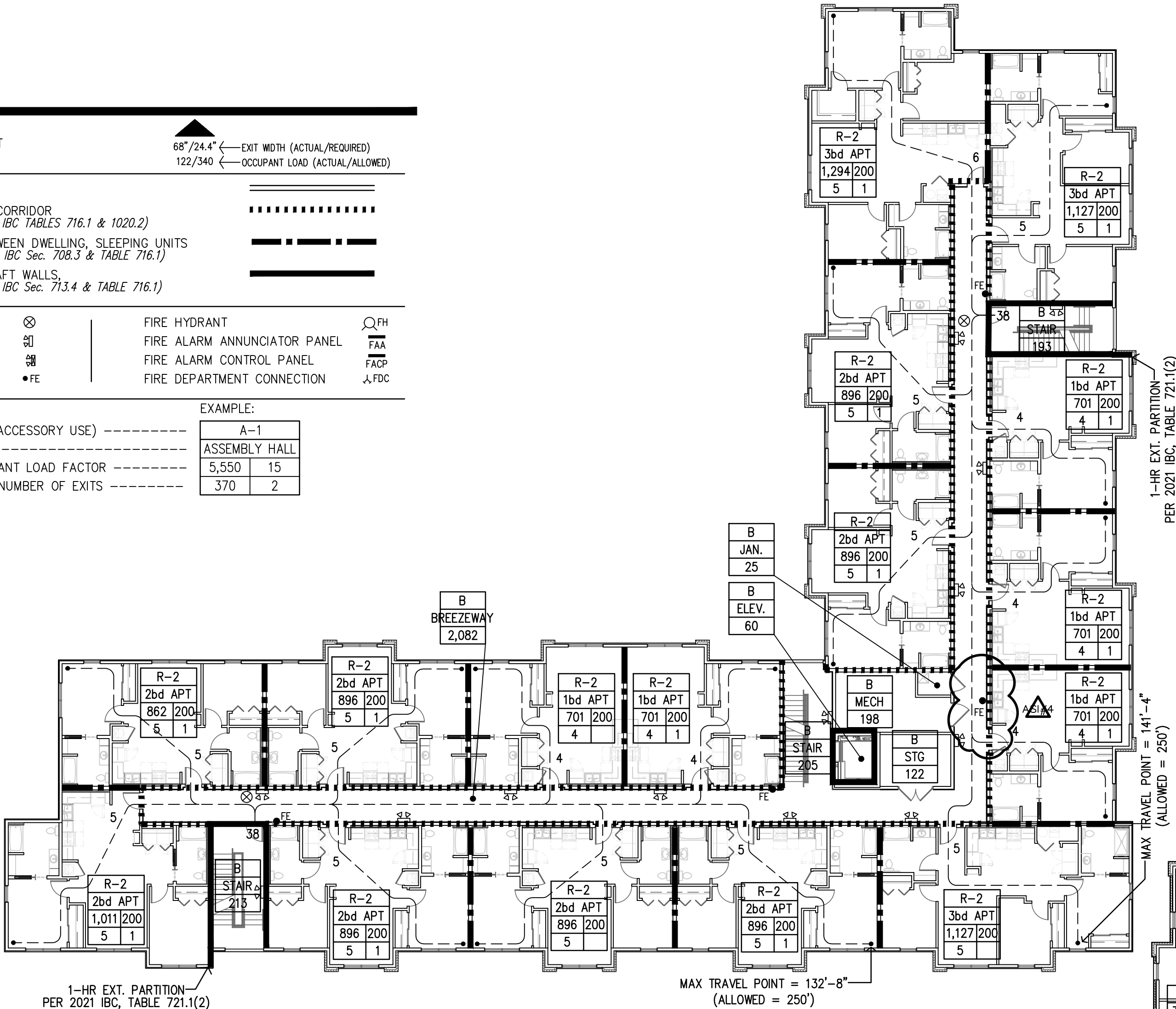
jgillam@jgrarchitects.com
mgillam@jgrarchitects.com

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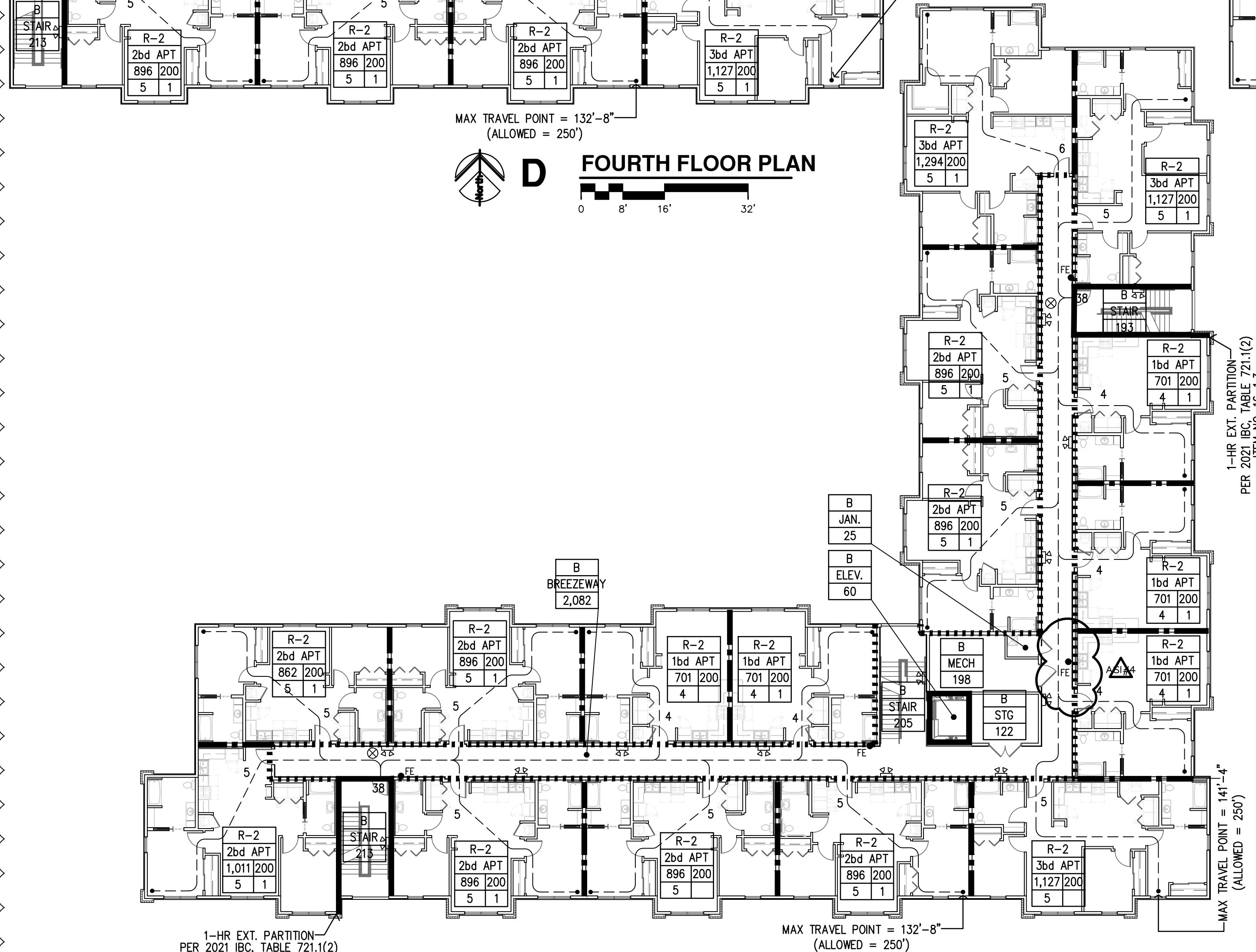
Josh Fisher – Snyder Construction Group
Dan Maximuk, April Engstrom – Overland Property Group
John Lewis-Smith, Ryan Lies – LST
Mike Falbe – BDC
Andrea Taylor – MMA



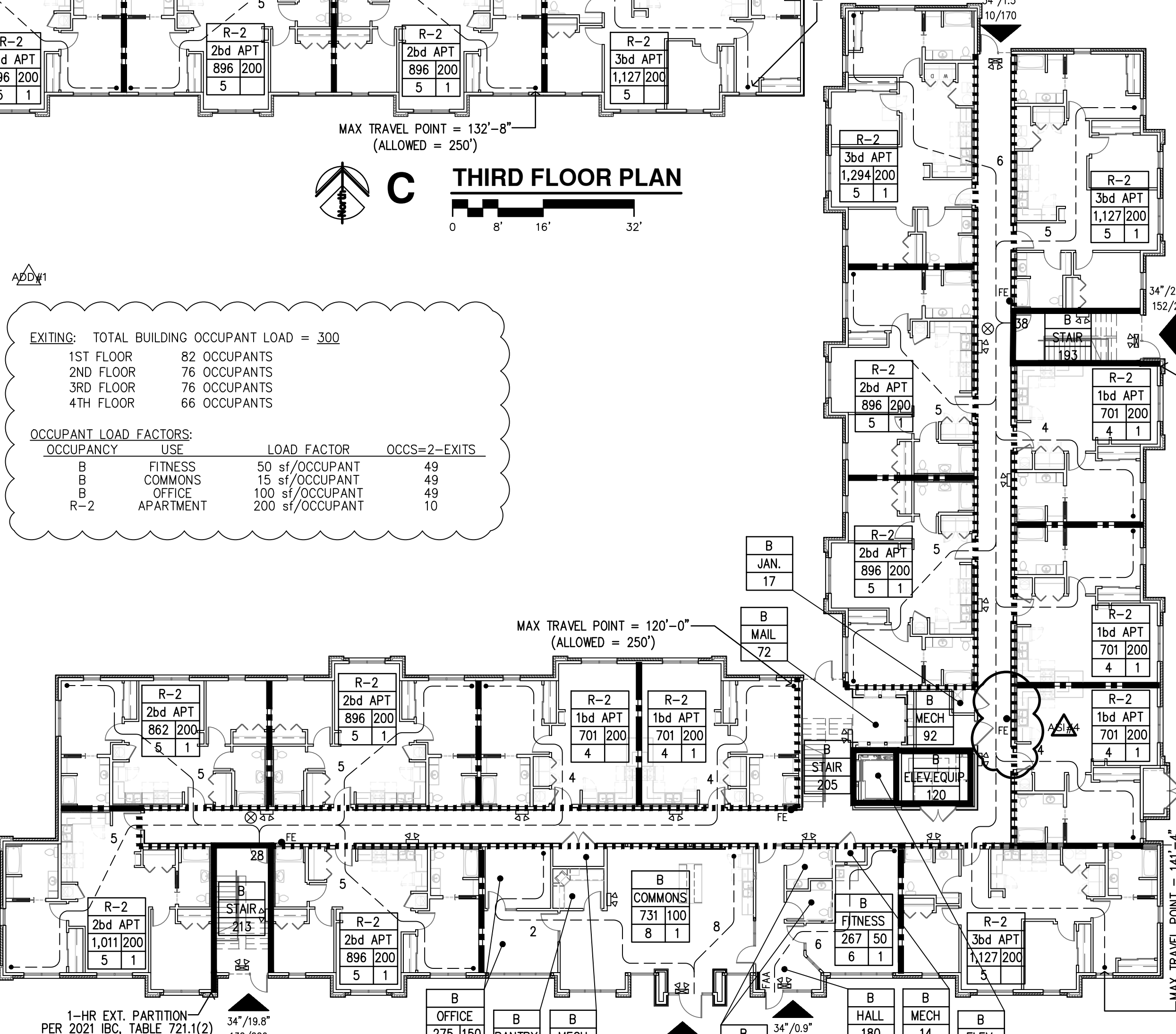
D FOURTH FLOOR PLAN



C THIRD FLOOR PLAN



B SECOND FLOOR PLAN



A FIRST FLOOR PLAN

LEGEND

DESIGNATED EMERGENCY EXIT

68"/24" — EXIT WIDTH (ACTUAL/REQUIRED)
122/340 — OCCUPANT LOAD (ACTUAL/ALLOWED)

0 HOUR CONSTRUCTION
1/2 HOUR FIRE PARTITION: CORRIDOR
W/ 20 MIN OPENINGS (PER IBC TABLES 716.1 & 1020.2)
1 HOUR FIRE PARTITION: BETWEEN DWELLING, SLEEPING UNITS
W/ 45 MIN OPENINGS (PER IBC Sec. 708.3 & TABLE 716.1)
2 HOUR CONSTRUCTION: SHAFT WALLS,
W/ 90 MIN OPENINGS (PER IBC Sec. 713.4 & TABLE 716.1)

EXIT LIGHT
EMERGENCY LIGHT
EXIT/EMERGENCY LIGHT
FIRE EXTINGUISHER

FIRE HYDRANT
FIRE ALARM ANNUNCIATOR PANEL
FIRE ALARM CONTROL PANEL
FIRE DEPARTMENT CONNECTION

FAH
FAA
FACP
J.FDC

OCCUPANCY GROUP (AU = ACCESSORY USE) -----
OCCUPANCY USE -----
ROOM SQUARE FOOT/OCCUPANT LOAD FACTOR -----
OCCUPANT LOAD/REQUIRED NUMBER OF EXITS -----

EXAMPLE:

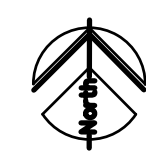
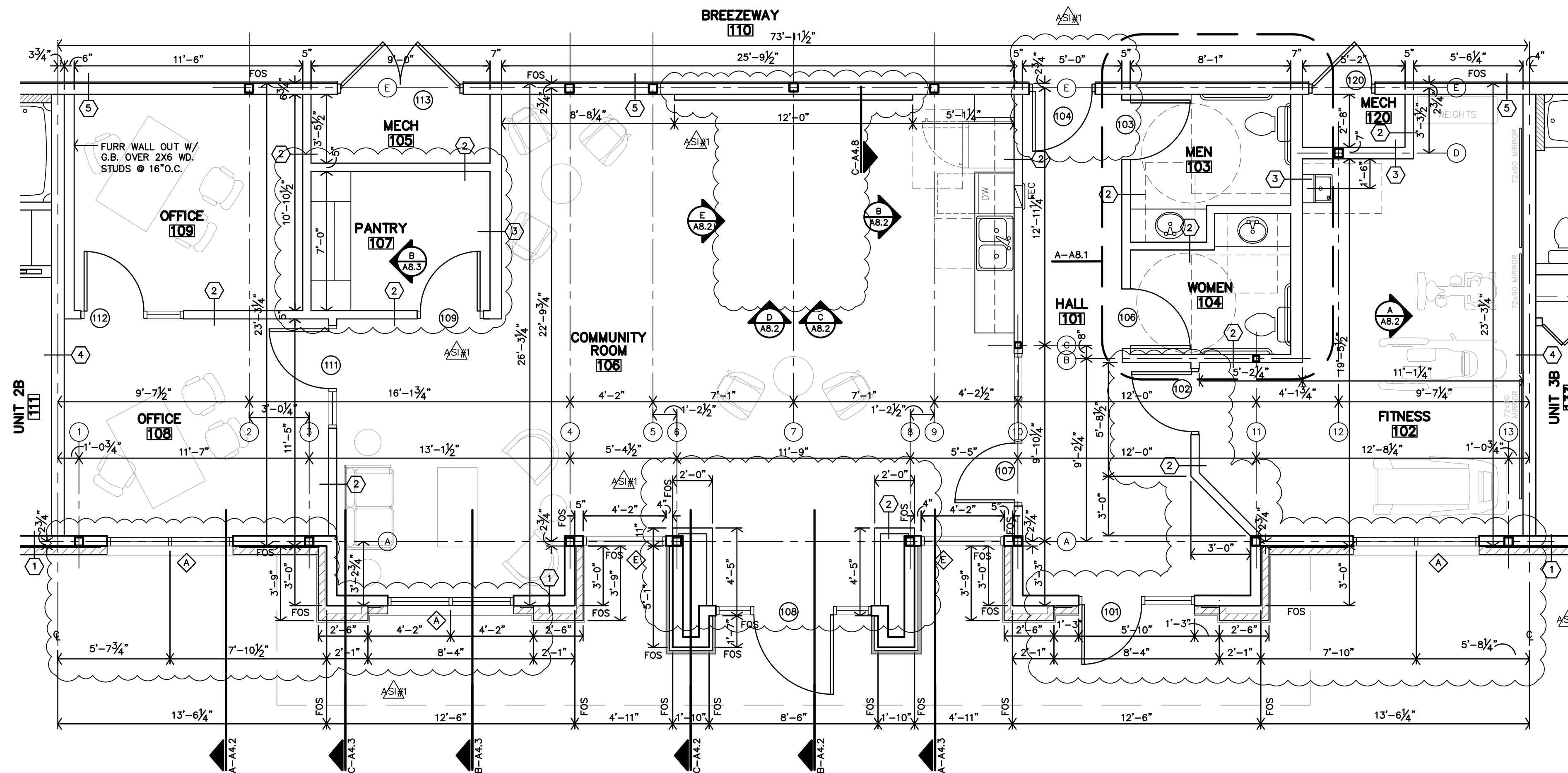
A-1	
ASSEMBLY HALL	
5,550	15
370	2

EXITING: TOTAL BUILDING OCCUPANT LOAD = 300

1ST FLOOR	82 OCCUPANTS
2ND FLOOR	76 OCCUPANTS
3RD FLOOR	76 OCCUPANTS
4TH FLOOR	66 OCCUPANTS

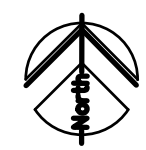
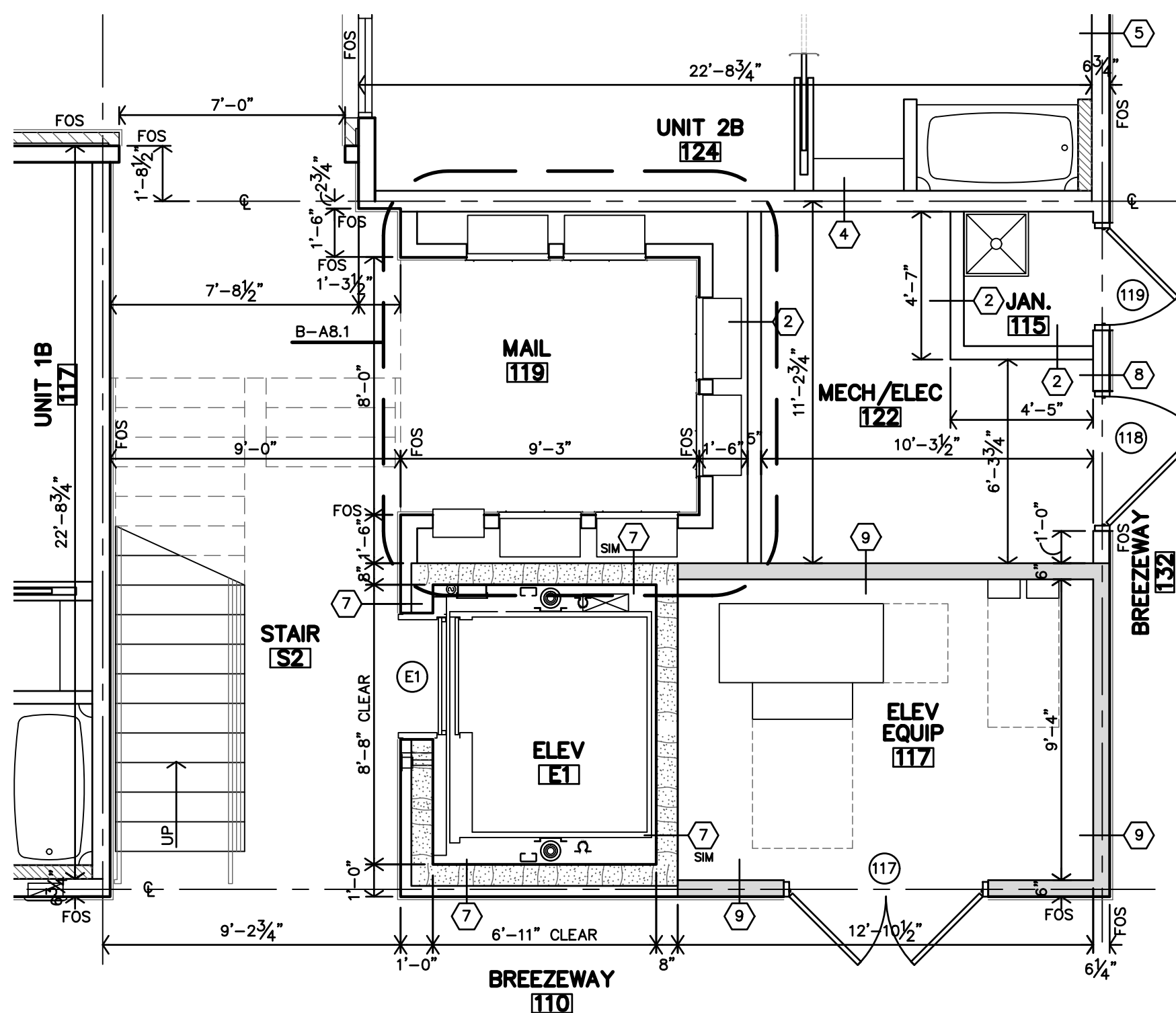
OCCUPANT LOAD FACTORS:

OCCUPANCY	USE	LOAD FACTOR	OCCS=2-EXITS
B	FITNESS	50 sf/OCCUPANT	49
B	COMMONS	15 sf/OCCUPANT	49
B	OFFICE	100 sf/OCCUPANT	49
R-2	APARTMENT	200 sf/OCCUPANT	10

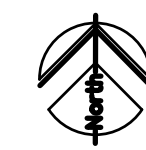
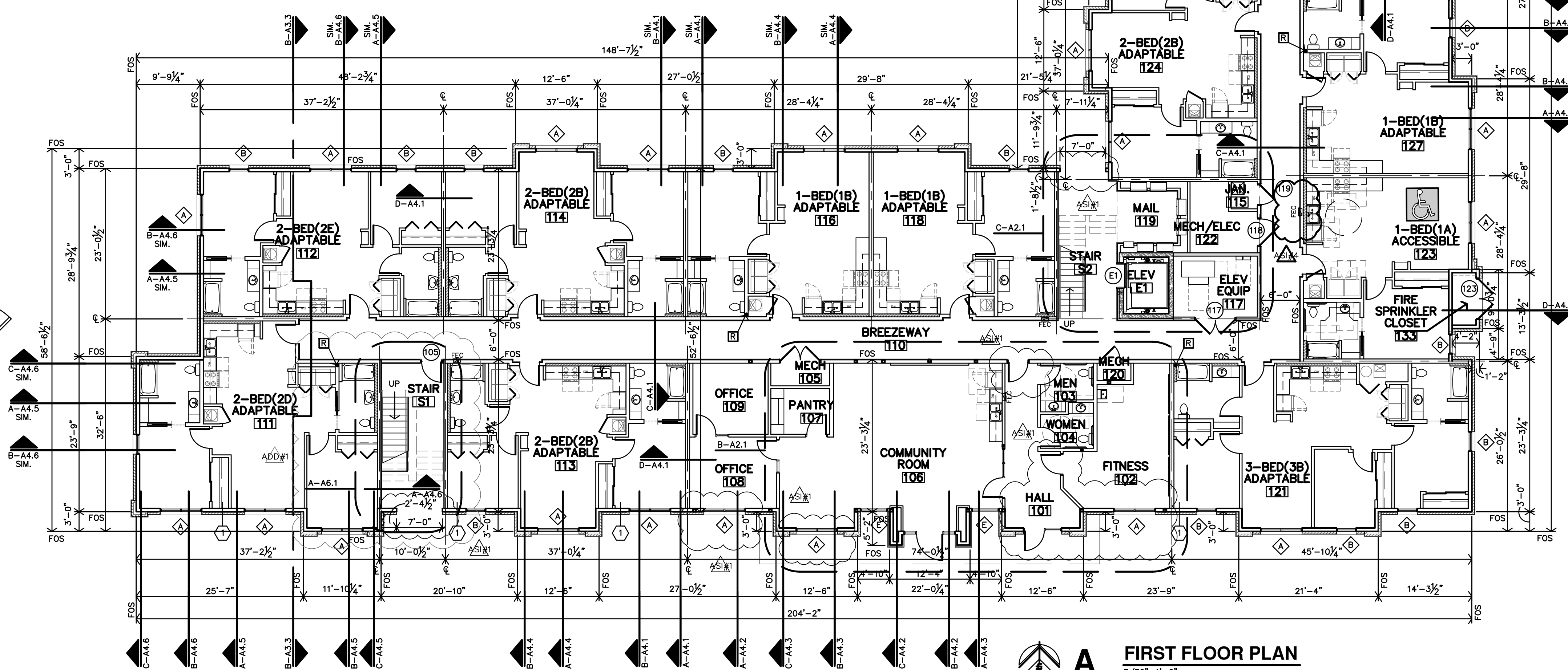


B ENLARGED PARTIAL FLOOR PLAN
1/4"=1'-0"

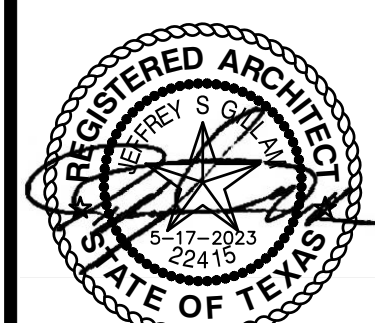
- NOTES**
1. REF. SHEET A2.0 FOR GENERAL NOTES.
 2. REF. SHEET A2.0 FOR PARTITION SCHEDULES & ASSEMBLIES.
 3. FURR WALLS TO HIDE 4" ROOF DRAIN PIPES SHOWN PER PLUMBING SHEETS & UNIT CLOSETS & CORNER LOCATIONS.
- INDICATES RADON PIPE LOCATION. REF. 0-A4.7 AND MEP DRAWINGS.



C ENLARGED PARTIAL FLOOR PLAN
1/4"=1'-0"



A FIRST FLOOR PLAN
3/32"=1'-0"



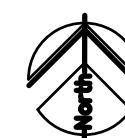
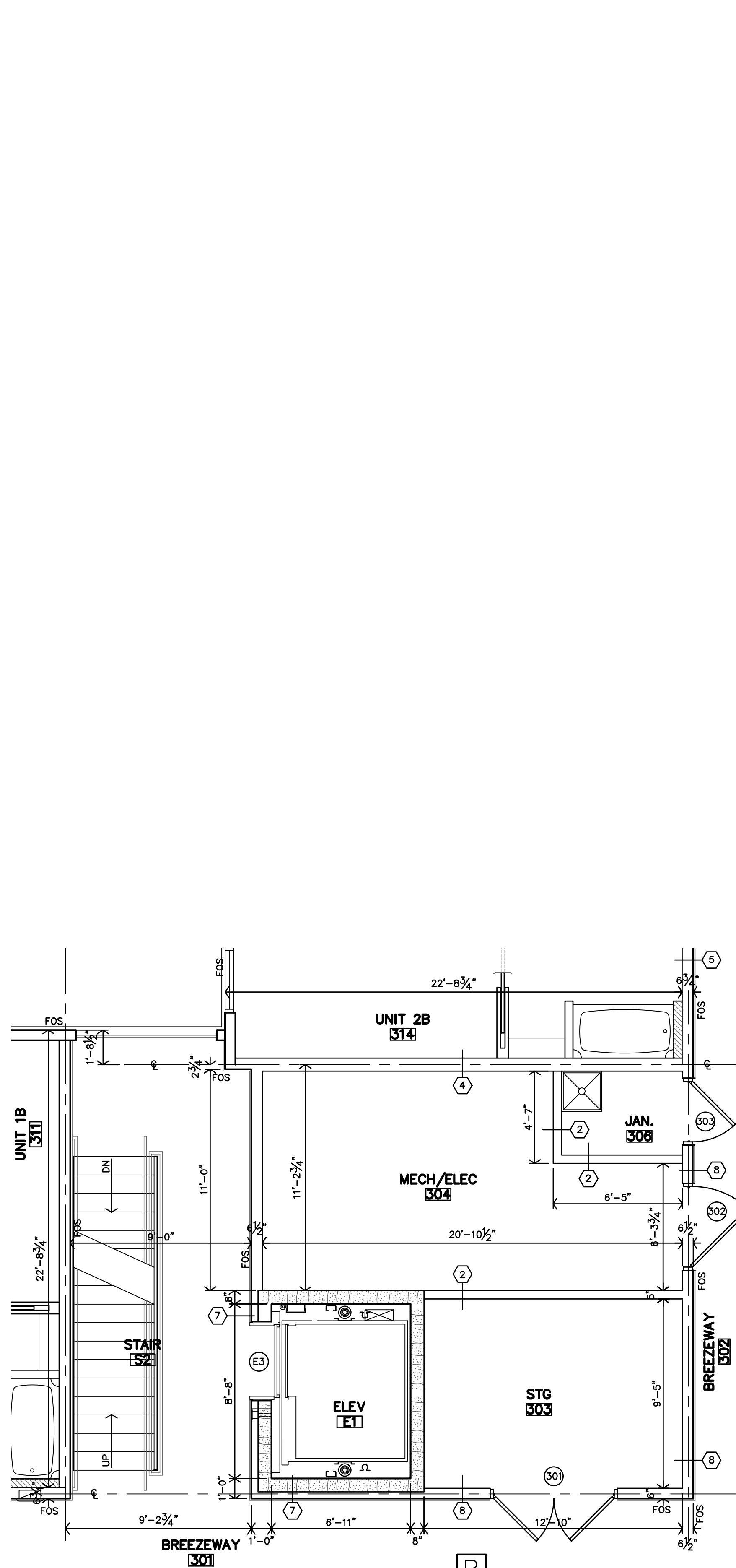
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ADD#1	6-19-2023
ADD#1	7-22-2024
ADD#1	5-20-2025
DATE:	5-17-2023
JOB:	21-3205
SHEET NO.:	



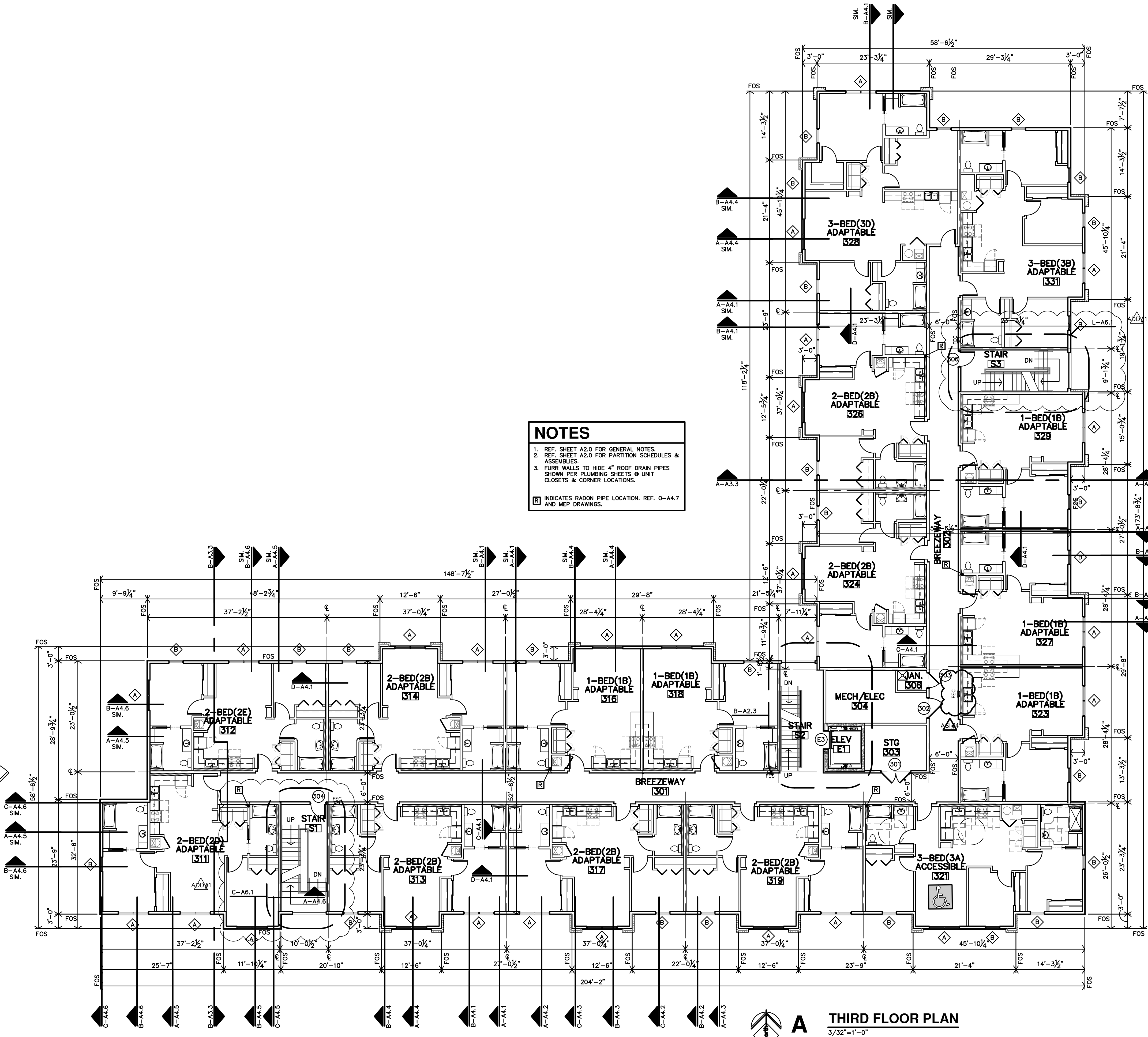
NOTES

1. REF. SHEET A2.0 FOR GENERAL NOTES.
2. REF. SHEET A2.0 FOR PARTITION SCHEDULES & ASSEMBLIES.
3. FURR WALLS TO HIDE 4" ROOF DRAIN PIPES SHOWN PER PLUMBING SHEETS @ UNIT CLOSETS & CORNER LOCATIONS.

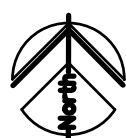
[R] INDICATES RADON PIPE LOCATION. REF. O-A4.7 AND MEP DRAWINGS.



B ENLARGED PARTIAL FLOOR PLAN
1/4"=1'-0"



- NOTES**
1. REF. SHEET A2.0 FOR GENERAL NOTES.
 2. REF. SHEET A2.0 FOR PARTITION SCHEDULES & ASSEMBLIES.
 3. FURR WALLS TO HIDE 4" ROOF DRAIN PIPES SHOWN PER PLUMBING SHEETS. UNIT CLOSETS & CORNER LOCATIONS.
- [R] INDICATES RADON PIPE LOCATION. REF. O-A4.7 AND MEP DRAWINGS.



A THIRD FLOOR PLAN
3/32"=1'-0"

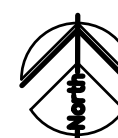
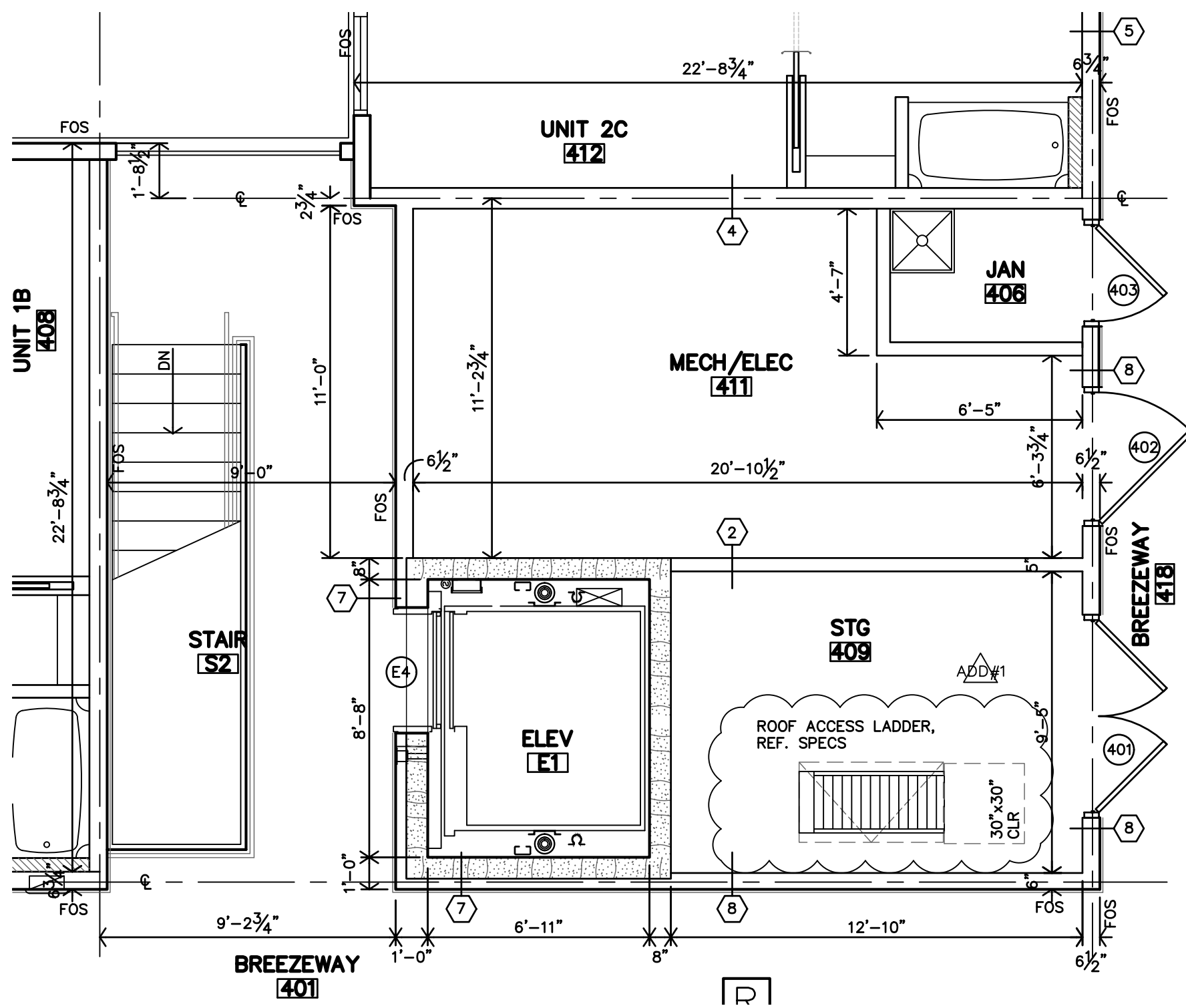


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ADD#2	5-20-2025
DATE:	5-17-2023
JOB:	21-3205
SHEET NO.:	

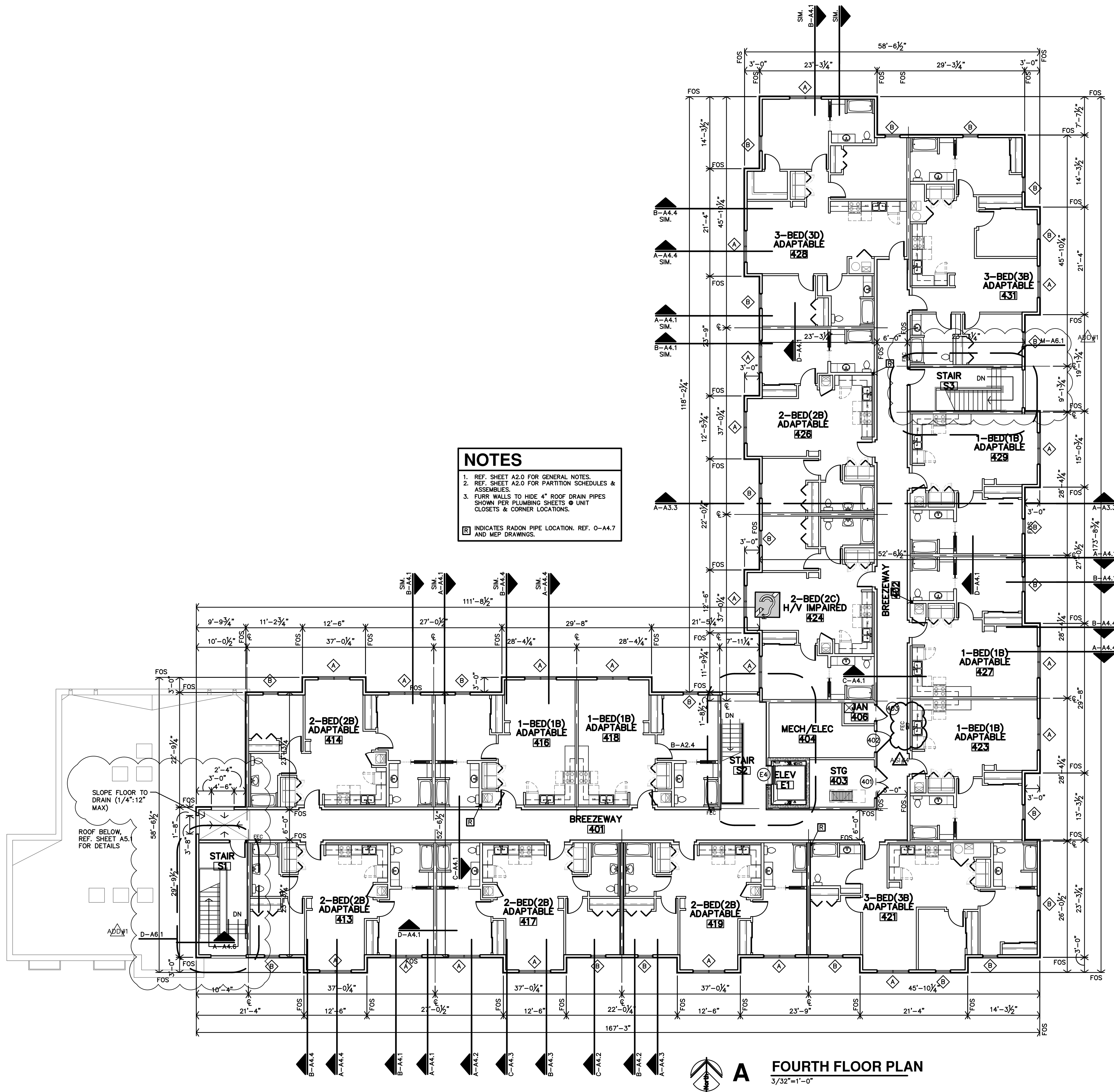
A2.3

THE RESERVES at MAGNOLIA
NEW APARTMENT COMPLEX
DENTON, TEXAS

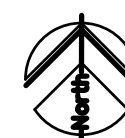
Jones Gillam Renz
1881 Main Street, Suite 301
Salina, KS 67401
785.827.0386
jgr@jgarchitects.com



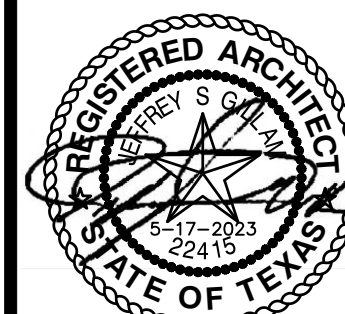
B ENLARGED PARTIAL FLOOR PLAN
1/4"=1'-0"



- NOTES**
1. REF. SHEET A2.0 FOR GENERAL NOTES.
 2. REF. SHEET A2.0 FOR PARTITION SCHEDULES & ASSEMBLIES.
 3. FURR WALLS TO HIDE 4" ROOF DRAIN PIPES SHOWN PER PLUMBING SHEETS @ UNIT CLOSETS & CORNER LOCATIONS.
- R** INDICATES RADON PIPE LOCATION. REF. 0-A4.7 AND MEP DRAWINGS.



A FOURTH FLOOR PLAN
3/32"=1'-0"



REVISION:	
A2.0.1	6-19-2023
A2.0.2	5-20-2025
DATE:	5-17-2023
JOB:	21-3205
SHEET NO.:	

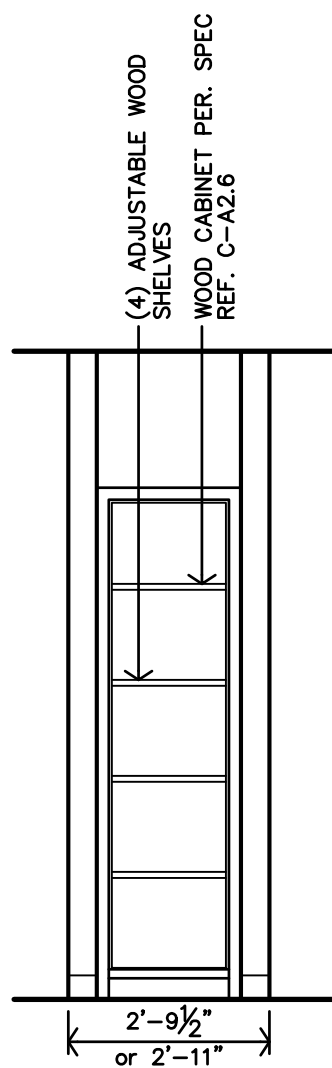
A2.4

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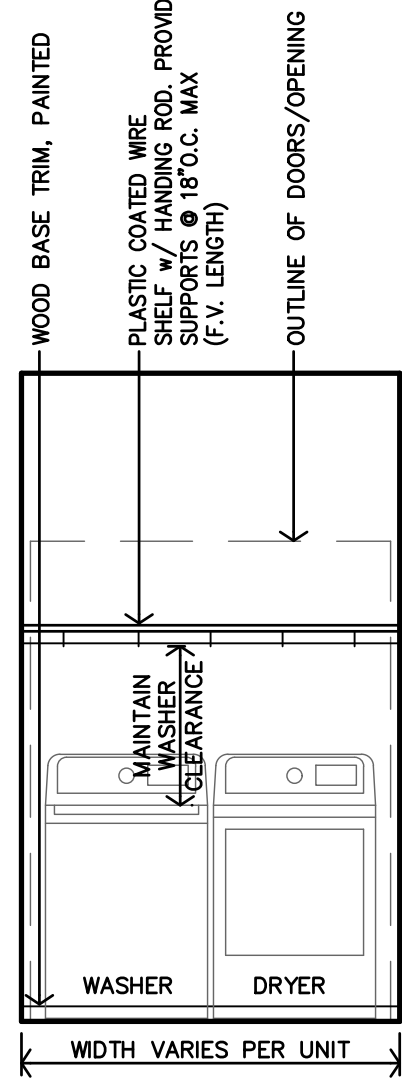
E

TYPICAL LIVING ROOM #1 CASEWORK ELEVATION
3/8"=1'-0"



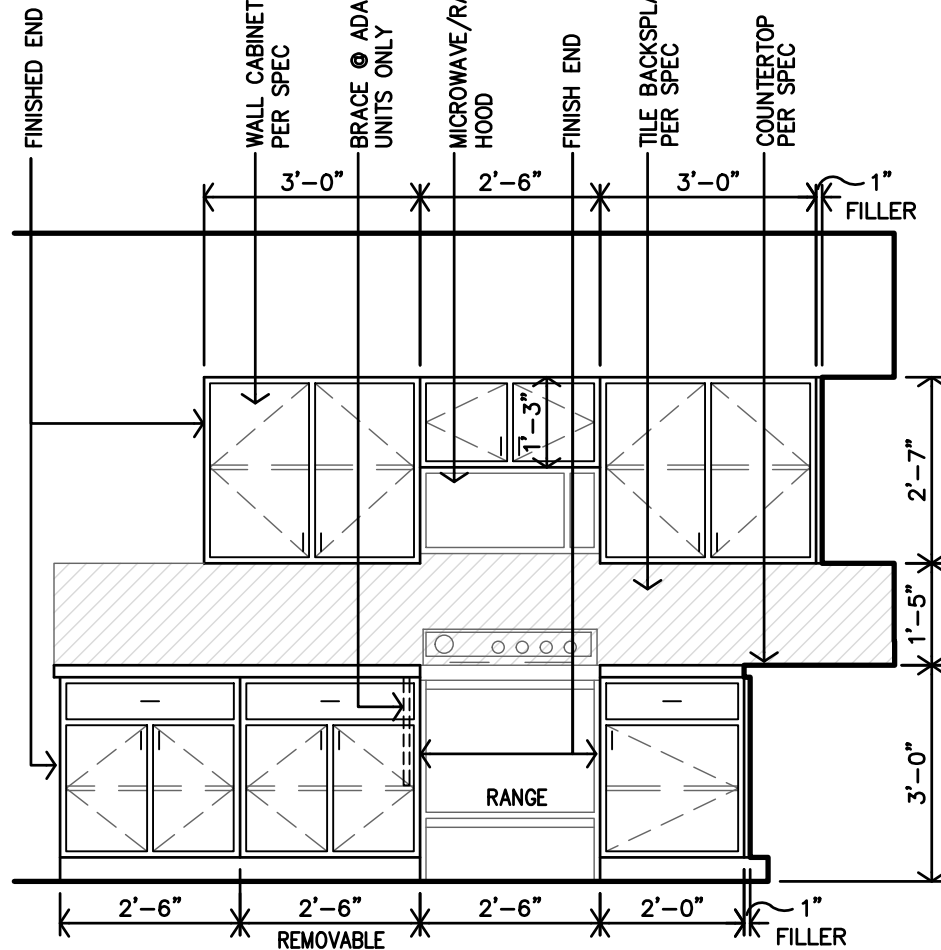
D

TYPICAL ADAPTABLE LAUNDRY #6 CASEWORK ELEVATION
3/8"=1'-0"



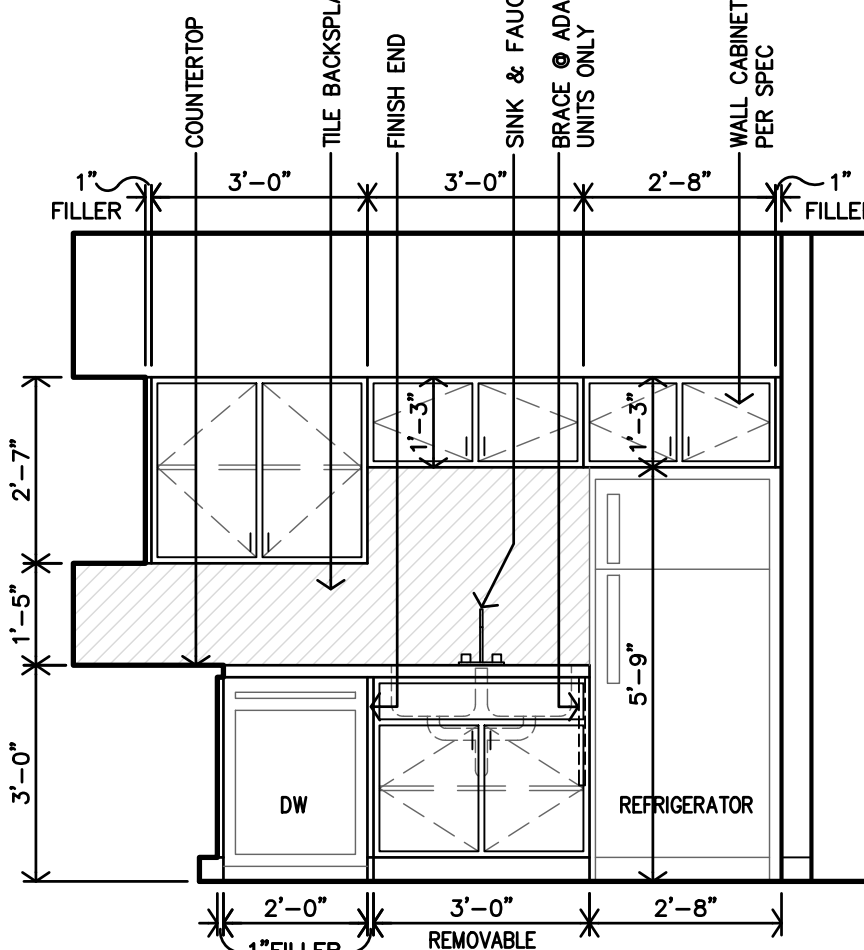
C

UNITS 1B/1C KITCHEN #3 CASEWORK ELEVATION
3/8"=1'-0"



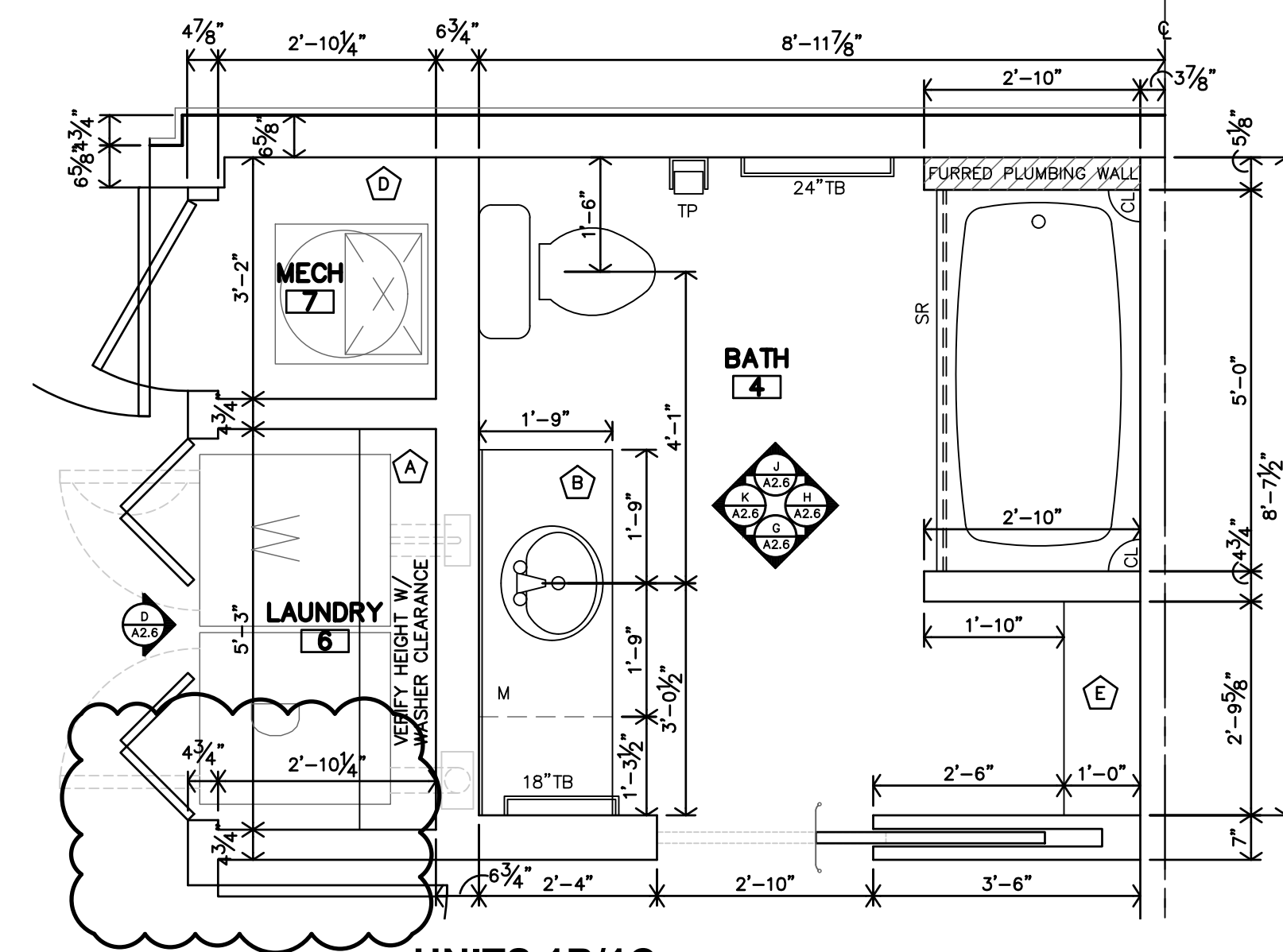
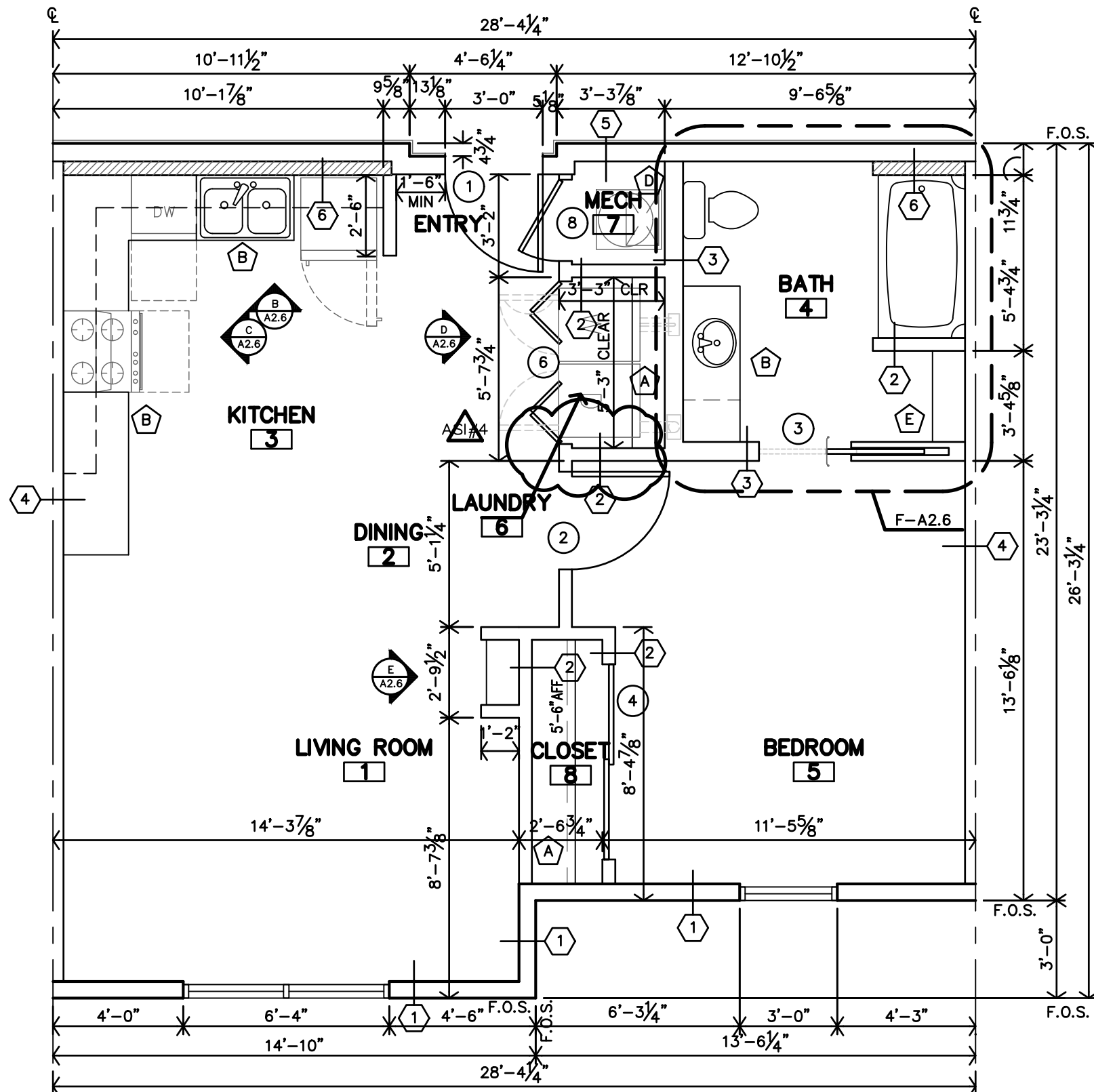
B

UNITS 1B/1C KITCHEN #3 CASEWORK ELEVATION
3/8"=1'-0"



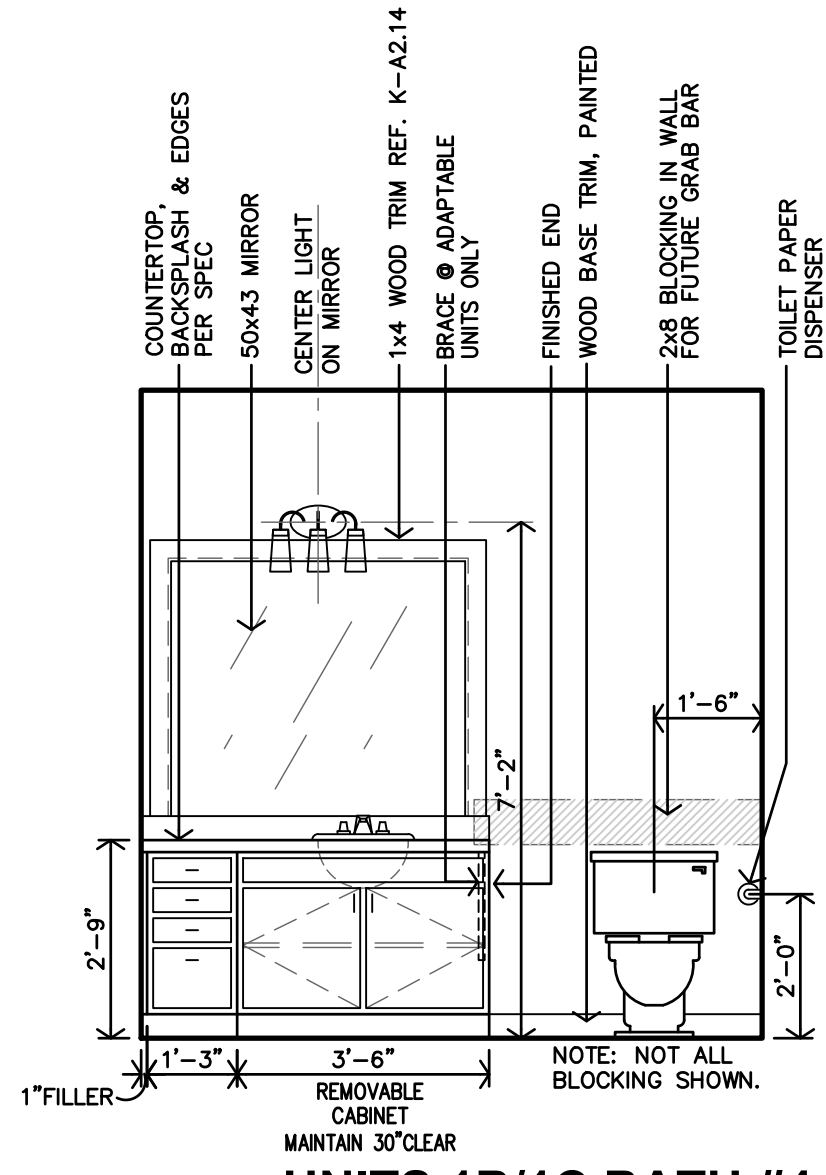
A

UNITS 1B/1C ADAPTABLE 1 BEDROOM - 1 BATH UNIT PLAN
1/4"=1'-0"



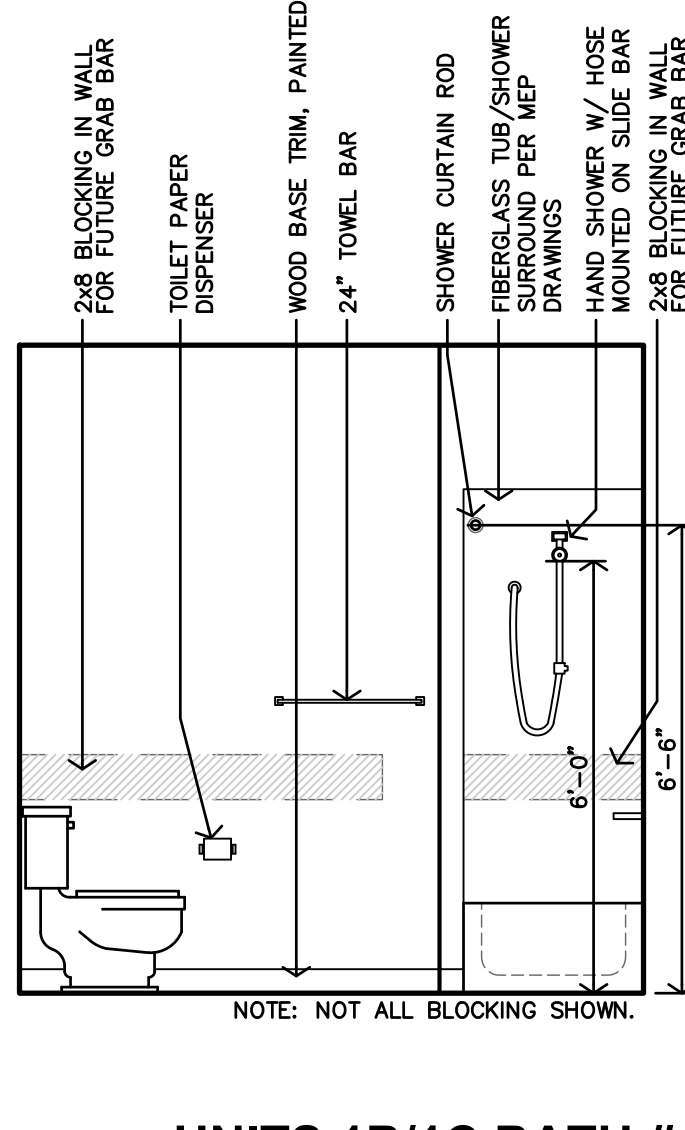
K

UNITS 1B/1C BATH #4 INTERIOR ELEV.
3/8"=1'-0"



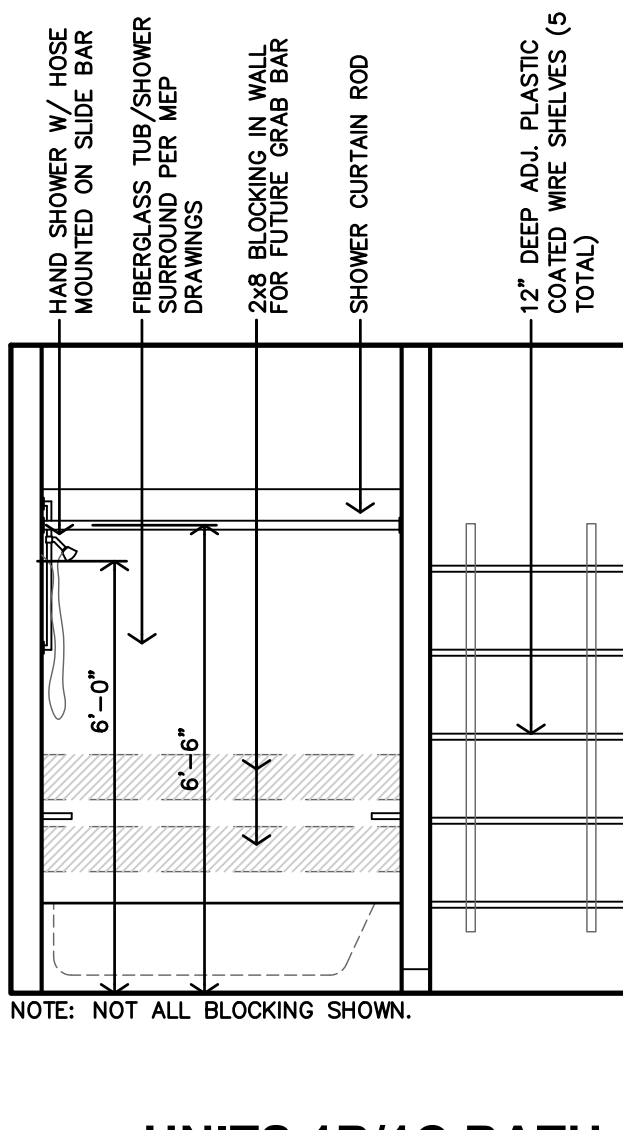
J

UNITS 1B/1C BATH #4 INTERIOR ELEV.
3/8"=1'-0"



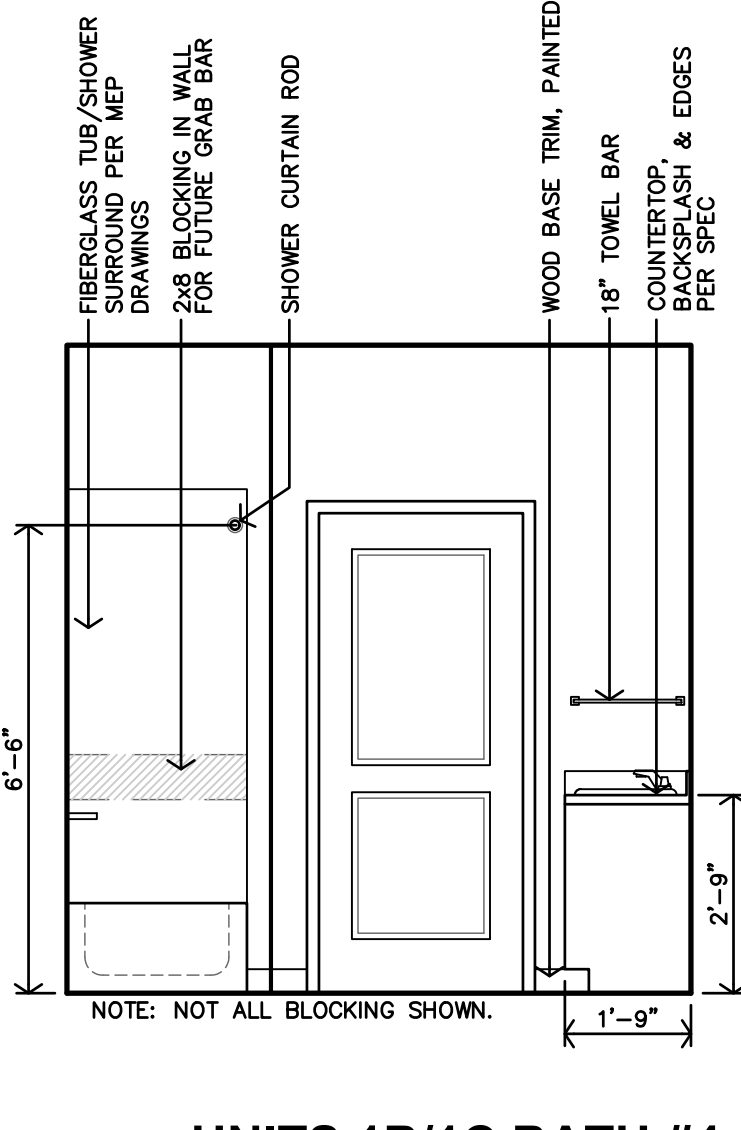
H

UNITS 1B/1C BATH #4 INTERIOR ELEV.
3/8"=1'-0"



G

UNITS 1B/1C BATH #4 INTERIOR ELEV.
3/8"=1'-0"



ADAPTABLE NOTES

1. REF. FOR ADDITIONAL DIRECTION ARCH. FLOOR PLAN NOTES ON SHEET A2.0 & APARTMENT GENERAL NOTES ON SHEET A2.5
2. ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE
3. CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, FUTURE GRABS BARS & FUTURE SHOWER SEAT, ETC. AS REQ'D. (REF. A2.6)
4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER. ALWAYS. THIS NEEDS TO BE COORDINATED ON SITE
5. REF. CASEWORK SECTIONS ON SHEET A2.14
6. F.O.S. = FACE OF STUD

INDICATES FURRED PLUMBING WALLS

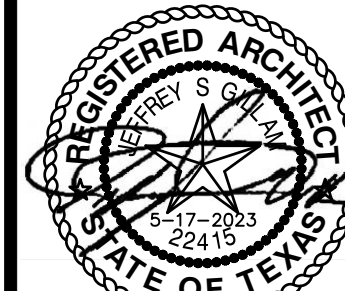
LEGEND

- M MIRROR
- TP TOILET PAPER DISPENSER
- TB TOWEL BAR
- CL CORNER LEDGE
- SR SHOWER ROD

KEYNOTES:

- (A) PLASTIC COATED WIRE CLOTHES SHELF & ROD
- (B) FLOORING TO BE CONTINUOUS @ REMOVABLE CABINETS W/ 30" CLEAR WHEN REMOVED
- (C) VERIFY SIZE w/ SHOWER UNIT
- (D) WATER HEATER - REF. MECH. DRAWINGS
- (E) 12" DEEP PLASTIC COATED WIRE SHELVES (5 TOTAL) WITH ADJUSTABLE BRACKETS

A2.6



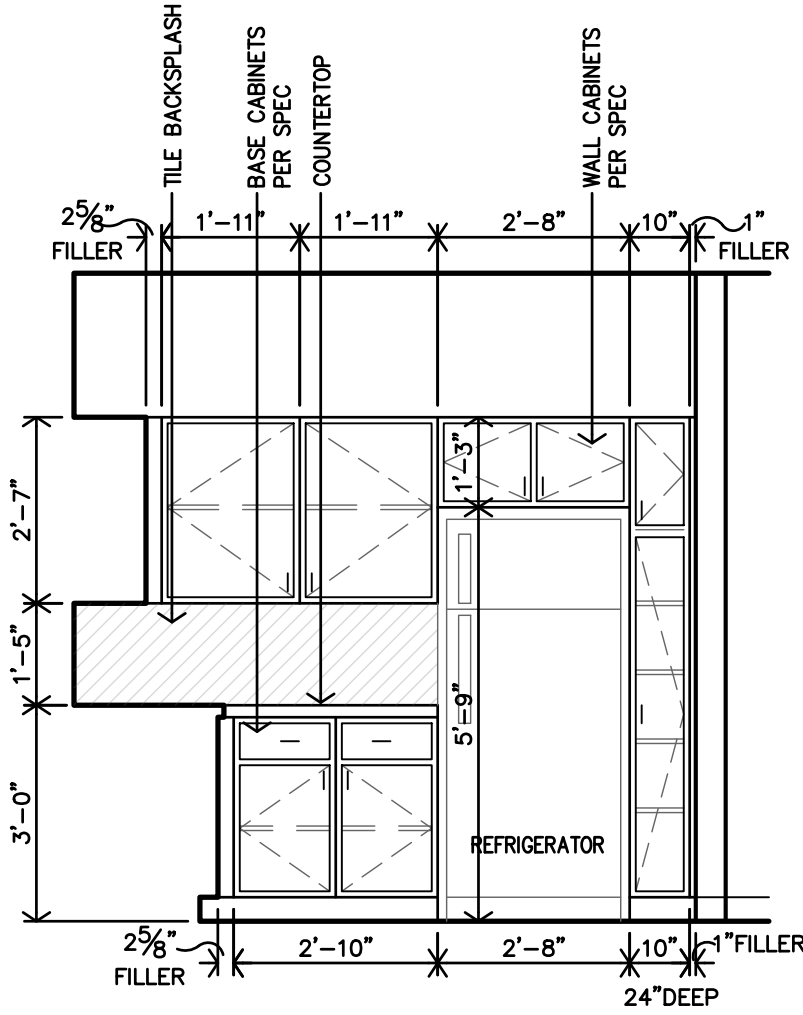
REVISION:
5-20-2025

DATE: 5-17-2023
JOB: 21-3205
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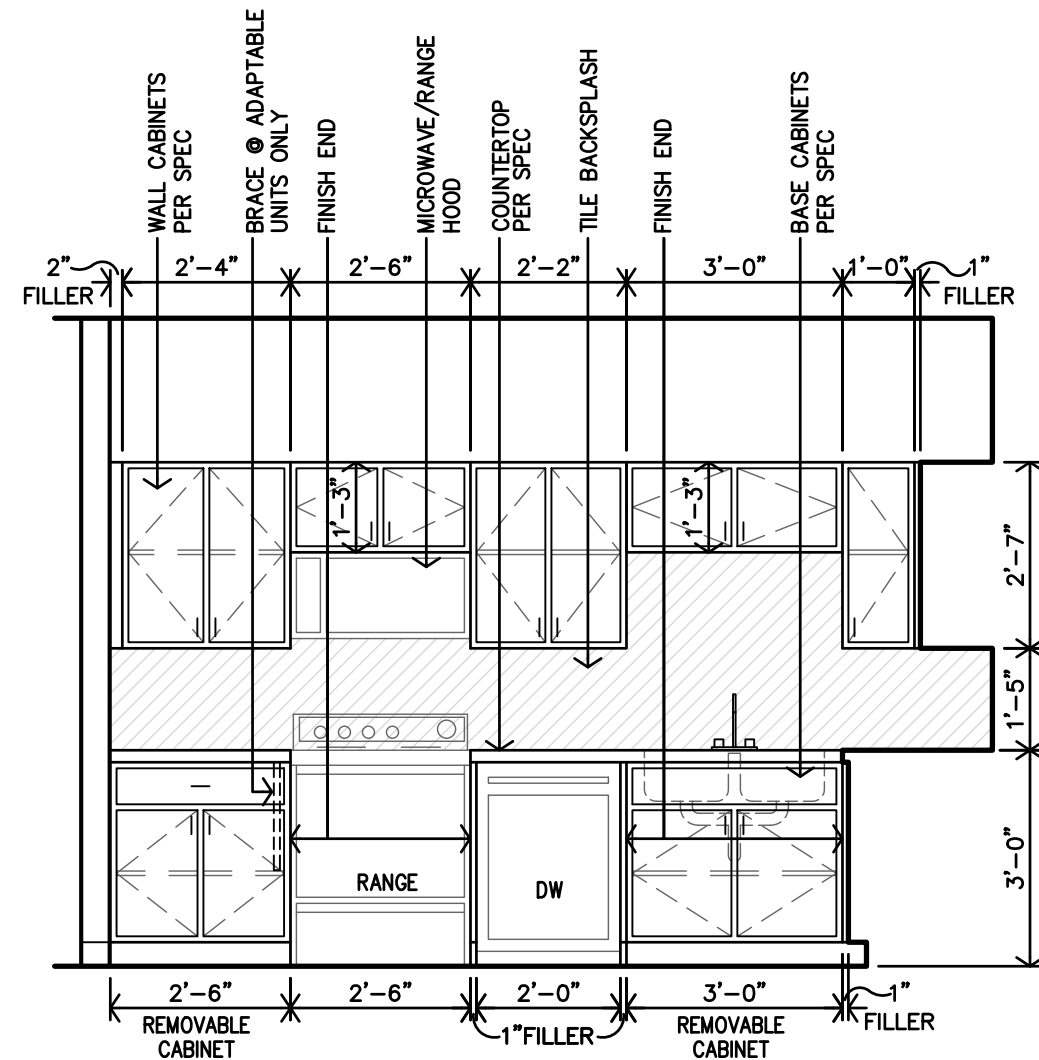
THE RESERVES at MAGNOLIA
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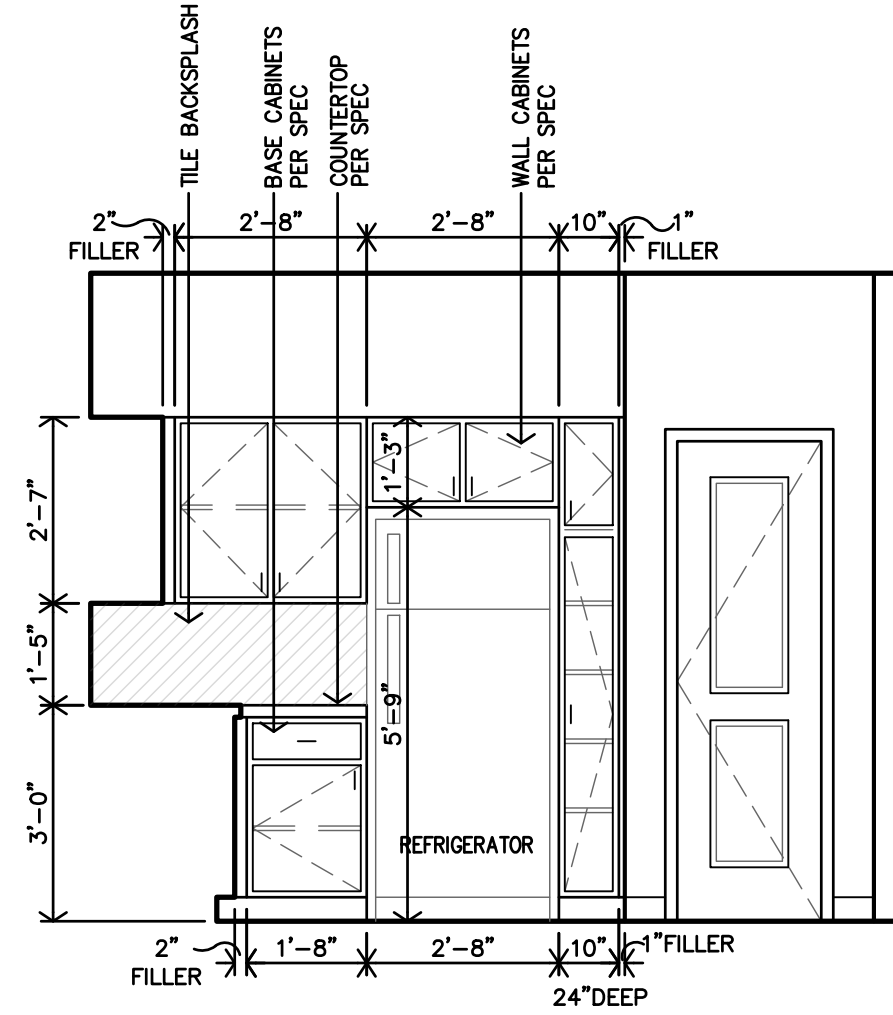
ADAPTABLE NOTES	
1. REF. FOR ADDITIONAL DIRECTION ARCH. FLOOR PLAN NOTES ON SHEET A2.0 & APARTMENT GENERAL NOTES ON SHEET A2.5 2. ALL DIMENSIONS ARE TO FACE OF STUD. UNLESS NOTED OTHERWISE 3. CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, FUTURE GRABS BARS & FUTURE SHOWER SEAT, ETC. AS REQ'D. (REF. A2.6) 4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER, ALWAYS. THIS NEEDS TO BE COORDINATED ON SITE. ADAPTABLE UNITS DESIGNED AROUND 27x27" WASHER & DRYER. 5. REF. CASEWORK SECTIONS ON SHEET A2.14 6. F.O.S. = FACE OF STUD	
INDICATES FURRED PLUMBING WALLS	
LEGEND	KEYNOTES:
M MIRROR	(A) PLASTIC COATED WIRE CLOTHES SHELF & ROD
TP TOWEL PAPER DISPENSER	(B) FLOORING TO BE CONTINUOUS @ REMOVABLE CABINETS W/ 30" CLEAR WHEN REMOVED
TB TOWEL BAR	(C) VERIFY SIZE w/ SHOWER UNIT
CL CORNER LEDGE	(D) WATER HEATER - REF. MECH. DRAWINGS
SR SHOWER ROD	(E) 12" DEEP PLASTIC COATED WIRE SHELVES (5 TOTAL) WITH ADJUSTABLE BRACKETS



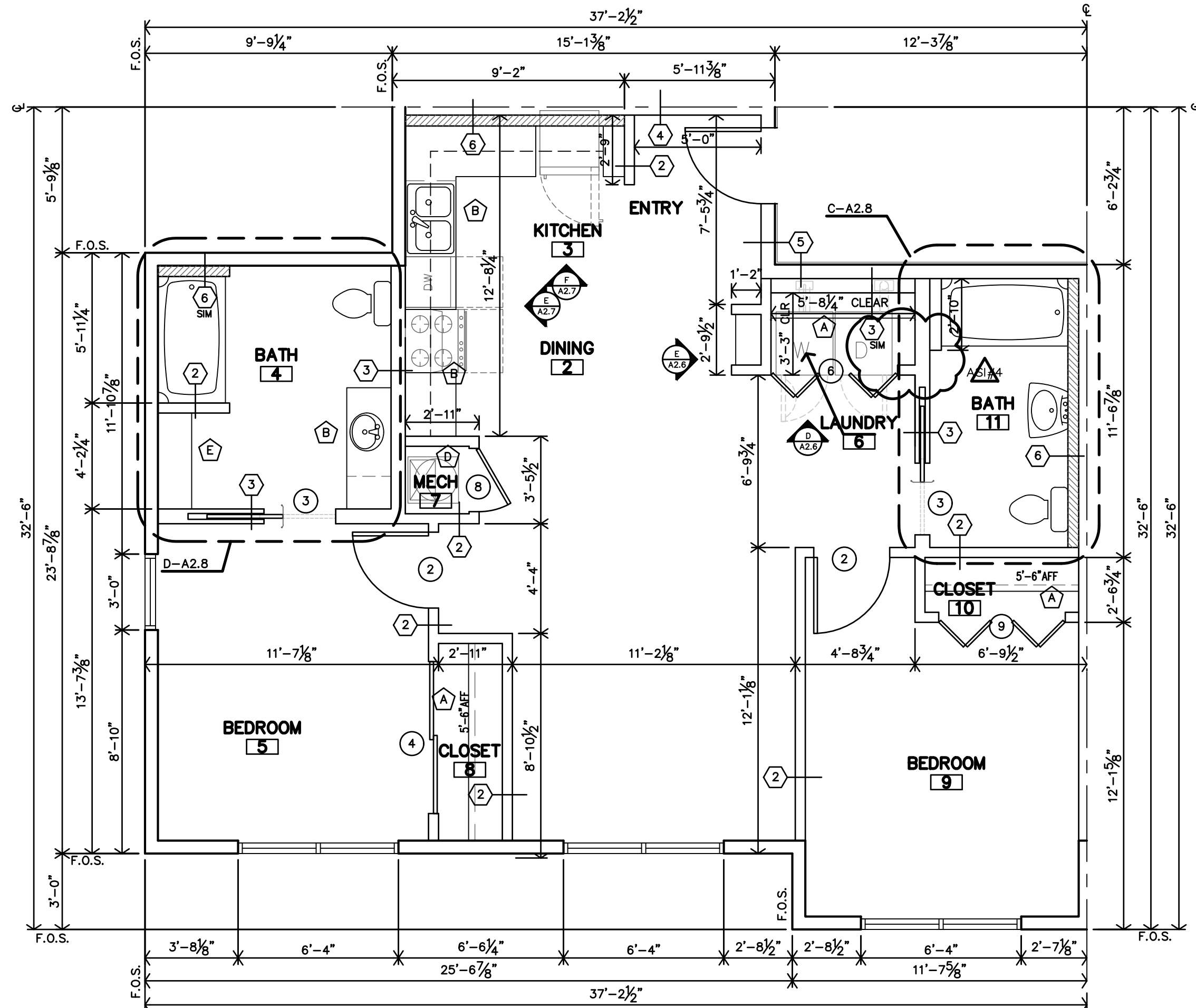
F UNIT 2D KITCHEN #3
CASEWORK ELEVATION
3/8\"=1'-0"



E UNITS 2B/2C, 2D, 2E KITCHEN #3
CASEWORK ELEVATION
3/8\"=1'-0"

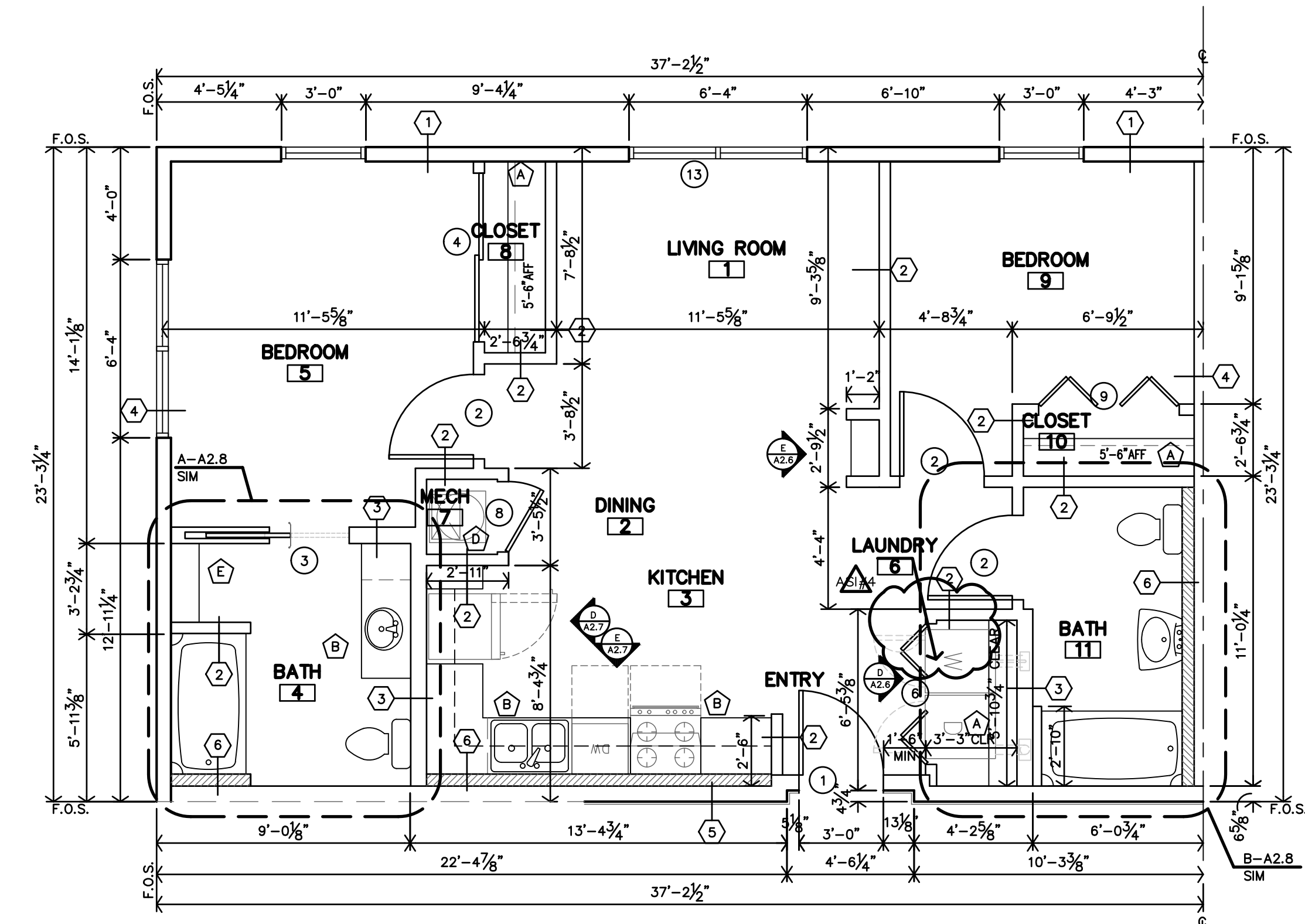


D UNITS 2B/2C, 2E KITCHEN #3
CASEWORK ELEVATION
3/8\"=1'-0"



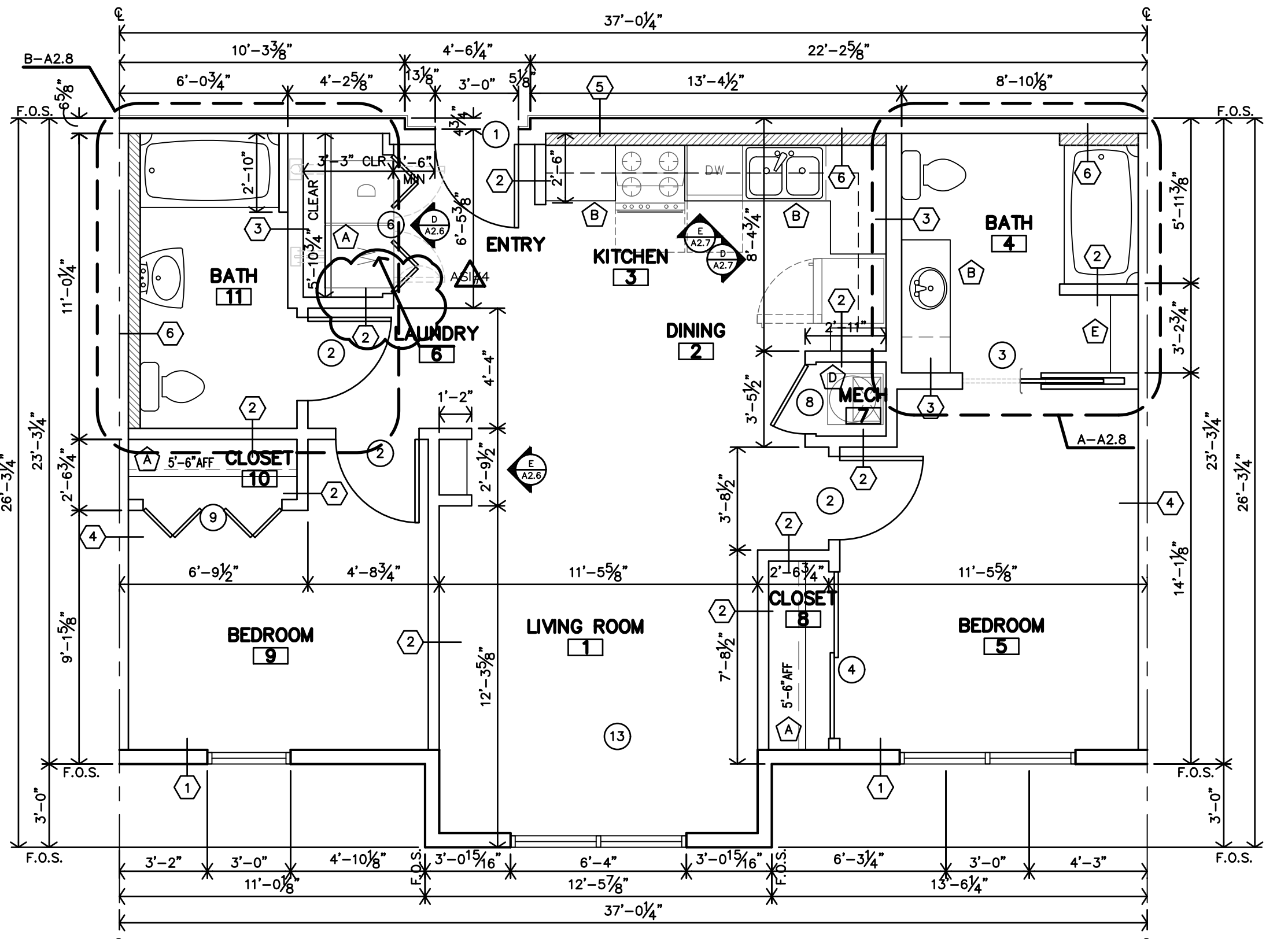
SQUARE FOOTAGE:
PER TDHCA NRA = 1,001 SF
PER 2021 IBC = 923 SF

B UNITS 2D ADAPTABLE
2 BEDROOM - 2 BATH UNIT PLAN
1/4\"=1'-0"



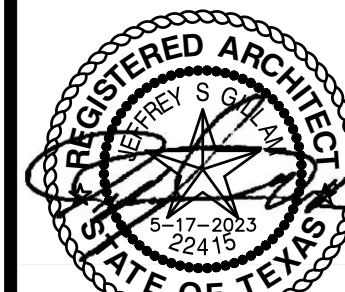
SQUARE FOOTAGE:
PER TDHCA NRA = 860 SF
PER 2021 IBC = 794 SF

C UNITS 2E ADAPTABLE
2 BEDROOM - 2 BATH UNIT PLAN
1/4\"=1'-0"



SQUARE FOOTAGE:
PER TDHCA NRA = 896 SF
PER 2021 IBC = 829 SF

A UNITS 2B/2C ADAPTABLE
2 BEDROOM - 2 BATH UNIT PLAN
1/4\"=1'-0"



REVISION:
5-20-2025

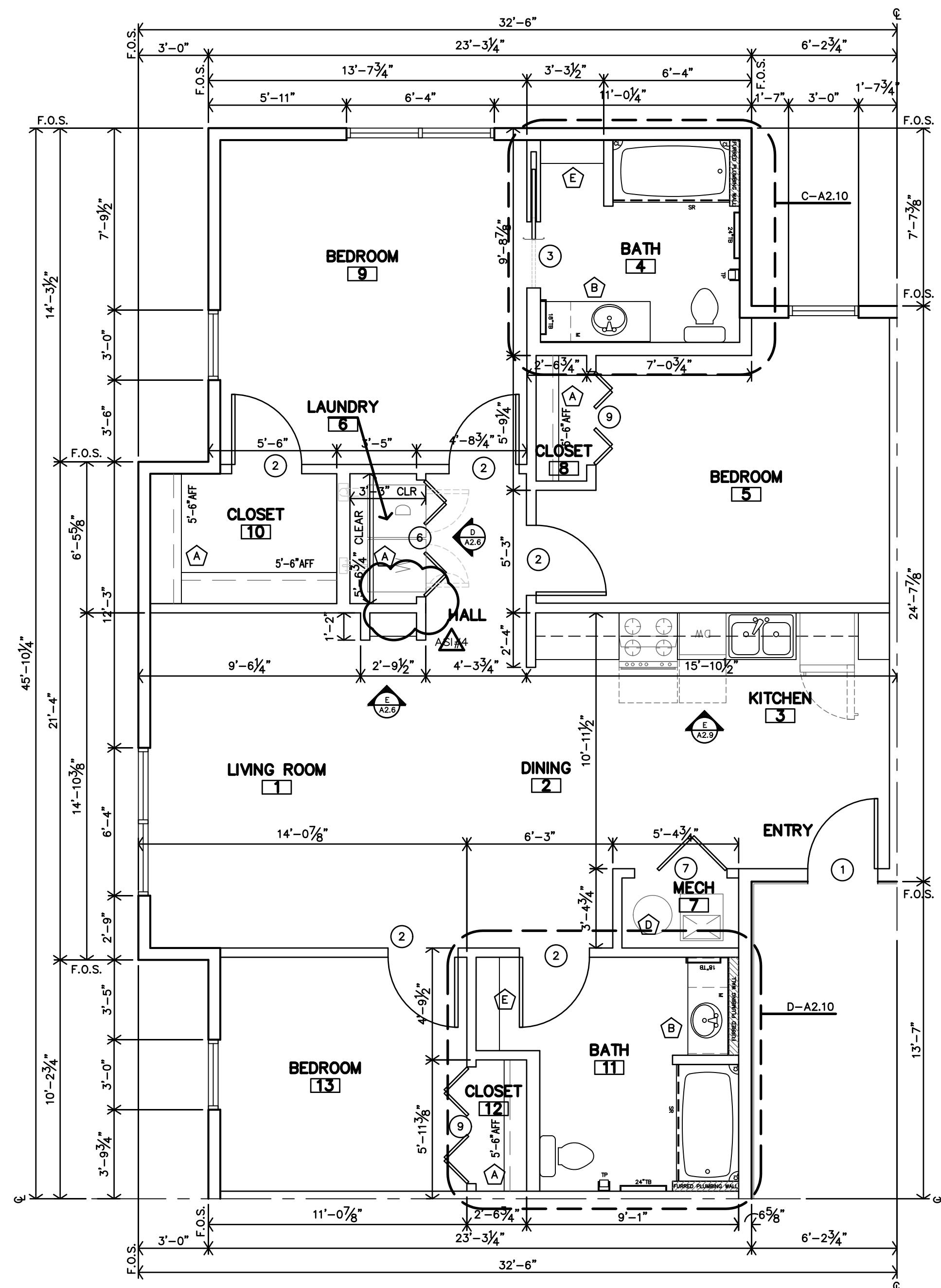
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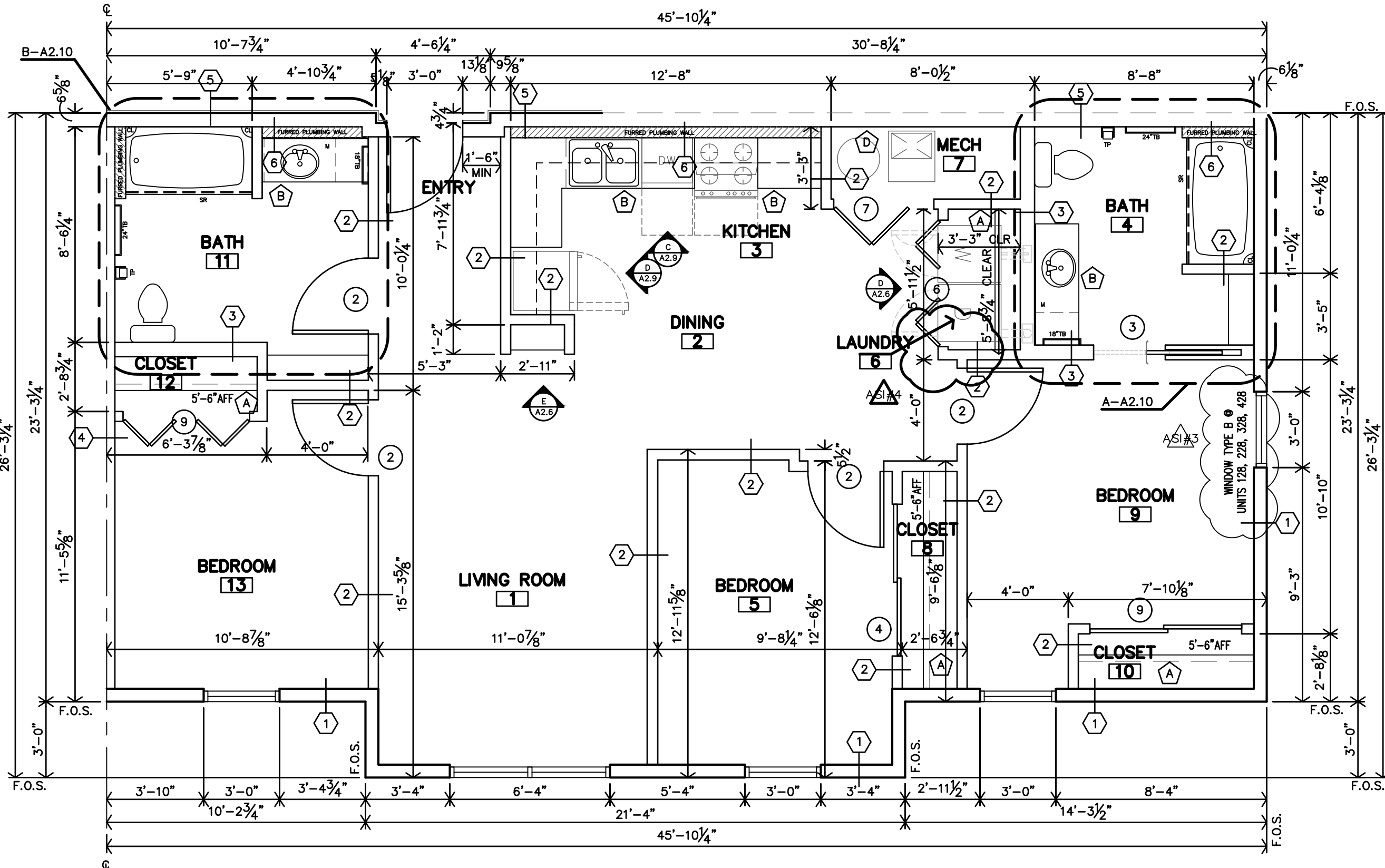
A2.7



SQUARE FOOTAGE:
PER TDHCA NRA = 1,278 SF
PER 2021 IBC = 1,206 SF

B

UNIT 3D ADAPTABLE
3 BEDROOM - 2 BATH UNIT PLAN
1/4"=1'-0"



SQUARE FOOTAGE:
PER TDHCA NRA = 1,129 SF
PER 2021 IBC = 1,049 SF

A

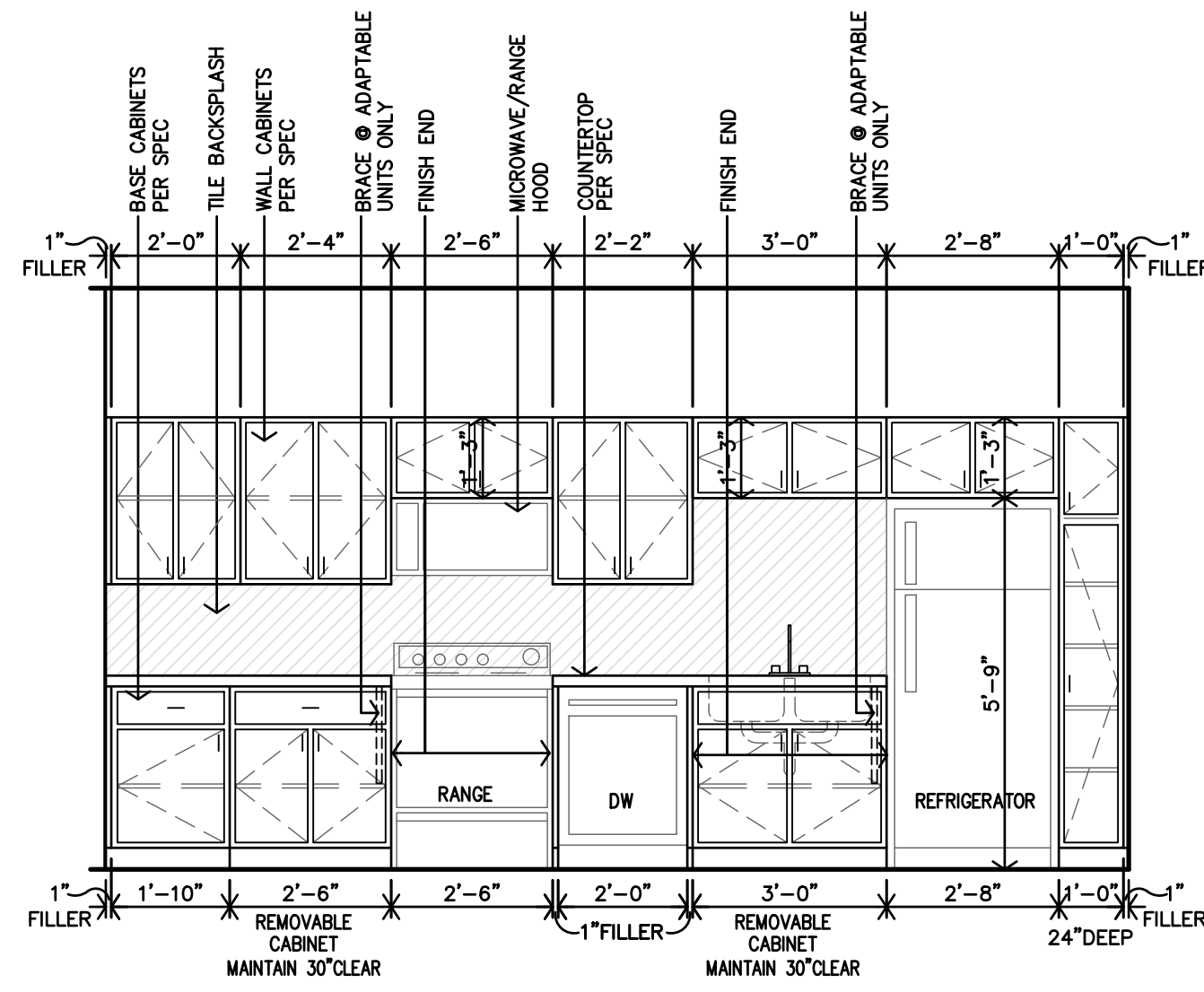
UNIT 3B ADAPTABLE
3 BEDROOM - 2 BATH UNIT PLAN
1/4"=1'-0"

ADAPTABLE NOTES

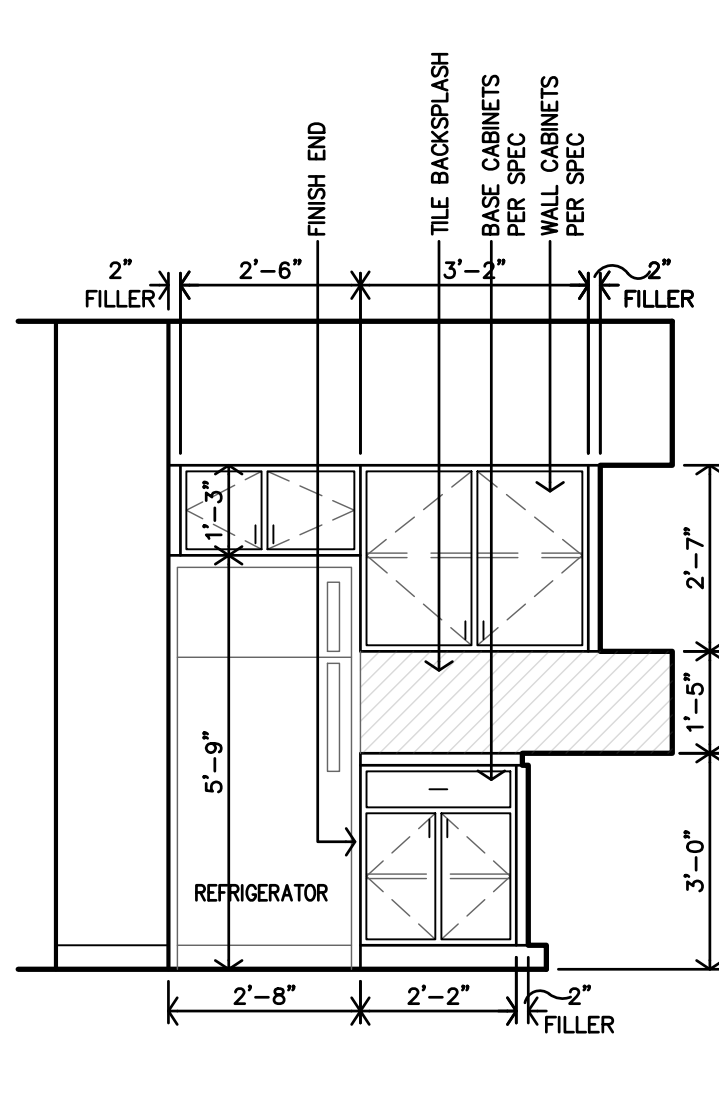
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- CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, FUTURE GRABS BARS & FUTURE SHOWER SEAT, ETC. AS REQ'D. (REF. A2.6)
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- REF. CASEWORK SECTIONS ON SHEET A2.14
- F.O.S. = FACE OF STUD

INDICATES FURRED PLUMBING WALLS

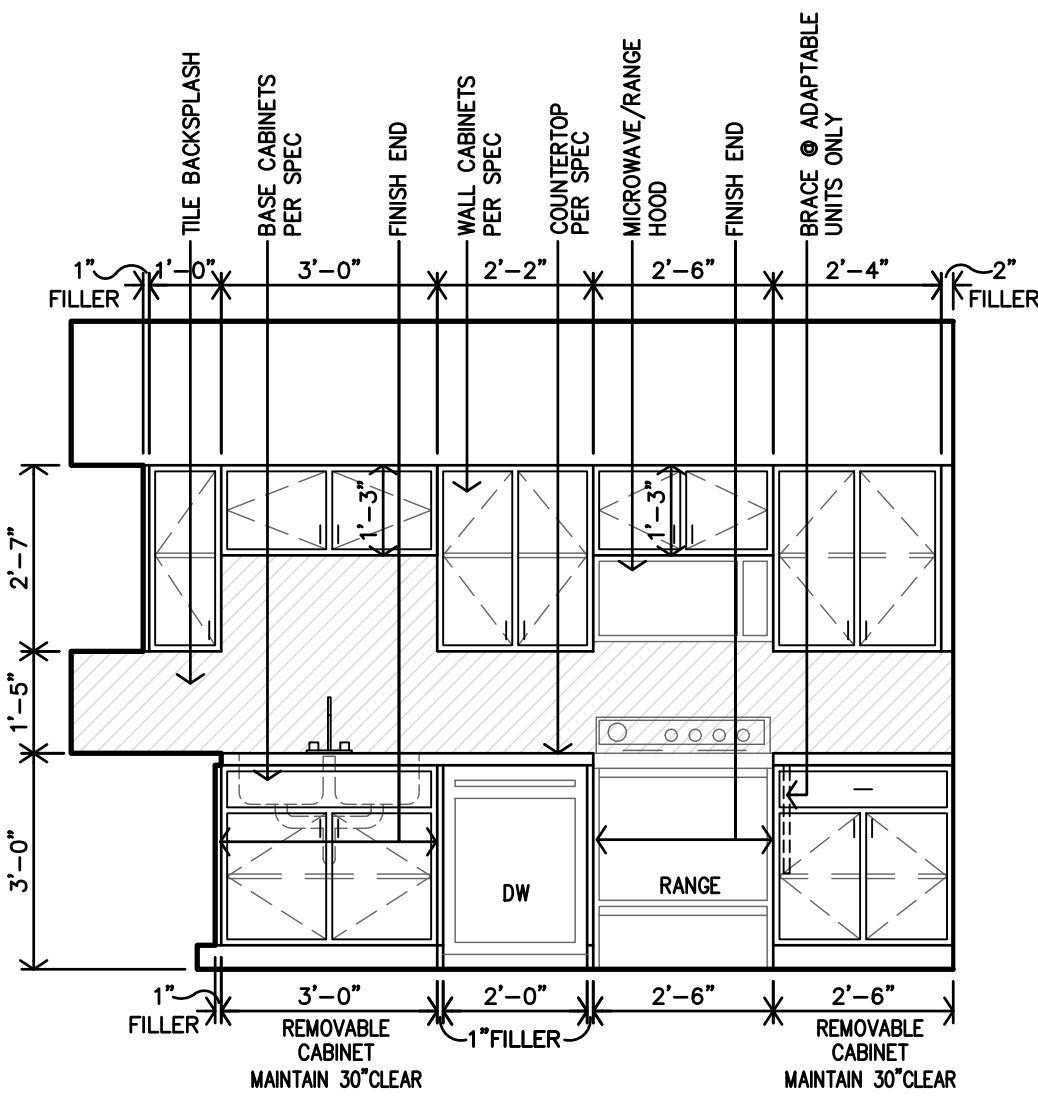
LEGEND	KEYNOTES:
M. MIRROR	A PLASTIC COATED WIRE CLOTHES SHELF & ROD
TB TOILET PAPER DISPENSER	FLOORING TO BE CONTINUOUS @ REMOVABLE CABINETS W/ 30" CLEAR WHEN REMOVED
CL CORNER LEDGE	VERIFY SIZE w/ SHOWER UNIT
SR SHOWER ROD	WATER HEATER - REF. MECH. DRAWINGS
	12" DEEP PLASTIC COATED WIRE SHELVES (5 TOTAL) WITH ADJUSTABLE BRACKETS



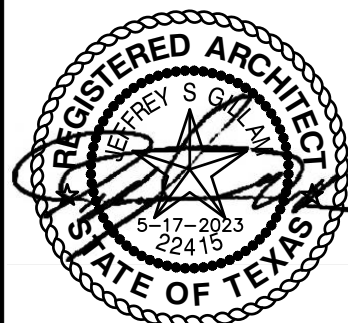
UNITS 3D KITCHEN #3
CASEWORK ELEVATION
3/8"=1'-0"



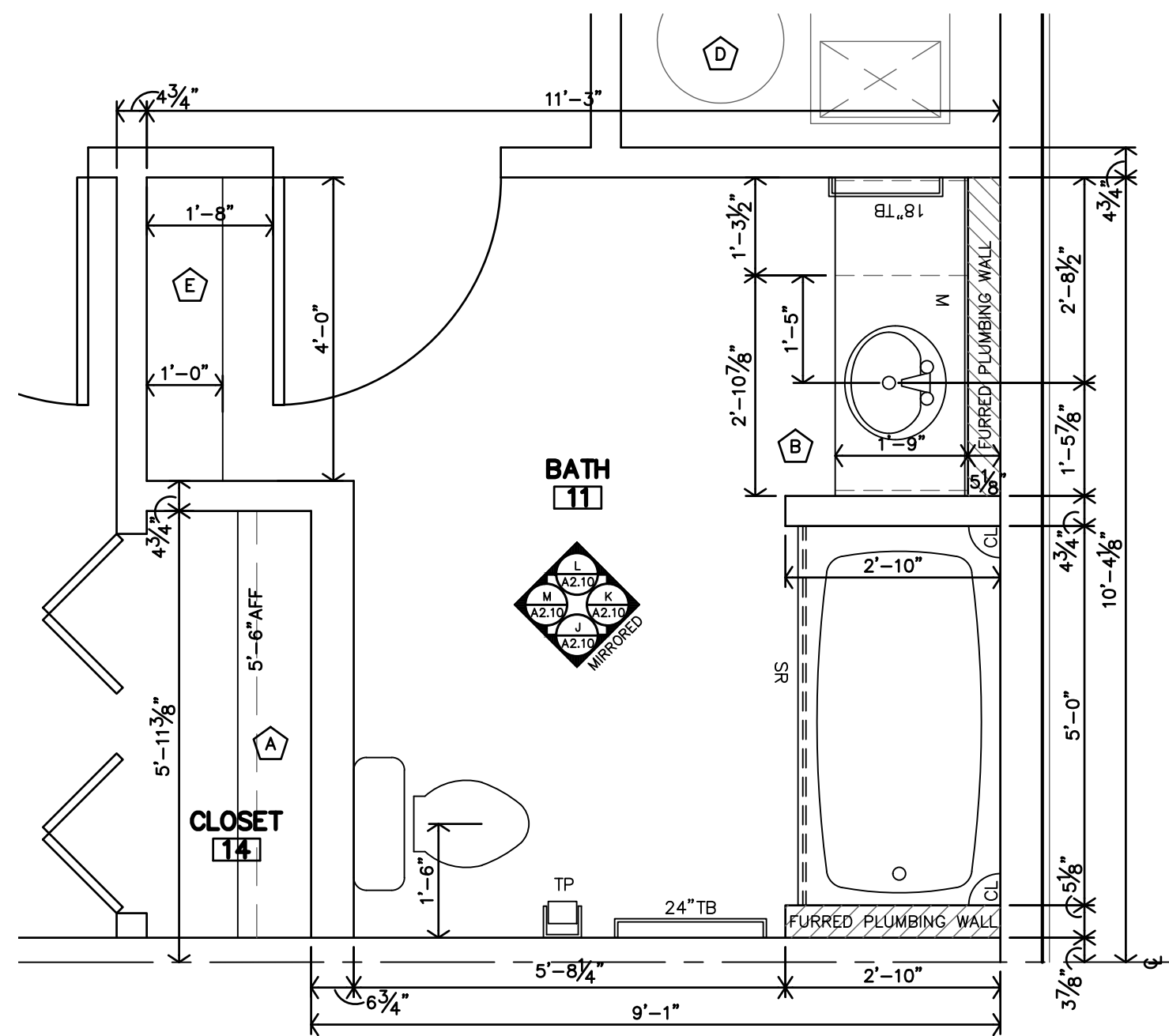
UNITS 3B KITCHEN #3
CASEWORK ELEVATION
3/8"=1'-0"



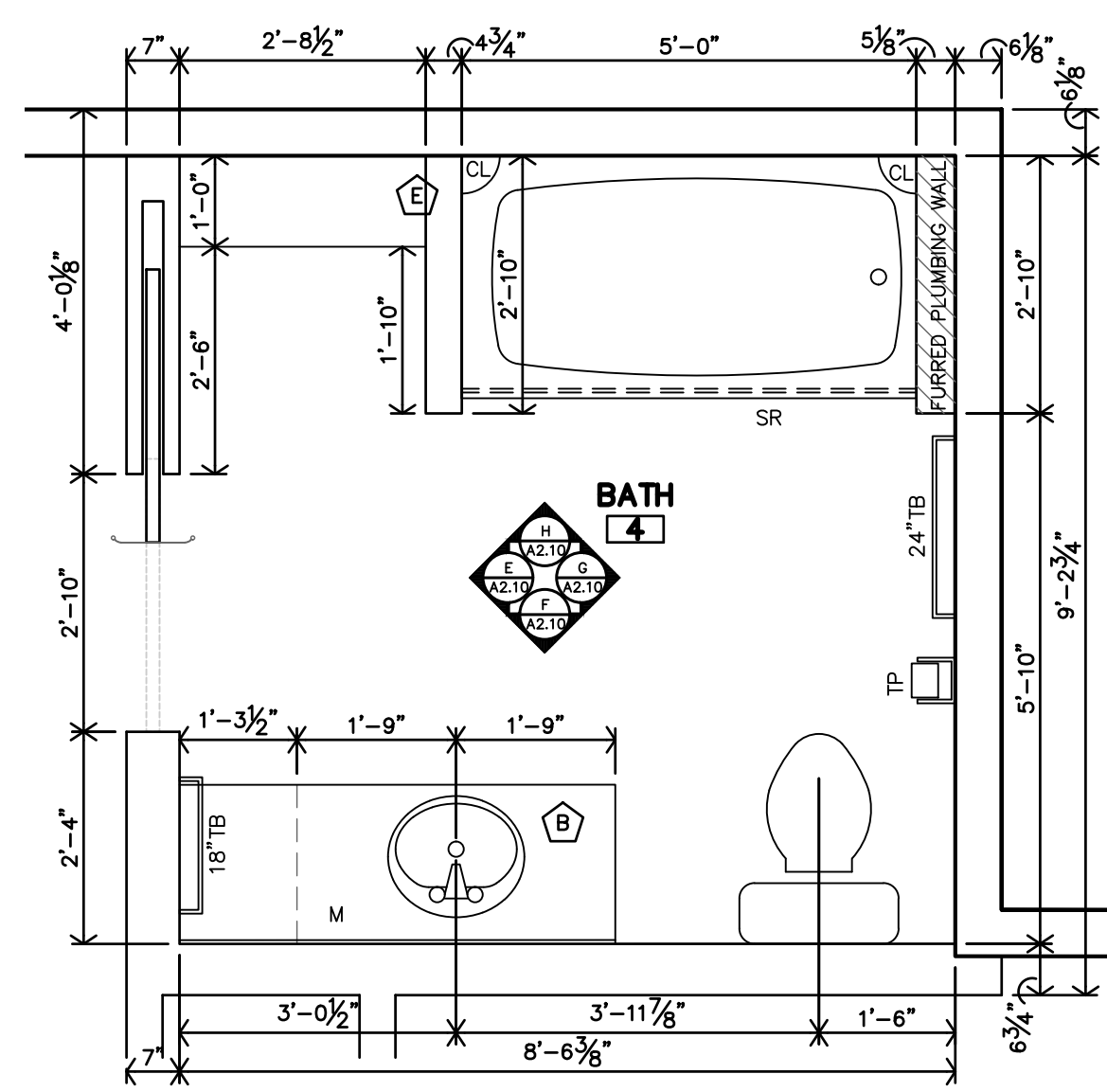
UNITS 3B KITCHEN #3
CASEWORK ELEVATION
3/8"=1'-0"



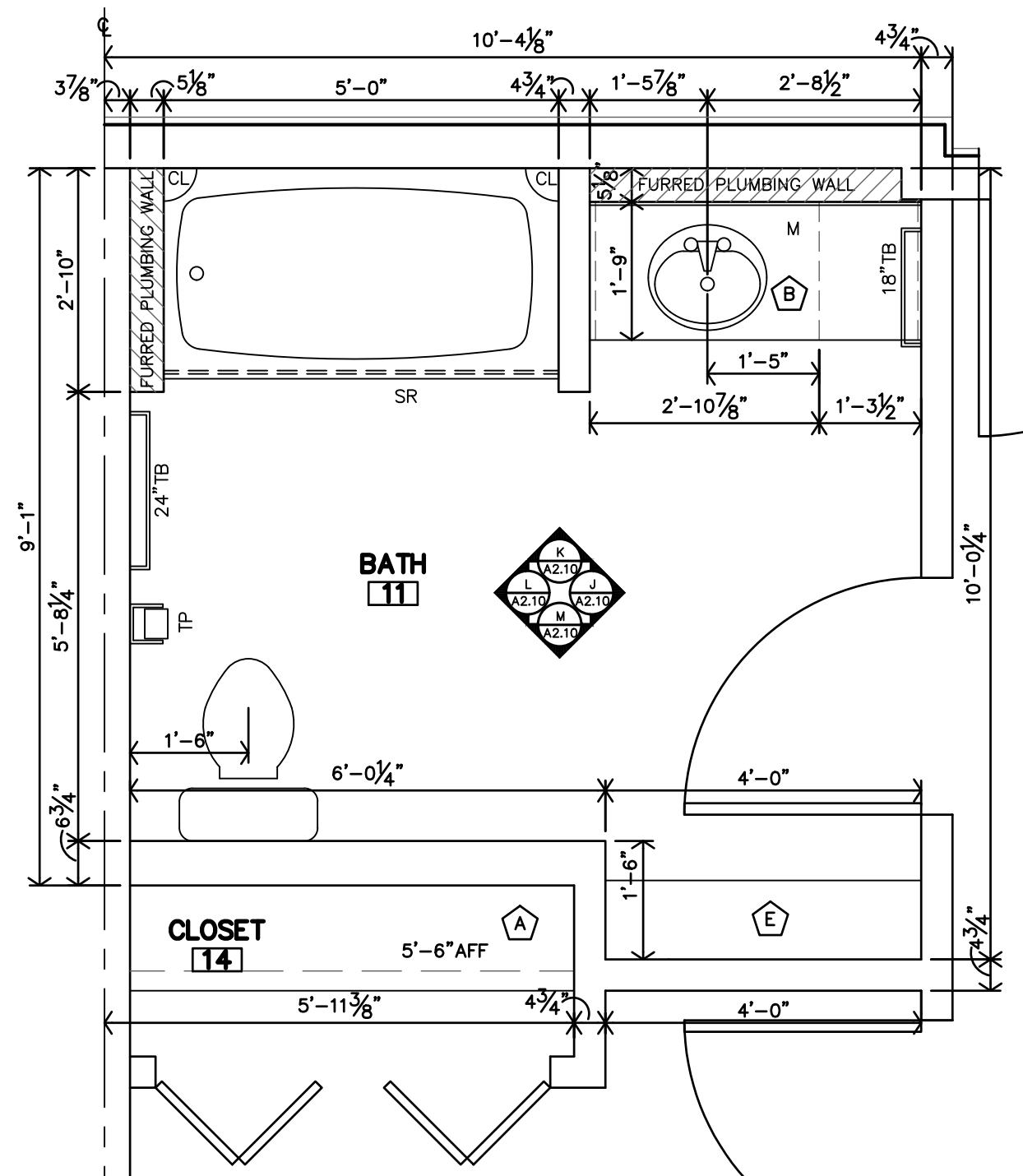
REVISION:	
A3	4-29-2025
A4	5-20-2025
DATE: 5-17-2023	
JOB: 21-3205	
SHEET NO.:	



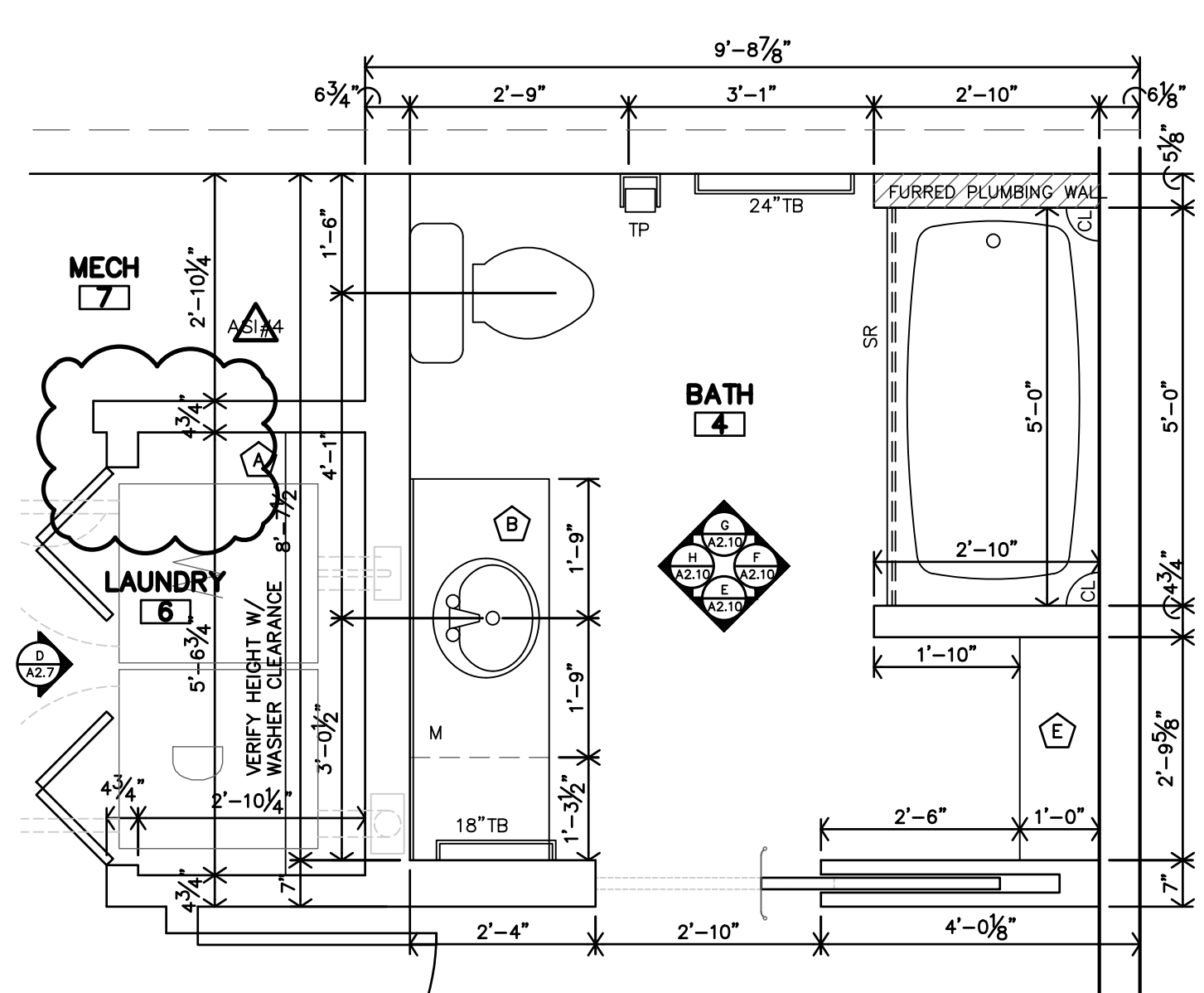
D UNIT 3D ADAPTABLE
BATH #11 ENLARGED PLAN
1/2"=1'-0"



C UNIT 3D ADAPTABLE
BATH #4 ENLARGED PLAN
1/2"=1'-0"

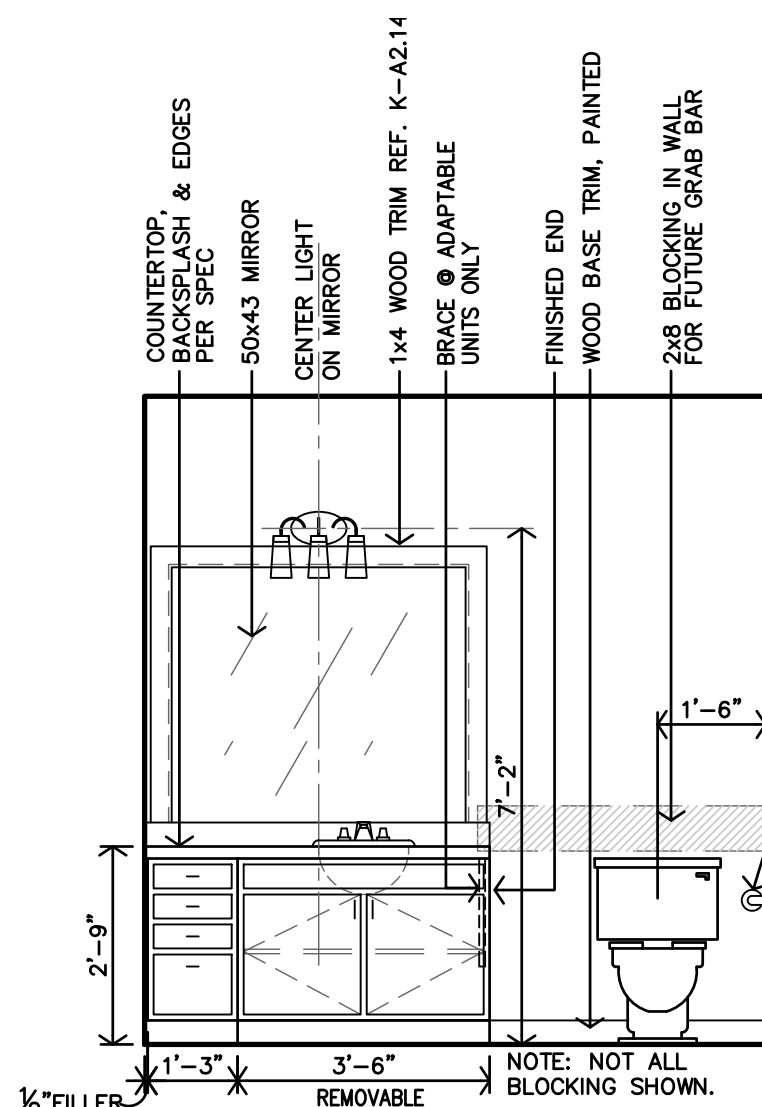


B UNIT 3B ADAPTABLE
BATH #11 ENLARGED PLAN
1/2"=1'-0"

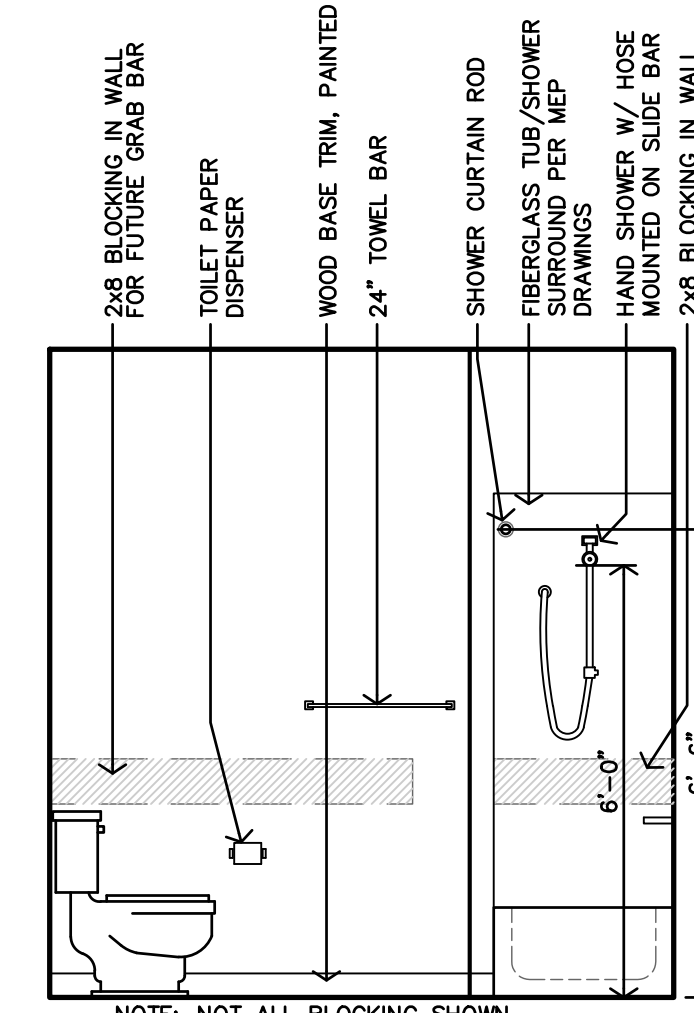


A UNIT 3B ADAPTABLE
BATH #4 ENLARGED PLAN
1/2"=1'-0"

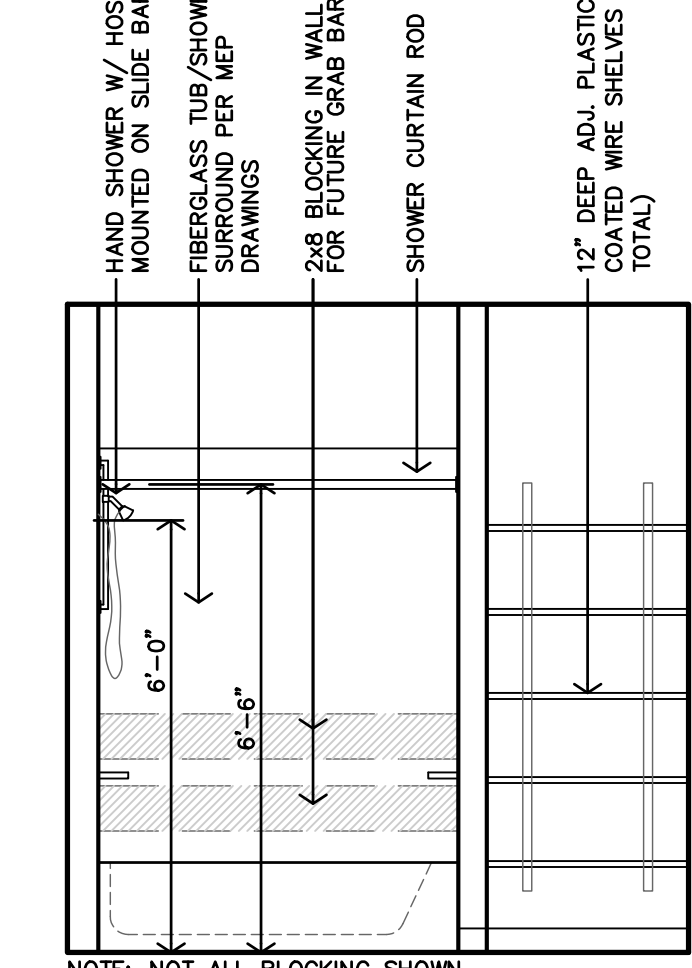
ADAPTABLE NOTES	
1. REF. FOR ADDITIONAL DIRECTION ARCH. FLOOR PLAN NOTES ON SHEET A2.0 & APARTMENT GENERAL NOTES ON SHEET A2.5	
2. ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE	
3. CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, FUTURE GRABS BARS & FUTURE SHOWER SEAT, ETC. AS REQ'D. (REF. A2.6)	
4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER, ALWAYS. THIS NEEDS TO BE COORDINATED ON SITE	
5. REF. CASEWORK SECTIONS ON SHEET A2.14	
6. F.O.S. = FACE OF STUD.	
INDICATES FURRED PLUMBING WALLS	
LEGEND	
M MIRROR	A PLASTIC COATED WIRE CLOTHES SHELF & ROD
TP TOILET PAPER DISPENSER	B FLOORING TO BE CONTINUOUS @ REMOVABLE CABINETS W/ 30" CLEAR WHEN REMOVED
TB TOWEL BAR	C VERIFY SIZE W/ SHOWER UNIT
CL CORNER LEDGE	D WATER HEATER - REF. MECH. DRAWINGS
SR SHOWER ROD	E 12" DEEP PLASTIC COATED WIRE SHELVES (5 TOTAL) WITH ADJUSTABLE BRACKETS



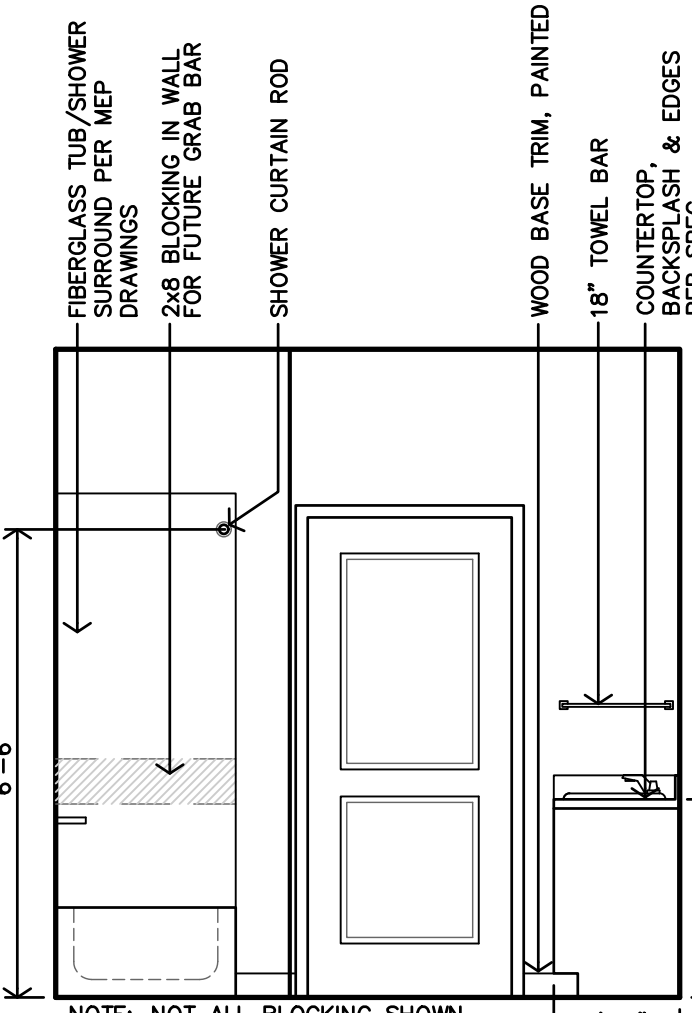
H UNITS 3B - BATH #4
INTERIOR ELEV.
3/8"=1'-0" UNIT 3D SIMILAR



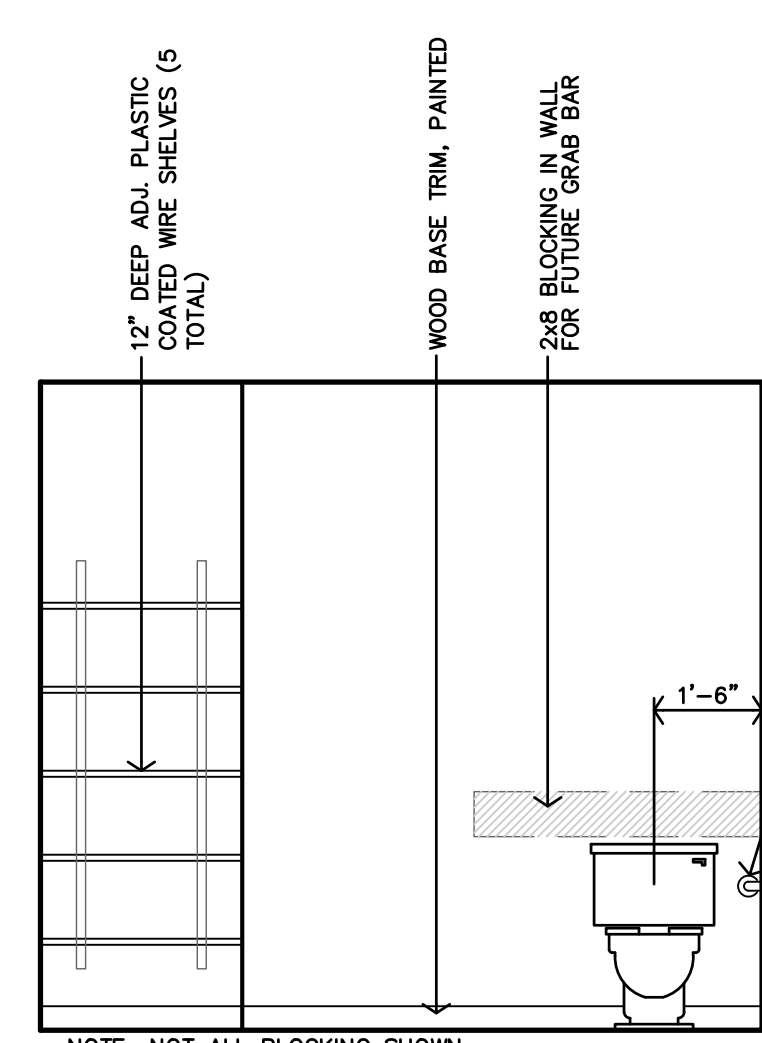
G UNITS 3B - BATH #4
INTERIOR ELEV.
3/8"=1'-0" UNIT 3D SIMILAR



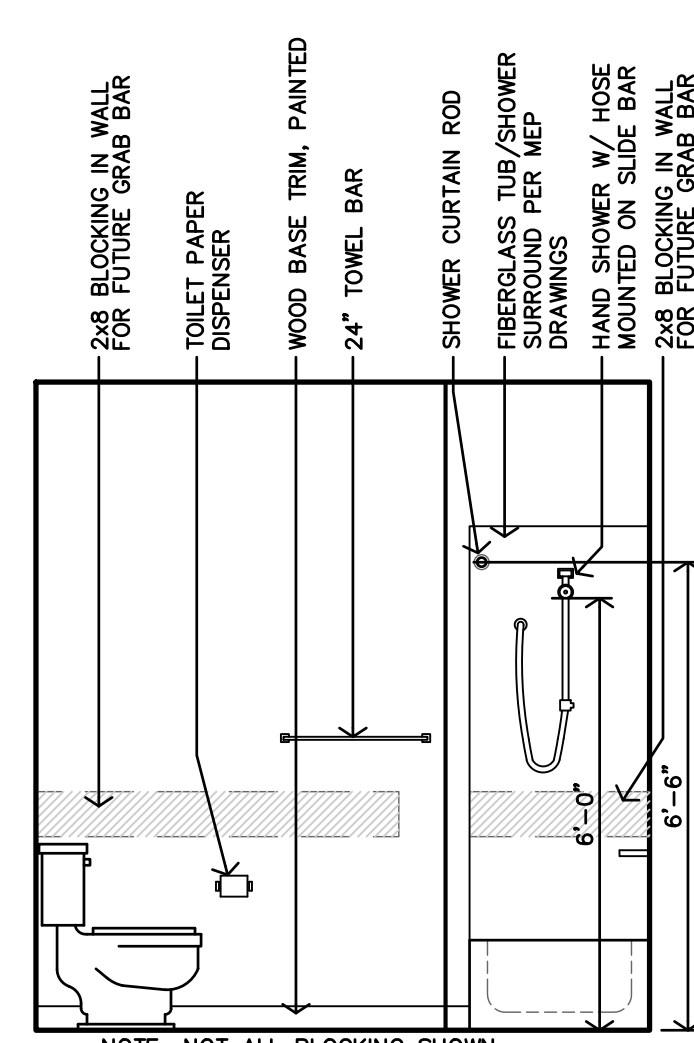
F UNITS 3B - BATH #4
INTERIOR ELEV.
3/8"=1'-0" UNIT 3D SIMILAR



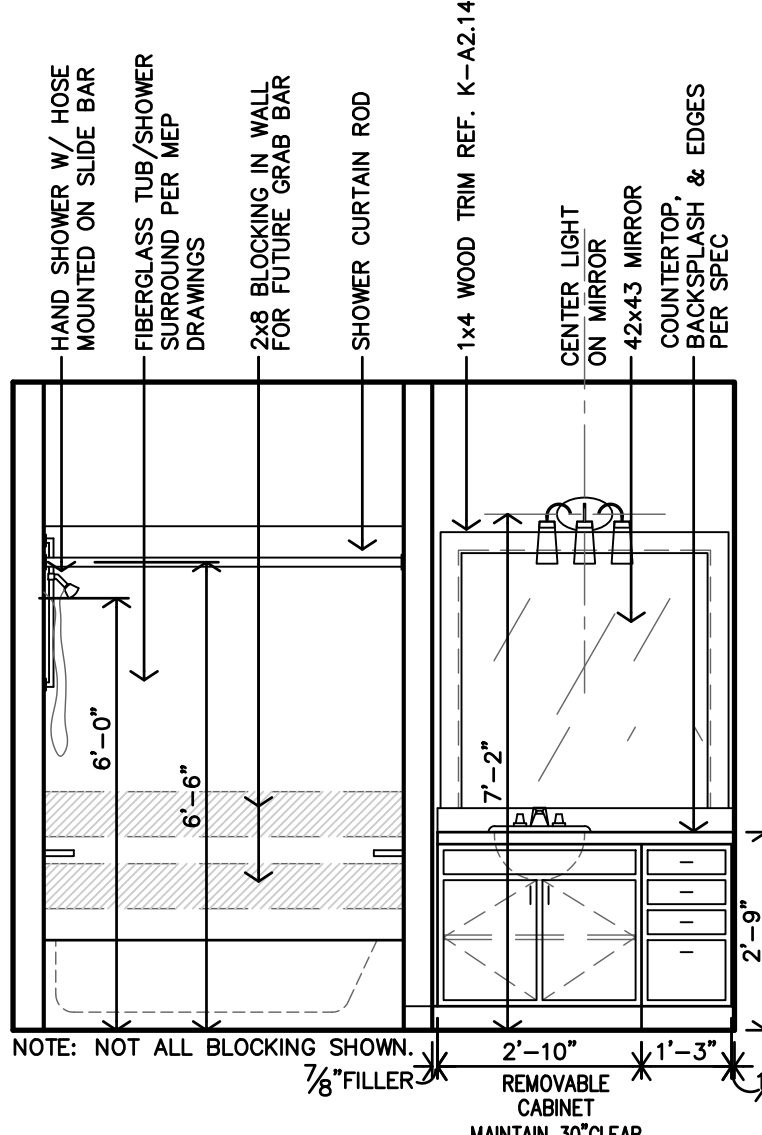
E UNITS 3B - BATH #4
INTERIOR ELEV.
3/8"=1'-0" UNIT 3D SIMILAR



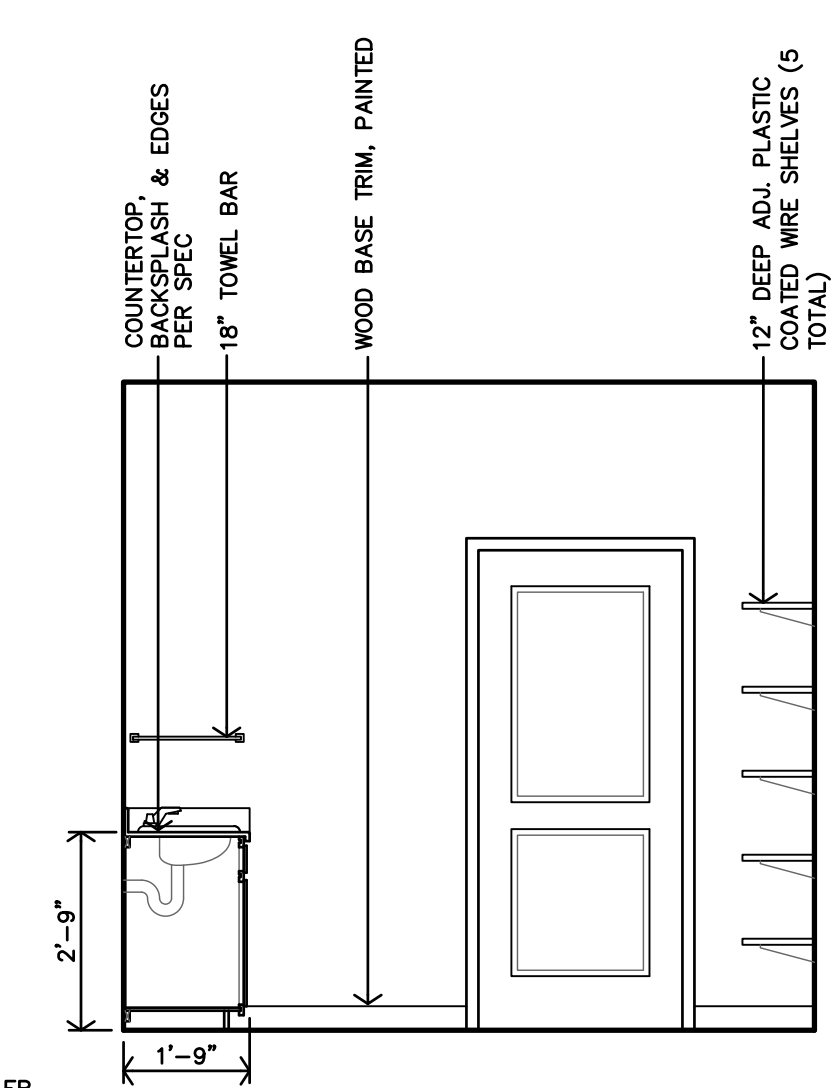
M UNITS 3B - BATH #11
INTERIOR ELEV.
3/8"=1'-0" UNIT 3D MIRROR



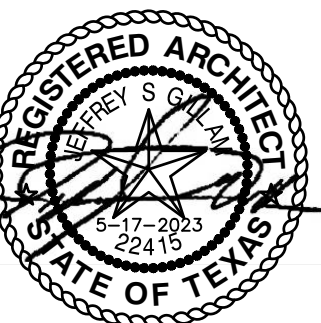
L UNITS 3B - BATH #11
INTERIOR ELEV.
3/8"=1'-0" UNIT 3D MIRROR



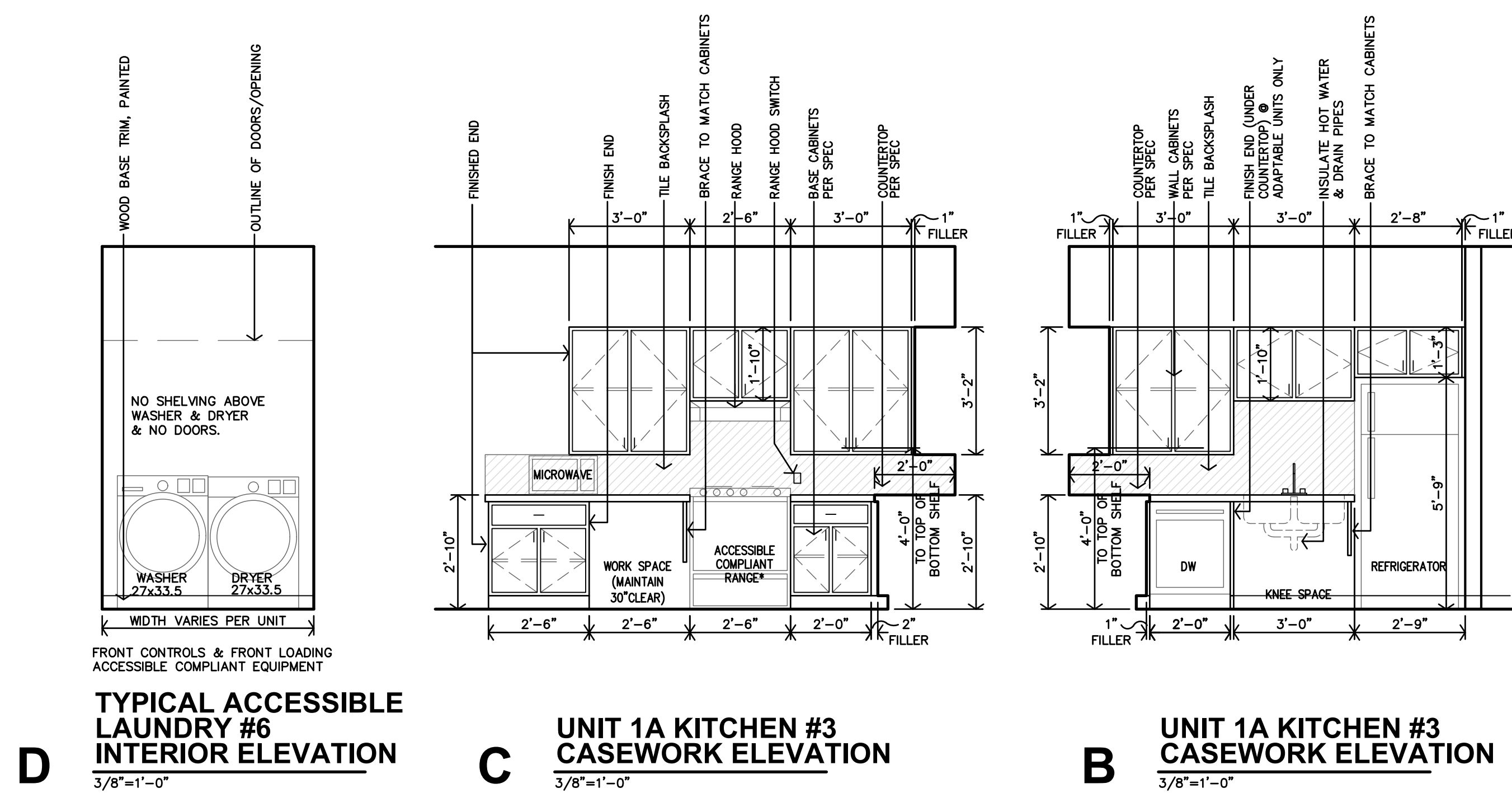
K UNITS 3B - BATH #11
INTERIOR ELEV.
3/8"=1'-0" UNIT 3D MIRROR



J UNITS 3B - BATH #11
INTERIOR ELEV.
3/8"=1'-0" UNIT 3D MIRROR



REVISION:	
5-20-2025	
DATE:	5-17-2023
JOB:	21-3205
SHEET NO.:	



ACCESSIBLE NOTES

1. REF. FOR ADDITIONAL DIRECTION ARCH. FLOOR PLAN NOTES ON SHEET A2.0 & APARTMENT GENERAL NOTES ON SHEET A2.5.

2. ALL DIMENSIONS ARE TO FACE OF C/P. BO. UNLESS NOTED OTHERWISE

3. CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BAR, FUTURE GRABS BARS & FUTURE SHOWER SEAT, ETC. AS REQ'D. (REF. A2.7)

4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER. ALWAYS, THIS SHOULD BE COORDINATED ON SITE.

5. REF. CASEWORK SECTIONS ON SHEET A2.14

6. F.O.S. = FACE OF STUD

===== INDICATES FURRED PLUMBING WALLS

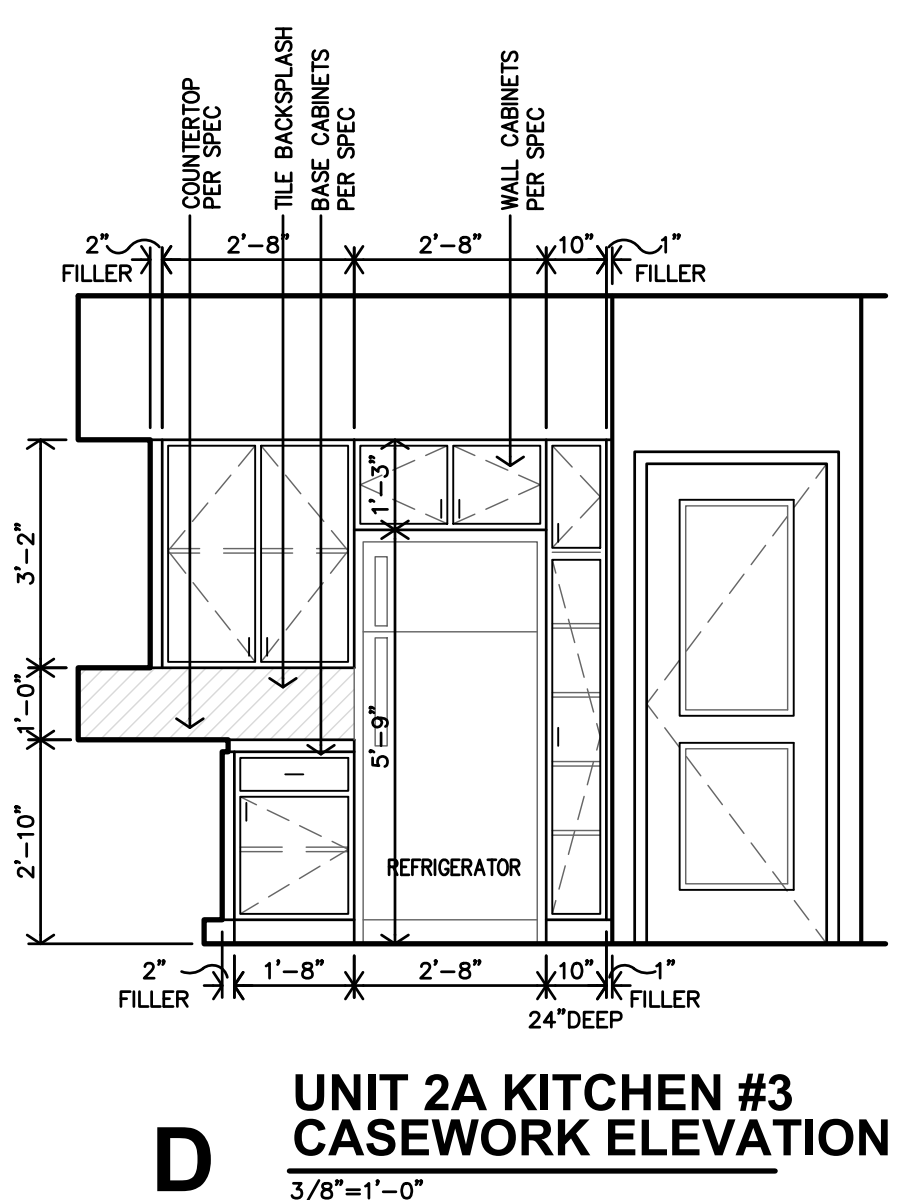
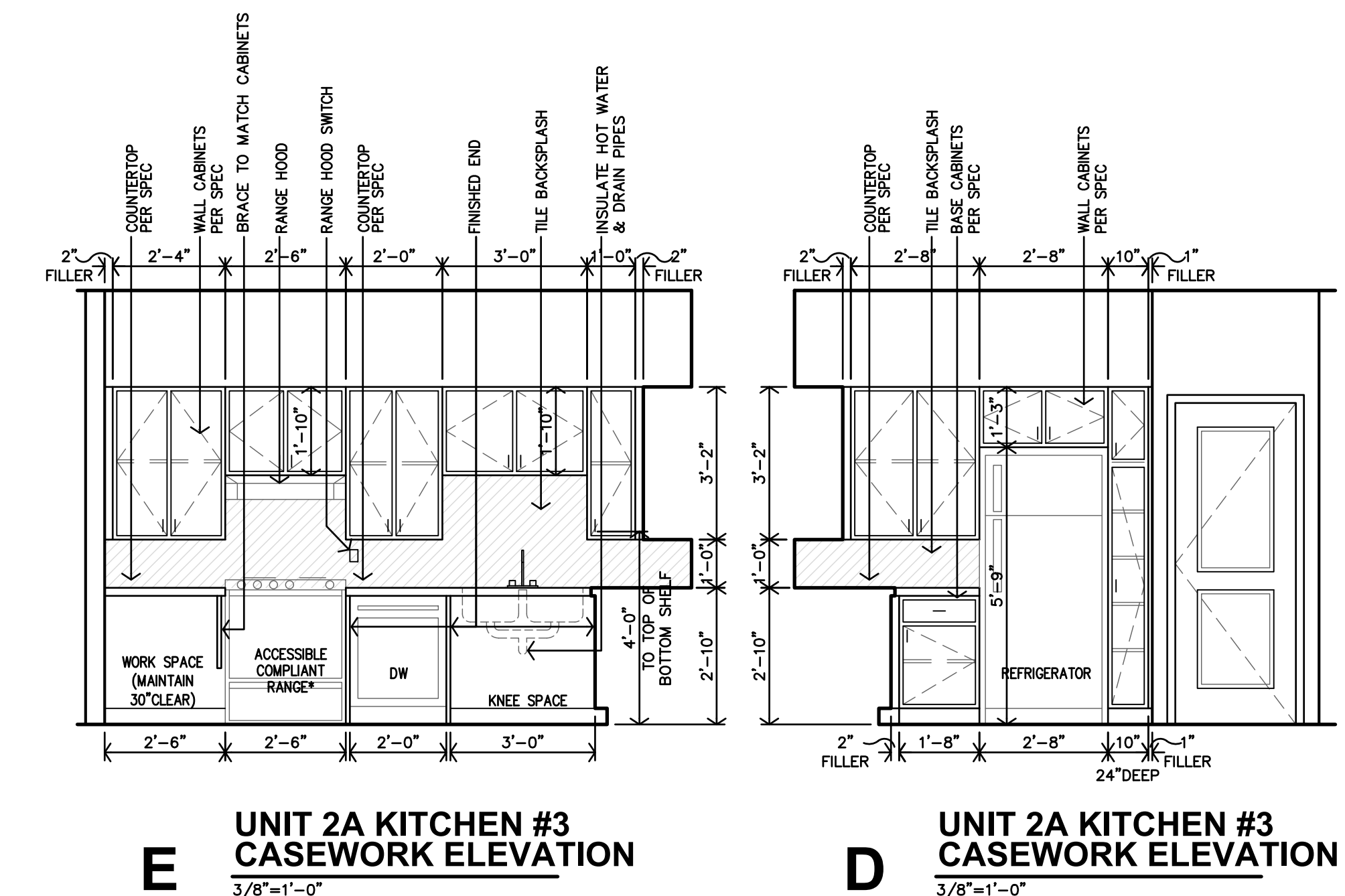
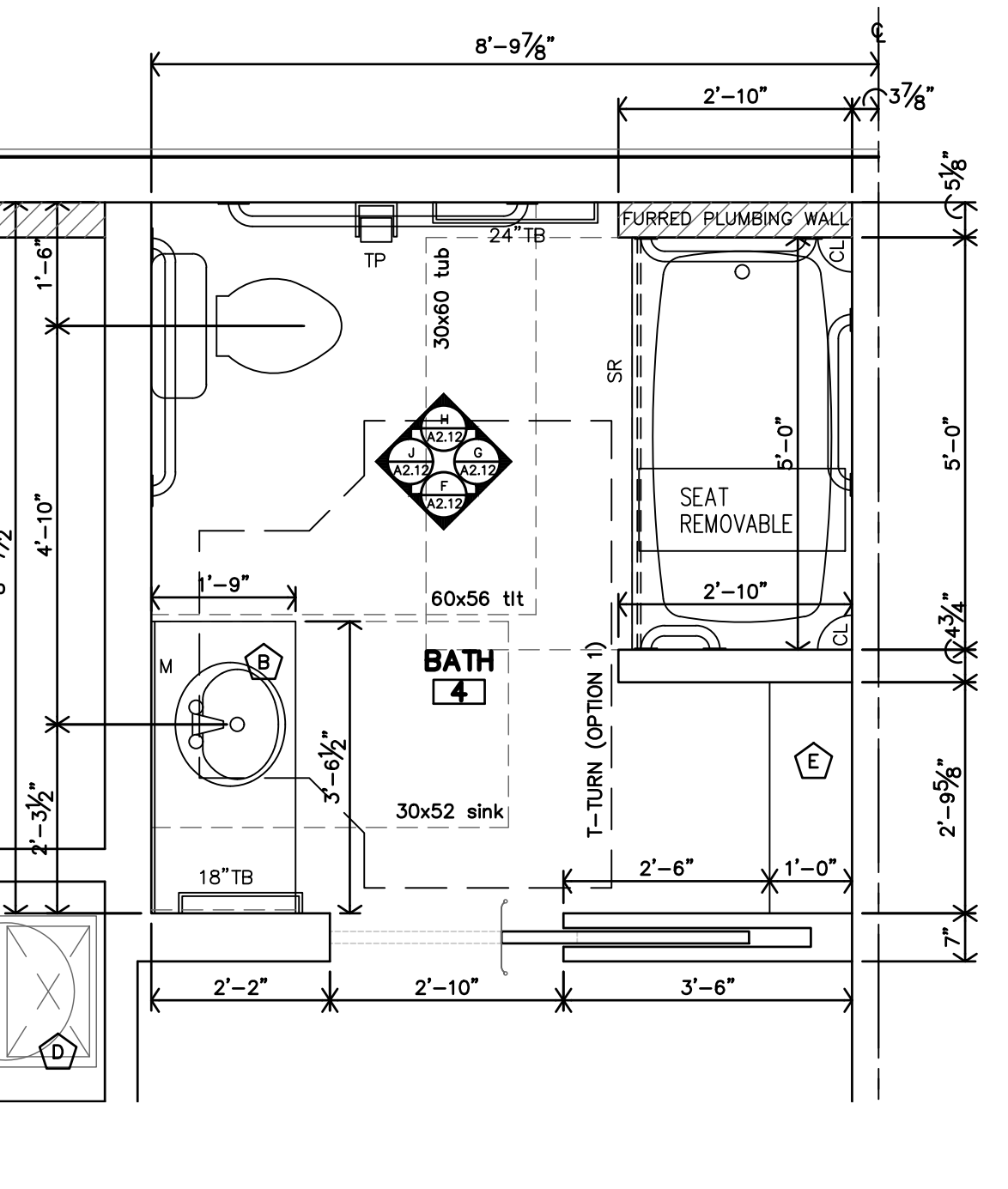
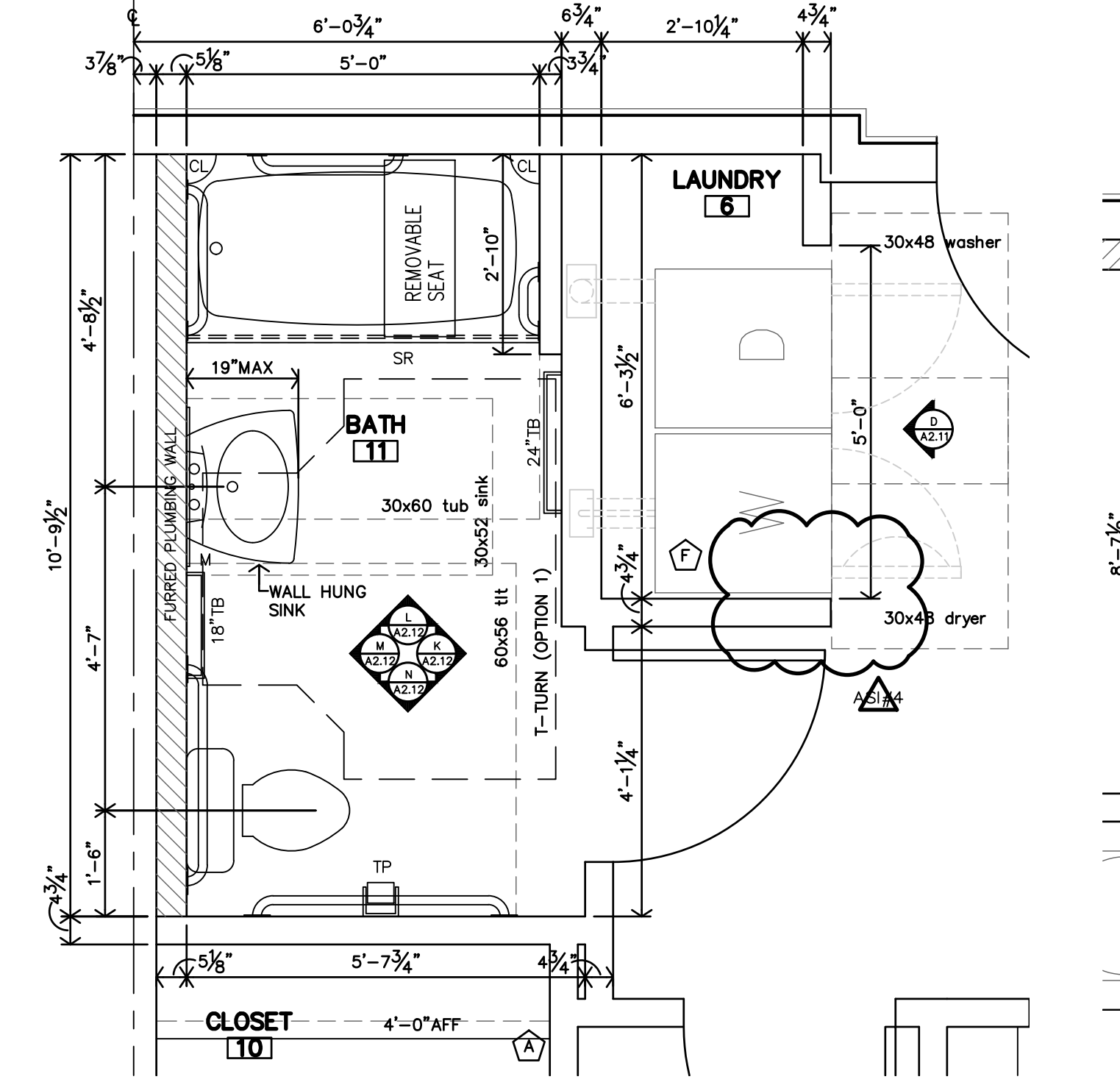
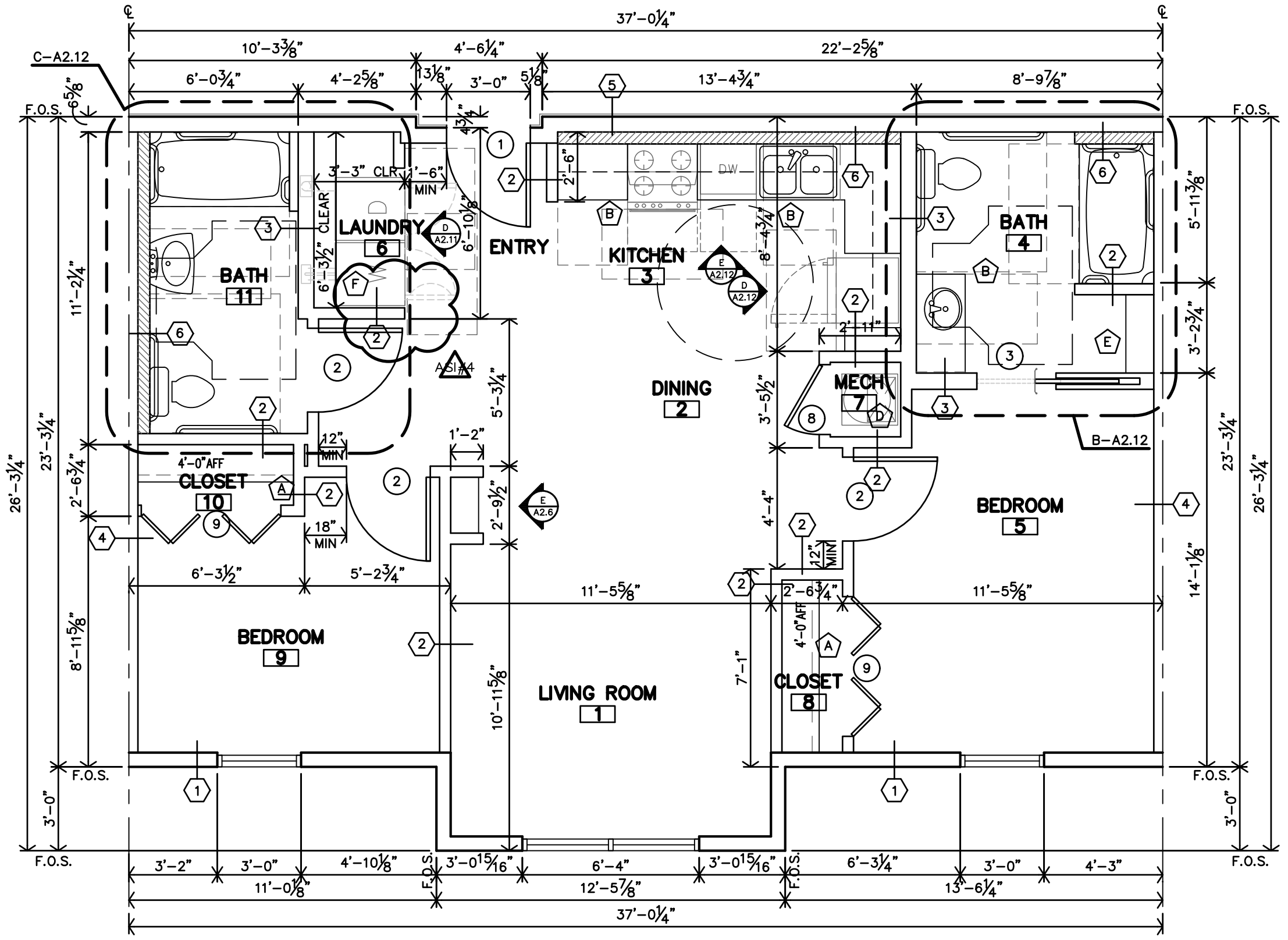
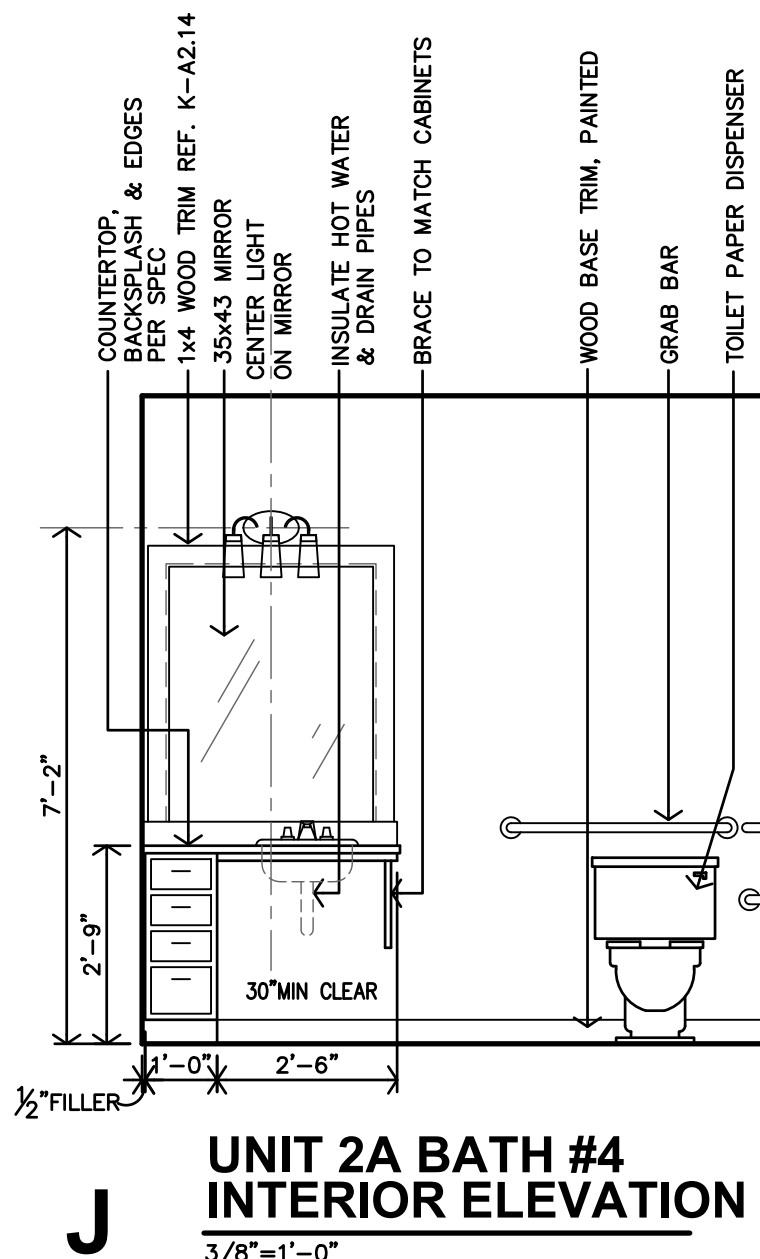
LEGEND	KEYNOTES:
M MIRROR	(A) PLASTIC COATED WIRE CLOTHES SHELF & ROD
TP TOILET PAPER DISPENSER	(B) FLOORING TO BE CONTINUOUS @ SINK CABINETS & KITCHEN WORKSPACE W/ 30" CLEAR
TB TOWEL BAR	(C) VERIFY SIZE w/ SHOWER UNIT
CL CORNER LEDGE	(D) WATER HEATER - REF. MECH. DRAWINGS
SR SHOWER ROD	(E) 12" DEEP PLASTIC COATED WIRE SHELVES (5 TOTAL) WITH ADJUSTABLE BRACKETS
SH SHOWER SEAT	(F) NO CABINETS ABOVE WASHER & DRYER
GB GRAB BAR	

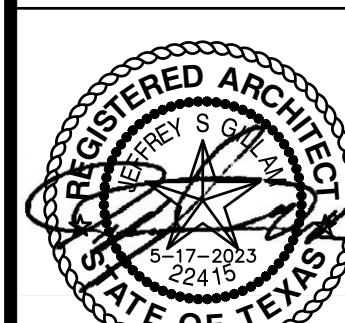
ACCESSIBLE NOTES

- REF FOR ADDITIONAL DIRECTION ARCH. FLOOR PLAN NOTES ON SHEET A2.0 & APARTMENT GENERAL NOTES ON SHEET A2.5.
- ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE
- CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, FUTURE GRABS BARS & FUTURE SHOWER SEAT, ETC. AS REQ'D. (REF. A2.7)
- LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER, ALWAYS. THIS NEEDS TO BE COORDINATED ON SITE.
- ACCESSIBLE UNITS DESIGNED AROUND 27Wx35G WASHER & DRYER.
- REF. CASEWORK SECTIONS ON SHEET A2.14
- F.O.S. = FACE OF STUD

INDICATES FURRED PLUMBING WALLS

LEGEND	KEYNOTES:
M MIRROR	(A) PLASTIC COATED WIRE CLOTHES SHELF & ROD
TP TOILET PAPER DISPENSER	(B) FLOORING TO BE CONTINUOUS @ SINK CABINETS & KITCHEN WORKSPACE W/ 30" CLEAR
TB TOWEL BAR	(C) VERIFY SIZE W/ SHOWER UNIT
CL CORNER LEDGE	(D) WATER HEATER - REF. MECH. DRAWINGS
SR SHOWER ROD	(E) 12" DEEP PLASTIC COATED WIRE SHELVES (5 TOTAL) WITH ADJUSTABLE BRACKETS
SH SHOWER SEAT	(F) NO CABINETS ABOVE WASHER & DRYER
GB GRAB BAR	

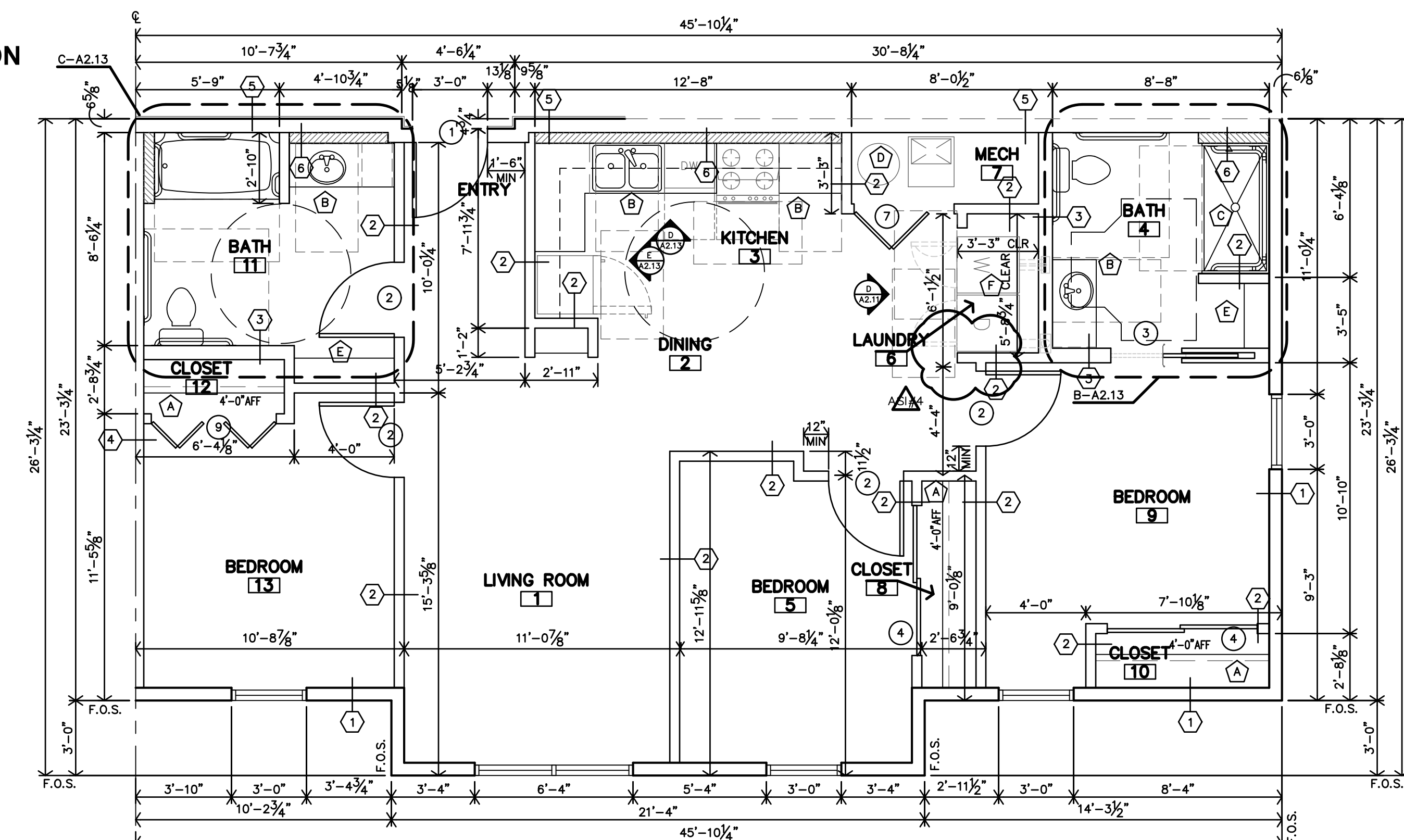
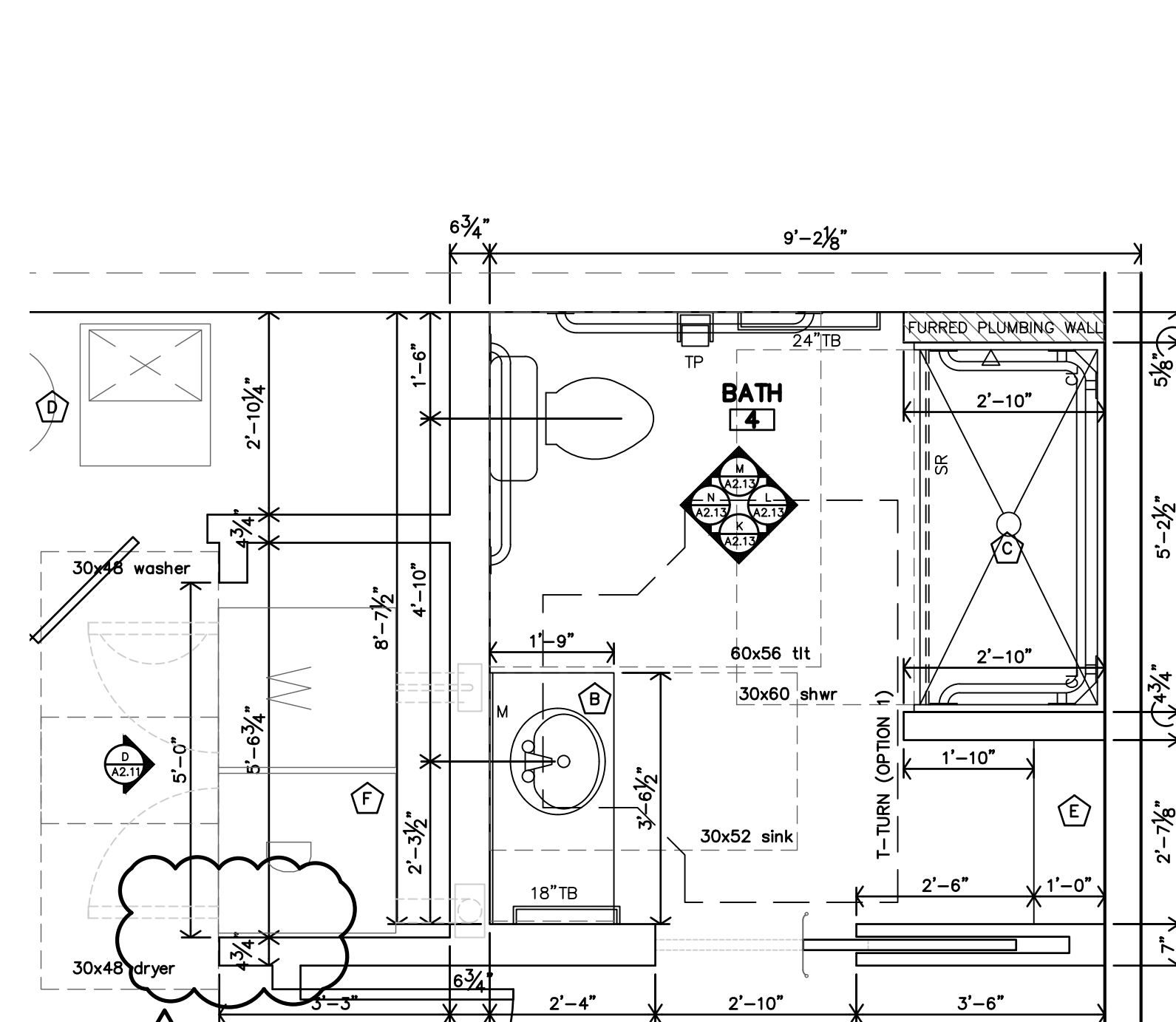
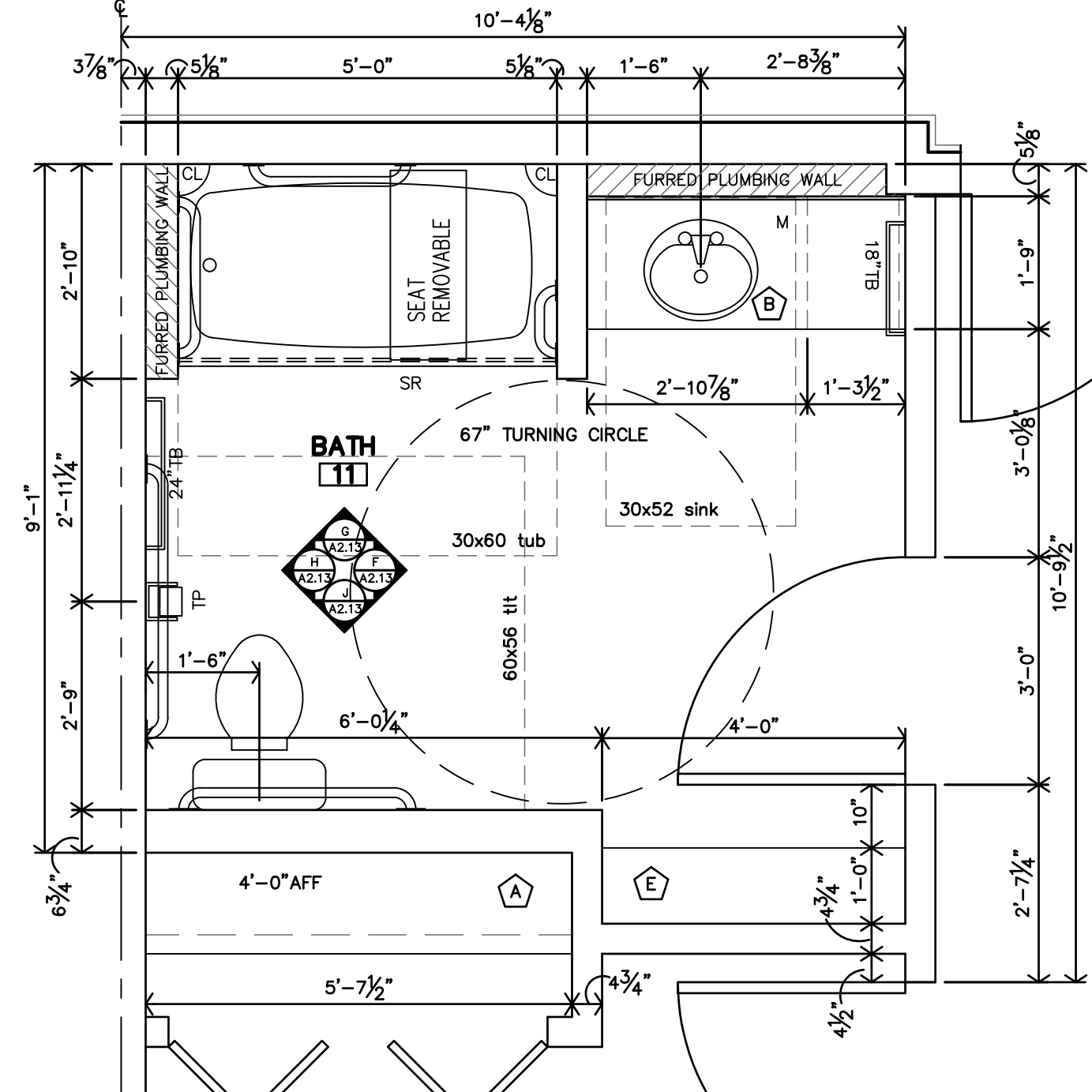
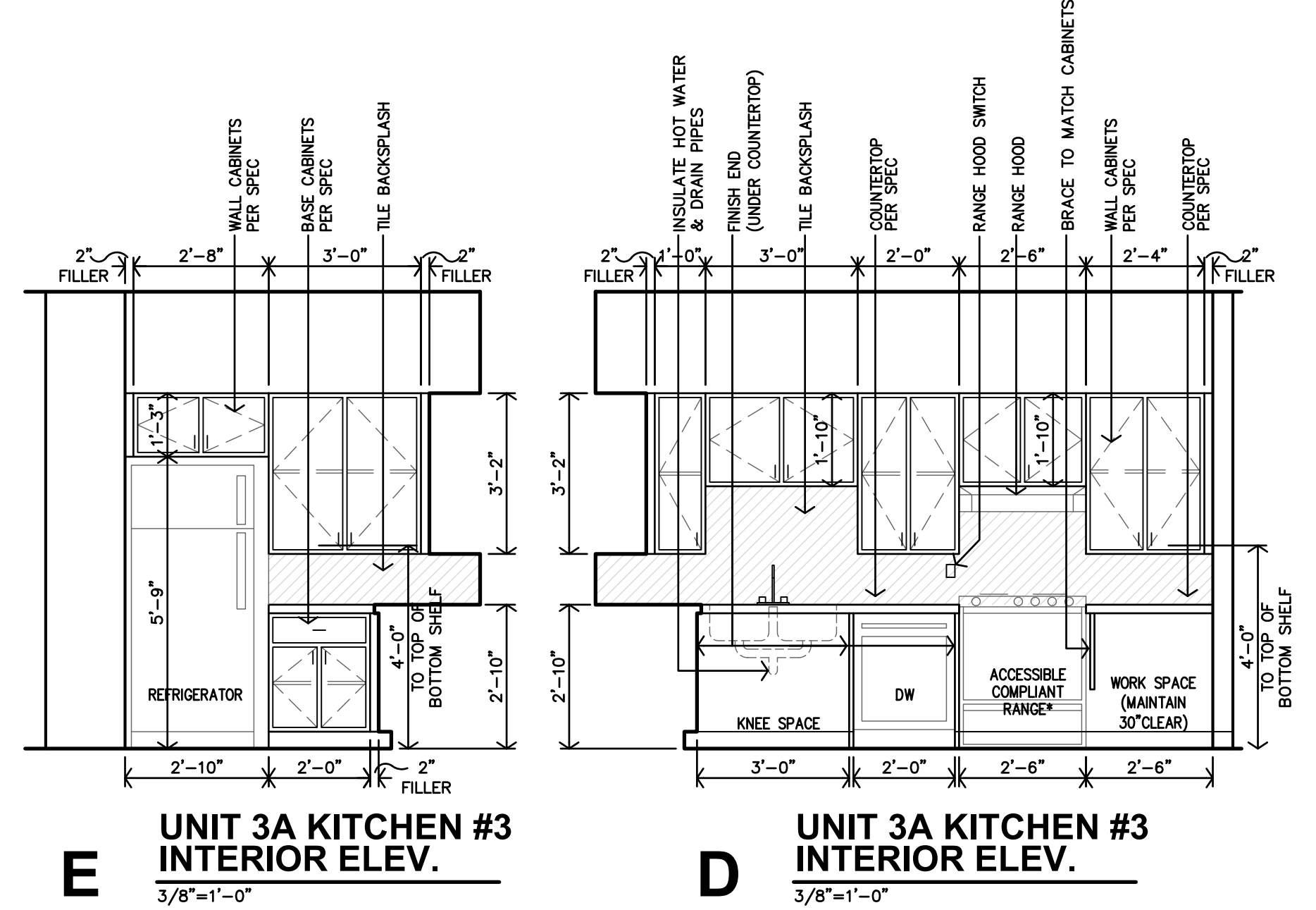
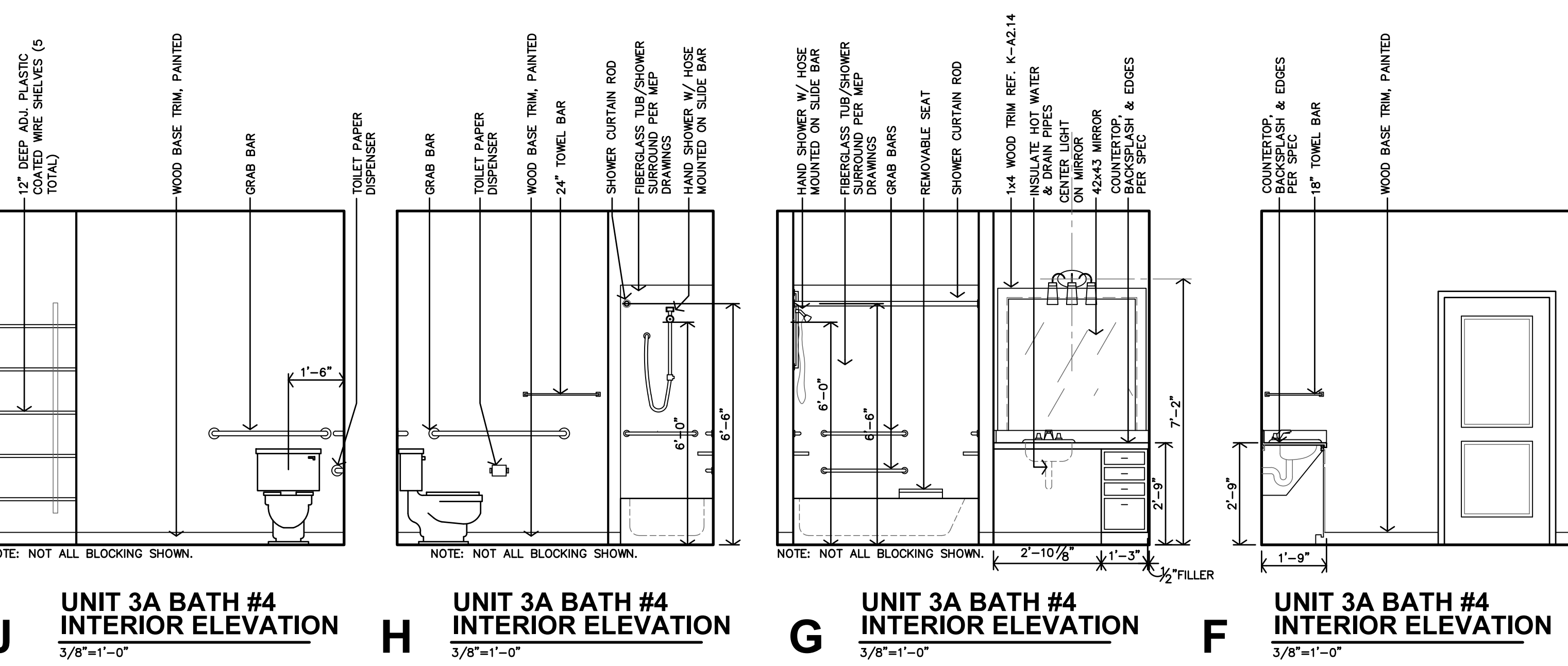
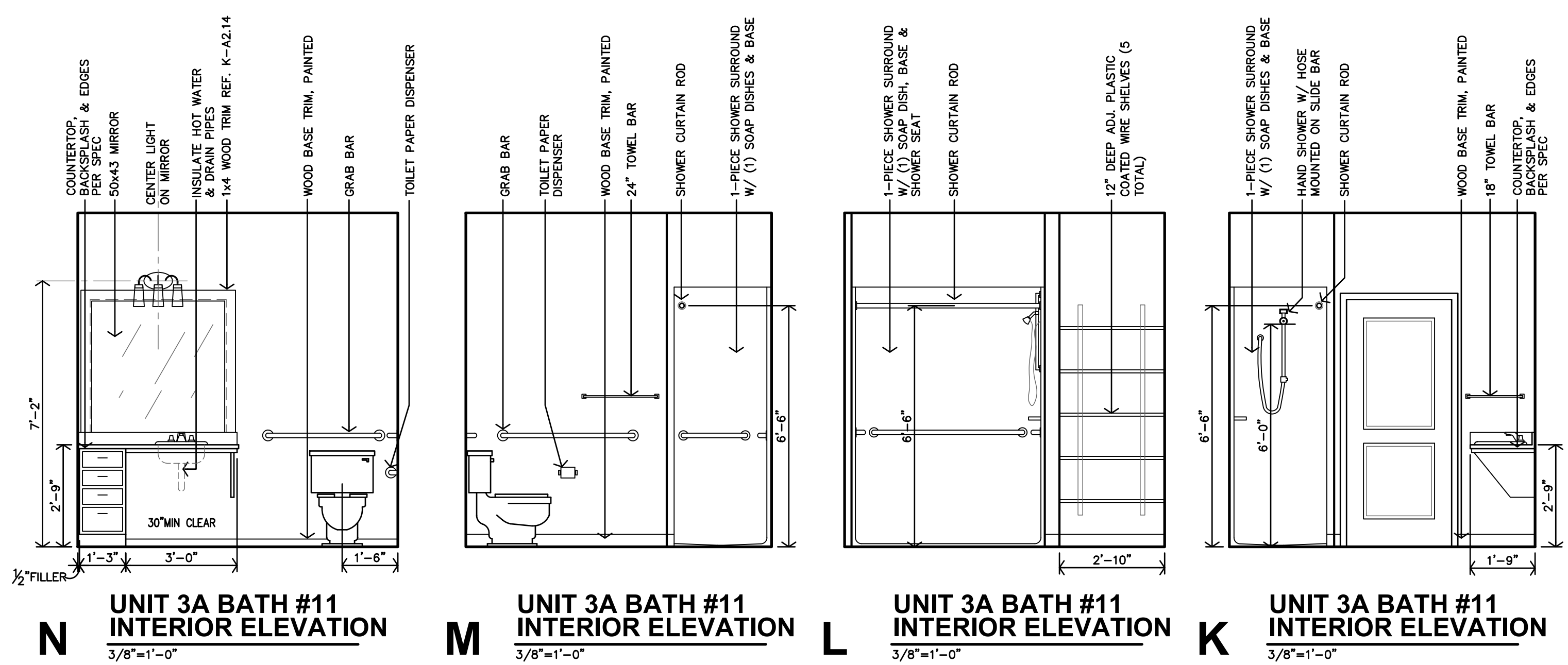




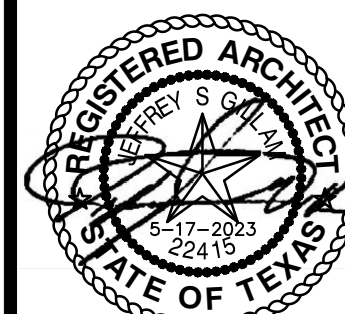
REVISION:
5-20-2025
DATE: 5-17-2023
JOB: 21-3205
SHEET NO.:

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ACCESSIBLE NOTES	
1. REF. FOR ADDITIONAL DIRECTION ARCH. FLOOR PLAN NOTES ON SHEET A2.0 & APARTMENT GENERAL NOTES ON SHEET A2.5.	
2. ALL DIMENSIONS ARE TO FACE OF GYR. BD. UNLESS NOTED OTHERWISE.	
3. CONTRACTOR TO INSTALL 2x6 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, FUTURE GRABS BARS & FUTURE SHOWER SEAT, ETC. AS REQ'D. (REF. A2.7).	
4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER, ALWAYS. THIS NEEDS TO BE COORDINATED ON SITE.	
ACCESSIBLE UNITS DESIGNED AROUND 27"x36" WASHER & DRYER.	
5. REF. CASEWORK SECTIONS ON SHEET A2.14.	
6. F.O.S. = FACE OF STUD	
INDICATES FURRED PLUMBING WALLS	
LEGEND	KEYNOTES:
M MIRROR	(A) PLASTIC COATED WIRE CLOTHES SHELF & ROD
TP TOILET PAPER DISPENSER	(B) FLOORING TO BE CONTINUOUS @ SINK CABINETS & KITCHEN WORKSPACE W/ 30" CLEAR
TB TOWEL BAR	(C) VERIFY SIZE w/ SHOWER UNIT
CL CORNER LEDGE	(D) WATER HEATER - REF. MECH. DRAWINGS
SR SHOWER ROD	(E) 12" DEEP PLASTIC COATED WIRE SHELVES (5 TOTAL) WITH ADJUSTABLE BRACKETS
SH SHOWER SEAT	(F) NO CABINETS ABOVE WASHER & DRYER
GB GRAB BAR	



SQUARE FOOTAGE:
PER TDHCA NRA = 1,129 SF
PER 2021 IBC = 1,049 SF

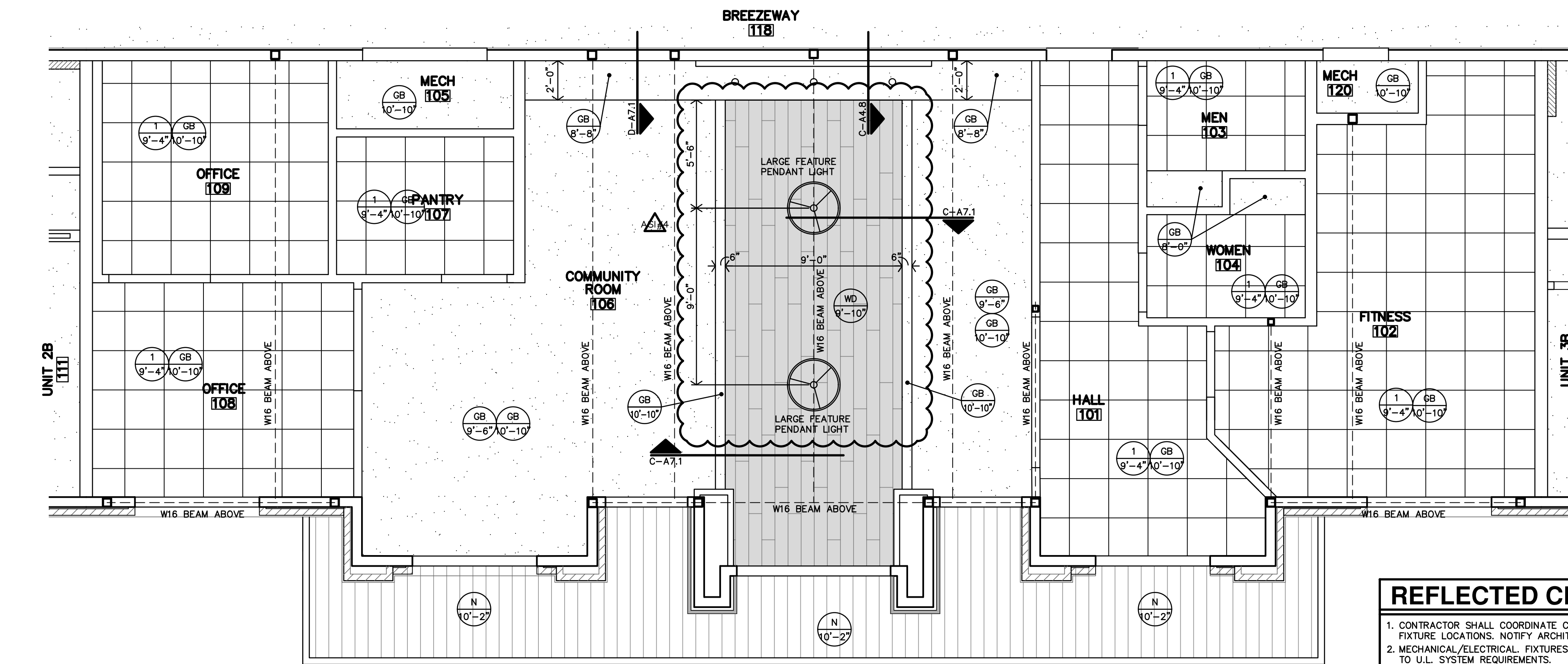


REVISION:
5-20-2024

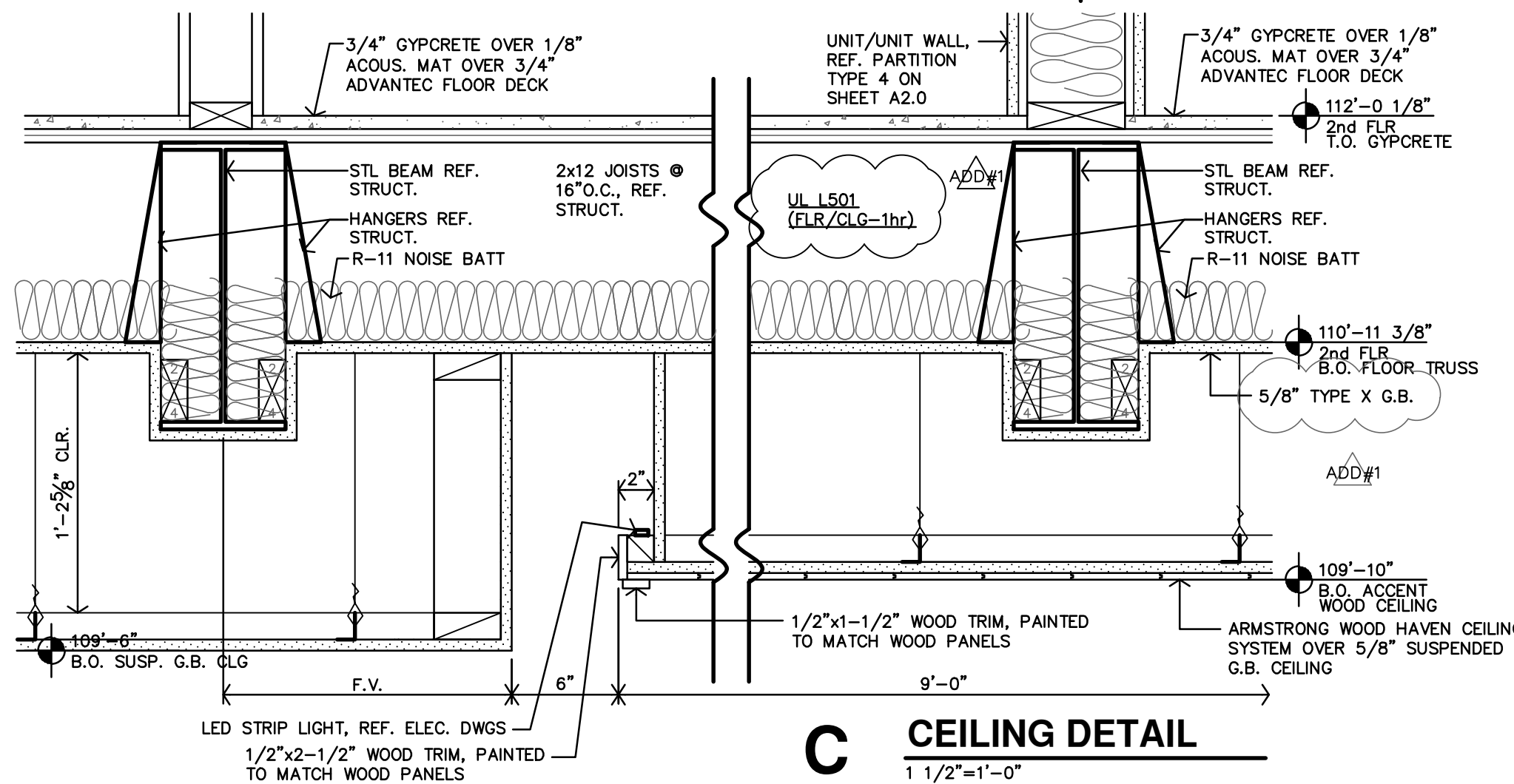
DATE: 5-17-2023
JOB: 21-3205
SHEET NO.:

A7.1

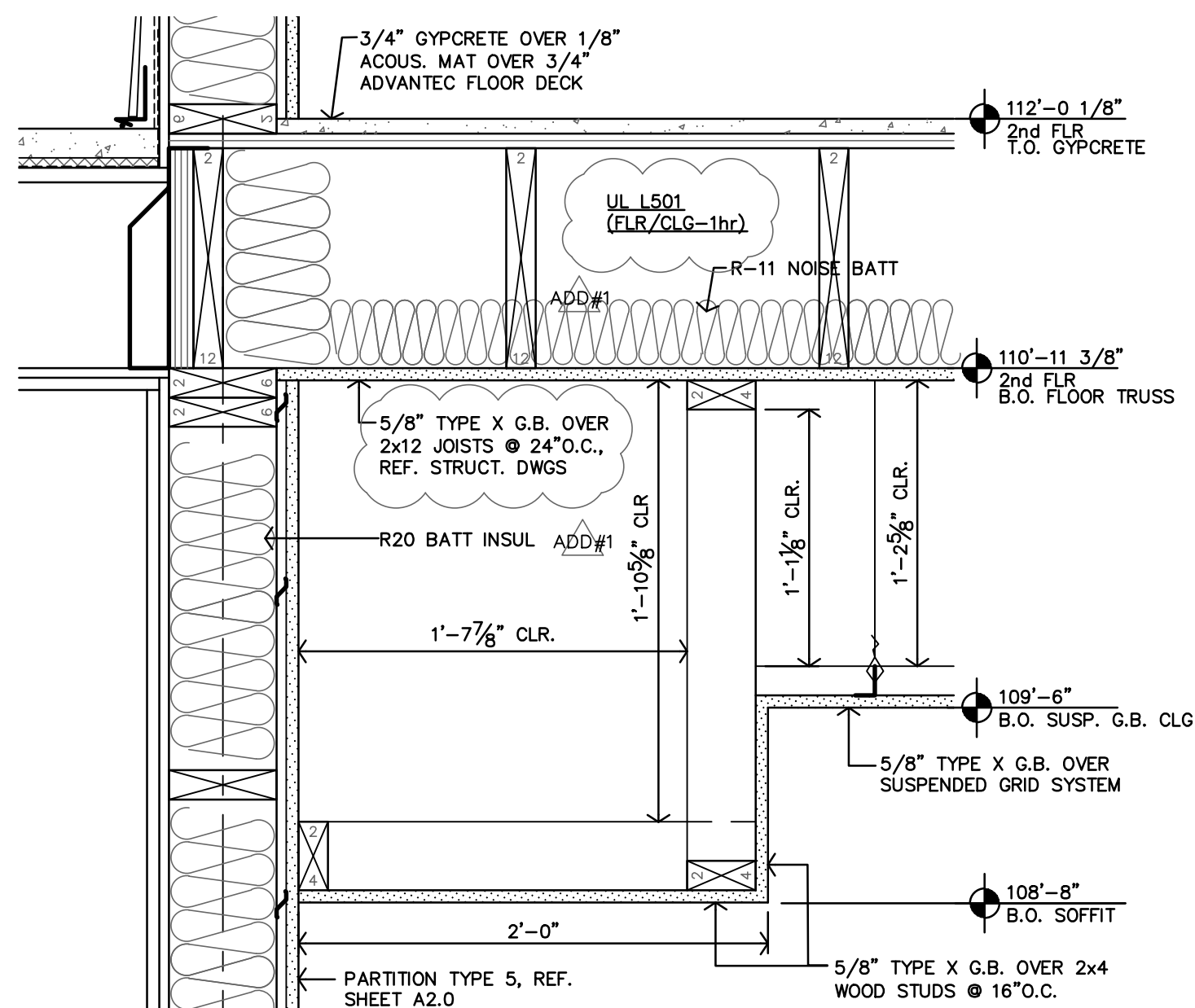
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B ENLARGED PARTIAL REFLECTED CEILING PLAN
1/4"=1'-0"



C CEILING DETAIL
1 1/2"=1'-0"



D CEILING DETAIL
1 1/2"=1'-0"

REFLECTED CEILING PLAN NOTES

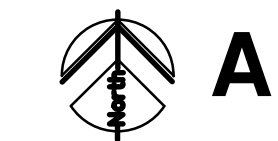
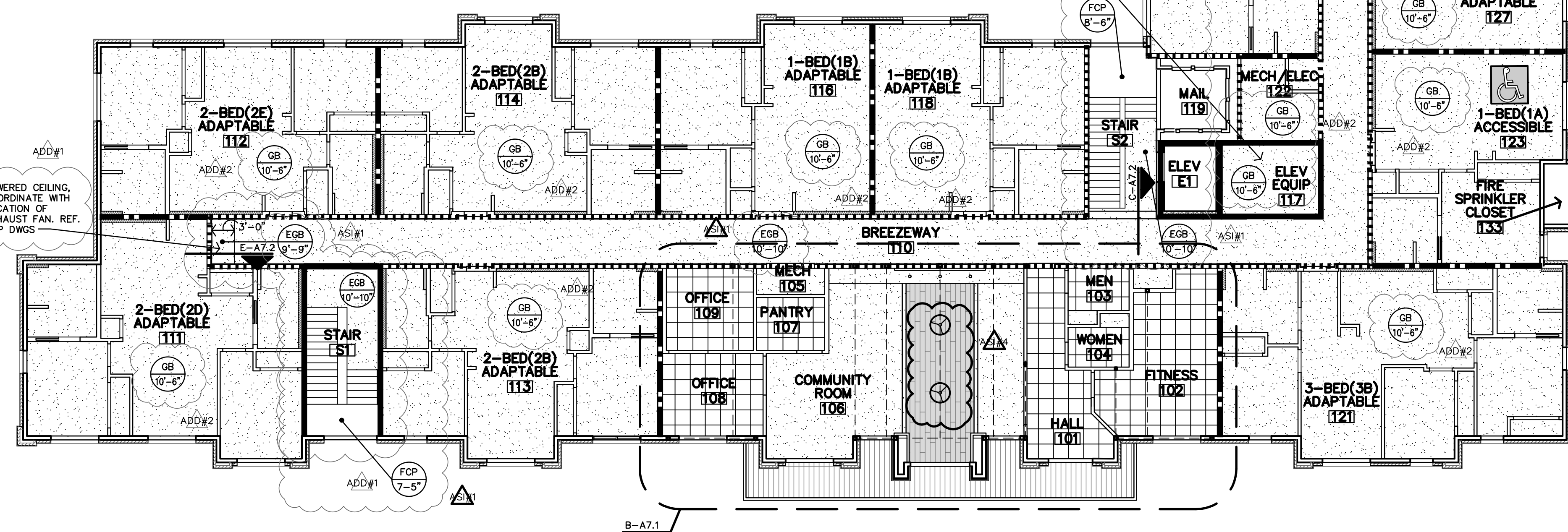
1. CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY TO U.L. SYSTEM REQUIREMENTS.
2. MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.
3. CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.
4. WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.

- NON-RATED WALLS
1 HOUR LOAD BEARING WALLS
1/2 HOUR FIRE PARTITION; CORRIDOR
2 HOUR CONSTRUCTION; SHAFT WALLS
1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
- SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.

CEILING TYPES

REFER SPECIFICATIONS

1	2x2 ACOUSTIC LAY-IN TILES & GRID
GB	GYP. BD. (PAINTED)
EGB	EXTERIOR GYP. BD. (PAINTED)
FOP	FIBER CEMENT PANELS
WD	WOOD LOOK CEILING SYSTEM
N	NICHHA PANEL AMP SOFFIT
M	PREFIN. MTL. SOFFIT PANEL
1	CLG. TYPE
8'-8"	CLG. HEIGHT



A FIRST FLOOR REFLECTED CEILING PLAN
3/32"=1'-0"

PREVIOUS REVISIONS:
ADD#1 6-19-2023
ADD#2 9-8-2023
AS#1 7-22-2024

ELECTRICAL PLAN NOTES BY SYMBOL

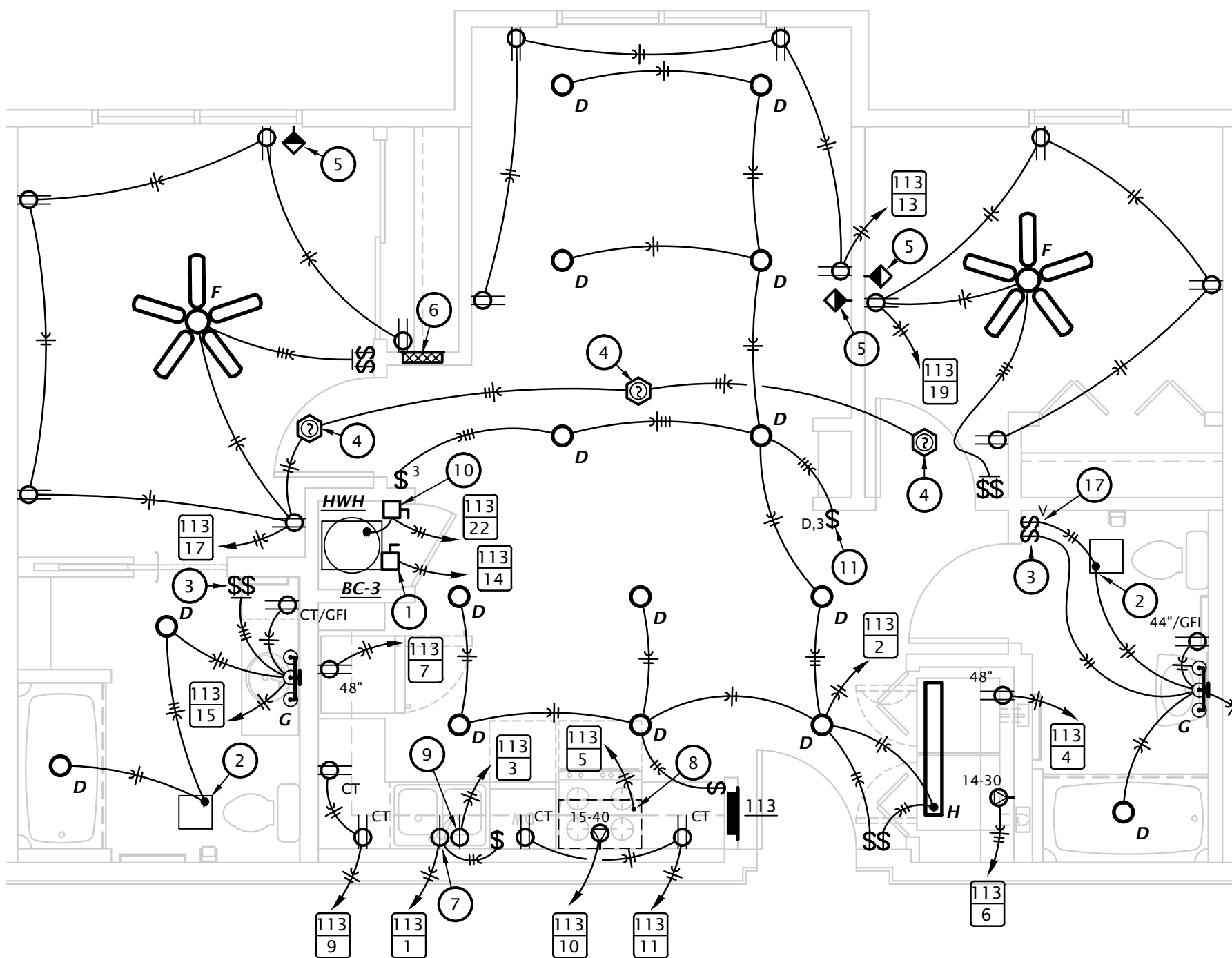
GENERAL NOTE:

PROVIDE TAMPER PROOF RECEPTACLES IN DWELLING UNITS PER NEC REQUIREMENTS.

- PROVIDE DISCONNECT SWITCH AND CONNECT BLOWER COIL WITH ELECTRIC HEAT. COORDINATE REQUIREMENTS WITH EQUIPMENT PROVIDER. DISCONNECT SHALL BE SIZED AS FOLLOWS: BC-1:30A/2P, BC-2,3,4,5:60A/2P.
- CONNECT EXHAUST FAN PROVIDED BY MECHANICAL CONTRACTOR.
- SWITCH CLOSEST TO THE DOOR SHALL CONTROL ALL LIGHTS IN BATHROOM, AND THE OTHER SWITCH SHALL CONTROL THE EXHAUST FAN.
- CEILING MOUNTED SMOKE ALARM IN APARTMENTS TO BE 120VAC WITH 9V BATTERY BACKUP, INTERCONNECTED TO OTHERS IN SAME APARTMENT. DEVICE SHALL HAVE CARBON MONOXIDE DETECTOR AND PHOTOELECTRIC TYPE SMOKE DETECTOR WITH SOUNDER HORN HAVING AN 85dB OUTPUT AT 10', SHALL HAVE A SINGLE BUTTON FOR TEST/SILENCE AND LED INDICATOR LIGHTS, AND SHALL BE UL 217 LISTED. BRK #SC70108 OR EQUAL. SEE SPECIAL SYSTEMS SHEETS FOR MORE INFORMATION.
- COORDINATE FINAL LOCATIONS OF ALL CATV AND PHONE OUTLETS WITH OWNER. SEE 1:E6.1 FOR OUTLET DETAILS.
- TELECOM DISTRIBUTION DEVICE APPROXIMATELY 4'-0" AFF. SEE DETAIL 1:E6.1.
- SWITCHED RECEPTACLE BELOW COUNTER FOR GARBAGE DISPOSAL.
- PROVIDE 120V CONNECTION TO RANGE HOOD/MICROWAVE. STANDARD AND ADAPTABLE UNITS WILL HAVE MICROWAVE ABOVE RANGE. ACCESSIBLE UNITS WILL HAVE RANGE HOOD. COORDINATE EXACT ELECTRICAL ROUGH-IN REQUIREMENTS WITH EQUIPMENT PROVIDED. IF EQUIPMENT IS CORD AND PLUG, PROVIDE RECEPTACLE INSIDE CABINET ABOVE RANGE.
- PROVIDE RECEPTACLE BELOW COUNTER FOR CORD AND PLUG CONNECTION OF DISHWASHER. PROVIDE CORD AND GROUNDING PLUG AS REQUIRED. RECEPTACLE SHALL BE LOCATED IN BASE CABINET ADJACENT TO DISHWASHER TO ALLOW ACCESS TO PLUG.
- PROVIDE 30A/2P DISCONNECT SWITCH AND CONNECT WATER HEATER.
- PROVIDE PRESET SLIDE DIMMER COMPATIBLE WITH ASSOCIATED LIGHT FIXTURES.
- PROVIDE SPLIT CONTROLLED RECEPTACLES PER 2021 IECC REQUIREMENTS. DEVICES SHALL BE IN ACCORDANCE WITH NEC 406.3(E).
- PROVIDE DOOR ANNUNCIATOR SYSTEM A/V HORN/STROBE DEVICE AND LOW VOLTAGE TRANSFORMER AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED FOR HEARING-IMPAIRED GUESTS. REFER TO ARCH DRAWINGS FOR APPLICABLE ROOMS. INSTALL HORN/STROBE APPLIANCE AT 80" AFF PER ADA. INSTALL TRANSFORMER IN DOUBLE GANG JUNCTION BOX ABOVE HORN/STROBE WITH BLANK COVER PLATE AND PROVIDE LOW VOLTAGE CONTROL WIRING. REFER TO DETAIL 2, SHEET E6.1. PROVIDE ENGRAVED SIGN AT THE HORN/STROBE DEVICE TO READ "DOOR".
- PROVIDE PUSH BUTTON AT 48" AFF FOR ANNUNCIATOR SYSTEM AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED FOR HEARING-IMPAIRED. REFER TO DETAIL 2, SHEET E6.1.
- PROVIDE SWITCH IN ACCESSIBLE UNITS FOR CONTROL OF RANGE HOOD.
- IN ACCESSIBLE UNITS, INSTALL COUNTERTOP RECEPTACLES A MINIMUM 36" AWAY FROM CORNER PER FAIR HOUSING ACT DESIGN MANUAL CHAPTER 5 'SIDE REACH OVER AN OBSTRUCTION' REQUIREMENTS. WHERE AN OBSTRUCTION PREVENTS 36" DISTANCE REQUIREMENT, INSTALL RECEPTACLE AS FAR FROM CORNER AS POSSIBLE. PROVIDE ADDITIONAL OUTLETS WITHIN 36" OF CORNER TO ENSURE COMPLIANCE WITH NEC SPACING REQUIREMENTS.
- INSTALL TIMER SWITCH EQUAL TO AIR CYCLER 'FAN CONNECT' FOR CONTROL OF EXHAUST FAN. COORDINATE REQUIREMENTS WITH EQUIPMENT PROVIDED BY E.C.
- PROVIDE 30A/1P SNAP SWITCH AND MAKE FINAL CONNECTION TO WATER HEATER.
- ROUTE 120V CIRCUIT FROM HOT WATER RECIRCULATION PUMP 'HWP' THROUGH ADJACENT AQUASTAT AND MAKE FINAL FLEXIBLE CONNECTION. COORDINATE WITH PLUMBING CONTRACTOR.
- MOUNT RECEPTACLE IN FACE OF ISLAND BELOW COUNTER TOP.
- PROVIDE SIMPLEX RECEPTACLE FOR CORD AND PLUG CONNECTION OF EQUIPMENT. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED.

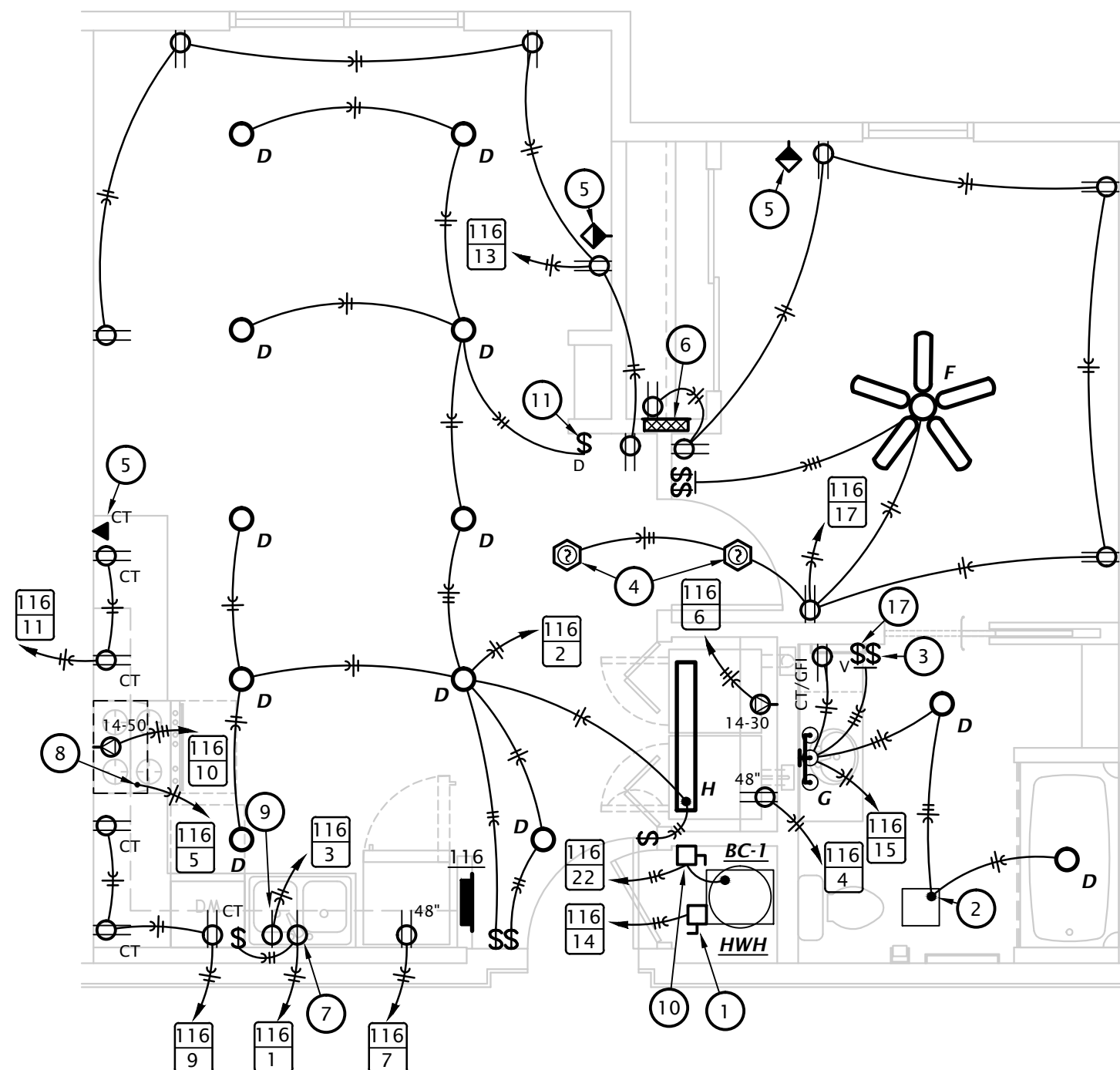
ENLARGED COMMUNITY SPACE ELECTRICAL PLAN

1/4" = 1'-0"



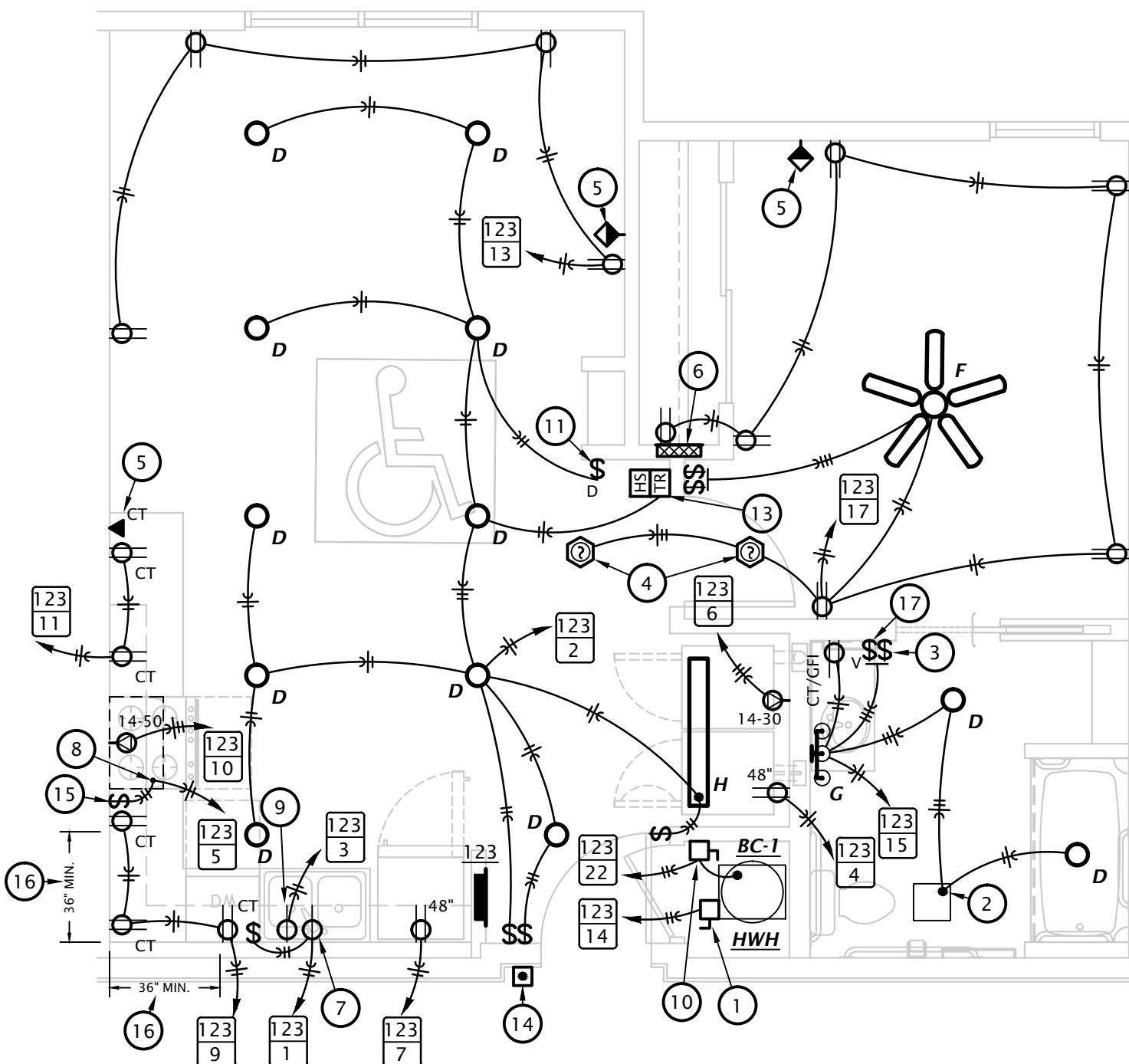
2 BEDROOM ELECTRICAL PLAN (APT. 413, & 414)

1/4" = 1'-0"



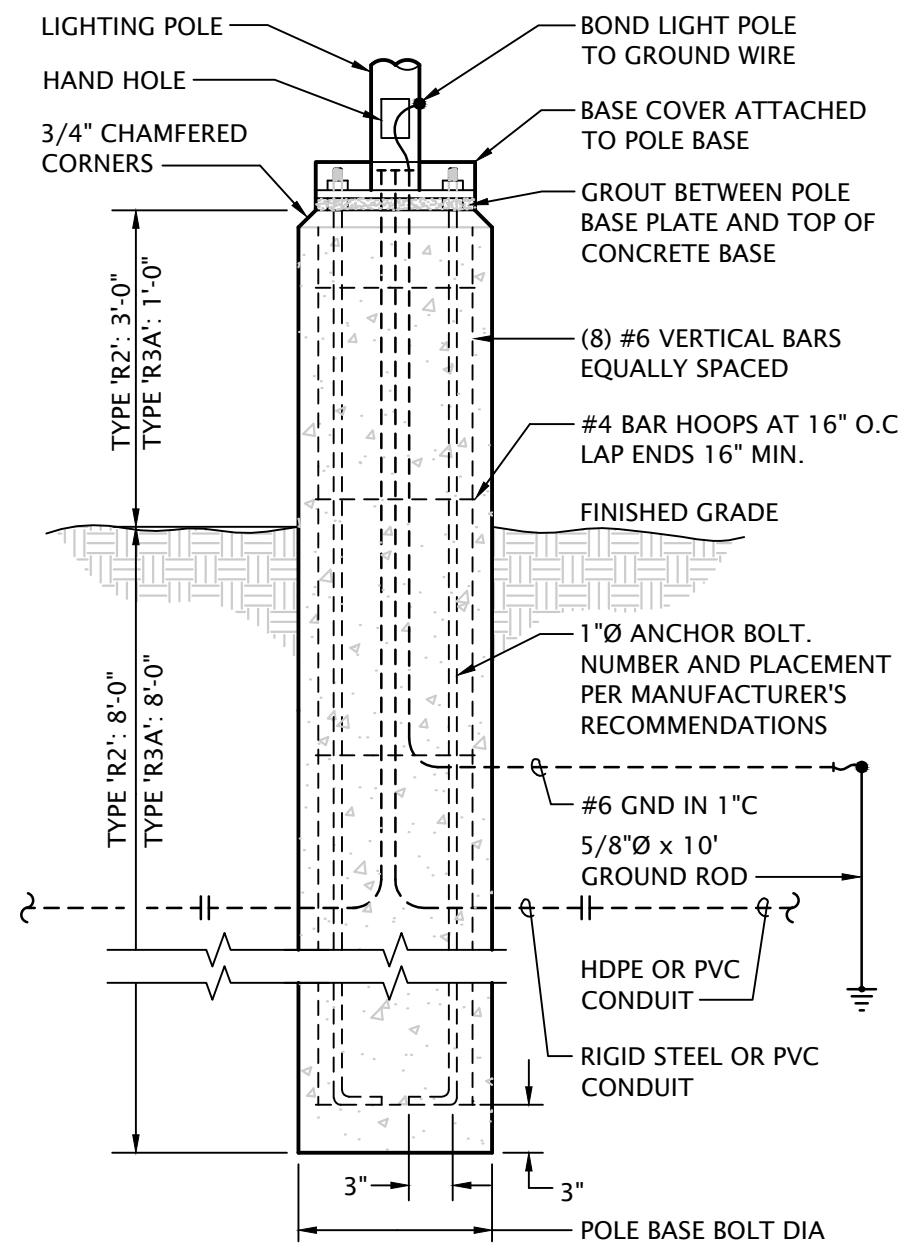
1 BEDROOM ELECTRICAL PLAN (TYPE B)

1/4" = 1'-0"

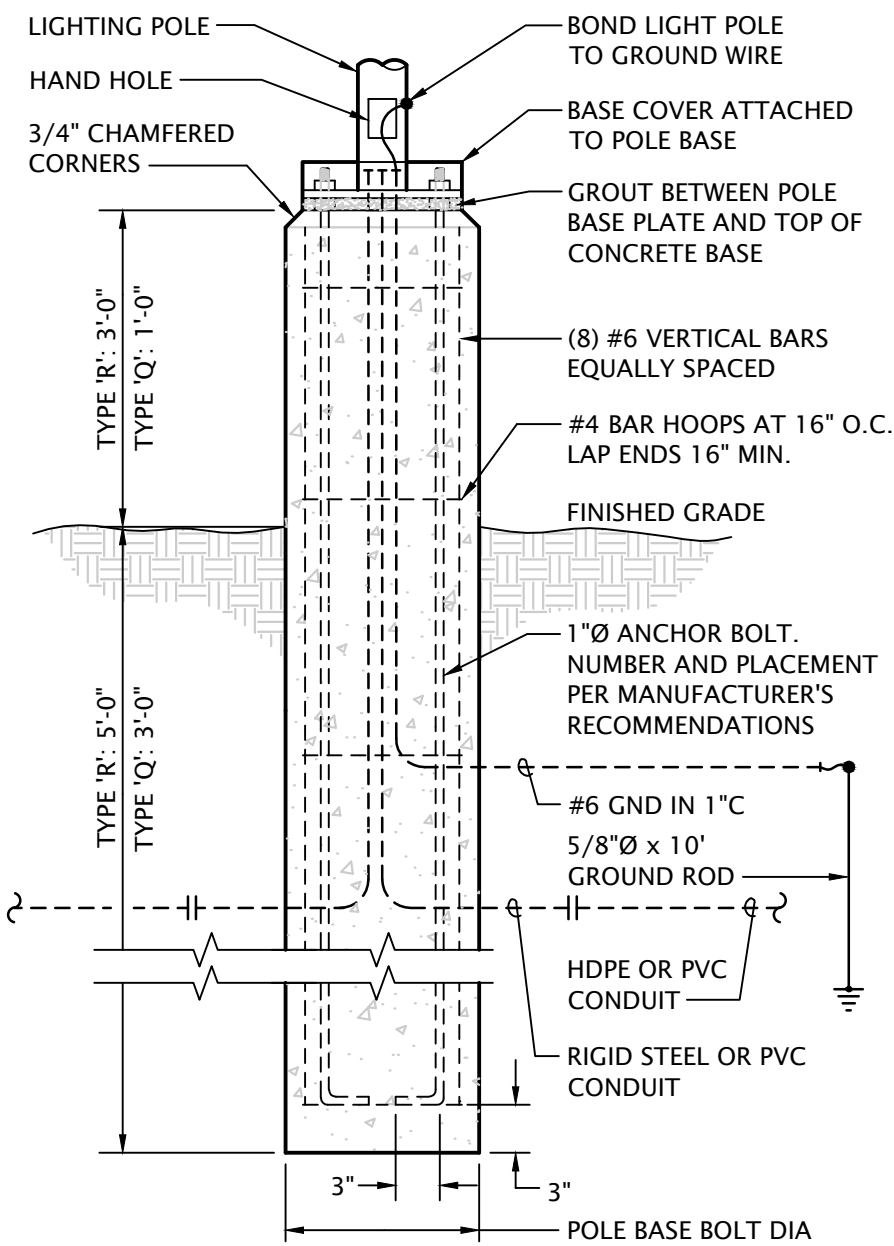


1 BEDROOM ACCESSIBLE ELECTRICAL PLAN (TYPES A, AND C)

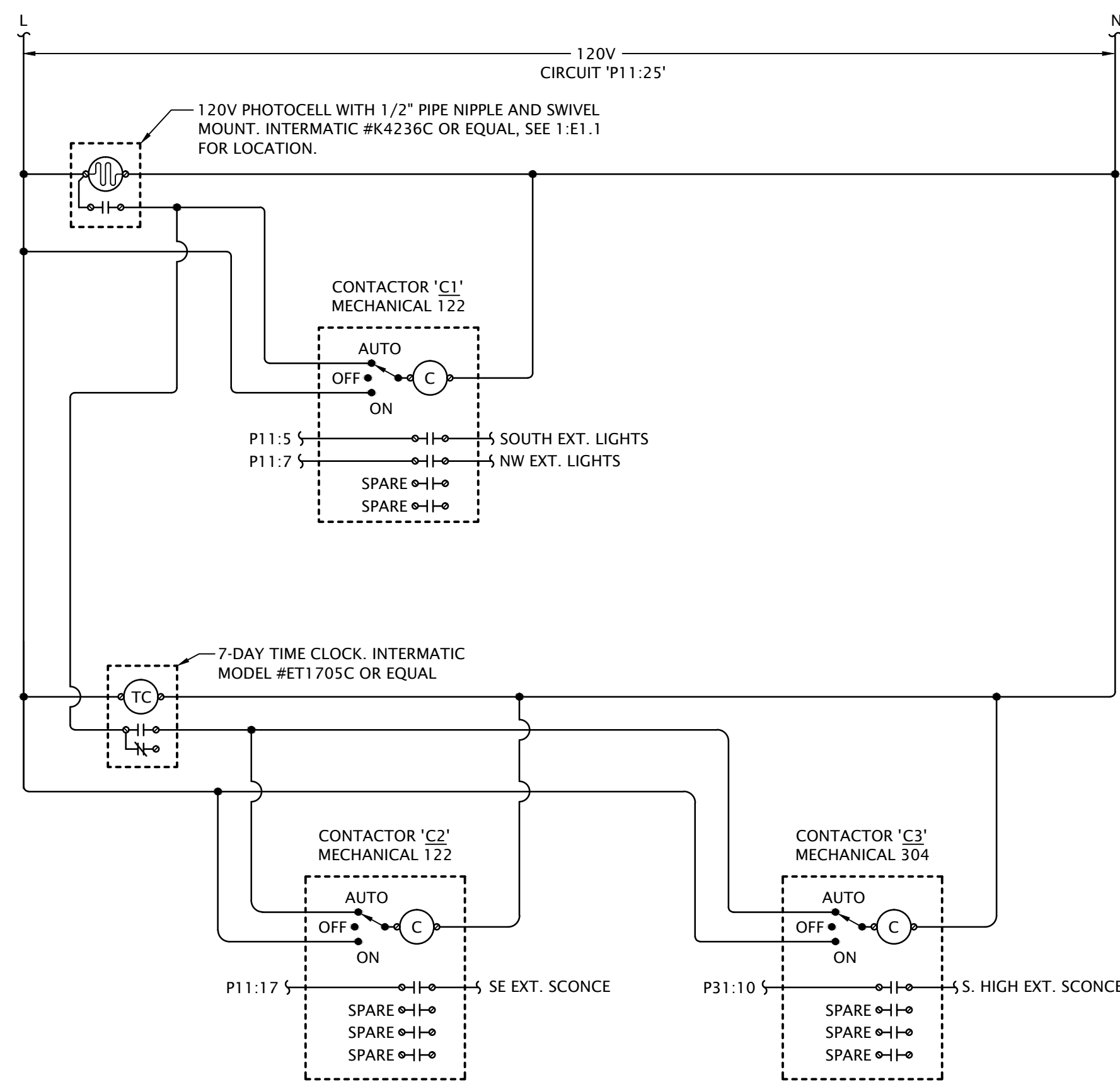
1/4" = 1'-0"



3 CONCRETE POLE BASE DETAIL
(AT RETAINING WALLS)
No Scale



2 CONCRETE POLE BASE DETAIL
No Scale



PROVIDE LIGHTING CONTACTORS WITH QUANTITY OF POLES SHOWN, 120V COIL, INTEGRAL 3-POSITION MANUAL SELECTOR SWITCH, AND NEMA 1 ENCLOSURE.

1 EXTERIOR LIGHTING CONTROL DIAGRAM
No Scale

LIGHT FIXTURE SCHEDULE									
MARK	MANUFACTURER	MODEL NUMBER	LAMP / LED DATA		BALLAST/DRIVER	MOUNTING	FINISH	DESCRIPTION	NOTES
			WATT/LUMENS	COLOR					
A	----	FIXTURE NOT USED	---	---	---	---	---	---	
B	ANELLO	52069LEDD-MBL/ACR	42W LED 3570 LUMENS	3000°K	STANDARD	PENDANTD	BLACK	DECORATIVE PENDANT CEILING LIGHT	
C	JESCO	DL-AC-FLEX2-NPX-FR-3090	6W/FT LED 312 LUMENS/FT	3000°K	STANDARD	COVE	WHITE	LINEAR LINE VOLTAGE LED STRIP LIGHT	
D	HALO	SMD6R-6-930-WH	9.6W LED 750 LUMENS	3000°K	INTEGRAL DRIVER	SURFACE	BRONZE	6" ROUND SURFACE MOUNT DOWNLIGHT	
E	SURE-LITES	SEL25SD	---	WHITE	N/A	WALL AT 7'-6" AFF	WHITE	TWIN HEAD POLYCARBONATE EMERGENCY LIGHT	1,2,10
F	SEAGULL	15040EN-782	(2) 10W LED	3000°K	INTEGRAL DRIVER	SURFACE	BRONZE	52" DIAMETER CEILING FAN WITH LED LIGHT KIT	
G	SEAGULL	4423003EN3-710	(3) 9.5W LED	3000°K	INTEGRAL DRIVER	WALL AT 7'-0"	BURNT SIENNA	3-LAMP LED VANITY LIGHT	
H	SEAGULL	5913291S-15	38W LED 3,500 LUMENS	3000°K	INTEGRAL DRIVER	SURFACE	WHITE	4' LINEAR FLUORESCENT WITH PRISMATIC ACRYLIC LENS	
J	HALO	SMD6R-12-930-WH	15.3W LED 1200 LUMENS	3000°K	INTEGRAL DRIVER	SURFACE	BRONZE	6" ROUND SURFACE MOUNT DOWNLIGHT	10
K	METALUX	45NLED-LD4-49SL-LW-UNV-L835-CD1	38W LED 5,000 LUMENS	3500°K	0-10V DIMMING (10%-100%)	SURFACE	WHITE	4' LED STRIP WITH FROSTED LENS, WIDE DISTRIBUTION	
L1	LITHONIA	WSR-LED-P1-40K-SR3-MVOLT	20W LED 2,244 LUMENS	4000°K	STANDARD	WALL	BLACK	EXTERIOR LED WALL PACK WITH IES TYPE III DISTRIBUTION	7
L1E	LITHONIA	WSR-LED-P1-40K-SR3-MVOLT	20W LED 2,244 LUMENS	4000°K	STANDARD	WALL	BLACK	EXTERIOR LED WALL PACK WITH IES TYPE III DISTRIBUTION	7
L2	LITHONIA	WSR-LED-P2-40K-SR4-MVOLT	29W LED 3,053 LUMENS	4000°K	STANDARD	WALL	BLACK	EXTERIOR LED WALL PACK WITH IES TYPE IV DISTRIBUTION	7
L2E	LITHONIA	WSR-LED-P2-40K-SR4-MVOLT	29W LED 3,053 LUMENS	4000°K	STANDARD	WALL	BLACK	EXTERIOR LED WALL PACK WITH IES TYPE IV DISTRIBUTION	7
M1	ERALUX	ET6024-C80-4-08-62-80-B-DMG	3,160 UP 3,160 DOWN	3000°K	0-10V DIMMING	WALL	BLACK	DIE-CAST DIRECTIONAL FACADE LIGHT, 8" NARROW UPLIGHT, 62" WIDE FLOOD DOWNLIGHT	7
M2	ERALUX	ET6024-C80-4-18-18-80-B-DMG	3,160 UP 3,160 DOWN	3000°K	0-10V DIMMING	WALL	BLACK	DIE-CAST DIRECTIONAL FACADE LIGHT, 18" UPLIGHT, 18" DOWNLIGHT	7
N1	ILP	PAN22-30WLED-U-35	31W LED 4,000 LUMENS	3500°K	0-10V DIMMING	LAY-IN	WHITE	2x2 EDGE-LIT FLAT PANEL	
N2	ILP	PAN24-30WLED-U-35	31W LED 4,000 LUMENS	3500°K	0-10V DIMMING	LAY-IN	WHITE	2x4 EDGE-LIT FLAT PANEL	
O	AIDEN	53062BK	36W LED 2,900 LUMEN	3000°K	FIXED OUTPUT DRIVER	WALL COORD. W/ ARCH	BLACK	2" ARCHITECTURAL WALL BRACKET	
P	LIGHTOLIER	6RN-P6R-DL-15-830-CL	15W LED 1,500 LUMENS	3000°K	0-10V DIMMING	RECESSED	WHITE	6" LED DOWNLIGHT WITH NEW CONSTRUCTION FRAME KIT	10
PE	LIGHTOLIER	6RN-EM6-P6R-DL-15-830-CL	15W LED 1,500 LUMENS	3000°K	0-10V DIMMING	RECESSED	WHITE	6" LED DOWNLIGHT WITH NEW CONSTRUCTION FRAME KIT AND EMERGENCY BATTERY BACKUP	10
Q	LITHONIA	DSX0-LED-P1-40K-70CRI-T4M-MVOLT-HS-DBLXD	33W LED 4,860 LUMENS	4000°K	FIXED OUTPUT DRIVER	9' SSS POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE IV DISTRIBUTION AND HOUSE SIDE SHIELD	4,7,9
R1	LITHONIA	DSX0-LED-P4-40K-70CRI-T2M-MVOLT-HS-DBLXD	93W LED 11,003 LUMENS	4000°K	FIXED OUTPUT DRIVER	17' SSS POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE II DISTRIBUTION AND HOUSE SIDE SHIELD	5,7,9,12
R2	LITHONIA	DSX0-LED-P4-40K-70CRI-TFTM-MVOLT-HS-DBLXD	93W LED 11,374 LUMENS	4000°K	FIXED OUTPUT DRIVER	17' SSS POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE IV DISTRIBUTION AND HOUSE SIDE SHIELD	5,7,9,12
R3	LITHONIA	DSX0-LED-P5-40K-BLC4-MVOLT-DBLXD	90 W LED 9,083 LUMENS	4000°K	FIXED OUTPUT DRIVER	17' SSS POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE IV BACKLIGHT CONTROL DISTRIBUTION	5,7,9,12
R3A	LITHONIA	DSX0-LED-P5-40K-BLC4-MVOLT-DBLXD	90 W LED 9,083 LUMENS	4000°K	FIXED OUTPUT DRIVER	13' SSS POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE IV BACKLIGHT CONTROL DISTRIBUTION	7,9,11,12
S	ACCLAIM	DFB-111-AKEU	50W LED 2455 LUMEN	4000°K	FIXED OUTPUT DRIVER	GRADE	BLACK	IP-66 RATED, GRADE MOUNTED LED FLOOD LIGHT	7
T	WILLIAMS	96-4-L40/830-HIAFR-WET/1-DRV-UNV	30W LED 4,000 LUMENS	3000°K	FIXED OUTPUT DRIVER	SURFACE	WHITE	4' FULLY ENCLOSED AND GASKETED INDUSTRIAL FIXTURE WITH FROSTED, RIBBED, IMPACT-RESISTANT ACRYLIC LENS	
U	EVERGREEN	EVOL30-W-44-90LED-MBK-WDA-30K	90W LED 7,200 LUMENS	3000°K	FIXED OUTPUT DRIVER	WALL COORD. W/ ARCH	BLACK	44" TALL DECORATIVE WALL MOUNT FIXTURE WITH WHITE DURABLE ACRYLIC LENS	7
V	HALO	PR4F512D010 - PR4M12MD8FSMWPR4WW	21.3W LED 2,000 LUMENS	3000°K	0-10V DIMMING	RECESSED	WHITE	4" LED RECESSED DOWNLIGHT WITH WALL WASH OPTIC	
X	MULE	MXBRU-SD	---	GREEN LETTERS	N/A	CEILING/WALL/END	BLACK	SINGLE/DOUBLE FACE POLYCARBONATE LED EXIT	1,2,10
XE	MULE	SQC-LED-1-R-WW-SD	1 WATT	GREEN LETTERS	N/A	CEILING/WALL	BLACK	SINGLE FACE COMINATION POLYCARBONATE EXIT SIGN/TWIN HEAD EMERGENCY LIGHT	1,2,10
XER	MULE	SQC-LED-1-R-WW-SD	1 WATT	GREEN LETTERS	N/A	CEILING/WALL	BLACK	SINGLE FACE COMINATION POLYCARBONATE EXIT SIGN/TWIN HEAD EMERGENCY LIGHT	1,2,10

GENERAL:

- All interior LED fixtures shall be 3000°K corrected color temperature, min. 80 CRI.
- All light fixtures shall be provided with universal drivers capable of operating at 120V or 208V UNO.
- All LED fixtures shall adhere to LM79 and LM80 standards.
- All apartment light fixtures shall be Energy Star certified.

NOTES:

1. Fixture shall have self-diagnostic/self-testing electronics.
2. Provide with emergency battery integral charger.
3. Fixture shall be capable of operation in temperatures ranging from -40°F through 104°F.
4. Provide fixture/pole assembly with 10' round straight steel pole, black to match fixture. Fixture height shall not exceed 12'-0" AFG.
5. Provide fixture/pole assembly with 17' round straight steel pole, black to match fixture. Fixture height shall not exceed 20'-0" AFG.
6. Provide with bar hangers appropriate for ceiling system in which fixture is installed.
7. U.L. listed for 'wet location'.
8. Where installed in fire rated assembly, provide fire rated recessed light cover equal to Tenmat FF109. Verify rating requirement with Architect.
9. Fixture/pole assembly shall be rated for 100 mph wind loads. Provide with vibration damper per manufacturer's recommendations.
10. U.L. listed for 'damp location'.
11. Fixture installed above retaining wall. Provide fixture/pole assembly with 13' round straight steel pole, black to match fixture. Fixture height shall not exceed 20'-0" above parking lot surface.
12. Provide fixture with motion/ambient sensor enabled at 1 footcandle, control option PIRH1FC3V.