



## Jones Gillam Renz Architects

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## ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

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PROJECT: The Reserves at Magnolia New Apartment Complex  
Denton, TX

OWNER: Overland Property Group  
Dan Maximuk  
234 N. Santa Fe Ave, Suite A  
Salina, KS 67401

CONTRACTOR: Snyder Construction Group  
4820 N. Town Centre Dr.  
Ozark, MO 65721

Report No. Five (5)

Date June 24, 2025

Architect's Proj No. 21-3205

Contract For: General Construction  
Mechanical, Electrical

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The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

### DESCRIPTION:

Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions.

- 1) Install a wall mounted sign on the south side of the building, above the entry. The sign shall be pin-mounted. Material and attachments per manufacturer. Font type and color shall be coordinated with owner.

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### Attachments:

1. Revised Architectural Sheet: A3.1
2. Enlarged Sign Size and Text (8.5x11)

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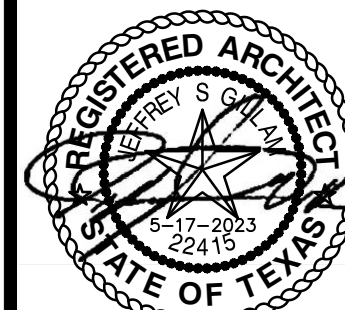
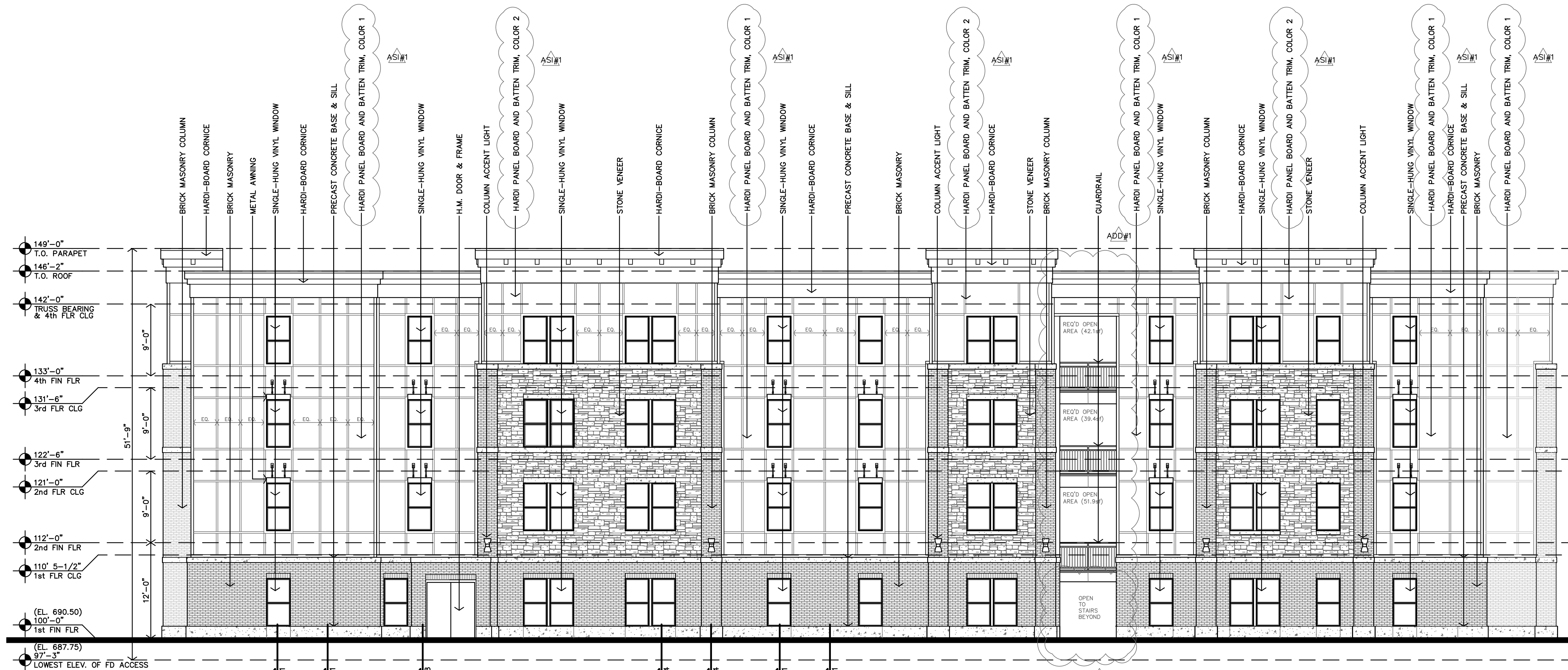
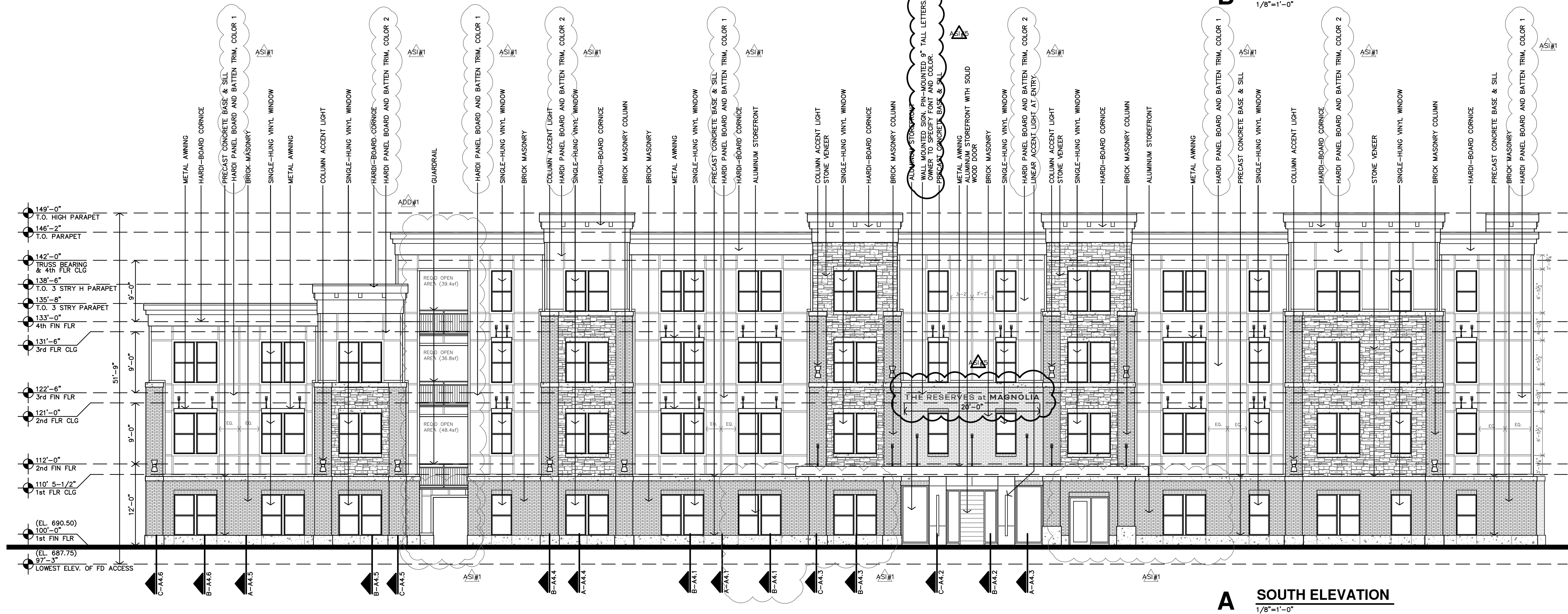
Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402  
Jeff Gillam, Project Architect 785 827 0386 jgillam@jgrarchitects.com  
Maggie Gillam, Project Manager mgillam@jgrarchitects.com

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### Copies to:

Josh Fisher – Snyder Construction Group  
Dan Maximuk, April Engstrom – Overland Property Group  
John Lewis-Smith, Ryan Lies - LST  
Mike Falbe – BDC  
Andrea Taylor - MMA

| DENTON DEVELOPMENT CODE & PLANNED DEVELOPMENT (PD22-0001)<br>DESIGN STANDARDS                                          |          |          |
|------------------------------------------------------------------------------------------------------------------------|----------|----------|
| DESCRIPTION                                                                                                            | REQUIRED | PROVIDED |
| MAX BUILDING HEIGHT                                                                                                    | 50' MAX  | 49'      |
| SOUTH-FACING FACADE SHALL CONSIST OF 25% WINDOWS AND DOORS                                                             | 25% MIN. | 25%      |
| ALL OTHER FACADES SHALL CONSIST OF 15% WINDOWS AND DOORS                                                               | 15% MIN. |          |
| EAST FACADE                                                                                                            |          | 18%      |
| NORTH FACADE                                                                                                           |          | 18%      |
| WEST FACADE                                                                                                            |          | 16%      |
| ALL FACADES SHALL CONSIST OF AT LEAST 40% STONE, PRECAST OR BRICK                                                      | 40% MIN. |          |
| SOUTH FACADE                                                                                                           |          | 46%      |
| EAST FACADE                                                                                                            |          | 44%      |
| NORTH FACADE                                                                                                           |          | 40%      |
| WEST FACADE                                                                                                            |          | 43%      |
| AT LEAST 15% OF ALL WINDOWS MUST BE FINISHED WITH A CANOPY OF AWNING                                                   | 15% MIN. | 16%      |
| WALL SCONCES MUST BE INSTALLED ALONG GROUND FLOOR AT REGULAR INTERVALS                                                 |          | YES      |
| GROUND FLOOR MUST BE IDENTIFIABLE FROM THE UPPER FLOORS WITH A HORIZONTAL & DIFFERENTIATING EXTERIOR BUILDING MATERIAL |          | YES      |
| PRIMARY VERTICAL BUILDING PROJECTIONS MUST HAVE DIFFERENTIATING EXTERIOR BUILDING MATERIAL                             |          | YES      |
| PRIMARY ENTRANCE ON THE SOUTH FACADE MUST BE DISTINGUISHED BY A CANOPY OR AWNING                                       |          | YES      |
| ALL FLAT ROOFS SHALL PROVIDE A DECORATIVE CORNICE                                                                      |          | YES      |



|            |           |
|------------|-----------|
| REVISION:  |           |
| ADD #1     | 6-19-2023 |
| ASI #1     | 7-17-2024 |
| ASI #2     | 6-24-2025 |
| DATE:      | 5-17-2023 |
| JOB:       | 21-3205   |
| SHEET NO.: |           |

A3.1

THE RESERVES at MAGNOLIA  
NEW APARTMENT COMPLEX  
DENTON, TEXAS

JonesGillamRenz  
730 N. Ninth  
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Salina, KS 67401  
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Note: Confirm font type/style and color with owner.

20'-0" max.

THE RESERVES at MAGNOLIA

9" tall letters