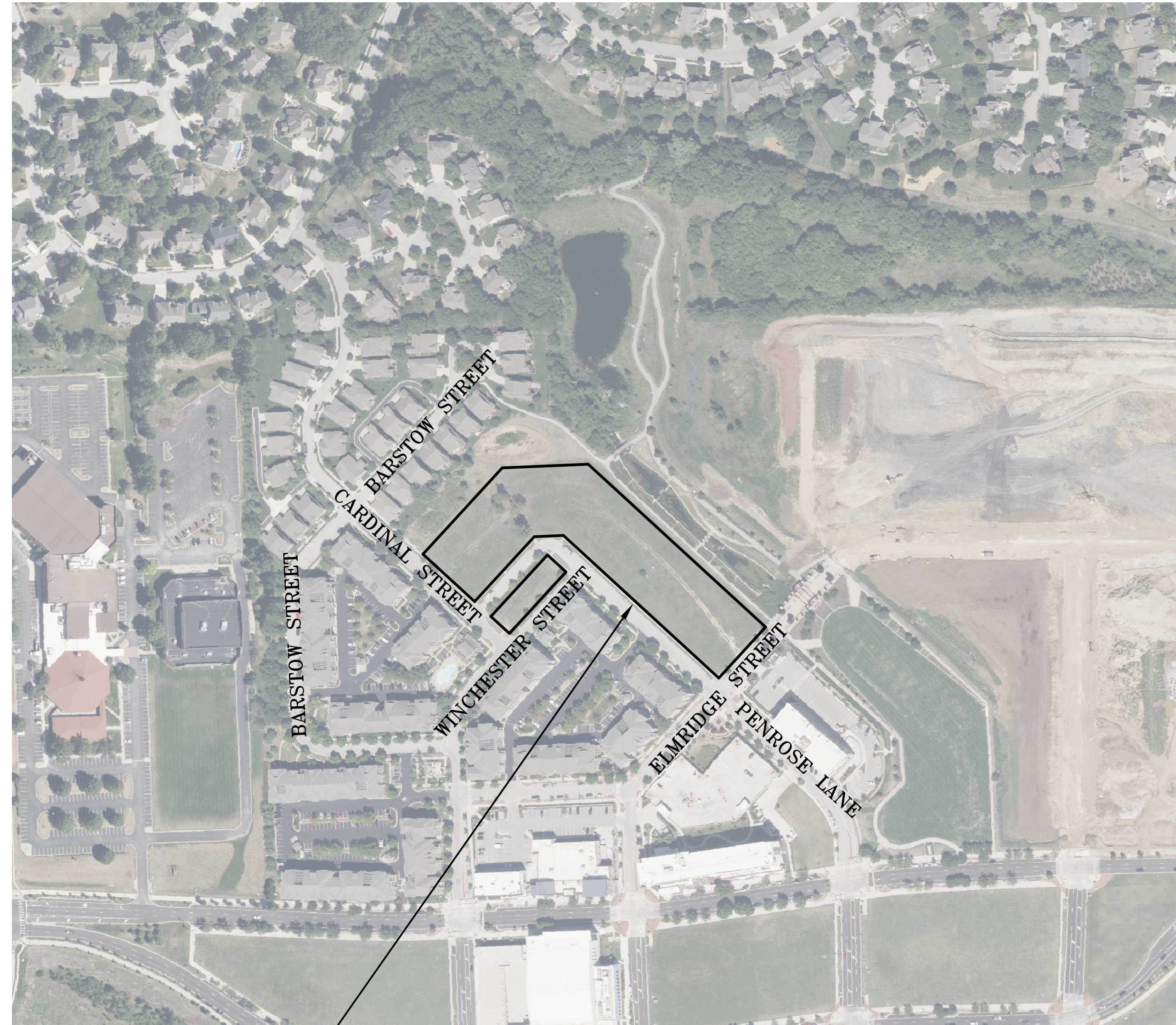


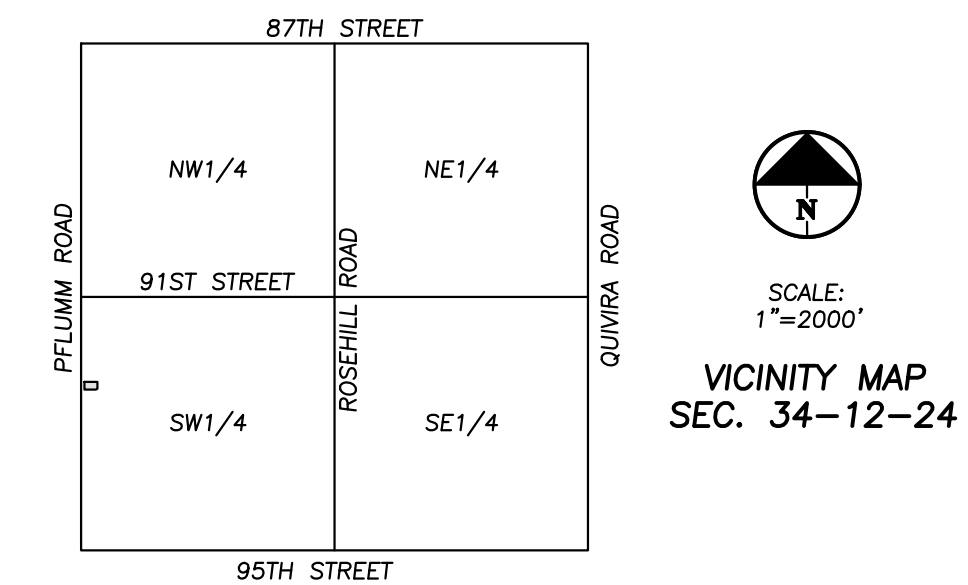
FINAL DEVELOPMENT PLANS LENEXA CITY CENTER — NORTH VILLAGE TOWNHOMES IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS

INDEX	
C000	COVER SHEET
C100-C101	SITE PLAN
C102	TRUCK TURN PLAN
C200	GRADING PLAN
C300	STREET PLAN & PROFILE
C400	UTILITY PLAN
C401	FIRE PROTECTION PLAN



PREPARED & SUBMITTED BY:
 PHELPS ENGINEERING, INC.
 1270 N. WINCHESTER
 OLATHE, KS 66061
 913-393-1155 OFFICE
 913-393-1166 FAX
 CONTACT: JUDD CLAUSSEN, P.E.

OWNER/DEVELOPER:
 LENEXA CENTER HOLDINGS, LLC
 17 RESEARCH PARK DRIVE, SUITE 100
 ST. CHARLES, MO
 636-439-2800
 CONTACT: TIM BREECE



PROJECT LOCATION

LEGAL DESCRIPTION:
 LOTS 4 AND 5 AND TRACT D, LENEXA CITY CENTER — NORTH VILLAGE, FIRST PLAT, A SUBDIVISION IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS.

NET AREA = ±3.4202 ACRES

FLOOD NOTE:
 THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LENEXA, COMMUNITY NO. 200168, JOHNSON COUNTY, KANSAS, MAP NO. 2009100346, AND DATED AUGUST 3, 2009.

BENCHMARKS:

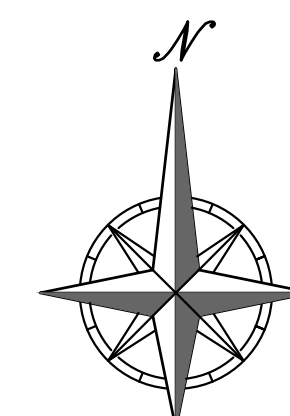
VERTICAL DATUM = NAVD88 BASED JOHNSON COUNTY PUBLIC WORKS BENCHMARK #440 (NOW DESTROYED) PEI ORIGINAL LEVEL LOOP RUN ON MAY 19, 2008

- SET "C" CUT IN NORTHEAST CORNER OF CONCRETE LIGHT POLE BASE SOUTH SIDE OF PENROSE LANE WEST OF THE PARKING LOT ENTRANCE.
ELEVATION = 982.67
- FOUND "C" CUT ON SOUTH SIDE CARDINAL STREET AT PARKING CORNER WEST OF PARKING LOT ENTRANCE FROM ORIGINAL LEVEL LOOP MAY 19, 2008
ELEVATION = 988.64

I CERTIFY TO THE BEST OF MY KNOWLEDGE & ABILITY THAT ALL LAND DISTURBANCE ACTIVITY, CONSTRUCTION & DEVELOPMENT ASSOCIATED WITH THIS PROJECT WILL BE DONE PURSUANT TO THIS PLAN.

OWNER/DEVELOPER/OPERATOR/CONTRACTOR _____

DATE _____



SCALE: 1"=200'
 0' 200' 400'

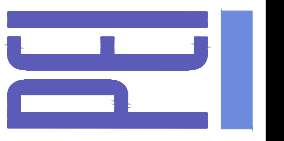


Know what's below.
 Call before you dig.

UTILITY NOTES:
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 www.phelpsengineering.com

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COVER SHEET
 LENEXA CITY CENTER — NORTH VILLAGE TOWNHOMES
 LENEXA, KANSAS
 FINAL DEVELOPMENT PLANS

Project No.	Date	By	App.
244956	04-28-2025		
Revisions:			
No.	Date		
1		DATE 04-28-2025	DRAWN: BAC
		CHECKED: DEU	APPROVED: DEU
		CORPORATE DATE OF AUTHORIZATION	
		LAND SURVEYING - LS-82	
		ENGINEERING - E-361	
		CERTIFICATE OF AUTHORIZATION	
		LAND SURVEYING-200701028	
		ENGINEERING-200700038	

SHEET
 C000



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TRACT A
OWNER: OKL 18, LLC

LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
—	2' CURB & GUTTER
—	6" CURB
— B/L —	BUILDING SETBACK LINE
— P/S —	PARKING SETBACK LINE
— L/S —	LANDSCAPE SETBACK LINE
[Pattern]	STANDARD DUTY ASPHALT PAVEMENT
[Pattern]	HEAVY DUTY ASPHALT PAVEMENT
[Pattern]	PROPOSED BUILDING
[Pattern]	CONCRETE PAVEMENT
[Pattern]	CONCRETE SIDEWALK
[Pattern]	PARKING SPACES

LEGAL DESCRIPTION:
LOTS 4 AND 5 AND TRACT D, LENEXA CITY CENTER — NORTH VILLAGE, FIRST PLAT, A SUBDIVISION IN THE CITY OF LENEXA, JOHNSON COUNTY, KANSAS.

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SITE DATA:
EXISTING ZONING: CC
LAND AREA (GROSS*/NET): 4.42 AC/3.42 AC
TOTAL UNITS: 61
DENSITY (GROSS*/NET): 13.8 UNITS PER ACRE/
17.8 UNITS PER ACRE
TOTAL IMPERVIOUS AREA: 109,462.00 SF/2.51 AC
(BUILDINGS, PAVEMENT, CURBS, SIDEWALKS, ETC.)

*GROSS AREA INCLUDES HALF OF STREET RIGHT-OF-WAY OF CARDINAL STREET, WINCHESTER STREET, PENROSE STREET, & ELMRIDGE STREET

PARKING
REQUIRED 2/UNIT 122
PROVIDED:
GARAGES 122
DRIVEWAY PARKING 122
VISITOR PARKING 33
ADA PARKING 1
TOTAL 248

REQUIRED OPEN SPACE CALCULATION:
TOTAL BUILDING SQ. FOOTAGE: 119,940 SF
PUBLIC OPEN SPACE (TRACT D): 10,807 SF
PUBLIC OPEN SPACE RATIO PROVIDED: 9.0%
PUBLIC OPEN SPACE RATIO REQUIRED: 2.0%

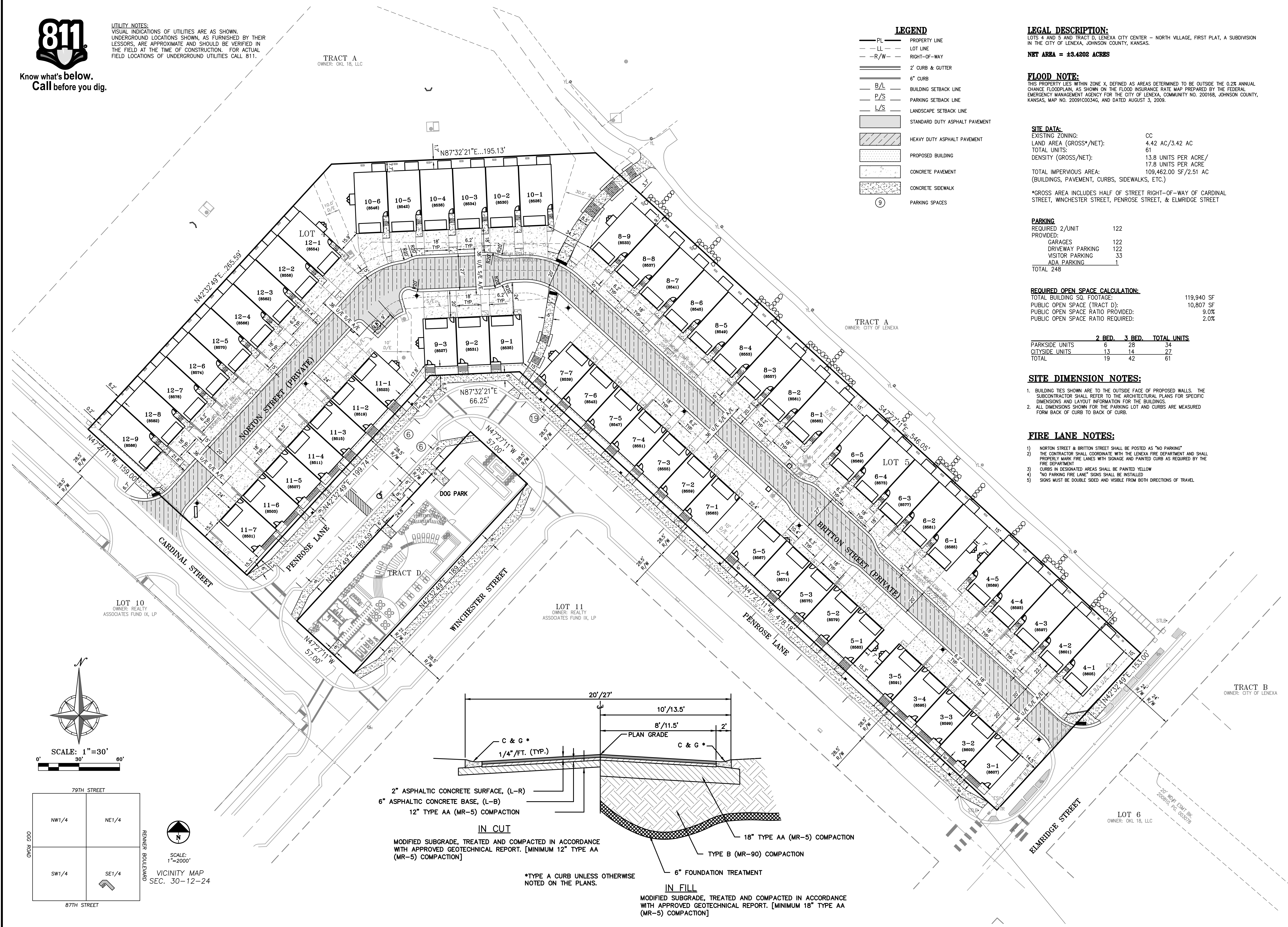
	2 BED	3 BED	TOTAL UNITS
PARKSIDE UNITS	6	28	34
CITYSIDE UNITS	13	14	27
TOTAL	19	42	61

SITE DIMENSION NOTES:

- BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

FIRE LANE NOTES:

- NORTON STREET & BRITTON STREET SHALL BE POSTED AS "NO PARKING"
- THE CONTRACTOR SHALL COORDINATE WITH THE LENEXA FIRE DEPARTMENT AND SHALL PROPERLY MARK FIRE LANES WITH SIGNAGE AND PAINTED CURB AS REQUIRED BY THE FIRE DEPARTMENT
- CURBS IN DESIGNATED AREAS SHALL BE PAINTED YELLOW
- "NO PARKING FIRE LANE" SIGNS SHALL BE INSTALLED
- SIGNS MUST BE DOUBLE SIDED AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL

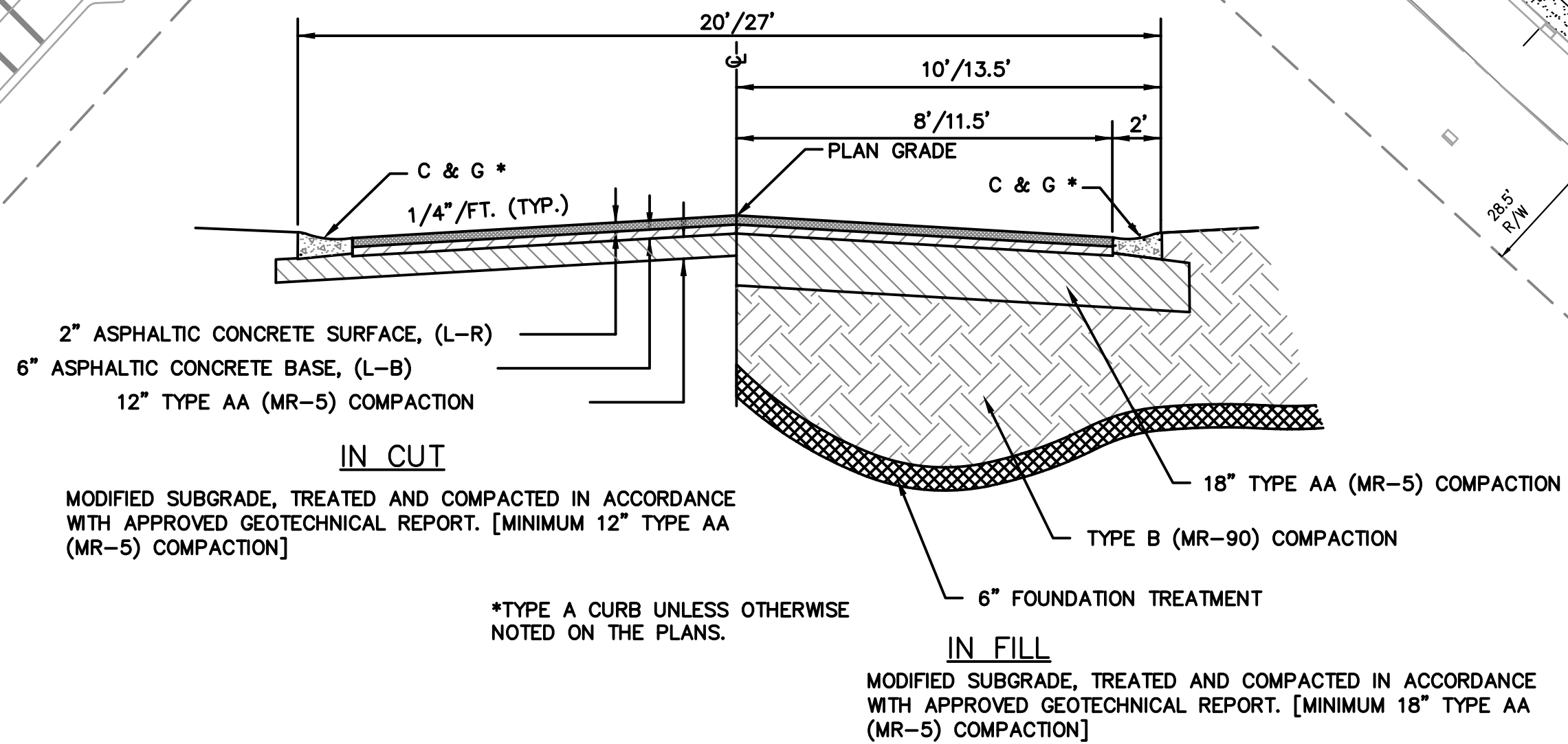
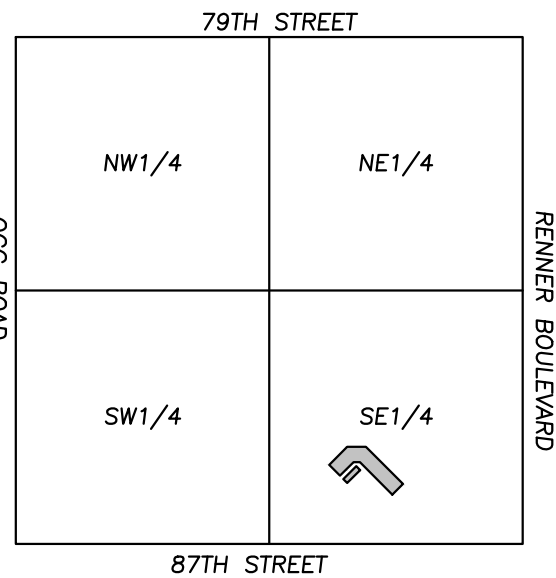
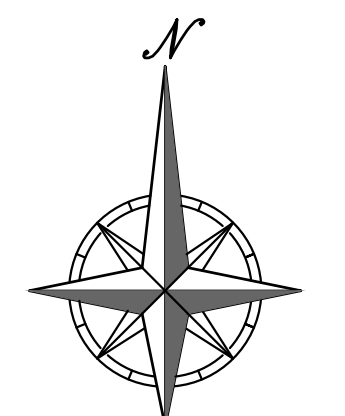


LOT 10
OWNER: REALTY ASSOCIATES FUND IX, LP

LOT 11
OWNER: REALTY ASSOCIATES FUND IX, LP

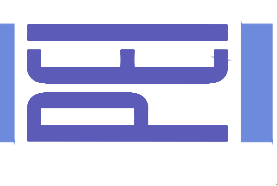
TRACT B
OWNER: CITY OF LENEXA

LOT 6
OWNER: OKL 18, LLC



PHILIPS ENGINEERING, INC.
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Olathe, Kansas 66066
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Fax: (913) 993-1165
www.philipsengineering.com

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SITE DIMENSION PLAN
LENEXA CITY CENTER — NORTH VILLAGE TOWNHOMES
LENEXA, KANSAS
FINAL DEVELOPMENT PLANS

No.	Date	By	App.	Revisions:

SHEET
C100



Know what's below.
Call before you dig.

UTILITY NOTES:
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TRACT A
OWNER: OKL 18, LLC

PAVEMENT MARKING AND SIGNAGE NOTES:

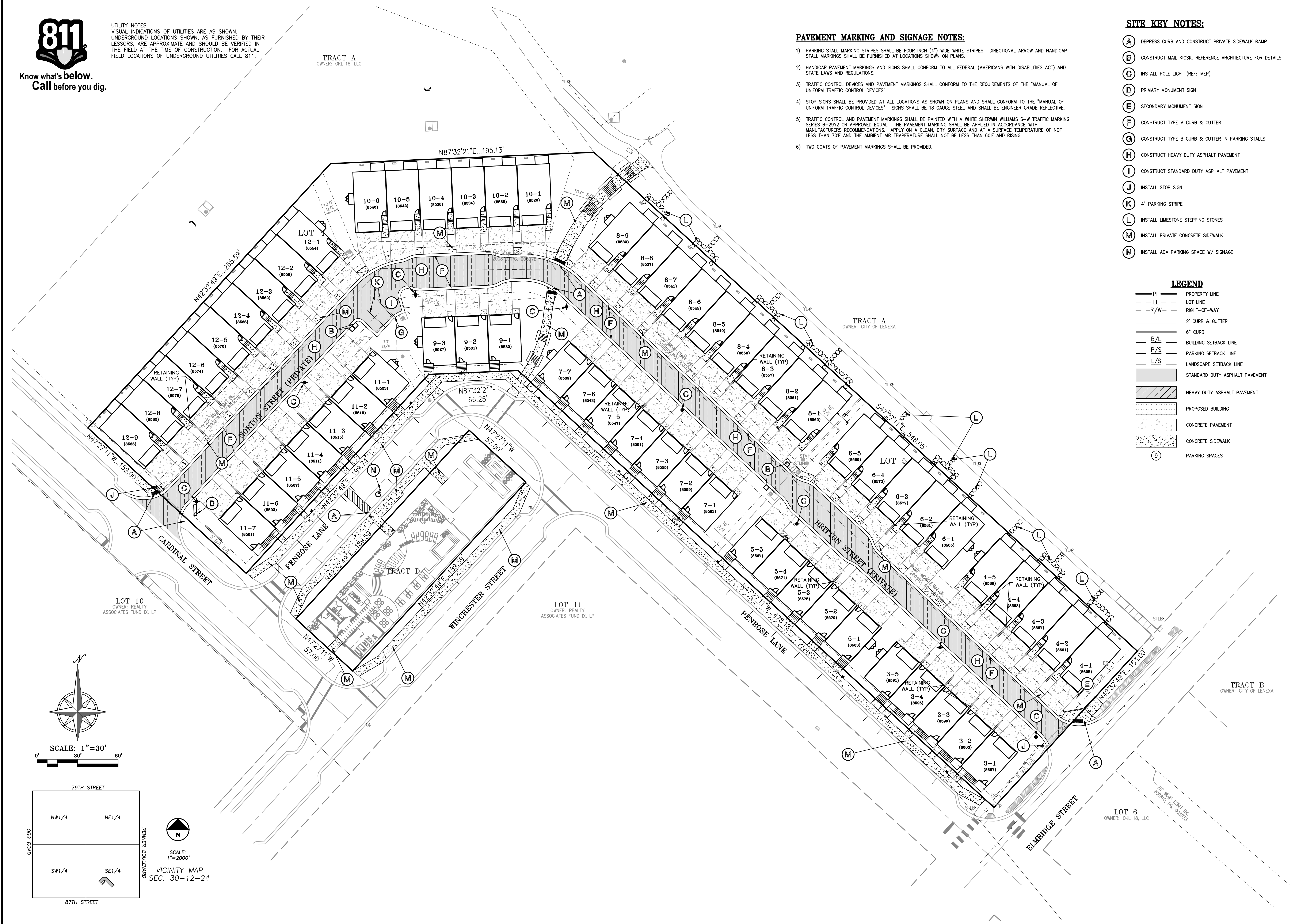
- 1) PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- 2) HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- 3) TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- 4) STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- 5) TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-29Y2 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70° AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60° AND RISING.
- 6) TWO COATS OF PAVEMENT MARKINGS SHALL BE PROVIDED.

SITE KEY NOTES:

- (A) DEPRESS CURB AND CONSTRUCT PRIVATE SIDEWALK RAMP
- (B) CONSTRUCT MAIL KIOSK. REFERENCE ARCHITECTURE FOR DETAILS
- (C) INSTALL POLE LIGHT (REF: MEP)
- (D) PRIMARY MONUMENT SIGN
- (E) SECONDARY MONUMENT SIGN
- (F) CONSTRUCT TYPE A CURB & GUTTER
- (G) CONSTRUCT TYPE B CURB & GUTTER IN PARKING STALLS
- (H) CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT
- (I) CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT
- (J) INSTALL STOP SIGN
- (K) 4" PARKING STRIPE
- (L) INSTALL LIMESTONE STEPPING STONES
- (M) INSTALL PRIVATE CONCRETE SIDEWALK
- (N) INSTALL ADA PARKING SPACE W/ SIGNAGE

LEGEND

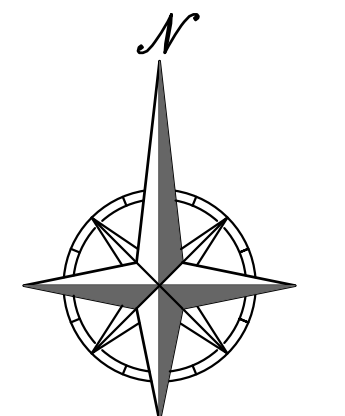
- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' — 2' CURB & GUTTER
- 6" — 6" CURB
- B/L — BUILDING SETBACK LINE
- P/S — PARKING SETBACK LINE
- L/S — LANDSCAPE SETBACK LINE
- [Pattern] — STANDARD DUTY ASPHALT PAVEMENT
- [Pattern] — HEAVY DUTY ASPHALT PAVEMENT
- [Pattern] — PROPOSED BUILDING
- [Pattern] — CONCRETE PAVEMENT
- [Pattern] — CONCRETE SIDEWALK
- (9) — PARKING SPACES



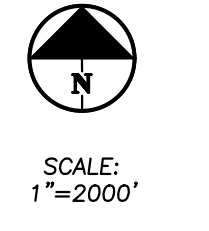
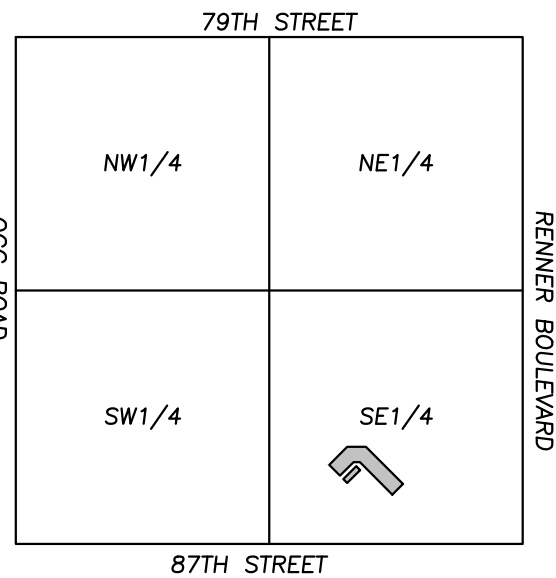
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OWNER: REALTY ASSOCIATES FUND IX, LP

LOT 6
OWNER: OKL 18, LLC



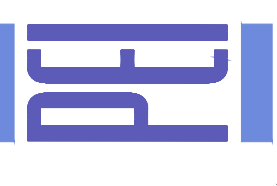
SCALE: 1"=30'
0' 30' 60'



SCALE: 1"=2000'
VICINITY MAP
SEC. 30-12-24

PHILIPS ENGINEERING, INC.
1370 N. Windhester
Olathe, Kansas 66066
(913) 993-1155
Fax: (913) 993-1165
www.philipsengineering.com

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SITE PLAN
LENEXA CITY CENTER - NORTH VILLAGE TOWNHOMES
LENEXA, KANSAS
FINAL DEVELOPMENT PLANS

No.	Date	Revisions:	By	App.

PROJECT NO. 240956
DATE: 04-28-2025
DRAWN: BAG
CHECKED: DEU
APPROVED: DEU
CITY OF LENEXA
LAND SURVEYING - LS-82
ENGINEERING - E-361
CERTIFICATE OF AUTHORIZATION
LAND SURVEYING: 200701028
ENGINEERING: 200300308

SHEET
C101

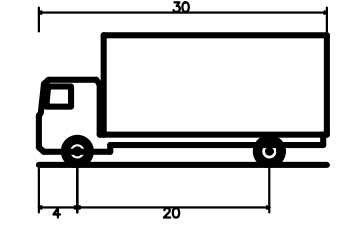
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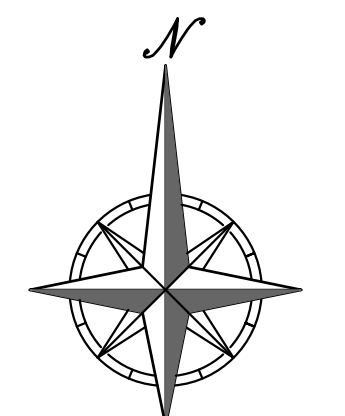
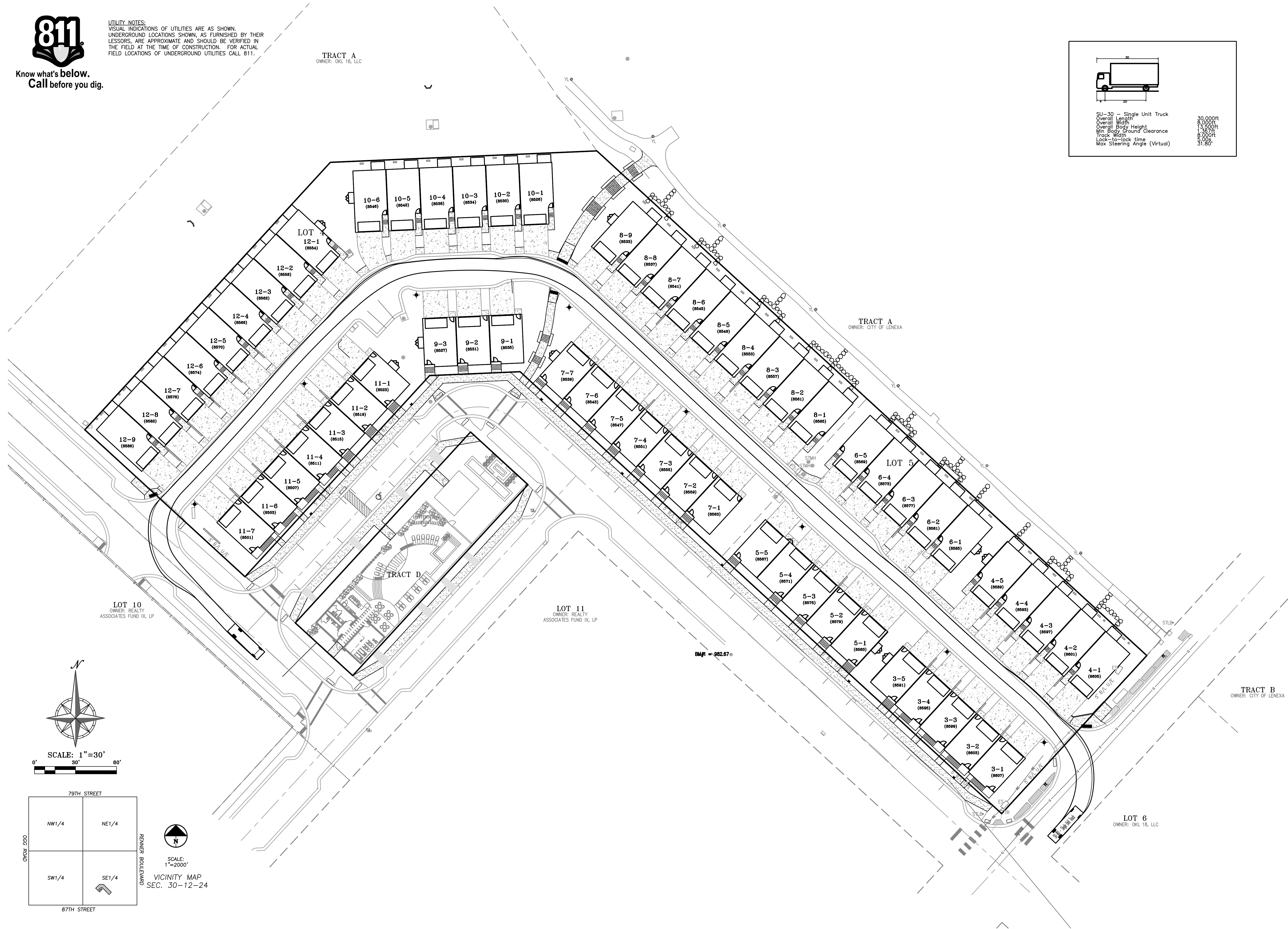
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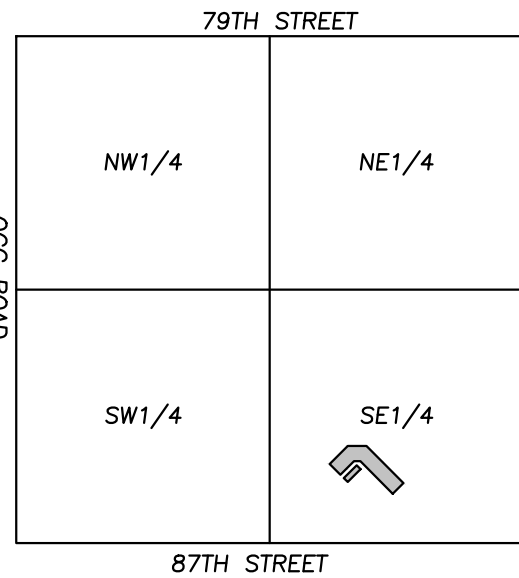
TRACT A
OWNER: OKL 18, LLC



SU-30 - Single Unit Truck
 Overall Length 30.000ft
 Overall Width 8.000ft
 Overall Body Height 13.500ft
 Min. Body Ground Clearance 3.87ft
 Track Width 8.000ft
 Lock-to-lock time 8.00s
 Max Steering Angle (Virtual) 31.80°



SCALE: 1"=30'
0' 30' 60'



SCALE: 1"=2000'
RENNER BOULEVARD

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TRUCK TURN PLAN
LENEXA CITY CENTER - NORTH VILLAGE TOWNHOMES
LENEXA, KANSAS
FINAL DEVELOPMENT PLANS

No.	Date	Revisions:	By	App.

SHEET
C102

\\phelps-engineering\projects\30-12-24\30-12-24\final_development_plans\TRUCK_TURN_PLAN.dwg Layout:1 Apr 28, 2025 - 9:41am Bradley Daut



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LEGEND

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- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' CURB & GUTTER
- 920 — EXISTING CONTOURS
- 918 — PROPOSED CONTOURS
- 918 — EXISTING STORM SEWER
- PROPOSED RETAINING WALL

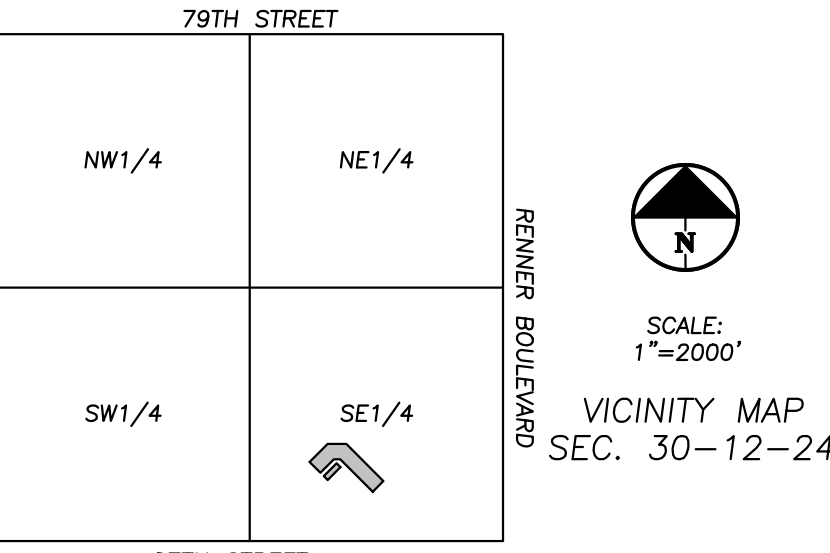
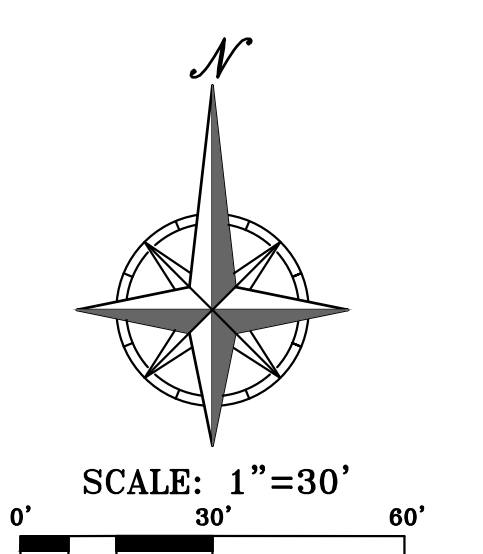
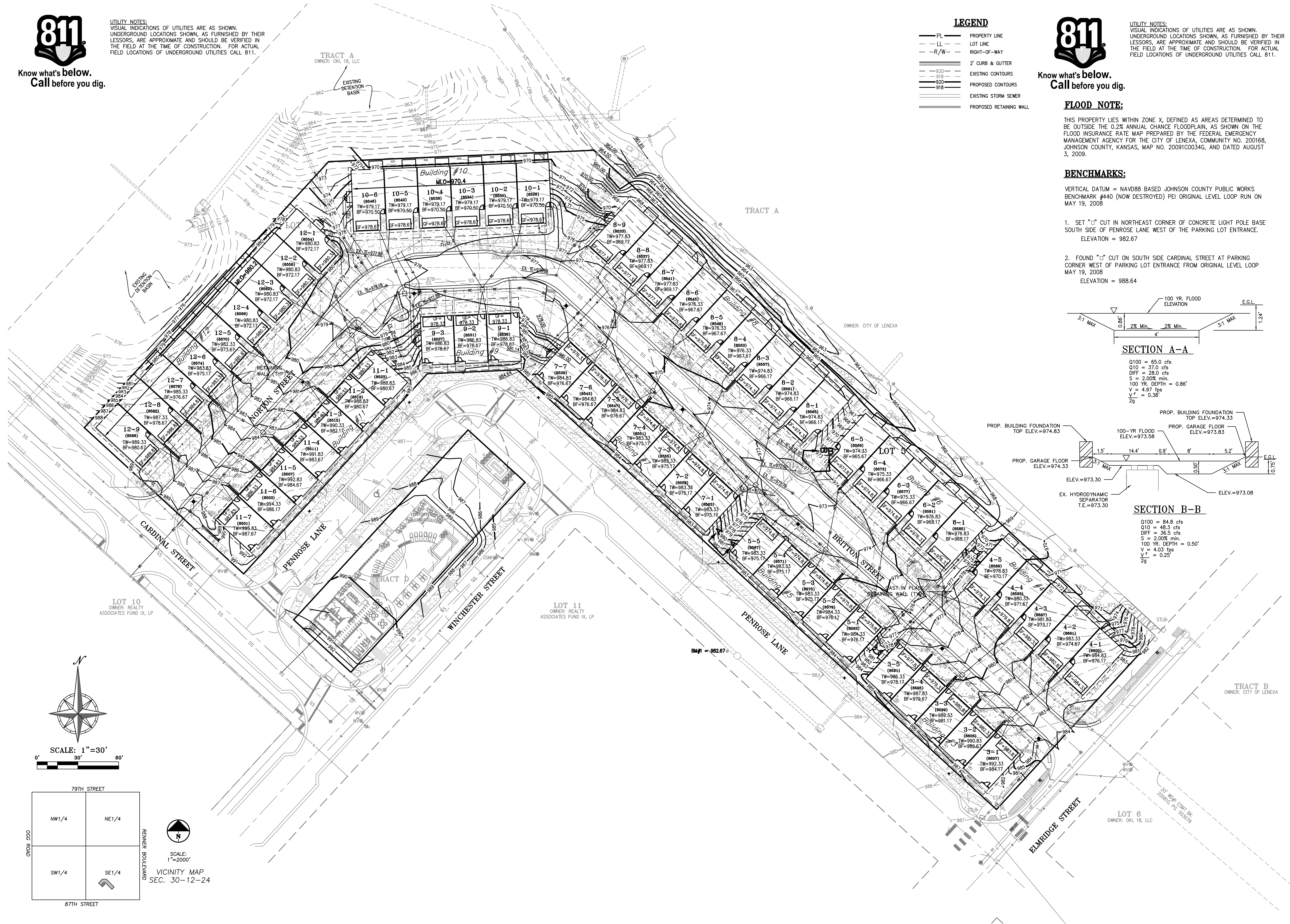
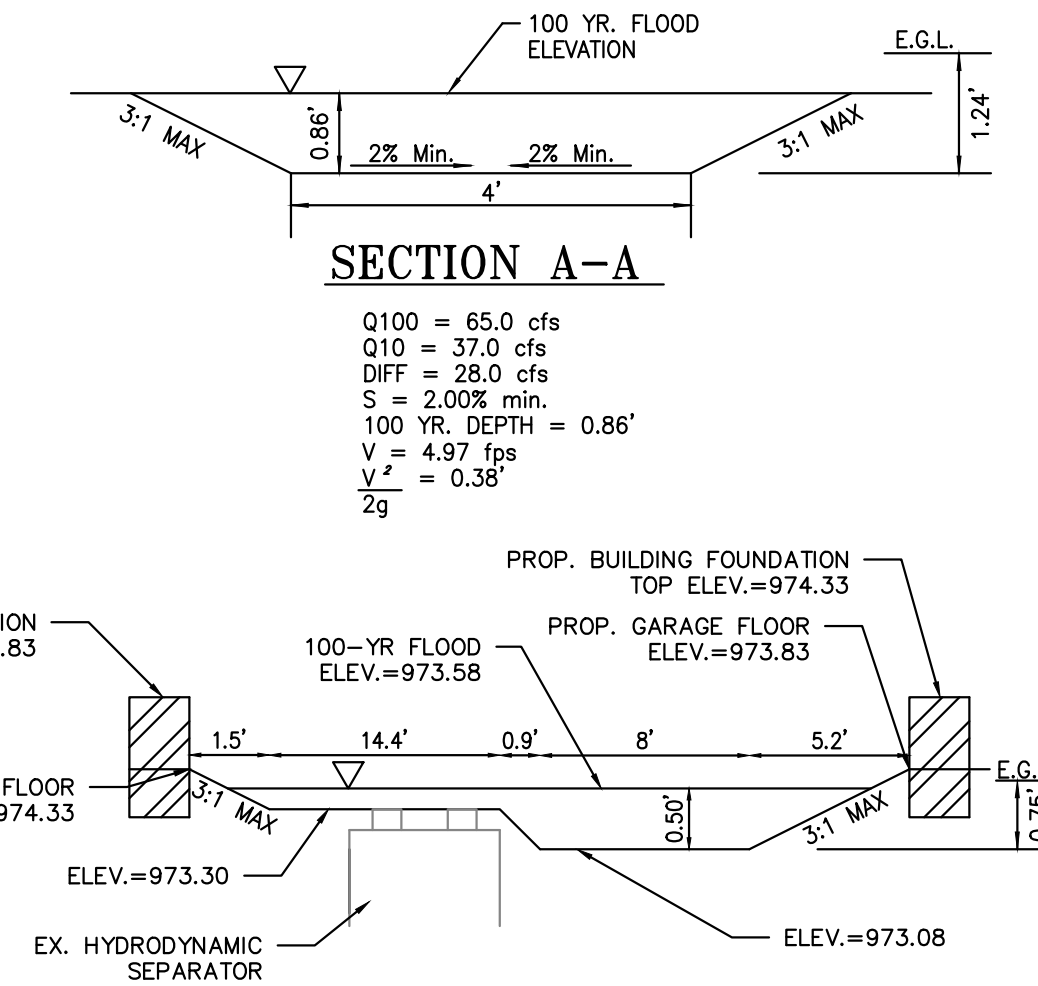
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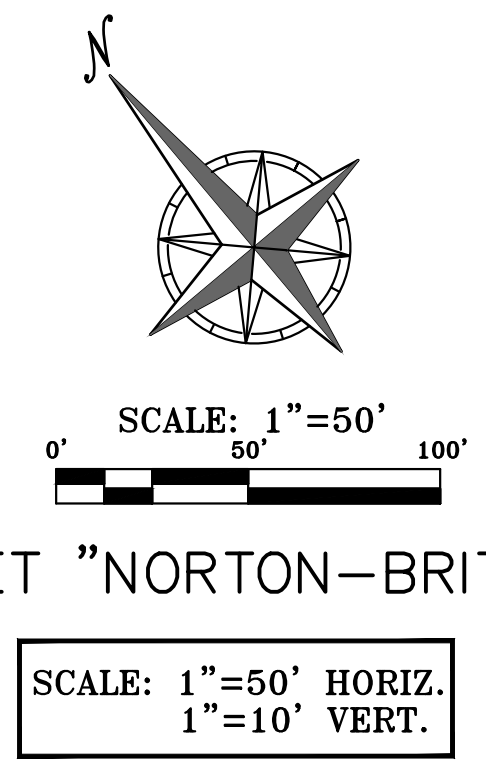
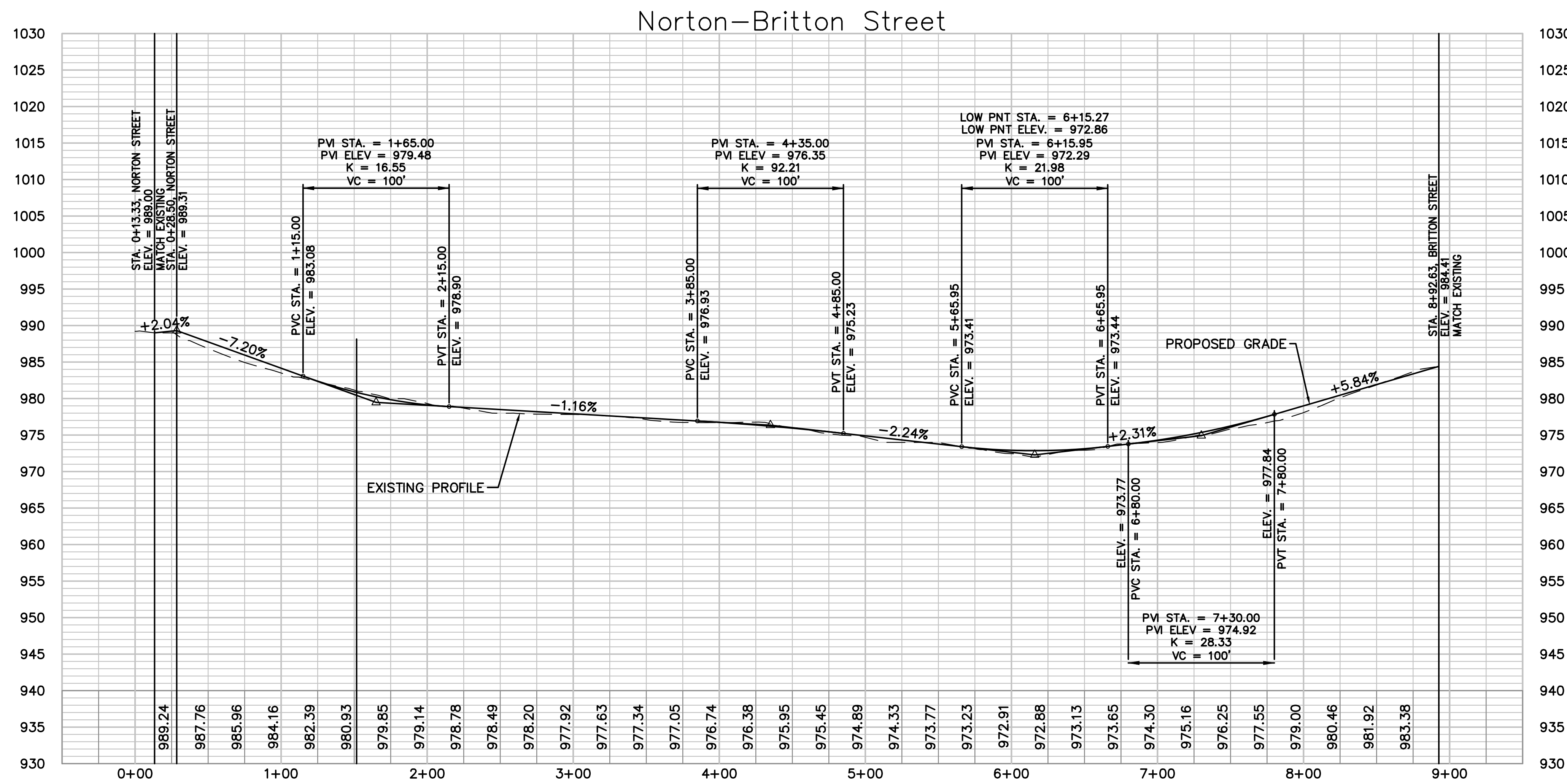
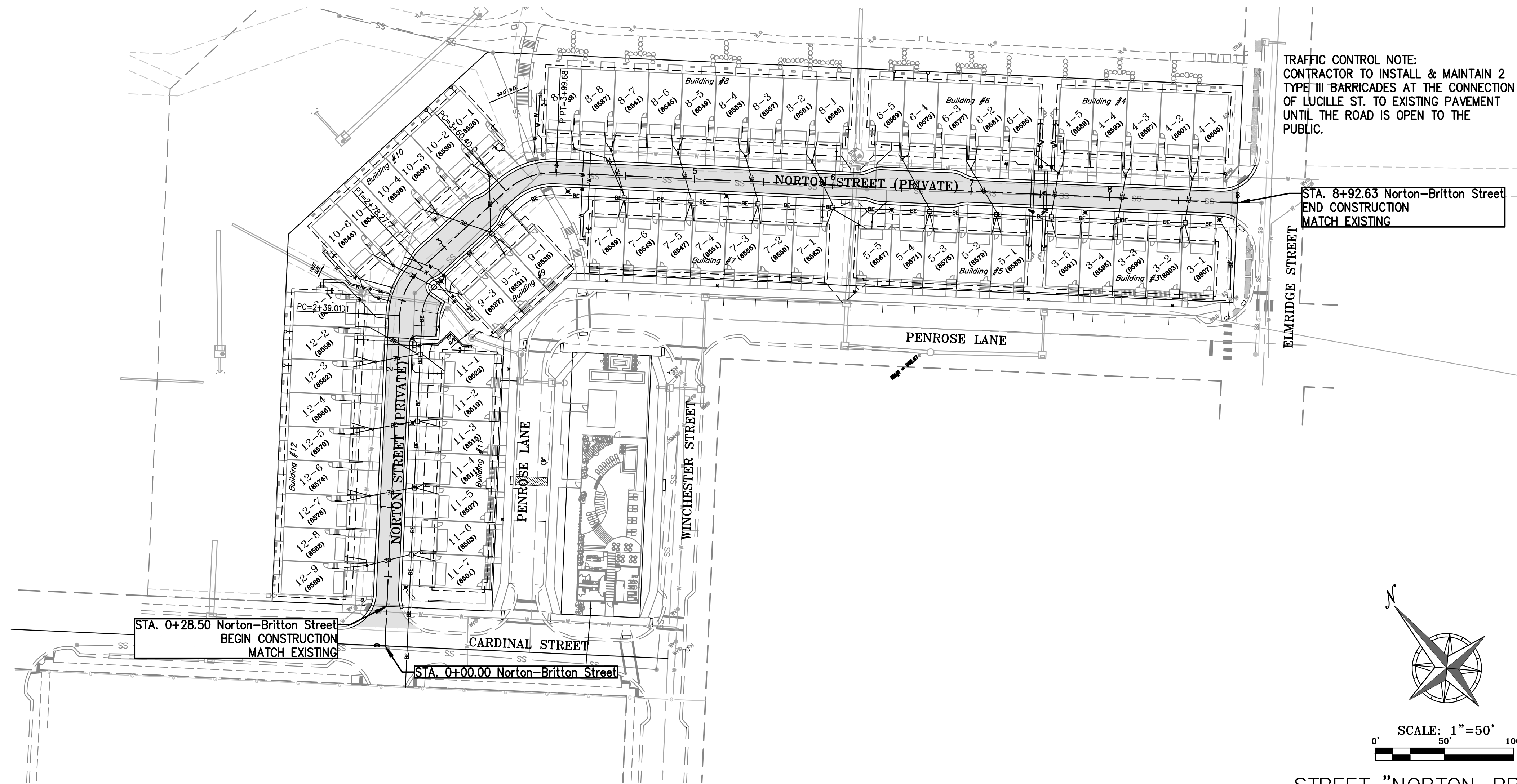
LENEXA CITY CENTER - NORTH VILLAGE TOWNHOMES
LENEXA, KANSAS
FINAL DEVELOPMENT PLANS

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CITY OF LENEXA
LAND SURVEYING - LS-82
ENGINEERING - E-361
CERTIFICATE OF AUTHORIZATION
LAND SURVEYING: 200701028
ENGINEERING: 200300308

SHEET
C200

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PROJECT NO.	DATE	BY	APP.
240956	04-28-2025		
CHECKED/DEU	APPROVED/DEU		
CERTIFICATE OF AUTHORIZATION			
LAND SURVEYING - LS-82			
ENGINEERING - E-91			
CERTIFICATE OF AUTHORIZATION			
LAND SURVEYING-20070128			
ENGINEERING-20070028			



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TRACT A OWNER: OKL 18, LLC

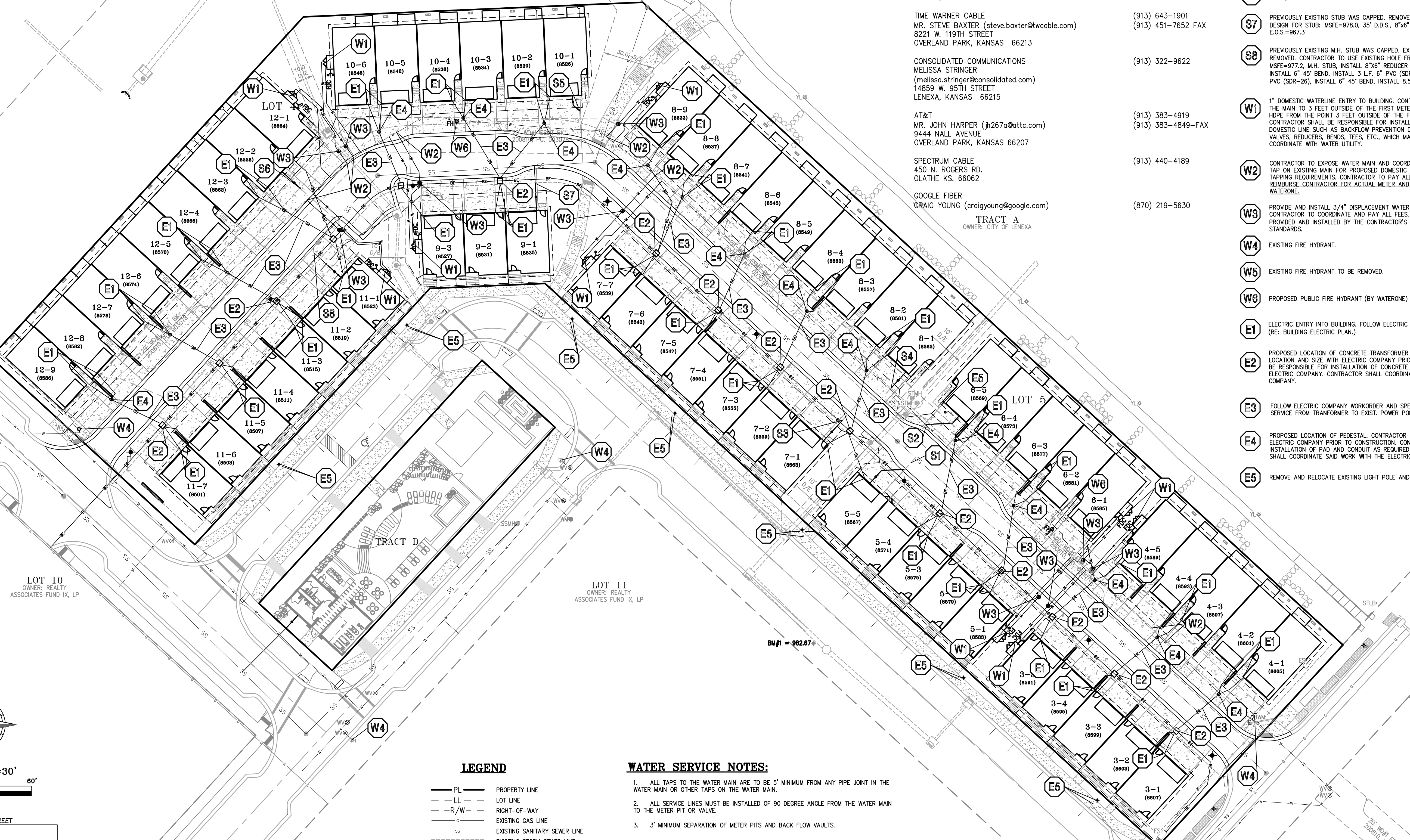
UTILITY COMPANIES:

- KANSAS GAS SERVICE - ONEOK (913) 599-8978
BRANDON MARSHALL (913) 205-7240 CELL
ENGINEER I - PIPING SYSTEMS/ ENGINEERING SERVICES
EVERGY (913) 894-3082
ERIC BOWEN (eric.bowen@kcpk.com) (913) 894-3086-FAX
LENEXA, KANSAS 66219
JOHNSON COUNTY WASTEWATER (913) 715-8500-PHONE
11811 S. SUNSET DRIVE, SUITE 2500 (913) 715-8501-FAX
OLATHE, KANSAS 66061 (913) 715-8520-INSPECTIONS
WATER DISTRICT #1 OF JOHNSON COUNTY (913) 895-5773
MR. KIEL JOHNSON (kjohnson@waterone.org) (913) 895-1827 FAX
10747 RENNER BLVD.
LENEXA, KANSAS 66219
TIME WARNER CABLE (913) 643-1901
MR. STEVE BAXTER (steve.baxter@twcable.com) (913) 451-7652 FAX
8221 W. 119TH STREET
OVERLAND PARK, KANSAS 66213
CONSOLIDATED COMMUNICATIONS (913) 322-9622
MELISSA STRINGER (melissa.stringer@consolidated.com)
14859 W. 95TH STREET
LENEXA, KANSAS 66215
AT&T (913) 383-4919
MR. JOHN HARPER (j267a@att.com) (913) 383-4849-FAX
9444 NALL AVENUE
OVERLAND PARK, KANSAS 66207
SPECTRUM CABLE (913) 440-4189
450 N. ROGERS RD.
OLATHE KS. 66062
GOOGLE FIBER (870) 219-5630
CRAIG YOUNG (craigyoung@google.com)

UTILITY KEY NOTES:

- S1 USE IN PLACE EXISTING TEE, MSFE=975.5, 14" D.D.S., 8"x6" PVC TEE, 9.9 L.F. 6" PVC RISER, 8.5 L.F. 6" PVC, FL @ E.O.S.=968.0
S2 USE IN PLACE EXISTING TEE, MSFE=966.7, 6" D.D.S., 8"x6" PVC TEE, 1.4 L.F. 6" PVC RISER, 17 L.F. 6" PVC, FL @ E.O.S.=961.9
S3 USE IN PLACE EXISTING TEE, MSFE=975.5, 205" D.D.S., 8"x6" DIP TEE, 12 L.F. 6" PVC RISER, 0.5 L.F. 6" PVC, FL @ E.O.S.=968.4
S4 USE IN PLACE EXISTING TEE, MSFE=966.7, 213" D.D.S., 8"x6" DIP TEE, 20 L.F. 6" PVC @ 6.00%, FL @ E.O.S.=961.2
S5 USE IN PLACE EXISTING TEE, MSFE=971.0, 7" D.D.S., 8"x6" DIP TEE, 12 L.F. 6" PVC RISER, 18 L.F. 6" PVC, FL @ E.O.S.=967.1
S6 USE IN PLACE EXISTING TEE, MSFE=972.7, 35" D.D.S., 8"x6" PVC TEE, 28 L.F. 6" PVC @ 6.45%, FL @ E.O.S.=969.7
S7 PREVIOUSLY EXISTING STUB WAS CAPPED. REMOVE CAP AND RETURN TO PREVIOUS STATE. DESIGN FOR STUB: MSFE=978.0, 35" D.D.S., 8"x6" DIP TEE, 10 L.F. 6" PVC RISER, FL @ E.O.S.=967.3
S8 PREVIOUSLY EXISTING M.H. STUB WAS CAPPED. EXISTING MAIN LINE COMING INTO M.H. TO BE REMOVED. CONTRACTOR TO USE EXISTING HOLE FROM 8" MAIN. M.H. DESIGN FOR STUB: MSFE=977.2, M.H. STUB, INSTALL 8"x6" REDUCER AT M.H., INSTALL 2 L.F. 6" PVC (SDR-26), INSTALL 6" 45" BEND, INSTALL 3 L.F. 6" PVC (SDR-26), INSTALL 45" BEND, INSTALL 2 L.F. 6" PVC (SDR-26), INSTALL 6" 45" BEND, INSTALL 8.5 L.F. 6" PVC RISER, FL @ E.O.S.=974.2
W1 1" DOMESTIC WATERLINE ENTRY TO BUILDING. CONTRACTOR SHALL USE TYPE K COPPER FROM THE MAIN TO 3 FEET OUTSIDE OF THE FIRST METER PIT. CONTRACTOR MAY TRANSITION TO HOPE FROM THE POINT 3 FEET OUTSIDE OF THE FIRST METER PIT TO THE BUILDING ENTRY. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES (RE: BUILDING PLANS), GATE VALVES, REDUCERS, BENDS, TEES, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH WATER UTILITY.
W2 CONTRACTOR TO EXPOSE WATER MAIN AND COORDINATE FOR WATERONE TO INSTALL 8"x1" TAP ON EXISTING MAIN FOR PROPOSED DOMESTIC SERVICE LINE. CONTACT WATERONE FOR TAPPING REQUIREMENTS. CONTRACTOR TO PAY ALL FEES FOR WATER MAIN TAP. OWNER WILL REIMBURSE CONTRACTOR FOR ACTUAL METER AND SYSTEM DEVELOPMENT FEES ASSESSED BY WATERONE.
W3 PROVIDE AND INSTALL 3/4" DISPLACEMENT WATER METER PIT PER WATERONE REQUIREMENTS. CONTRACTOR TO COORDINATE AND PAY ALL FEES. ALL LABOR AND MATERIALS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR'S PLUMBER IN ACCORDANCE WITH WATERONE STANDARDS.
W4 EXISTING FIRE HYDRANT.
W5 EXISTING FIRE HYDRANT TO BE REMOVED.
W6 PROPOSED PUBLIC FIRE HYDRANT (BY WATERONE)
E1 ELECTRIC ENTRY INTO BUILDING. FOLLOW ELECTRIC COMPANY REQUIREMENTS (RE: BUILDING ELECTRIC PLAN).
E2 PROPOSED LOCATION OF CONCRETE TRANSFORMER PAD. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH ELECTRIC COMPANY PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONCRETE PAD AND CONDUIT AS REQUIRED BY THE ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE SAID WORK WITH THE ELECTRIC COMPANY.
E3 FOLLOW ELECTRIC COMPANY WORKORDER AND SPECIFICATIONS FOR PRIMARY ELECTRICAL SERVICE FROM TRANSFORMER TO EXIST. POWER POLE.
E4 PROPOSED LOCATION OF PEDESTAL. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH ELECTRIC COMPANY PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PAD AND CONDUIT AS REQUIRED BY THE ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE SAID WORK WITH THE ELECTRIC COMPANY.
E5 REMOVE AND RELOCATE EXISTING LIGHT POLE AND CONCRETE PEDESTAL.

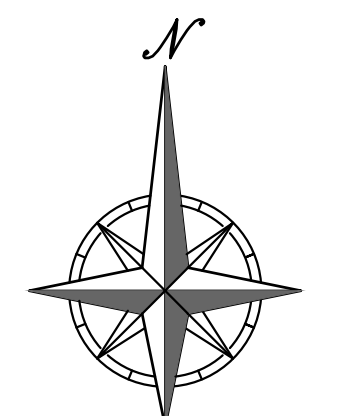
TRACT A OWNER: CITY OF LENEXA



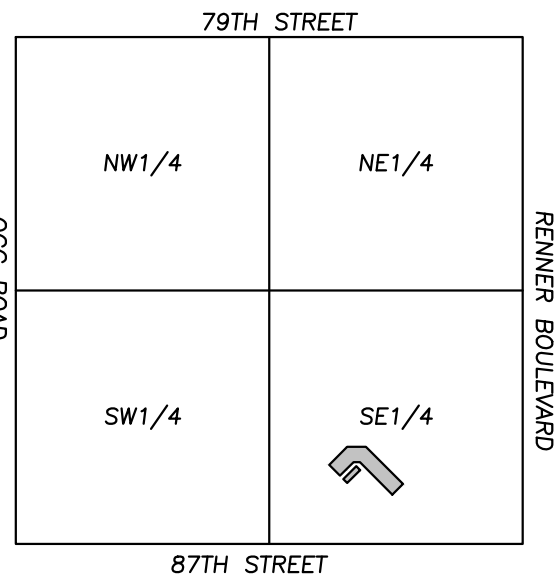
LOT 10 OWNER: REALTY ASSOCIATES FUND IX, LP

LOT 11 OWNER: REALTY ASSOCIATES FUND IX, LP

LOT 6 OWNER: OKL 18, LLC



SCALE: 1"=30'



SCALE: 1"=2000' VICINITY MAP SEC. 30-12-24

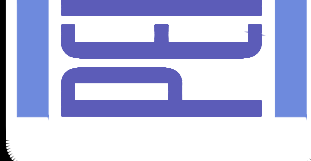
- LEGEND: PL PROPERTY LINE, LL LOT LINE, R/W RIGHT-OF-WAY, G EXISTING GAS LINE, SS EXISTING SANITARY SEWER LINE, S EXISTING STORM SEWER LINE, W EXISTING WATER LINE, BE PROPOSED BURIED ELECTRIC LINE, SS PROPOSED SANITARY SEWER LINE, S PROPOSED STORM SEWER LINE, W PROPOSED WATER LINE, F PROPOSED FIRE LINE, CH PROPOSED FIRE HYDRANT, O KCPCL PEDISTAL, □ KCPCL TRANSFORMER

WATER SERVICE NOTES:

- 1. ALL TAPS TO THE WATER MAIN ARE TO BE 5' MINIMUM FROM ANY PIPE JOINT IN THE WATER MAIN OR OTHER TAPS ON THE WATER MAIN.
2. ALL SERVICE LINES MUST BE INSTALLED AT 90 DEGREE ANGLE FROM THE WATER MAIN TO THE METER PIT OR VALVE.
3. 3' MINIMUM SEPARATION OF METER PITS AND BACK FLOW VALVES.

PHELPS ENGINEERING, INC. 1370 N. Windhester Olathe, Kansas 66061 (913) 993-1155 Fax: (913) 993-1165 www.phelpsendgineering.com

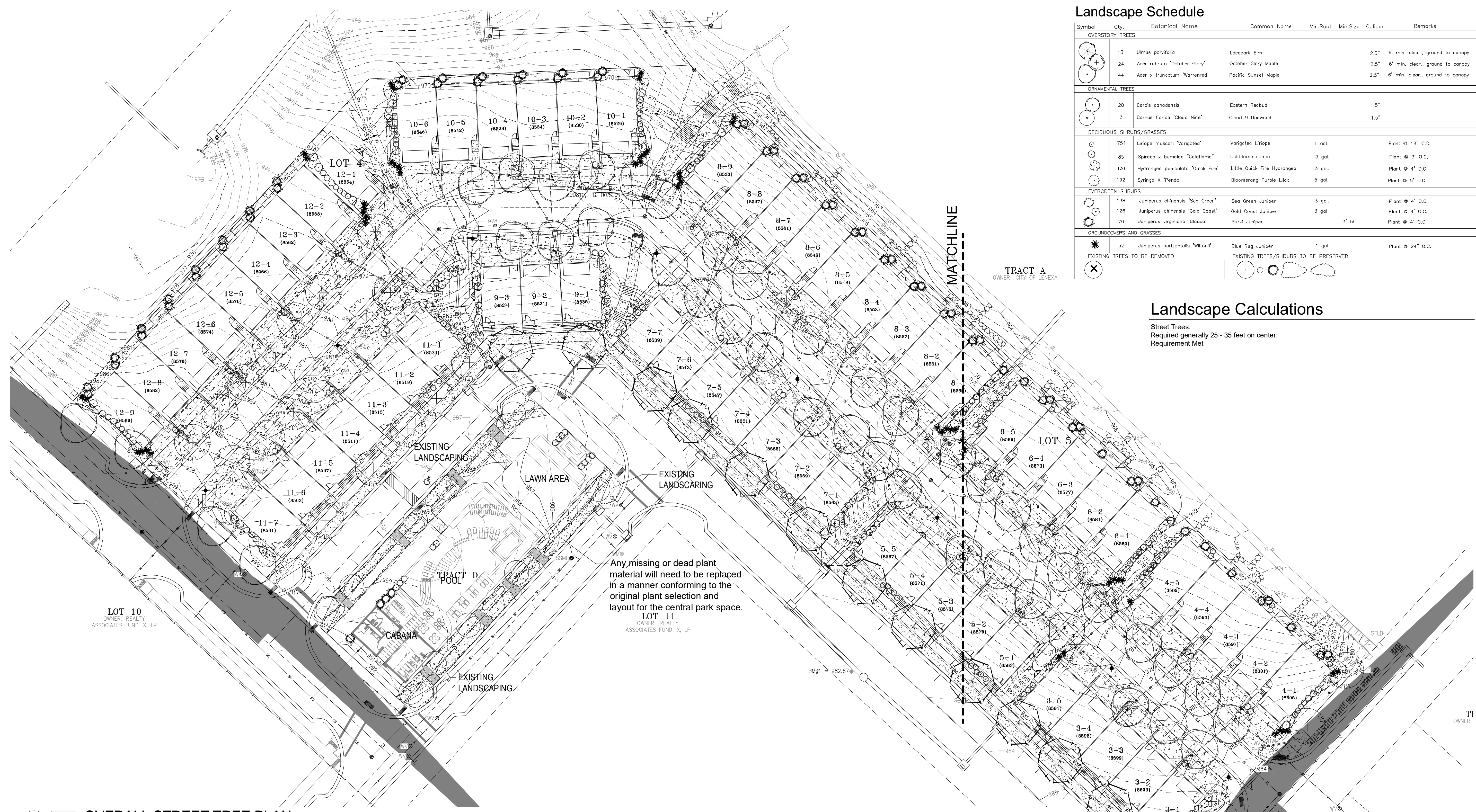
PLANNING ENGINEERING IMPLEMENTATION



UTILITY PLAN LENEXA CITY CENTER - NORTH VILLAGE TOWNHOMES LENEXA, KANSAS FINAL DEVELOPMENT PLANS

Table with columns: No., Date, Revisions, By, App. Includes project details like PROJECT NO. 240956, DATE 04-28-2025, DRAWN: BAC, CHECKED: DEU, APPROVED: DEU, CREDIT: DATE OF AUTHORIZATION, LAND SURVEYING - LS-82, ENGINEERING - E-36, CERTIFICATE OF AUTHORIZATION, LAND SURVEYING: 200700128, ENGINEERING: 200500038.

SHEET C400

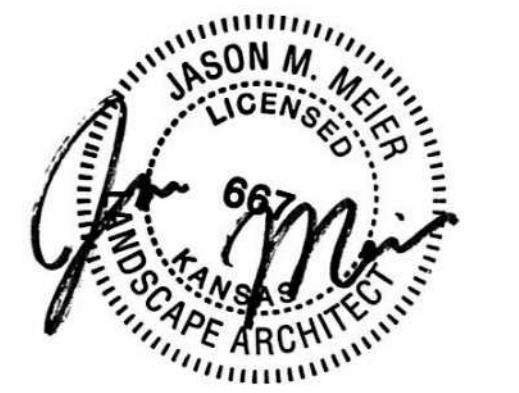


Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	13	Ulmus parvifolia	Lacebark Elm		2.5"	6"	6' min. clear., ground to canopy
	24	Acer rubrum 'October Glory'	October Glory Maple		2.5"	6"	6' min. clear., ground to canopy
	44	Acer x truncatum 'Warrenred'	Pacific Sunset Maple		2.5"	6"	6' min. clear., ground to canopy
ORNAMENTAL TREES							
	20	Cercis canadensis	Eastern Redbud		1.5"		
	3	Cornus florida 'Cloud Nine'	Cloud 9 Dogwood		1.5"		
DECIDUOUS SHRUBS/GRASSES							
	751	Liriodendron 'Variegated'	Variegated Liriodendron	1 gal.			Plant @ 18" O.C.
	85	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	3 gal.			Plant @ 3' O.C.
	131	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea	3 gal.			Plant @ 4' O.C.
	192	Syringa X 'Penda'	Blooming Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
	138	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
	126	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
	70	Juniperus virginiana 'Clausa'	Burk's Juniper	3" HL			Plant @ 4' O.C.
GROUNDCOVERS AND GRASSES							
	52	Juniperus horizontalis 'Wiltoni'	Blue Rug Juniper	1 gal.			Plant @ 24" O.C.
EXISTING TREES TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							

Landscape Calculations

Street Trees:
Required generally 25 - 35 feet on center.
Requirement Met



CLIENT

North Village, LLC
4435 Main Street
Suite 910
KCMO 64111

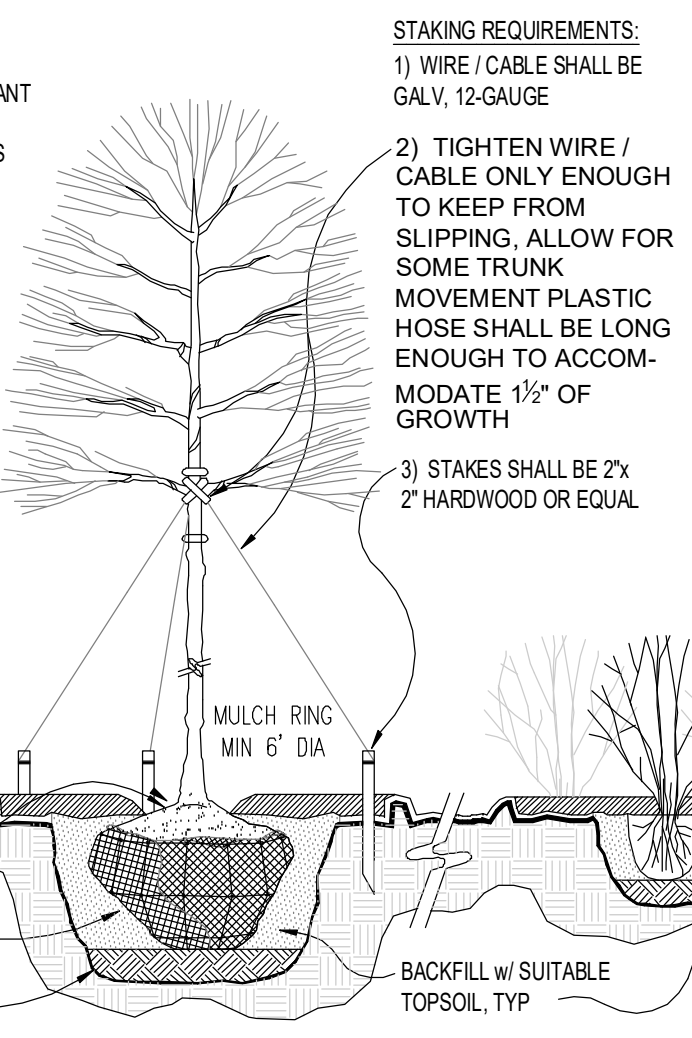
PROJECT

SITE PLAN
Lenexa City Center,
North Village,
Lenexa KS

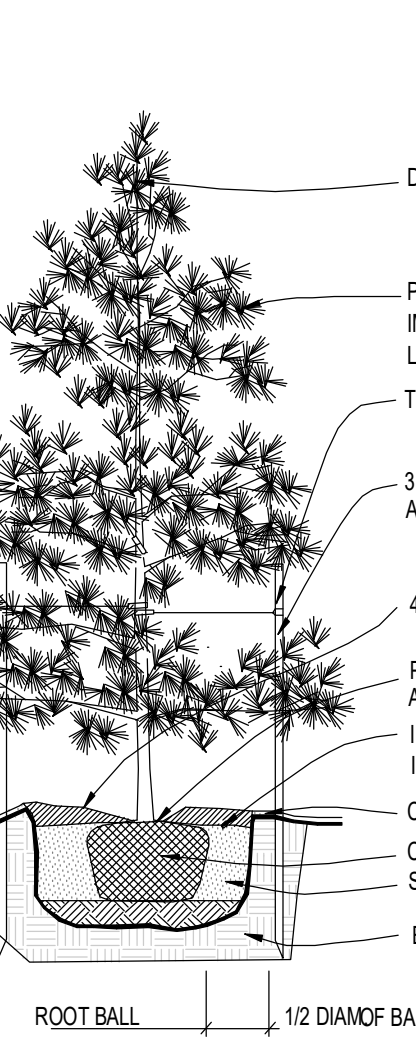
1 OVERALL STREET TREE PLAN

SCALE: 1"=30'-0"

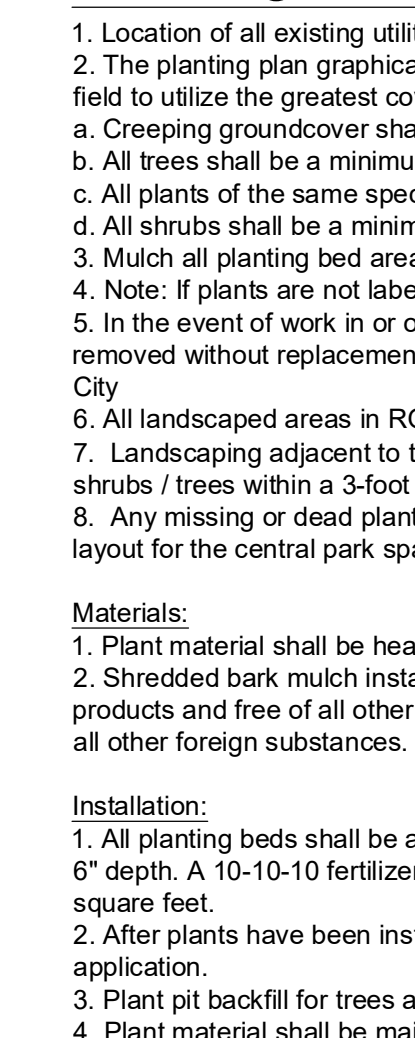
- TREE PLANTING NOTES:**
- DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 - SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.
 - APPLY 4" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK.
 - EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL.
 - REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS).
 - PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP.



- STAKING REQUIREMENTS:**
- WIRE / CABLE SHALL BE GALV. 12-GAUGE.
 - TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH.
 - STAKES SHALL BE 2"x 2" HARDWOOD OR EQUAL.



- PERENNIAL PLANTING NOTES:**
- APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS.
 - THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL.
 - BREAK UP EXISTING SOIL TO A DEPTH OF 24".
 - PROVIDE NEW TOPSOIL TO A DEPTH OF 12".
- SHRUB PLANTING NOTES:**
- SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER.
 - PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE.
- INITIAL WATERING:** WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED.



- DO NOT PRUNE LEADER**
- PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING. NEVER LEAVE "Y" CROTCHES OR DOUBLE LEADER.
- TREE TIE SYSTEM. SEE STAKING REQUIREMENTS.
- 3 METAL STAKES. PLACE NEXT TO ROOT BALL AS SHOWN. SPACE EQUIDISTANT AROUND TREE.
- 4" MIN SPECIFIED MULCH
- PLANT ROOT BALL 2" HIGHER THAN GRADE AT WHICH TREE GREW. INSTALL WEED CONTROL FABRIC IF TREE IS IN LANDSCAPE BED.
- CONTINUOUS SAUCER, RIM FOR WATER & MULCH CUT & REMOVE BURLAP FROM TOP 1/3 OF BALL. SPECIFIED BACKFILL MIXTURE.
- EXISTING UNDISTURBED SUBSOIL.

Planting Notes

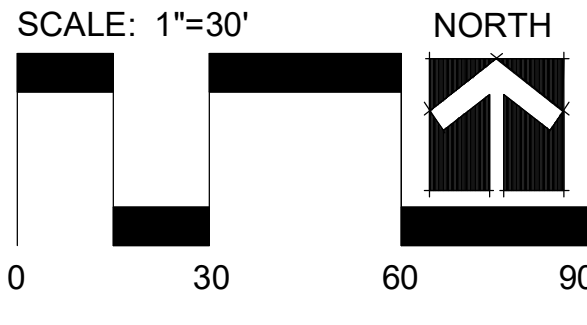
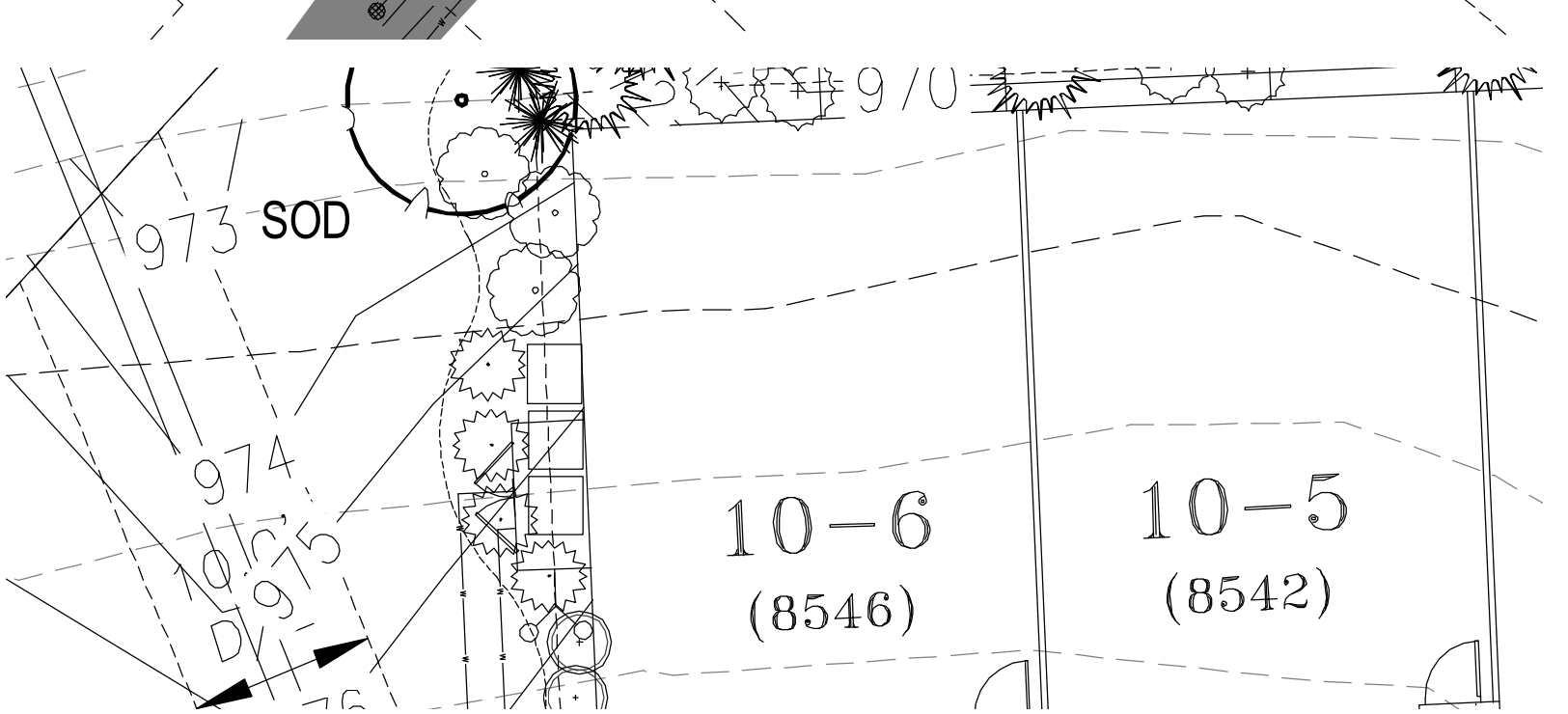
- Location of all existing utilities needs to be done before commencing work.
 - The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - Creeping groundcover shall be a minimum of 6" from paving edge.
 - All trees shall be a minimum of 3' from paving edge.
 - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - All shrubs shall be a minimum of 2' from paved edge.
 - Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
 - Note: If plants are not labeled - they are existing and shall remain.
 - In the event of work in or on a JCW sanitary main, any trees or plantings placed within the sewer easement may be removed without replacement or compensation there-of and shall be replaced by the property owner as required by the City.
 - All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.
 - Landscaping adjacent to the fire department connection shall allow for unobstructed access to the connection, with no shrubs / trees within a 3-foot radius of the connection.
 - Any missing or dead plant material will need to be replaced in a manner conforming to the original plant selection and layout for the central park space.
- Materials:**
- Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
 - Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.
- Installation:**
- All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
 - After missing or dead plant material has been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
 - Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
 - Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
 - Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

2 PLANTING INSTALLATION DETAILS

SCALE: NTS

3 TYPICAL AC UNIT SCREENING PLAN

SCALE: 1"=10'



Date: 4.18.2025
Project#: 226
Landscape Plan



Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	13	Ulmus parvifolia	Lacebark Elm		2.5"	6" min. clear., ground to canopy	
	24	Acer rubrum 'October Glory'	October Glory Maple		2.5"	6" min. clear., ground to canopy	
	44	Acer x truncatum 'Warrenred'	Pacific Sunset Maple		2.5"	6" min. clear., ground to canopy	
ORNAMENTAL TREES							
	20	Cercis canadensis	Eastern Redbud			1.5"	
	3	Cornus florida 'Cloud Nine'	Cloud 9 Dogwood			1.5"	
DECIDUOUS SHRUBS/GRASSES							
	751	Liriope muscari 'Variegated'	Variegated Liriope	1 gal.			Plant @ 18" O.C.
	85	Spiraea x bumalda 'Goldflame'	Goldflame spirea	3 gal.			Plant @ 3' O.C.
	131	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea	3 gal.			Plant @ 4' O.C.
	192	Syringa X 'Penda'	Blooming Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
	138	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
	126	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
	70	Juniperus virginiana 'Glaucu'	Burk Juniper		3' ht.		Plant @ 4' O.C.
GROUNDCOVERS AND GRASSES							
	52	Juniperus horizontalis 'Wiltoni'	Blue Rug Juniper	1 gal.			Plant @ 24" O.C.
EXISTING TREES TO BE REMOVED				EXISTING TREES/SHRUBS TO BE PRESERVED			



CLIENT

North Village, LLC
 4435 Main Street
 Suite 910
 KCMO 64111

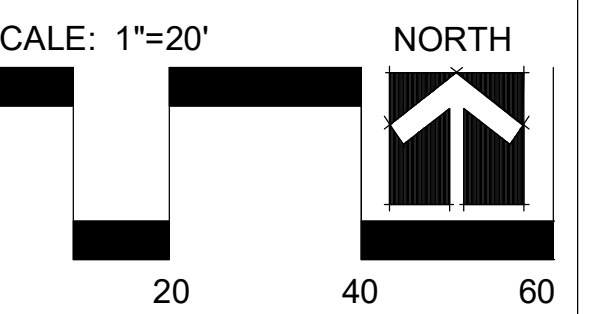
PROJECT

SITE PLAN
 Lenexa City Center,
 North Village,
 Lenexa KS



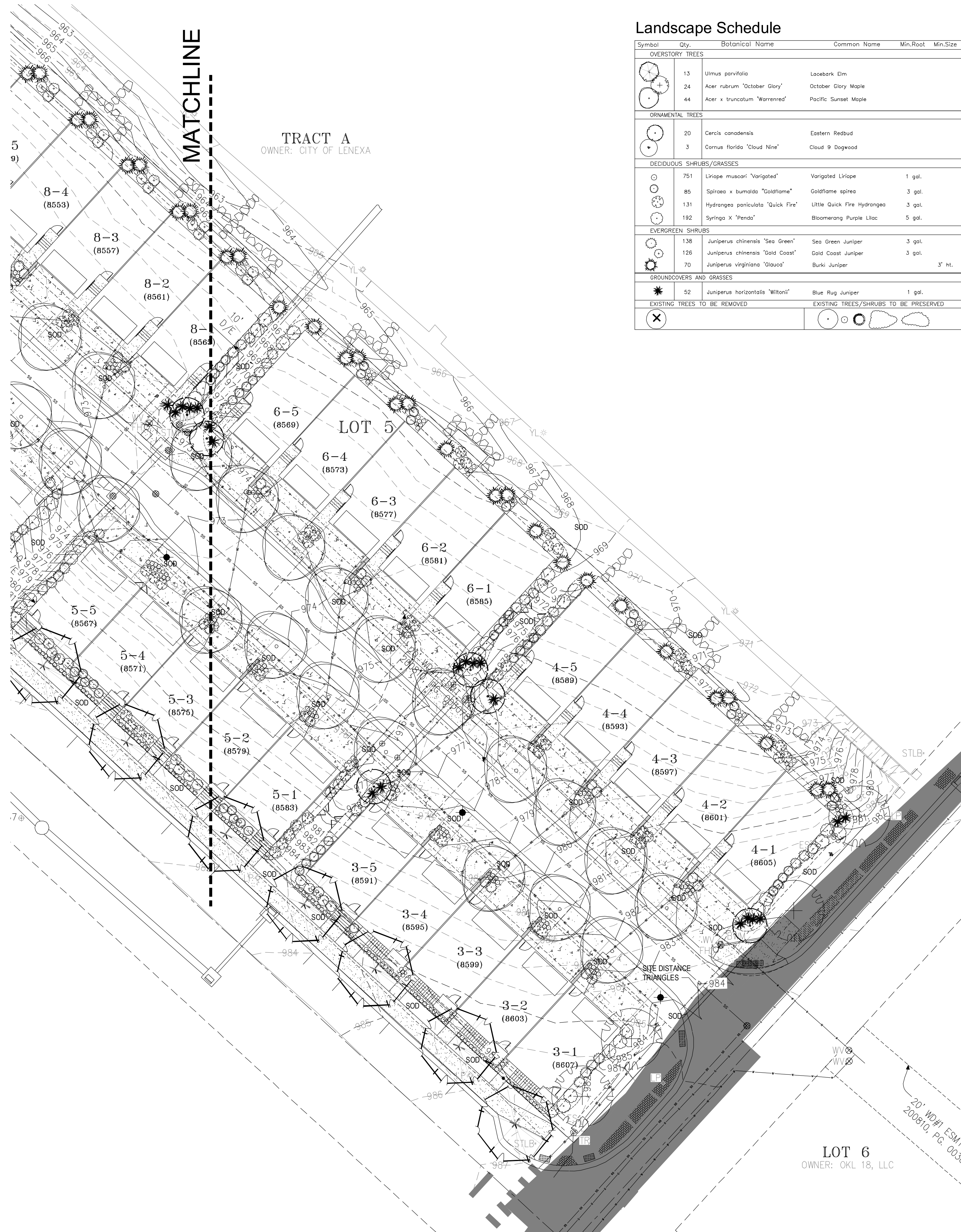
LOT 10
 OWNER: REALTY
 ASSOCIATES FUND IX, LP

Any missing or dead plant
 material will need to be replaced
 in a manner conforming to the
 original plant selection and
 layout for the central park space.
 LOT 11
 OWNER: REALTY
 ASSOCIATES FUND IX, LP



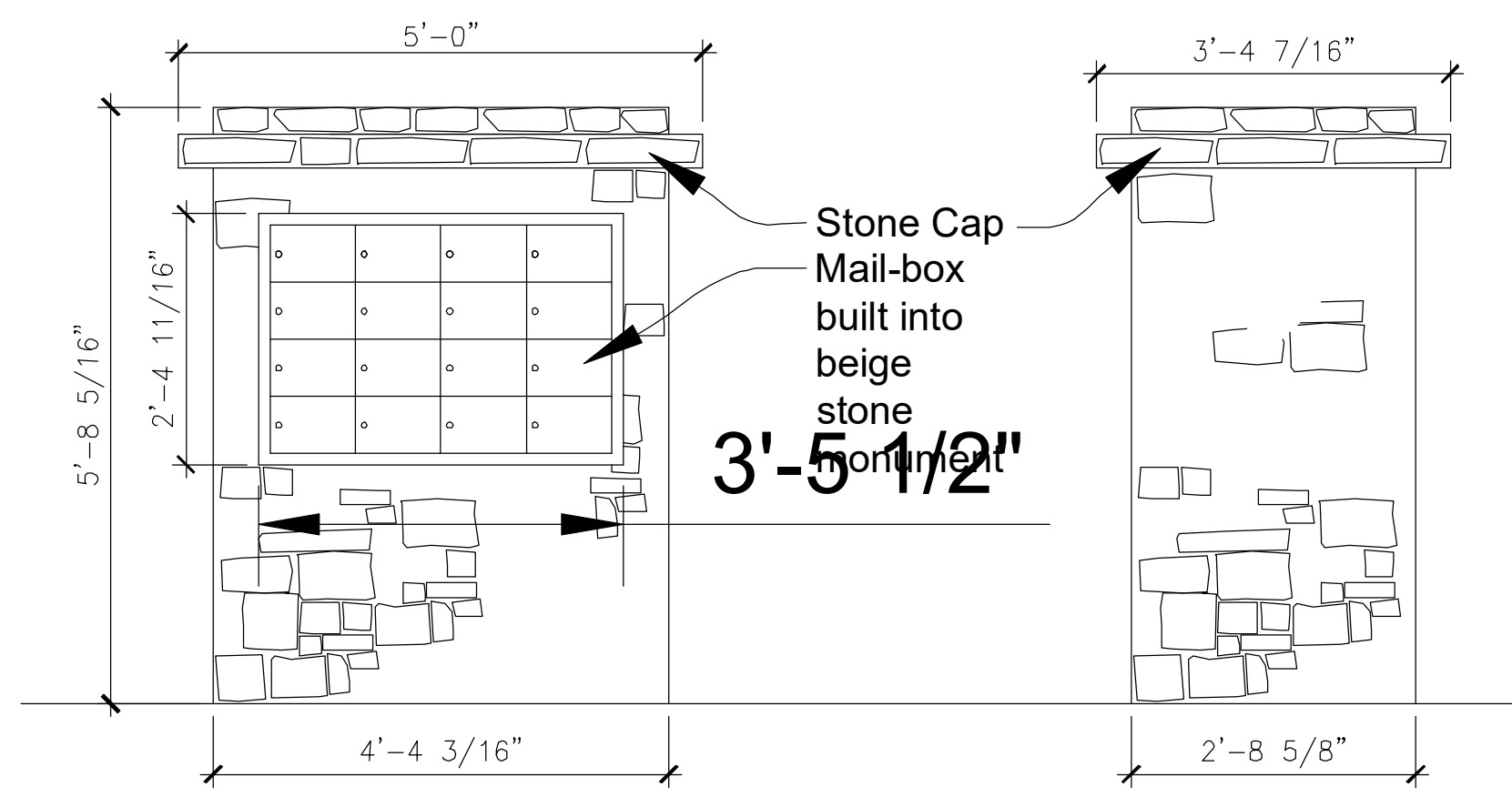
Date: 4.18.2025
 Project#: 226
 Landscape Plan



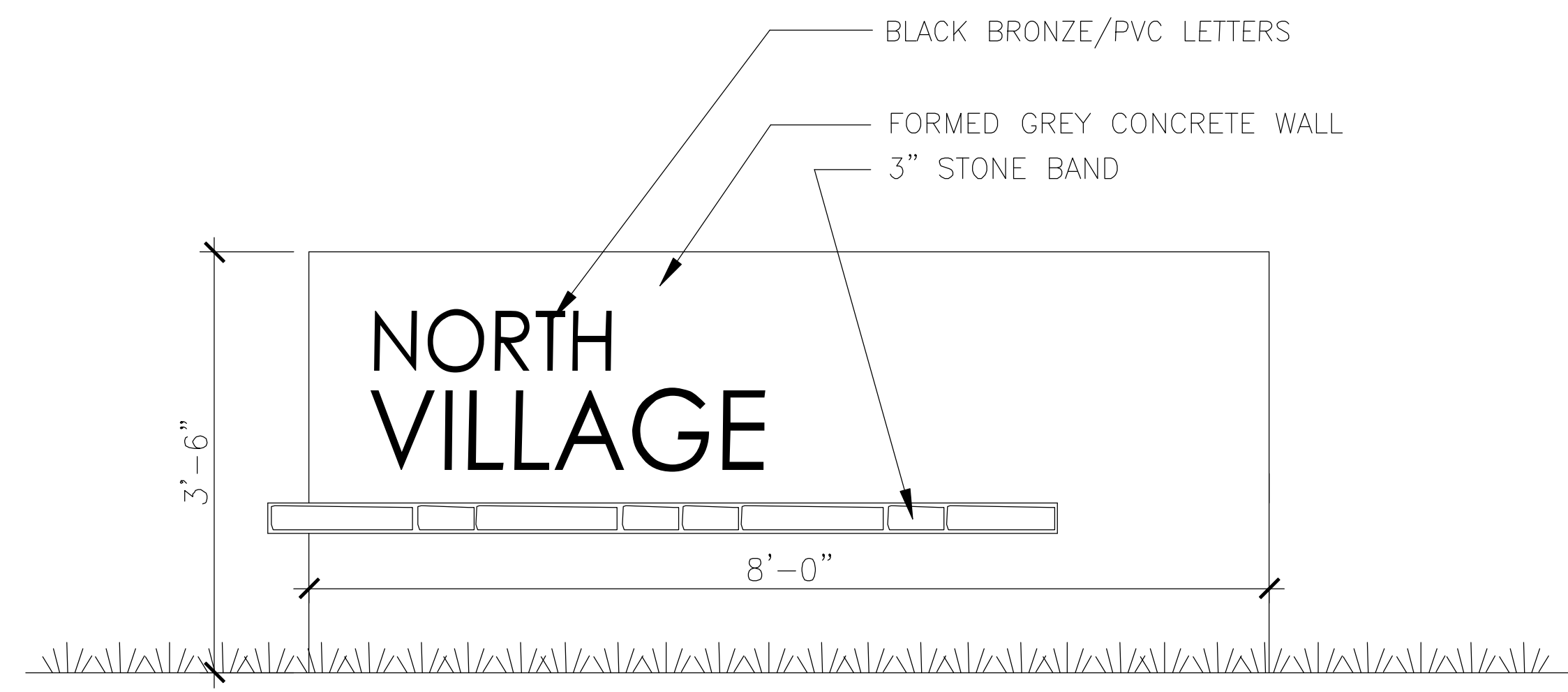


Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	13	<i>Ulmus parvifolia</i>	Limdbark Elm	2.5"	6'	min. clear., ground to canopy	
	24	<i>Acer rubrum</i> 'October Glory'	October Glory Maple	2.5"	6'	min. clear., ground to canopy	
	44	<i>Acer x truncatum</i> 'Warrenred'	Pacific Sunset Maple	2.5"	6'	min. clear., ground to canopy	
ORNAMENTAL TREES							
	20	<i>Cercis canadensis</i>	Eastern Redbud		1.5"		
	3	<i>Cornus florida</i> 'Cloud Nine'	Cloud 9 Dogwood		1.5"		
DECIDUOUS SHRUBS/GRASSES							
	751	<i>Liriope muscari</i> 'Variegated'	Variegated Liriope	1 gal.			Plant @ 18" O.C.
	85	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame spiraea	3 gal.			Plant @ 3' O.C.
	131	<i>Hydrangea paniculata</i> 'Quick Fire'	Little Quick Fire Hydrangea	3 gal.			Plant @ 4' O.C.
	192	<i>Syringa X 'Pendo'</i>	Blooming Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
	138	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
	126	<i>Juniperus chinensis</i> 'Gold Coast'	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
	70	<i>Juniperus virginiana</i> 'Draaco'	Burki Juniper		3' Ht.		Plant @ 4' O.C.
GROUNDCOVERS AND GRASSES							
	52	<i>Juniperus horizontalis</i> 'Wiltonii'	Blue Rug Juniper	1 gal.			Plant @ 24" O.C.
EXISTING TREES TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							



2 TYPICAL MAILBOX DETAIL
SCALE: NTS

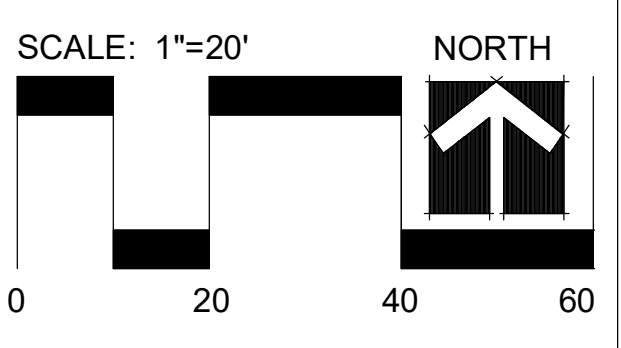


3 TYPICAL MONUMENT SIGN ELEVATION
SCALE: NTS

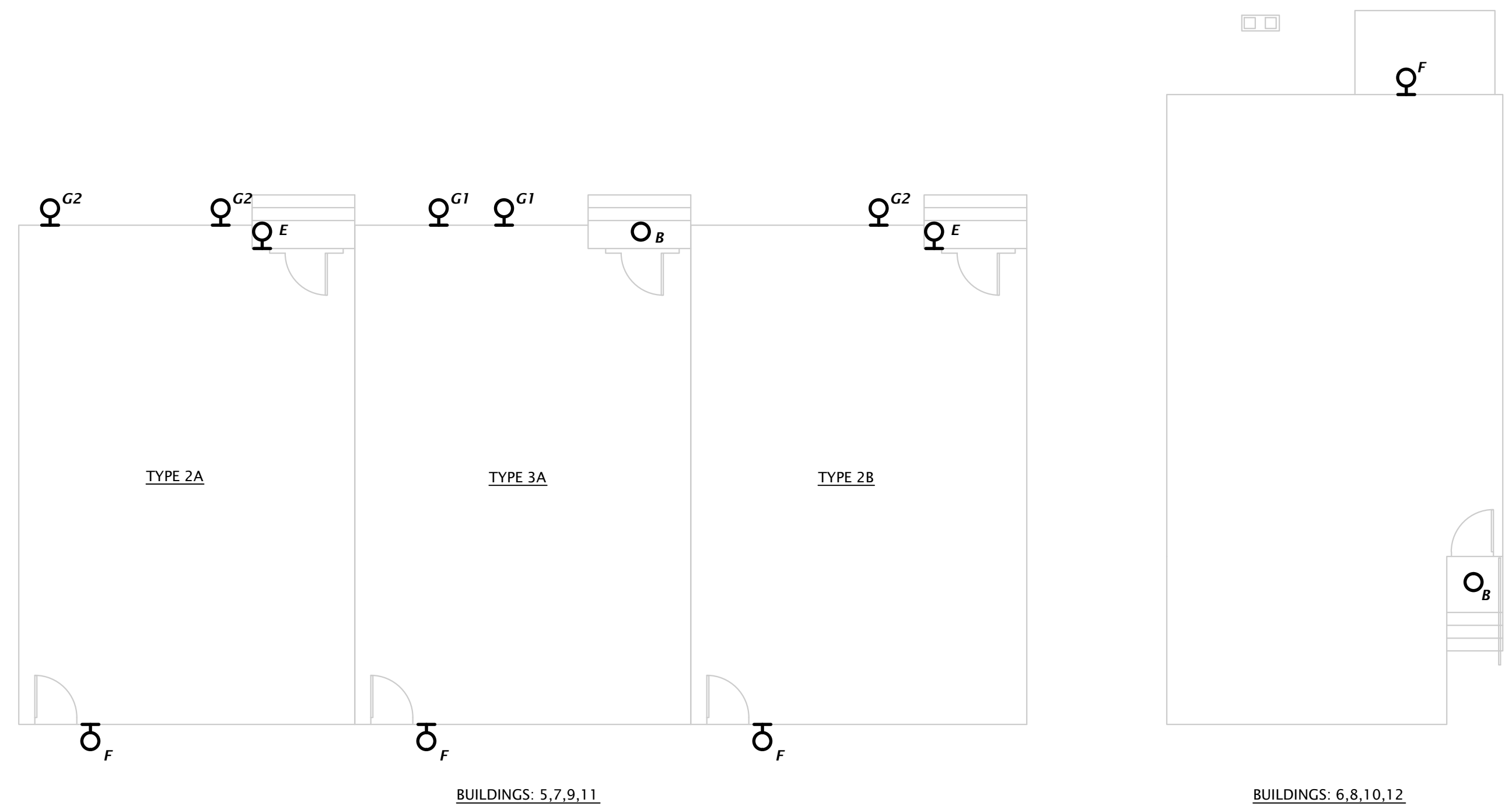


CLIENT
North Village, LLC
4435 Main Street
Suite 910
KCMO 64111

PROJECT
SITE PLAN
Lenexa City Center,
North Village,
Lenexa KS



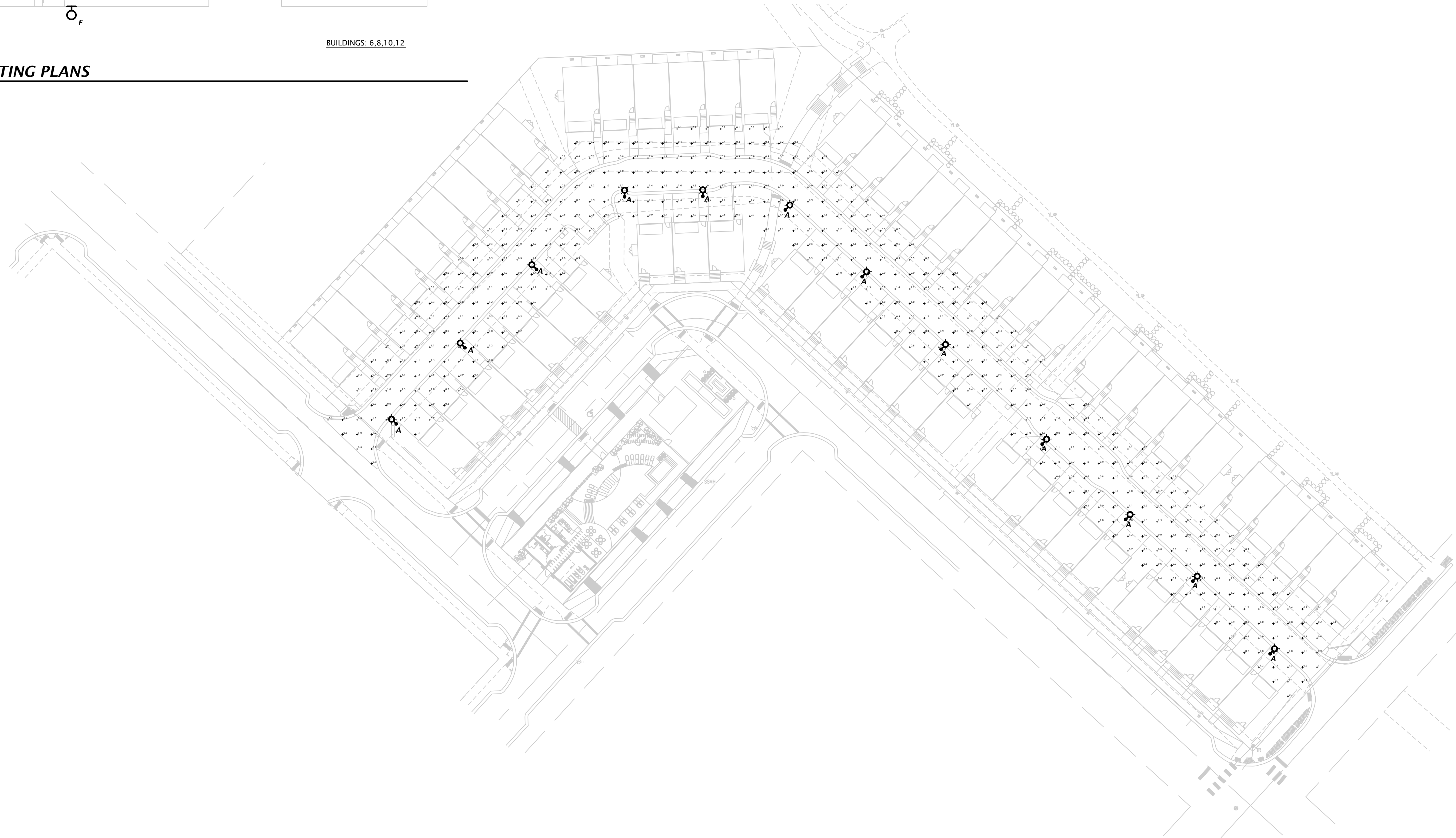
Date: 4.18.2025
Project#: 226
Landscape Plan



LIGHT FIXTURE SCHEDULE						
MARK	MANUFACTURER	MODEL NUMBER	LAMP DATA	DRIVER	MOUNTING	DESCRIPTION
A	LUMINIS	EC803-L1W03r1-R3	38W LED 4058 LUMEN	STANDARD	15' POLE	DIE-CAST ALUMINUM AREA LIGHT, IES TYPE III DISTRIBUTION
B	HALO	SMD6R6930WH	9.6W LED 788 LUMENS	STANDARD	SURFACE	3000K, 6" ROUND LED DOWNLIGHT
C	RAB LIGHTING	SLIM12N	12W LED 1925 LUMENS	STANDARD	WALL AT 7'-6" AFF	FULL CUTOFF, FULLY SHIELDED LED WALLPACK
D	LUMINIS	EC622-L1W18r1-R2	19W LED 1235 LUMENS	STANDARD	---	ALUMINUM LOUVERED BOLLARD
E	KICHLER	49434AZ	30W LED 800 LUMENS	STANDARD	WALL AT 5'-10" AFF	3000K, 18.25" LED ARCHITECTURAL WALL LIGHT
F	KICHLER	49550AZLED	8W LED 880 LUMENS	STANDARD	WALL AT 6'-0" AFF	3000K, 7.25" LED ARCHITECTURAL WALL LIGHT
G1	INSIGHT	CYNE-7-30K-15-WMU-UNV-NO-TBR	7W LED 600 LUMENS	STANDARD	WALL AT 0'-0" AFF (SECOND FLOOR)	3000K, LED FACADE LIGHT, 15' UPLIGHT
G2	INSIGHT	CYNE-7-30K-20-WMU-UNV-NO-TBR	7W LED 600 LUMENS	STANDARD	WALL AT 0'-0" AFF (SECOND FLOOR)	3000K, LED FACADE LIGHT, 20' UPLIGHT

GENERAL:
 • All LED's shall be 4000°k corrected color temperature, min. 80 CRI, UNO.
 • All light fixtures shall be provided with universal drivers capable of operating at 120V or 240V UNO.
 • U.L. listed for 'wet location'

② TYPICAL TOWNHOUSE EXTERIOR LIGHTING PLANS
 1/8" = 1'-0"



① SITE LIGHTING PHOTOMETRIC PLAN
 1" = 40'

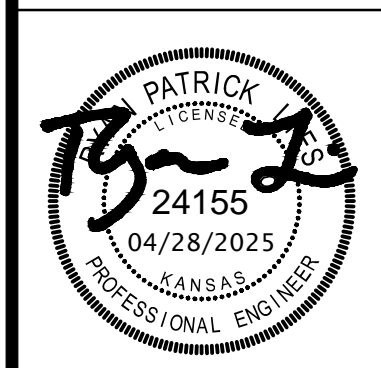
Final Development Plan Set

Lenexa City Center_North Village Townhomes
 KANSAS
 REMODEL
 LENEXA,



REVISION:
 DATE: 4-28-2025
 JOB: 25-3090
 SHEET NO.:

E1.0

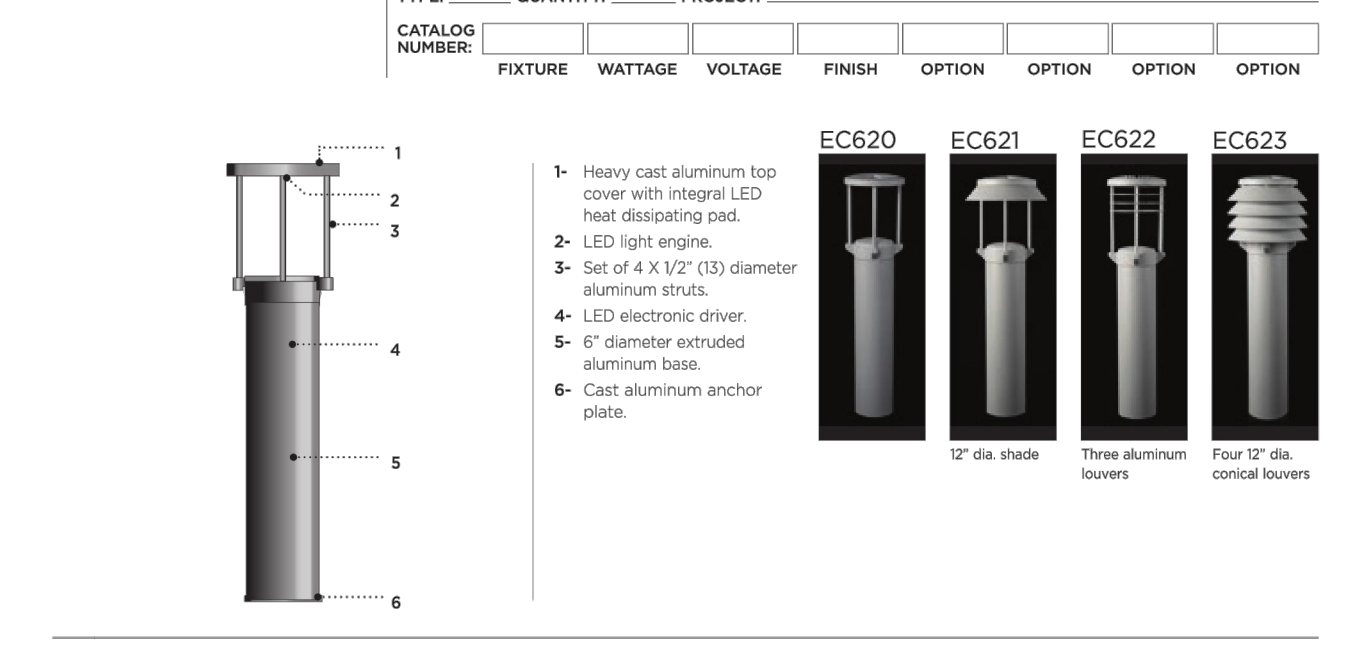


REVISION:

DATE:	4-28-2025
JOB:	25-3090
SHEET NO.:	

E1.1

LUMINIS® EC620/EC621/EC622/EC623 SERIES
 ECLIPSE MINI - LED
 6" BOLLARD



MATERIALS
 Eclipse Mini is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%. LED light engine is thermally and mechanically secured to a cast aluminum cover integrating a heat dissipation pad to optimize light performance.

ELECTRICAL
LED DRIVER
 Standard driver is 0-10V dimming-ready (dims to 10%) with: 100-277 multi-volt compatibility (50-60Hz); optional 347V on request; minimum operating temperature of -30°C/-22°F; output over voltage protection, output over current protection, output short circuit protection with auto-recovery, and over temperature protection (10°C).

LED
 Type II, III & V light distribution via high performance optical lenses. Standard: 4000K/90CRI. Optional: 2700K, 3000K and 3500K. Removable modular LED platform. Optional Amber LED for turtle sensitive areas. Wavelengths: 584.5nm to 597nm.

LIFE
 60,000hrs L₇₀B₅₀ (based on IESNA TM-21 Test Method and LM-80 data). 139,000hrs L₇₀B₅₀ (calculated projection from LM-80 data).

FINISH
 Five-stage preparation process includes preheating of cast aluminum parts for air extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

MOUNTING
 Mounts with a set of 3 x 1/2" x 13 x 18" lg galvanized anchor bolts.

CERTIFICATION
 Tested for UL599 and CSA 22.2 #250 ETL listed wet location. Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C. Lumen depreciation in accordance with IESNA LM-80 standards. CE certification on request. Rated IP55.

LED DRIVER
 Standard driver is 0-10V dimming-ready (dims to 10%) with: 100-277 multi-volt compatibility (50-60Hz); optional 347V on request; minimum operating temperature of -30°C/-22°F; output over voltage protection, output over current protection, output short circuit protection with auto-recovery, and over temperature protection (10°C).

LED
 Type II, III & V light distribution via high performance optical lenses. Standard: 4000K/90CRI. Optional: 2700K, 3000K and 3500K. Removable modular LED platform. Optional Amber LED for turtle sensitive areas. Wavelengths: 584.5nm to 597nm.

LIFE
 60,000hrs L₇₀B₅₀ (based on IESNA TM-21 Test Method and LM-80 data). 139,000hrs L₇₀B₅₀ (calculated projection from LM-80 data).

FINISH
 Five-stage preparation process includes preheating of cast aluminum parts for air extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

MOUNTING
 Mounts with a set of 3 x 1/2" x 13 x 18" lg galvanized anchor bolts.

LUMINIS | Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
 260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5
 LUMINIS.COM
 Luminares may be altered for design improvement or discontinued without prior notice.

SLIM12N **RAB**

Project: _____ **Type:** _____
Prepared By: _____ **Date:** _____

Driver Info		LED Info	
Type	Constant Current	Watts	12W
120V	0.12A	Color Temp	4000K (Neutral)
208V	0.08A	Color Accuracy	74 CRI
240V	0.07A	L70 Lf lifespan	100,000
277V	0.06A	Lumens	1,925
Input Watts	15.9W	Efficacy	121.1 lm/W

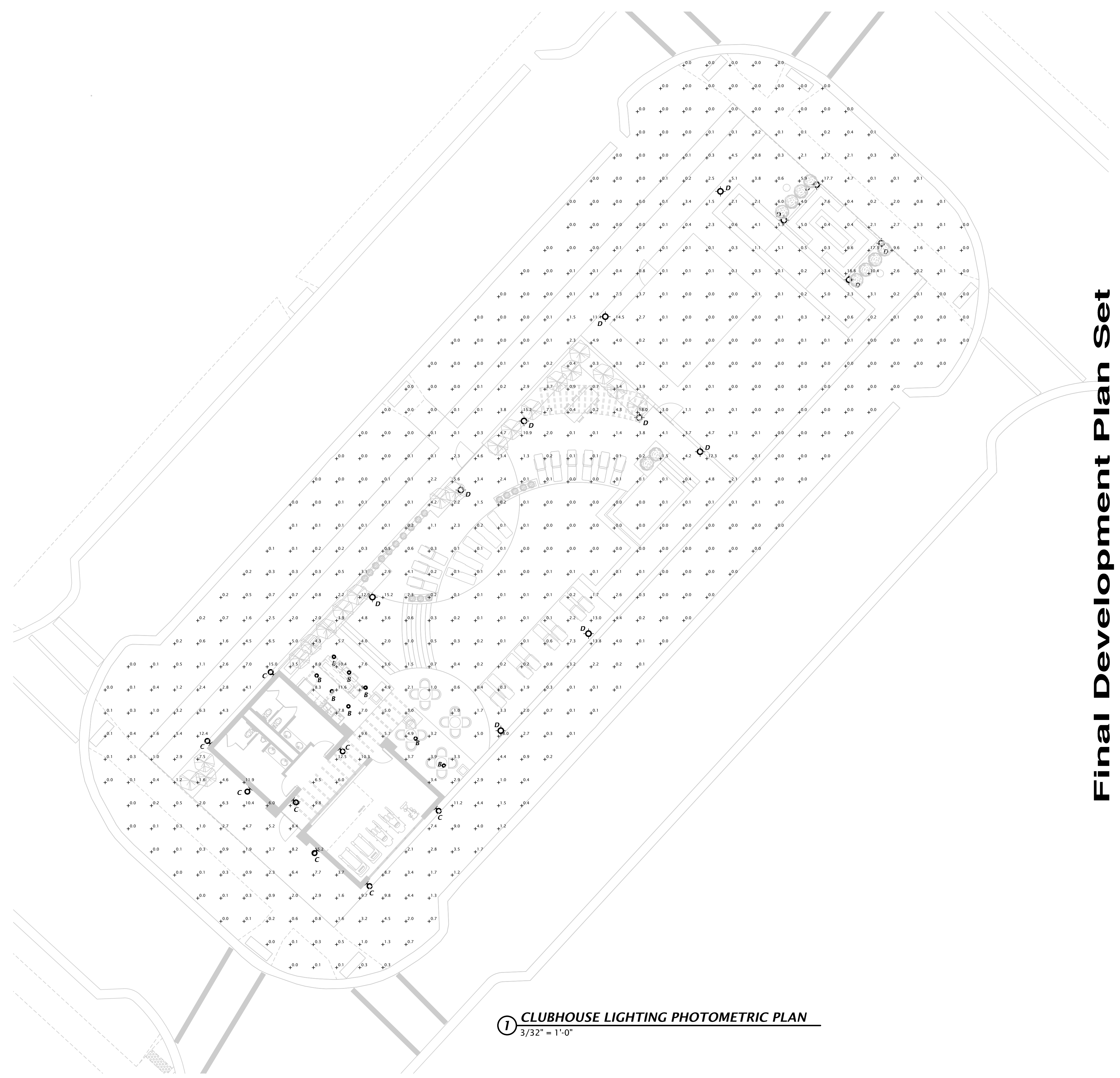
12, 18 and 26 Watt SLIM wall packs are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.
 Color: Bronze Weight: 4.2 lbs

Technical Specifications

Listings
UL Listed:
 Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.
ADA Compliant:
 SLIM™ is ADA Compliant
IESNA LM-79 & LM-80 Testing:
 RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
DLC Listed:
 This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. DLC Product Code: P0JBD3AQ
Construction
IP Rating:
 Ingress Protection rating of IP66 for dust and water

Cold Weather Starting:
 Minimum starting temperature is -40°C (-40°F)
Maximum Ambient Temperature:
 Suitable for use in 40°C (104°F)
Housing:
 Precision die-cast aluminum housing
Mounting:
 Heavy-duty mounting bracket with hinged housing for easy installation
Recommended Mounting Height:
 Up to 8 ft

Lens:
 Tempered glass lens
Reflector:
 Spectral thermoplastic
Gaskets:
 High-temperature silicone
Finish:
 Formulated for high durability and long-lasting color



Final Development Plan Set

LUMINIS

EC802/EC803 SERIES ECLIPSE MAXI - LED 8" Pole/Wall mount

TYPE	QUANTITY	PROJECT
CATALOG NUMBER	FIXTURE	WATTAGE
	VOLTAGE	FINISH
	OPTION	OPTION
	OPTION	OPTION

1 Heavy cast aluminum top cover with integral LED heat dissipating pad.
2 30" dia. x 0.90" (2.3mm) thick hard aluminum top shade. Underside surface is painted white enamel to optimize light performance (EC803 only).
3 Set of three aluminum louvers.
4 Set of 4 X 1/2" (3mm) solid aluminum struts.
5 Cast aluminum upper electrical housing.
6 Cast aluminum lower electrical housing.

MATERIALS
 Eclipse is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%. The lower cast aluminum housing fits with a 4" (102mm) or 5" (127mm) pole and contains all electrical controls on a removable tray.

ELECTRICAL
LED DRIVER Standard driver is 0-10V dimming-ready (dims to 10%) with 120-277 multi-volt compatibility (50-60Hz), optional 347V on request. Minimum operating temperature of 30°C/20°F. Output over voltage protection, output over current protection, output short circuit protection with auto-recovery, and over temperature protection (OTPC).
LED Type II, III or V light distribution via high performance optical lenses. Standard 4000K/80CRI. Optional 2700K, 3000K and 3500K. Removable modular LED platform. Optional Amber LED for turtle sensitive areas. Wavelengths: 584.5nm to 597nm.
LIFE 75,000hrs L₈₀ (based on IESNA TM-21 Test Method and LM-80 data), 145,000hrs L₇₀ (calculated projection from LM-80 data).
FINISH Five-step preparation process including preheating of cast aluminum parts for air extraction, and an environmentally friendly alloy sealer. Polyester powder coating is applied through an electrostatic process and oven cured for long term finish.

MOUNTING
 Maximum weight: 32 kg (4.5 kg)
 Eclipse is designed for ease of access and installation. Standard luminaire mounts on a 4" (102mm) or 5" (127mm) pole. Alternate pole or wall attachments are proposed with high quality components to meet multiple installation conditions.

CERTIFICATION
 Tested to UL98 and CSA 222 #250. ETL listed wet location. Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 20°C. Lumen depreciation in accordance with IESNA LM-80 standards. CE certification on request. Rated IP65.

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EC802/EC803 SERIES ECLIPSE MAXI - LED

LUMINAIRE SELECTION

MODEL#	LED LIGHT SELECTION (4000K/80CRI)	VOLTAGE	FINISH
Type II	INPUT WATTS: 2436	DELIVERED LUMENS: 38W	MODEL: EC802-LW18H-R2
	36W	4147	EC802-LW30H-R2
	74W	8083	EC802-LW30H-R2
Type III	INPUT WATTS: 2409	DELIVERED LUMENS: 38W	MODEL: EC803-LW18H-R3
	36W	4058	EC803-LW30H-R3
	74W	8331	EC803-LW30H-R3
Type V	INPUT WATTS: 2224	DELIVERED LUMENS: 38W	MODEL: EC803-LW18H-R5
	36W	3742	EC803-LW30H-R5
	74W	7675	EC803-LW30H-R5

AMBER LED LIGHT SELECTION

INPUT WATTS	DELIVERED LUMENS	MODEL
17W	388	EC802-LW18HKA
		EC803-LW18HKA

STANDARD COLORS
 WHT Snow white
 BKT Jet black
 BRN Bronze
 MST Matte silver
 DGT Titanium grey
 GUT Gun metal
 CHT Champagne

OPTIONAL COLORS
 CS Custom color
 RAL RAL# color
 RAL# color
 (Refer to color chart)

ACCESSORIES
 BLC Back light control #1

NOTES
 1- Luminaires are factory prepared for 120V (if no voltage is specified). For other voltages, please specify with catalog number or consult factory.
 2- Fuse and photocal options are normally installed with poles when specified with Luminis luminaires (except for other types of mounting).
 3- 2" tension pole adaptor only required for 5" (127mm) poles by others.
 4- BLC not available on Type V. BLC can be installed in the field on existing fixtures.
 5- For 1/8" wall thickness. For other wall thickness contact factory.

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HALO

DESCRIPTION
 The Halo Surface Mount LED Downlight (SMD) is a low profile surface mounting luminaire with a modern look and high performance. SMD6 (6") is designed for installation in many 8 1/2" and 4" square, octagon, or round junction boxes. Supply wire adapter with LED quick wiring connector included. The SMD6 may also retrofit in 5" and 6" aperture IC and non-IC recessed housings.

DESCRIPTION TABLE

Catalog #	Type
Project	
Comments	Date
Prepared by	

SPECIFICATION FEATURES

HOUSING
 • Non-electrically conductive polycarbonate frame.
 • High impact diffuse polystyrene lens provides shading to the light guide with no pickling.
 • Stamped aluminum housing provides thermal cooling achieving L70 at 50,000 hours in IC and non-IC applications.

GASKETS
 • Closed cell gasket achieves restrictive airflow and wet location requirements without additional caulking.

OPTICS
 • Precision acrylic light guide organizes source flux into wide distribution with 12 - 14 spacing criteria useful for general area illumination.

LED
 • Mid power LED array provides a uniform source with high efficiency and long life.
 • Available in 90 CRI minimum, R9 greater than 50 and color accuracy within 3 SDCM provide color accuracy and uniformity.

DRIVER
SMD 120V
 • Integrated 120V 60/50Hz constant current driver provides noise free operation.
 • Continuous, flicker-free dimming from 100% to 5% with select leading or trailing edge 120V phase cut dimmers.
 • Dimming to 5% is best achieved using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note: some dimmers require a neutral in the wallbox.)
 • SMD Universal Voltage (120-277V) configurations are recommended for use with compatible 0-10V DC low voltage dimmers only.

RECESSED HOUSING MOUNTING
 • May be installed in IC recessed housing in direct contact with insulation.
Note: Not for use in recessed housing in direct contact with spray foam insulation. Refer to NEMA LED 57-2013.

Torsion Spring 5" & 6"
 • Precision formed torsion spring bracket included.
 • The torsion springs adjust on the mounting plate to fit 5" or 6" compatible housings.

Friction Blade 5" & 6"
 • Precision formed friction blades included.
 • For retrofit in 5" and 6" housings without torsion springs mounting tabs.
 • Friction blade design allows the SMD to be installed in any position within the housing aperture (360 degree).

DESIGNER SKINS (SOLD SEPARATELY)
 • SMD skins are accessory rings in both round and square. These skins attach to the SMD for a permanent finish. Refer to the SMD accessories specification sheet for details.
 • Matte White (Paintable)
 • Satin Nickel
 • Tuscan Bronze

WARRANTY
 • Five year limited warranty, consult website for details.
 www.cooperlighting.com

COMPLIANCE
 • cULus Certified for use with Halo housings and for use with other's housings, see instruction sheet for conditions of acceptability.
 • Wet and Damp Location listed, airtight per ASTM-E283
 • Suitable for use in closets, NECA Section 410.16 (A)(3) and 410.16 (C)(5)
 • EMI/RFI emissions per FCC 47CFR Part 15B
 • Contains no mercury or lead and RoHS compliant.
 • Photometric testing in accordance with IES LM-79-08
 • Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11.
 • Can be used for State of California Title 24 high efficacy luminaire compliance, reference the California Energy Commission Title 20 Appliance Efficiency Database for current listings.
 • Can be used for International Energy Conservation Code (IECC) and high efficiency luminaire compliance
 • ENERGY STAR® listed, reference database for current listings.

SMD6 Series
 6 inch Round and Square

SMD6S
 6" Surface Mount Downlight

Suitable for ceiling or wall electrical junction boxes

Suitable for 5" and 6" recessed housing retrofit

Non-conductor Dead Front

COOPER
 Lighting Division

ICED
 IESNA E-283

T24
 Title 24

T20
 Title 20

ENERGY STAR

RoHS

UL

90 CRI
 2700K
 3000K
 3500K
 4000K

Note: For Direct mount product please refer to the SLD6-DM spec sheet.

TDS18242EN
 September 20, 2019 2:25 PM

insight lighting

CYNDER WHITE LIGHT

PROJECT: TYPE: CATALOG # CYN 7 30K WMU UNV TBR UNV

PROFILE

LIGHT SOURCE 70W, 10.0W, 14.0W, 21.0W
OPTICS 15°, 20°, 30°, 55°, 100° ASYMMETRIC
CCT 2700K, 3000K, 3500K, 4000K (82 CRI)
CRI 82+ CRI
PERFORMANCE UP TO R287 PEAK CANDELA
VOLTAGE UNIVERSAL 120-277 V
POWER INTEGRATED POWER SUPPLY
DIMMING 0-10V
DIMENSIONS 11" X 7.375" X 5.25", 16" X 7.375" X 5.25"
WEIGHT 11" FIXTURE: 7.0LBS(3.2 KG), 16" FIXTURE: 14.0LBS(6.4 KG)
HOUSING EXTRUDED ALUMINUM HOUSING
LENS TEMPERED GLASS
FINISH HIGH DURABILITY POWDER COATING
WARRANTY 5-YEAR LIMITED
OPERATING TEMP -30° C TO 45° C
LUMEN MAINTENANCE 84,000 HOURS
CERTIFICATION ETL AND cUL FOR WET LOCATION

STANDARD FINISHES
 TEXTURED WHITE, TEXTURED BLACK, TEXTURED BRONZE, TEXTURED LIGHT BRONZE, TEXTURED GRAY, TEXTURED SANDSTONE

OPTICS
 NOT ALL AVAILABLE OPTICS SHOWN

PERFORMANCE SAMPLE go to performance data >

40K 30W	35K 30W	30K 30W	27K 30W	20K 30W
1900	1956	1949	1951	1927
820*	813*	824*	824*	845
93 lm/W	93 lm/W	93 lm/W	93 lm/W	92 lm/W

insight lighting
 4361 Falcon Way NE, Red Bank, MN 55074
 P: 505.343.0888 | insightlighting.com

insight lighting

CYNDER WHITE LIGHT

PROJECT: TYPE: CATALOG # CYN 7 30K WMU UNV TBR UNV

SPECIFICATION

DIRECT OR INDIRECT (11" FIXTURE)

CYNE	7	30K	WMU	UNV	TBR
1	2	3	4	5	6
7	8	9	10	11	12

DIRECT AND INDIRECT (16" FIXTURE)

CYNE	7	30K	WM2	UNV	TBR
1	2	3	4	5	6
7	8	9	10	11	12

insight lighting
 4361 Falcon Way NE, Red Bank, MN 55074
 P: 505.343.0888 | insightlighting.com

Sedo™ 18.25" LED Wall Light Architectural Bronze

49434AZ

SPECIFICATIONS

Certifications/Qualifications
 Class 2 Yes
 Title 24 Compliant Yes
www.kichler.com/warranty

Dimensions
 Base Backplate 16.50 X 4.75
 Extension 4.00"
 Weight 5.00 LBS
 Height from center of Wall opening (Spec Sheet) 9.25"
 Height 18.25"
 Width 6.00"

Electrical
 Input Voltage Dual (120/140V)

Light Source
 Delivered Lumens 800
 Expected Life Span 40000
 Lamp Included Integrated
 Light Source LED
 Max or Nominal Watt 30W
 # of Bulbs/LED 1

Mounting/Installation
 Interior/Exterior Exterior
 Location Rating Wet
 Mounting Style Wall
 Mounting Weight 5.00 LBS

Photometrics
 Color Rendering Index 80
 Color Temperature Range 3000
 Delivered Efficacy (Lumens/Watt) 28
 Kelvin Temperature 3000K

FIXTURE ATTRIBUTES
Housing
 Diffuser Description Clear Polycarbonate
 Primary Material ALUMINUM

Product/Ordering Information
 SKU 49434AZ

ALSO IN THIS FAMILY

insight lighting
 4361 Falcon Way NE, Red Bank, MN 55074
 P: 505.343.0888 | insightlighting.com

Walden 7.25" LED Wall Light Architectural Bronze

49550AZLED

SPECIFICATIONS

Certifications/Qualifications
 Dark Sky Compliant Yes
www.kichler.com/warranty

Dimensions
 Base Backplate 7.25 X 4.75
 Extension 3.75"
 Weight 1.84 LBS
 Height from center of Wall opening (Spec Sheet) 3.75"
 Height 7.25"
 Width 1.75"

Electrical
 Input Voltage Single(120V)

Light Source
 Delivered Lumens 880
 Dimmable Yes
 Dimmable Notes This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to Kichler.com/dimming.

Equivalent Light Source Incandescent 3500W
Expected Life Span Integrated LED
Light Source Max or Nominal Watt 8W
of Bulbs/LED Modules 1

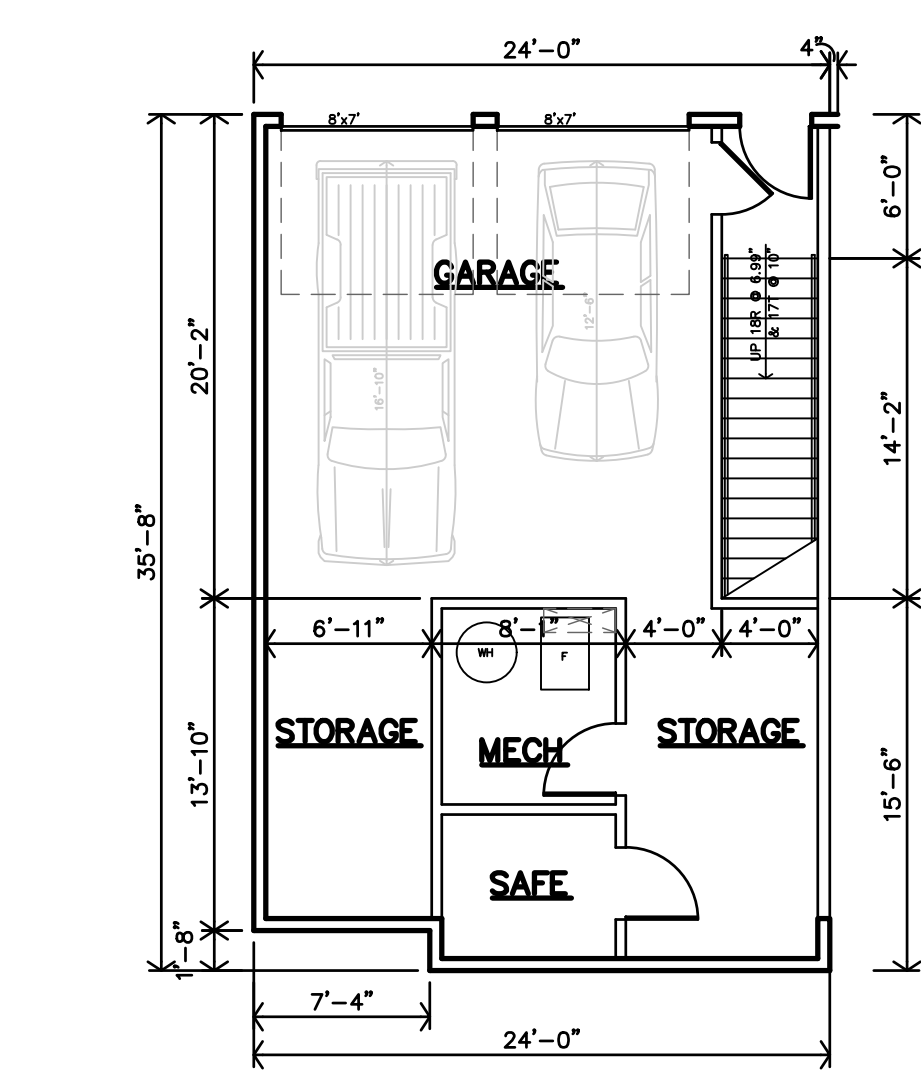
Mounting/Installation
 Interior/Exterior Exterior
 Location Rating Wet
 Mounting Style Wall Mount
 Mounting Weight 3.00 LBS

Photometrics
 Color Rendering Index 90
 Color Temperature Range 3000
 Delivered Efficacy (Lumens/Watt) 90
 Kelvin Temperature 3000K

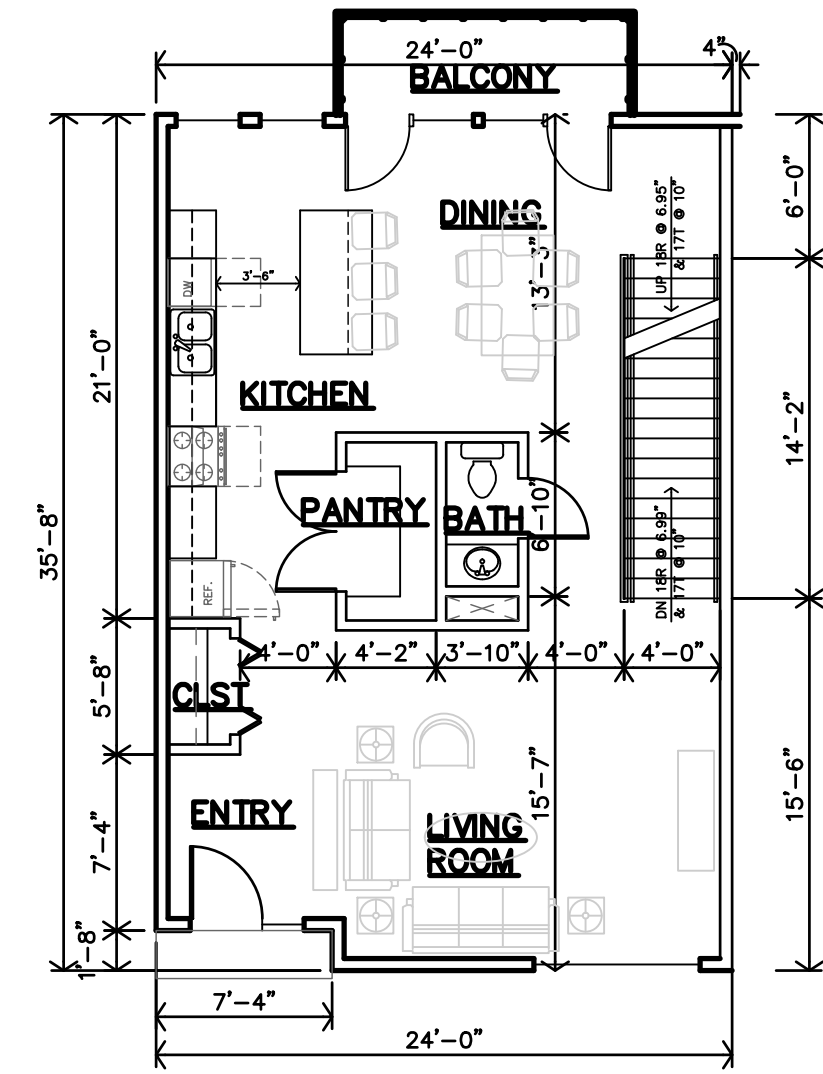
FIXTURE ATTRIBUTES
Housing ALUMINUM
Product/Ordering Information
 SKU 49550AZLED
 Finish Architectural Bronze
 Style Contemporary
 UPC 783927498474

Finish Options
 Architectural Bronze
 Textured Black

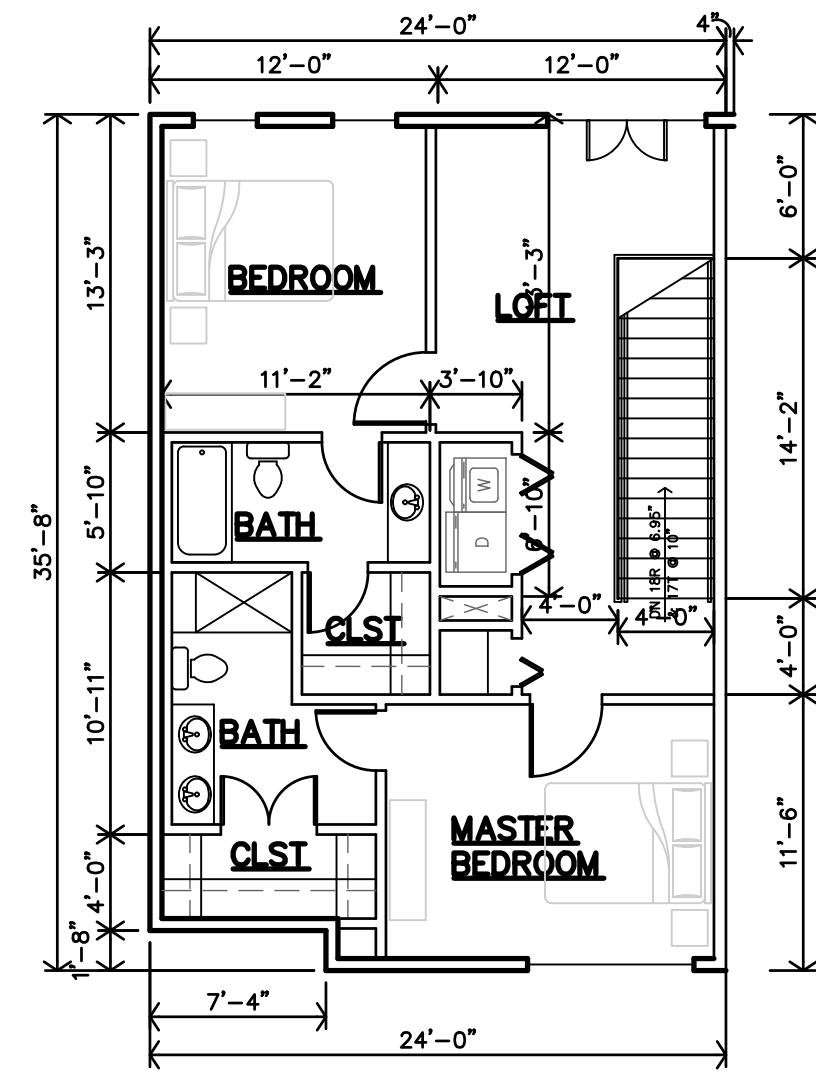
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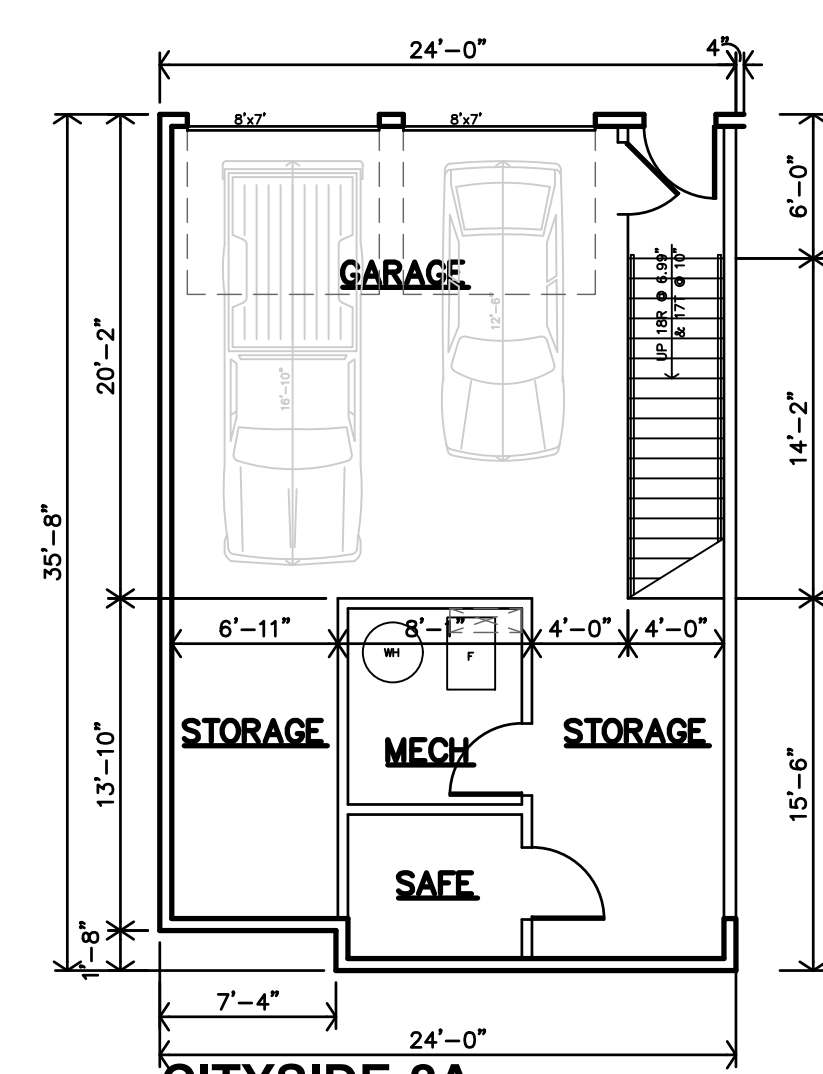
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2 BEDROOM
BASEMENT FLOOR PLAN
1/8"=1'-0" Garage-Mech.-Stor. 724sf/Circ. 90sf



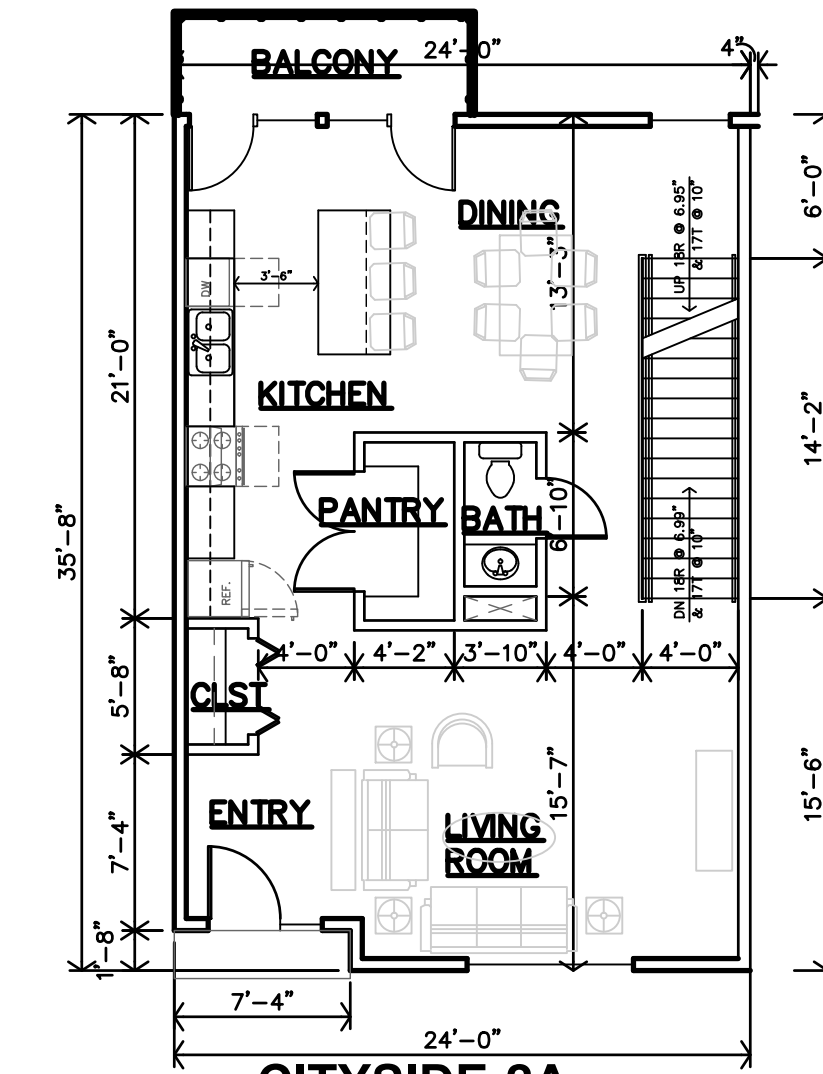
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2 BEDROOM
SECOND FLOOR PLAN
1/8"=1'-0" 814sf



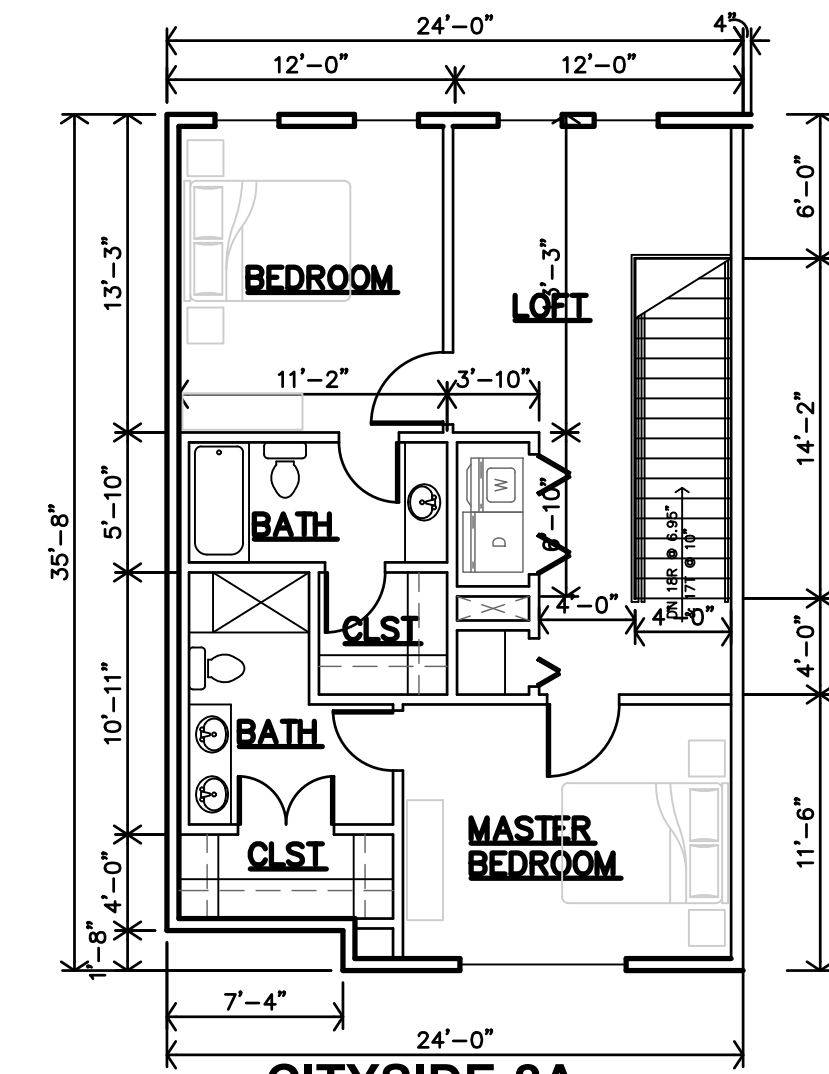
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THIRD FLOOR PLAN
1/8"=1'-0" 814sf



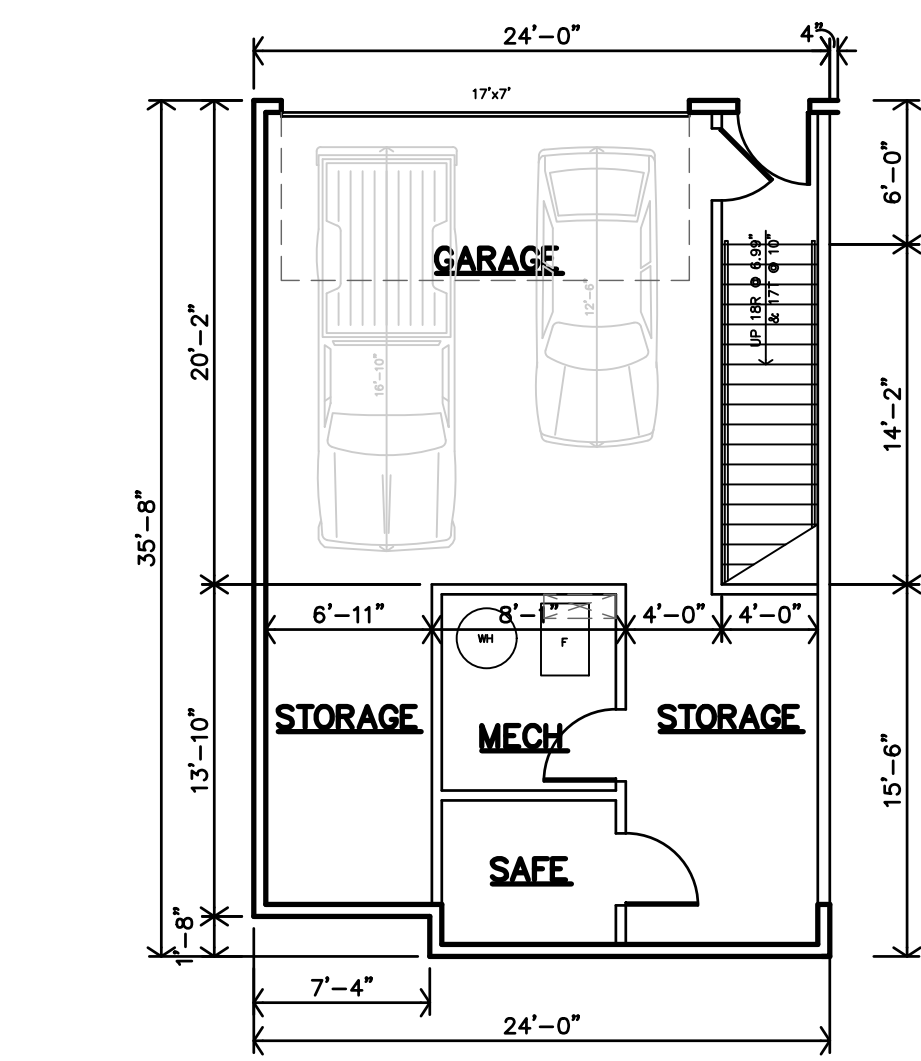
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BASEMENT FLOOR PLAN
1/8"=1'-0" Garage-Mech.-Stor. 724sf/Circ. 90sf



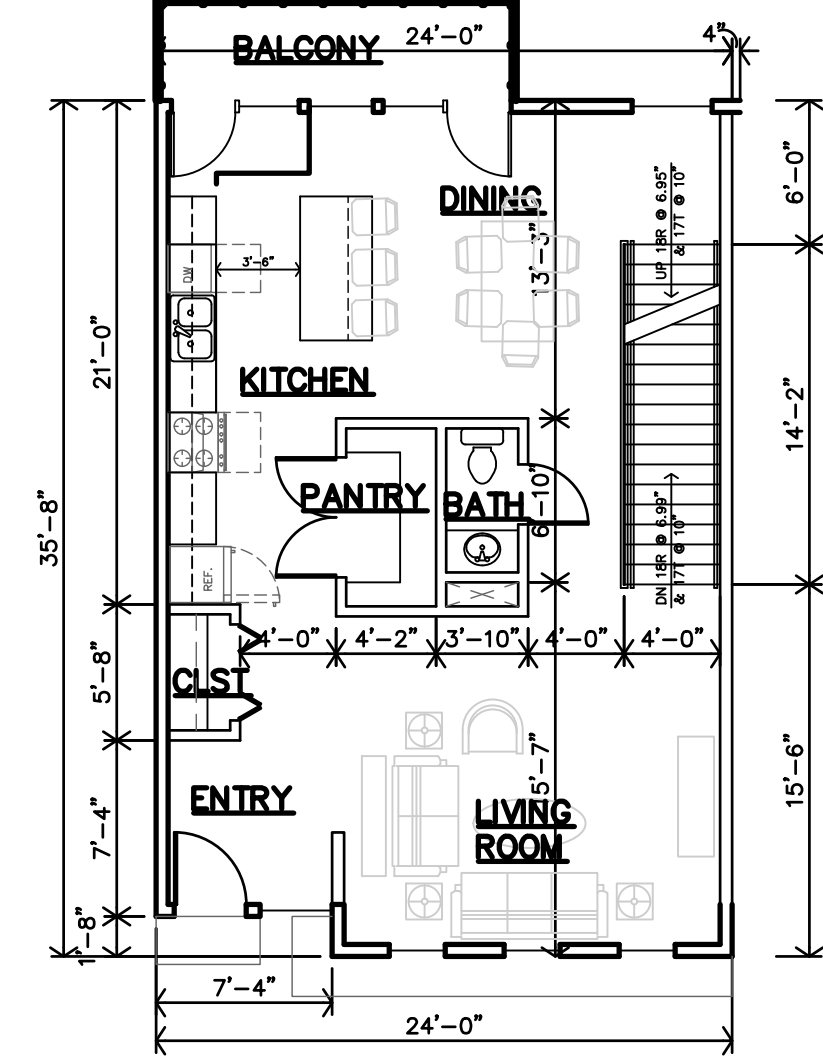
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SECOND FLOOR PLAN
1/8"=1'-0" 814sf



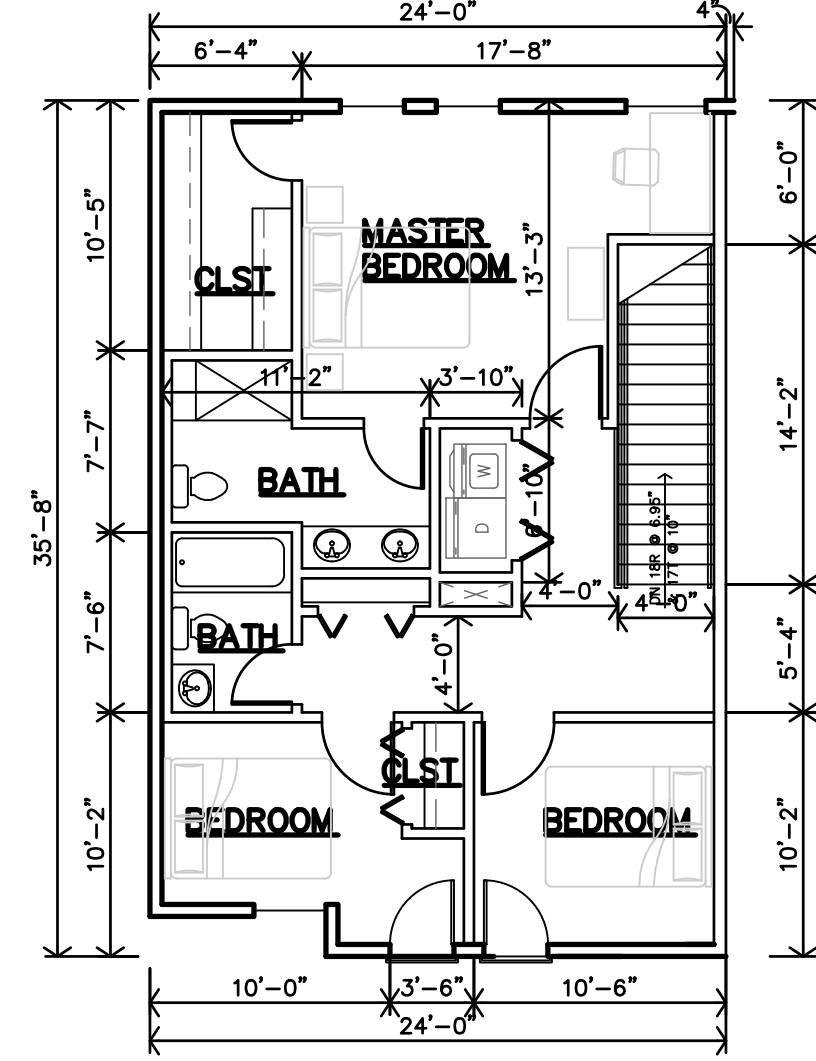
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THIRD FLOOR PLAN
1/8"=1'-0" 814sf



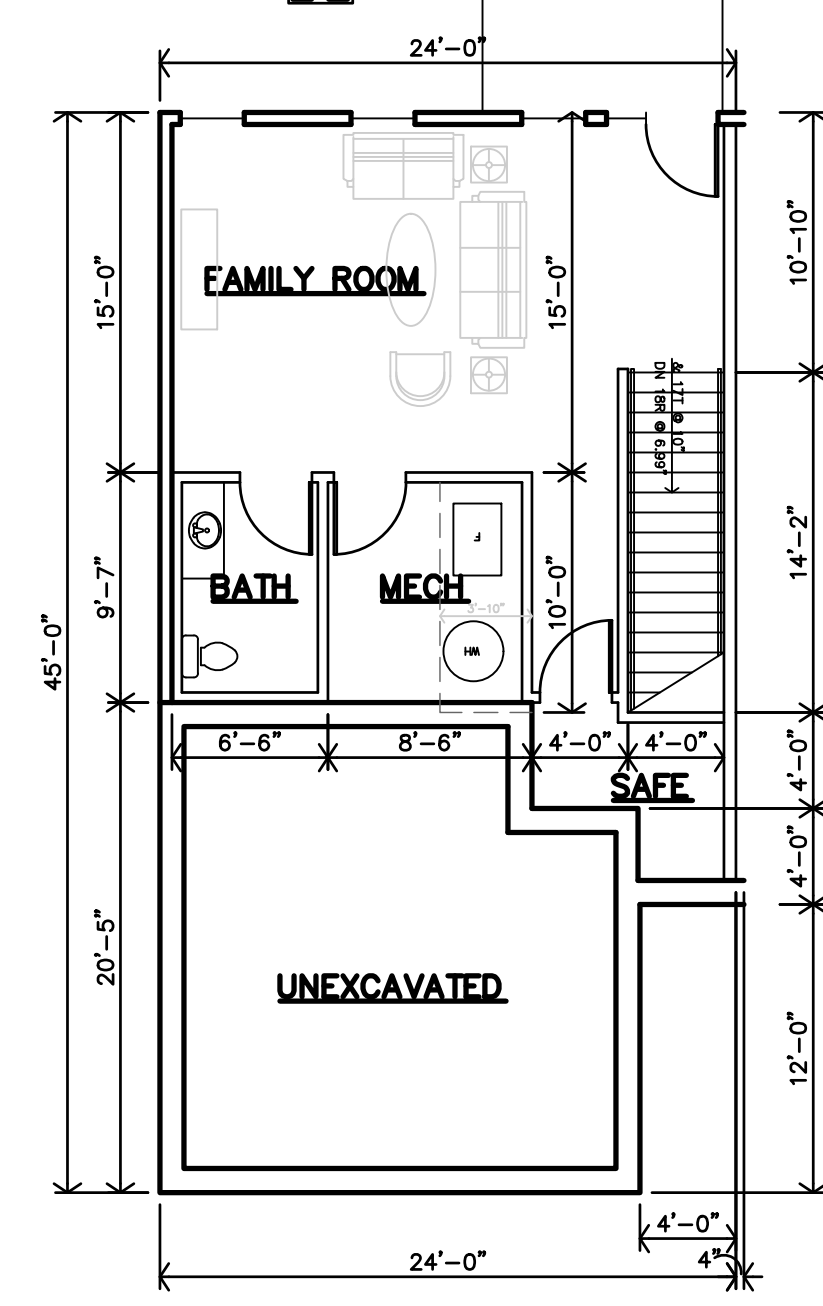
N CITYSIDE-3A
3 BEDROOM
BASEMENT FLOOR PLAN
1/8"=1'-0" Garage-Mech.-Stor. 724sf/Circ. 90sf



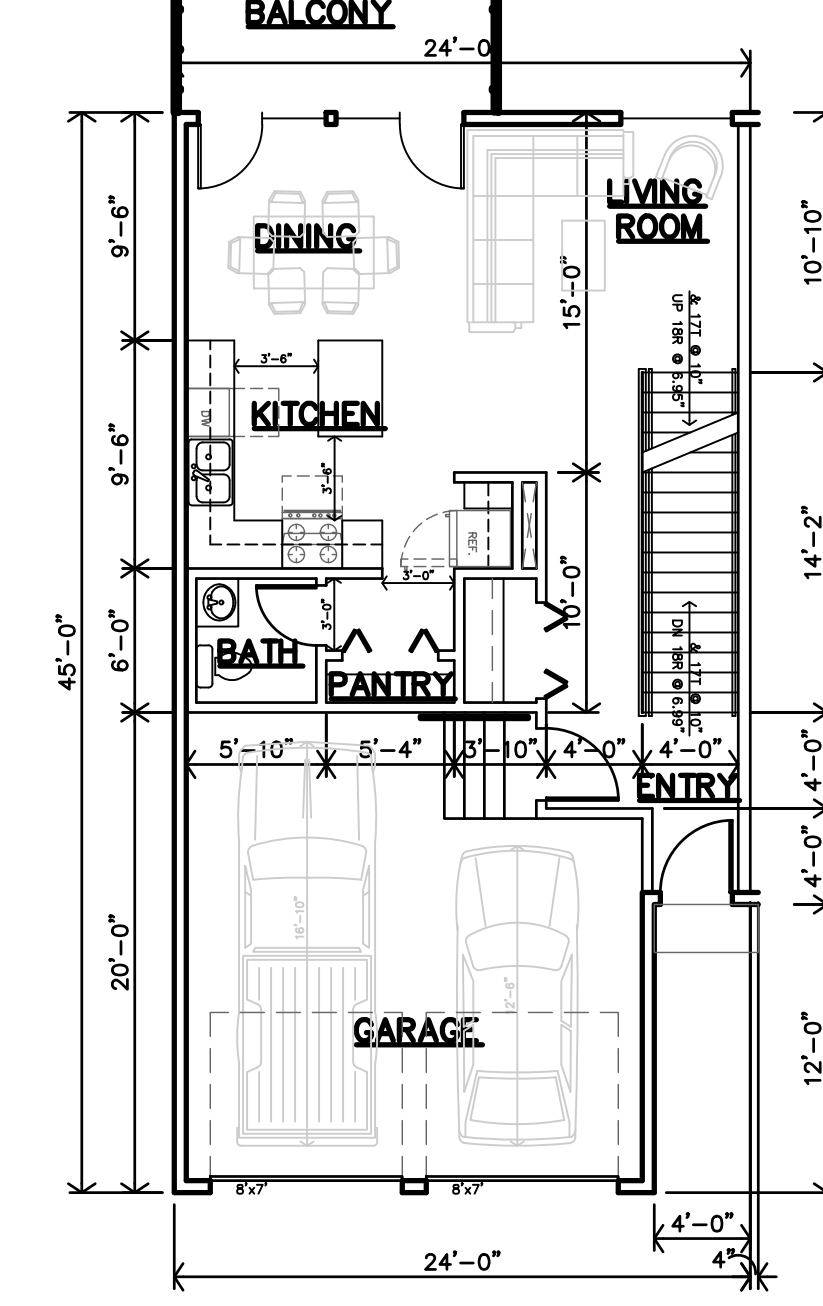
M CITYSIDE-3A
3 BEDROOM
SECOND FLOOR PLAN
1/8"=1'-0" 814sf



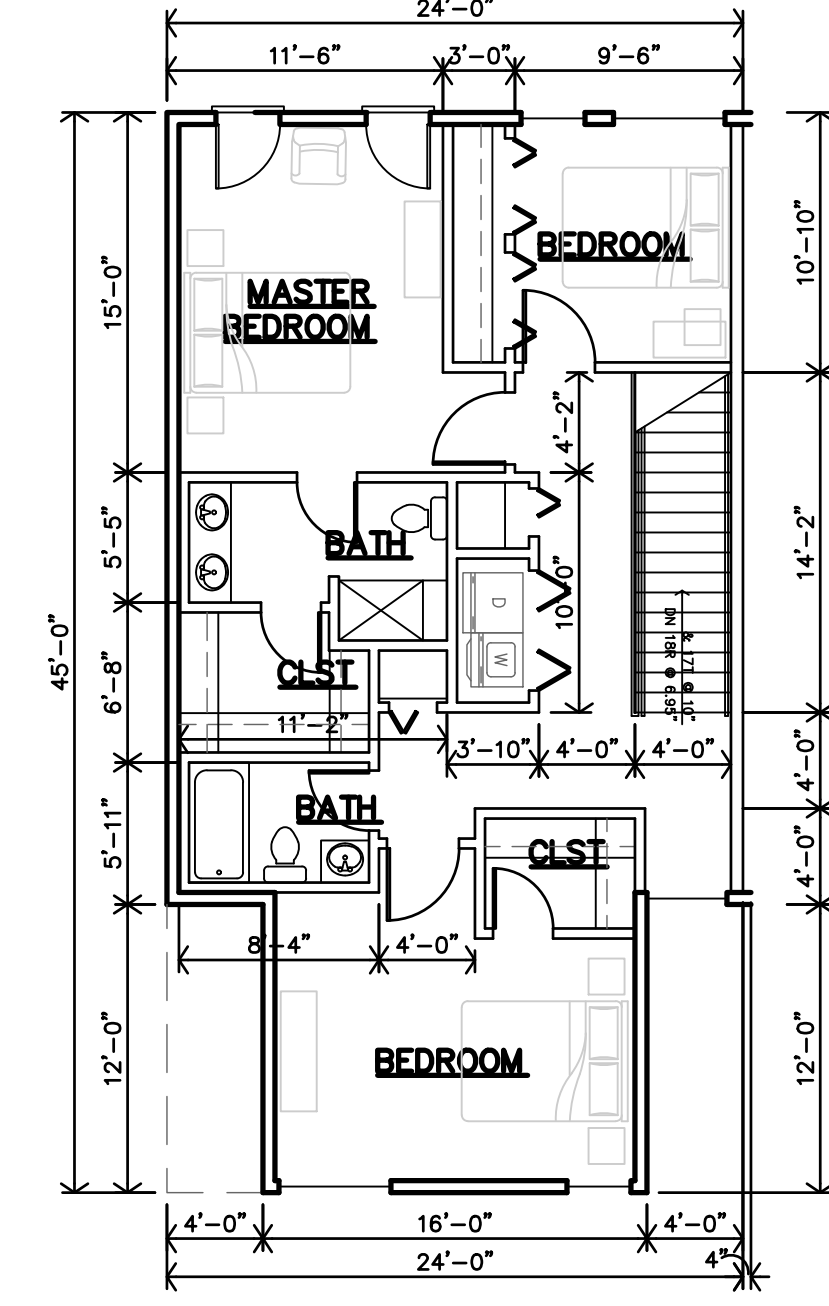
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3 BEDROOM
THIRD FLOOR PLAN
1/8"=1'-0" 814sf



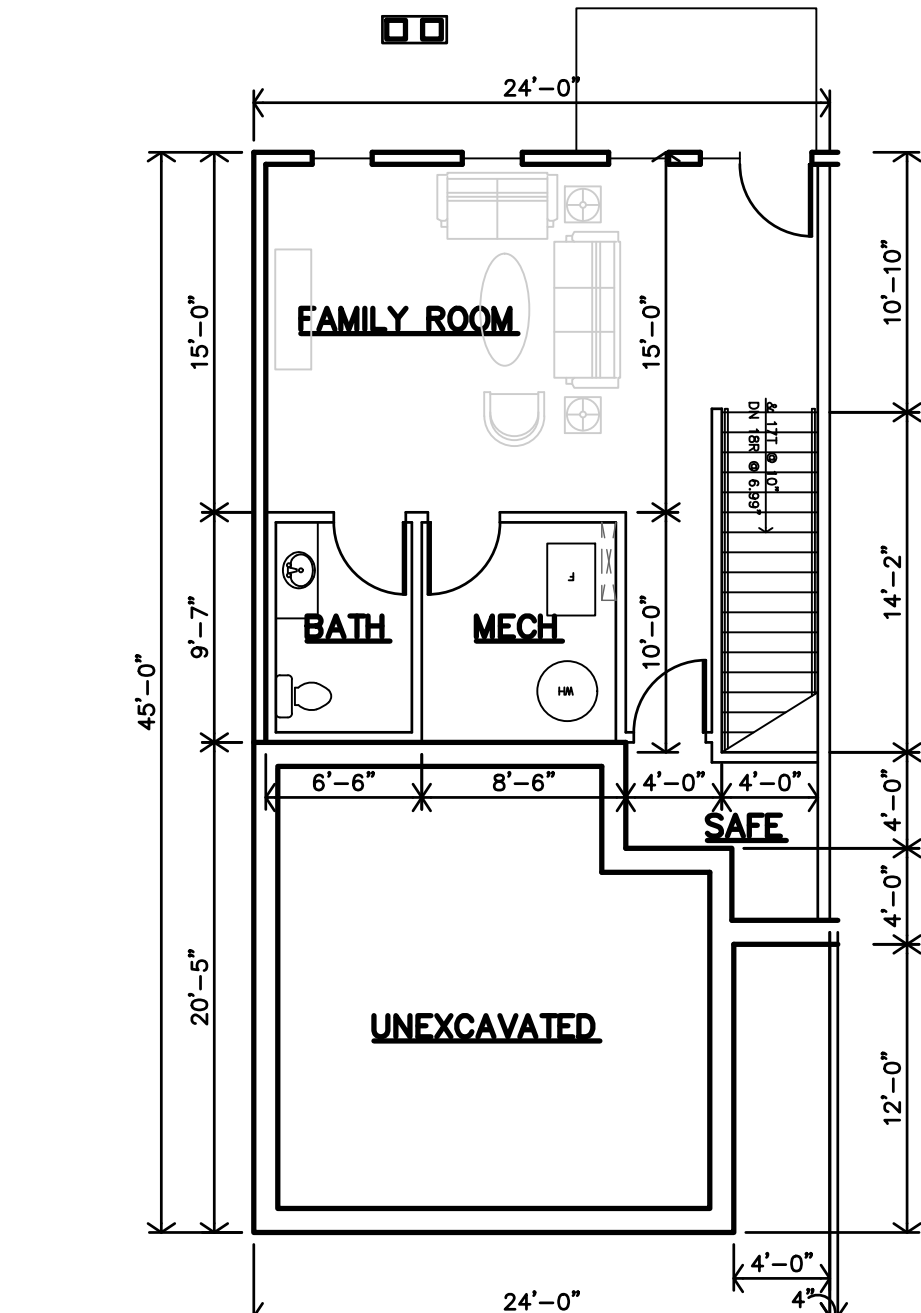
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3 BEDROOM
BASEMENT FLOOR PLAN
1/8"=1'-0" 620sf



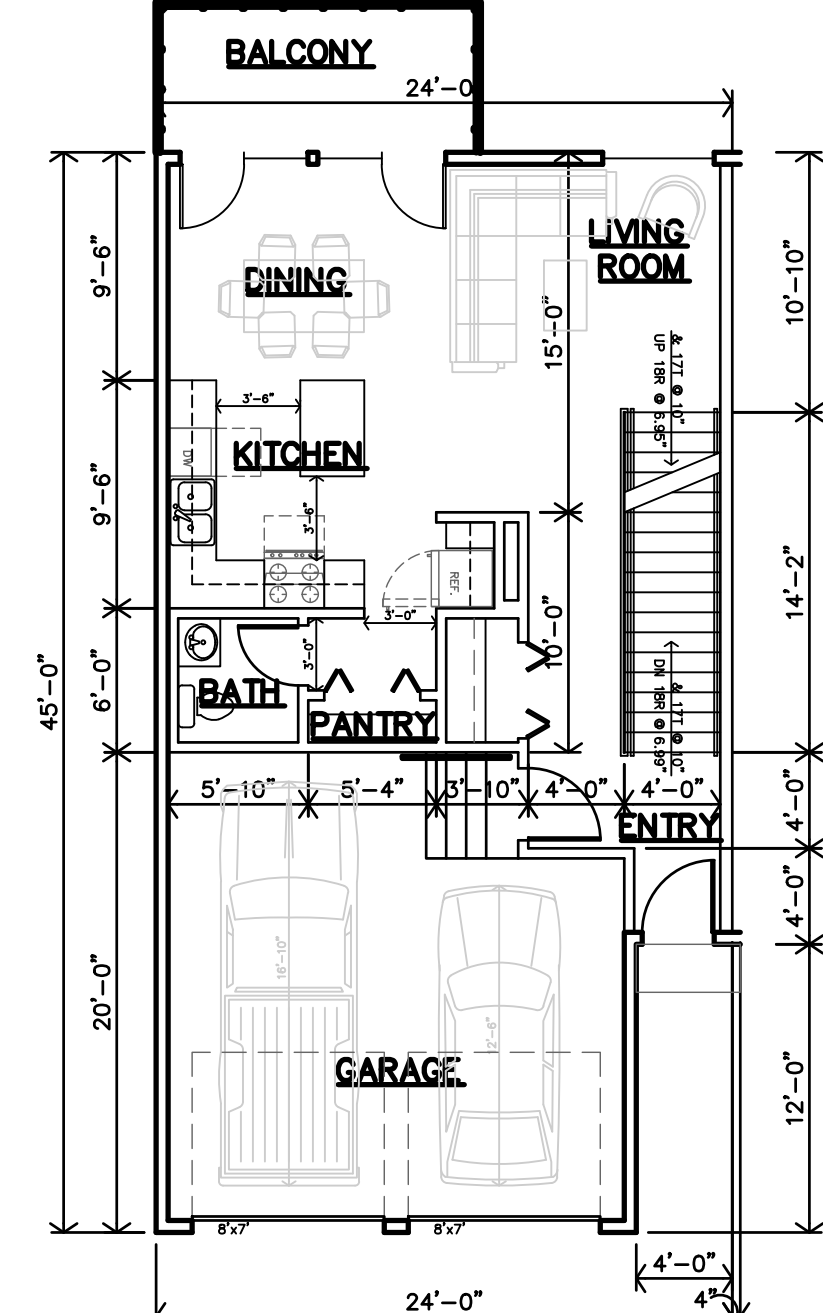
J PARKSIDE-3B
3 BEDROOM
SECOND FLOOR PLAN
1/8"=1'-0" 2nd Fl 628sf/Garage 369sf



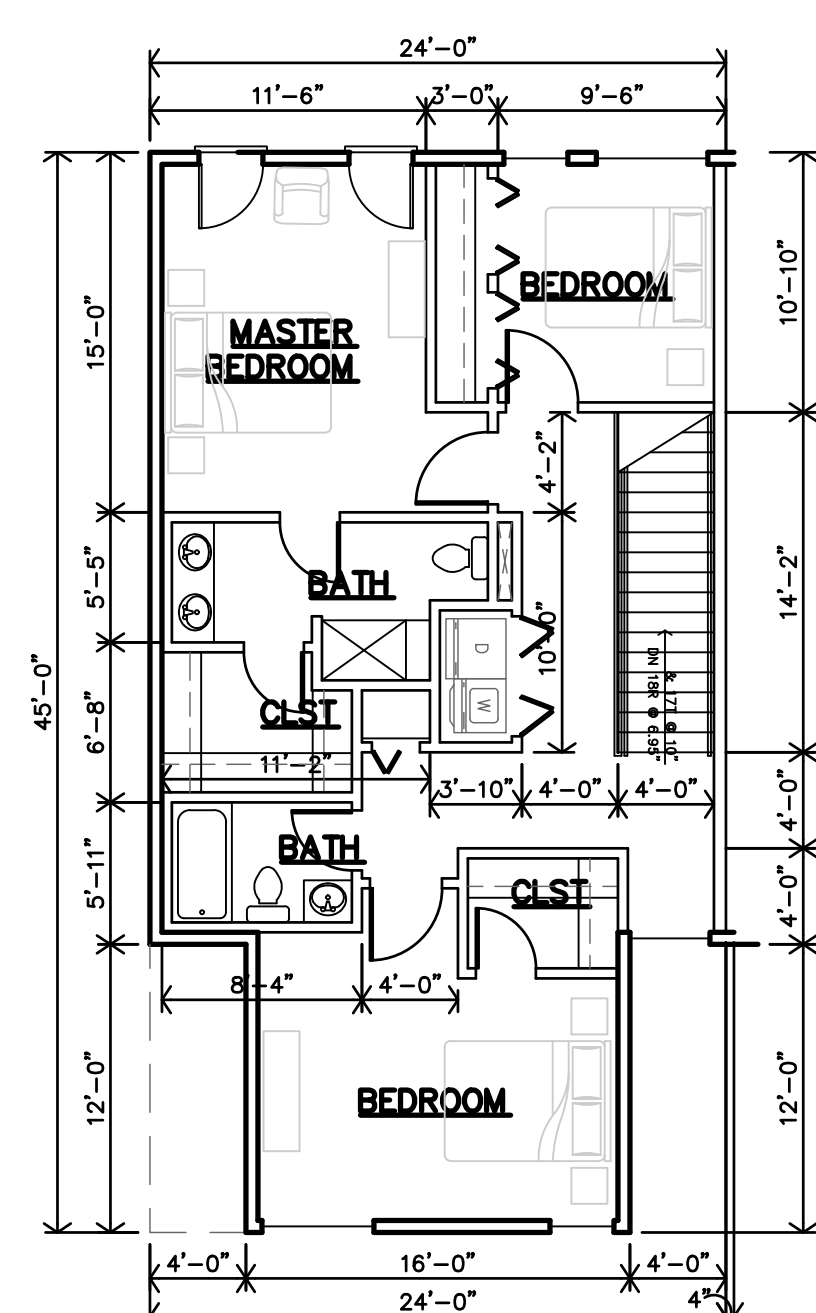
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1/8"=1'-0" 950sf



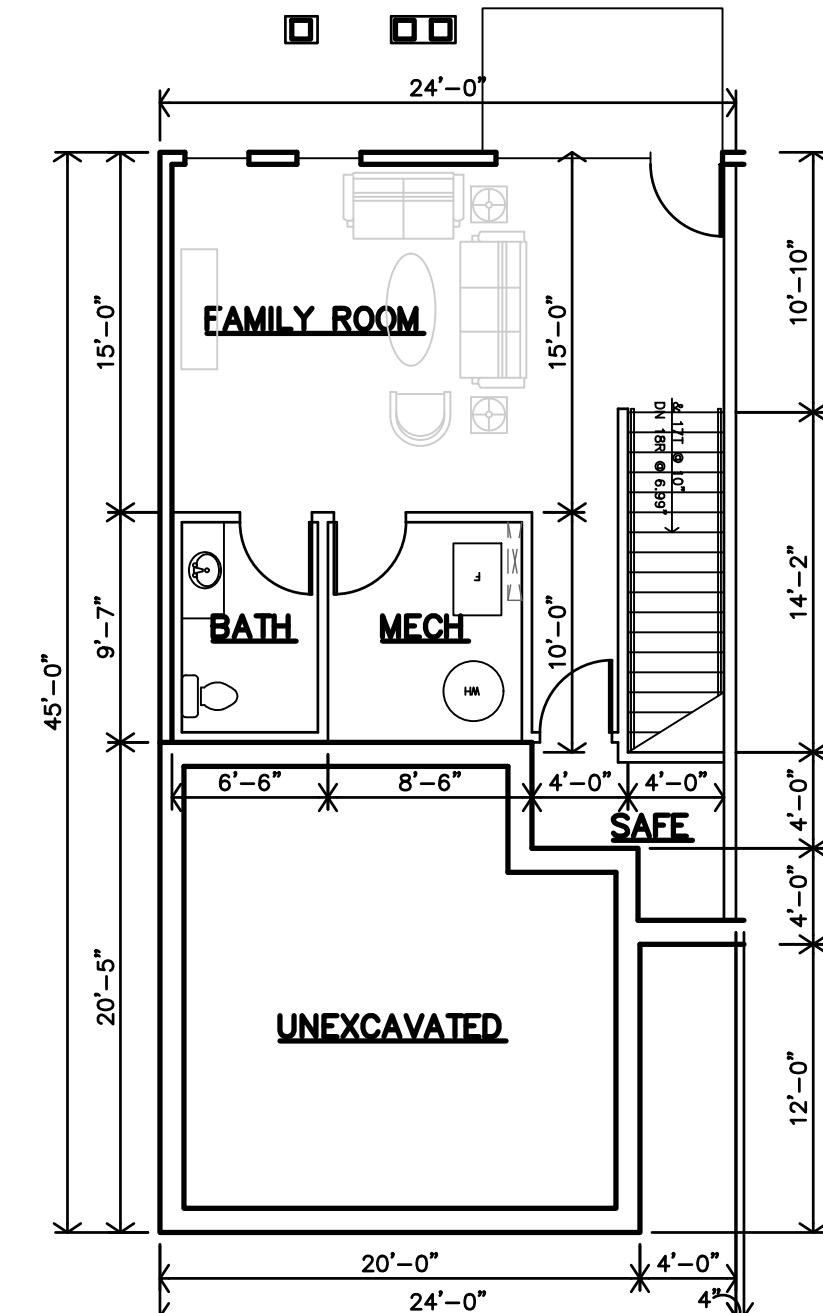
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3 BEDROOM
BASEMENT FLOOR PLAN
1/8"=1'-0" 620sf



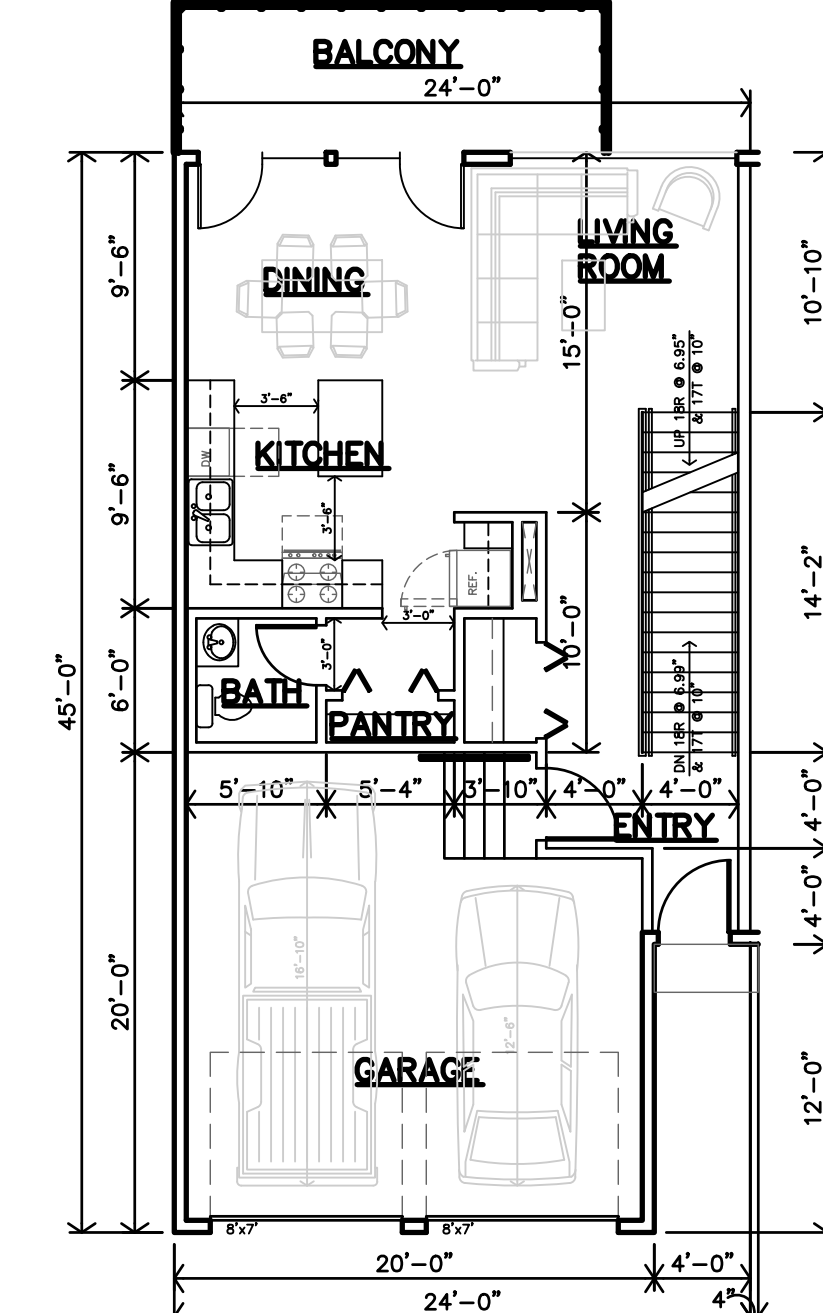
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1/8"=1'-0" 2nd Fl 628sf/Garage 369sf



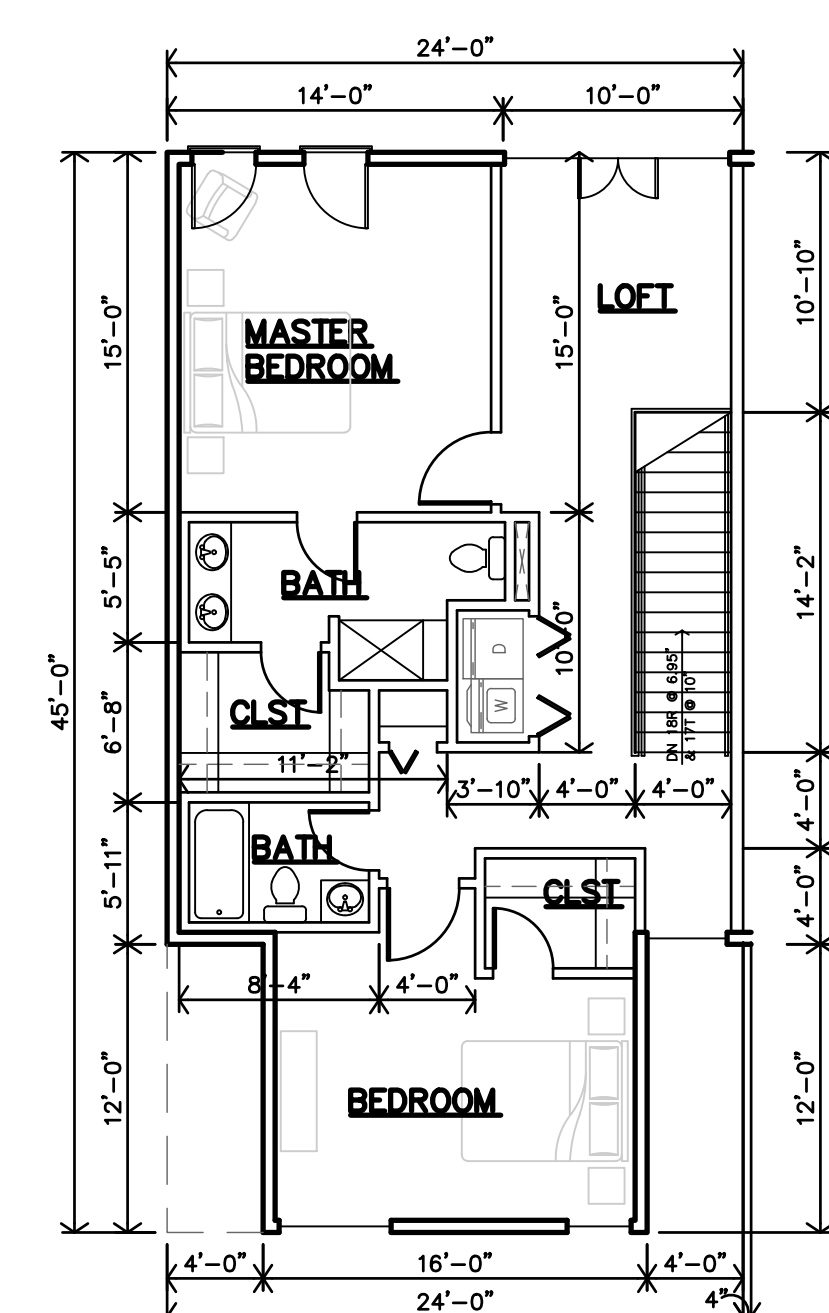
E PARKSIDE-3A
3 BEDROOM
THIRD FLOOR PLAN
1/8"=1'-0" 950sf



C PARKSIDE-2A
2 BEDROOM
BASEMENT FLOOR PLAN
1/8"=1'-0" 620sf



B PARKSIDE-2A
2 BEDROOM
SECOND FLOOR PLAN
1/8"=1'-0" 2nd Fl 628sf/Garage 369sf



A PARKSIDE-2A
2 BEDROOM
THIRD FLOOR PLAN
1/8"=1'-0" 950sf

Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS

PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

REVISION: _____
DATE: 4-28-2025
JOB: 25-3090
SHEET NO.:

A2.0

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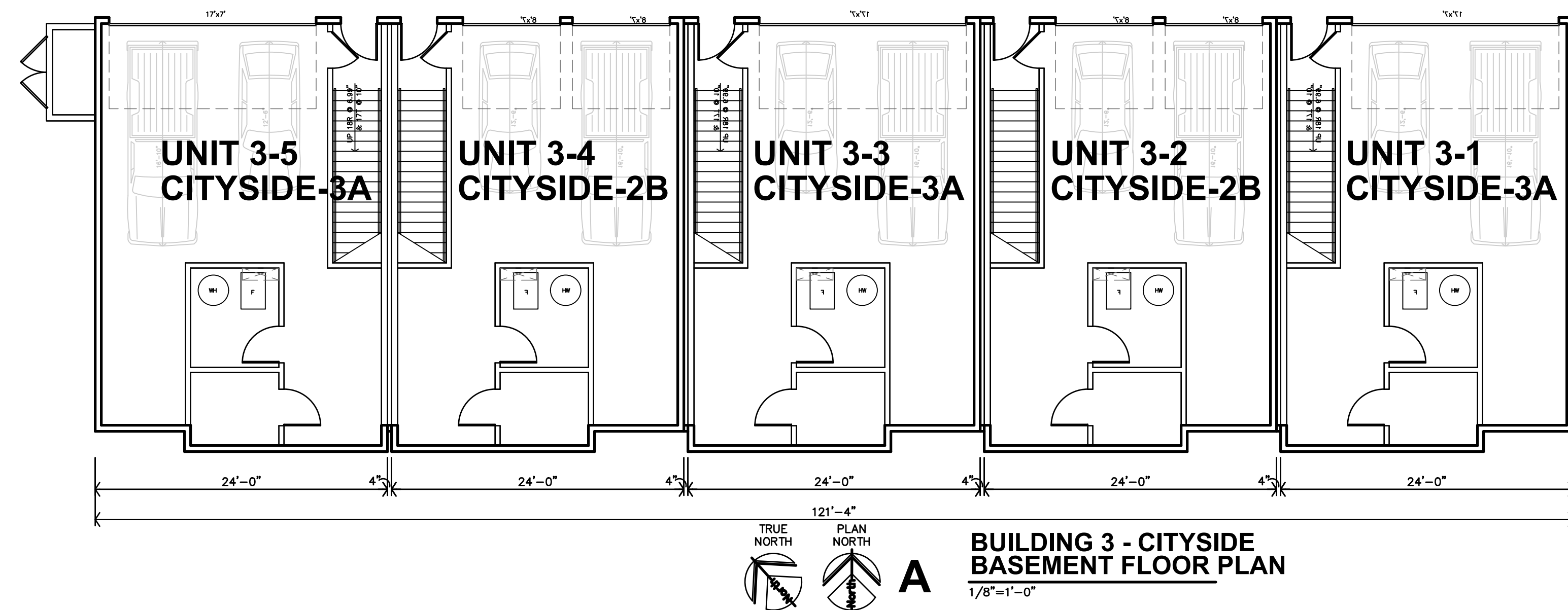
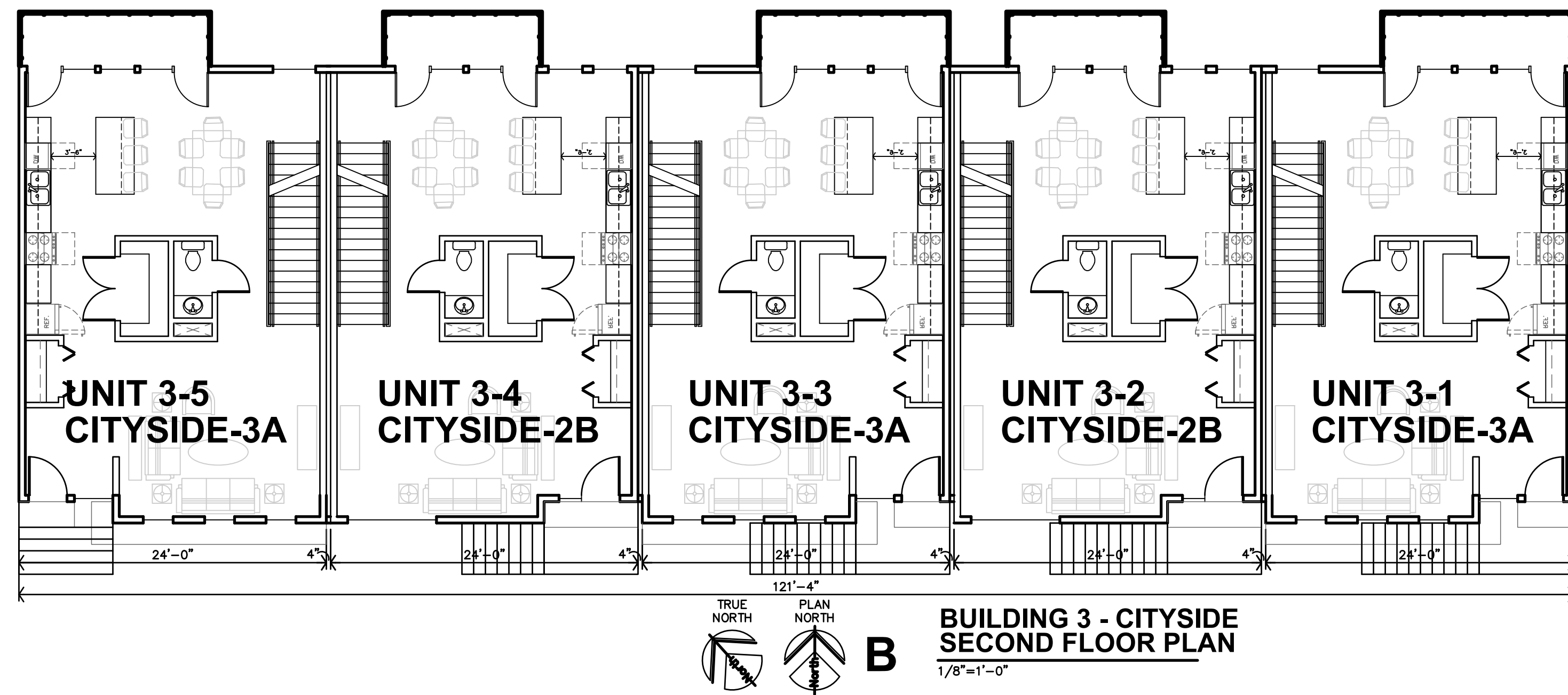
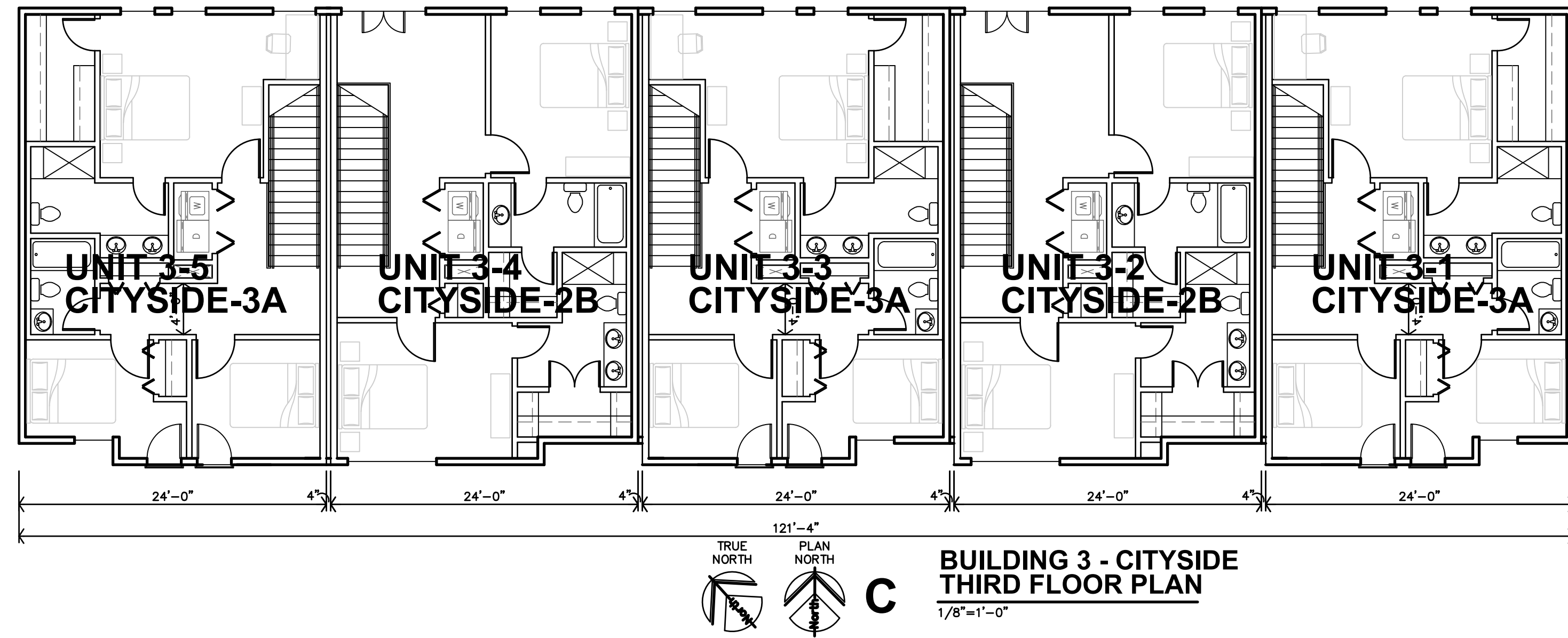
JGR

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PROJECT SUMMARY

BUILDING LABEL	BUILDING TYPE	TOTAL NO. of HOMES
3	CITY-SIDE	5
4	PARK-SIDE	5
5	CITY-SIDE	5
6	PARK-SIDE	5
7	CITY-SIDE	7
8	PARK-SIDE	9
9	CITY-SIDE	3
10	PARK-SIDE	6
11	CITY-SIDE	7
12	PARK-SIDE	9
TOTAL		61

BUILDING TYPE	TOWNHOME TYPE	TOTAL NO.
CITY-SIDE	2-BEDROOM	13
	3-BEDROOM	14
PARK-SIDE	2-BEDROOM	6
	3-BEDROOM	28
TOTAL		61



Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA,
KANSAS

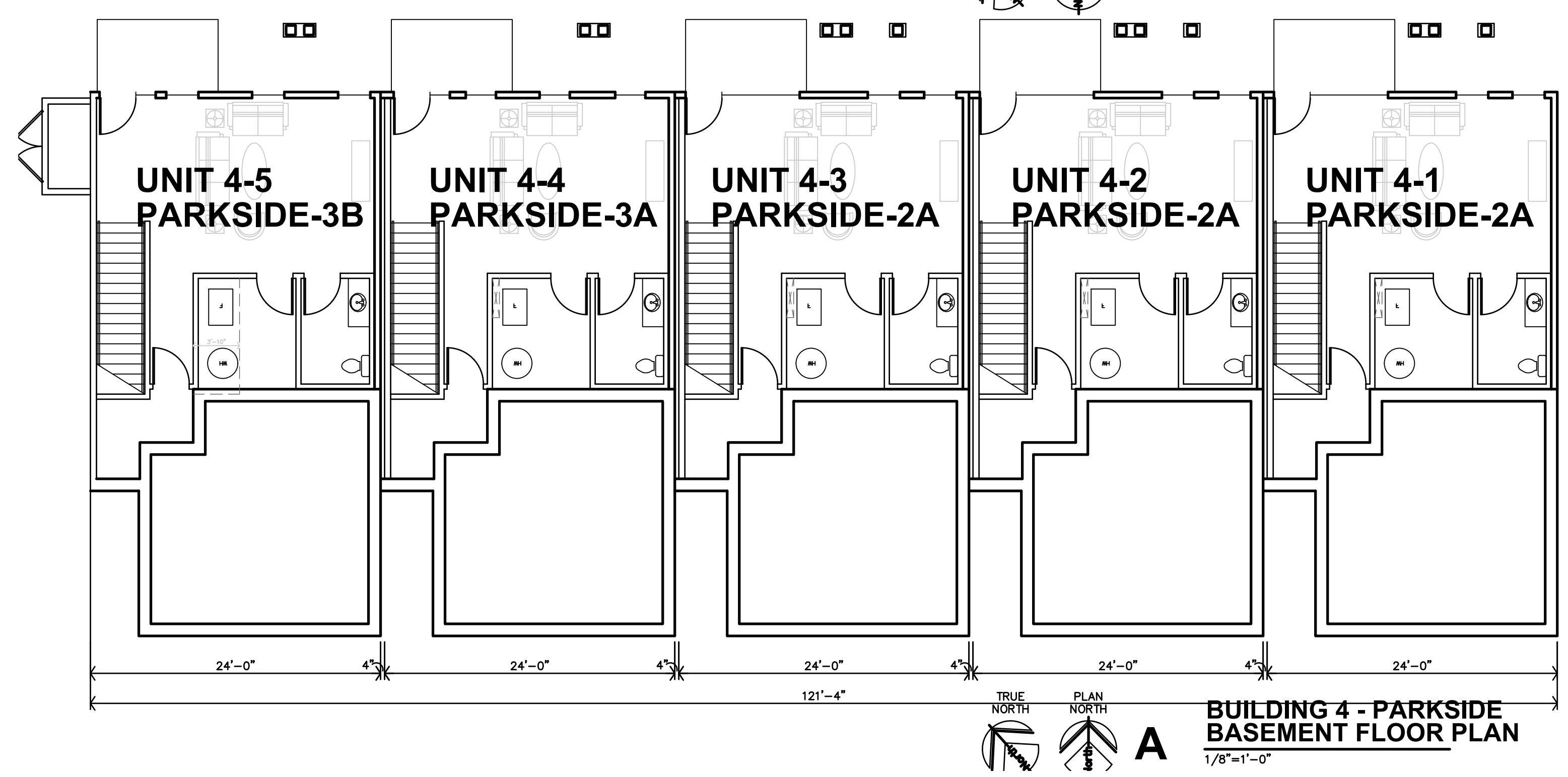
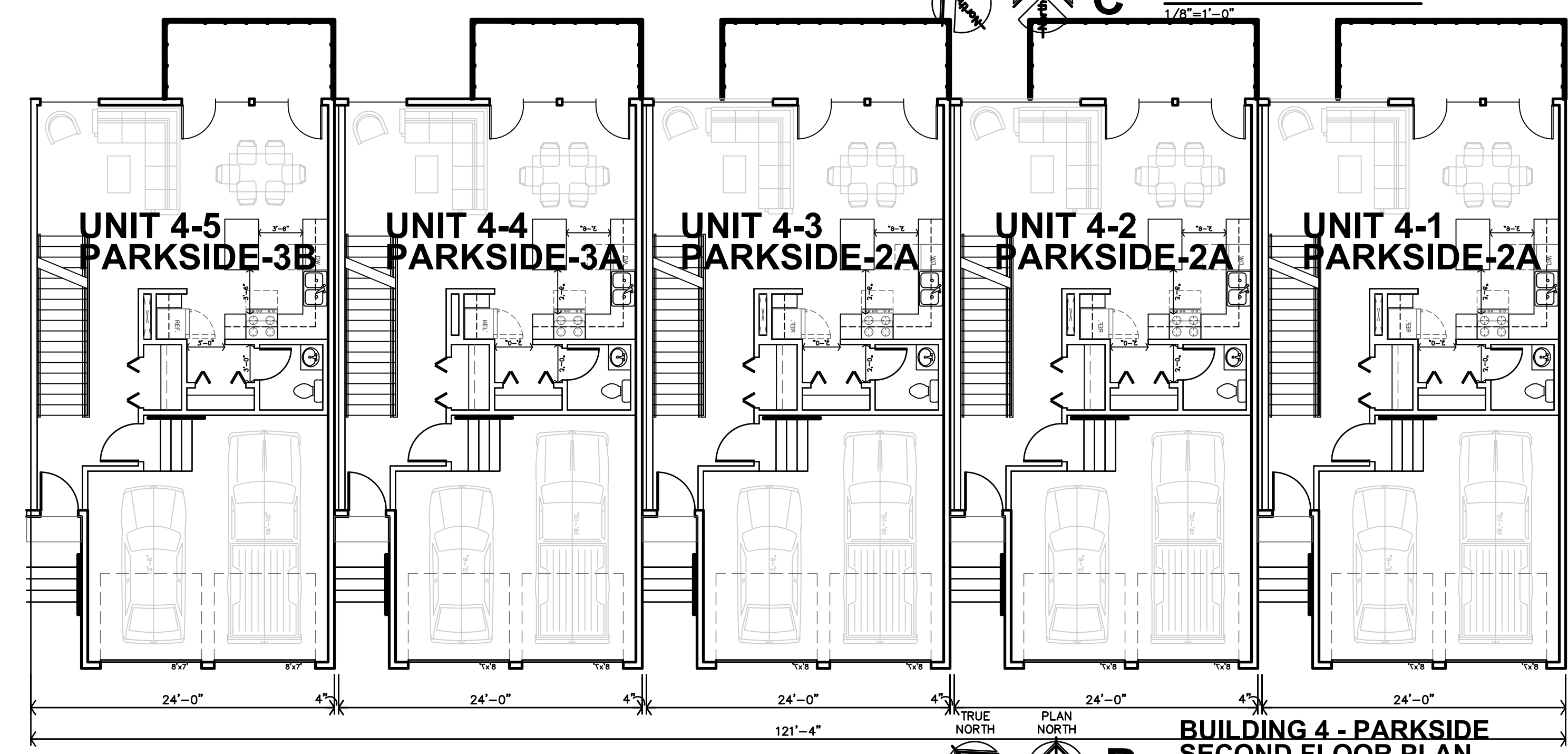
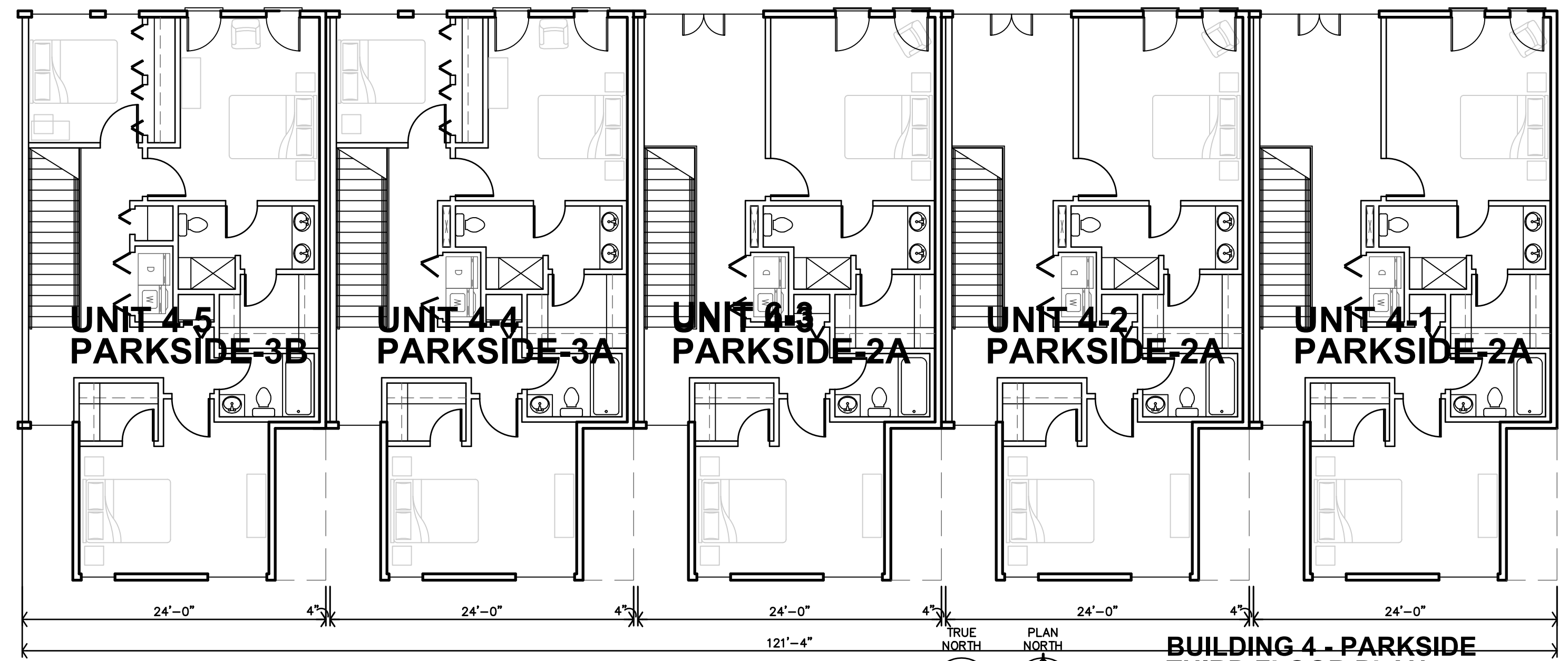
**PRELIMINARY
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REVISION:
DATE: 4-28-2025
JOB: 25-3090
SHEET NO.:

A2.1

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jgr@jgarchitects.com





Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
 NEW TOWNHOMES COMPLEX
 LENEXA,
 KANSAS



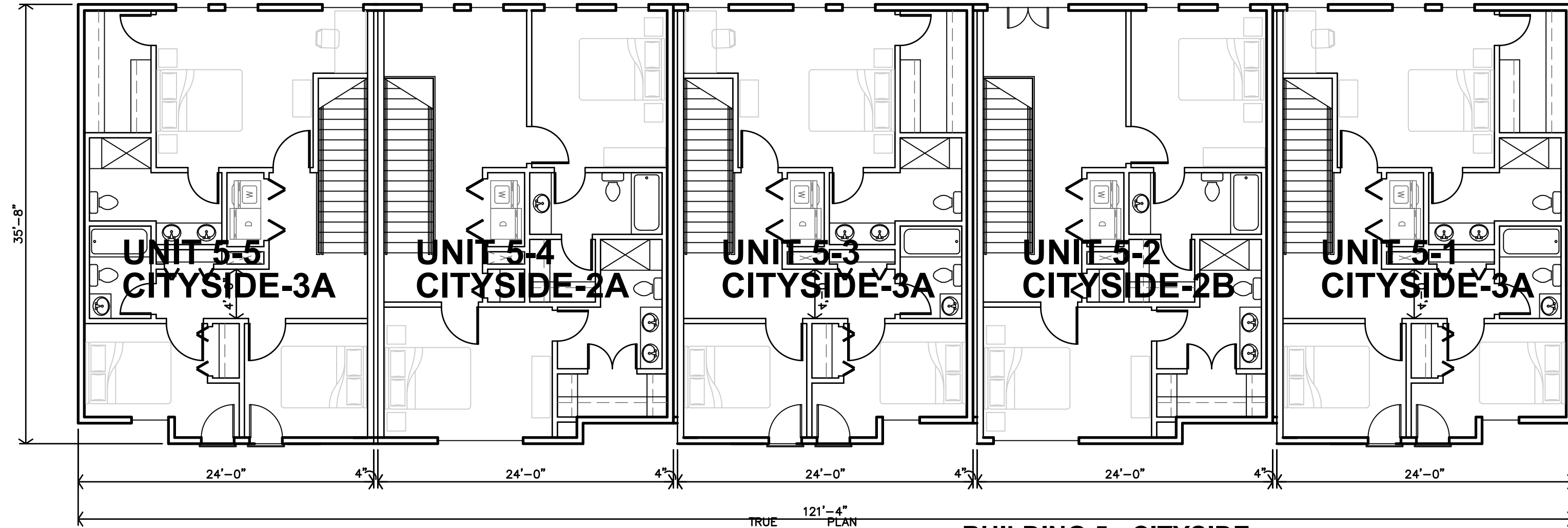
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JOB:	25-3090
SHEET NO.:	

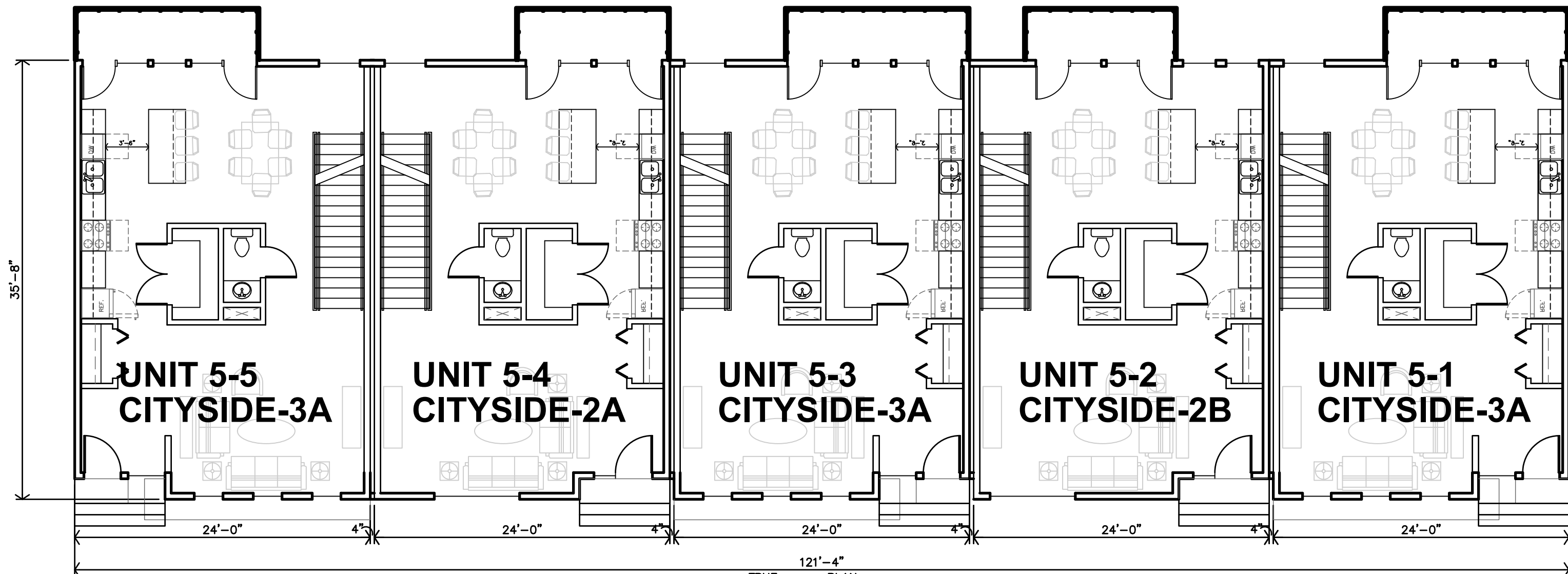
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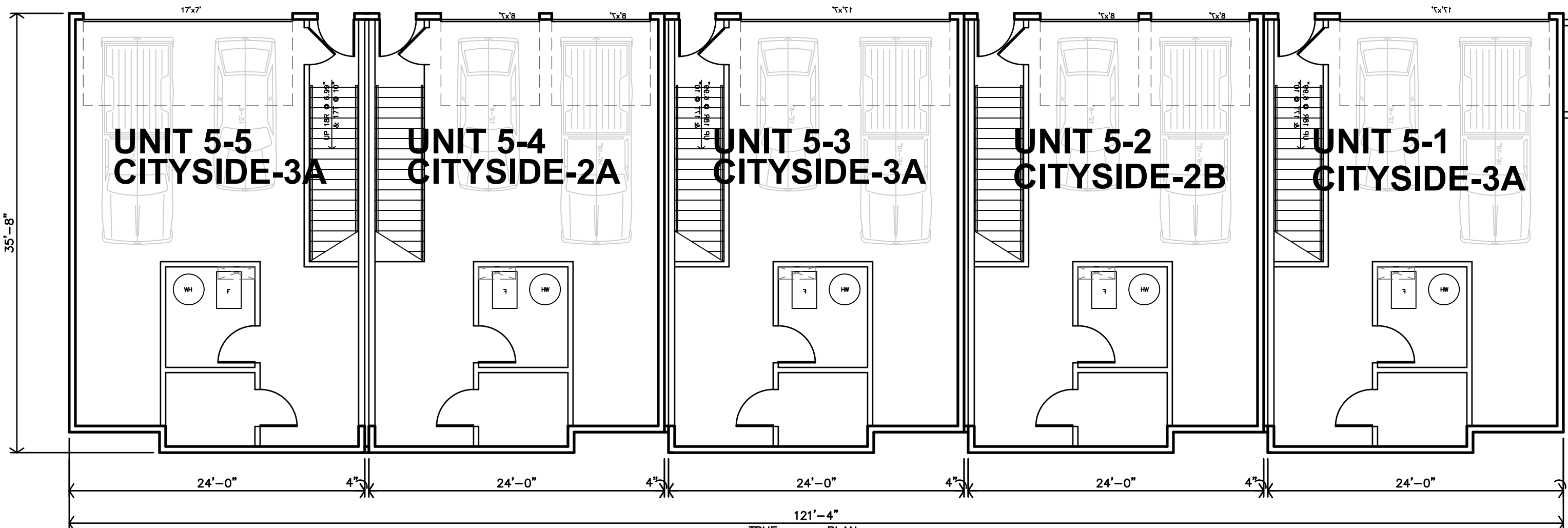




TRUE NORTH PLAN NORTH
C BUILDING 5 - CITYSIDE
 THIRD FLOOR PLAN
 1/8"=1'-0"



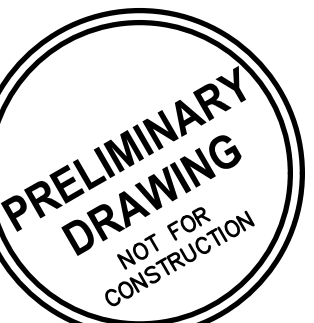
TRUE NORTH PLAN NORTH
B BUILDING 5 - CITYSIDE
 SECOND FLOOR PLAN
 1/8"=1'-0"



TRUE NORTH PLAN NORTH
A BUILDING 5 - CITYSIDE
 BASEMENT FLOOR PLAN
 1/8"=1'-0"

Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
 NEW TOWNHOMES COMPLEX
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 LENEXA,

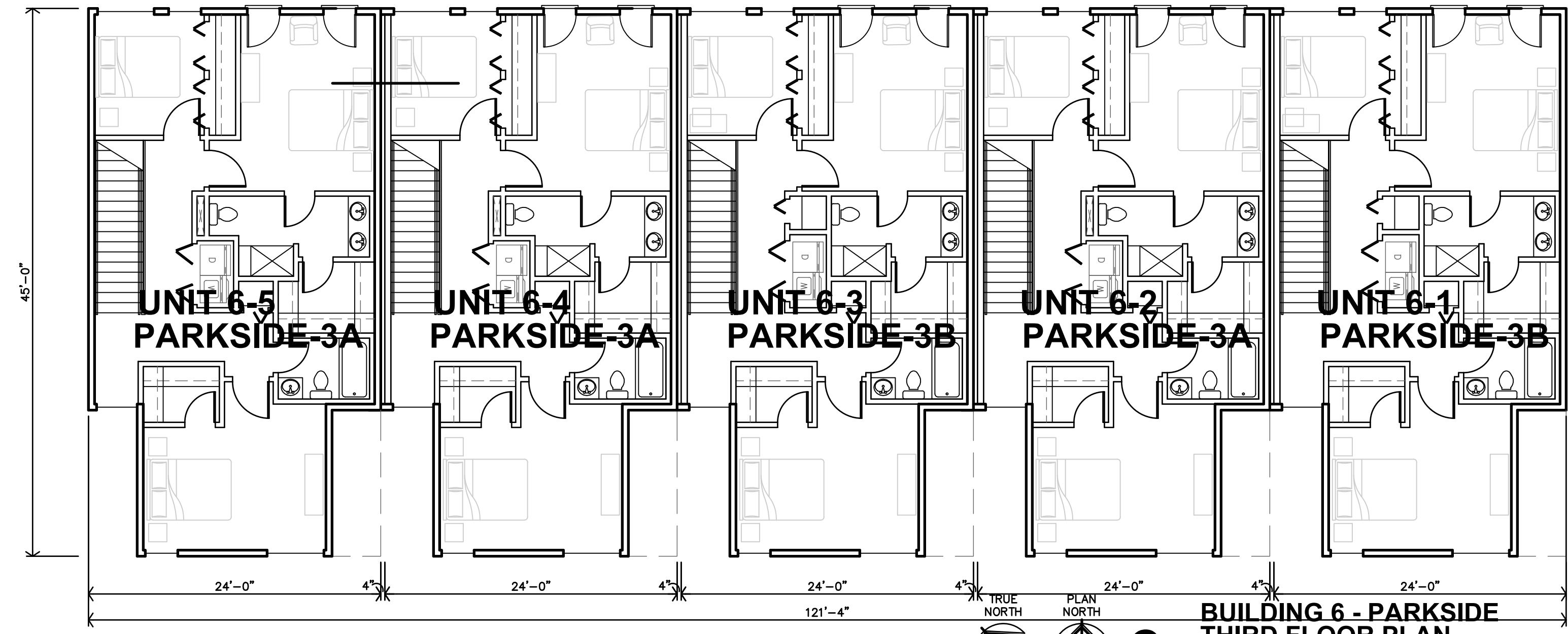


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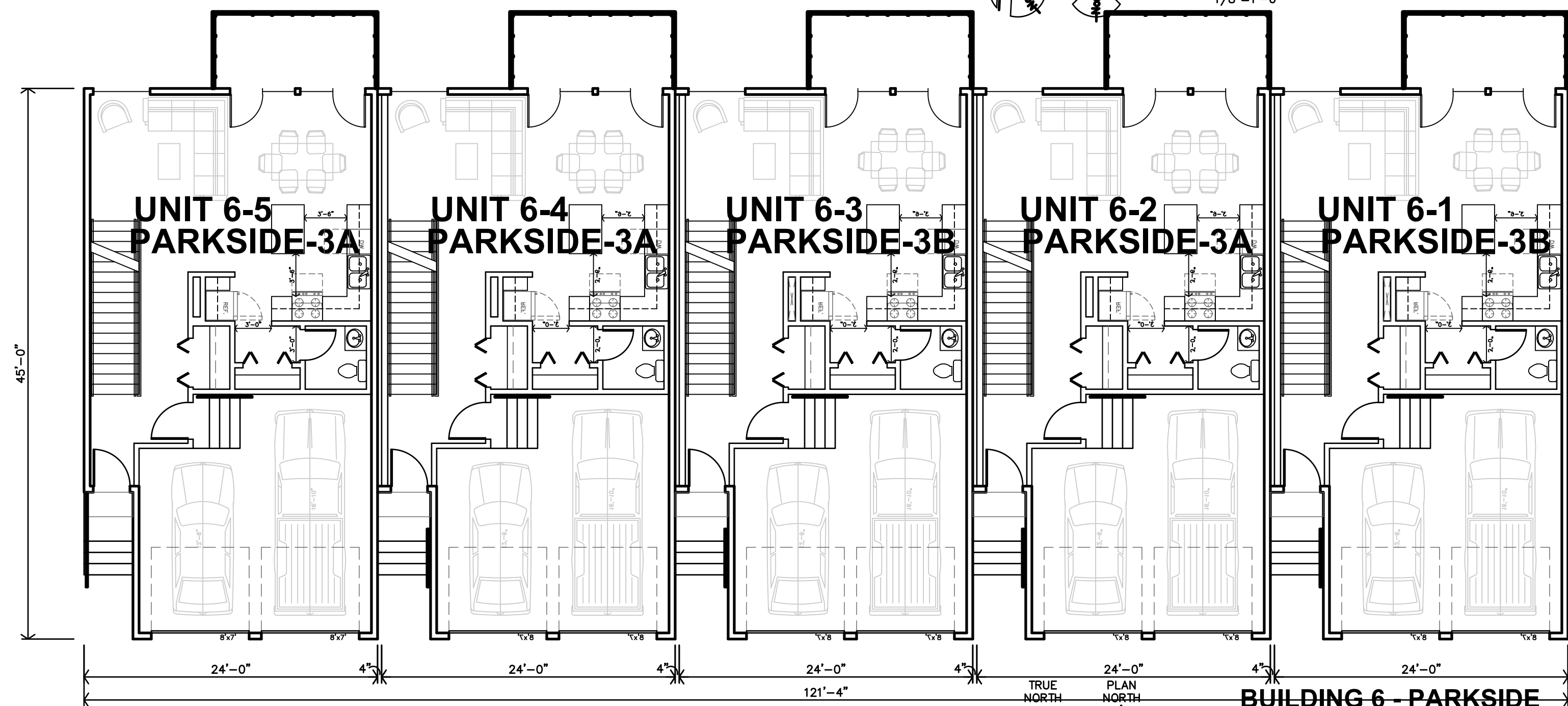
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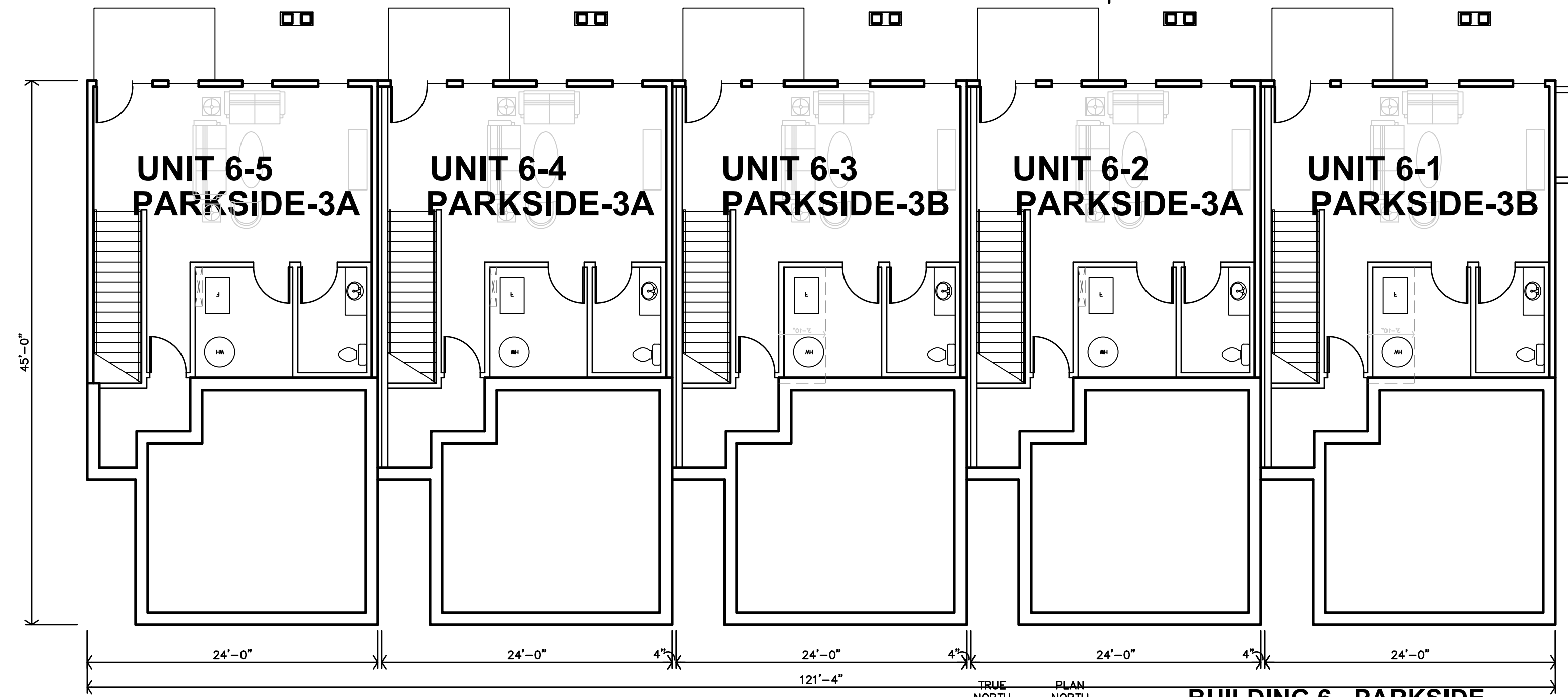
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 Salina, KS 67401
 785.827.0386
 1881 Main Street, Suite 301
 Kansas City, MO 64108
 jgr@jgarchitects.com



**BUILDING 6 - PARKSIDE
THIRD FLOOR PLAN**
1/8"=1'-0"



**BUILDING 6 - PARKSIDE
SECOND FLOOR PLAN**
1/8"=1'-0"



**BUILDING 6 - PARKSIDE
BASEMENT FLOOR PLAN**
1/8"=1'-0"

Final Development Plan Set

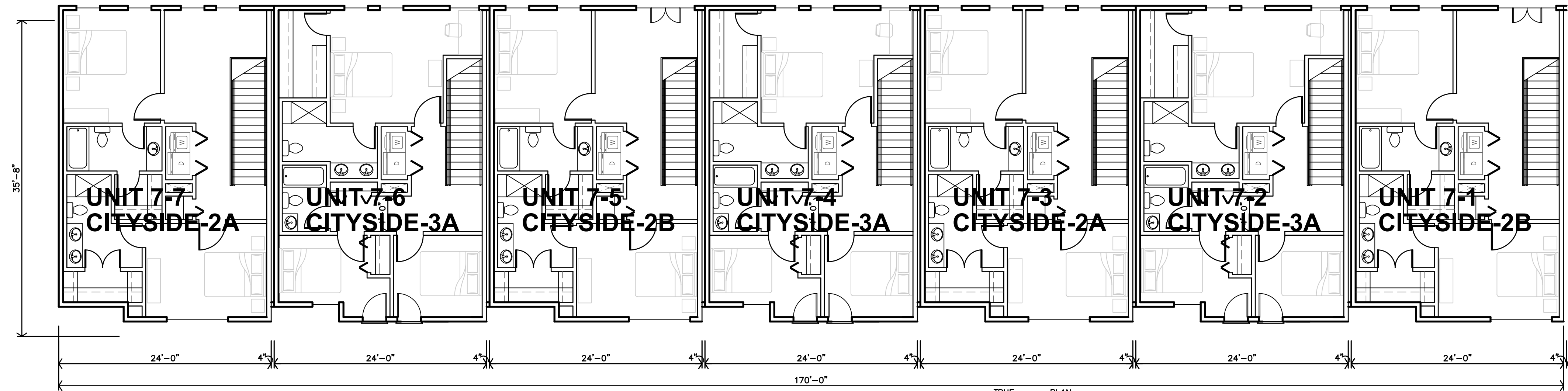
LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA,
KANSAS



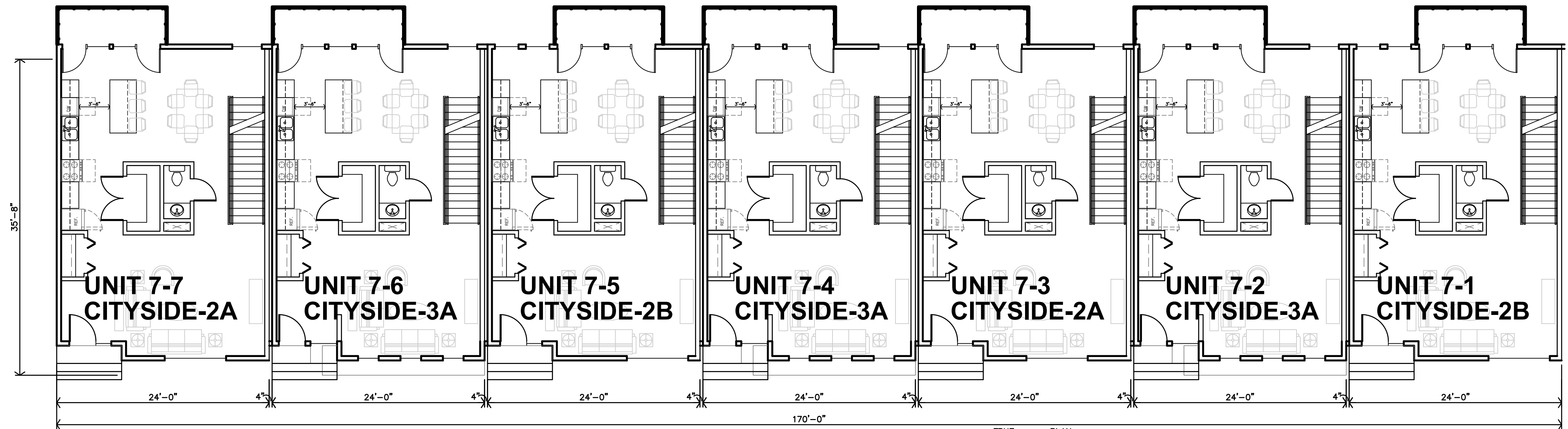
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JOB:	25-3090
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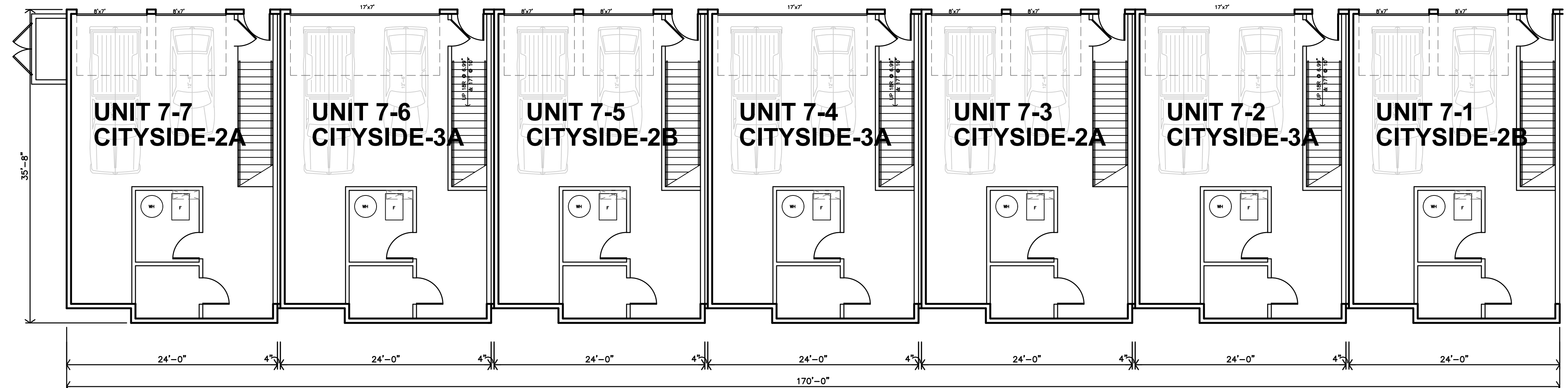
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TRUE NORTH PLAN NORTH
C BUILDING 7 - CITYSIDE
 THIRD FLOOR PLAN
 1/8"=1'-0"



TRUE NORTH PLAN NORTH
B BUILDING 7 - CITYSIDE
 SECOND FLOOR PLAN
 1/8"=1'-0"



TRUE NORTH PLAN NORTH
A BUILDING 7 - CITYSIDE
 BASEMENT FLOOR PLAN
 1/8"=1'-0"

Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
 NEW TOWNHOMES COMPLEX
 KANSAS
 LENEXA,



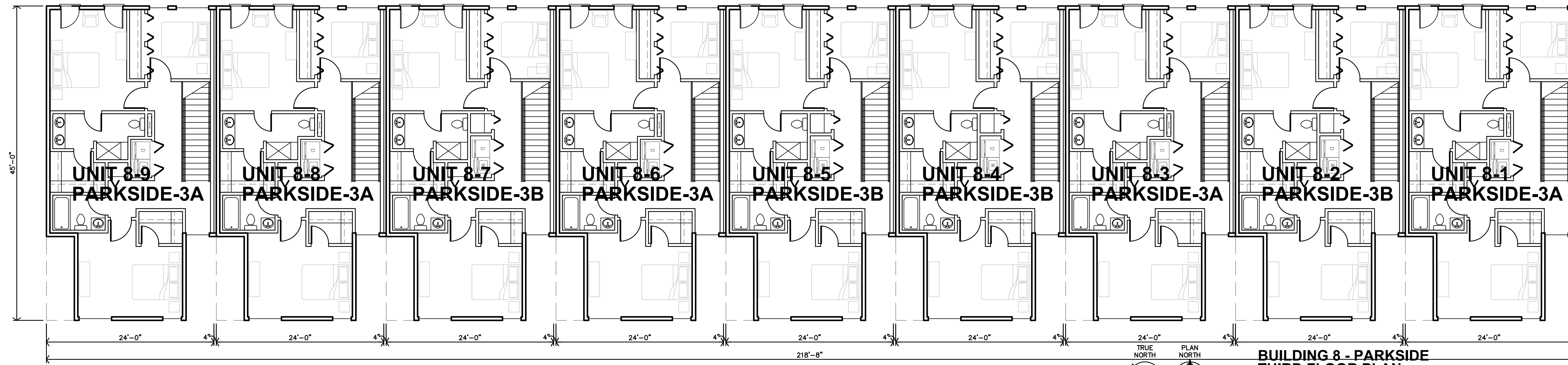
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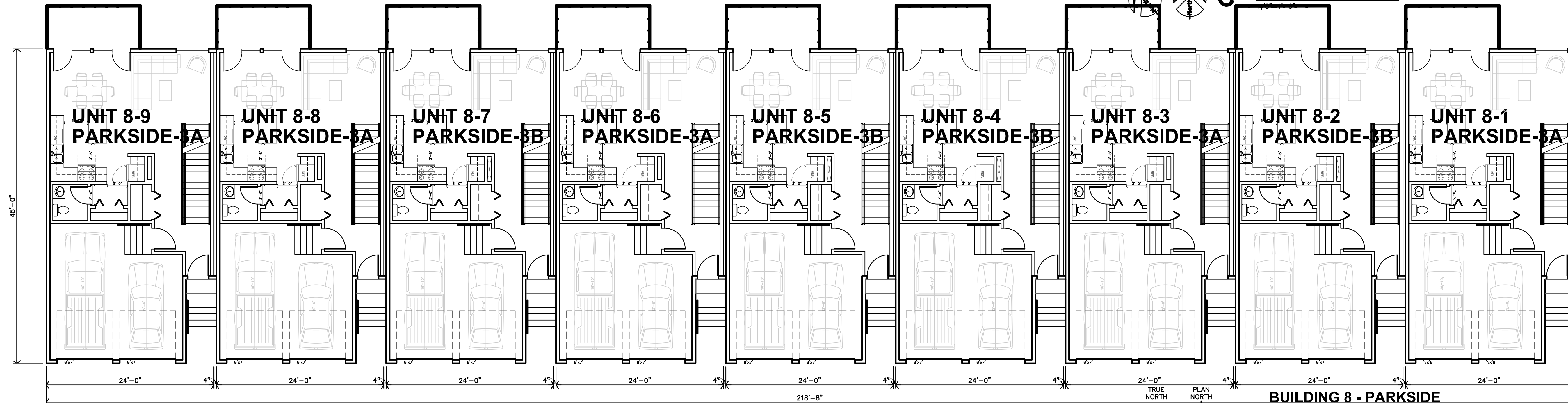
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 730 N. Ninth
 Salina, KS 67401
 785.827.0386
 jgr@jgarchitects.com



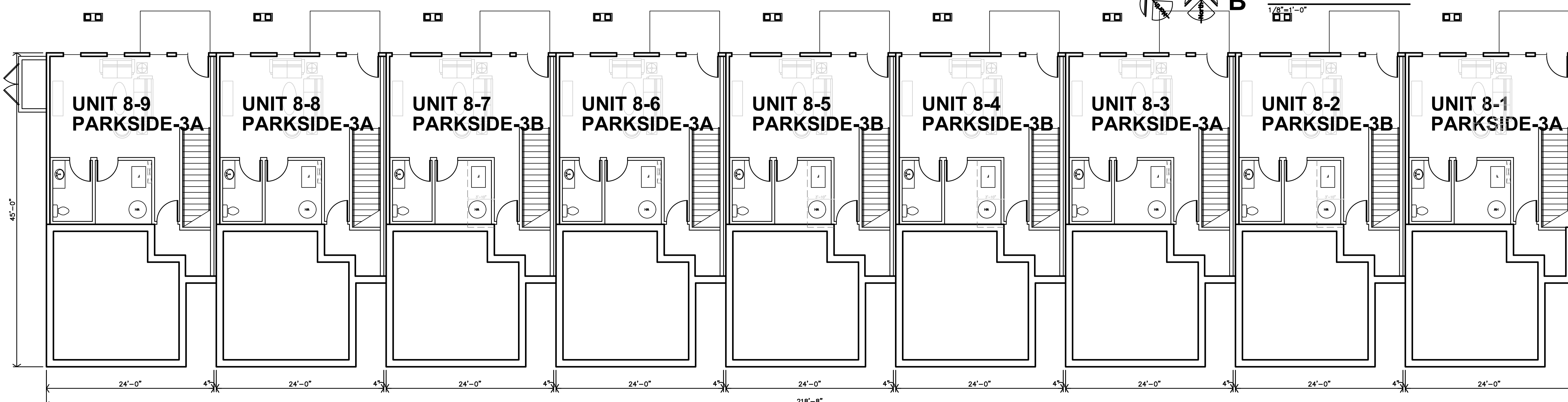
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**BUILDING 8 - PARKSIDE
THIRD FLOOR PLAN**



**BUILDING 8 - PARKSIDE
SECOND FLOOR PLAN**



**BUILDING 8 - PARKSIDE
BASEMENT FLOOR PLAN**

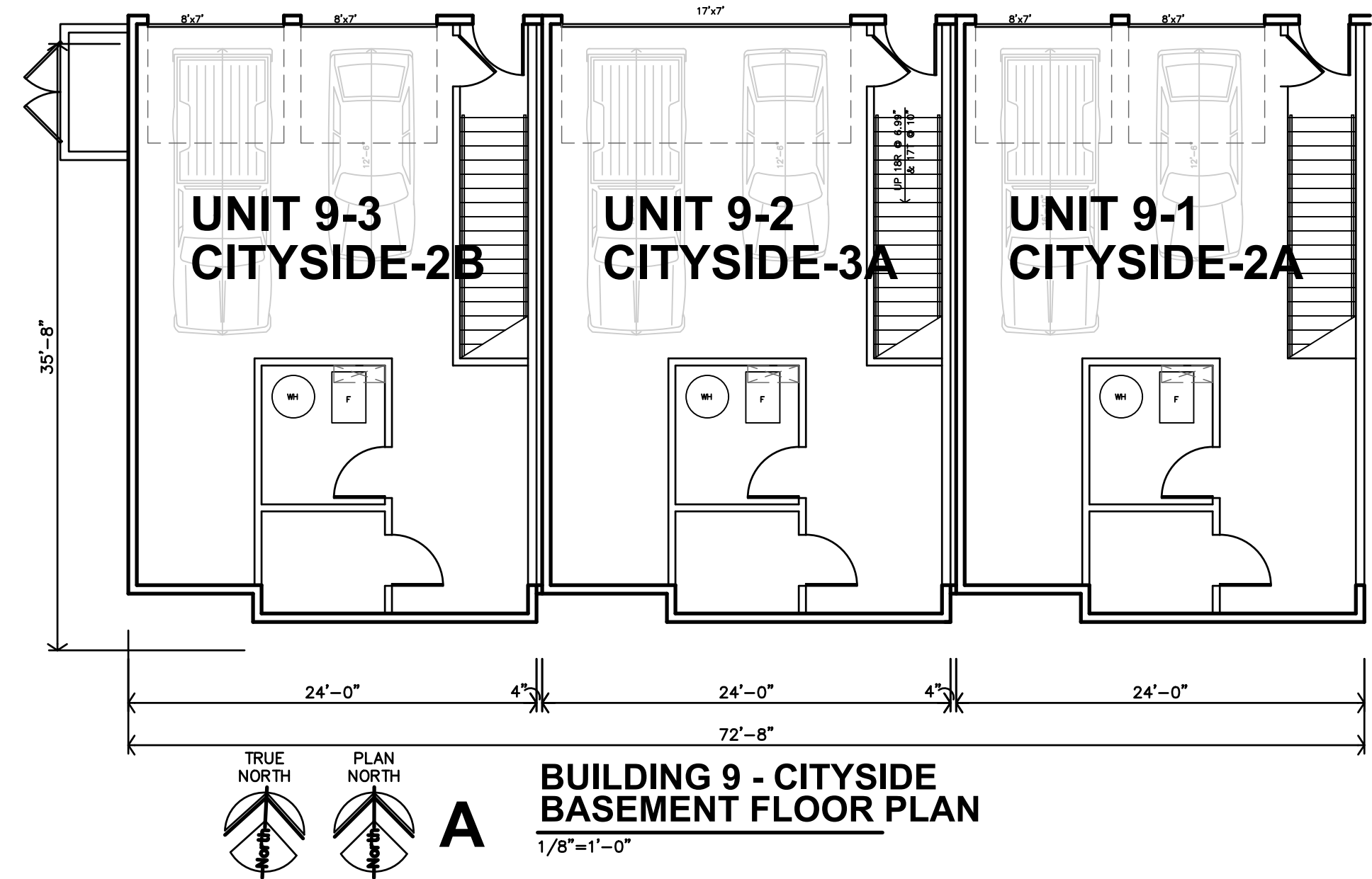
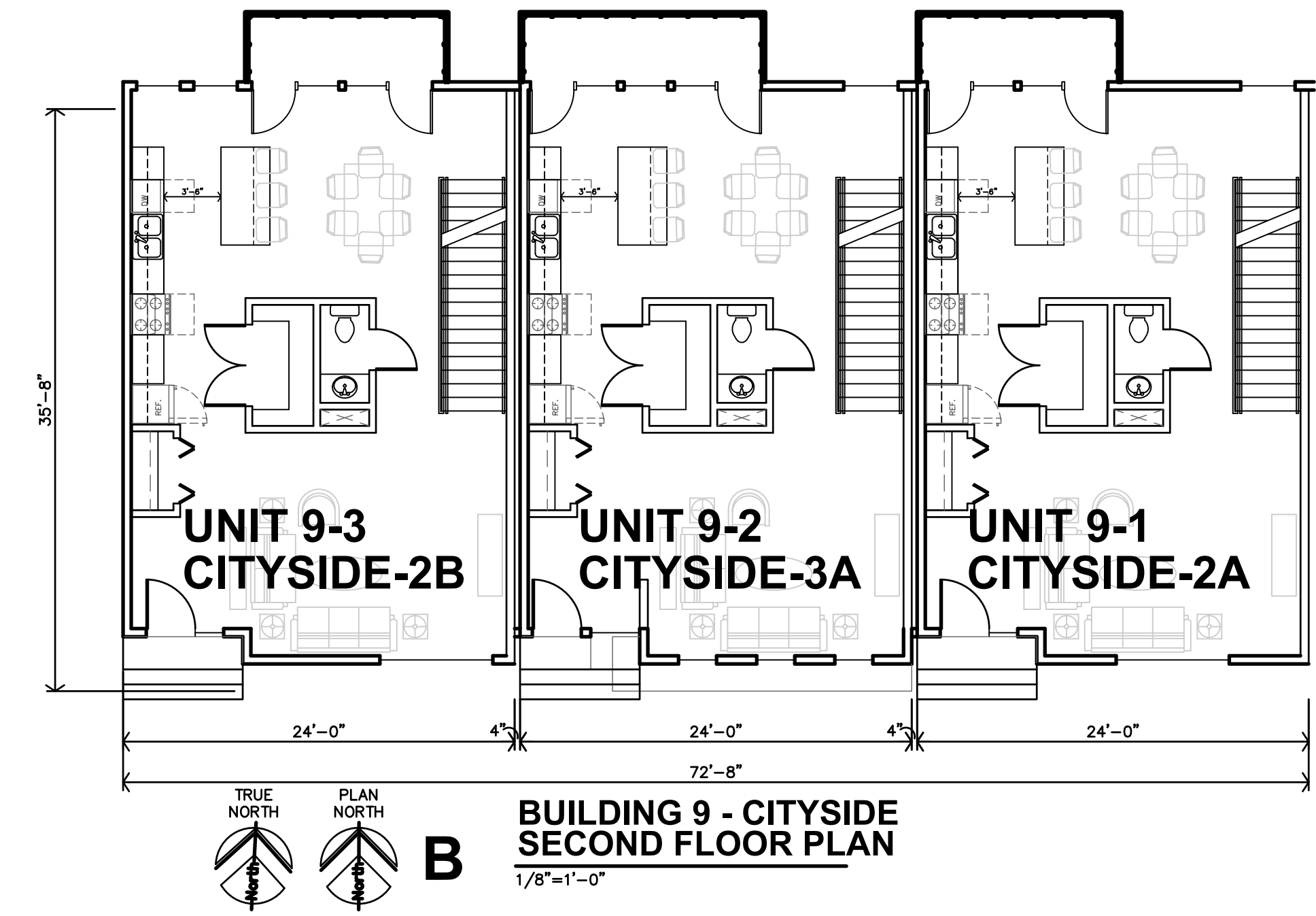
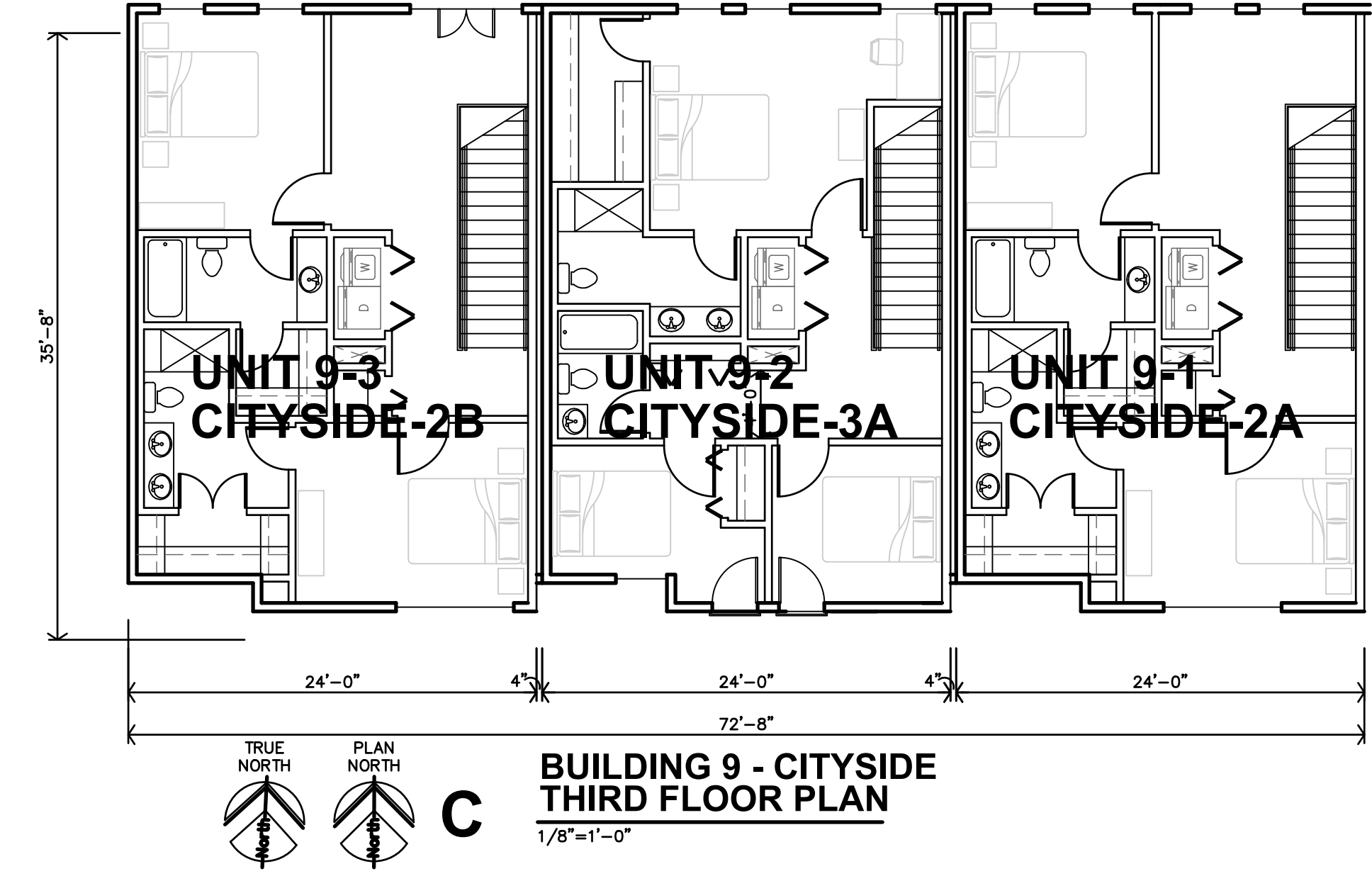
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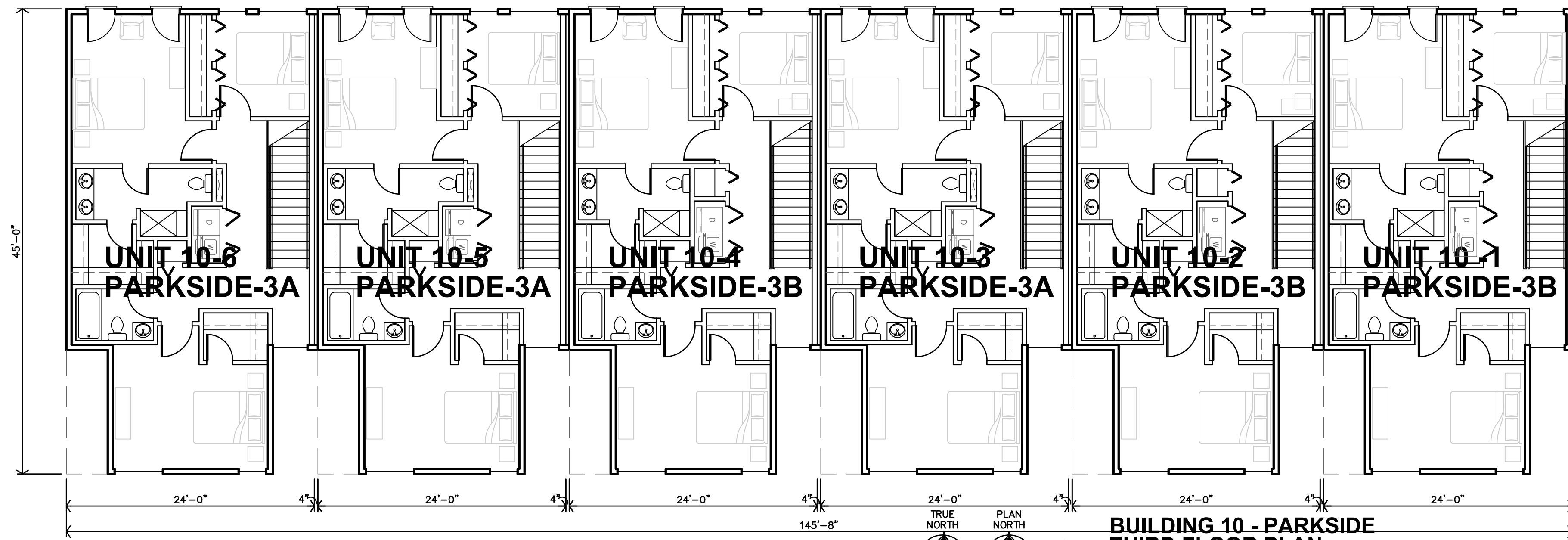
LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS



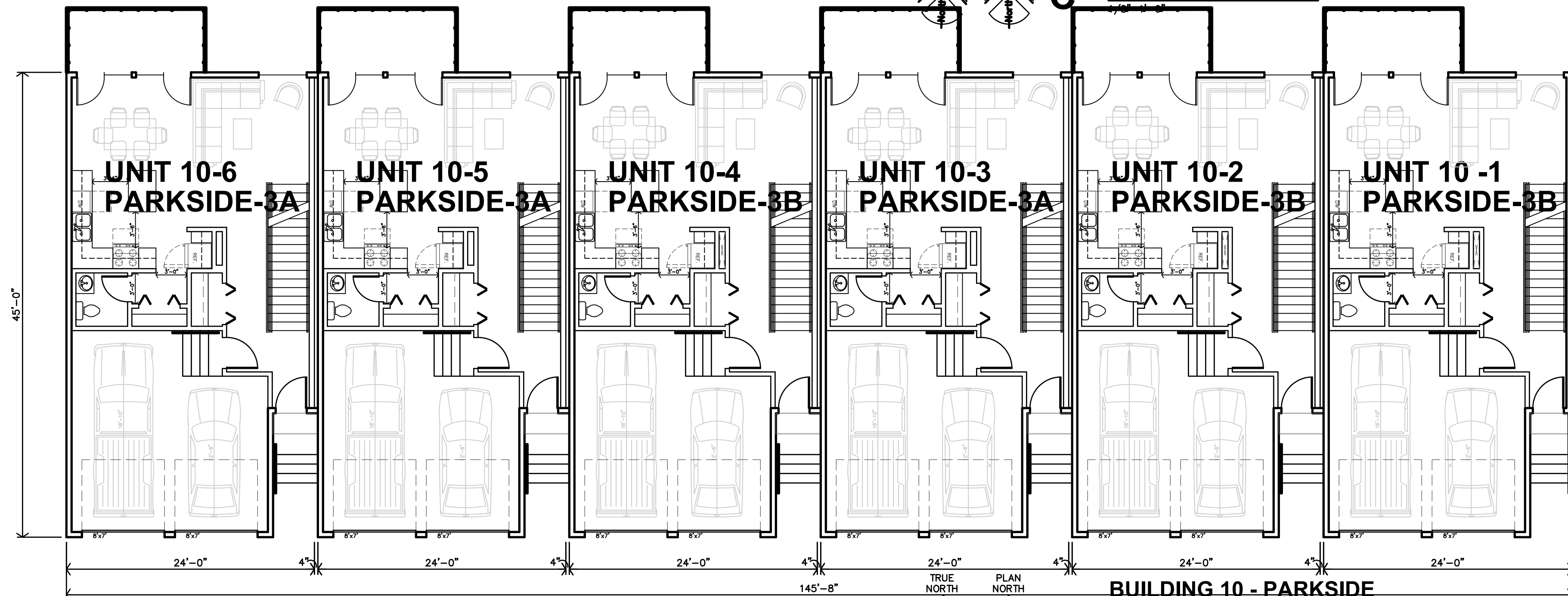
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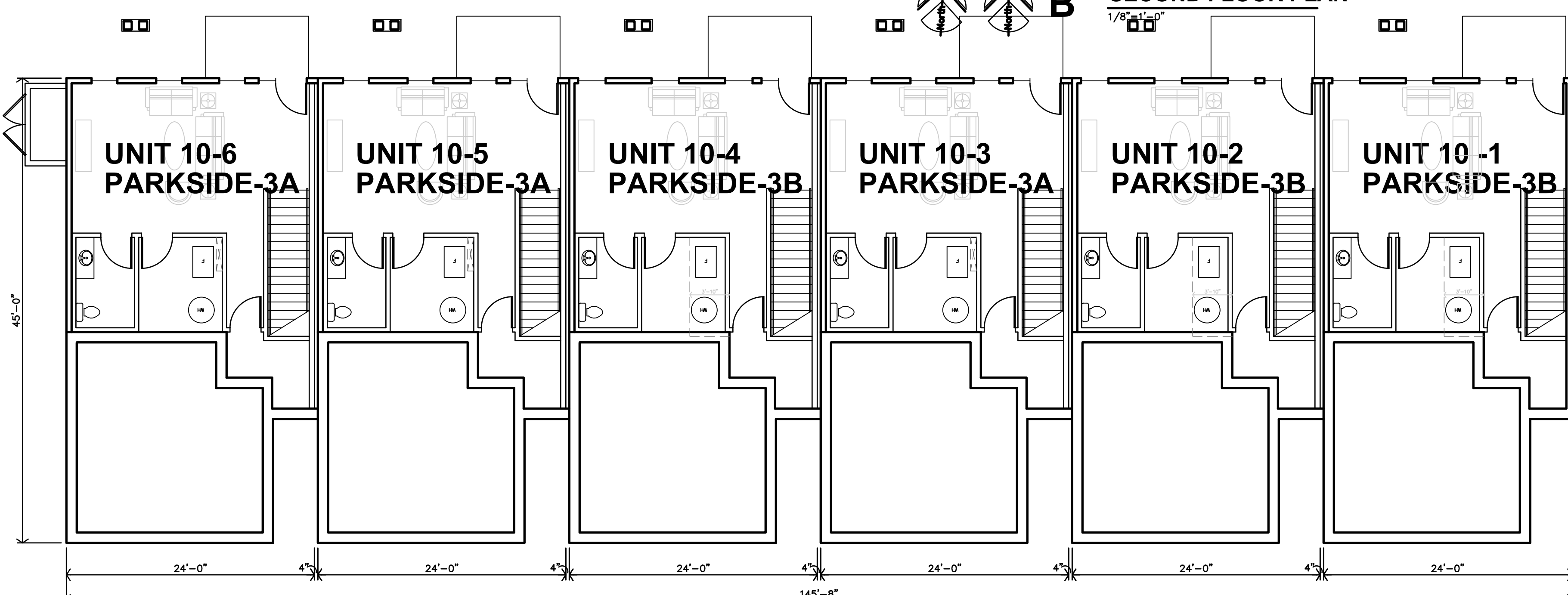
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 jgr@jgarchitects.com



**BUILDING 10 - PARKSIDE
THIRD FLOOR PLAN**



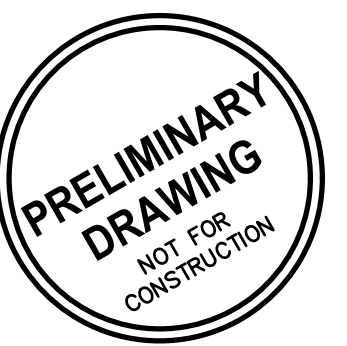
**BUILDING 10 - PARKSIDE
SECOND FLOOR PLAN**



**BUILDING 10 - PARKSIDE
BASEMENT FLOOR PLAN**

Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS

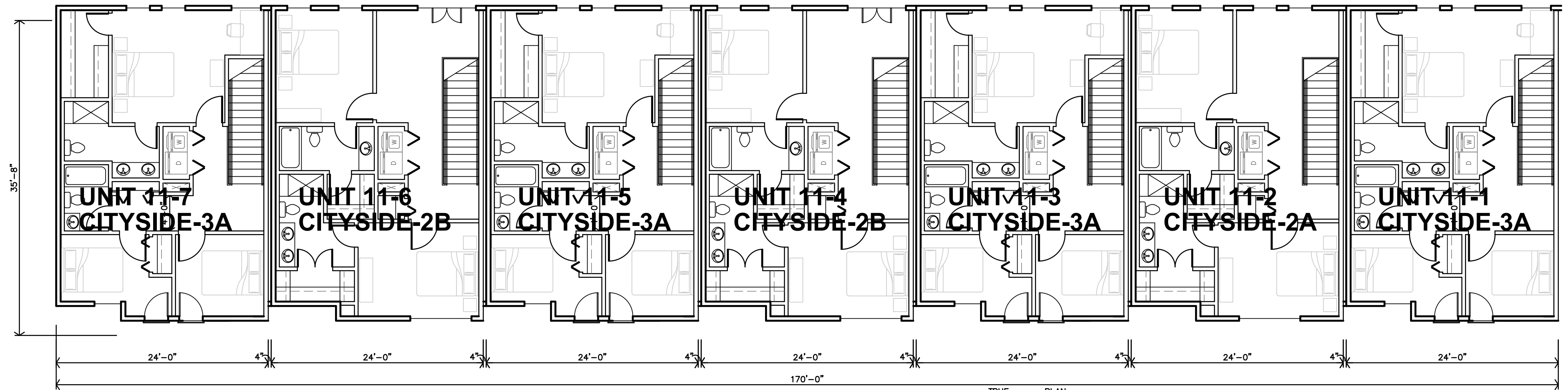


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 DATE: 4-28-2025
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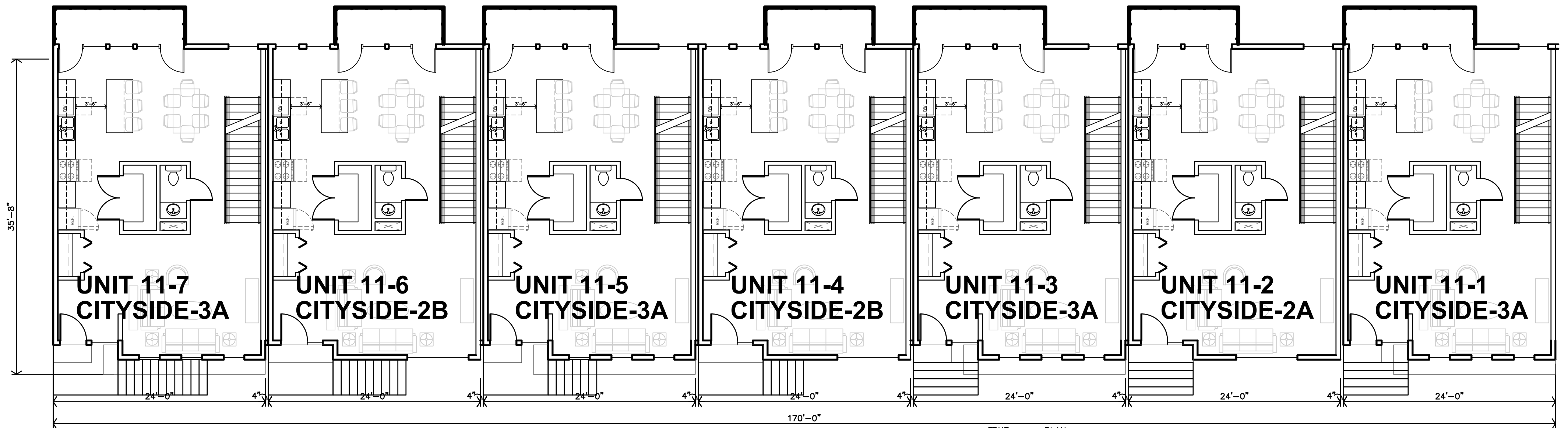
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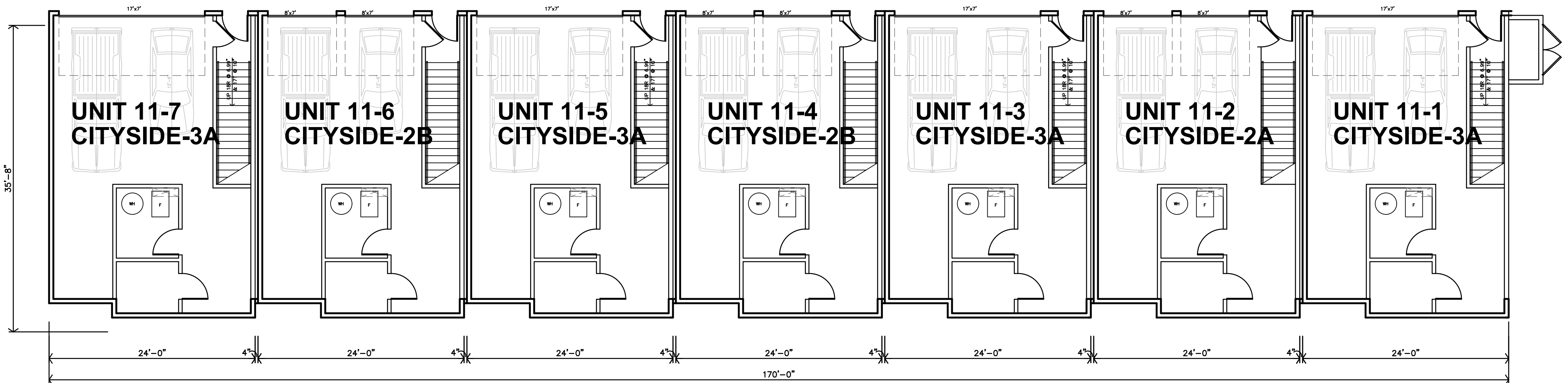
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TRUE NORTH PLAN NORTH
C BUILDING 11 - CITYSIDE
 THIRD FLOOR PLAN
 1/8"=1'-0"



TRUE NORTH PLAN NORTH
B BUILDING 11 - CITYSIDE
 SECOND FLOOR PLAN
 1/8"=1'-0"



TRUE NORTH PLAN NORTH
A BUILDING 11 - CITYSIDE
 BASEMENT FLOOR PLAN
 1/8"=1'-0"

Final Development Plan Set

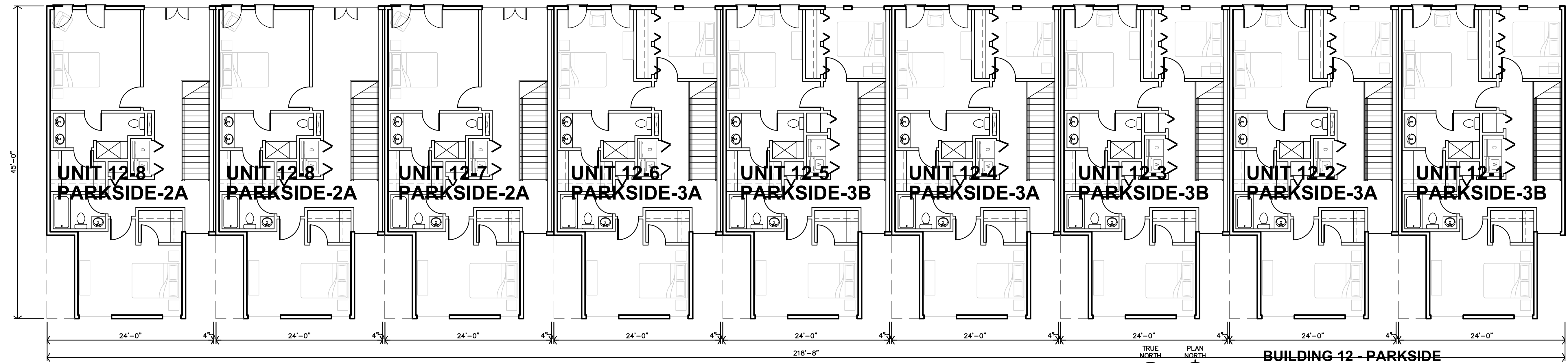
LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
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 1881 Main Street, Suite 301
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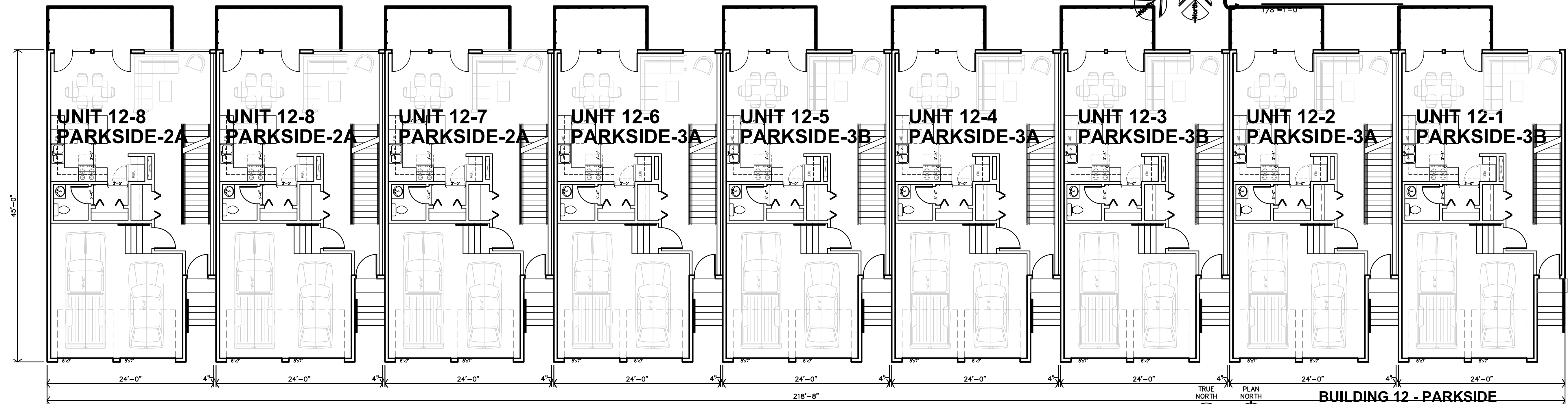


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DATE:	4-28-2025
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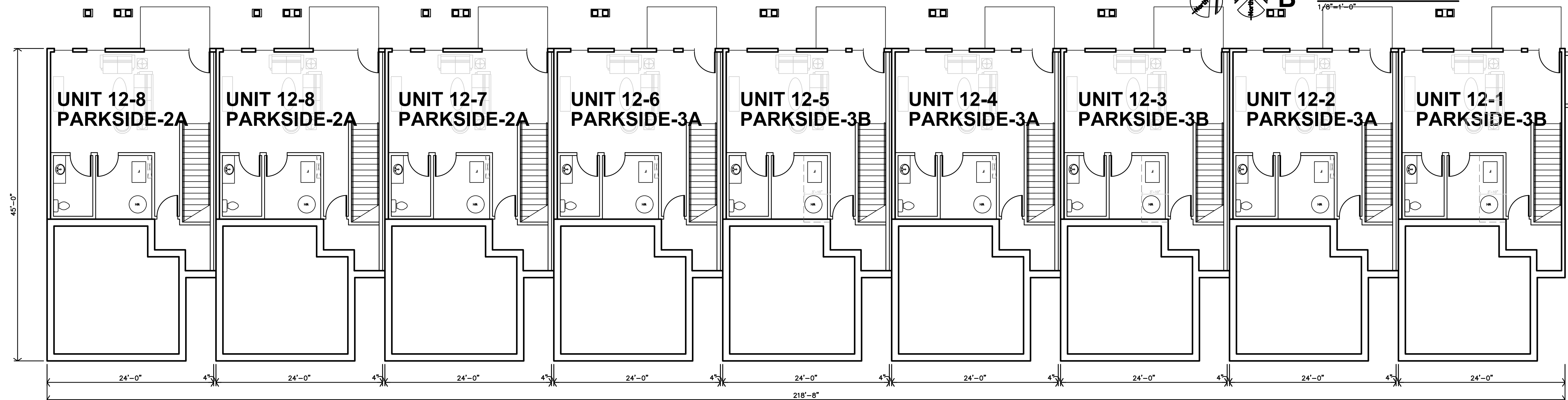
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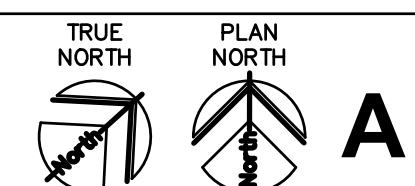
**BUILDING 12 - PARKSIDE
THIRD FLOOR PLAN**
1/8"=1'-0"



**BUILDING 12 - PARKSIDE
SECOND FLOOR PLAN**
1/8"=1'-0"



**BUILDING 12 - PARKSIDE
BASEMENT FLOOR PLAN**
1/8"=1'-0"



Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA,
KANSAS

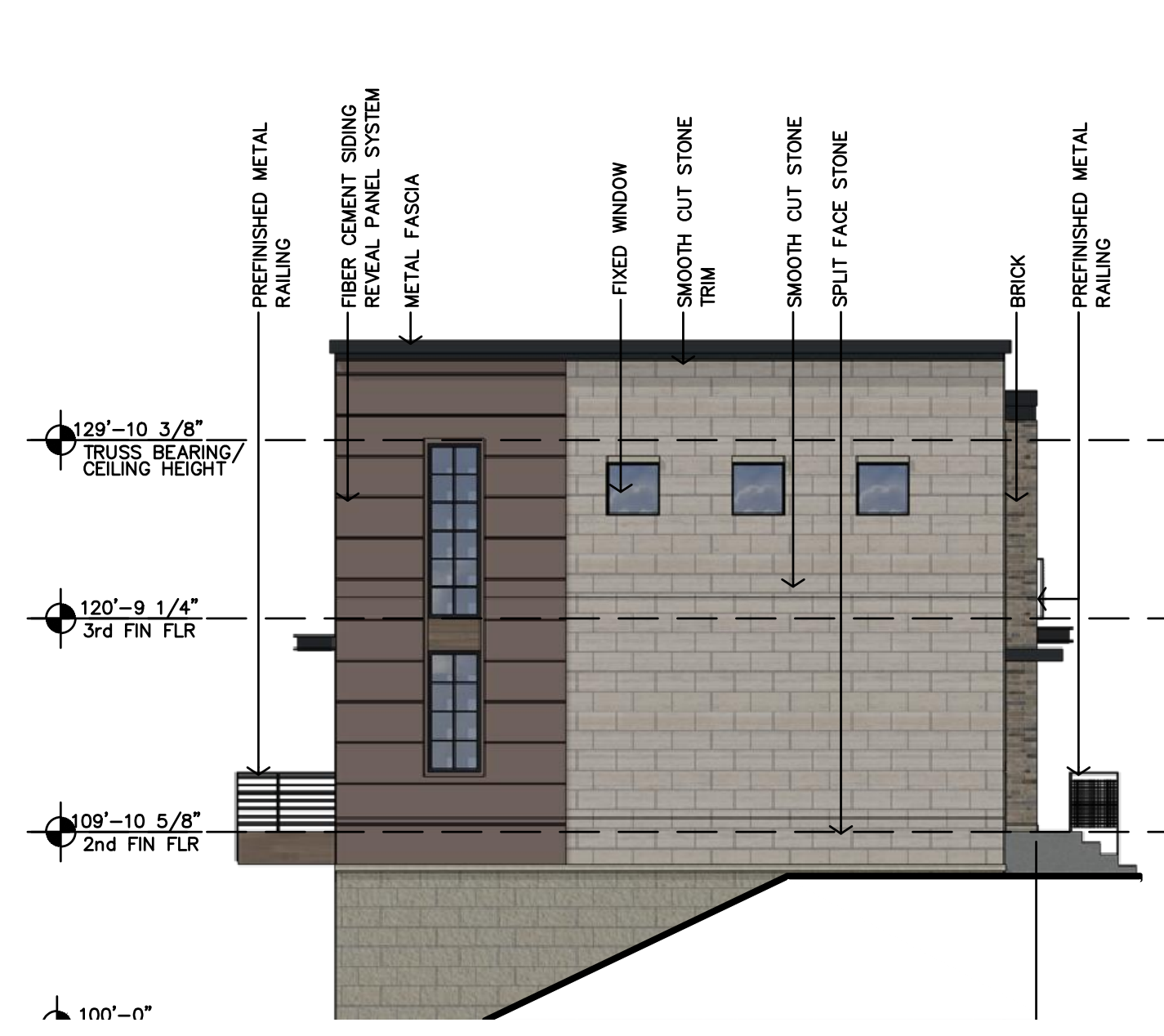


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DATE: 4-28-2025
JOB: 25-3090
SHEET NO.:

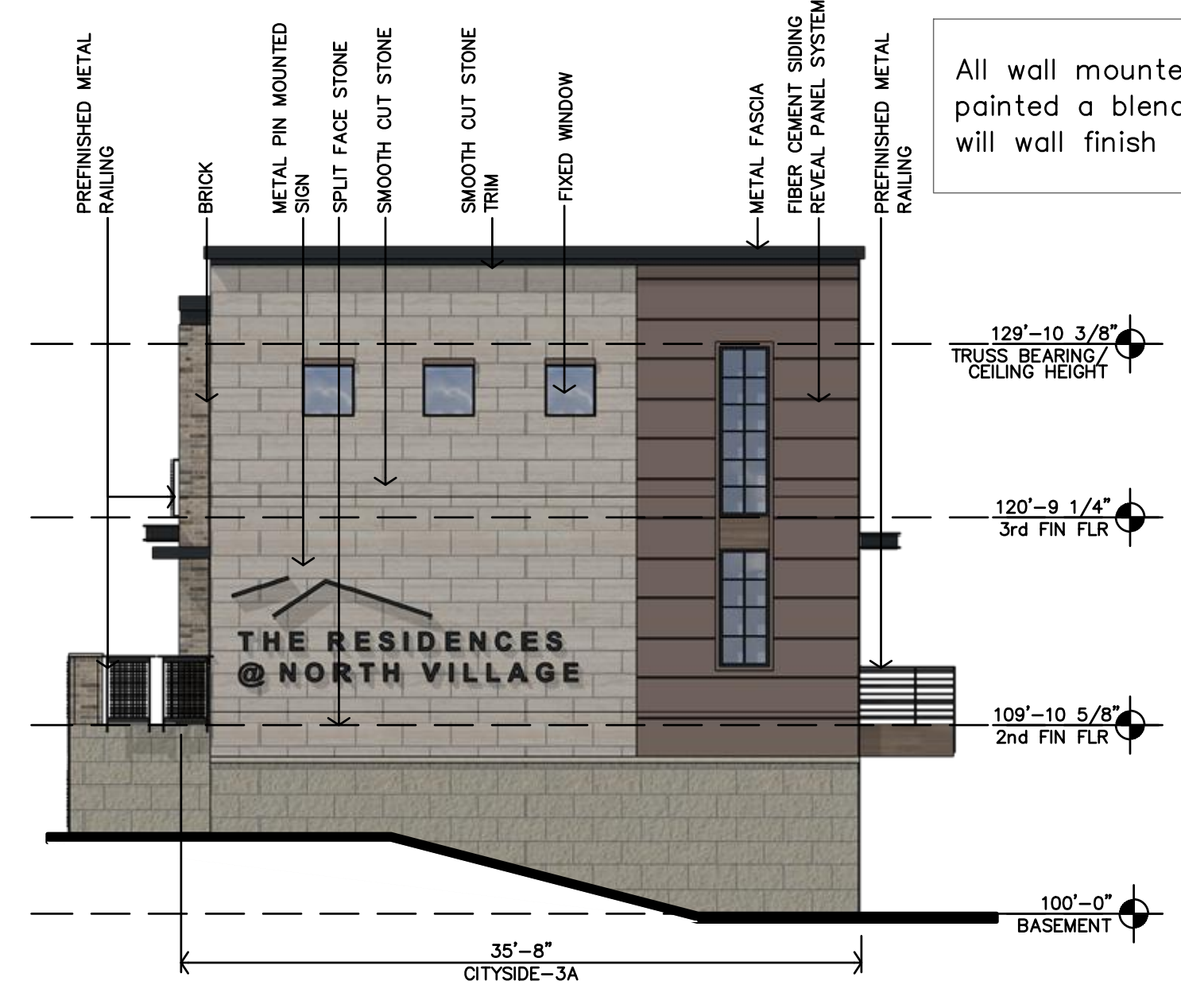
A2.10

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F BUILDING 3 WEST ELEVATION
1/8"=1'-0"



E BUILDING 3 EAST ELEVATION
1/8"=1'-0"

All wall mounted equipment will be painted a blending or coordinating color will wall finish



B BUILDING 3 STREET ELEVATION
1/8"=1'-0"



A BUILDING 3 GARAGE ELEVATION
1/8"=1'-0"

Final Development Plan Set

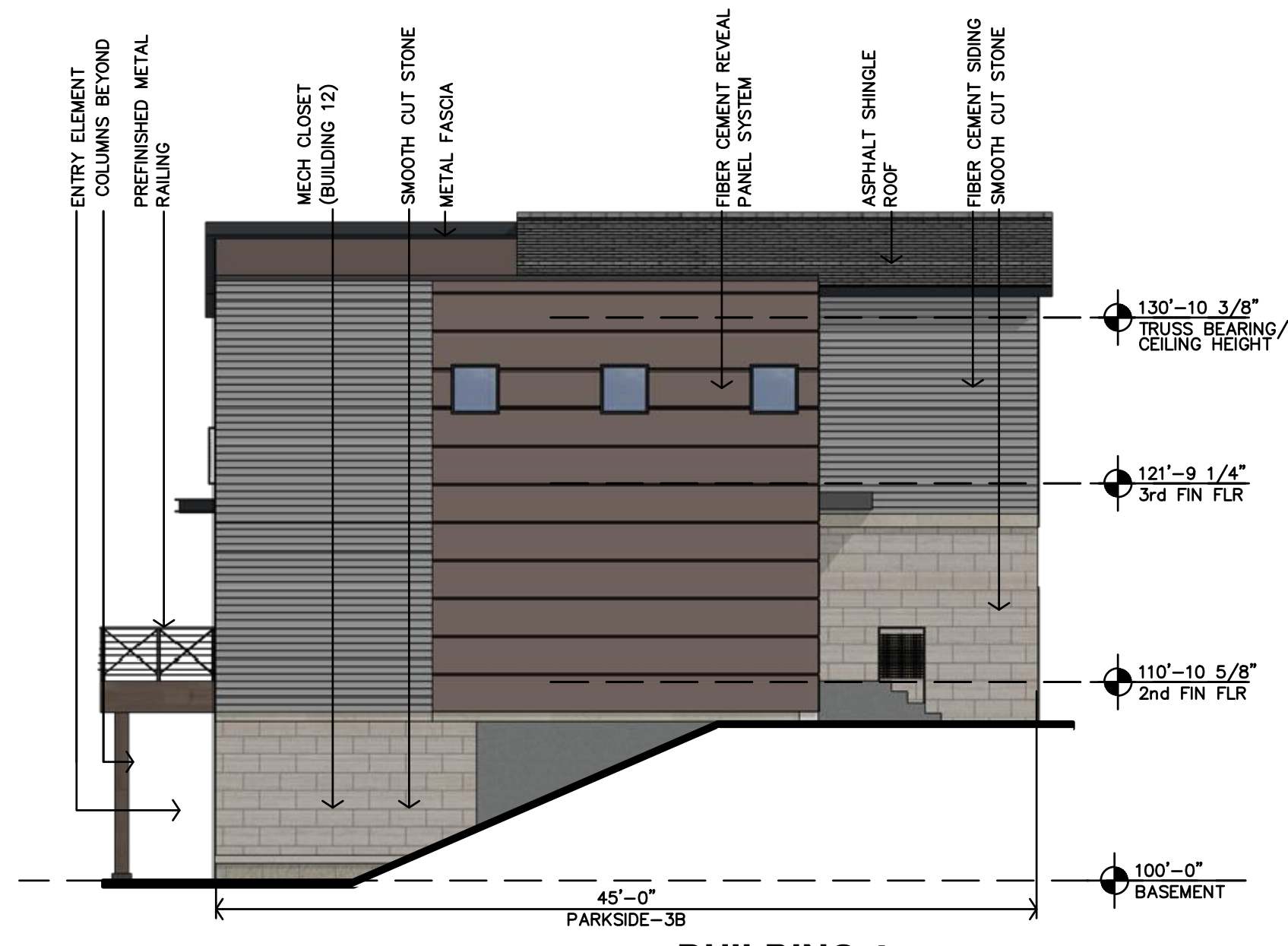
LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA,
KANSAS



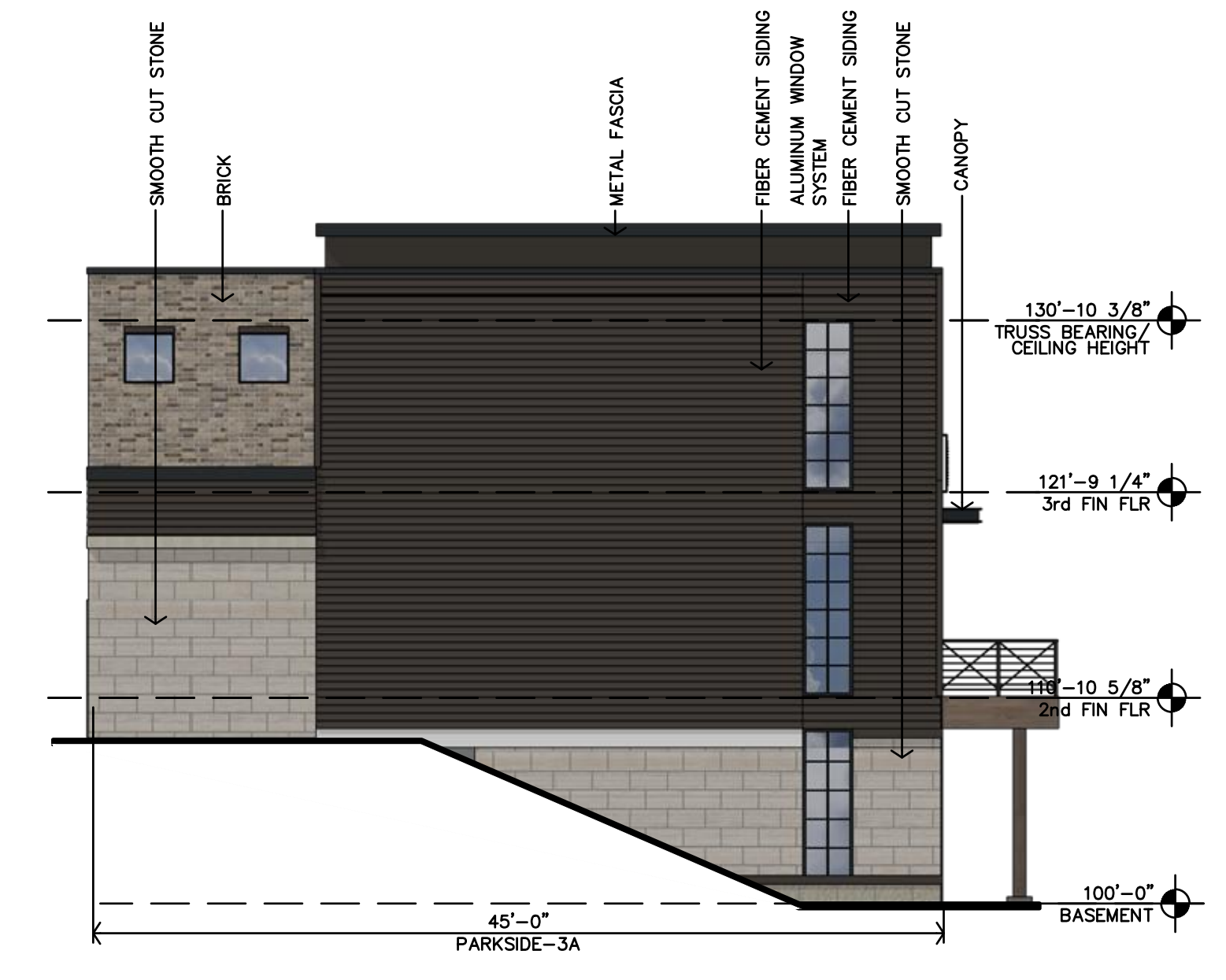
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DATE:	4-28-2025
JOB:	25-3090
SHEET NO.:	

A3.1

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D BUILDING 4 WEST ELEVATION
1/8"=1'-0"



C BUILDING 4 EAST ELEVATION
1/8"=1'-0"



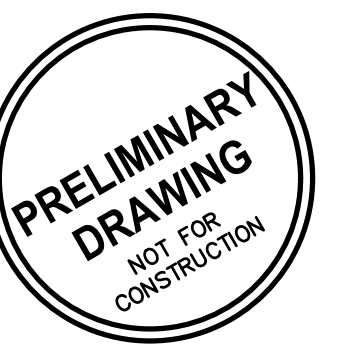
B BUILDING 4 PARK ELEVATION
1/8"=1'-0"



A BUILDING 4 GARAGE ELEVATION
1/8"=1'-0"

Final Development Plan Set

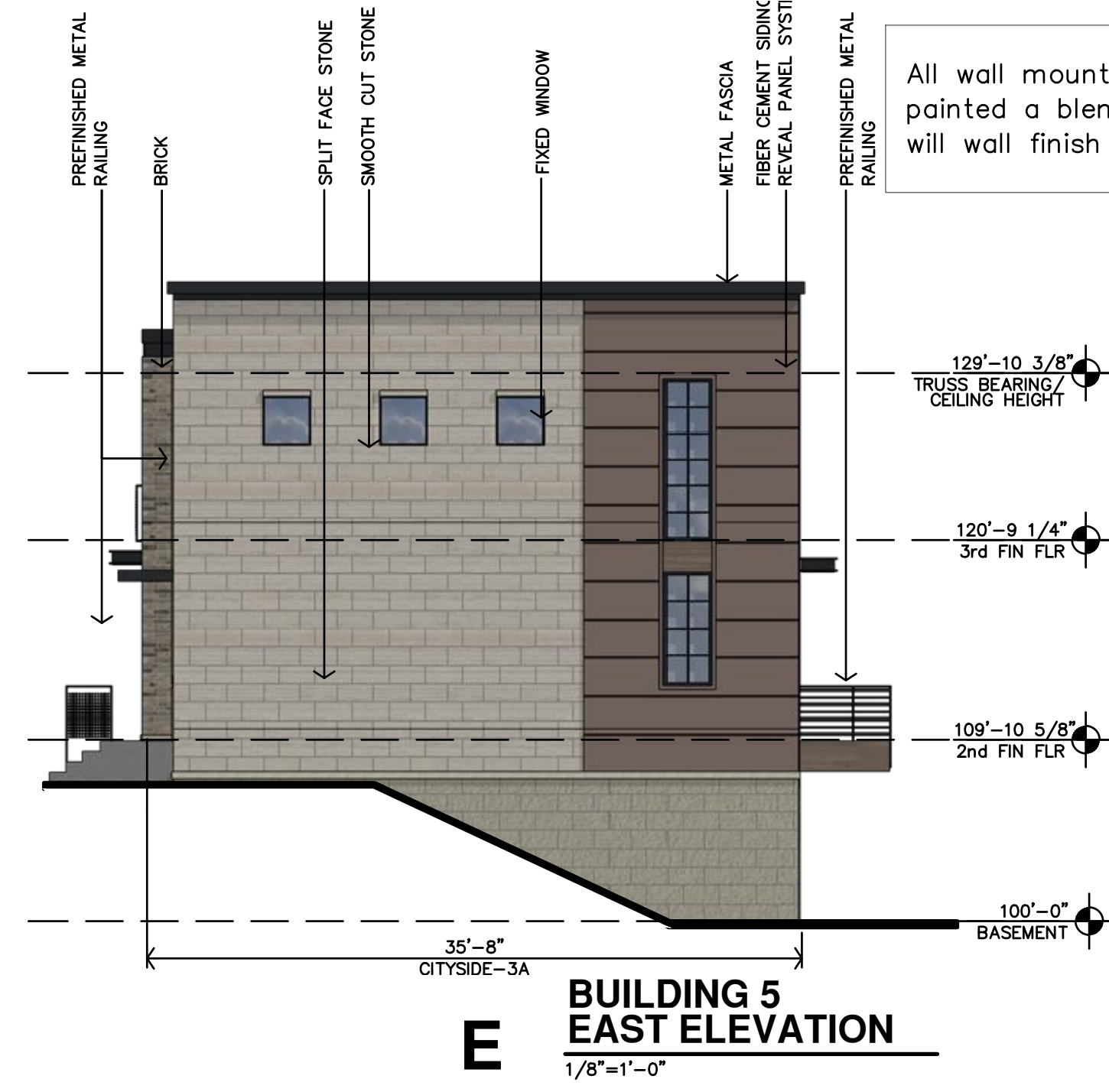
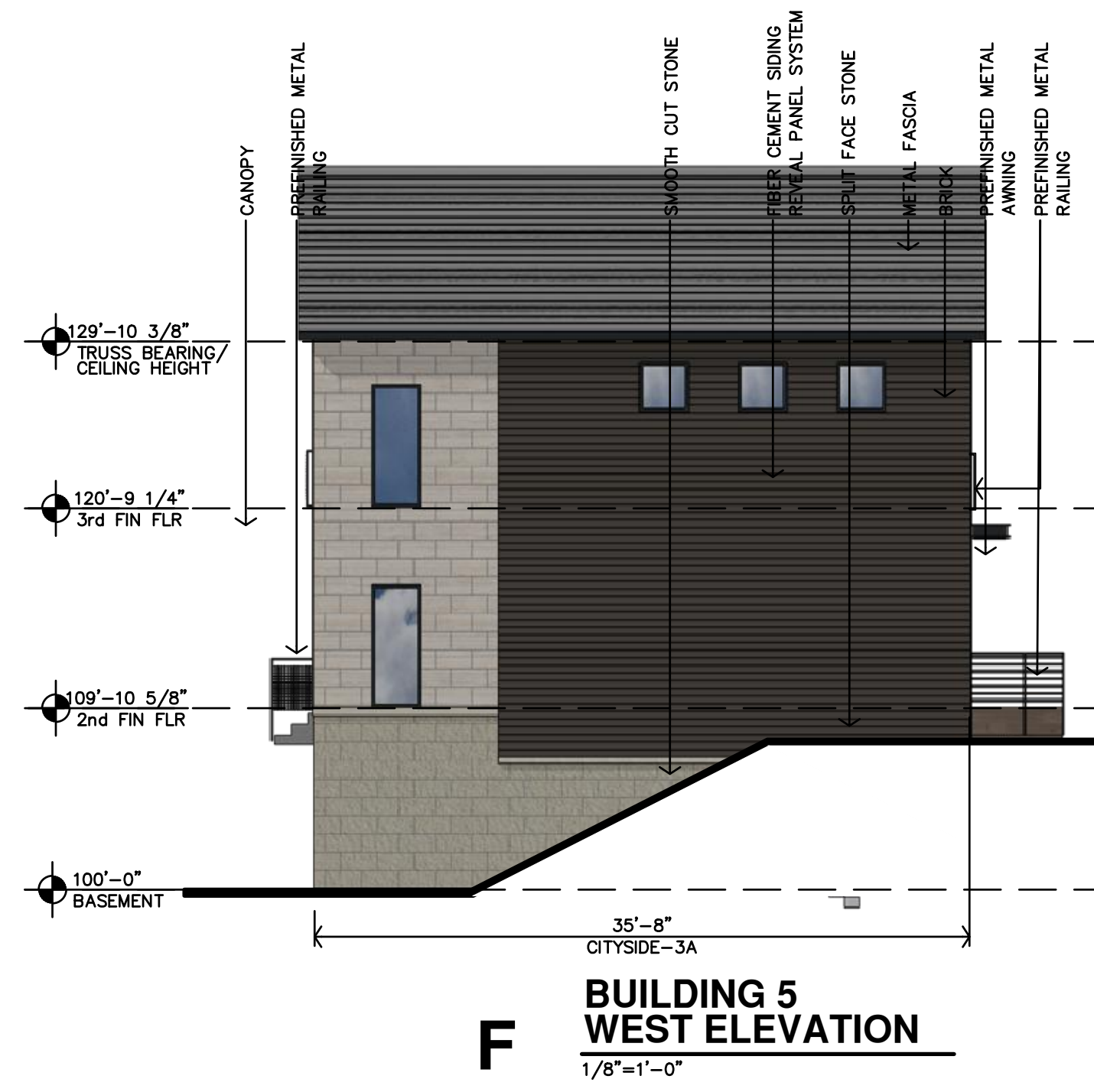
LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA,
KANSAS



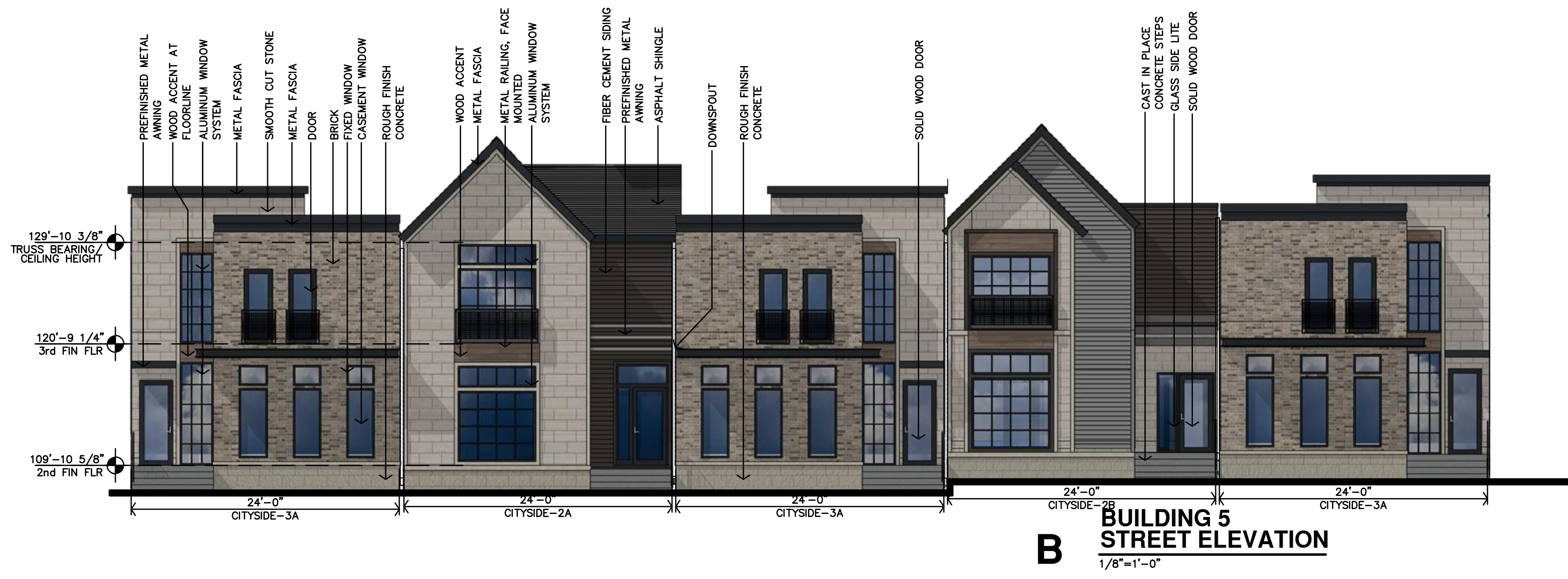
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DATE: 4-28-2025
JOB: 25-3090
SHEET NO.:

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All wall mounted equipment will be painted a blending or coordinating color will wall finish



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LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
 NEW TOWNHOMES COMPLEX
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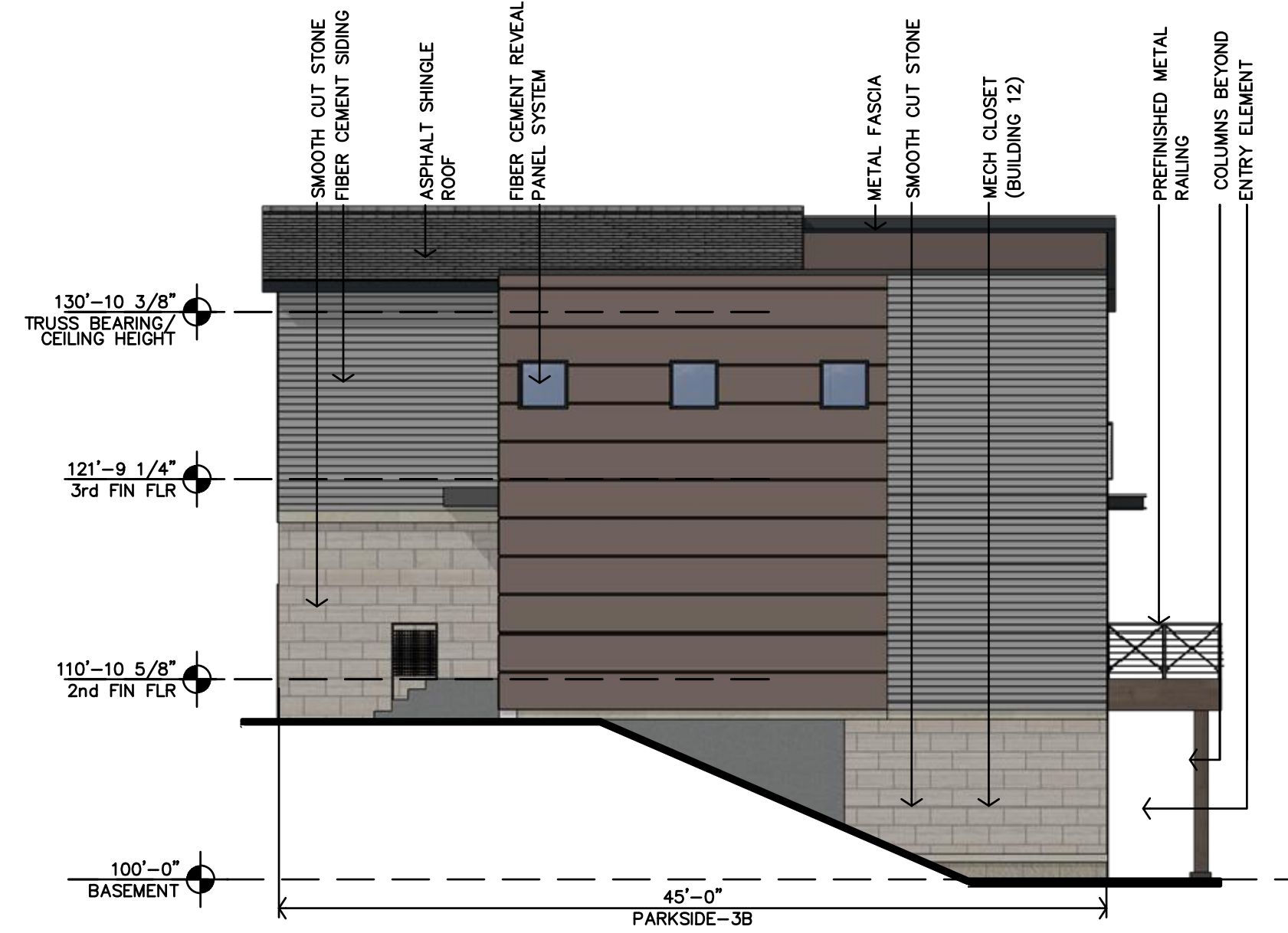
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 DATE: 4-28-2025
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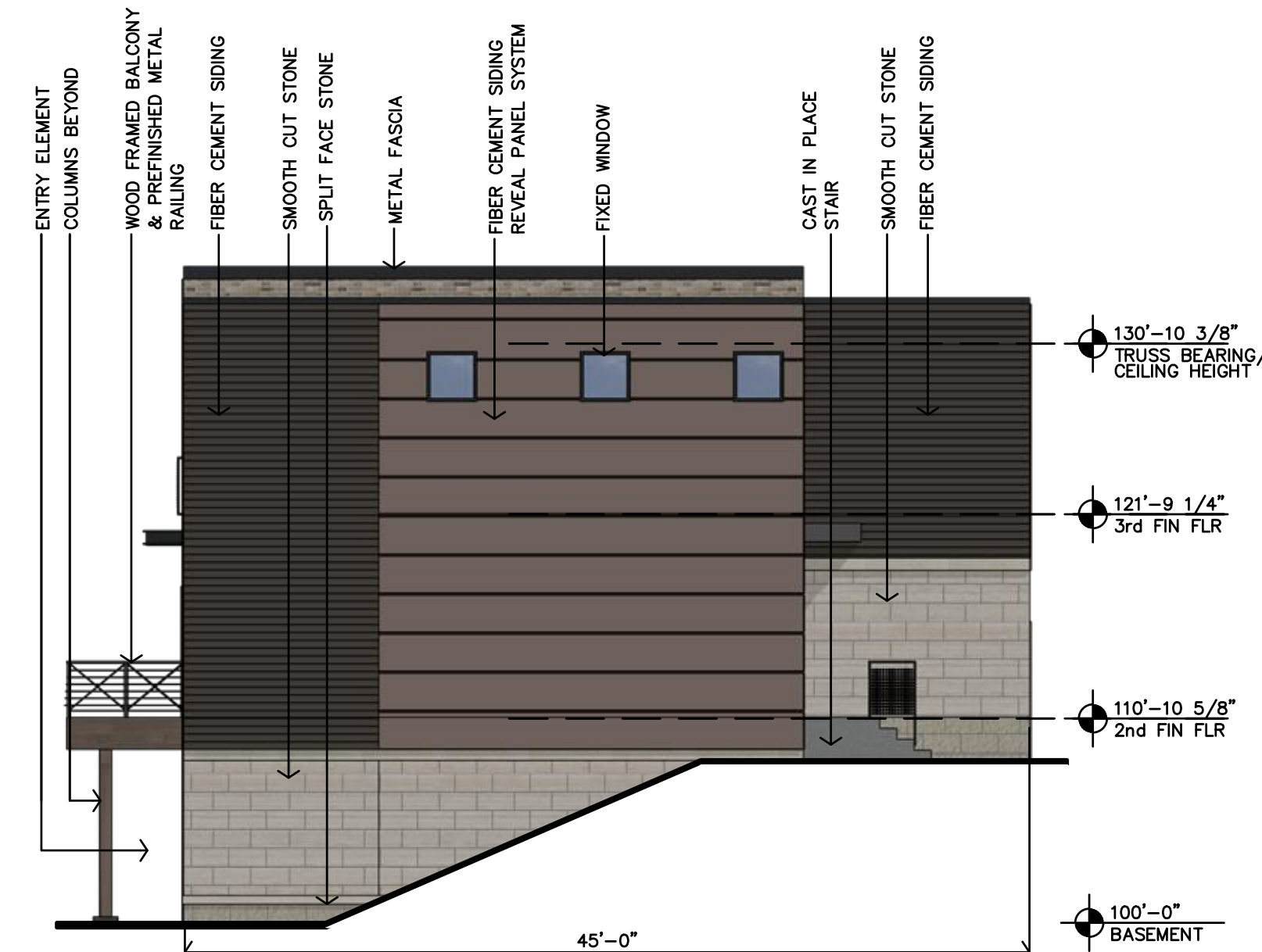
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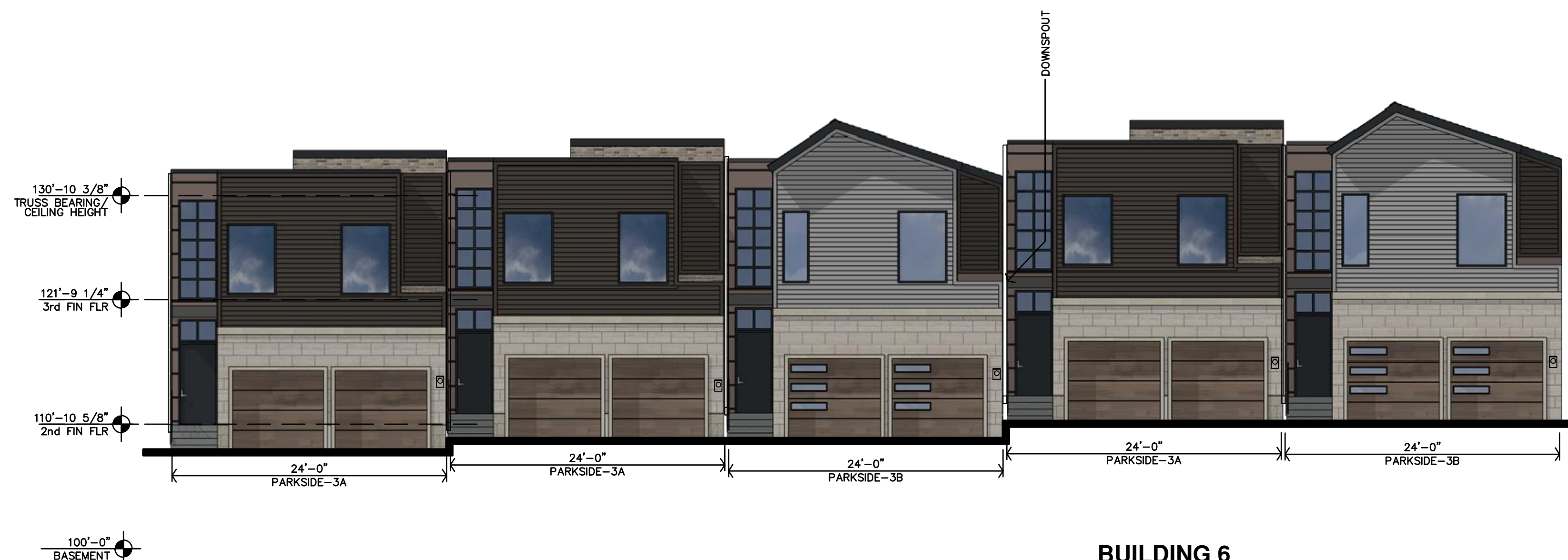
D BUILDING 6 EAST ELEVATION (SIM)
1/8"=1'-0"



C BUILDING 6 WEST ELEVATION
1/8"=1'-0"



B BUILDING 6 PARK ELEVATION
1/8"=1'-0"



A BUILDING 6 GARAGE ELEVATION
1/8"=1'-0"

Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA,
KANSAS



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DATE: 4-28-2025

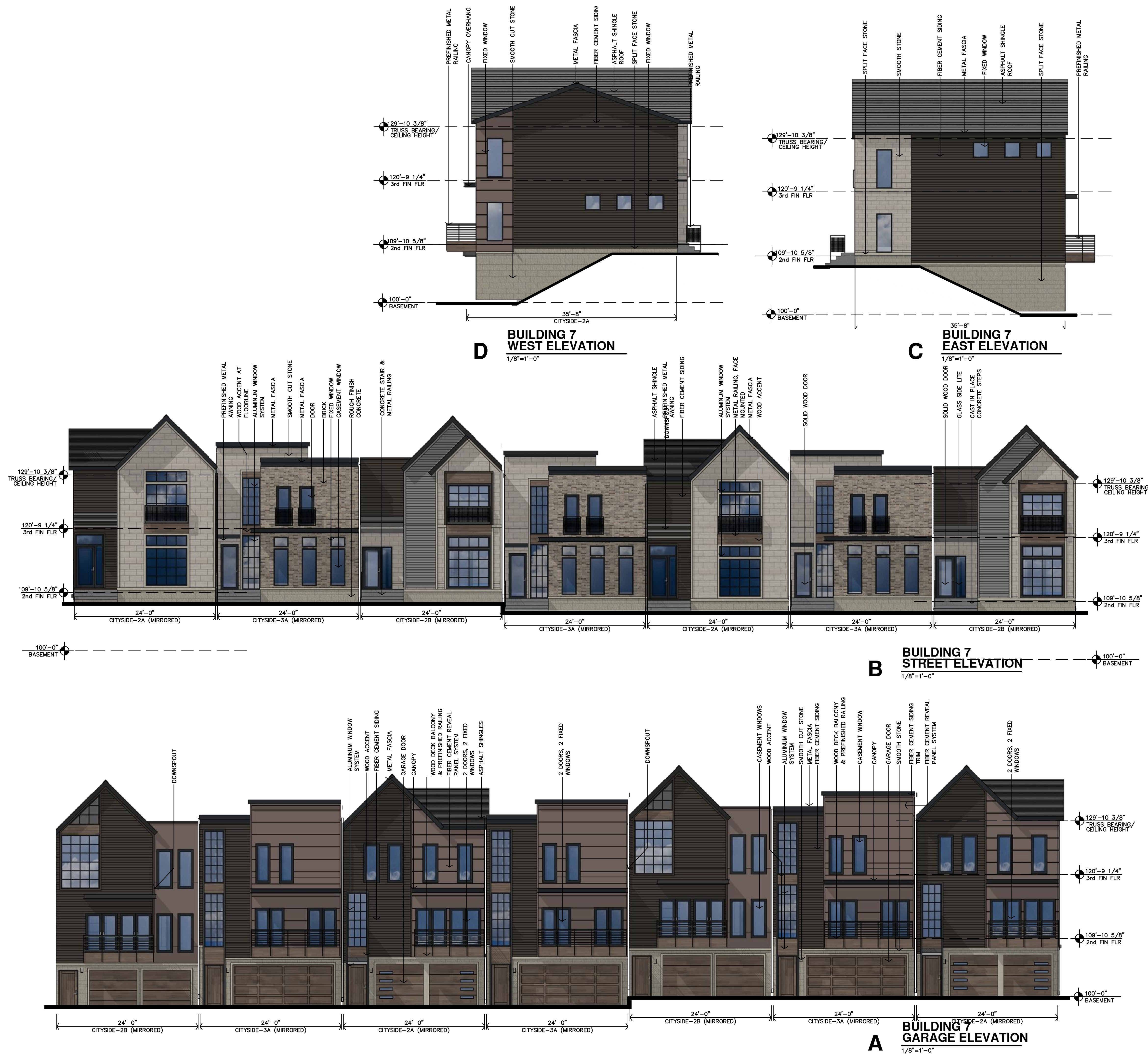
JOB: 25-3090

SHEET NO.:

A3.4

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Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
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LENEXA, KANSAS

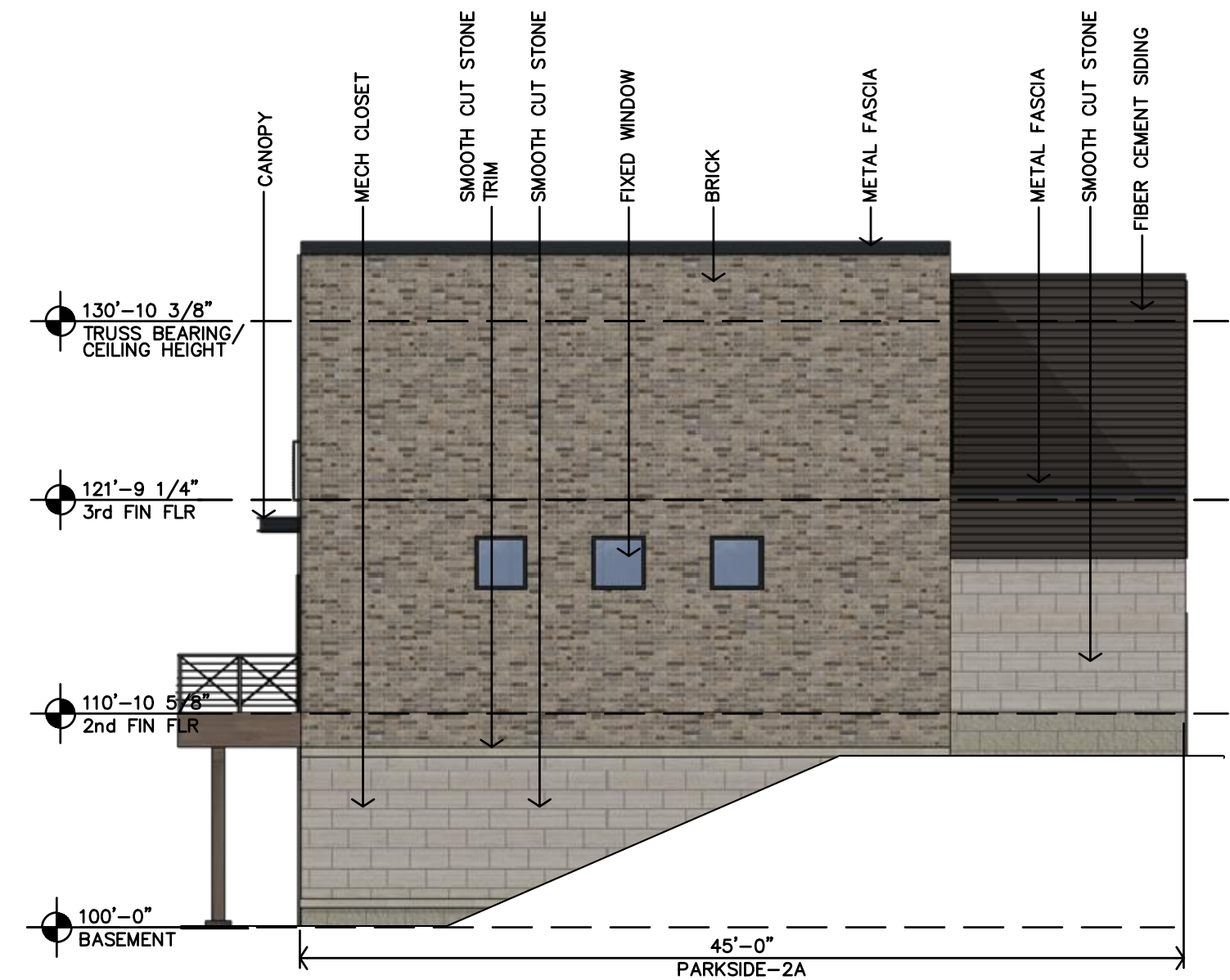
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DATE:	4-28-2025
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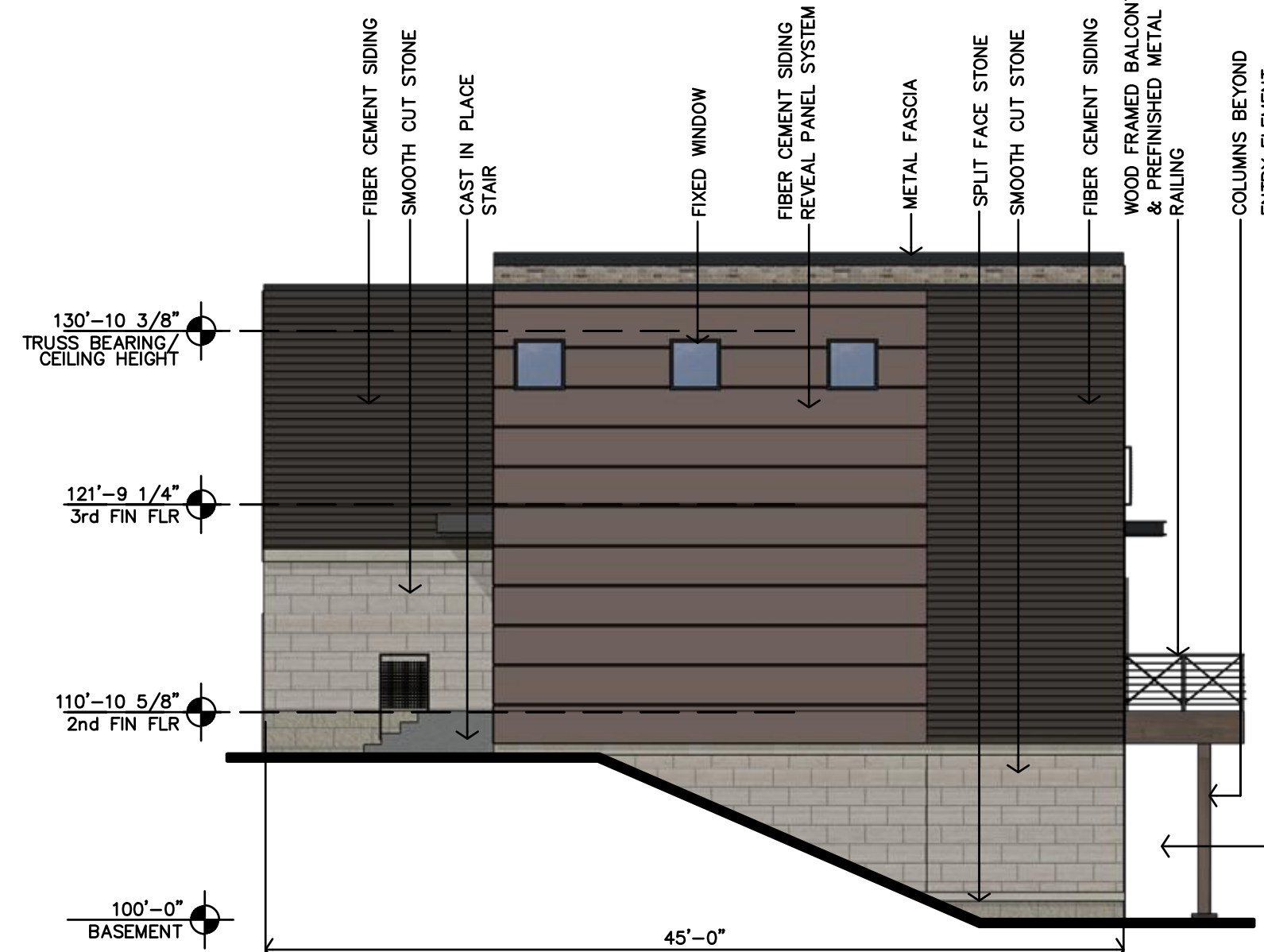
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C BUILDING 8 WEST ELEVATION
1/8"=1'-0"



C BUILDING 8 WEST ELEVATION
1/8"=1'-0"



B BUILDING 8 PARK ELEVATION
1/8"=1'-0"



A BUILDING 8 GARAGE ELEVATION
1/8"=1'-0"

Final Development Plan Set

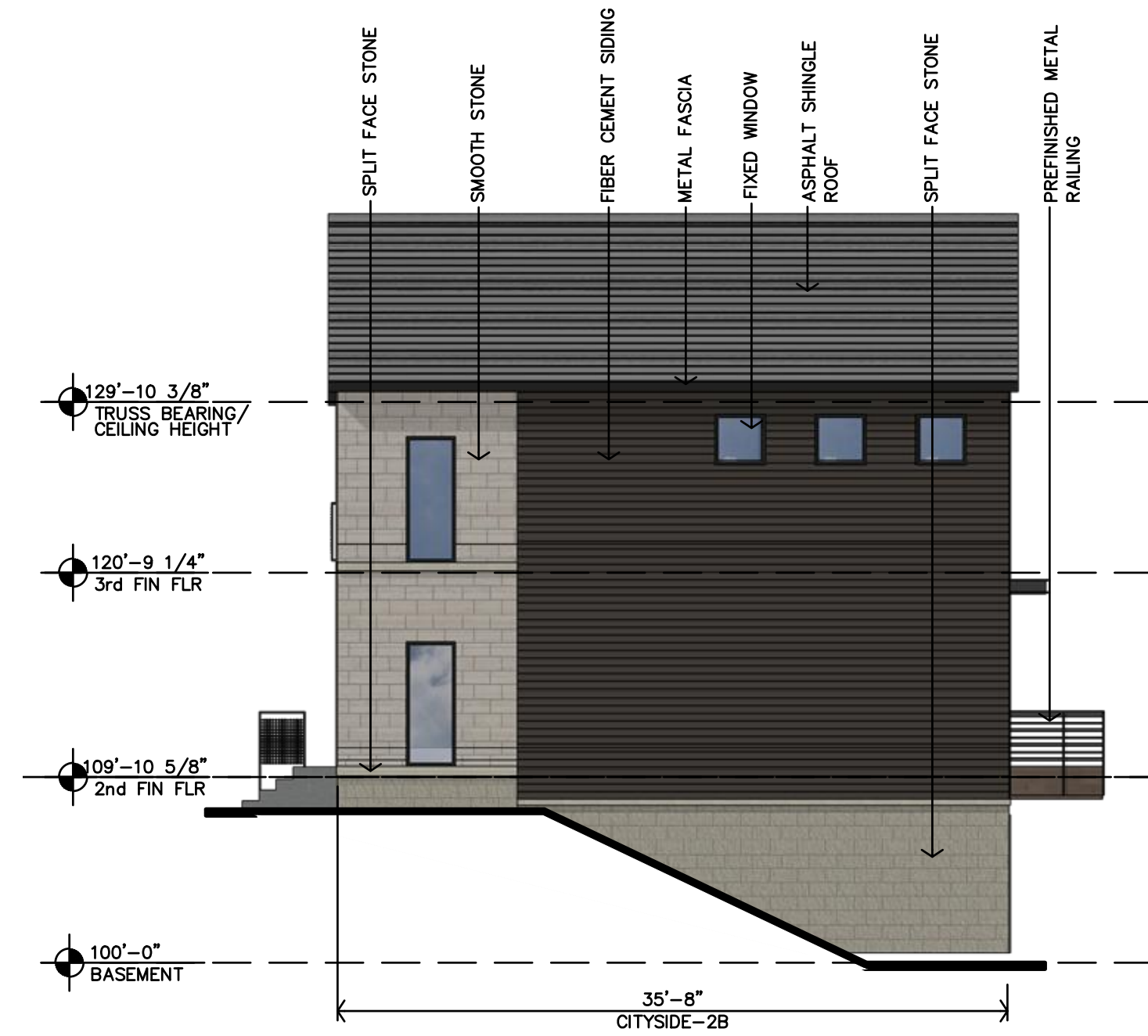
LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS



REVISION:	
DATE:	4-28-2025
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SHEET NO.:	

A3.6

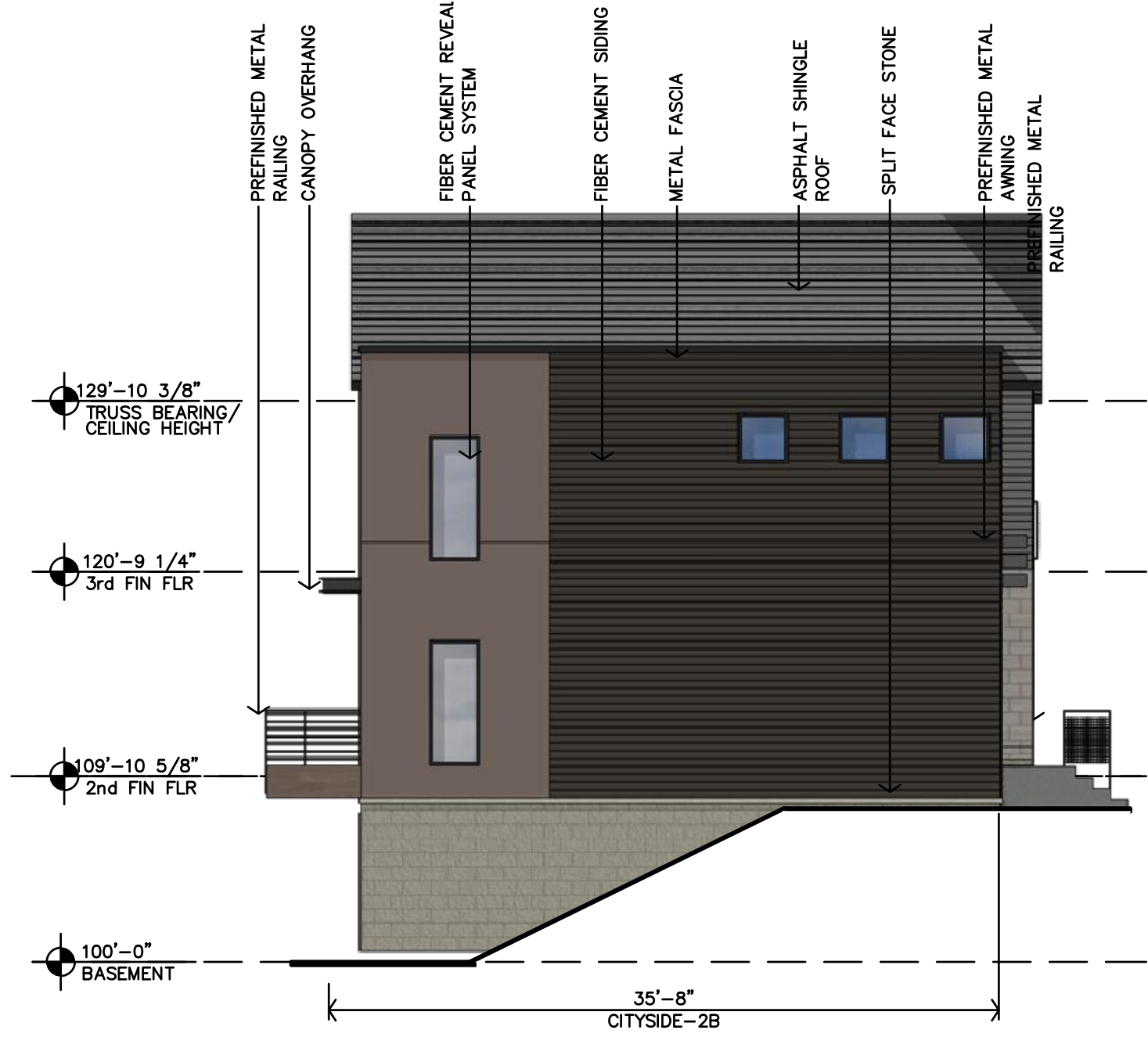
JGR JonesGillamRenz
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jgr@jgarchitects.com



D BUILDING 9 EAST ELEVATION
1/8"=1'-0"



B BUILDING 9 STREET ELEVATION
1/8"=1'-0"



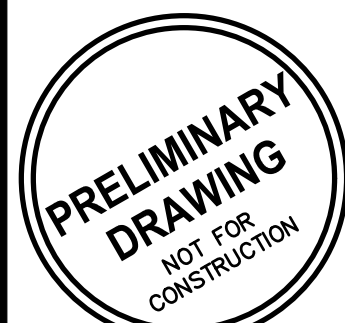
C BUILDING 9 WEST ELEVATION
1/8"=1'-0"



A BUILDING 9 GARAGE ELEVATION
1/8"=1'-0"

Final Development Plan Set

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS



REVISION:

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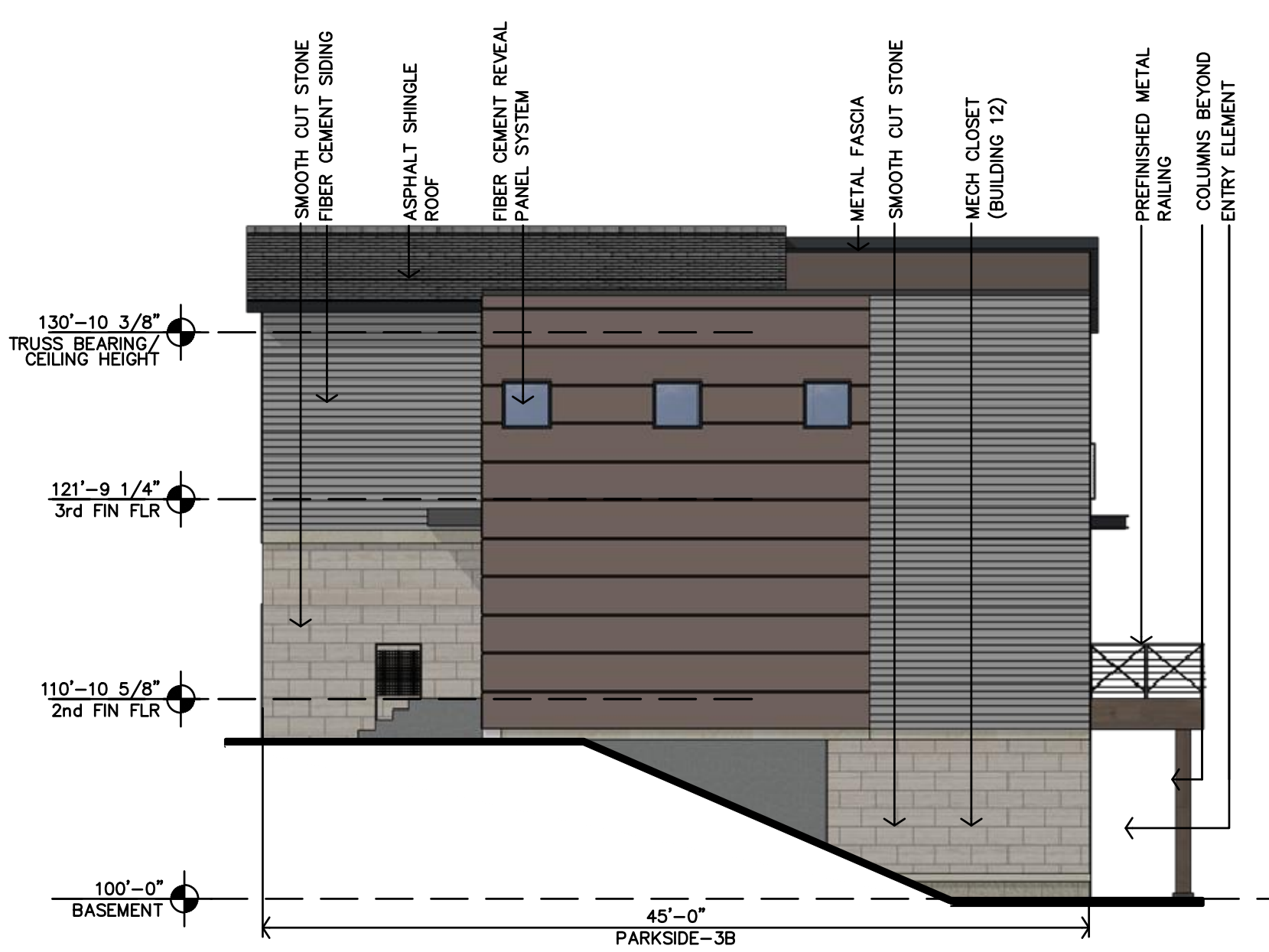
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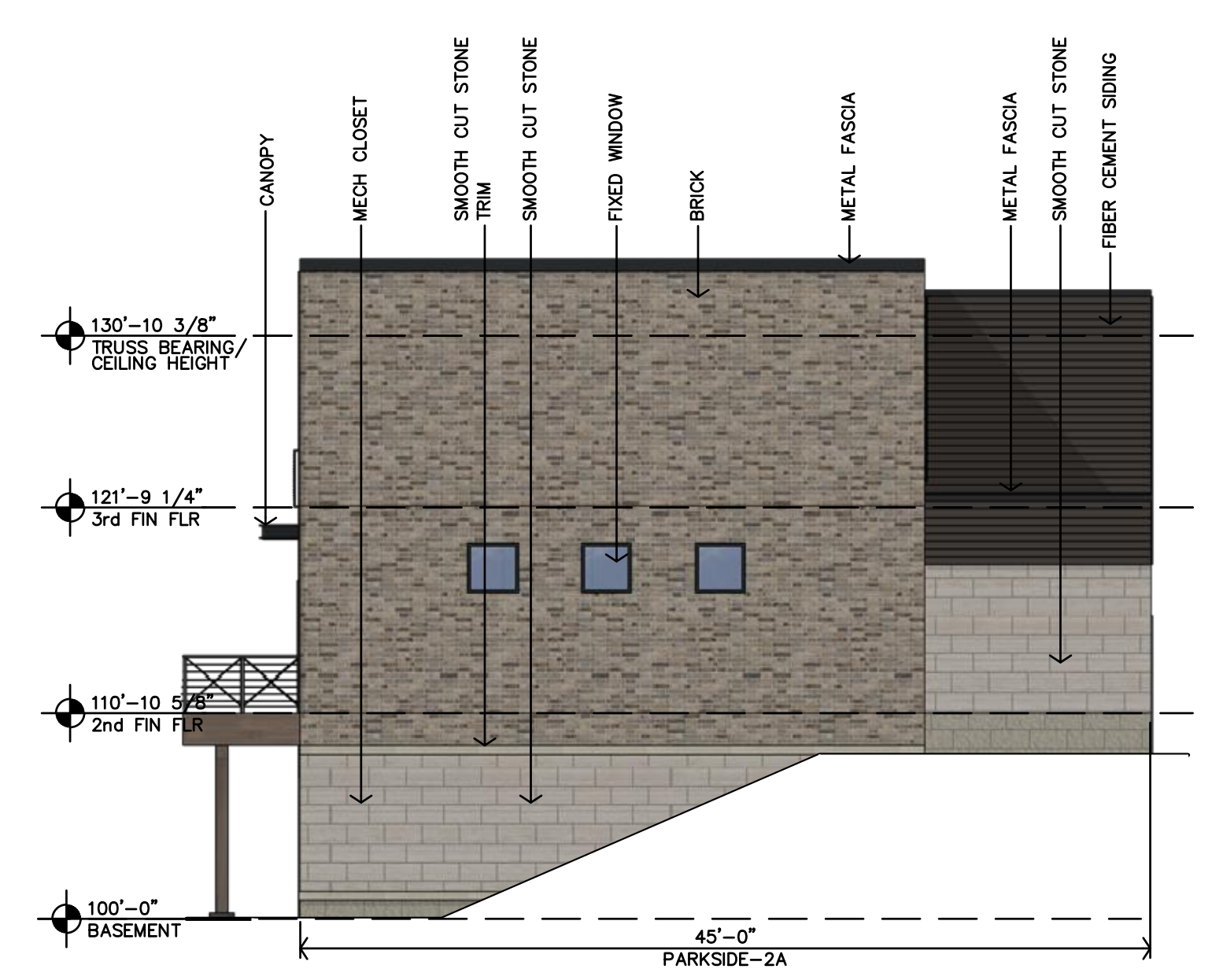
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All wall mounted equipment will be painted a blending or coordinating color will wall finish



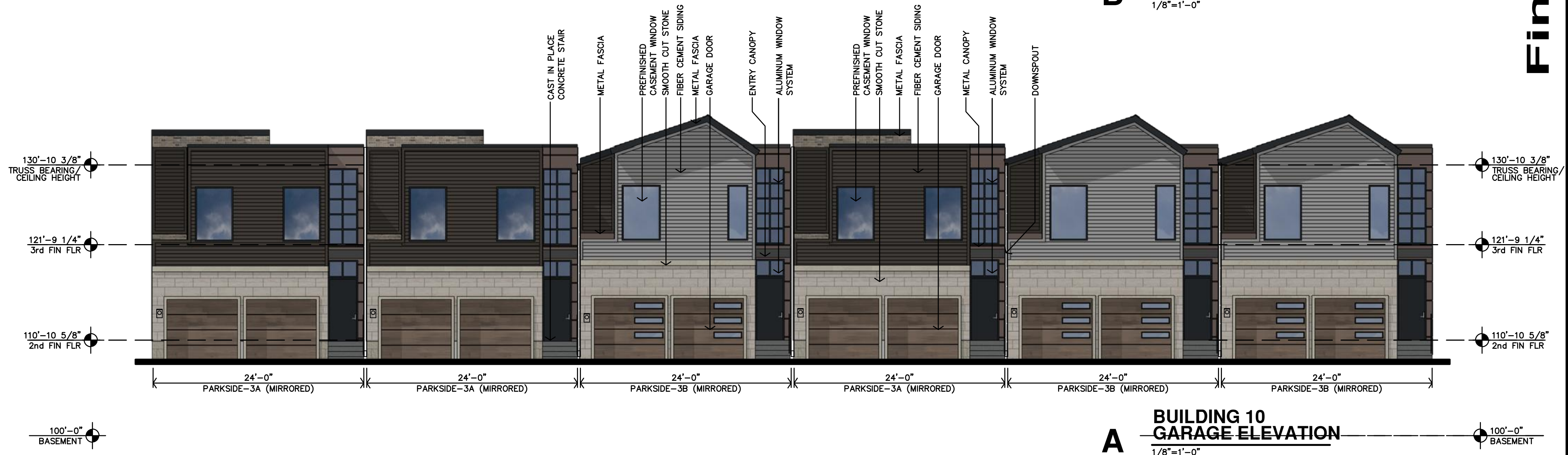
D BUILDING 10 EAST ELEVATION
1/8"=1'-0"



C BUILDING 10 WEST ELEVATION
1/8"=1'-0"



B BUILDING 10 PARK ELEVATION
1/8"=1'-0"



A BUILDING 10 GARAGE ELEVATION
1/8"=1'-0"

Final Development Plan Set

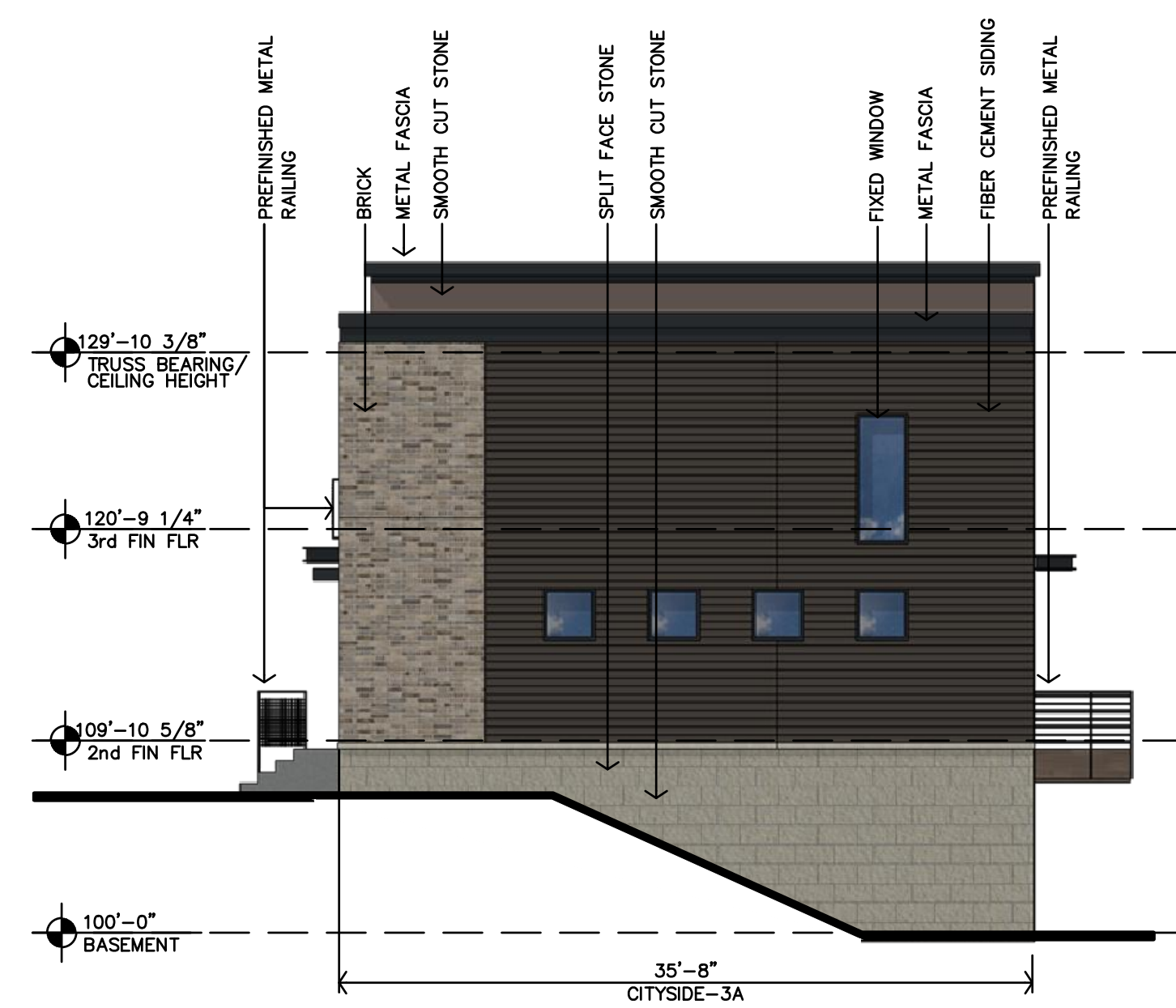
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

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All wall mounted equipment will be painted a blending or coordinating color will wall finish



D BUILDING 11 WEST ELEVATION
1/8"=1'-0"



C BUILDING 11 EAST ELEVATION
1/8"=1'-0"



B BUILDING 11 STREET ELEVATION
1/8"=1'-0"



A BUILDING 11 GARAGE ELEVATION
1/8"=1'-0"

Final Development Plan Set

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NEW TOWNHOMES COMPLEX
LENEXA,
KANSAS

PRELIMINARY DRAWING
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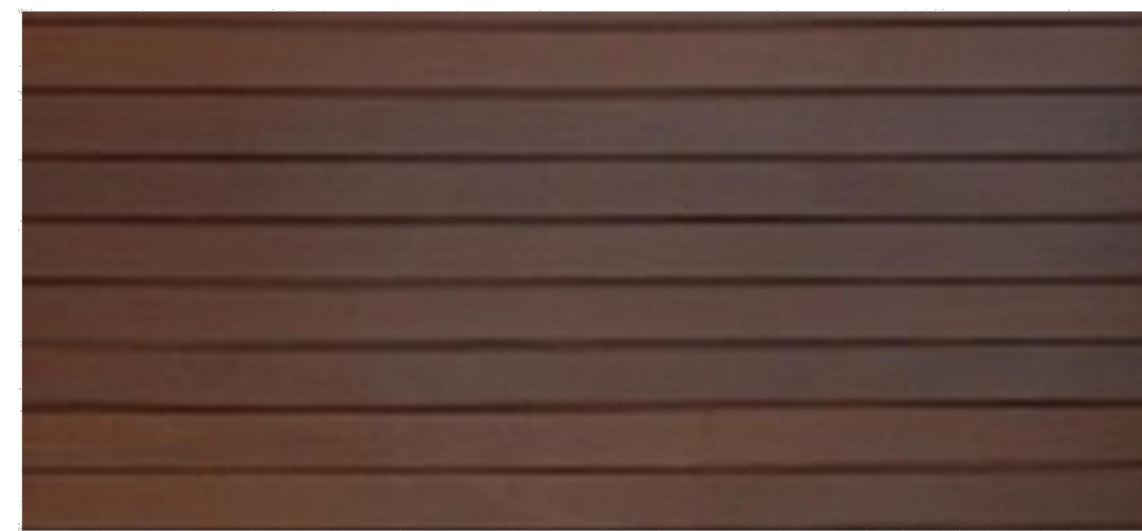
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A3.9

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LENEXA NORTH VILLAGE TOWNHOMES



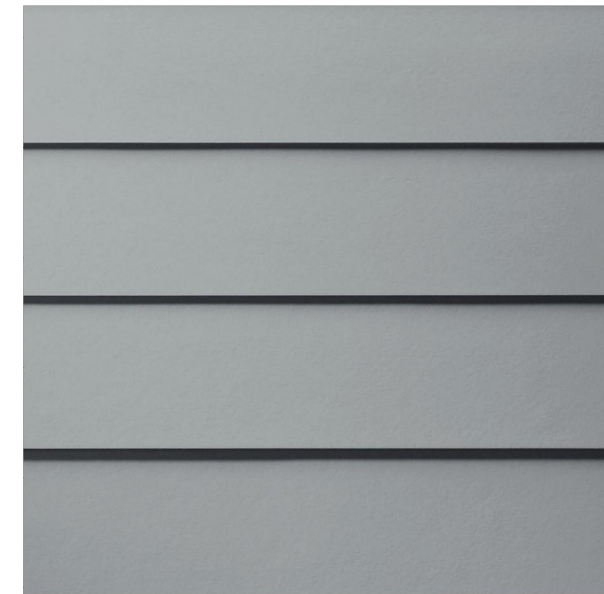
WOOD ACCENT



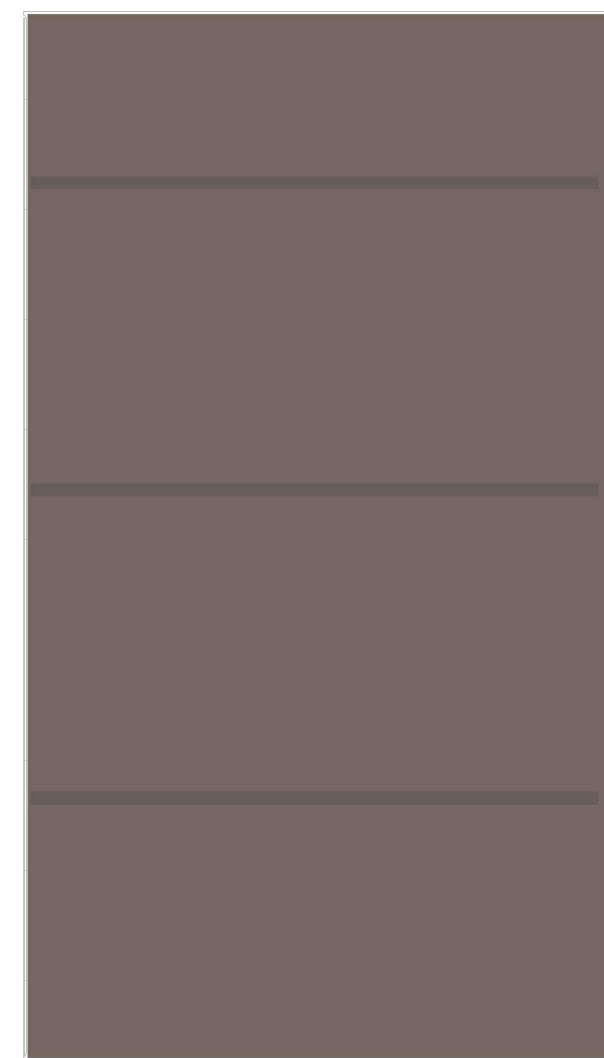
METAL
KYNAR - EXTRA DARK BRONZE
WINDOWS, AWNINGS, RAILINGS, ROOF FASCIA



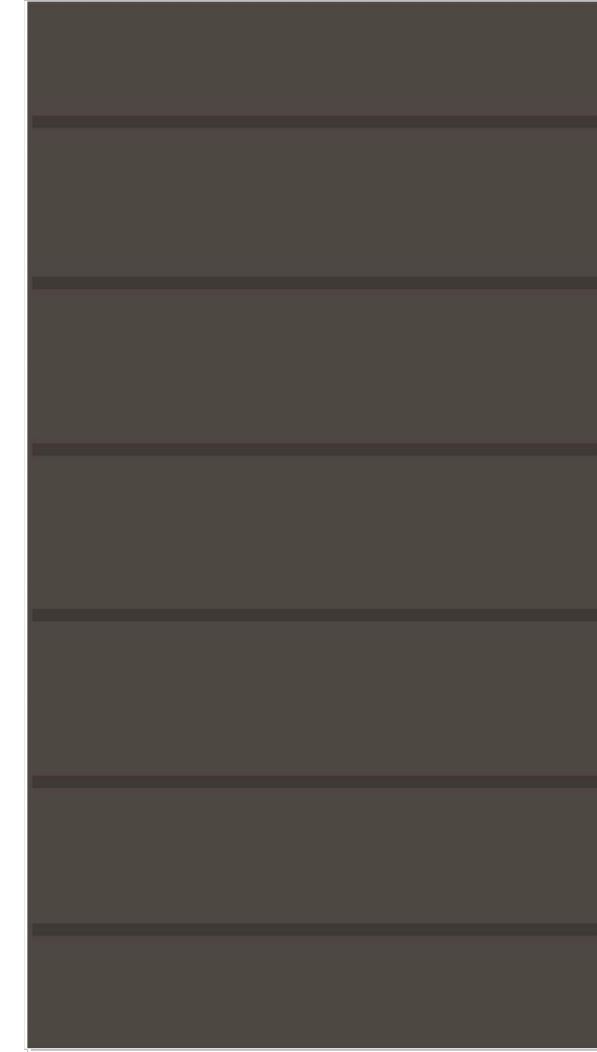
ASPHALT SHINGLES



SIDING COLOR 2



SIDING COLOR 1



SIDING COLOR 3



BRICK BLEND - FACEBRICK



SPLIT FACE STONE

HONED - SMOOTH CUT

SAMPLE EXTERIOR FINISHES

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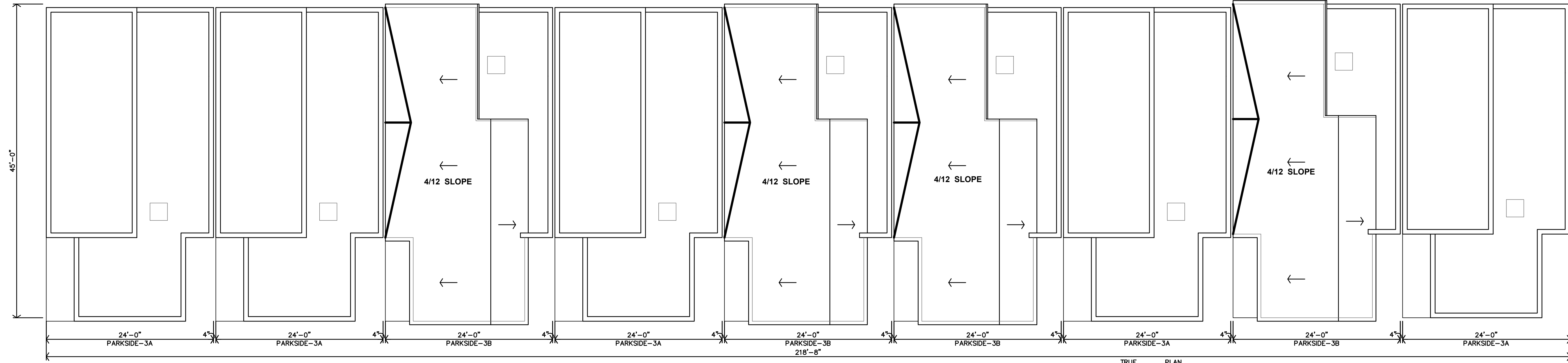
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NEW TOWNHOMES COMPLEX
LENEXA, KANSAS



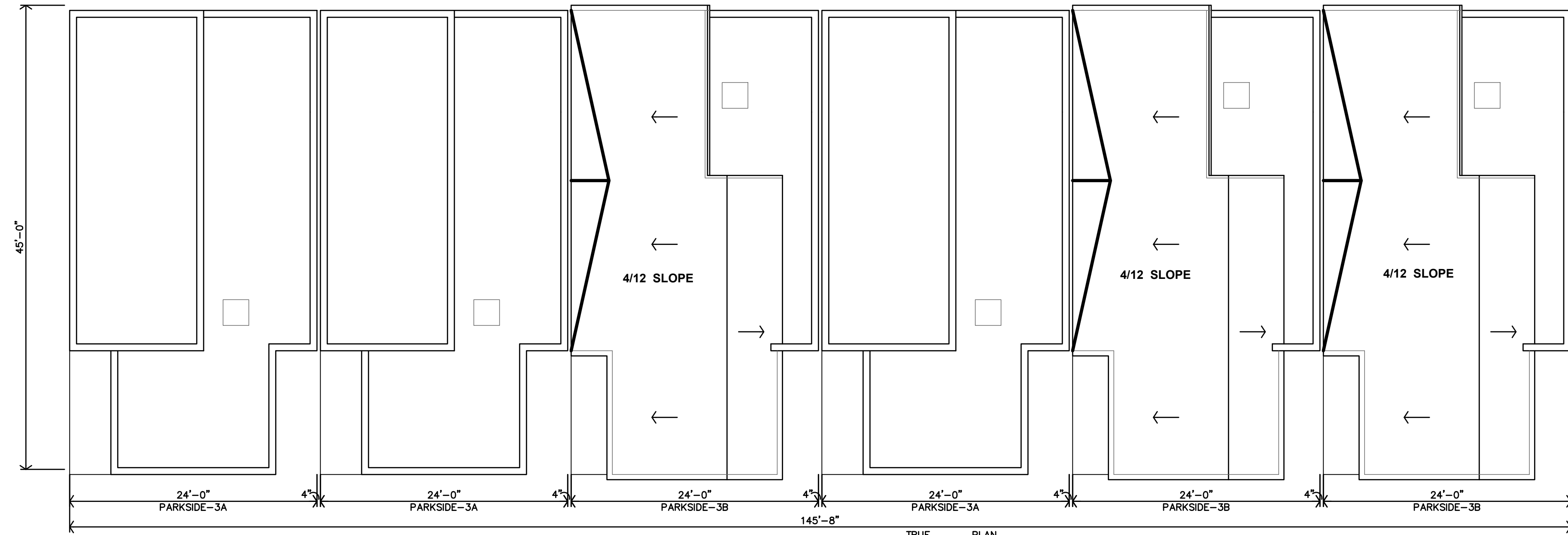
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A3.12

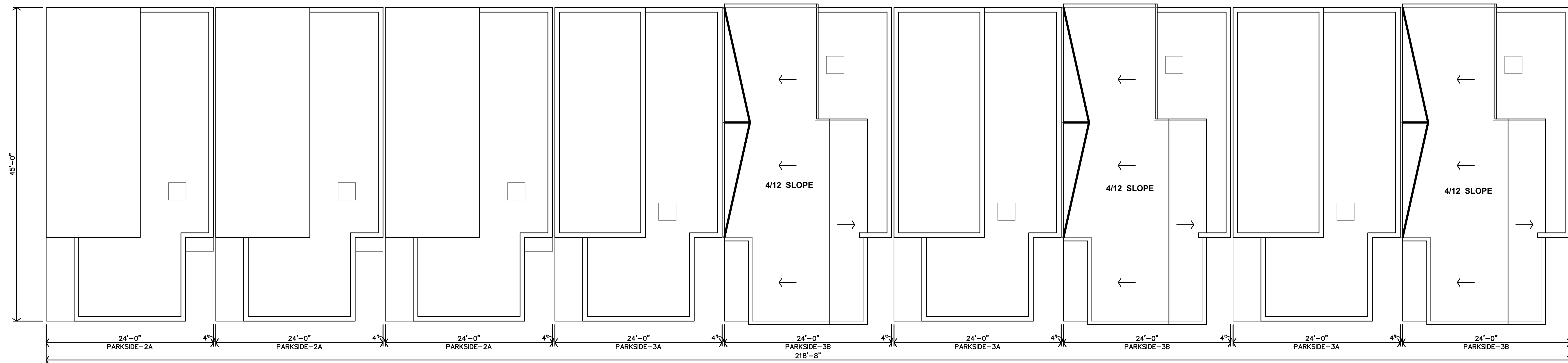
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 jgr@jgarchitects.com



C BUILDING 8 - PARKSIDE
ROOF PLAN
1/8"=1'-0"



B BUILDING 10 - PARKSIDE
ROOF PLAN
1/8"=1'-0"



A BUILDING 12 - PARKSIDE
ROOF PLAN
1/8"=1'-0"

Final Development Plan Set

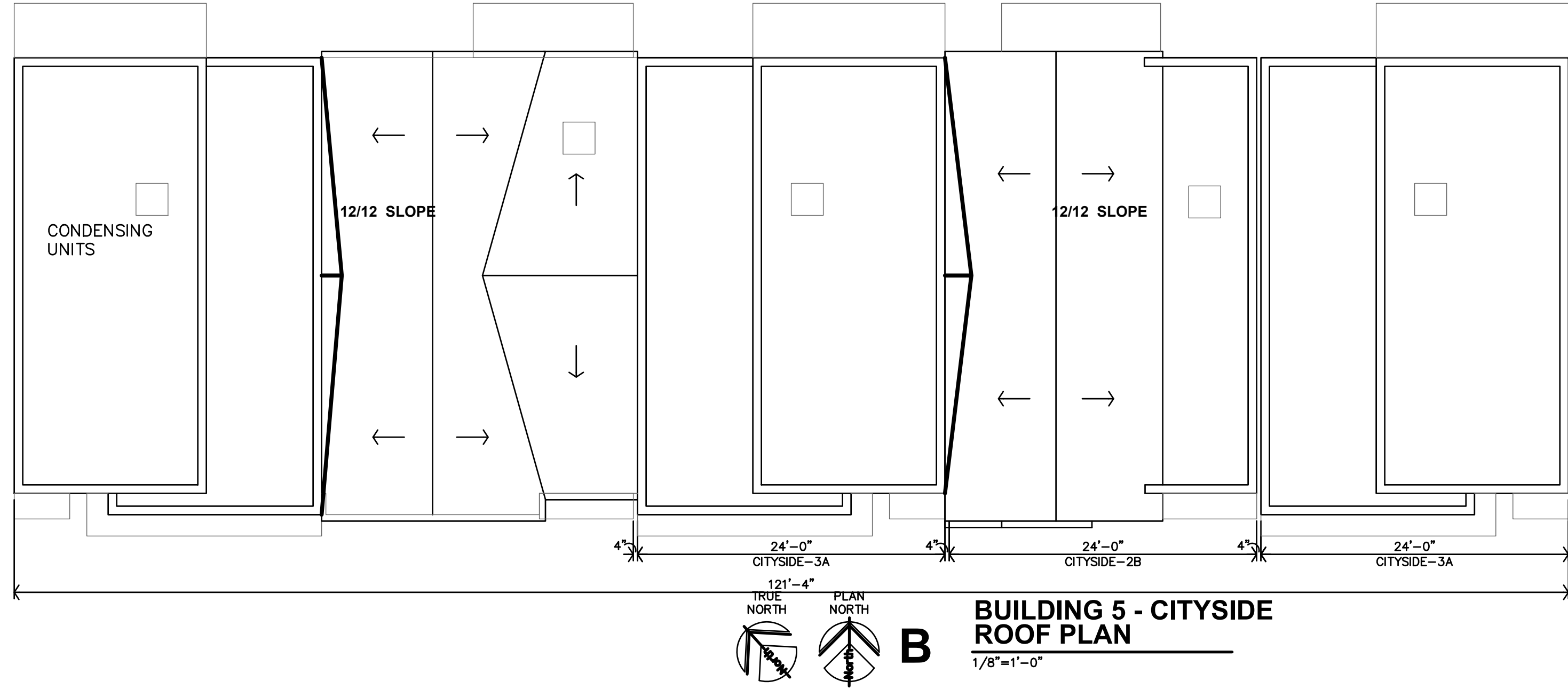
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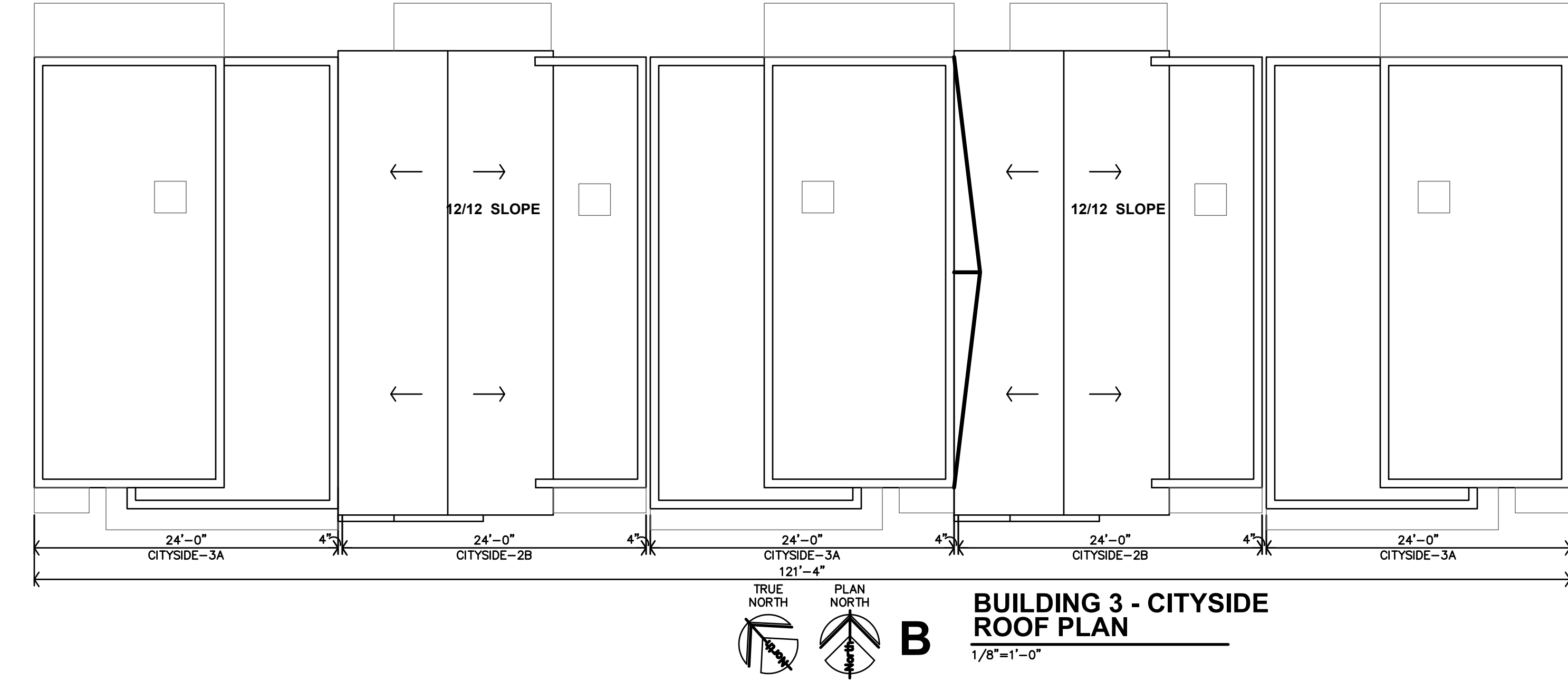


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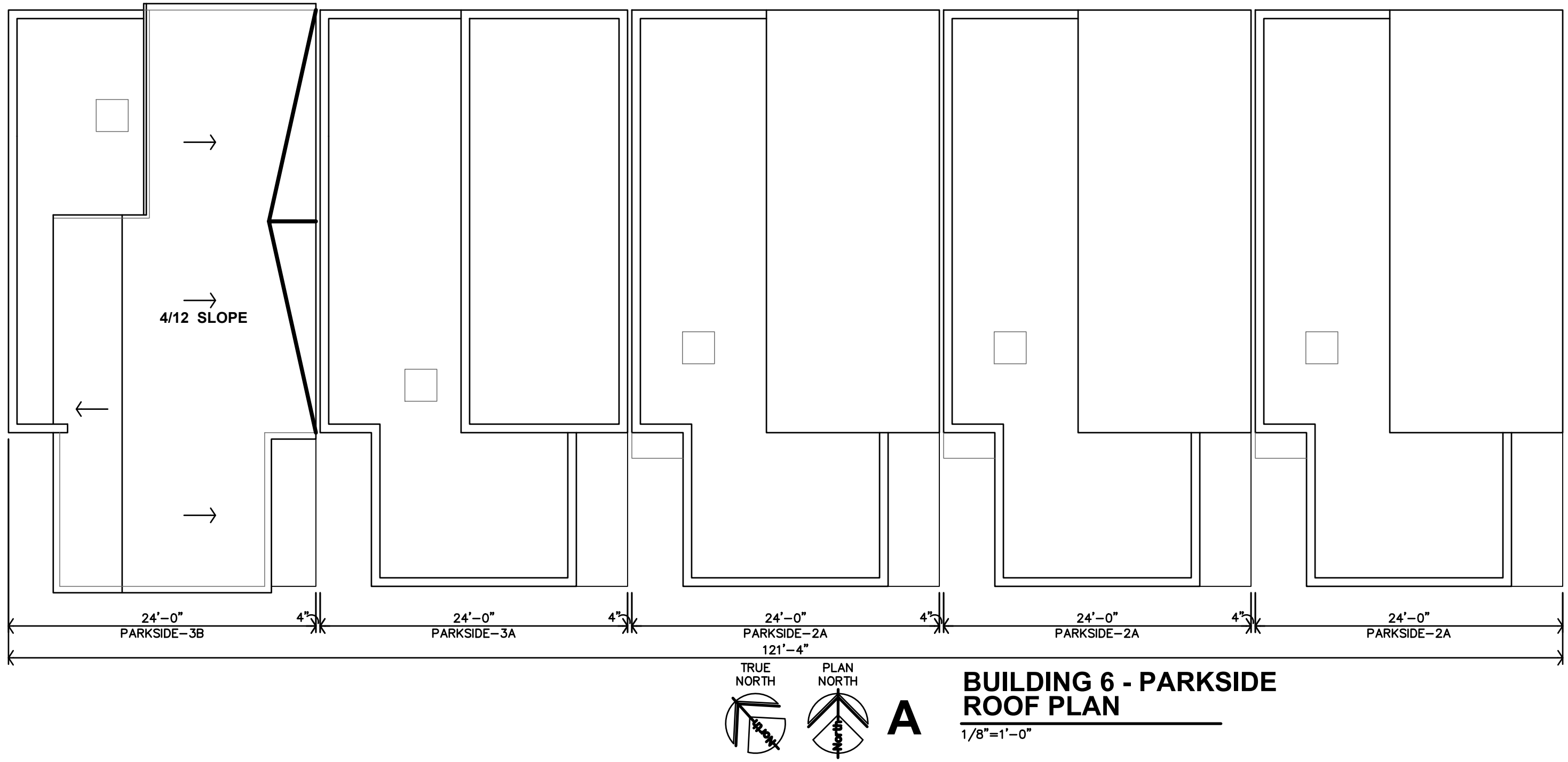
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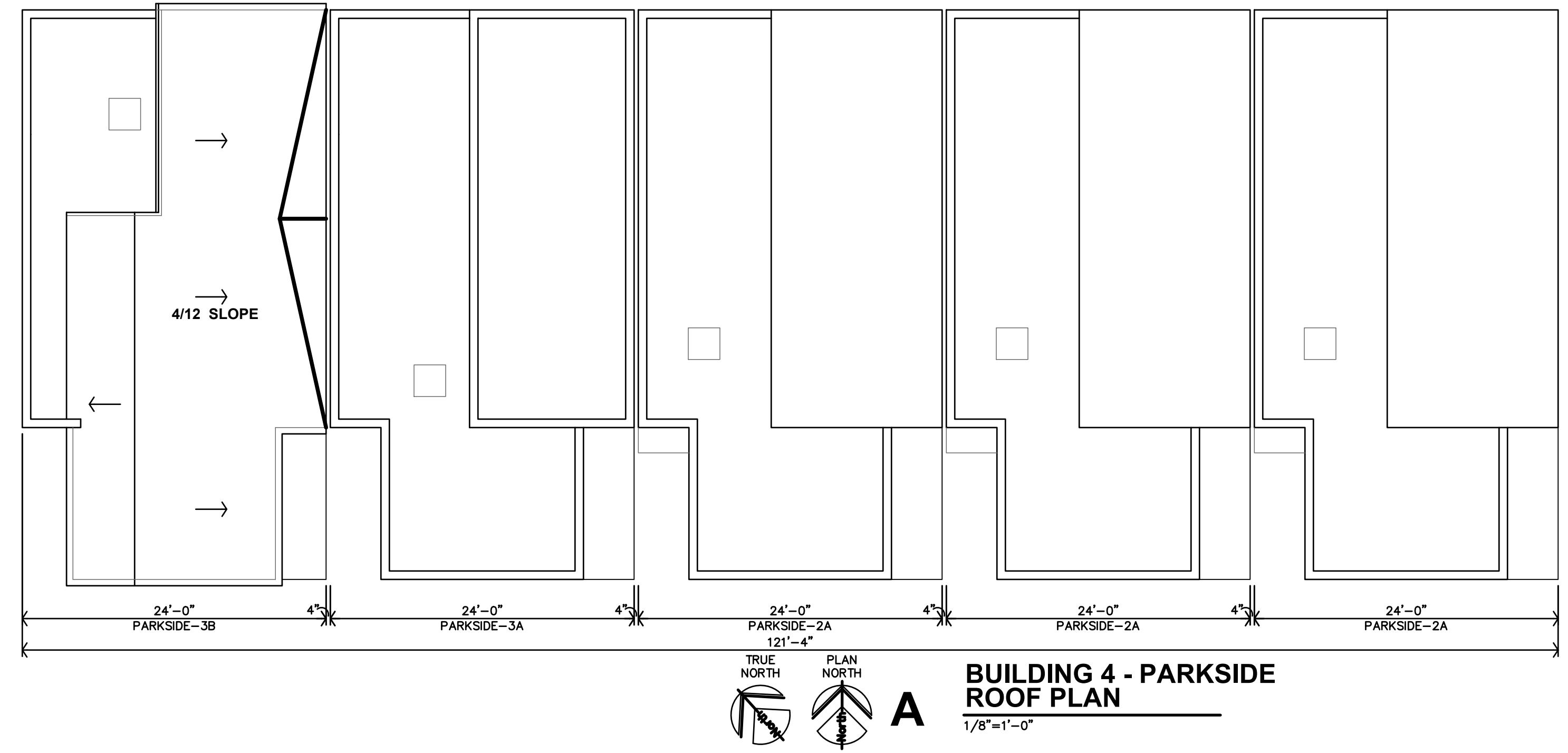
B
BUILDING 5 - CITYSIDE
ROOF PLAN
 1/8"=1'-0"



B
BUILDING 3 - CITYSIDE
ROOF PLAN
 1/8"=1'-0"



A
BUILDING 6 - PARKSIDE
ROOF PLAN
 1/8"=1'-0"



A
BUILDING 4 - PARKSIDE
ROOF PLAN
 1/8"=1'-0"

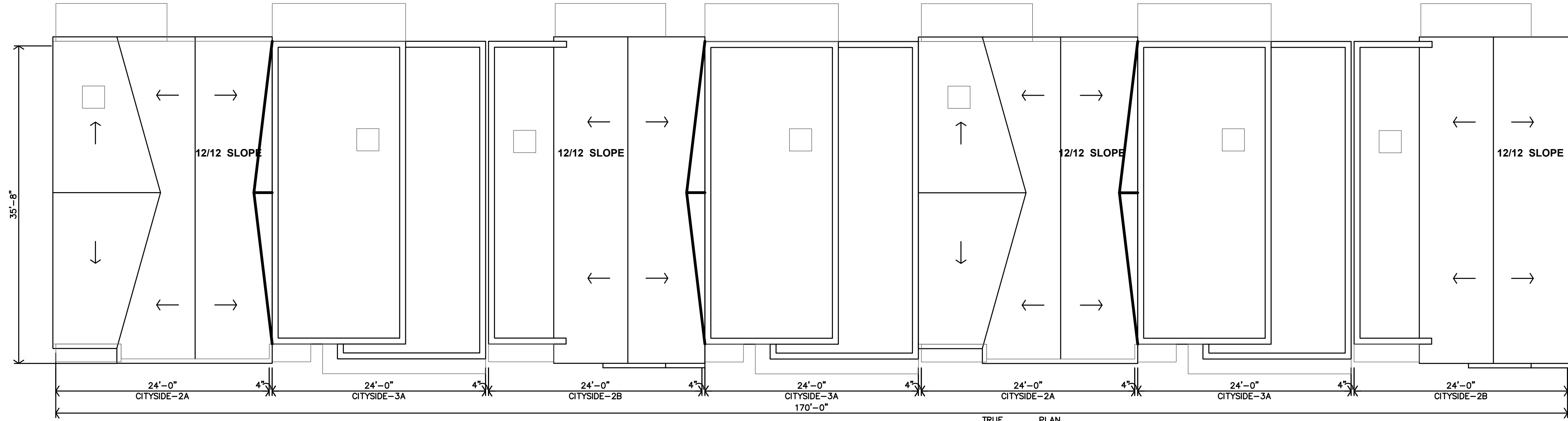
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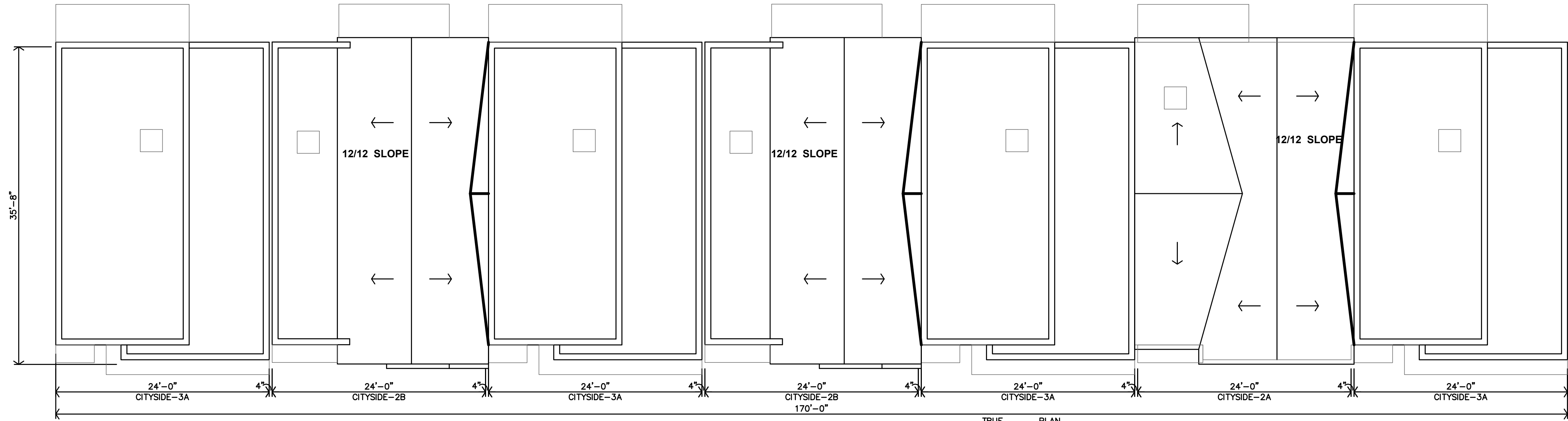


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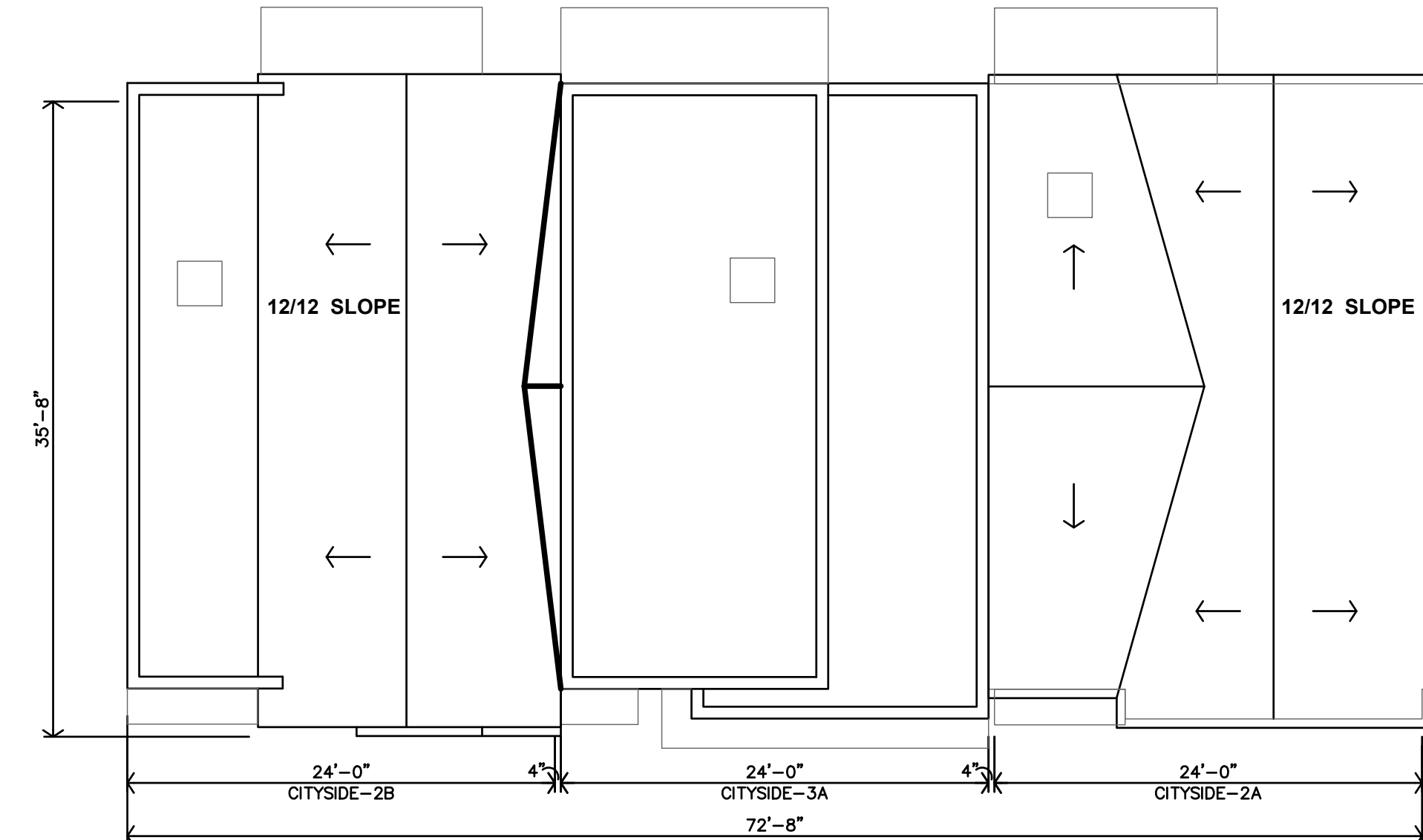
A5.2



C **BUILDING 7 - CITYSIDE**
ROOF PLAN
 1/8"=1'-0"



B **BUILDING 11 - CITYSIDE**
ROOF PLAN
 1/8"=1'-0"



A **BUILDING 9 - CITYSIDE**
ROOF PLAN
 1/8"=1'-0"

Final Development Plan Set

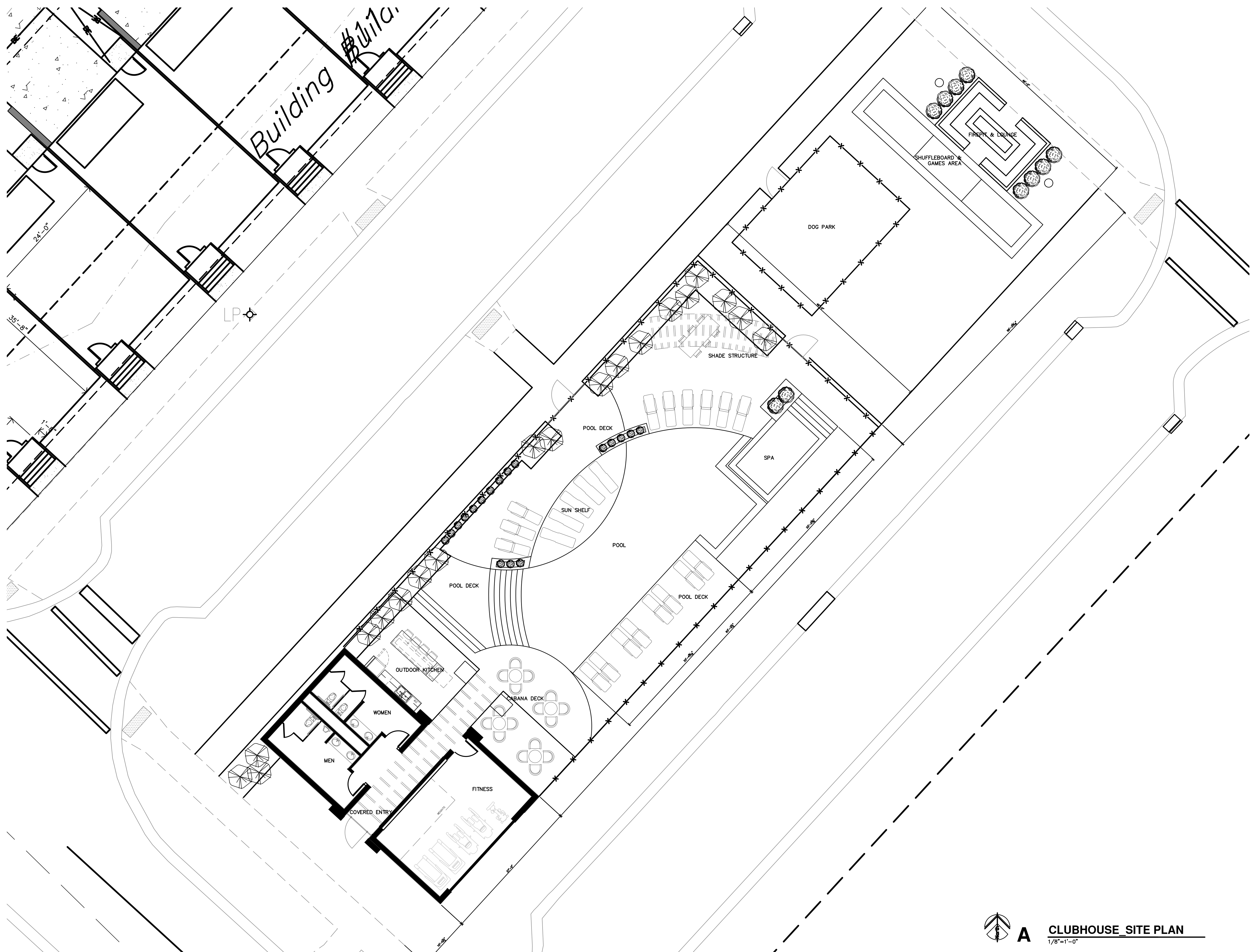
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A5.3

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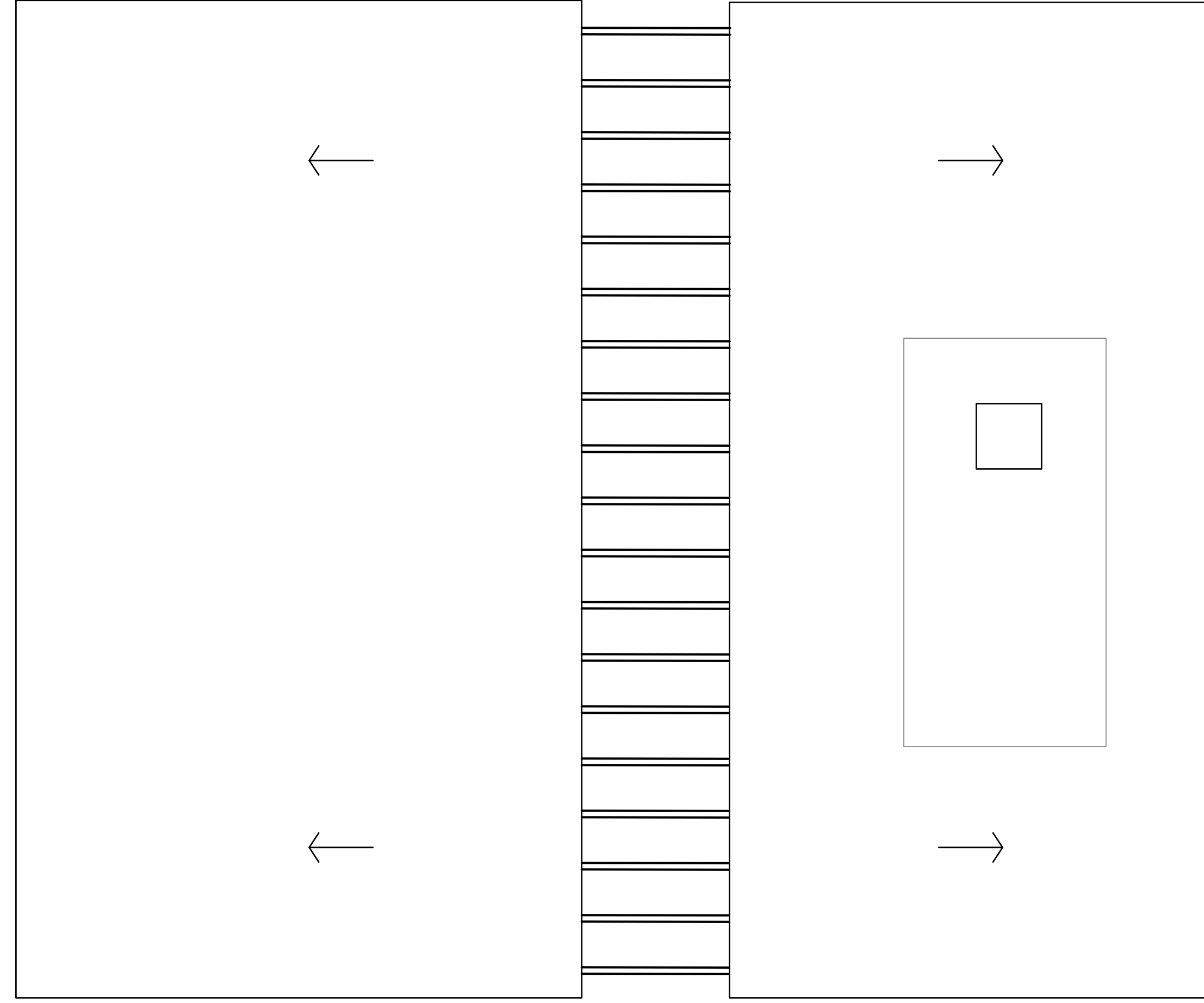
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A **CLUBHOUSE SITE PLAN**
 1/8"=1'-0"

AC2.1

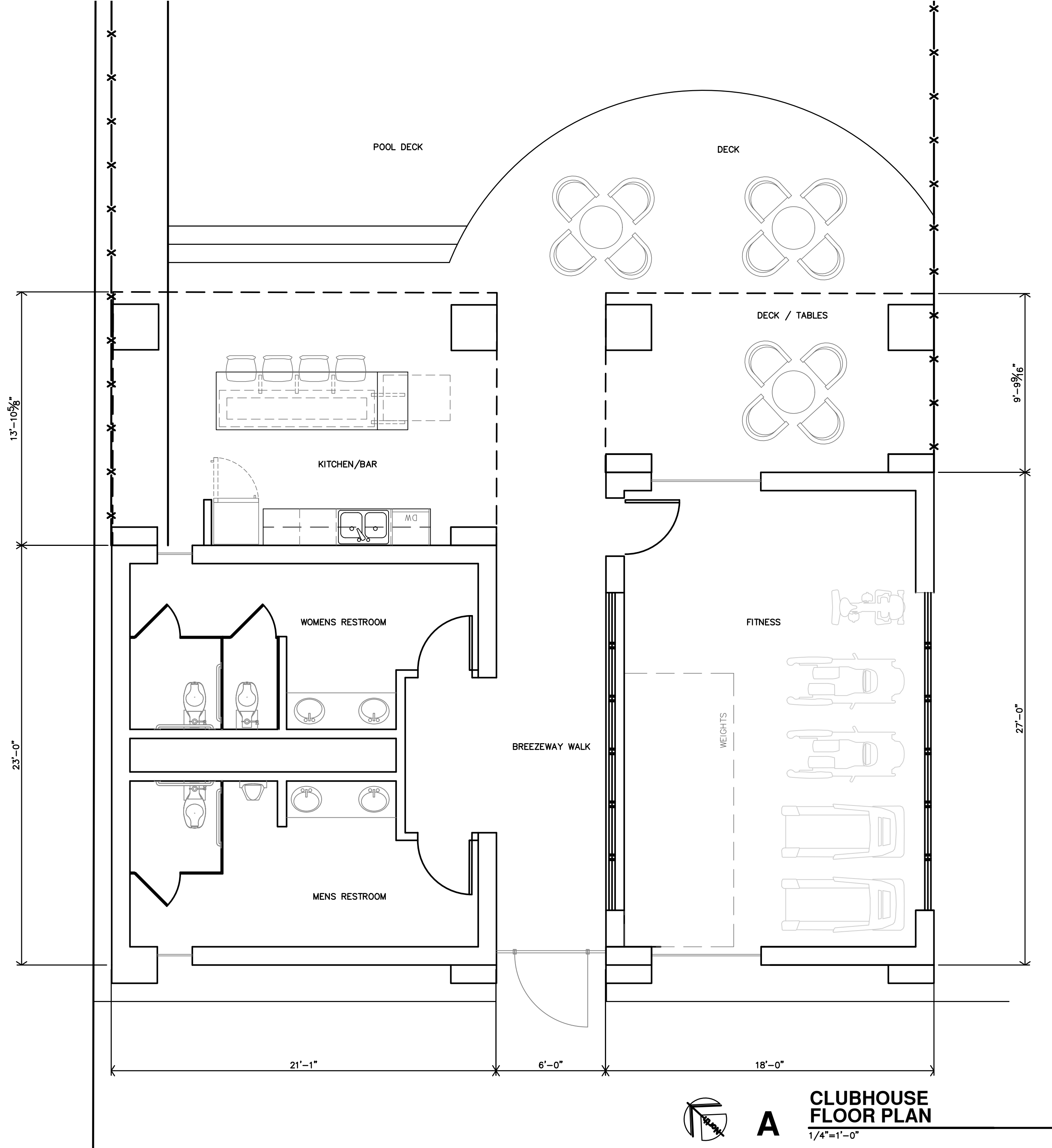
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B

**CLUBHOUSE
ROOF PLAN**
1/4"=1'-0"

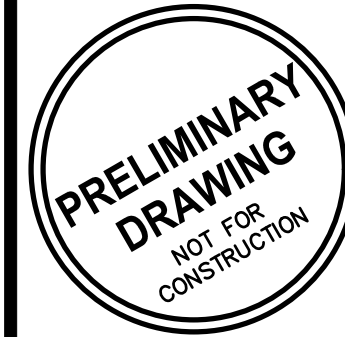


A

**CLUBHOUSE
FLOOR PLAN**
1/4"=1'-0"

Final Development Plan Set

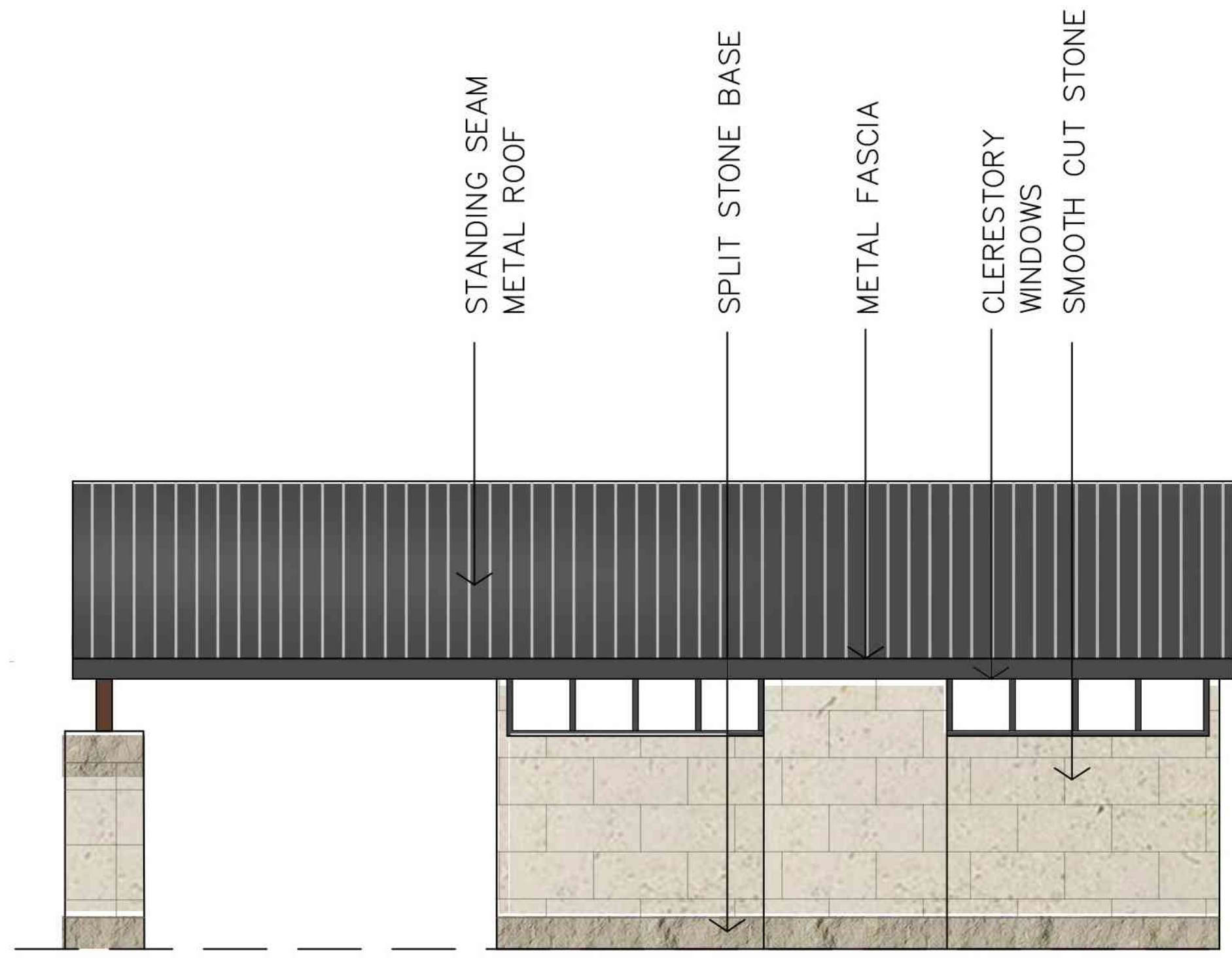
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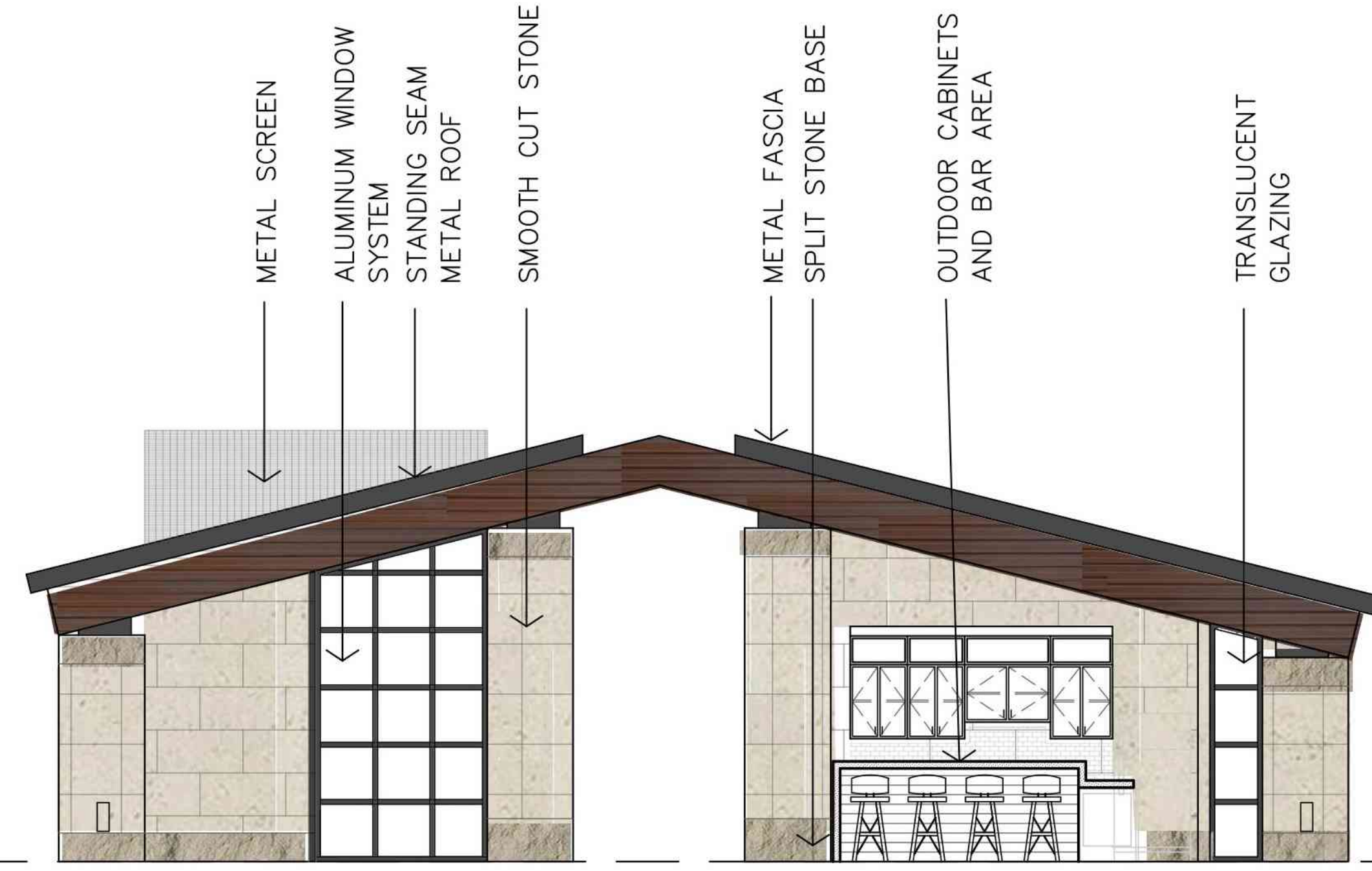
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AC2.2

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D NORTH/SIDE ELEVATION
CLLUBHOUSE
1/4"=1'-0"

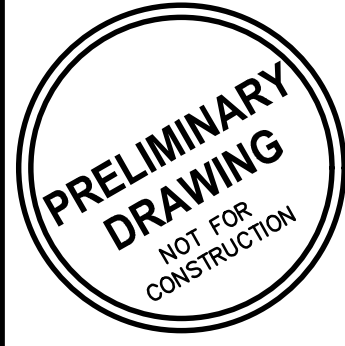


C EAST/POOL ELEVATION
CLUBHOUSE
1/4"=1'-0"



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AC3.1