

# LENEXA NORTH VILLAGE TOWNHOMES

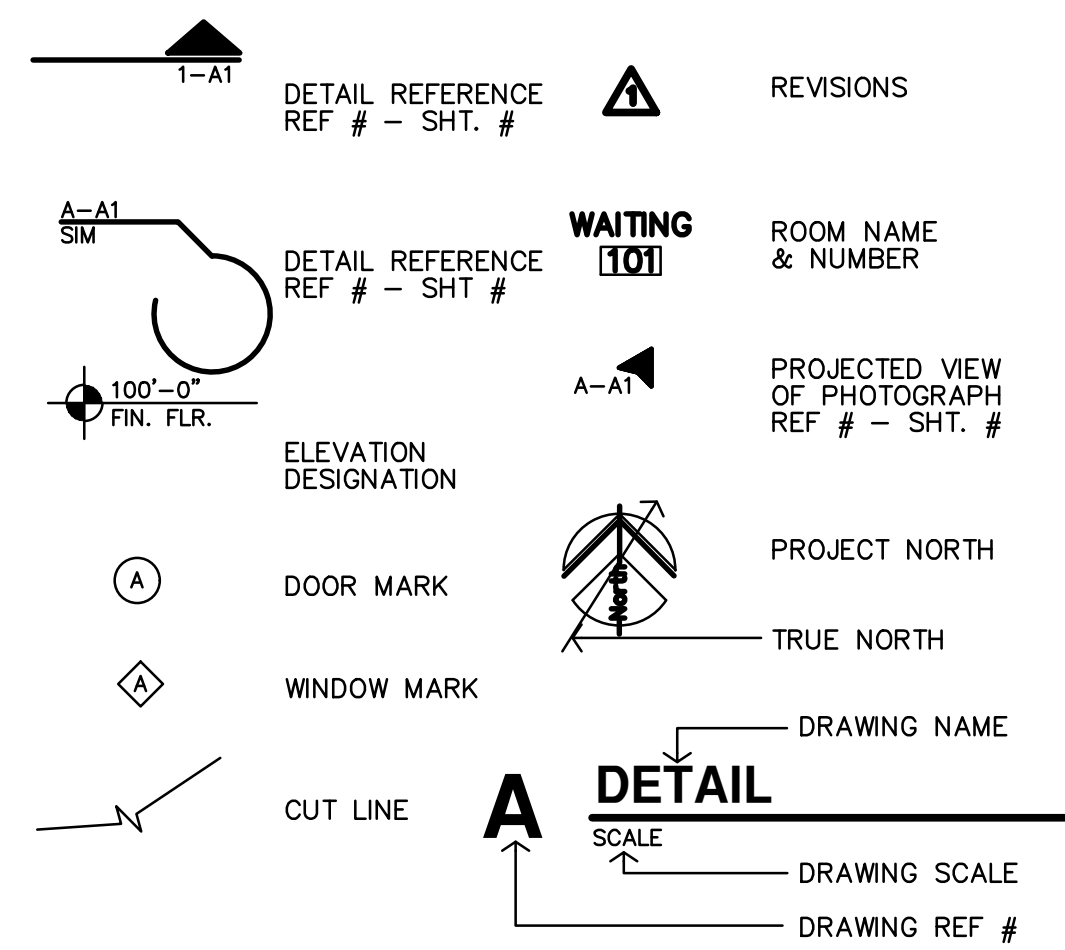
## NEW TOWNHOME COMPLEX

LENEXA,

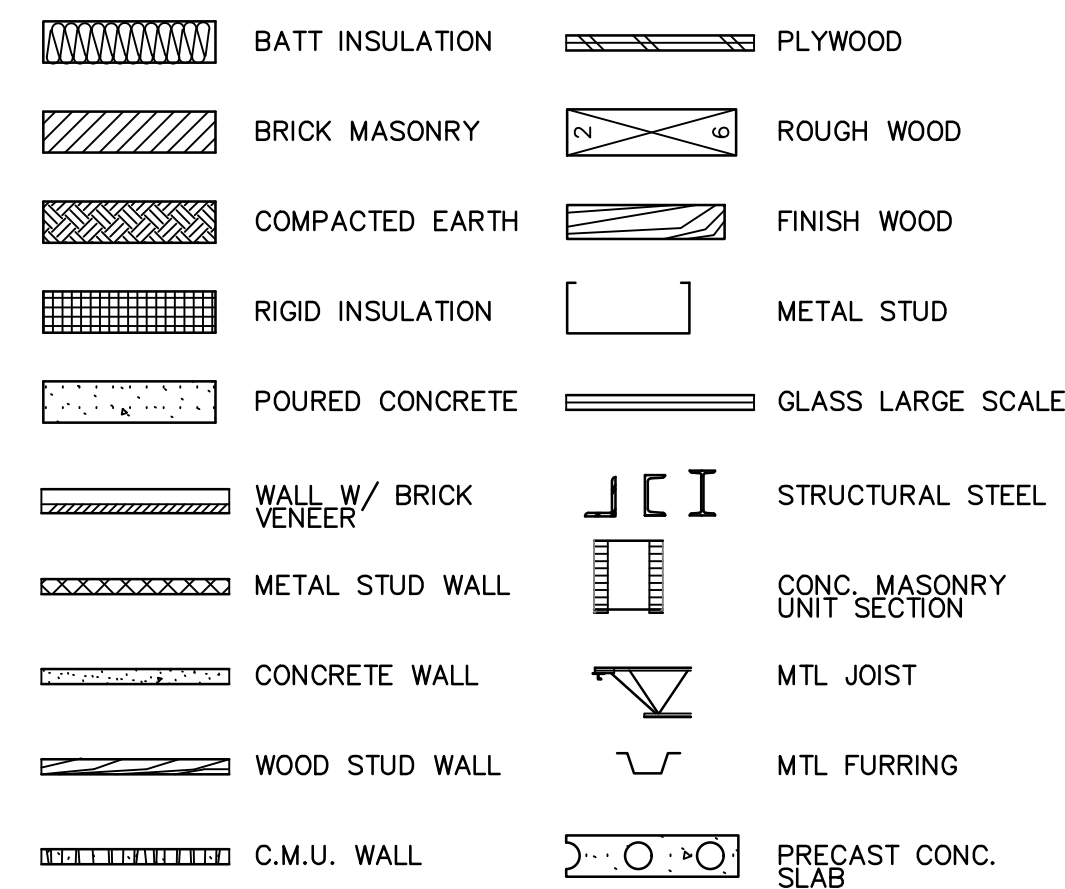
20-3090

KANSAS

### REFERENCE LEGEND



### MATERIAL LEGEND



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 785.827.0386 jgr@jgrarchitects.com

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### ABBREVIATIONS

&	AND	Cntr.	Center	Exp.	Expansion	Hr.	Hour	N.	North	Reinf.	Reinforced	Temp.	Tempered
∠	Angle	Col.	Column	Ext.	Exterior	Hgt.	Height	N.I.C.	Not In Contract	Req'd	Required	T.&G.	Tongue & Groove
AT	Adjustable	Conc.	Concrete	F.A.	Fire Alarm	I.D.	Inside Diameter	No. or	Number	Resil.	Resilient	Thk.	Thick
CL	Centerline	C.T.	Ceramic Tile	F.D.	Floor Drain	Int.	Interior	Nom.	Nominal	Rm.	Room	T.O.M.	Top Of Masonry
Ø	Diameter or Round	CMU	Concrete Masonry Unit	F.E.	Fire Extinguisher	Insul.	Insulation	N.T.S.	Not To Scale	R.O.	Room Opening	T.O.S.	Top Of Steel
#	Found or Number	Chr.	Center	F.E.C.	Fire Cabinet	Int.	Interior	O/	On or Over	S	South	T.P.	Top Of Pavement
Acous.	Acoustical	Dbl.	Double	F.F.	Fire Finish	Jan	Janitor	Obs.	Obscure	S.B.	Splash Block	T.P.D.	Toilet Paper Dispenser
Adj.	Adjustable	Det.	Detail	F.F.C.	Fire Cabinet	Jan	Janitor	O.C.	On Center	S.C.	Solid Core	T.V.	Television
A.F.F.	Above Finished Floor	D.F.	Drinking Fountain	Fl.	Floor	Jt.	Joint	O.D.	Outside Diameter	Sched.	Schedule	Typ.	Typical
Aggr.	Aggregate	Dia.	Diameter	Flash.	Flashing	Kit.	Kitchen	Off.	Office	S.D.	Soap Dispenser	Trd.	Tread
Al.	Aluminum	Dim.	Dimension	Ft.	Foot or feet	Lab.	Laboratory	Opp.	Opposite	Shower	Shower	Ur.	Urinal
Arch.	Architect or Architectural	Dr.	Door	Ftg.	Footing	Lam.	Laminated	P	Paint	Shr.	Shower	U.O.N.	Unless Otherwise Noted
Asb.	Asbestos	Dwg.	Downspout	Furr.	Furring	Lav.	Lavatory	Pi.	Plate	St.	Sheet	Ur.	Urinal
Asph.	Asphalt	Dwr.	Drawer	Fut.	Future	Lkr.	Locker	P.Lam.	Plastic Laminated	St.N.R.	Sanitary Napkin Disp.	V.C.T.	Vinyl Composition Tile
A.V.	Audio Visual	(E)	Existing	Galv.	Gauge	Lt.	Light	Plas.	Plaster	St.	Sheet	V.B.	Vapor Barrier
Bd.	Board	Ea.	Each	Galv.	Galvanized	Mas.	Masonry	Plywd.	Plywood	St.	Sheet	Vert.	Vertical
Bitum.	Bituminous	Ext.	East or Existing	G.B.	Grab Bar	Max.	Maximum	Pr.	Pair	St.	Sheet	Vest.	Vestibule
Bldg.	Building	Exp.	Expansion	G.	Glass	M.C.	Medicine Cabinet	Pt.	Point	St.	Sheet	Vyl.	Vinyl
Blk.	Block	Exp.	Expansion Joint	Gnd.	Grade	Mch.	Mechanical	P.T.D.	Paper Towel Dispenser	St.	Sheet		
Bkg.	Blocking	Gr.	Grade	Gr.	Grade	Memb.	Membrane	Ptn.	Partition	St.	Sheet		
Bm.	Beam	Gyp.	Gypsum	H.	Hose	Met.	Metal	P.T.R.	Paper Towel Receptacle	Str.	Structural		
Bot.	Bottom	H.	Hose	H.B.	Hose Bibb	Mfr.	Manufacturer	Q.T.	Quarry Tile	Susp.	Suspended		
Bot.	Bottom	H.C.	Hollow Core	H.C.	Hollow Core	Mn.	Manhole	R.	Riser	Susp.	Suspended		
By OWNER	By OWNER	Hwd.	Hardware	Hwd.	Hardware	Mir.	Mirror	Rad.	Radiation	Susp.	Suspended		
Brg.	Bearing	H.M.	Hollow Metal	H.M.	Hollow Metal	Misc.	Miscellaneous	R.D.	Roof Drain	Sym.	Symmetrical		
Brk.	Brick	Horiz.	Horizontal	Horiz.	Horizontal	Mtd.	Mounted	Ref.	Reference	T.Bd.	Tack Board		
Cab.	Cabinet												
Cig.	Ceiling												
Cir.	Clear												

### CONSULTANTS

#### Civil Engineer

Civil Engineer By Owner

#### Mechanical & Electrical Engineer

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 4809 Vue Du Lac Place, Suite 301  
 Manhattan, KS 66503  
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 mail@LSTengineers.com

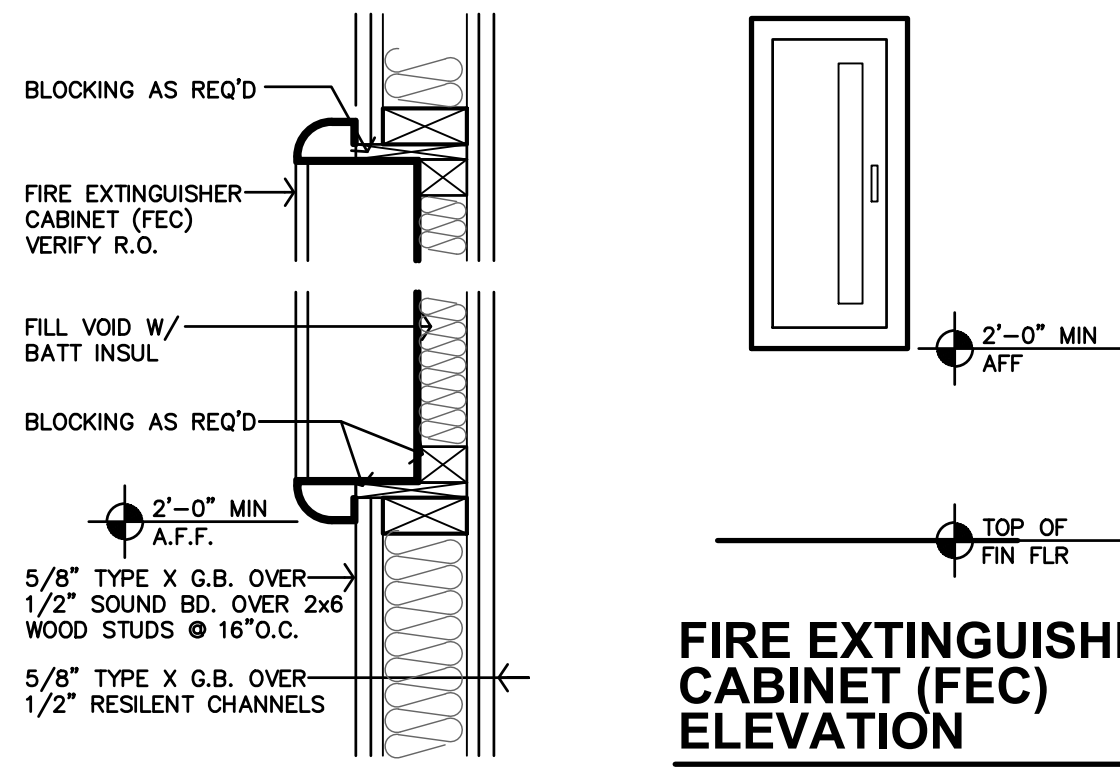
#### Structural Engineer

**Bob D. Campbell & Co., Inc.**  
 4338 Bellevue  
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 816.531.4144; FAX 816.531.8572  
 info@bdc-engrs.com



PERMIT SET 8-12-2025





**FIRE EXTINGUISHER CABINET (FEC) ELEVATION**  
3/4"=1'-0"

**CLUBHOUSE CODE INFORMATION**

<b>OCCUPANCY OVERALL:</b>	MIXED OCCUPANCY	<b>OCCUPANCY SEPARATIONS:</b>	(NON-SEPARATED USES, PER IBC SEC. 508.3.2.2)
<b>OCCUPANCY GROUPS:</b>	A3 COMMON AREA B FITNESS	<b>ALLOWABLE AREA &amp; HEIGHT CALCULATIONS ARE BASED ON THE MOST RESTRICTIVE USE. DIFFERENT USES ARE NOT SEPARATED BY FIRE BARRIERS.</b>	
<b>CONSTRUCTION TYPE:</b>	V-B	<b>SPECIAL CONDITIONS:</b>	EXIT & EMERGENCY LIGHTING PORTABLE FIRE EXTINGUISHERS
<b>BASIC ALLOWABLE AREA:</b>	A3 6,000 SF	<b>FIRE ALARM REQUIREMENTS:</b>	NOT REQUIRED
<b>ALLOWABLE AREA INCREASE:</b>	(NON-SEPARATED USES, PER IBC SEC. 508.3.2.2) 6,000 SF	<b>AUTOMATIC FIRE SUPPRESSION SYSTEM:</b>	NOT REQUIRED
<b>BASE ALLOWABLE FRONTAGE AREA INCREASE (25%):</b>	1,500 SF	<b>EMERGENCY POWER SOURCE:</b>	EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP
<b>ALLOWABLE AREA (PER FLOOR):</b>	7,500 SF	<b>HAZARDOUS MATERIALS:</b>	(PER IBC TABLE 307.7) NONE
<b>ACTUAL BUILDING AREA:</b>	1,652 SF	<b>SMOKE PARTITIONS:</b>	SMOKE CONTROL: NOT REQUIRED
<b>BASIC ALLOWABLE STORIES:</b>	1	<b>STANDPIPES:</b>	NOT REQUIRED
<b>ACTUAL STORIES:</b>	1	<b>TOTAL OCCUPANT LOAD:</b>	51
<b>BASIC ALLOWABLE HEIGHT:</b>	40'	<b>EXITING:</b>	REFERENCE PLAN
<b>ACTUAL HEIGHT:</b>	15'	<b>OCCUPANT LOAD FACTORS:</b>	
<b>FIRE RESISTANCE RATING FOR BUILDING ELEMENTS:</b>	V-B	<b>OCCUPANCY USE</b>	<b>LOAD FACTOR</b> <b>OCCS= 2-EXITS</b>
<b>STRUCTURAL FRAME:</b>	0 HOUR	A2 SERVING AREA	15 sf/OCCUPANT 49
<b>INTERIOR BEARING WALLS:</b>	0 HOUR	A3 LOUNGE	15 sf/OCCUPANT 49
<b>INTERIOR NON-BEARING WALLS:</b>	0 HOUR	A4 POOL DECK	15 sf/OCCUPANT 49
<b>EXTERIOR BEARING WALLS:</b>	0 HOUR	B EXERCISE	50 sf/OCCUPANT 49
<b>EXTERIOR NON-BEARING WALLS:</b>	0 HOUR		
<b>FLOOR/CEILING:</b>	0 HOUR		
<b>CEILING/ROOF:</b>	0 HOUR		
<b>SHAFT ENCLOSURES:</b>	1 HOUR		

**TOWNHOUSES CODE INFORMATION**

**ROOF COVERINGS**  
CLASS C OR BETTER

**REQUIRED SEPARATION OF TOWNHOMES (PER IRC R302.2 TOWNHOUSES)**  
WALLS SEPARATING TOWNHOUSE UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R302.2.1 DOUBLE WALLS. EACH TOWNHOUSE SHALL BE SEPARATED BY (2) 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES.

**PARAPET ALTERNATIVE (PER IRC R302.2.4 ITEM 2 - EXCEPTION)**  
A PARAPET IS NOT REQUIRED IN THE PRECEDING TWO CASES: WITH ROOF COVERING MINIMUM CLASS C RATING & ROOF DECKING OR SHEATHING IS OF FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FEET ON EACH SIDE OF THE WALL.

**STRUCTURAL INDEPENDENCE (PER IRC R302.2.6)**  
EACH INDIVIDUAL TOWNHOUSE SHALL BE STRUCTURALLY INDEPENDENT. EXCEPTIONS: FOUNDATIONS SUPPORTING EXTERIOR/Common WALLS. STRUCTURAL ROOF AND SHEATHING. NONSTRUCTURAL WALL AND ROOF COVERINGS. FLASHING OF ROOF COVERINGS.

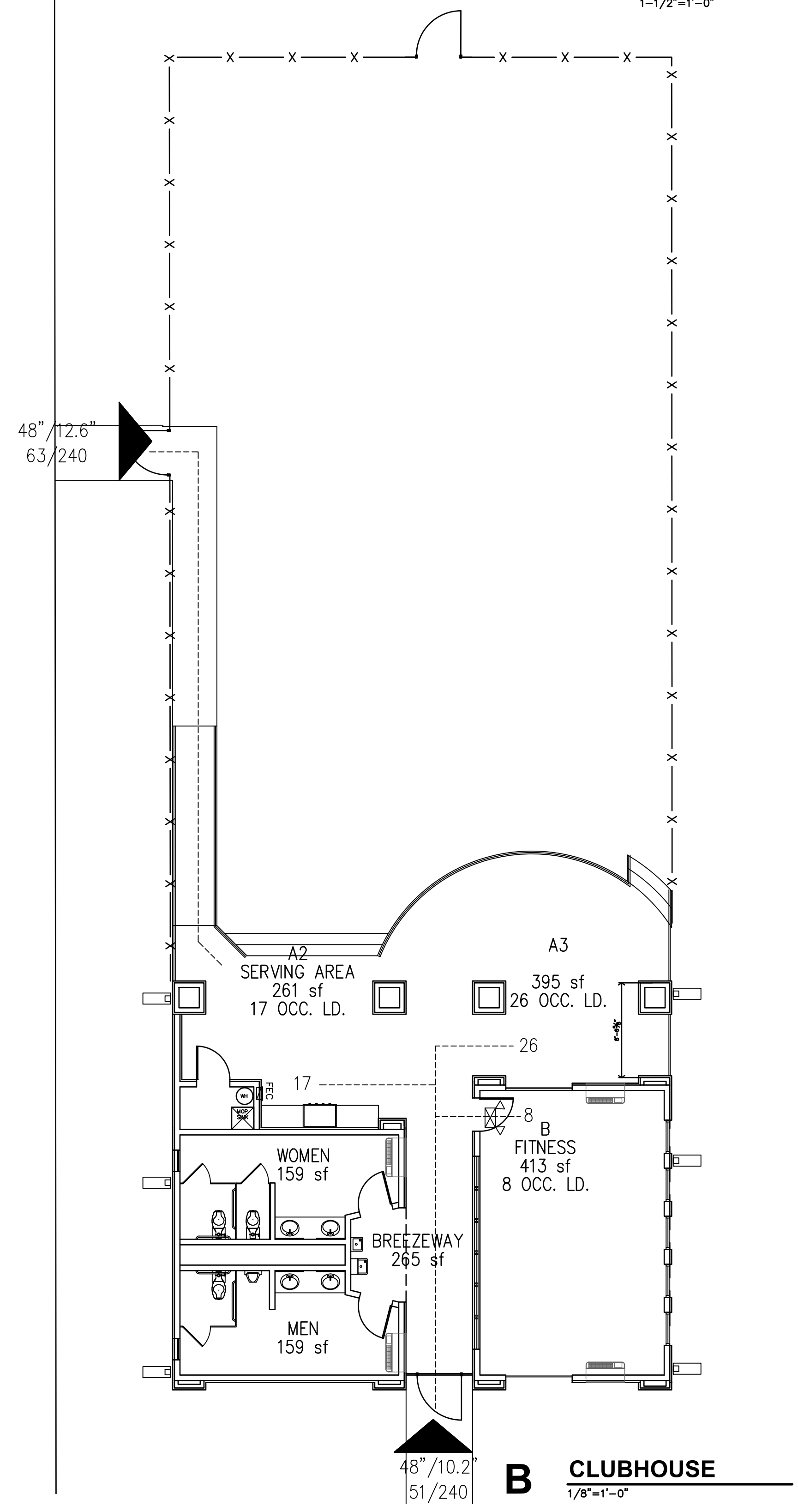
**AUTOMATIC FIRE SUPPRESSION SYSTEM:**  
REQUIRED, PROVIDED PER NFPA 13D - EACH TOWNHOUSE

**EMERGENCY ESCAPE AND RESCUE OPENINGS (PER IRC R310.2)**

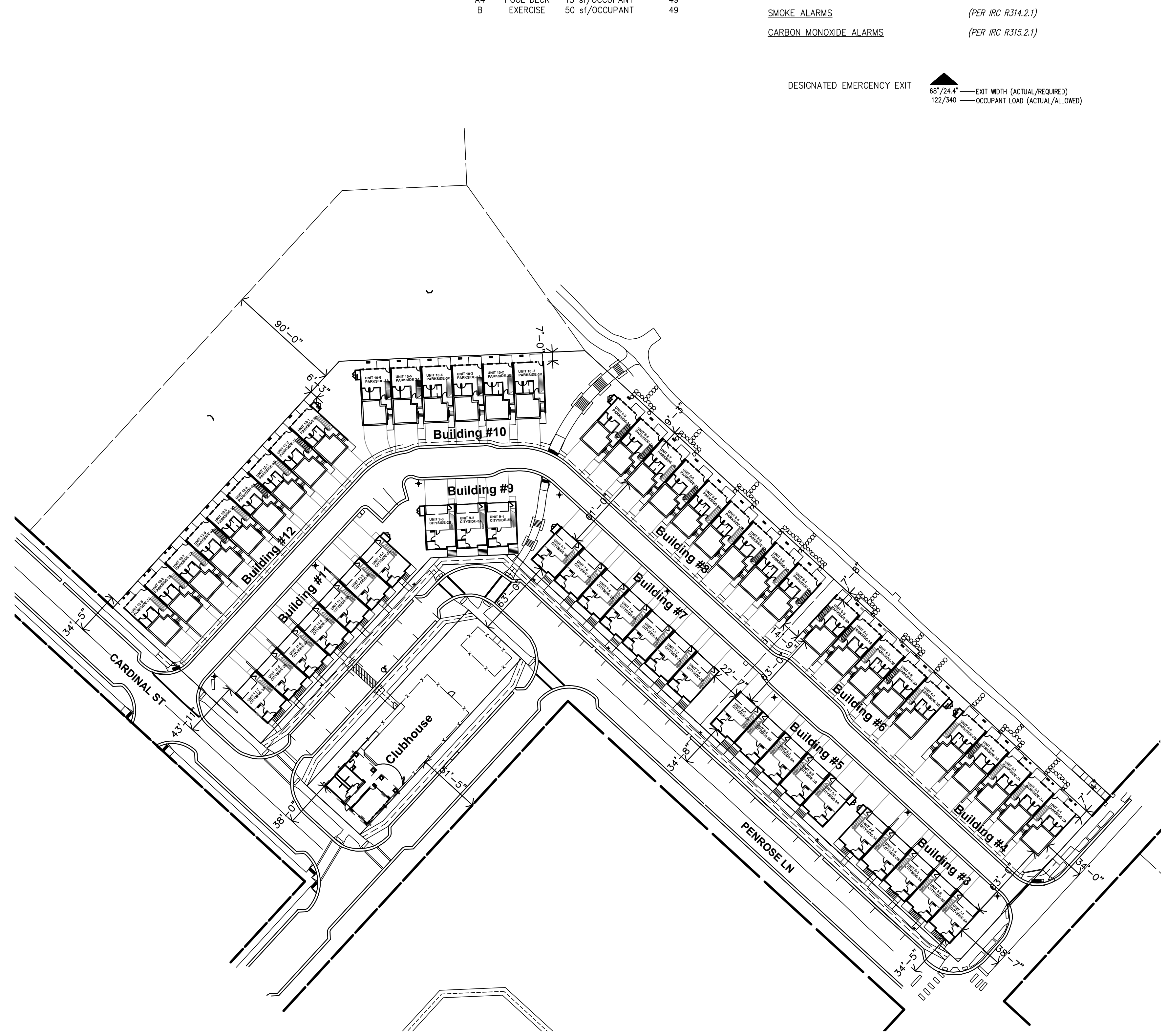
**MEANS OF EGRESS (PER IRC R311.1)**

**SMOKE ALARMS (PER IRC R314.2.1)**

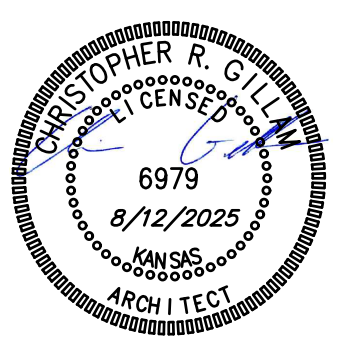
**CARBON MONOXIDE ALARMS (PER IRC R315.2.1)**



**B CLUBHOUSE**  
1/8"=1'-0"



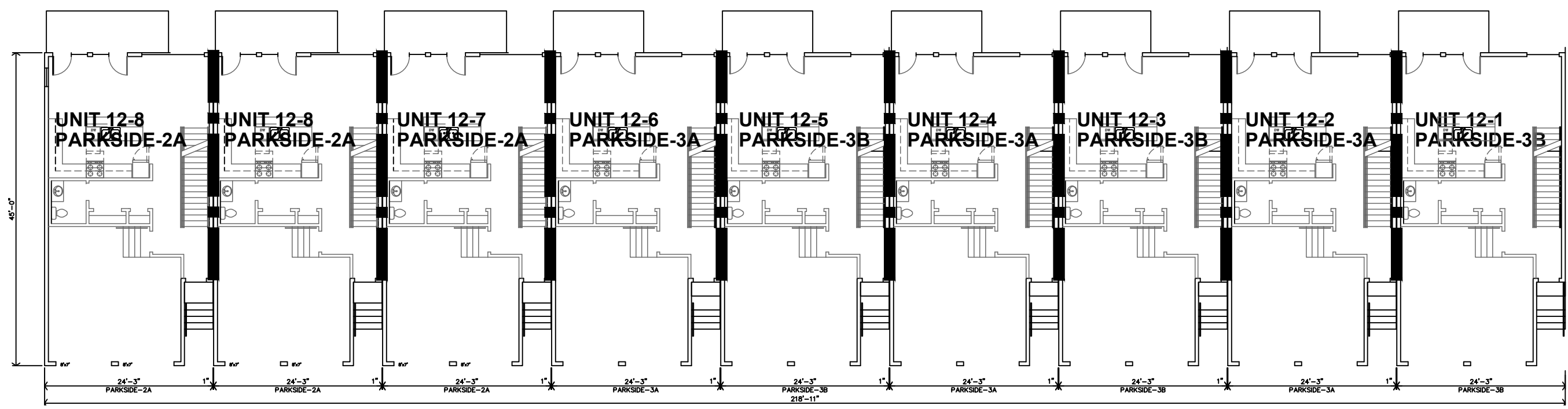
**A SITE PLAN**  
1"=50'-0"



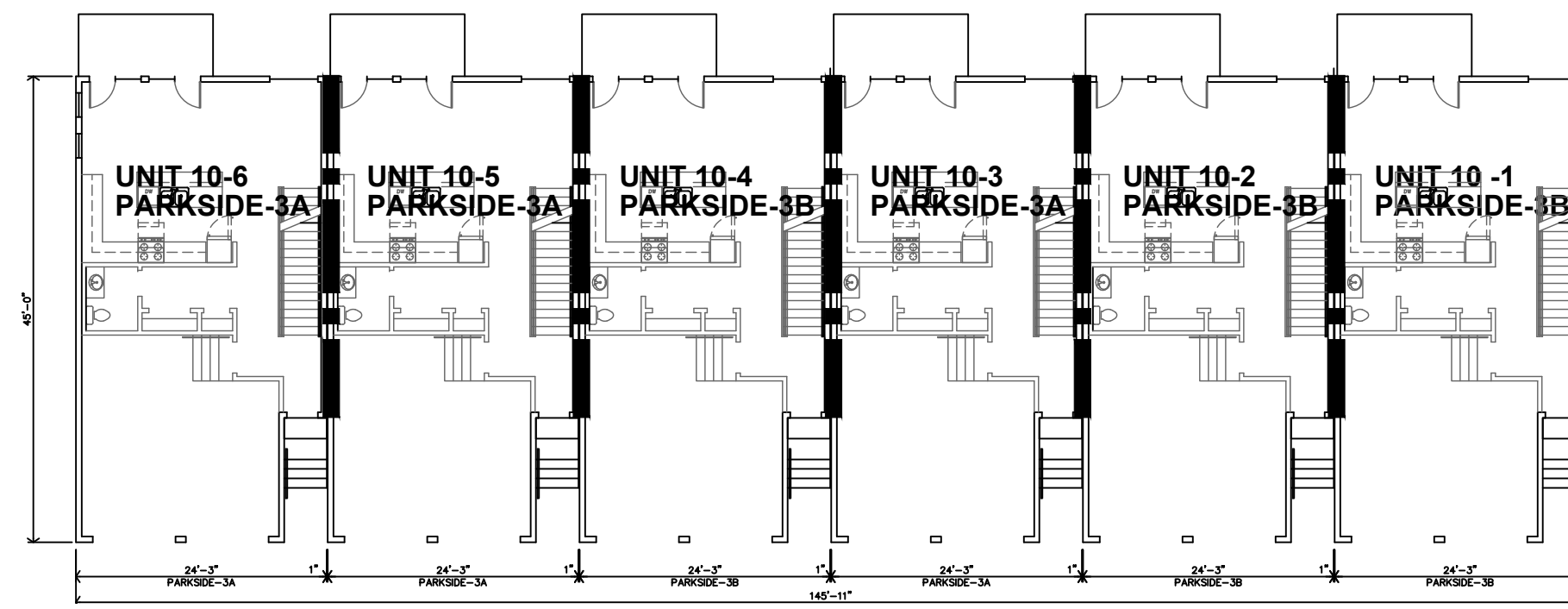
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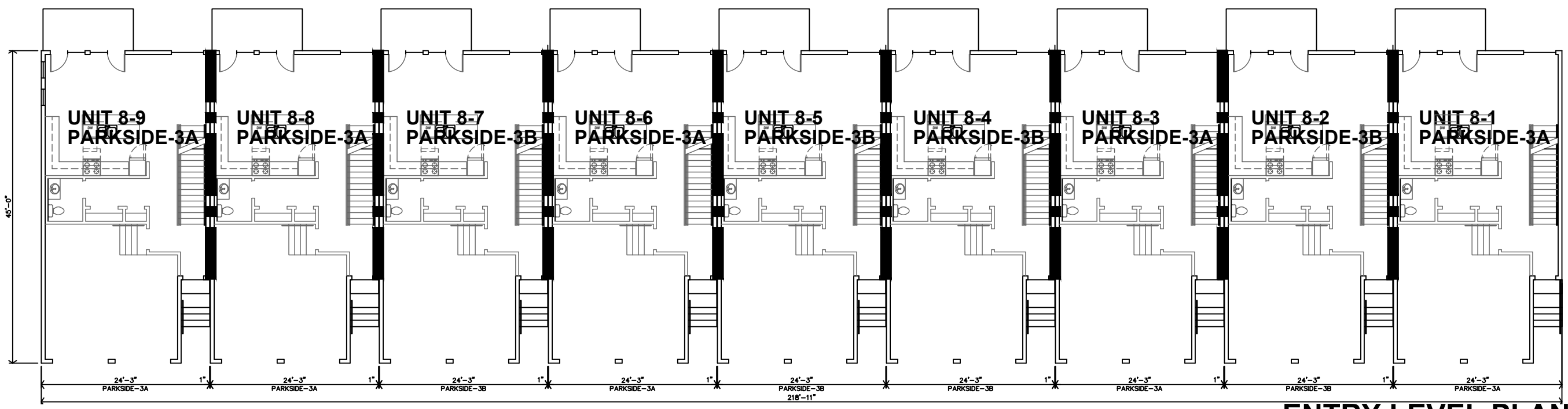
**PARKSIDE UNITS**



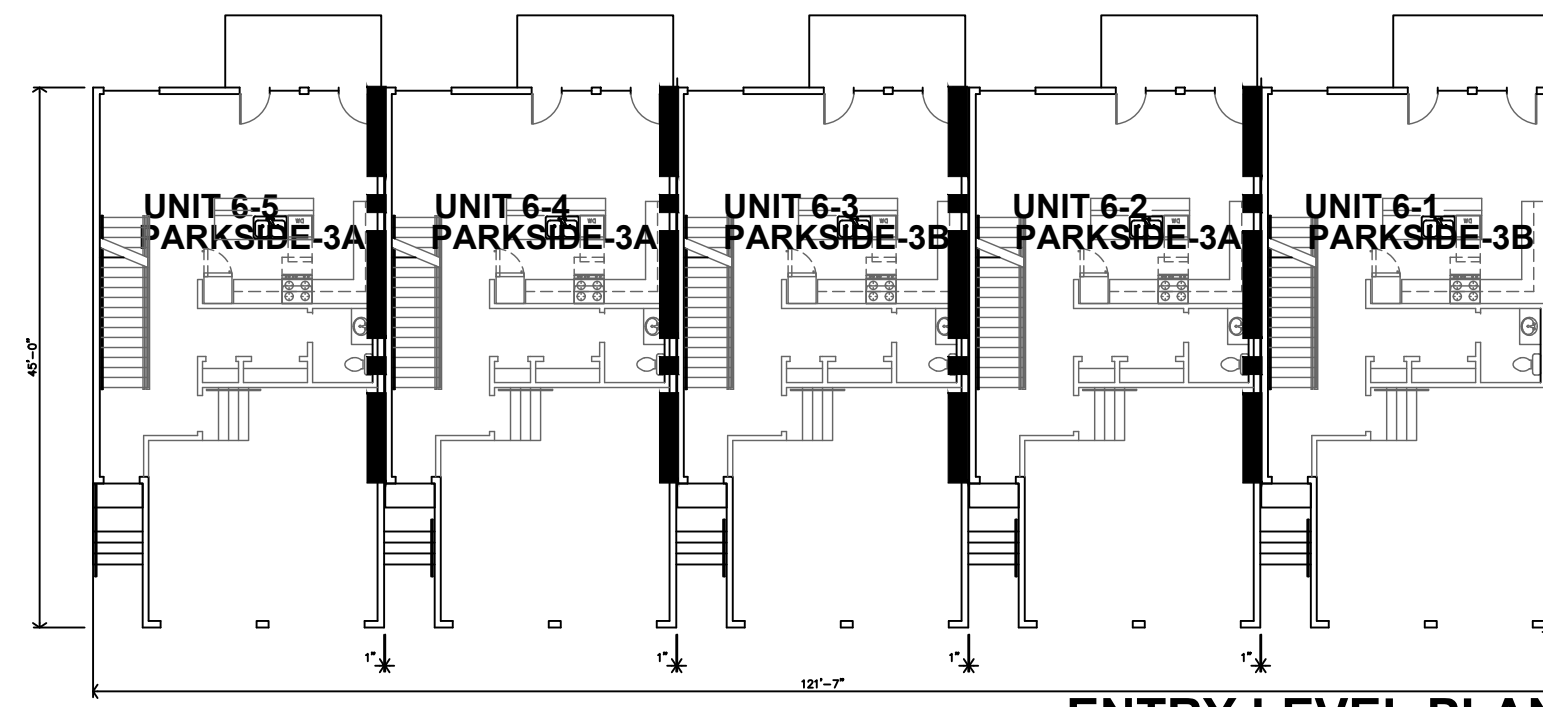
**K** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 12  
1/16"=1'-0"



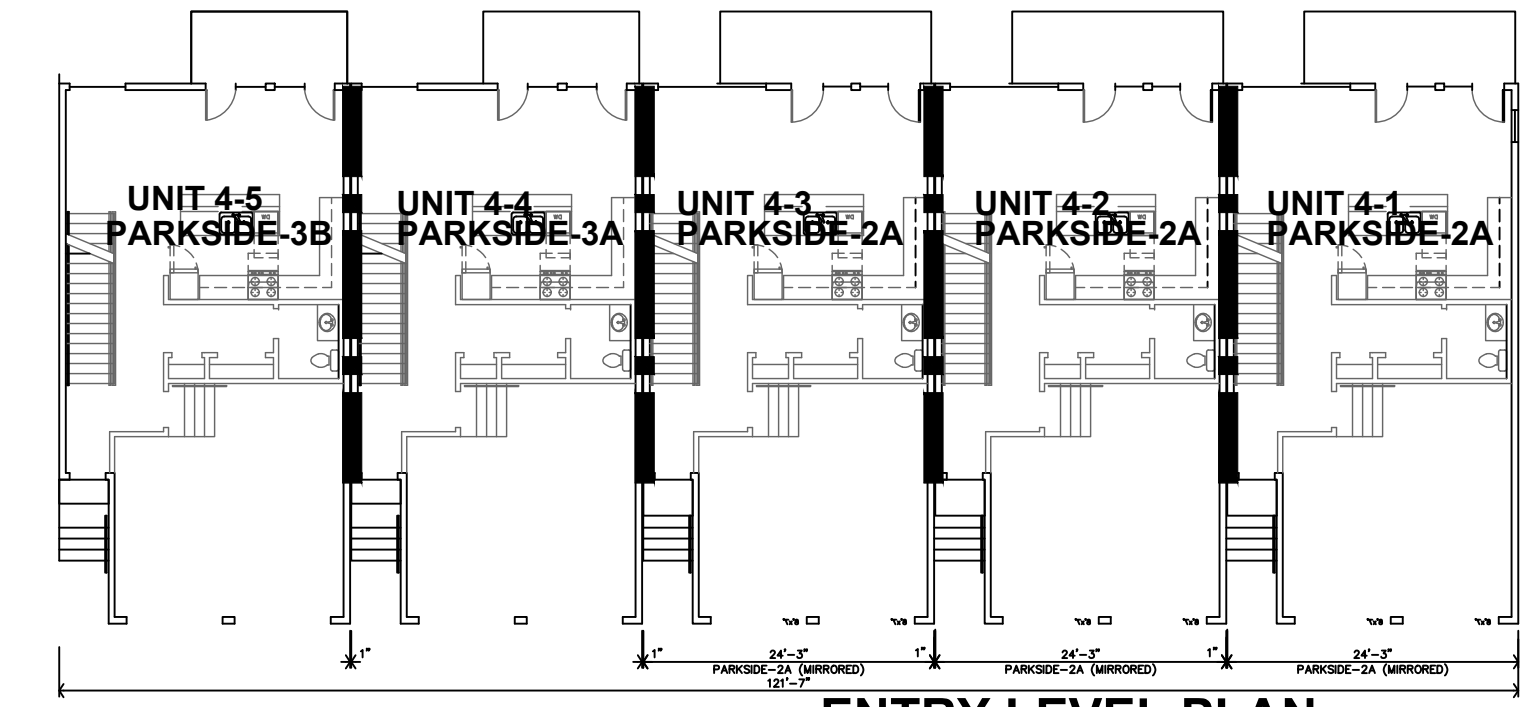
**J** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 10  
1/16"=1'-0"



**H** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 8  
1/16"=1'-0"

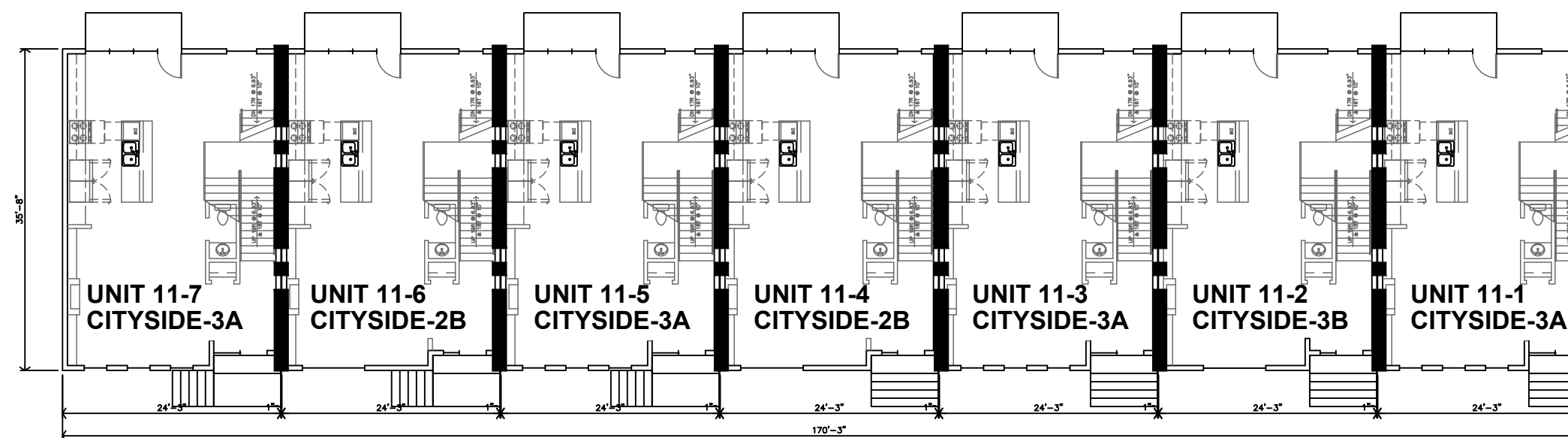


**G** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 6  
1/16"=1'-0"

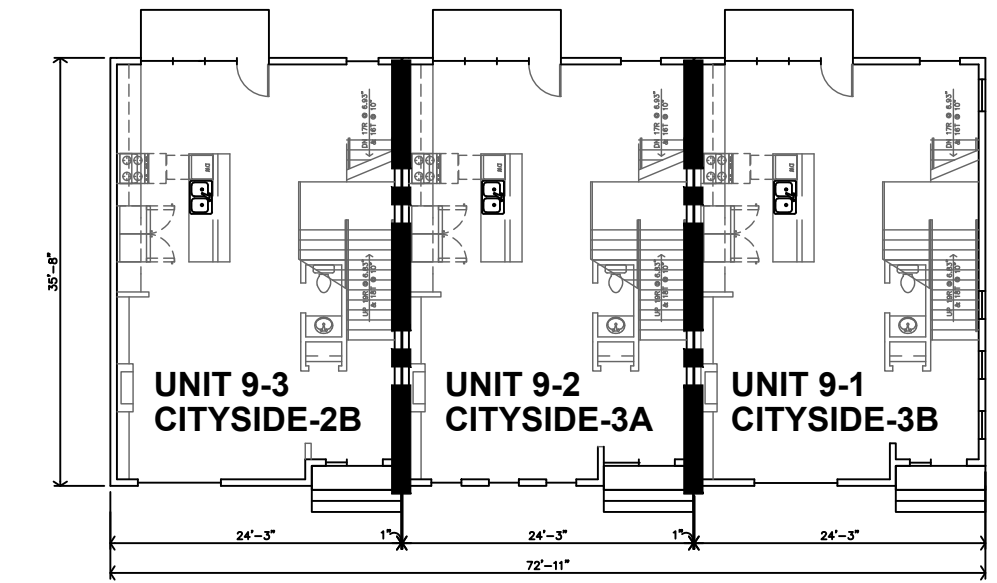


**F** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 4  
1/16"=1'-0"

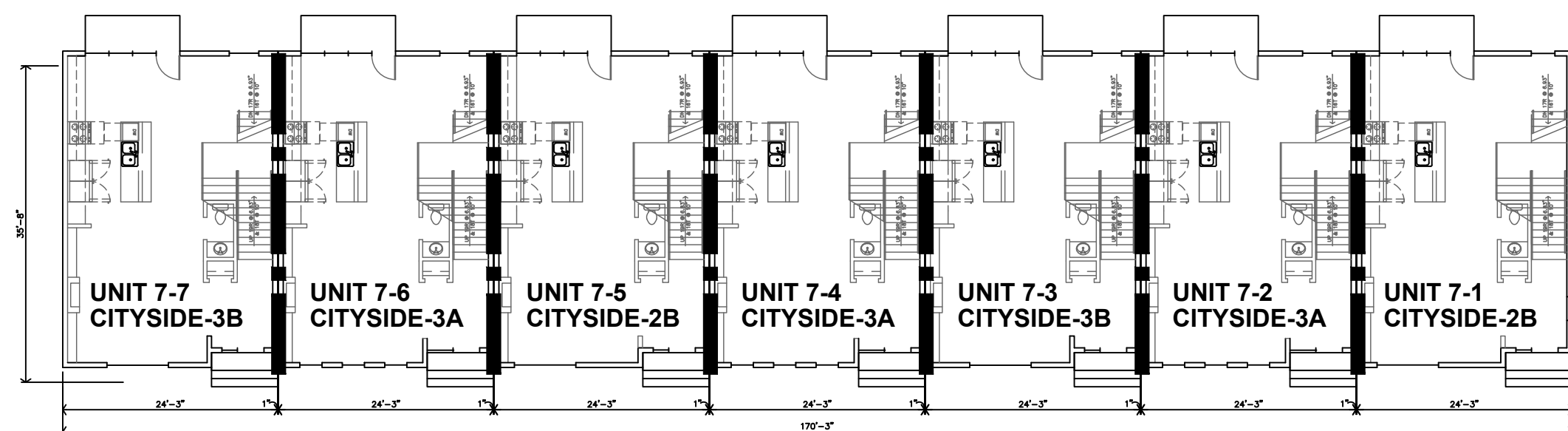
**CITYSIDE UNITS**



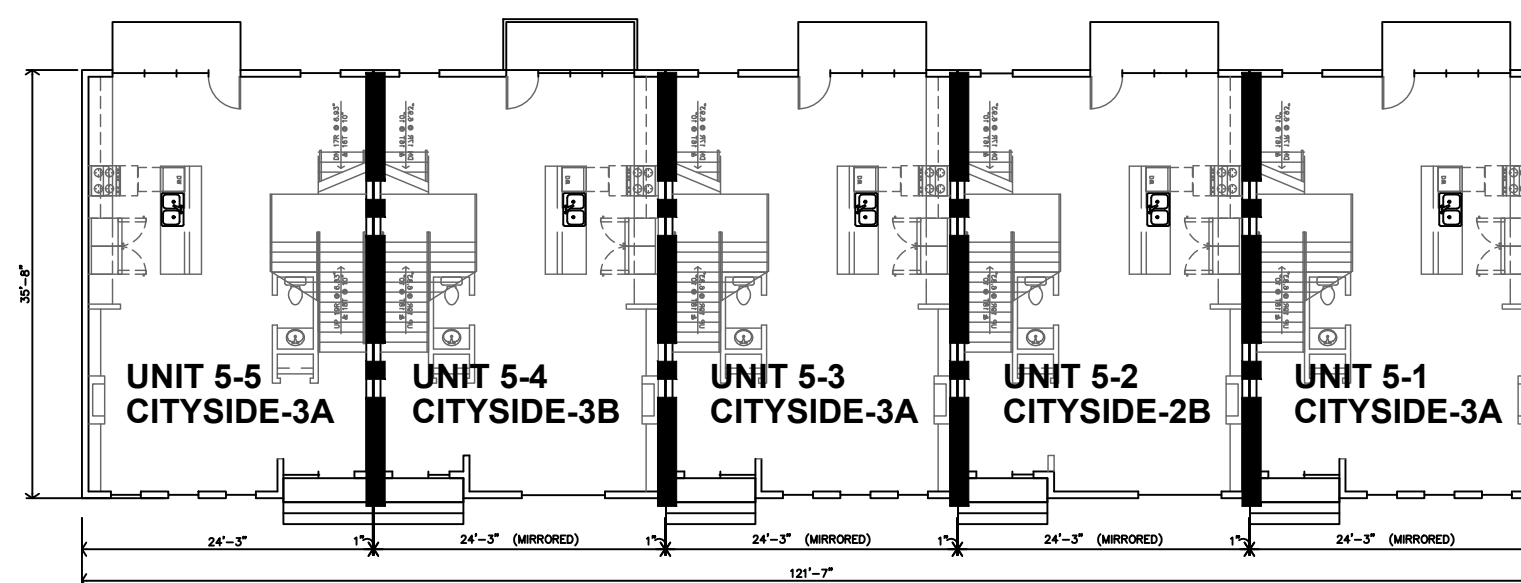
**E** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 11  
1/16"=1'-0"



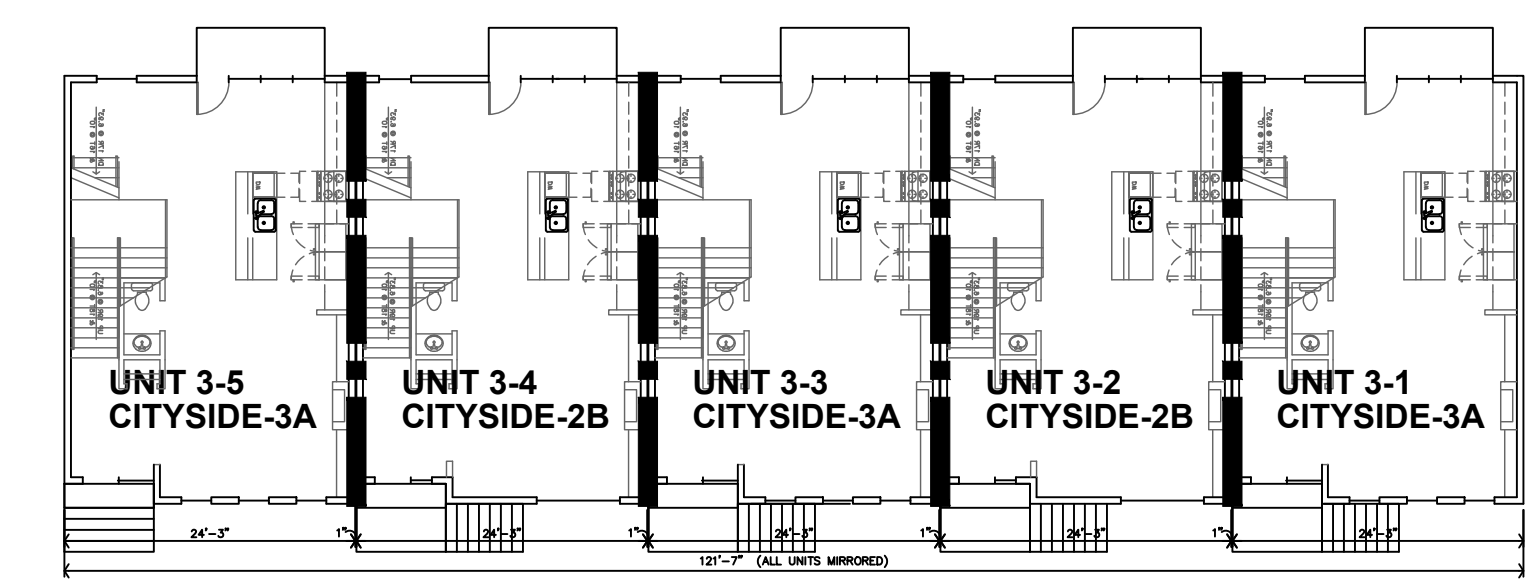
**D** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 9  
1/16"=1'-0"



**C** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 7  
1/16"=1'-0"



**B** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 5  
1/16"=1'-0"



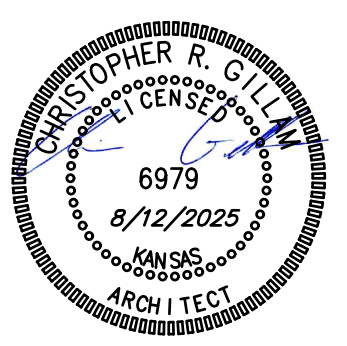
**A** ENTRY LEVEL PLAN  
TOWNHOUSE GROUP 3  
1/16"=1'-0"

**LEGEND**

- 0 HOUR CONSTRUCTION
- (2) 1-HOUR RATED WALL ASSEMBLIES; TOWNHOME/TOWNHOME (PER IRC R302.2.1)

**TOWNHOUSES CODE INFORMATION**

- ROOF COVERINGS**  
CLASS C OR BETTER
- REQUIRED SEPARATION OF TOWNHOUSES** (PER IRC R302.2 TOWNHOUSES)  
WALLS SEPARATING TOWNHOUSE UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R302.2.1 DOUBLE WALLS. EACH TOWNHOUSE SHALL BE SEPARATED BY (2) 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES.
- PARAPET ALTERNATIVE** (PER IRC R302.2.4 ITEM 2 - EXCEPTION)  
A PARAPET IS NOT REQUIRED IN THE PRECEDING TWO CASES: WITH ROOF COVERING MINIMUM CLASS C RATING & ROOF DECKING OR SHEATHING IS OF FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FEET ON EACH SIDE OF THE WALL.
- STRUCTURAL INDEPENDENCE** (PER IRC R302.2.6)  
EACH INDIVIDUAL TOWNHOUSE SHALL BE STRUCTURALLY INDEPENDENT. EXCEPTIONS: FOUNDATIONS SUPPORTING EXTERIOR/Common WALLS. STRUCTURAL ROOF AND SHEATHING. NONSTRUCTURAL WALL AND ROOF COVERINGS. FLASHING OF ROOF COVERINGS.
- AUTOMATIC FIRE SUPPRESSION SYSTEM:**  
REQUIRED, PROVIDED PER NFPA 13D - EACH TOWNHOUSE
- EMERGENCY ESCAPE AND RESCUE OPENINGS** (PER IRC R310.2)
- MEANS OF EGRESS** (PER IRC R311.1)
- SMOKE ALARMS** (PER IRC R314.2.1)
- CARBON MONOXIDE ALARMS** (PER IRC R315.2.1)



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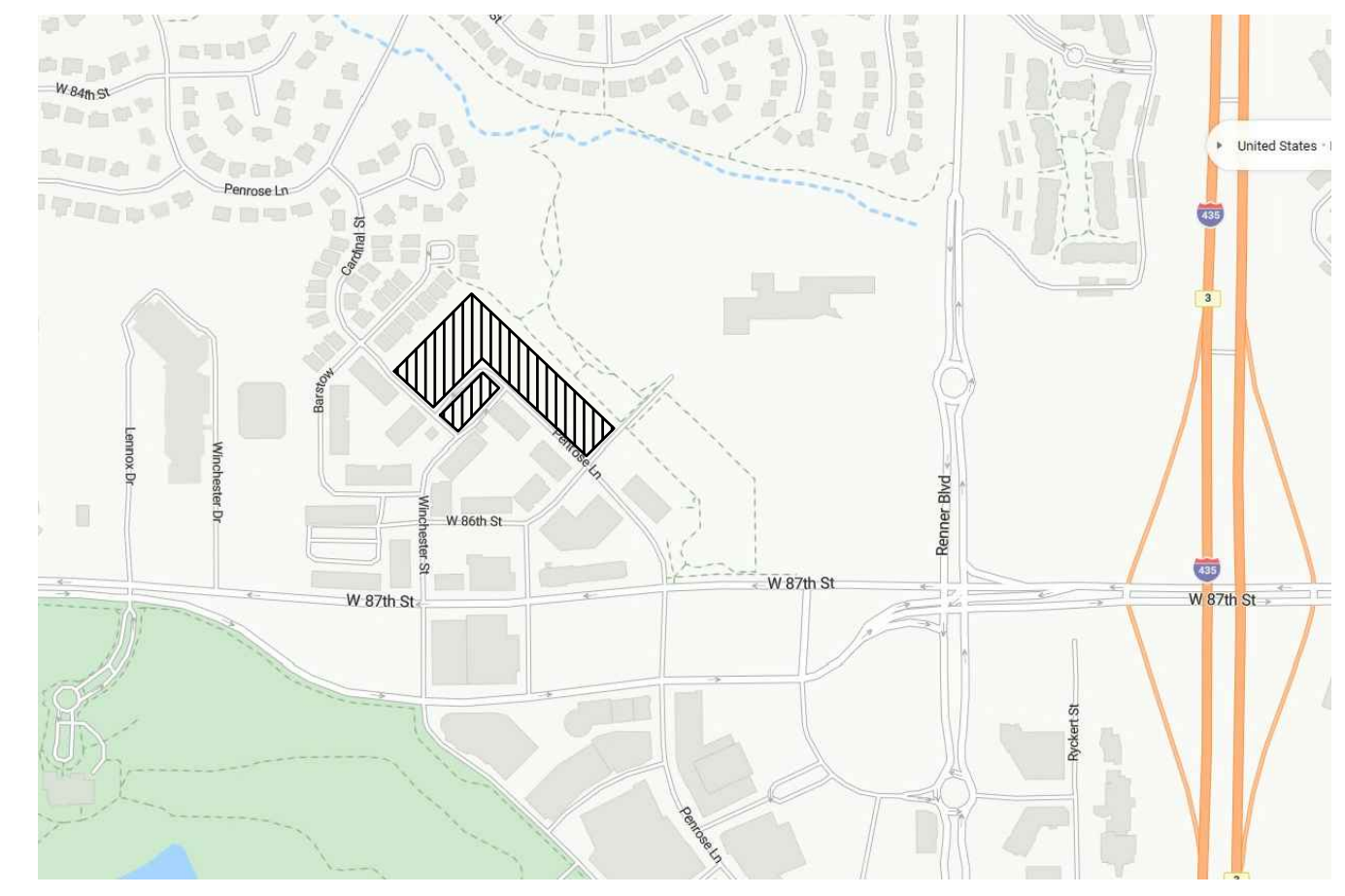
**SITE PLAN KEY NOTES**

(A)	MECH. CLOSET REF. & COORDINATE W/ M/E DRAWINGS (TYP)
(B)	DASHED LINE INDICATES ACCESSIBLE PATH
(C)	PAINTED STRIPING AT ACCESSIBLE ROUTE
(D)	DOG PARK - 4'-0" tall ALUM. FENCE SIMILAR TO AMERISTAR. INCLUDES (1) PARK BENCHES REF. SHEET A1.3
(E)	MONUMENT SIGNAGE REF. CIVIL/LANDSCAPE SHEETS FOR DETAILS
(F)	NEW POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(F)	NEW POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(G)	KNOX BOX COORD. W/ FIRE DEPT. (TYP)
(H)	FENCED GRASS PLAY AREA

NOTE: SLABS @ SITE AMENITIES SHALL BE 4"th. 3,500 PSI W/ 6x6-W1.2xW1.2 WWF. SLOPE ACROSS SLAB NO MORE THAN 2% (1/8" PER 12") OVER 4"th. GRANULAR FILL (MIN.) COMPACTED OVER SUBGRADE, PREP PER SOILS REPORT.

**GENERAL SITE PLAN NOTES**

- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.
- INSTALL MATERIALS AND FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR FINISH INSTALLATION.
- WHERE NEW CONCRETE ADJUTS THE BUILDING, PROVIDE 3/4" EXPANSION JOINT & SEAL TOP WITH EPOXY SEALER.
- INSTALL EXPANSION JOINTS IN CONCRETE SIDEWALK PAVING AT ±60" O.C. PROVIDE FILLER MATERIAL AND SEALANT. COORDINATE WITH ARCHITECT FOR FINAL LOCATIONS OF EXPANSION JOINTS.
- INSTALL CONTROL JOINTS IN CONCRETE ROUGHLY SQUARE AND AREAS NOT TO EXCEED 100 S.F.
- EXTERIOR DOOR LANDINGS SHALL BE WITHIN 1/2" OF INTERIOR FINISH FLOOR ELEVATION. MAXIMUM SLOPE IN ANY DIRECTION SHALL BE 1:50
- FINISH FLOOR ELEVATION SHALL BE VERIFIED BY GENERAL CONTRACTOR AND CONFIRMED W/ PROPOSED GRADING TO PROVIDE DRAINAGE AWAY FROM THE BUILDING
- LANDSCAPING, SEEDING, PLANTINGS, ETC. TO BE INCLUDED IN THE SCOPE OF WORK. REFERENCE LANDSCAPE PLANS. ALL AREAS AROUND THE SITE AND AS INDICATED ON THE SITE PLAN SHALL BE FINE GRADED WITH MIN. 2" TOP SOIL. AREAS SHALL BE FREE OF ROCKS AND CLUMPS AS SUITABLE FOR SEEDING OR SOODING.
- NEW PEDESTRIAN SIDEWALKS SHALL NOT HAVE A CROSS SLOPE GREATER THAN 1:50 AND SHALL NOT SLOPE IN THE DIRECTION OF TRAVEL GREATER THAN 1:20.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE LOCAL UTILITY COMPANIES AND CITY.
- NOT USED
- DO NOT CONSTRUCT ANY PART OF THE TRASH PAD, ENCLOSURE AND/OR ACCESS UNLESS AFTER CONFIRMATION AND COORDINATION OF LOCAL TRASH SERVICE. DUE TO DIFFERENT TRASH COMPANIES, TRUCKS AND PICK-UP PROCESSES, CONFIRMATION OF THE TRASH SERVICE AND COORDINATION OF THE DESIGN AND LAYOUT OF THE PAD, ENCLOSURE AND ACCESS MUST BE COMPLETED.
- ALL NEW LANDSCAPING IS TO BE IRRIGATED. THIS INCLUDES (BUT IS NOT LIMITED TO) SOG, GROUND COVER, TREES, SHRUBS AND RAISED PLANTERS. IRRIGATION INSTALLER/CONTRACTOR TO SUBMIT AN IRRIGATION PLAN TO ARCHITECT PRIOR TO INSTALLATION. COORDINATE WITH LANDSCAPE PLAN AND REFERENCE SPECIFICATIONS FOR MORE DETAILS.



**VICINITY PLAN**  
NOT TO SCALE

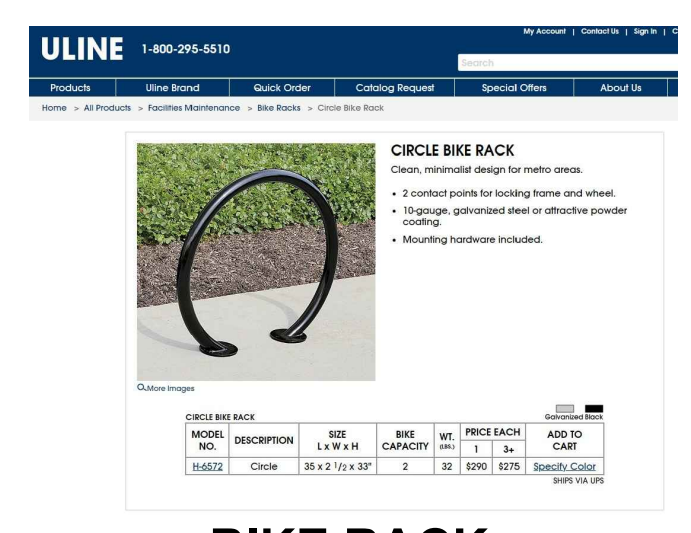
**PARKING SUMMARY**

GARAGE	122
DRIVEWAY	122
VISITOR	33
ACCESSIBLE	1
TOTAL PARKING STALLS	248
PARKING RATIO (STALLS/UNITS)	4.07

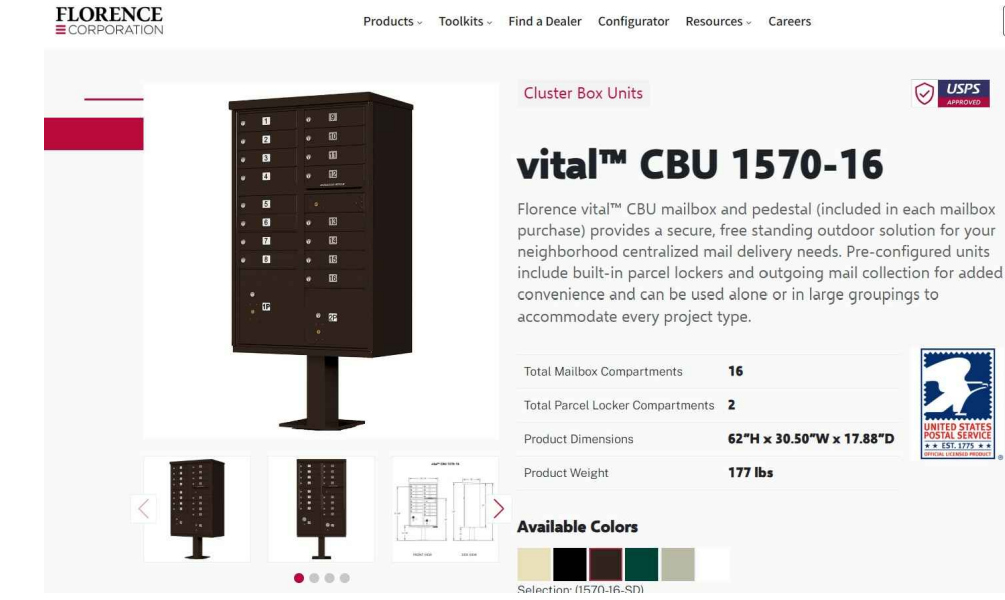
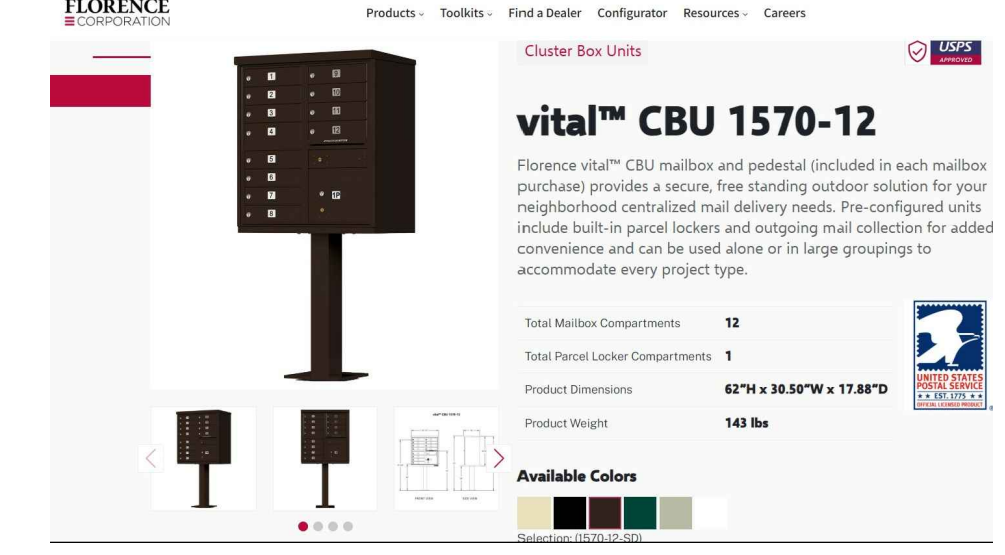
PARKING MEETS LOCAL REQUIREMENTS. - 2/UNIT

**NOTES**

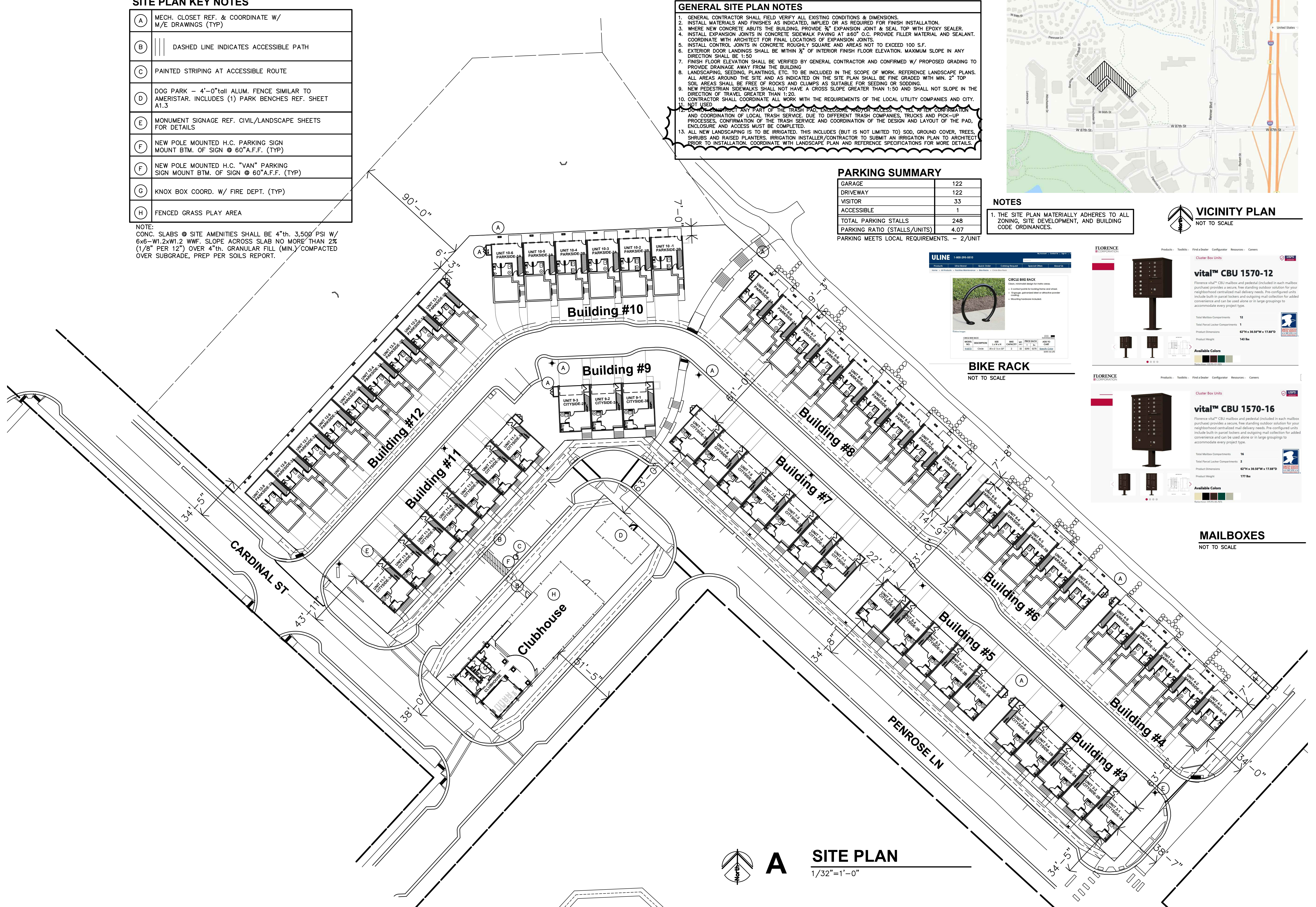
- THE SITE PLAN MATERIALLY ADHERES TO ALL ZONING, SITE DEVELOPMENT, AND BUILDING CODE ORDINANCES.



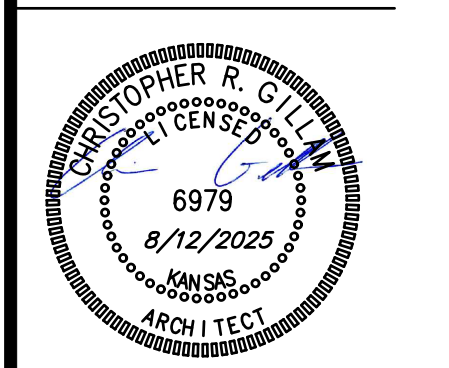
**BIKE RACK**  
NOT TO SCALE



**MAILBOXES**  
NOT TO SCALE



**A SITE PLAN**  
1/32"=1'-0"



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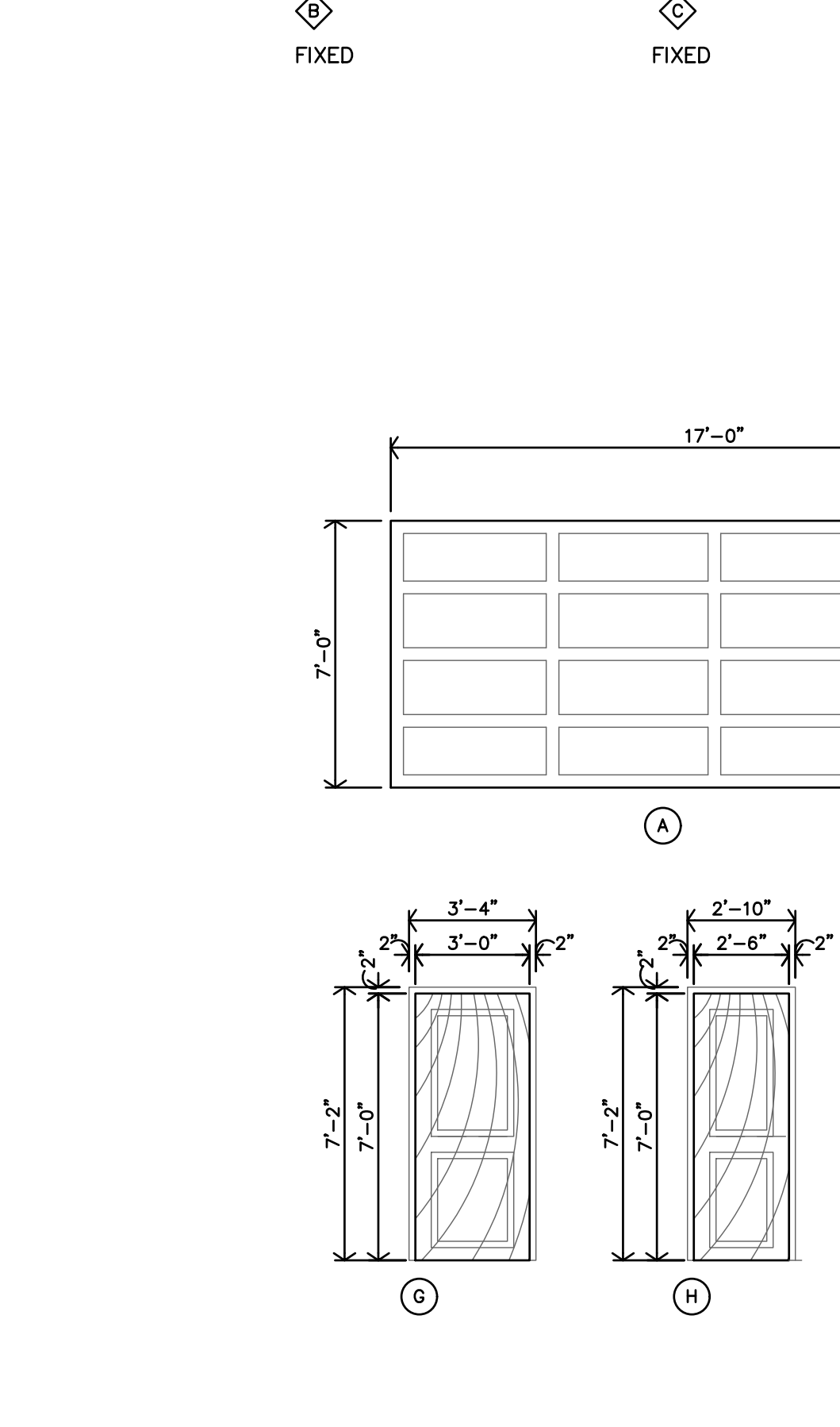
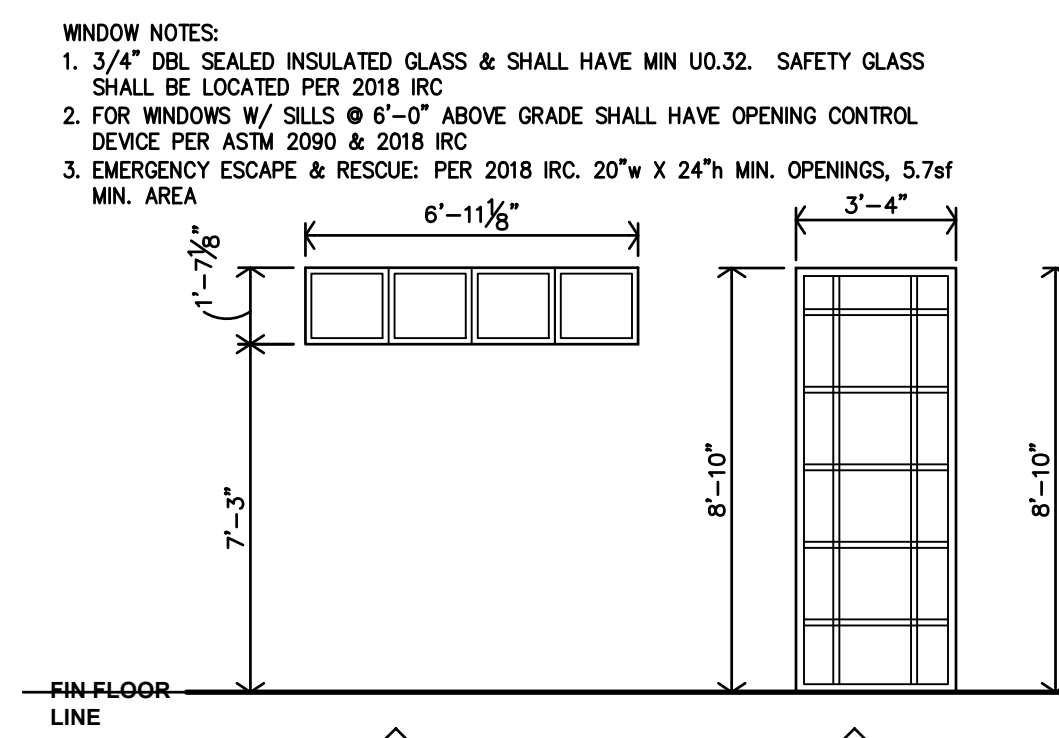
CITYSIDE FINISH SCHEDULE										
FINISHES & INSTRUCTIONS										
P LATEX ENAMEL			VP VINYL LVP TILE			CT CERAMIC TILE				
C CARPET			ST STAIN & SEAL			TX TEXTURE				
NO.	DESCRIPTION	FLOOR		BASE	N.W.L.	E.W.L.	S.W.L.	W.W.L.	CLG	REMARKS
		CARPET	VINYL PLANK	CERAMIC TILE	CONCRETE	5/8" FIRE RATED G.B.	5/8" FIRE RATED G.B.	5/8" FIRE RATED G.B.	5/8" FIRE RATED G.B.	
101	GARAGE									
102	CLOSET									
103	LOWER LIVING									
104	MECHANICAL									
105	BATHRM									
106	ENTRY									
107	UPPER LIVING									
108	KITCHEN									
109	DINING									
110	BATHRM									
111	CLOSET									
112	HALL									
113	LAUNDRY									
114	MASTER BR									
115	CLOSET									
116	BATHROOM									
117	BEDROOM									
118	CLOSET									
119	BATHRM									
120	BEDROOM									
121	CLOSET									
122	LOFT									

- GENERAL NOTES:**
- INSTALL VINYL, RUBBER, OR ALUMINUM TRANSITION STRIP BETWEEN FLOOR MATERIAL OF DIFFERING HEIGHTS, INCLUDING BUT NOT LIMITED TO CONCRETE/VCT TRANSITIONS.
  - ALL GYPSUM BOARD AREAS WHICH ARE ACCESSORIES TO THE ROOM INCLUDING BUT NOT LIMITED TO SOFFITS, BULKHEADS, TRIM, ETC. SHALL BE PAINTED REGARDLESS OF WHETHER IT IS SPECIFICALLY INDICATED PER SCHEDULE.
  - WALL TYPE SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL COORDINATE NEW MATERIAL W/ DRAWINGS AND FIELD CONDITIONS. ALL AREAS INDICATED TO RECEIVE WALL FINISH SHALL RECEIVE COMPLETE FINISH AS SCHEDULED AT ENTIRE ROOM.
  - CONTRACTOR SHALL COORDINATE FINISHES AND ACCENTS WITH DETAILS AND INTERIOR ELEVATIONS.
  - FLOORING CONTRACTOR SHALL VERIFY THAT SUBFLOOR IS LEVEL AND PROPERLY PREPPED PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS.
  - CONTRACTOR SHALL VERIFY THAT FLOORS ARE PREPPED/"FLOORSTONED" FOR LEVEL TRANSITION BETWEEN DIFFERING MATERIALS.
  - ALL H.M. DOORS & FRAMES TO BE PAINTED W/ INDUSTRIAL ENAMEL UNLESS NOTED OTHERWISE. H.M. DOORS AND FRAMES SHALL BE SANDED SMOOTH PRIOR TO PAINTING. SPRAY FINISH ONLY. NO BRUSH FINISH.
  - CONTRACTOR SHALL COORDINATE WITH INTERIOR ELEVATIONS, FLOOR PLANS AND MISCELLANEOUS DETAILS TO VERIFY ALL AESTHETIC ACCENTS AND DETAILS.
  - REFERENCE INTERIOR ELEVATIONS, WALL SECTIONS & DETAILS FOR WOOD BASE & TRIM LOCATIONS.
  - LEVEL 4 FINISH WITH ORANGE PEEL TEXTURE ON ALL WALLS AND CEILINGS.

- ARCHITECTURAL GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
  - INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
  - ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
  - ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MINIMUM CLEARANCE REQ.
  - IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
  - DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA.
  - FEC - INDICATES LOCATION OF RECESSED FIRE EXTINGUISHER CABINET. REF SPECS. AND DETAILS.
  - MHO - INDICATES DOOR WITH MAGNETIC HOLD OPEN.
  - F.O.S. - DIMENSIONS TO THE EXTERIOR WALLS ARE TO THE FACE OF STUD U.N.O.
  - FURNITURE SHOWN IS BY OWNER.
  - REFERENCE SHEET A2.0 FOR PARTITION SCHEDULES AND ASSEMBLIES

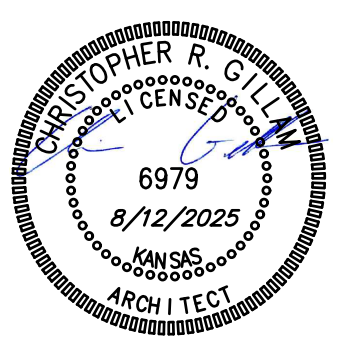
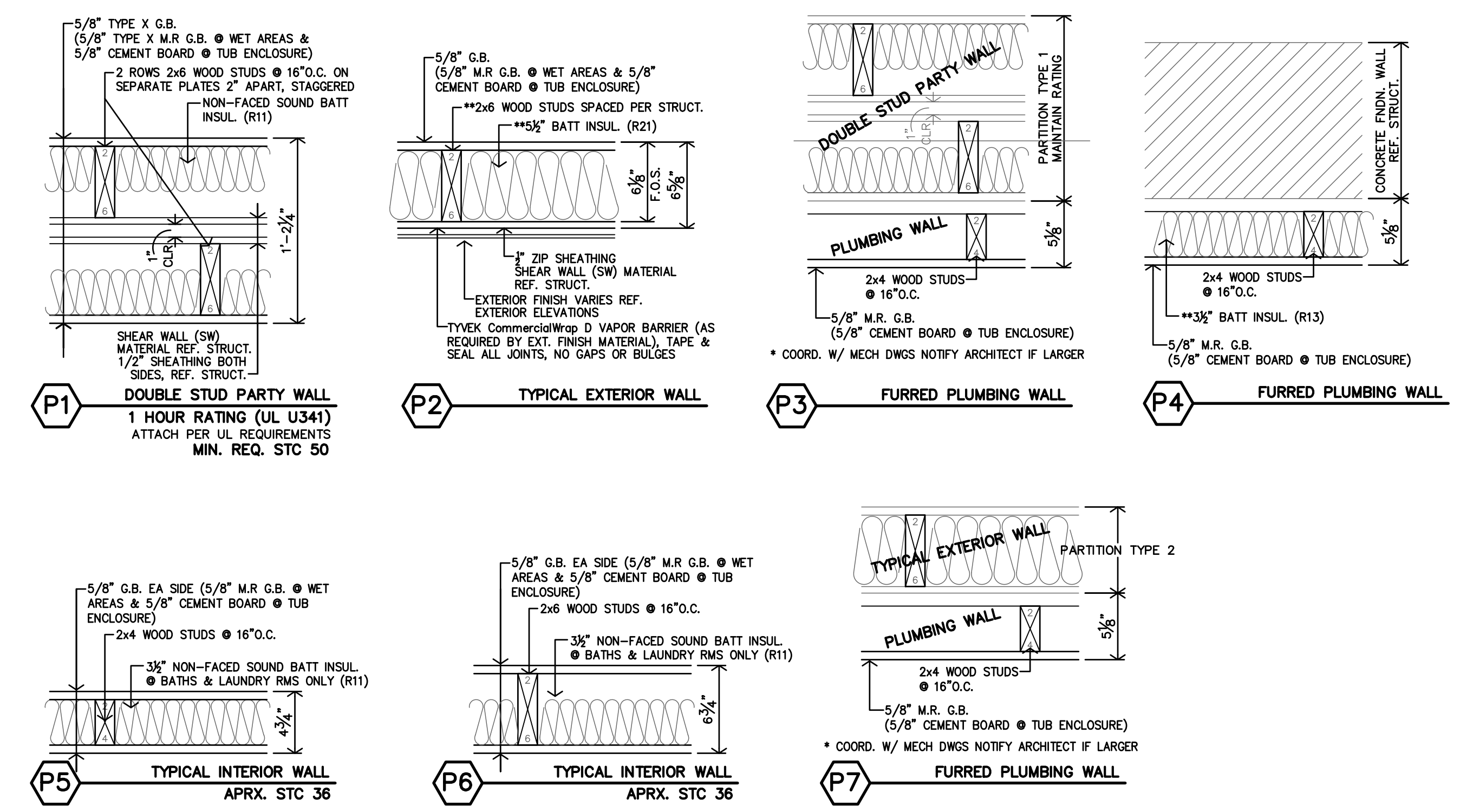
DOOR SCHEDULE CITYSIDE										
MARK	DOOR			FRAME			REMARKS			
	SIZE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH				
101	3' 0"	7' 0"	1 3/4"	MTL. CLAD INSULATED SOLID WOOD	MTL.					
102	3' 0"	7' 0"	1 3/4"							
103	3' 0"	7' 0"	1 3/4"							
104	3' 0"	7' 0"	1 3/4"							
105-2E	3' 0"	7' 0"	1 3/4"							
105-3A	3' 0"	7' 0"	1 3/4"							
105-3E	3' 0"	7' 0"	1 3/4"							
106	2' 6"	7' 0"	1 3/4"							
107	2' 6"	7' 0"	1 3/4"							
108	2' 6"	7' 0"	1 3/4"							
109	2' 6"	7' 0"	1 3/4"							
110	2' 6"	7' 0"	1 3/4"							
111	2' 6"	7' 0"	1 3/4"							
112	2' 6"	7' 0"	1 3/4"							
113	2' 6"	7' 0"	1 3/4"							
114	2' 6"	7' 0"	1 3/4"							
115	4' 0"	7' 0"	1 3/4"							
116	2' 6"	7' 0"	1 3/4"							
117	4' 0"	7' 0"	1 3/4"							
118	2' 6"	7' 0"	1 3/4"							
119	6' 11-1/8"	6' 4"	1 3/4"							
120	2' 8"	7' 0"	1 3/4"							
121	2' 8"	7' 0"	1 3/4"							
OH1	8' 7"	7' 0"	1 3/4"							
OH2	8' 7"	7' 0"	1 3/4"							
OH3	17' 0"	7' 0"	1 3/4"							
OH4	8' 7"	7' 0"	1 3/4"							
OH5	8' 7"	7' 0"	1 3/4"							

- GENERAL NOTES:**
- FLUSH BOLTS AND SURFACE BOLTS PROHIBITED
  - KEYED LOCKSETS
  - SELF CLOSING HINGES AND PRIVACY LOCKSETS
  - ALL GLAZING IN DOORS TO BE SAFETY GLAZED
  - PROVIDE CLOSERS
  - PROVIDE ELECTRONIC KEYPAD DOOR HARDWARE AS INDICATED
  - ALL DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS UNLESS NOTED OTHERWISE PROVIDED & INSTALLED PER SPECIFICATIONS SECTION 8710.
  - PANIC HARDWARE REQUIRED IN EGRESS DOORS
  - INSTALL SMOKE GASKET.



**WALL TYPE PARTITION SCHEDULE**

REF. SHEET CFP FOR ADDITIONAL CODE INFORMATION

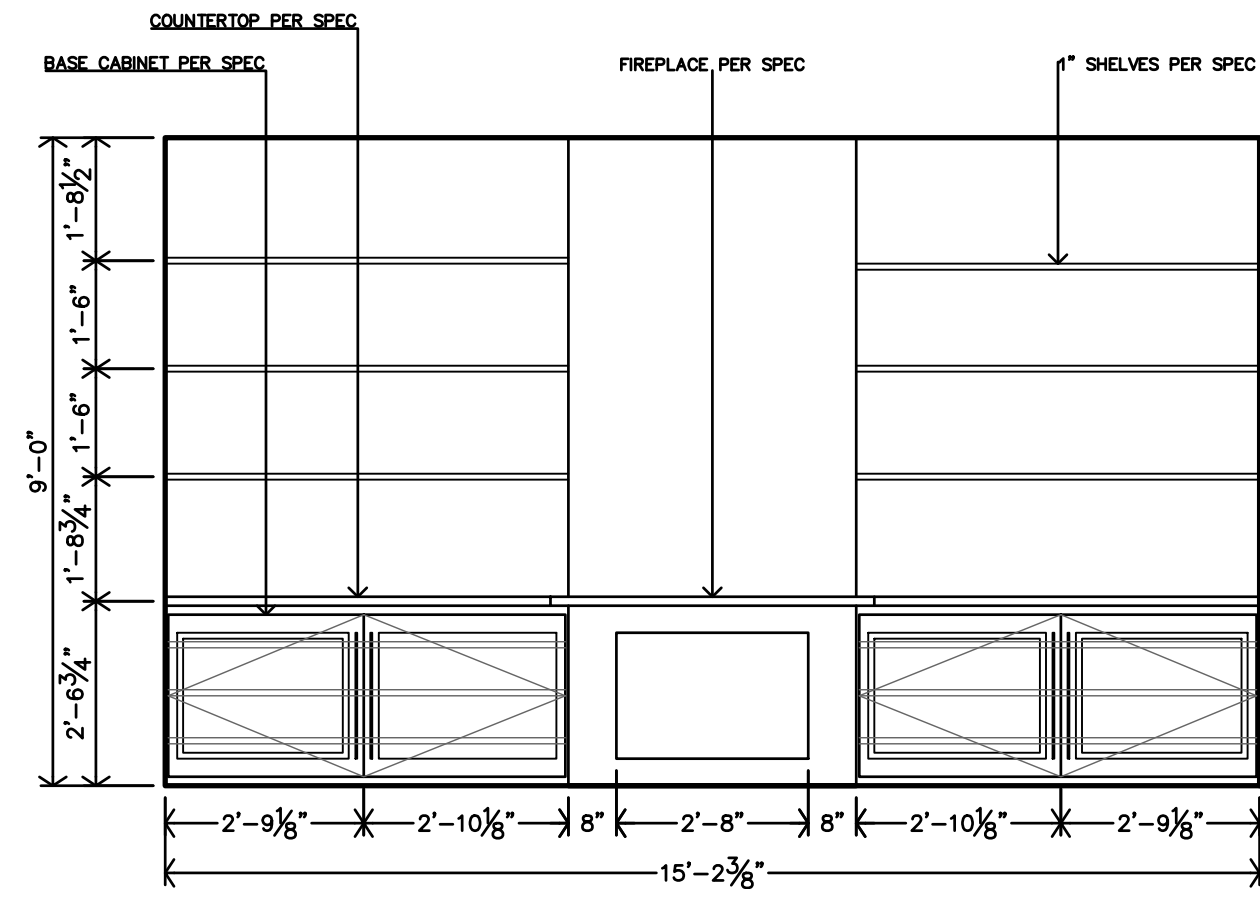


**CITYSIDE UNITS**

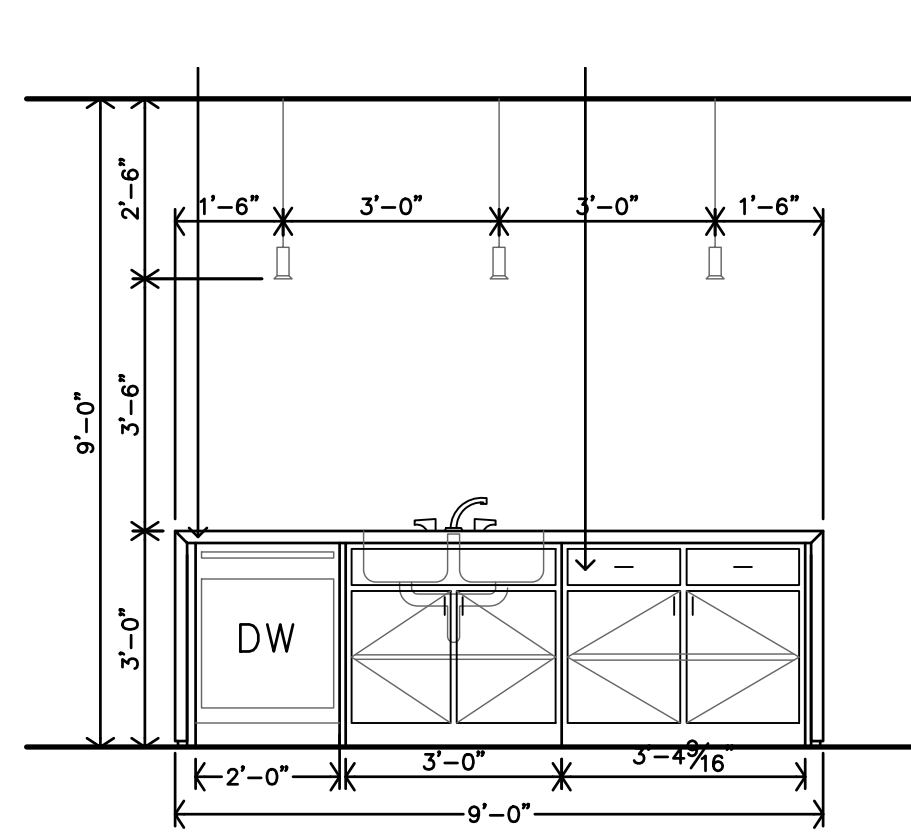
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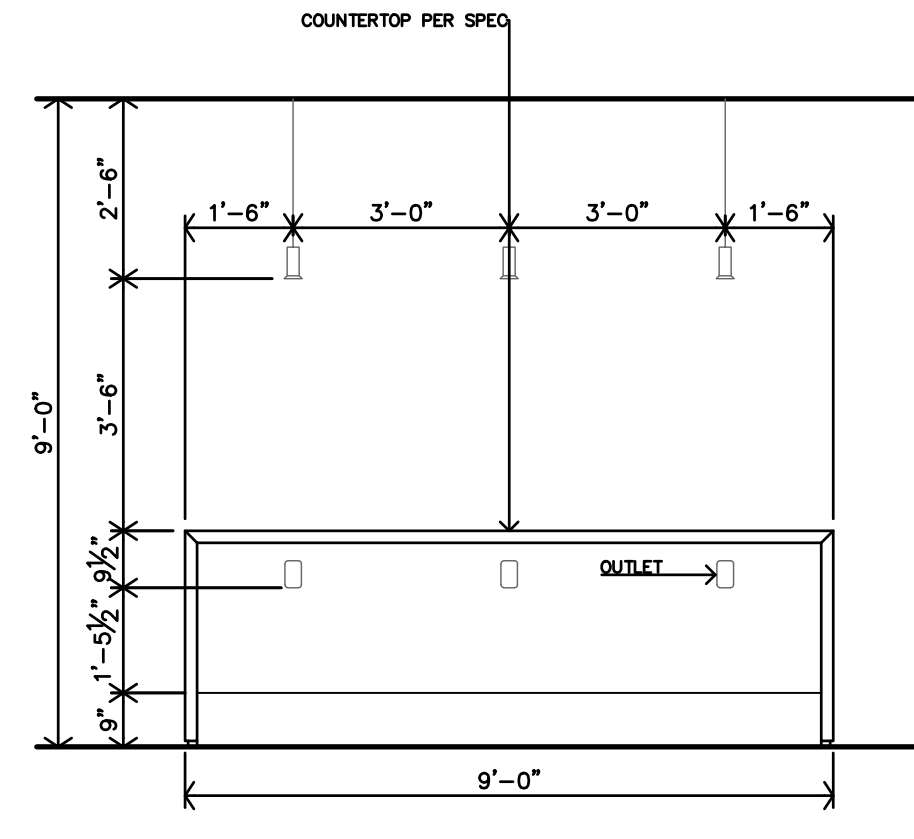




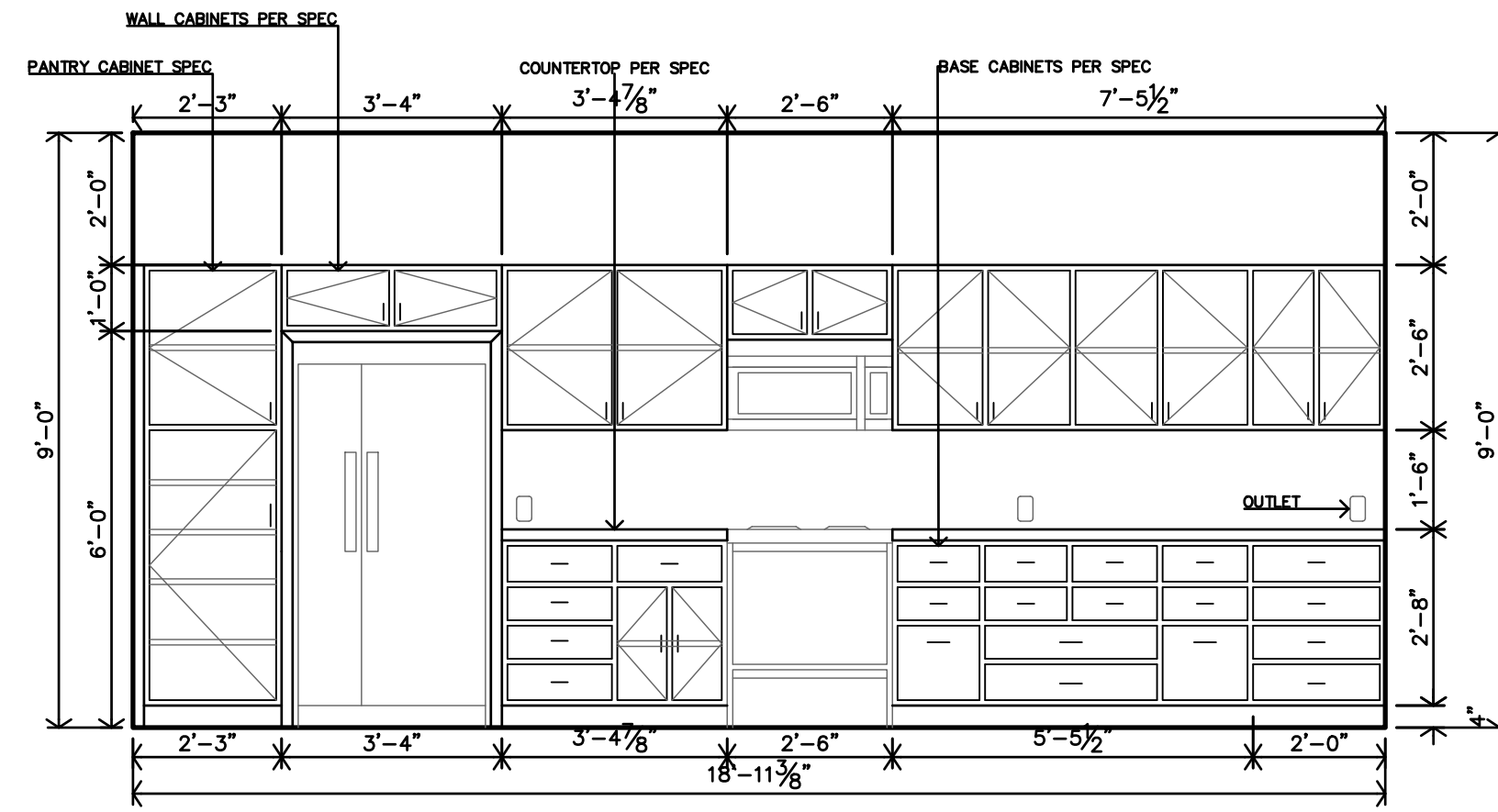
**D** TYPE C UNITS CASEWORK ELEVATION  
3/8"=1'-0"



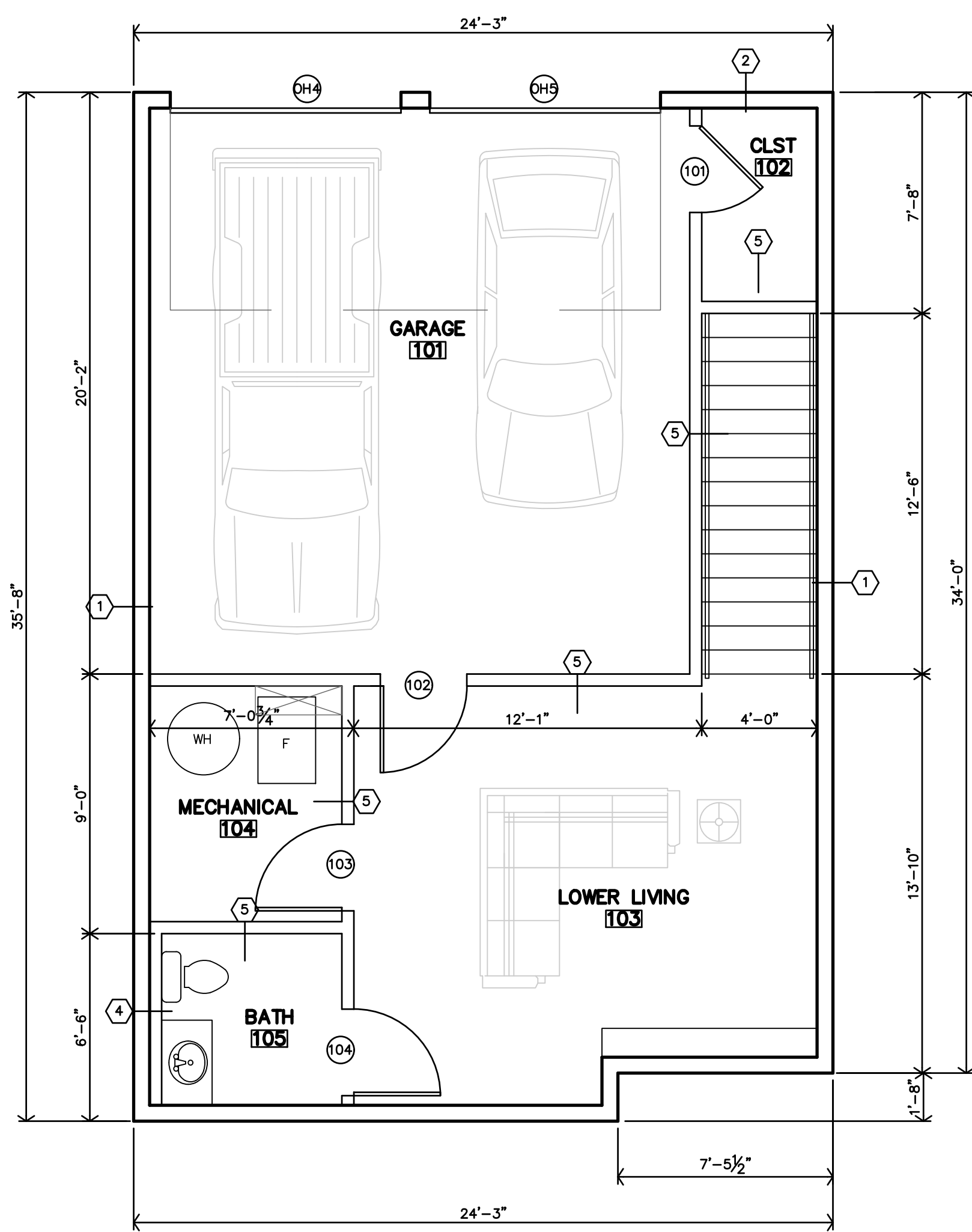
**E** TYPE C UNITS KITCHEN ISLAND ELEVATION  
3/8"=1'-0"



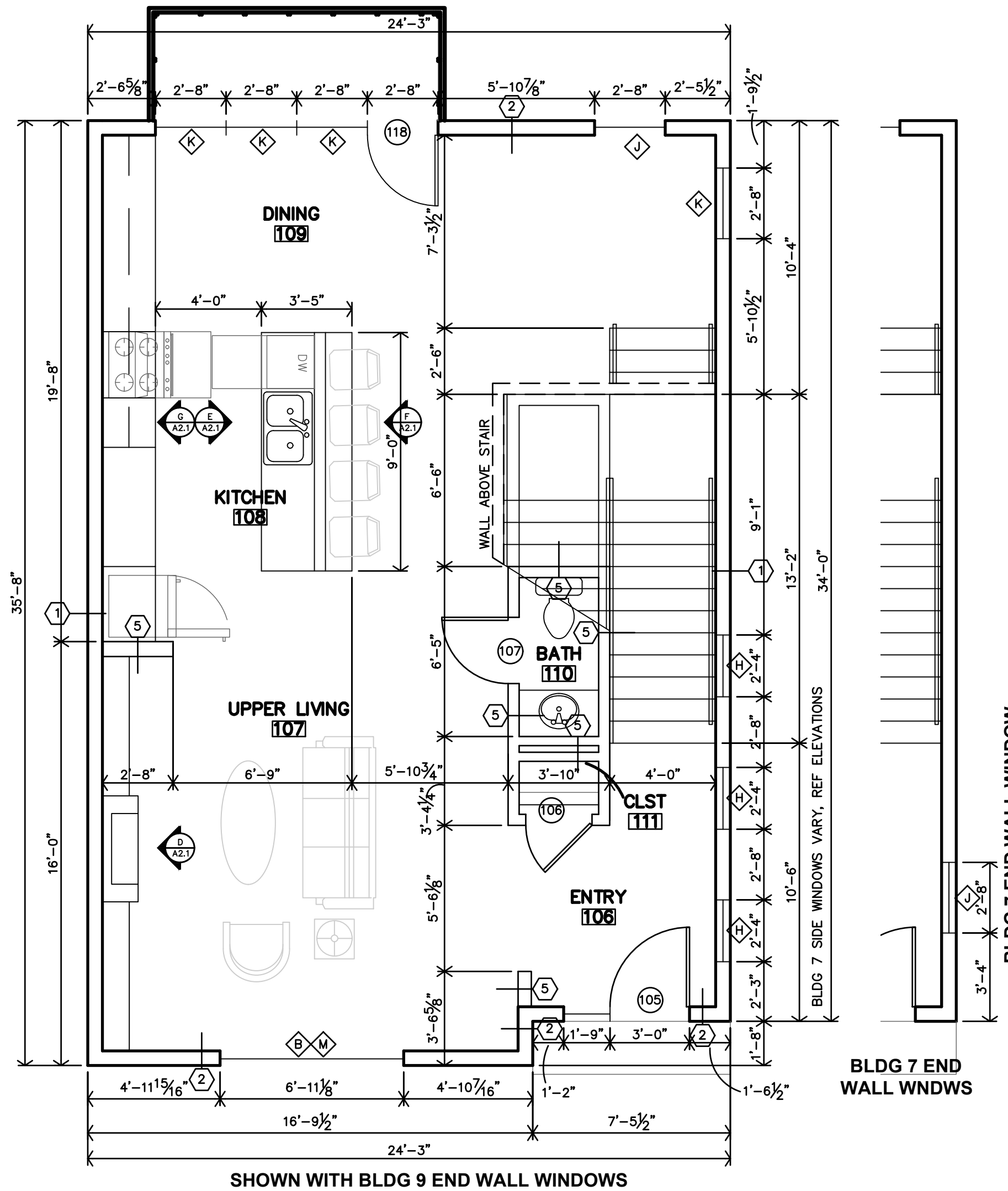
**F** TYPE C UNITS KITCHEN ISLAND ELEVATION  
3/8"=1'-0"



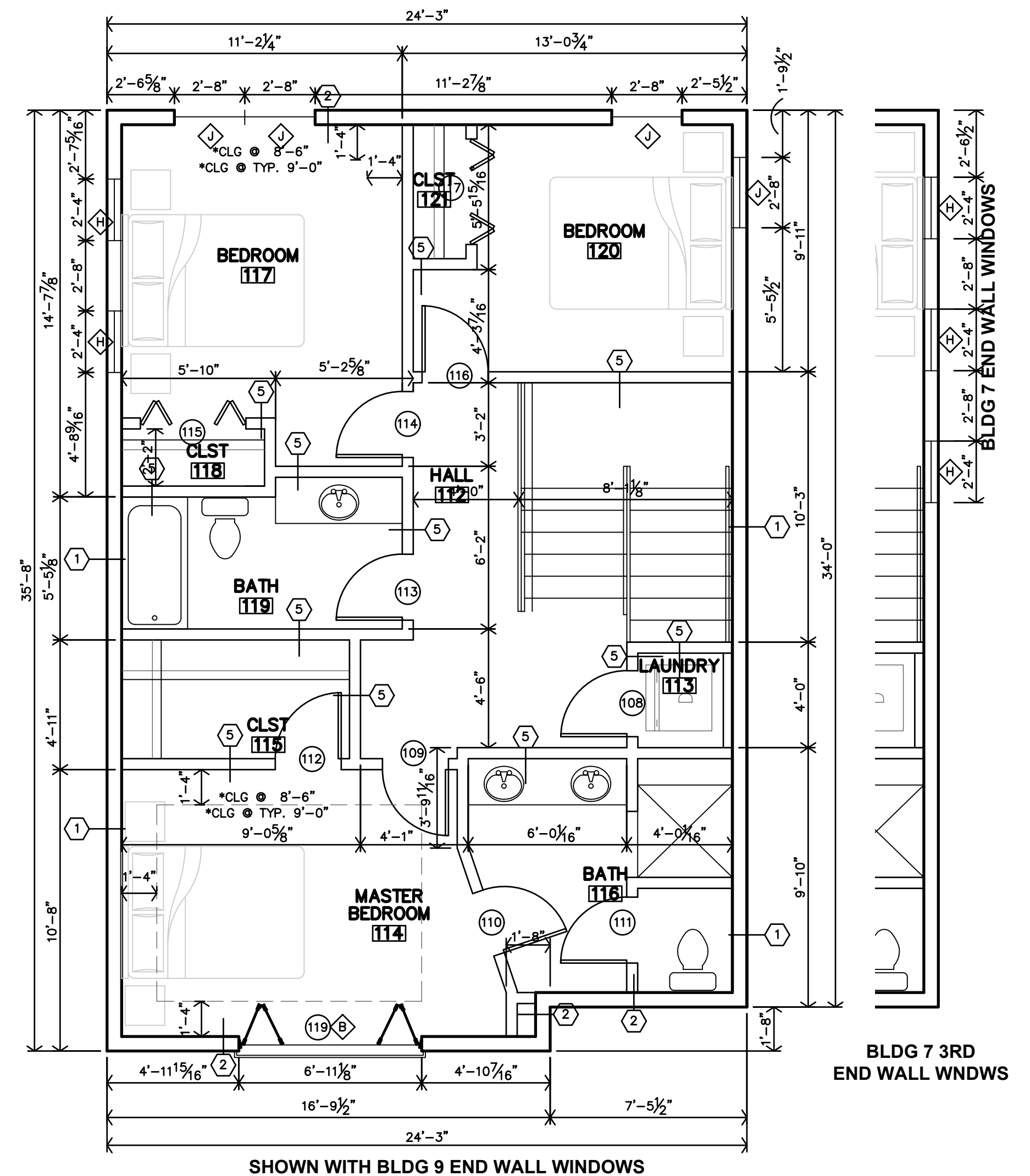
**G** TYPE C UNITS KITCHEN ELEVATION  
3/8"=1'-0"



**C** CITYSIDE-3B 3 BEDROOM FIRST FLOOR PLAN  
1/8"=1'-0" Garage-Mech.-Stor. 724sf/Circ. 90sf



**B** CITYSIDE-3B 3 BEDROOM SECOND FLOOR PLAN  
1/8"=1'-0" 814sf



**A** CITYSIDE-3B 3 BEDROOM THIRD FLOOR PLAN  
1/8"=1'-0" 814sf

CITYSIDE UNITS

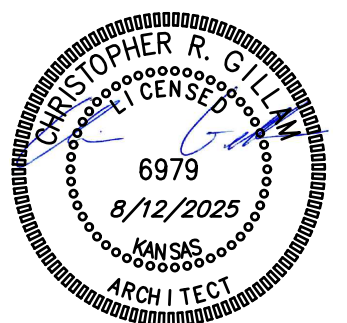
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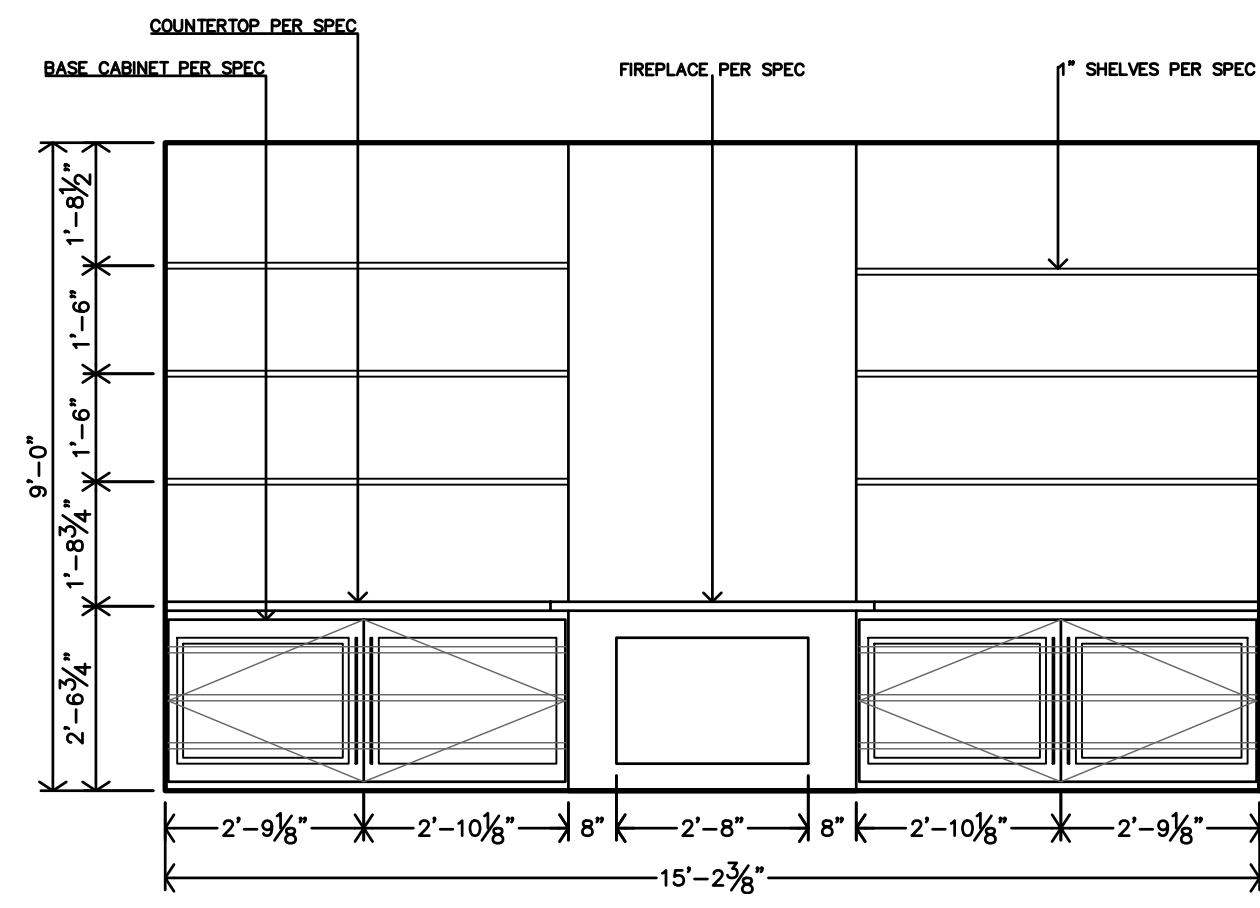
LENEXA CITY CENTER\_ NORTH VILLAGE TOWNHOMES  
NEW TOWNHOMES COMPLEX  
LENEXA,  
KANSAS

**JGR** JonesGillamRenz  
730 N. Ninth 1881 Main Street, Suite 301  
Salina, KS 67401 Kansas City, MO 64108  
785.827.0386 jgr@jgrarchitects.com

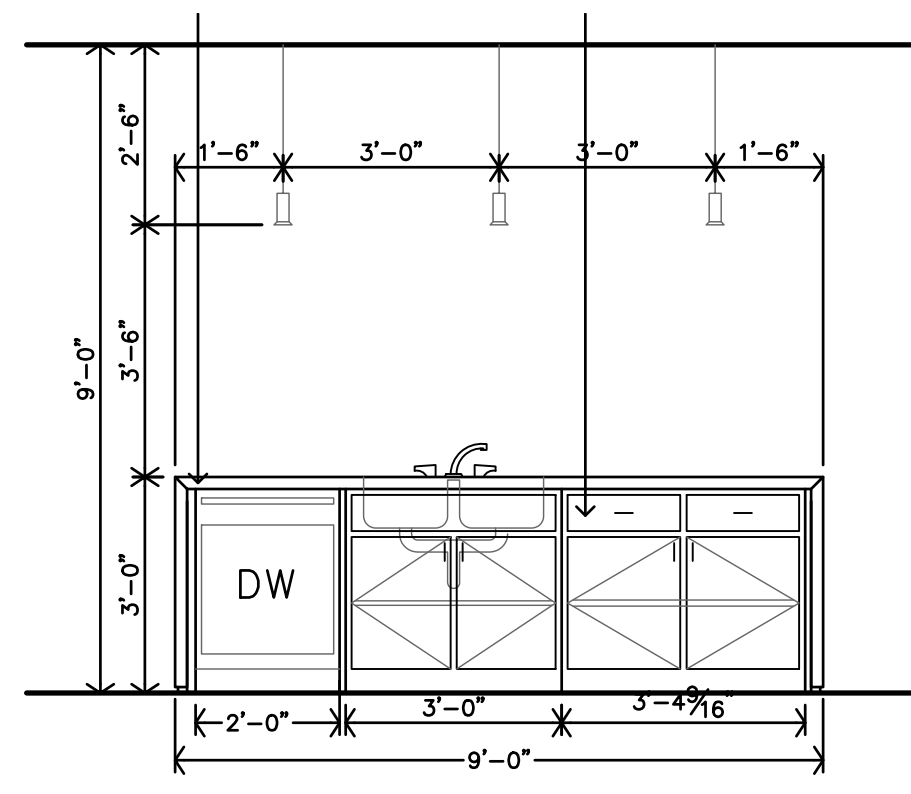


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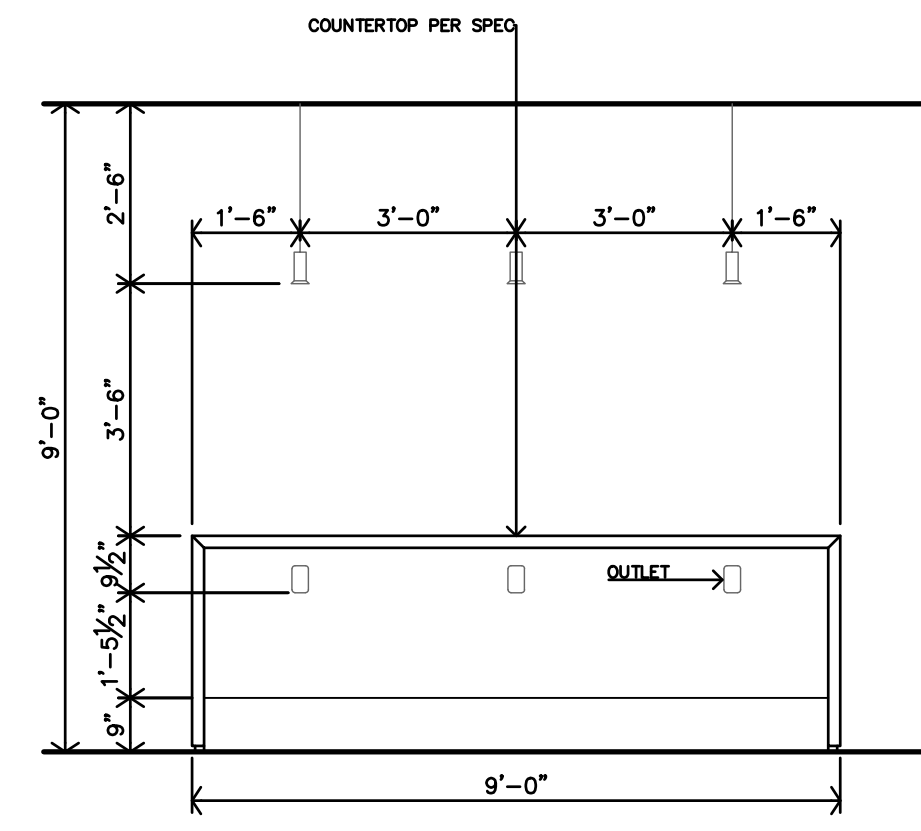




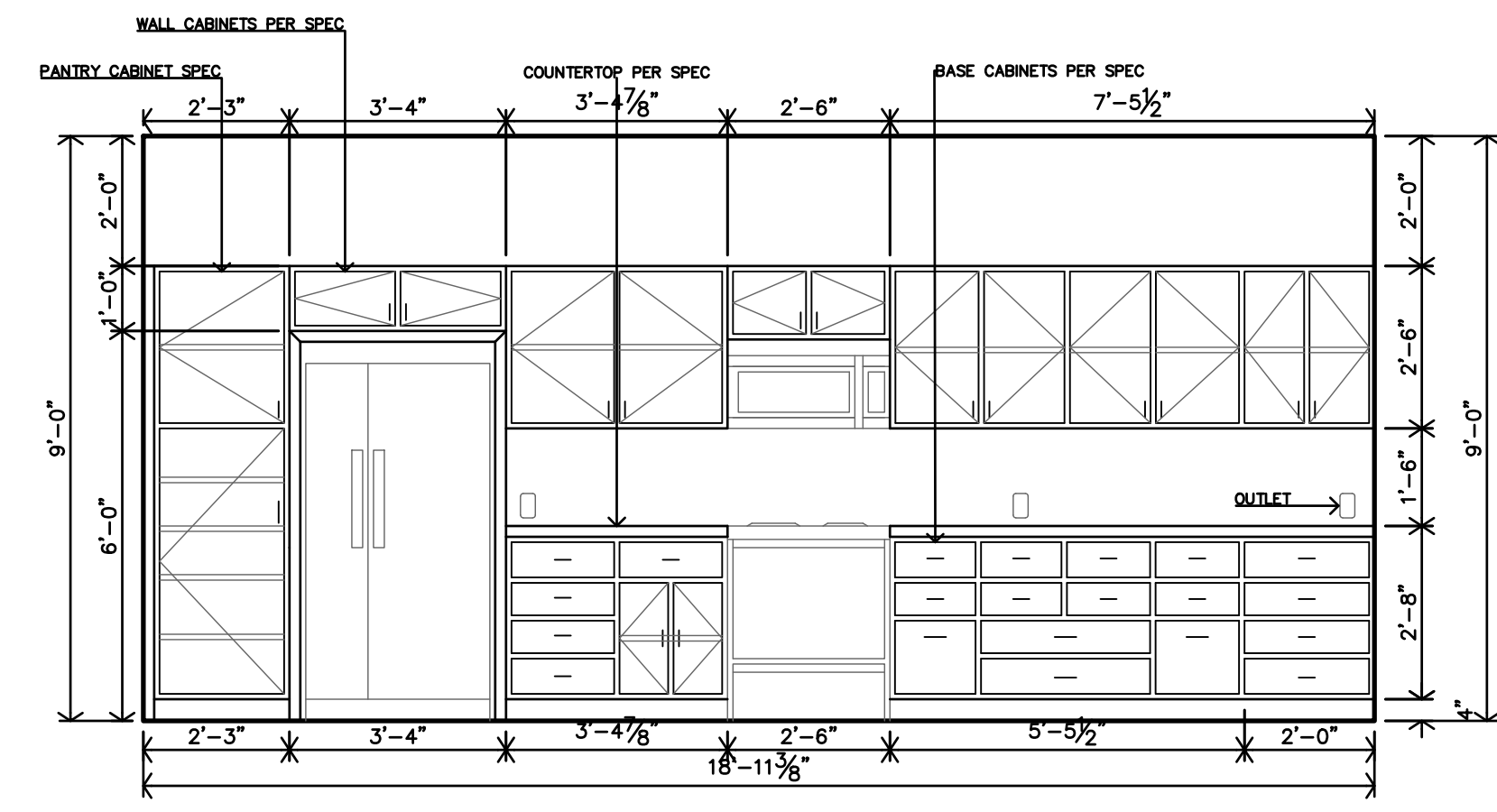
**D** TYPE C UNITS  
CASEWORK ELEVATION  
3/8"=1'-0"



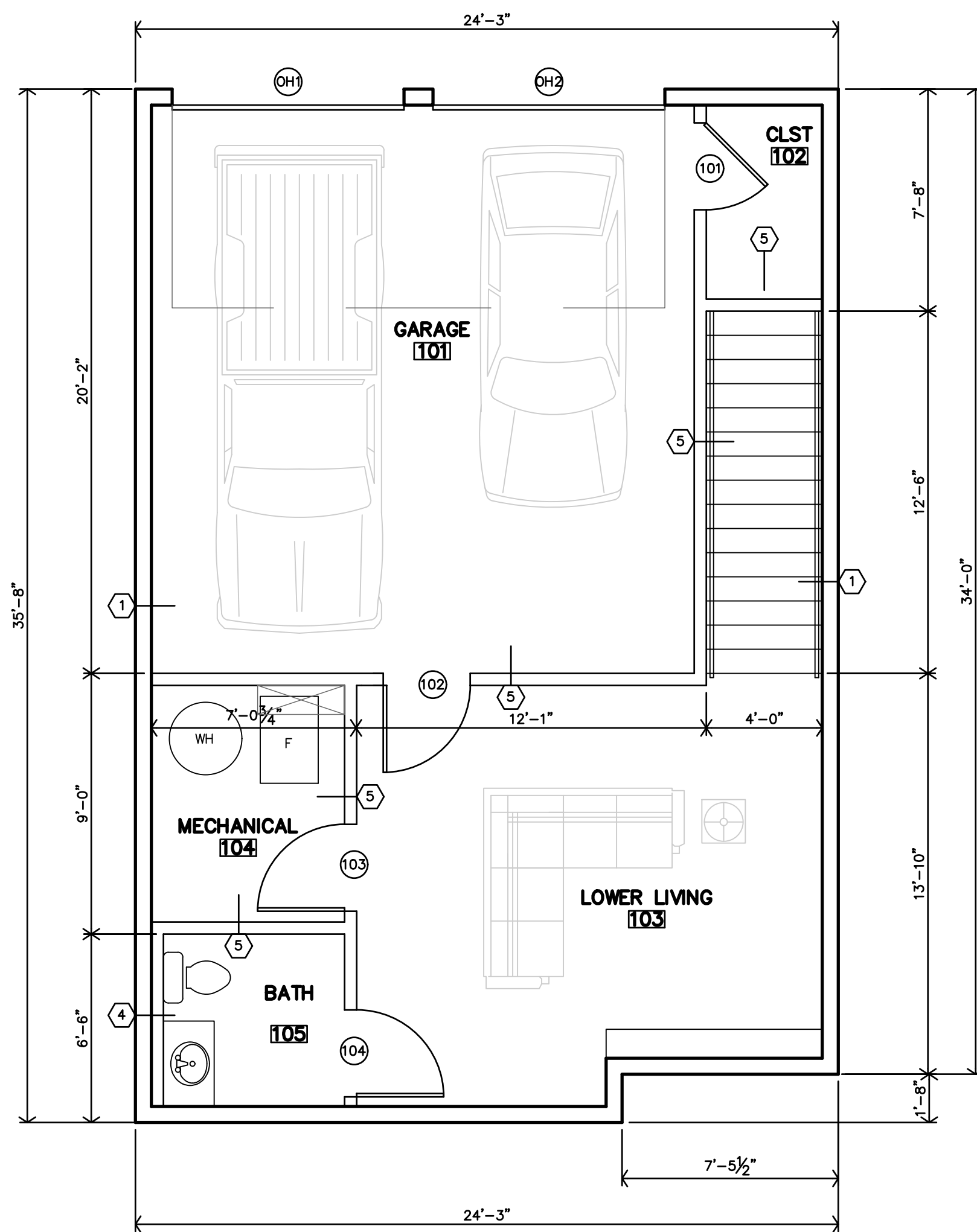
**E** TYPE C UNITS  
KITCHEN ISLAND ELEVATION  
3/8"=1'-0"



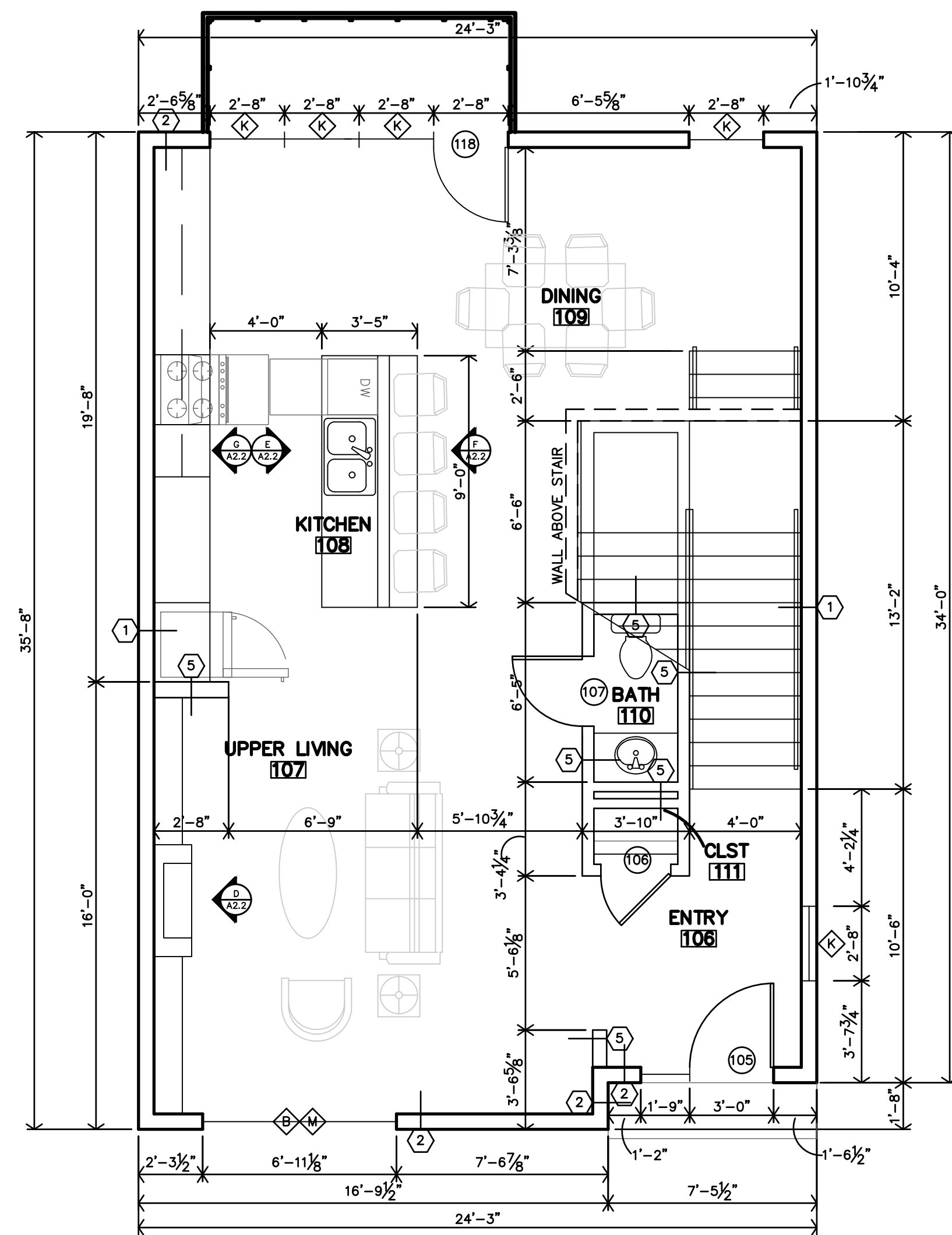
**F** TYPE C UNITS  
KITCHEN ISLAND ELEVATION  
3/8"=1'-0"



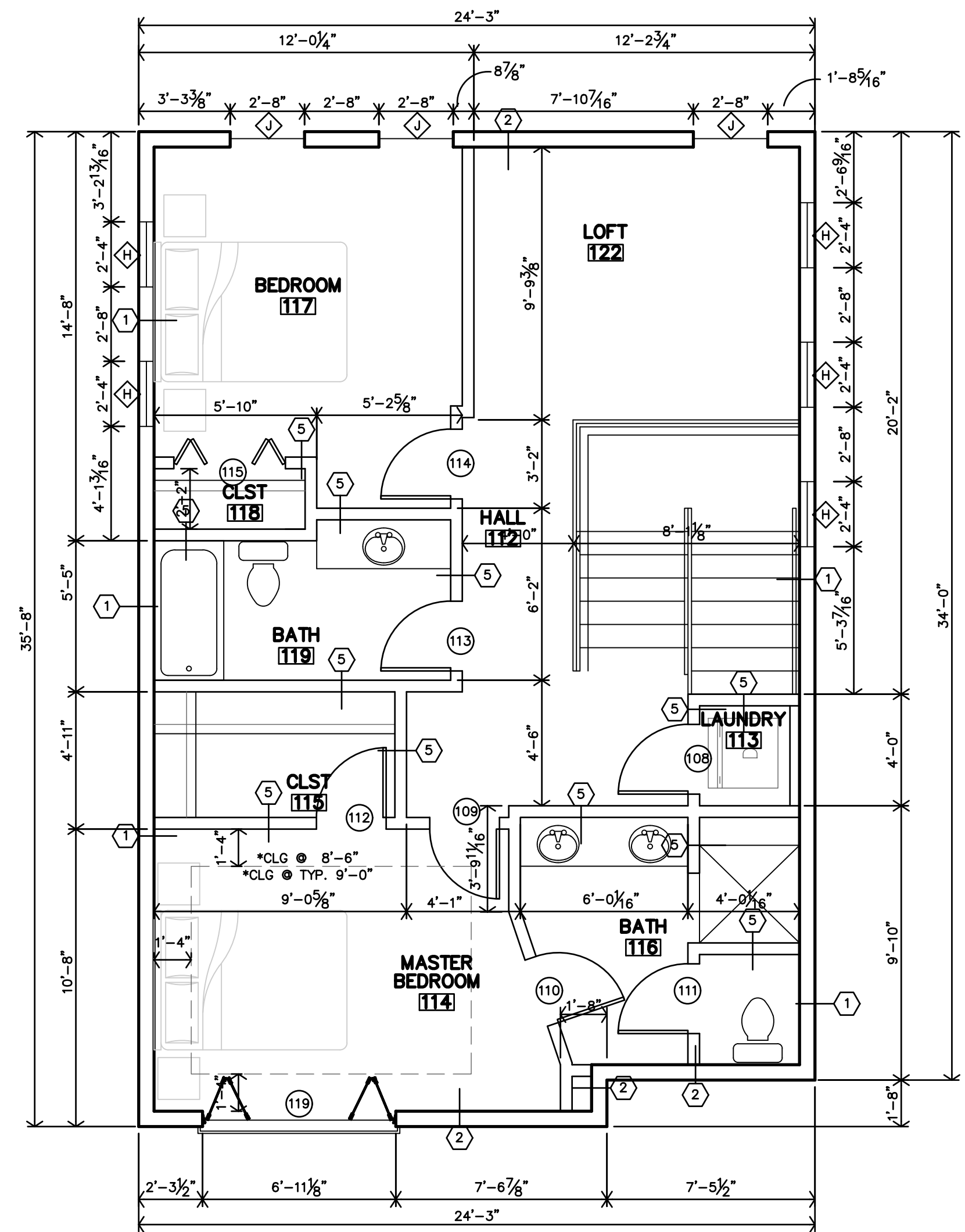
**G** TYPE C UNITS  
KITCHEN ELEVATION  
3/8"=1'-0"



**C** CITYSIDE-2B  
2 BEDROOM  
FIRST FLOOR PLAN  
1/8"=1'-0" Garage-Mech.-Stor. 724sf/Circ. 90sf



**B** CITYSIDE-2B  
2 BEDROOM  
SECOND FLOOR PLAN  
1/8"=1'-0" 814sf



**A** CITYSIDE-2B  
2 BEDROOM  
THIRD FLOOR PLAN  
1/8"=1'-0" 814sf

CITYSIDE UNITS

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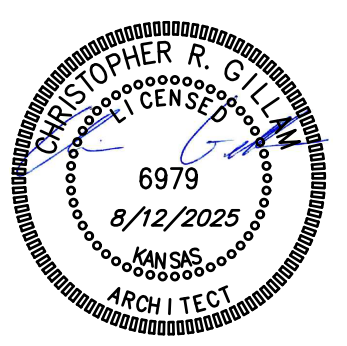
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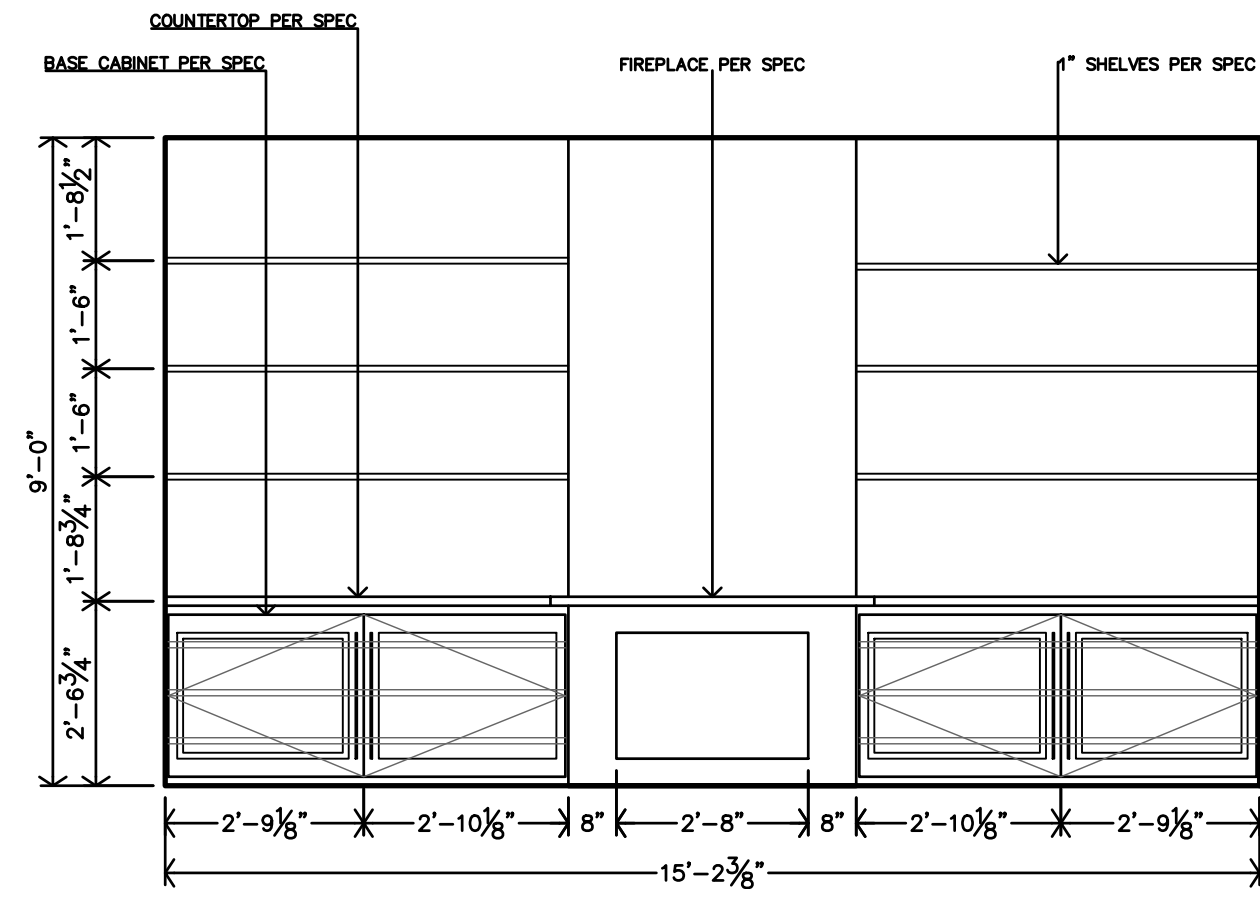
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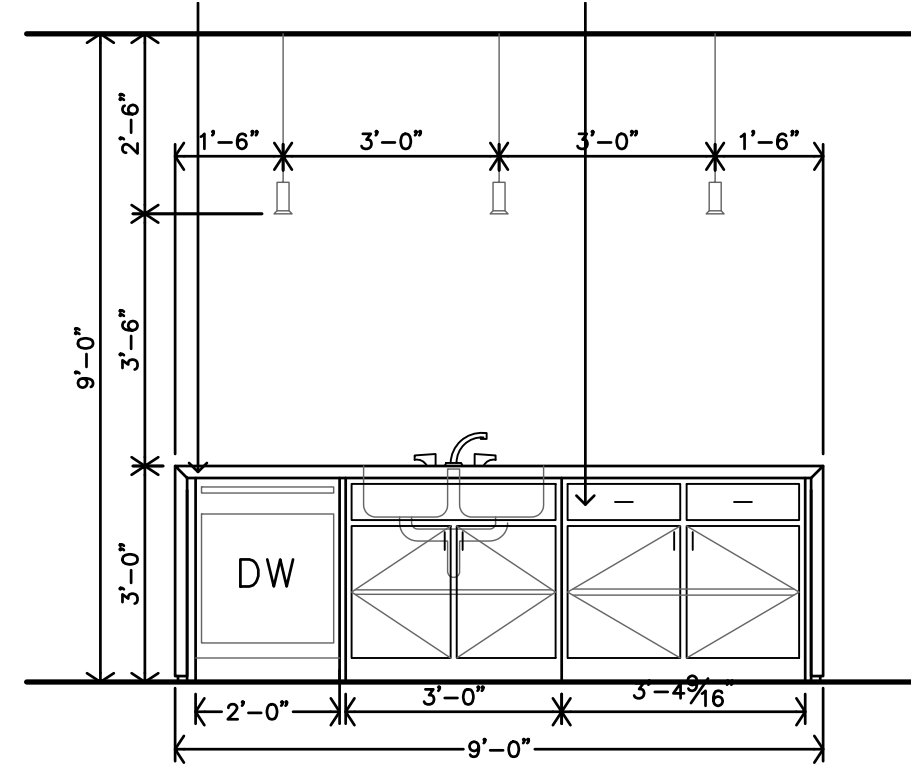
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785.827.0386 jgr@jgrarchitects.com



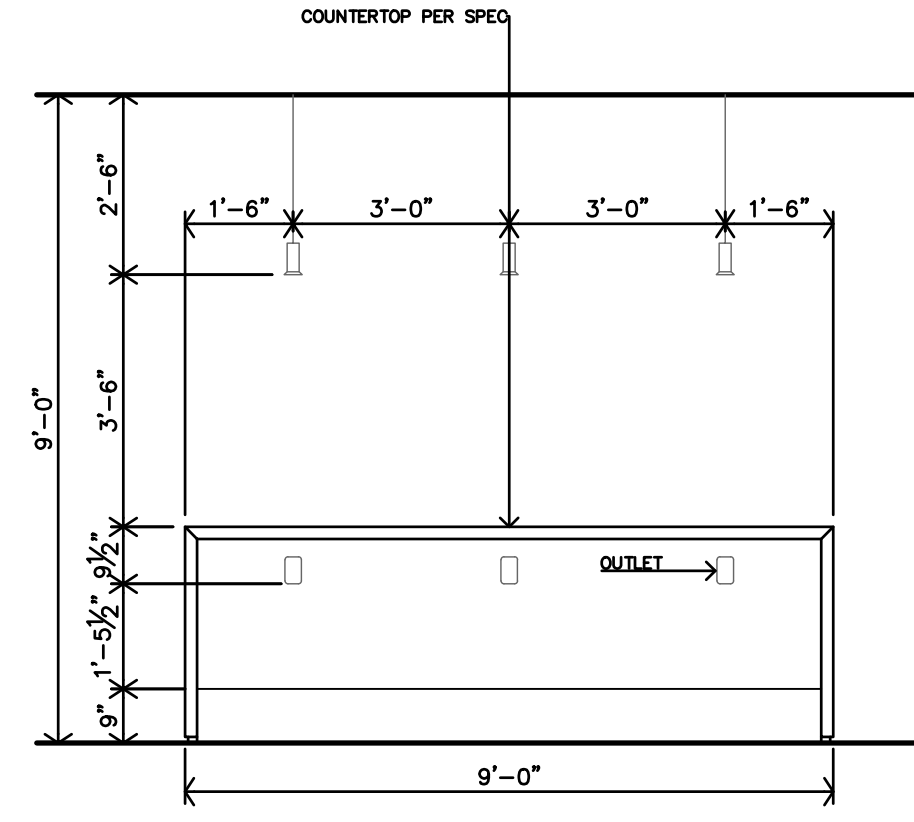




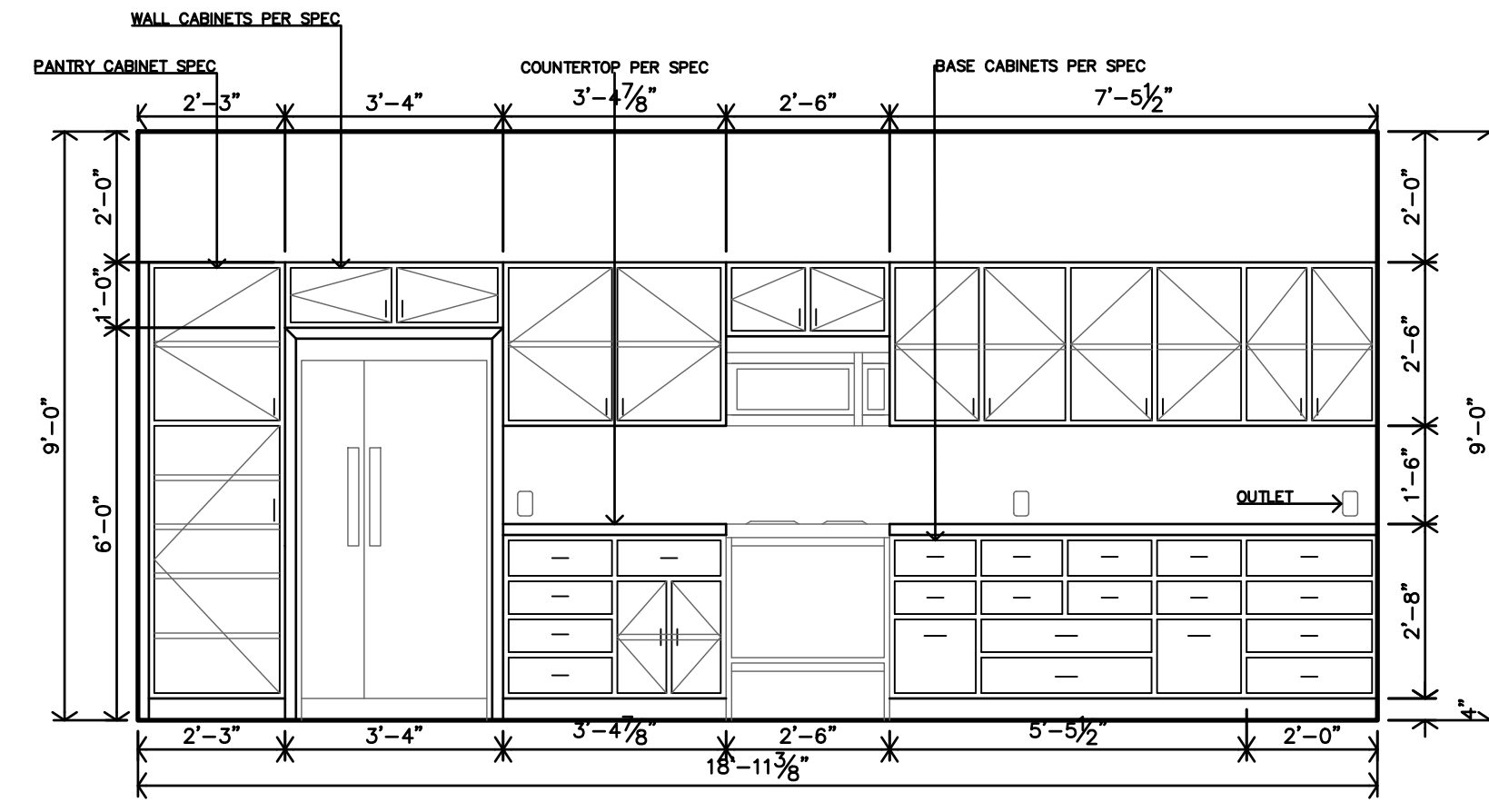
**D** TYPE C UNITS  
CASEWORK ELEVATION  
3/8"=1'-0"



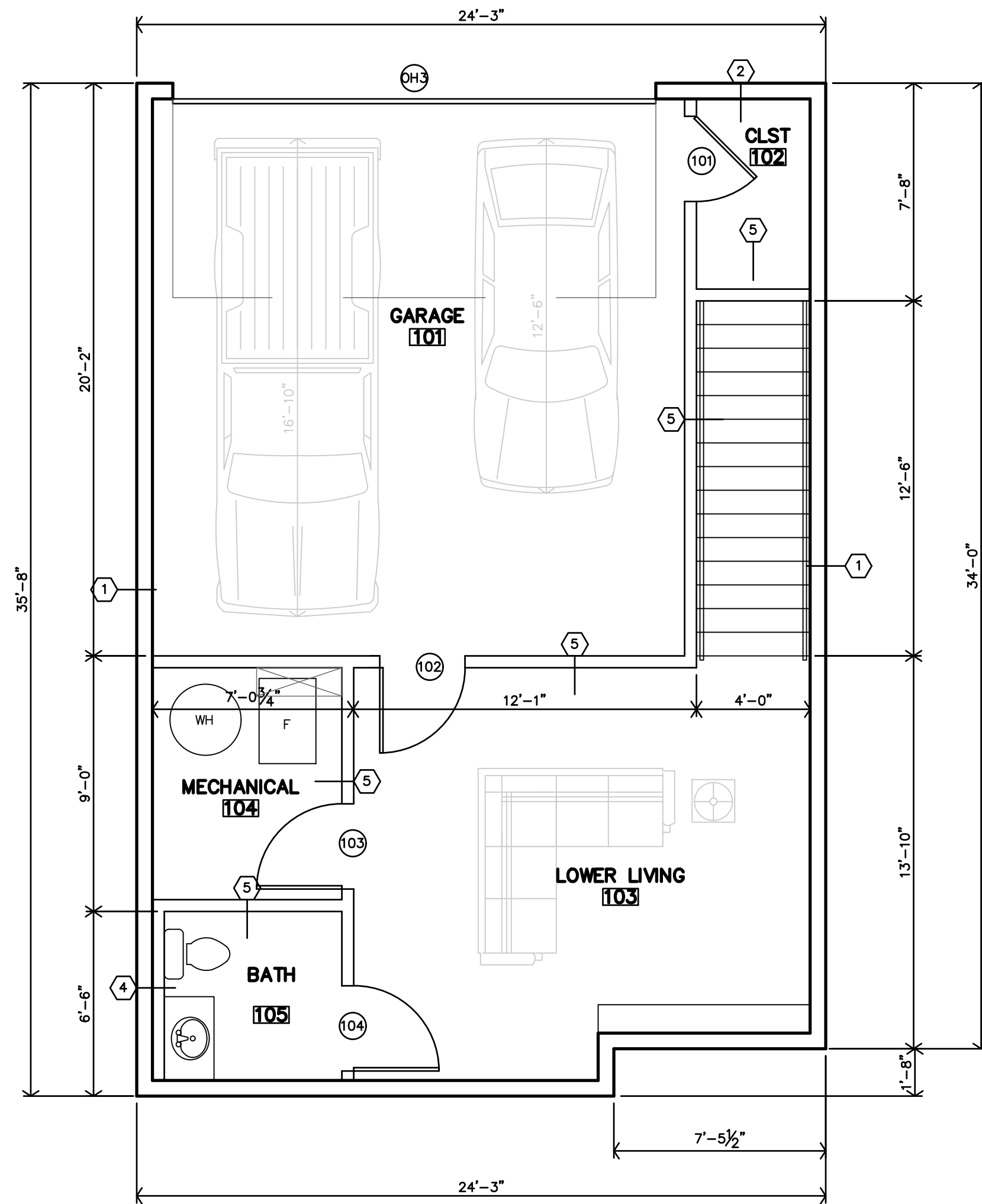
**E** TYPE C UNITS  
KITCHEN ISLAND ELEVATION  
3/8"=1'-0"



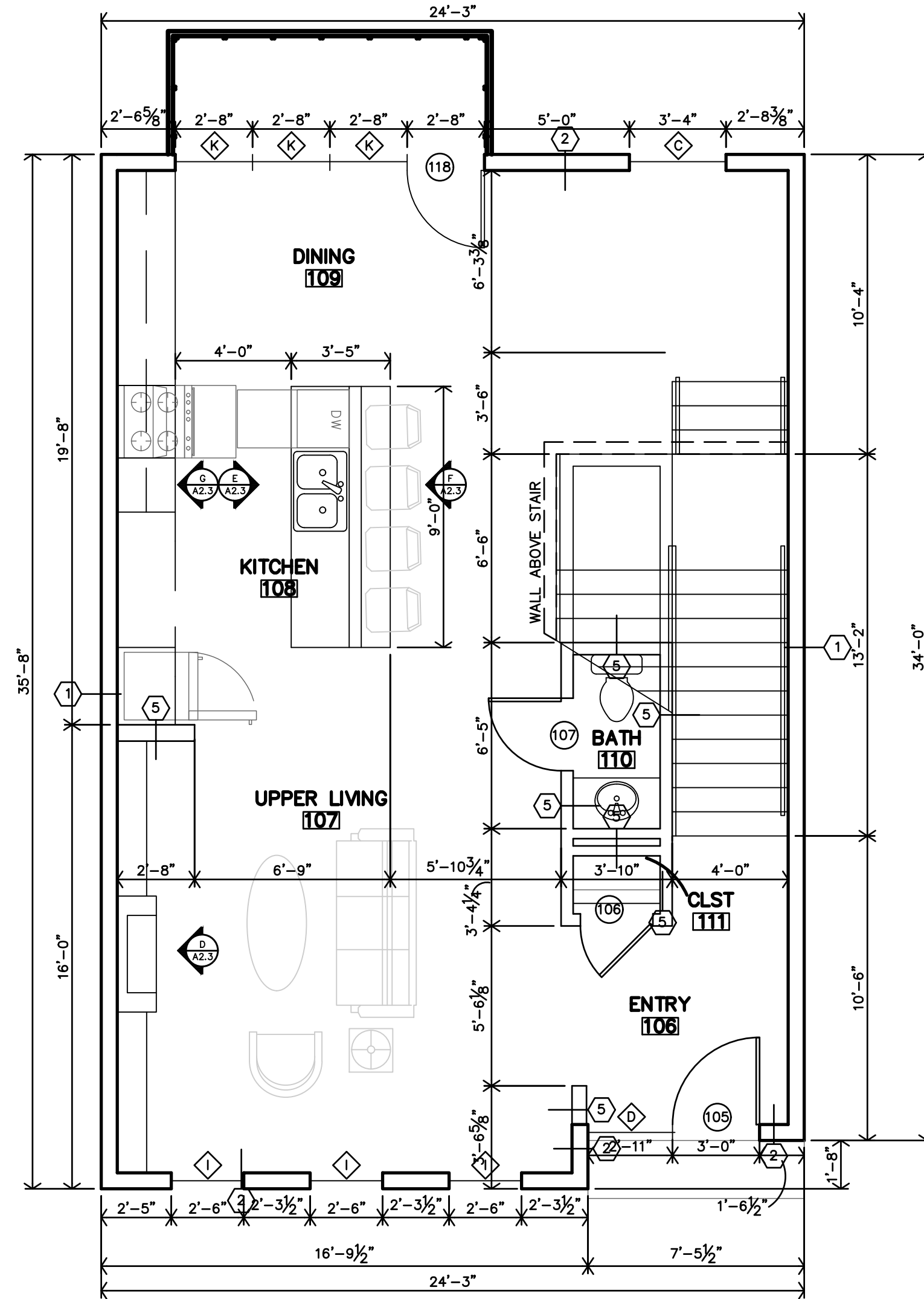
**F** TYPE C UNITS  
KITCHEN ISLAND ELEVATION  
3/8"=1'-0"



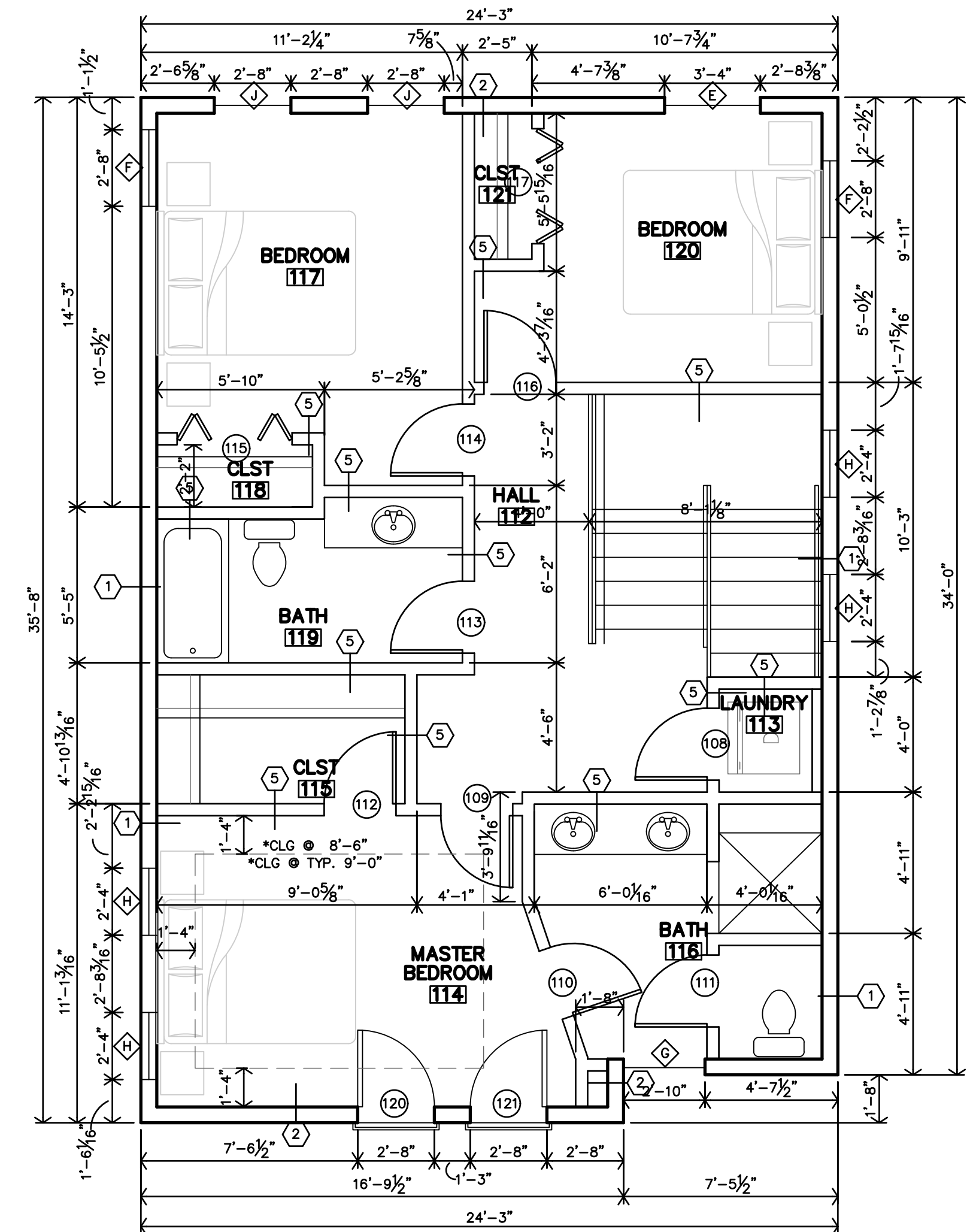
**G** TYPE C UNITS  
KITCHEN ELEVATION  
3/8"=1'-0"



**C** CITYSIDE-3A  
3 BEDROOM  
FIRST FLOOR PLAN  
1/8"=1'-0" Garage-Mech.-Stor. 724sf/Circ. 90sf

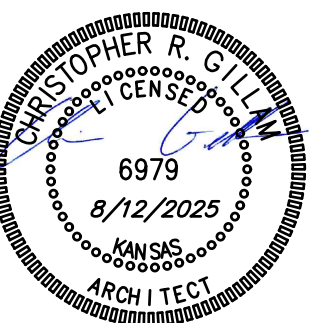


**B** CITYSIDE-3A  
3 BEDROOM  
SECOND FLOOR PLAN  
1/8"=1'-0" 814sf



**A** CITYSIDE-3A  
3 BEDROOM  
THIRD FLOOR PLAN  
1/8"=1'-0" 814sf

CITYSIDE UNITS



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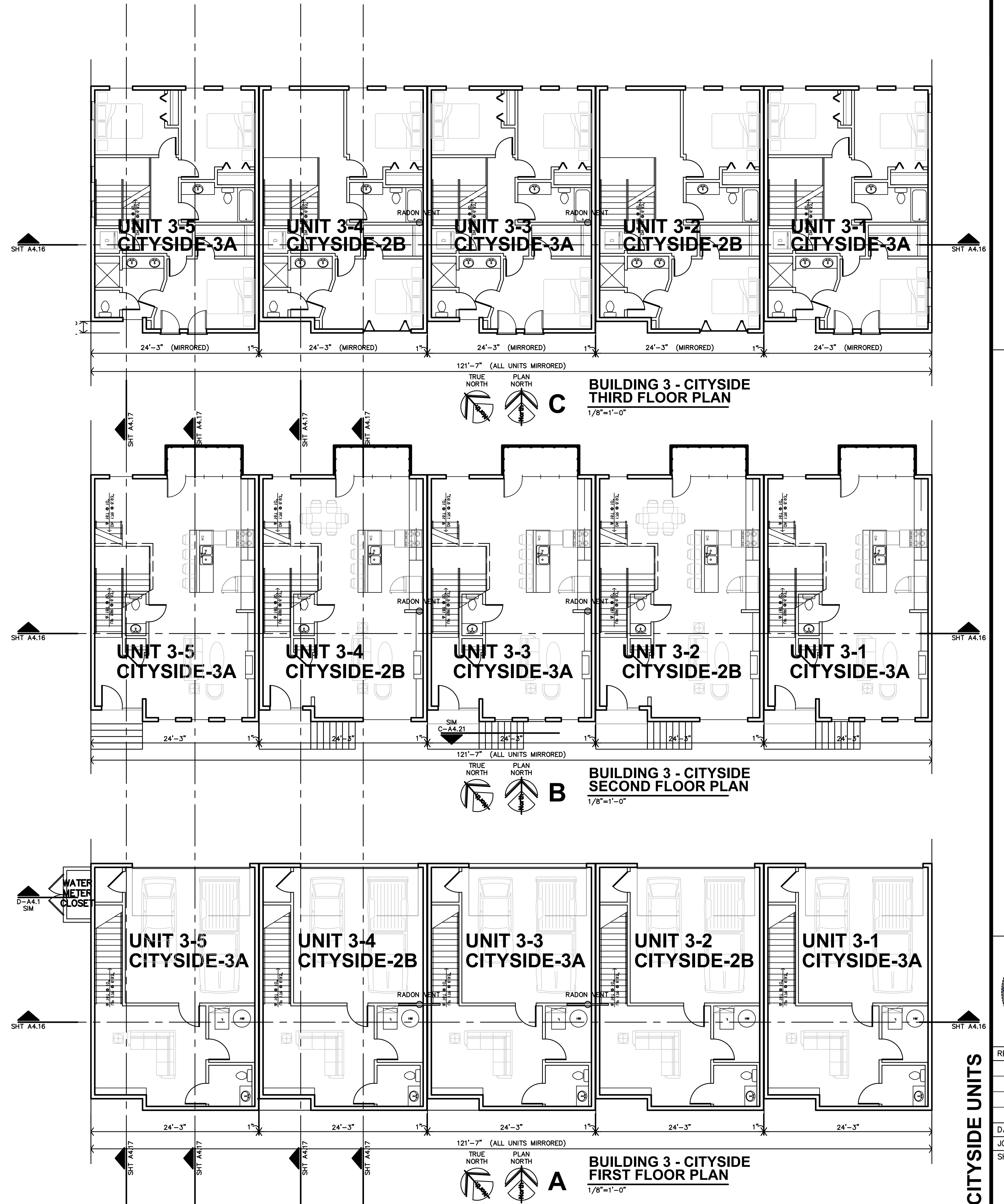
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785.827.0386 jgr@jgrarchitects.com



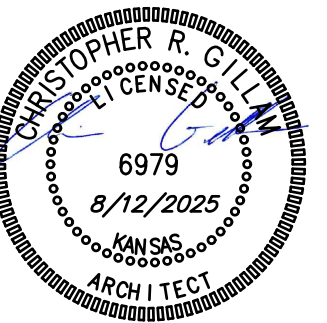
**PROJECT SUMMARY**

BUILDING LABEL	BUILDING TYPE	TOTAL NO. of HOMES
3	CITY-SIDE	5
4	PARK-SIDE	5
5	CITY-SIDE	5
6	PARK-SIDE	5
7	CITY-SIDE	7
8	PARK-SIDE	9
9	CITY-SIDE	3
10	PARK-SIDE	6
11	CITY-SIDE	7
12	PARK-SIDE	9
TOTAL		61

BUILDING TYPE	TOWNHOME TYPE	TOTAL NO.
CITY-SIDE	2-BEDROOM	8
	3-BEDROOM	19
PARK-SIDE	2-BEDROOM	6
	3-BEDROOM	28
TOTAL		61

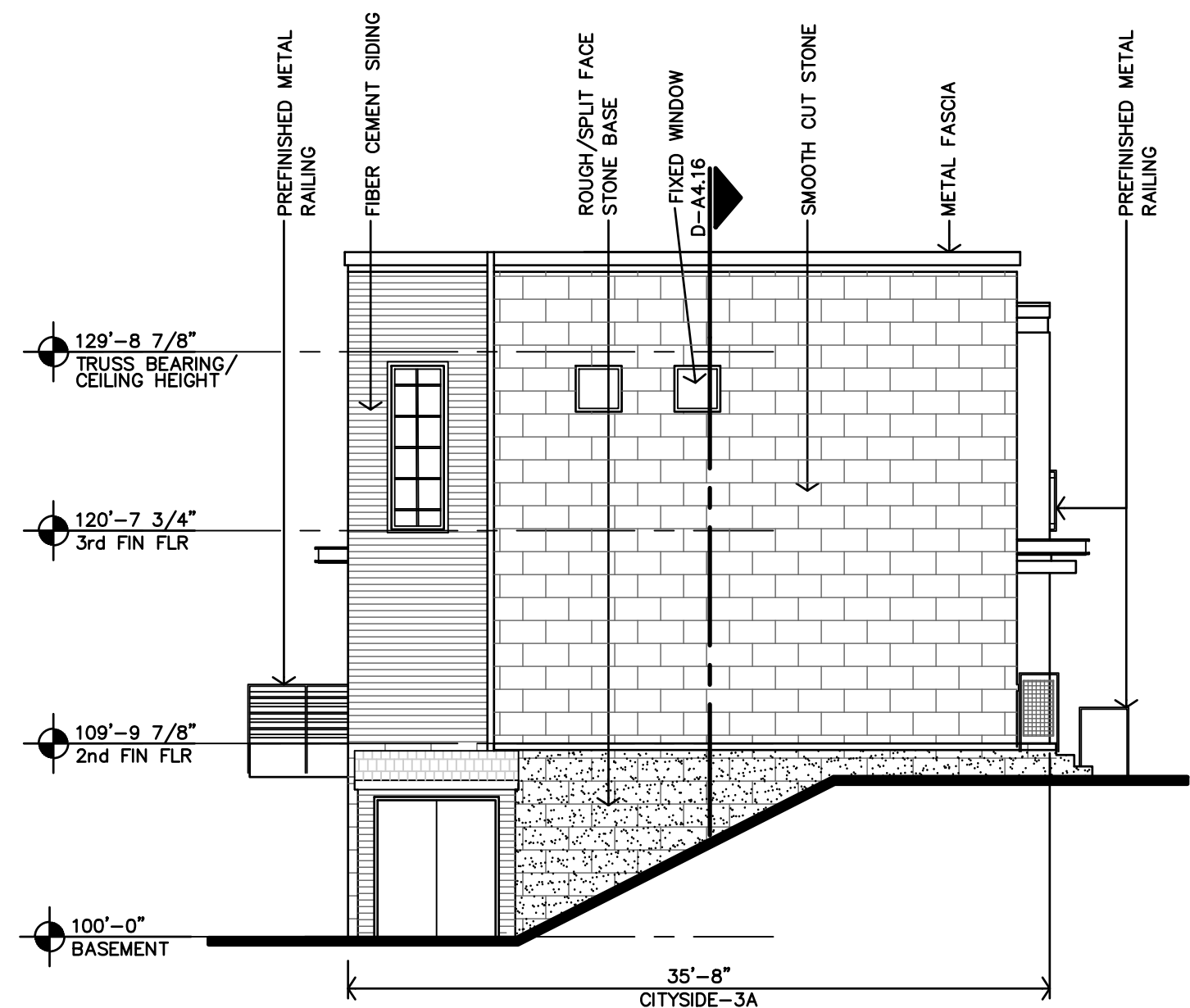


CITYSIDE UNITS

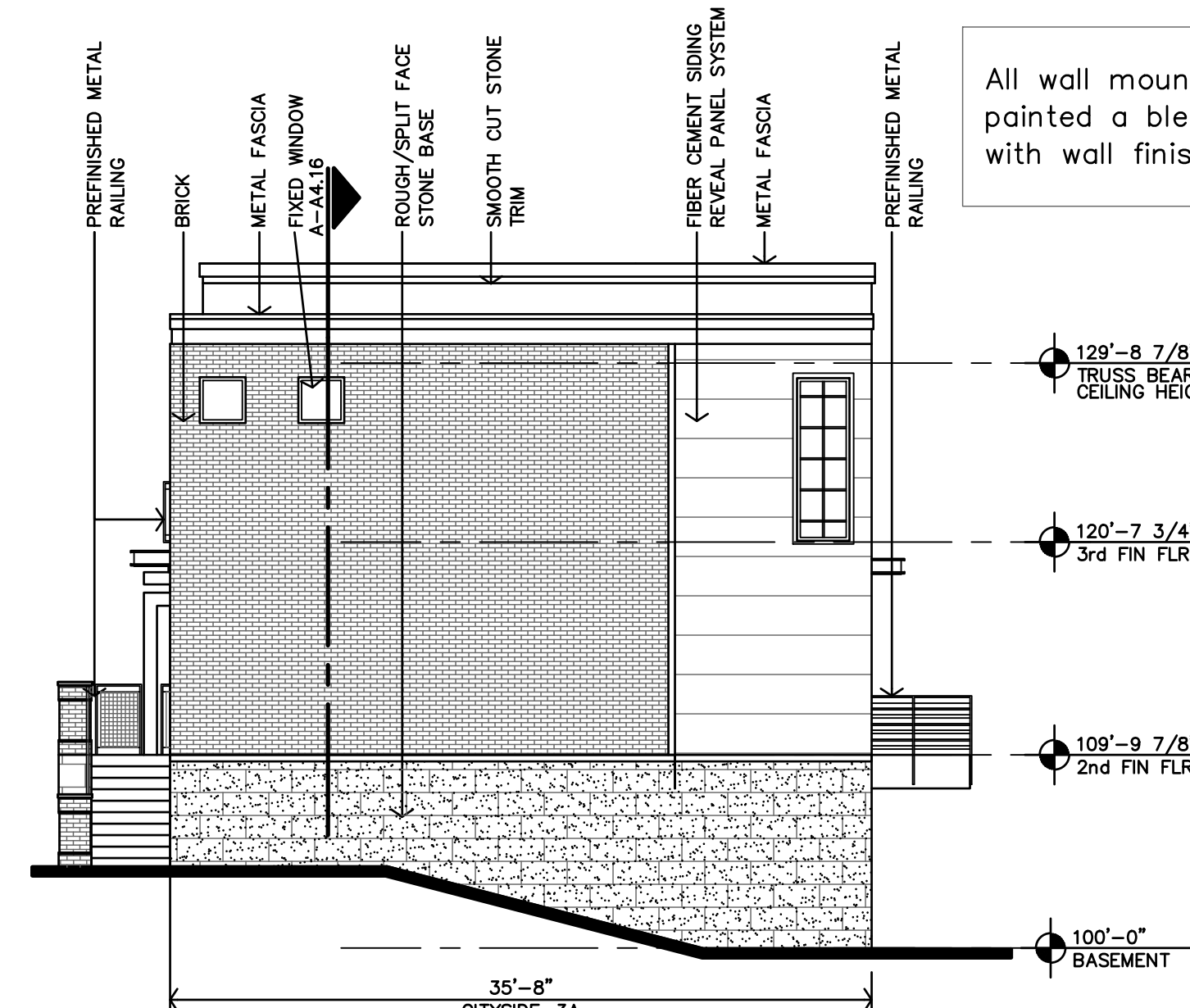


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**D BUILDING 3 WEST ELEVATION**  
1/8"=1'-0"

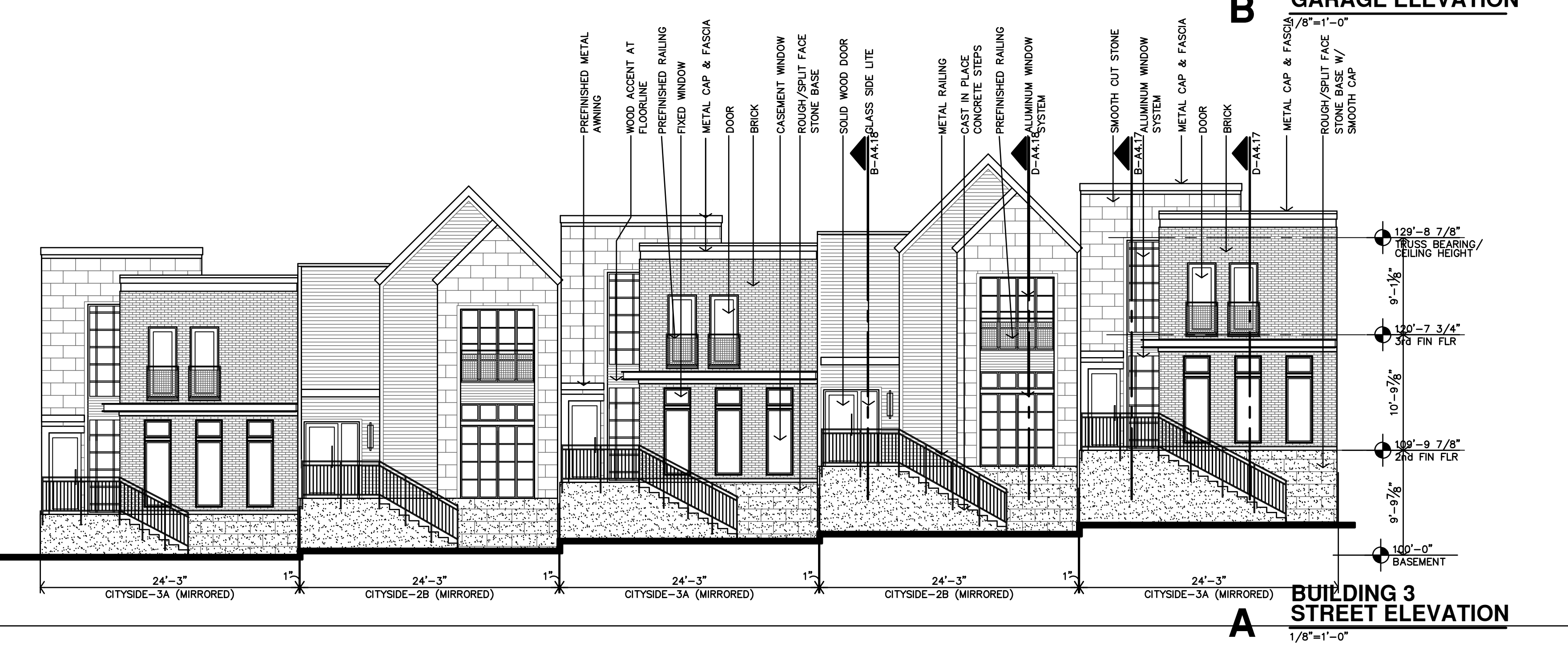


**C BUILDING 3 EAST ELEVATION**  
1/8"=1'-0"

All wall mounted equipment will be painted a blending or coordinating color with wall finish



**B BUILDING 3 GARAGE ELEVATION**  
1/8"=1'-0"



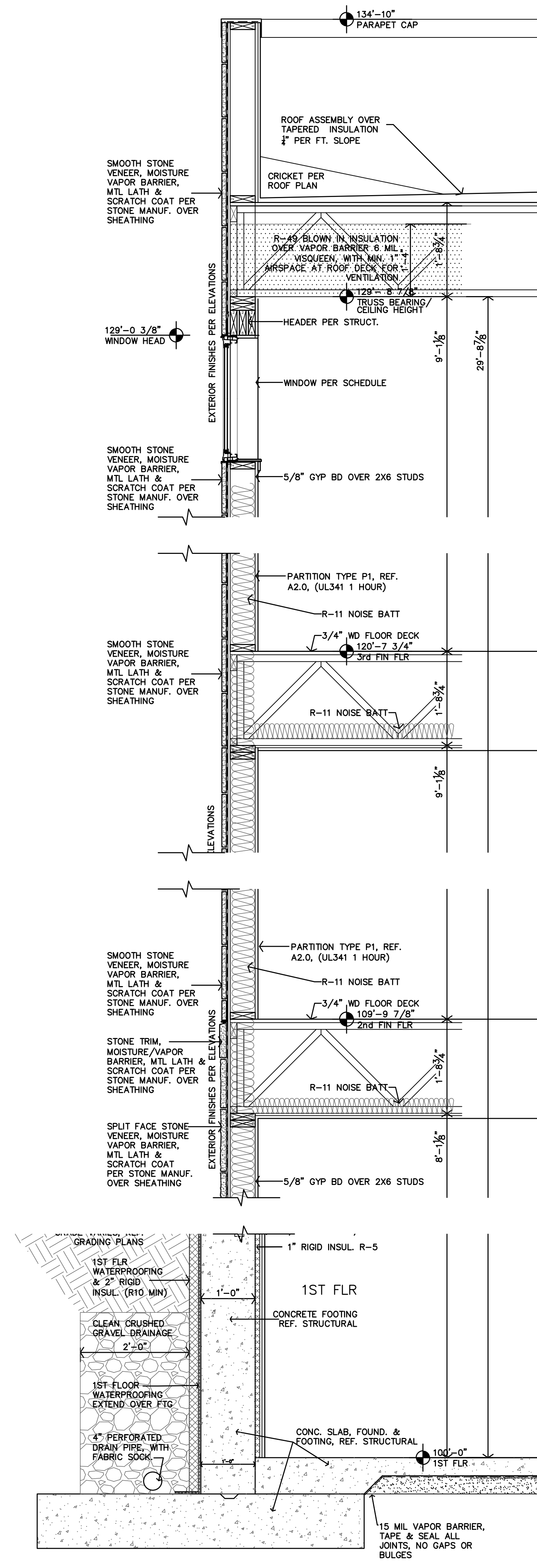
**A BUILDING 3 STREET ELEVATION**  
1/8"=1'-0"



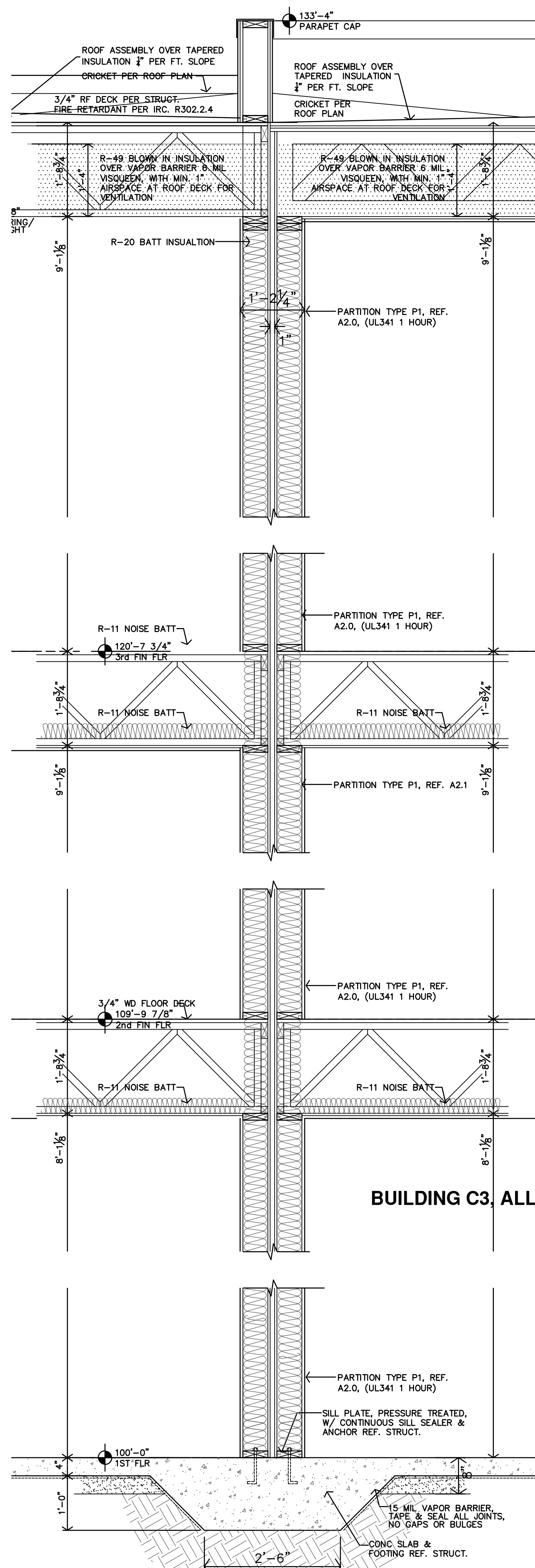
CITYSIDE UNITS

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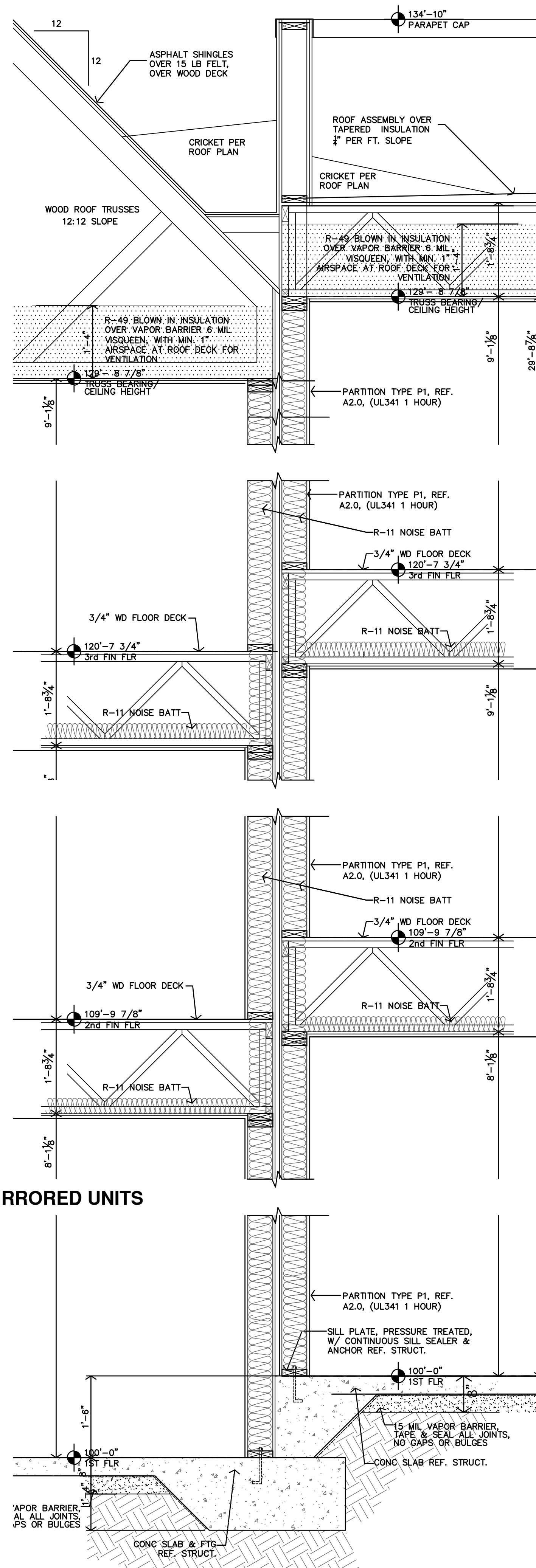




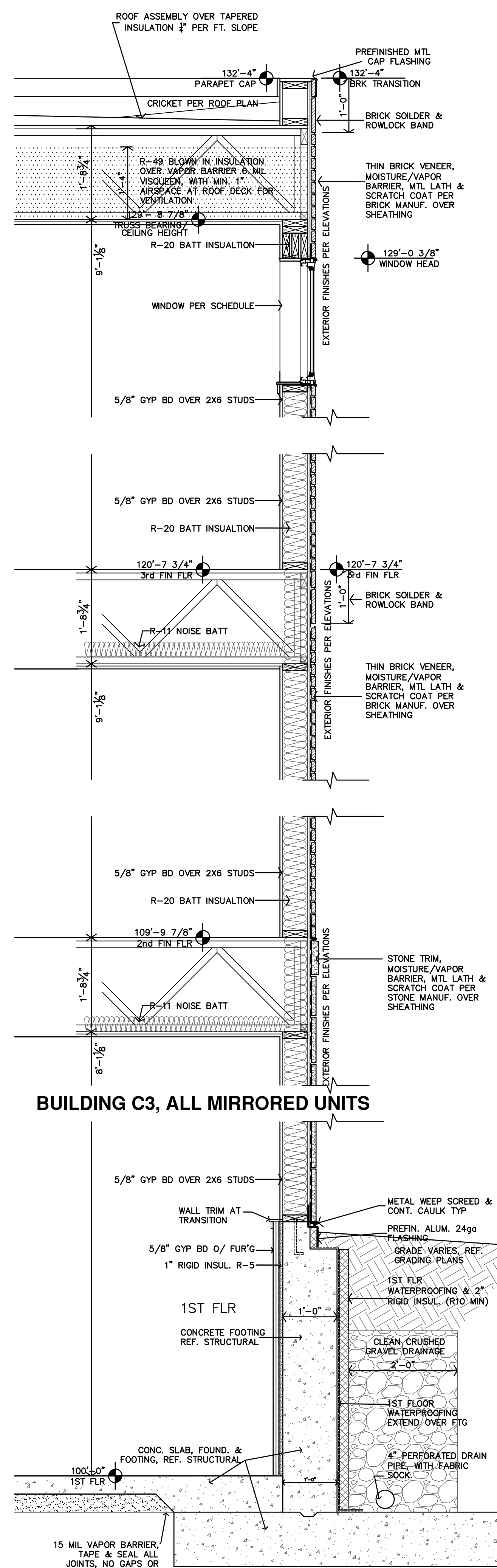
**D** C3 - 3A (MIRRORED) WALL SECT. @ END  
3/4"=1'-0"



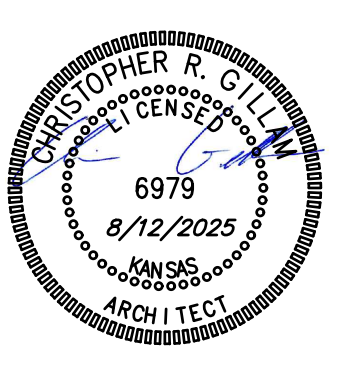
**C** C3 - 3A/2B (MIRRORED) WALL SECT. @ NO STEP  
3/4"=1'-0"



**B** C3 - 2B/3A (MIRRORED) WALL SECT. @ 1'-6" STEP  
3/4"=1'-0"

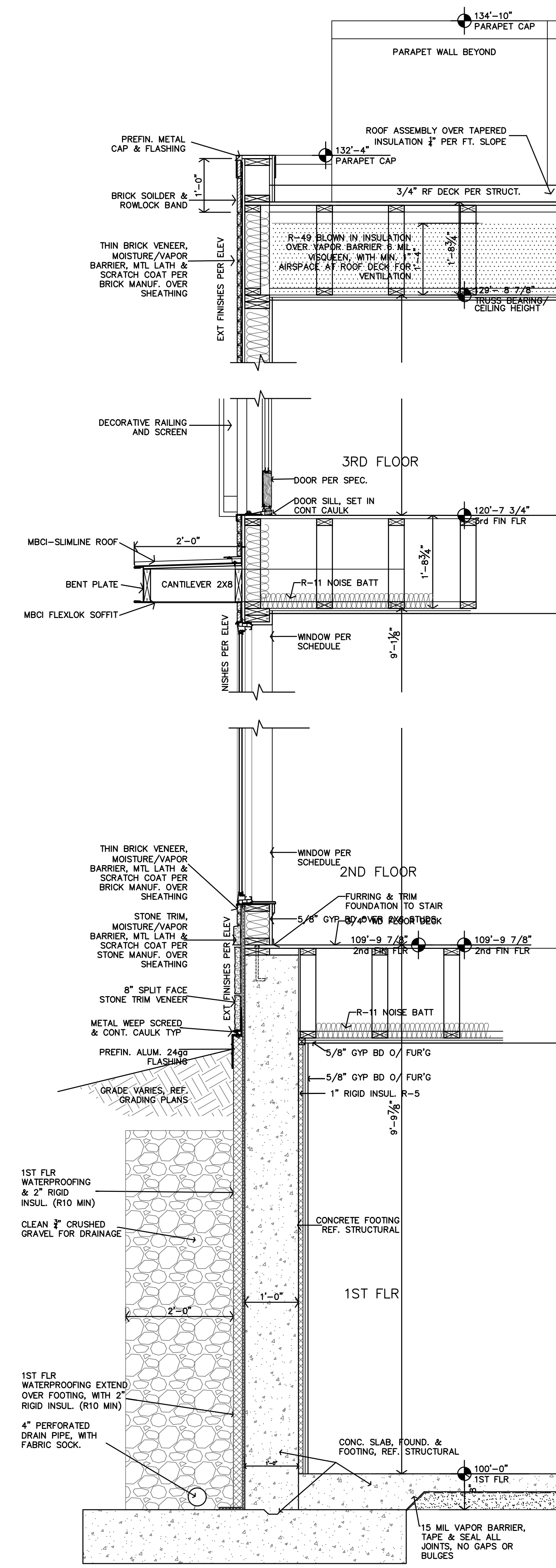


**A** C3 - 3A (MIRRORED) WALL SECT. @ END  
3/4"=1'-0"

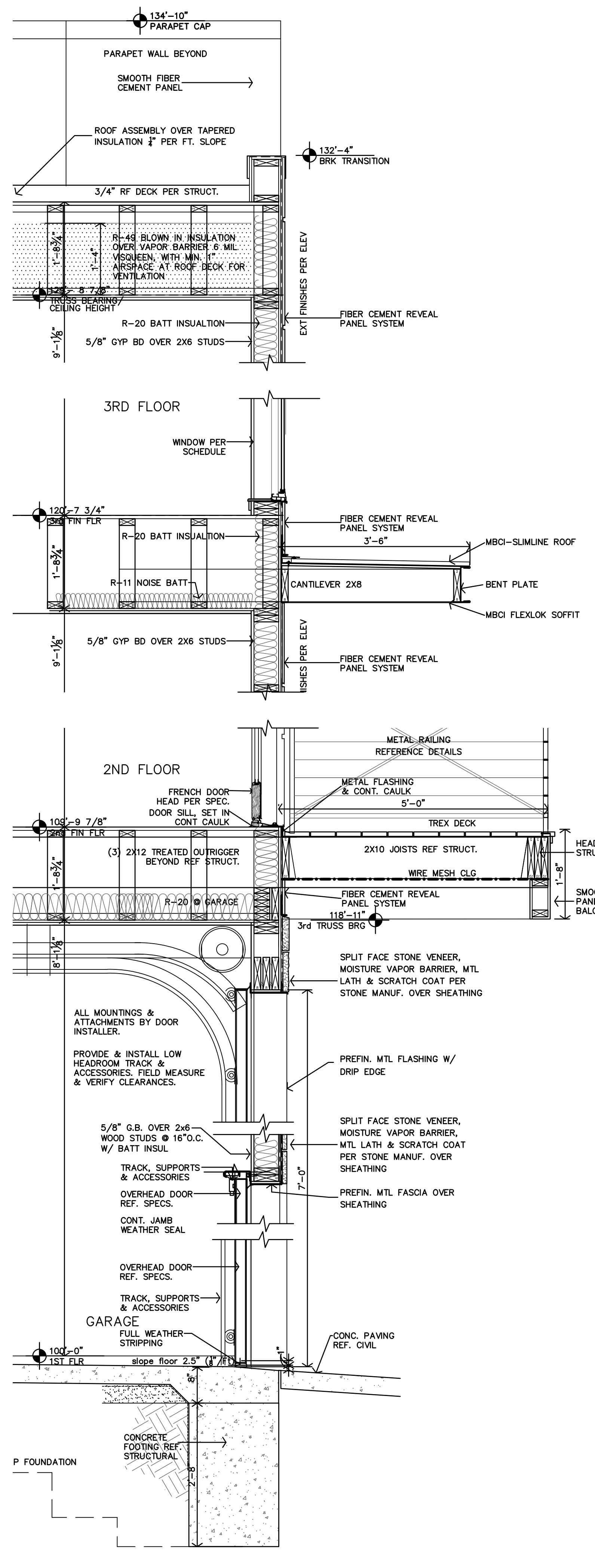


REVISION:  
DATE: 8-12-2025  
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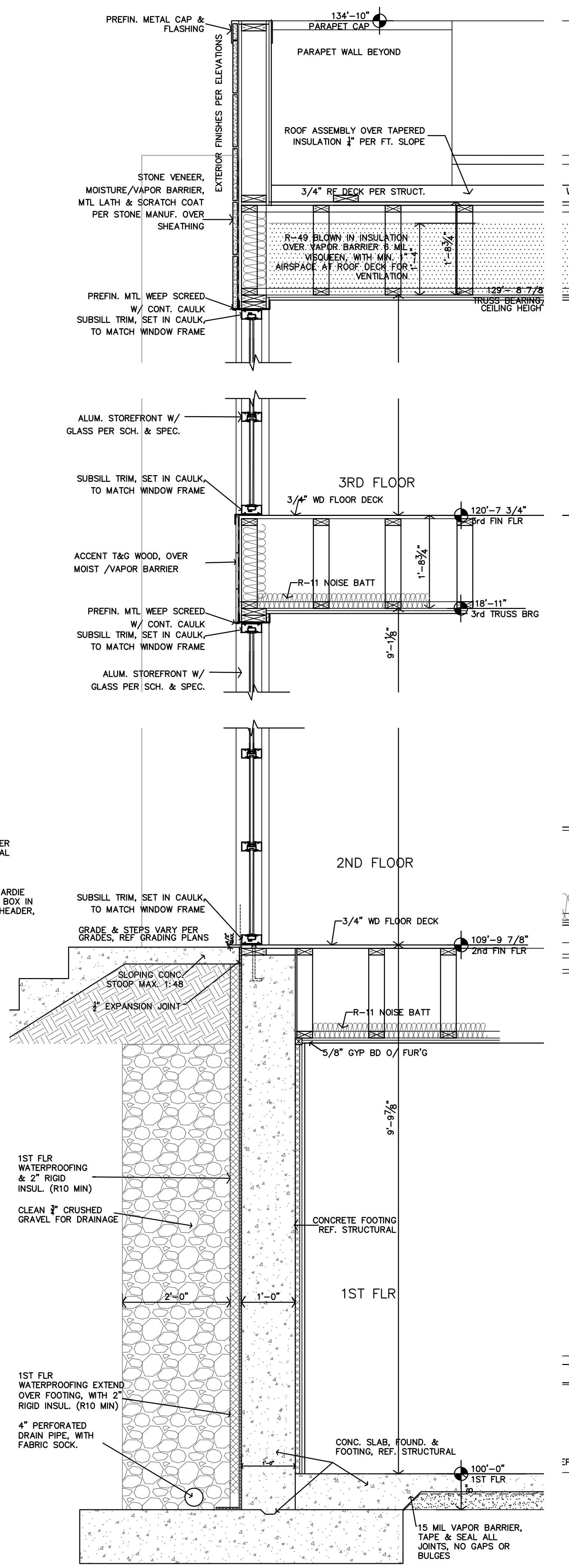




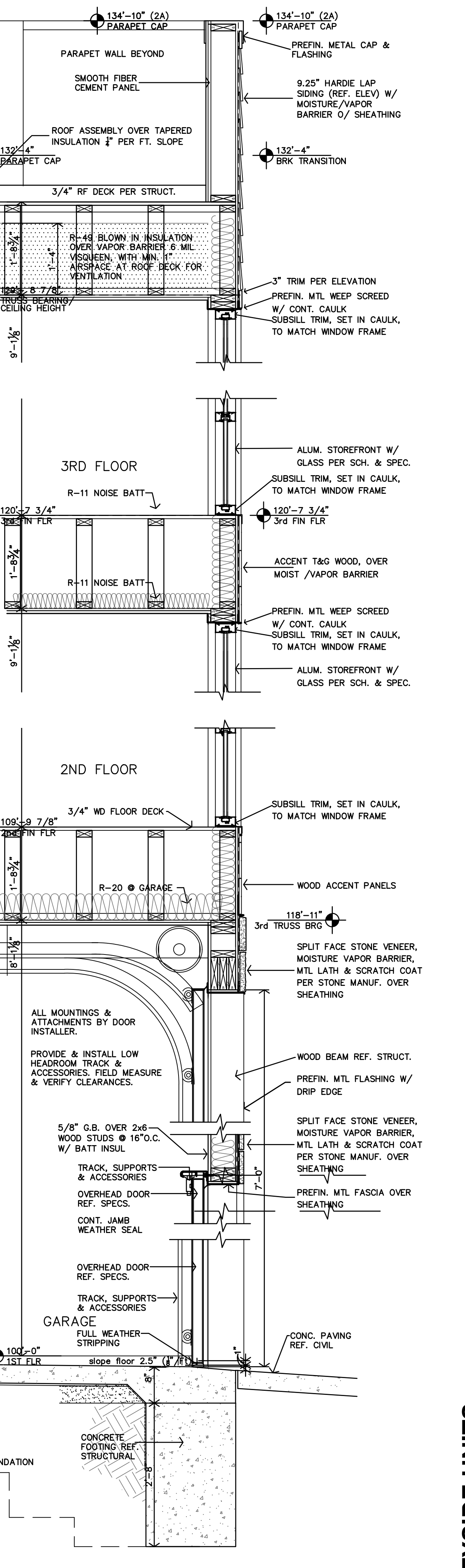
**D** C3 3A (MIRRORED)  
WALL SECT. @ BASEMENT  
3/4"=1'-0"



**C** C3 3A (MIRRORED)  
WALL SECT. @ GARAGE  
3/4"=1'-0"



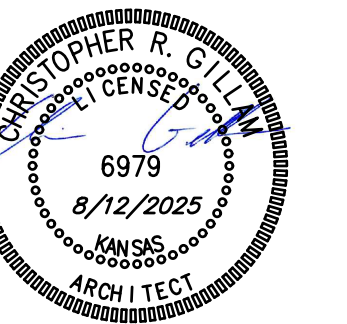
**B** C3 3A (MIRRORED)  
WALL SECT. @ BASEMENT  
3/4"=1'-0"



**A** C3 3A (MIRRORED)  
WALL SECT. @ GARAGE  
3/4"=1'-0"

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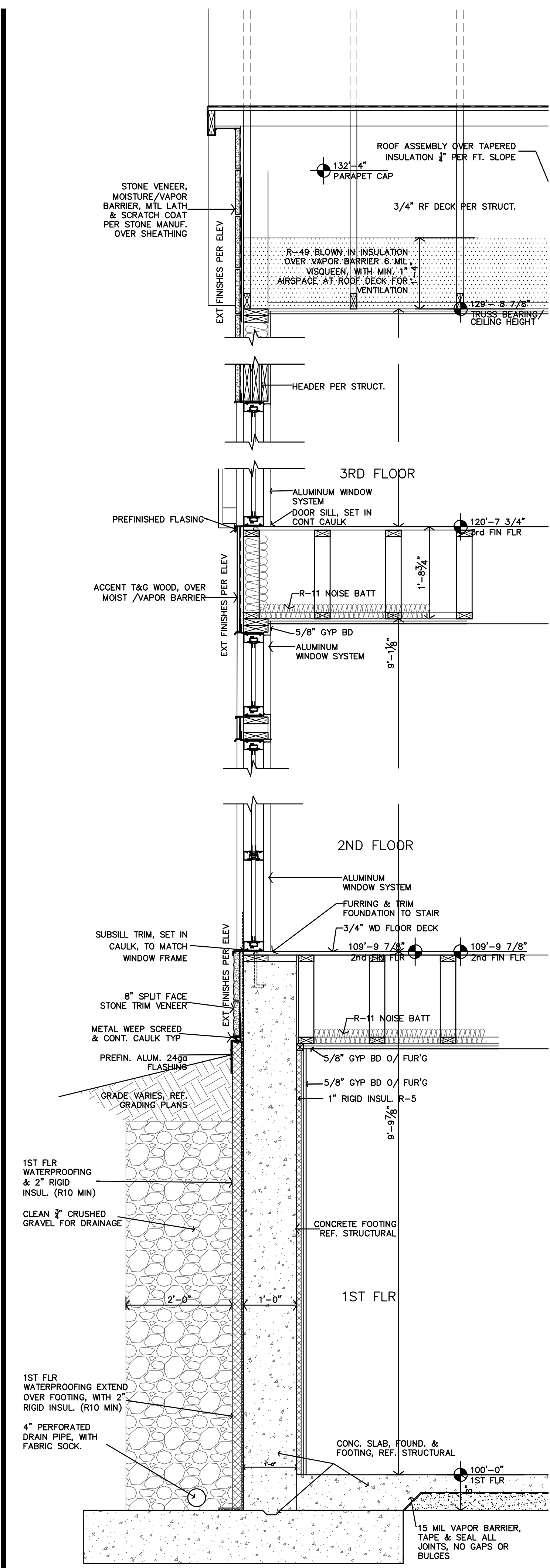
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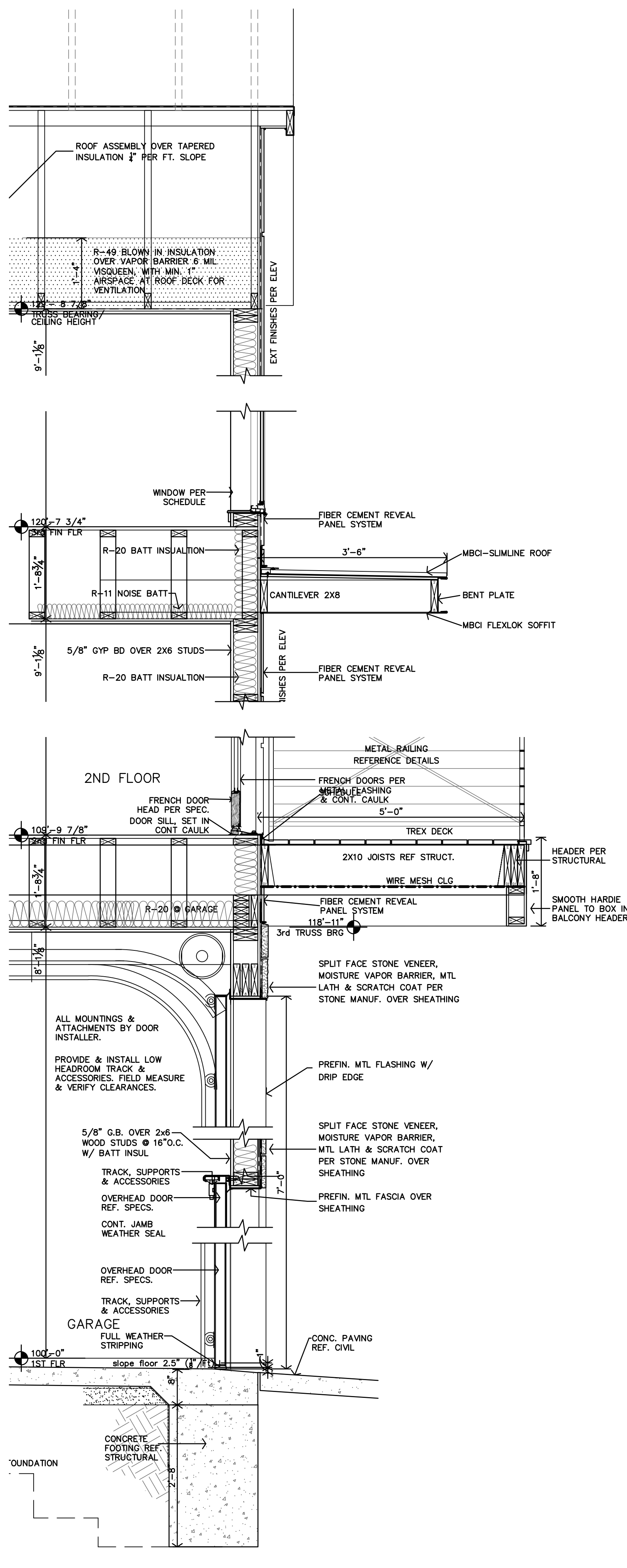
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NEW TOWNHOMES COMPLEX  
LENEXA, KANSAS

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730 N. Ninth 1881 Main Street, Suite 301  
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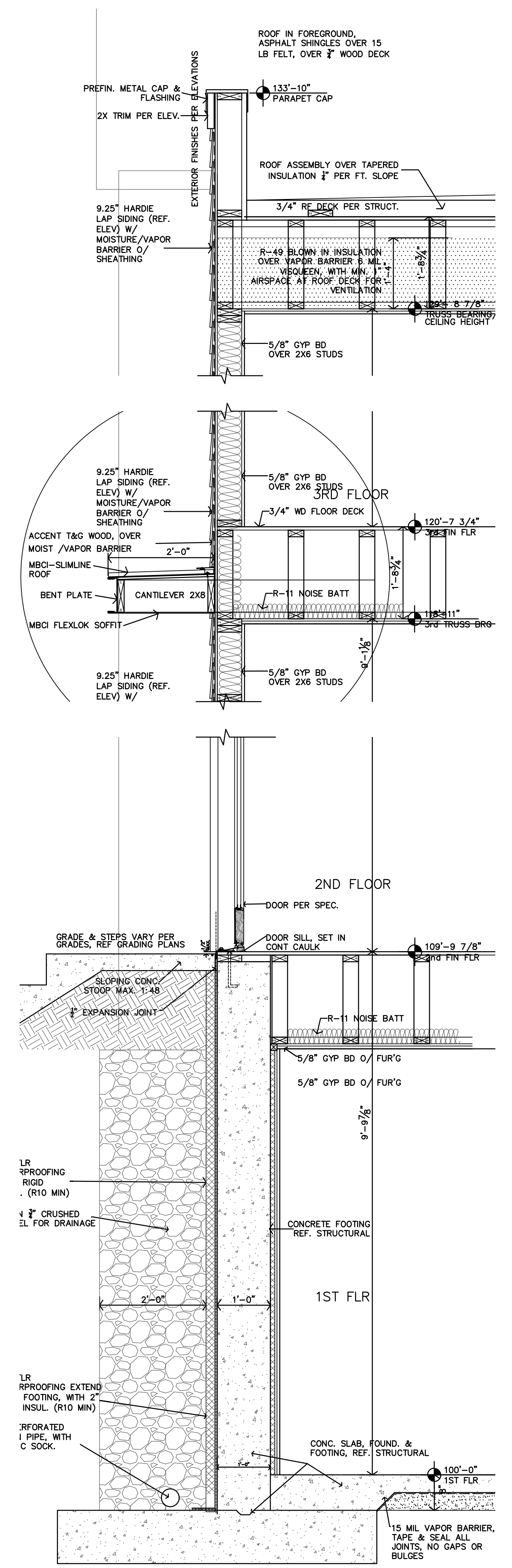




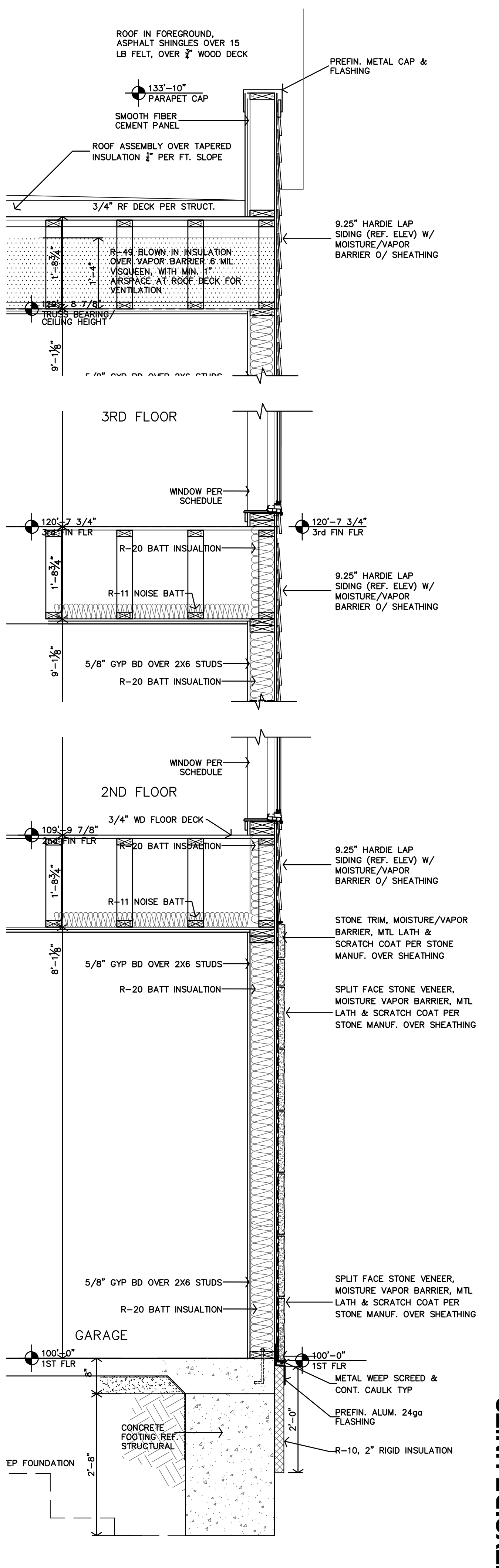
**D** C3 2B (MIRRORED) 3B SIMILAR WALL SECT. @ BASEMENT  
3/4"=1'-0"



**C** C3 2B (MIRRORED) 3B SIMILAR WALL SECT. @ GARAGE  
3/4"=1'-0"



**B** C3 2B (MIRRORED) 3B SIMILAR WALL SECT. @ BASEMENT  
3/4"=1'-0"



**A** C3 2B (MIRRORED) 3B SIMILAR WALL SECT. @ GARAGE  
3/4"=1'-0"

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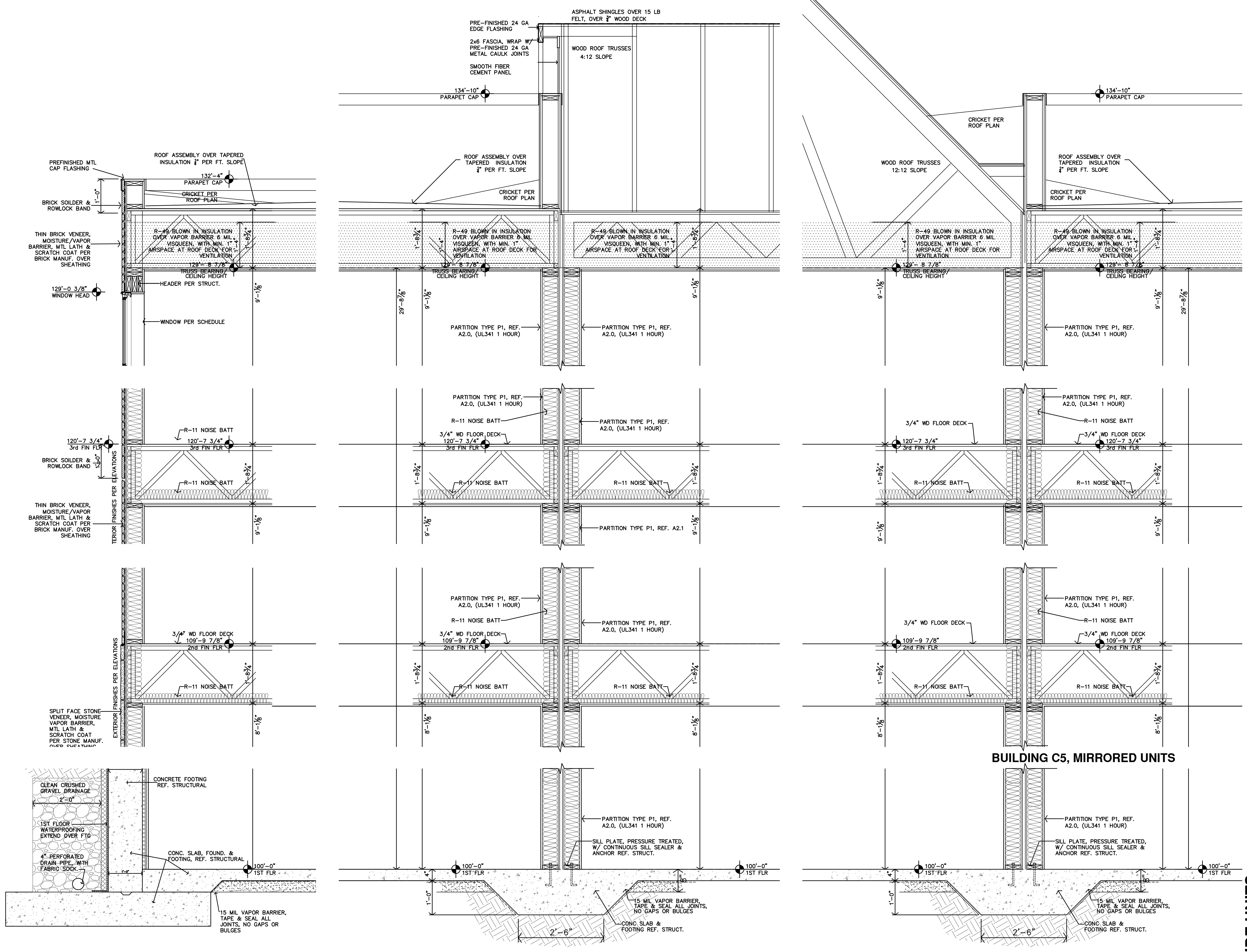
**A4.18**

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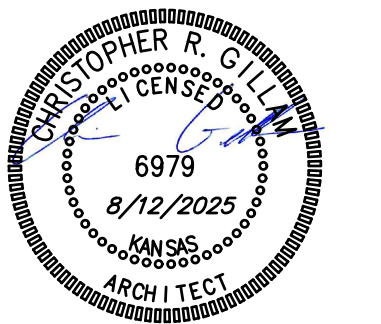




**C** C5 - 3A  
WALL SECT. @ END  
3/4"=1'-0"

**B** C5 - 3A (NORM) & 3B (MIRRORED)  
WALL SECT. @ NO STEP  
3/4"=1'-0"

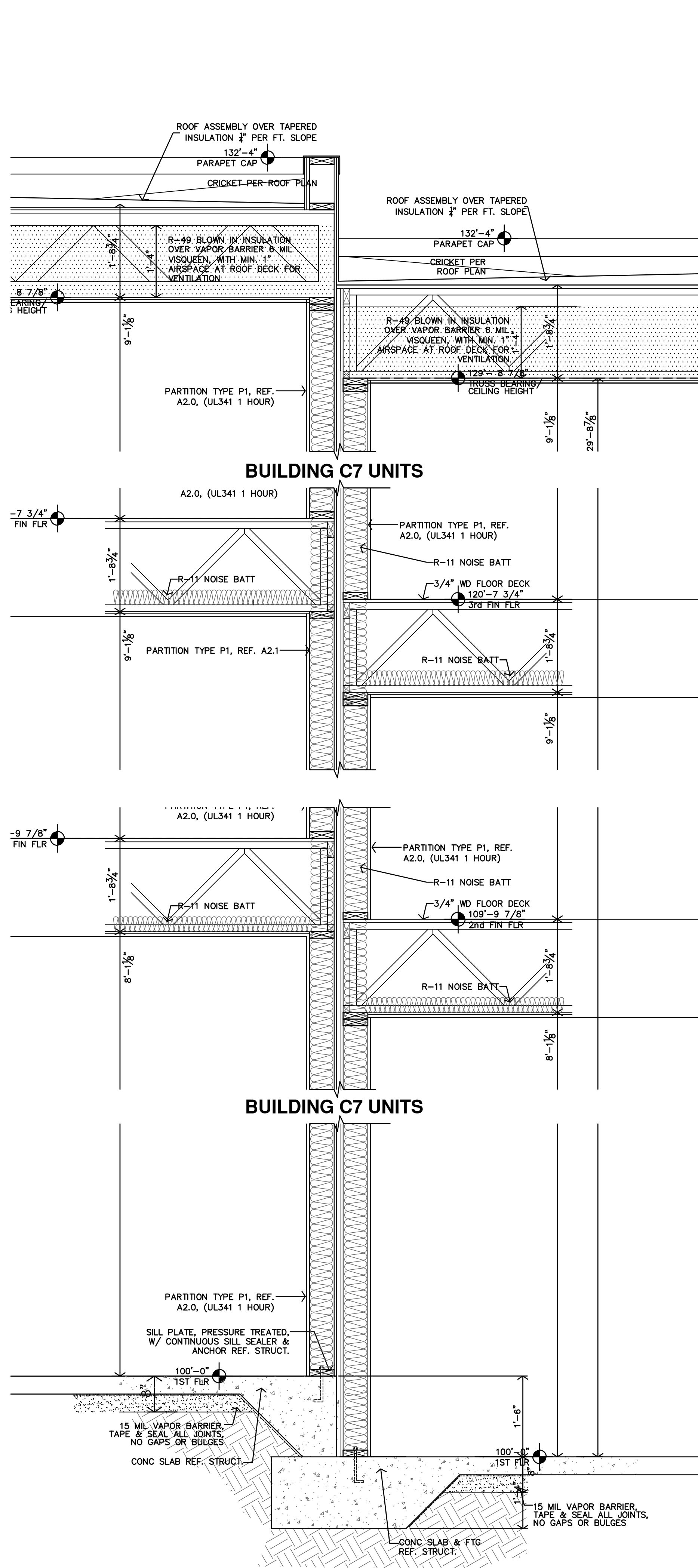
**A** C5 - 3B/3A (MIRRORED)  
WALL SECT. @ NO STEP  
3/4"=1'-0"



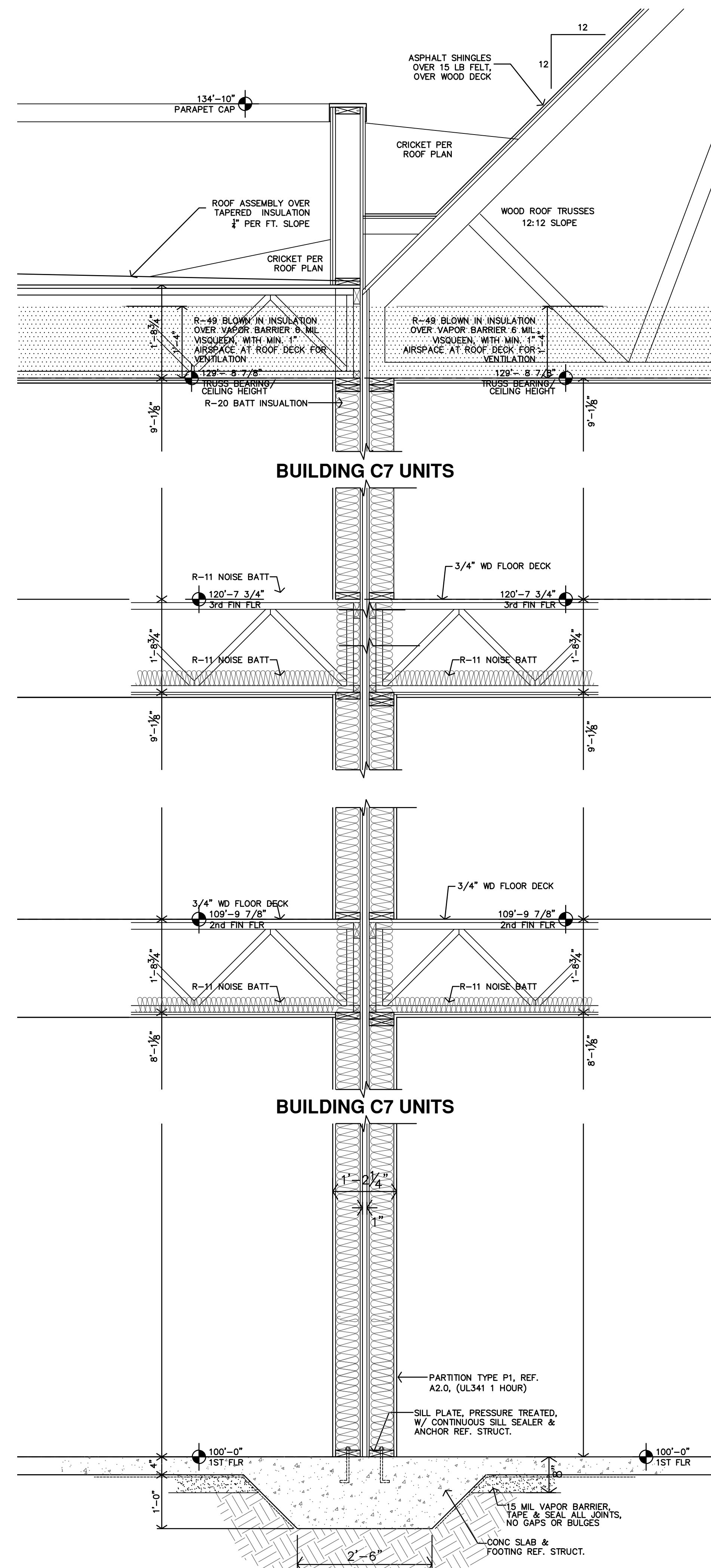
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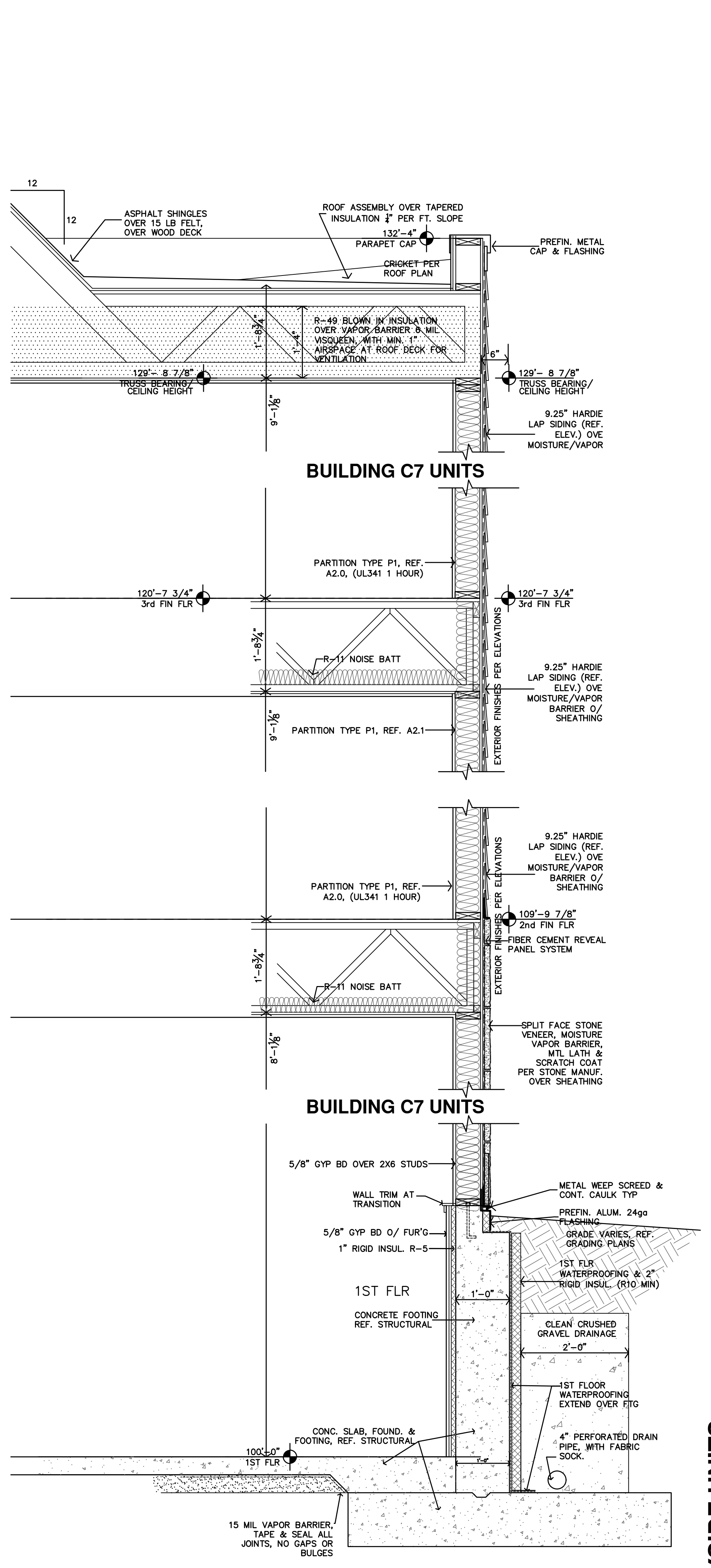




**C** C7 - 2B/3A  
WALL SECT. @ 1'-6" STEP  
3/4"=1'-0"



**B** C7 - 3A/2B  
WALL SECT. @ NO STEP  
3/4"=1'-0"



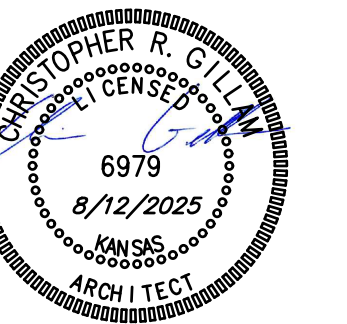
**A** C7 - 2B  
WALL SECT. @ END  
3/4"=1'-0"

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**A4.20**

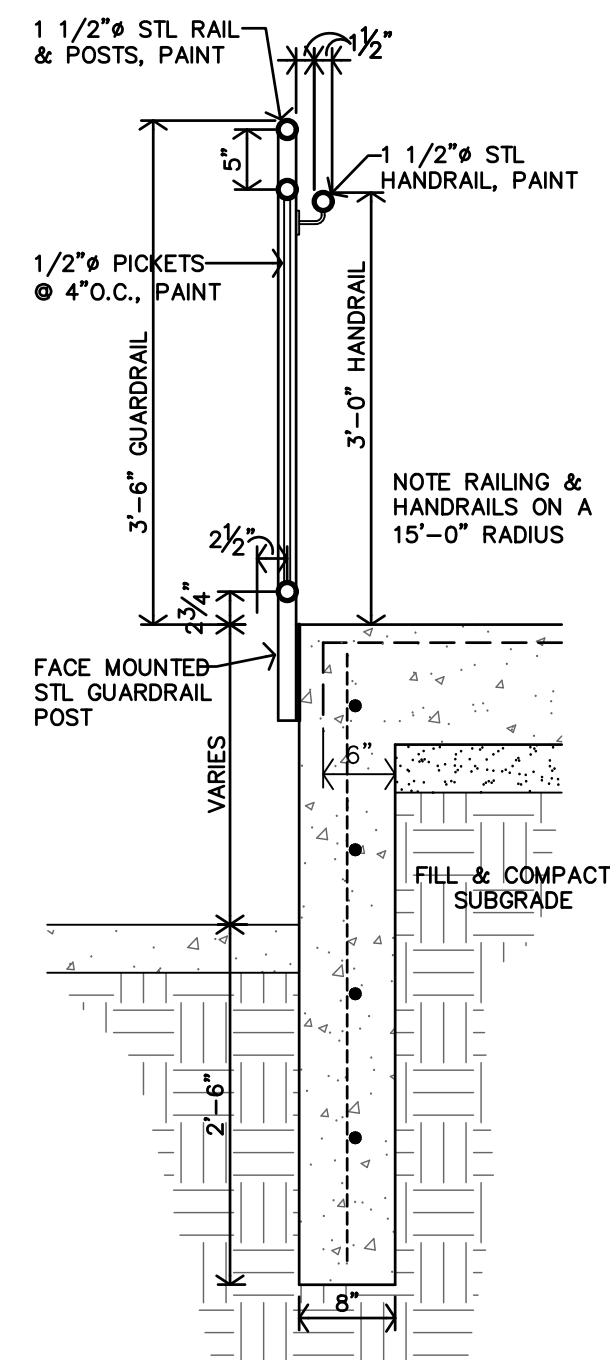


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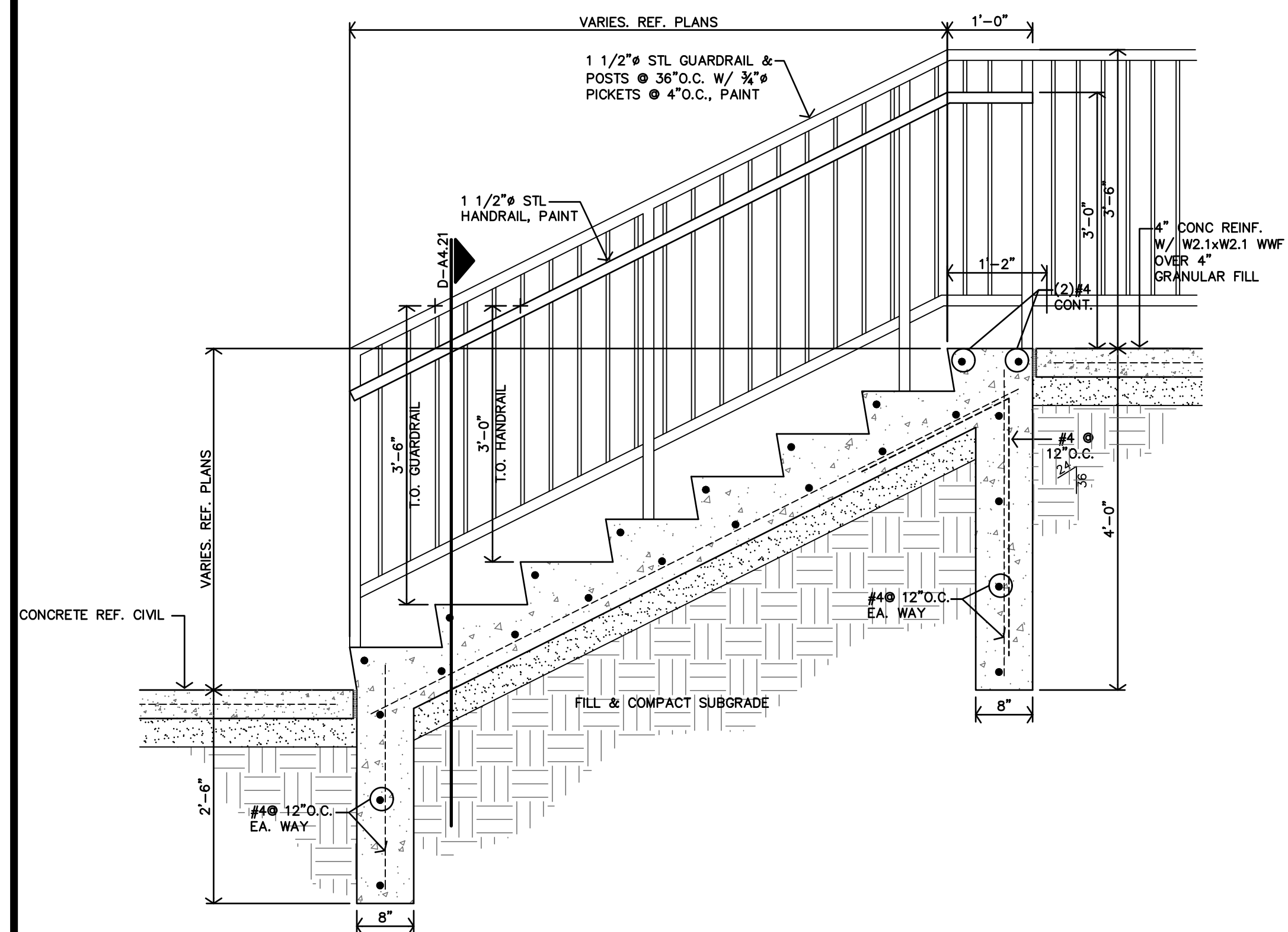
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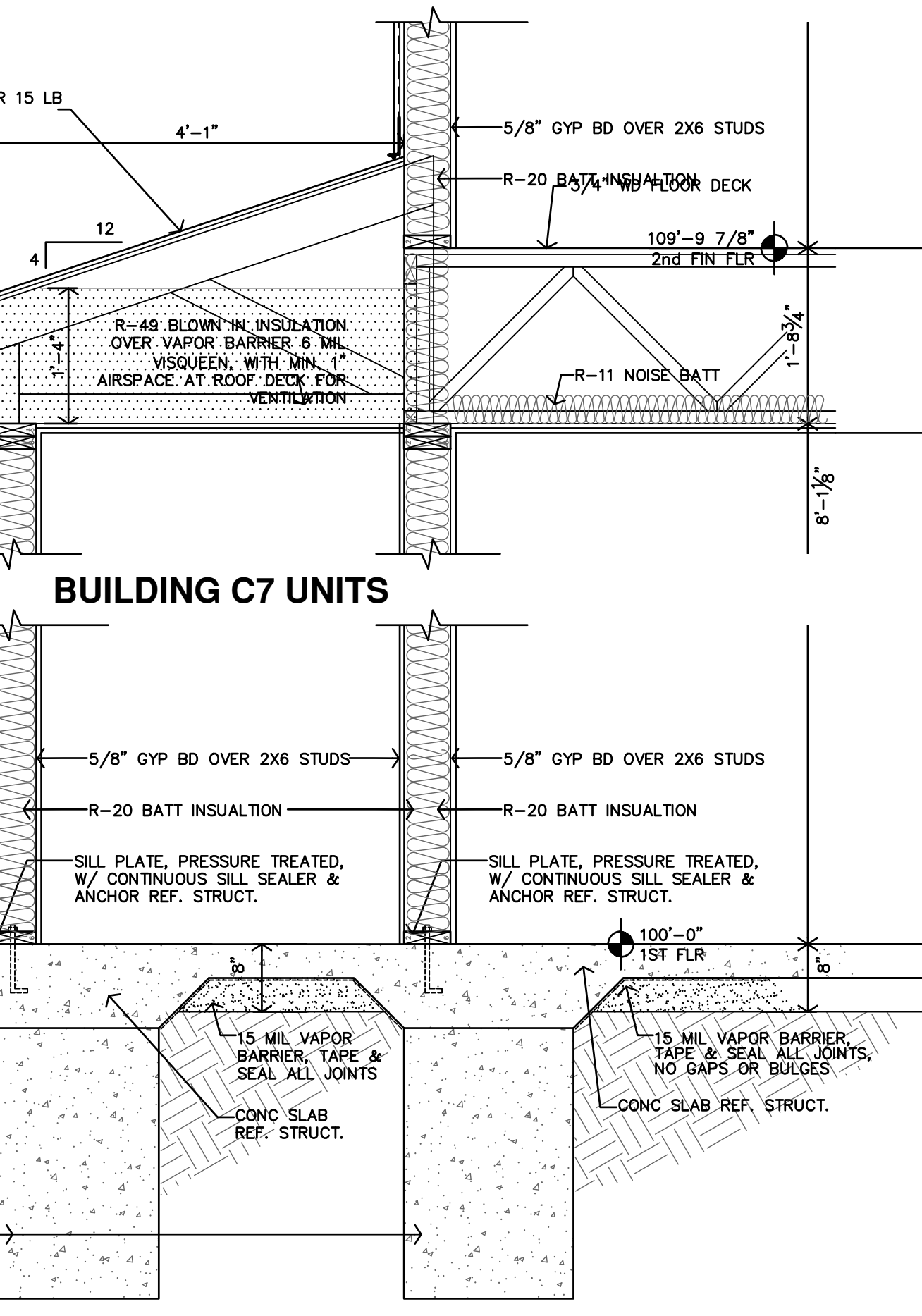
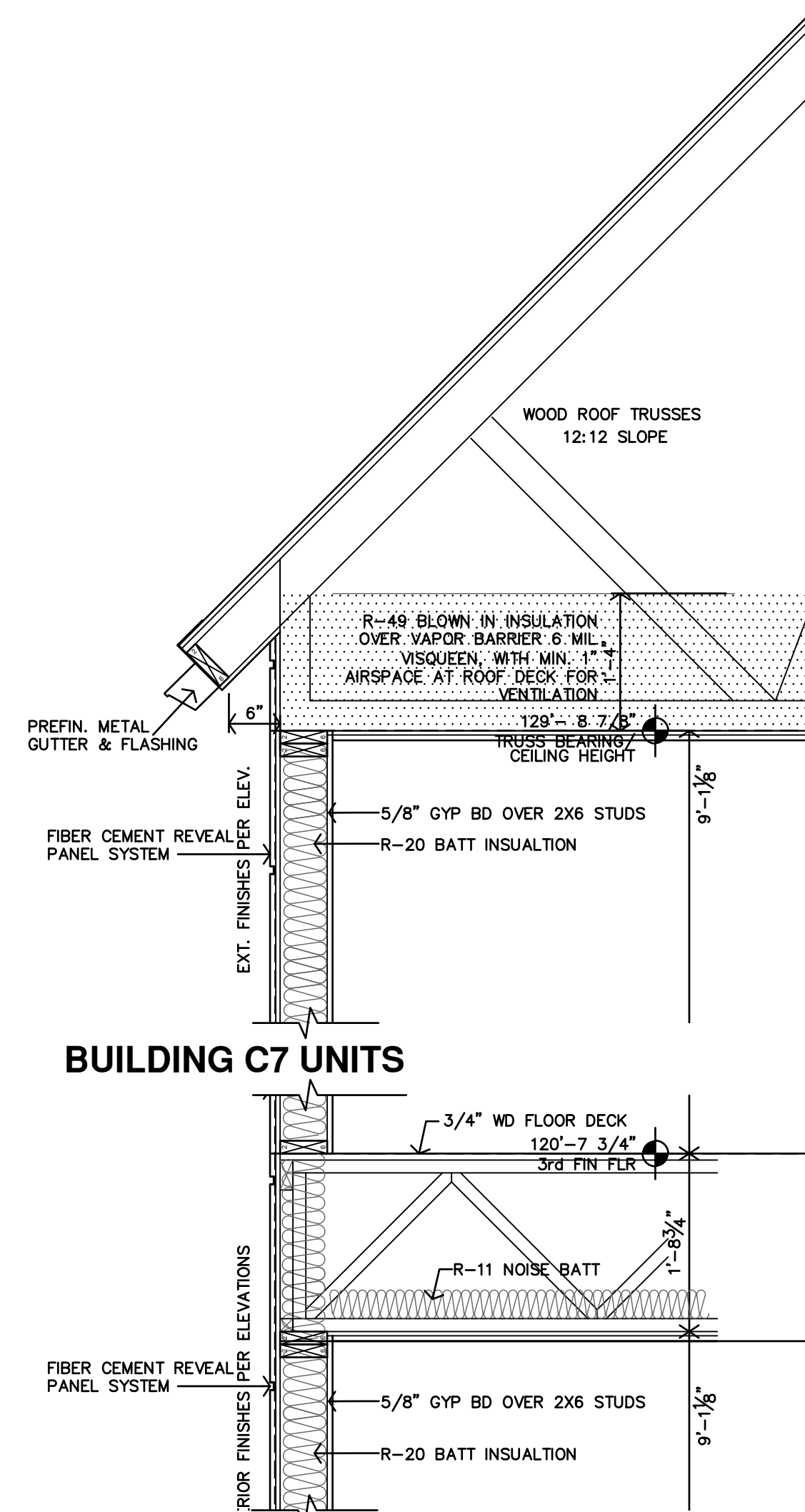




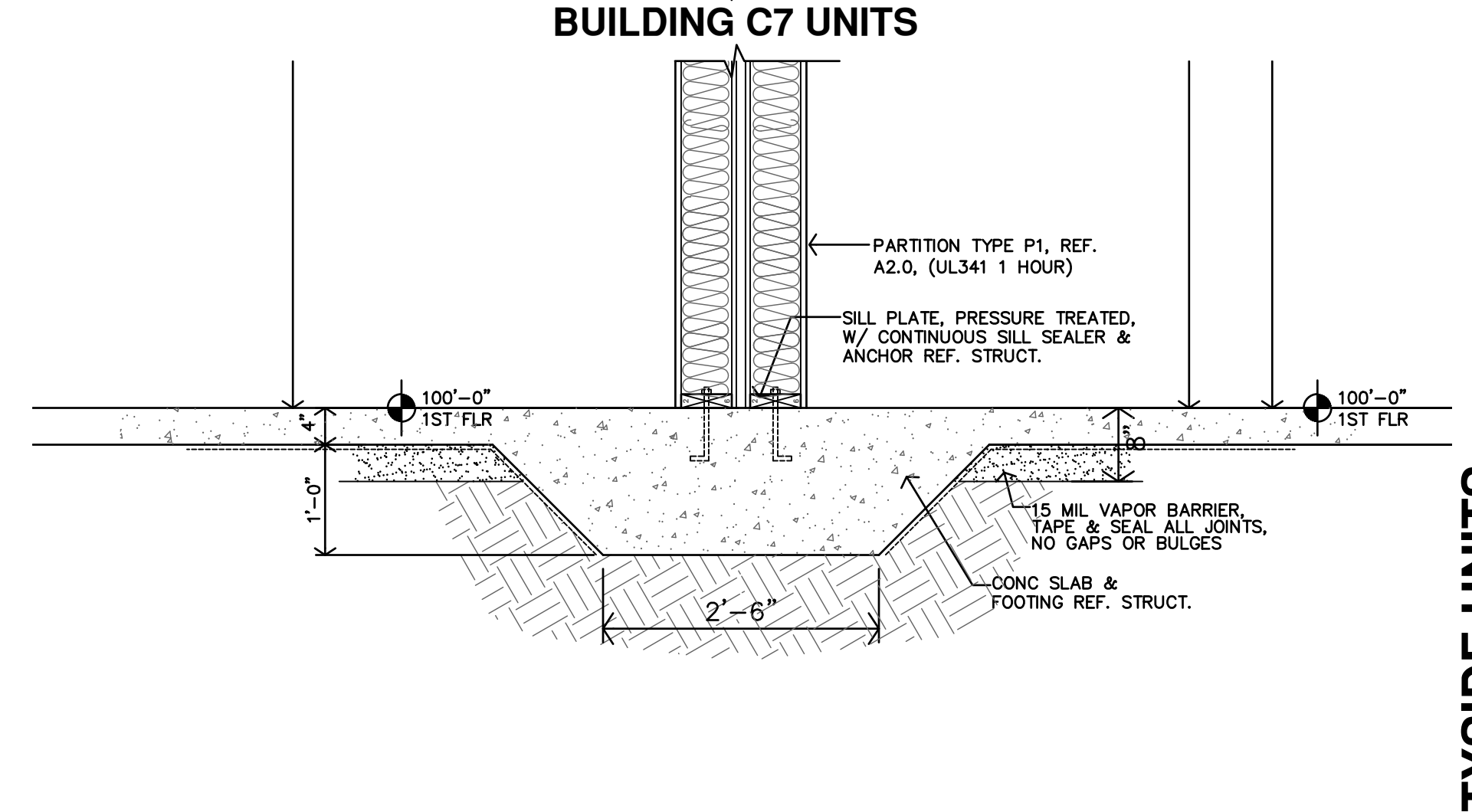
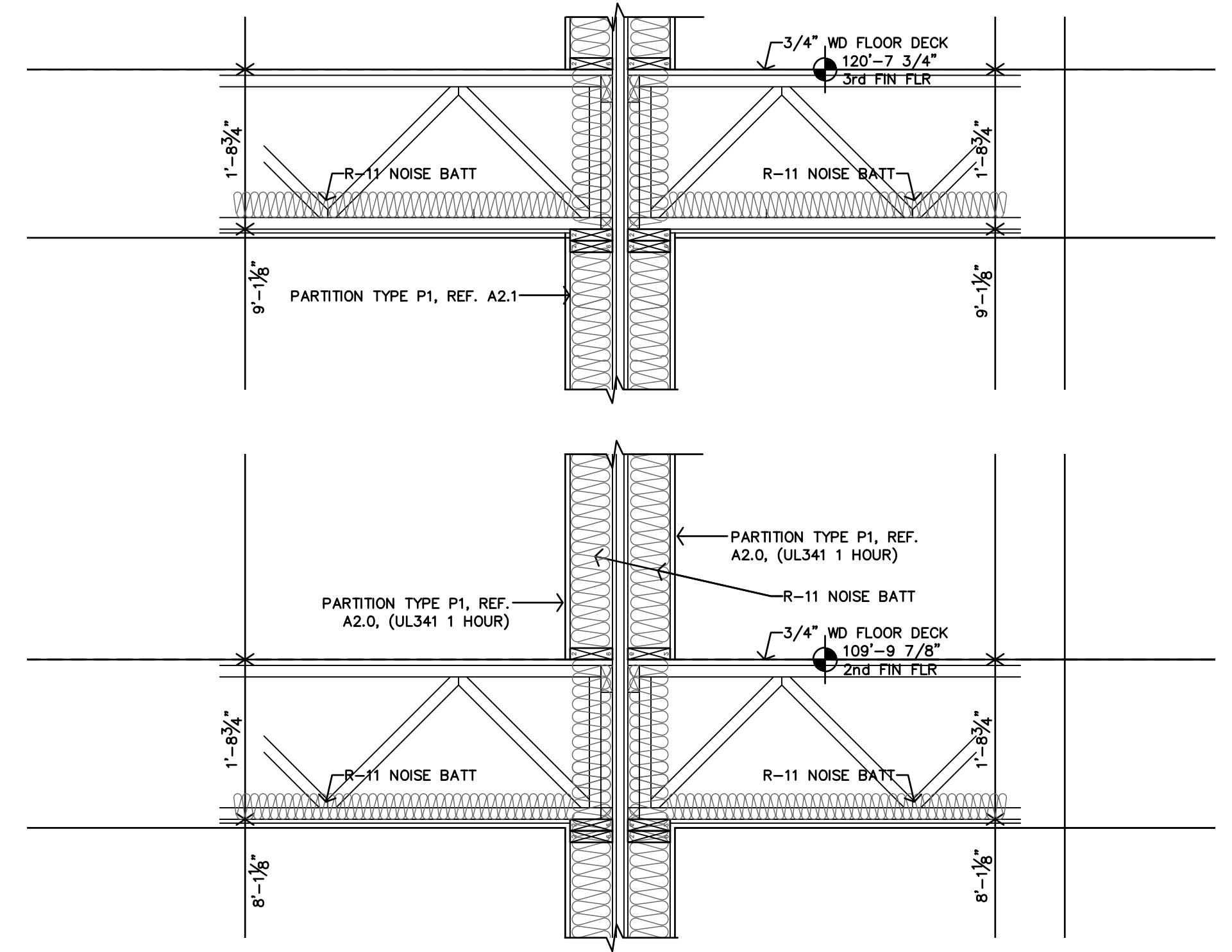
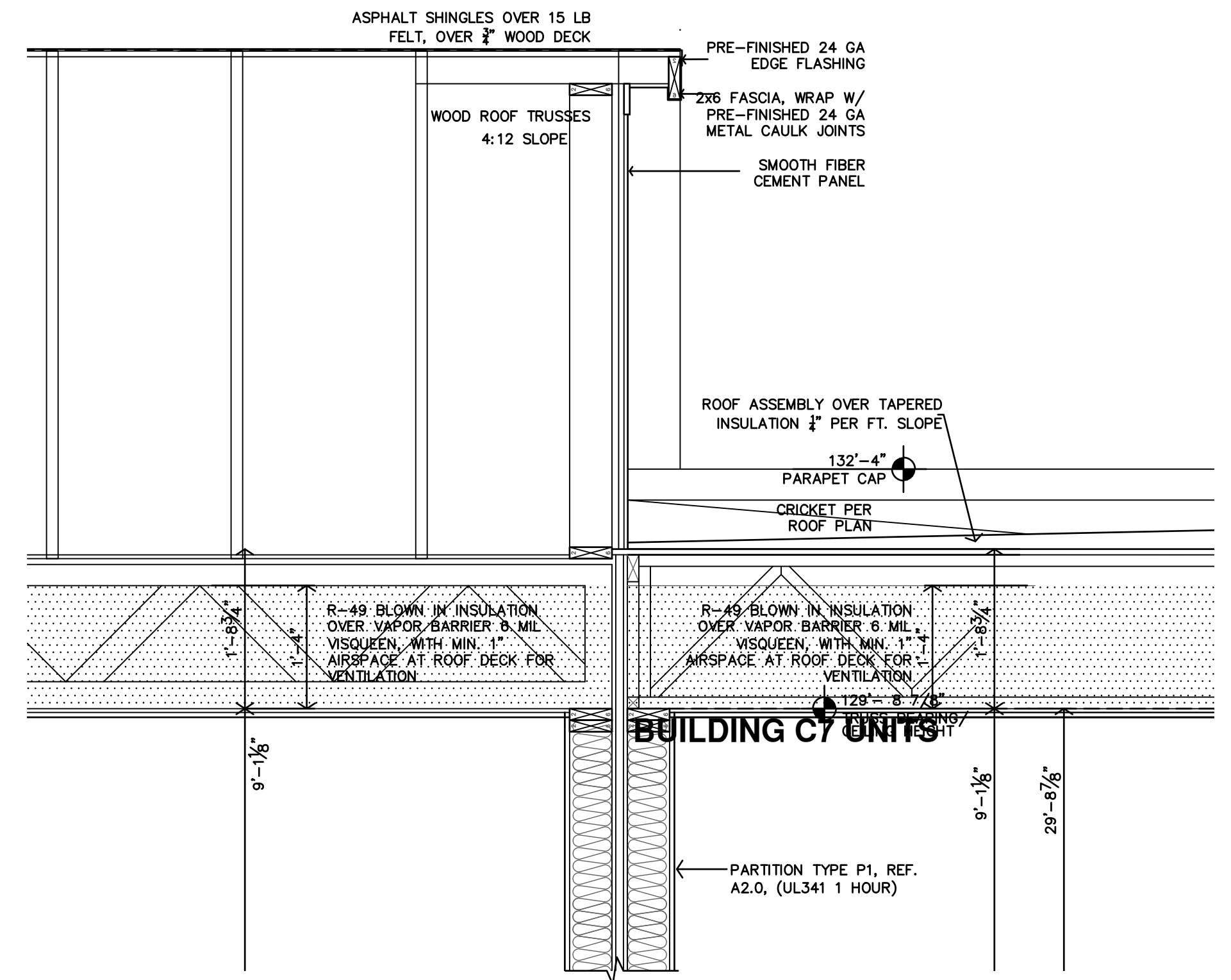
**D** GUARDRAIL SECTION  
CONCRETE ENTRY STAIR  
3/4"=1'-0"



**C** CONCRETE ENTRY STAIR  
3/4"=1'-0"



**B** C7 - 3B  
WALL SECT. @ MECH CL  
3/4"=1'-0"



**A** C7 - 3A/2B  
WALL SECT. @ END  
3/4"=1'-0"

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CHRISTOPHER R. CITYLW  
LICENSED ARCHITECT  
6979  
8/12/2025  
ARCHITECT

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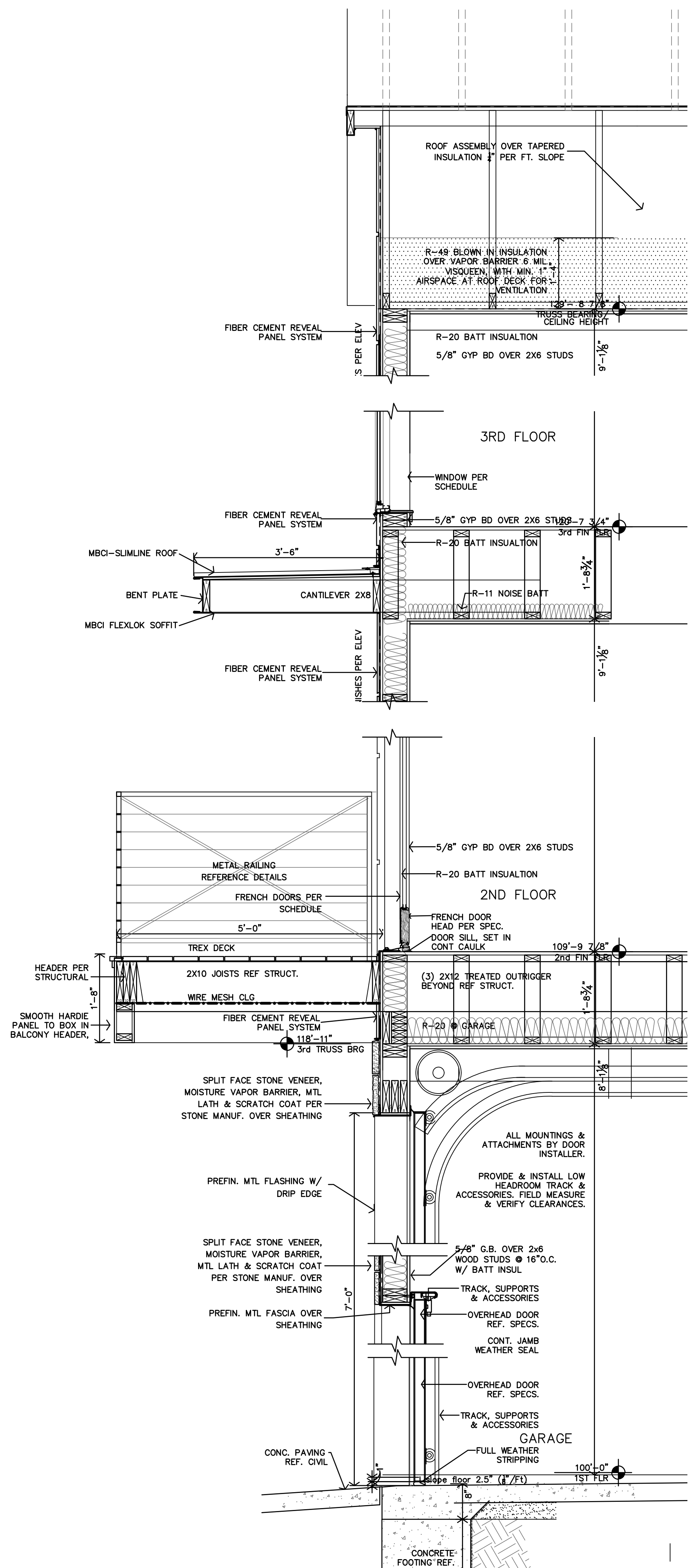
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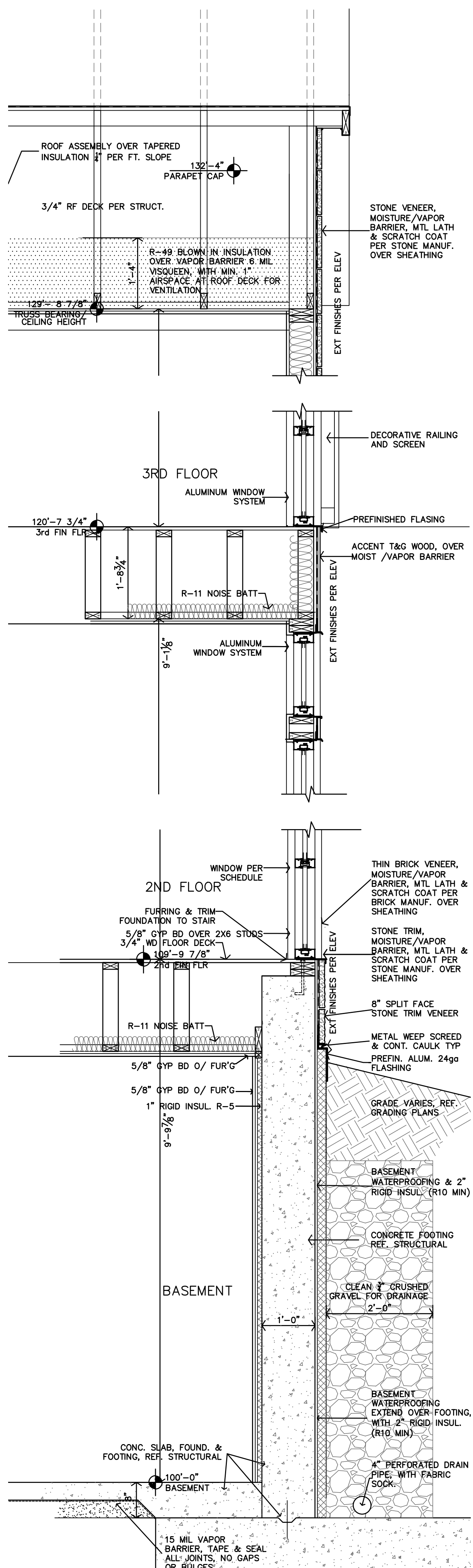




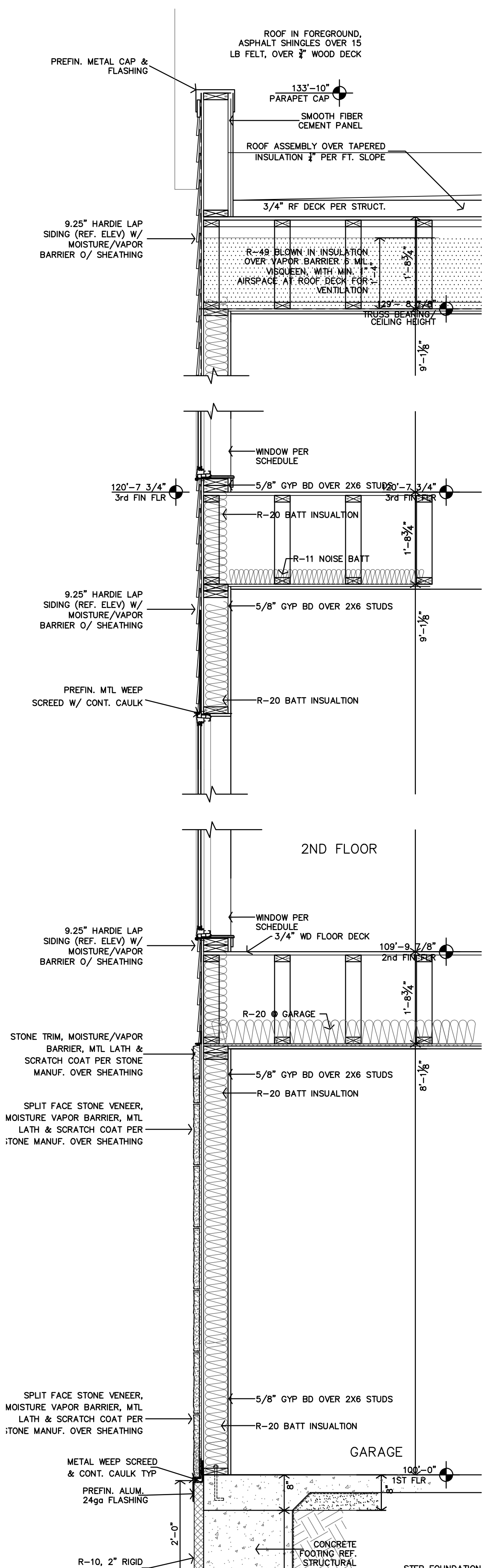




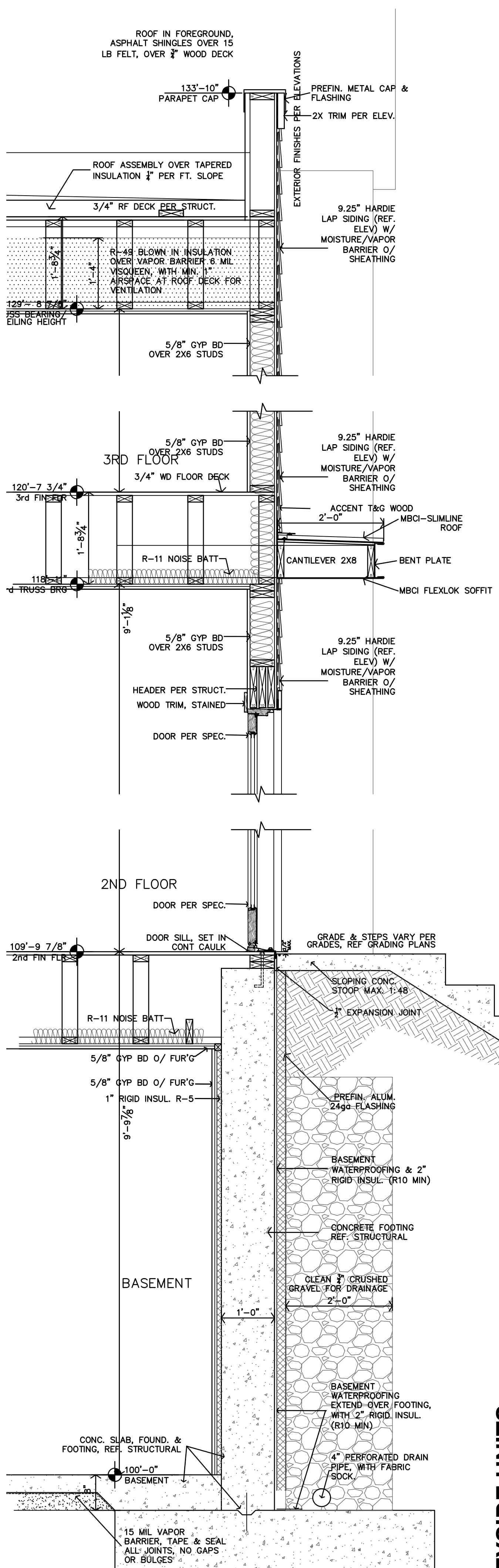
**D** CITY 2B (3B SIM)  
WALL SECT. @ BASEMENT  
3/4"=1'-0"



**C** CITY 2B (3B SIM)  
WALL SECT. @ GARAGE  
3/4"=1'-0"



**B** CITY 2B (3B SIM)  
WALL SECT. @ BASEMENT  
3/4"=1'-0"



**A** CITY 2B (3B SIM)  
WALL SECT. @ GARAGE  
3/4"=1'-0"

CITYSIDE UNITS

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**A4.23**

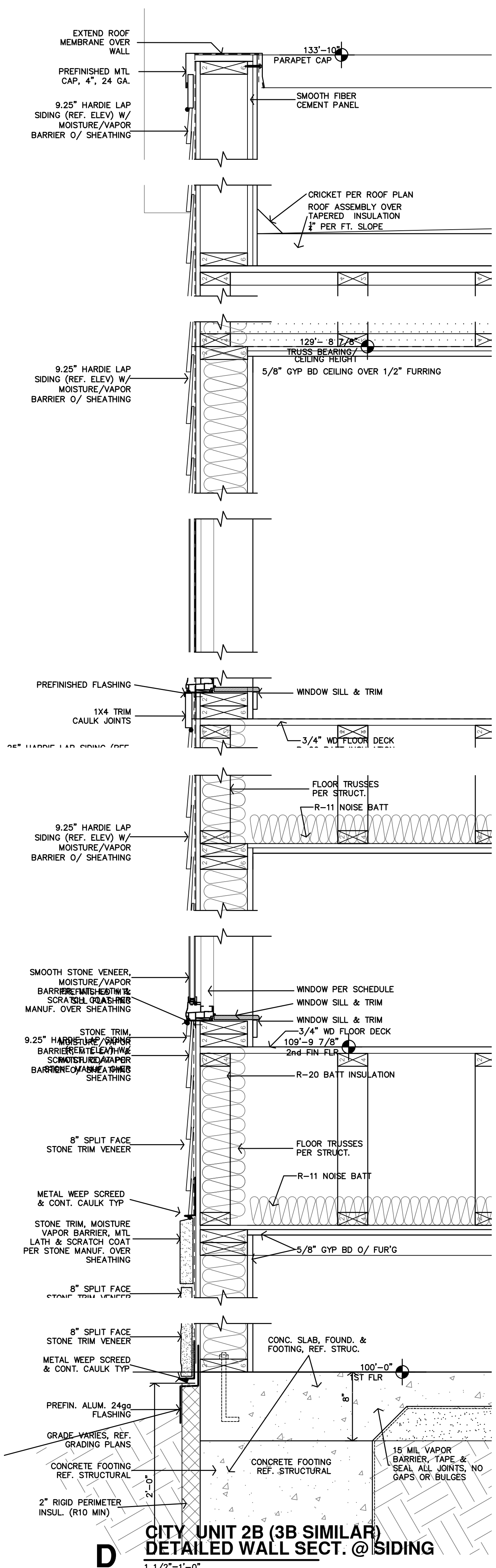


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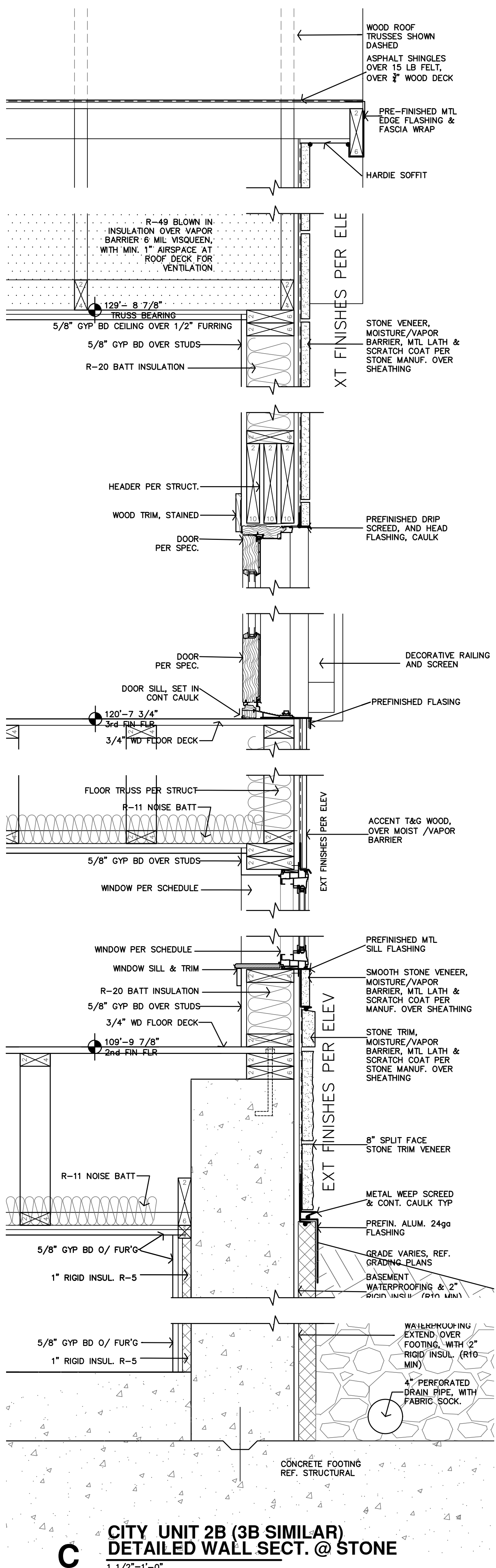
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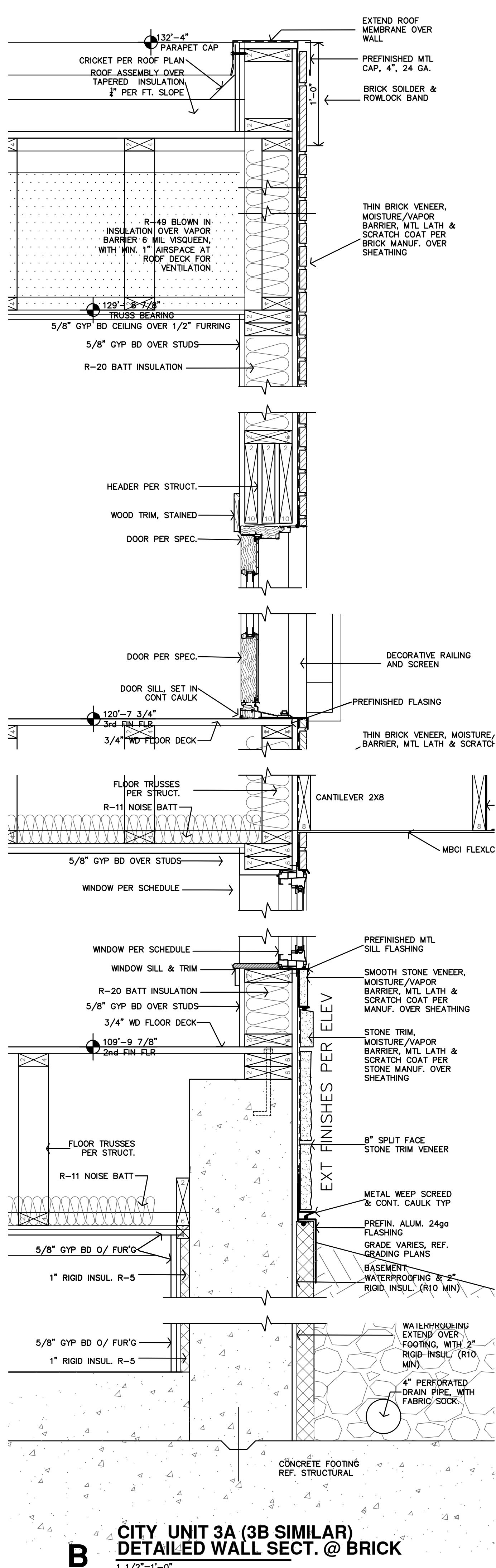




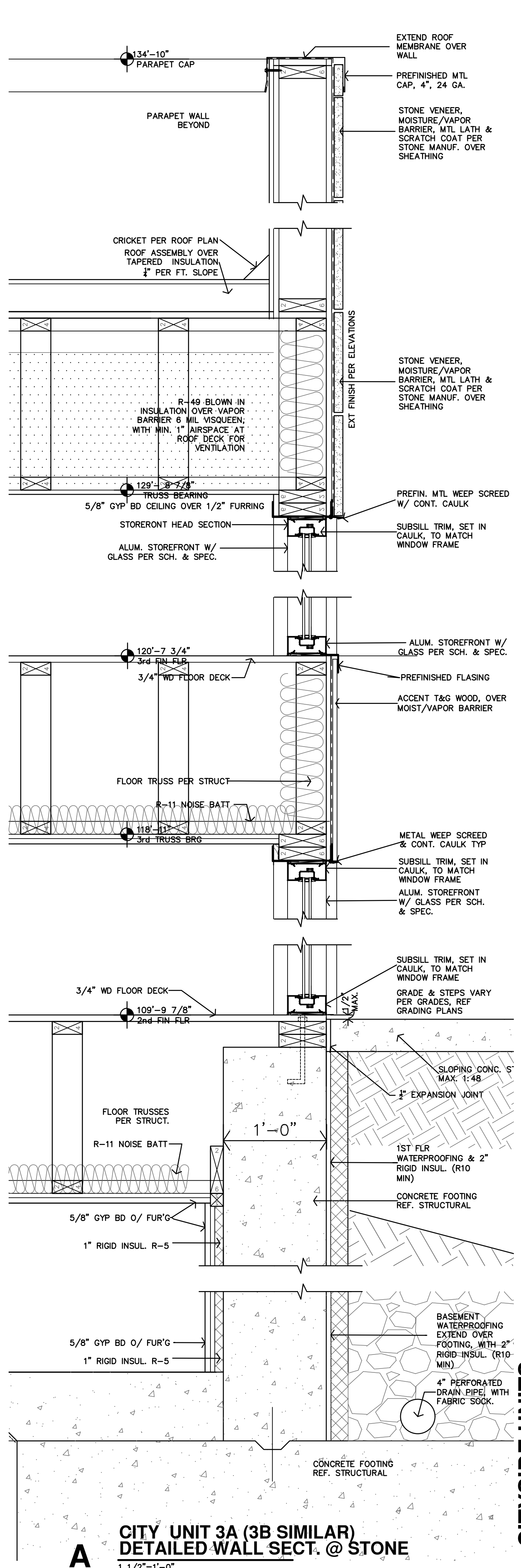
**D CITY UNIT 2B (3B SIMILAR) DETAILED WALL SECT. @ SIDING**  
1 1/2"=1'-0"



**C CITY UNIT 2B (3B SIMILAR) DETAILED WALL SECT. @ STONE**  
1 1/2"=1'-0"

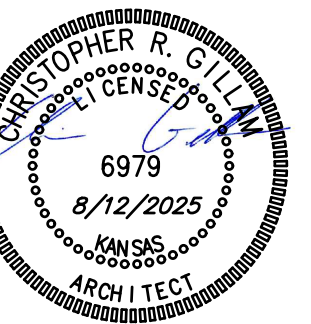


**B CITY UNIT 3A (3B SIMILAR) DETAILED WALL SECT. @ BRICK**  
1 1/2"=1'-0"



**A CITY UNIT 3A (3B SIMILAR) DETAILED WALL SECT. @ STONE**  
1 1/2"=1'-0"

CITYSIDE UNITS



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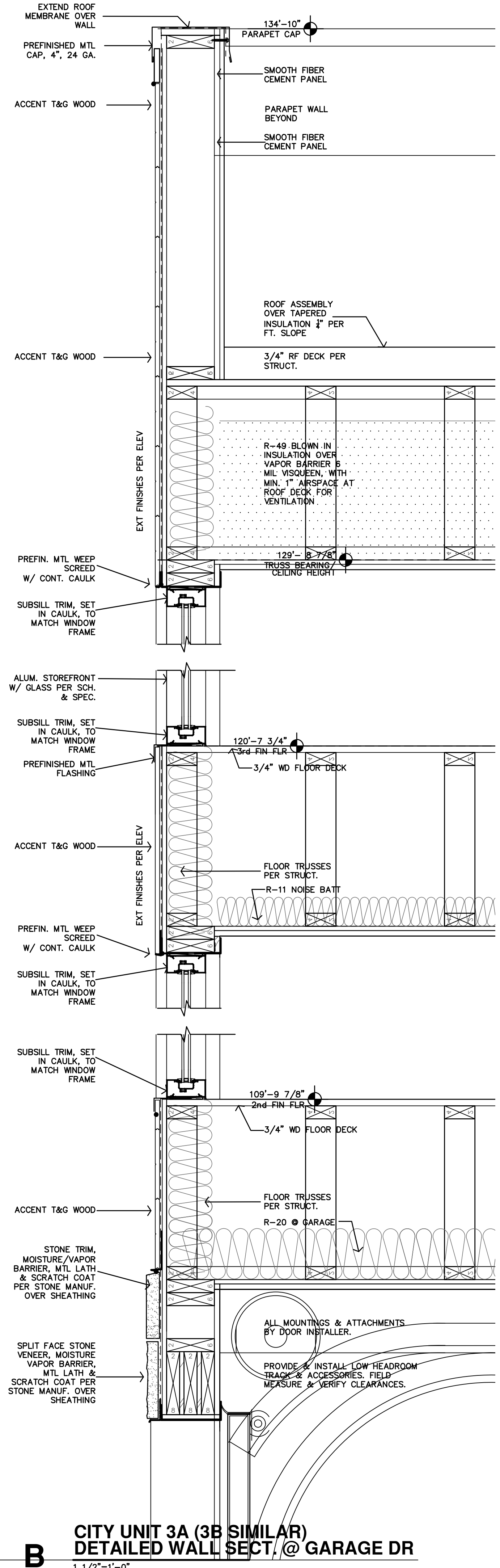
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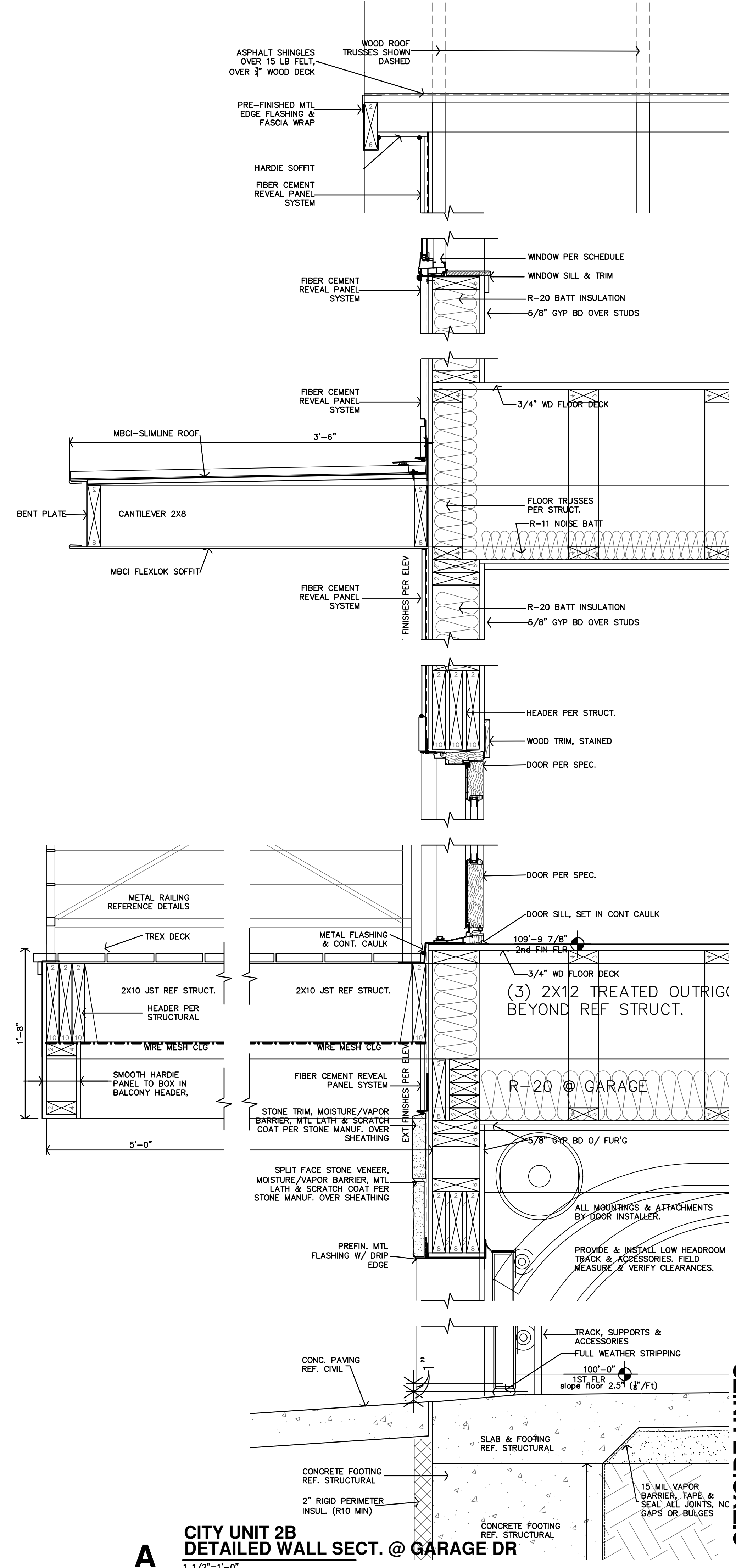
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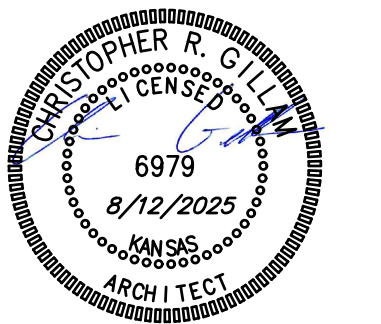




**B** CITY UNIT 3A (3B SIMILAR)  
 DETAILED WALL SECT. @ GARAGE DR  
 1 1/2"=1'-0"



**A** CITY UNIT 2B  
 DETAILED WALL SECT. @ GARAGE DR  
 1 1/2"=1'-0"



REVISION:

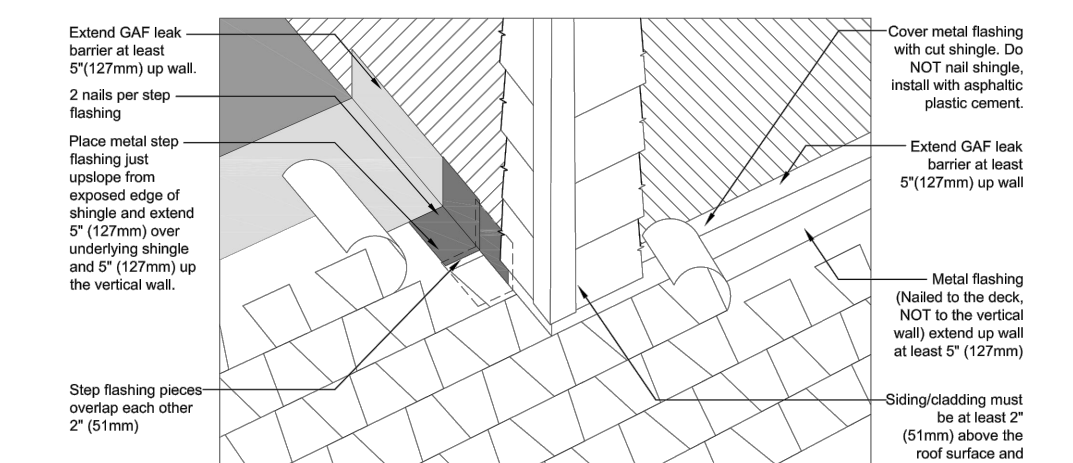
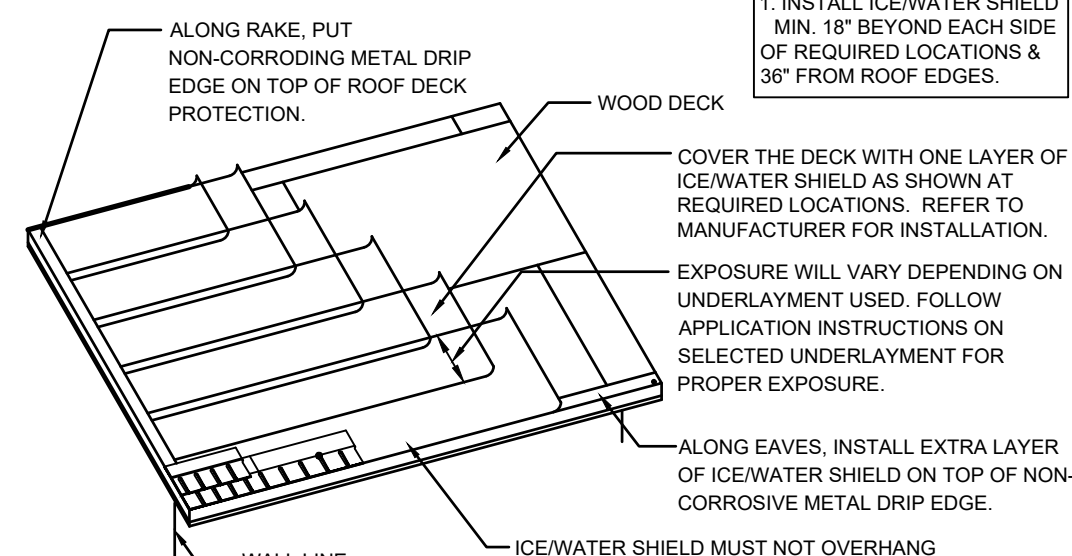
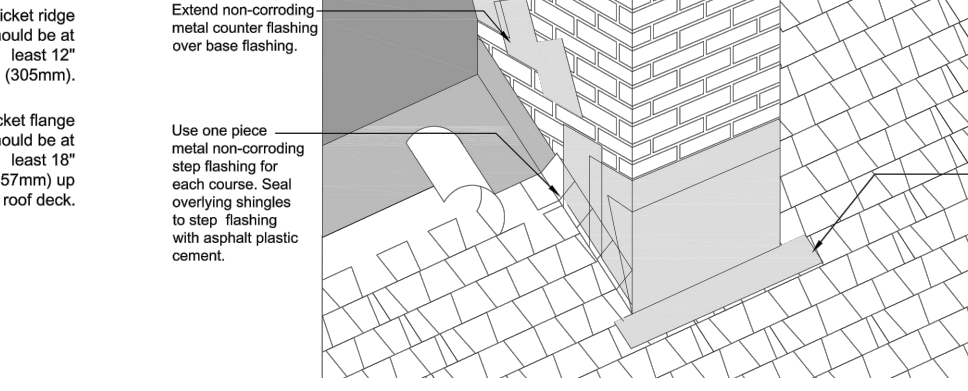
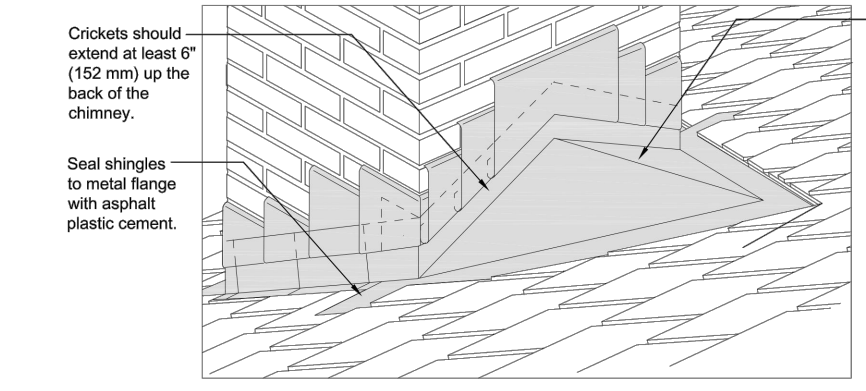
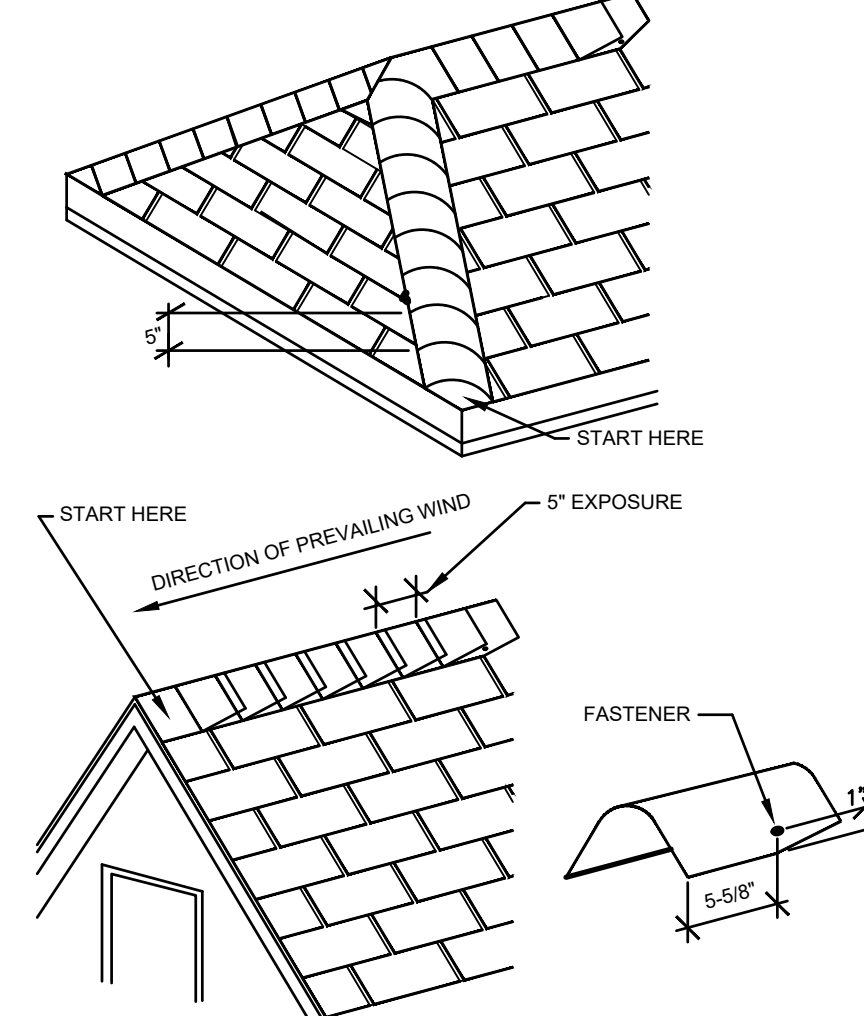
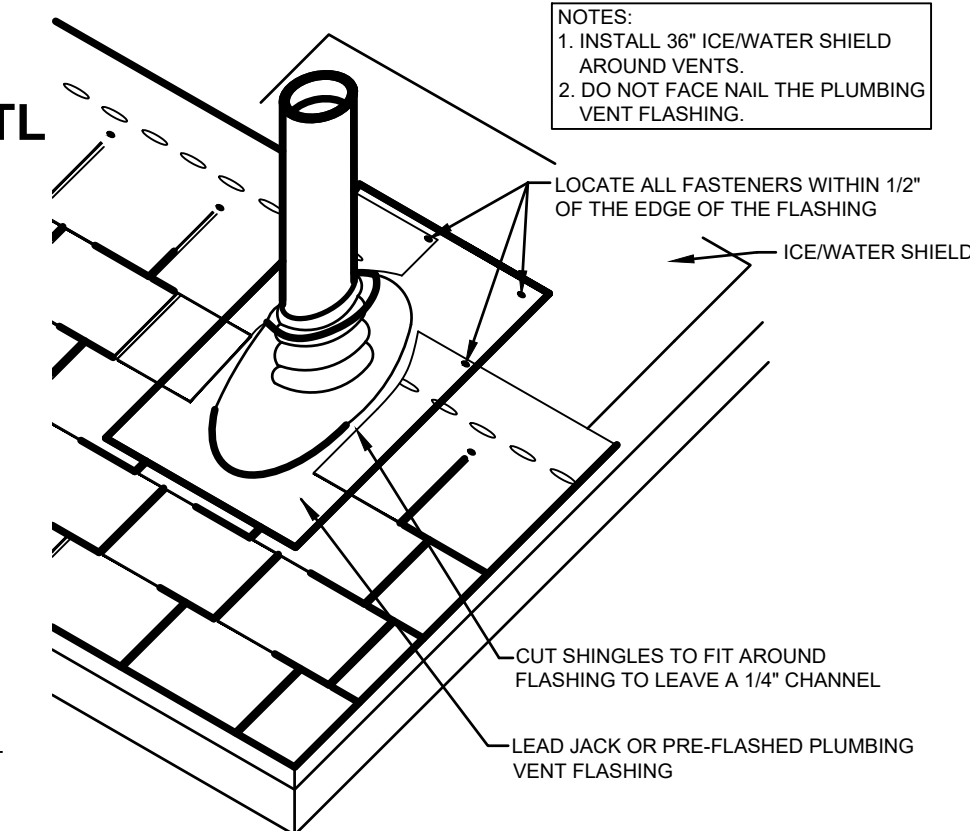
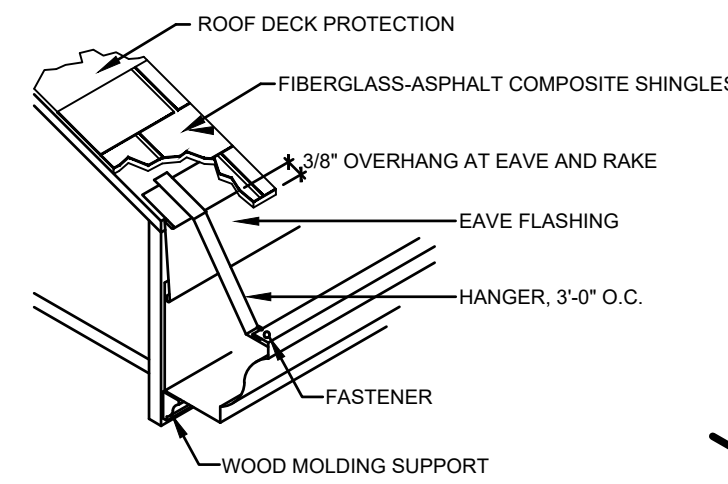
DATE:	8-12-2025
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### ROOFING DETAIL NOTES

1. TYPICAL MANUFACTURER'S DETAILS. ACTUAL CONDITIONS MAY VARY, REFER AND COORDINATE W/ BUILDING DETAILS PROVIDING THE MANUFACTURER'S MOST STRINGENT REQUIREMENTS, RECOMMENDATIONS, NECESSARY TO ACHIEVE COMPLETE WATERTIGHT WARRANTY.
2. A WOOD NALER IS REQUIRED WHEN INSULATION IS GREATER THAN 1" COORDINATE WITH MANUFACTURER'S REQUIREMENTS TOP OF WOOD ATTACH WOOD NAILERS SHALL BE SPACED NO GREATER THAN 18" O.C.

### MANUFACTURER'S—ROOFING DETAILS, CONDITIONS VARY



### ROOF GENERAL NOTES

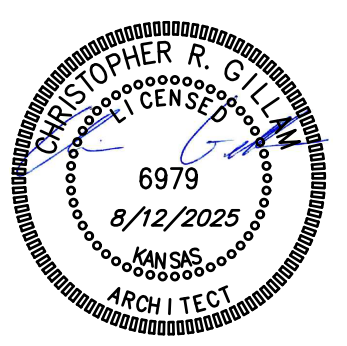
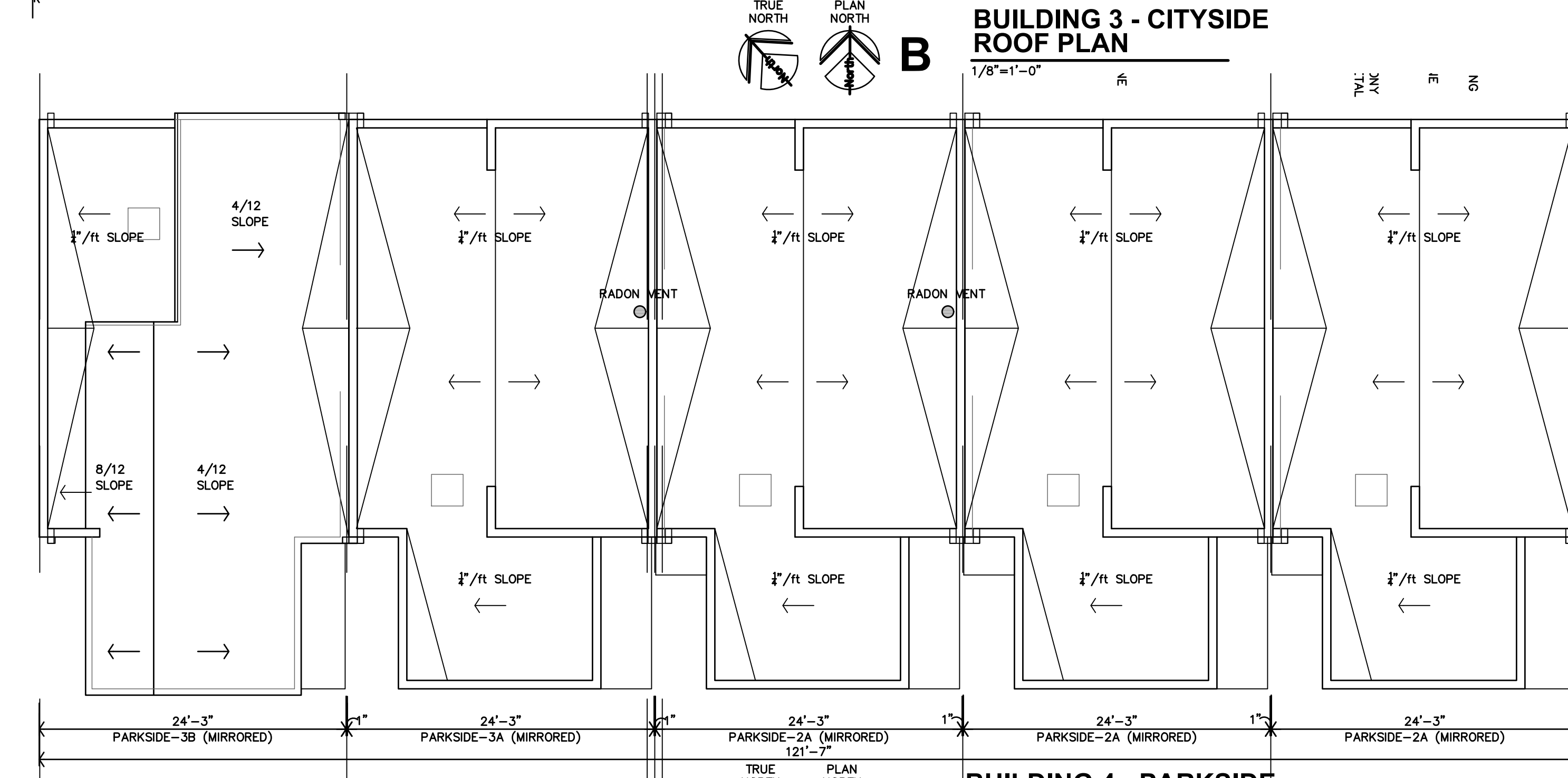
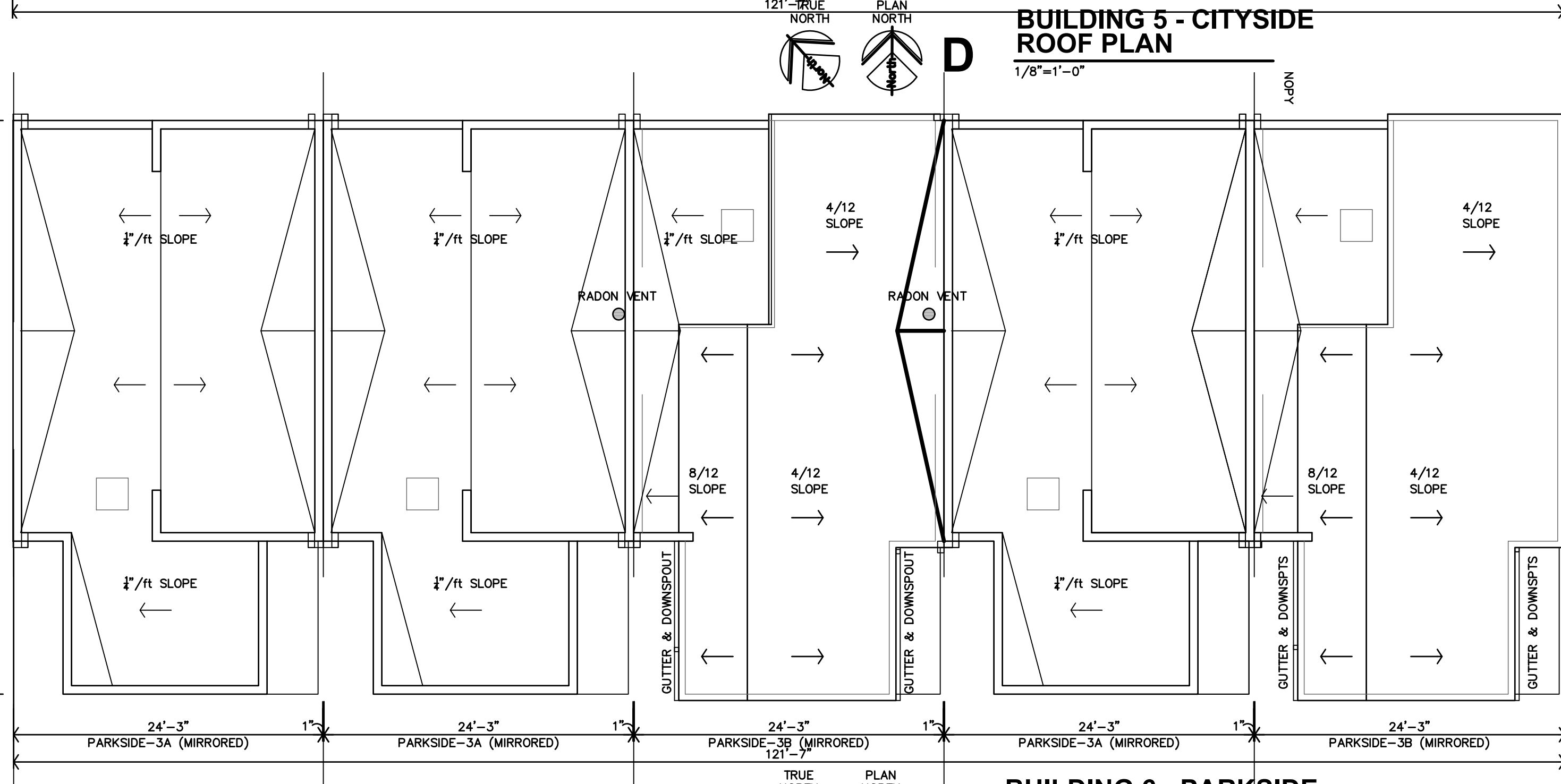
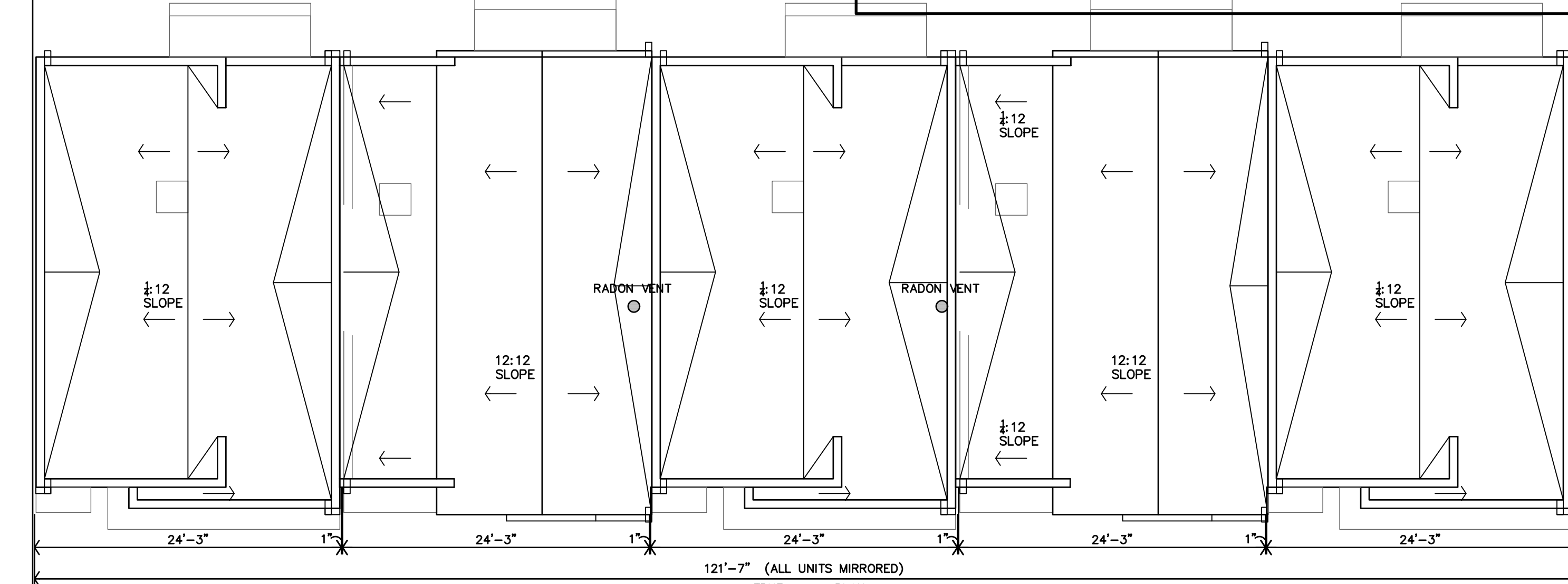
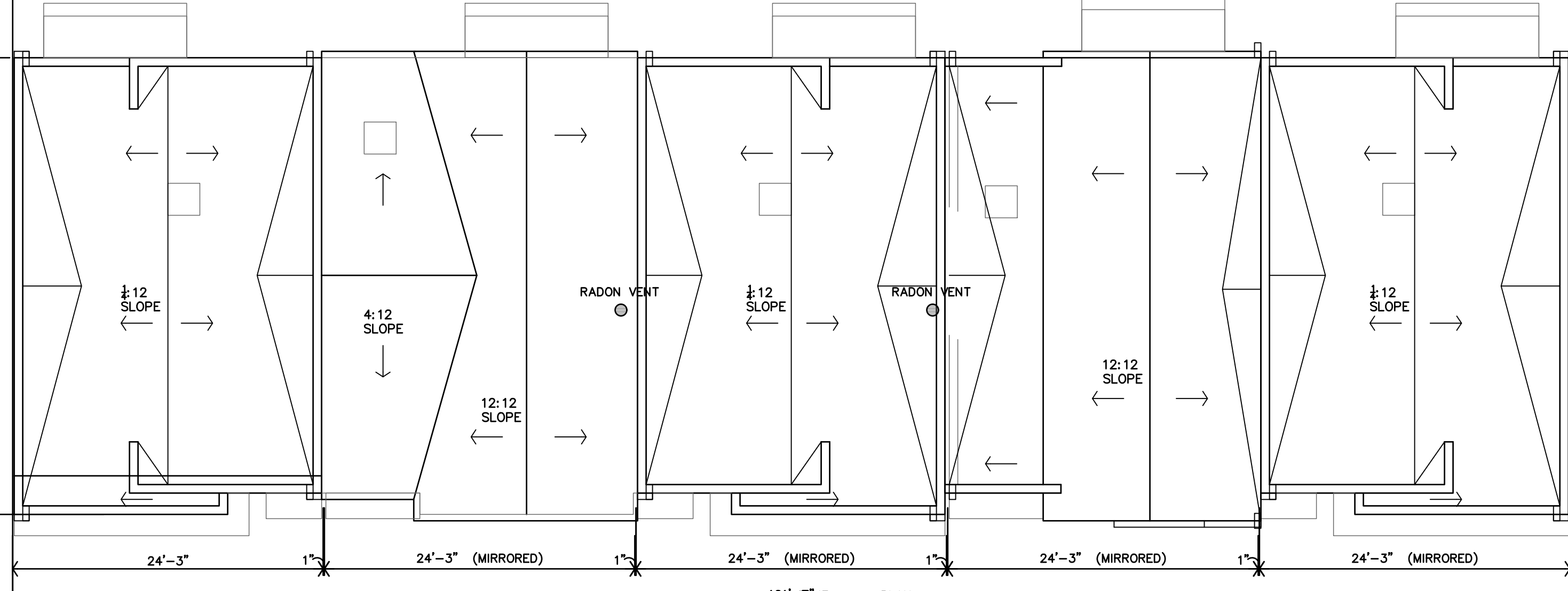
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
2. MANUFACTURER & INSTALLER SHALL BE RESPONSIBLE FOR TOTAL ROOF SYSTEM INCLUDING TRANSITIONS, FLASHINGS, ETC. TO MAINTAIN WATER TIGHT ROOF SYSTEM. SUBMIT MANUFACTURER'S AND ROOFING SYSTEMS PER THE GENERAL CONDITIONS.
3. MANUFACTURER SHALL WARRANT TOTAL ROOF SYSTEM.
4. REF. STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
5. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, RADON VENTS, ETC. NOT SHOWN FOR CLARITY. VERIFY LOCATION WITH ALL PLANS, INCL. MECHANICAL & PLUMBING DRAWINGS.
6. CONTRACTOR SHALL TIE-IN AND COORDINATE WITH UNDERGROUND ROOF COLLECTOR, EACH DOWNSPOUT LOCATION. REFERENCE CIVIL DRAWINGS.
7. INSTALL FIREBLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
8. CAULK & SEAL WATERTIGHT ALL JOINTS & TRANSITIONS.
9. ALL METAL MATERIALS (I.E. VALLEYS, FLASHINGS, ETC...) SHALL BE .0217\"/>

### ATTIC VENTILATION

ATTIC VENTILATION PER IBC, (EXCEPTION 2), 1/300 WITH ASTM 396 VAPOR BARRIER, RIDGE VENT SHALL PROVIDE A MIN. OF 18 SQUARE INCHES OF (NFA) OF VENTILATION PER LINEAR FOOT. SOFFIT VENT SHALL PROVIDE A MIN. OF 8.5 SQUARE INCHES OF (NFA) OF VENTILATION PER LINEAR FOOT. ROOF VENT SHALL PROVIDE A MIN. OF 50 SQUARE INCHES OF (NFA) OF VENTILATION EACH. ADDITIONAL AND OPTIONAL VENTS MUST BE INSTALLED IF THESE AREAS ARE NOT PROVIDED OR MET.

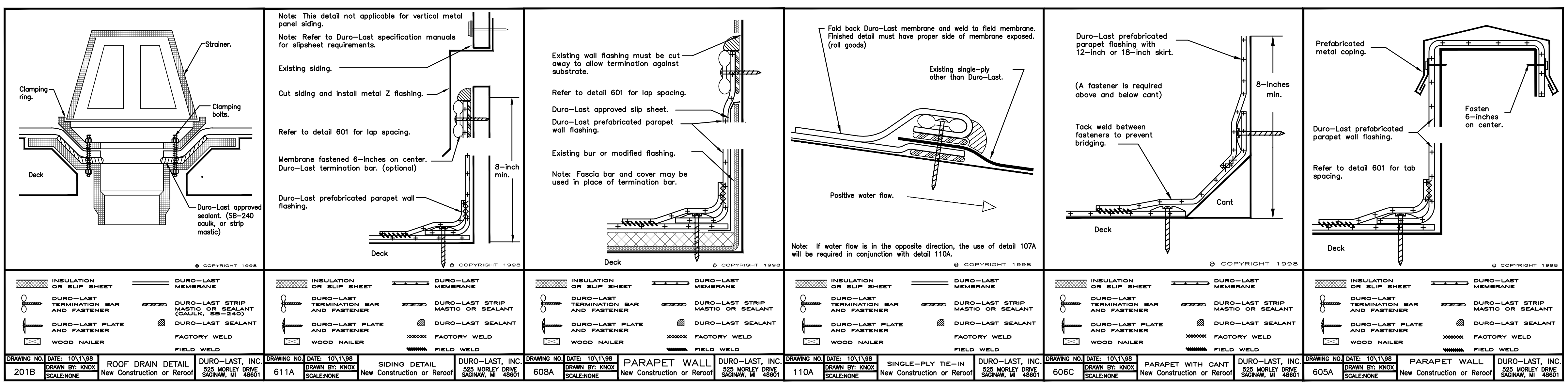
**PARKSIDE 2A, 3A, 3B LOW SLOPE MEMBRANE ROOF & PICHED SLOPED ROOF TOTAL AREA (995 SF)**  
 ATTIC VENTILATION AREA MUST PROVIDE THE MINIMUM WITH A COMBINATION OF THE FOLLOWING:  
 (995/300sf = 3.32/2 = 1.66sf NFA, 2 OF THE FOLLOWING)  
 RIDGE VENT - 1.66sf OF NFA (1.66sf=239sf/18sf= 13.3 LF  
 SOFFIT VENT - 1.66sf OF NFA (1.66sf=239sf/8.5sf= 28.1 LF  
 ROOF VENT - 1.66sf OF NFA (1.66sf=239sf/50sf= 5 EACH

**CITYSIDE 2A, 3A, 2B LOW SLOPE MEMBRANE ROOF & GABLED SLOPE ROOF TOTAL AREA (844 SF)**  
 ATTIC VENTILATION AREA MUST PROVIDE THE MINIMUM WITH A COMBINATION OF THE FOLLOWING:  
 (844/300sf = 2.82/2 = 1.41sf NFA, 2 OF THE FOLLOWING)  
 RIDGE VENT - 1.41sf OF NFA (1.41sf=203sf/18sf= 11.3 LF  
 SOFFIT VENT - 1.41sf OF NFA (1.41sf=203sf/8.5sf= 23.8 LF  
 ROOF VENT - 1.41sf OF NFA (1.41sf=203sf/50sf= 5 EACH



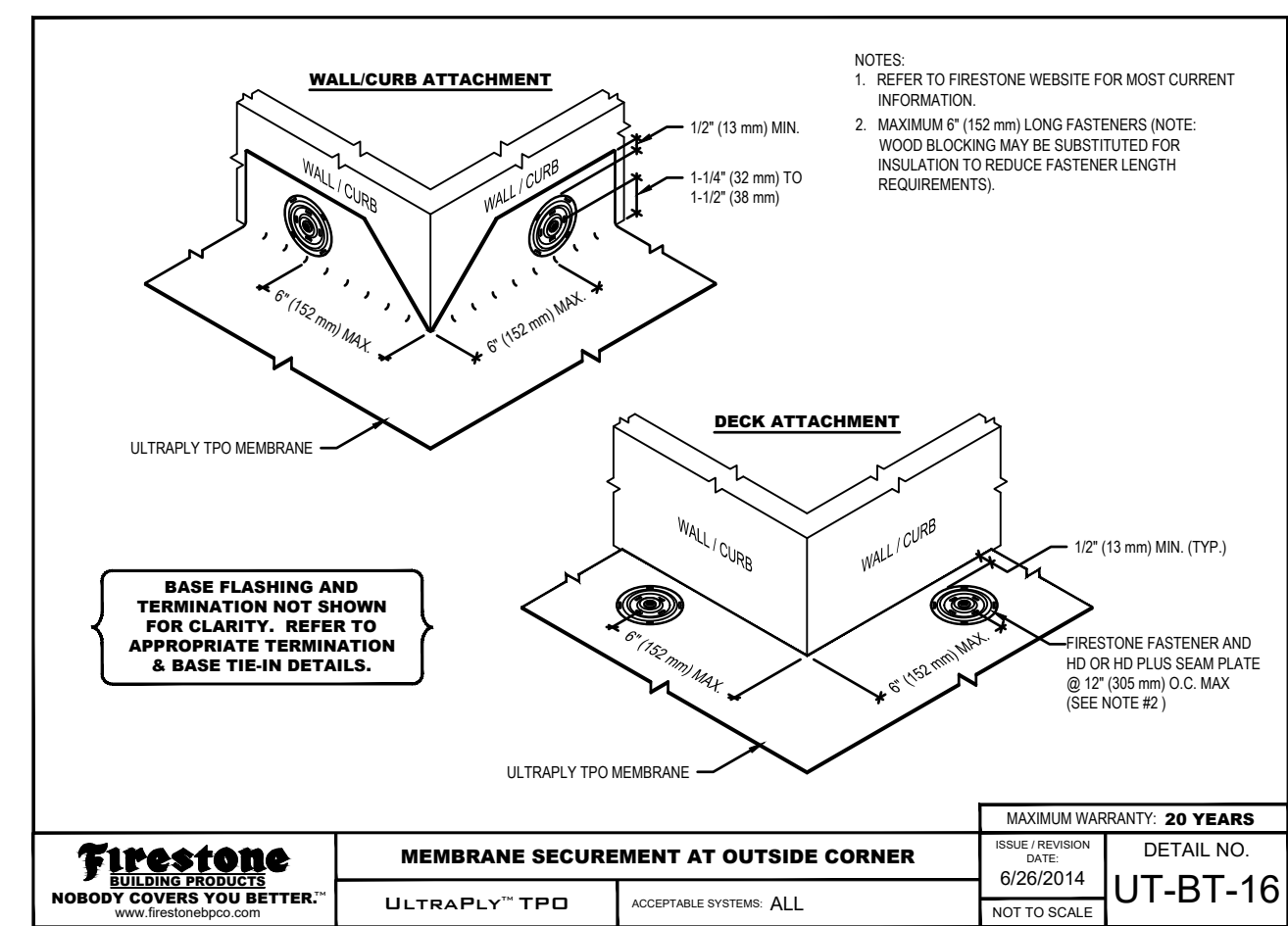
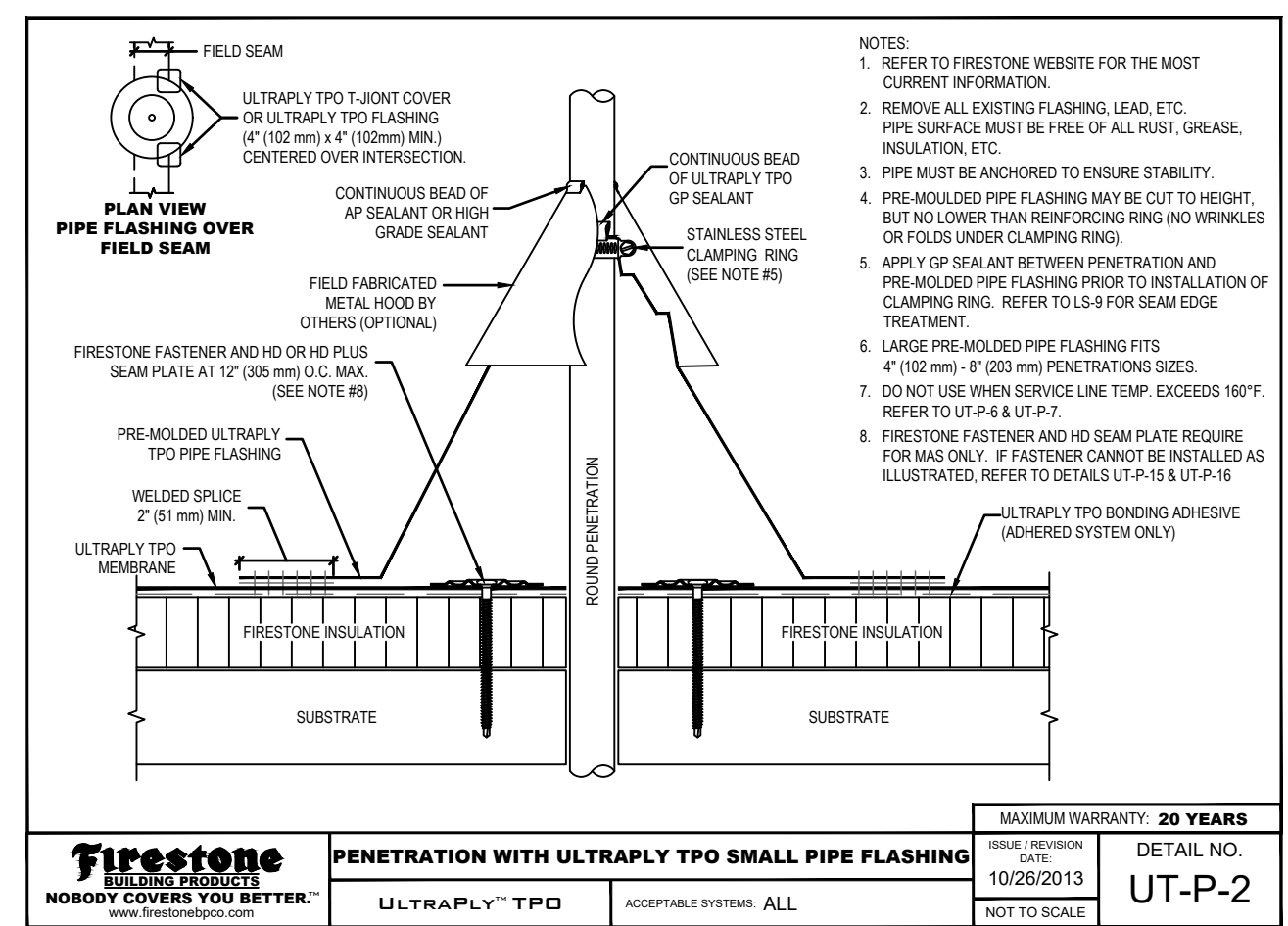
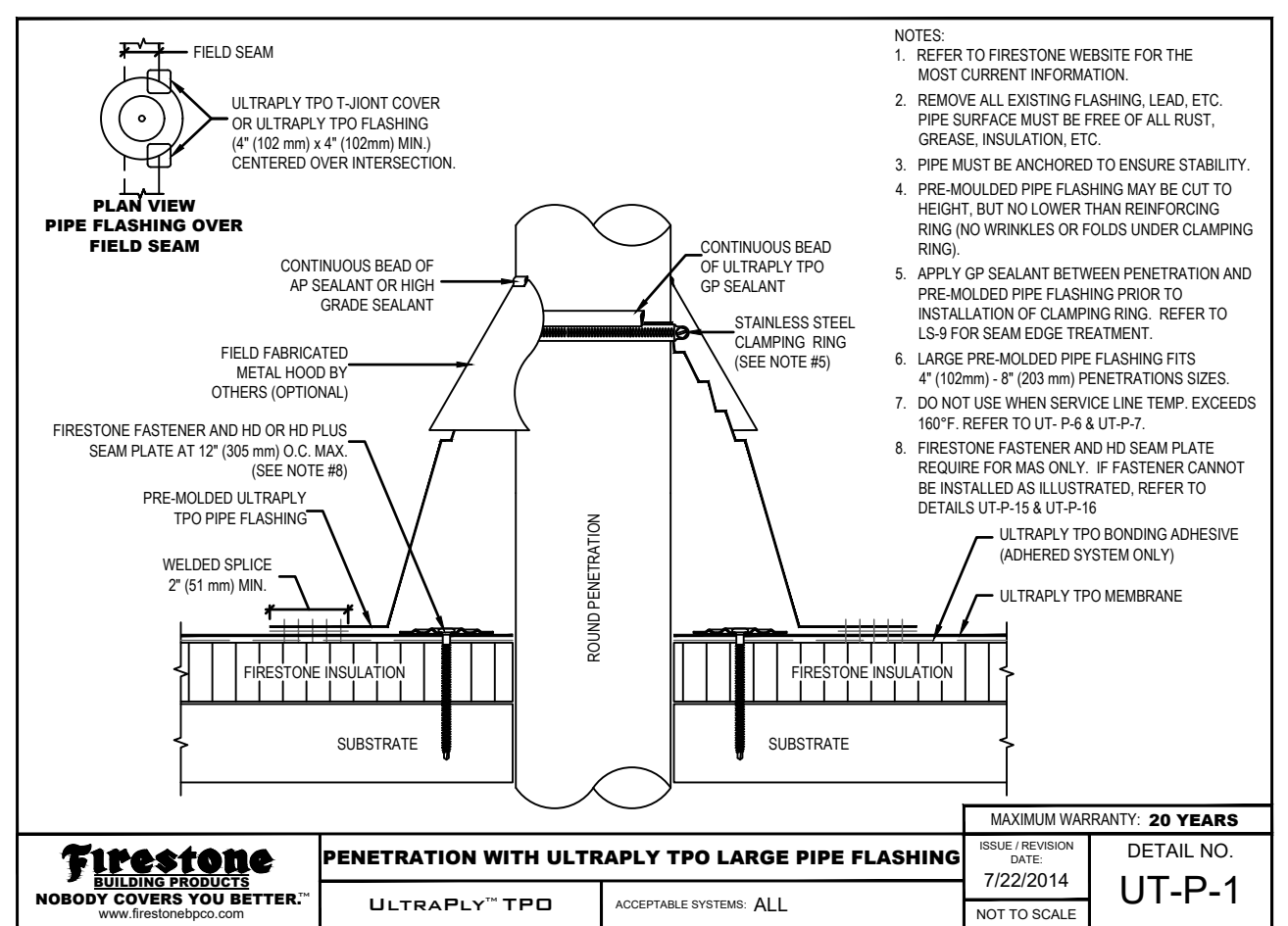
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**DURO-LAST MECHANICALLY ATTACHED ROOFING DETAILS**  
 BASIS OF SPECIFICATION. ACTUAL FIELD AND SUBSTRATE CONDITIONS VARY-REFERENCE SPECIFICATIONS

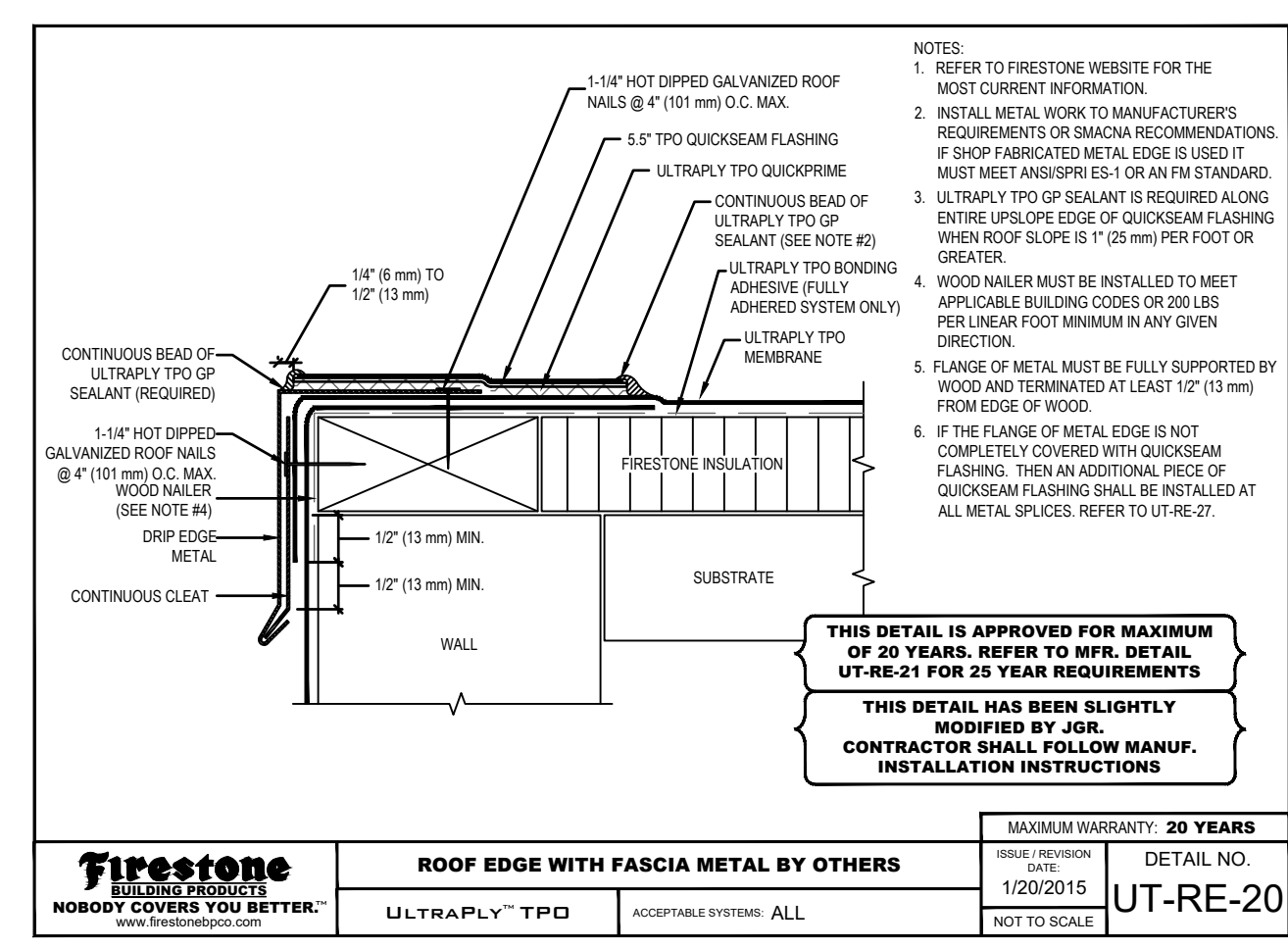
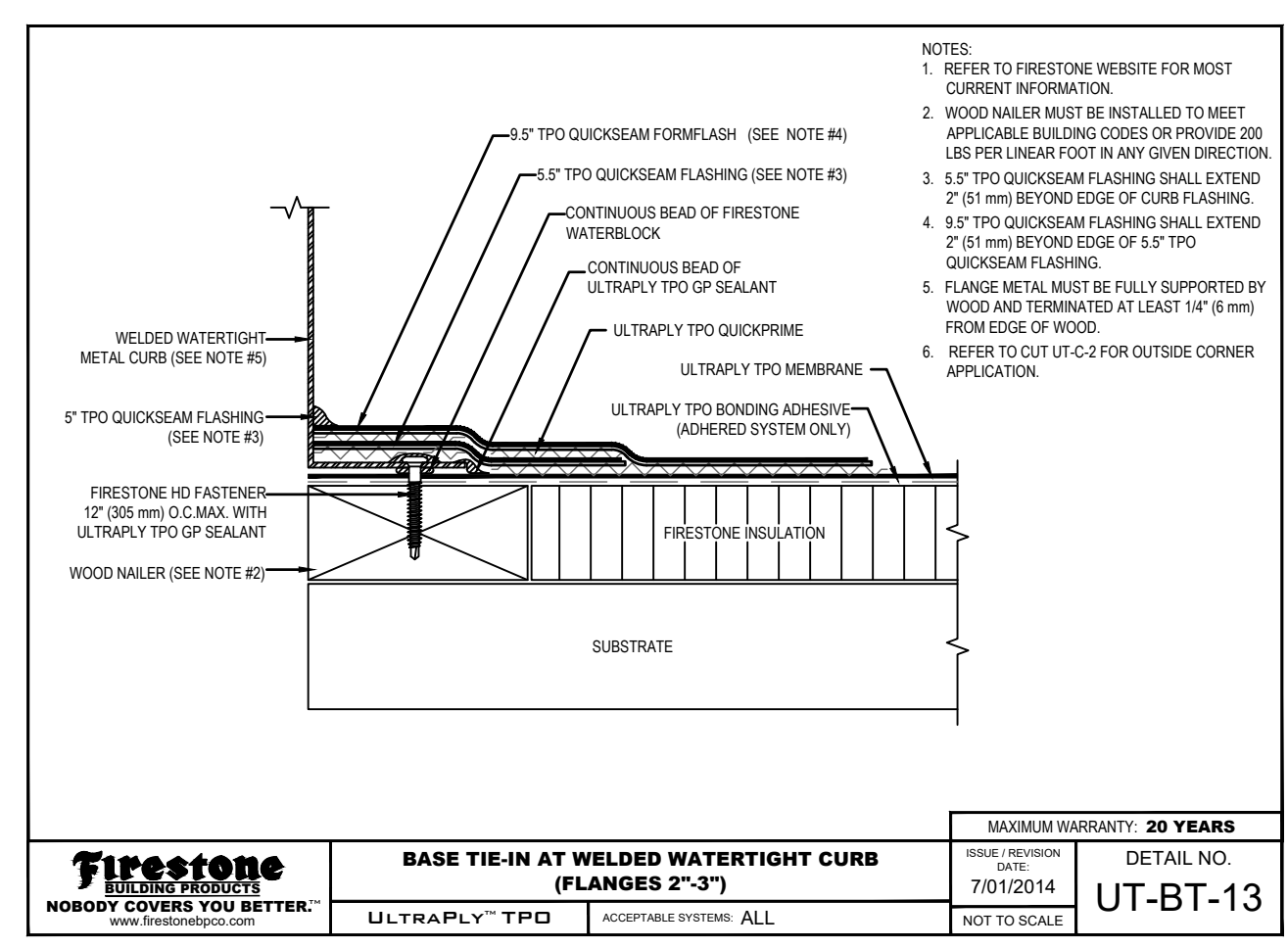
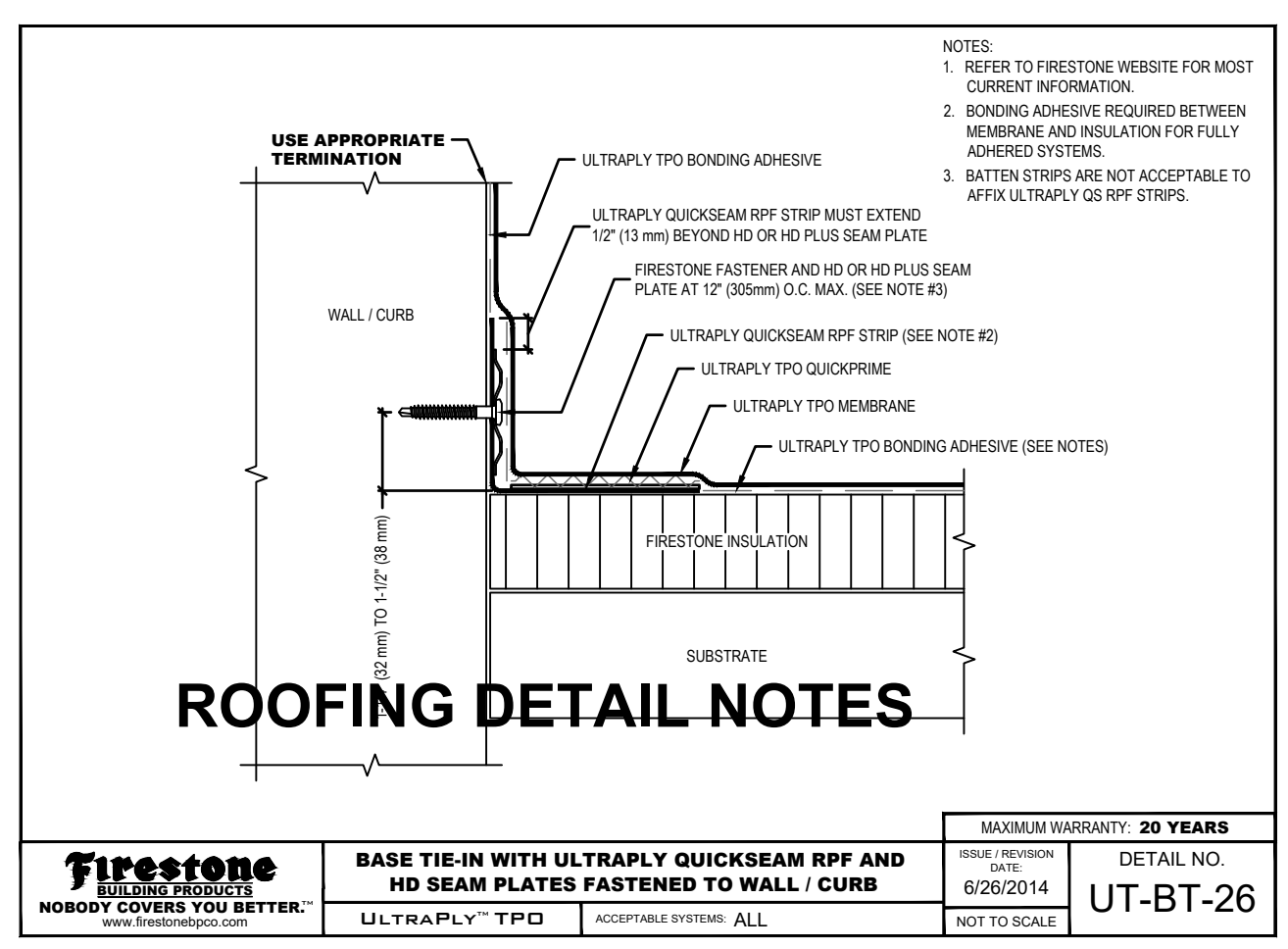
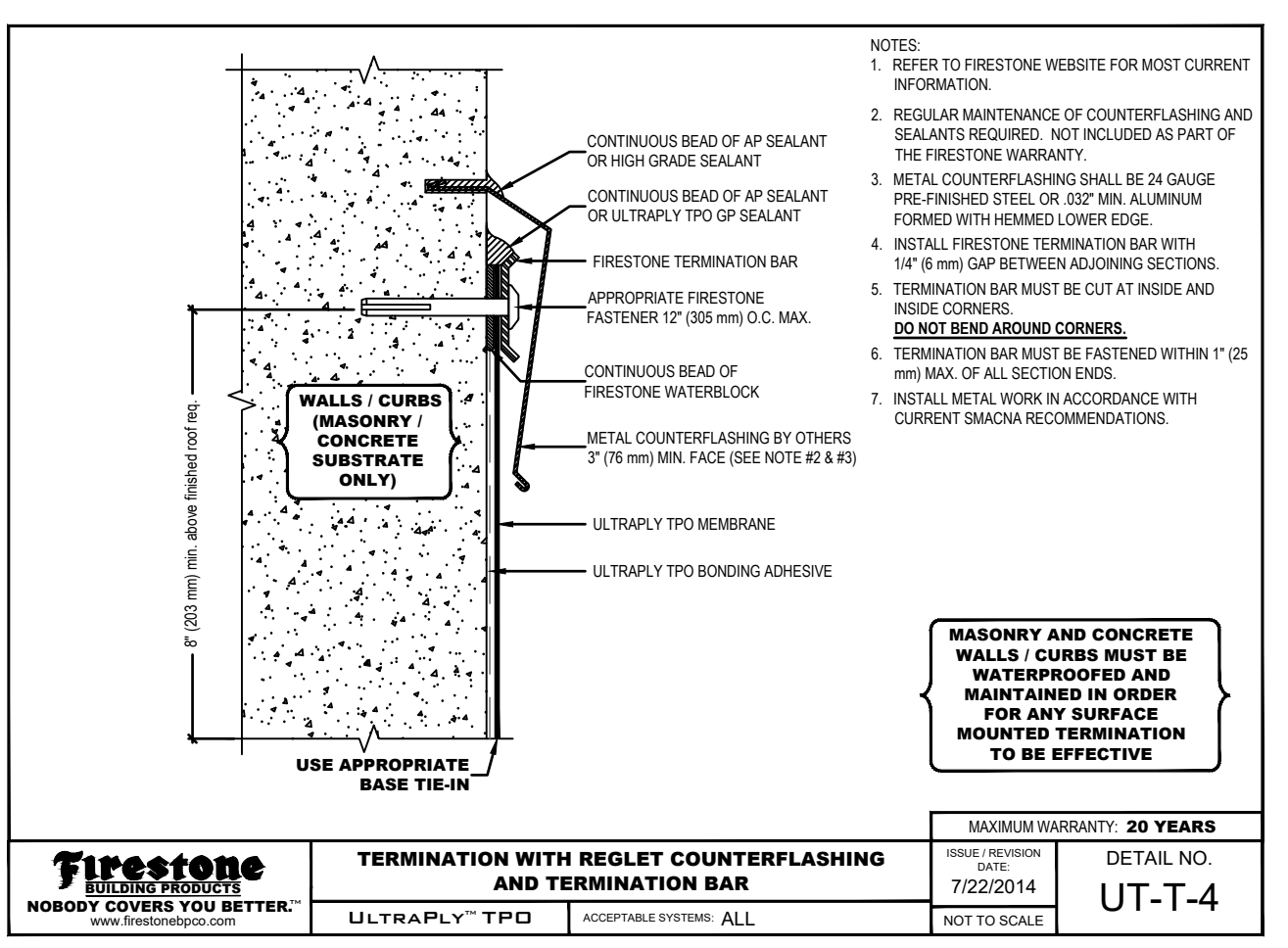
ROOFING DETAILS THIS SHEET ARE FOR BASE BID, DUROLAST OR FIRESTONE TPO MEMBRANE ROOF SYSTEM. THESE ARE MANUFACTURER'S STANDARD DETAILS FOR BASIS OF SPECIFICATION, AND FOR REFERENCE PURPOSES ONLY. FIELD CONDITIONS VARY. CONTRACTOR IS RESPONSIBLE TO INSTALL A COMPLETE, WEATHER-TIGHT ASSEMBLY IN FULL COMPLIANCE WITH THE SPECIFIED WARRANTIES.



**G LARGE PIPE DTL.**  
 NO SCALE

**F SMALL PIPE DTL.**  
 NO SCALE

**E OUTSIDE CORNER DTL.**  
 NO SCALE



**D FLASHING DETAIL**  
 NO SCALE

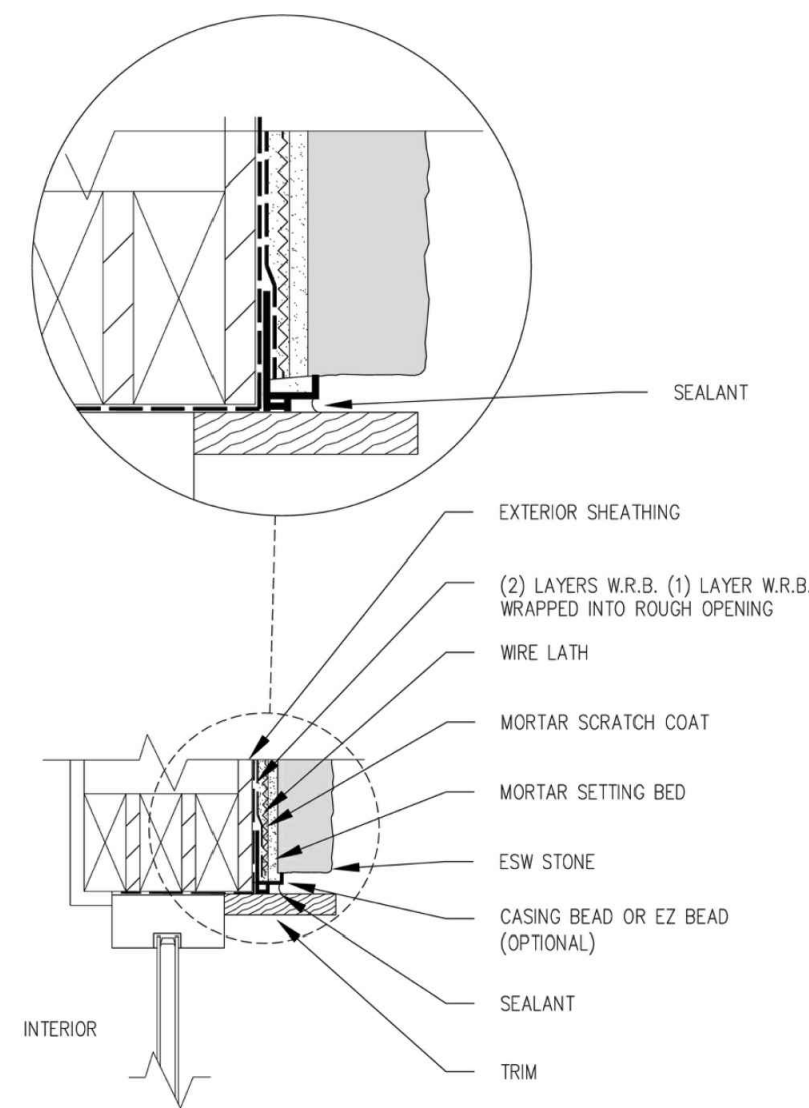
**C ROOF-TO-WALL TIE-IN**  
 NO SCALE

**B EQUIP. CURB DETAIL**  
 NO SCALE

**A ROOF EDGE DTL.**  
 NO SCALE

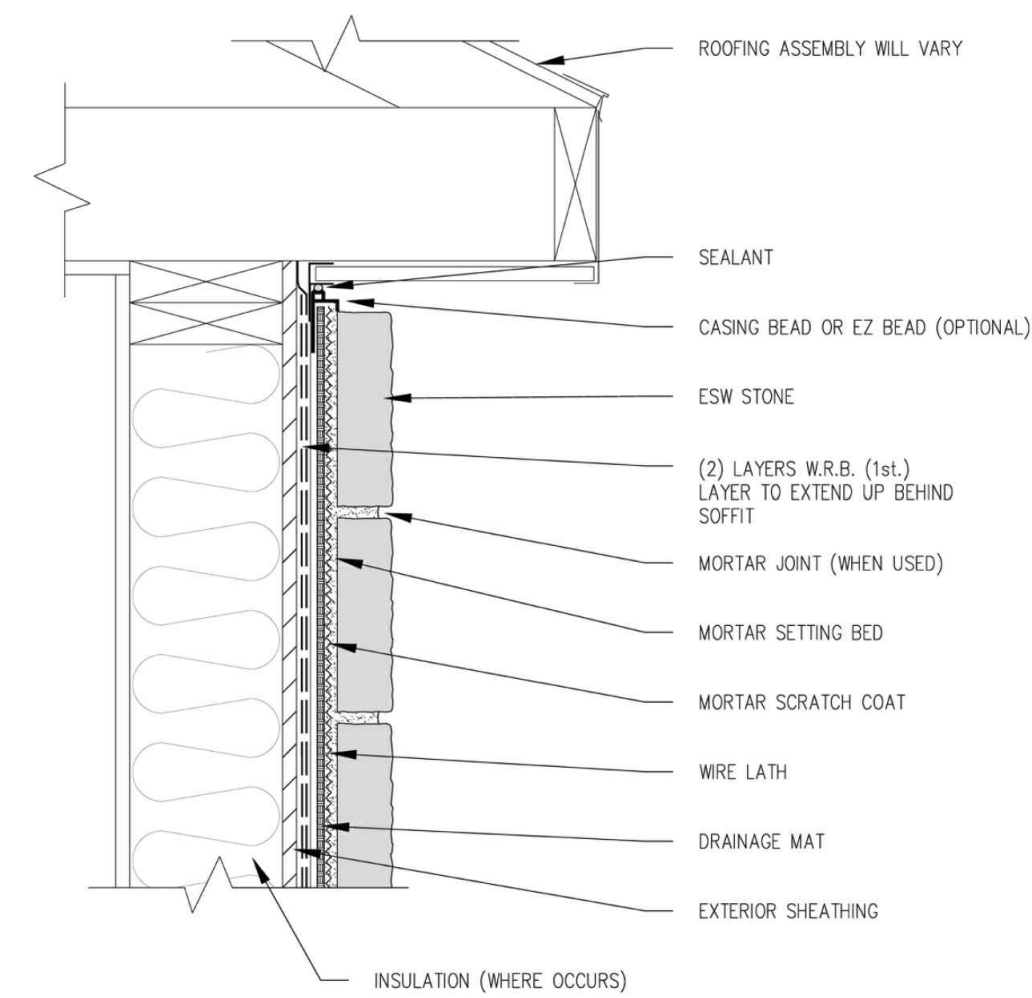
**FIRESTONE FULLY ADHERED TPO ROOFING STANDARD DETAILS**  
 BASIS OF SPECIFICATION. ACTUAL FIELD AND SUBSTRATE CONDITIONS VARY-REFERENCE SPECIFICATIONS





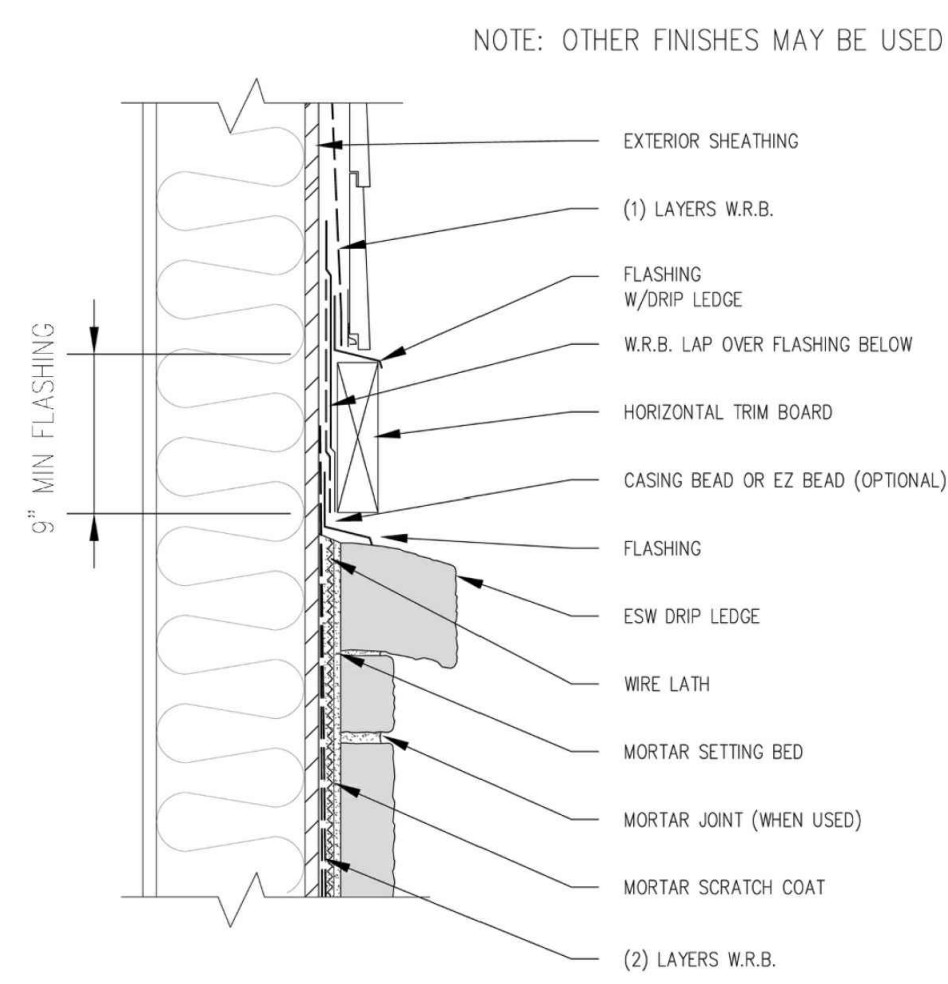
**18 Commercial window jamb with trim**

NO SCALE



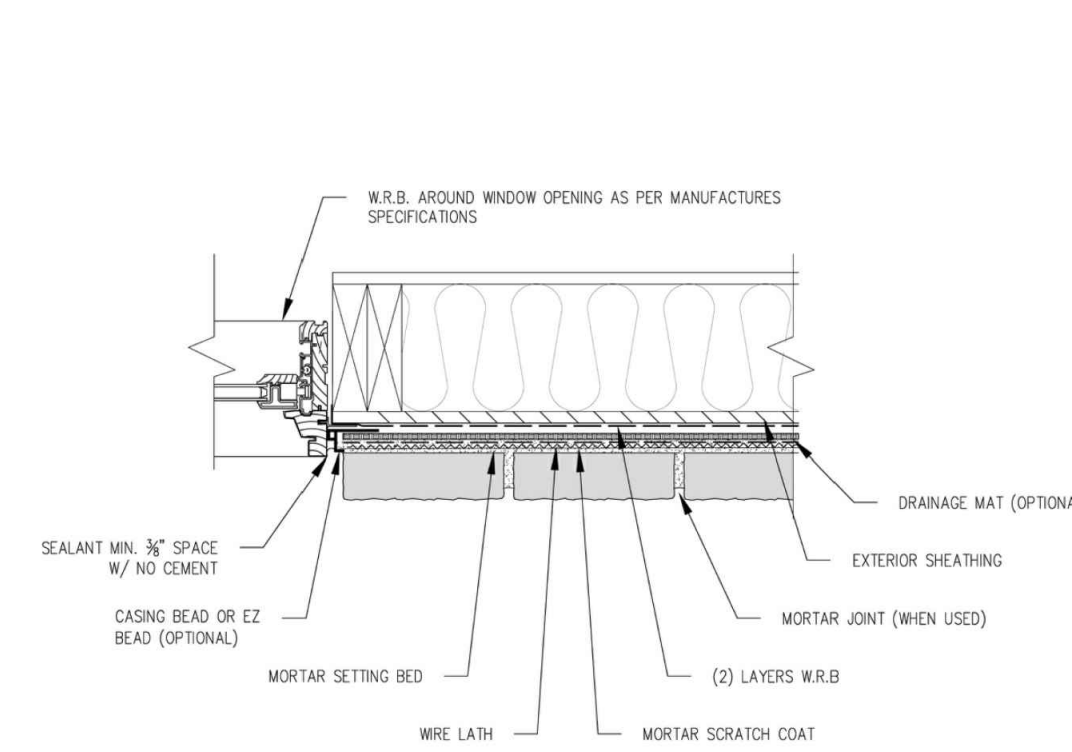
**14 Top of wall with drainage mat**

NO SCALE



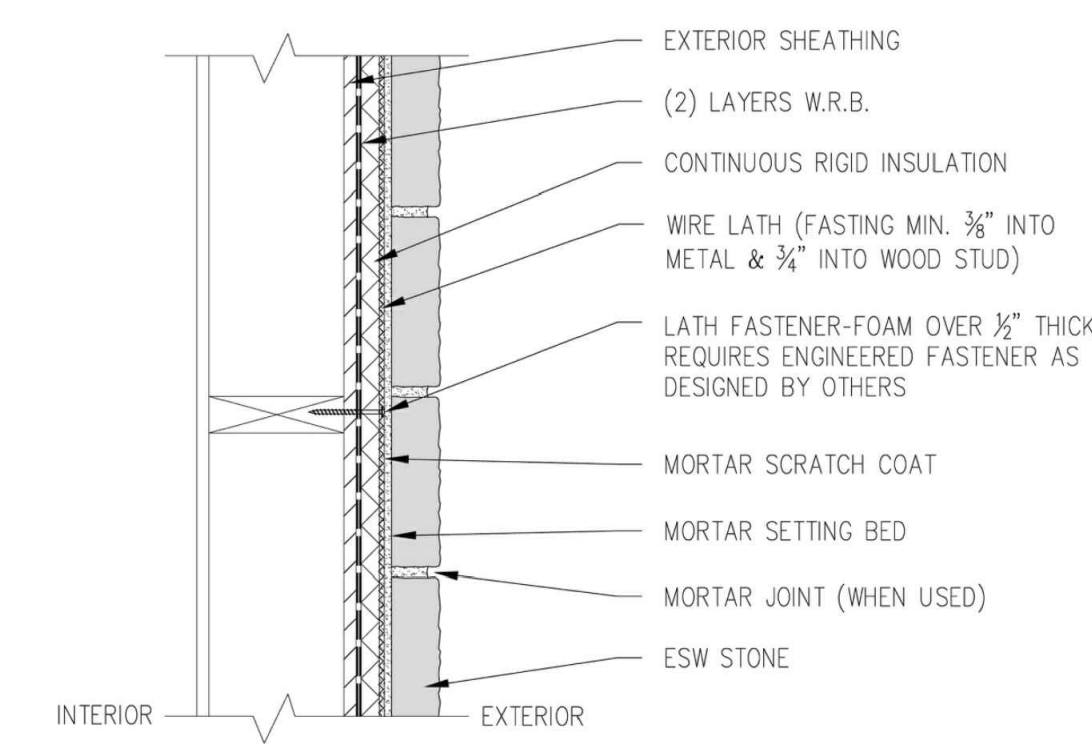
**13 Horizontal transition with stone drip ledge**

NO SCALE



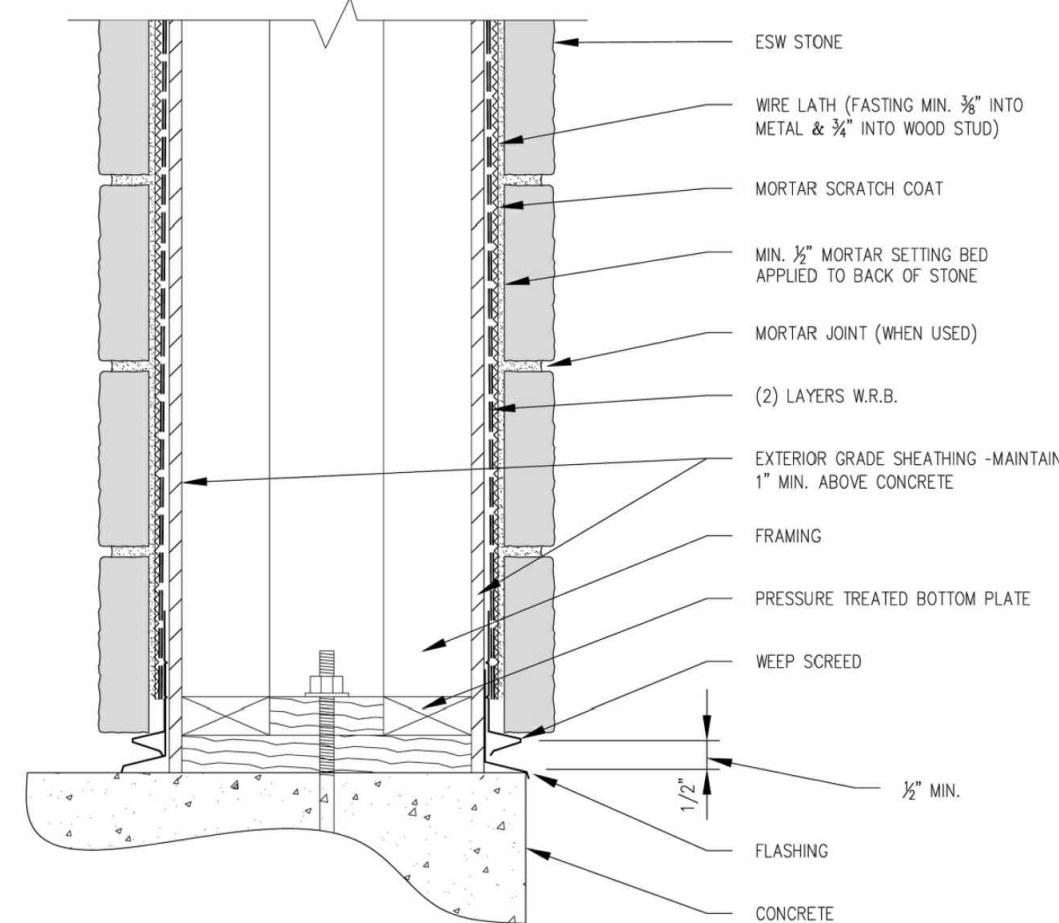
**12 Window jamb optional drainage mat**

NO SCALE



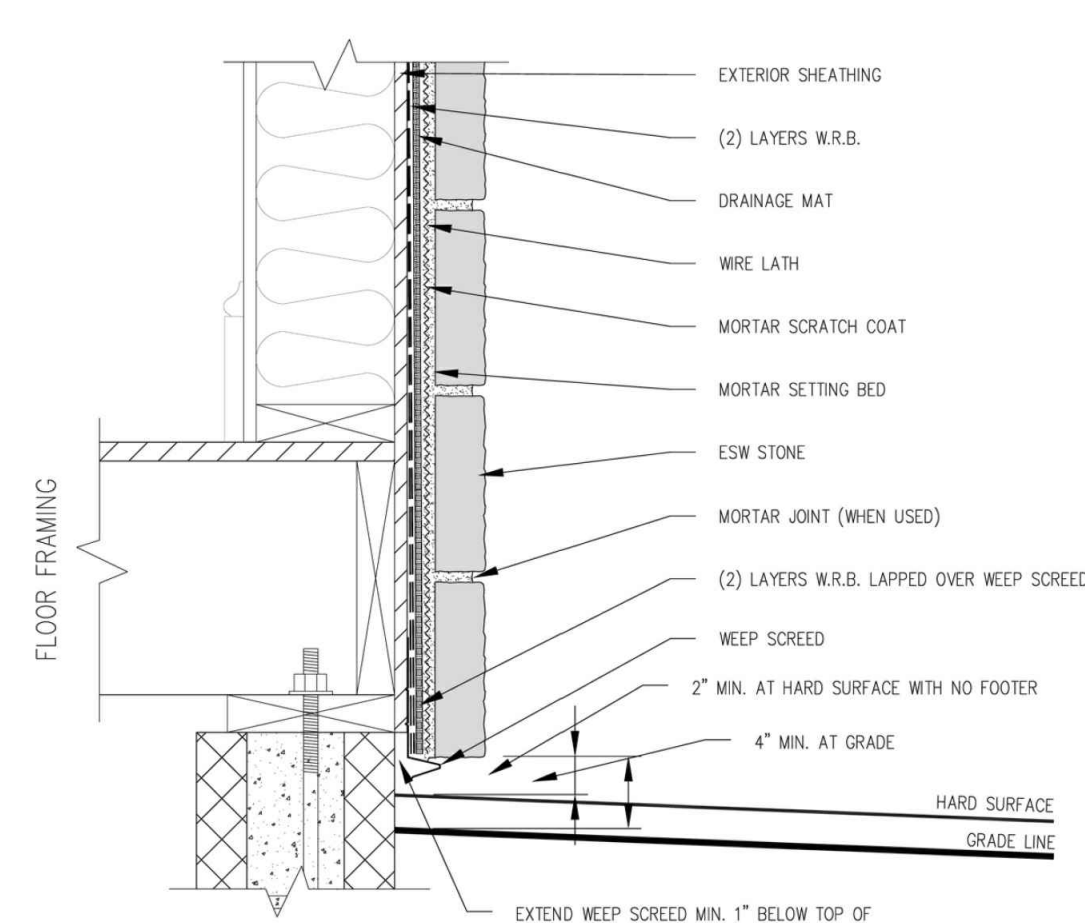
**11 Wall over continuous rigid insulation**

NO SCALE



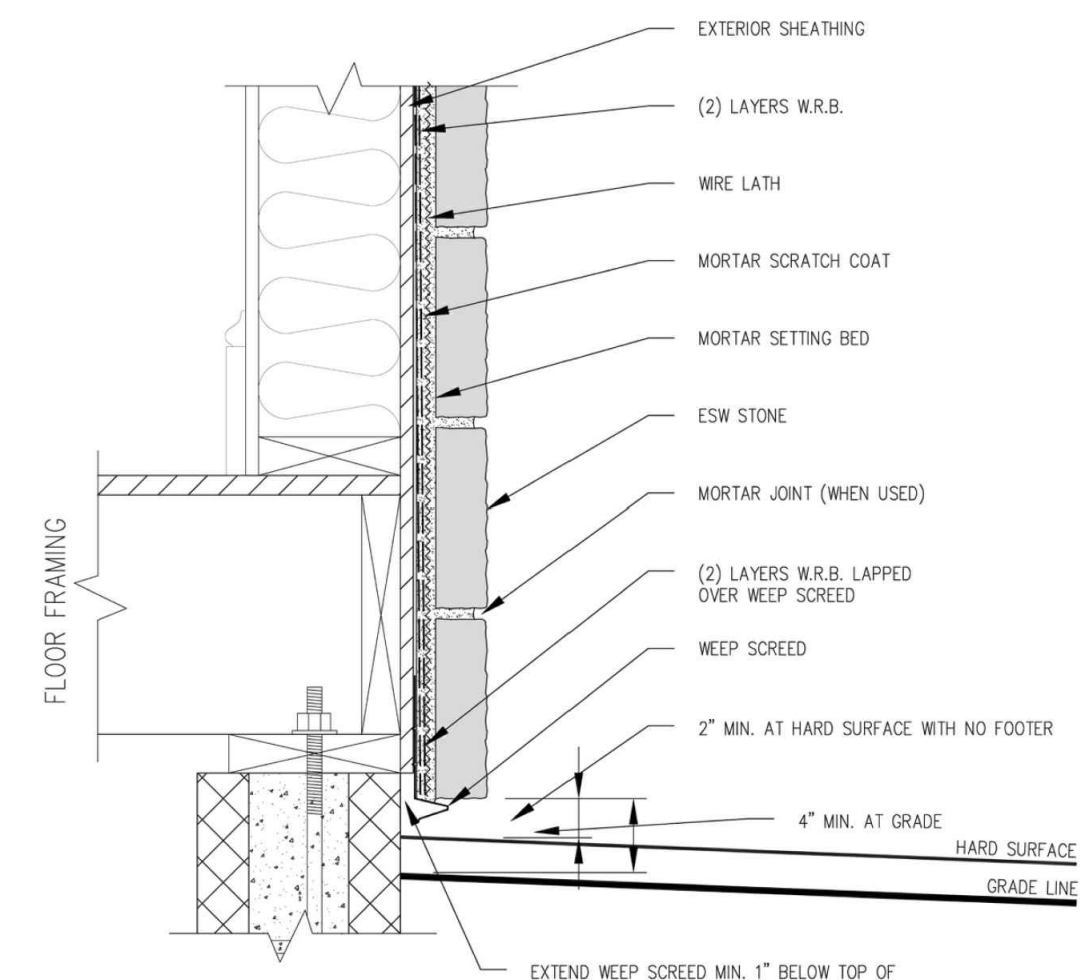
**10 Wood column base**

NO SCALE



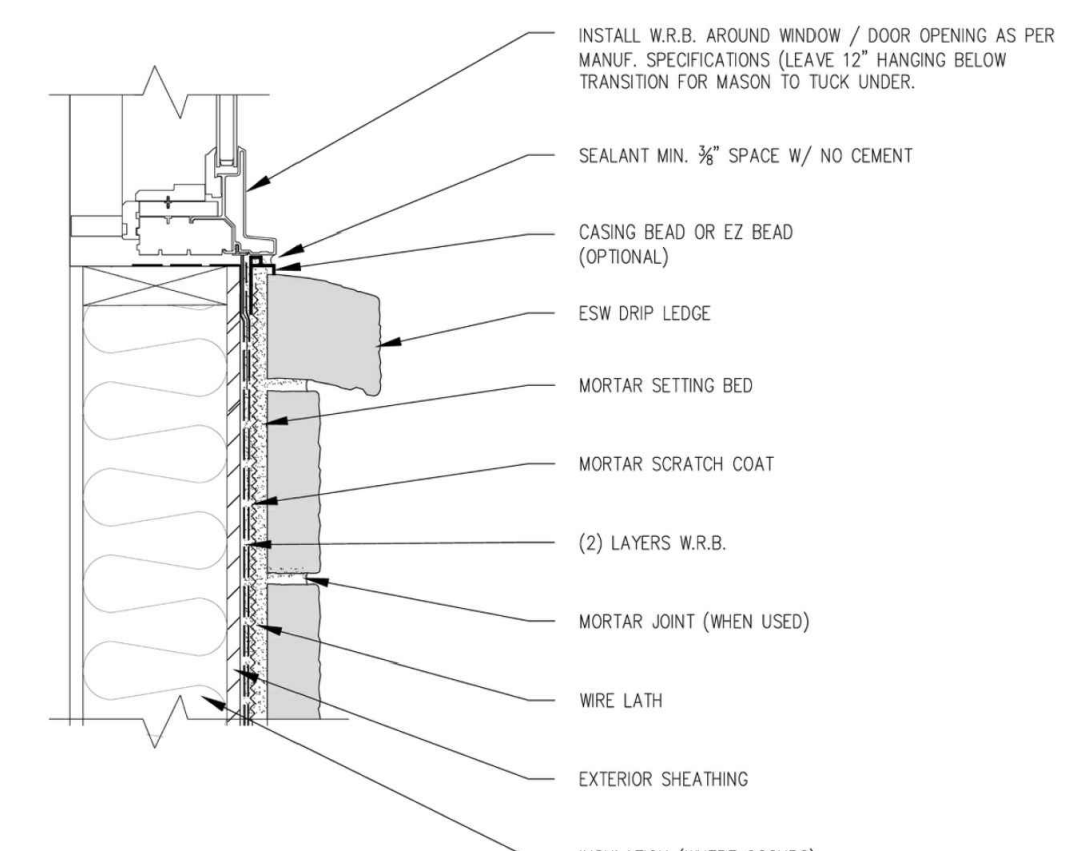
**9 Foundation wall at base with (optional) drainage mat**

NO SCALE



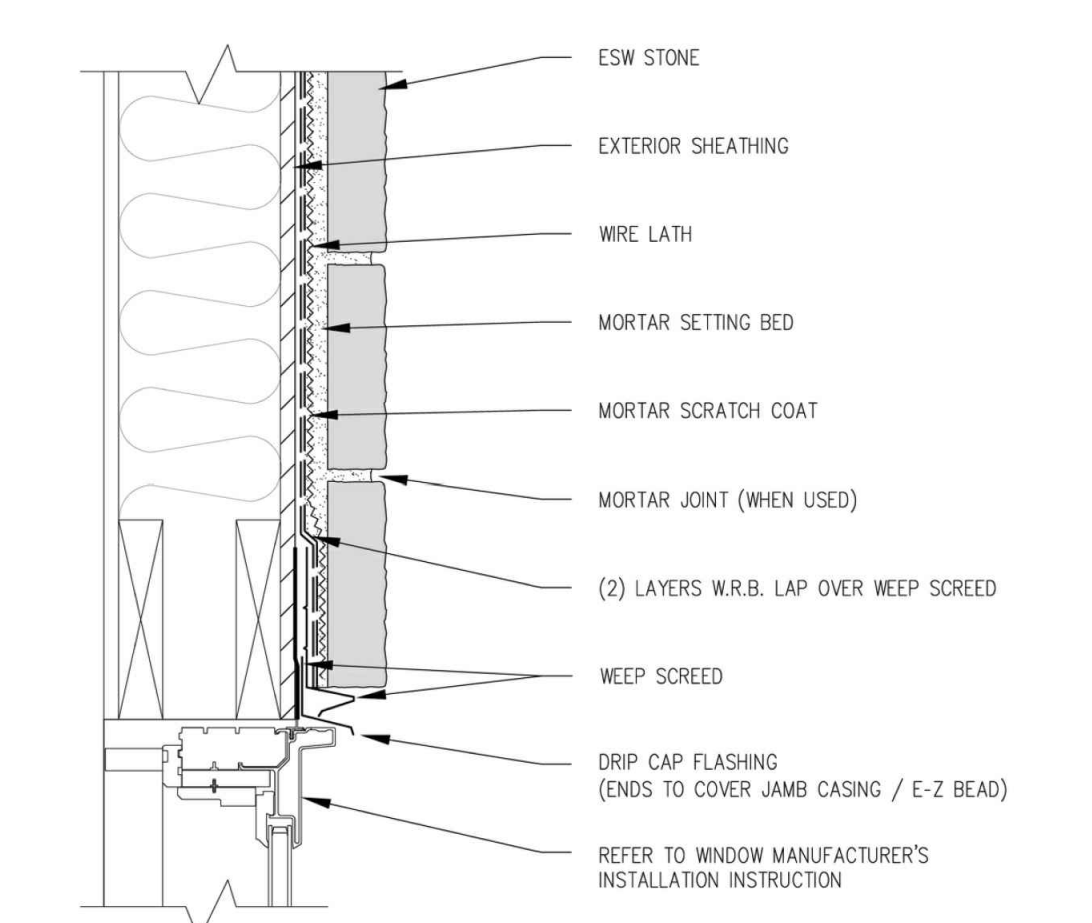
**8 Foundation wall at base**

NO SCALE



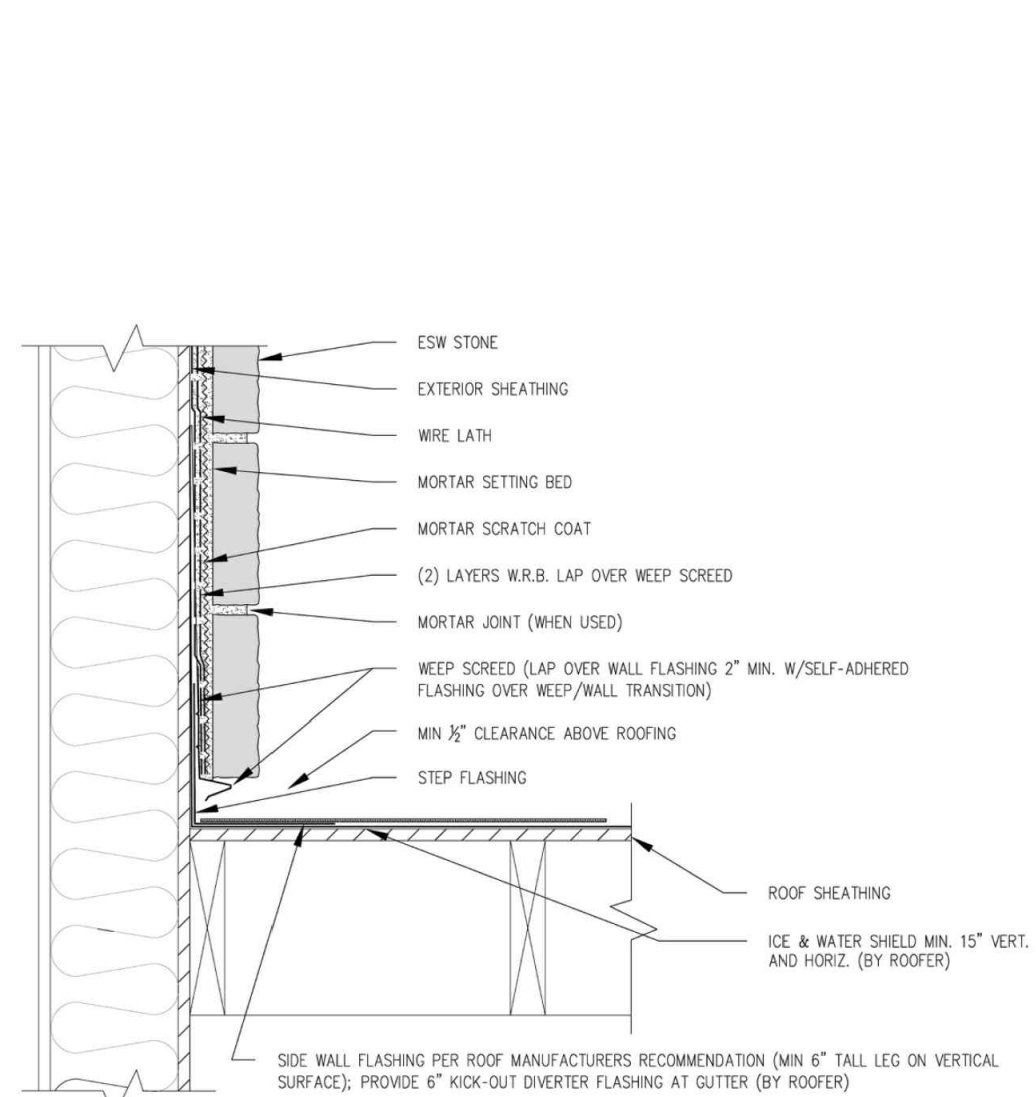
**7 Window Sill with stone drip edge**

NO SCALE



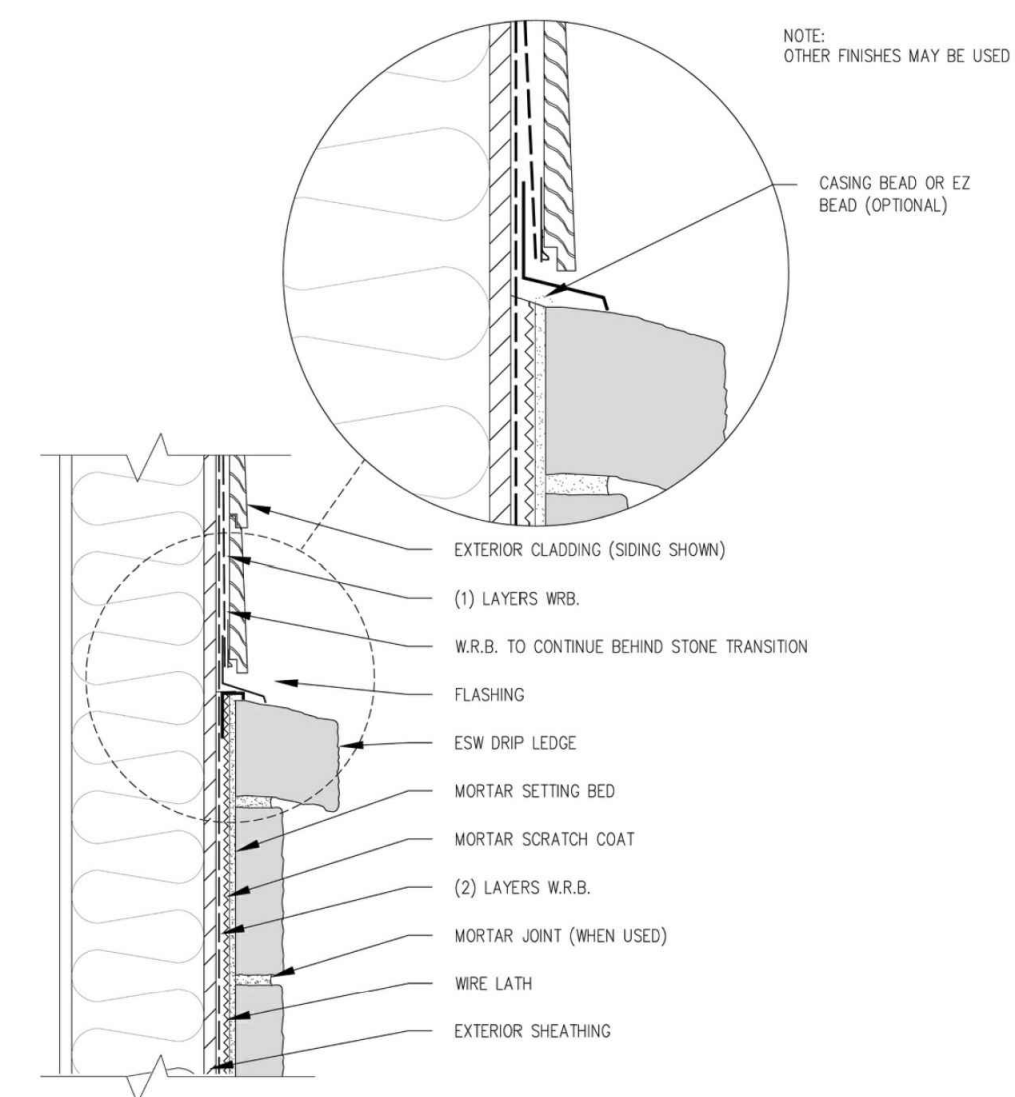
**6 Window head**

NO SCALE



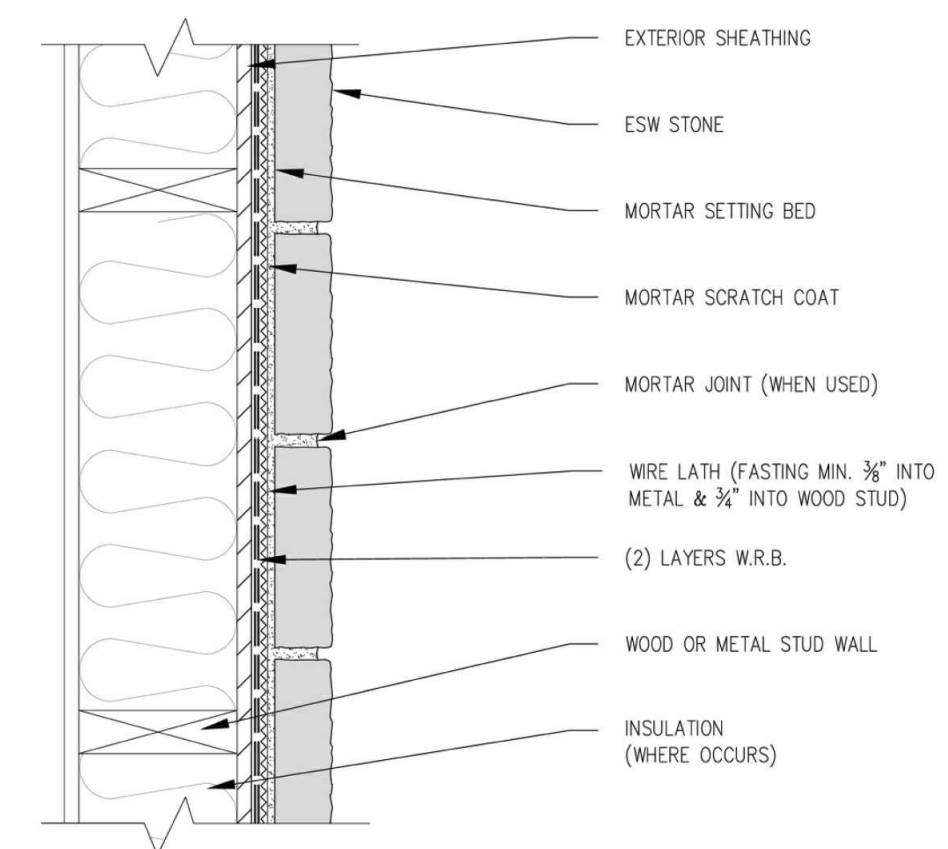
**5 Side wall flashing at roof**

NO SCALE



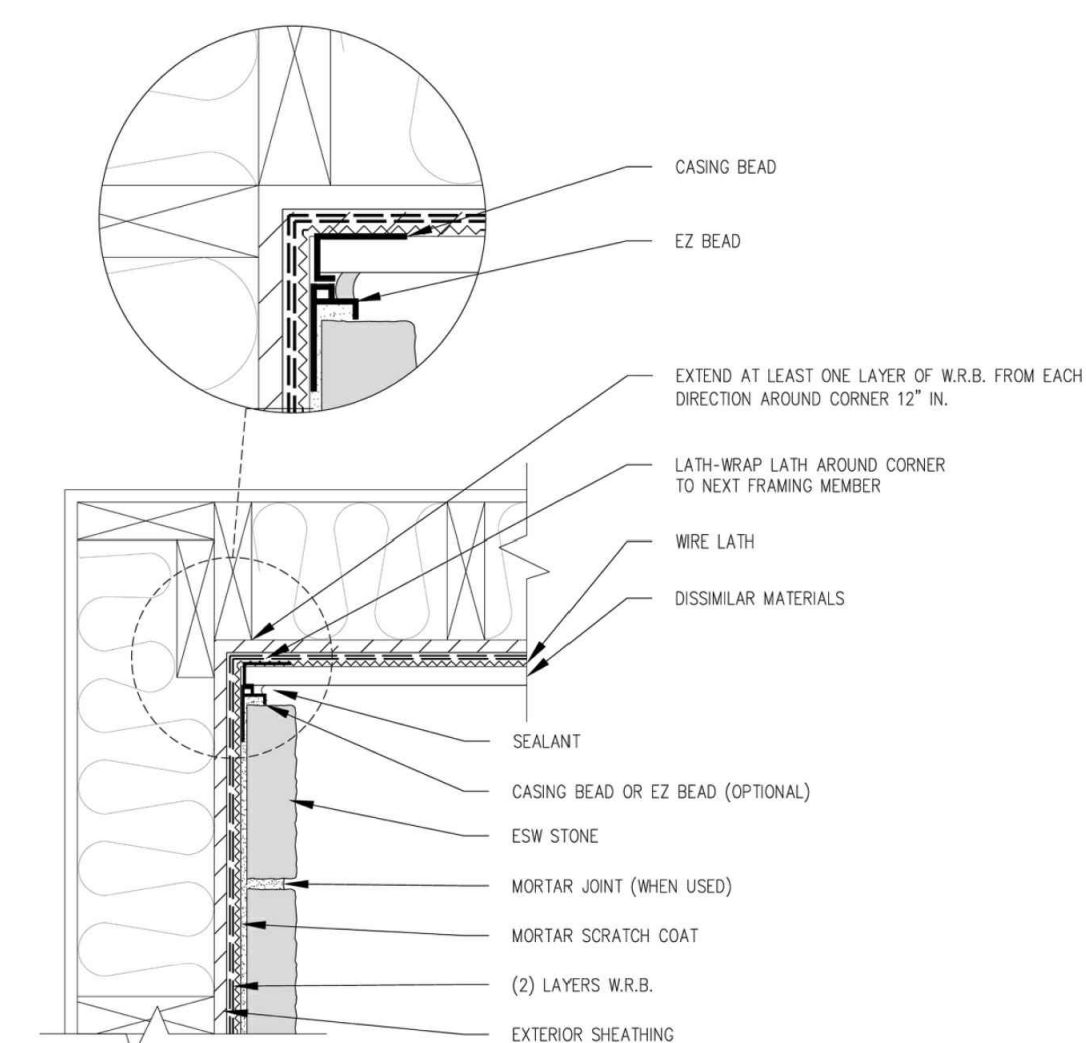
**4 Stone below cladding**

NO SCALE



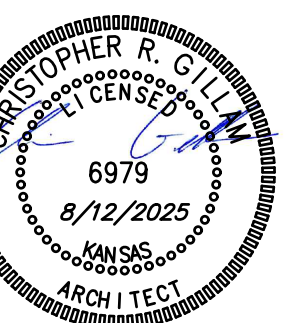
**3 Typical wood or metal stud wall**

NO SCALE



**2 Wall-Section inside corner with stucco**

NO SCALE



**Adhered Natural Stone**  
Follow BSI, Building Stone Institute  
Confirm & Coordinate installation,  
Guidelines with supplier, Manufacturer  
Actual Conditions May Vary  
DETAILS ARE NOT TO SCALE

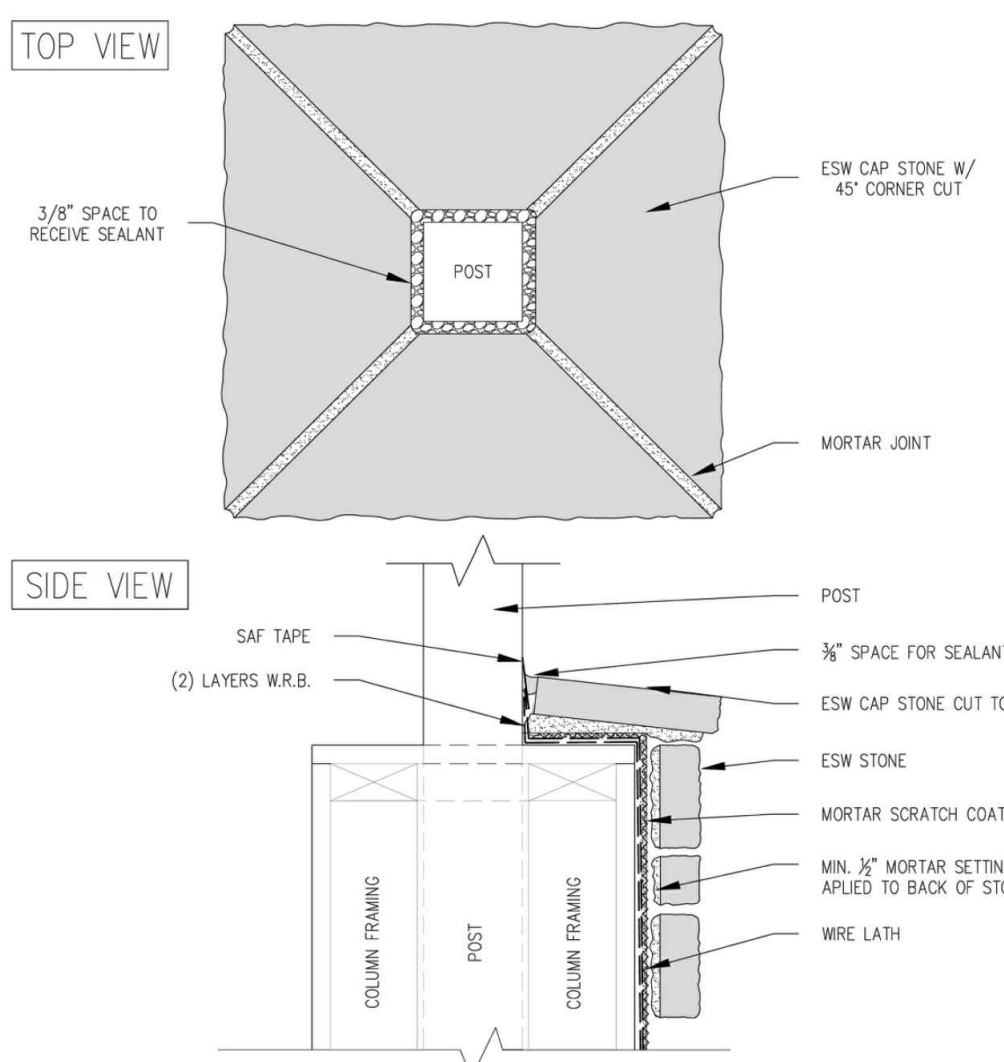
REVISION:

DATE: 8-12-2025

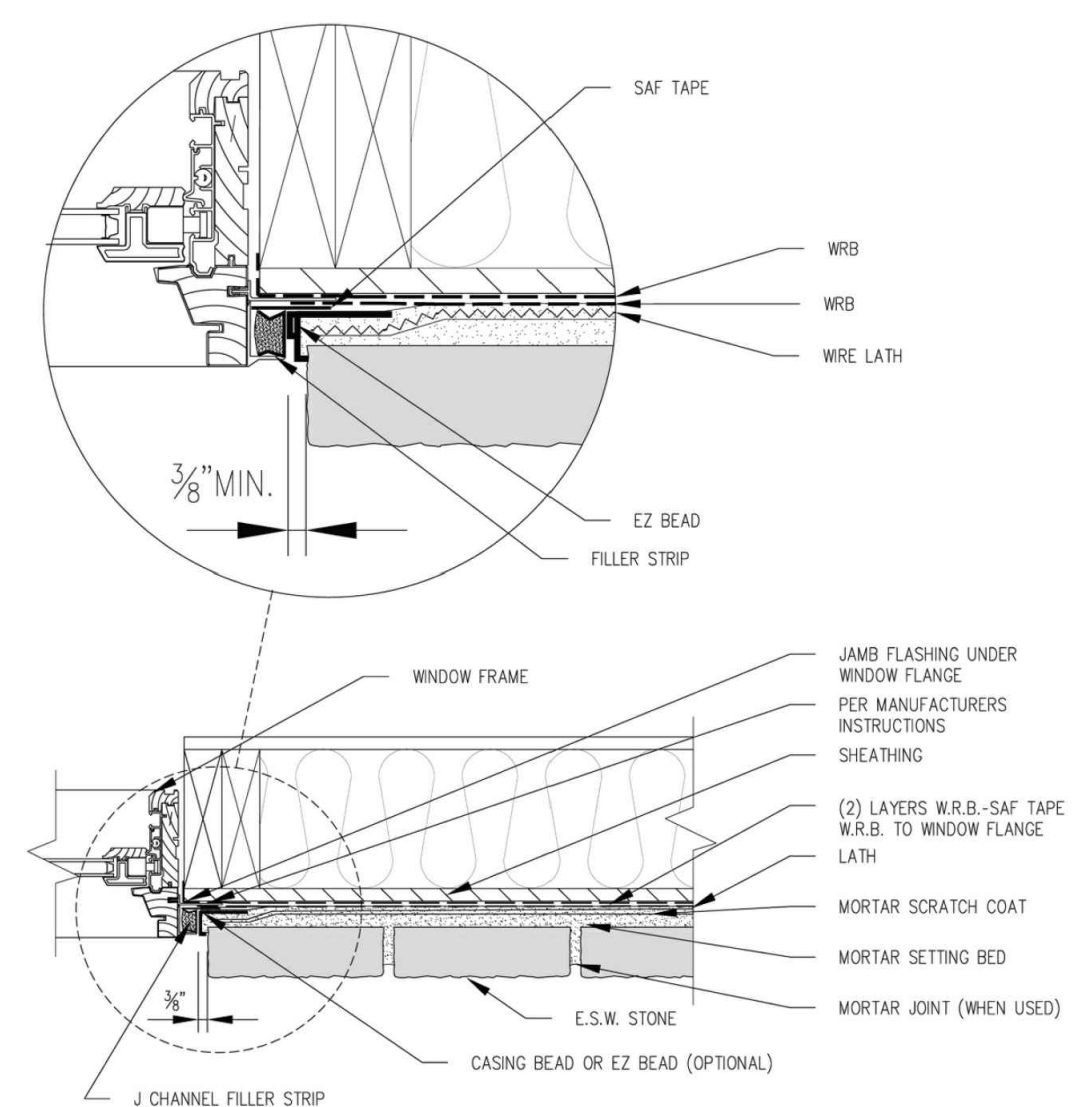
JOB: 25-3090

SHEET NO.:

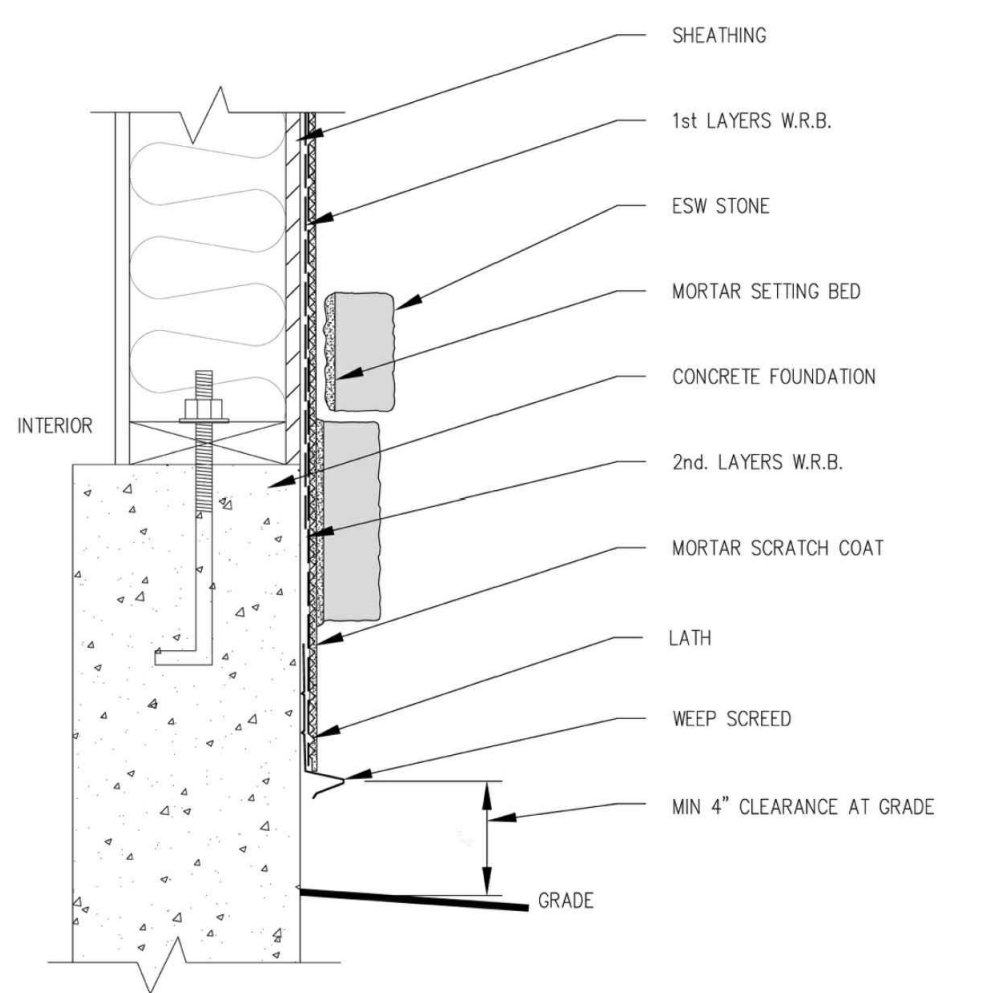




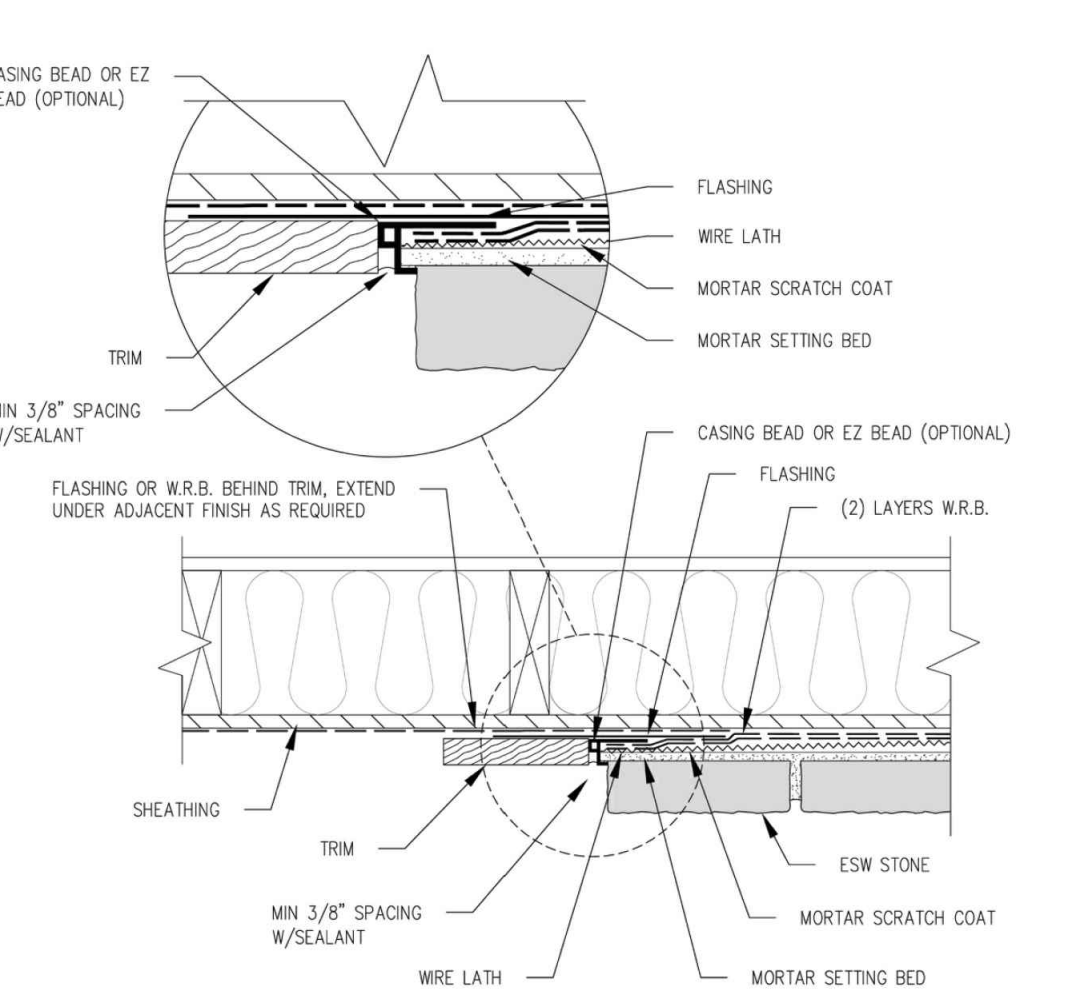
**32 Column top with support post**  
NO SCALE



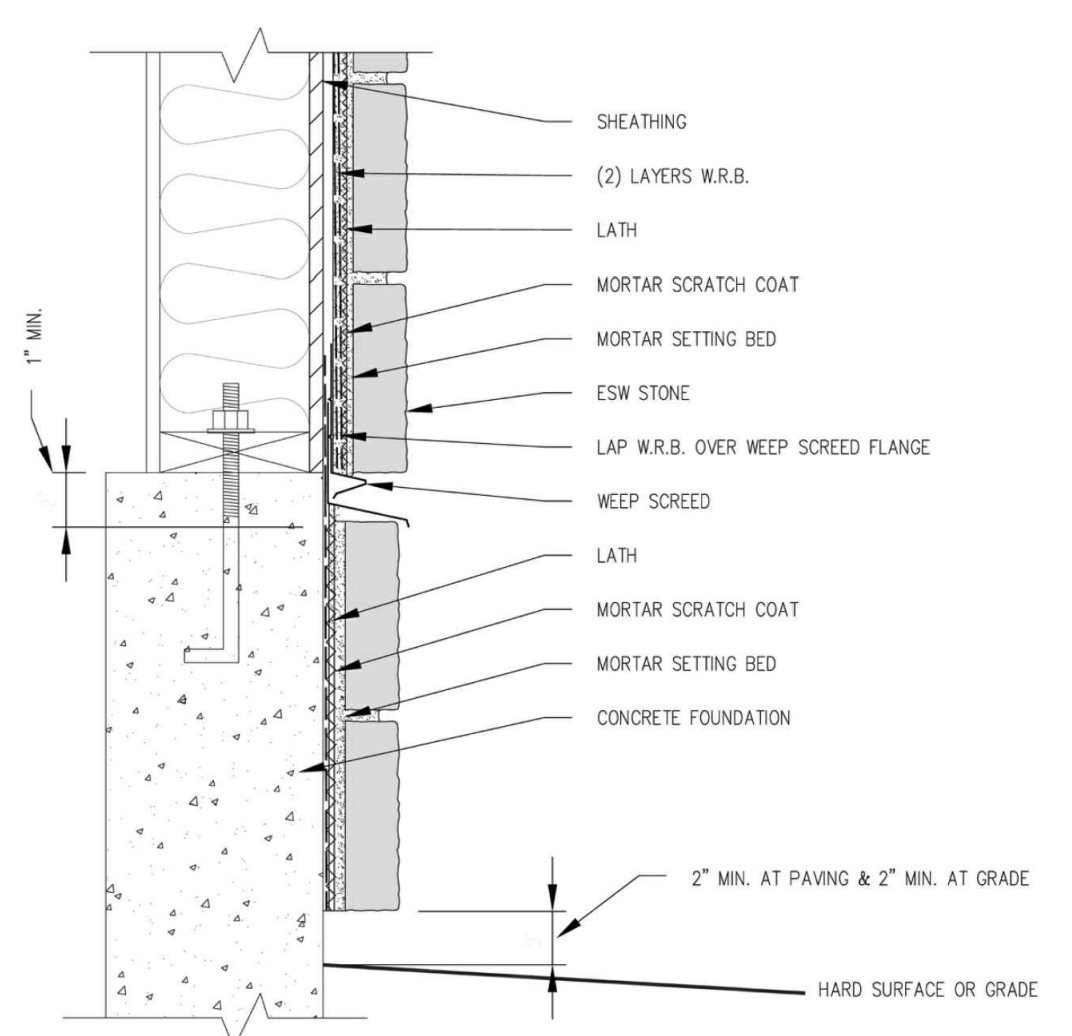
**30 Window jamb integrated J-Channel**  
NO SCALE



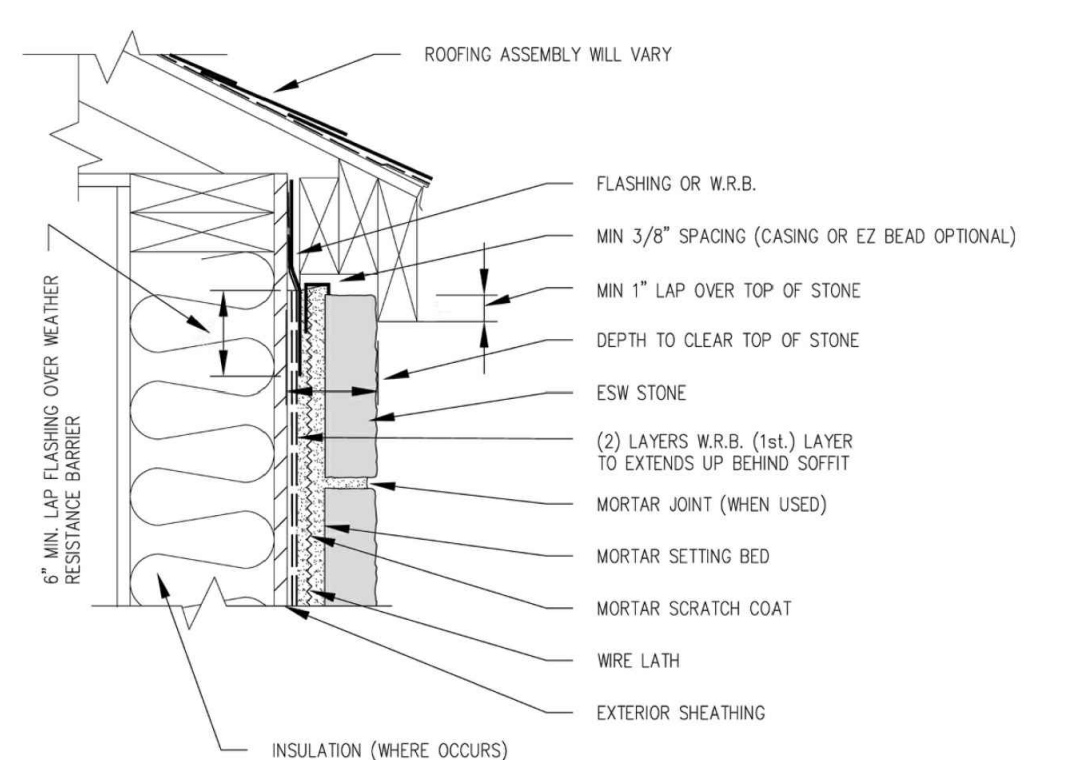
**28 Stone/Foundation continue over foundation, with weep screed at grade**  
NO SCALE



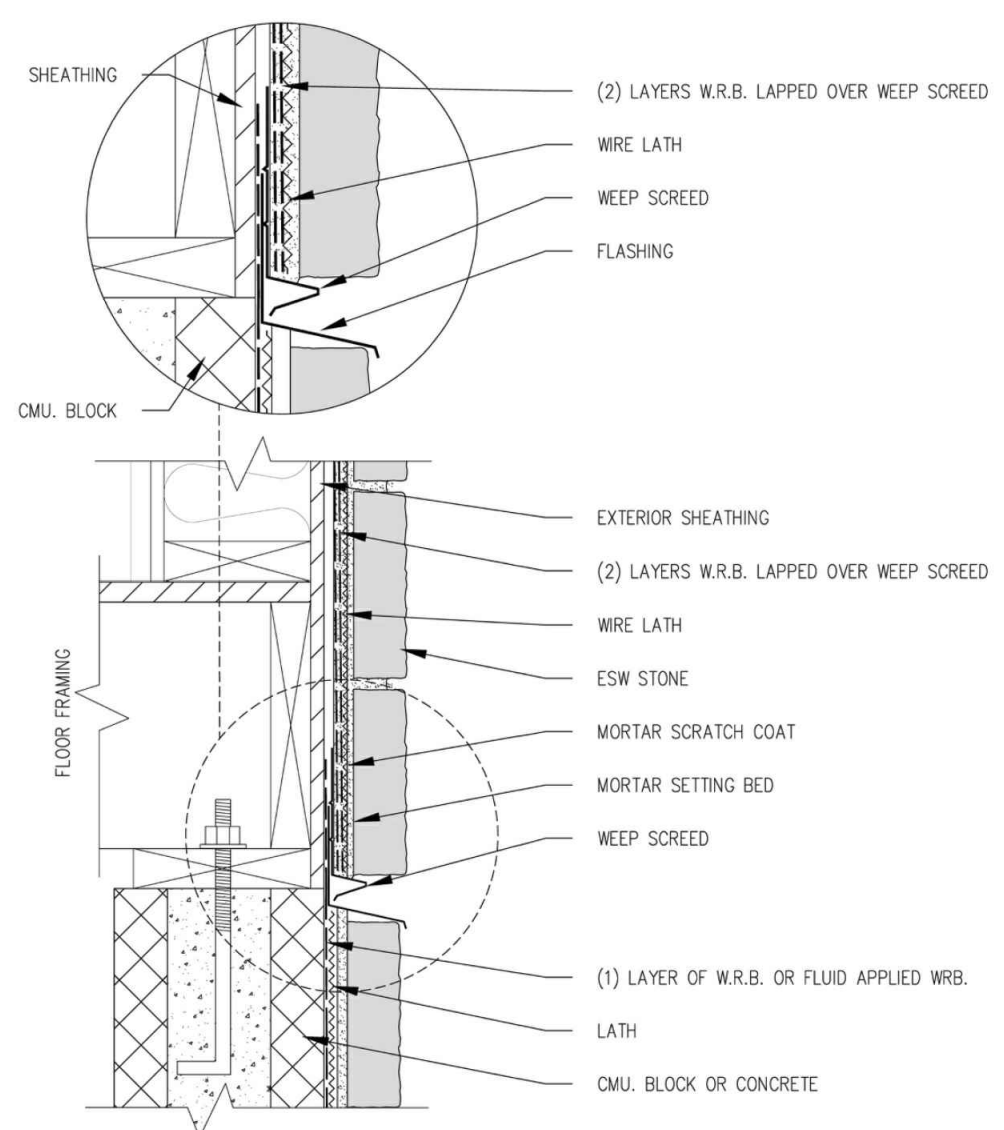
**27 Vertical transition at dissimilar material**  
NO SCALE



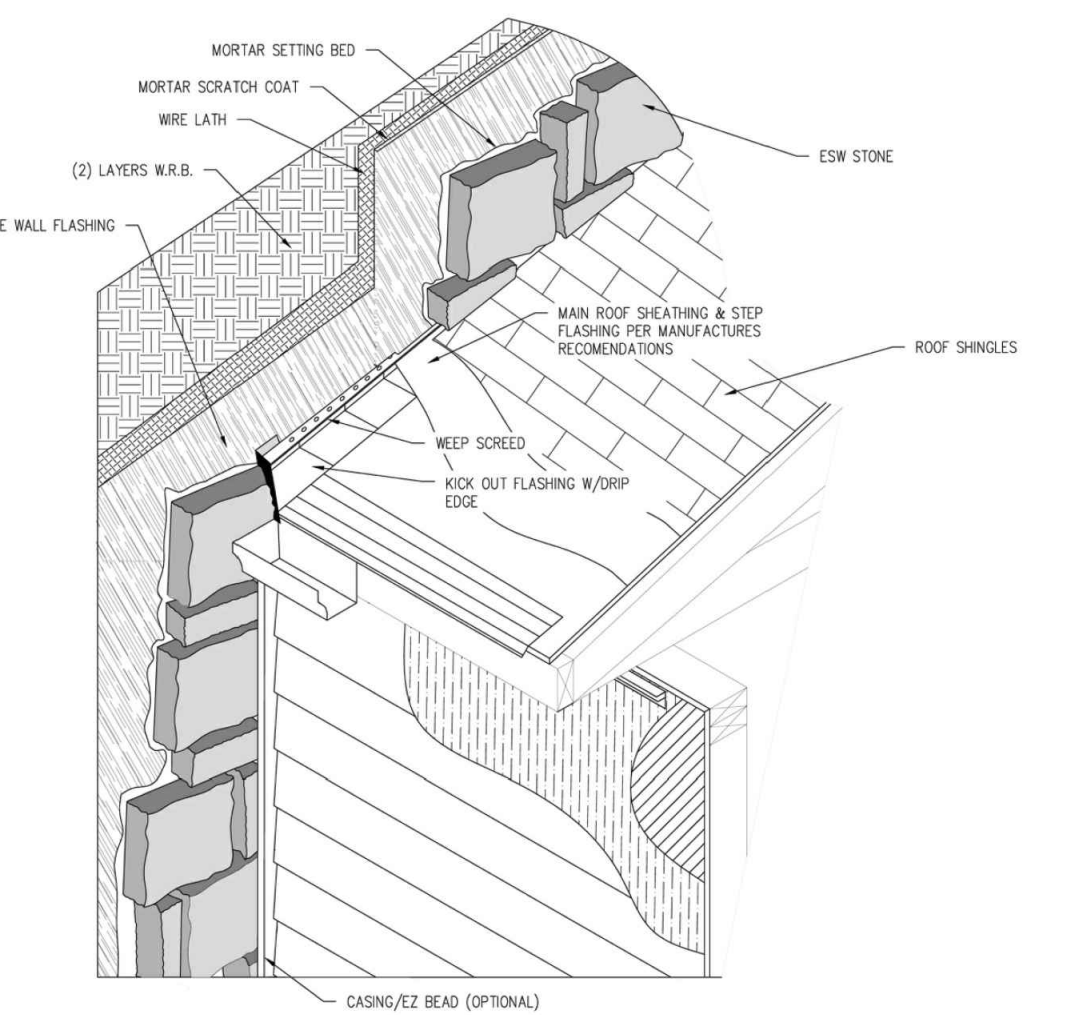
**29 Stone/Foundation continue over foundation, weep screed at sill plate**  
NO SCALE



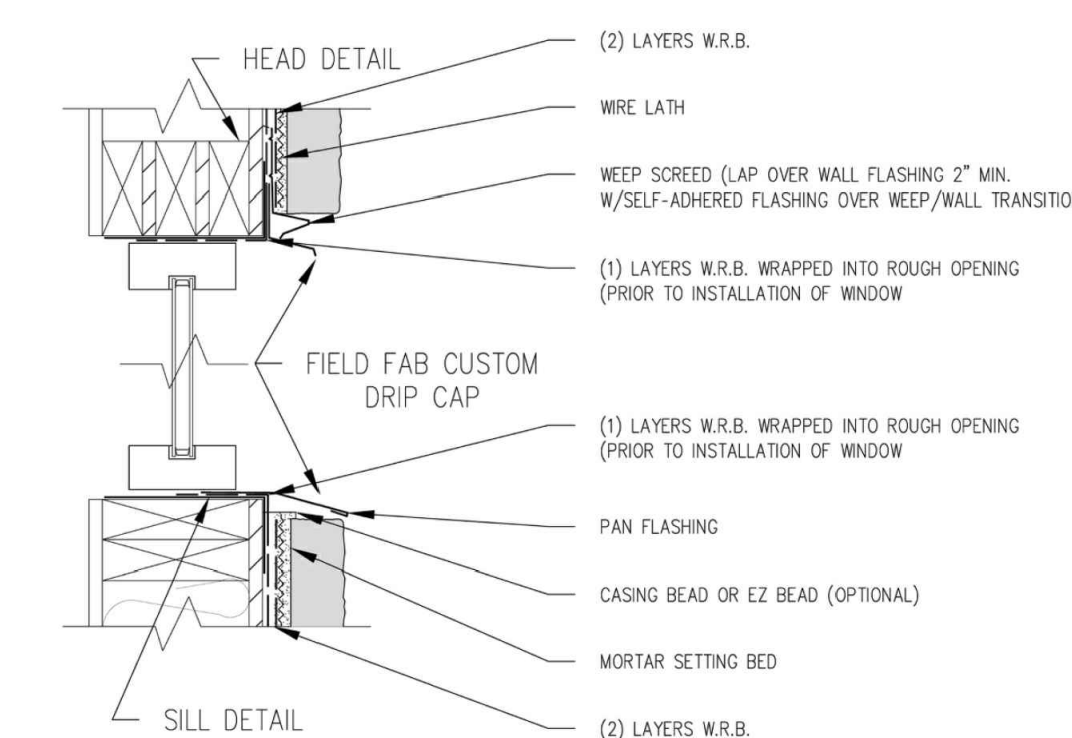
**25 Stone under straight overhang**  
NO SCALE



**23 Multi-Story masonry wall to framed wall control joint**  
NO SCALE



**21 Isometric View Diverter/Kick-out flashing detail**  
NO SCALE



**19 Commercial window header and sill**  
NO SCALE

## Adhered Natural Stone

Follow BSI, Building Stone Institute, Confirm & Coordinate installation Guidelines with supplier & manufacturer. Actual Conditions may vary.

DETAILS ARE NOT TO SCALE

1. Apply sheathing over the studs. Sheathing can be exterior OSB, plywood, exterior grade drywall, wallboard or cementitious board.
2. Staple the building paper to the sheathing. Attach the building paper in horizontal strips. Start at the bottom and overlap 2" (like shingles). Overlap the vertical joints by at least 6". If using flashing or support brackets (anchors), install them before proceeding to the next step.
3. Screw, staple or nail the metal lath to the studs. Only the screws that attach to the studs are counted to meet code requirements. Overlap the metal lath at least 1/2" for horizontal and 1" for vertical joints. At corners, overlap the vertical joints at least 16" around the corner to avoid corner cracking. Use barbed galvanized nails at 6" o.c. vertically for exterior work or steel wire furring nails at 4" o.c. for interior work. Minimum nail penetration is 1" into the studs. For steel studs, the lath must be anchored with corrosion resistant screws that have a minimum shank diameter of 0.136". (Fig 1A)
4. Apply a scratch coat that is 3/8" to 1/2" thick over and embedded into the metal lath. Use a toothed scraper, notched trowel or small piece of lath to lightly rake horizontal grooves in the scratch coat. Allow the scratch coat to cure for a minimum of 24 hours before installing adhered stone. (Fig 1B)

### Starting Point

You can start laying stones at the top or the bottom of the wall. Working from the top down may keep mortar droppings from staining stones below, but make sure the mortar is strong enough to hold the suspended stone in place.

If beginning from the bottom, use a straight-edge and start 4" above soil or 2" above concrete to keep moisture from being absorbed from the ground. If your wall requires corner pieces, place these stones first. After your corner pieces are in place you can continue with the field stones.

### Mortar Application

At the beginning of the workday, sponge or hose down the entire surface of the wall. This keeps the moisture from the wet mortar from being absorbed by the wall. Remoisten your work area with a fog spray or wet brush every hour. You want your work area to be damp, but not wet.

Using a trowel, apply mortar 3/8" to 3/4" thick to your work area. Push the mortar layer directly onto the backup wall (for concrete/concrete block/stucco) or into the scratch coat (for studs) with firm pressure on the trowel. Keep your work area limited to 10 square feet, so the mortar on the wall will not set before you can place the stones.

### Setting Stones

Before setting absorptive stones like sandstone and some limestone, you should mist or brush the back of the stone with water to make it damp, but not wet. Do not pre-wet dense granites or other stones with less than 1% absorption. Natural stones do not absorb much water and a saturated stone will not adhere to the mortar. Just before placing the stone, cover 100% of the back of the stone with 1/2" of mortar. Place a slight excess of mortar at the edges of the stone. This will allow some mortar to squeeze out the stone edges and fill the joints when pressure is applied. Once the stone has been firmly pressed into the mortar bed, gently tap the stone with a soft mallet to set it in place. Be careful not to tap too hard. Some stud systems may be flexible and setting adjacent stones by tapping may dislodge a stone. Do not disturb or tap the stone after it has been set. The resulting total mortar thickness behind the stone should be between 3/8" and 1 1/4".

### Joint Width

Proper joint width depends on the type of stone being used and the desired appearance. For wide joints, more mortar may need to be placed on the back of the stone. For thin joints, less mortar should be used. Be aware that increasing the amount of mortar on the back of the stone unit increases the possibility of mortar droppings on the stones below it. This also adds extra weight, which may cause the stones to be too heavy and fall off the wall. Make sure to keep your joints uniform in width. If your joints are greater than 1/2" in width, shrinkage cracks may develop within the joint.

### Cutting and Trimming Stones

When placing a stone, try to find one that looks like a good fit with its neighbor. Some of these stones will still need to be trimmed to fit neatly and maintain uniform joint widths. To cut the stone, use a handheld grinder with a diamond cutting wheel or a chisel and hammer. If you prefer a rougher cut, score the back of the stone with the grinder and then use the hammer to break the unwanted pieces off. After the stone has been cut and trimmed, use a sponge or brush to assure that all grinding residue and dust have been removed.

### Grouting and Finishing Joints

After the stone is in place and has set for 24 hours, come back and fill the joints using a pointing tool or grout bag. The final joint finish helps the wall resist moisture penetration. Tool the joint using a concave joint tool to compress and smooth the joints for maximum water resistance. Rough cut or raked joints will not be as water resistant as tooled joints. Brush away any crumbles or mortar tags after tooling the joint. We do not recommend installing stone veneer with open joints outdoors in climates with freeze/thaw weather cycles. Dry stack installation can be used for interior installations or warm climates where it does not freeze.

### Clean up at the End of the Day

At the end of the workday, gently brush mortar smears off the stone. Do not use aggressive high pressure cleaning methods to clean the wall. They might loosen the stone. Natural stone is resistant to many chemicals, but some types of cleaners can damage the stone. Talk to your stone supplier to get specific recommendations for cleaning your stone.

### Workmanship

Installation of adhered natural stone veneer is relatively straightforward, but requires an experienced tradesman with a keen eye to fit the stones in an attractive pattern. Important workmanship issues to consider include:

- Complete mortar bedding at the back of the stone is essential. Even small voids can collect water over time, leading to premature failure.
- Mortar joints need to be full and well-tooled, without voids or cracks that may let water into the wall. Dry-stack patterns are not recommended for exterior use in harsh environments like Colorado, with lots of freeze/thaw cycles.
- Mortar joint width should be fairly uniform. Very wide joints are likely to develop shrinkage cracks. Narrow joints are difficult to fill properly.
- The bond pattern should be "comfortable" – avoid the use of occasional large or very small stones or thin vertical stone pieces. The final product should have the appearance of load-bearing masonry, as shown below for several typical stone patterns.
- Avoid continuous vertical mortar joints that cross more than 4 units.

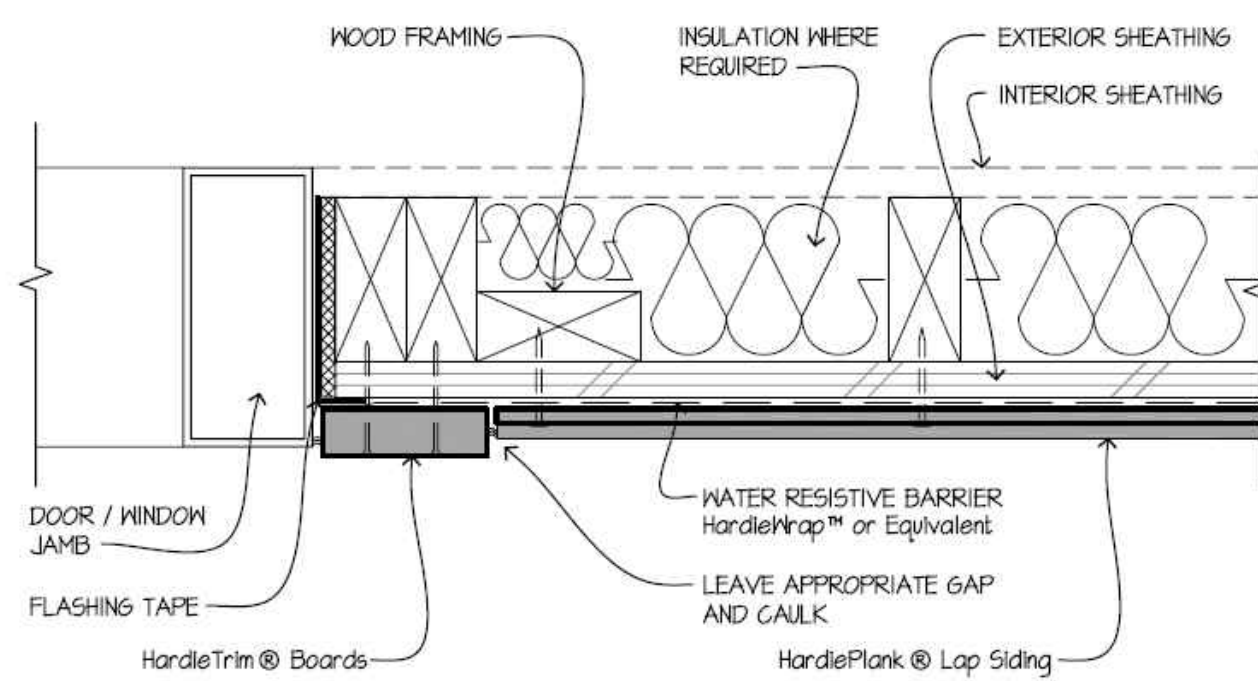


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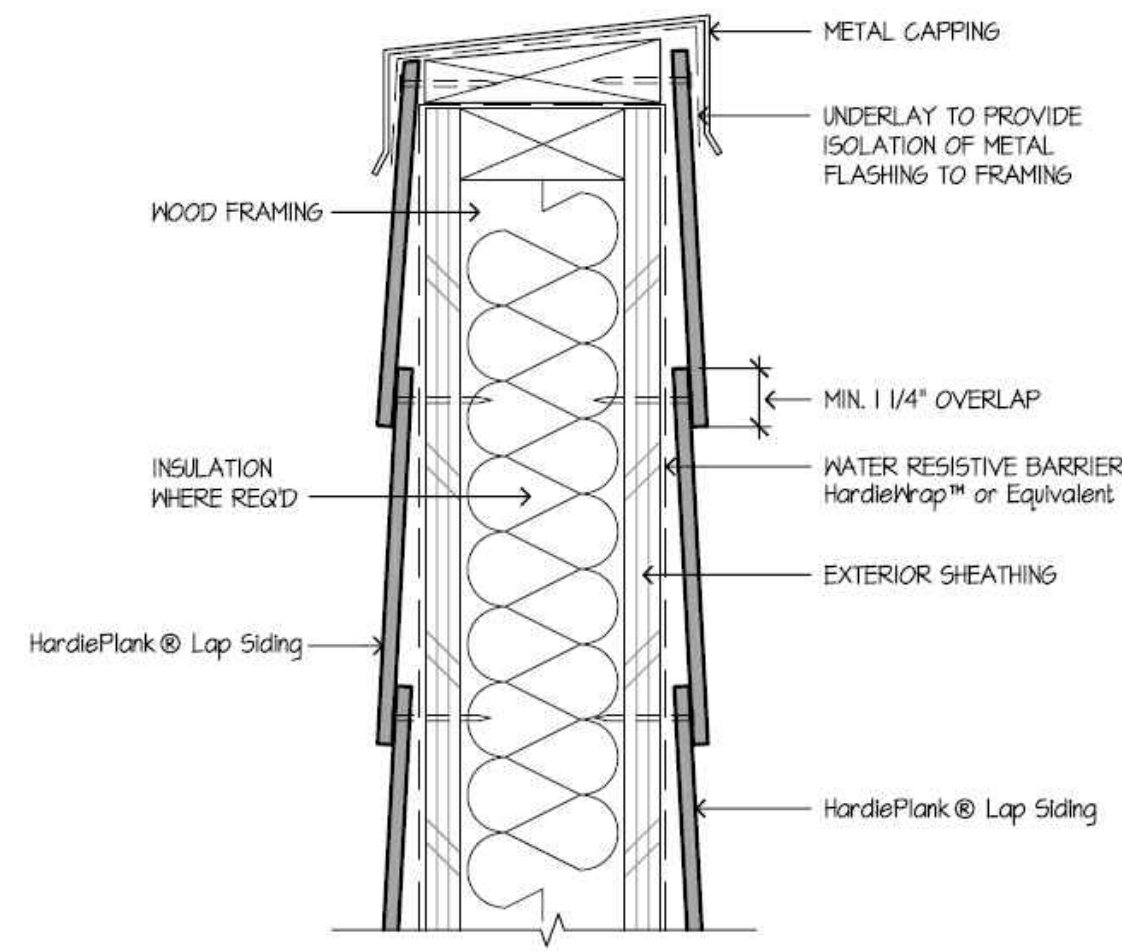


**HARDIE LAP SIDING**  
**Manufacturers Installation Details,**  
**Contractor to install as indicated**  
**Actual Conditions May Vary**

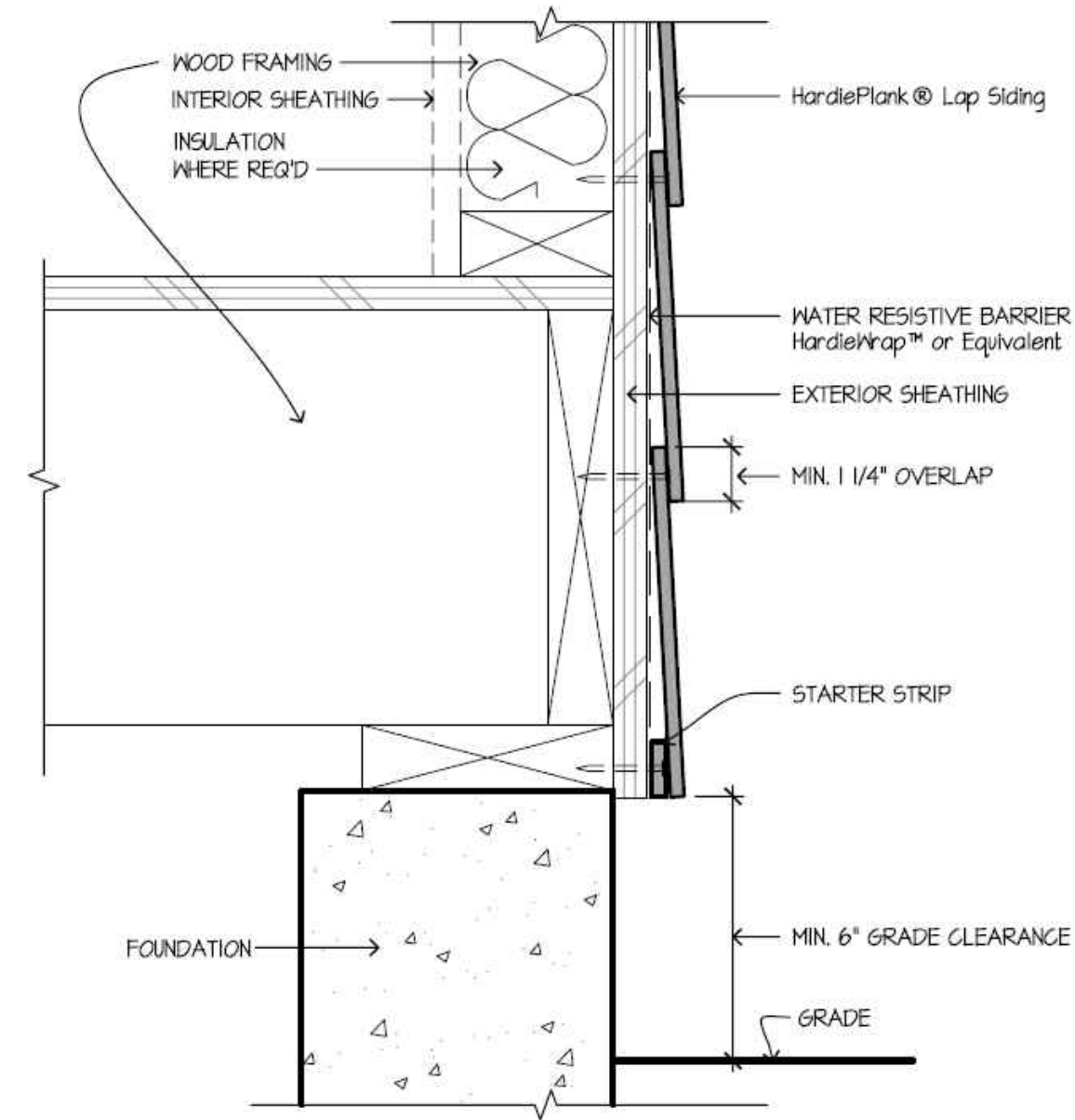
DETAILS ARE NOT TO SCALE



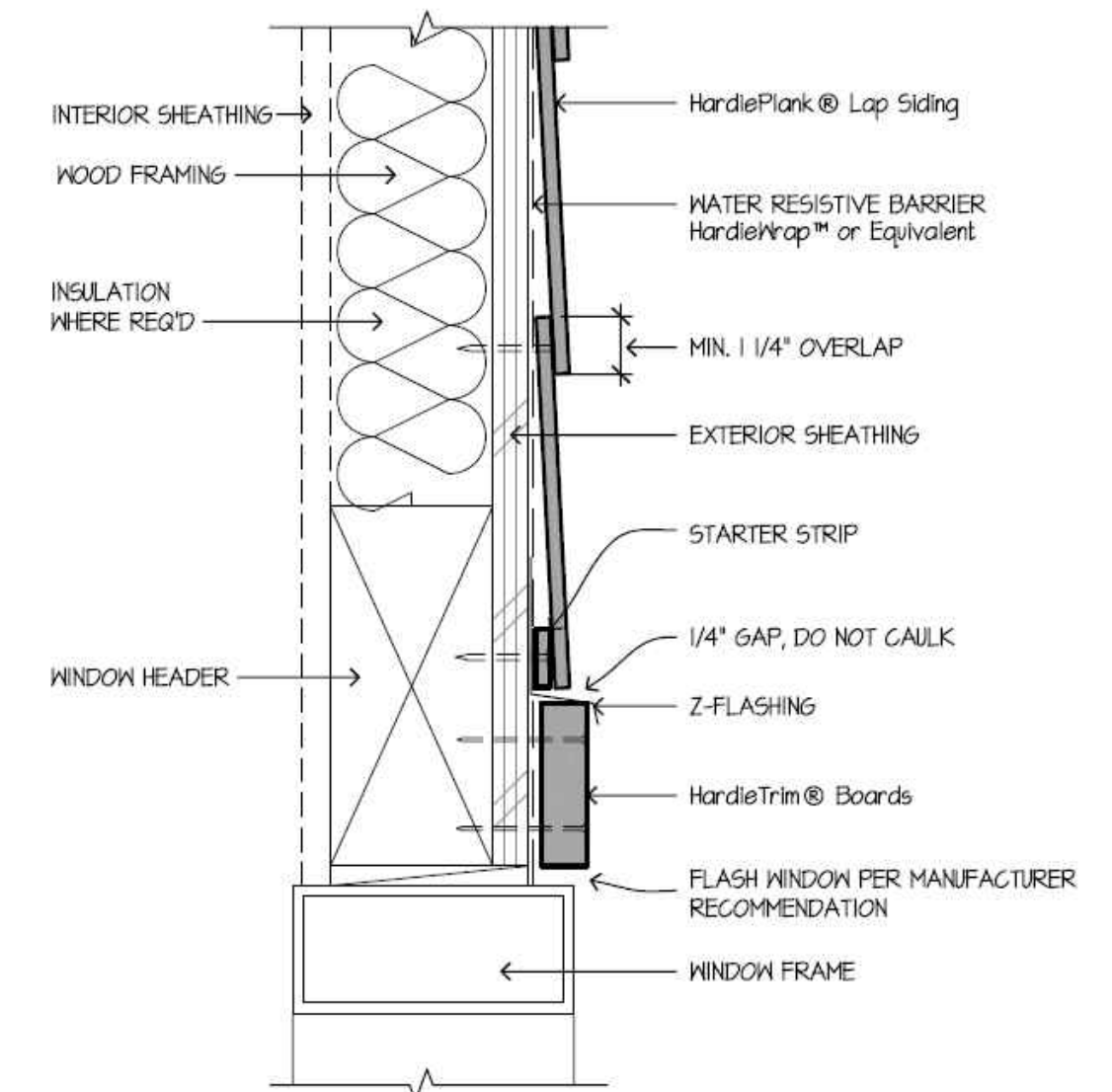
**10 DOOR / WINDOW JAMB**  
 SCALE: 3/4"=1'-0"



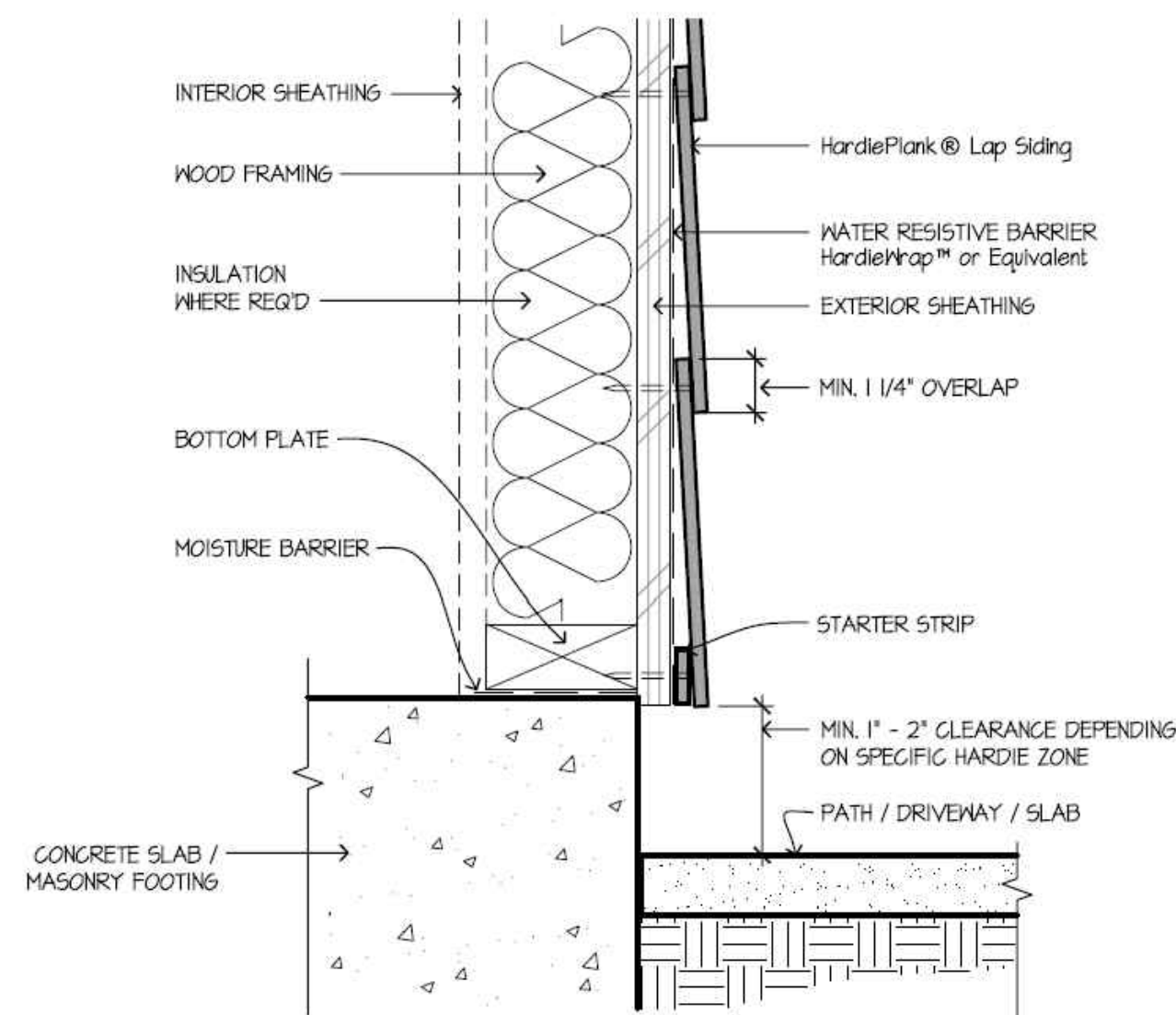
**9 PARAPET**  
 SCALE: 3/4"=1'-0"



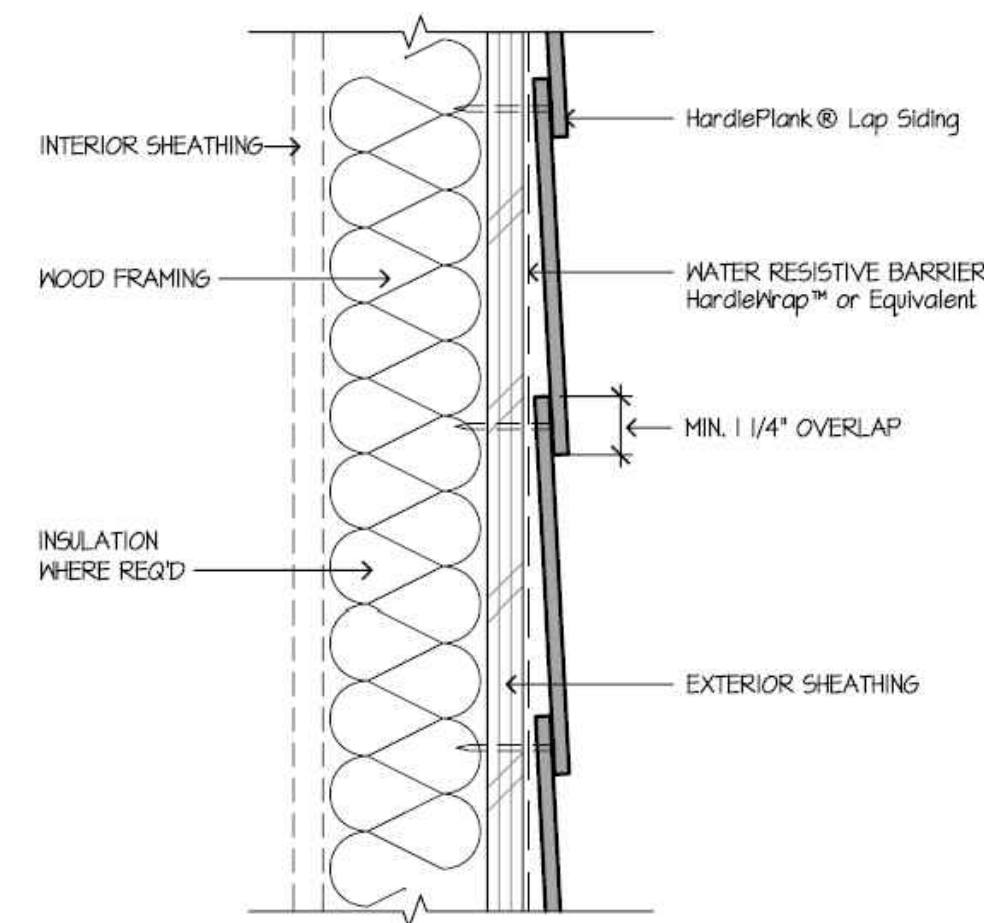
**6 GRADE CLEARANCE**  
 SCALE: 3/4"=1'-0"



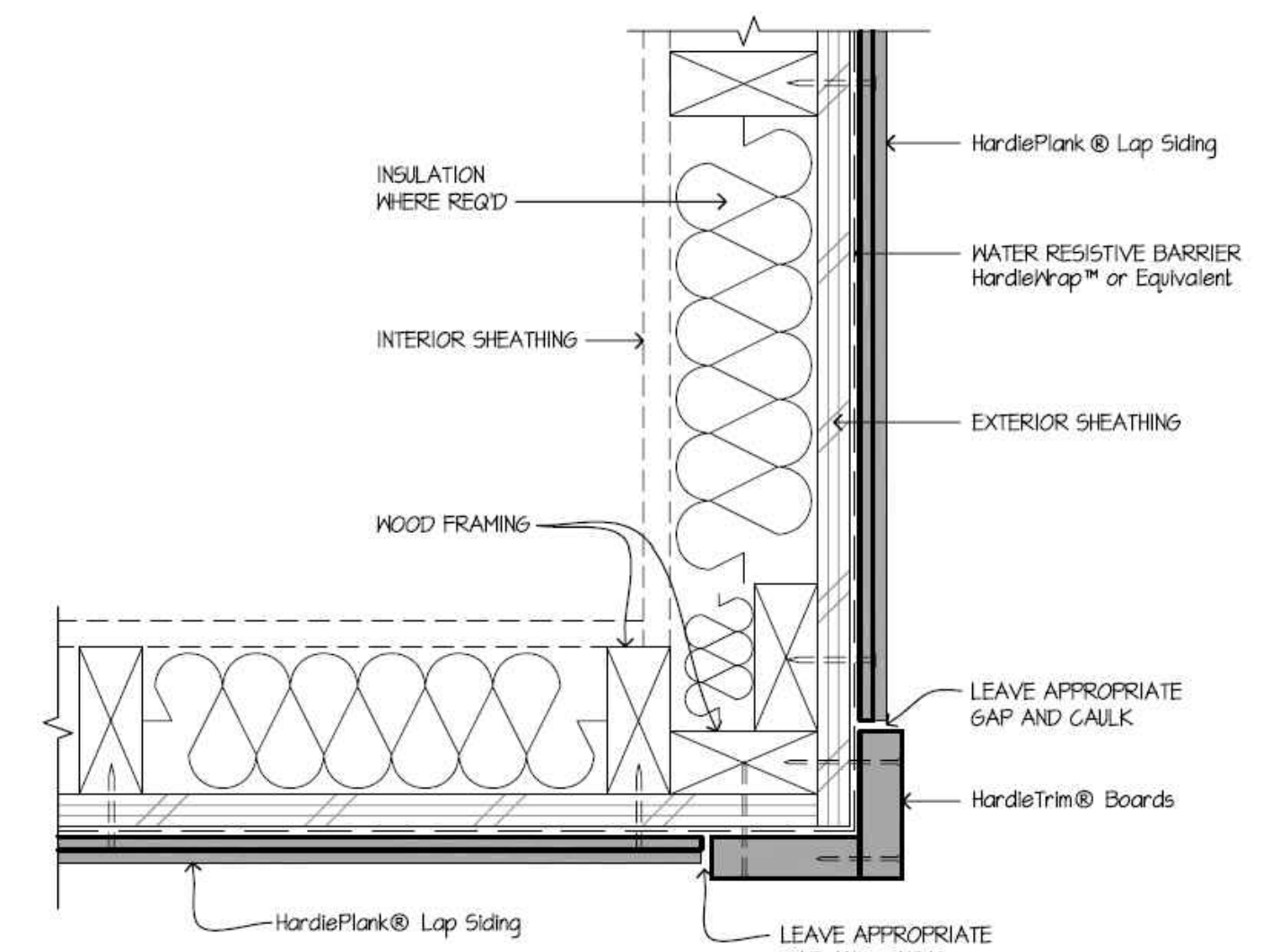
**3 WINDOW/DOOR HEAD**  
 SCALE: 3/4"=1'-0"



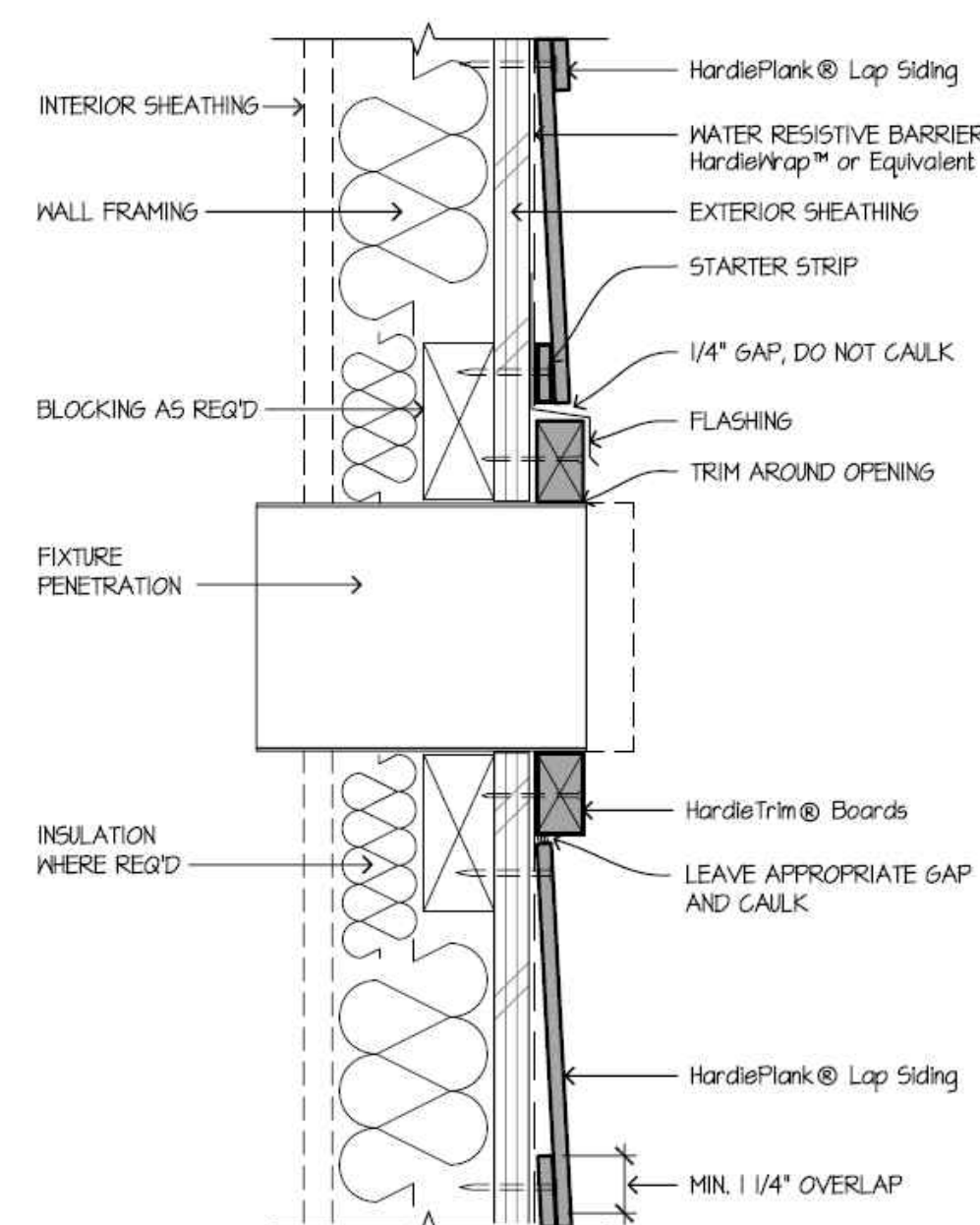
**8 HARDSCAPE CLEARANCES, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.**  
 SCALE: 1/2"=1'-0"



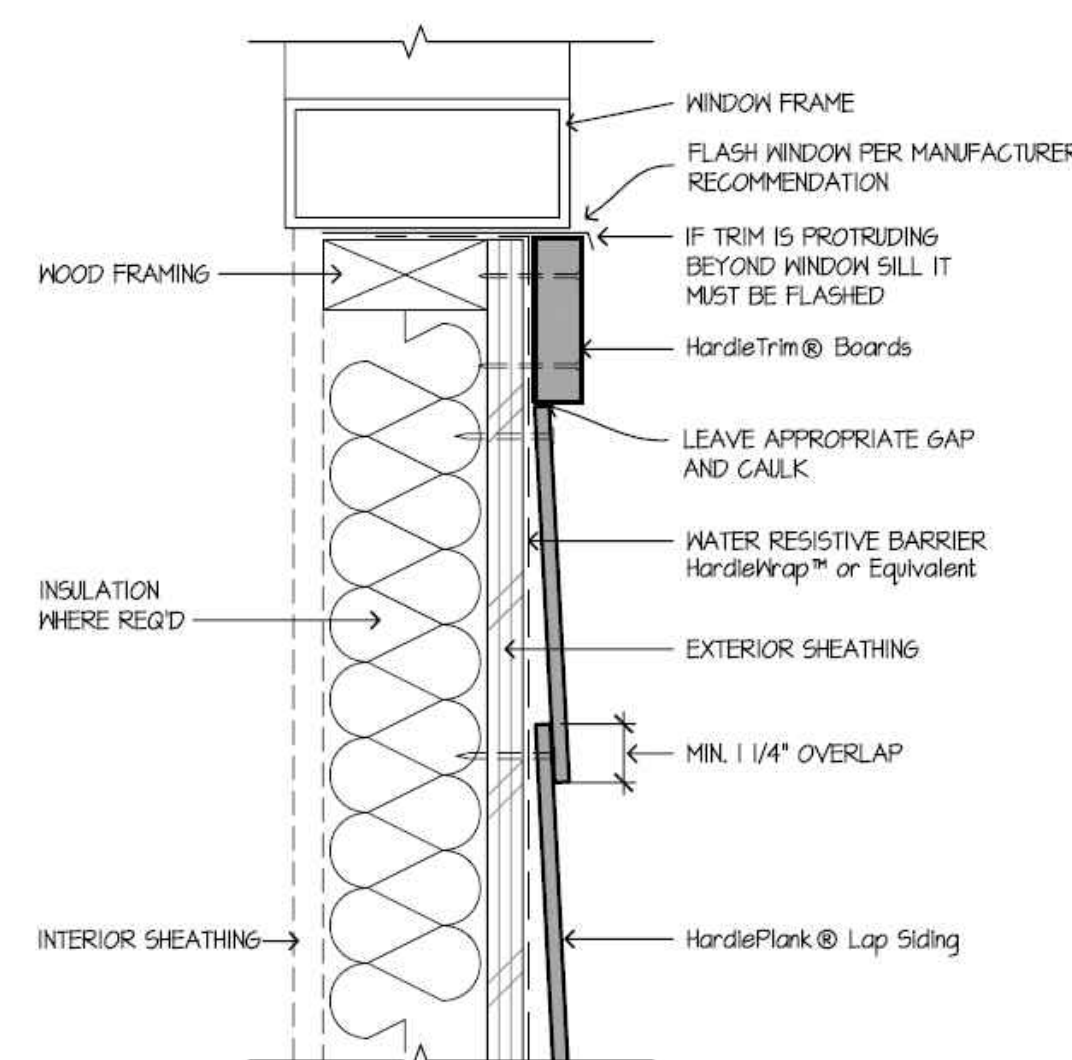
**5 HORIZONTAL LAP VIEW**  
 SCALE: 3/4"=1'-0"



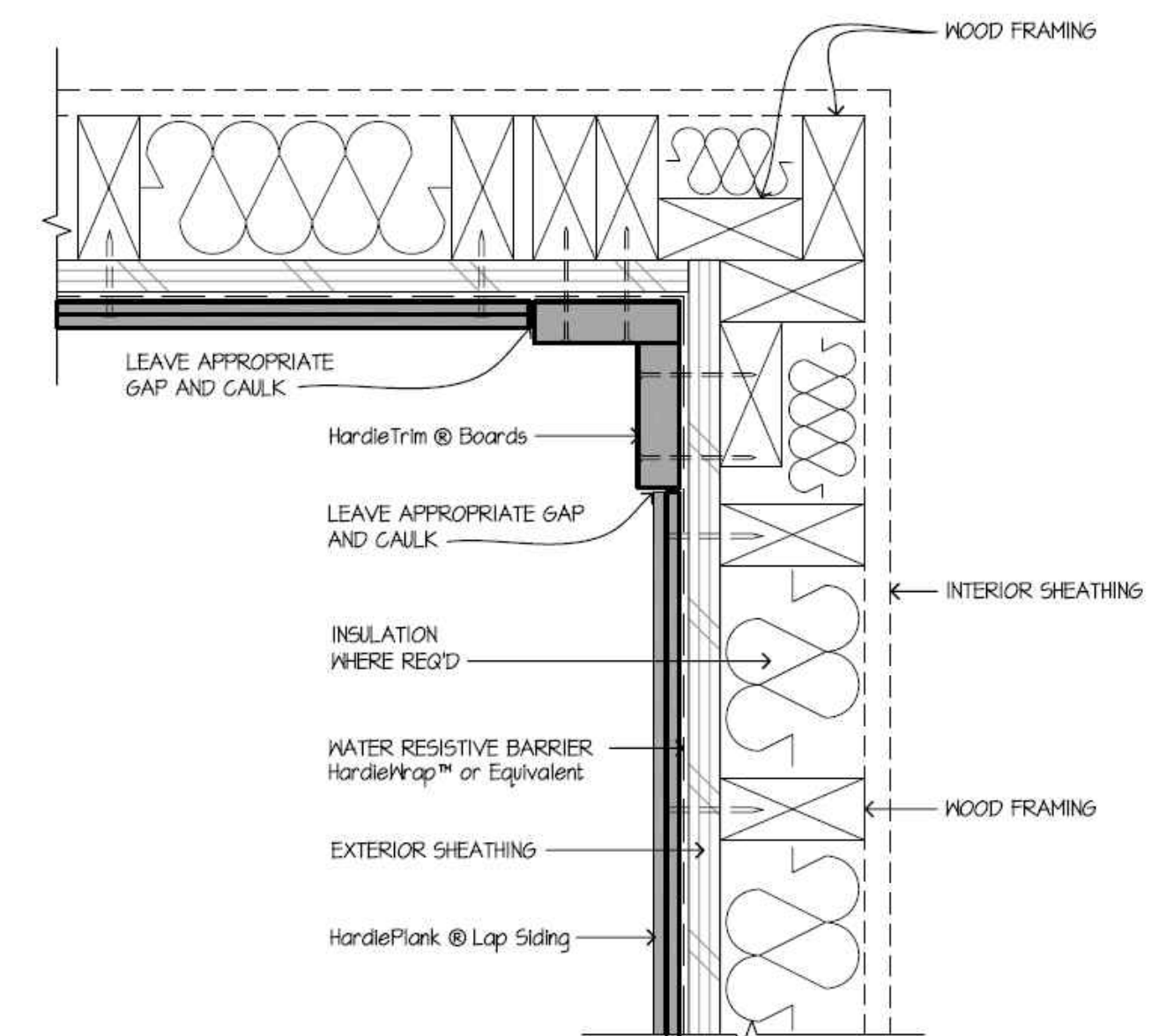
**2 OUTSIDE CORNER**  
 SCALE: 3/4"=1'-0"



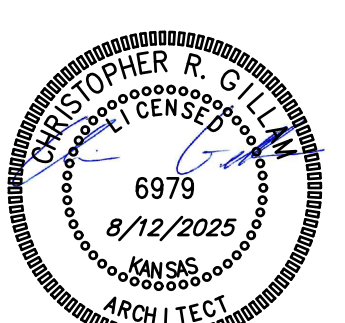
**7 FIXTURE PENETRATION**  
 SCALE: 3/4"=1'-0"



**4 WINDOW SILL**  
 SCALE: 3/4"=1'-0"



**1 INSIDE CORNER**  
 SCALE: 3/4"=1'-0"

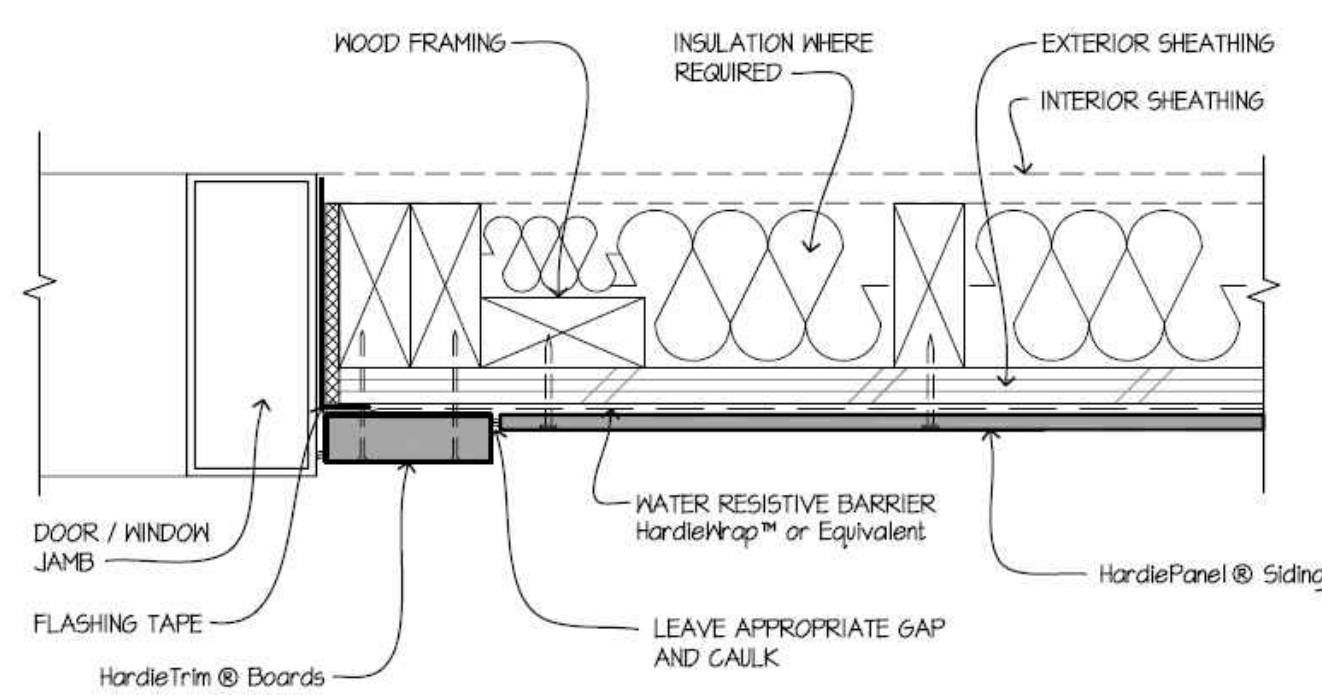


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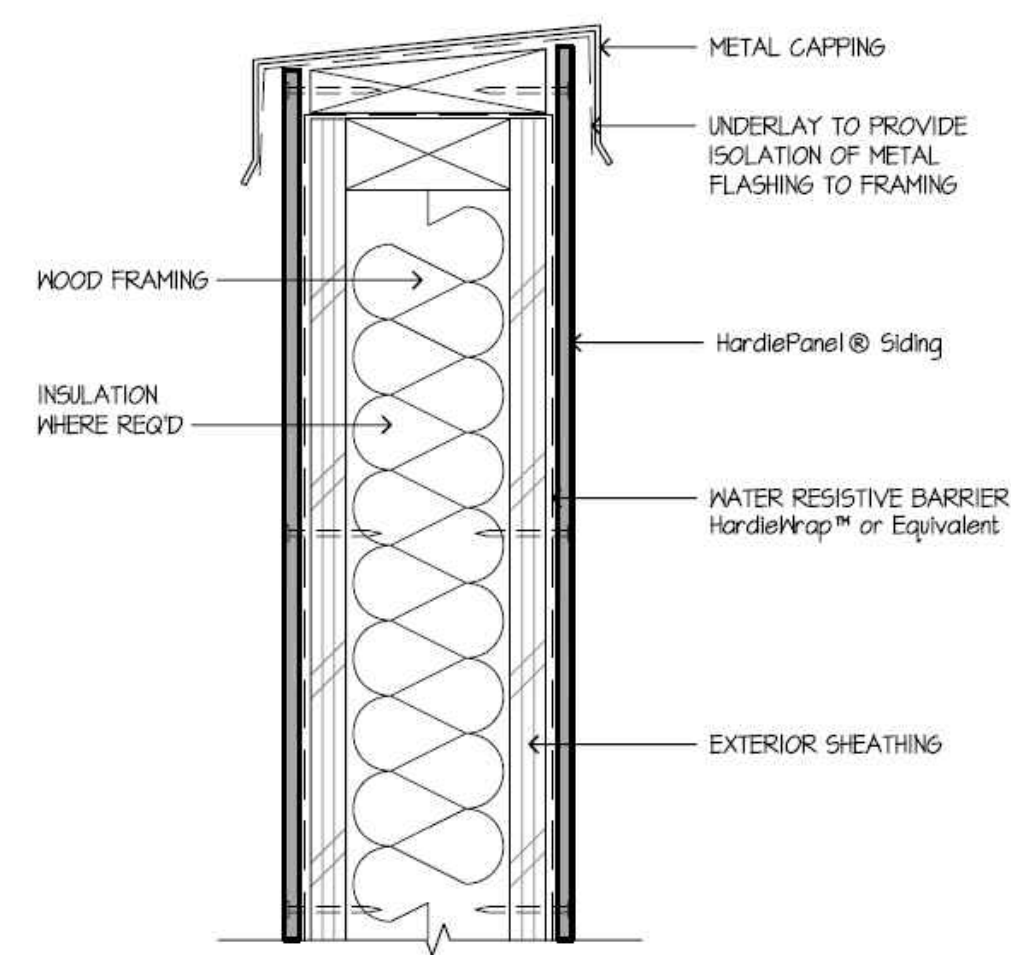


**HARDIE PANEL SIDING**  
 Manufacturers Installation Details,  
 Contractor to install as indicated  
 Actual Conditions May Vary

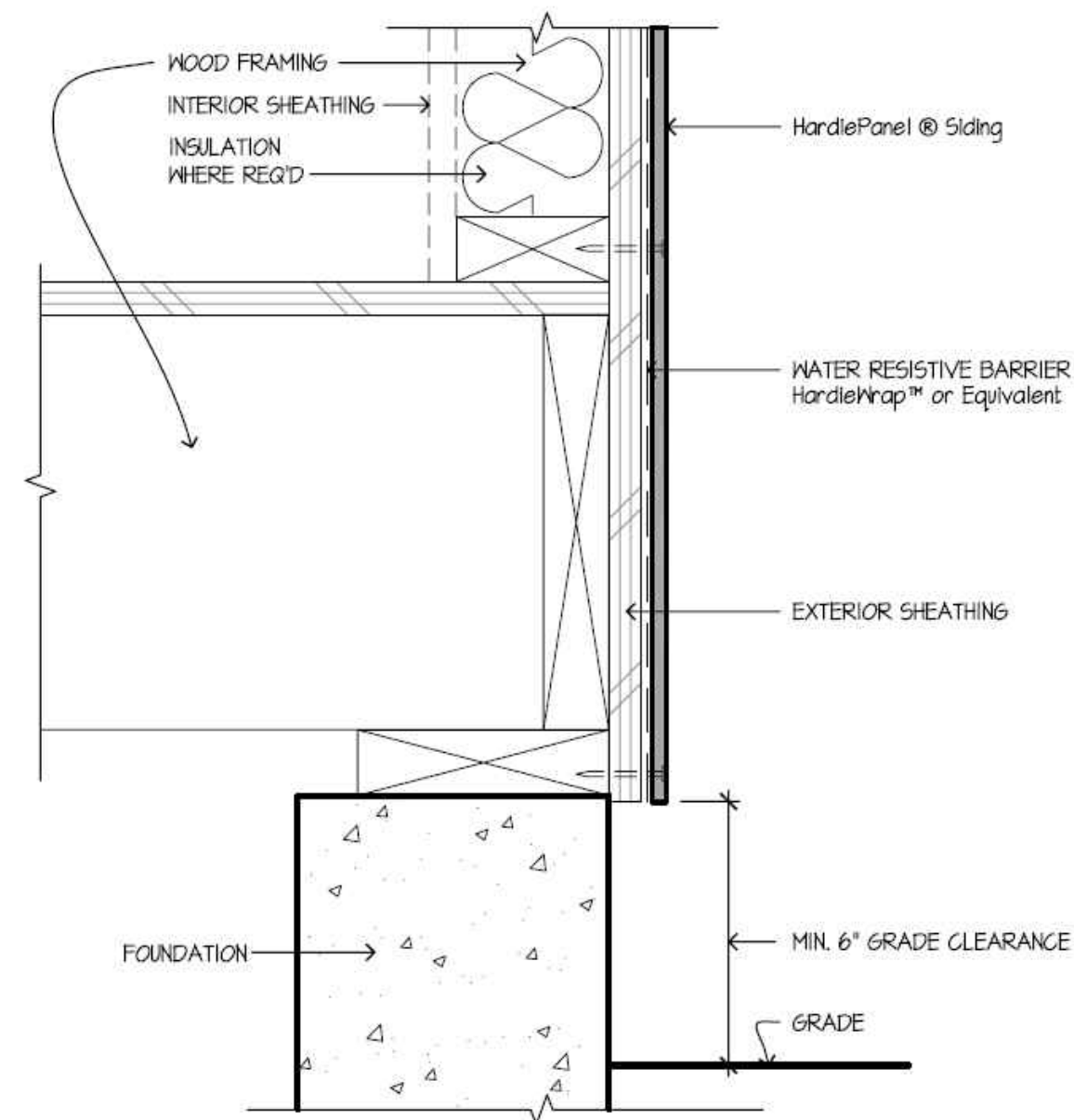
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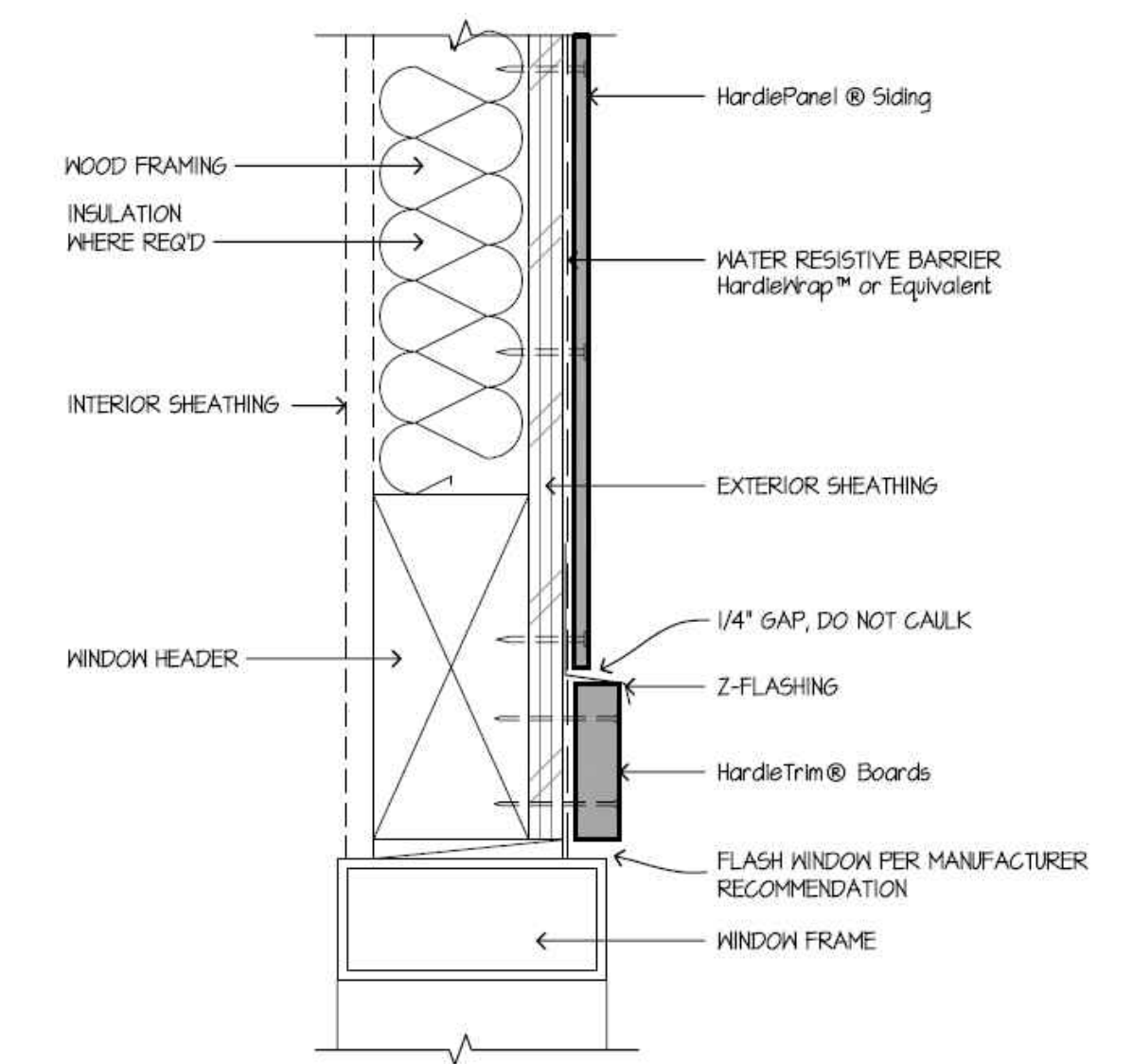
10 DOOR / WINDOW JAMB  
 SCALE: 3"=1'-0"



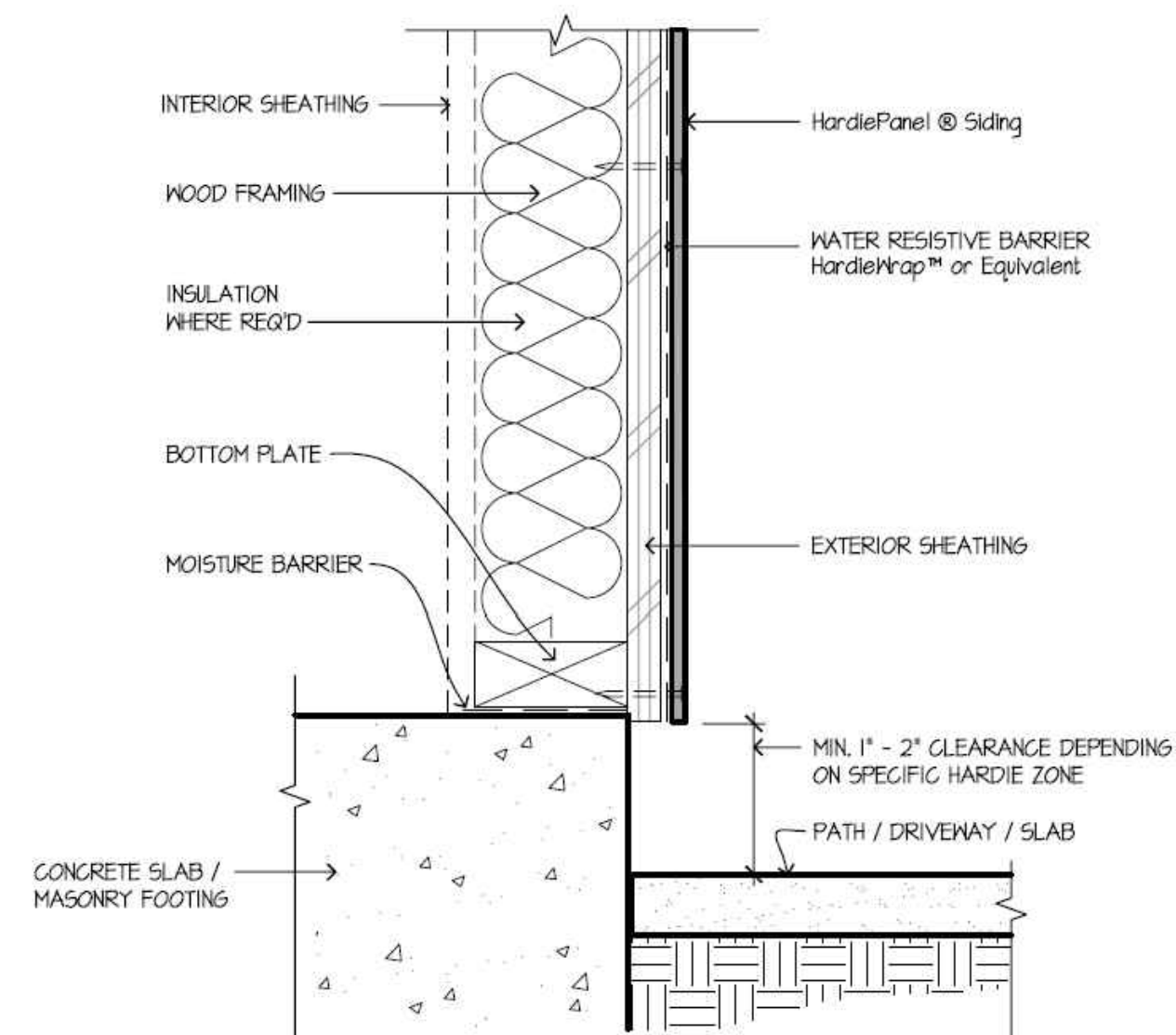
9 PARAPET  
 SCALE: 3"=1'-0"



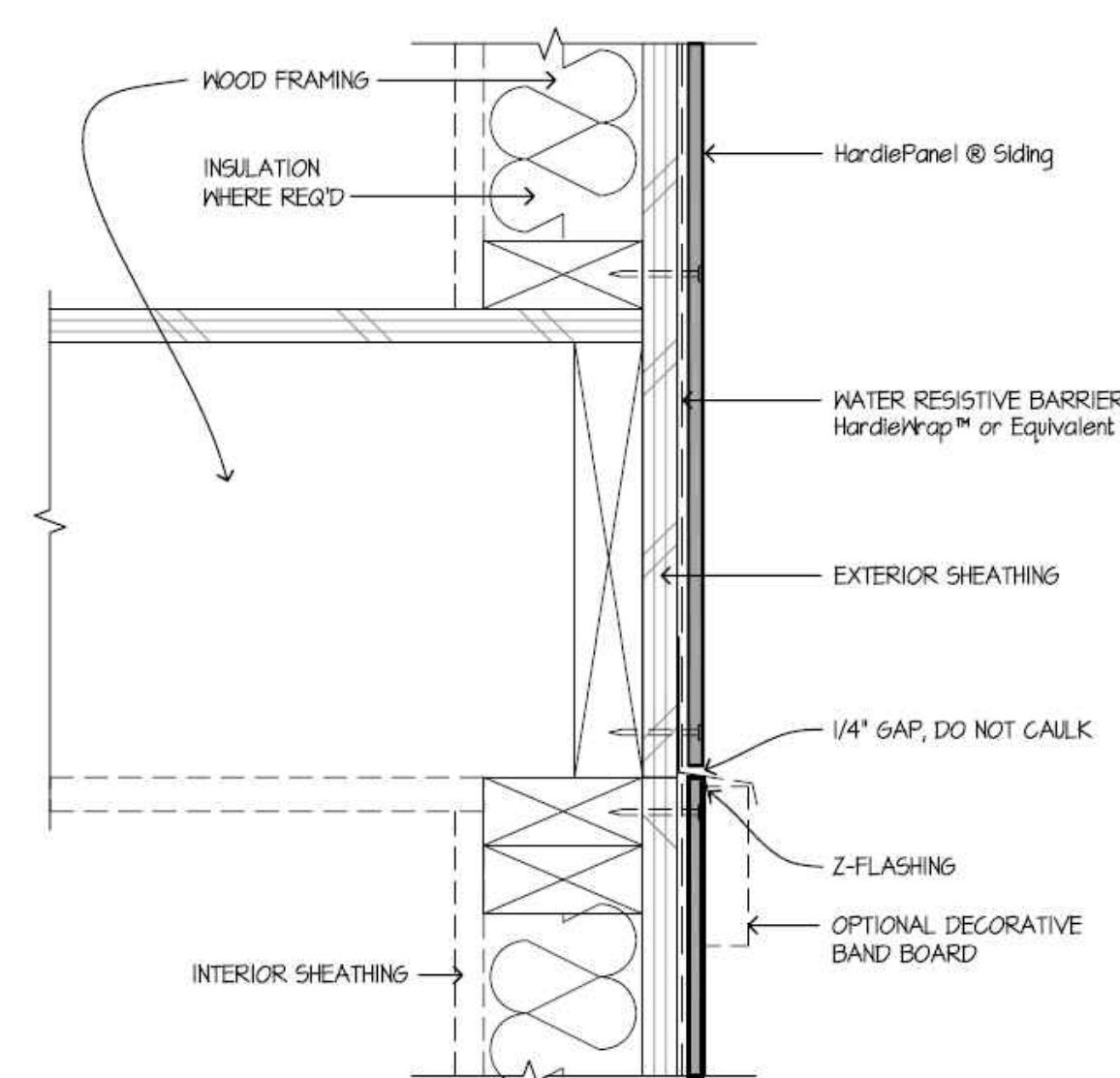
6 GRADE CLEARANCE  
 SCALE: 3"=1'-0"



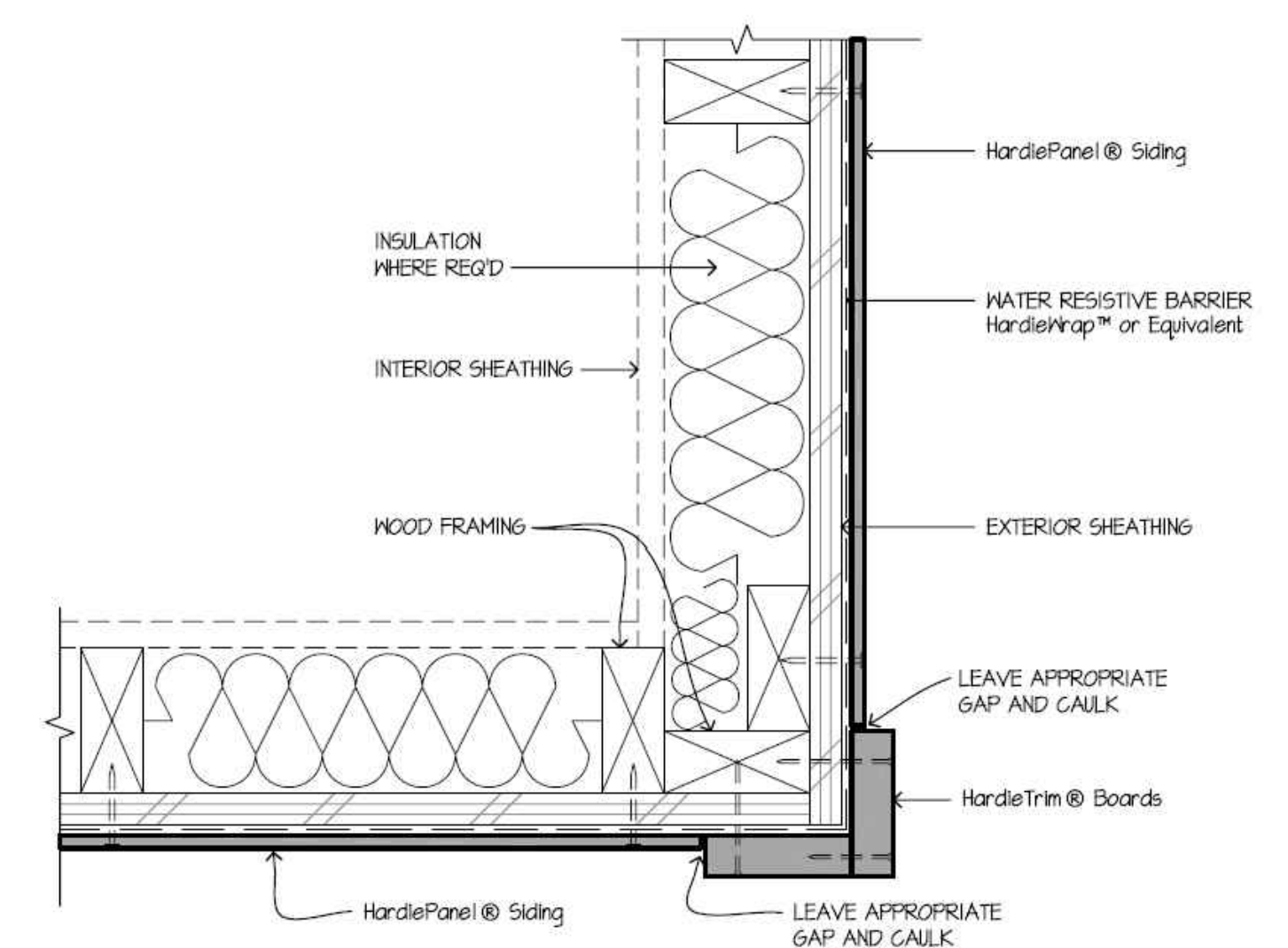
3 WINDOW/DOOR HEAD  
 SCALE: 3"=1'-0"



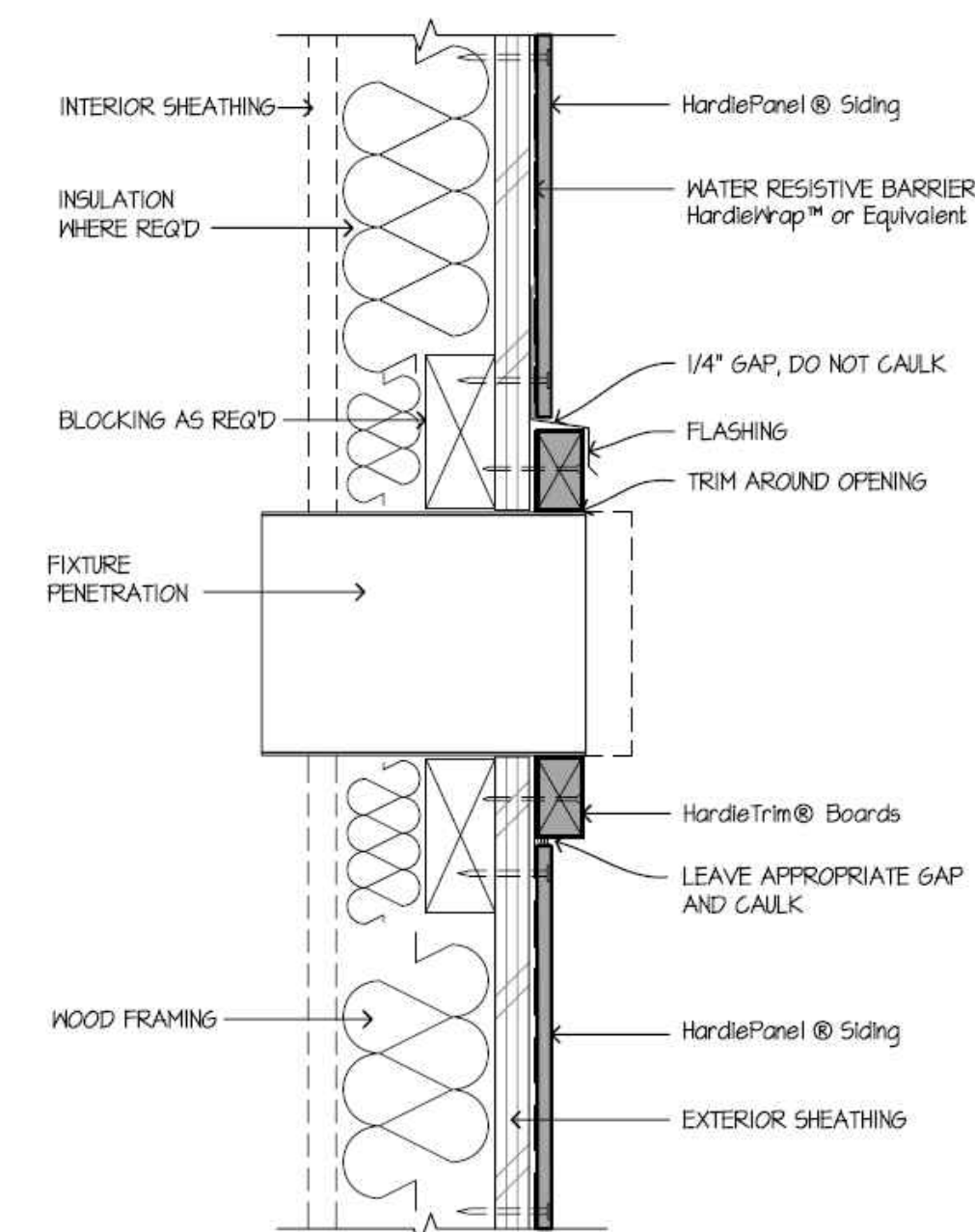
8 HARDSCAPE CLEARANCES, DECKS,  
 PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.  
 SCALE: 1/2"=1'-0"



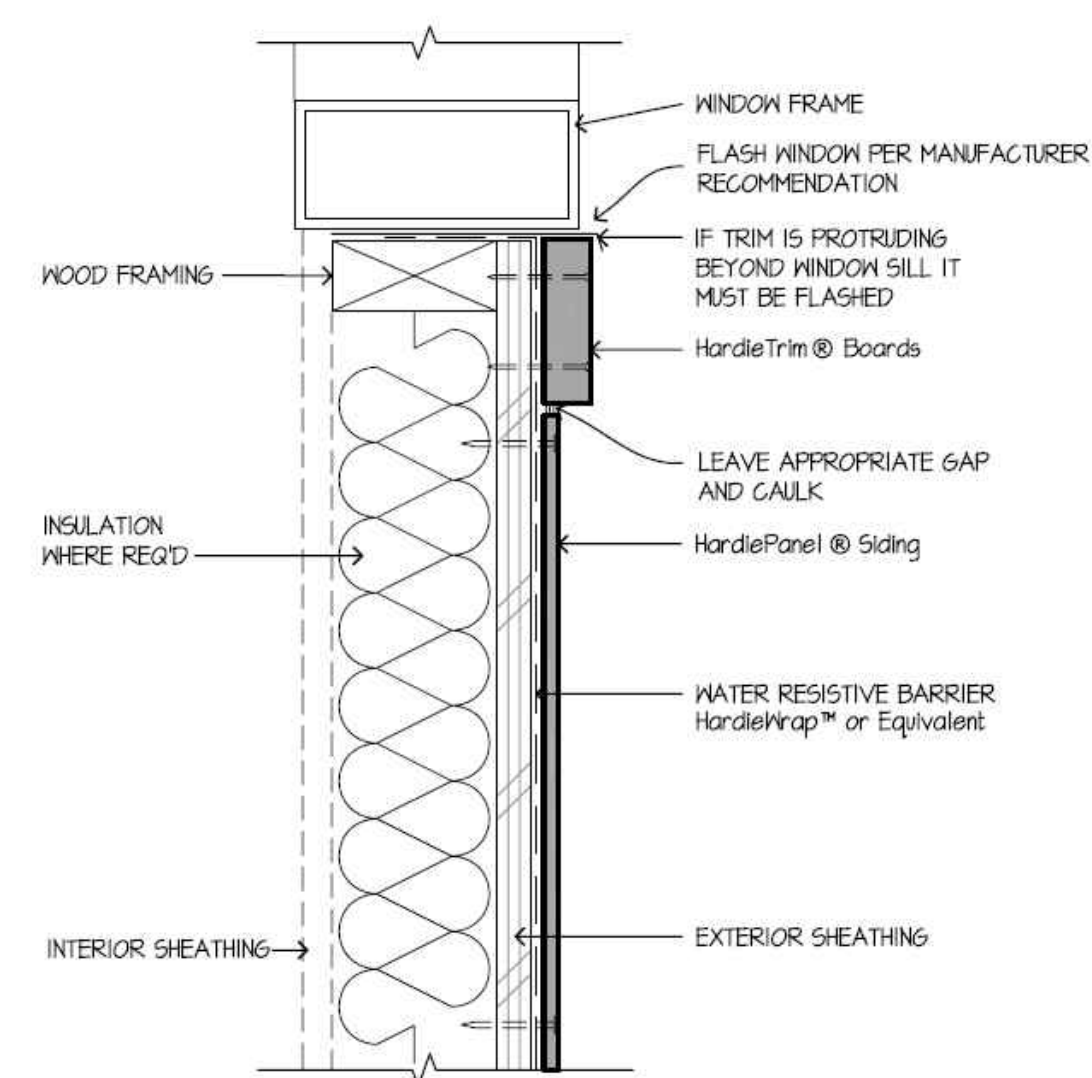
5 HORIZONTAL VIEW  
 SCALE: 3"=1'-0"



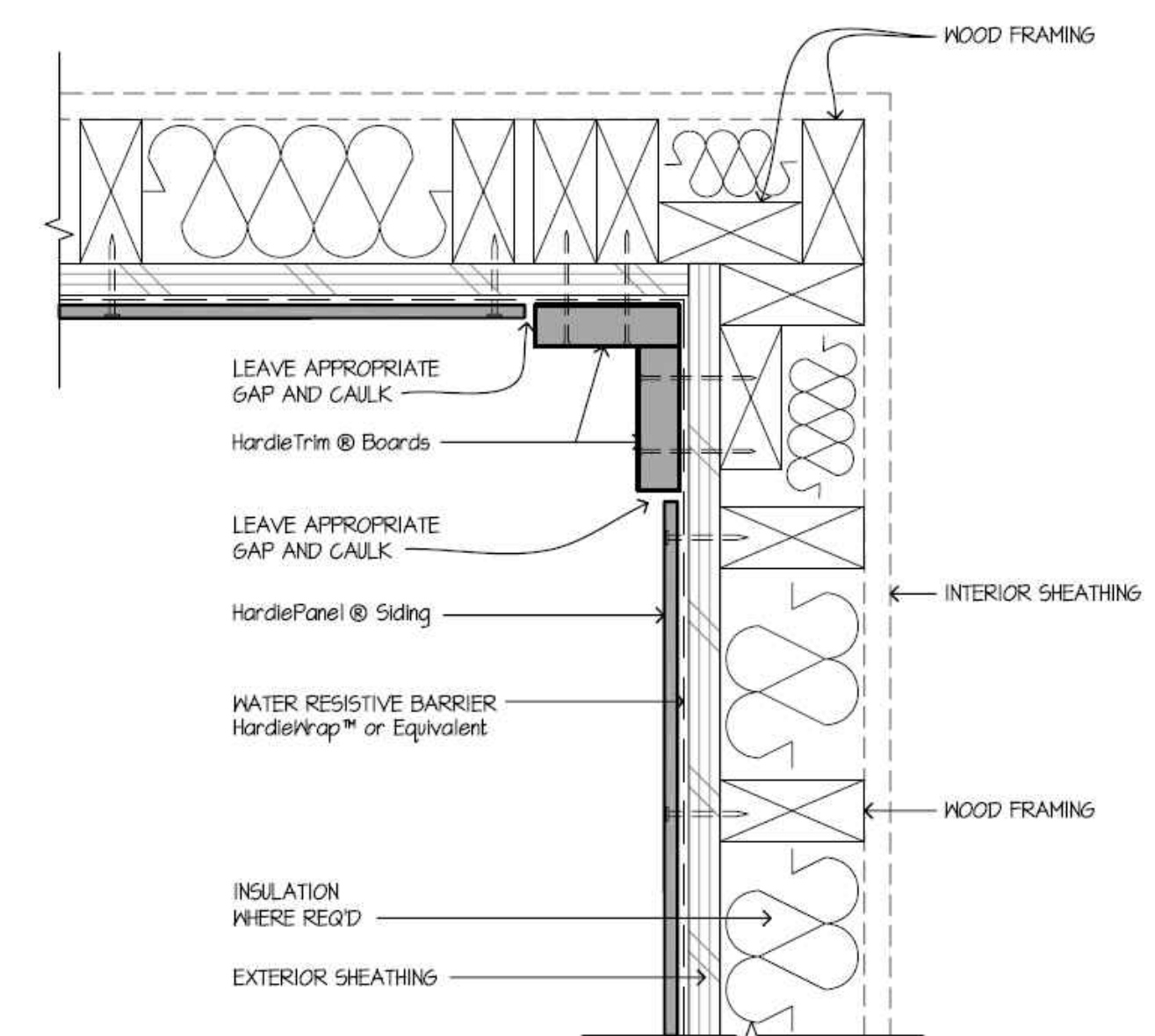
2 OUTSIDE CORNER  
 SCALE: 3"=1'-0"



7 FIXTURE PENETRATION  
 SCALE: 3"=1'-0"

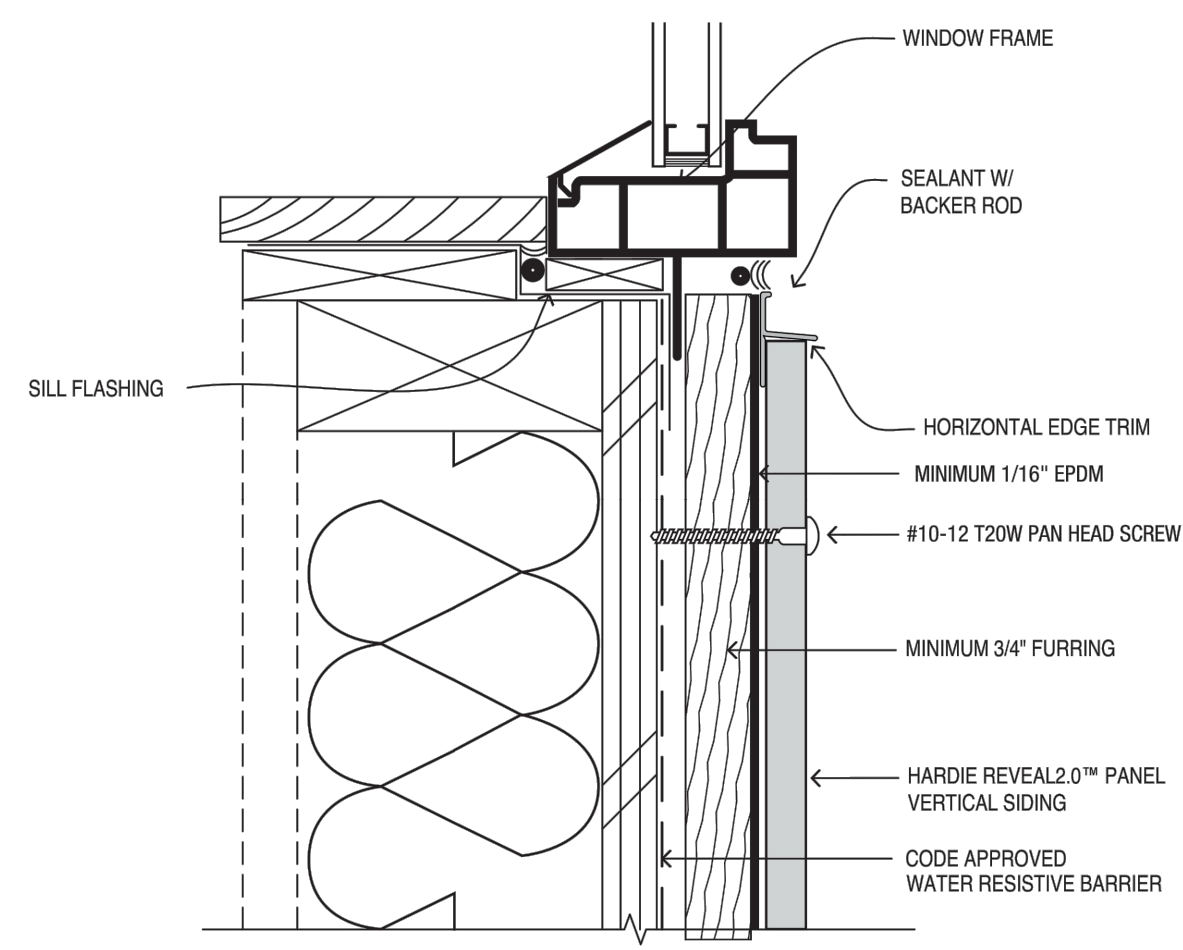


4 WINDOW SILL  
 SCALE: 3"=1'-0"

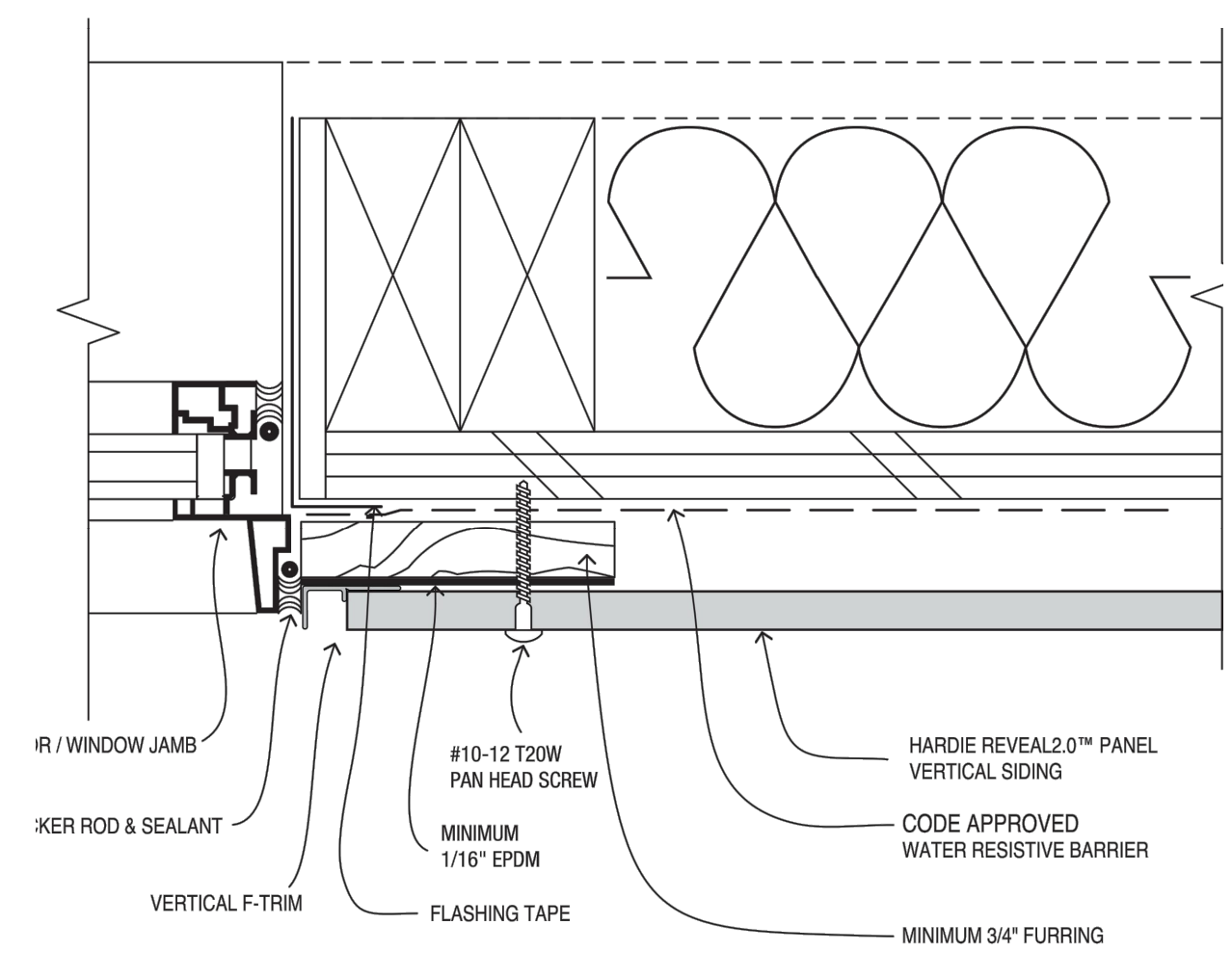


1 INSIDE CORNER  
 SCALE: 3"=1'-0"

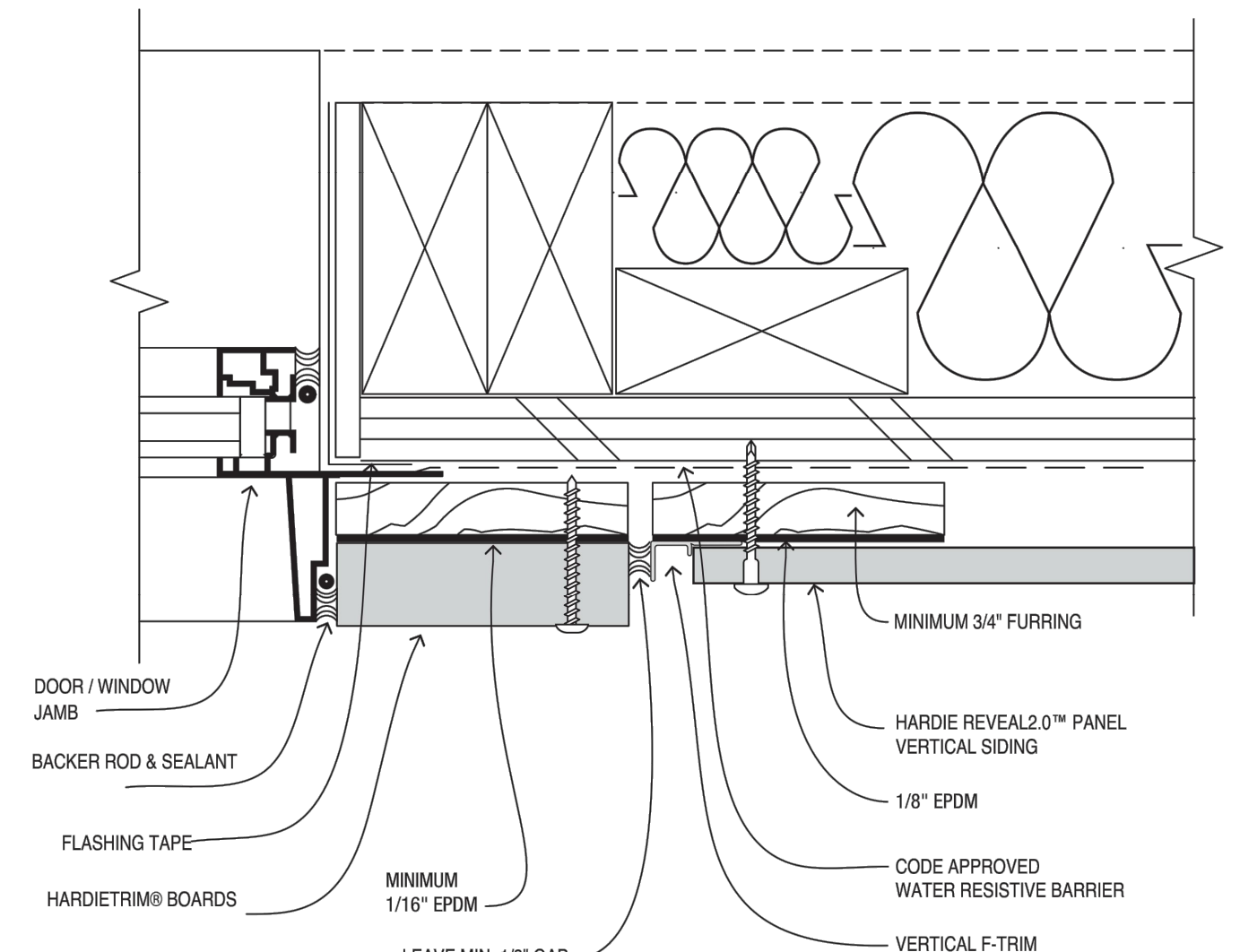




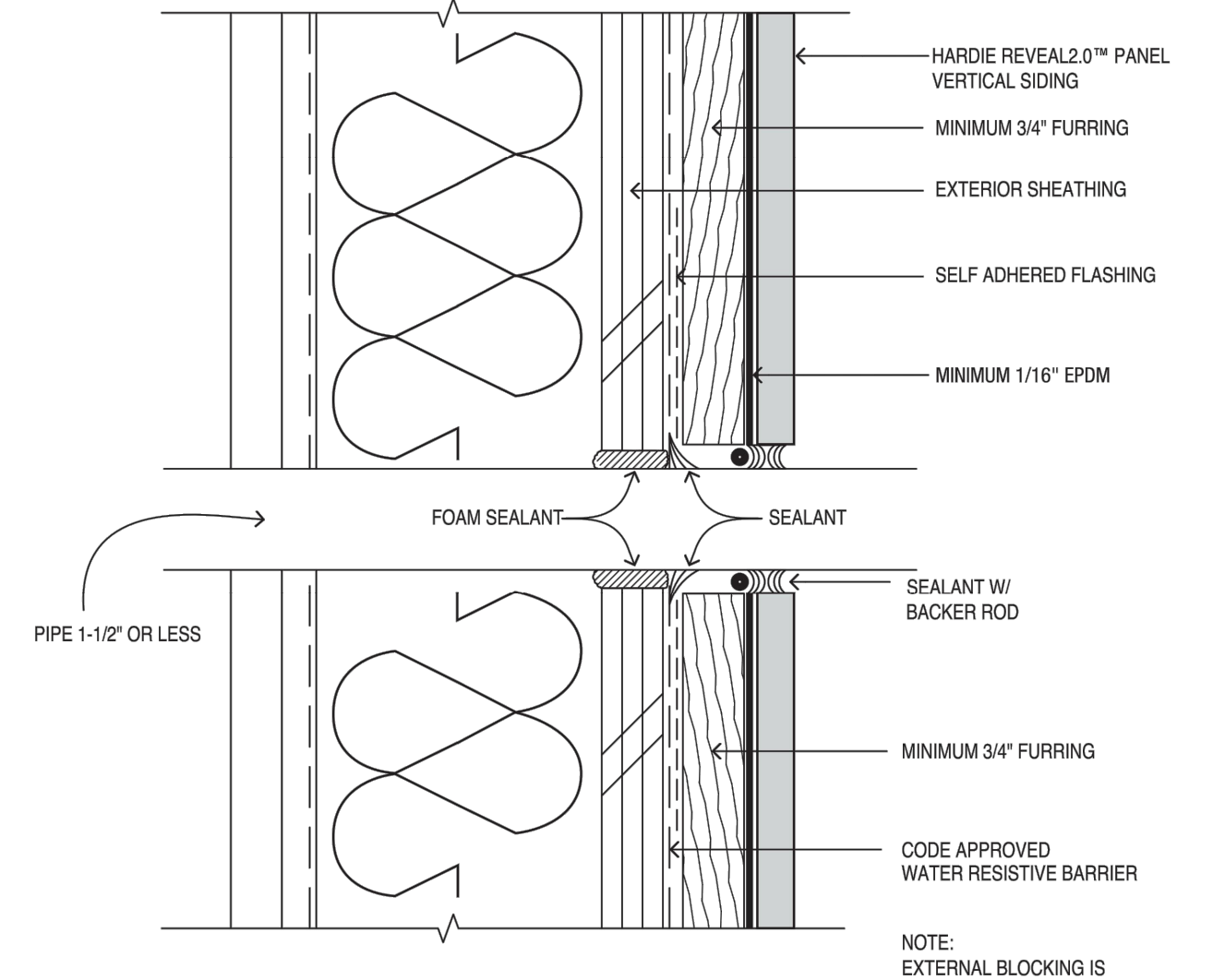
12 WINDOW SILL  
NTS



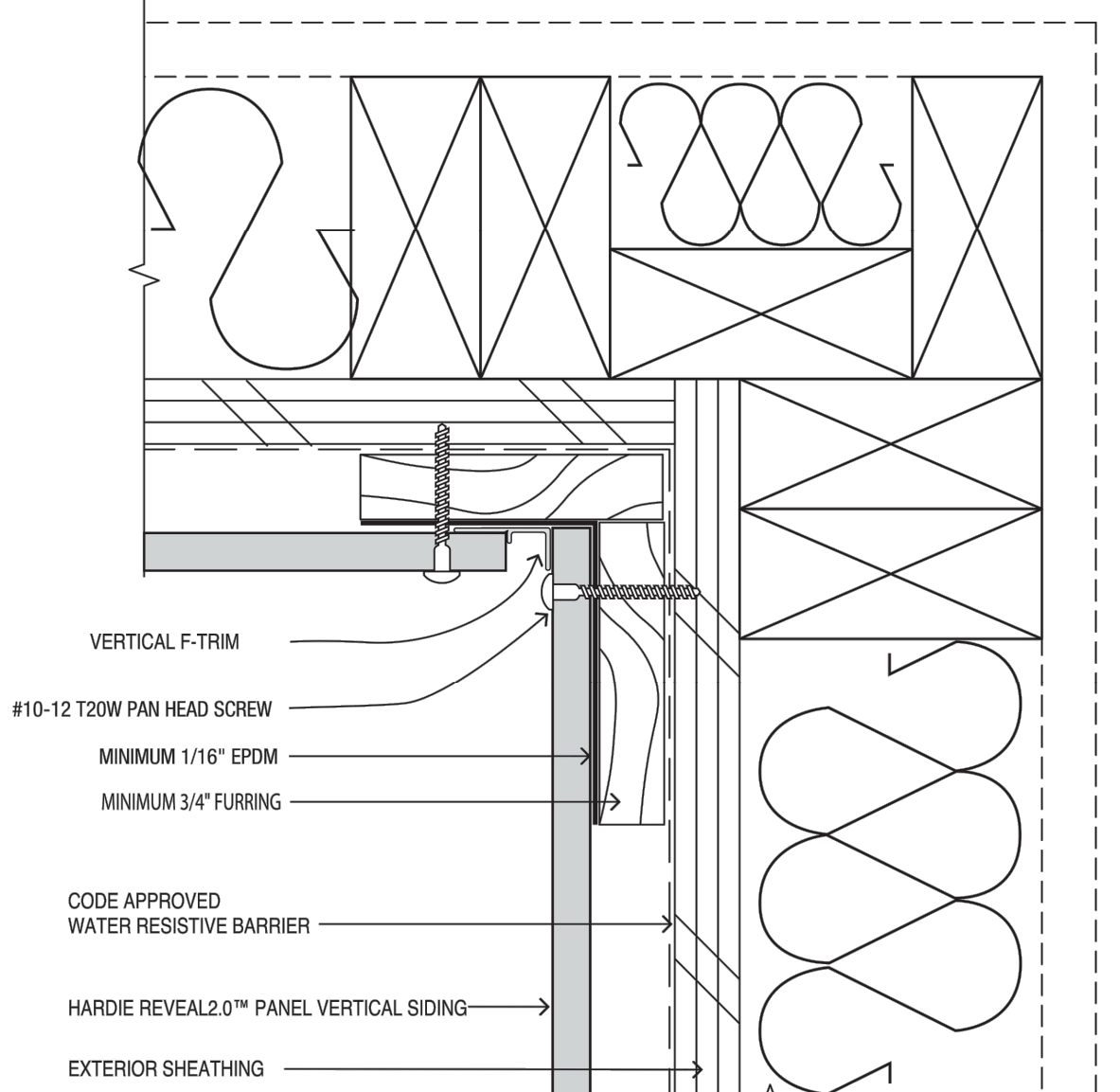
11 WINDOW JAMB, NO TRIM  
NTS



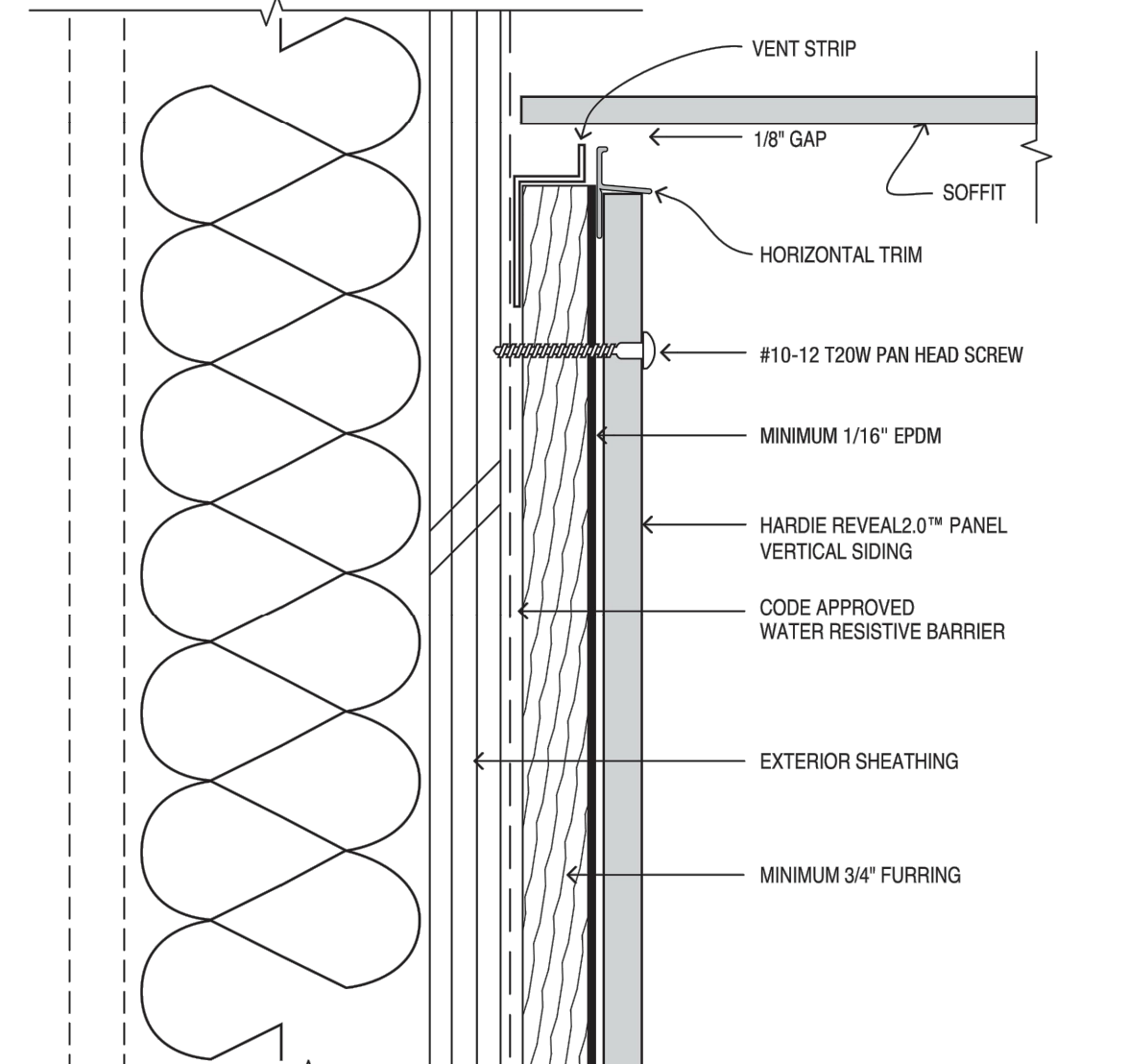
10 WINDOW JAMB, WITH TRIM  
NTS



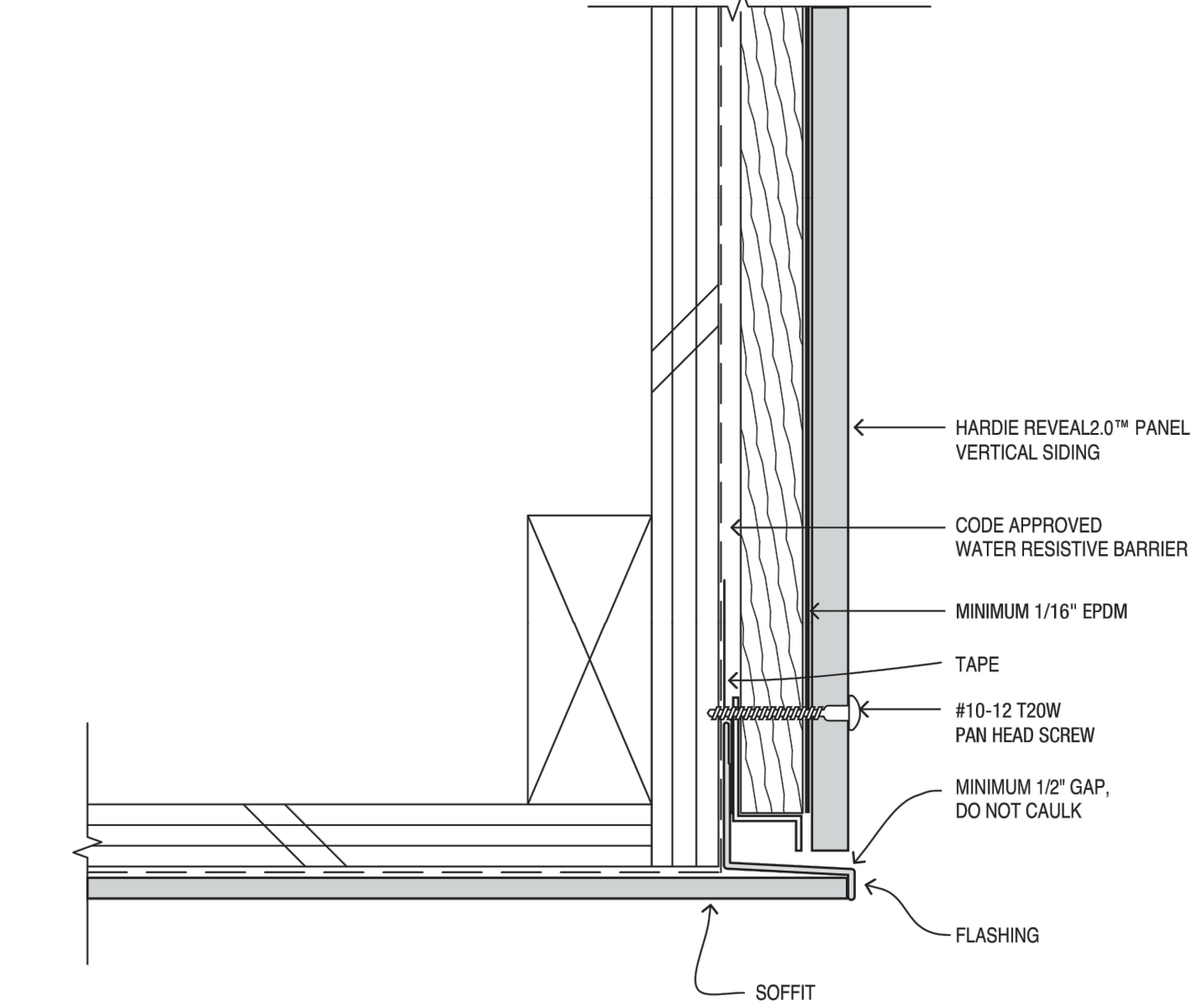
9 WALL PENETRATION 1.5" OR LESS  
NTS



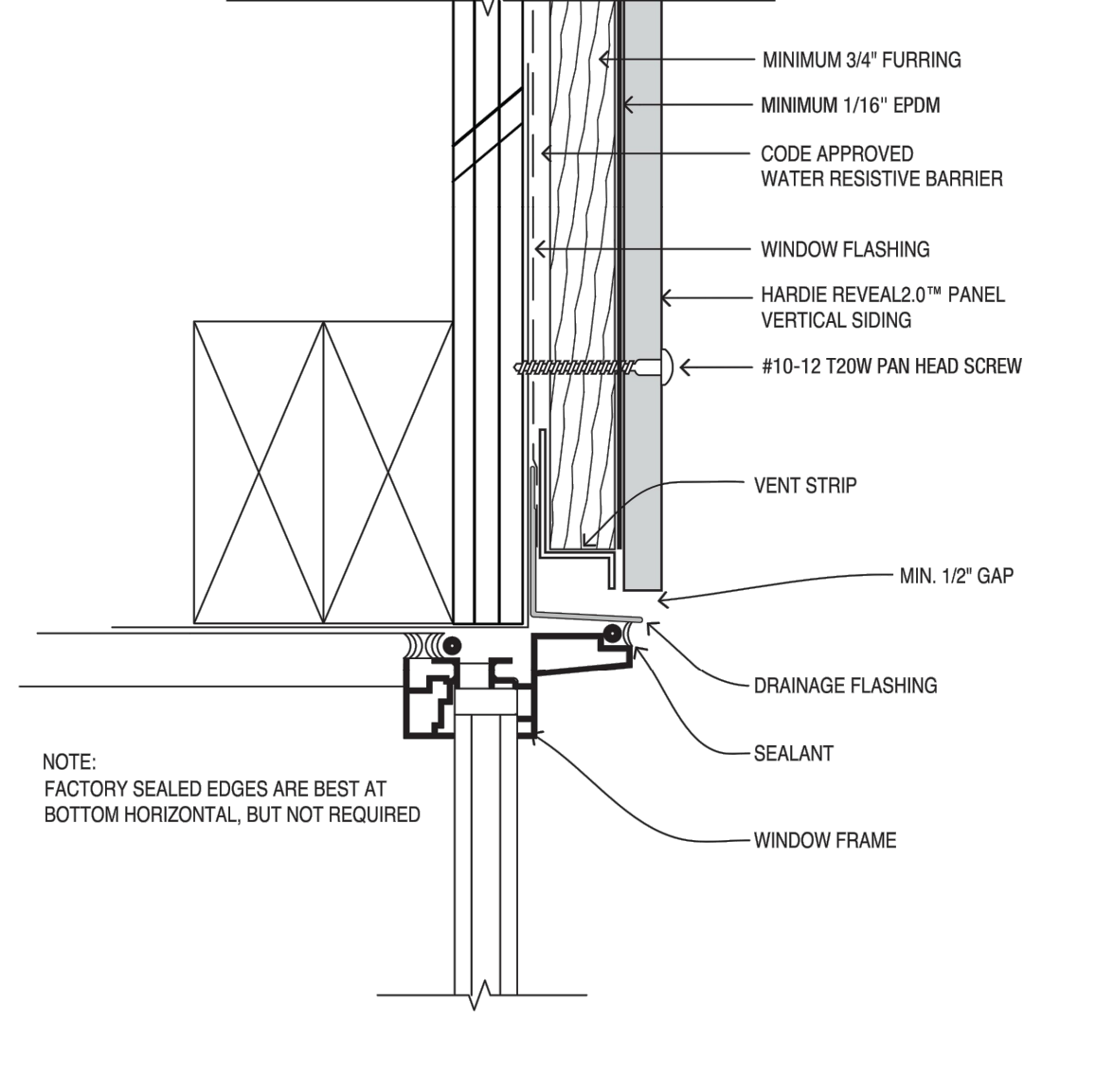
8 PLAN - INSIDE CORNER  
NTS



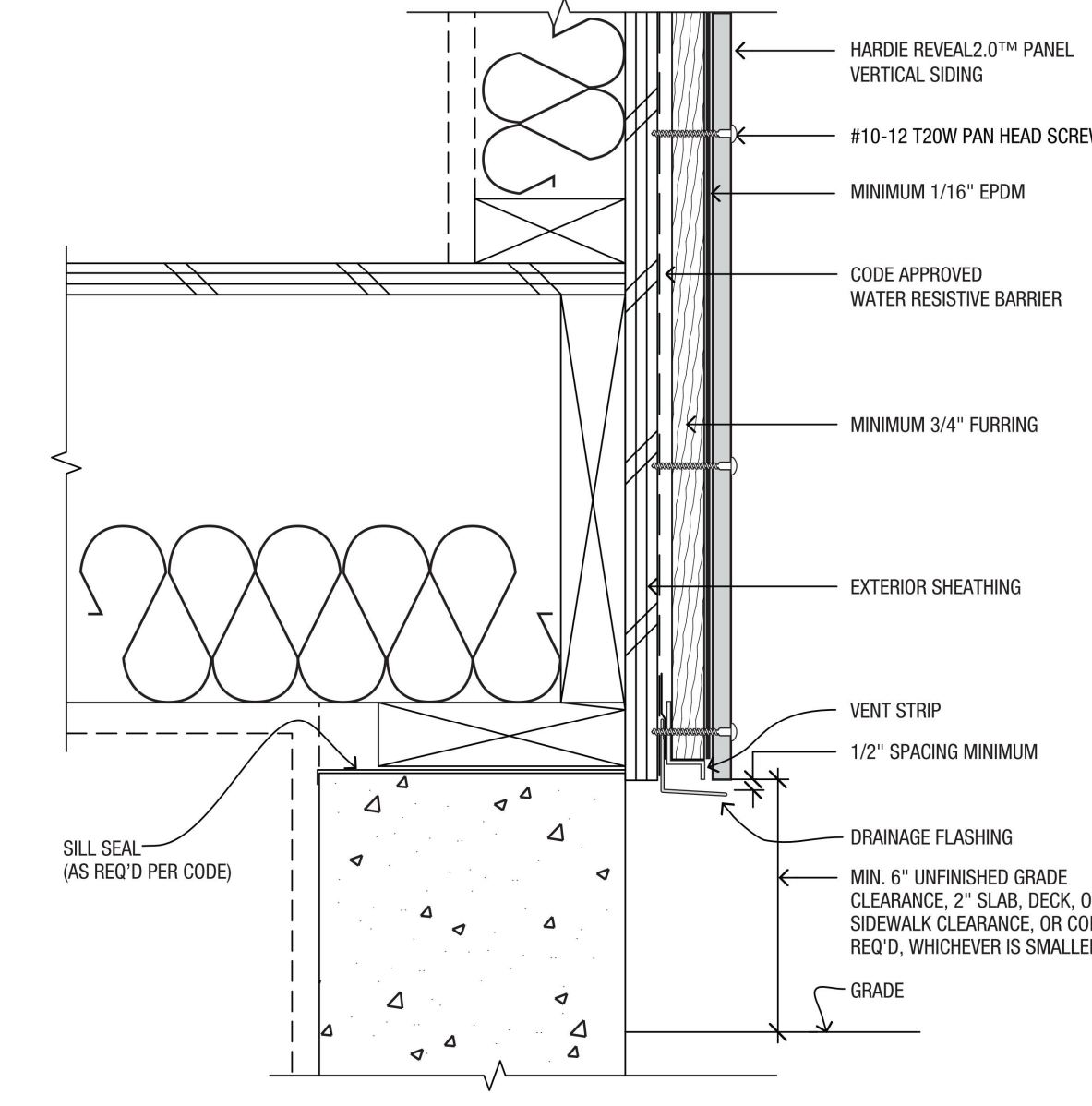
7 WALL TO SOFFIT  
NTS



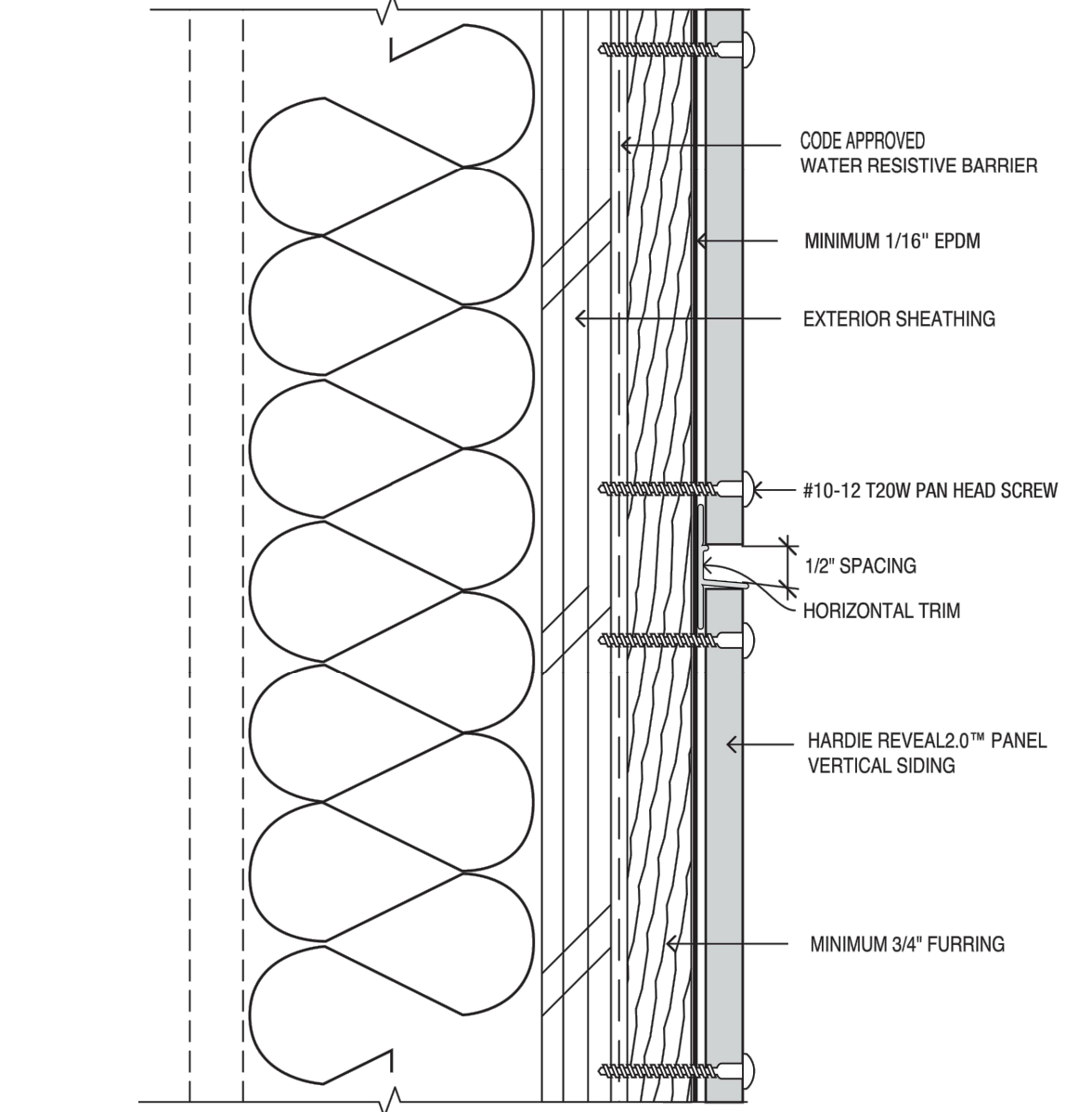
6 SOFFIT TO OUTSIDE CORNER  
NTS



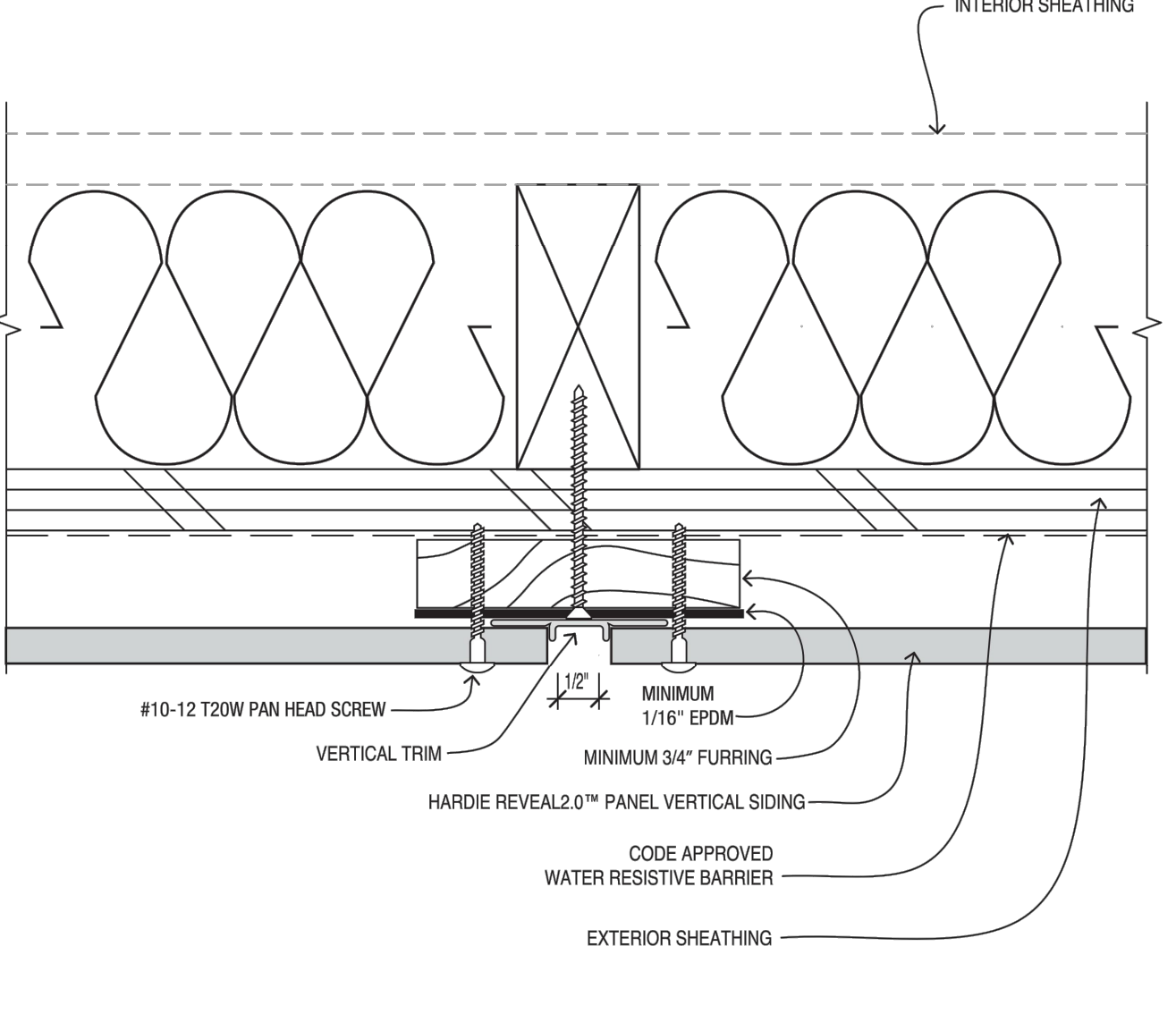
5 WINDOW HEAD, DOOR SIM.  
NTS



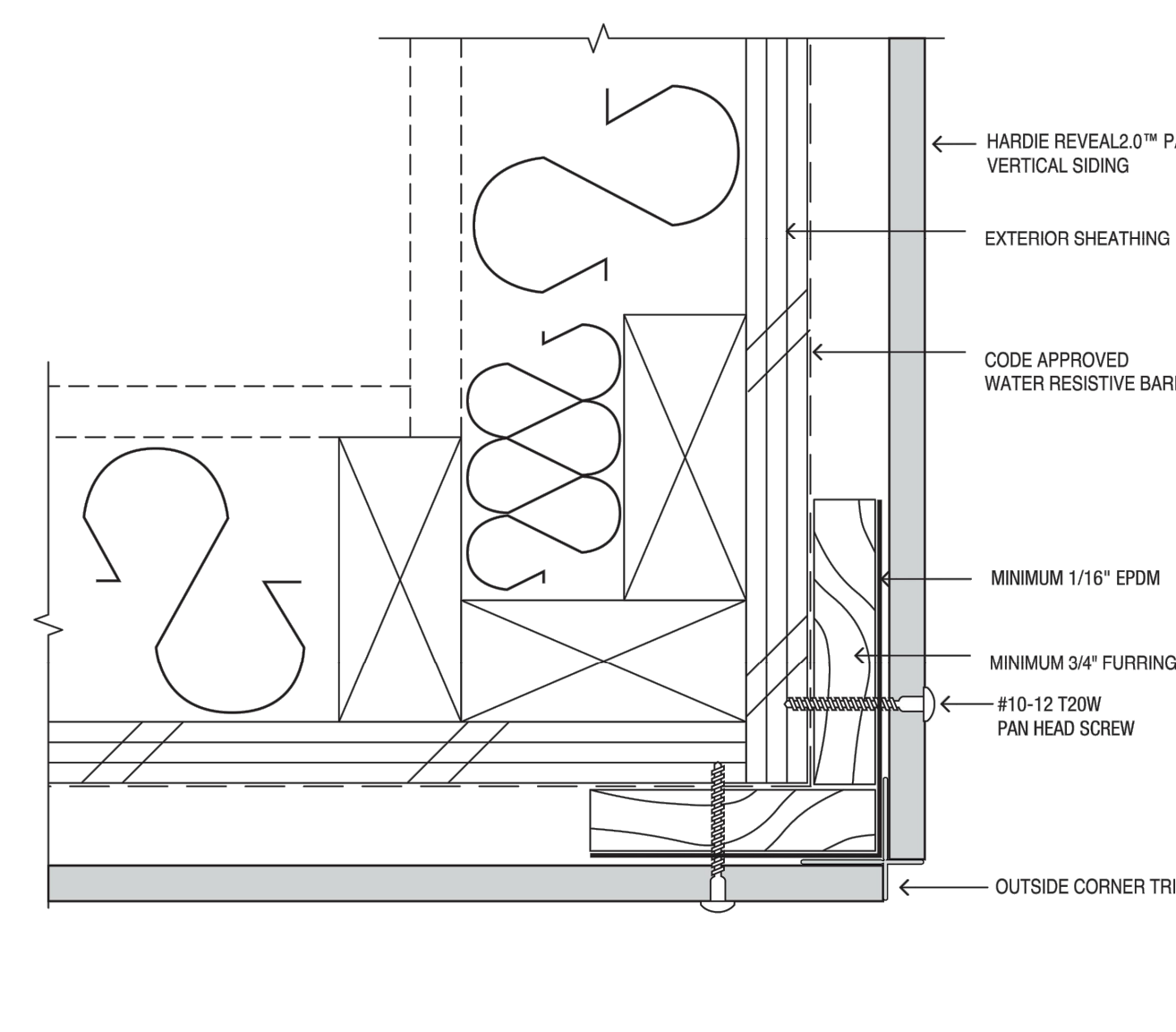
4 SECTION - AT GRADE  
NTS



3 SECTION - HORIZ REVEAL  
NTS



2 PLAN - VERTICAL REVEAL  
NTS



1 PLAN - OUTSIDE CORNER  
NTS

**HARDIE REVEAL PANEL SYSTEM**

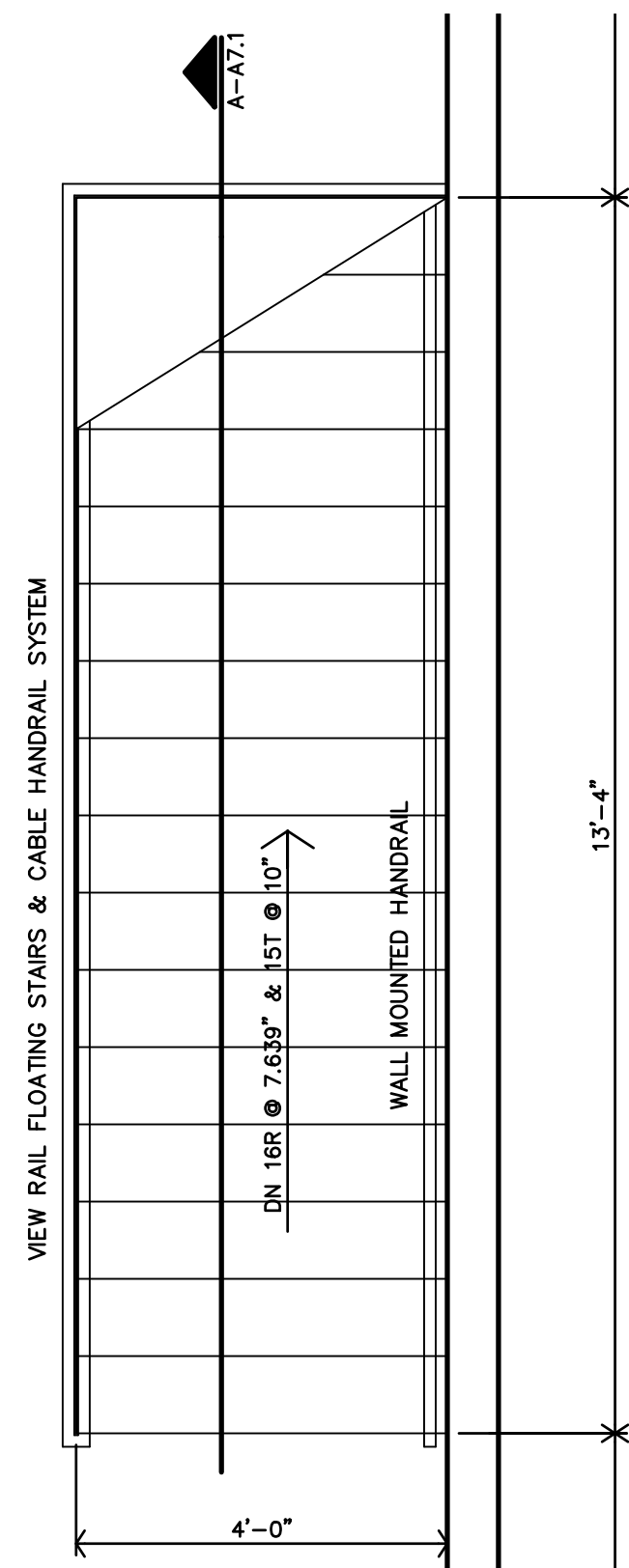
Manufacturers Installation Details, Install as indicated, Actual Conditions May Vary

DETAILS ARE NOT TO SCALE

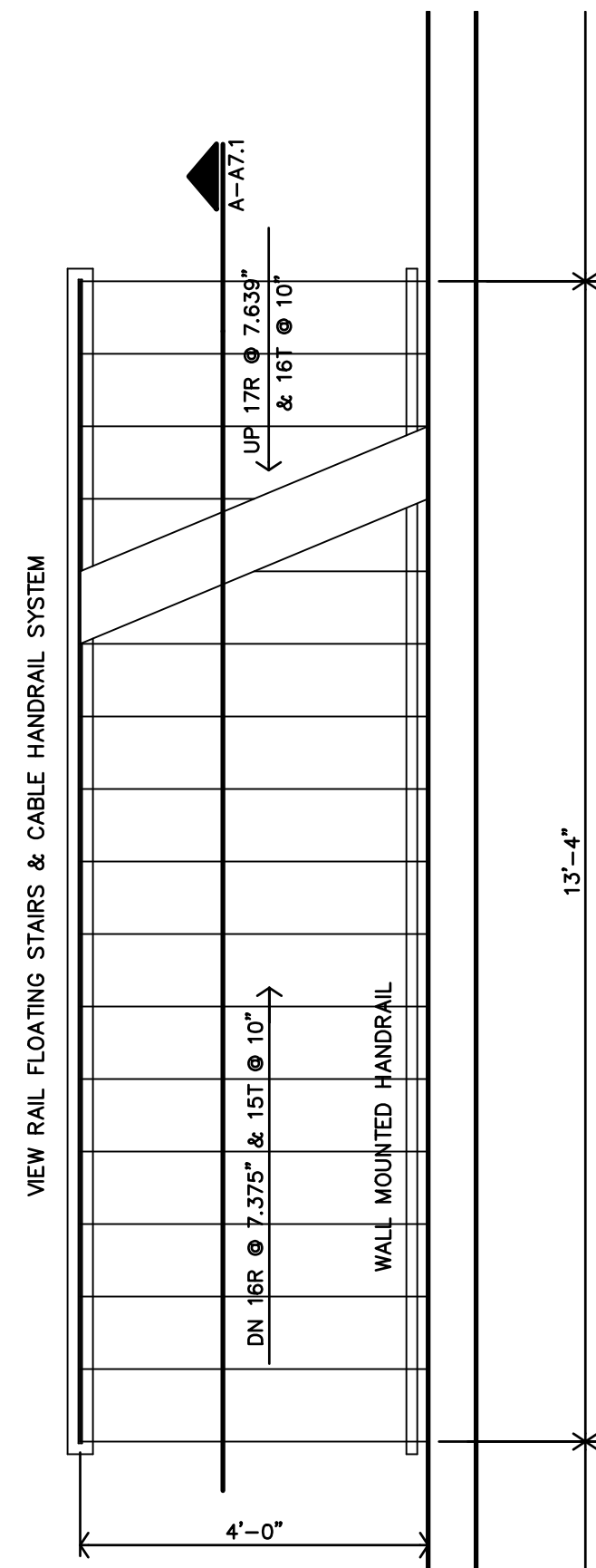


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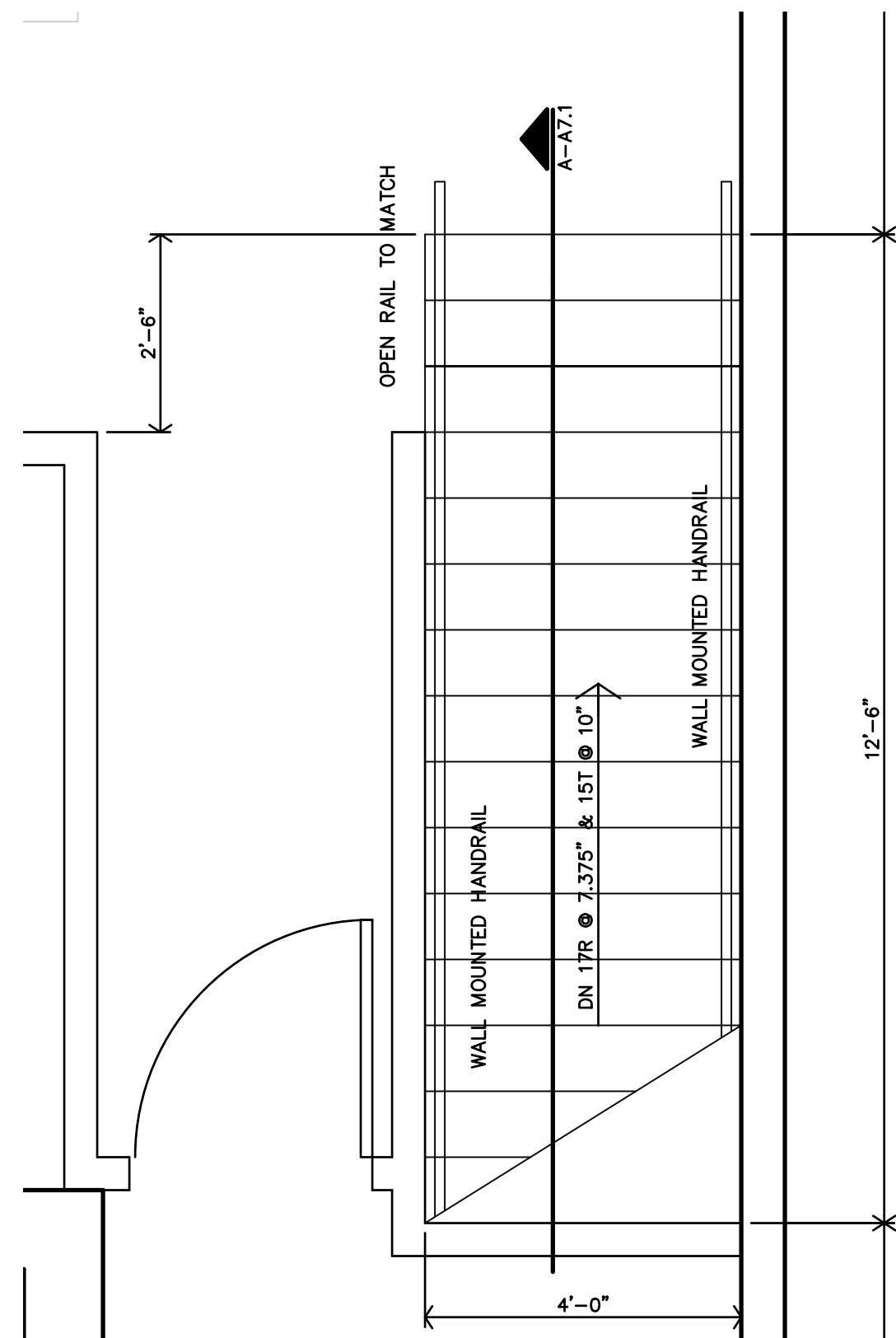




**D** 3RD FLR STAIR PLAN  
1/2"=1'-0"

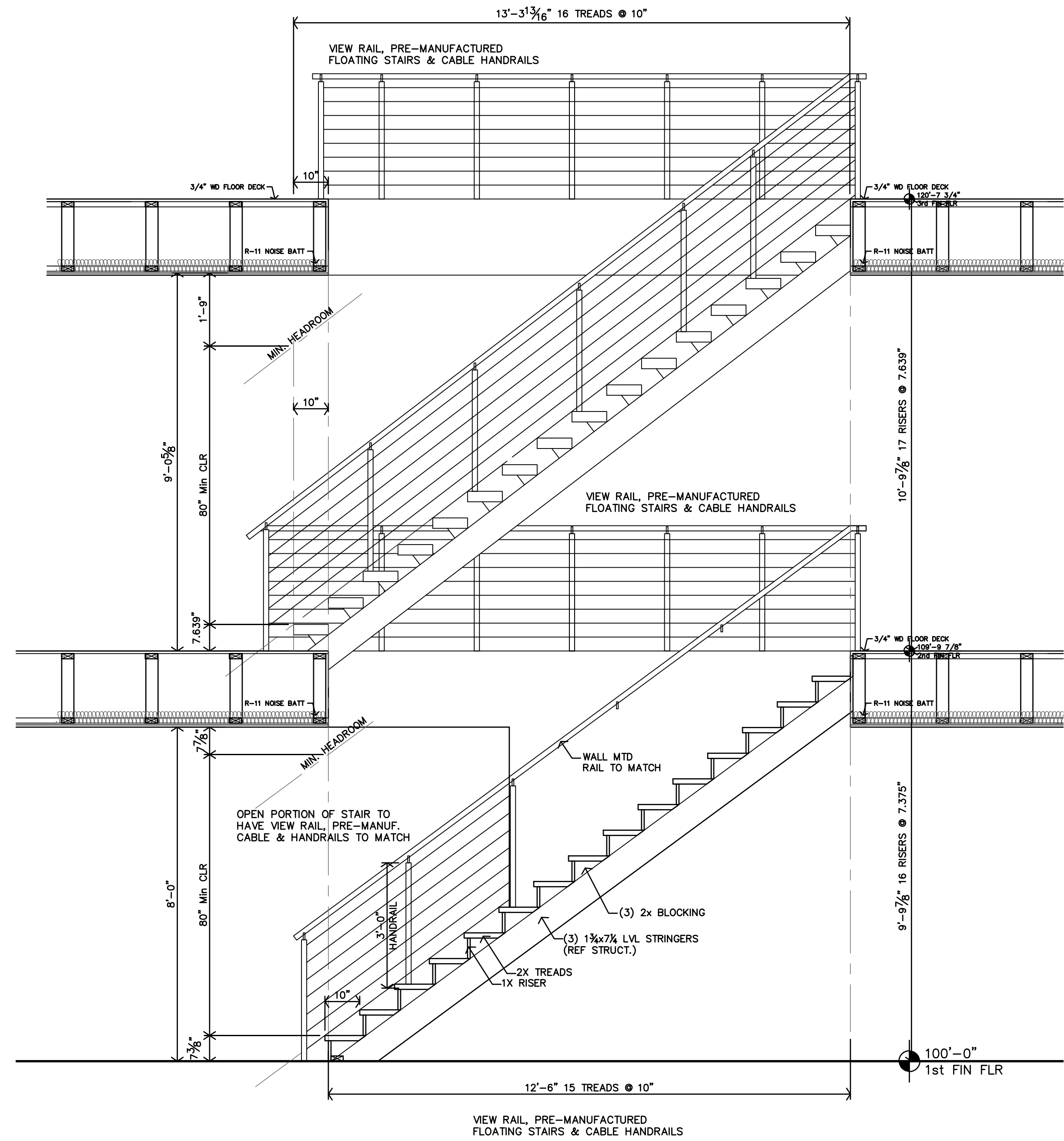


**C** 2ND FLR STAIR PLAN  
1/2"=1'-0"



**B** 1ST FLR STAIR PLAN  
1/2"=1'-0"

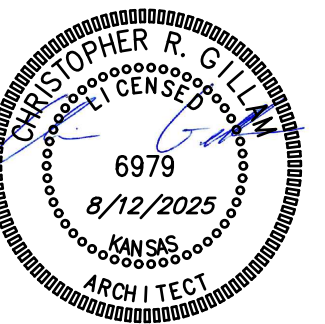
**D** VIEW RAIL, MANUFACTURED FLOATING STAIRS & CABLE RAILING  
NO SCALE



**A** PARKSIDE 2A,2B,3A STAIR SECTION  
1/2"=1'-0"

PARKSIDE UNITS

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DATE:	8-12-2025
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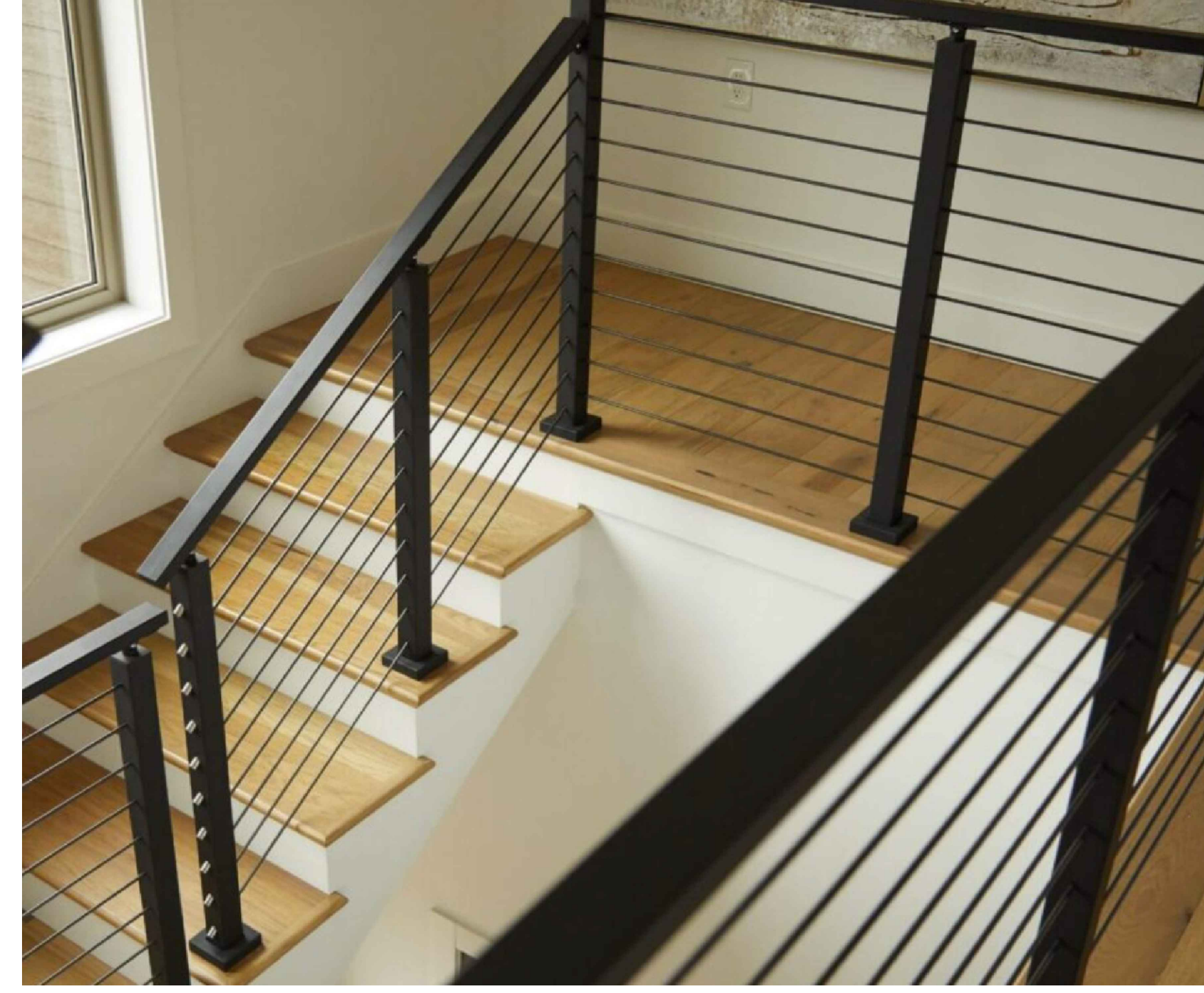
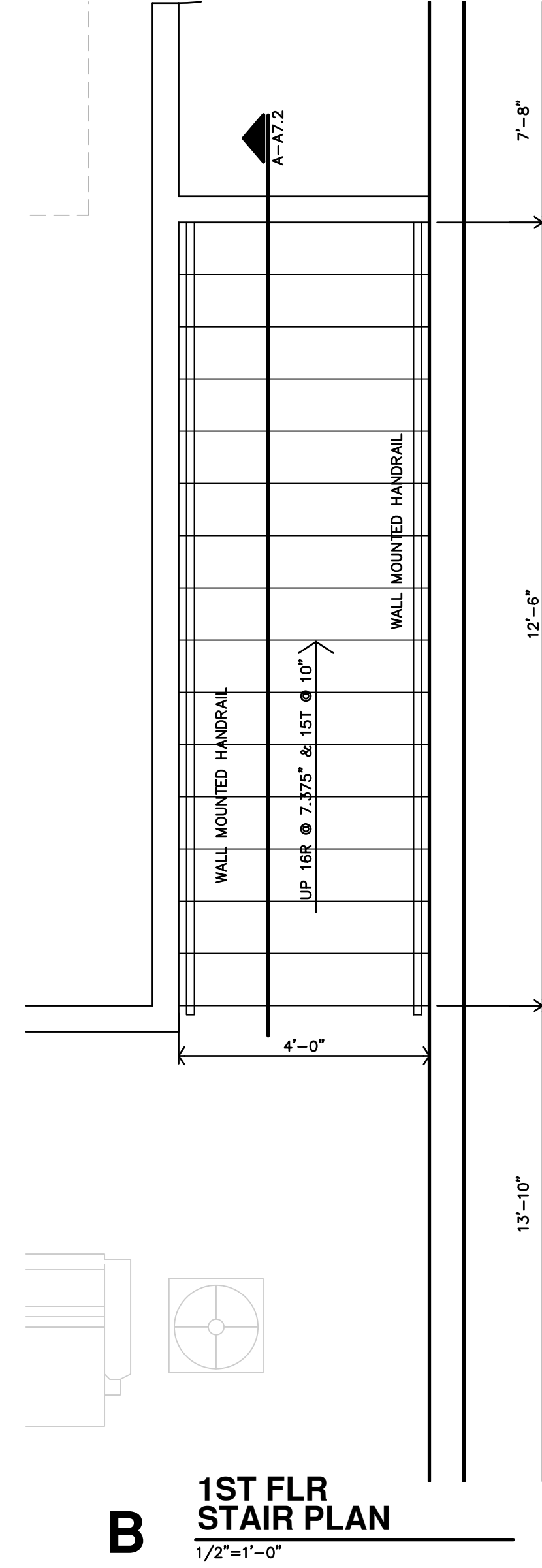
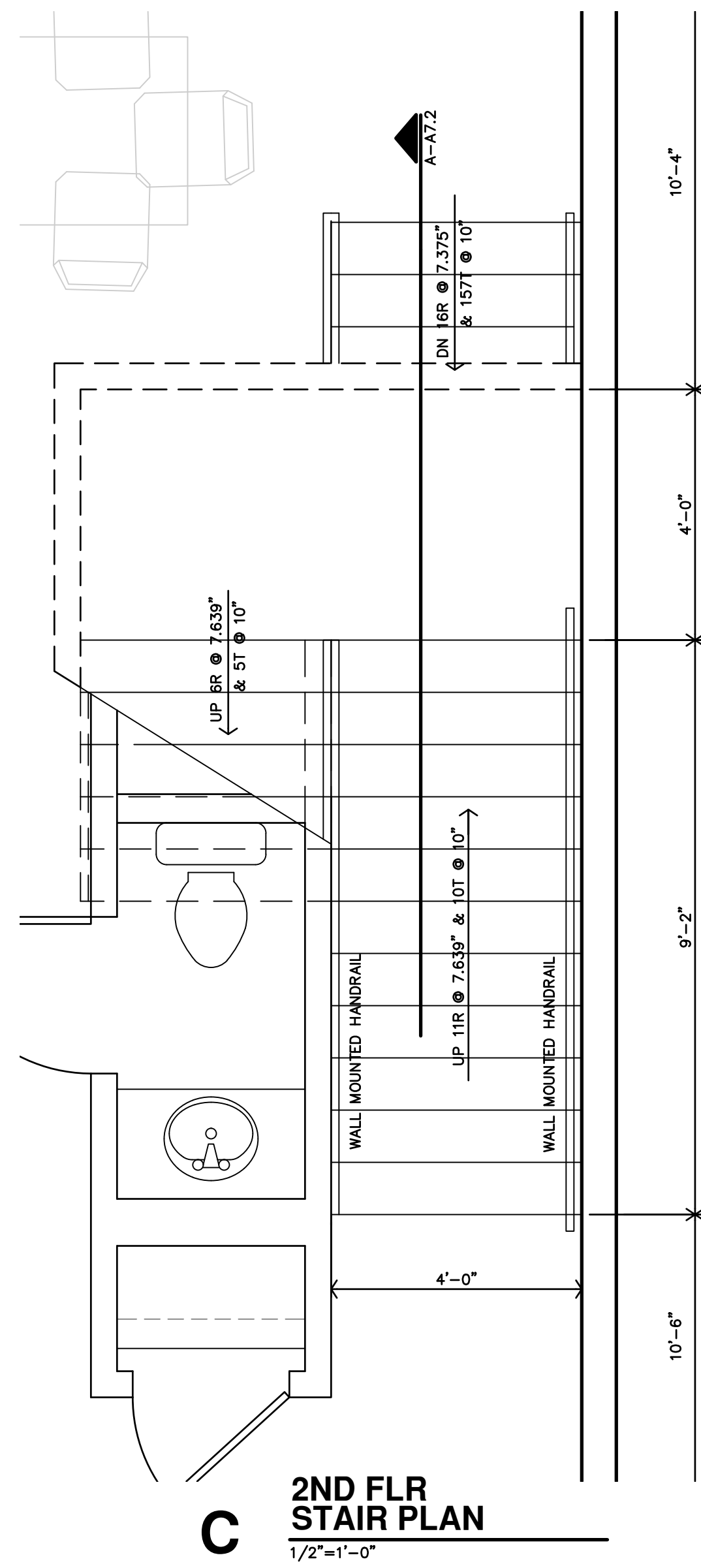
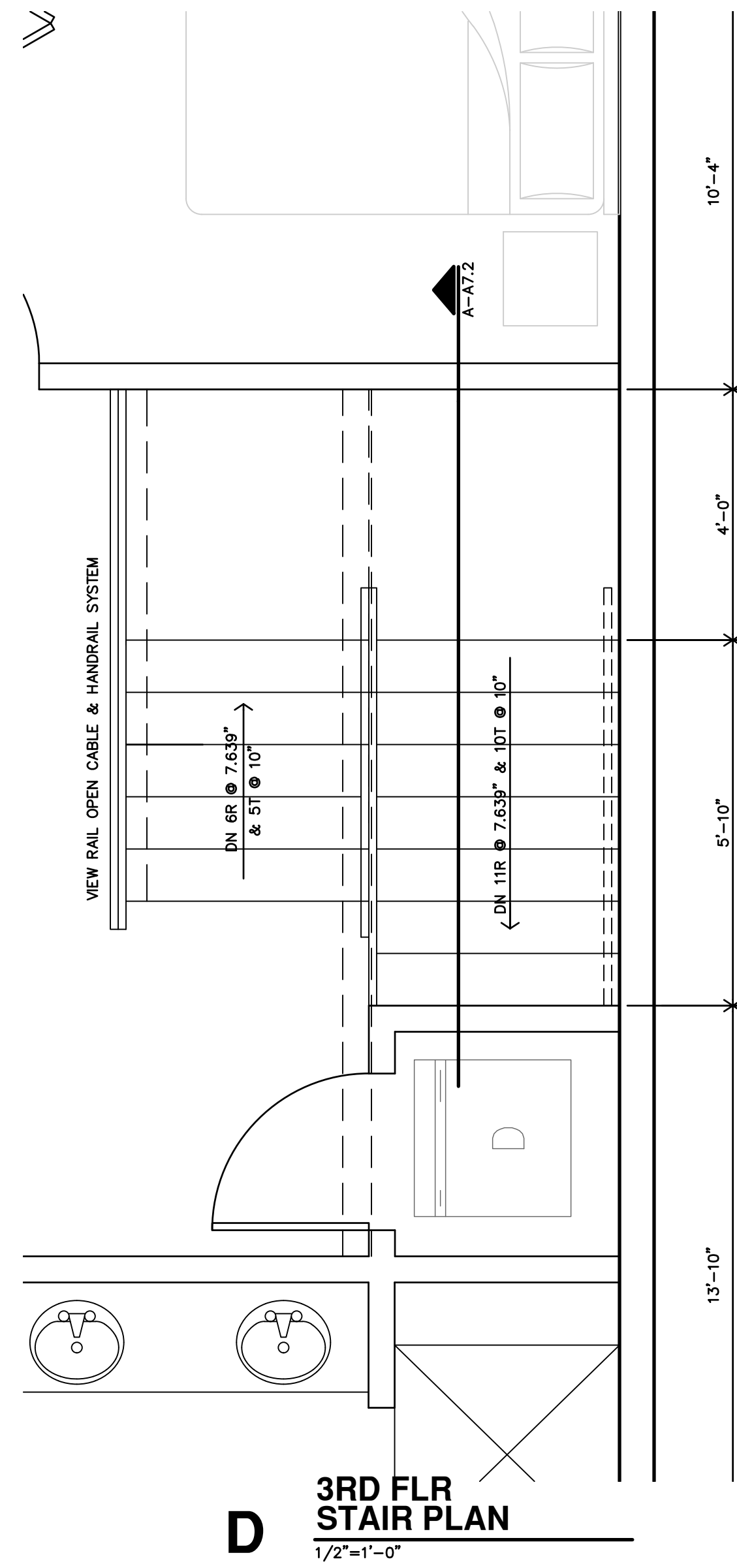
A7.1

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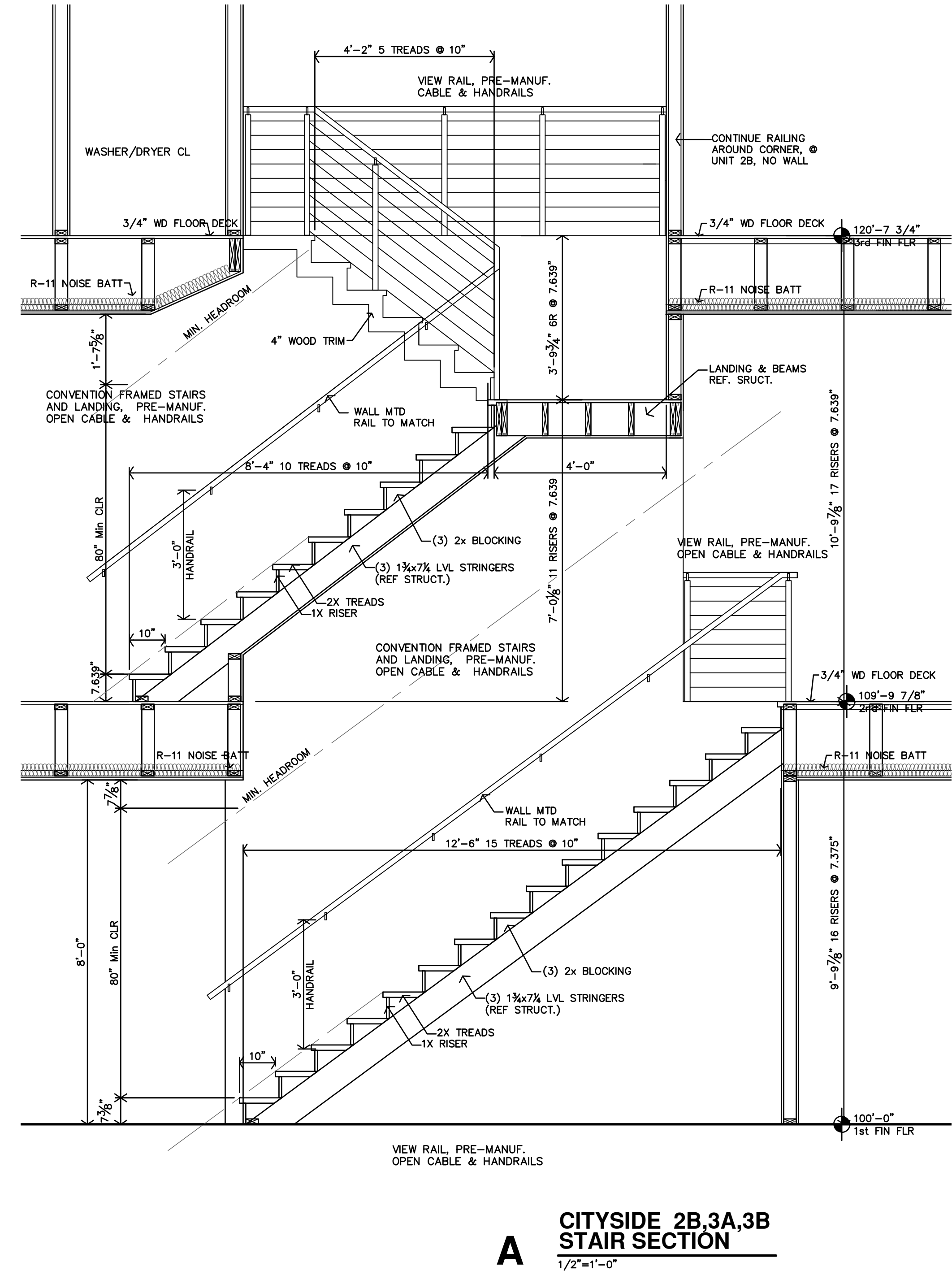
LENEXA CITY CENTER\_ NORTH VILLAGE TOWNHOMES  
NEW TOWNHOMES COMPLEX  
LENEXA, KANSAS

**JGR**  
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730 N. Ninth 1881 Main Street, Suite 301  
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785.827.0386 jgr@jgrarchitects.com





**E CONVENTIONAL STAIRS W/ VIEW RAIL CABLE RAILING**  
NO SCALE



CITYSIDE UNITS

REVISION:

DATE: 8-12-2025

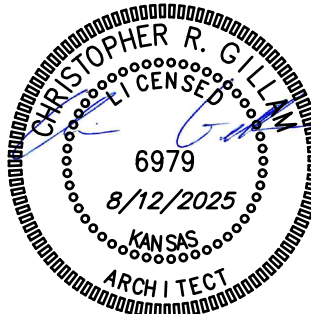
JOB: 25-3090

SHEET NO.:

A7.2

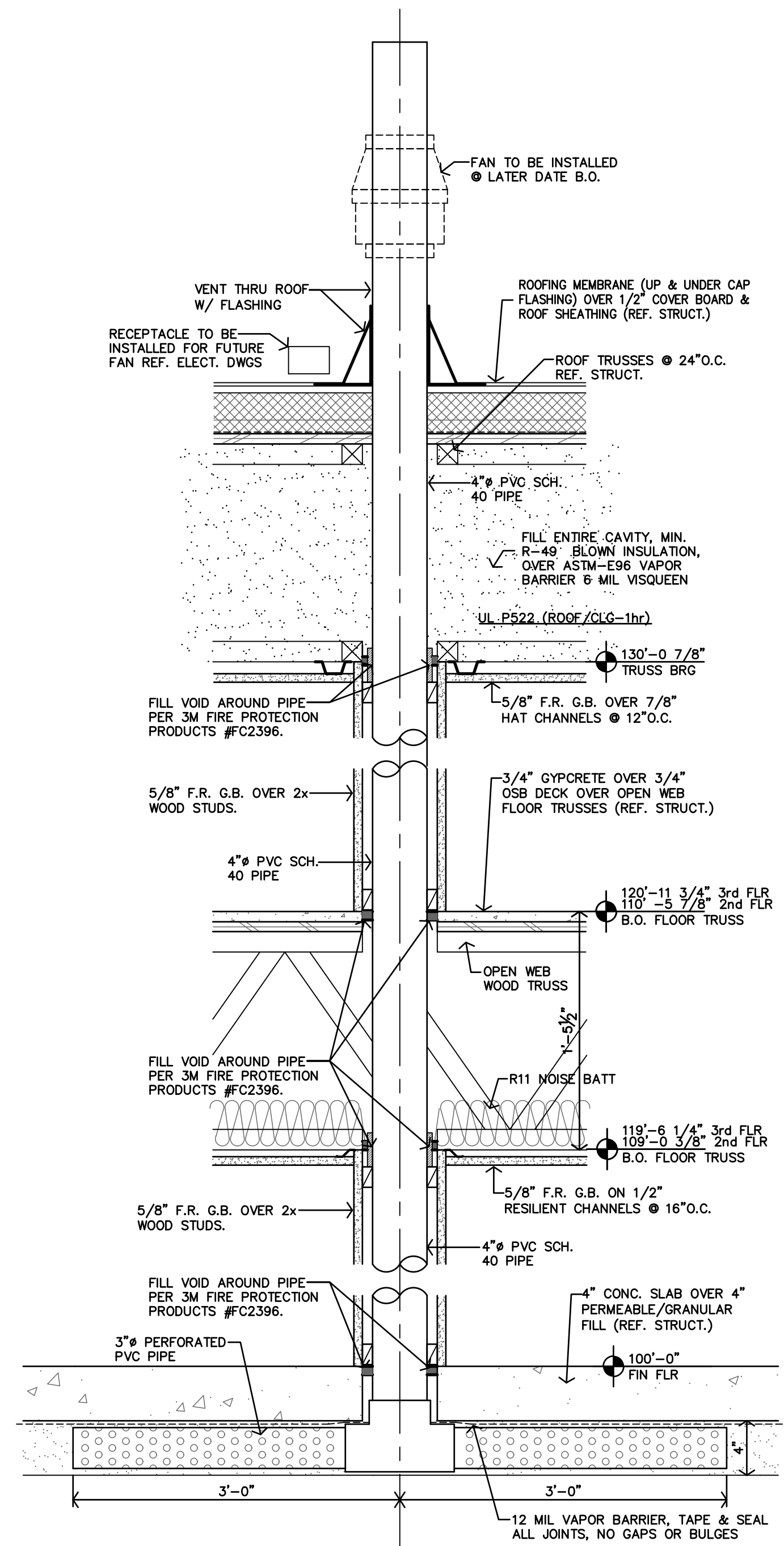
LENEXA CITY CENTER\_ NORTH VILLAGE TOWNHOMES  
NEW TOWNHOMES COMPLEX  
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785.827.0366 jgr@jgrarchitects.com



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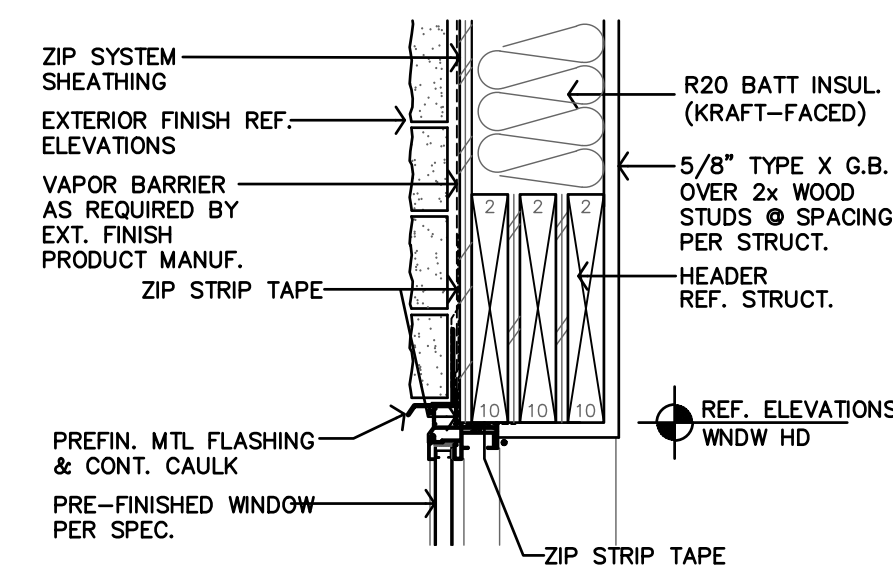


RADON VENTILATION PIPING IS SHOWN ON THE BUILDING PLANS. EACH VENT IS LOCATED AT APPROXIMATELY EVERY OTHER UNIT, (SERVING APPROX 2,500 SF), WITH AT LEAST ONE ARM OF THE VENT PIPE EXTENDING UNDER THE SLAB OF ALL INTERIOR UNITS.

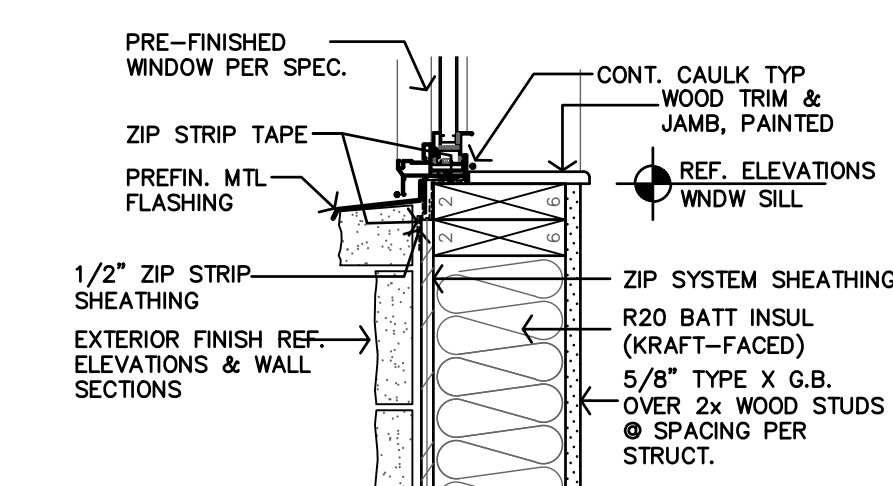
**X RADON PIPE DETAIL**  
1 1/2"=1'-0"

**TYPICAL RADON UNDER SLAB VENT DETAIL**

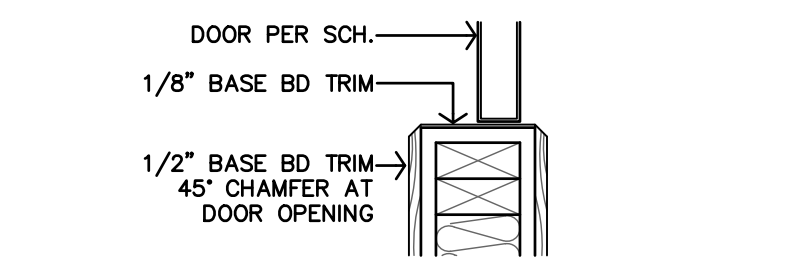
**TYPICAL DOOR & WINDOW DETAILS**



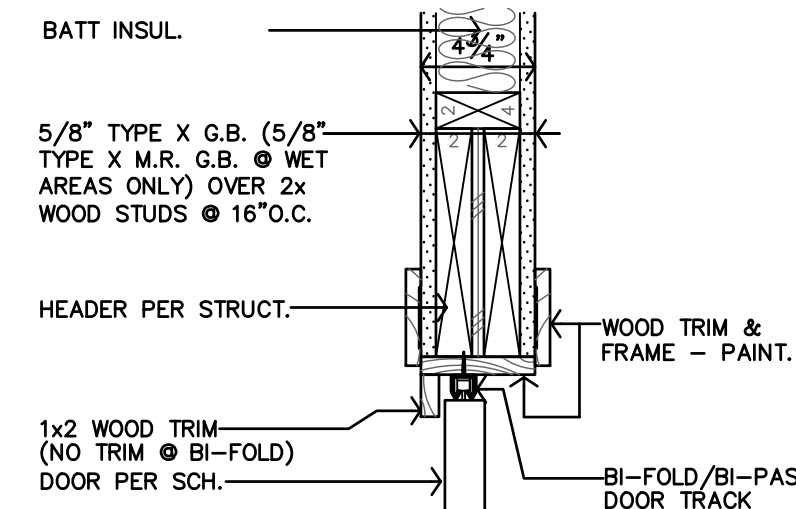
**Q WINDOW HEAD DTL.**  
1 1/2"=1'-0" JAMB SIM.



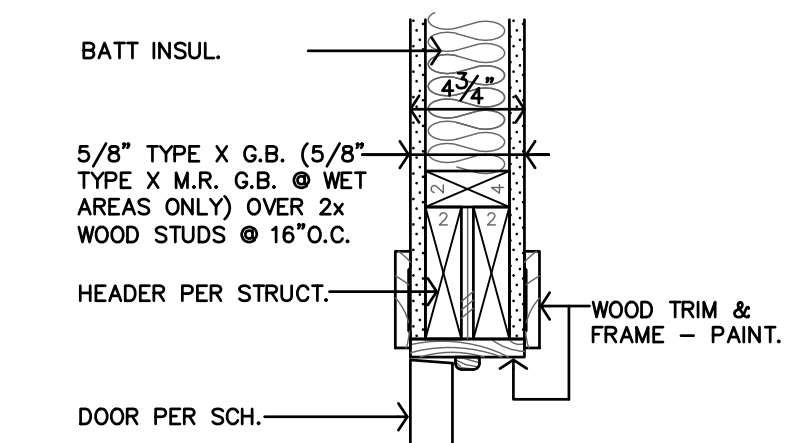
**P WINDOW SILL DTL.**  
1 1/2"=1'-0"



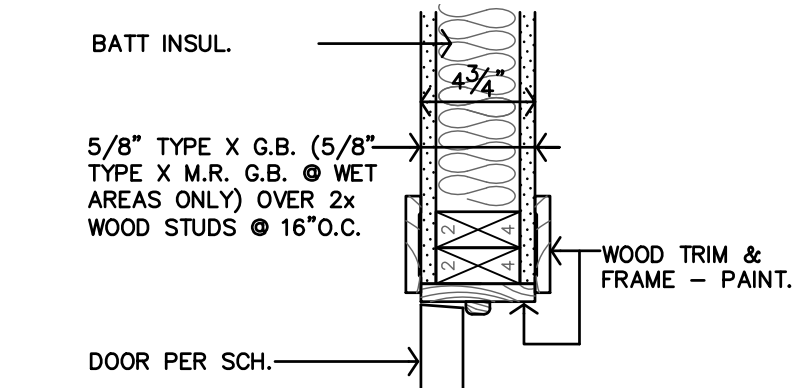
**O BASE DETAIL @ BI-FOLD & BI-PASS DOOR**  
1 1/2"=1'-0"



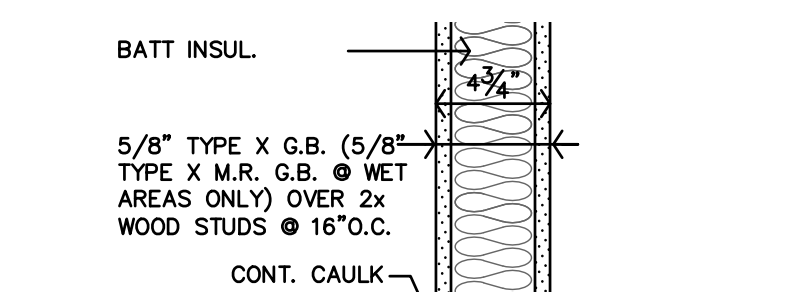
**N BI-FOLD DR HEAD DTL.**  
1 1/2"=1'-0"



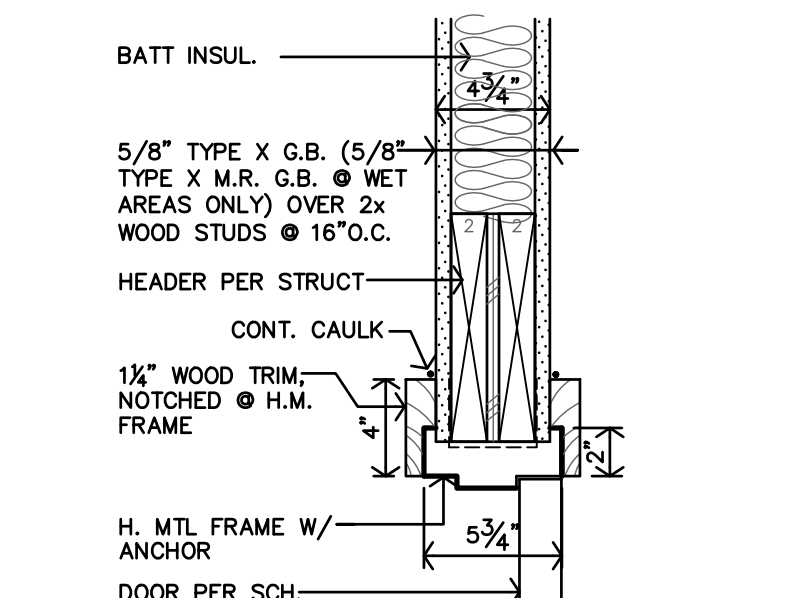
**M DOOR HEAD DTL.**  
1 1/2"=1'-0"



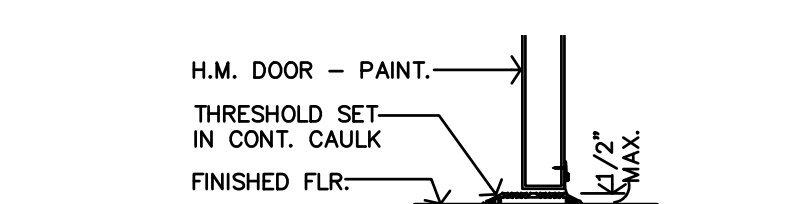
**L DOOR JAMB DTL.**  
1 1/2"=1'-0"



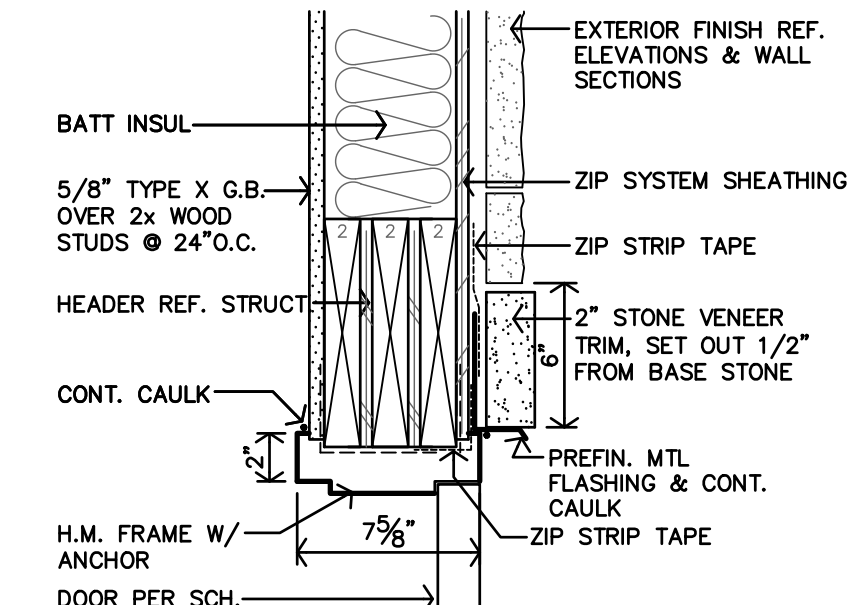
**K H.M. DOOR JAMB DTL.**  
1 1/2"=1'-0"



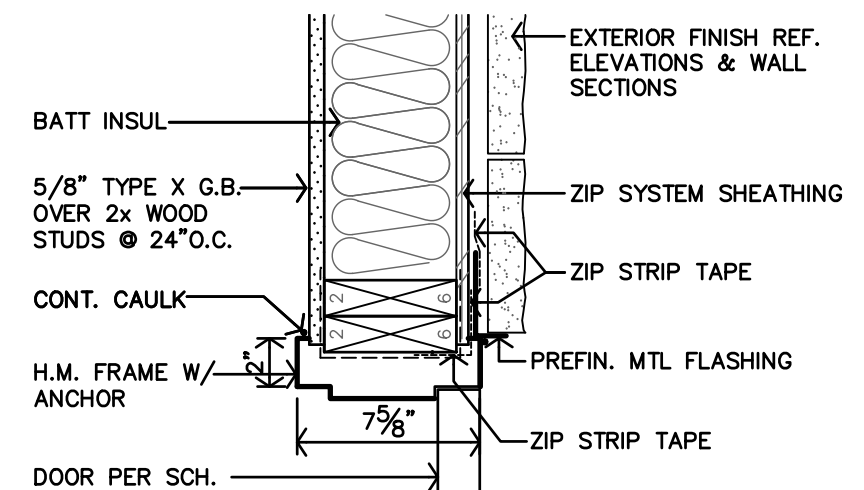
**J H.M. DOOR HEAD DTL.**  
1 1/2"=1'-0"



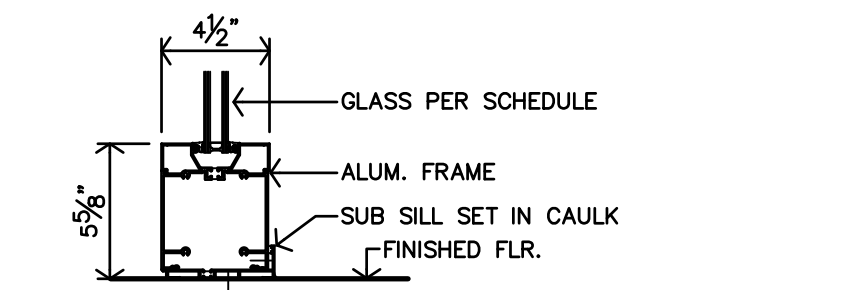
**H H.M. THRESHOLD DTL.**  
1 1/2"=1'-0"



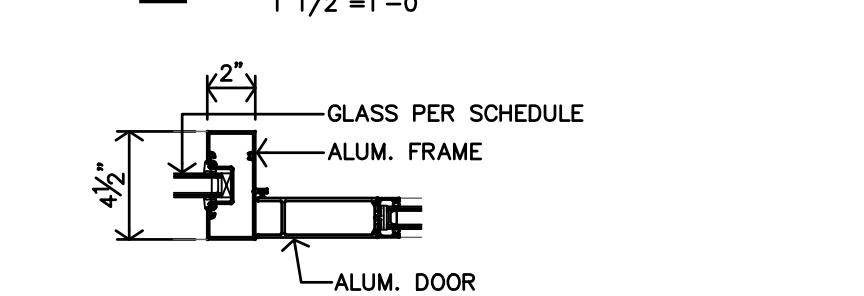
**G H.M. DOOR HEAD DTL.**  
1 1/2"=1'-0"



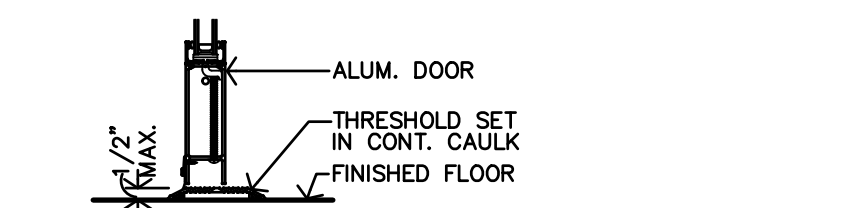
**F H.M. DOOR JAMB DTL.**  
1 1/2"=1'-0"



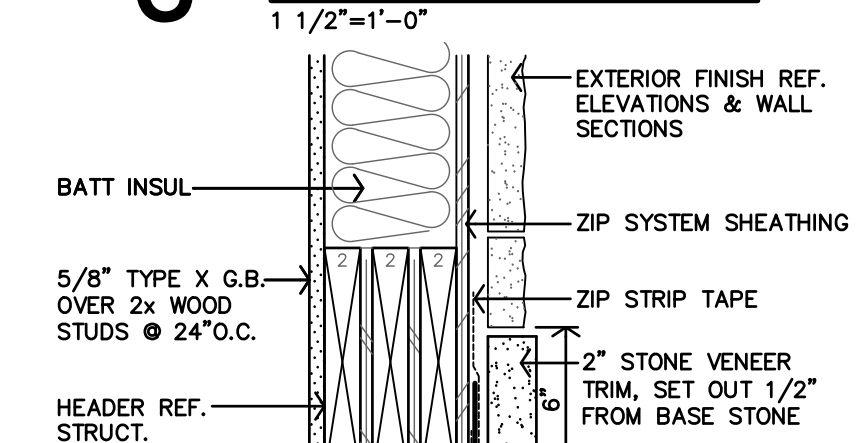
**E STOREFRONT SILL DTL.**  
1 1/2"=1'-0"



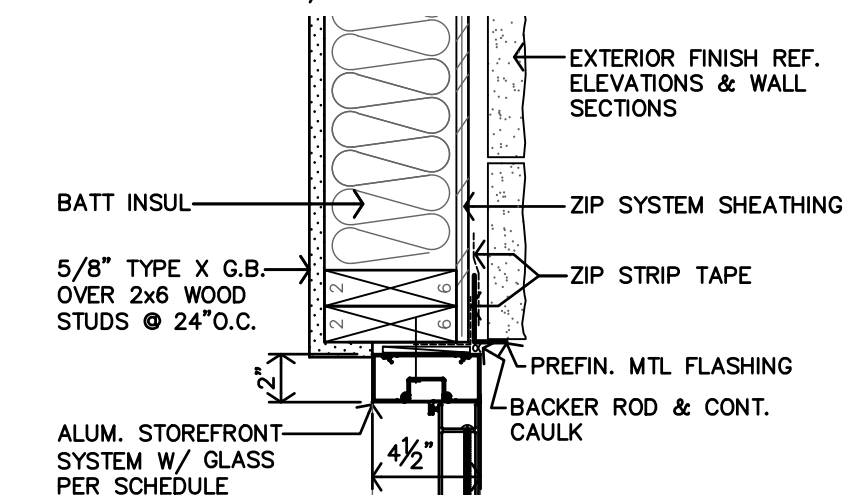
**D STOREFRONT JAMB DTL. @ DOOR/SIDELITE**  
1 1/2"=1'-0" HEAD SIMILAR



**C STOREFRONT THRESHOLD DTL.**  
1 1/2"=1'-0"



**B STOREFRONT DOOR HEAD DTL.**  
1 1/2"=1'-0"



**A STOREFRONT JAMB DTL.**  
1 1/2"=1'-0"