

#### Jones Gillam Renz Architects

#### Contact

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#### Web

igrarchitects.com

#### NOTICE TO ALL CONTRACTORS AND SUB-CONTRACTORS

1881 Main St., Suite 301

Kansas City, MO 64108

5-4-2023

Oakdale Senior Village - Oakdale & Johnstown - 21-3189

#### ADDENDUM NO. 1

YOU ARE INSTRUCTED TO READ AND TO NOTE THE FOLLOWING DESCRIBED CHANGES, CORRECTIONS, CLARIFICATIONS, OMISSIONS, DELETIONS, ADDITIONS, APPROVALS, AND STATEMENTS PERTINENT TO THE CONTRACT AND CONSTRUCTION DOCUMENTS. THIS ADDENDUM IS A PART OF THE CONTRACT AND CONSTRUCTION DOCUMENTS AND SHALL GOVERN IN THE PERFORMANCE OF THE WORK.

- ARCHITECTURAL <u>Drawings</u>
  1. <u>Sheet D1.1, A2.1 & A2.2, A8.1</u>
  - a. All plumbing piping modifications shall be included in Alternate #1 per mechanical drawings.
  - b. All existing plumbing fixtures install new or reinstall per mechanical drawings.

#### MECHANICAL - Drawings

1. Sheet M1.1 - All work related to drain, vent, and water piping to be included in Alternate #1.

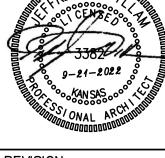
#### **ELECTRICAL – Drawings**

Sheet E1.1 & E1.2 - Provide new 30a/2p circuit breaker or reuse existing 30a/2p circuit breaker as applicable to connect water heater.

Receipt of this Addendum shall be noted on the Bid Form.

**END OF ADDENDUM NO. 1** 

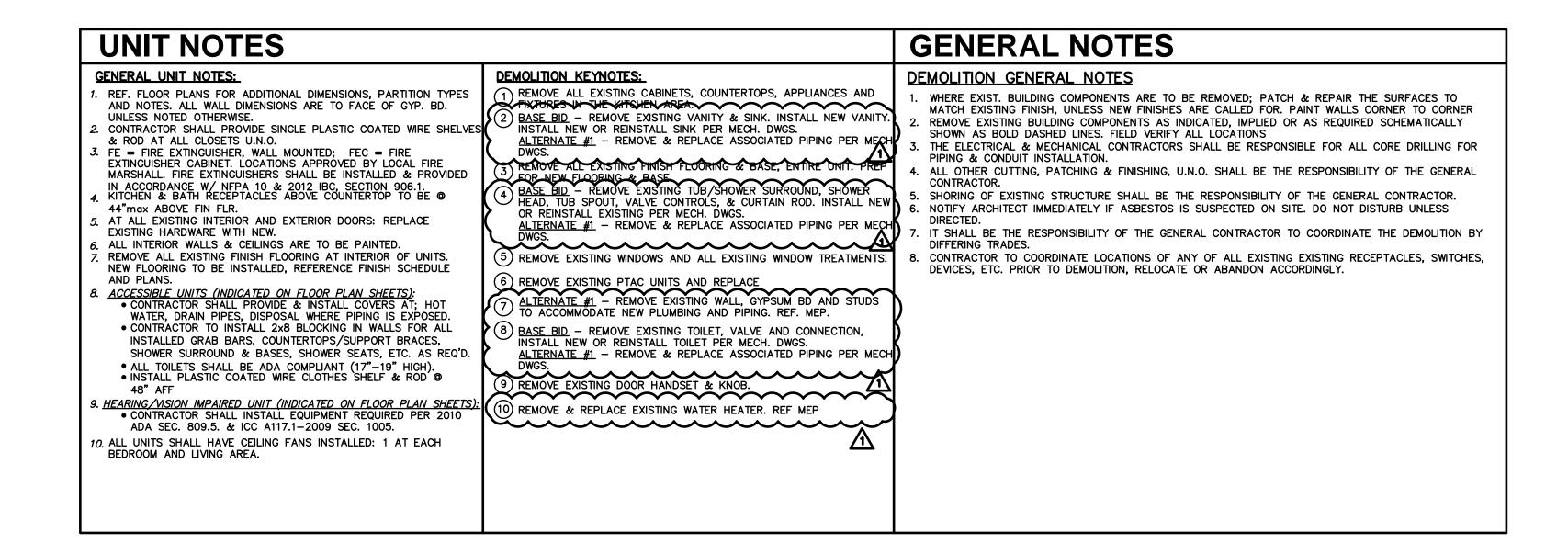
Attachments

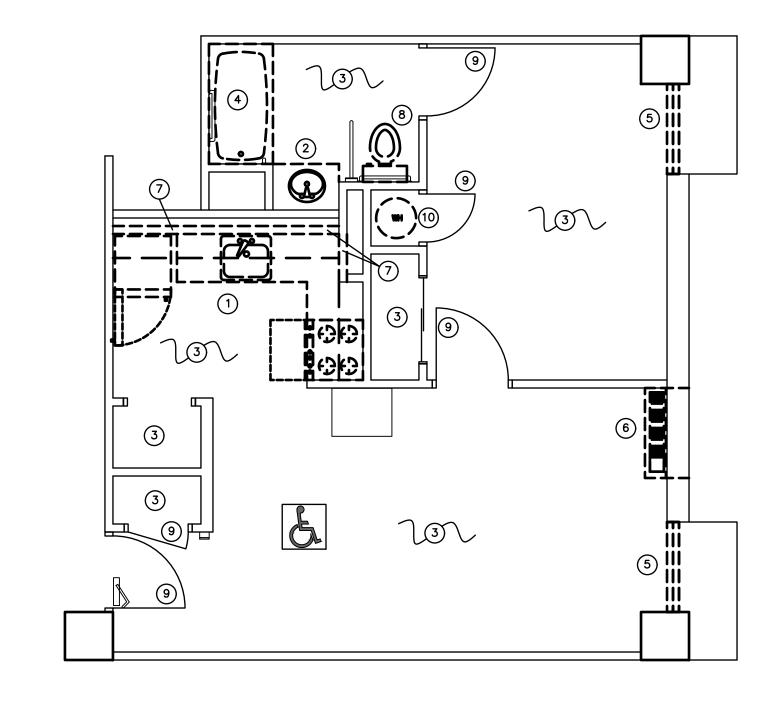


5-4-2023

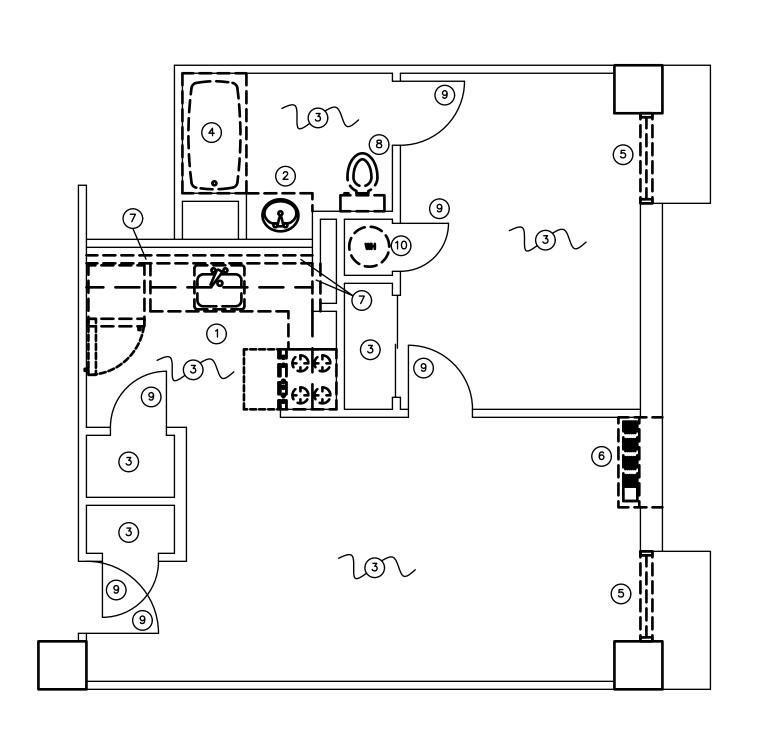
9-21-2022 21–3189 SHEET NO .:

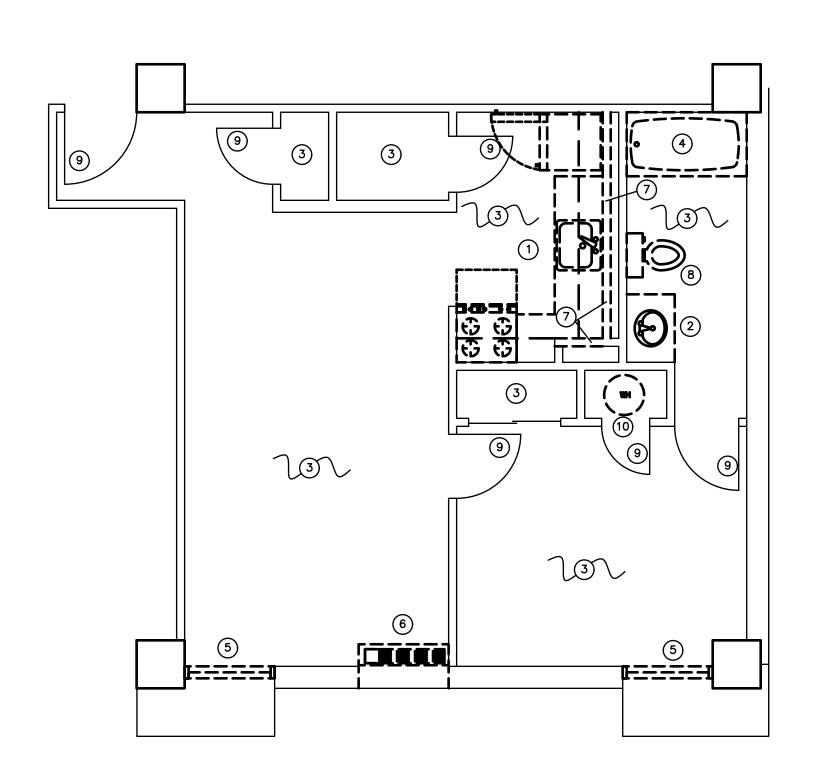
D1.1

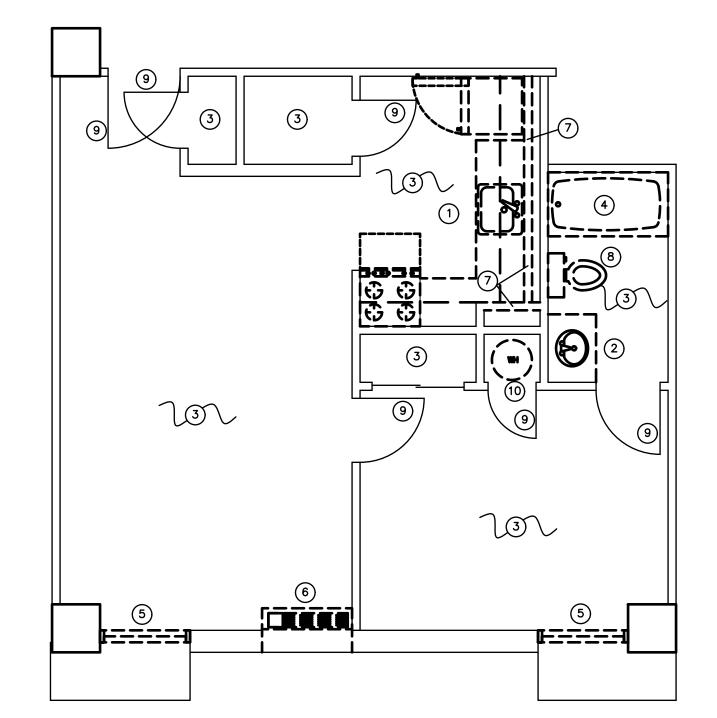












APT. A DEMOLITION PLAN

1/4"=1'-0" APARTMENTS:

APARTMENTS: E & G - SIMILAR





## **GENERAL NOTES**

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.

  IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO
- PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED. ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.

  ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL
- MINIMUM CLEARANCE REQ'D.
- INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
- ALL NEW DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS UNLESS NOTED OTHERWISE. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER.
- DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA. POCKET & BARN DOORS TO BE LOCATED WITH
- LATCH-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

  DIMENSIONS TO NEW INTERIOR WALLS ARE TO THE FACE OF G.B. U.N.O.

  DIMENSIONS TO EXISTING WALLS ARE TO THE FACE OF EXISTING PLASTER OF EXISTING BRICK U.N.O.
- D. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C., TYP. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT ALL BACK TO BACK ELECTRICAL OUTLETS. PROVIDED AND INSTALL ALL FIRE
- BLOCKING & DRAFTSTOPS PER 2012 IBC, SECTION 718.
- 11. REF. SHEET A2.3—A2.6 FOR UNIT GENERAL NOTES.

  12. REF. SHEET A2.1 & A2.2 FOR PARTITION SCHEDULE.

  13. FIRE EXTINGUISHER LOCATIONS TO BE APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2012 IBC, SECTION 906.1
- EFEC INDICATES EXISTING WALL MOUNTED FIRE EXTINGUISHER CABINET. FEC - INDICATES NEW WALL MOUNTED FIRE EXTINGUISHER CABINET.
- FE INDICATES WALL MOUNTED FIRE EXTINGUISHER IN UNIT. SYMBOL INDICATES ACCESSIBLE APARTMENT.

APARTMENTS: 3C & 4C

SYMBOL INDICATES HEARING IMPAIRED APARTMENT. APARTMENT: 2C

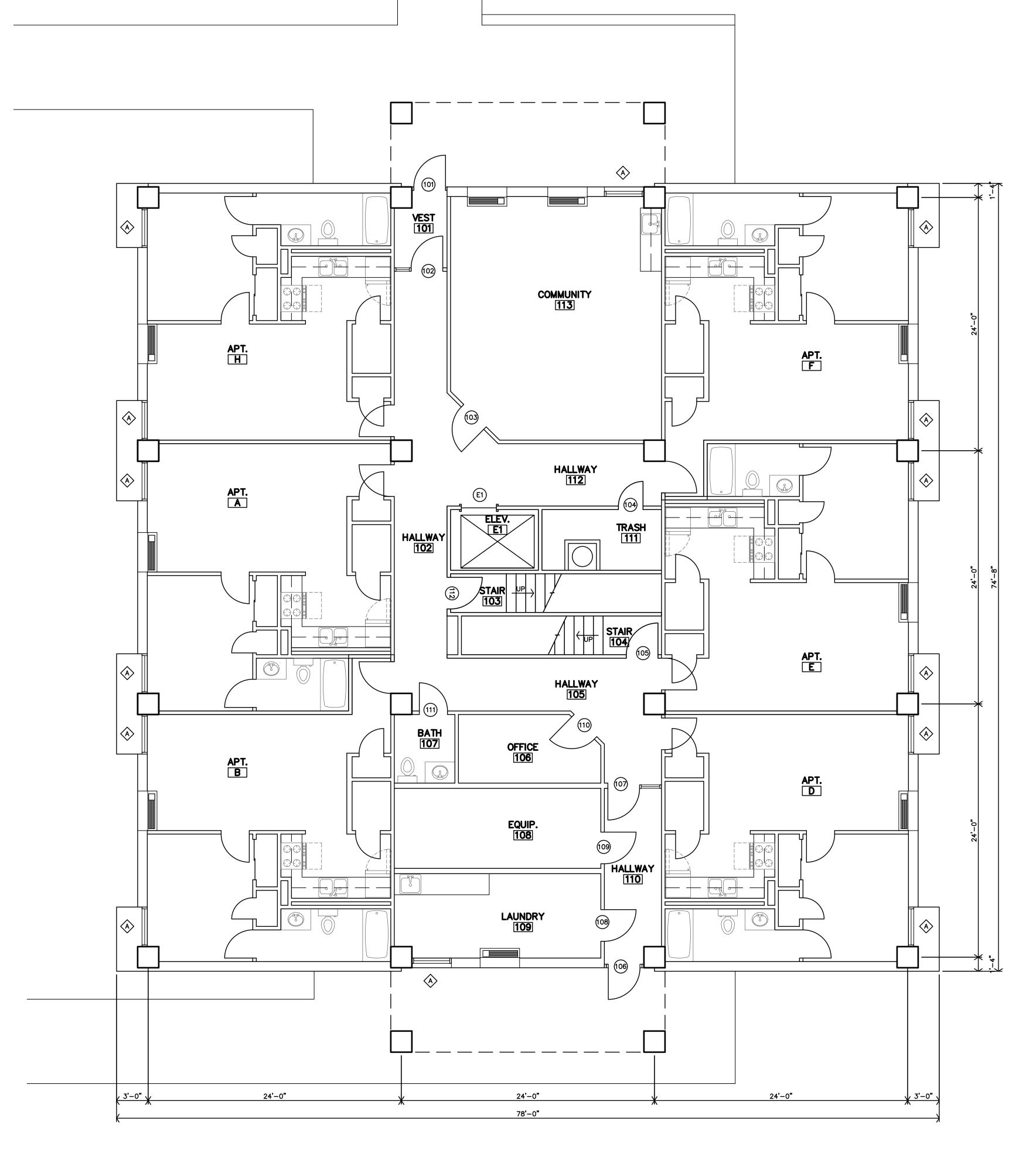
## **GENERAL BUILDING SCOPE OF WORK**

- ARCHITECTURAL & GENERAL
- 1.1 NEW FLOOR FINISH & BASE PER SCHEDULE, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.
- 1.2 NEW WINDOWS, TRIM & CAULK, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.
- 1.3 NEW KITCHEN CABINETS & COUNTERTOPS, INCLUDING: REMOVAL OF EXISTING, CLEAN & PREP FOR NEW,
  1.4 INSTALL NEW OR REINSTALL EXISTING KITCHEN SINK & FAUCET, REF. MEP. FOR COORDINATION & EXTENT
- 1.5 NEW KITCHEN APPLIANCES, REFRIGERATOR, STOVE, MICROWAVE & EXHAUST REF. DRAWINGS.

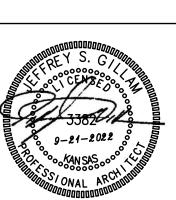
  1.6 NEW BATHROOM VANITY, INSTALL NEW OR REINSTALL EXISTING BATHROOM FIXTURES REF. MEP FOR
- 1.7 NEW PTAC'S, TRIM. & WEATHERPROOFING. INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.

  A1.8 ALTERNATE #1 NEW GYPSUM BD WALLS & STUDS, REFERENCE DEMO & MEP FOR COORDINATION &
- 1.9 NEW LEVER DOOR HARDWARE.
- 1.10 PAINT ALL WALLS, CEILINGS & DOORS, INCLUDING ALL PATCHING, PREP, CAULK AND CLEAN-UP.
- 1.11 FIRE EXTINGUISHERS, INSTALL ONE AT EACH UNIT AND 2 PER FLOOR IN COMMON HALLWAYS.
- 1.12 NEW ROOF & INSULATION, INCLUDING ALL FLASHING, WALK PADS, EQUIPMENT RESET, ETC.
- 1.13 EXTERIOR CLEANING, TUCK POINTING, CAULKING, MASONRY & CONCRETE REPAIR, REF DRAWINGS.
- 1.14 PAVING & SIDEWALK REPAIR, LEVELING, FILLING, ETC., REF. DRAWINGS.
- 1.15 NEW LEVER ENTRY HARDWARE, AT 28 UNITS, INCLUDING STRIKE, OWNER TO INDICATED LOCATION.
- 1.16 NEW OUTDOOR SHELTER, FOR SMOKING. COMPLETE WITH CONC. SLAB, BENCH AND RAILINGS.

- 2. MECHANICAL & PLUMBING
  A2.1 ALTERNATE #1 NEW SEWER PIPING, ALL UNITS & COMMON AREAS TO STREET CONNECTION, REF MEP.
- A2.2 ALTERNATE #1 NEW DOMESTIC WATER, ALL ABOVE 1ST FLOOR TO ALL UNITS, REF MEP.
- ( 2.3 AT ALL UNITS INSTALL NEW OR REINSTALL EXISTING KITCHEN SINK & FAUCET, REF. MEP. FOR COORDINATION & EXTENT OF WORK.
- 2.5 AT ALL UNITS INSTALL NEW OR REINSTALL EX VANITY SINK & FAUCET. REF. MEP. FOR COORDINATION &
- 2.6 AT ALL UNITS INSTALL NEW OR REINSTALL TOILETS, CONTROLS AND COMPONENTS. REF. MEP. FOR
- COORDINATION & EXTENT OF WORK. ( 2.7 AT ALL UNITS INSTALL NEW OR REINSTALL TUBS & SURROUND. REF. MEP. FOR COORDINATION & EXTENT
- 2.8 NEW PTAC'S, (AC/HTR), AT ALL UNITS, AND COMMON SPACES REFERENCE MEP.
- 2.9 NEW HOT WATER HEATER, PAN, VALVE AND CONNECTIONS, REFERENCE MEP.
- **ELECTRICAL & LIGHTING**
- 3.1 NEW LIGHT FIXTURES AT ALL COMMONS AREAS & HALLWAYS, REFERENCE MEP
- 3.2 NEW LIGHTS AT UNITS, REPLACE FIXTURE & BULB REF MEP FOR SIZE AND TYPE
- 3.3 NEW HEARING IMPAIRED UNITS, HORN/STROBE & DOOR BELL, REFERENCE MEP.
- 3.4 NEW EMERGENCY LIGHTS, AT ALL LOCATIONS, WITH EXISTING LIGHTS. 3.5 OAKDALE BUILDING ONLY - NEW ELECTRIC DISTRIBUTION PANEL, REF MEP
- 3.6 OAKDALE BUILDING ONLY NEW FIRE ALARM SYSTEM, REFERENCE MEP.







5-4-2023

9-21-2022 21-3189 SHEET NO.:

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- . REF. SHEET A2.3-A2.6 FOR UNIT GENERAL NOTES. 12. REF. SHEET A2.1 & A2.2 FOR PARTITION SCHEDULE.
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- 1.3 NEW KITCHEN CABINETS & COUNTERTOPS, INCLUDING: REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.

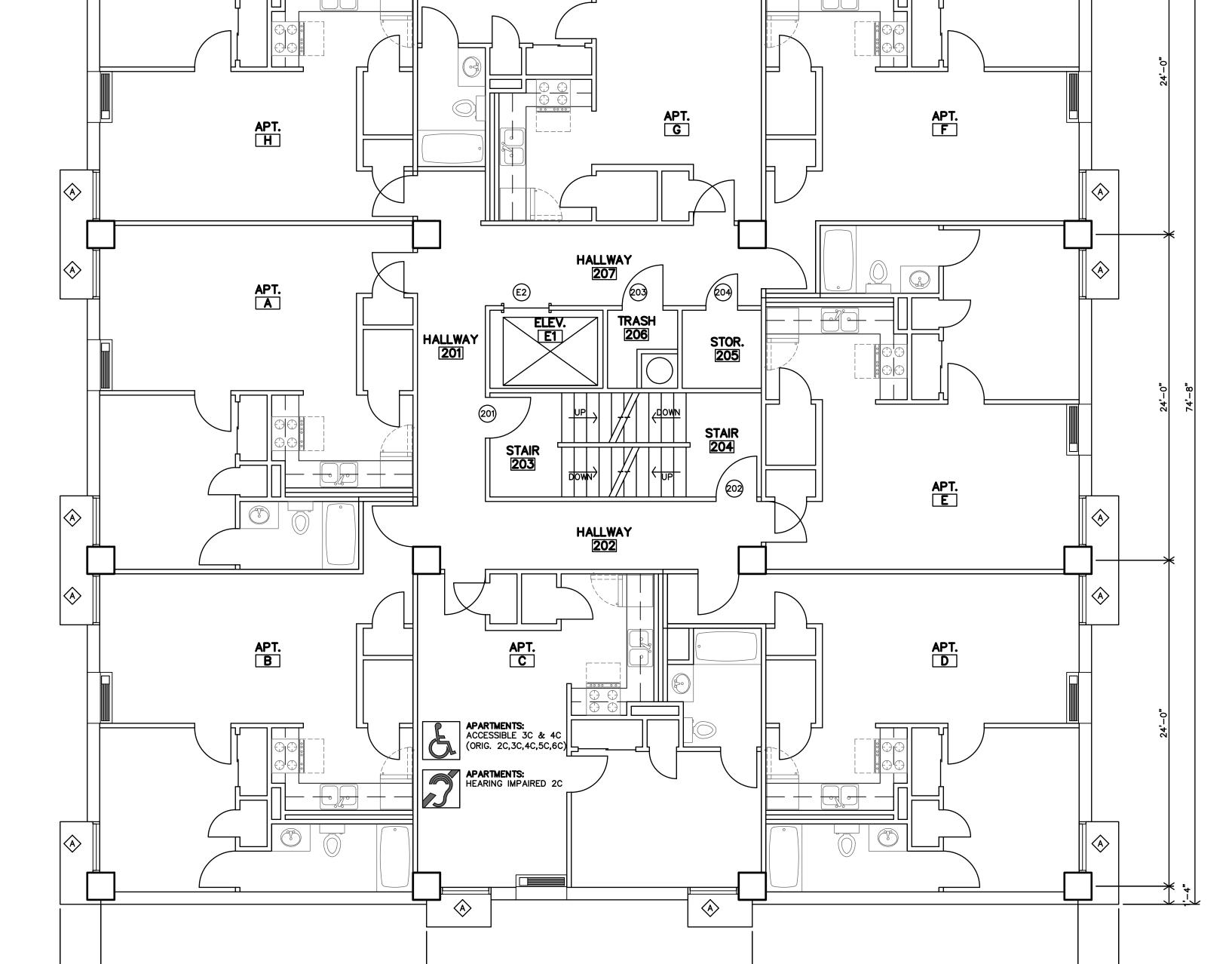
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  NEW PTAC'S, TRIM, & WEATHERPROOFING, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.

  ALTERNATE (1) NEW CYPSIAN BR. WALLS & STUDE REFERENCE DENCE FOR COORDINATION &
- A1.8 ALTERNĂTE #1 NEW GYPSUM BD WALLS & STUDS, ŘEFERENCE DEMO & MEP FOR COORDINATION &
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- A2.2 ALTERNATE #1 NEW DOMESTIC WATER, ALL ABOVE 1ST FLOOR TO ALL UNITS, REF MEP.
- ( 2.3 AT ALL UNITS INSTALL NEW OR REINSTALL EXISTING KITCHEN SINK & FAUCET, REF. MEP. FOR COORDINATION & EXTENT OF WORK.
- 24 NEW THRU WALL FAN AT UNIT BEDROOMS & PTAC.

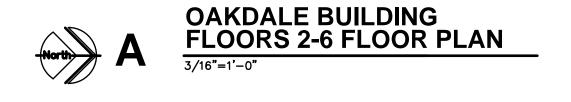
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- 3.3 NEW HEARING IMPAIRED UNITS, HORN/STROBE & DOOR BELL, REFERENCE MEP. 3.4 NEW EMERGENCY LIGHTS, AT ALL LOCATIONS, WITH EXISTING LIGHTS.
- 3.5 OAKDALE BUILDING ONLY NEW ELECTRIC DISTRIBUTION PANEL, REF MEP
- 3.6 OAKDALE BUILDING ONLY NEW FIRE ALARM SYSTEM, REFERENCE MEP.



24'-0"

78**'**–0"

 $\Diamond$ 

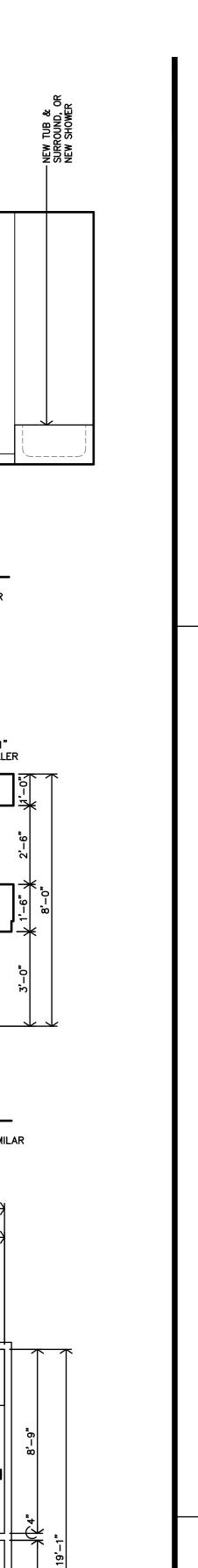




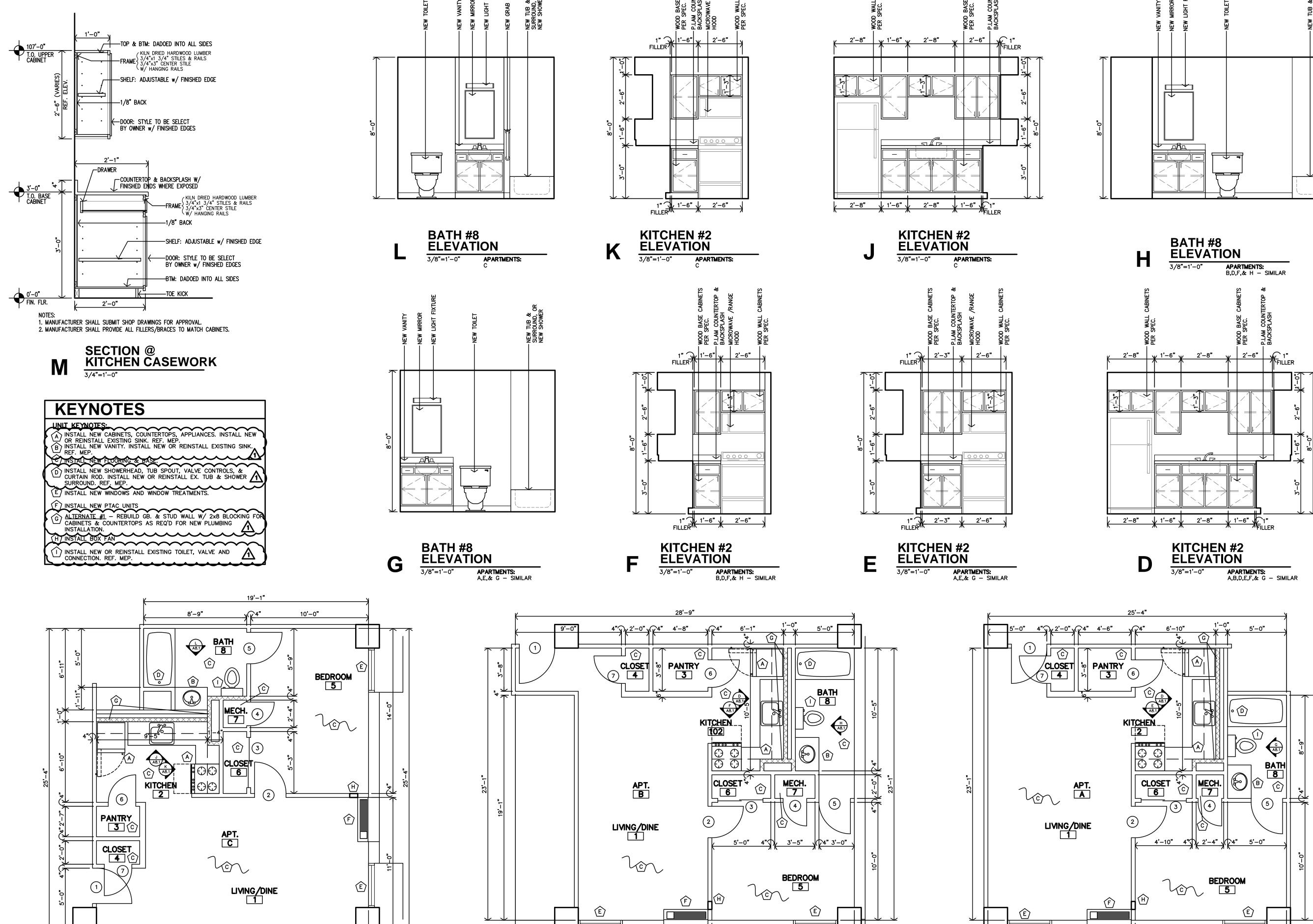


5-4-2023

9-21-2022 21-3189 SHEET NO.:



GillamRen



APT. B ENLARGED FLOOR PLAN

APARTMENTS: D,F,& H — SIMILAR

23'-1"

C APT. C ENLARGED FLOOR PLAN

1/4"=1'-0"

A8.1

9-21-2022

21-3189

5-4-2023

DATE:

APT. A ENLARGED FLOOR PLAN

APARTMENTS: E & G — SIMILAR SHEET NO.:

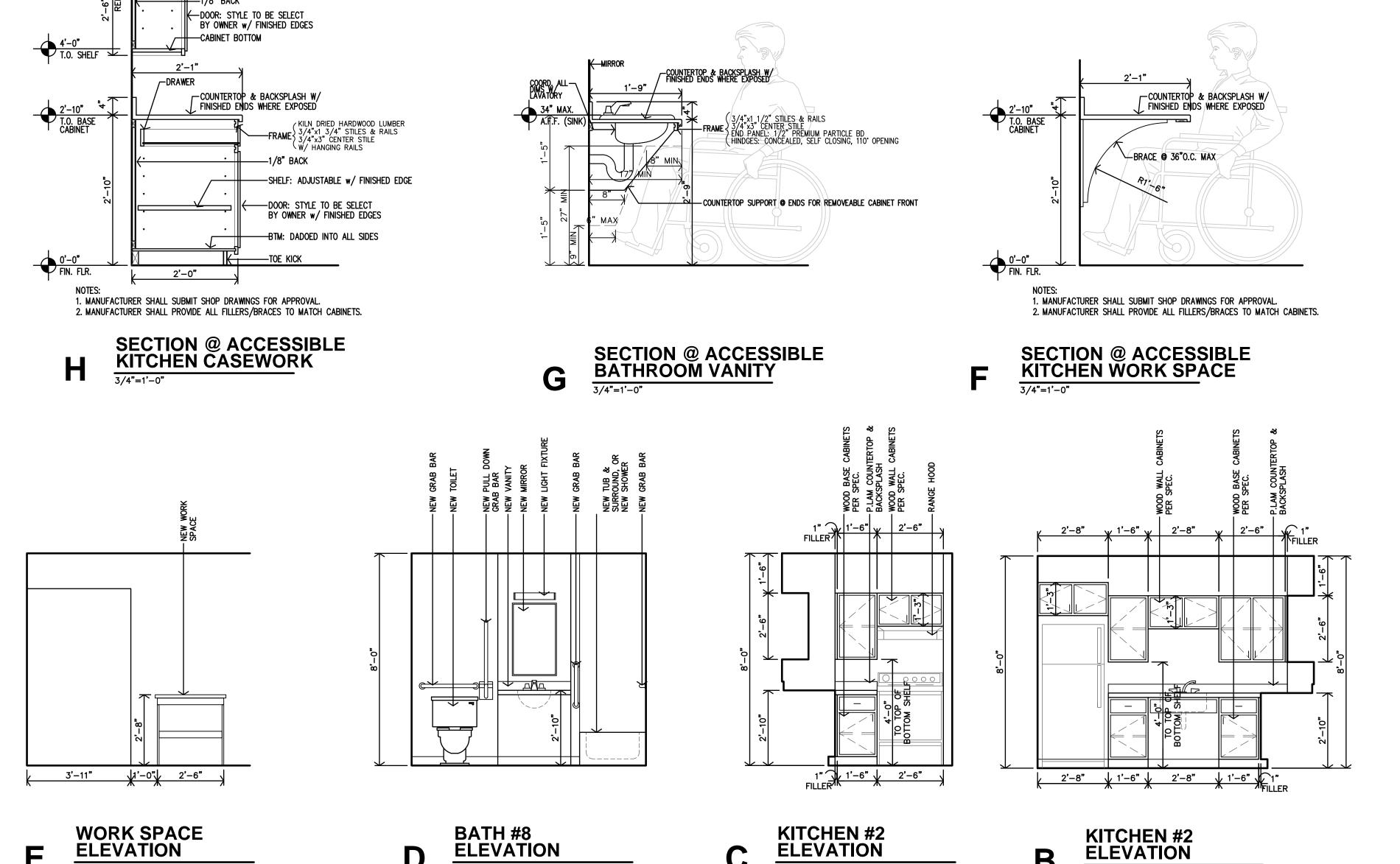
**E** OAKD

5-4-2023

9-21-2022 DATE:

21-3189 SHEET NO.:

**A8.2** 



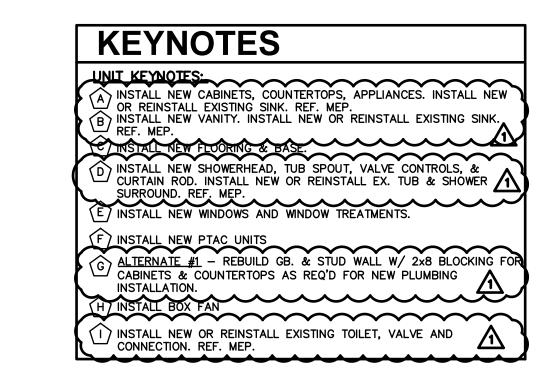
B

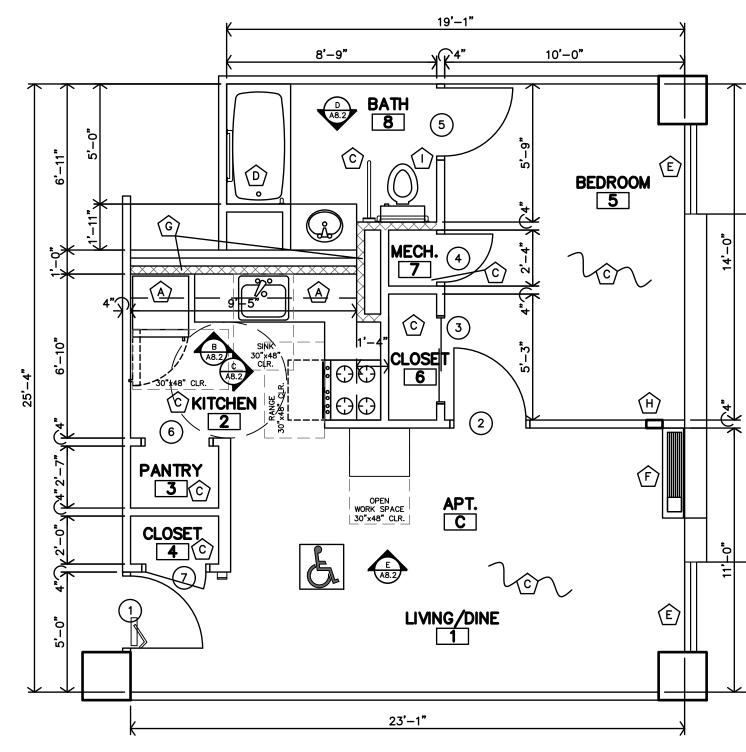
3/8"=1'-0"

FRAME KILN DRIED HARDWOOD LUMBER
3/4"x1 3/4" STILES & RAILS
3/4"x3" CENTER STILE

-SHELF: ADJUSTABLE w/ FINISHED EDGE

Ε





ACCESSIBLE APTS. 3C & 4C ENLARGED FLOOR PLAN

- PROVIDE NEW DOMESTIC COLD WATER RISER UP TO APARTMENTS ABOVE. CONNECT TO EXISTING 1-1/2" WATER PIPING BELOW SLAB AT FLOOR LEVEL. FIELD VERIFY EXACT LOCATION OF EXISTING AND MODIFY EXISTING INSTALLATION AS REQUIRED. FIELD COORDINATE EXACT ROUTING OF NEW PIPING WITH EXISTING CONDITIONS AND G.C.
- REPLACE WATER HEATER. PROVIDE PLASTIC OVERFLOW PAN. MODIFY EXISTING WATER PIPING AS REQUIRED. VERIFY SIZE OF WATER HEATER PRIOR TO ORDERING REPLACEMENT.
- 3. NOTE NOT USED.
- 4. ROUTE 1-1/2" CW RISER UP THROUGH CHASE AND SERVE EACH DWELLING UNIT WITH 1" BRANCH LINE. FIELD COORDINATE EXACT ROUTING WITH EXISTING CONDITIONS. SEE DOMESTIC WATER ISOMETRIC DIAGRAMS ON SHEET M5.1 FOR ADDITIONAL INFO.
- 5. CONNECT TO EXISTING 2" CW RISER. PROVIDE NEW SHUT OFF VALVE.
- 6. NEW DRAINAGE PIPING TO CONNECT TO VENT AFTER 6TH FLOOR, SEE SHEET M5.1 RISER DIAGRAMS FOR MORE DETAILS.
- 7. VENT PIPING TO TERMINATE THROUGH ROOF SEE PLANS FOR SIZING, SEE SHEET M5.1 RISER DIAGRAMS FOR MORE DETAILS. RE-USE EXISTING ROOF PENETRATIONS WHERE POSSIBLE. FIELD VERIFY EXACT LOCATIONS.

- 9. ROUTE 1" CW LINE DOWN IN WALL SERVING ALL FIXTURES IN THIS AREA.
- 10. INSTALL KEYED ACCESS HATCH IN WALL FOR CLEAN-OUT ACCESS AT BASE OF WASTE RISER. FIELD COORDINATE EXACT LOCATION WITH EXISTING
- 11. INSTALL KEYED ACCESS HATCH IN WALL FOR SHUT OFF VALVE TO EACH DWELLING UNIT ACCESSIBLE FROM MECHANICAL CLOSET. FIELD COORDINATE EXACT LOCATION WITH EXISTING CONDITIONS AND G.C.
- 12. CONNECT TO EXISTING SEWER. VERIFY EXACT LOCATION OF EXISTING. MODIFY EXISTING PIPING AS REQUIRED.
- 13. ROUTE WASTE STACK AND VENT STACK IN THIS AREA THROUGH EXISTING CHASE. UTILIZE EXISTING FLOOR PENETRATIONS WHERE POSSIBLE. FIELD VERIFY EXACT LOCATIONS OF EXISTING.
- 14. REPLACE ALL EXISTING DOMESTIC WATER PIPING ABOVE SLAB. RE-CONNECT TO EXISTING FIXTURES TO REMAIN AND TO EXISTING WATER SERVICE AND BRANCHES TO APARTMENT RISERS ROUTED BELOW SLAB TO REMAIN. FIELD VERIFY EXACT LOCATIONS AND SIZING OF EXISTING.
- 15. EXISTING WATER HEATER TO REMAIN.

CONDITIONS AND G.C.

16. EXISTING CLOTHESWASHER CONNECTION BOXES TO REMAIN.

- 18. EXISTING LAUNDRY SINK TO REMAIN.
- 19. REPLACE EXISTING 2" WASTE STACK AND ALL ABOVE GRADE DRAINAGE PIPING UP TO FLOOR DRAINS AT FLOOR ABOVE. FIELD VERIFY EXACT LOCATIONS OF EXISTING. UTILIZE EXISTING FLOOR PENETRATIONS WHERE POSSIBLE.
- 20. CONNECT TO EXISTING 4" DRAIN PIPING BELOW SLAB IN THIS AREA TO REMAIN. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING.
- 21. DISCONNECT EXISTING DRAIN TO REMAIN FROM PIPING TAKEN OUT OF SERVICE AND PROVIDE FFCO. FIELD VERIFY EXACT LOCATION OF EXISTING.

 ALL WORK SHOWN RELATED TO DRAIN, VENT, AND WATER PIPING TO BE INCLUDED IN ALTERNATE BID ONLY.

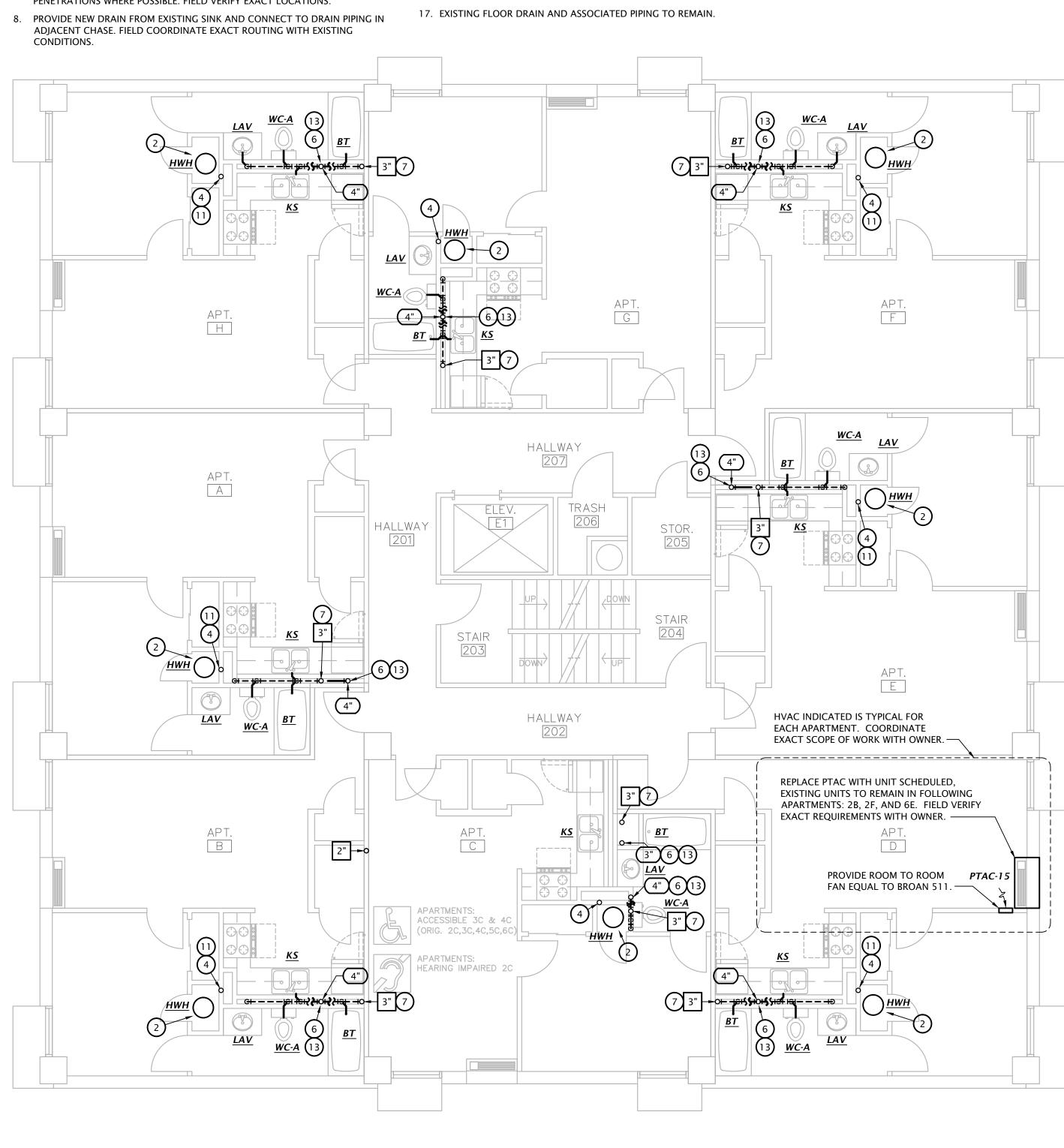
 COORDINATE PHASING OF WORK WITH OWNER TO MINIMIZE DISRUPTION TO BUILDING SERVICES. PLUMBING WORK IN APARTMENTS STACKED VERTICALLY MUST BE DONE CONCURRENTLY.

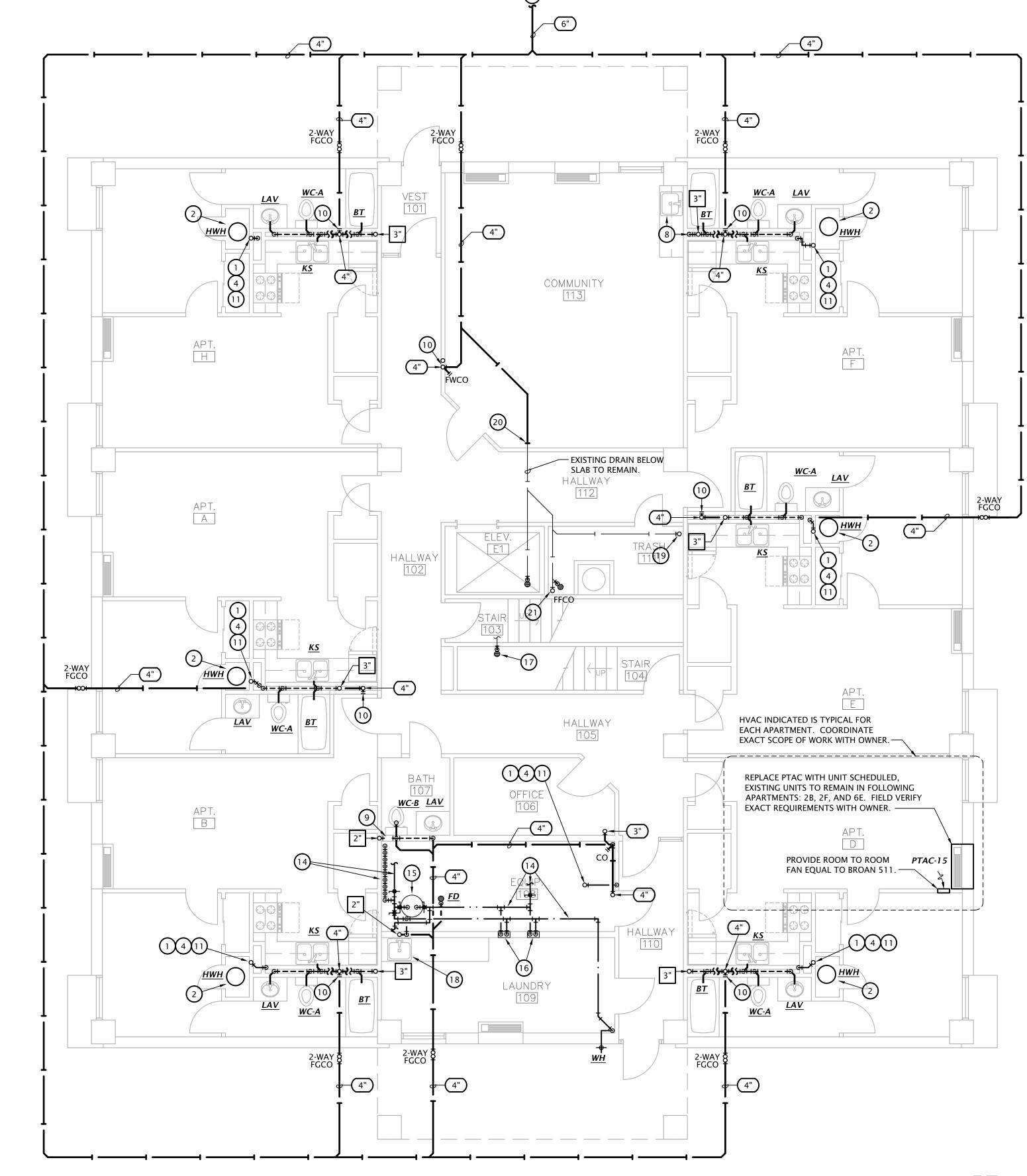
• COORDINATE DEMO OF EXISTING FLOORS, WALLS, ETC WITH G.C. TO MINIMIZE AMOUNT OF DEMOLITION REQUIRED FOR INSTALLATION OF LST Consulting Engineers, PA 125 S. Washington, Suite 150 Wichita, Kansas 67202 316.285.0696 4809 Vue Du Lac Place, Suite 201 785.587.8042 www.LSTengineers.com OCTOBER 2022

GillamRe

PLUMBING SIZING SYMBOLS DRAIN (X = SIZE)

VENT (X = SIZE)



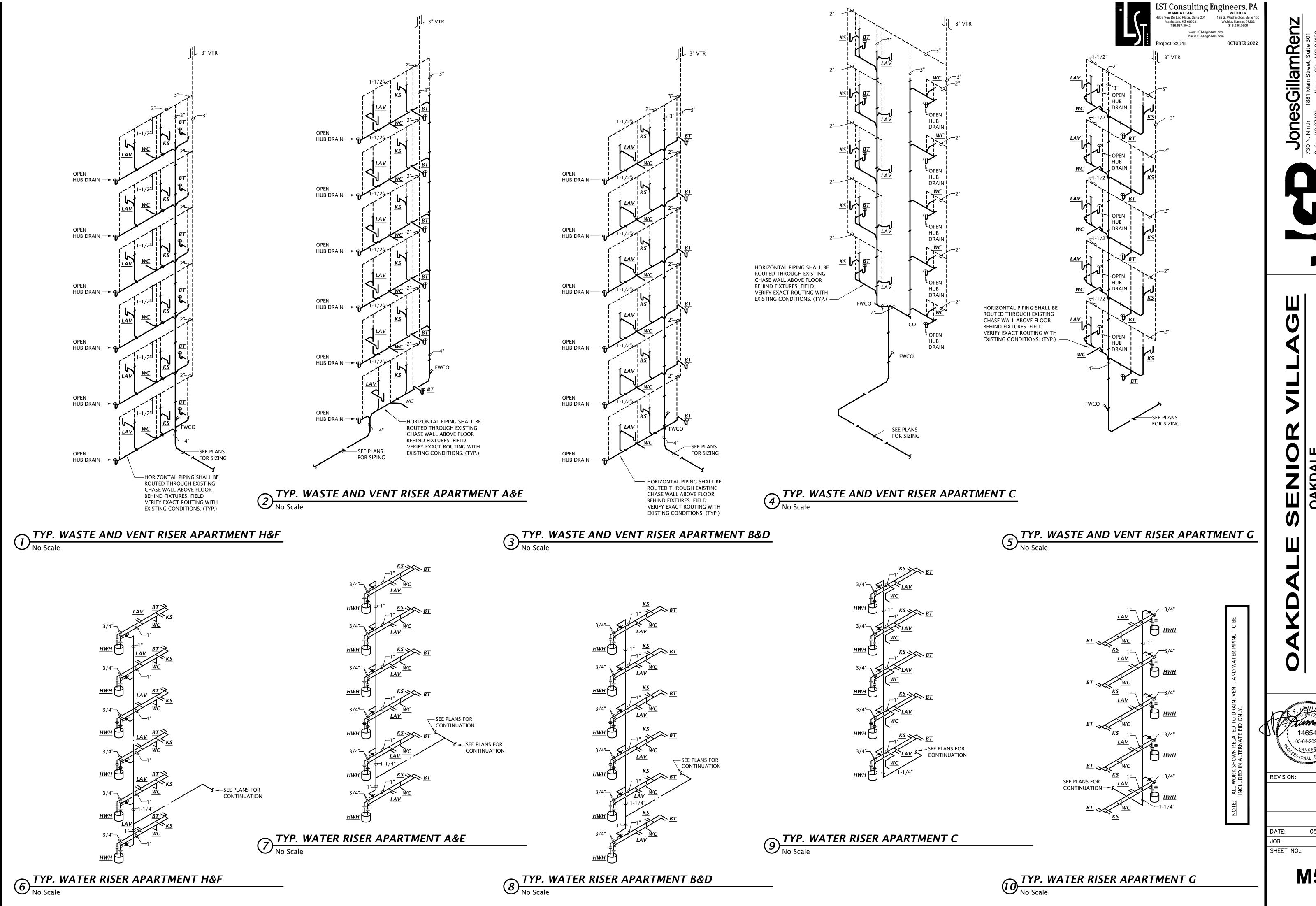


2ND - 6TH FLOOR MECHANICAL PLAN - OAKDALE

3/16" = 1'-0"

1ST FLOOR MECHANICAL PLAN - OAKDALE
3/16" = 1'-0"

05-03-23 21-3189 SHEET NO.:



05-03-23 21-3189

M5.1

DATE:	05-03-2
JOB:	21-318
SHEET NO.:	

PACKAGED TERMINAL AIR CONDITIONER SCHEDULE NOMINAL CAPACITIES MODEL NUMBER MIN. CKT. ELECTRICAL WEIGHT MAX. OCPD MARK MANUFACTURER CHARACTERISTICS AMPS TOTAL COOLING AUXILLARY AIRFLOW HEATING PTAC-15 AMANA PTH153G35 | 14,700 BTUH | 3.0 kW 390 19.5 208V-1PH 126 20

- 1. PROVIDE WITH MANUFACTURER'S LINE CORD CONNECTION KIT.
- 2. PROVIDE WITH WALL CASE COMPATIBLE WITH WALL CONSTRUCTION COORDINATE WITH G.C.

				TRIM	ROUGH-IN SIZES						
MARK	MANUFACTURER	DESCRIPTION	MANUFACTURER	DESCRIPTION	WASTE	VENT	CW	HW	HW NOTE		
WC-A	Model 209AA137 "Yorkville" floor mount, back outlet, flush tank water closet, white vitreous china, two piece, 4" rough-in, elongated 17" high bowl, 1.28 GPF, polished chrome actuator.		AMERICAN STANDARD	#5055A65C White, elongated, slow close, solid plastic seat and cover	4"	2"	1/2"		3,4		
WC-B	AMERICAN STANDARD	Model 238AA114 "VORMAX" floor mount, flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, 1 GPF, polished chrome actuator.	AMERICAN STANDARD	#5055A65C White, elongated, slow close, solid plastic seat and cover	4"	2"	1/2"		3,4		
LAV	AMERICAN STANDARD	Model 0475.028 self-rimming lavatory, white vitreous china, 20-3/8"W x 17-3/8", faucet holes on 4" centers.	AMERICAN STANDARD	Model 6114.115.002 single handle, 0.5 GPM low flow, polished chrome faucet. Provide with pop up drain.	2"	1-1/2"	1/2"	1/2"	1,2		
KS	AMERICAN STANDARD	Model 22SB6252283S075 single compartment 20 GA stainless steel sink 3 hole, self rimming, 21-3/8"x15-11/16"x6"D inside, fully undercoated, faucet holes as req.	AMERICAN STANDARD	· · ·		1-1/2"	1/2"	1/2"	1,2		
ВТ	AQUARIUS	Model G 6032 TO cast acrylic bathtub, 60"W x32-1/2"D x22-3/4"H, with above floor rough-in, right or left hand rough-in as required, white finish. Provide with ADA transfer seat accessory. Coordinate installation of shower wall panels with G.C.	DELTA	Model R10000-UNWS/T13H252 pressure balancing tub/shower valve with single metal lever handle, handshower with double check valves, flexible hose, 24" stainless steel slide bar, metal lever handshower diverter valve, and shower head with arm.	2"	1-1/2"	1/2"	1/2"	1,2,		
HWH	BRADFORD WHITE	Model RE130L6 electric water heater, 28 gallon tar	ık, 5,500 watt, 240	V, 1 phase.							
FD	WADE	1100 series floor drain with 6" satin nickel bronze Trapguard.	O series floor drain with 6" satin nickel bronze strainer. Provide trap protection device equal to ProSet pguard.								
WH	WOODFORD	Model B67 automatic draining freezeless wall hydrant with ASSE 1052 double check backflow preventor, loose tee key handle, with recessed box with door. Provide with chrome plated exterior finish.									

· Provide fixtures with all trim necessary for complete installation

- 1. Provide Dearborn supplies with stops and escutcheon plate, 1-1/4" cast brass p-trap.
- 2. Trim shall be provided with polished chrome finish.
- 3. Fixture and installation to meet requirements of Americans with Disabilities Act.
- 4. Remove, repair and reinstall fixture in base bid. Fixture replacement to be included in alternate bid only.
- 5. Fixture replacement to be included in alternate bid only.

- 1. DESIGN IS BASED ON FIELD INFORMATION, AS-BUILT DRAWINGS AND OWNER FURNISHED INFORMATION. CONTRACTOR SHALL VERIFY ACCURACY OF ALL EXISTING CONDITIONS. IN CASE OF DISCREPANCY, PROVIDE ALL NECESSARY CONDUIT, WIRE, BOXES, FITTINGS, ETC. FOR A COMPLETE OPERATING ELECTRICAL SYSTEM.
- 2. EXISTING EQUIPMENT, WIRING DEVICES, LIGHTS, CONDUIT, WIRING, ETC., NOT DISTURBED BY NEW CONSTRUCTION WORK SHALL BE MAINTAINED AND UNDAMAGED. THESE ITEMS, IF SHOWN, ARE SHOWN FOR INFORMATION PURPOSES ONLY UNLESS NOTED OTHERWISE. THIS CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS AND TO BECOME FAMILIAR WITH ALL WORK TO BE PERFORMED. FAILURE TO DO SO WILL NOT RELIEVE THIS CONTRACTOR OF THE RESPONSIBILITY FOR PERFORMING ALL WORK NECESSARY TO PROVIDE A WORKMANLIKE INSTALLATION.
- 3. FIELD VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES AND PROVIDE PROTECTION FOR THESE UTILITIES DURING THE COURSE OF WORK. EXISTING UTILITIES, BUILDING MATERIALS AND ASSOCIATED ITEMS DAMAGED BY THIS CONTRACTOR, OR ANY PARTIES ASSOCIATED WITH THIS CONTRACTOR, SHALL BE REPAIRED OR REPLACED AT THIS CONTRACTOR'S EXPENSE, IN A TIMELY MANNER, AND TO THE OWNER'S WRITTEN ACCEPTANCE.
- 4. THERE SHALL NOT BE ANY INTERRUPTION TO EXISTING SERVICES (ELECTRICAL, FIRE ALARM, ETC.) WITHOUT PRIOR SCHEDULING OF SUCH OUTAGES WITH THE OWNER, ARCHITECT, AND ALL OTHER PARTIES INVOLVED.
- 5. MAINTAIN ACCURATE RECORDS OF ALL MODIFICATIONS TO THE EXISTING SYSTEMS WHICH ARE TO REMAIN AND DELIVER ALL RECORD DRAWINGS INDICATING SUCH MODIFICATIONS TO THE OWNER UPON COMPLETION OF THE PROJECT. MAINTAIN IN THE PROJECT CONSTRUCTION OFFICE, AS THE WORK PROGRESSES, AN UP-TO-DATE, NEATLY MARKED COPY OF THESE DRAWINGS FOR REVIEW BY THE ARCHITECT, ENGINEER, OR OWNER'S REPRESENTATIVE.

- 6. WHERE NEW ADDITION WORK OR REMODELING INTERFERES WITH CIRCUITS IN ROOMS OTHERWISE UNDISTURBED, EXISTING CIRCUITS SHALL BE REWORKED AS REQUIRED TO MAINTAIN SERVICE.
- 7. EXISTING ROUGH-IN BOXES AND CONDUIT MAY BE UTILIZED FOR NEW DEVICES IF THEY ARE OF PROPER SIZE AND MATERIAL, AND ARE IN SUITABLE LOCATIONS. HOWEVER, NEW DEVICES AND WIRING MUST BE INSTALLED.
- WHERE EXISTING EQUIPMENT IS BEING REPLACED WITH NEW EQUIPMENT OR RELOCATED EQUIPMENT, THE EXISTING CONDUIT AND ROUGH-IN LOCATIONS MAY BE REUSED IF POSSIBLE, BUT ALL CONDUCTORS SHALL BE NEW.
- 9. CIRCUITING SHOWN IN REMODELED AREAS MAY BE MODIFIED TO SUIT FIELD CONDITIONS. HOWEVER, KEEP CIRCUITS APPROXIMATELY AS SHOWN ON PLANS TO AVOID OVERLOADING OF CIRCUITS AND TO LIMIT VOLTAGE DROP.
- 10. MAINTAIN FIRE RATING OF ALL EXISTING WALLS, FLOORS AND CEILING SYSTEMS.
- 11. NEW DEVICES INSTALLED ON EXISTING WALLS AND CEILINGS IN OCCUPIED SPACES SHALL HAVE WIRING INSTALLED CONCEALED. SURFACE RACEWAY (WIREMOLD) SHALL ONLY BE INSTALLED ON EXISTING WALLS AND HARD CEILINGS WHERE WIRING CANNOT BE INSTALLED CONCEALED (I.E. CONCRETE, BRICK, CMU, ETC). OBTAIN APPROVAL FROM ARCHITECT AND OWNER PRIOR TO EACH OCCURRENCE WHERE SURFACE RACEWAY IS INSTALLED. SURFACE RACEWAY SHALL BE STEEL, SINGLE CHANNEL TYPE, IVORY COLORED, COMPLETE WITH ALL ELBOWS, BOXES, SUPPORTS, COVERS, ETC. AS REQUIRED. SURFACE RACEWAY SYSTEMS SHALL BE MANUFACTURED BY WIREMOLD, HUBBELL, OR MONOSYSTEMS, AND SHALL BE OF TYPES AS FOLLOWS:
- POWER AND FIRE ALARM: WIREMOLD 500 SERIES
- COMMUNICATIONS AND A/V: WIREMOLD 2400 SERIES

## **# PLAN NOTES BY SYMBOL**

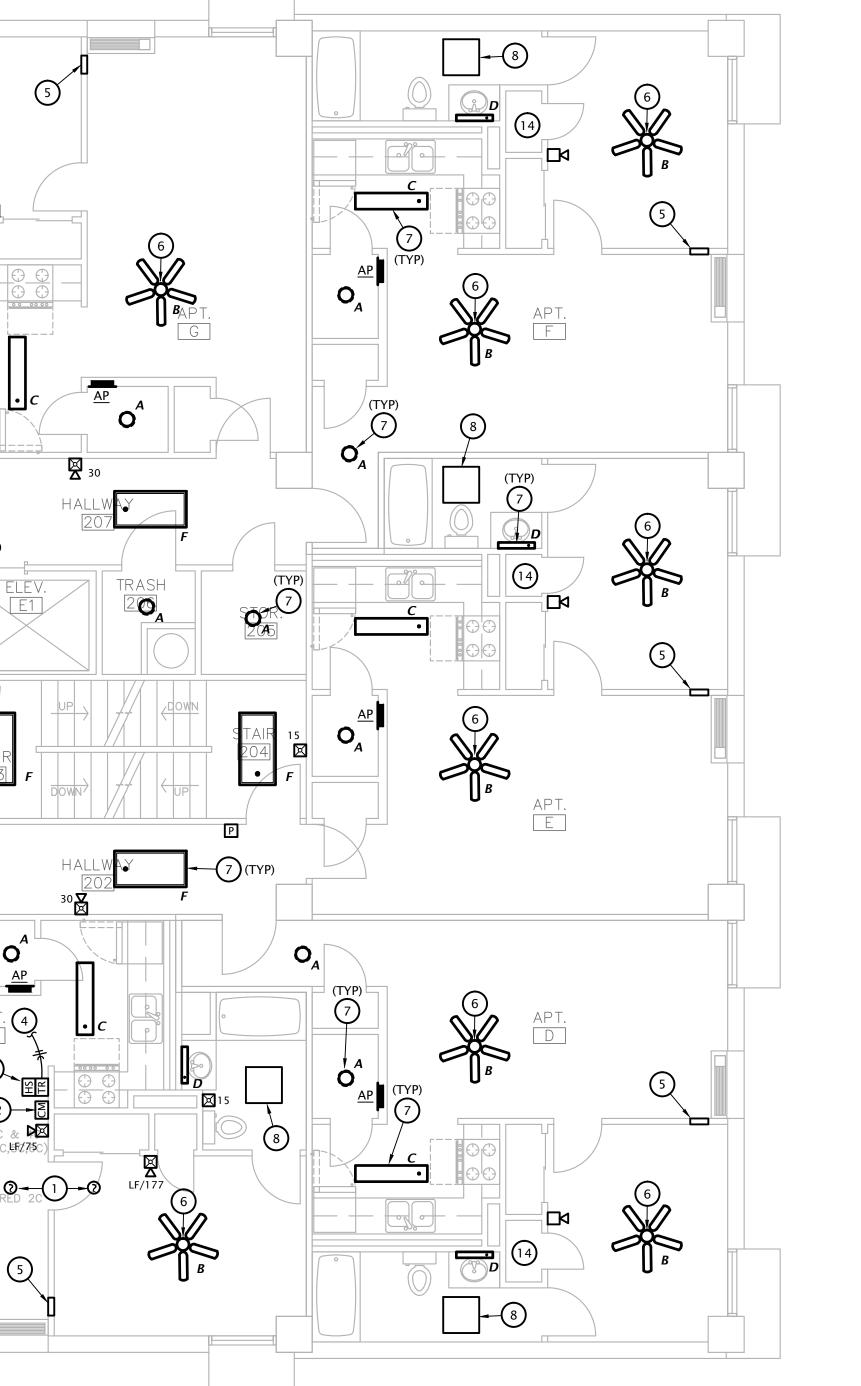
- FIRE ALARM SYSTEM COMBINATION CO/SMOKE DETECTOR.
- 2. FIRE ALARM ADDRESSABLE CONTROL MODULE FOR CONTROL OF APARTMENT UNIT'S NOTIFICATION APPLIANCE CIRCUIT. MODUL SHALL BE PROGRAMMED TO 8. REPLACE EXISTING CEILING HEATER WITH NEW AND CONNECT TO EXISTING ACTIVATE APARTMENT UNIT'S NOTIFICATION APPLIANCES UPON GENERAL BUILDING FIRE ALARM AND UPON ACTIVATION OF ANY SMOKE DETECTOR OR CO DETECTOR WITHIN APARTMENT UNIT. MOUNT FLUSH IN WALL AT 7'-6" AFF.
- PROVIDE DOOR ANNUNCIATOR SYSTEM A/V HORN/STROBE DEVICE AND LOW VOLTAGE TRANSFORMER AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED FOR HEARING-IMPAIRED GUESTS. REFER TO ARCH DRAWINGS FOR APPLICABLE ROOMS. INSTALL HORN/STROBE APPLIANCE AT 80" AFF PER ADA. INSTALL TRANSFORMER IN DOUBLE GANG JUNCTION BOX ABOVE HORN STROBE WITH BLANK COVER PLATE AND PROVIDE LOW VOLTAGE CONTROL WIRING. REFER TO DETAIL 2, SHEET E5.1. PROVIDE ENGRAVED SIGN AT THE HORN/STROBE DEVICE TO READ "DOOR".
- 4. CONNECT TO UNSWITCHED 120V CIRCUIT.
- 5. CONNECT ROOM TO ROOM FAN TO NEAREST UNSWITCHED RECEPTACLE CIRCUIT. COORDINATE REQUIREMENTS WITH M.C.
- 6. REPLACE EXISTING CEILING FAN WITH NEW AND CONNECT TO EXISTING

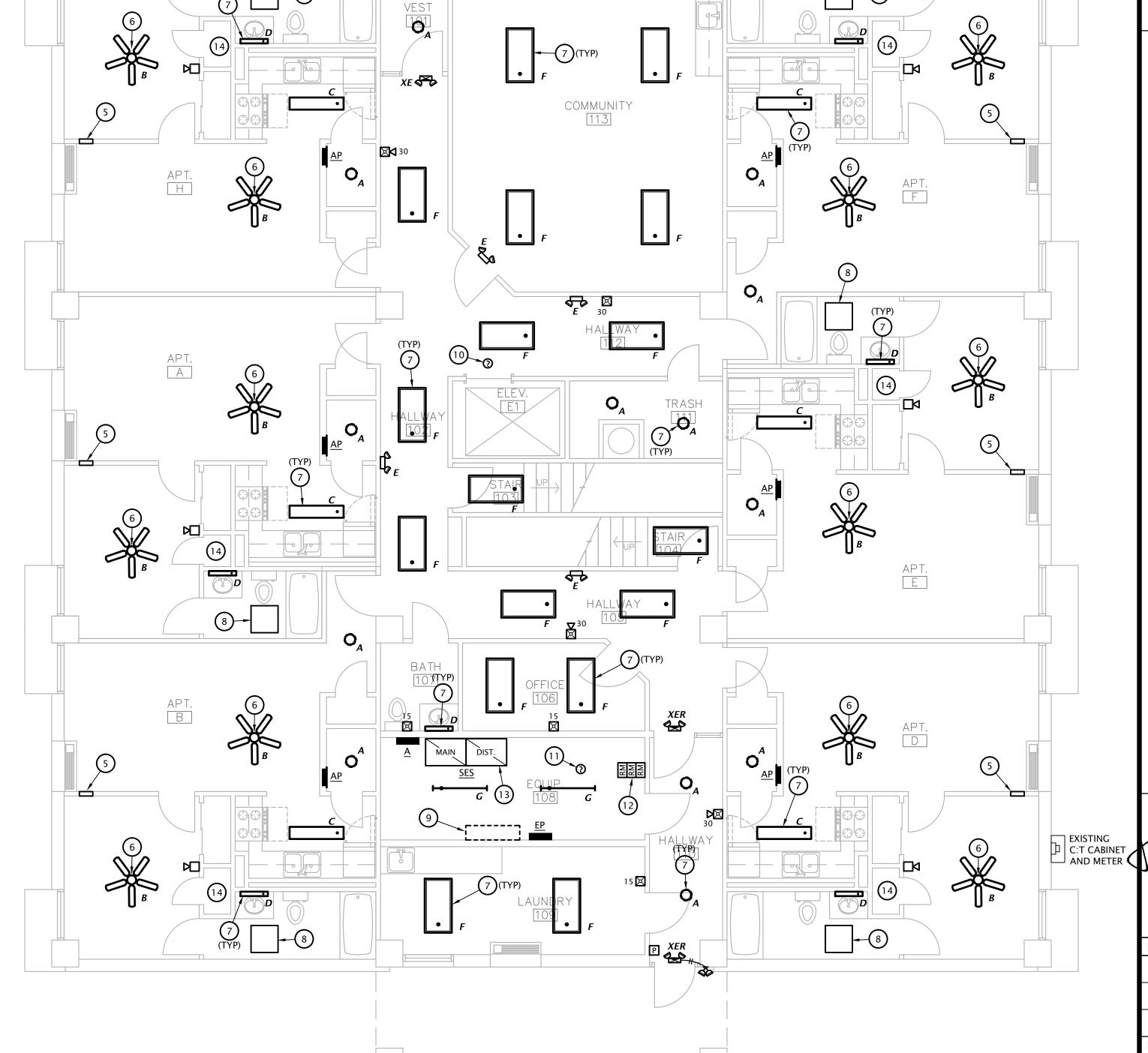
- 7. REPLACE EXISTING LUMINAIRE WITH NEW AND CONNECT TO EXISTING CIRCUITRY.
- CIRCUITRY. REMOVE ABANDONED EMERGENCY INVERTER TO ALLOW SPACE FOR SOLAR PV
  - SYSTEM TRANSFORMER. PROVIDE NEW FEEDER FROM 'SES' TO PANEL 'EP', SIZE AS NOTED ON ONE-LINE DIAGRAM.
- 10. ELEVATOR LOBBY SMOKE DETECTOR. SEE DETAIL 3:E5.1.
- 11. ELEVATOR MACHINE ROOM SMOKE DETECTOR. SEE DETAIL 3:E5.1.
- 12. ADDRESSABLE RELAYS FOR ELEVATOR RECALL AND FIREMAN'S HAT. SEE DETAIL
- 13. REPLACE EXISTING MAIN SWITCHBOARD WITH NEW. SEE ONE-LINE DIAGRAM ON SHEET E5.1. COORDINATE SHUT-DOWN OF SERVICE TO BUILDING WITH OWNER
- 14. MODIFY ELECTRICAL INSTALLATION AS REQUIRED AND CONNECT WATER HEATER. PROVIDE NEW 30A/2P CIRCUIT BREAKER OR REUSE EXISTING 30A/2P CIRCUIT BREAKER AS APPLICABLE.



05-03-23 SHEET NO .:

E1.1



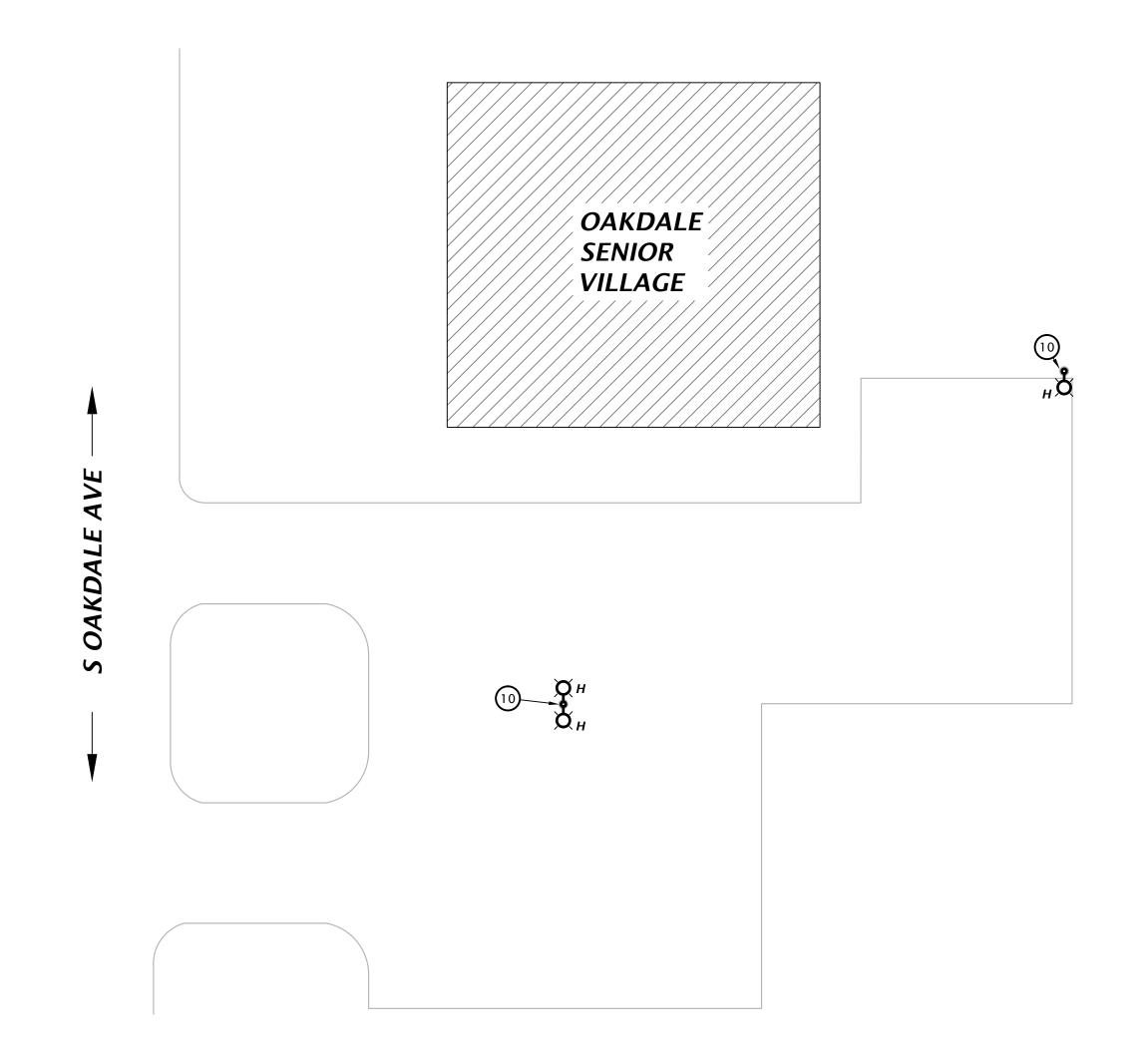


LIG	HT FIXTUR	RE SCHEDULE							
MARK	MANUFACTURER	MODEL NUMBER	LAMP DATA	BALLAST/LED DRIVER	MOUNTING	FINISH	DESCRIPTION		
WIZKK	WANTACTORER	MODEL NOMBER	# TYPE		MOONTING	Tivisii			
Α	LITHONIA	FMLRL-11-14830	1100 LUMEN 16W LED	STANDARD	SURFACE	WHITE	LED LOW PROFILE ROUND SURFACE		
В	SEAGULL	15040EN-782	2 10W LED	STANDARD	SURFACE	BRONZE	52" DIAMETER CEILING FAN WITH LED LIGHT KIT		
С	LITHONIA	FMLL-14IN-30K-80CRI	4800 LUMEN 45W LED	STANDARD	SURFACE	WHITE	LED LINEAR LOW PROFILE SURFACE		
D	LITHONIA	FMVCCLS-24IN-MVOLT-30K35K40K-90CRI-BN	1690 LUMEN 18W LED	STANDARD	WALL	BRUSHED NICKEL	2 FOOT LED CYLINDER VANITY LIGHT		
Ε	LITHONIA	ELM4L	2 3.3W LED	STANDARD	WALL AT 7'-6" AFF	WHITE	TWIN HEAD EMERGENCY LIGHT	2	
F	LITHONIA	CPANL-2X4-AL06-SWW7-M2-DCMK224	6300 LUMEN 55W LED	STANDARD	SURFACE	WHITE	2x4 FLAT PANEL, SELECTABLE LUMEN OUTPUT	1	
G	LITHONIA	CSS L48 AL03 MVOLT SWW3 80CRI	4200 LUMEN 36W LED	STANDARD	SURFACE	WHITE	4' LENSED STRIP LIGHT, SELECTABLE LUMEN OUTPUT		
Н	LITHONIA	CSS L48 AL03 MVOLT SWW3 80CRI	17830 LUMEN 166W LED	STANDARD	20' POLE	BRONZE	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH TYPE III DISTRIBUTION	4,5,6,7	
XE	LITHONIA	ECRG-RD-M6	2 0.75W LED	STANDARD	WALL/SURFACE	WHITE	EXIT SIGN / TWIN HEAD EMERGENCY LIGHT COMBO	2,3	
XER	LITHONIA	UNIT: ECRG-HO-RD-M6 REMOTE: ERE-GY-T-WP-RD	LED	STANDARD	WALL/SURFACE	WHITE	EXIT SIGN / TWIN HEAD EMERGENCY LIGHT W/ EXTERIOR WEATHERPROOF REMOTE HEAD	2,3	

- All fixtures shall be provided with multi-volt driver capable of operating between 120V-277V
- All exterior fixtures shall be 4000°K correlated color temperature
- All interior fixtures shall be 3000°K correlated color temperature • All apartment light fixtures shall be Energy Star rated

#### NOTES:

- 1. Provide Direct ceiling mount kit.
- 2. Provide with test switch, status indicator and rechargeable nickel-cadmium battery for 90 minutes of emergency power.
- 3. Provide wall or ceiling mounted as required
- 4. Fixture shall be U.L. listed for wet locations.
- 5. Provide fixture/pole assembly with 20' straight steel pole, bronze to match fixture.
- 6. Fixture/pole assembly shall be rated for 100 mph wind load. Provide with vibration damper per manufacturer's recommendations.
- 7. Provide custom pole base plate to match existing anchor bolt pattern. Field verify exact requirements.



OAKDALE ELECTRICAL SITE PLAN
NO SCALE



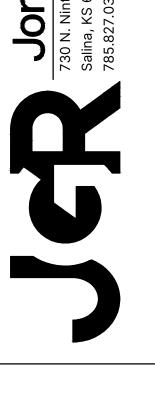
## **# PLAN NOTES BY SYMBOL**

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- 3. PROVIDE DOOR ANNUNCIATOR SYSTEM A/V HORN/STROBE DEVICE AND LOW VOLTAGE TRANSFORMER AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED FOR HEARING-IMPAIRED GUESTS. REFER TO ARCH DRAWINGS FOR APPLICABLE ROOMS. INSTALL HORN/STROBE APPLIANCE AT 80" HORN STROBE WITH BLANK COVER PLATE AND PROVIDE LOW VOLTAGE CONTROL WIRING. REFER TO DETAIL 2, SHEET 5.1. PROVIDE ENGRAVED SIGN AT THE HORN/STROBE DEVICE TO READ "DOOR".
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- 6. REPLACE EXISTING CEILING FAN WITH NEW AND CONNECT TO EXISTING
- REPLACE EXISTING CEILING HEATER WITH NEW AND CONNECT TO EXISTING
- CIRCUITRY.
- 9. INSTALL SMOKE DETECTOR AT TOP OF ELEVATOR HOISTWAY PER LOCAL
- AFF PER ADA. INSTALL TRANSFORMER IN DOUBLE GANG JUNCTION BOX ABOVE 10. PARKING LOT LIGHTING CIRCUITRY AND CONCRETE POLE BASE TO BE RE-USED. POLE AND FIXTURES TO BE REPLACED, SEE LIGHT FIXTURE SCHEDULE FOR MORE
  - 11. MODIFY ELECTRICAL INSTALLATION AS REQUIRED AND CONNECT WATER HEATER. PROVIDE NEW 30A/2P CIRCUIT BREAKER OR REUSE EXISTING 30A/2P CIRCUIT BREAKER AS APPLICABLE.



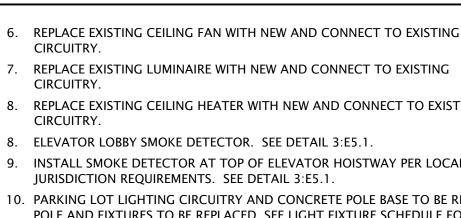


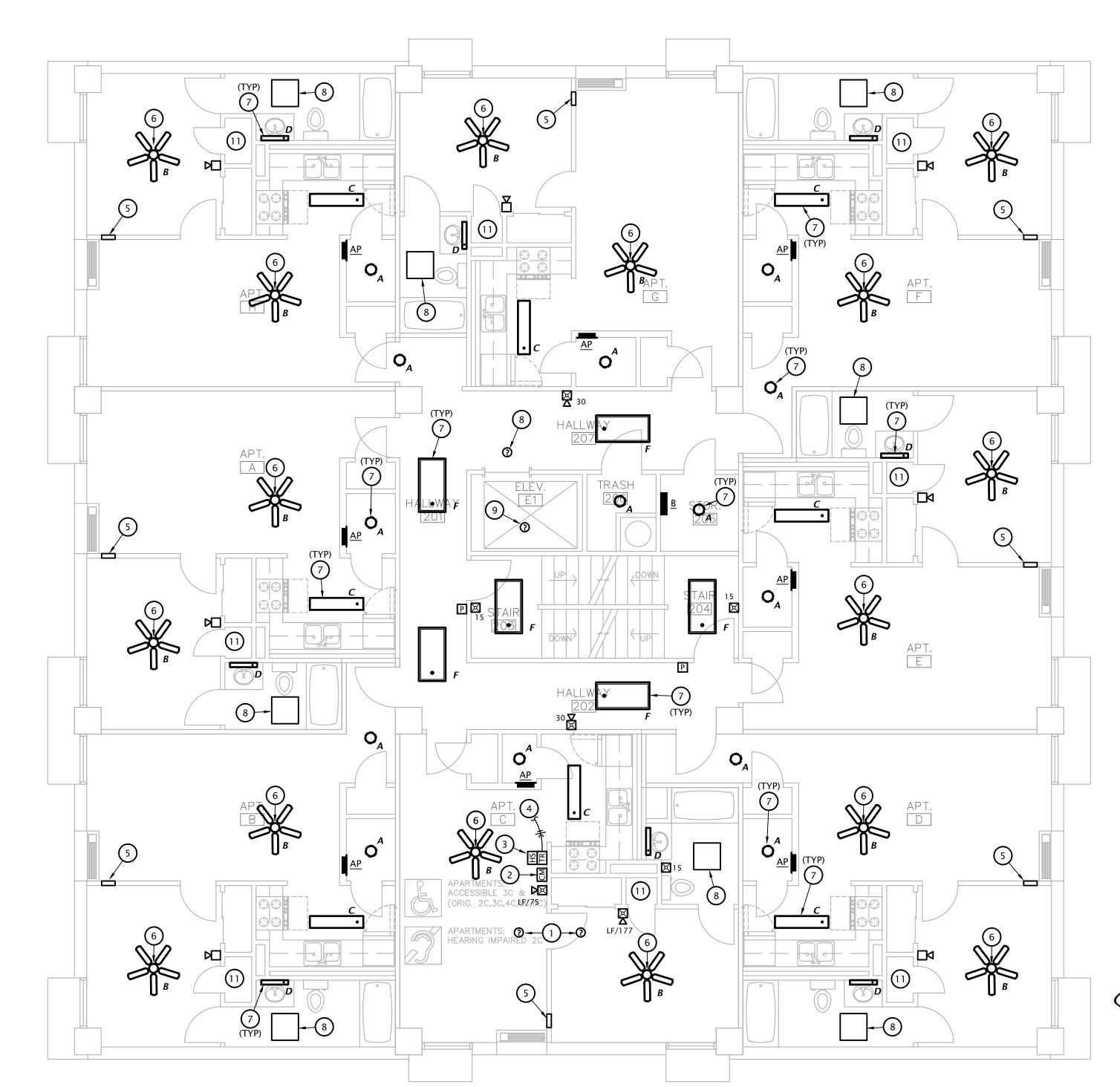


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05-03-23 21-3189 SHEET NO.:

E1.2





REVISION:

05-03-23

21-3189 SHEET NO .:

HORN/STROBE

DOUBLE DUPLEX RECEPTACLE SPECIAL RECEPTACLE (# = NEMA CONFIGURATION)

FLUSH FLOOR DUPLEX RECEPTACLE SINGLE POLE TOGGLE SNAP SWITCH KEYED LOCKING SWITCH

DUPLEX RECEPTACLE

**POWER SYMBOLS** 

CIRCUIT AND RACEWAY SYMBOLS

TOP INDICATES PANEL OF CIRCUIT ORIGIN

PARTIAL HOMERUN - WIRING TO PANEL OF CIRCUIT ORIGIN

SHORT = HOT/TRACER/SWITCH LEG CONDUCTOR

CURVED = GROUNDING (BONDING) CONDUCTOR

LONG = NEUTRAL (GROUNDED) CONDUCTOR

PENDANT OR SURFACE MOUNTED LINEAR LUMINAIRE

COMBINATION EXIT/TWIN HEAD EMERGENCY LIGHTING UNIT

SINGLE FACE EXIT SIGN - WALL AND CEILING MOUNTED WITH

DOUBLE FACE EXIT SIGN - WALL AND CEILING MOUNTED WITH

DIRECTIONAL ARROWS AS INDICATED ON PLANS

DIRECTIONAL ARROWS AS INDICATED ON PLANS

BOTTOM INDICATES CIRCUIT NUMBER

HOMERUN - WIRING TO PANEL OF CIRCUIT ORIGIN

CONDUIT CONCEALED IN WALL OR ABOVE CEILING

---- CONDUIT BELOW GRADE OR EMBEDDED IN CONCRETE

LINE VOLTAGE CIRCUIT CONDUCTORS

CIRCUIT DESIGNATION:

CONDUIT TURNED UP

──── CONDUIT TURNED DOWN

LIGHTING SYMBOLS

GROUNDING CONNECTION

5-BLADE CEILING FAN

FLAT PANEL TROFFER

STANDARD STRIP LIGHT

WALL MOUNTED LUMINAIRE

RECESSED OR SURFACE DOWNLIGHT

TWIN HEAD EMERGENCY LIGHTING UNIT

PRESET SLIDE DIMMER WALL SWITCH JUNCTION BOX

DOORBELL SYSTEM HORN/STROBE DOOBELL SYSTEM TRANSFORMER

DOORBELL SYSTEM BUTTON BRANCH CIRCUIT PANELBOARD, SURFACE MOUNTED

BRANCH CIRCUIT PANELBOARD, FLUSH MOUNTED

# FIRE ALARM SYMBOLS

EXISTING FIRE ALARM CONTROL PANEL MANUAL PULL STATION

SPOT TYPE AREA SMOKE DETECTOR ADDRESSABLE MONITORING MODULE

ADDRESSABLE RELAY MODULE

ADDRESSABLE CONTROL MODULE NOTIFICATION HORN, WALL

NOTIFICATION STROBE, WALL (CANDELA NOTED)

NOTIFICATION HORN/STROBE, WALL (CANDELA NOTED)

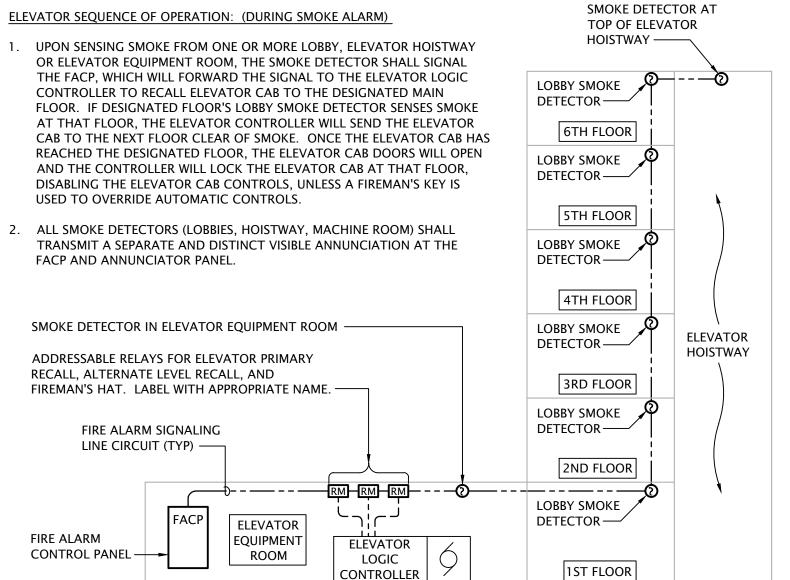
## SYMBOL MODIFYING DESIGNATORS

CEILING MOUNTED FLUSH MOUNTED IN SUSPENDED CEILINGS SURFACE MOUNTED TO STRUCTURE ABOVE IN OPEN CEILINGS

MOUNT BOTTOM OF DEVICE AT 6" ABOVE COUNTERTOP DEVICE IS EXISTING TO REMAIN

GROUND FAULT CIRCUIT INTERRUPTING DEVICE NIGHTLIGHT WIRED TO UNSWITCHED HOT CONDUCTOR

PROVIDE WEATHERPROOF ENCLOSURE FOR DEVICE MOUNTING HEIGHT OF DEVICE ABOVE FINISHED FLOOR



3 ELEVATOR INTERLOCK WITH FIRE ALARM
No Scale

## DOOR ALARM BUZZER SYSTEM NOTES

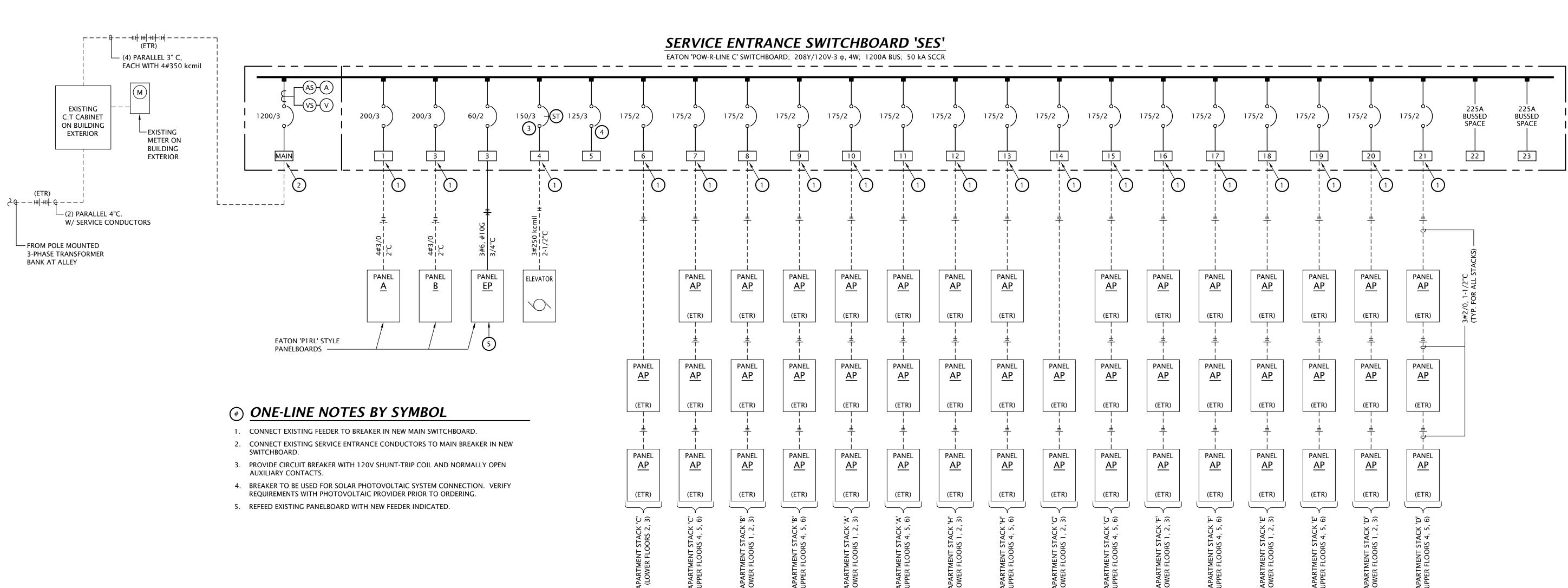
120 VAC

1. PROVIDE DOOR ANNUNCIATOR SYSTEM COMPLETE WITH PUSH BUTTON, HORN/STROBE(S), POWER SUPPLIES AND ALL WIRING REQUIRED. HORN/STROBE SHALL ACTIVATE WHEN PUSH BUTTON IS DEPRESSED.

└ POWER SUPPLY

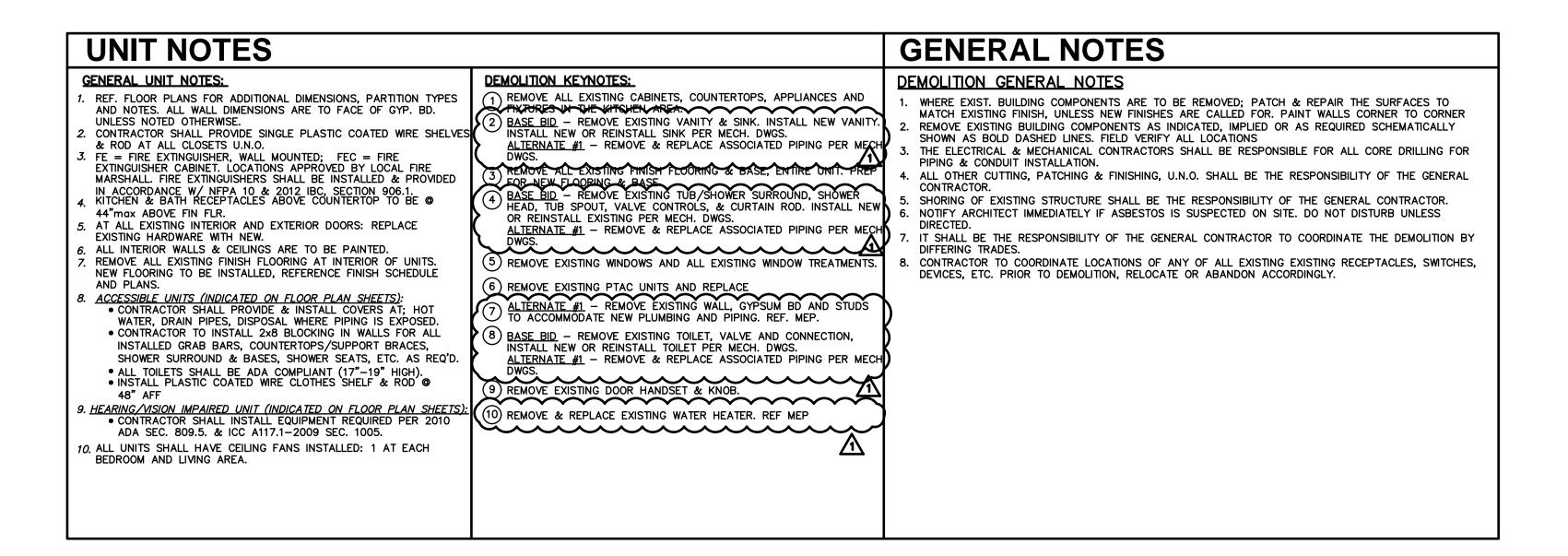
- 2. HORN/STROBE SHALL OPERATE AT 24VAC, HAVE A CLEAR LENS WITH 50cd STROBE AND HORN WITH 82dB AT 10', UL 1638 LISTED, EDWARDS #6536-G5. FLUSH MOUNT IN WALL AT 6'-8" AFF.
- 3. PUSH BUTTON SHALL BE WHITE WITH CHROME RIM, NON-ILLUMINATED, WITH N.O. MOMENTARY CONTACTS, RATED FOR 0.67 AMPS AT 24VAC, EDWARDS #620. PROVIDE WITH STAINLESS STEEL COVER PLATE, EDWARDS #147-10. MOUNT AT
- 4. POWER SUPPLY SHALL BE A LOW VOLTAGE CLASS 2 TRANSFORMER WITH 120VAC PRIMARY AND 24VAC SECONDARY, 20VA, EDWARDS #598. FLUSH MOUNT IN 2-GANG WALL BOX WITH BLANK COVER PLATE, DIRECTLY ABOVE HORN/STROBE.
- 5. LOW VOLTAGE CLASS 2 CABLING SHALL BE MINIMUM 18 AWG UNSHIELDED.

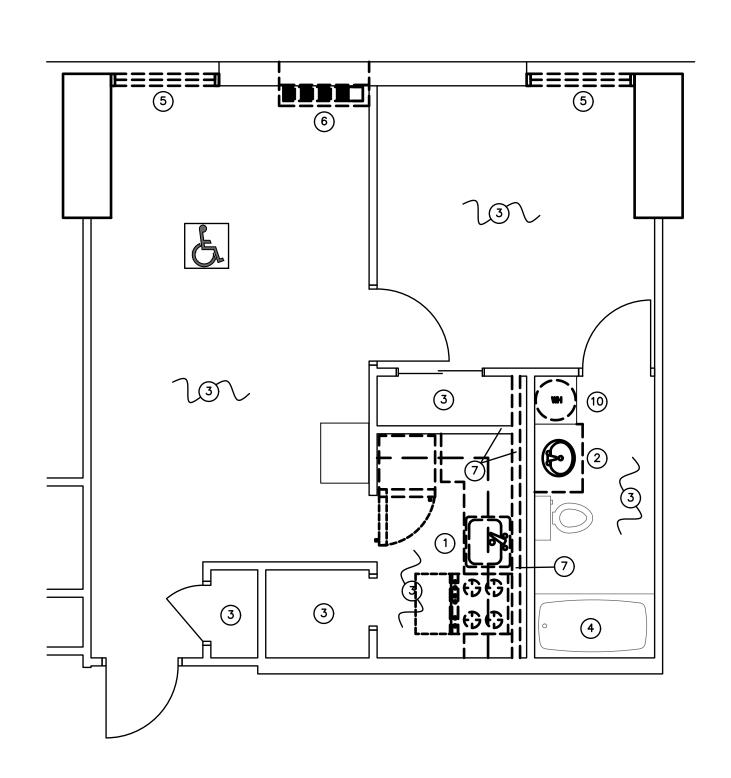
2 APARTMENT DOORBELL WIRING SCHEMATIC
No Scale



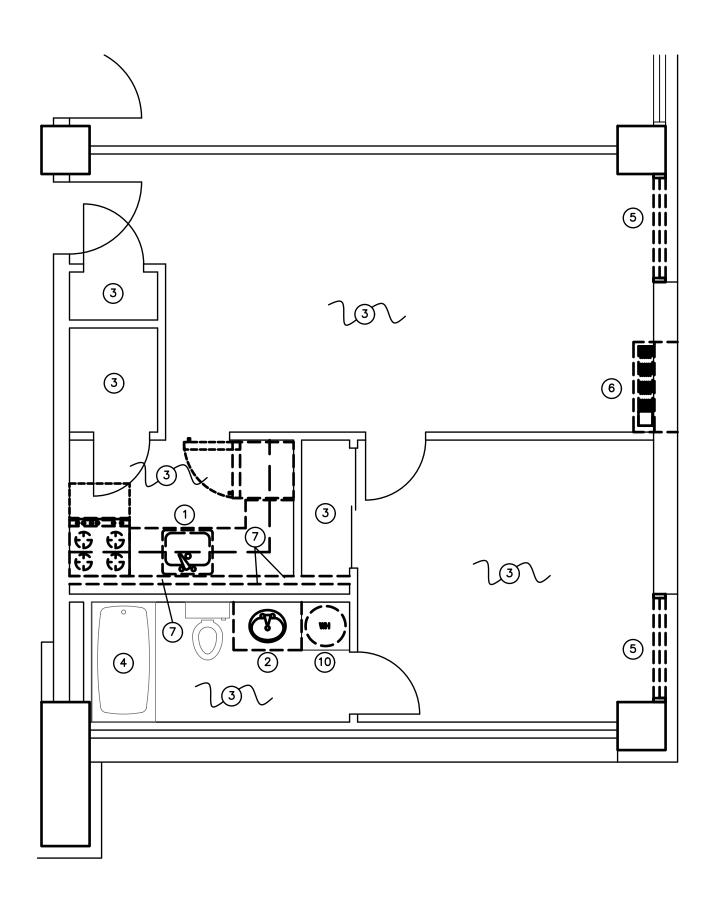
9-21-2022

21-3189 SHEET NO .:







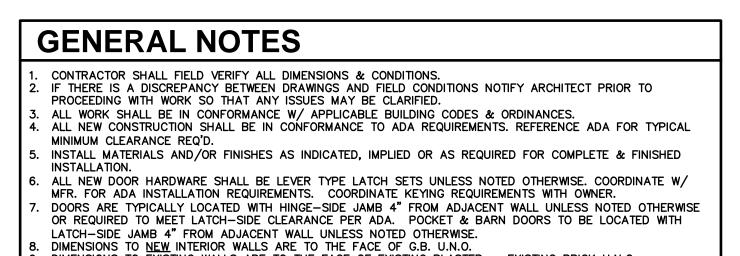


APT. A DEMOLITION PLAN

APARTMENTS: B,C,D,E,F,G, & H - SIMILAR

A





DIMENSIONS TO EXISTING WALLS ARE TO THE FACE OF EXISTING PLASTER OF EXISTING BRICK U.N.O. IO. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C., TYP. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT ALL BACK TO BACK ELECTRICAL OUTLETS. PROVIDED AND INSTALL ALL FIRE BLOCKING & DRAFTSTOPS PER 2012 IBC, SECTION 718.

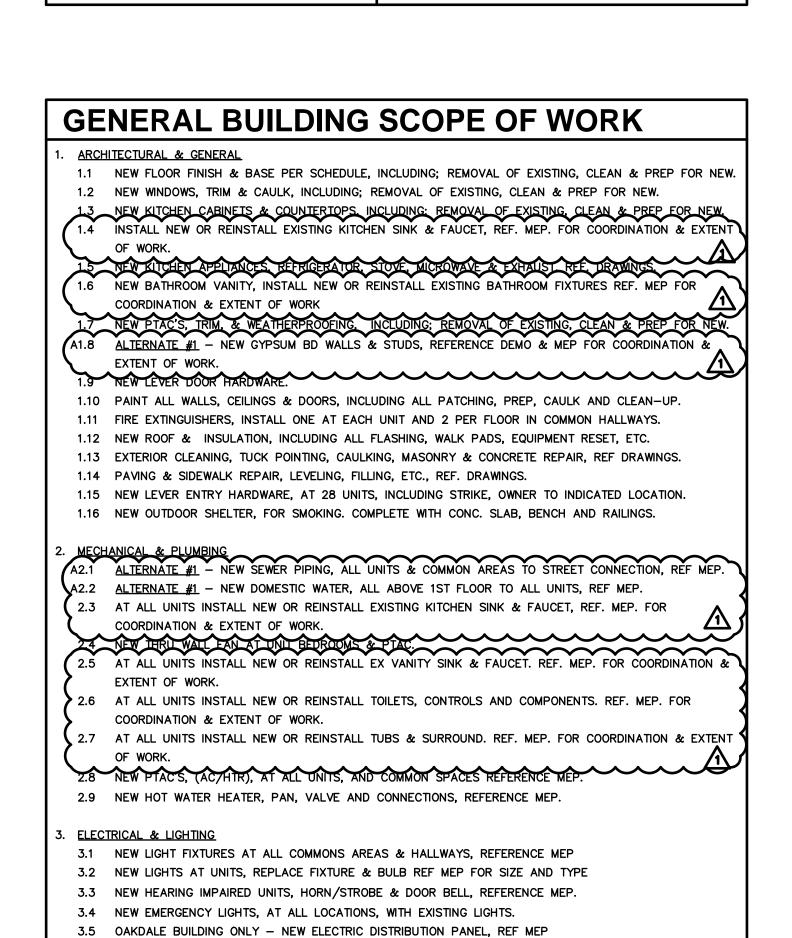
1. REF. SHEET A2.3—A2.6 FOR UNIT GENERAL NOTES.

12. REF. SHEET A2.1 & A2.2 FOR PARTITION SCHEDULE. 3. FIRE EXTINGUISHER LOCATIONS TO BE APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2012 IBC, SECTION 906.1

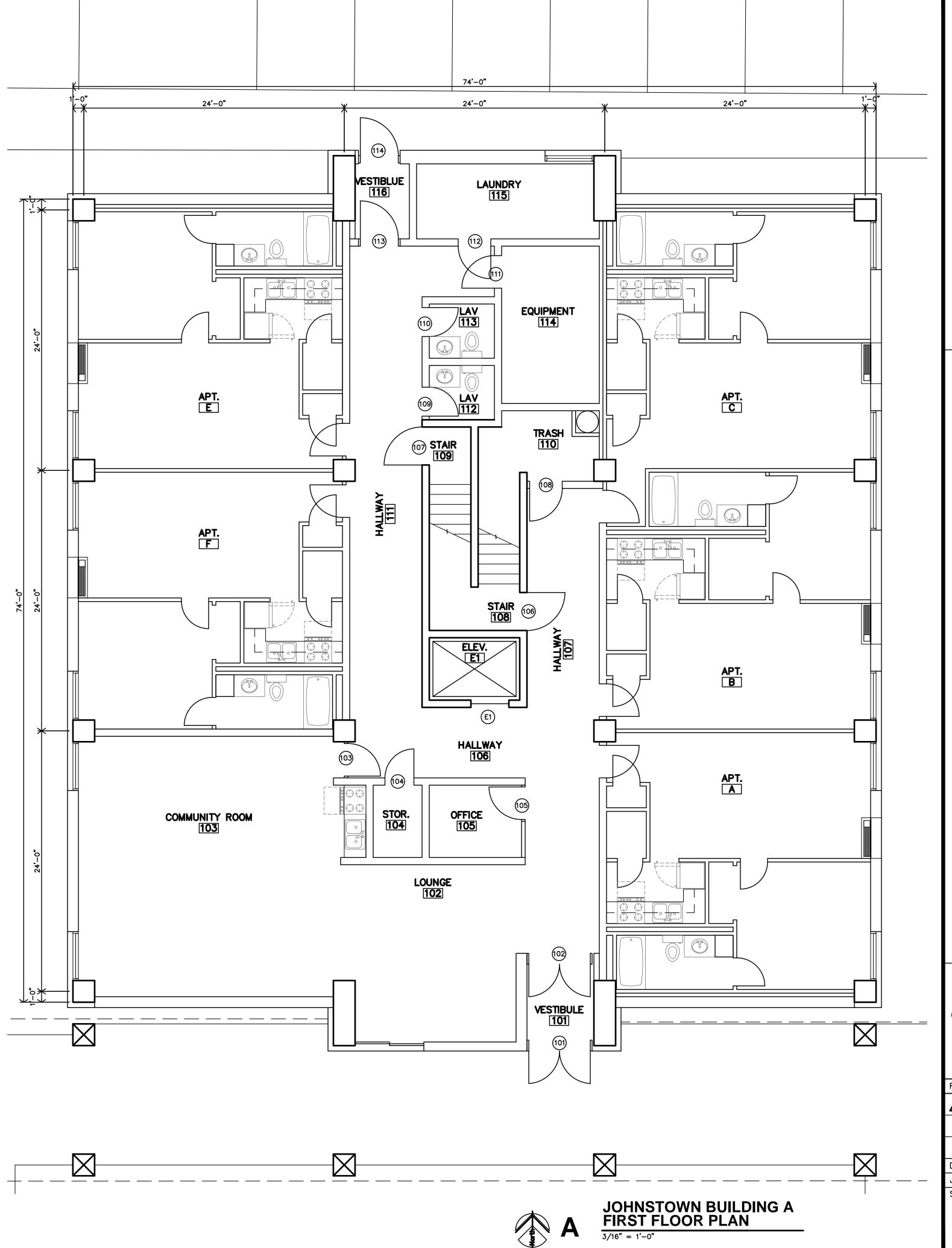
EFEC — INDICATES EXISTING WALL MOUNTED FIRE EXTINGUISHER CABINET.

FEC — INDICATES NEW WALL MOUNTED FIRE EXTINGUISHER CABINET. FE - INDICATES WALL MOUNTED FIRE EXTINGUISHER IN UNIT. .

SYMBOL INDICATES HEARING IMPAIRED APARTMENT.
BUILDING A: 2D
BUILDING B: 3D SYMBOL INDICATES ACCESSIBLE APARTMENT. BUILDING A: 3D & 5D BUILDING B: 2D, 5D, & 6D



3.6 OAKDALE BUILDING ONLY - NEW FIRE ALARM SYSTEM, REFERENCE MEP.

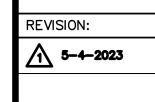


SGillamRenz
1881 Main Street, Suite 30



5-4-2023

9-21-2022 21-3189 SHEET NO.:



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- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.

  IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
- . ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
  . ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MINIMUM CLEARANCE REQ'D.
- . INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
- . ALL NEW DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS UNLESS NOTED OTHERWISE. COORDINATE W/MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER. DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE
- OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA. POCKET & BARN DOORS TO BE LOCATED WITH LATCH—SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

  DIMENSIONS TO NEW INTERIOR WALLS ARE TO THE FACE OF G.B. U.N.O.

  DIMENSIONS TO EXISTING WALLS ARE TO THE FACE OF EXISTING PLASTER OF EXISTING BRICK U.N.O.
- 10. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C., TYP. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT ALL BACK TO BACK ELECTRICAL OUTLETS. PROVIDED AND INSTALL ALL FIRE BLOCKING & DRAFTSTOPS PER 2012 IBC, SECTION 718.
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  12. REF. SHEET A2.1 & A2.2 FOR PARTITION SCHEDULE. 13. FIRE EXTINGUISHER LOCATIONS TO BE APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2012 IBC, SECTION 906.1 EFEC — INDICATES EXISTING WALL MOUNTED FIRE EXTINGUISHER CABINET.

  FEC — INDICATES NEW WALL MOUNTED FIRE EXTINGUISHER CABINET.

  FE — INDICATES WALL MOUNTED FIRE EXTINGUISHER IN UNIT. .

SYMBOL INDICATES ACCESSIBLE APARTMENT. BUILDING A: 3D & 5D

SYMBOL INDICATES HEARING IMPAIRED APARTMENT.
BUILDING A: 2D
BUILDING B: 3D

# **GENERAL BUILDING SCOPE OF WORK**

BUILDING B: 2D, 5D, & 6D

- 1.1 NEW FLOOR FINISH & BASE PER SCHEDULE, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.
- 1.2 NEW WINDOWS, TRIM & CAULK, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.
- 1.3 NEW KITCHEN CABINETS & COUNTERTOPS, INCLUDING: REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.

  1.4 INSTALL NEW OR REINSTALL EXISTING KITCHEN SINK & FAUCET, REF. MEP. FOR COORDINATION & EXTENT
- 1.5 NEW KITCHEN APPLIANCES, REFRIGERATOR, STOVE, MICROWAVE & EXHAUST REF. DRAWINGS.

  1.6 NEW BATHROOM VANITY, INSTALL NEW OR REINSTALL EXISTING BATHROOM FIXTURES REF. MEP FOR
- NEW PTAC'S, TRIM, & WEATHERPROOFING, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW. A1.8 <u>ALTERNATE #1</u> – NEW GYPSUM BD WALLS & STUDS, REFERENCE DEMO & MEP FOR COORDINATION & 1.9 NEW LEVER DOOR HARDWARE.
- 1.10 PAINT ALL WALLS, CEILINGS & DOORS, INCLUDING ALL PATCHING, PREP, CAULK AND CLEAN-UP. 1.11 FIRE EXTINGUISHERS, INSTALL ONE AT EACH UNIT AND 2 PER FLOOR IN COMMON HALLWAYS.
- 1.12 NEW ROOF & INSULATION, INCLUDING ALL FLASHING, WALK PADS, EQUIPMENT RESET, ETC.
- 1.13 EXTERIOR CLEANING, TUCK POINTING, CAULKING, MASONRY & CONCRETE REPAIR, REF DRAWINGS.
- 1.14 PAVING & SIDEWALK REPAIR, LEVELING, FILLING, ETC., REF. DRAWINGS.
- 1.15 NEW LEVER ENTRY HARDWARE, AT 28 UNITS, INCLUDING STRIKE, OWNER TO INDICATED LOCATION.

# MECHANICAL & PLUMBING A2.1 ALTERNATE #1 - NEW SEWER PIPING, ALL UNITS & COMMON AREAS TO STREET CONNECTION, REF MEP.

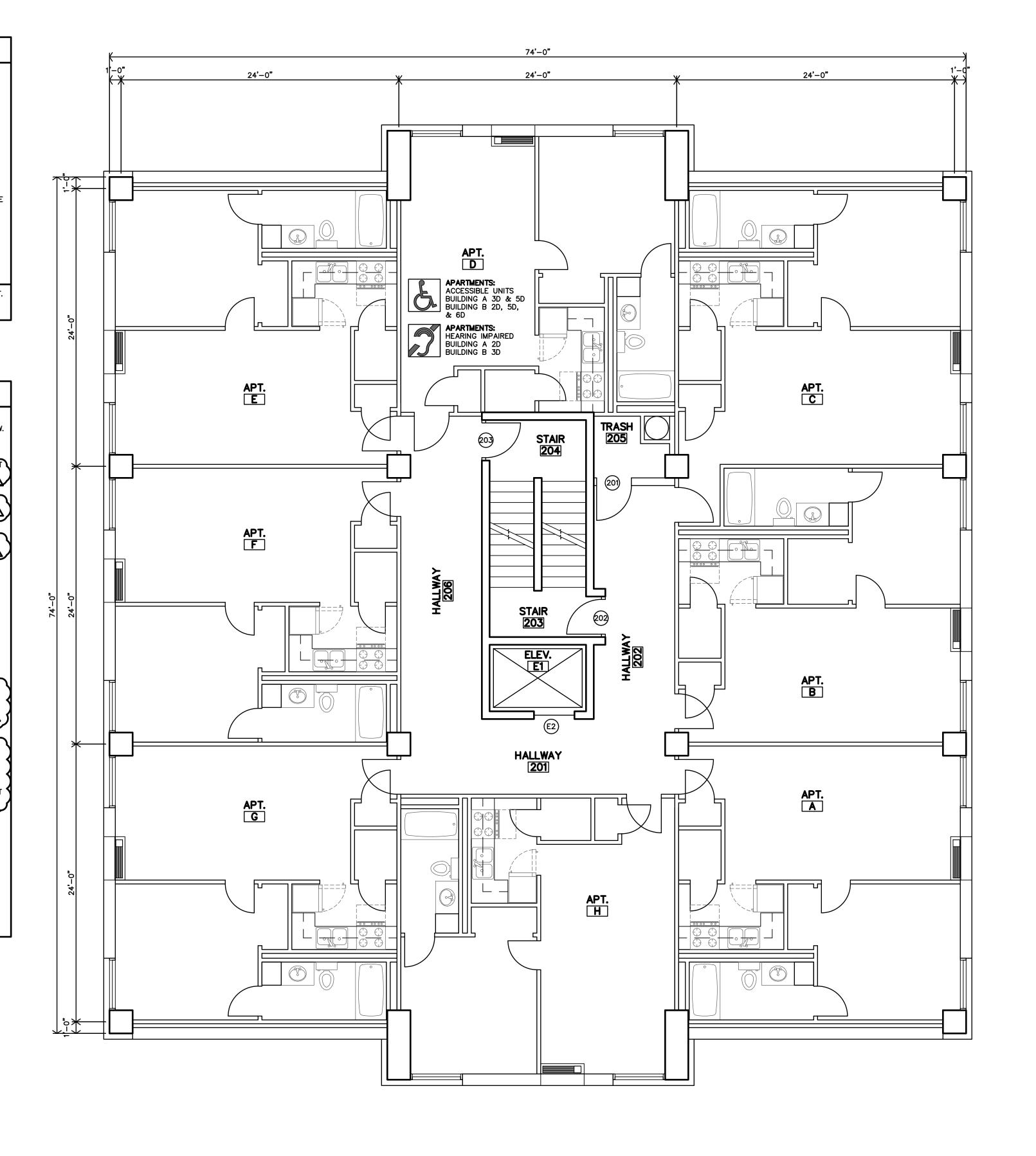
- A2.2 ALTERNATE #1 NEW DOMESTIC WATER, ALL ABOVE 1ST FLOOR TO ALL UNITS, REF MEP.
- ( 2.3 AT ALL UNITS INSTALL NEW OR REINSTALL EXISTING KITCHEN SINK & FAUCET, REF. MEP. FOR
- COORDINATION & EXTENT OF WORK.

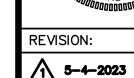
  24 NEW THRU WALL FAN AT UNIT BEDROOMS & PTAC:

  2.5 AT ALL UNITS INSTALL NEW OR REINSTALL EX VANITY SINK & FAUCET. REF. MEP. FOR COORDINATION &
- 2.6 AT ALL UNITS INSTALL NEW OR REINSTALL TOILETS, CONTROLS AND COMPONENTS. REF. MEP. FOR COORDINATION & EXTENT OF WORK.
- 2.7 AT ALL UNITS INSTALL NEW OR REINSTALL TUBS & SURROUND. REF. MEP. FOR COORDINATION & EXTENT
- 2.8 NEW PTAC'S, (AC7HTR), AT ALL UNITS, AND COMMON SPACES REFERENCE MEP. 2.9 NEW HOT WATER HEATER, PAN, VALVE AND CONNECTIONS, REFERENCE MEP.

## . ELECTRICAL & LIGHTING

- 3.1 NEW LIGHT FIXTURES AT ALL COMMONS AREAS & HALLWAYS, REFERENCE MEP
- 3.2 NEW LIGHTS AT UNITS, REPLACE FIXTURE & BULB REF MEP FOR SIZE AND TYPE
- 3.3 NEW HEARING IMPAIRED UNITS, HORN/STROBE & DOOR BELL, REFERENCE MEP.
- 3.4 NEW EMERGENCY LIGHTS, AT ALL LOCATIONS, WITH EXISTING LIGHTS.
- 3.5 OAKDALE BUILDING ONLY NEW ELECTRIC DISTRIBUTION PANEL, REF MEP
- 3.6 OAKDALE BUILDING ONLY NEW FIRE ALARM SYSTEM, REFERENCE MEP.





5-4-2023

9-21-2022 21-3189 SHEET NO.:



- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
- ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES. ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL
- MINIMUM CLEARANCE REQ'D.
- INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED ALL NEW DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS UNLESS NOTED OTHERWISE. COORDINATE W/
- MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER. DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA. POCKET & BARN DOORS TO BE LOCATED WITH
- LATCH-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

  DIMENSIONS TO NEW INTERIOR WALLS ARE TO THE FACE OF G.B. U.N.O.

  DIMENSIONS TO EXISTING WALLS ARE TO THE FACE OF EXISTING PLASTER OF EXISTING BRICK U.N.O. D. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C., TYP. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT ALL BACK TO BACK ELECTRICAL OUTLETS. PROVIDED AND INSTALL ALL FIRE
- BLOCKING & DRAFTSTOPS PER 2012 IBC, SECTION 718. REF. SHEET A2.3-A2.6 FOR UNIT GENERAL NOTES. 2. REF. SHEET A2.1 & A2.2 FOR PARTITION SCHEDULE.
- 3. FIRE EXTINGUISHER LOCATIONS TO BE APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2012 IBC, SECTION 906.1 EFEC - INDICATES EXISTING WALL MOUNTED FIRE EXTINGUISHER CABINET. FEC - INDICATES NEW WALL MOUNTED FIRE EXTINGUISHER CABINET.
- FE INDICATES WALL MOUNTED FIRE EXTINGUISHER IN UNIT.

SYMBOL INDICATES ACCESSIBLE APARTMENT. BUILDING A: 3D & 5D BUILDING B: 2D, 5D, & 6D

SYMBOL INDICATES HEARING IMPAIRED APARTMENT.
BUILDING A: 2D
BUILDING B: 3D

# **GENERAL BUILDING SCOPE OF WORK**

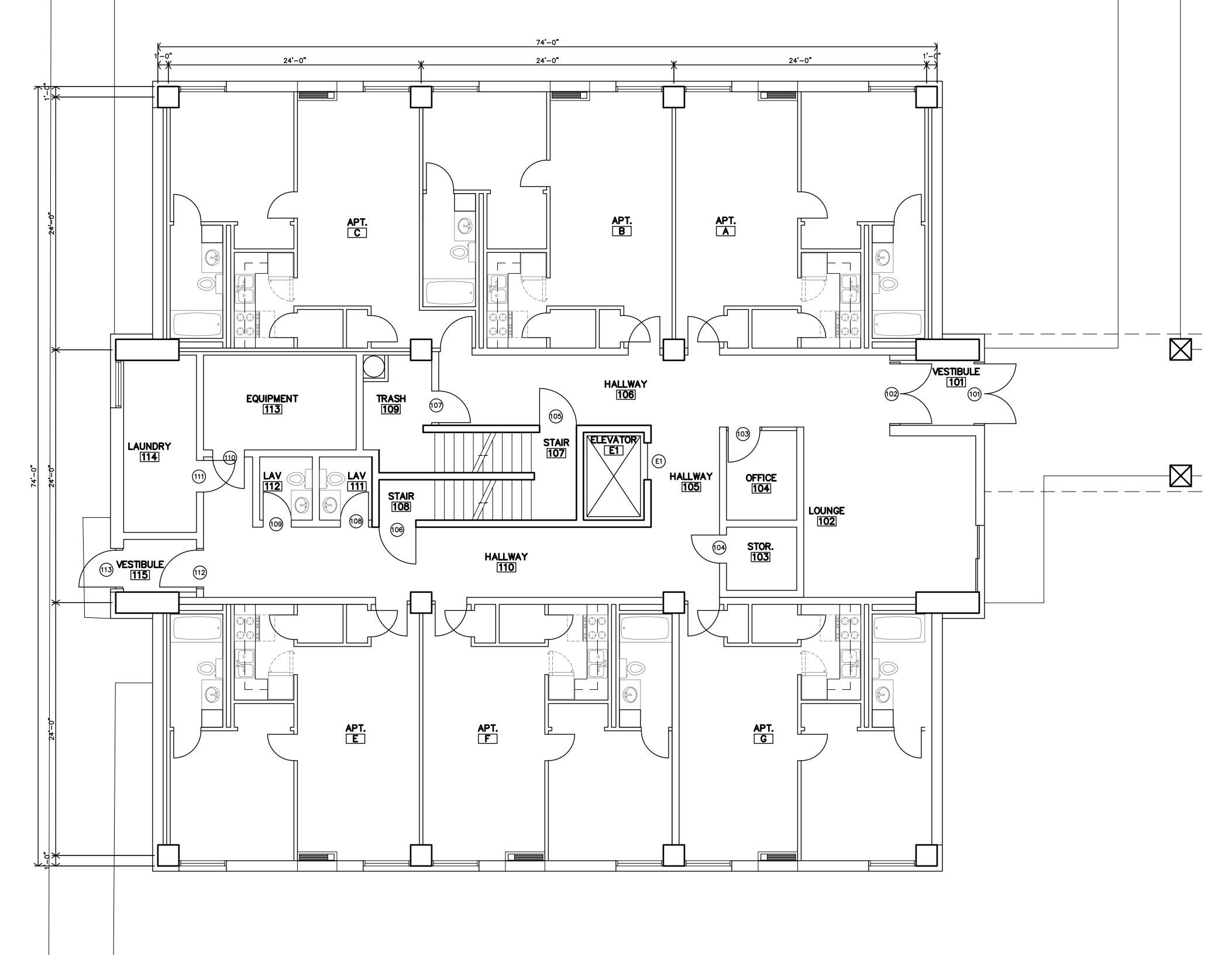
- ARCHITECTURAL & GENERAL
- 1.1 NEW FLOOR FINISH & BASE PER SCHEDULE, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.
- 1.2 NEW WINDOWS, TRIM & CAULK, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.
- 1.3 NEW KITCHEN CABINETS & COUNTERTOPS, INCLUDING: REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.

  1.4 INSTALL NEW OR REINSTALL EXISTING KITCHEN SINK & FAUCET, REF. MEP. FOR COORDINATION & EXTENT
- COORDINATION & EXTENT OF WORK
- NEW PTAC'S, TRIM, & WEATHERPROOFING, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.

  ALTERNATE #1 NEW GYPSUM BD WALLS & STUDS, REFERENCE DEMO & MEP FOR COORDINATION & EXTENT OF WORK. 1.9 NEW LEVER DOOR HARDWARE.
- 1.10 PAINT ALL WALLS, CEILINGS & DOORS, INCLUDING ALL PATCHING, PREP, CAULK AND CLEAN-UP.
- 1.11 FIRE EXTINGUISHERS, INSTALL ONE AT EACH UNIT AND 2 PER FLOOR IN COMMON HALLWAYS.
- 1.12 NEW ROOF & INSULATION, INCLUDING ALL FLASHING, WALK PADS, EQUIPMENT RESET, ETC. 1.13 EXTERIOR CLEANING, TUCK POINTING, CAULKING, MASONRY & CONCRETE REPAIR, REF DRAWINGS.
- 1.14 PAVING & SIDEWALK REPAIR, LEVELING, FILLING, ETC., REF. DRAWINGS.
- 1.15 NEW LEVER ENTRY HARDWARE, AT 28 UNITS, INCLUDING STRIKE, OWNER TO INDICATED LOCATION.
- 1.16 NEW OUTDOOR SHELTER, FOR SMOKING. COMPLETE WITH CONC. SLAB, BENCH AND RAILINGS.
- A2.2 <u>ALTERNATE #1</u> NEW DOMESTIC WATER, ALL ABOVE 1ST FLOOR TO ALL UNITS, REF MEP.
- ( 2.3 AT ALL UNITS INSTALL NEW OR REINSTALL EXISTING KITCHEN SINK & FAUCET, REF. MEP. FOR
- COORDINATION & EXTENT OF WORK.

  24 NEW THRU WALL FAN AT UNIT BEDROOMS & PTAC.

  2.5 AT ALL UNITS INSTALL NEW OR REINSTALL EX VANITY SINK & FAUCET. REF. MEP. FOR COORDINATION &
- EXTENT OF WORK. 2.6 AT ALL UNITS INSTALL NEW OR REINSTALL TOILETS, CONTROLS AND COMPONENTS. REF. MEP. FOR
- COORDINATION & EXTENT OF WORK.
- igl( 2.7 igl) at all units install new or reinstall tubs & surround. Ref. Mep. for coordination & extent
- 2.8 NEW PTAC'S, (AC/HTR), AT ALL UNITS, AND COMMON SPACES REFERENCE MEP.
- 2.9 NEW HOT WATER HEATER, PAN, VALVE AND CONNECTIONS, REFERENCE MEP.
- ELECTRICAL & LIGHTING
- 3.1 NEW LIGHT FIXTURES AT ALL COMMONS AREAS & HALLWAYS, REFERENCE MEP
- 3.2 NEW LIGHTS AT UNITS, REPLACE FIXTURE & BULB REF MEP FOR SIZE AND TYPE
- 3.3 NEW HEARING IMPAIRED UNITS, HORN/STROBE & DOOR BELL, REFERENCE MEP.
- 3.4 NEW EMERGENCY LIGHTS, AT ALL LOCATIONS, WITH EXISTING LIGHTS.
- 3.5 OAKDALE BUILDING ONLY NEW ELECTRIC DISTRIBUTION PANEL, REF MEP





3.6 OAKDALE BUILDING ONLY - NEW FIRE ALARM SYSTEM, REFERENCE MEP.



5-4-2023

9-21-2022 21-3189 SHEET NO.:

# **GENERAL NOTES**

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO
- PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
- ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
  ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MINIMUM CLEARANCE REQ'D.
- INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
- ALL NEW DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS UNLESS NOTED OTHERWISE. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER.
- DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA. POCKET & BARN DOORS TO BE LOCATED WITH
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  DIMENSIONS TO <u>NEW</u> INTERIOR WALLS ARE TO THE FACE OF G.B. U.N.O.

  DIMENSIONS TO <u>EXISTING</u> WALLS ARE TO THE FACE OF EXISTING PLASTER OR EXISTING BRICK U.N.O.
- D. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C., TYP. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT ALL BACK TO BACK ELECTRICAL OUTLETS. PROVIDED AND INSTALL ALL FIRE
- BLOCKING & DRAFTSTOPS PER 2012 IBC, SECTION 718. 11. REF. SHEET A2.3—A2.6 FOR UNIT GENERAL NOTES. 12. REF. SHEET A2.1 & A2.2 FOR PARTITION SCHEDULE. 3. FIRE EXTINGUISHER LOCATIONS TO BE APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE
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BUILDING B: 2D, 5D, & 6D

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# **GENERAL BUILDING SCOPE OF WORK**

ARCHITECTURAL & GENERAL

- 1.1 NEW FLOOR FINISH & BASE PER SCHEDULE, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW. 1.2 NEW WINDOWS, TRIM & CAULK, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.
- 1.3 NEW KITCHEN CABINETS & COUNTERTOPS INCLUDING: REMOVAL OF EXISTING, CLEAN & PREP FOR NEW.

  1.4 INSTALL NEW OR REINSTALL EXISTING KITCHEN SINK & FAUCET, REF. MEP. FOR COORDINATION & EXTENT 1.6 NEW BATHROOM VANITY, INSTALL NEW OR REINSTALL EXISTING BATHROOM FIXTURES REF. MEP FOR

1.7 NEW PTAC'S, TRIM, & WEATHERPROOFING, INCLUDING; REMOVAL OF EXISTING, CLEAN & PREP FOR NEW A1.8 ALTERNATE #1 — NEW GYPSUM BD WALLS & STUDS, REFERENCE DEMO & MEP FOR COORDINATION &

## 1.9 NEW LEVER DOOR HARDWARE.

- 1.10 PAINT ALL WALLS, CEILINGS & DOORS, INCLUDING ALL PATCHING, PREP, CAULK AND CLEAN-UP. 1.11 FIRE EXTINGUISHERS, INSTALL ONE AT EACH UNIT AND 2 PER FLOOR IN COMMON HALLWAYS.
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- 1.15 NEW LEVER ENTRY HARDWARE, AT 28 UNITS, INCLUDING STRIKE, OWNER TO INDICATED LOCATION.
- 1.16 NEW OUTDOOR SHELTER, FOR SMOKING. COMPLETE WITH CONC. SLAB, BENCH AND RAILINGS.

- 2. MECHANICAL & PLUMBING
  A2.1 ALTERNATE #1 NEW SEWER PIPING, ALL UNITS & COMMON AREAS TO STREET CONNECTION, REF MEP.
- A2.2 <u>ALTERNATE #1</u> NEW DOMESTIC WATER, ALL ABOVE 1ST FLOOR TO ALL UNITS, REF MEP. ( 2.3 AT ALL UNITS INSTALL NEW OR REINSTALL EXISTING KITCHEN SINK & FAUCET, REF. MEP. FOR

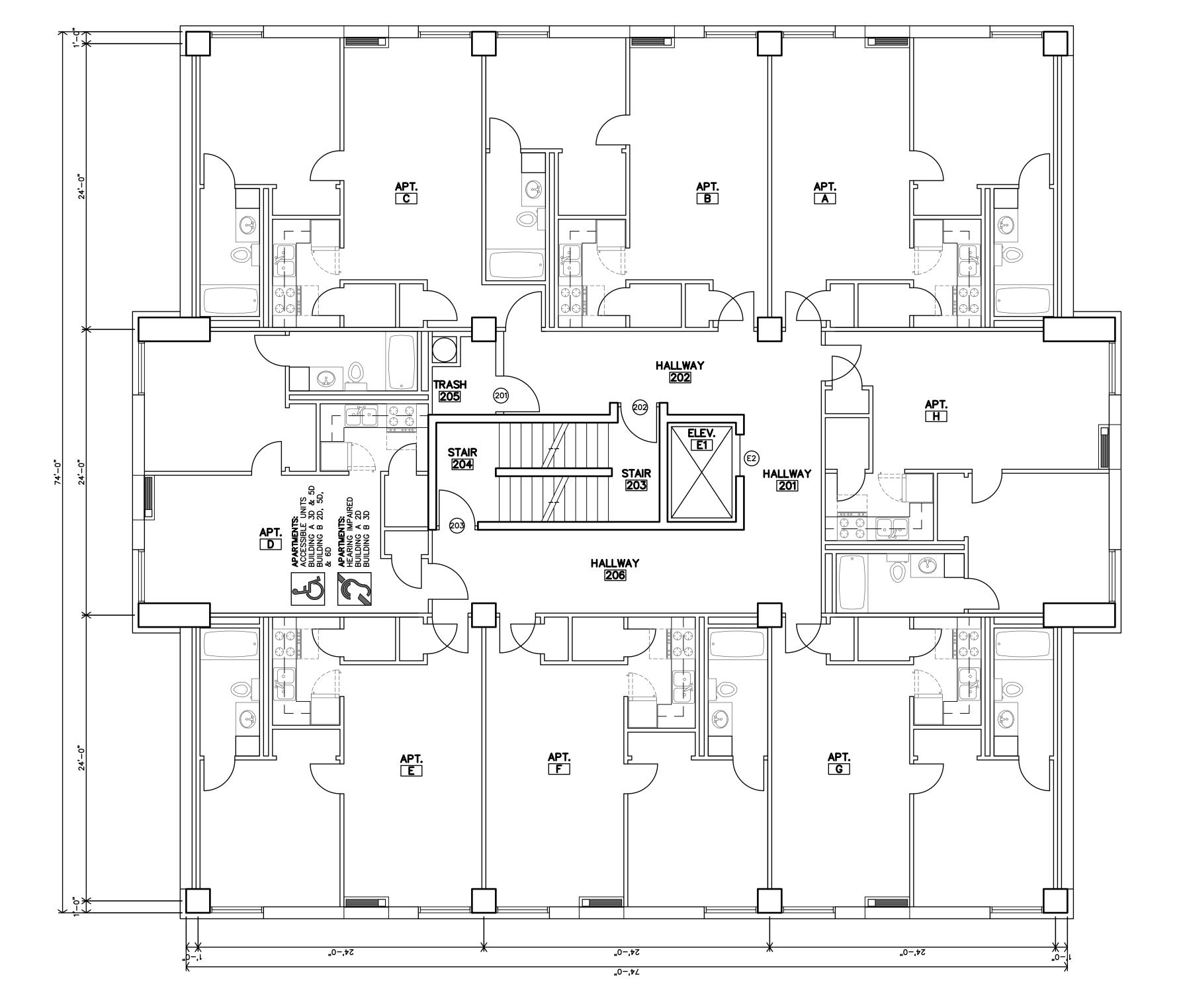
COORDINATION & EXTENT OF WORK.

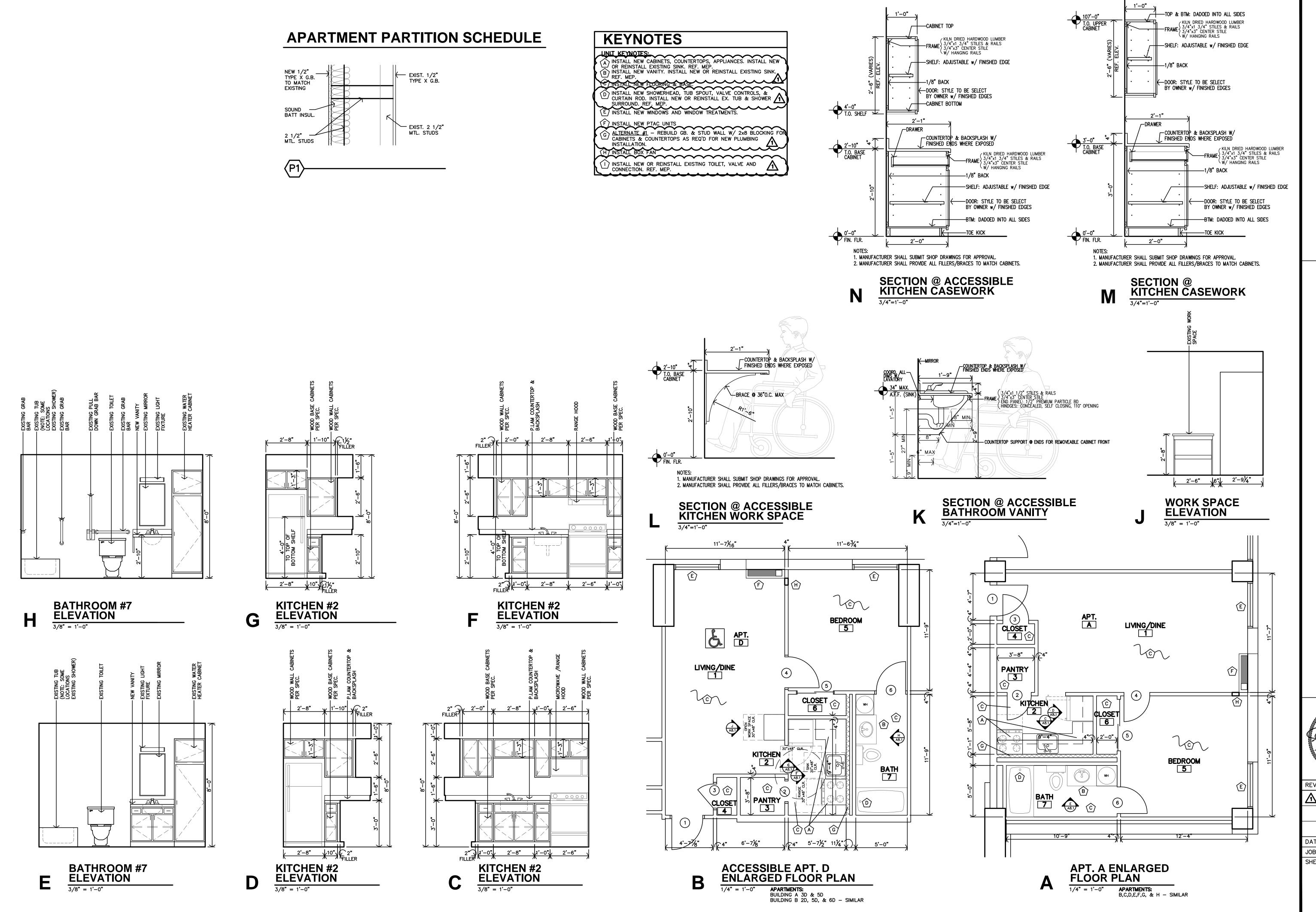
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- 3.6 OAKDALE BUILDING ONLY NEW FIRE ALARM SYSTEM, REFERENCE MEP.





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REVISION:

5-4-2023

DATE: 9-21

DATE: 9-21-2022

JOB: 21-3189

SHEET NO.:

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A8.1

- PROVIDE NEW DOMESTIC COLD WATER RISER UP TO APARTMENTS ABOVE. CONNECT TO EXISTING 1-1/2" WATER PIPING BELOW SLAB AT FLOOR LEVEL. FIELD VERIFY EXACT LOCATION OF EXISTING AND MODIFY EXISTING INSTALLATION AS REQUIRED. FIELD COORDINATE EXACT ROUTING OF NEW PIPING WITH EXISTING CONDITIONS AND G.C.
- REPLACE WATER HEATER. PROVIDE PLASTIC OVERFLOW PAN. MODIFY EXISTING WATER PIPING AS REQUIRED. VERIFY SIZE OF WATER HEATER PRIOR TO ORDERING REPLACEMENT.
- NOTE NOT USED.
- 4. 1-1/2" CW RISER ROUTED UP THROUGH CHASE TO SERVE EACH DWELLING UNIT WITH 1" BRANCH LINE. FIELD COORDINATE EXACT ROUTING WITH EXISTING CONDITIONS.
- CONNECT TO EXISTING 2" CW RISER. PROVIDE NEW SHUT OFF VALVE.
- 6. NEW DRAINAGE PIPING TO CONNECT TO VENT AFTER 6TH FLOOR, SEE SHEET M5.1 RISER DIAGRAMS FOR MORE DETAILS.
- VENT PIPING TO TERMINATE THROUGH ROOF SEE PLANS FOR SIZING, SEE SHEET M5.1 RISER DIAGRAMS FOR MORE DETAILS. RE-USE EXISTING ROOF PENETRATIONS WHERE POSSIBLE. FIELD VERIFY EXACT LOCATIONS.
- PROVIDE NEW DRAIN FROM EXISTING SINK AND CONNECT TO DRAIN PIPING IN ADJACENT CHASE. FIELD COORDINATE EXACT ROUTING WITH EXISTING CONDITIONS.

E

APT.

- 9. OFFSET DOMESTIC WATER RISER ABOVE FLOOR TO THIS LOCATION AND ROUTE UP TO APARTMENTS ABOVE.
- 10. INSTALL KEYED ACCESS HATCH IN WALL FOR CLEAN-OUT ACCESS AT BASE OF WASTE RISER. FIELD COORDINATE EXACT LOCATION WITH EXISTING CONDITIONS AND G.C.
- 11. INSTALL KEYED ACCESS HATCH IN WALL FOR SHUT OFF VALVE TO EACH DWELLING UNIT ACCESSIBLE FROM MECHANICAL CLOSET. FIELD COORDINATE EXACT LOCATION WITH EXISTING CONDITIONS AND G.C.
- 12. CONNECT TO EXISTING SEWER. VERIFY EXACT LOCATION OF EXISTING. MODIFY EXISTING PIPING AS REQUIRED.
- 13. ROUTE WASTE STACK AND VENT STACK IN THIS AREA THROUGH EXISTING CHASE. UTILIZE EXISTING FLOOR PENETRATIONS WHERE POSSIBLE. FIELD VERIFY EXACT LOCATIONS OF EXISTING.
- 14. REPLACE ALL EXISTING DOMESTIC WATER PIPING ABOVE SLAB. RE-CONNECT TO EXISTING FIXTURES TO REMAIN AND TO EXISTING WATER SERVICE AND BRANCHES TO APARTMENT RISERS ROUTED BELOW SLAB. FIELD VERIFY EXACT LOCATIONS AND SIZING OF EXISTING.

(<u>HW</u>H-2)

- 15. EXISTING WATER HEATER TO REMAIN.
- 16. EXISTING CLOTHESWASHER CONNECTION BOXES TO REMAIN.

- 17. EXISTING FLOOR DRAIN AND ASSOCIATED PIPING TO REMAIN.
- 18. EXISTING LAUNDRY SINK TO REMAIN. PROVIDE NEW DRAIN AND VENT PIPING AND REPLACE DOMESTIC WATER PIPING ABOVE SLAB AND RE-CONNECT EXISTING FIXTURE.
- 19. NOTE NOT USED.

С

APT.

APT.

- 20. CONNECT TO EXISTING 4" DRAIN PIPING BELOW SLAB IN THIS AREA TO REMAIN. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING.
- 21. DISCONNECT EXISTING DRAIN TO REMAIN FROM PIPING TAKEN OUT OF SERVICE AND PROVIDE FFCO. FIELD VERIFY EXACT LOCATION OF EXISTING.
- 22. ROUTE DRAIN AND DOMESTIC WATER PIPING IN SOFFIT AND UP TO APARTMENTS ABOVE. COORDINATE ROUTING WITH G.C. AND ARCH.
- 23. REPLACE WATER PIPING ABOVE SLAB TO WALL HYDRANT. REPLACE WALL HYDRANT AS DIRECTED BY OWNER. FIELD VERIFY EXACT REQUIREMENTS AND LOCATION OF EXISTING.

PLUMBING SIZING SYMBOLS

DRAIN (X = SIZE)VENT(X = SIZE)



- ALL WORK SHOWN RELATED TO DRAIN, VENT, AND WATER PIPING TO BE INCLUDED IN ALTERNATE BID ONLY.
- COORDINATE PHASING OF WORK WITH OWNER TO MINIMIZE DISRUPTION TO BUILDING SERVICES. PLUMBING WORK IN APARTMENTS STACKED VERTICALLY MUST BE DONE CONCURRENTLY.
- COORDINATE DEMO OF EXISTING FLOORS, WALLS, ETC WITH G.C. TO MINIMIZE AMOUNT OF DEMOLITION REQUIRED FOR INSTALLATION OF

NEW PIPING.

EXISTING PTAC TO REMAIN. FIELD VERIFY EXACT REQUIREMENTS WITH OWNER. — |**4**-----E С TRASH STAIR HALLWAY 1411 APT. HVAC INDICATED IS TYPICAL FOR EACH APARTMENT. COORDINAT REPLACE PTAC WITH UNIT SCHEDULED, EXISTING UNITS TO REMAIN IN BUILDING 'A' IN FOLLOWING APARTMENTS: 18,01F, 2E, 3D, 4B, 5G, 6G. FIELD VERIFY EXACT REQUIREMENTS WITH OWNER. COMMUNITY ROOM
103 PROVIDE ROOM TO ROOM FAN EQUAL TO BROAN 511. 23(14)

APT.

1 ST FLOOR PLAN - JOHNSTOWN - BUILDING A

05-03-23 21-3189 SHEET NO.:

- PROVIDE NEW DOMESTIC COLD WATER RISER UP TO APARTMENTS ABOVE. CONNECT TO EXISTING 1-1/2" WATER PIPING BELOW SLAB AT FLOOR LEVEL. FIELD VERIFY EXACT LOCATION OF EXISTING AND MODIFY EXISTING INSTALLATION AS REQUIRED. FIELD COORDINATE EXACT ROUTING OF NEW PIPING WITH EXISTING CONDITIONS AND G.C.
- REPLACE WATER HEATER. PROVIDE PLASTIC OVERFLOW PAN. MODIFY EXISTING WATER PIPING AS REQUIRED. VERIFY SIZE OF WATER HEATER PRIOR TO ORDERING REPLACEMENT.
- NOTE NOT USED.
- 4. 1-1/2" CW RISER ROUTED UP THROUGH CHASE TO SERVE EACH DWELLING UNIT WITH 1" BRANCH LINE. FIELD COORDINATE EXACT ROUTING WITH EXISTING
- CONNECT TO EXISTING 2" CW RISER. PROVIDE NEW SHUT OFF VALVE.
- 6. NEW DRAINAGE PIPING TO CONNECT TO VENT AFTER 6TH FLOOR, SEE SHEET M5.1 RISER DIAGRAMS FOR MORE DETAILS.
- 7. VENT PIPING TO TERMINATE THROUGH ROOF SEE PLANS FOR SIZING, SEE SHEET M5.1 RISER DIAGRAMS FOR MORE DETAILS. RE-USE EXISTING ROOF PENETRATIONS WHERE POSSIBLE. FIELD VERIFY EXACT LOCATIONS.
- PROVIDE NEW DRAIN FROM EXISTING SINK AND CONNECT TO DRAIN PIPING IN ADJACENT CHASE. FIELD COORDINATE EXACT ROUTING WITH EXISTING CONDITIONS.

E

APT.

- 9. OFFSET DOMESTIC WATER RISER ABOVE FLOOR TO THIS LOCATION AND ROUTE UP TO APARTMENTS ABOVE.
- 10. INSTALL KEYED ACCESS HATCH IN WALL FOR CLEAN-OUT ACCESS AT BASE OF WASTE RISER. FIELD COORDINATE EXACT LOCATION WITH EXISTING CONDITIONS AND G.C.
- 11. INSTALL KEYED ACCESS HATCH IN WALL FOR SHUT OFF VALVE TO EACH
- DWELLING UNIT ACCESSIBLE FROM MECHANICAL CLOSET. FIELD COORDINATE EXACT LOCATION WITH EXISTING CONDITIONS AND G.C.
- 12. CONNECT TO EXISTING SEWER. VERIFY EXACT LOCATION OF EXISTING. MODIFY EXISTING PIPING AS REQUIRED.
- 13. ROUTE WASTE STACK AND VENT STACK IN THIS AREA THROUGH EXISTING CHASE. UTILIZE EXISTING FLOOR PENETRATIONS WHERE POSSIBLE. FIELD VERIFY EXACT LOCATIONS OF EXISTING.
- 14. REPLACE ALL EXISTING DOMESTIC WATER PIPING ABOVE SLAB. RE-CONNECT TO EXISTING FIXTURES TO REMAIN AND TO EXISTING WATER SERVICE AND BRANCHES TO APARTMENT RISERS ROUTED BELOW SLAB. FIELD VERIFY EXACT LOCATIONS AND SIZING OF EXISTING.
- 15. EXISTING WATER HEATER TO REMAIN.
- 16. EXISTING CLOTHESWASHER CONNECTION BOXES TO REMAIN.

- 17. EXISTING FLOOR DRAIN AND ASSOCIATED PIPING TO REMAIN.
- 18. EXISTING LAUNDRY SINK TO REMAIN. PROVIDE NEW DRAIN AND VENT PIPING AND REPLACE DOMESTIC WATER PIPING ABOVE SLAB AND RE-CONNECT
- 19. NOTE NOT USED.
- 20. CONNECT TO EXISTING 4" DRAIN PIPING BELOW SLAB IN THIS AREA TO REMAIN. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING.
- 21. DISCONNECT EXISTING DRAIN TO REMAIN FROM PIPING TAKEN OUT OF SERVICE AND PROVIDE FFCO. FIELD VERIFY EXACT LOCATION OF EXISTING.
- 22. ROUTE DRAIN AND DOMESTIC WATER PIPING IN SOFFIT AND UP TO APARTMENTS ABOVE. COORDINATE ROUTING WITH G.C. AND ARCH.
- 23. REPLACE WATER PIPING ABOVE SLAB TO WALL HYDRANT. REPLACE WALL HYDRANT AS DIRECTED BY OWNER. FIELD VERIFY EXACT REQUIREMENTS AND LOCATION OF EXISTING.

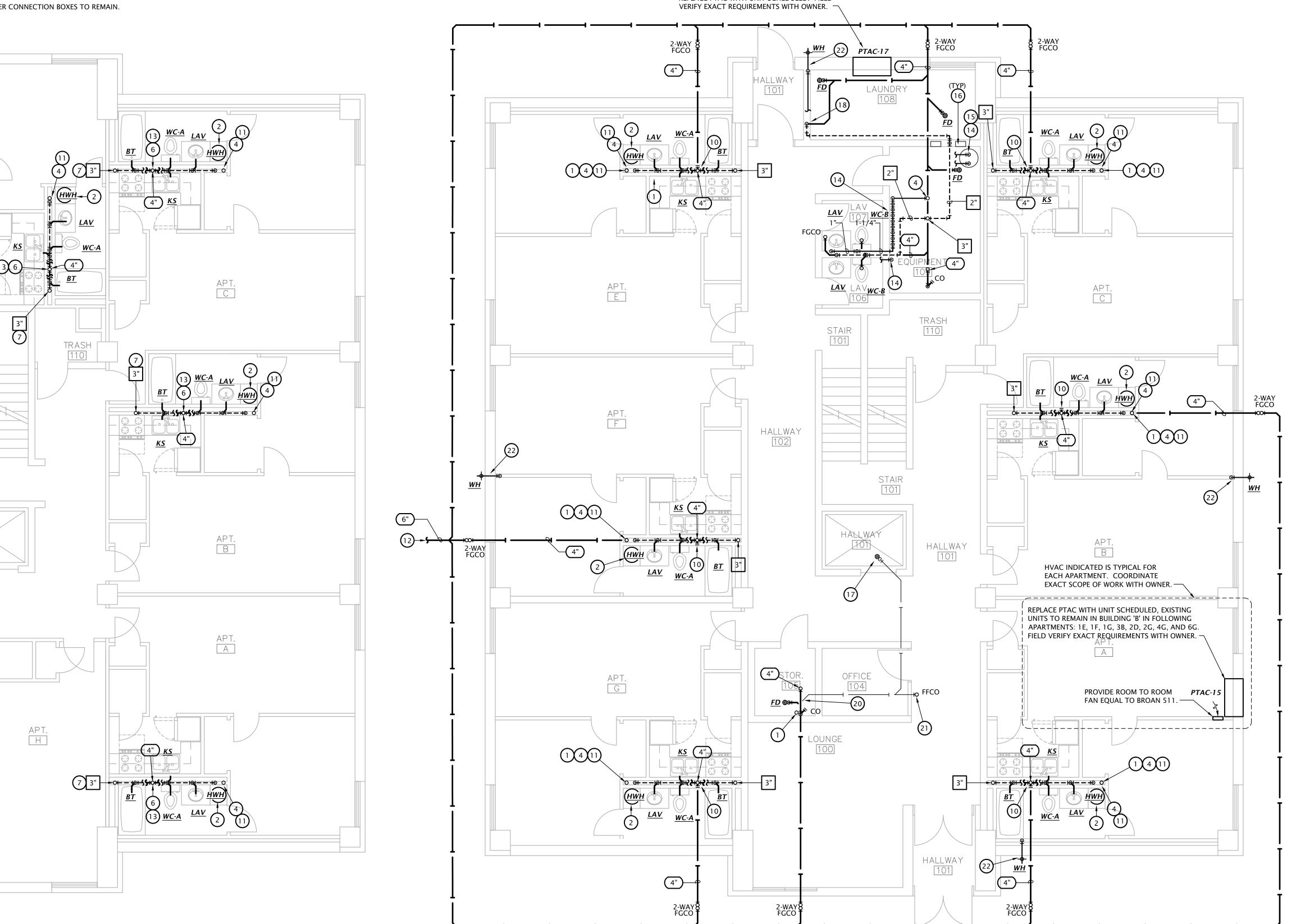
# PLUMBING SIZING SYMBOLS

DRAIN (X = SIZE)VENT (X = SIZE)

#### LST Consulting Engineers, PA MANHATTAN 4809 Vue Du Lac Place, Suite 201 Manhattan, KS 66503 125 S. Washington, Suite 150 Wichita, Kansas 67202 316.285.0696 785.587.8042 www.LSTengineers.com OCTOBER 2022

- ALL WORK SHOWN RELATED TO DRAIN, VENT, AND WATER PIPING TO BE INCLUDED IN ALTERNATE BID ONLY.
- COORDINATE PHASING OF WORK WITH OWNER TO MINIMIZE DISRUPTION TO BUILDING SERVICES. PLUMBING WORK IN APARTMENTS STACKED VERTICALLY MUST BE DONE CONCURRENTLY.
- COORDINATE DEMO OF EXISTING FLOORS, WALLS, ETC WITH G.C. TO MINIMIZE AMOUNT OF DEMOLITION REQUIRED FOR INSTALLATION OF NEW PIPING.

REPLACE PTAC WITH UNIT SCHEDULED. FIELD

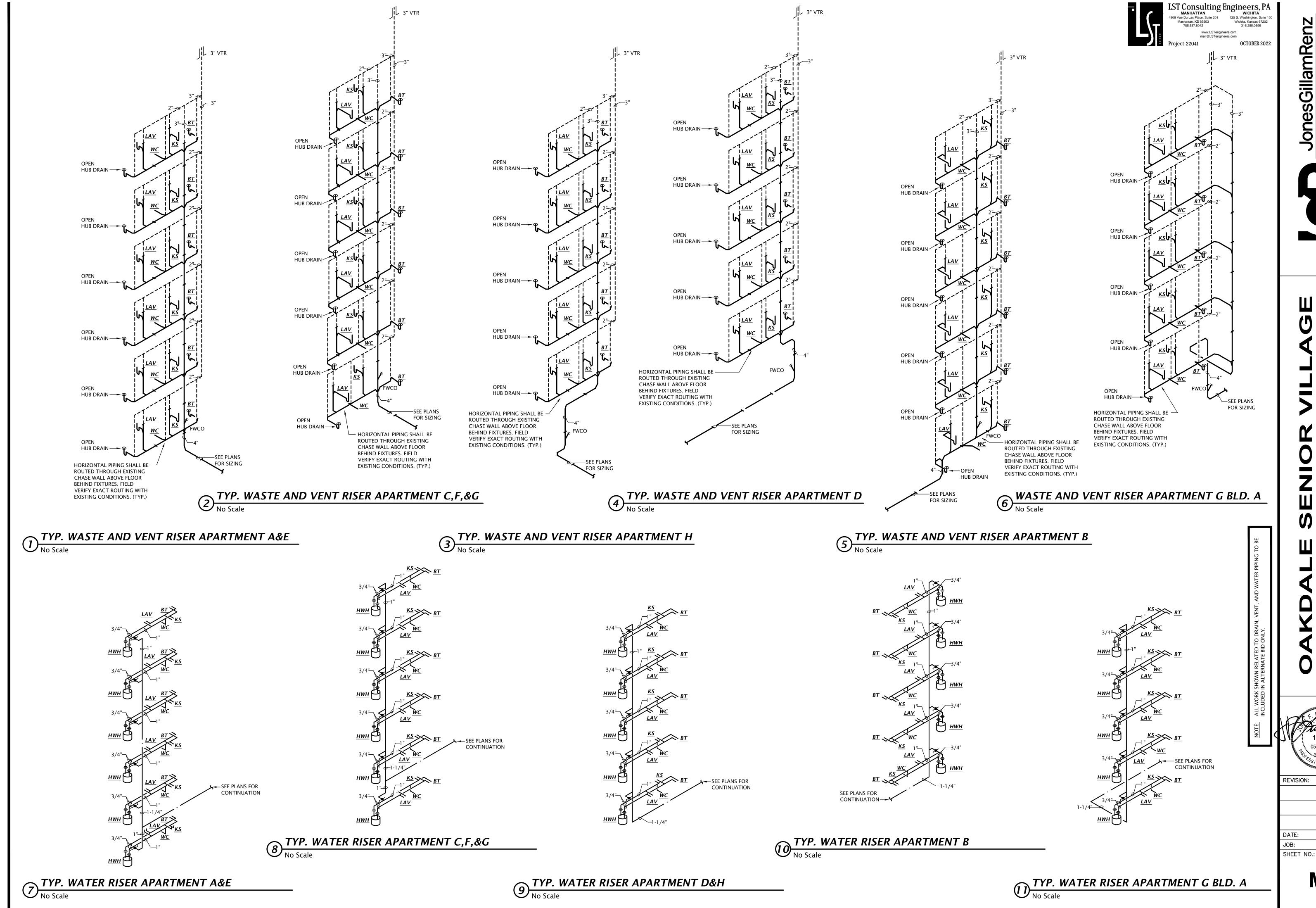


1 ST FLOOR PLAN - JOHNSTOWN - BUILDING B

05-03-23

21-3189 SHEET NO.:

M1.2



05-03-23 21-3189

M5.1

2" | 1-1/2" |

--- 3/4"

DATE:	05-03-2
JOB:	21-318
SHEET NO.:	

PACKAGED TERMINAL AIR CONDITIONER SCHEDULE										
MARK	MANUFACTURER	MODEL	NO	MINAL CAPACIT	IES	MIN. CKT.	MAX. OCPD	ELECTRICAL	WEIGHT	
	MANUFACTURER	NUMBER	TOTAL COOLING	AUXILLARY HEATING	AIRFLOW	AMPS	MAX. OCPD	CHARACTERISTICS	WEIGHT	
PTAC-15	AMANA	PTH153G30	14,700 BTUH	3.0 kW	390	19.5	20	208V-1PH	126	
PTAC-17	AMANA	PTC173G50	16,200 BTUH 4.2 kW 340			27.6	30	208V-1PH	113	
NOTES:										

- 1. PROVIDE WITH MANUFACTURER'S LINE CORD CONNECTION KIT. 2. PROVIDE WITH WALL CASE COMPATIBLE WITH WALL CONSTRUCTION COORDINATE WITH G.C.

MADI	MANUEACTURER	DESCRIPTION		TRIM					
MARK	MANUFACTURER	DESCRIPTION	MANUFACTURER	DESCRIPTION	WASTE	VENT	CW	HW	NOTE
WC-A	Model 209AA137 "Yorkville" floor mount, back outlet, flush tank water closet, white vitreous china, two piece, 4" rough-in, elongated 17" high bowl, 1.28 GPF, polished chrome actuator.	AMERICAN STANDARD	#5055A65C White, elongated, slow close, solid plastic seat and cover	4"	2"	1/2"		3,4	
WC-B	AMERICAN STANDARD	Model 238AA114 "VORMAX" floor mount, flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, 1 GPF, polished chrome actuator.	AMERICAN STANDARD	#5055A65C White, elongated, slow close, solid plastic seat and cover	4"	2"	1/2"		3,4
LAV	AMERICAN STANDARD	Model 0475.028 self-rimming lavatory, white vitreous china, 20-3/8"W x 17-3/8", faucet holes on 4" centers.  Model 6114.115.002 single handle, 0.5 GPM low flow, polished chrome faucet. Provide with pop up drain.			2"	1-1/2"	1/2"	1/2"	1,2,3
KS	AMERICAN STANDARD	Model 22SB6252283S075 single compartment 20 GA stainless steel sink 3 hole, self rimming, 21-3/8"x15-11/16"x6"D inside, fully undercoated, faucet holes as req.	AMERICAN STANDARD	Model 7074.040 single handle 1.5 GPM kitchen sink faucet with hose spray attachment and deck plate. Polished chrome finish. Provide basket strainer.	2"	1-1/2"	1/2"	1/2"	1,2,3
ВТ	AQUARIUS	Model G 6032 TO cast acrylic bathtub, 60"W x32-1/2"D x22-3/4"H, with above floor rough-in, right or left hand rough-in as required, white finish. Provide with ADA transfer seat accessory. Coordinate installation of shower wall panels with G.C.	DELTA	Model R10000-UNWS/T13H252 pressure balancing tub/shower valve with single metal lever handle, handshower with double check valves, flexible hose, 24" stainless steel slide bar, metal lever handshower diverter valve, and shower head with arm.	2"	1-1/2"	1/2"	1/2"	1,2,3,
KS-2	JUST	Model DL-2233-A-GR two compartment 18 GA stainless steel sink, self rimming, 14"x16"x8"D inside, fully undercoated, faucet holes as req.	DELTA	Model 400-HDF single handle kitchen sink faucet with hose spray attachment. Chrome finish. Provide basket strainer.	2"	1-1/2"	1/2"	1/2"	2,5

1100 series floor drain with 6" satin nickel bronze strainer. Provide trap protection device equal to ProSet

Model B67 automatic draining freezeless wall hydrant with ASSE 1052 double check backflow preventor, loose tee key handle, with recessed box with door. Provide with chrome plated exterior finish.

FD

WH

· Provide fixtures with all trim necessary for complete installation

- 1. Provide Dearborn supplies with stops and escutcheon plate, 1-1/4" cast brass p-trap.
- 2. Trim shall be provided with polished chrome finish.

WADE

- 3. Fixture and installation to meet requirements of Americans with Disabilities Act.
- 4. Remove, repair and reinstall fixture in base bid. Fixture replacement to be included in alternate bid only.
- 5. Fixture replacement to be included in alternate bid only.

2 1ST FLOOR PLAN - JOHNSTOWN - BUILDING B

**# PLAN NOTES BY SYMBOL** 

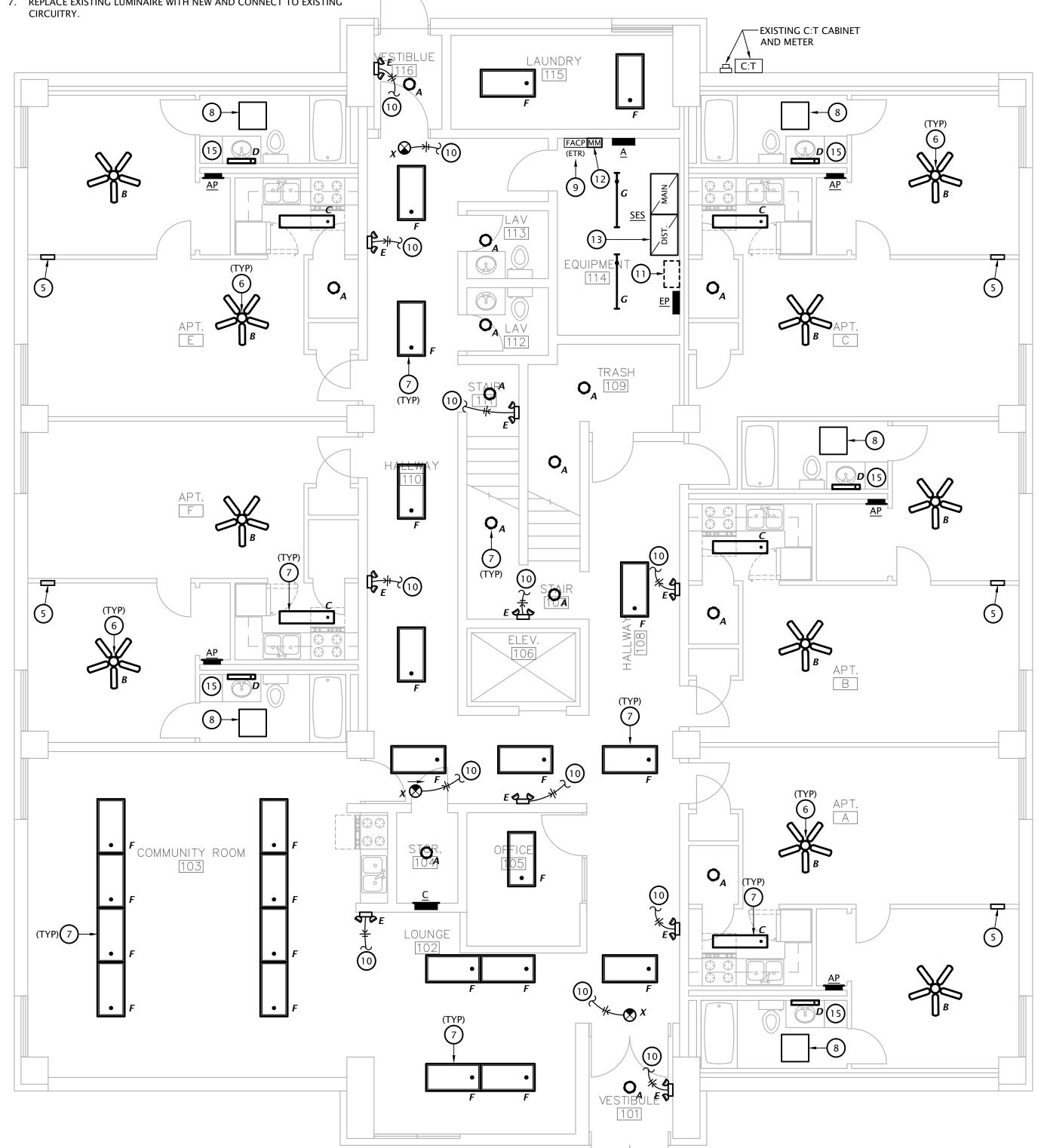
1. FIRE ALARM SYSTEM COMBINATION CO/SMOKE DETECTOR.

2. FIRE ALARM ADDRESSABLE CONTROL MODULE FOR CONTROL OF APARTMENT UNIT'S NOTIFICATION APPLIANCE CIRCUIT. MODUL SHALL BE PROGRAMMED TO ACTIVATE APARTMENT UNIT'S NOTIFICATION APPLIANCES UPON GENERAL BUILDING FIRE ALARM AND UPON ACTIVATION OF ANY SMOKE DETECTOR OR CO DETECTOR WITHIN APARTMENT UNIT. MOUNT FLUSH IN WALL AT 7'-6" AFF.

- PROVIDE DOOR ANNUNCIATOR SYSTEM A/V HORN/STROBE DEVICE AND LOW VOLTAGE TRANSFORMER AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED FOR HEARING-IMPAIRED GUESTS. REFER TO ARCH DRAWINGS FOR APPLICABLE ROOMS. INSTALL HORN/STROBE APPLIANCE AT 80" AFF PER ADA. INSTALL TRANSFORMER IN DOUBLE GANG JUNCTION BOX ABOVE HORN STROBE WITH BLANK COVER PLATE AND PROVIDE LOW VOLTAGE CONTROL WIRING. REFER TO DETAIL 2, SHEET E5.1. PROVIDE ENGRAVED SIGN AT THE HORN/STROBE DEVICE TO READ "DOOR".
- 4. CONNECT TO UNSWITCHED 120V CIRCUIT.
- 5. CONNECT ROOM TO ROOM FAN TO NEAREST UNSWITCHED RECEPTACLE CIRCUIT. COORDINATE REQUIREMENTS WITH M.C.
- 6. REPLACE EXISTING CEILING FAN WITH NEW AND CONNECT TO EXISTING
- 7. REPLACE EXISTING LUMINAIRE WITH NEW AND CONNECT TO EXISTING

- 8. REPLACE EXISTING CEILING HEATER WITH NEW 24"x24" RADIANT CEILING PANEI WITH SURFACE MOUNT KIT EQUAL TO BERKO CP371F, 120V, 375 WATTS. CONNECT TO EXISTING CIRCUITRY.
- 9. EXISTING FIRE ALARM CONTROL PANEL TO REMAIN, SIMPLEX 4007ES.
- 10. CONNECT TO EXISTING UNSWITCHED ADJACENT LIGHTING CIRCUIT.
- 11. REMOVE ABANDONED EMERGENCY INVERTER TO ALLOW SPACE FOR SOLAR PV SYSTEM TRANSFORMER. PROVIDE NEW FEEDER TO PANEL 'EP' AS INDICATED ON
- 12. PROVIDE AN ADDRESSABLE MONITORING MODULE COMPATIBLE WITH EXISTING FIRE ALARM CONTROL PANEL FOR MONITORING OF OPPOSITE BUILDINGS ALARM
- 13. REPLACE EXISTING MAIN SWITCHBOARD WITH NEW. SEE ONE-LINE DIAGRAM ON SHEET E5.1. COORDINATE SHUT-DOWN OF SERVICE TO BUILDING WITH OWNER AND POWER COMPANY.
- 14. EXISTING MAIN SWITCHBOARD TO REMAIN.
- 15. MODIFY ELECTRICAL INSTALLATION AS REQUIRED AND CONNECT WATER HEATER. PROVIDE NEW 30A/2P CIRCUIT BREAKER OR REUSE EXISTING 30A/2P

CIRCUIT BREAKER AS APPLICABLE.



1ST FLOOR PLAN - JOHNSTOWN - BUILDING A
3/16" = 1'-0"

**1** 

05-03-23 21-3189 SHEET NO.:

E1.1

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OCTOBER 2022

LIGH	IT FIXTUR	RE SCHEDULE							
MARK	MARK MANUF.	MODEL NUMBER	L	AMP DATA	BALLAST/LED	MOUNTING	FINISH	DESCRIPTION	NOTES
		7,35 = 2,15 ,35	#	TYPE	DRIVER				
Α	LITHONIA	FMLRL-11-14830		1100 LUMEN 16W LED	STANDARD	SURFACE	WHITE	LED LOW PROFILE ROUND SURFACE	
В	SEAGULL	15040EN-782	2	10W LED	STANDARD	SURFACE	BRONZE	52" DIAMETER CEILING FAN WITH LED LIGHT KIT	
С	LITHONIA	FMLL-14IN-30K-80CRI		4800 LUMEN 45W LED	STANDARD	SURFACE	WHITE	LED LINEAR LOW PROFILE SURFACE	
D	LITHONIA	FMVCCLS-24IN-MVOLT-30K35K40K-90CRI-BN		1690 LUMEN 18W LED	STANDARD	WALL	BRUSHED NICKEL	2 FOOT LED CYLINDER VANITY LIGHT	
Ε	LITHONIA	EU2-LED-M12	2	1W LED	STANDARD	WALL	WHITE	LED EMERGENCY LIGHT	2
F	LITHONIA	CPANL-2X4-ALO6-SWW7-M2		6000 LUMEN 55W LED	STANDARD	SURFACE	WHITE	2x4 FLAT PANEL, SWITCHABLE LUMEN OUTPUT	1
G	LITHONIA	CSS L48 AL03 MVOLT SWW3 80CRI		4200 LUMEN 36W LED	STANDARD	SURFACE	WHITE	4' LENSED STRIP LIGHT, SELECTABLE LUMEN OUTPUT	
Н	LITHONIA	STL4-40L-GZ10-LP830-SC2		3690 LUMEN 35W LED	0-10V DIMMING	SURFACE	WHITE	4' LENSED WRAP LIGHT WITH END CAPS FOR SURFACE CONDUIT	
XE	LITHONIA	ECR-LED-M6	2	1W LED	STANDARD	WALL/SURFACE	WHITE	EXIT SIGN/EMERGENCY LIGHT COMBO	2,3
XER	LITHONIA	ECR-LED-HO-M6-ELA-LED-M12		LED	STANDARD	WALL/SURFACE	WHITE	EXIT/EMERGENCY LIGHT W/ REMOTE HEAD	2,3

#### GENERAL:

- All fixtures shall be provided with multi-volt driver capable of operating between 120V-277V
- All exterior fixtures shall be 4000K color temperature
- All interior fixtures shall be 3000K color temperature • All apartment light fixtures shall be Energy Star rated

- 1. Provide Direct ceiling mount kit.
- 2. Provide with test switch, status indicator and rechargeable nickel-cadmium battery for 90 minutes of emergency power.
- 3. Provide wall or ceiling mounted as required
- 4. Fixture shall be U.L. listed for wet locations.

## **GENERAL FIRE ALARM NOTES**

- A. THIS BUILDING IS PROTECTED BY AN EXISTING ADDRESSABLE FIRE ALARM SYSTEM, SIMPLEX #4007ES. ALL NEW COMPONENTS SHALL BE MANUFACTURED BY SIMPLEX AND SHALL BE COMPATIBLE WITH EXISTING SYSTEM. ALL FIRE ALARM SYSTEM WORK SHALL BE PERFORMED BY AUTHORIZED SIMPLEX FIRE ALARM SYSTEM INSTALLER.
- B. ALL POWER LIMITED FIRE ALARM CABLING SHALL CONSIST OF INDIVIDUAL INSULATED SOLID COPPER CONDUCTORS IN A OVERALL FLEXIBLE RED PVC JACKET, RATED FOR 300V, AND SHALL BE PLENUM RATED (NEC TYPE FPLP) OR INSTALLED IN CONDUIT (NEC TYPE FPLR). SIGNALING LINE CIRCUITS (SLC'S) SHALL BE NFPA 72 CLASS B, STYLE 4, AND SHALL UTILIZE TWISTED-PAIR WIRE TO MINIMIZE THE EFFECTS OF ELECTRICAL INTERFERENCE. NOTIFICATION APPLIANCE CIRCUITS (NAC'S) SHALL BE NFPA 72 CLASS B, AND OF WIRE SIZE AS RECOMMENDED BY MANUFACTURER.
- C. UPON COMPLETION OF PROJECT, COMPLETE FIRE ALARM SYSTEM SHALL BE TESTED AND RE-CERTIFIED.

## GENERAL ELECTRICAL REMODEL NOTES

- DESIGN IS BASED ON FIELD INFORMATION, AS-BUILT DRAWINGS AND OWNER FURNISHED INFORMATION. CONTRACTOR SHALL VERIFY ACCURACY OF ALL EXISTING CONDITIONS. IN CASE OF DISCREPANCY, PROVIDE ALL NECESSARY CONDUIT, WIRE, BOXES, FITTINGS, ETC. FOR A COMPLETE OPERATING ELECTRICAL SYSTEM.
- 2. EXISTING EOUIPMENT, WIRING DEVICES, LIGHTS, CONDUIT, WIRING, ETC., NOT DISTURBED BY NEW CONSTRUCTION WORK SHALL BE MAINTAINED AND UNDAMAGED. THESE ITEMS, IF SHOWN, ARE SHOWN FOR INFORMATION PURPOSES ONLY UNLESS NOTED OTHERWISE. THIS CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS AND TO BECOME FAMILIAR WITH ALL WORK TO BE PERFORMED. FAILURE TO DO SO WILL NOT RELIEVE THIS CONTRACTOR OF THE RESPONSIBILITY FOR PERFORMING ALL WORK NECESSARY TO PROVIDE A WORKMANLIKE INSTALLATION.
- 3. FIELD VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES AND PROVIDE PROTECTION FOR THESE UTILITIES DURING THE COURSE OF WORK. EXISTING UTILITIES, BUILDING MATERIALS AND ASSOCIATED ITEMS DAMAGED BY THIS CONTRACTOR, OR ANY PARTIES ASSOCIATED WITH THIS CONTRACTOR, SHALL BE REPAIRED OR REPLACED AT THIS CONTRACTOR'S EXPENSE, IN A TIMELY MANNER, AND TO THE OWNER'S WRITTEN ACCEPTANCE.
- 4. THERE SHALL NOT BE ANY INTERRUPTION TO EXISTING SERVICES (ELECTRICAL, FIRE ALARM, ETC.) WITHOUT PRIOR SCHEDULING OF SUCH OUTAGES WITH THE OWNER, ARCHITECT, AND ALL OTHER PARTIES INVOLVED.
- MAINTAIN ACCURATE RECORDS OF ALL MODIFICATIONS TO THE EXISTING SYSTEMS WHICH ARE TO REMAIN AND DELIVER ALL RECORD DRAWINGS INDICATING SUCH MODIFICATIONS TO THE OWNER UPON COMPLETION OF THE PROJECT. MAINTAIN IN THE PROJECT CONSTRUCTION OFFICE, AS THE WORK PROGRESSES, AN UP-TO-DATE, NEATLY MARKED COPY OF THESE DRAWINGS FOR REVIEW BY THE ARCHITECT, ENGINEER, OR OWNER'S REPRESENTATIVE.
- 6. WHERE NEW ADDITION WORK OR REMODELING INTERFERES WITH CIRCUITS IN ROOMS OTHERWISE UNDISTURBED, EXISTING CIRCUITS SHALL BE REWORKED AS REQUIRED TO MAINTAIN SERVICE.
- 7. EXISTING ROUGH-IN BOXES AND CONDUIT MAY BE UTILIZED FOR NEW DEVICES IF THEY ARE OF PROPER SIZE AND MATERIAL, AND ARE IN SUITABLE LOCATIONS. HOWEVER, NEW DEVICES AND WIRING MUST BE INSTALLED.
- 8. WHERE EXISTING EQUIPMENT IS BEING REPLACED WITH NEW EQUIPMENT OR RELOCATED EQUIPMENT, THE EXISTING CONDUIT AND ROUGH-IN LOCATIONS MAY BE REUSED IF POSSIBLE, BUT ALL CONDUCTORS SHALL BE NEW.
- 9. CIRCUITING SHOWN IN REMODELED AREAS MAY BE MODIFIED TO SUIT FIELD CONDITIONS. HOWEVER, KEEP CIRCUITS APPROXIMATELY AS SHOWN ON PLANS TO AVOID OVERLOADING OF CIRCUITS AND TO LIMIT VOLTAGE DROP.
- 10. MAINTAIN FIRE RATING OF ALL EXISTING WALLS, FLOORS AND CEILING SYSTEMS.
- 11. NEW DEVICES INSTALLED ON EXISTING WALLS AND CEILINGS IN OCCUPIED SPACES SHALL HAVE WIRING INSTALLED CONCEALED. SURFACE RACEWAY (WIREMOLD) SHALL ONLY BE INSTALLED ON EXISTING WALLS AND HARD CEILINGS WHERE WIRING CANNOT BE INSTALLED CONCEALED (I.E. CONCRETE, BRICK, CMU, ETC). OBTAIN APPROVAL FROM ARCHITECT AND OWNER PRIOR TO EACH OCCURRENCE WHERE SURFACE RACEWAY IS INSTALLED. SURFACE RACEWAY SHALL BE STEEL, SINGLE CHANNEL TYPE, IVORY COLORED, COMPLETE WITH ALL ELBOWS, BOXES, SUPPORTS, COVERS, ETC. AS REQUIRED. SURFACE RACEWAY SYSTEMS SHALL BE MANUFACTURED BY WIREMOLD, HUBBELL, OR MONOSYSTEMS, AND SHALL BE OF TYPES AS FOLLOWS:
  - POWER AND FIRE ALARM: WIREMOLD 500 SERIES
  - COMMUNICATIONS AND A/V: WIREMOLD 2400 SERIES

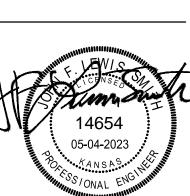
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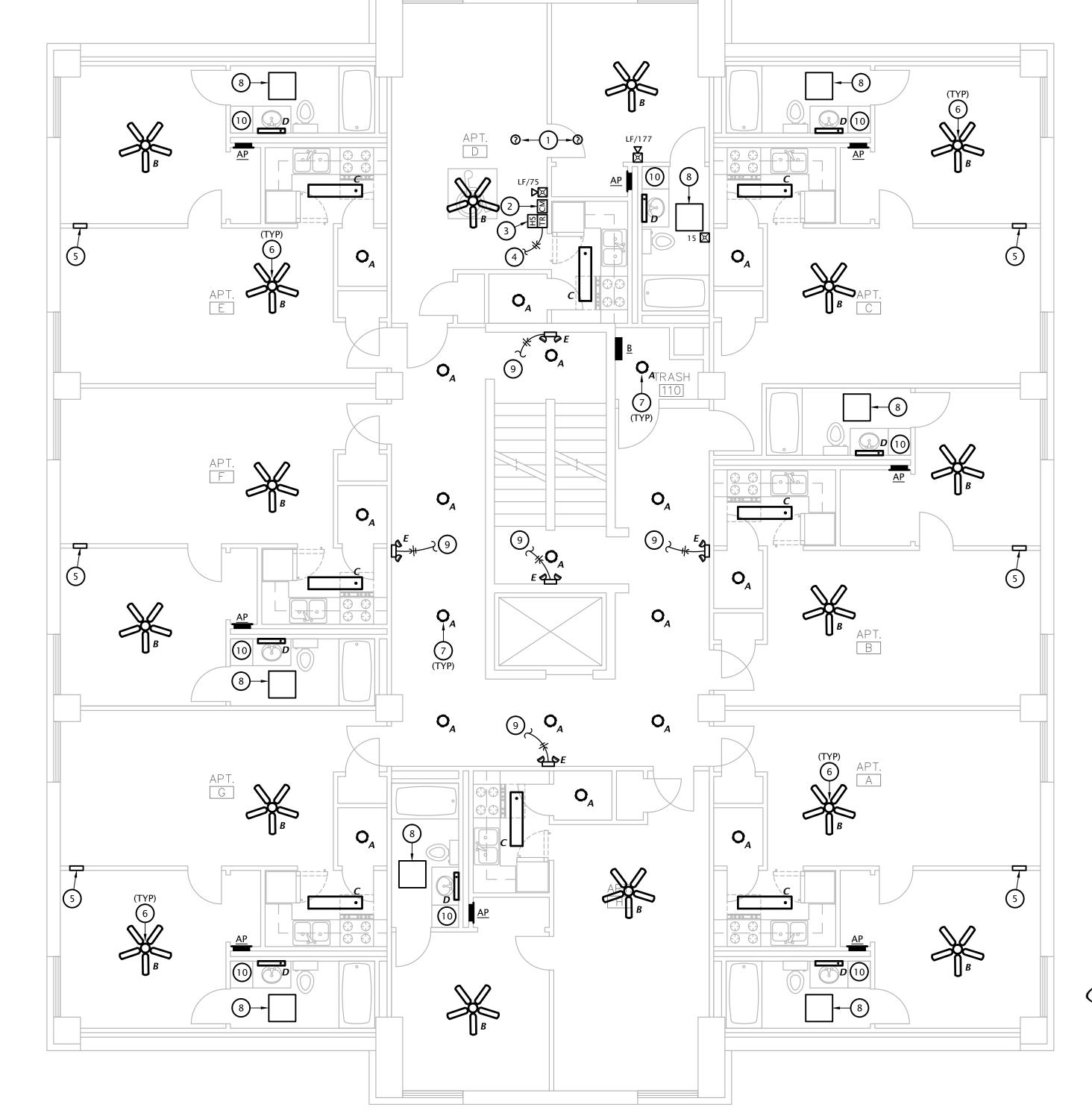
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BOTTOM INDICATES CIRCUIT NUMBER HOMERUN - WIRING TO PANEL OF CIRCUIT ORIGIN PARTIAL HOMERUN - WIRING TO PANEL OF CIRCUIT ORIGIN

CONDUIT CONCEALED IN WALL OR ABOVE CEILING ---- CONDUIT BELOW GRADE OR EMBEDDED IN CONCRETE

LINE VOLTAGE CIRCUIT CONDUCTORS SHORT = HOT/TRACER/SWITCH LEG CONDUCTOR LONG = NEUTRAL (GROUNDED) CONDUCTOR

CURVED = GROUNDING (BONDING) CONDUCTOR ──── CONDUIT TURNED UP

——— CONDUIT TURNED DOWN GROUNDING CONNECTION

LIGHTING SYMBOLS

5-BLADE CEILING FAN

FLAT PANEL TROFFER

PENDANT OR SURFACE MOUNTED LINEAR LUMINAIRE STANDARD STRIP LIGHT

RECESSED OR SURFACE DOWNLIGHT WALL MOUNTED LUMINAIRE TWIN HEAD EMERGENCY LIGHTING UNIT

COMBINATION EXIT/TWIN HEAD EMERGENCY LIGHTING UNIT SINGLE FACE EXIT SIGN - WALL AND CEILING MOUNTED WITH DIRECTIONAL ARROWS AS INDICATED ON PLANS

DOUBLE FACE EXIT SIGN - WALL AND CEILING MOUNTED WITH DIRECTIONAL ARROWS AS INDICATED ON PLANS

### **POWER SYMBOLS**

DUPLEX RECEPTACLE

DOUBLE DUPLEX RECEPTACLE

SPECIAL RECEPTACLE (# = NEMA CONFIGURATION) FLUSH FLOOR DUPLEX RECEPTACLE

SINGLE POLE TOGGLE SNAP SWITCH

KEYED LOCKING SWITCH PRESET SLIDE DIMMER WALL SWITCH

JUNCTION BOX

DOORBELL SYSTEM HORN/STROBE DOOBELL SYSTEM TRANSFORMER

DOORBELL SYSTEM BUTTON

BRANCH CIRCUIT PANELBOARD, SURFACE MOUNTED BRANCH CIRCUIT PANELBOARD, FLUSH MOUNTED

### FIRE ALARM SYMBOLS

EXISTING FIRE ALARM CONTROL PANEL

MANUAL PULL STATION SPOT TYPE AREA SMOKE DETECTOR

ADDRESSABLE MONITORING MODULE ADDRESSABLE RELAY MODULE

CM ADDRESSABLE CONTROL MODULE NOTIFICATION HORN, WALL

NOTIFICATION STROBE, WALL (CANDELA NOTED)

# SYMBOL MODIFYING DESIGNATORS

NOTIFICATION HORN/STROBE, WALL (CANDELA NOTED)

CEILING MOUNTED

 FLUSH MOUNTED IN SUSPENDED CEILINGS SURFACE MOUNTED TO STRUCTURE ABOVE IN OPEN CEILINGS

MOUNT BOTTOM OF DEVICE AT 6" ABOVE COUNTERTOP DEVICE IS EXISTING TO REMAIN

PROVIDE LUMINAIRE WITH EMERGENCY BATTERY BACKUP

GROUND FAULT CIRCUIT INTERRUPTING DEVICE

NIGHTLIGHT WIRED TO UNSWITCHED HOT CONDUCTOR

PROVIDE WEATHERPROOF ENCLOSURE FOR DEVICE MOUNTING HEIGHT OF DEVICE ABOVE FINISHED FLOOR

## **PUSH BUTTON** 120 VAC 24 VAC \_\_\_\_\_ HORN/STROBE

 $^{ackslush}$  power supply

#### DOOR ALARM BUZZER SYSTEM NOTES

1. PROVIDE DOOR ANNUNCIATOR SYSTEM COMPLETE WITH PUSH BUTTON, HORN/STROBE(S), POWER SUPPLIES AND ALL WIRING REQUIRED. HORN/STROBE SHALL ACTIVATE WHEN PUSH BUTTON IS DEPRESSED.

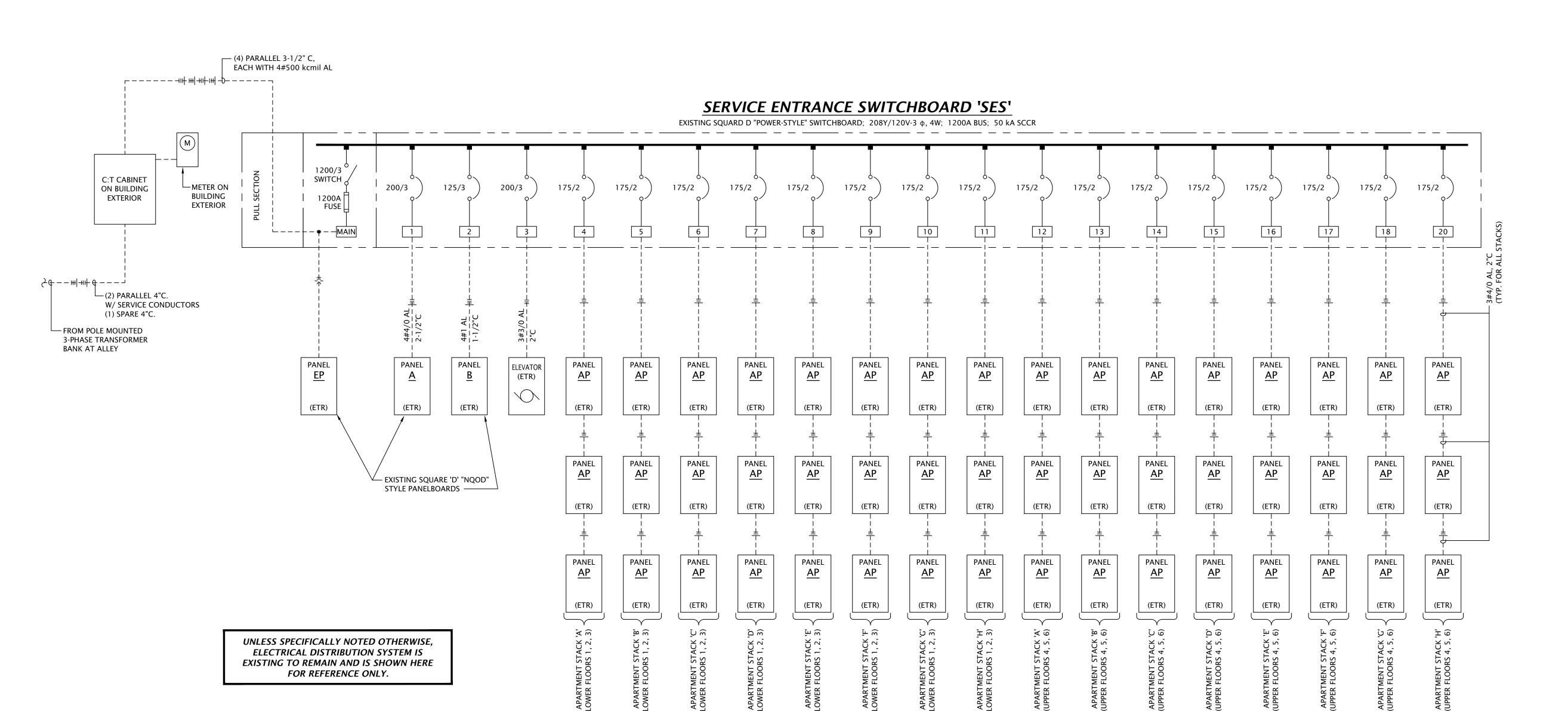
2. HORN/STROBE SHALL OPERATE AT 24VAC, HAVE A CLEAR LENS WITH 50cd STROBE AND HORN WITH 82dB AT 10', UL 1638 LISTED, EDWARDS #6536-G5. FLUSH MOUNT IN WALL AT 6'-8" AFF.

3. PUSH BUTTON SHALL BE WHITE WITH CHROME RIM, NON-ILLUMINATED, WITH N.O. MOMENTARY CONTACTS, RATED FOR 0.67 AMPS AT 24VAC, EDWARDS #620. PROVIDE WITH STAINLESS STEEL COVER PLATE, EDWARDS #147-10. MOUNT AT

4. POWER SUPPLY SHALL BE A LOW VOLTAGE CLASS 2 TRANSFORMER WITH 120VAC PRIMARY AND 24VAC SECONDARY, 20VA, EDWARDS #598. FLUSH MOUNT IN 2-GANG WALL BOX WITH BLANK COVER PLATE, DIRECTLY ABOVE HORN/STROBE.

5. LOW VOLTAGE CLASS 2 CABLING SHALL BE MINIMUM 18 AWG UNSHIELDED.

APARTMENT DOORBELL WIRING SCHEMATIC



ONE-LINE DIAGRAM (BUILDING 'B')
NO SCALE

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