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NOTICE TO ALL CONTRACTORS AND SUB-CONTRACTORS

Addendum #2: 9-27-23

Reserves at Magnolia – New Apartment Complex – Proj 21-2305

ADDENDUM NO. 1

YOU ARE INSTRUCTED TO READ AND TO NOTE THE FOLLOWING DESCRIBED CHANGES, CORRECTIONS, CLARIFICATIONS, OMISSIONS, DELETIONS, ADDITIONS, APPROVALS, AND STATEMENTS PERTINENT TO THE CONTRACT AND CONSTRUCTION DOCUMENTS. THIS ADDENDUM IS A PART OF THE CONTRACT AND CONSTRUCTION DOCUMENTS AND SHALL GOVERN IN THE PERFORMANCE OF THE WORK.

NOTE: New drawing sets have been issued. Revised Sets for Architectural, MEP, Structural, Civil & Landscaping have been updated to the JGR Plan Room website: www.jgrarchitects.com/planroom. The date associated with the updated plans is **9-27-2023**.

GENERAL

1. Contractor to provide a price for the Builder's Risk.
2. Contractor to provide a price for the materials testing.
3. Contractor is to cover the building permit fees. Plan fees are being covered by the Owner and/or the architect's team.
4. Clarification: 7/16" zip sheathing will be used at the exterior walls, corridor walls, and at the vertical shear wall construction between units.
5. Clarification: All utility tap, connection, services fees, etc. will be paid by the Owner. Utility consumption charges during construction by the Contractor.
6. Clarification: Only apartment units will have blinds at the windows.
7. Clarification: All cement lap siding will be field painted. Hardi reveal panels will be field painted.
8. Clarification: All breezeways and stairs shall have exterior rated type 'x' gyp. board installed.
9. Contractor to use allowance for Door Hardware. Manufacturer to submit a hard schedule to architect/owner for review. Addition keying information has been added to the specifications. Reference revised specification 010190 & 087100.
10. Card readers to be provided at Doors 101, 114, 116, 121 & 122. To be included in the Door Hardware allowance. Manufacturer to submit card reader access hardware for review by architect/owner. Revised electrical drawings to show card reader electrical requirements are attached.
11. Landscaping
 - a. If contractor would like to make plant/tree substitutions, submit them to the Landscape Architect, showing species, variety and size. All sizes shown on the plans are the minimum requirement. Caliper inches and gallons must be provided per plans.
12. If contractor would like to be issued a ACAD file for civil plans (Grading, etc.) they will need to complete and return the 'File Transfer Document' from MMA (attached).

Specifications

1. Section 019113 – General Commission Requirements – Contractor is to procure and hire a commissioning agent
2. Section 055000 – Metal Fabrications – Security Gates have been added to this section.
3. Section 06200 – Finished Carpentry - Clarification: Apartment window heads/jambes shall be wood. Window sills shall be solid surface per details Q, R & S-A10.3.
4. Section 074243 – Composite Wall Panels – Clarification: Nichiha Vintage Wood Panels are found only at underside of the main entrance canopy. Architect is willing to review product substitution submittals.

5. Section 082110 – Panel Masonite Doors – All doors within the apartment units shall be hollow core including pocket and louvered doors. Reference revised Sheet A10.2 and Specification Section.
6. Section 084100 – Aluminum Entrances and Storefront – Power operator buttons have been eliminated. See revised specification section.
7. Section 108000 – Toilet & Bath Accessories – product specifications have been added for toilet accessories. Architect is willing to review substitution submittals.
8. Section 114510 – Residential Appliances
 - a. Clarification: specification describes the range hood for the accessible units.
 - b. Clarification: the refrigerator for the apartments will be the same unit as the community room.
9. Section 220719 – Plumbing Piping Insulation – Clarification: Follow specifications for water piping insulation requirements at cold and hot water piping.
10. Section 230593 – Testing, Adjusting, and Balancing for HVAC – Clarification: this project falls under the requirements of the 2021 IECC and must be commissioned per section C408.1. Architect's team includes an Energy Consultant, who is contracted to conduct thermal by-pass inspections (Pre-Drywall inspections), for insulation and air sealing requirements and to conduct final blower door performance testing on the necessary sampling set of units per IECC and the City of Denton Requirements. Contractor responsible for scheduling and coordinating with Energy Consultant. Any and all other testing and commissioning required by the 2021 IECC shall be the responsibility of the contractor.
 - a. C408.1 Exception: fan motors 1hp or less are not required to be provided with a means for air balancing.
 - i. Scheduled blower coil are all ¾ hp or less, therefore it is our interpretation that test and balancing of those systems' air devices will not be required.
 - ii. Blower coil fan speeds need to be adjusted to deliver scheduled airflow. Some form of T&B may be required to verify proper airflow of each system.
 - iii. Ventilation systems will require airflow measurement to allow installation and commissioning of system per manufacturer's requirements.
 - iv. Verify all requirements with IECC and CA.

Drawings

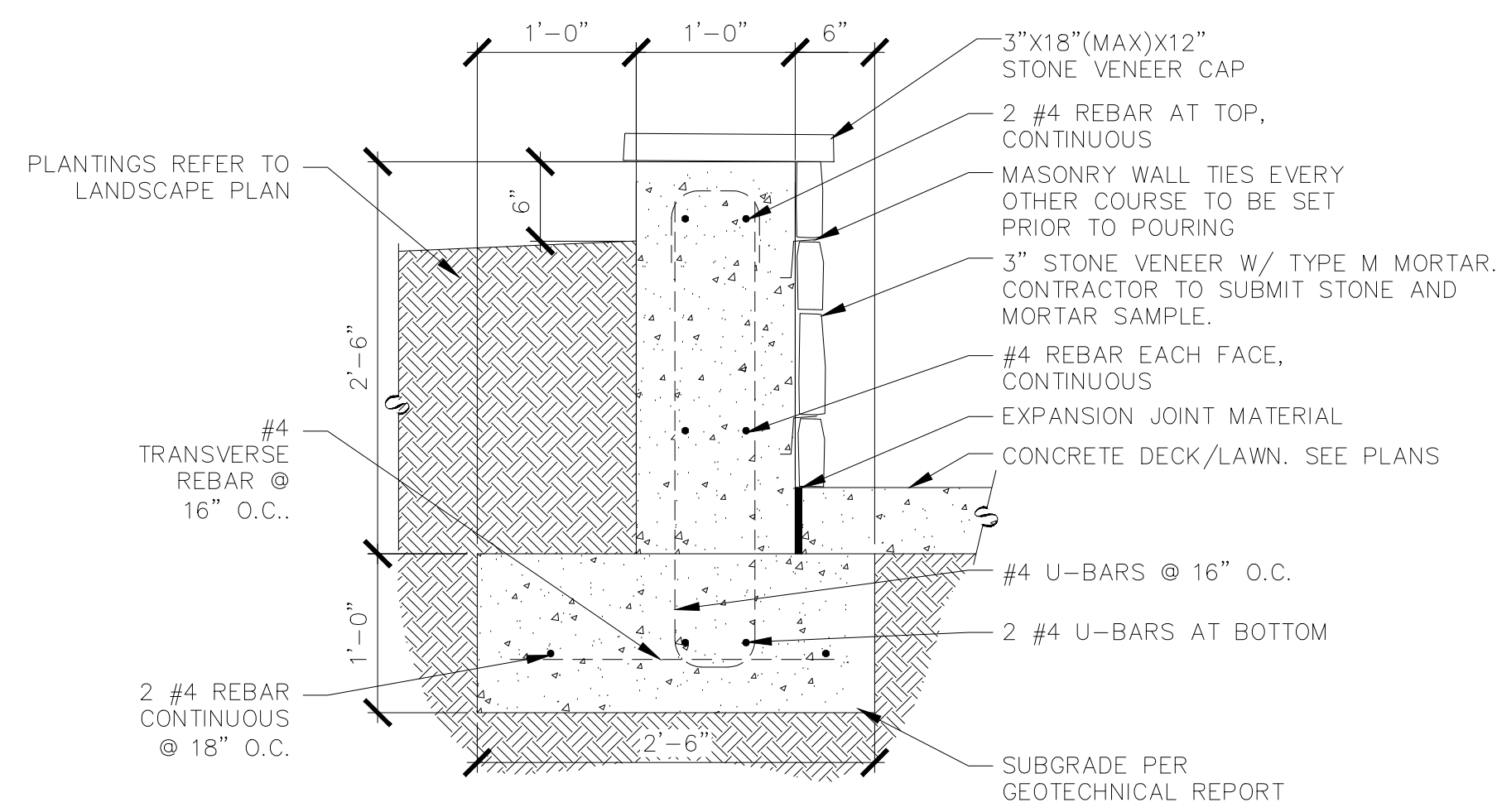
1. C2.0 – Clarification: The existing overhead electric is owned by Denton Municipal Electric (DME) and will be relocated by DME. Cost to relocate will be required up front. Cost to be covered by owner.
2. C3.0 – Civil has added 42 feet on hand railing to section of wall just east of the pond where height exceeds 30". Reference revised sheet.
3. C8.6 – Clarification: Rock type is proposed to be riprap D50=6" @ 1" depth.
4. C11.3 – Clarification: Painting of the CMU instead the dumpster enclosure is not required. Gate pickets are not required to be stained.
5. L1.00
 - a. Raised Planter details have been added. Reference attached Landscape Sheet RFI#1.
 - b. Decomposed granite path – a detail/specification has been provided. Reference the attached Landscape Sheet RFI #1.
 - c. Clarification: the "arrow" hatched area at the north end of the site does not require seeding unless disturbance is made with installation of decomposed granite path.
 - d. Spacing for seasonal color, purple coneflower and both carex grasses shall be:
 - i. Seasonal color: 12" O.C.
 - ii. Purple Coneflower: 24" O.C.
 - iii. Carex Grasses: 24" O.C.
6. A1.2 – Clarification: 5 Bike Racks are to be installed (as indicated on Civil plans). Reference revised sheets A1.1, A1.2 & Specification 028710.
7. A2.0 – Roof/Ceiling detail has been corrected to reflect correct assembly. Clarification: V.B. will not be required between batt insulation & Ceiling assembly.
8. A2.1 – Clarification: Use arch details for Radon pipes. Power for future radon fans is shown on ME2.1, Note #6.
9. A4.1
 - a. Clarification: Sections note "V.B. per stone/brick mfr. & zip sheathing." Some manufactured stone companies require the installation of (2) weather resistant barriers behind the stone installation. Architect is willing to review product substitution submittals for manufactured stone, thus we retain this note on our drawings. Contractor to refer to and follow the manufacturer's recommendations for installation.
 - b. At breezeway ceilings and trim board: Fiber cement panels & trim board will be used. Basis of design shall be "James Hardi." Architect is willing to review product substitution submittals. Reference revised Specification 074600 and revised wall sections on sheets A4.1, A4.6, A4.7, A6.2, A6.4, A7.1 – A7.4.
 - c. Protective coating over the 2" rigid perimeter insulation – Contractor to submit options and submittals to Architect.
 - d. Clarification: The 60 mil membrane underlayment at breezeway floor is a waterproofing membrane. ½" rigid insulation is required at the breezeway floor/ceiling assembly.
10. A4.4 – Details E & F – the hardi trim has been changed to a hardi panel to avoid a joint at the cornice detail. Reference revised Sheets A4.1 – A4.8.
11. A4.6 – Detail D Clarification: A moisture barrier and plywood will be required all applications below the MBCI slimline roof system. Detail E on Sheet A4.5 has been revised to match.
12. A4.7

- a. Details K & L – Clarification: At unit/unit walls, the intent is to install 5/8" g.b. over 1/2" sound board at all non-shear wall locations and install 5/8" g.b. over sheathing at all shear walls. At shear walls, use 7/16" OSB as indicated on the structural drawings. Reference revised details on Sheet A4.7.
 - b. Details H, J & S – In lieu of Laminated Fascia panel, smooth hardi-reveal panels are to be used, to match adjacent exterior walls. Reference revised details on Sheet A4.7.
- 13. A6.2 – Prefinished metal rails design is based off the REVAMP powder coated steel railing and guardrail system, with custom infill panels. Reference revised Specification Section 055200. Architect is willing to review substitution submittals.
- 14. A7.1 – At the first floor apartments, the sheet rock ceiling will be attached directly to the 1/2" resilient channels, which are attached to the underside of the trusses, as shown in the Floor/Ceiling A Assembly detail on Sheet A2.0. At community room #106, sheet rock ceiling will be suspended below the 1-hr floor/ceiling assembly above, per details and plans on Sheet A7.1. Detail A on Sheet A7.1 has been revised to reflect the correct ceiling heights at apartments.
- 15. A8.2 – Detail C – Quartz countertops shall be used at the waterfall edge on the Community Room Island. Reference revised detail note on Sheet A8.2.
- 16. A10.1
 - a. Apartment interior finish schedule has been revised to reflect 9'-0" tall ceilings at all apartments.
 - b. Clarification: Apartment finish schedule, Note 3 – cement board is to be used at fiberglass tub surrounds as well.
 - c. Public finish schedule – Office 108 and Office 109 shall receive carpet tile. See revised schedule on sheet A10.1
 - d. Clarification: flooring base with eased edge is acceptable.
 - e. Assume a max of 5 interior paint colors will be selected.
- 17. A10.2
 - a. Clarification: 4" trim is to be used at door casings. Reference details T & U on sheet A10.3
 - b. Apartment door schedule – Door 9 shall not have louvers. Door shall be H.C. wood. Reference revised schedule
 - c. Detail H & J – all wood trim and frames shall be painted. Reference revised details
 - d. Clarification: Details D & E – all unit entry doors frames shall be hollow metal, fire-rated (20 min). Reference revised details on sheet A10.2
- 18. A10.3 - Clarification: All vinyl apartment windows are to receive wood cased heads/jambs, with solid surface sills. All wood frames will be painted. Reference detail Q-A10.3
- 19. E2.0 – Clarification: Telecommunications general note F – exact requirements must be coordinated with telecom provider selected by owner. Note F specifically refers to the common areas.
 - a. Note A calls for all devices and wiring to be provided in dwelling units
 - b. Note B calls for common areas to be provided with boxes roughed in and conduit to mechanical rooms
 - c. Note E calls for all empty conduits to be provided with pull strings+
 - d. Detail 1:E6.1 shows apartment telecom distribution device and required cabling from service provider terminal boards.
 - e. Depending on the contract details that the owner signs with the telecom provider, some of the cabling may be provided by others. Contractor to confirm with owner and telecom provider.
- 20. E6.6 – Lighting fixtures A & B are currently not specified. Contractor to include an allowance of \$5,000 for both fixtures. Material and Delivery cost only. Does not include installation costs.

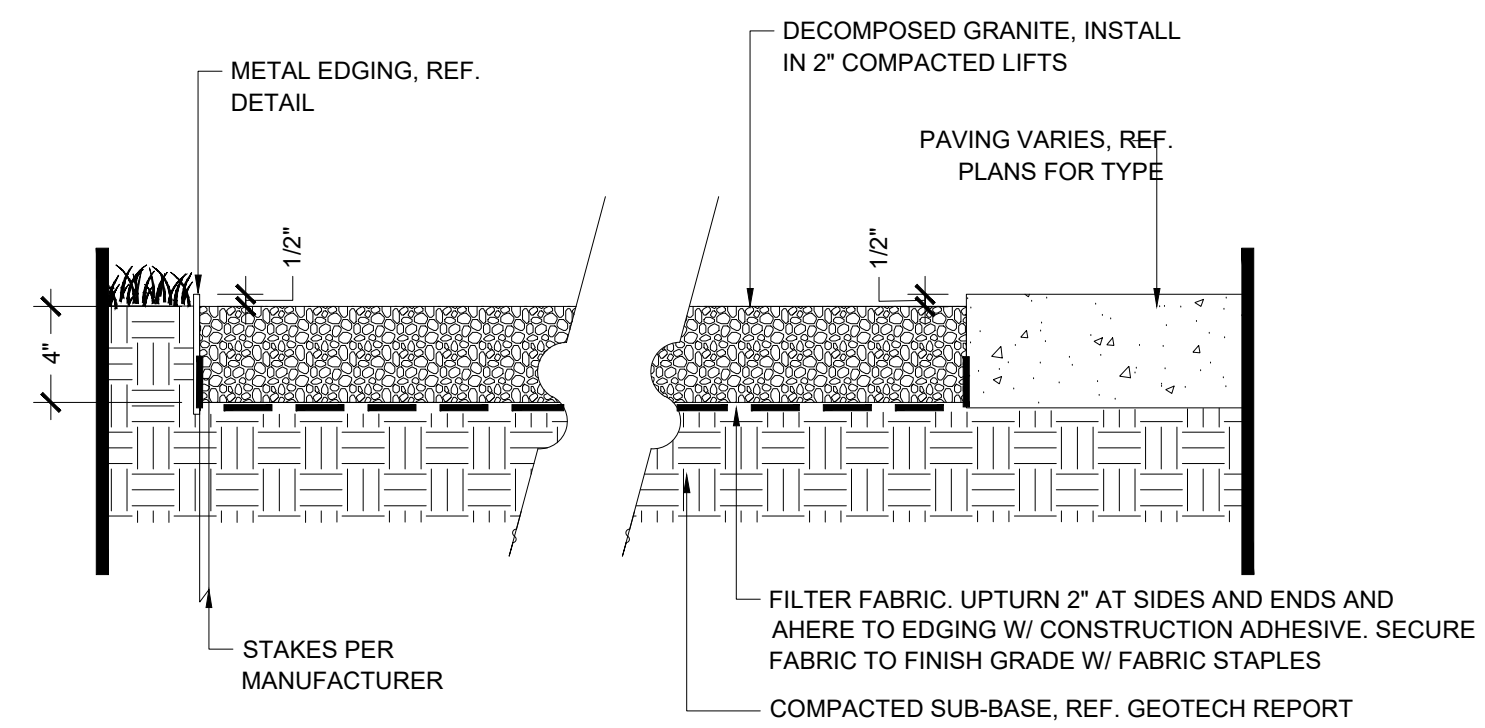
END OF ADDENDUM NO. 2

Attachments

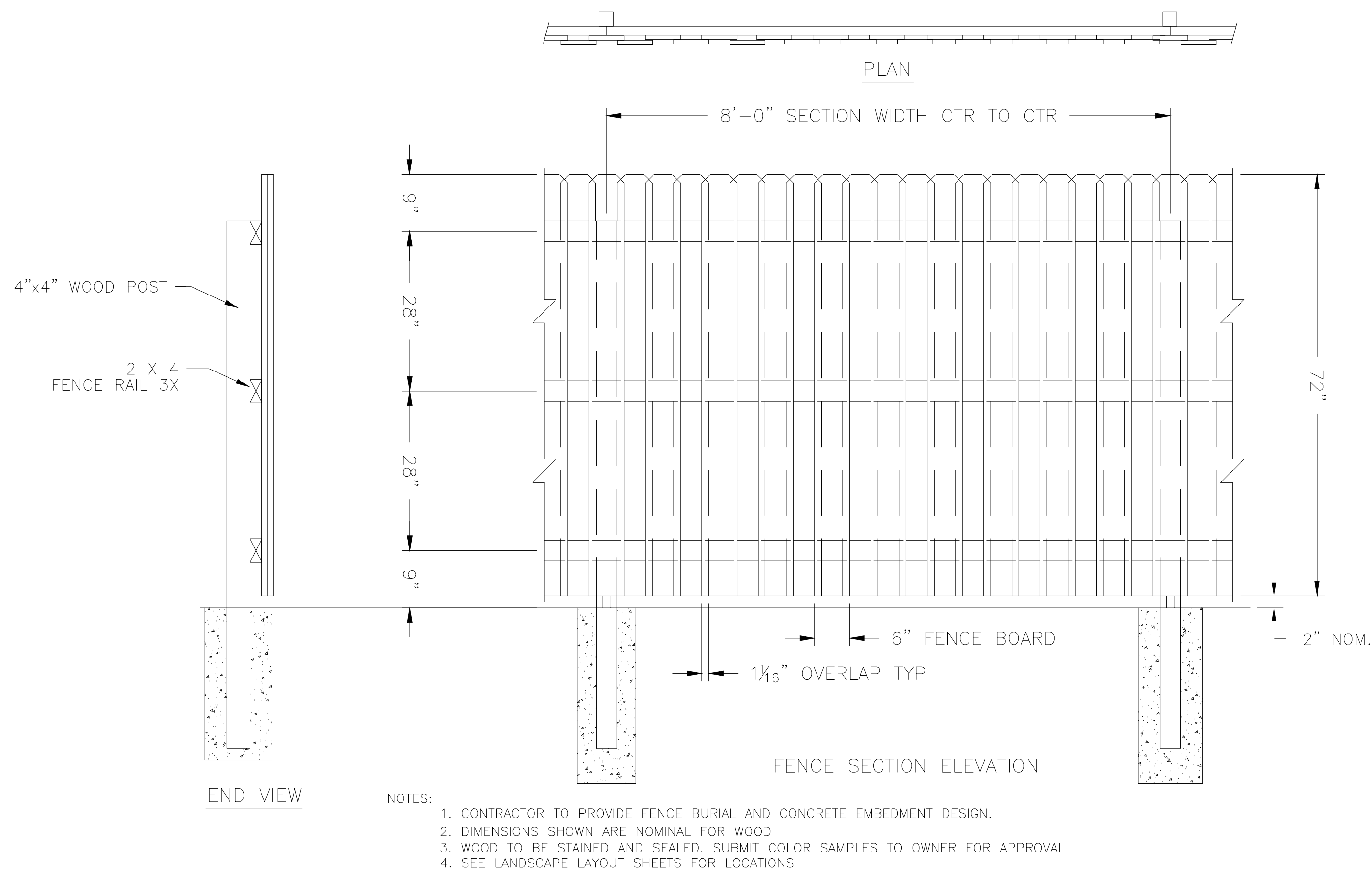
ACAD Transfer Form (From MMA)
Landscape Sheet RFI #1



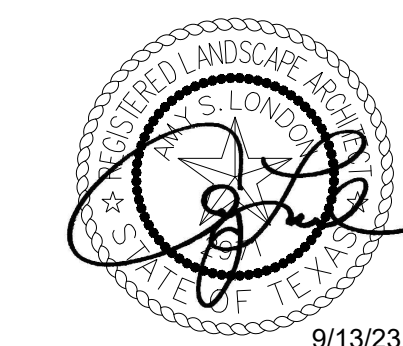
A STONE VENEER PLANTER SECTION



B DECOMPOSED GRANITE



C WOOD FENCE DETAIL



PROJECT NUMBER:	MAG22
PROJECT MANAGER:	ASL
DRAWN BY:	ASL
CHECKED BY:	LJL
ISSUE DATE:	9/13/23

REV.	DATE	DESCRIP.	BY
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SHEET CONTENT:

Landscape
RFI Response
#1

SHEET NO:

RFI #1