

LENEXA NORTH VILLAGE TOWNHOMES

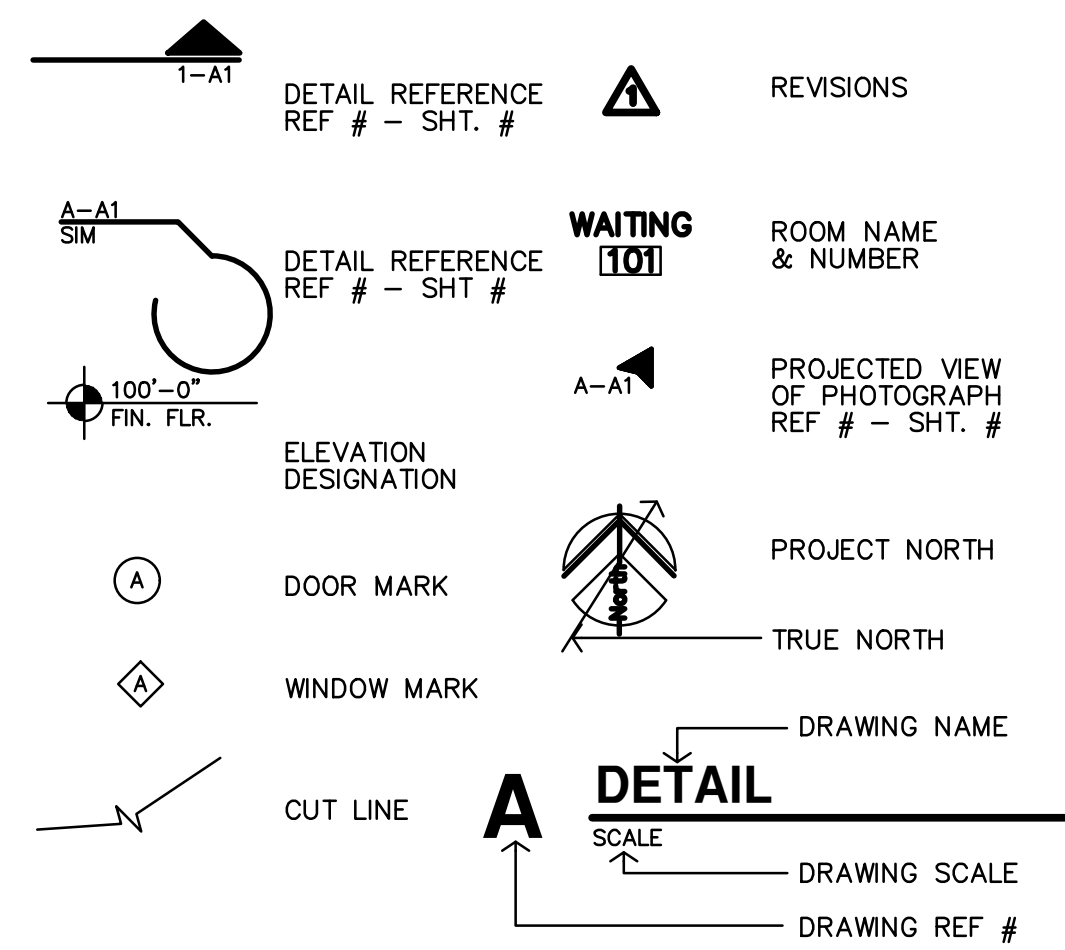
NEW TOWNHOME COMPLEX

LENEXA,

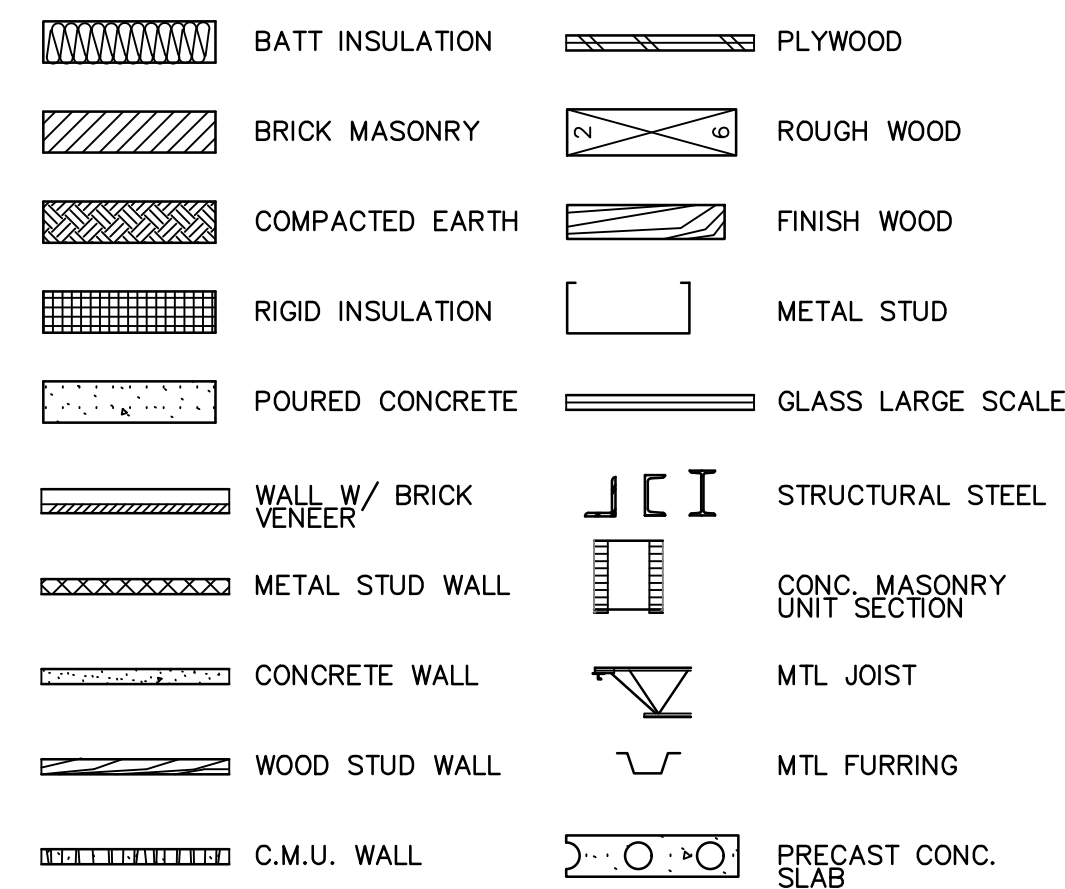
20-3090

KANSAS

REFERENCE LEGEND



MATERIAL LEGEND



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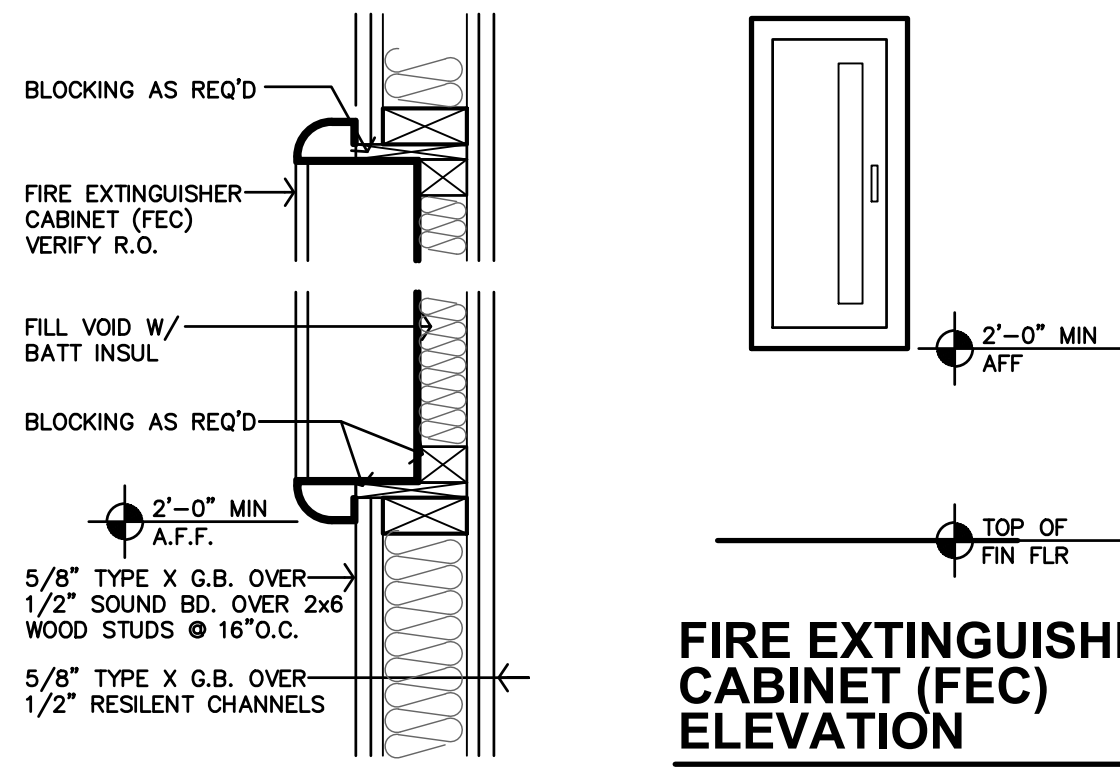
ABBREVIATIONS

&	AND	Cntr.	Center	Exp.	Expansion	Hr.	Hour	N.	North	Reinf.	Reinforced	Temp.	Tempered
∠	Angle	Col.	Column	Ext.	Exterior	Hgt.	Height	N.I.C.	Not In Contract	Req'd	Required	T.&G.	Tongue & Groove
AT	Adjustable	Conc.	Concrete	F.A.	Fire Alarm	I.D.	Inside Diameter	No. or	Number	Resil.	Resilient	Thk.	Thick
CL	Centerline	C.T.	Ceramic Tile	F.D.	Floor Drain	Int.	Interior	Nom.	Nominal	Rm.	Room	T.O.M.	Top Of Masonry
Ø	Diameter or Round	CMU	Concrete Masonry Unit	F.E.C.	Fire Extinguisher	Jt.	Joint	N.T.S.	Not To Scale	R.O.	Room Opening	T.O.S.	Top Of Steel
#	Found or Number	Chr.	Center	F.E.	Fire Extinguisher	Jan	Janitor	O/	On or Over	S	South	T.P.	Top Of Pavement
Acous.	Acoustical	Dbl.	Double	F.E.C.	F.E. Cabinet	Jan	Janitor	Obs.	Obscure	S.B.	Splash Block	T.P.D.	Toilet Paper Dispenser
Adj.	Adjustable	Det.	Detail	Fin.	Finish	Jt.	Joint	O.C.	On Center	S.C.	Solid Core	T.V.	Television
A.F.F.	Above Finished Floor	D.F.	Drinking Fountain	Fl.	Floor	Kit.	Kitchen	O.D.	Outside Diameter	Sched.	Schedule	Typ.	Typical
Aggr.	Aggregate	Dia.	Diameter	Flash.	Flashing	Lam.	Laminated	Off.	Office	S.D.	Soap Dispenser	Trd.	Tread
Al.	Aluminum	Dim.	Dimension	Ft.	Foot or feet	Lav.	Lavatory	Opp.	Opposite	Shower	Shower	U.O.N.	Unless Otherwise Noted
Arch.	Architect or Architectural	Dr.	Door	Ft.	Foot or feet	Lkr.	Locker	P	Paint	Sheet	Sheet	Ur.	Urinal
Asb.	Asbestos	Dwg.	Downspout	Furr.	Furring	Lt.	Light	Pi.	Plate	Sim.	Similar	V.C.T.	Vinyl Composition Tile
Asph.	Asphalt	Dwr.	Drawer	Fut.	Future	Mas.	Masonry	P.Lam.	Plastic Laminated	S.N.R.	Sanitary Napkin Disp.	V.T.	Vinyl Tile
A.V.	Audio Visual	(E)	Existing	Galv.	Galvanized	Max.	Maximum	Plas.	Plaster	Spec.	Specification	V.B.	Vapor Barrier
Bd.	Board	Ea.	Each	G.B.	Grab Bar	M.C.	Medicine Cabinet	Plywd.	Plywood	St.	Stainless Steel	Vert.	Vertical
Bitum.	Bituminous	E.O.	East or Existing	Gd.	Grade	Memb.	Membrane	Pr.	Pair	Std.	Standard	Vst.	Vestibule
Bldg.	Building	Exp.	Expansion Joint	Gr.	Grade	Mt.	Manufacturer	Pt.	Point	Str.	Structural	Vyl.	Vinyl
Blk.g.	Blocking	Eq.	Equipment	Gyp.	Gypsum	Mn.	Manhole	P.T.D.	Paper Towel Dispenser	Stor.	Storage	W.	West
Bm.	Beam	Eq.	Equipment	H.B.	Hose Bibb	Mir.	Mirror	Ptn.	Partition	Susp.	Suspended	W/o	Without
Bot.	Bottom	Eq.	Equipment	H.C.	Hollow Core	Misc.	Miscellaneous	P.T.R.	Paper Towel Receptacle	Str.	Structural	Wd.	Wood
Bot.	BY OWNER	Eq.	Equipment	Hwd.	Hardware	Misc.	Miscellaneous	Q.T.	Quarry Tile	Str.	Structural	Wp.	Waterproof
Brg.	Bearing	Exp.	Exposed	H.M.	Hollow Metal	M.O.	Masonry Opening	R.	Riser	Sym.	Symmetrical	Wdw.	Window
Brk.	Brick	Exp.	Exposed	Horiz.	Horizontal	Mtd.	Mounted	R.D.	Roof Drain	T.B.	Tack Board	Wscst.	Wainscot
Cab.	Cabinet	Exp.	Exposed					Ref.	Reference	T.Bd.	Tack Board	Wt.	Weight
Cig.	Ceiling												
Cir.	Clear												

CONSULTANTS

Civil Engineer	Mechanical & Electrical Engineer	Structural Engineer
Civil Engineer By Owner	LST Consulting Engineers, PA	Bob D. Campbell & Co., Inc.
	4809 Vue Du Lac Place, Suite 301 Manhattan, KS 66503 (785) 587-8042 mail@LSTengineers.com	4338 Bellevue Kansas City, MO 64111 816.531.4144; FAX 816.531.8572 info@bdc-engrs.com

PERMIT SET 8-12-2025



FEC SECTION
1-1/2"=1'-0"

FIRE EXTINGUISHER CABINET (FEC) ELEVATION
3/4"=1'-0"

CLUBHOUSE CODE INFORMATION

OCCUPANCY OVERALL:	MIXED OCCUPANCY	OCCUPANCY SEPARATIONS:	(NON-SEPARATED USES, PER IBC SEC. 508.3.2.2)
OCCUPANCY GROUPS:	A3 COMMON AREA B FITNESS	ALLOWABLE AREA & HEIGHT CALCULATIONS ARE BASED ON THE MOST RESTRICTIVE USE. DIFFERENT USES ARE NOT SEPARATED BY FIRE BARRIERS.	
CONSTRUCTION TYPE:	V-B	SPECIAL CONDITIONS:	EXIT & EMERGENCY LIGHTING PORTABLE FIRE EXTINGUISHERS
BASIC ALLOWABLE AREA:	A3 6,000 SF	FIRE ALARM REQUIREMENTS:	NOT REQUIRED
ALLOWABLE AREA INCREASE:	(NON-SEPARATED USES, PER IBC SEC. 508.3.2.2) 6,000 SF	AUTOMATIC FIRE SUPPRESSION SYSTEM:	NOT REQUIRED
BASE ALLOWABLE FRONTAGE AREA INCREASE (25%):	1,500 SF	EMERGENCY POWER SOURCE:	EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP
ALLOWABLE AREA (PER FLOOR):	7,500 SF	HAZARDOUS MATERIALS:	(PER IBC TABLE 307.7) NONE
ACTUAL BUILDING AREA:	1,652 SF	SMOKE PARTITIONS:	SMOKE CONTROL: NOT REQUIRED
BASIC ALLOWABLE STORIES:	1	STANDPIPES:	NOT REQUIRED
ACTUAL STORIES:	1	TOTAL OCCUPANT LOAD:	51
BASIC ALLOWABLE HEIGHT:	40'	EXITING:	REFERENCE PLAN
ACTUAL HEIGHT:	15'	OCCUPANT LOAD FACTORS:	
FIRE RESISTANCE RATING FOR BUILDING ELEMENTS:	V-B	OCCUPANCY USE	LOAD FACTOR OCCS= 2-EXITS
STRUCTURAL FRAME:	0 HOUR	A2 SERVING AREA	15 sf/OCCUPANT 49
INTERIOR BEARING WALLS:	0 HOUR	A3 LOUNGE	15 sf/OCCUPANT 49
INTERIOR NON-BEARING WALLS:	0 HOUR	A4 POOL DECK	15 sf/OCCUPANT 49
EXTERIOR BEARING WALLS:	0 HOUR	B EXERCISE	50 sf/OCCUPANT 49
EXTERIOR NON-BEARING WALLS:	0 HOUR		
FLOOR/CEILING:	0 HOUR		
CEILING/ROOF:	0 HOUR		
SHAFT ENCLOSURES:	1 HOUR		

TOWNHOUSES CODE INFORMATION

ROOF COVERINGS
CLASS C OR BETTER

REQUIRED SEPARATION OF TOWNHOMES (PER IRC R302.2 TOWNHOUSES)
WALLS SEPARATING TOWNHOUSE UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R302.2.1 DOUBLE WALLS. EACH TOWNHOUSE SHALL BE SEPARATED BY (2) 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES.

PARAPET ALTERNATIVE (PER IRC R302.2.4 ITEM 2 - EXCEPTION)
A PARAPET IS NOT REQUIRED IN THE PRECEDING TWO CASES: WITH ROOF COVERING MINIMUM CLASS C RATING & ROOF DECKING OR SHEATHING IS OF FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FEET ON EACH SIDE OF THE WALL.

STRUCTURAL INDEPENDENCE (PER IRC R302.2.6)
EACH INDIVIDUAL TOWNHOUSE SHALL BE STRUCTURALLY INDEPENDENT. EXCEPTIONS: FOUNDATIONS SUPPORTING EXTERIOR/Common WALLS. STRUCTURAL ROOF AND SHEATHING. NONSTRUCTURAL WALL AND ROOF COVERINGS. FLASHING OF ROOF COVERINGS.

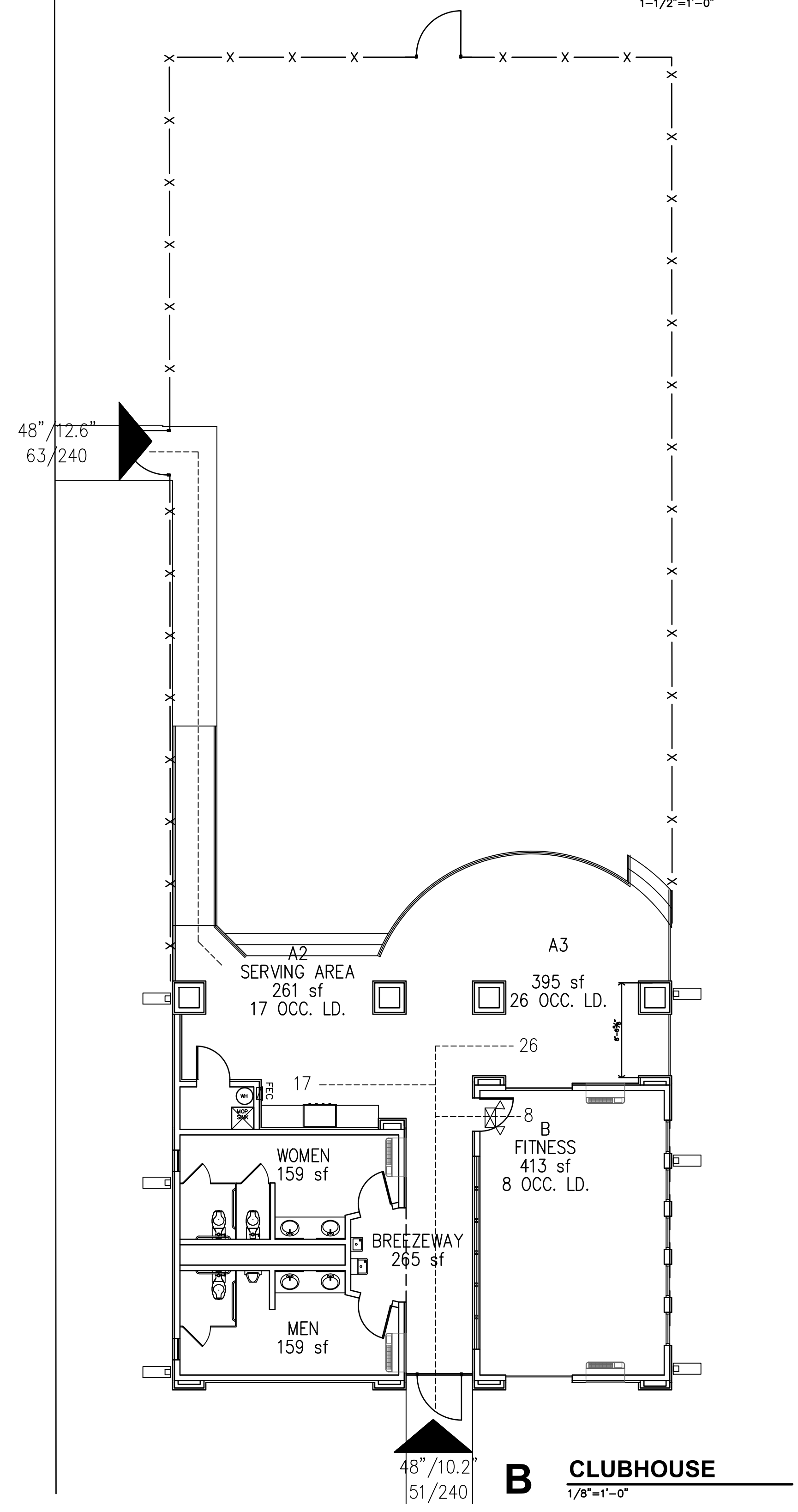
AUTOMATIC FIRE SUPPRESSION SYSTEM:
REQUIRED, PROVIDED PER NFPA 13D - EACH TOWNHOUSE

EMERGENCY ESCAPE AND RESCUE OPENINGS (PER IRC R310.2)

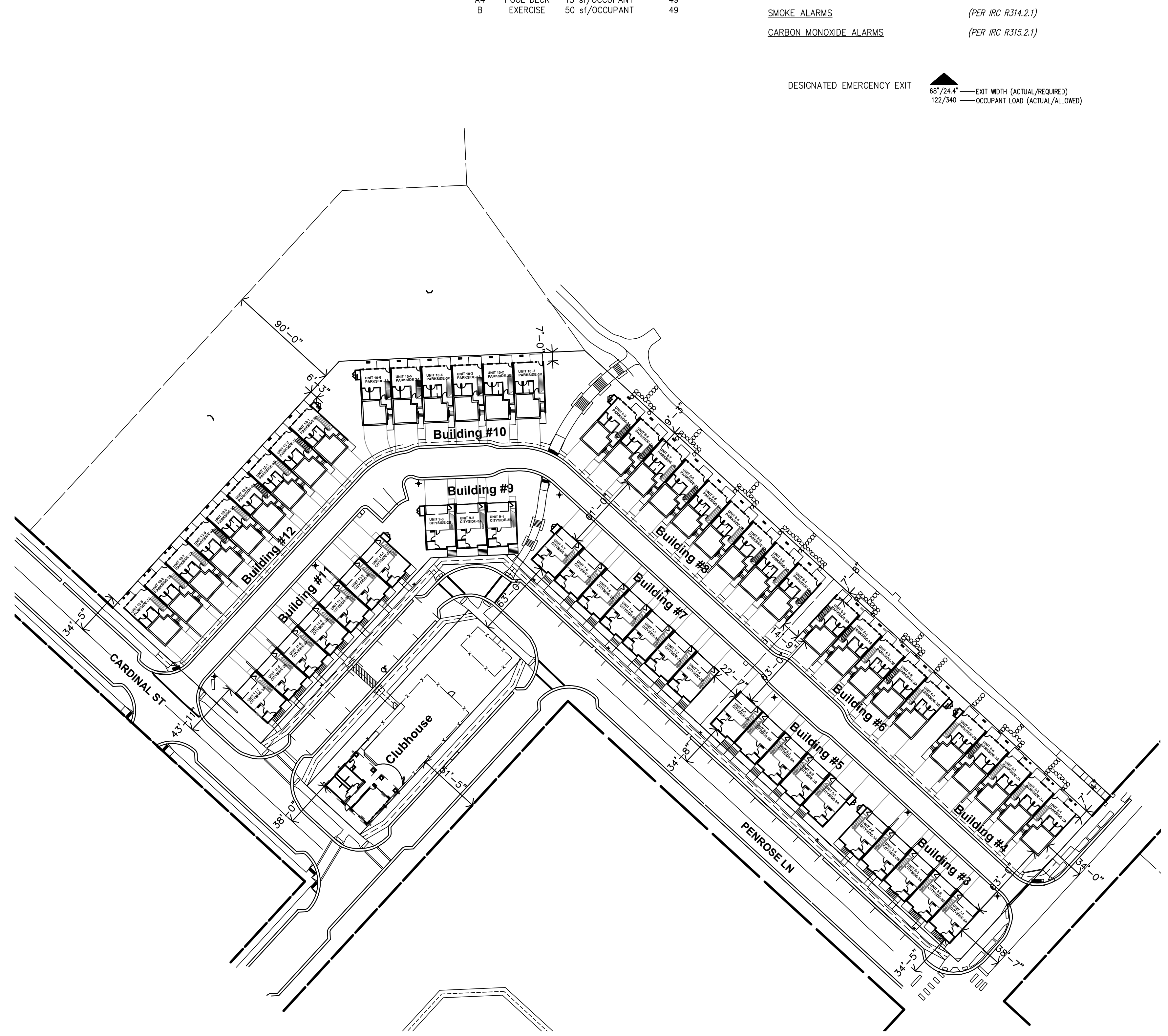
MEANS OF EGRESS (PER IRC R311.1)

SMOKE ALARMS (PER IRC R314.2.1)

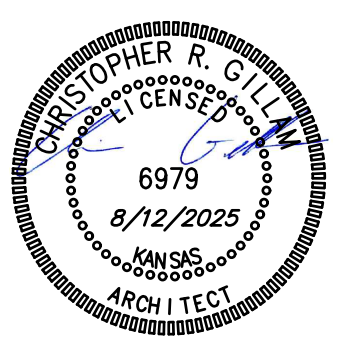
CARBON MONOXIDE ALARMS (PER IRC R315.2.1)



B CLUBHOUSE
1/8"=1'-0"



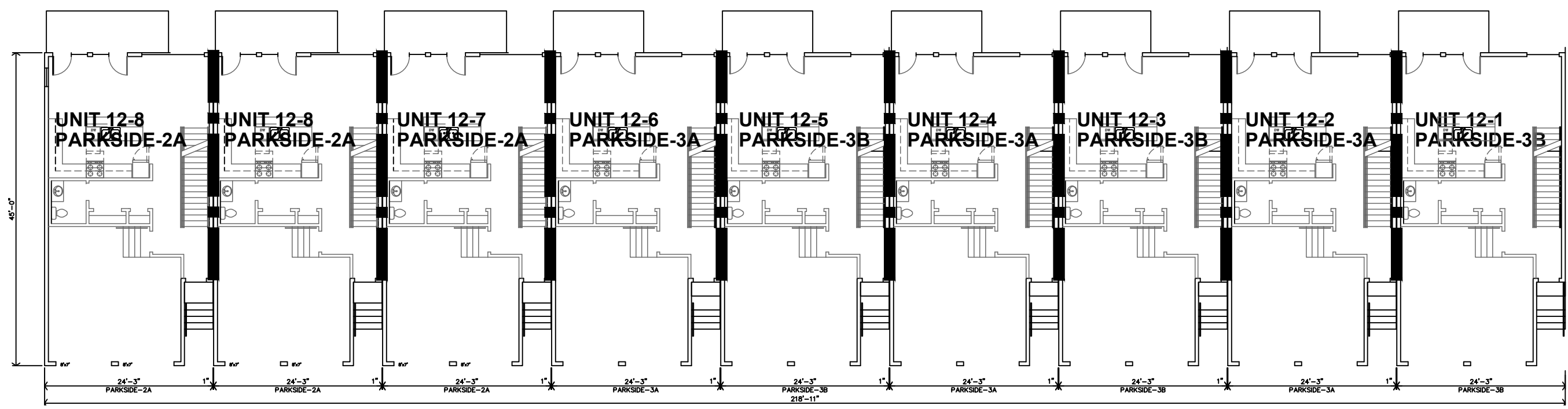
A SITE PLAN
1"=50'-0"



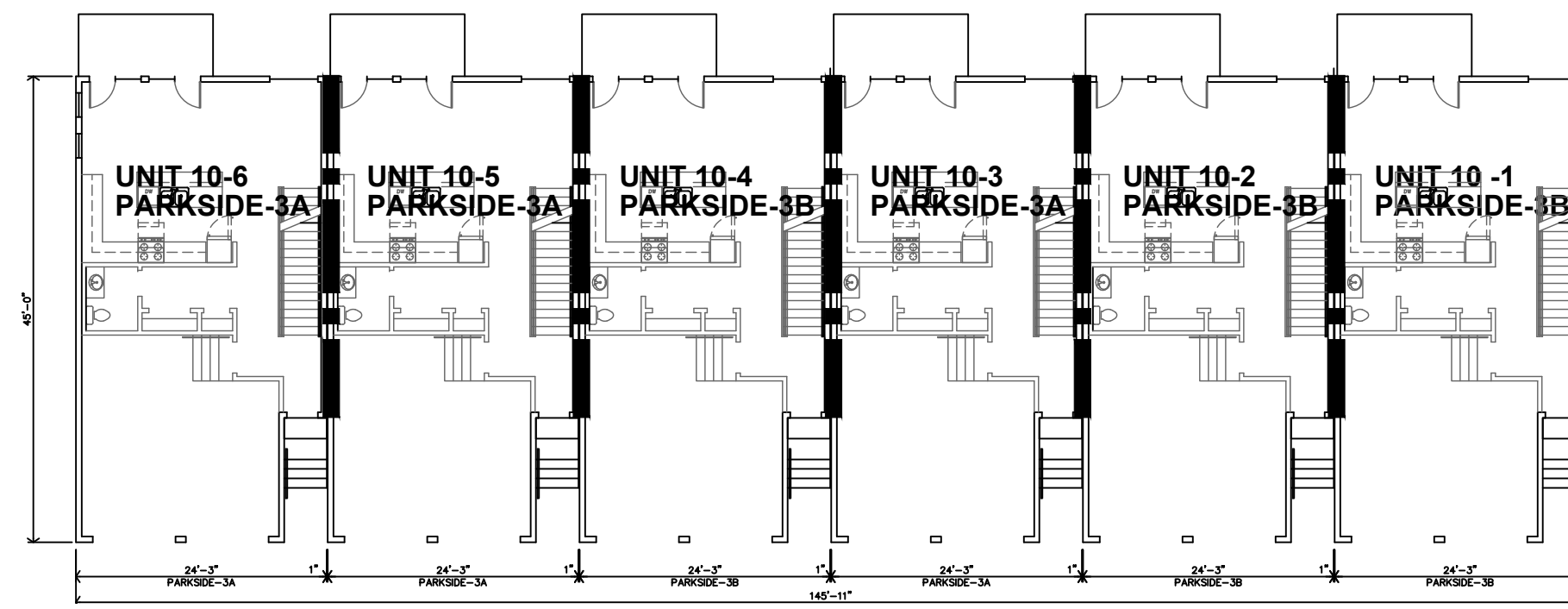
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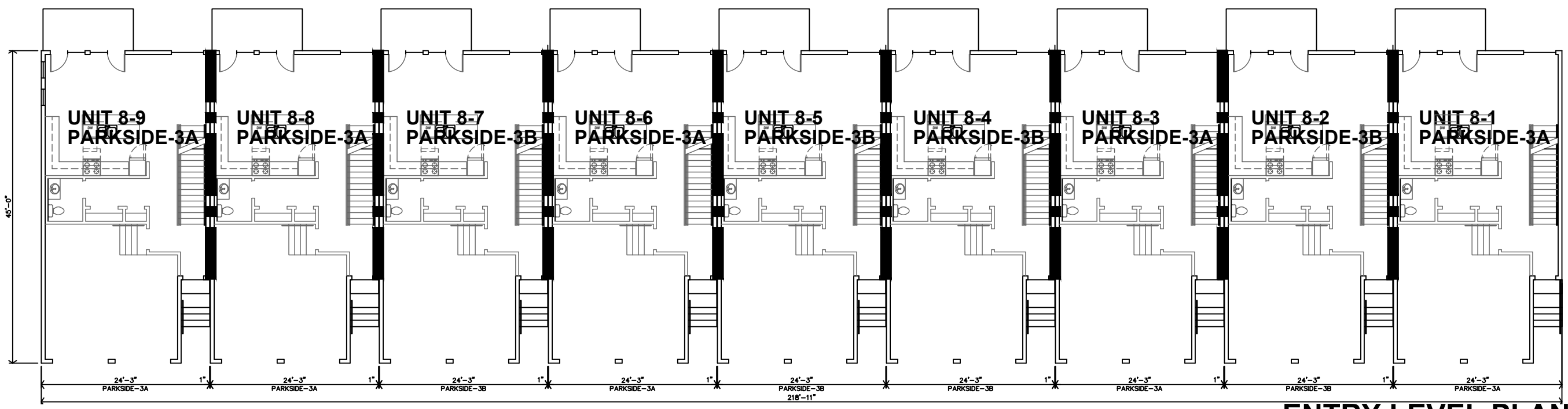
PARKSIDE UNITS



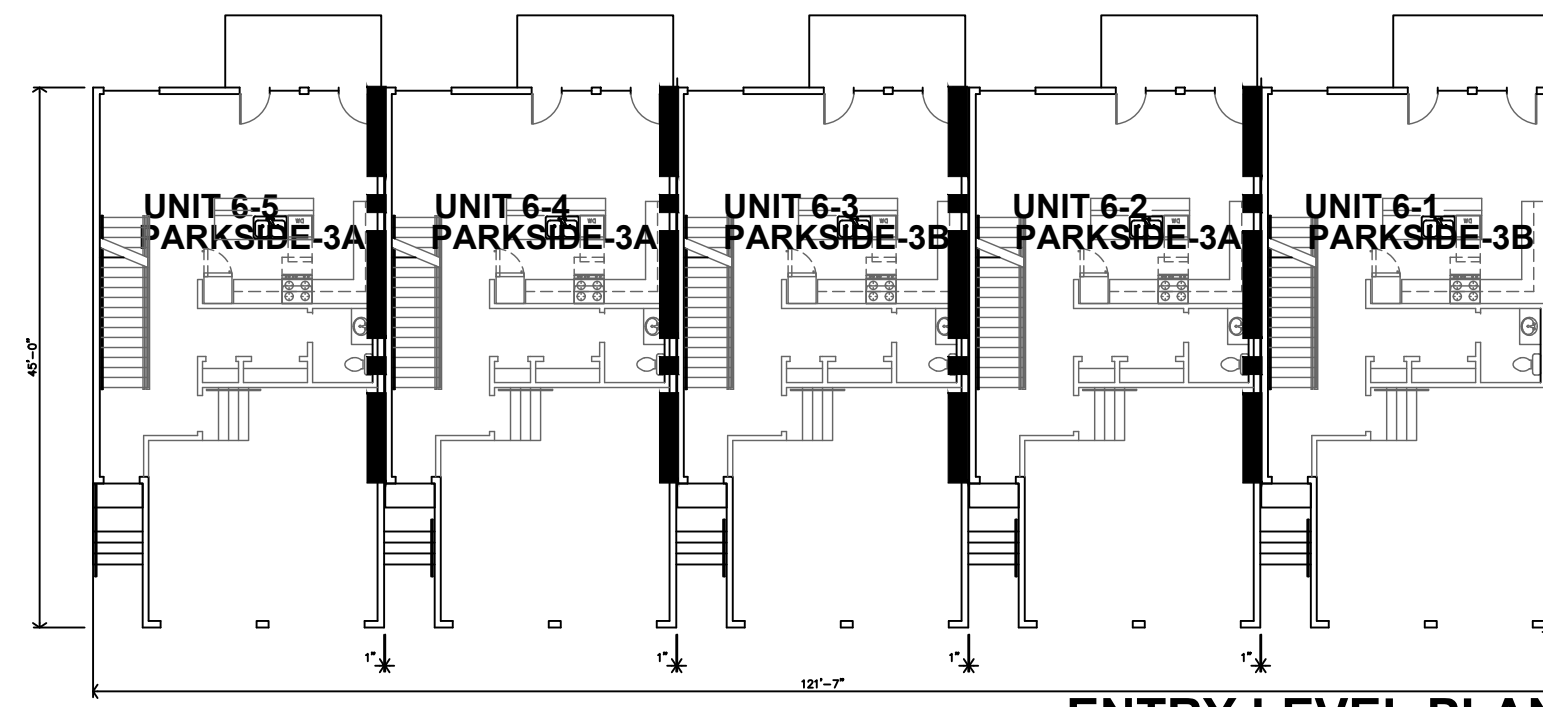
K ENTRY LEVEL PLAN TOWNHOUSE GROUP 12
1/16"=1'-0"



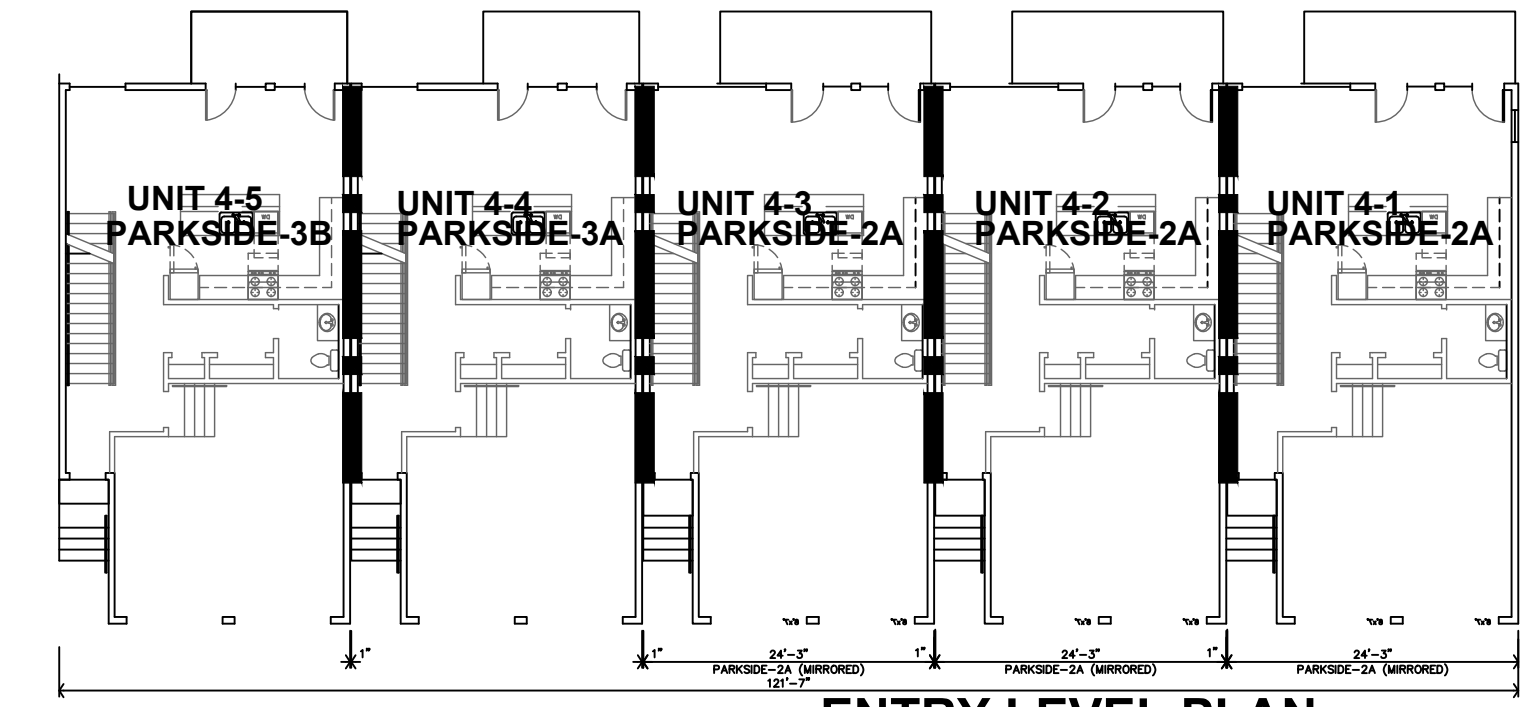
J ENTRY LEVEL PLAN TOWNHOUSE GROUP 10
1/16"=1'-0"



H ENTRY LEVEL PLAN TOWNHOUSE GROUP 8
1/16"=1'-0"

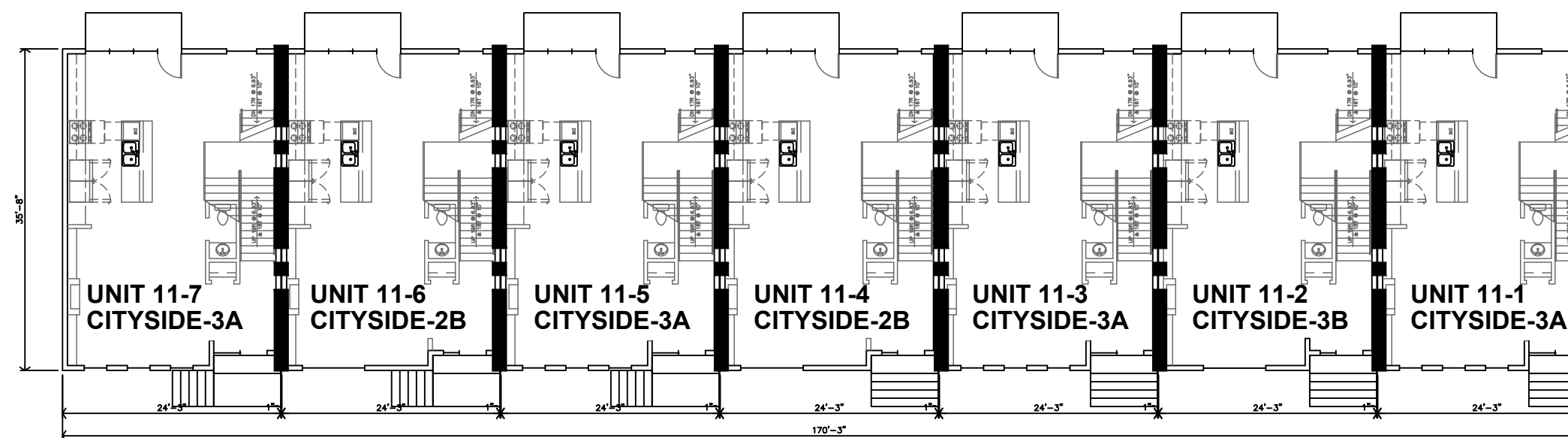


G ENTRY LEVEL PLAN TOWNHOUSE GROUP 6
1/16"=1'-0"

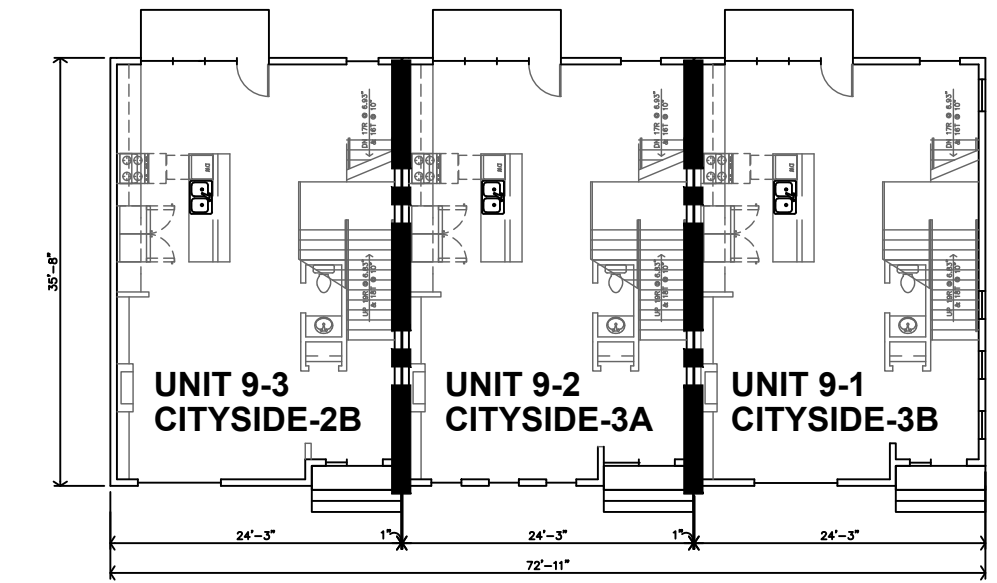


F ENTRY LEVEL PLAN TOWNHOUSE GROUP 4
1/16"=1'-0"

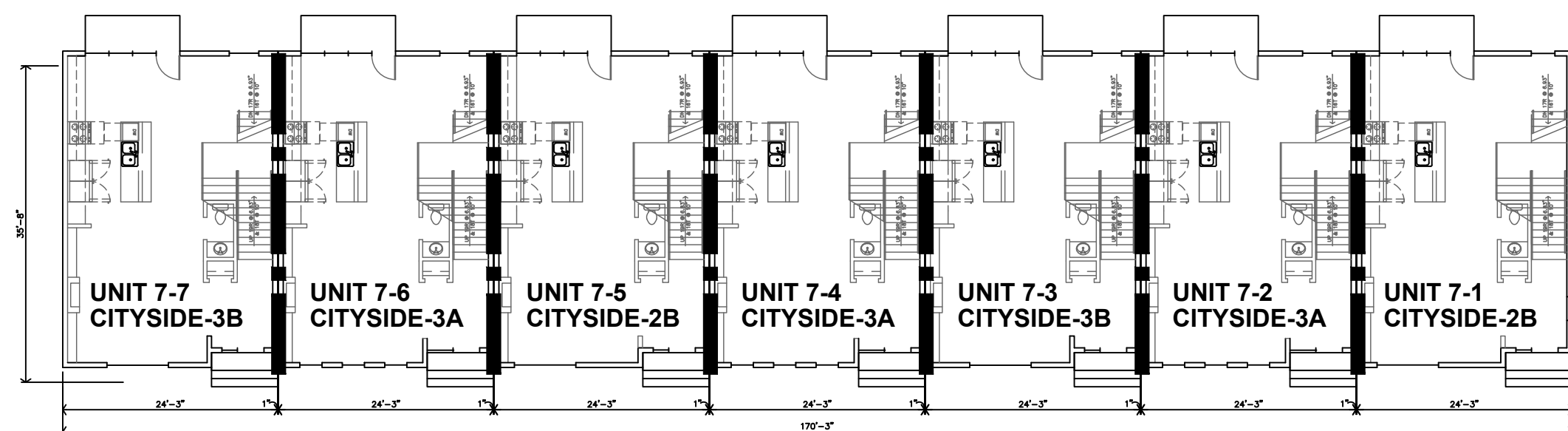
CITYSIDE UNITS



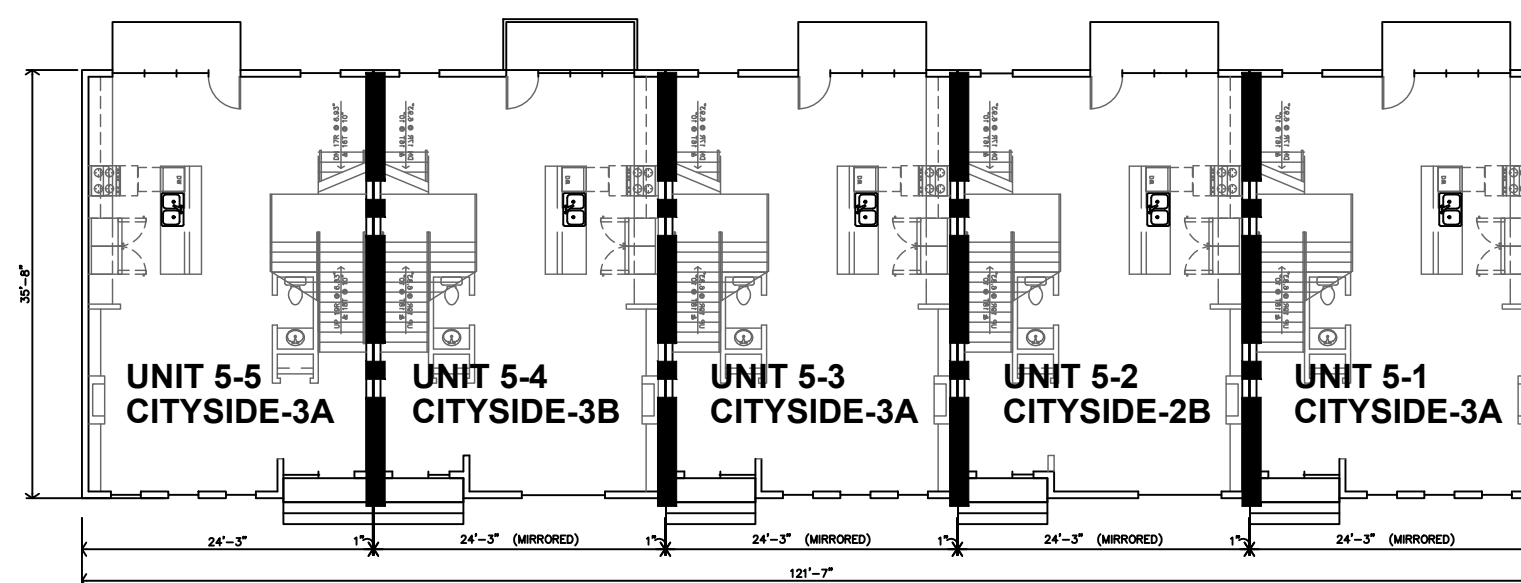
E ENTRY LEVEL PLAN TOWNHOUSE GROUP 11
1/16"=1'-0"



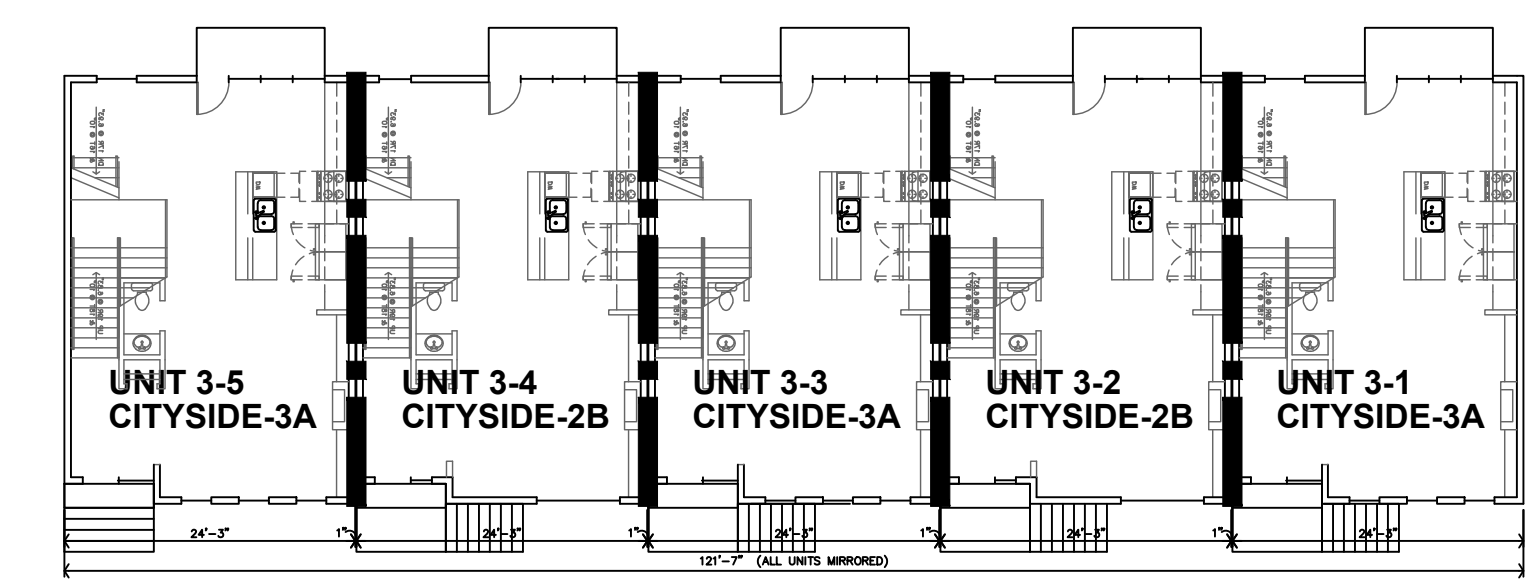
D ENTRY LEVEL PLAN TOWNHOUSE GROUP 9
1/16"=1'-0"



C ENTRY LEVEL PLAN TOWNHOUSE GROUP 7
1/16"=1'-0"



B ENTRY LEVEL PLAN TOWNHOUSE GROUP 5
1/16"=1'-0"



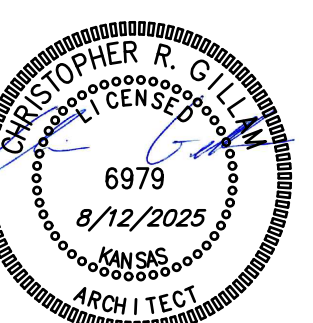
A ENTRY LEVEL PLAN TOWNHOUSE GROUP 3
1/16"=1'-0"

LEGEND

- 0 HOUR CONSTRUCTION
- (2) 1-HOUR RATED WALL ASSEMBLIES; TOWNHOME/TOWNHOME (PER IRC R302.2.1)

TOWNHOUSES CODE INFORMATION

- ROOF COVERINGS**
CLASS C OR BETTER
- REQUIRED SEPARATION OF TOWNHOUSES** (PER IRC R302.2 TOWNHOUSES)
WALLS SEPARATING TOWNHOUSE UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R302.2.1 DOUBLE WALLS. EACH TOWNHOUSE SHALL BE SEPARATED BY (2) 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES.
- PARAPET ALTERNATIVE** (PER IRC R302.2.4 ITEM 2 - EXCEPTION)
A PARAPET IS NOT REQUIRED IN THE PRECEDING TWO CASES: WITH ROOF COVERING MINIMUM CLASS C RATING & ROOF DECKING OR SHEATHING IS OF FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FEET ON EACH SIDE OF THE WALL.
- STRUCTURAL INDEPENDENCE** (PER IRC R302.2.6)
EACH INDIVIDUAL TOWNHOUSE SHALL BE STRUCTURALLY INDEPENDENT. EXCEPTIONS: FOUNDATIONS SUPPORTING EXTERIOR/Common WALLS. STRUCTURAL ROOF AND SHEATHING. NONSTRUCTURAL WALL AND ROOF COVERINGS. FLASHING OF ROOF COVERINGS.
- AUTOMATIC FIRE SUPPRESSION SYSTEM:**
REQUIRED, PROVIDED PER NFPA 13D - EACH TOWNHOUSE
- EMERGENCY ESCAPE AND RESCUE OPENINGS** (PER IRC R310.2)
- MEANS OF EGRESS** (PER IRC R311.1)
- SMOKE ALARMS** (PER IRC R314.2.1)
- CARBON MONOXIDE ALARMS** (PER IRC R315.2.1)



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SITE PLAN KEY NOTES

(A)	MECH. CLOSET REF. & COORDINATE W/ M/E DRAWINGS (TYP)
(B)	DASHED LINE INDICATES ACCESSIBLE PATH
(C)	PAINTED STRIPING AT ACCESSIBLE ROUTE
(D)	DOG PARK - 4'-0" tall ALUM. FENCE SIMILAR TO AMERISTAR. INCLUDES (1) PARK BENCHES REF. SHEET A1.3
(E)	MONUMENT SIGNAGE REF. CIVIL/LANDSCAPE SHEETS FOR DETAILS
(F)	NEW POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(F)	NEW POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(G)	KNOX BOX COORD. W/ FIRE DEPT. (TYP)
(H)	FENCED GRASS PLAY AREA

NOTE: SLABS @ SITE AMENITIES SHALL BE 4"th. 3,500 PSI W/ 6x6-W1.2xW1.2 WWF. SLOPE ACROSS SLAB NO MORE THAN 2% (1/8" PER 12") OVER 4"th. GRANULAR FILL (MIN.) COMPACTED OVER SUBGRADE, PREP PER SOILS REPORT.

GENERAL SITE PLAN NOTES

- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.
- INSTALL MATERIALS AND FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR FINISH INSTALLATION.
- WHERE NEW CONCRETE ADJUTS THE BUILDING, PROVIDE 3/4" EXPANSION JOINT & SEAL TOP WITH EPOXY SEALER.
- INSTALL EXPANSION JOINTS IN CONCRETE SIDEWALK PAVING AT ±60" O.C. PROVIDE FILLER MATERIAL AND SEALANT. COORDINATE WITH ARCHITECT FOR FINAL LOCATIONS OF EXPANSION JOINTS.
- INSTALL CONTROL JOINTS IN CONCRETE ROUGHLY SQUARE AND AREAS NOT TO EXCEED 100 S.F.
- EXTERIOR DOOR LANDINGS SHALL BE WITHIN 1/2" OF INTERIOR FINISH FLOOR ELEVATION. MAXIMUM SLOPE IN ANY DIRECTION SHALL BE 1:50
- FINISH FLOOR ELEVATION SHALL BE VERIFIED BY GENERAL CONTRACTOR AND CONFIRMED W/ PROPOSED GRADING TO PROVIDE DRAINAGE AWAY FROM THE BUILDING
- LANDSCAPING, SEEDING, PLANTINGS, ETC. TO BE INCLUDED IN THE SCOPE OF WORK. REFERENCE LANDSCAPE PLANS. ALL AREAS AROUND THE SITE AND AS INDICATED ON THE SITE PLAN SHALL BE FINE GRADED WITH MIN. 2" TOP SOIL. AREAS SHALL BE FREE OF ROCKS AND CLUMPS AS SUITABLE FOR SEEDING OR SOODING.
- NEW PEDESTRIAN SIDEWALKS SHALL NOT HAVE A CROSS SLOPE GREATER THAN 1:50 AND SHALL NOT SLOPE IN THE DIRECTION OF TRAVEL GREATER THAN 1:20.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE LOCAL UTILITY COMPANIES AND CITY.
- NOT USED
- DO NOT CONSTRUCT ANY PART OF THE TRASH PAD, ENCLOSURE AND/OR ACCESS UNIL AFTER CONFIRMATION AND COORDINATION OF LOCAL TRASH SERVICE. DUE TO DIFFERENT TRASH COMPANIES, TRUCKS AND PICK-UP PROCESSES, CONFIRMATION OF THE TRASH SERVICE AND COORDINATION OF THE DESIGN AND LAYOUT OF THE PAD, ENCLOSURE AND ACCESS MUST BE COMPLETED.
- ALL NEW LANDSCAPING IS TO BE IRRIGATED. THIS INCLUDES (BUT IS NOT LIMITED TO) SOG, GROUND COVER, TREES, SHRUBS AND RAISED PLANTERS. IRRIGATION INSTALLER/CONTRACTOR TO SUBMIT AN IRRIGATION PLAN TO ARCHITECT PRIOR TO INSTALLATION. COORDINATE WITH LANDSCAPE PLAN AND REFERENCE SPECIFICATIONS FOR MORE DETAILS.

PARKING SUMMARY

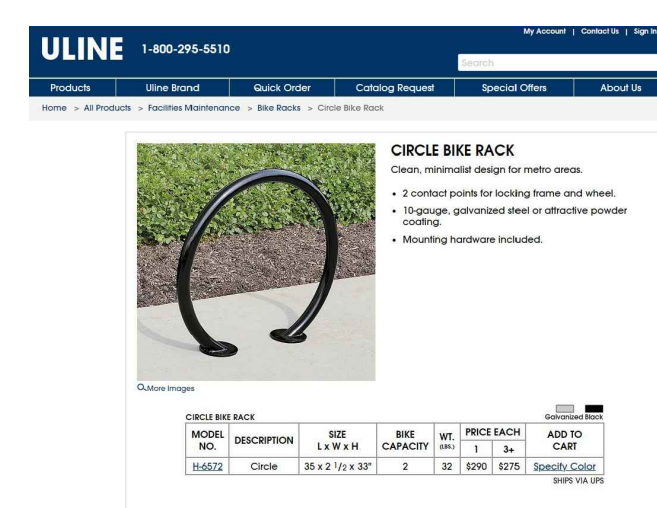
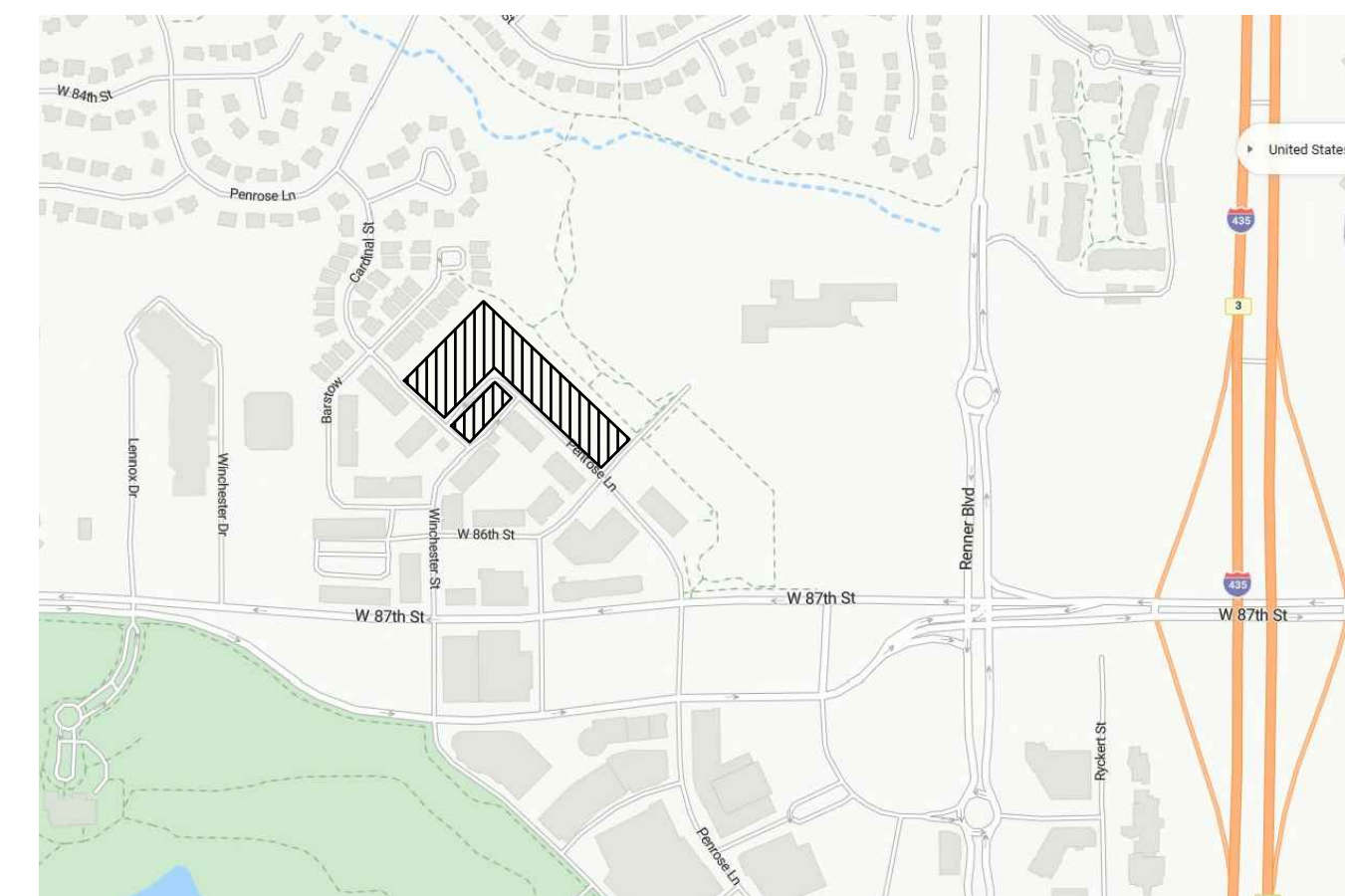
GARAGE	122
DRIVEWAY	122
VISITOR	33
ACCESSIBLE	1
TOTAL PARKING STALLS	248
PARKING RATIO (STALLS/UNITS)	4.07

PARKING MEETS LOCAL REQUIREMENTS. - 2/UNIT

NOTES

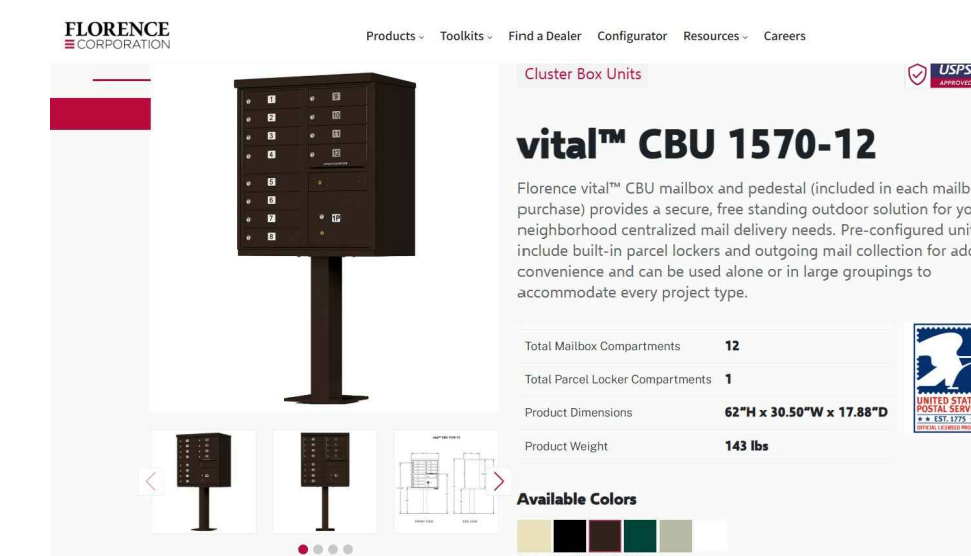
- THE SITE PLAN MATERIALLY ADHERES TO ALL ZONING, SITE DEVELOPMENT, AND BUILDING CODE ORDINANCES.

VICINITY PLAN
NOT TO SCALE



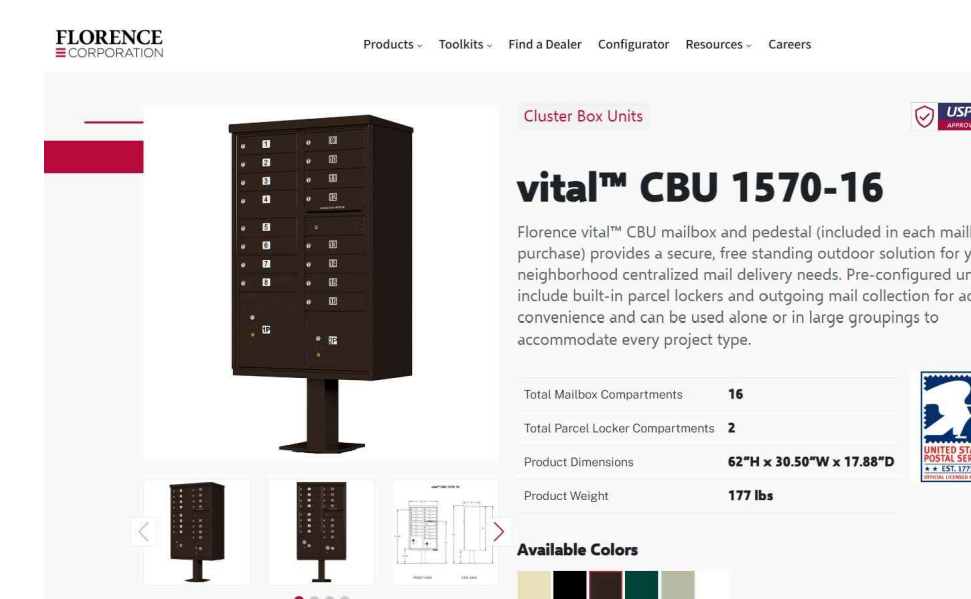
BIKE RACK

NOT TO SCALE



vital™ CBU 1570-12

Florence vital™ CBU mailbox and pedestal (included in each mailbox purchase) provides a secure, free standing outdoor solution for your neighborhood centralized mail delivery needs. Pre-configured units include built-in parcel lockers and outgoing mail collection for added convenience and can be used alone or in large groupings to accommodate every project type.

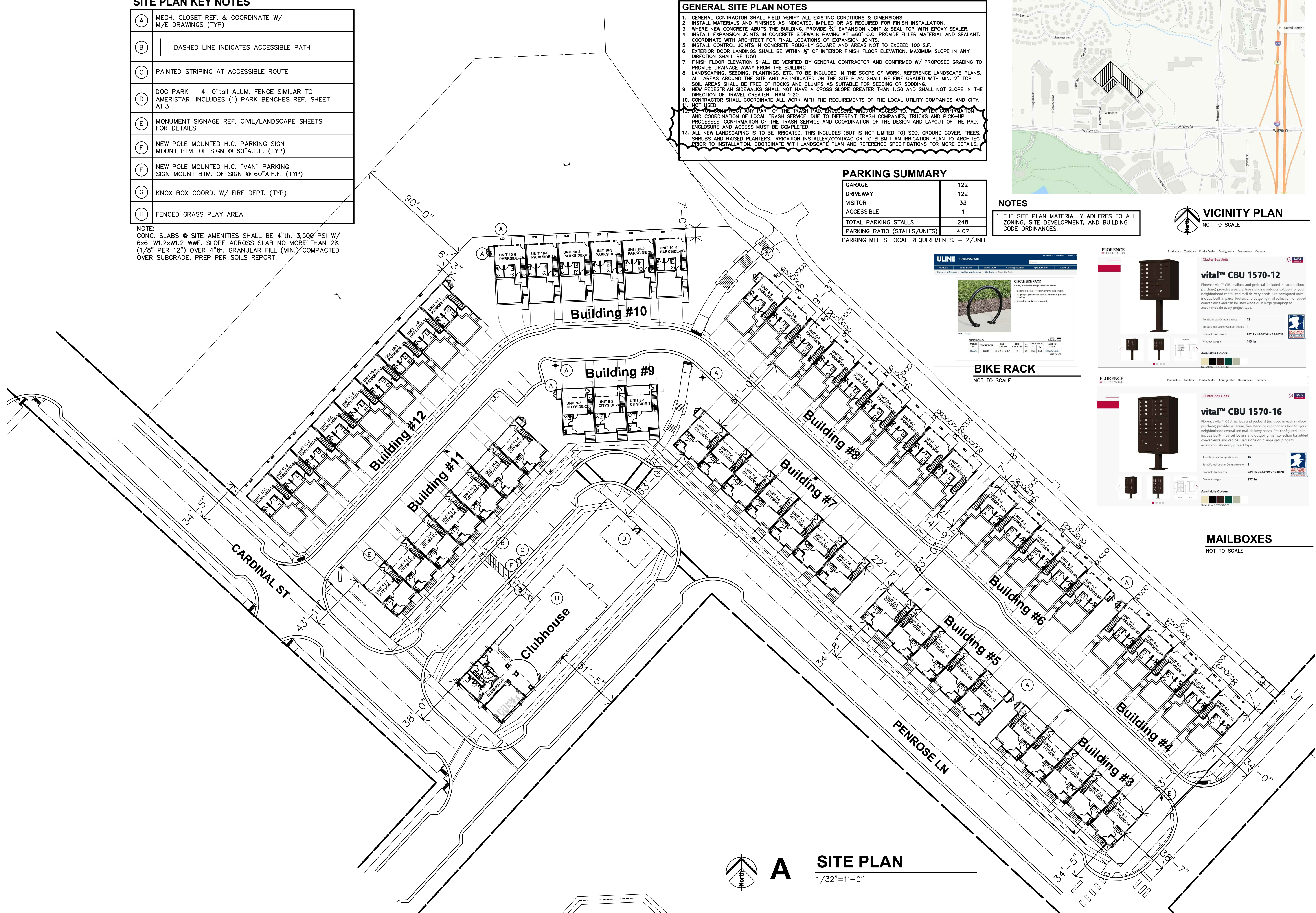


vital™ CBU 1570-16

Florence vital™ CBU mailbox and pedestal (included in each mailbox purchase) provides a secure, free standing outdoor solution for your neighborhood centralized mail delivery needs. Pre-configured units include built-in parcel lockers and outgoing mail collection for added convenience and can be used alone or in large groupings to accommodate every project type.

MAILBOXES

NOT TO SCALE



A SITE PLAN

1/32"=1'-0"



REVISION:

DATE: 8-12-2025

JOB: 25-3090

SHEET NO.:

PRKSIDE FINISH SCHEDULE											
FINISHES & INSTRUCTIONS											
P LATEX ENAMEL			VP VINYL LVP TILE			CT CERAMIC TILE					
C CARPET			ST STAIN & SEAL			TX TEXTURE					
NO.	DESCRIPTION	FLOOR		BASE		N.WL		E.WL		S.WL	
		WVL PLANK	CERAMIC TILE	CONCRETE	WOOD	5/8" FIRE RATED G.B.	5/8" FIRE RATED G.B.	5/8" FIRE RATED G.B.	5/8" FIRE RATED G.B.	5/8" FIRE RATED G.B.	5/8" FIRE RATED G.B.
		REMARKS									
101	LOWER LIVING	VP									
102	BATHRM	VP	CT								
103	MECHANICAL	VP									
104	HALL	VP									
105	STORAGE	VP									
106	ENTRY	VP									
107	GARAGE		X								
108	HALL	VP									
109	KITCHEN	VP									
110	DINING	VP									
111	UPPER LIVING	VP									
112	CLOSET	VP									
113	CLOSET	VP									
114	BATHROOM	VP	CT								
115	HALL	VP									
116	HALL	VP									
117	LAUNDRY	VP									
118	CLOSET	VP									
119	MASTER BR	CI									
120	BATHRM		CT								
121	CLOSET	CI									
122	BEDROOM	CI	VP								
123	CLOSET	CI									
124	BATHRM		CT								
125	BEDROOM	CI									
126	CLOSET	CI									
127	LOFT	VP									

GENERAL NOTES:

- INSTALL VINYL, RUBBER, OR ALUMINUM TRANSITION STRIP BETWEEN FLOOR MATERIAL OF DIFFERING HEIGHTS, INCLUDING BUT NOT LIMITED TO CONCRETE/VCT TRANSITIONS.
- ALL GYPSUM BOARD AREAS WHICH ARE ACCESSORIES TO THE ROOM INCLUDING BUT NOT LIMITED TO SOFFITS, BULKHEADS, TRIM, ETC. SHALL BE PAINTED REGARDLESS OF WHETHER IT IS SPECIFICALLY INDICATED PER SCHEDULE.
- WALL TYPE SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL COORDINATE WALL MATERIAL W/ DRAWINGS AND FIELD CONDITIONS. ALL AREAS INDICATED TO RECEIVE NEW FINISH SHALL RECEIVE COMPLETE FINISH AS SCHEDULED AT ENTIRE ROOM.
- CONTRACTOR SHALL COORDINATE FINISHES AND ACCENTS WITH DETAILS AND INTERIOR ELEVATIONS.
- FLOORING CONTRACTOR SHALL VERIFY THAT SUBFLOOR IS LEVEL AND PROPERLY PREPPED PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS.
- CONTRACTOR SHALL VERIFY THAT FLOORS ARE PREPPED/FLOORSTONED FOR LEVEL TRANSITION BETWEEN DIFFERING MATERIALS.
- ALL H.M. DOORS & FRAMES TO BE PAINTED W/ INDUSTRIAL ENAMEL UNLESS NOTED OTHERWISE. H.M. DOORS AND FRAMES SHALL BE SANDED SMOOTH PRIOR TO PAINTING. **SEBRAY FINISH ONLY. NO BRUSH FINISH.**
- CONTRACTOR SHALL COORDINATE WITH INTERIOR ELEVATIONS, FLOOR PLANS AND MISCELLANEOUS DETAILS TO VERIFY ALL AESTHETIC ACCENTS AND DETAILS.
- REFERENCE INTERIOR ELEVATIONS, WALL SECTIONS & DETAILS FOR WOOD BASE & TRIM LOCATIONS.
- LEVEL 4 FINISH WITH ORANGE PEEL TEXTURE ON ALL WALLS AND CEILINGS.

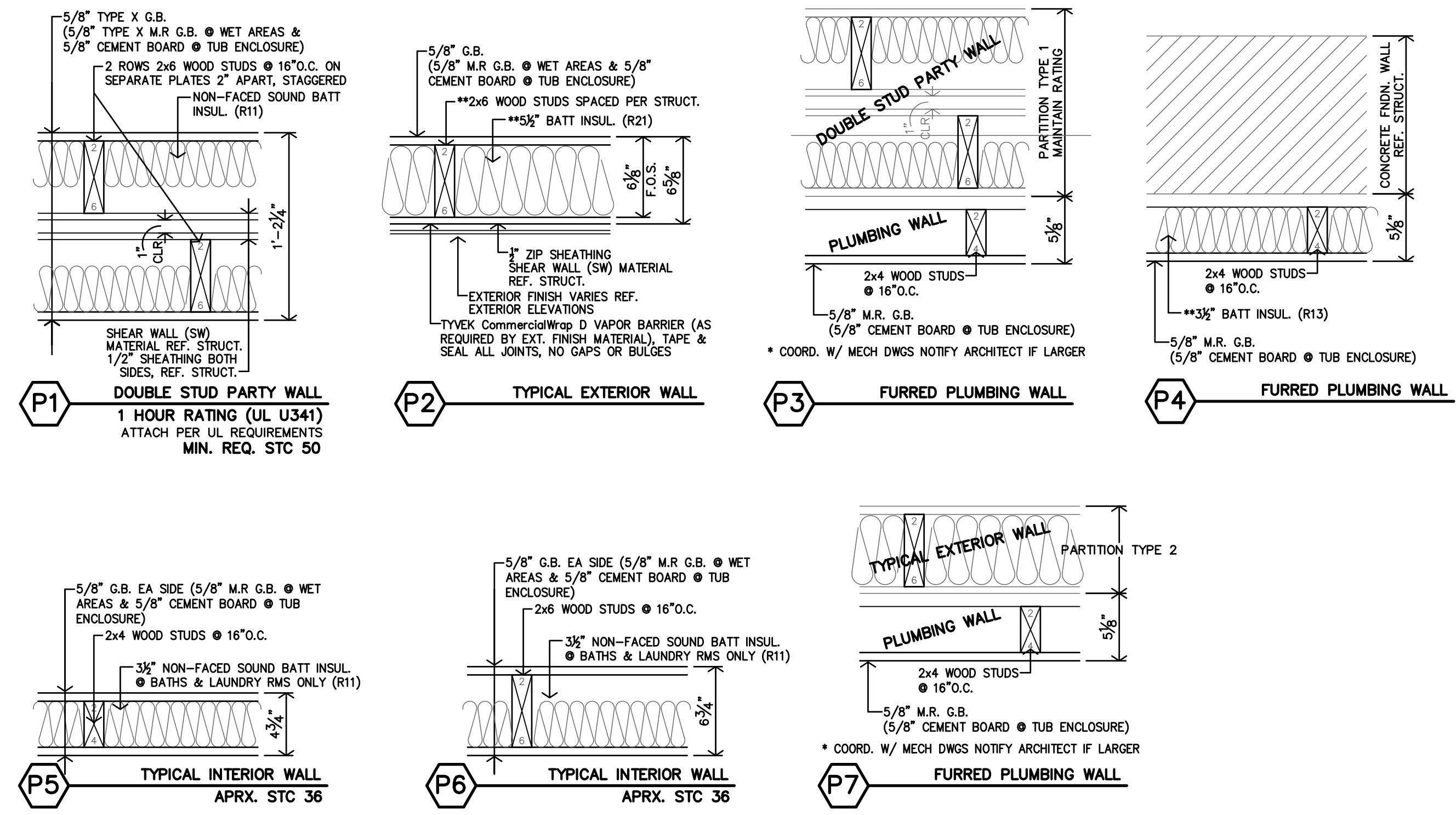
DOOR SCHEDULE PARKSIDE												
MARK	DOOR			FRAME		REMARKS						
	W	H	T	MATERIAL	FINISH							
101	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
102	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
103	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
104	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
105	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
106	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
107	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
108	2'-6"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
109	4'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
110	2'-6"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
111	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
112	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
113	2'-6"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
114	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
115	2'-6"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
116	2'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
117	5'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
118	2'-6"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
119	2'-6"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
120	2'-6"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
121	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
122	3'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
123	4'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
124	4'-0"	7'-0"	1 3/4"	WVL CLAD INSULATED SOLID WOOD	PAINT / STAIN							
OH1	8'-7"	7'-0"				B						
OH2	8'-7"	7'-0"				B						
OH3	8'-7"	7'-0"				A						
OH4	8'-7"	7'-0"				A						
OH5	8'-7"	7'-0"				C						
OH6	8'-7"	7'-0"				C						

GENERAL NOTES:

- FLUSH BOLTS AND SURFACE BOLTS PROHIBITED UNLESS NOTED OTHERWISE. PROVIDED & INSTALLED PER SPECIFICATIONS SECTION 8710.
- SELF CLOSING HINGES AND PRIVACY LOCKSETS
- ALL GLAZING IN DOORS TO BE SAFETY GLAZED
- PROVIDE CLOSERS
- PROVIDE ELECTRONIC KEYPAD DOOR HARDWARE AS INDICATED
- ALL DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS UNLESS NOTED OTHERWISE. PROVIDED & INSTALLED PER SPECIFICATIONS SECTION 8710.
- PANIC HARDWARE REQUIRED IN EGRESS DOORS
- INSTALL SMOKE GASKET.

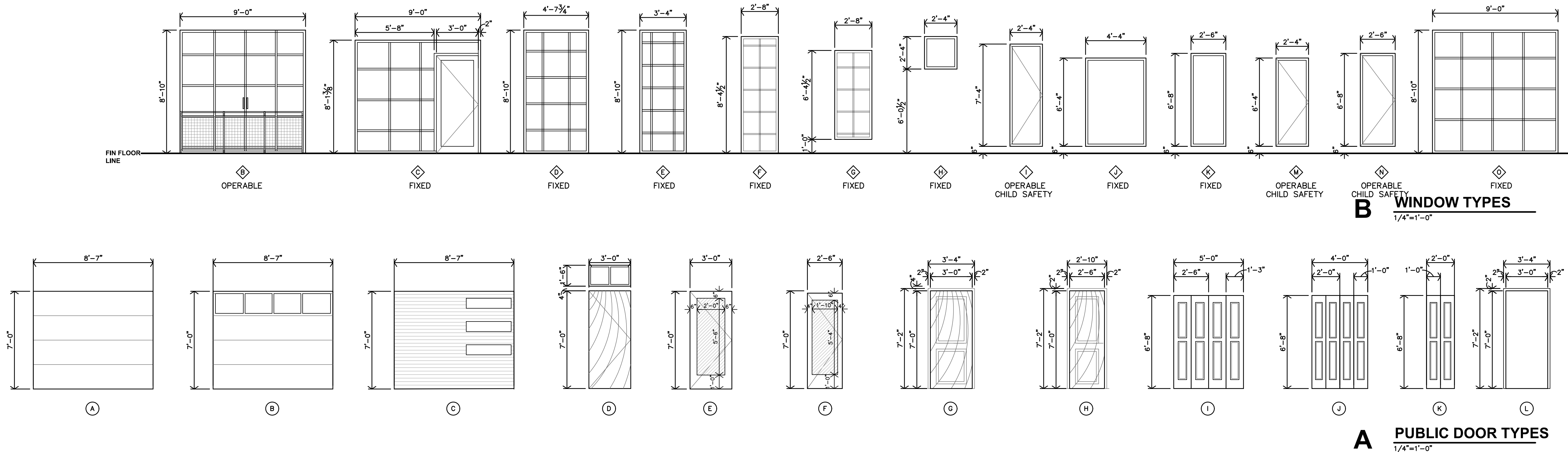
WALL TYPE PARTITION SCHEDULE

REF. SHEET CFP FOR ADDITIONAL CODE INFORMATION



ARCHITECTURAL GENERAL NOTES

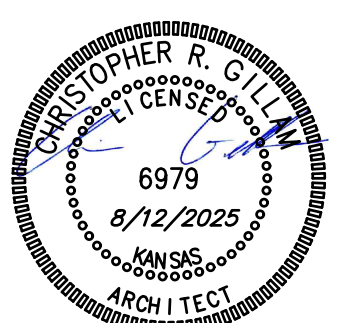
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
- INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
- ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
- ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MINIMUM CLEARANCE REQ.
- IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
- DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA.
- FEC - INDICATES LOCATION OF RECESSED FIRE EXTINGUISHER CABINET. REF SPECS. AND DETAILS.
- MHO - INDICATES DOOR WITH MAGNETIC HOLD OPEN.
- F.O.S. - DIMENSIONS TO THE EXTERIOR WALLS ARE TO THE FACE OF STUD U.N.O.
- FURNITURE SHOWN IS BY OWNER.
- REFERENCE SHEET A2.0 FOR PARTITION SCHEDULES AND ASSEMBLIES



PARKSIDE UNITS

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jgr@jgrarchitects.com

LENEXA CITY CENTER - NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS

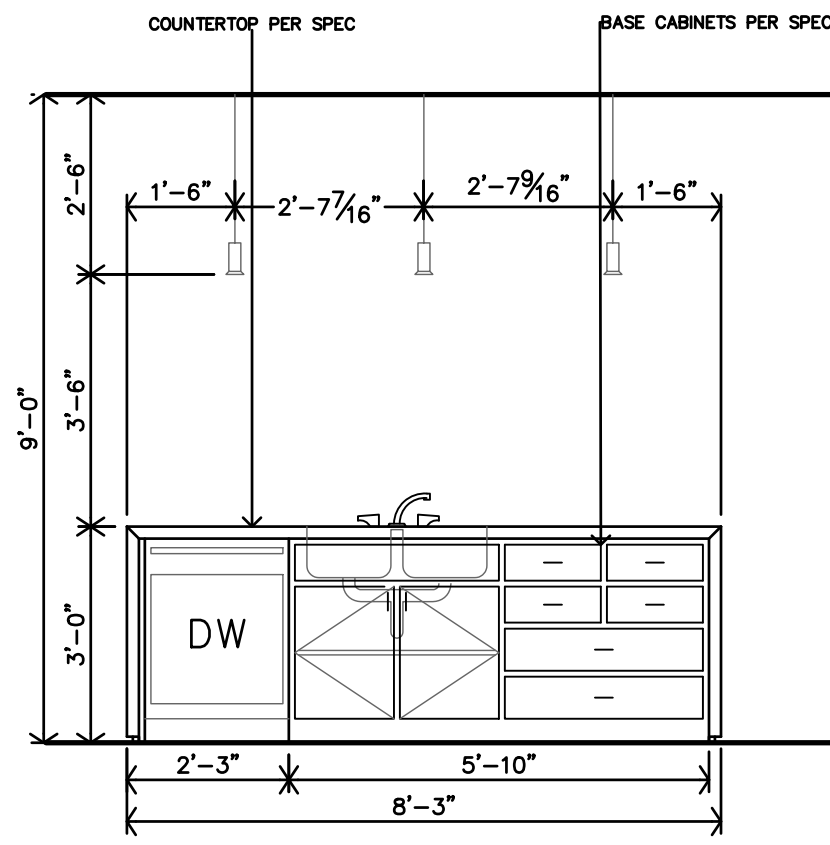


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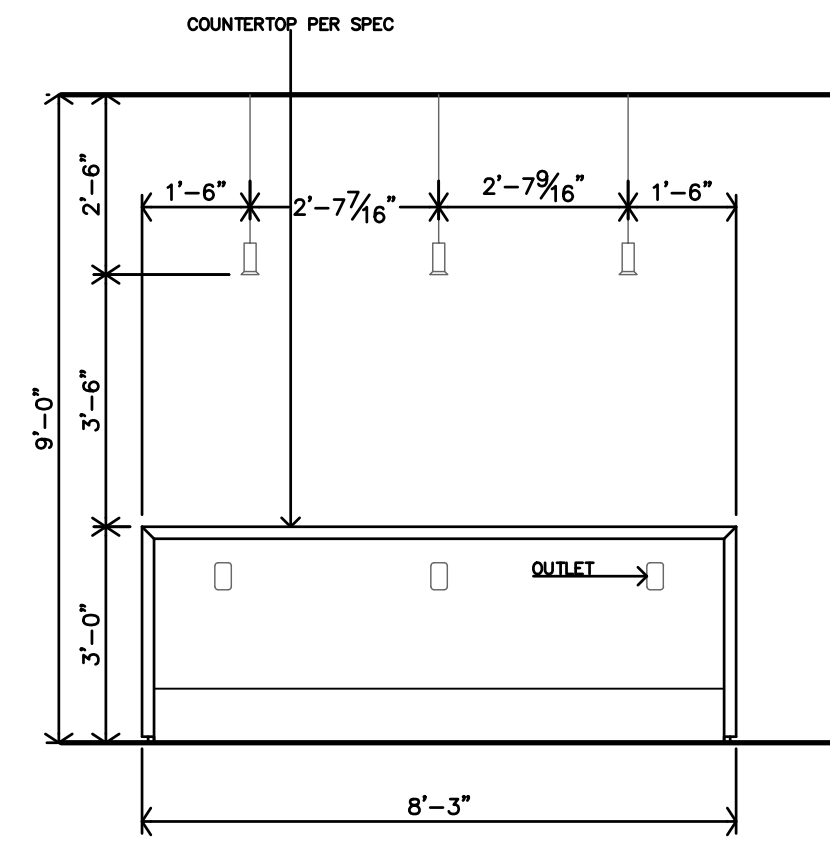
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JOB: 25-3090
SHEET NO.:

A2.4

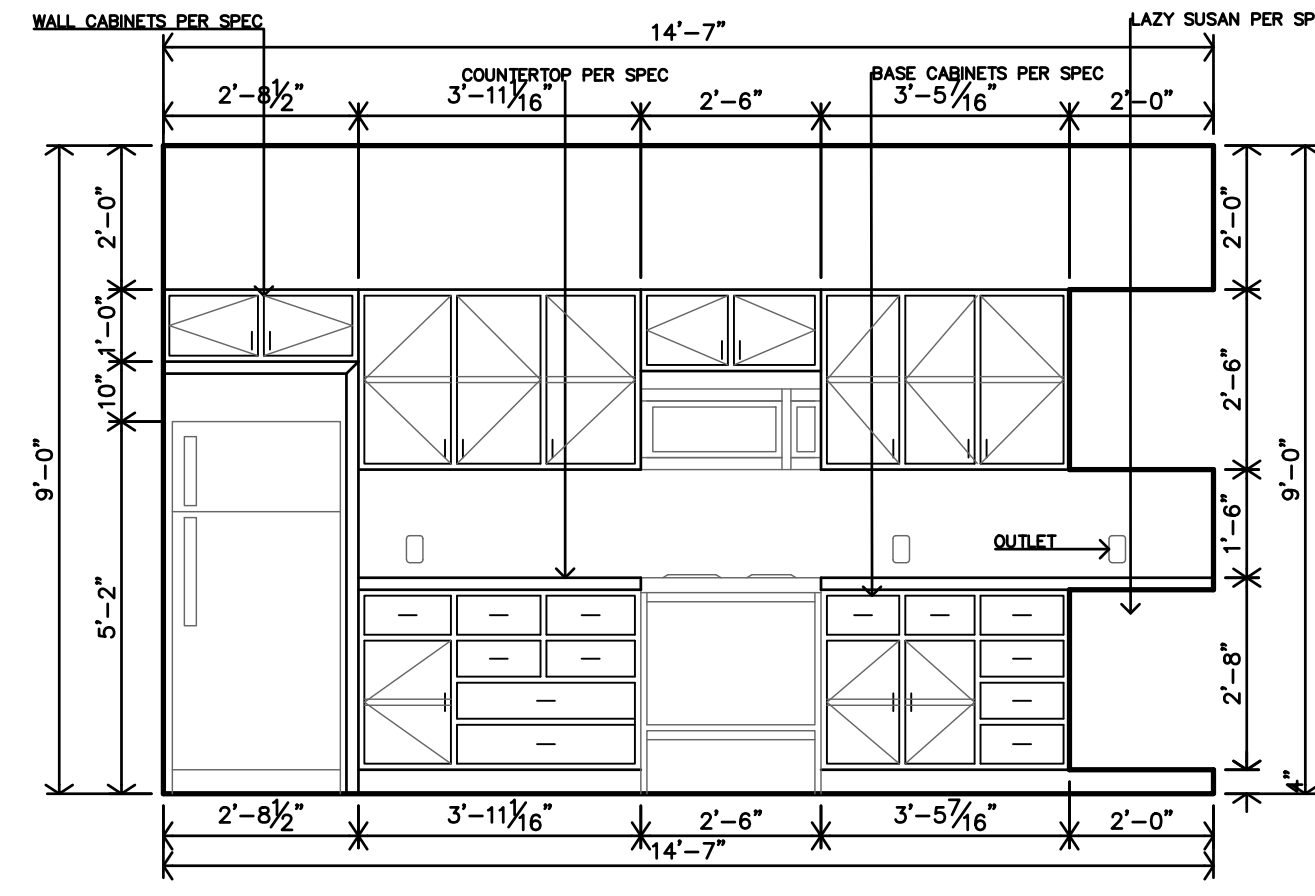
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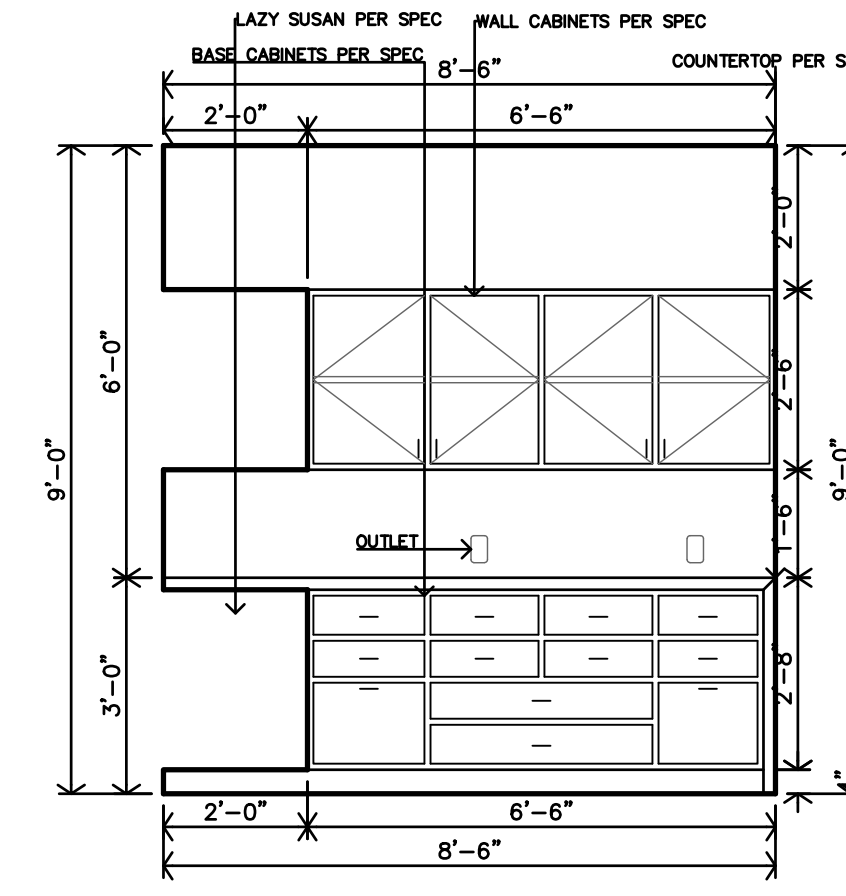
D TYPE P UNITS
KITCHEN ISLAND ELEVATION
3/8"=1'-0"



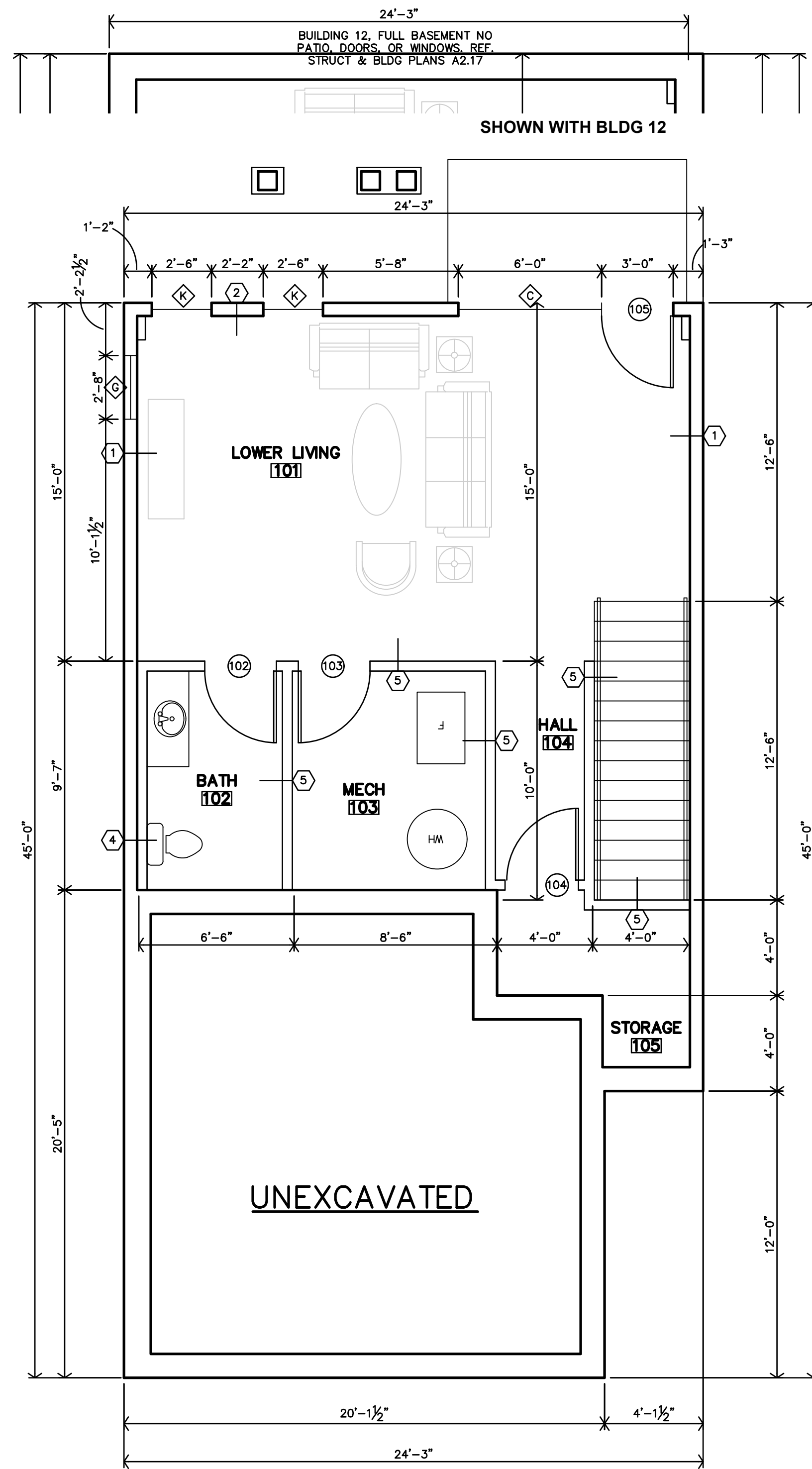
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KITCHEN ISLAND ELEVATION
3/8"=1'-0"



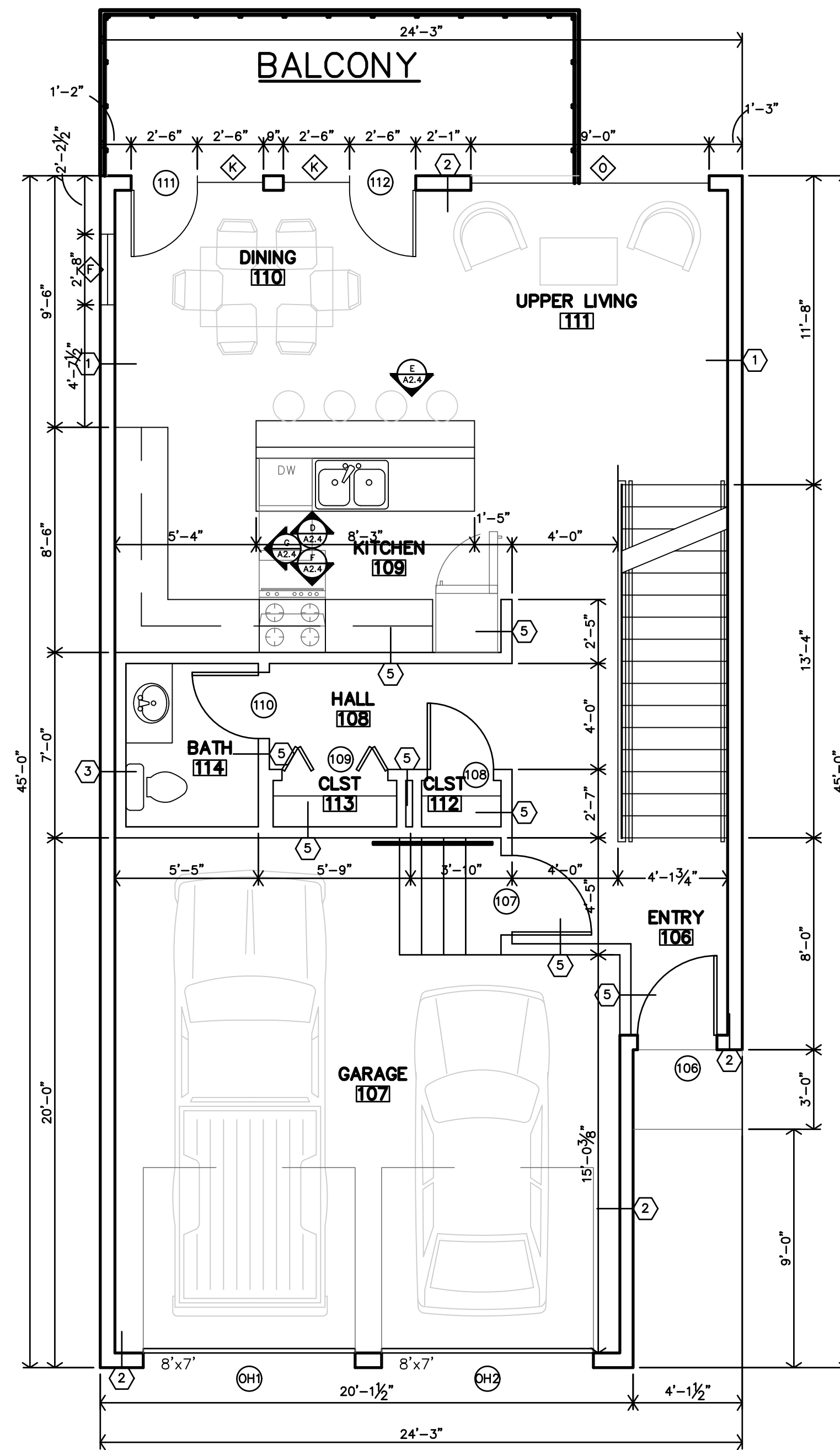
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KITCHEN ELEVATION
3/8"=1'-0"



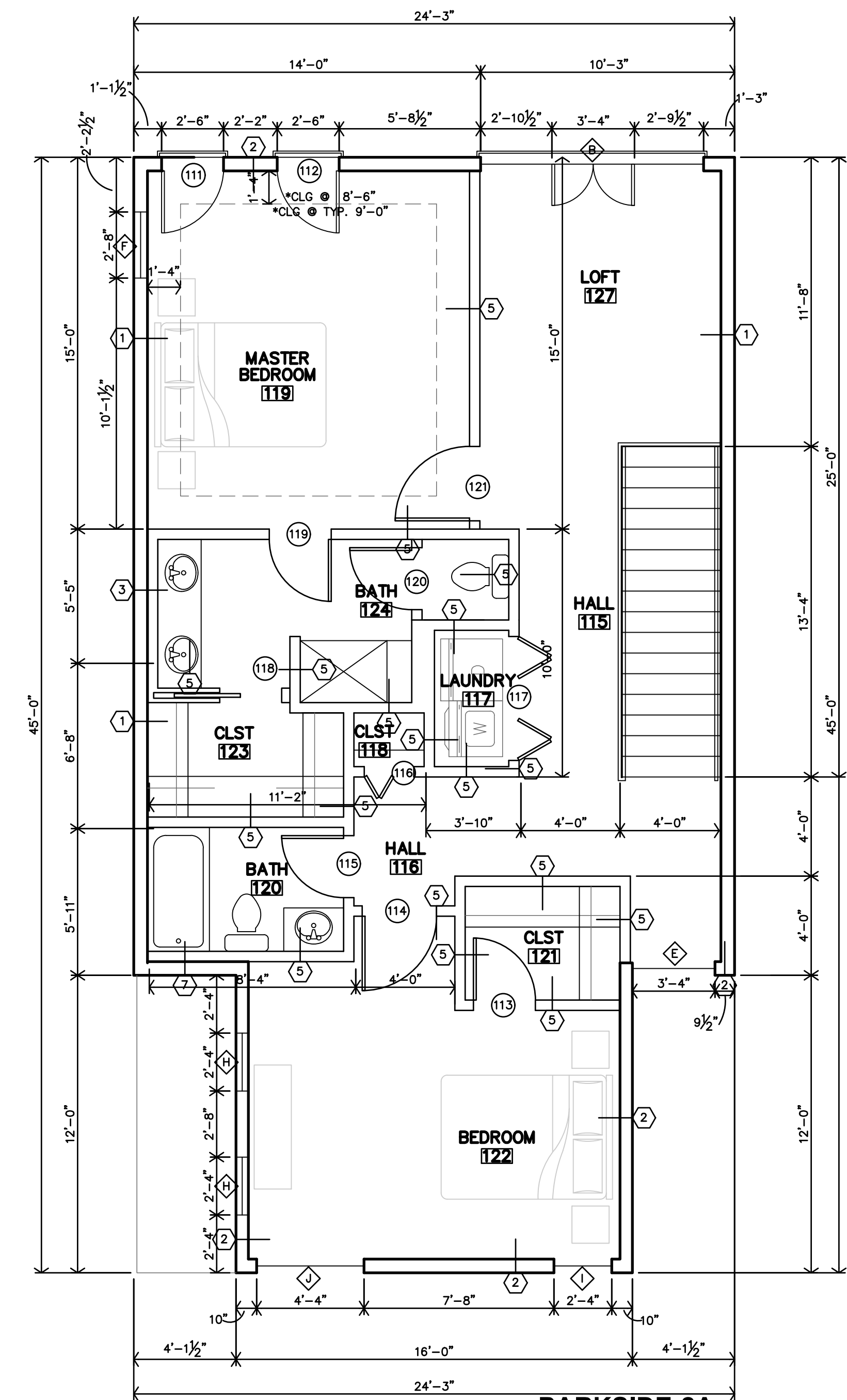
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KITCHEN ELEVATION
3/8"=1'-0"



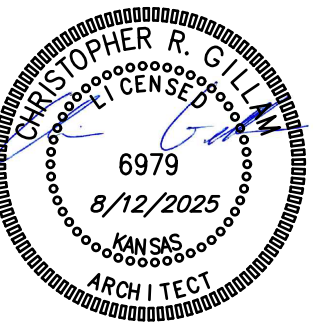
C PARKSIDE-2A
2 BEDROOM
FIRST FLOOR PLAN
1/8"=1'-0" Garage-Mech.-Stor. 724sf/Circ. 90sf



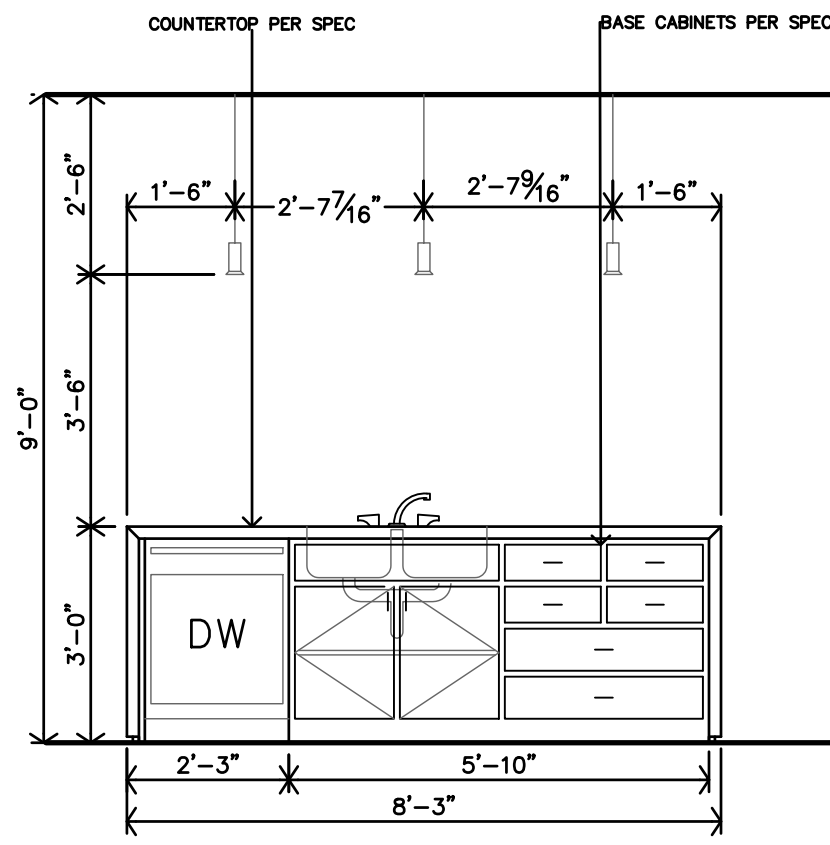
B PARKSIDE-2A
2 BEDROOM
SECOND FLOOR PLAN
1/8"=1'-0" 814sf



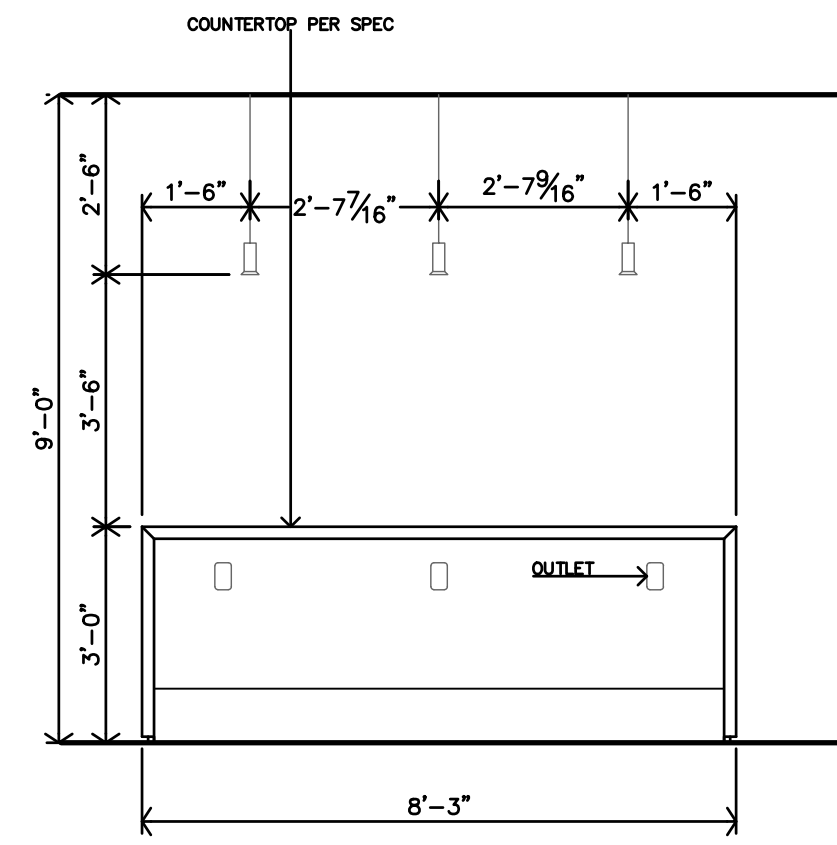
A PARKSIDE-2A
2 BEDROOM
THIRD FLOOR PLAN
1/8"=1'-0" 814sf



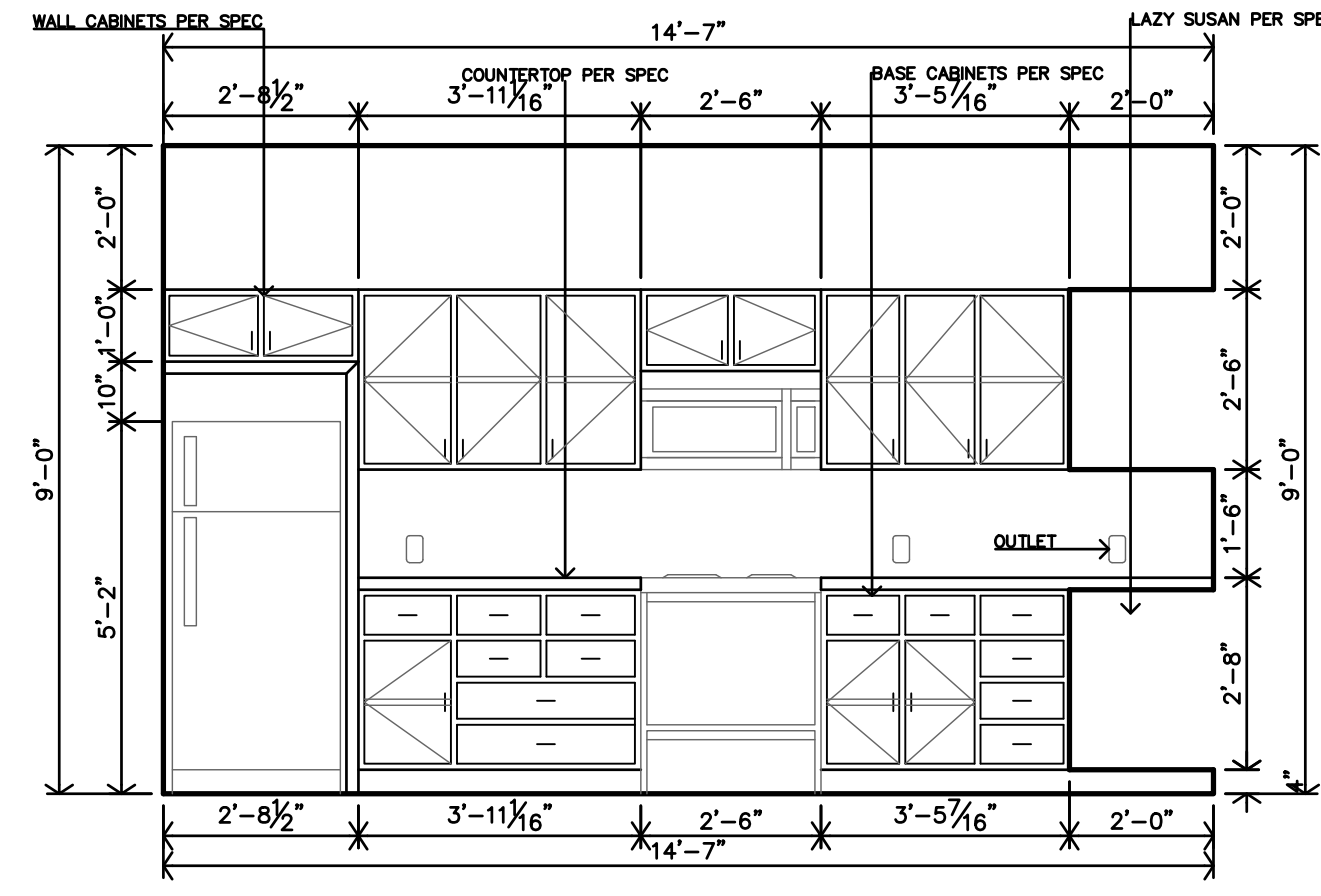
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DATE:	8-12-2025
JOB:	25-3090
SHEET NO.:	



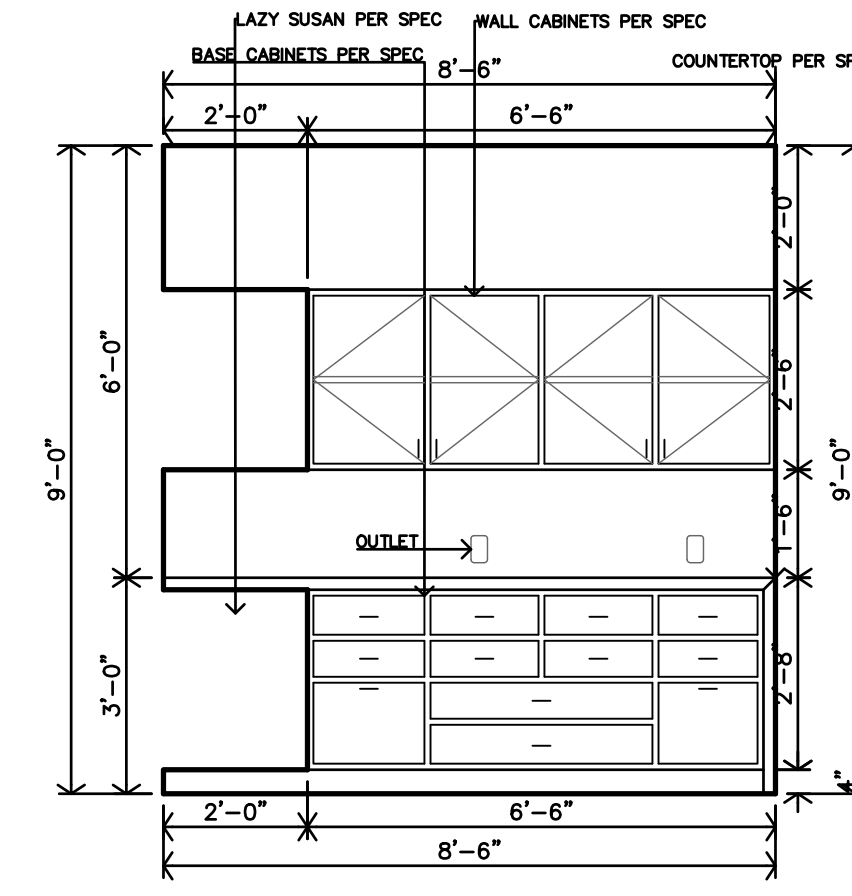
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KITCHEN ISLAND ELEVATION
3/8"=1'-0"



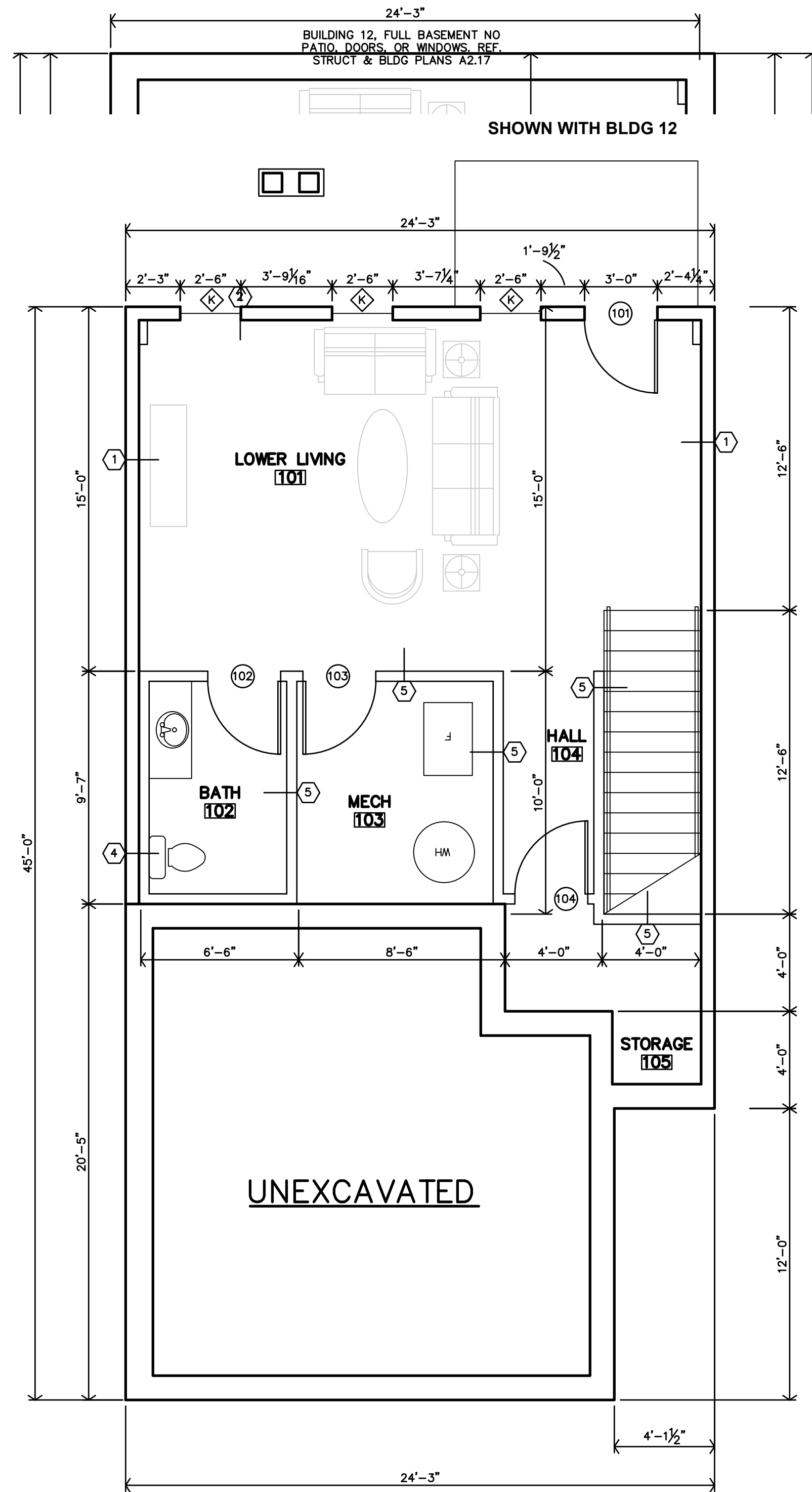
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KITCHEN ISLAND ELEVATION
3/8"=1'-0"



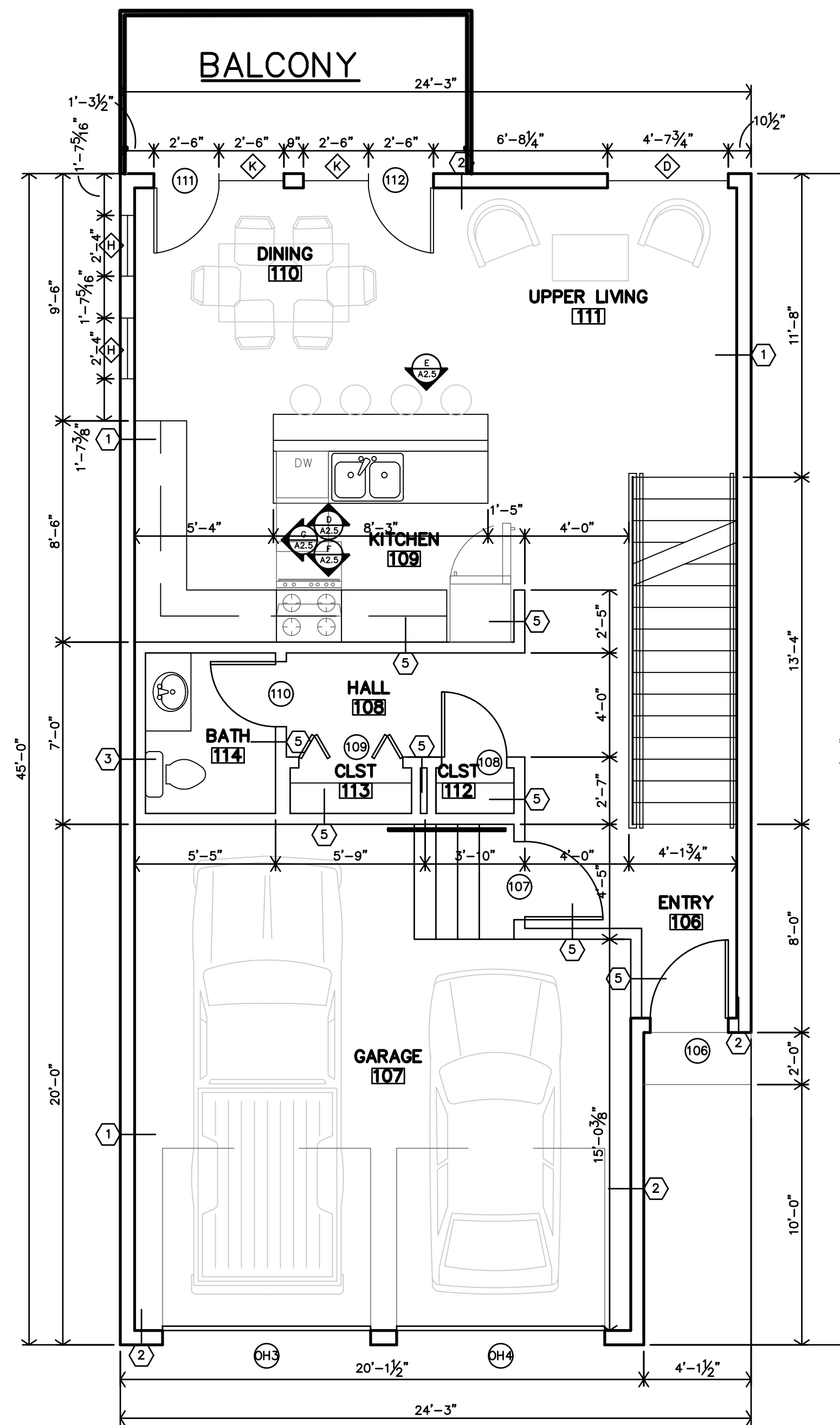
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KITCHEN ELEVATION
3/8"=1'-0"



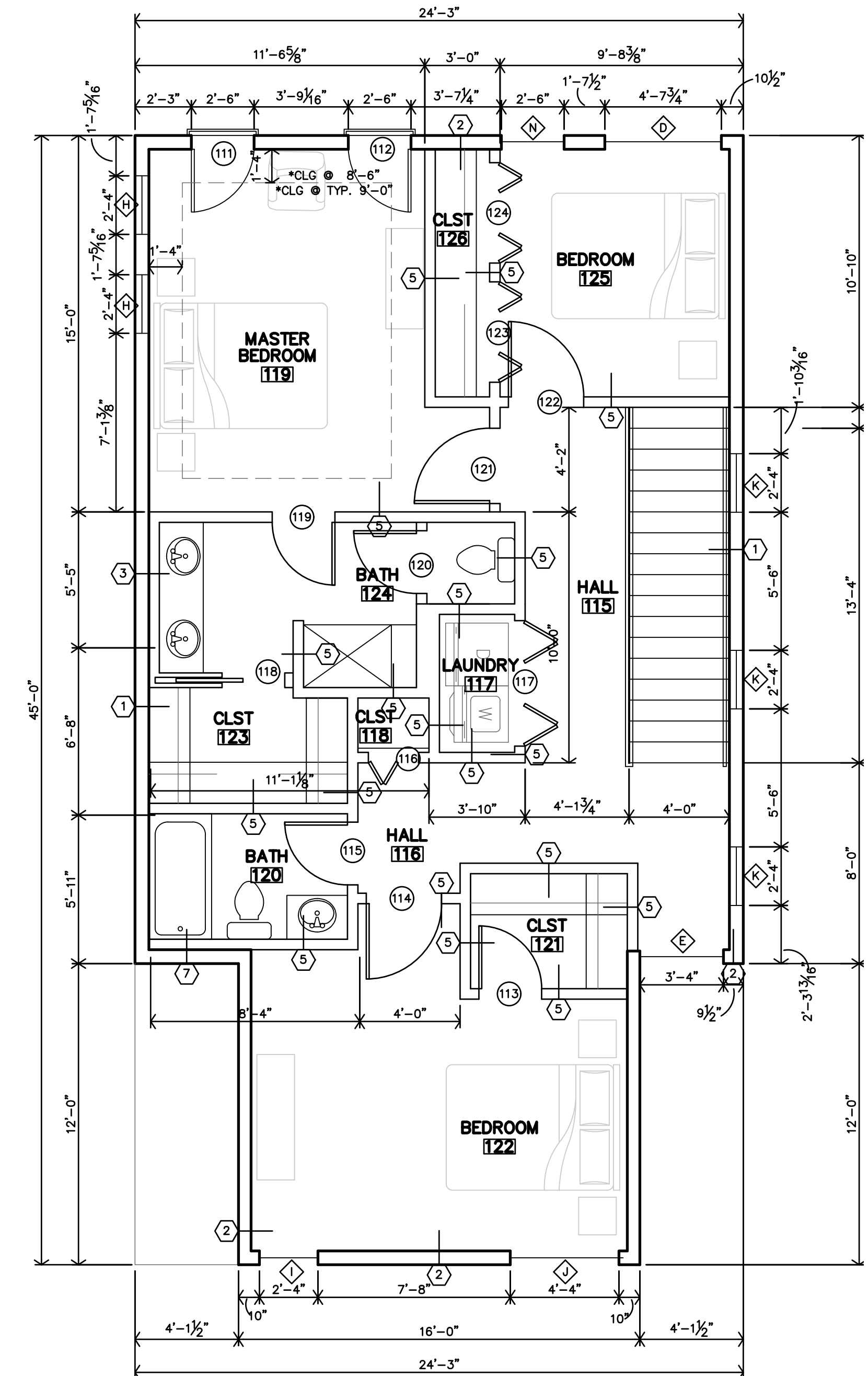
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KITCHEN ELEVATION
3/8"=1'-0"



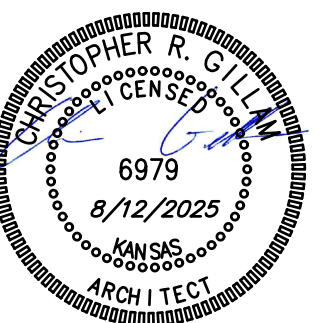
C PARKSIDE-3A
3 BEDROOM
FIRST FLOOR PLAN
1/8"=1'-0" Garage-Mech.-Stor. 724sf/Circ. 90sf



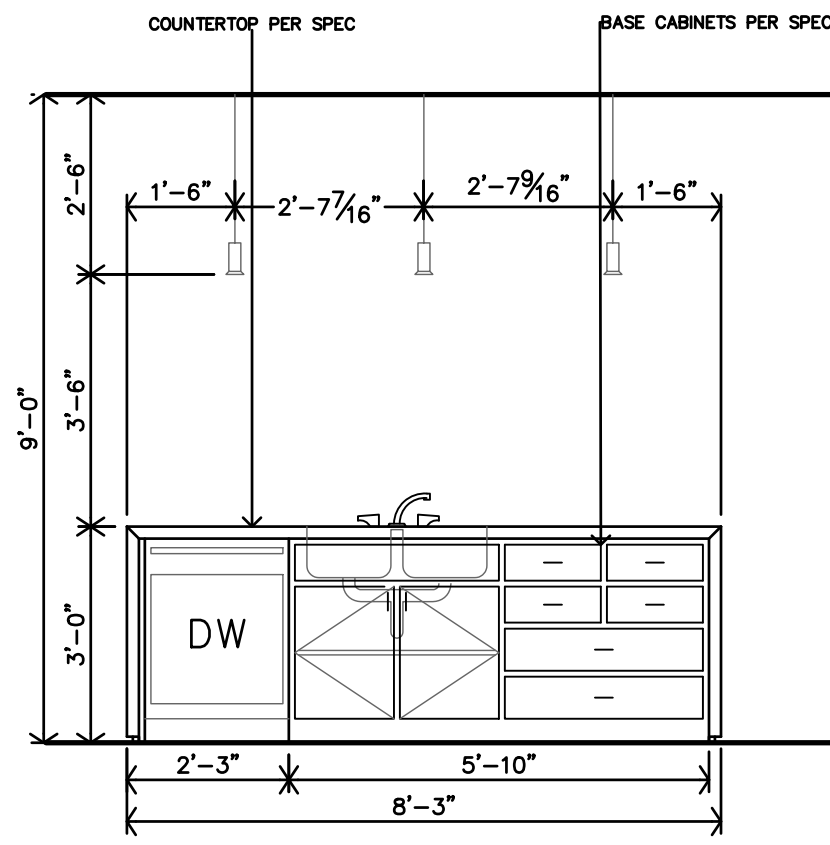
B PARKSIDE-3A
3 BEDROOM
SECOND FLOOR PLAN
1/8"=1'-0" 814sf



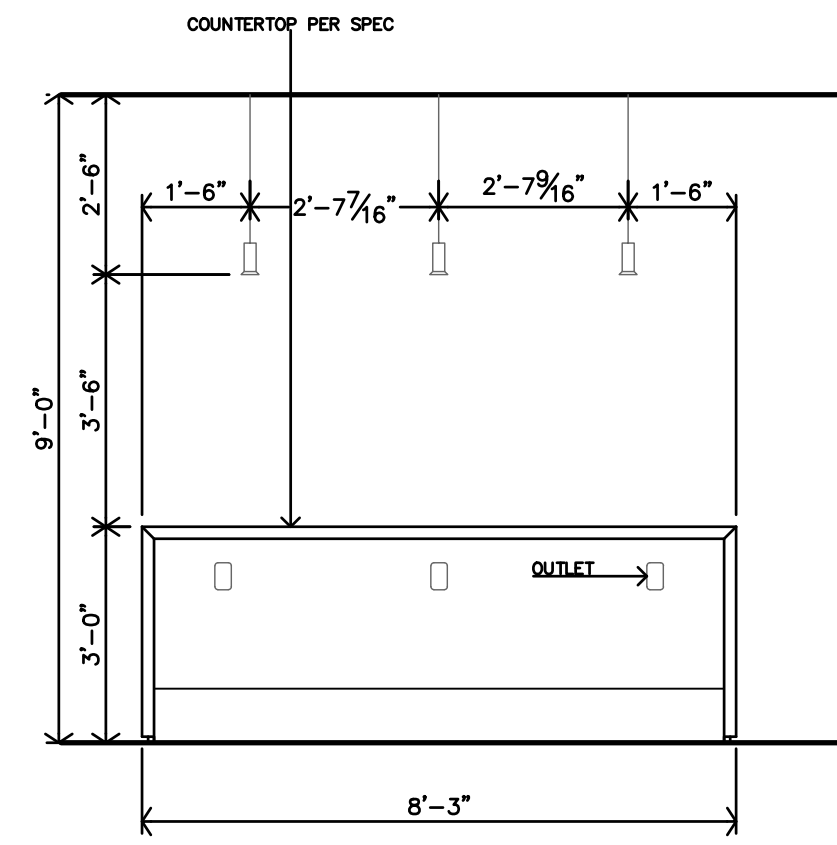
A PARKSIDE-3A
3 BEDROOM
THIRD FLOOR PLAN
1/8"=1'-0" 814sf



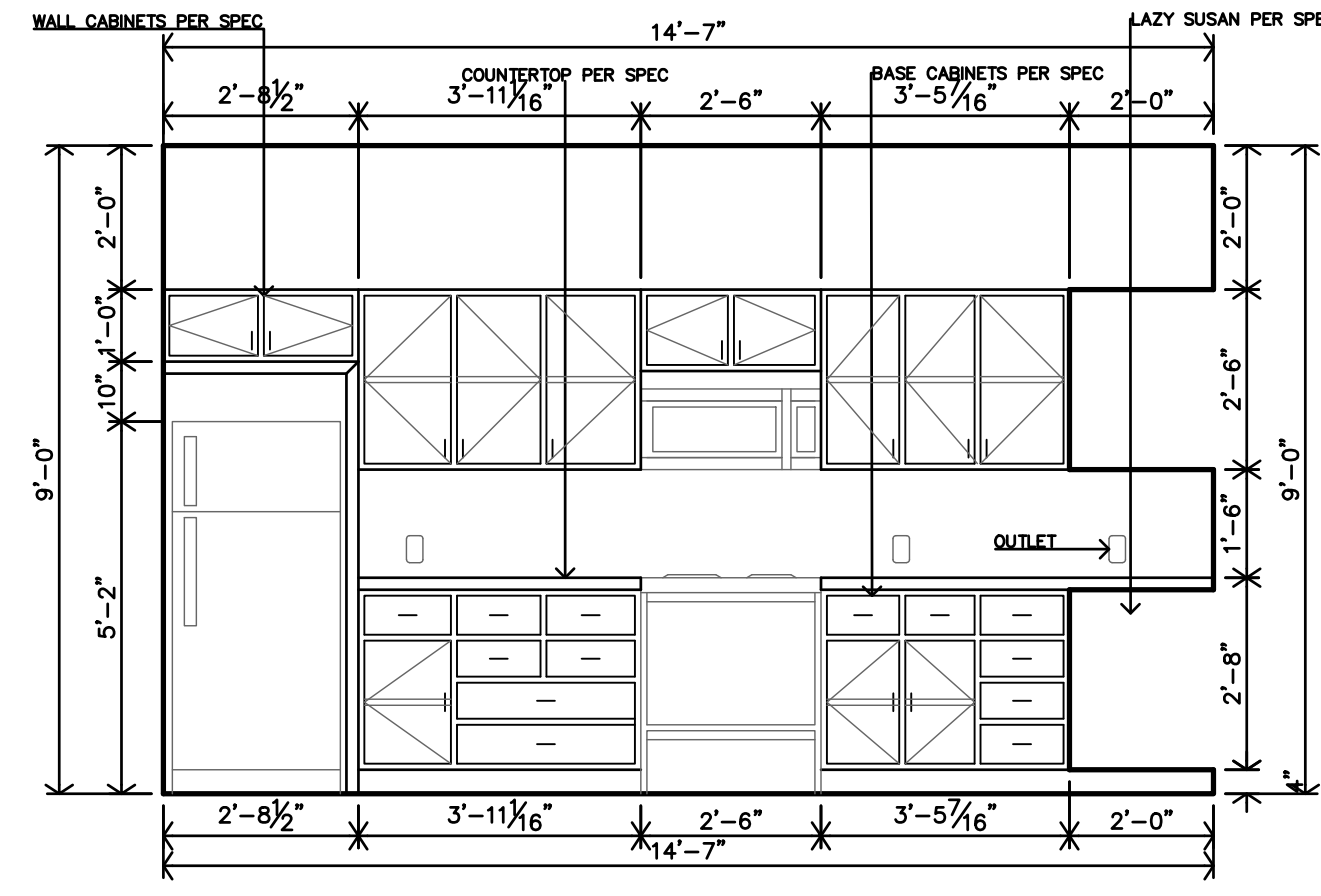
REVISION:	
DATE:	8-12-2025
JOB:	25-3090
SHEET NO.:	



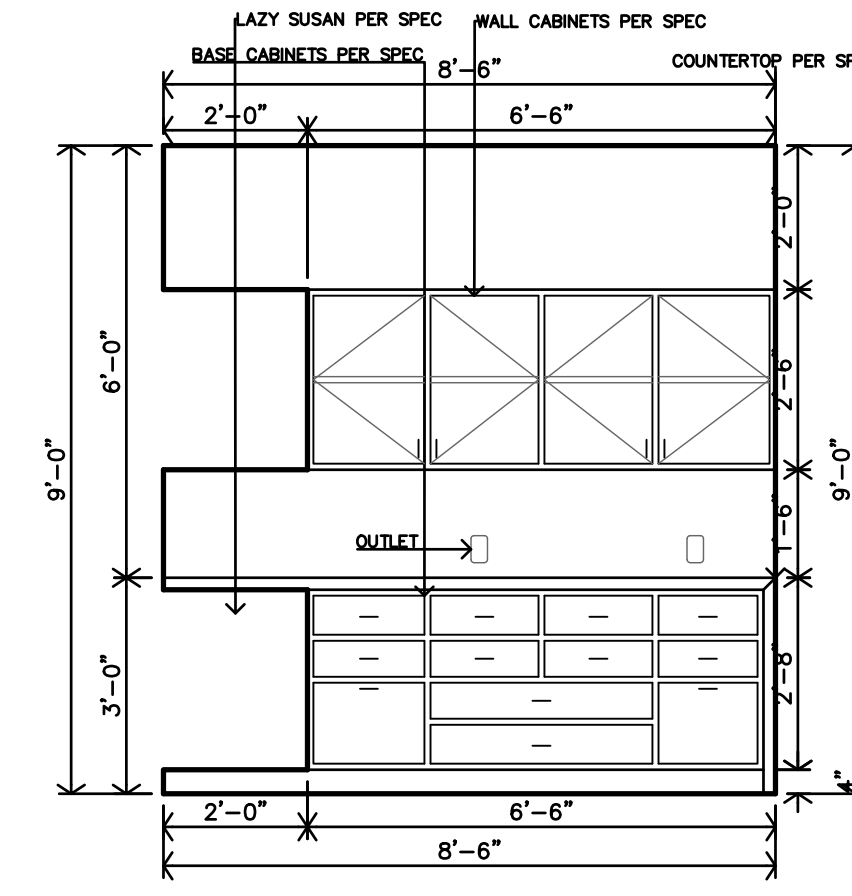
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KITCHEN ISLAND ELEVATION
3/8"=1'-0"



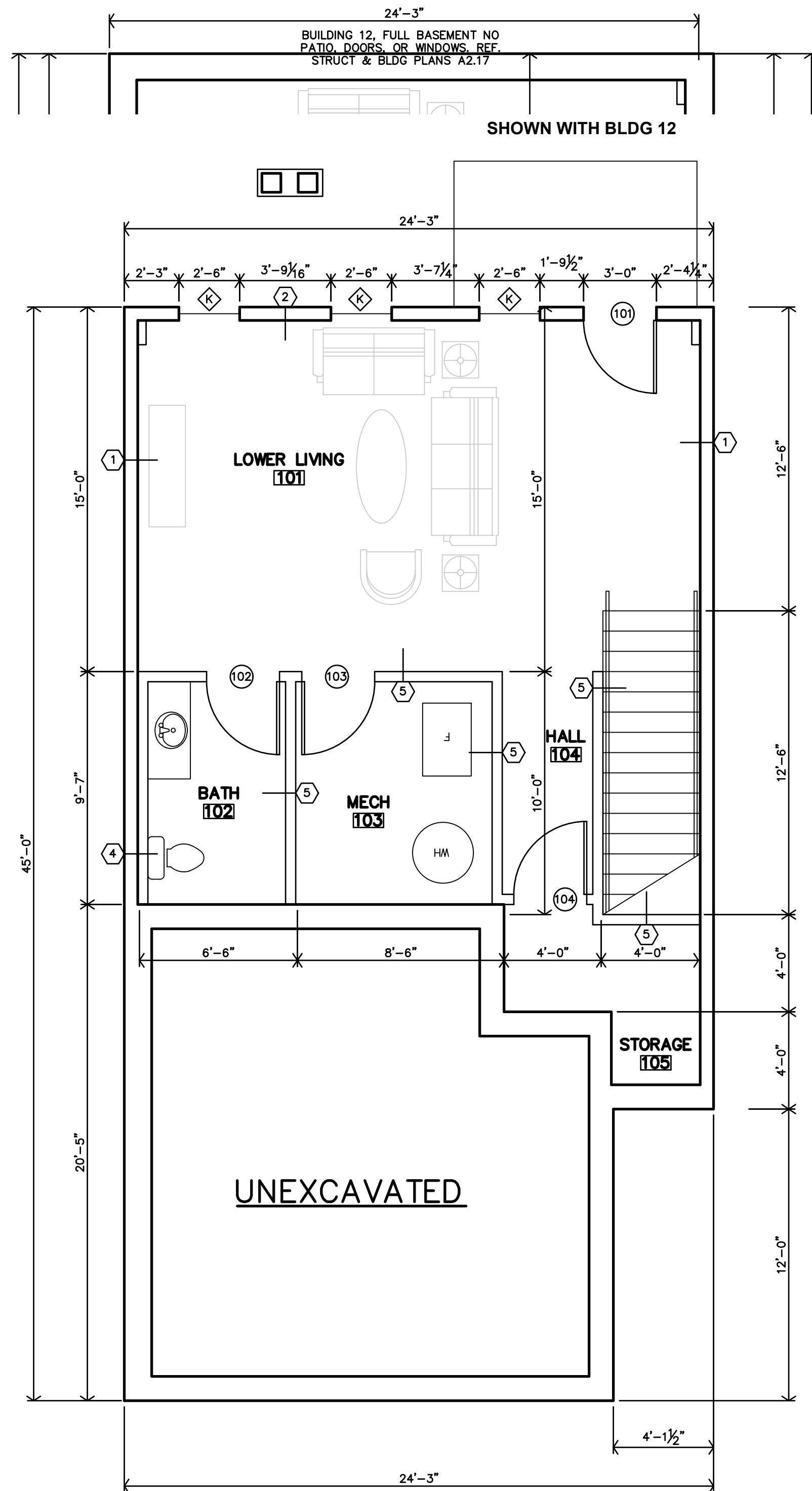
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KITCHEN ISLAND ELEVATION
3/8"=1'-0"



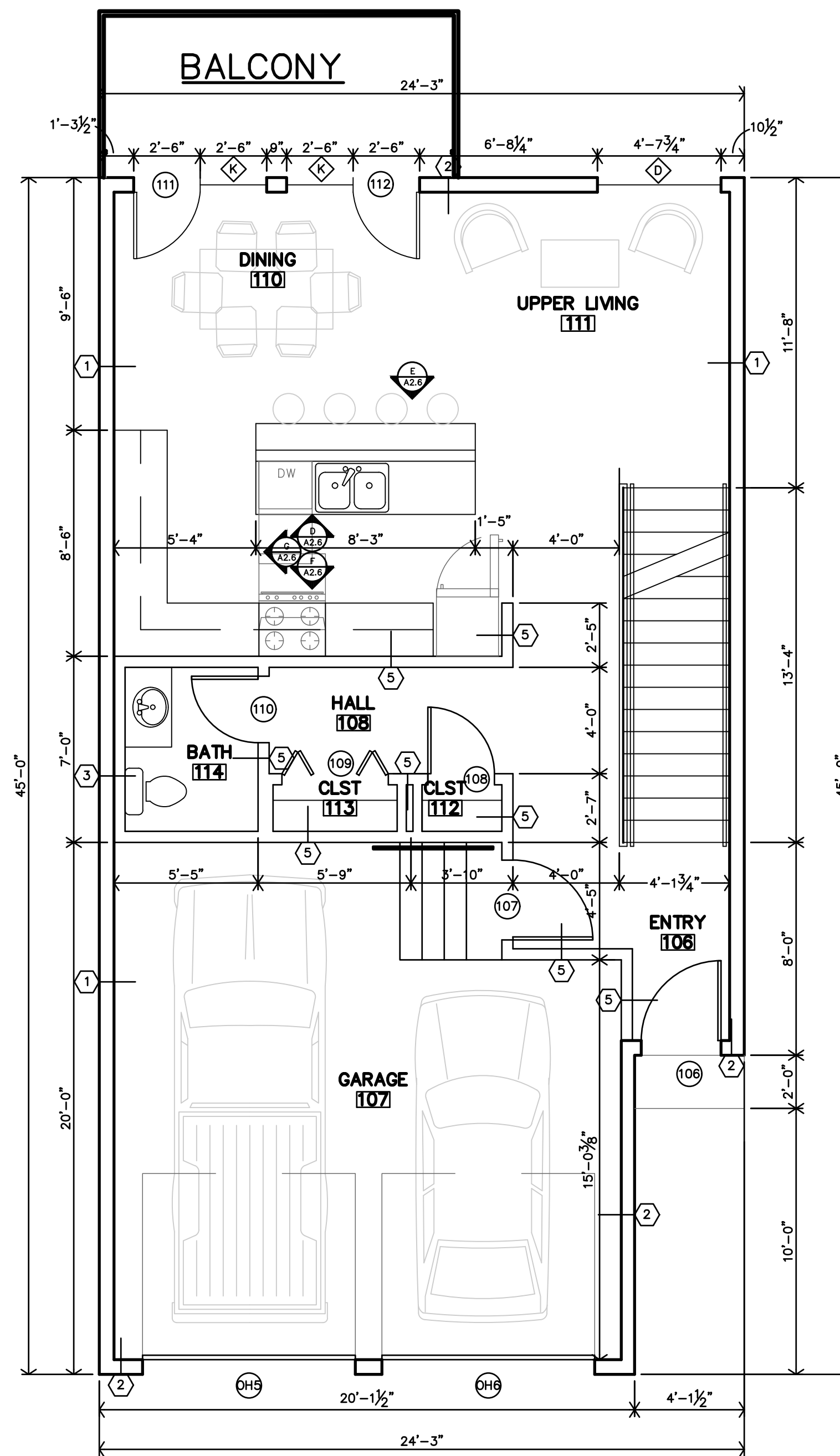
F TYPE P UNITS
KITCHEN ELEVATION
3/8"=1'-0"



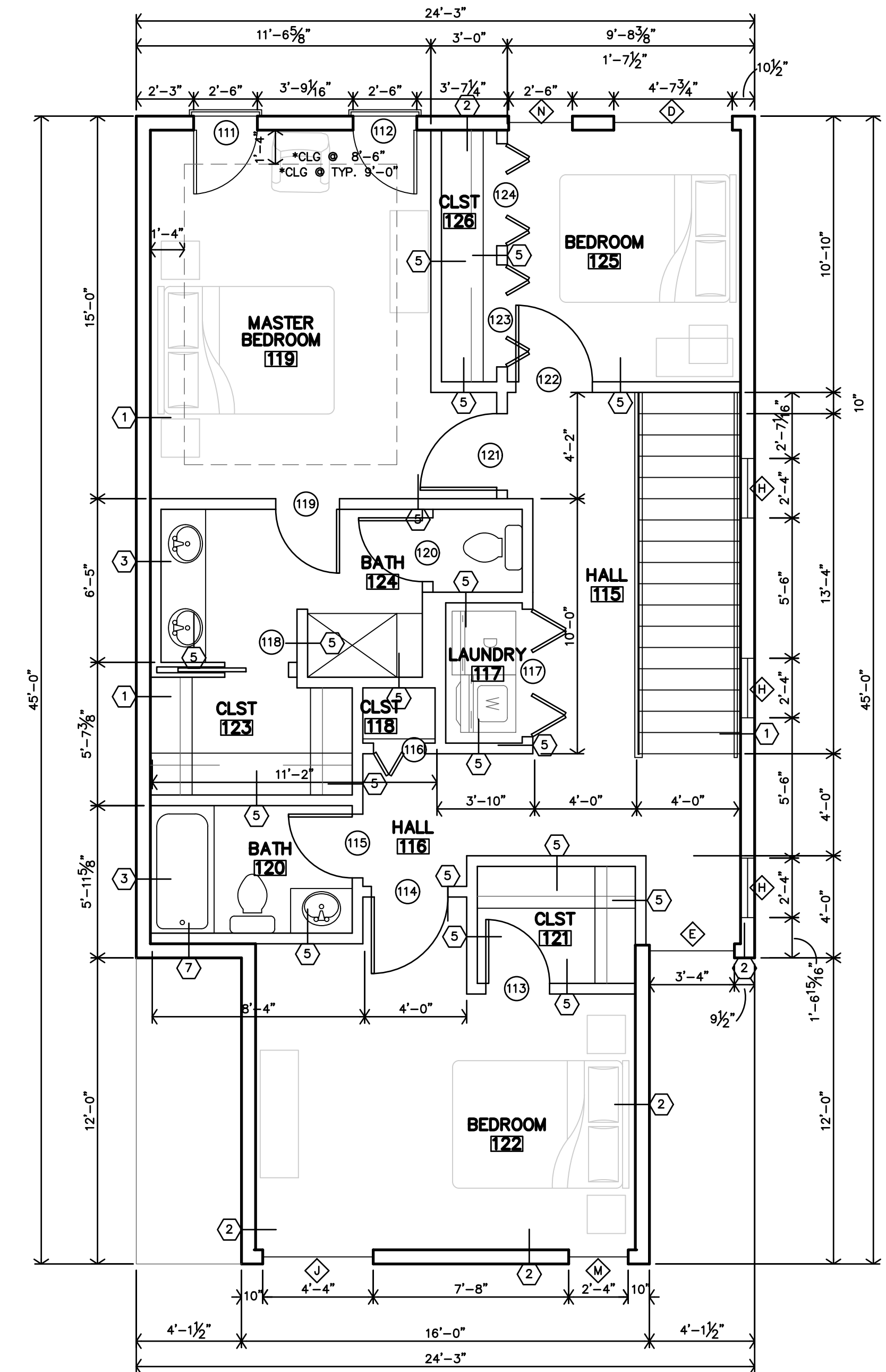
G TYPE P UNITS
KITCHEN ELEVATION
3/8"=1'-0"



C PARKSIDE-3B
3 BEDROOM
FIRST FLOOR PLAN
1/8"=1'-0" Garage-Mech.-Stor. 724sf/Circ. 90sf



B PARKSIDE-3B
3 BEDROOM
SECOND FLOOR PLAN
1/8"=1'-0" 814sf



A PARKSIDE-3B
3 BEDROOM
THIRD FLOOR PLAN
1/8"=1'-0" 814sf

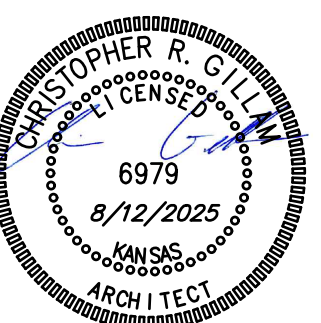
PARKSIDE UNITS

REVISION:
DATE: 8-12-2025
JOB: 25-3090
SHEET NO.:

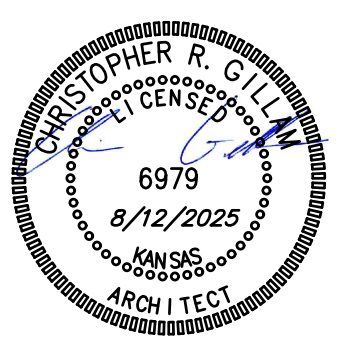
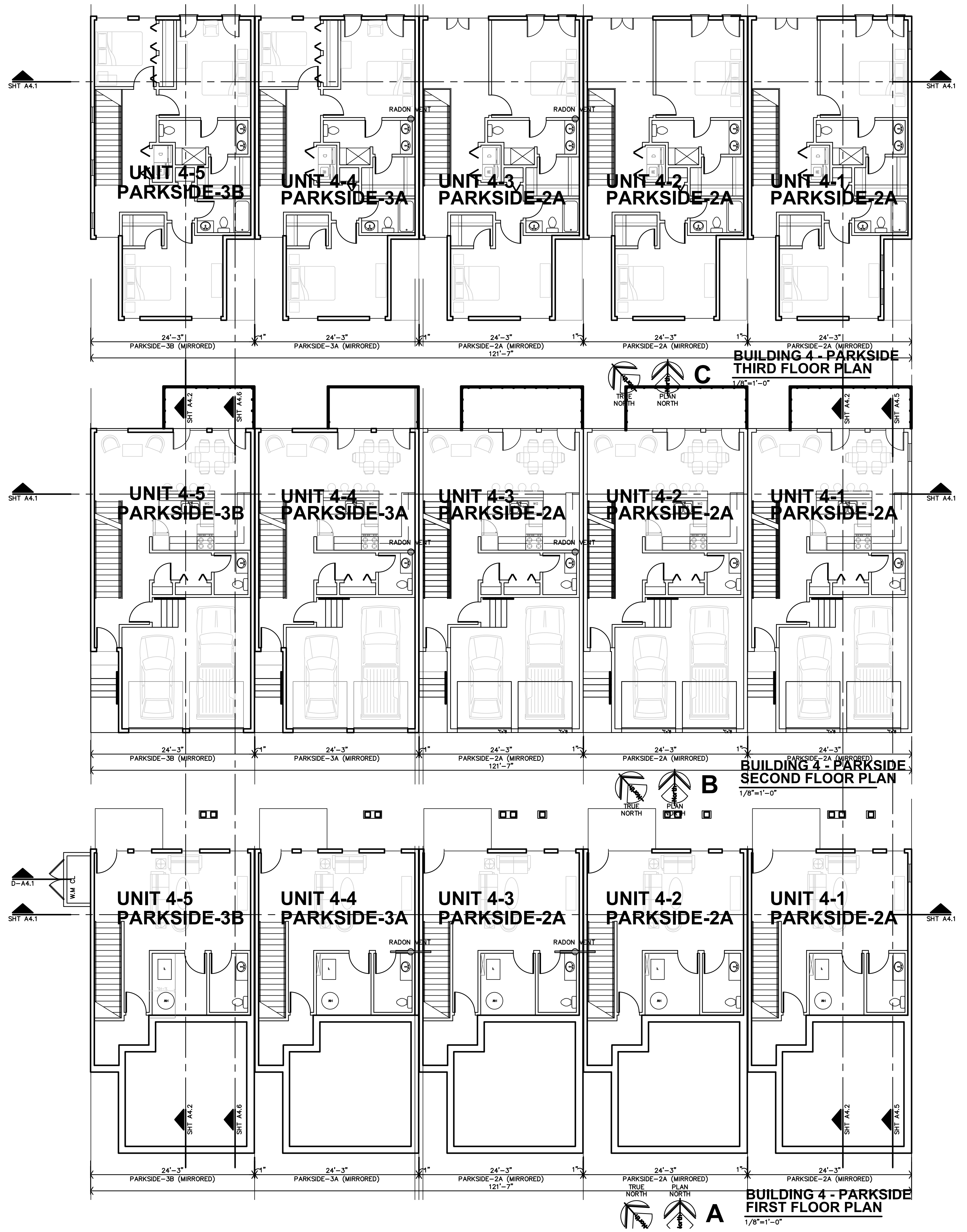
A2.7

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA,
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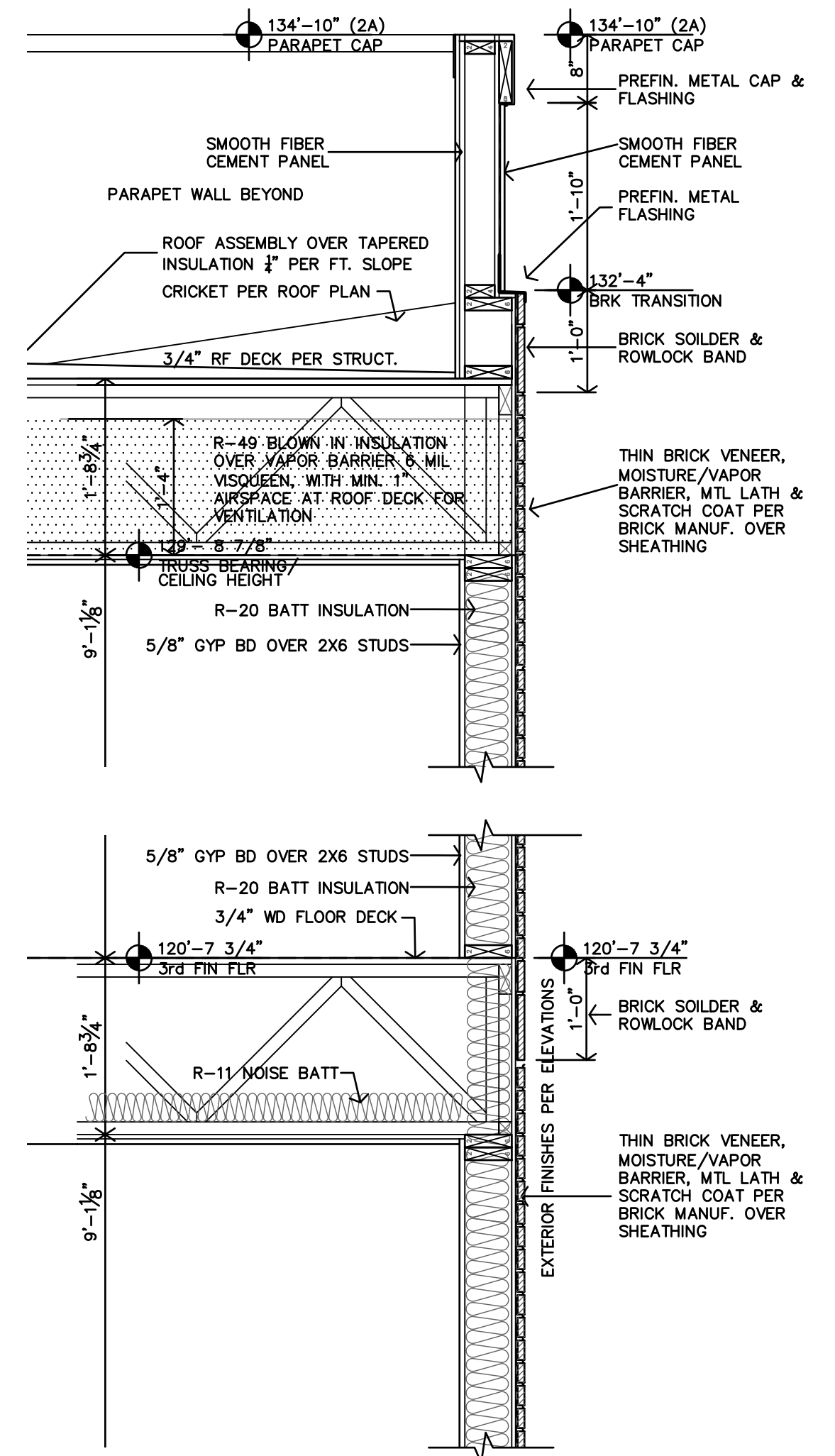
PARKSIDE UNITS

REVISION:	
DATE:	8-12-2025
JOB:	25-3090
SHEET NO.:	

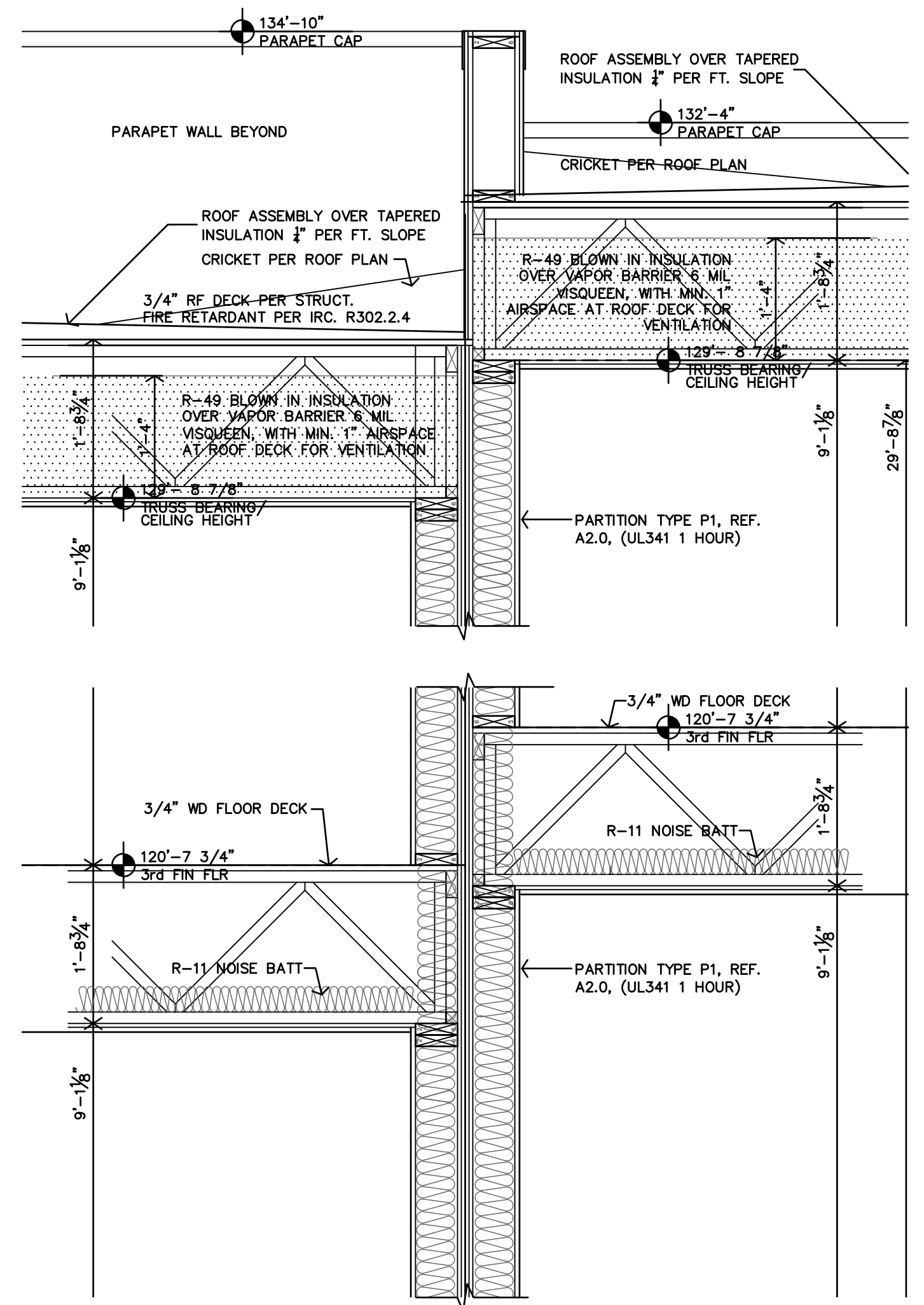
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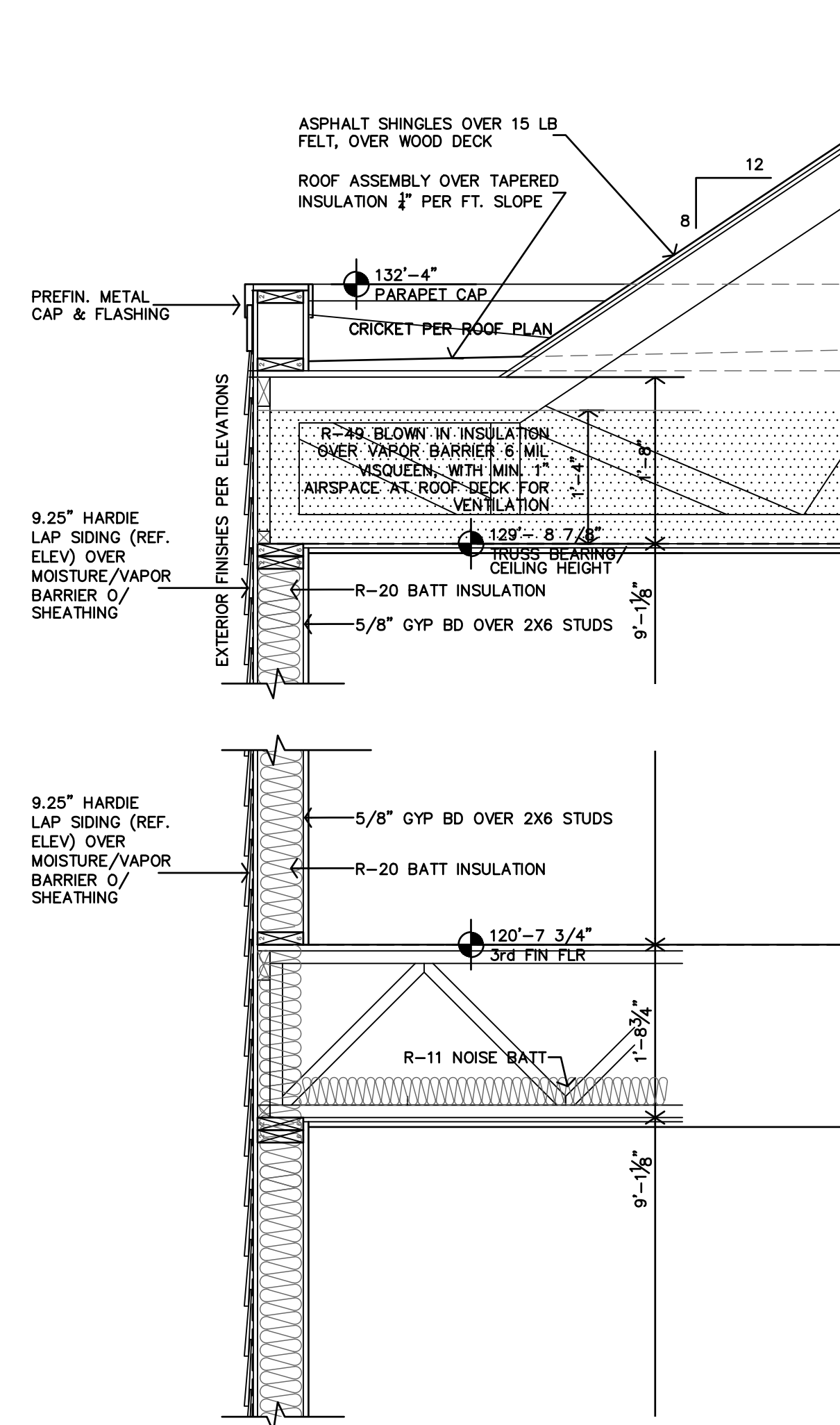
PARKSIDE UNITS



A P4 - 2A (MIRRORED) WALL SECT. @ END
 3/4\"=1'-0\"

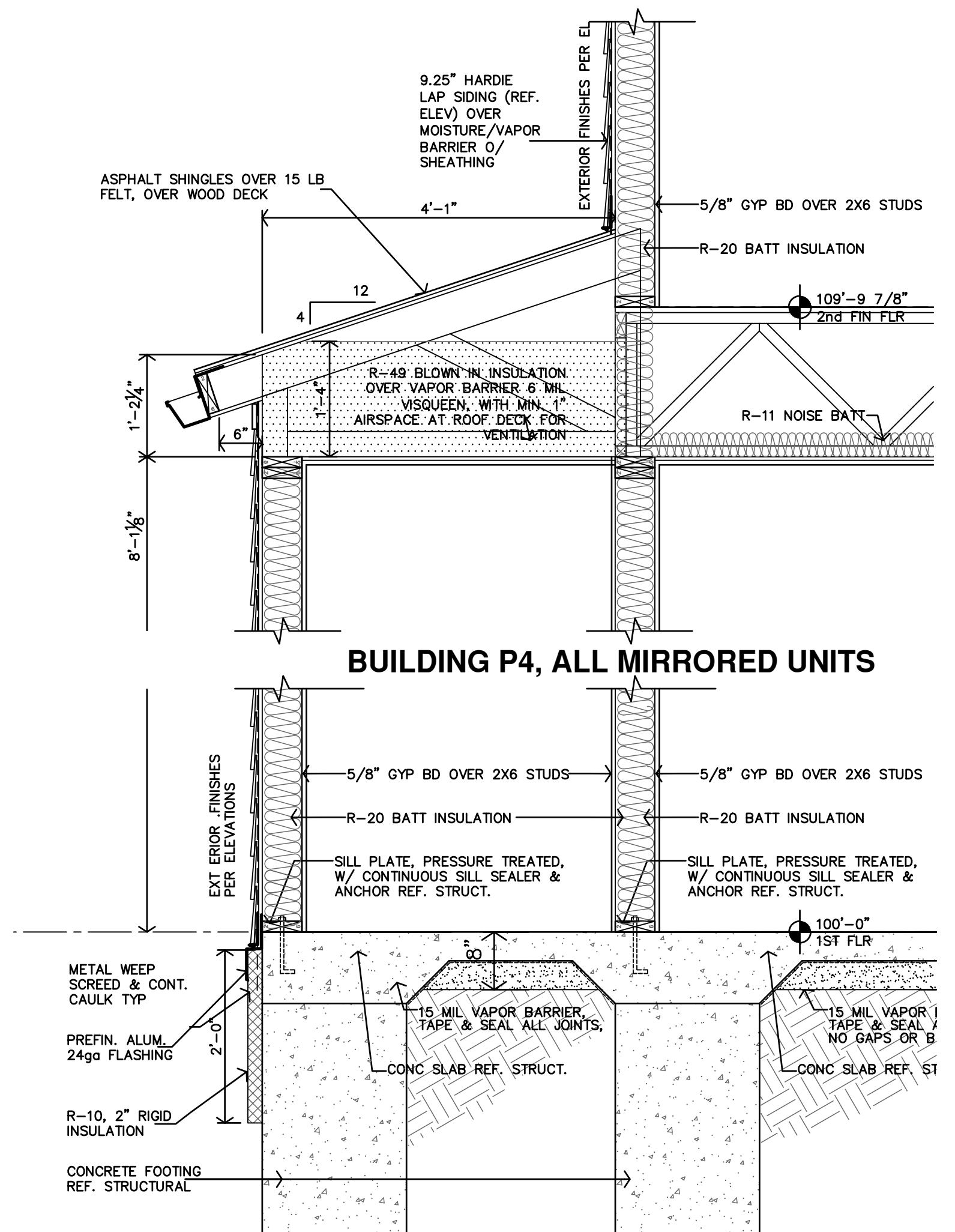
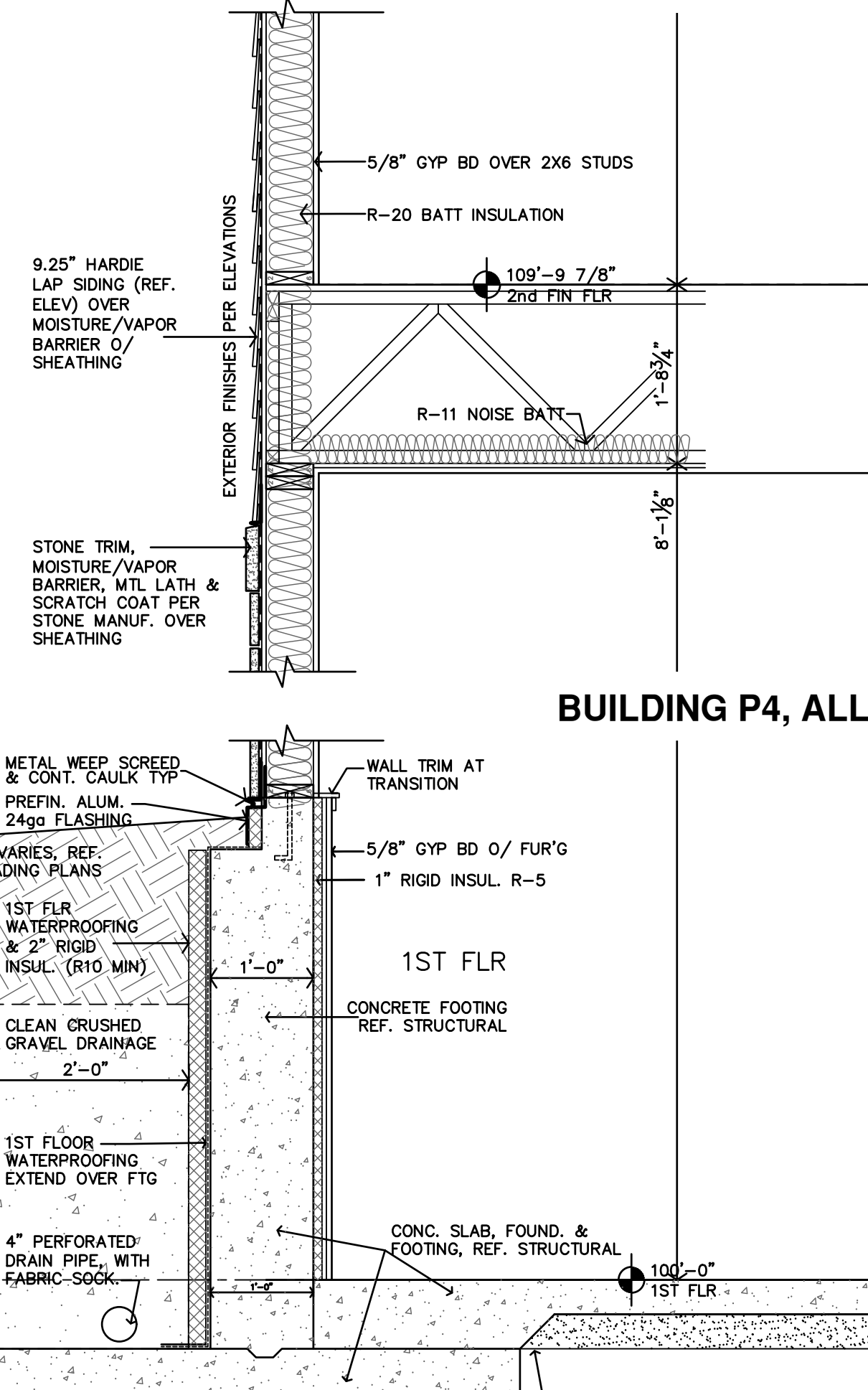
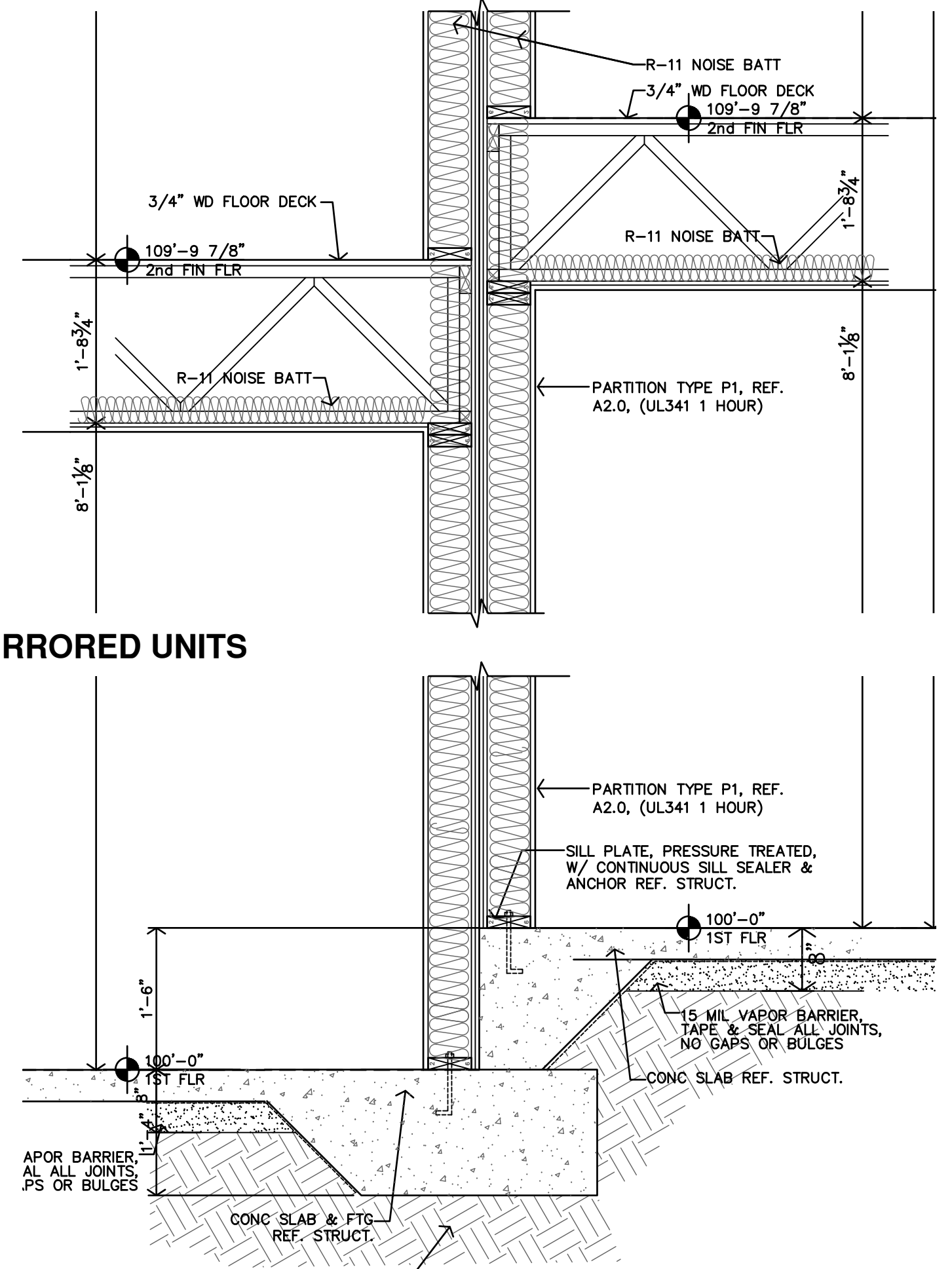
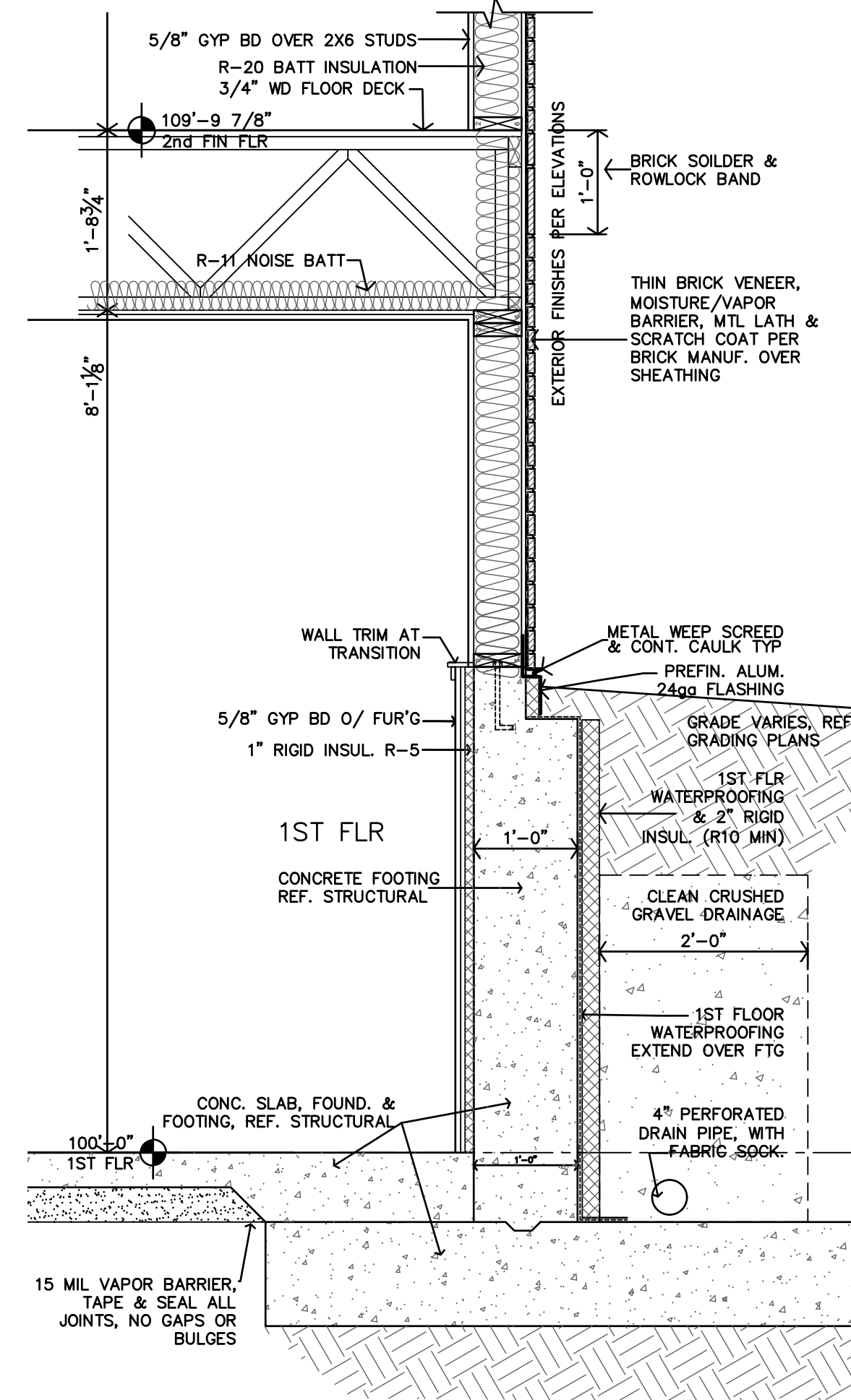


B P4 - 2A/2A (MIRRORED) WALL SECT. @ 1'-6\" STEP
 3/4\"=1'-0\"

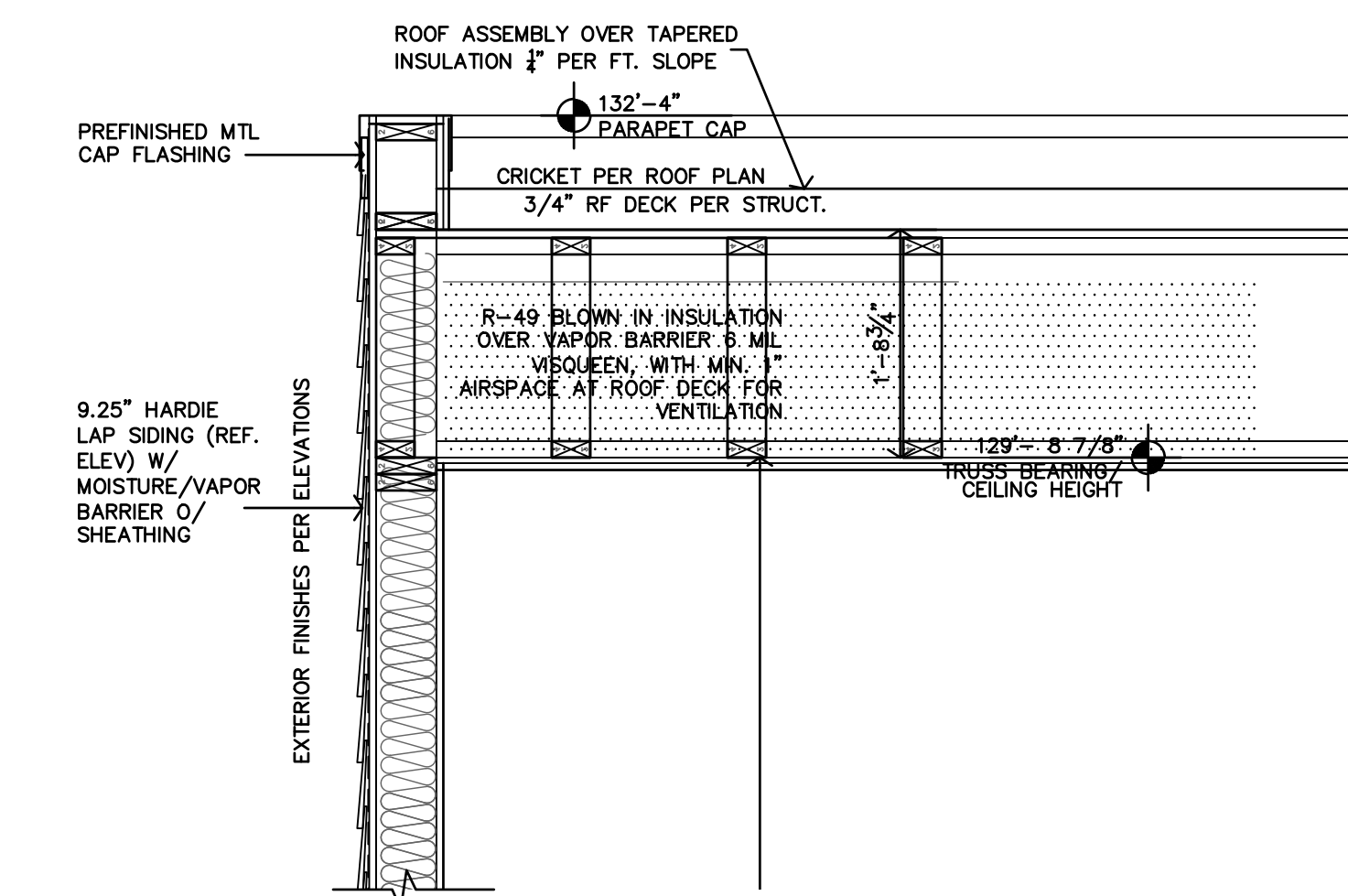


C P4 - 3B (MIRRORED) WALL SECT. @ END
 3/4\"=1'-0\"

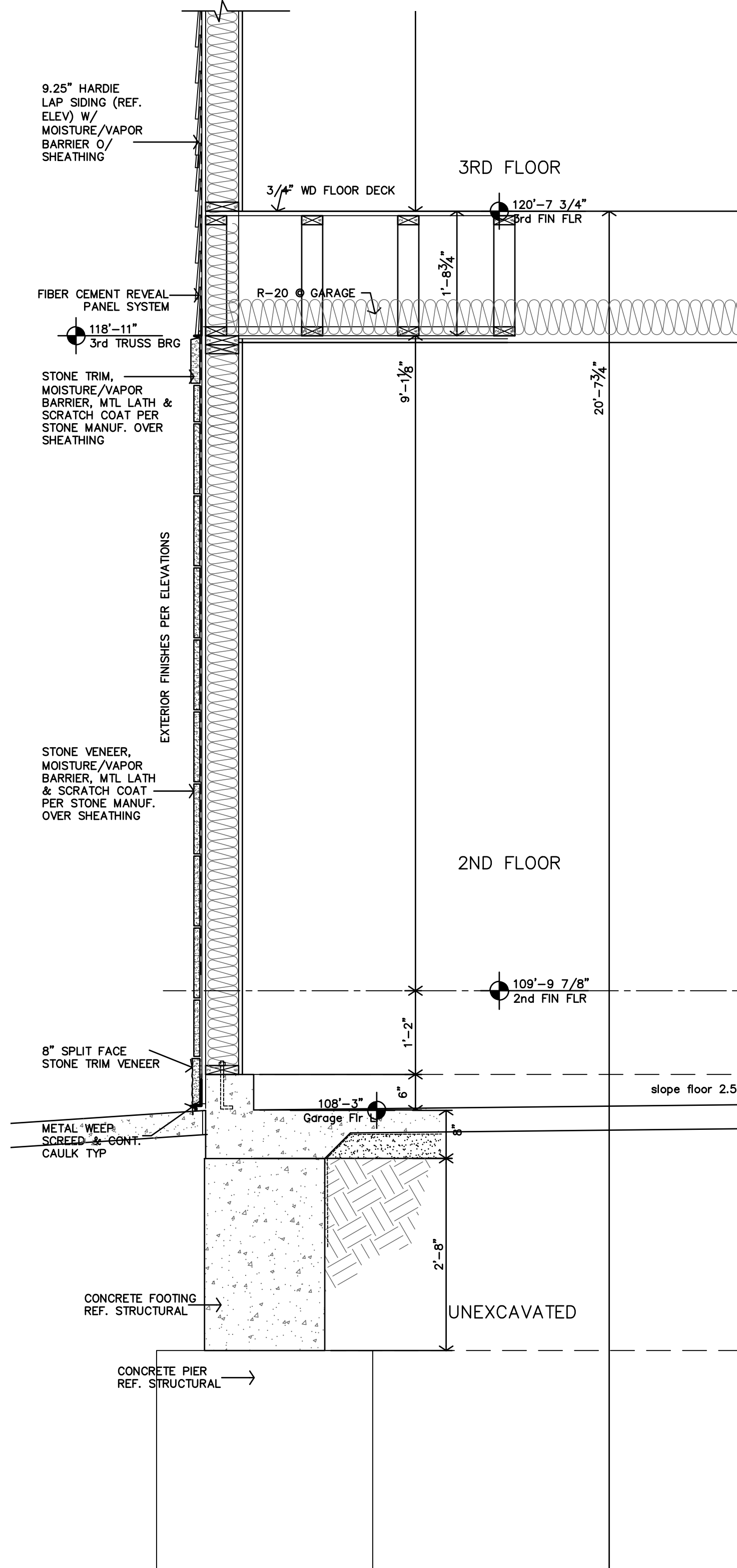
BUILDING P4, ALL MIRRORED UNITS



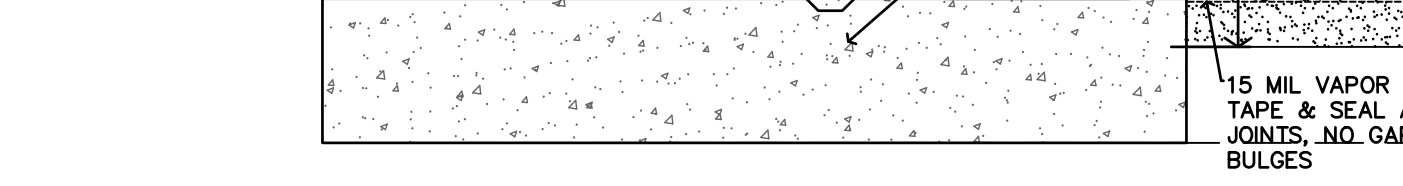
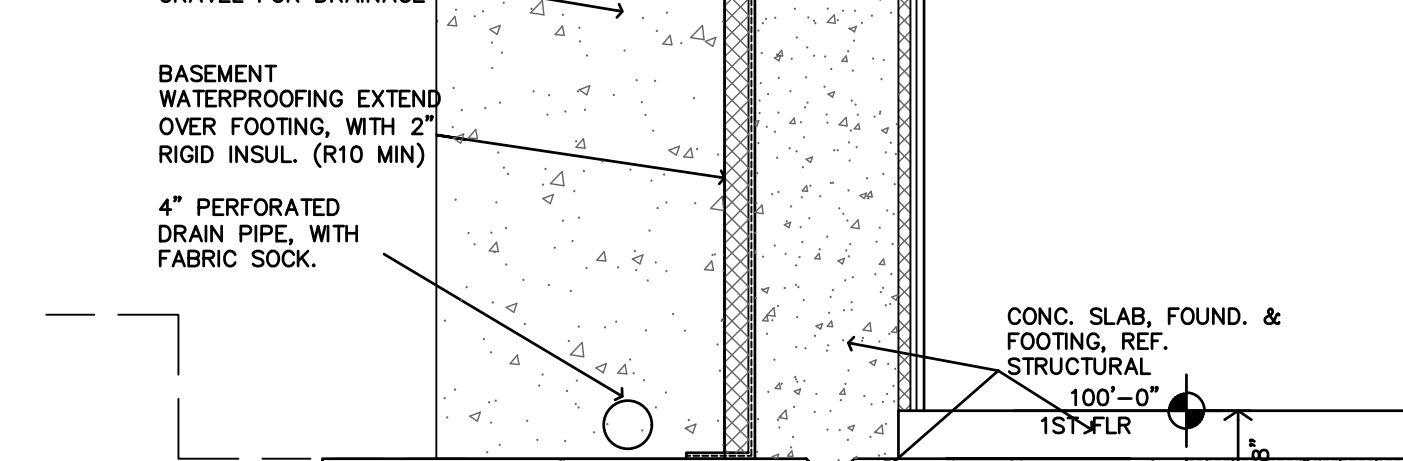
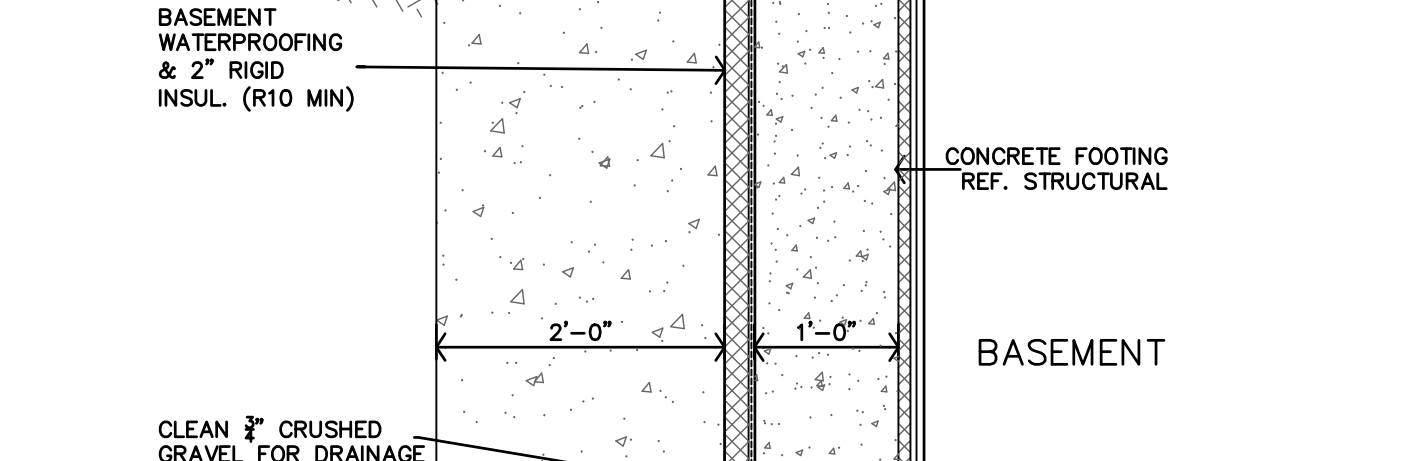
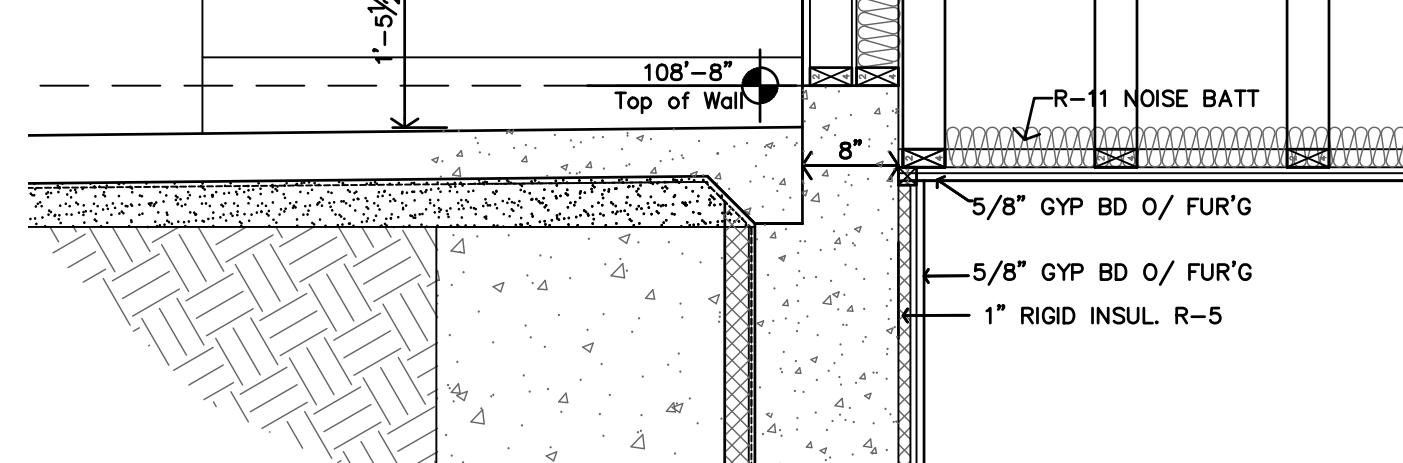
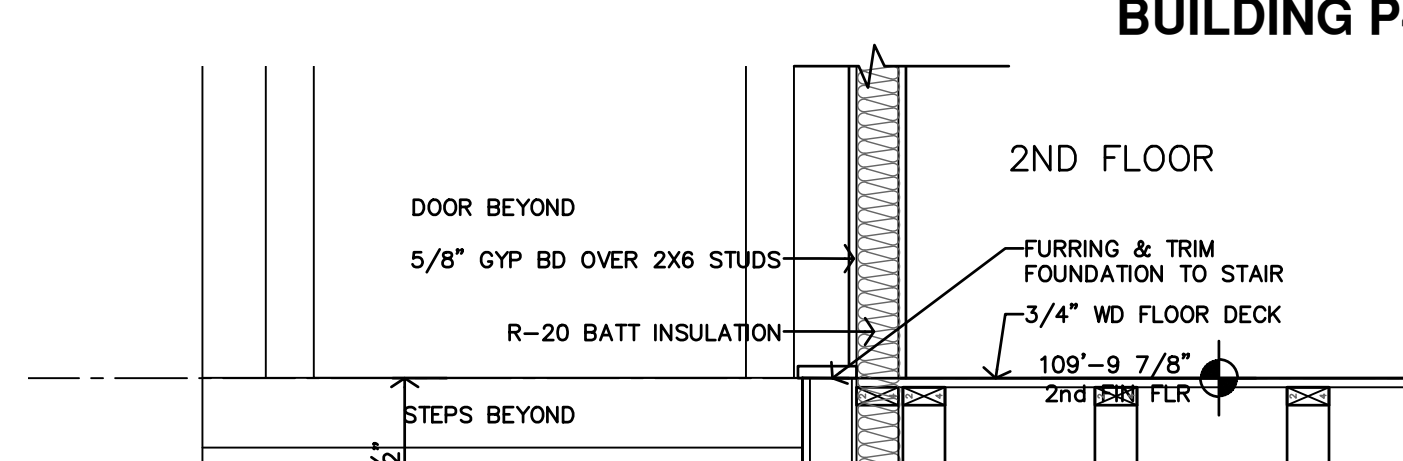
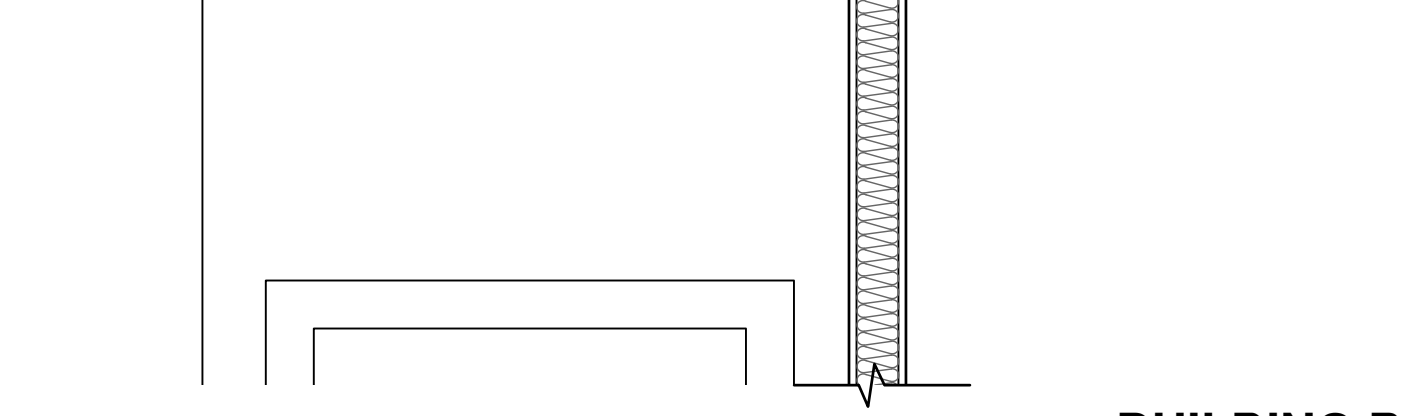
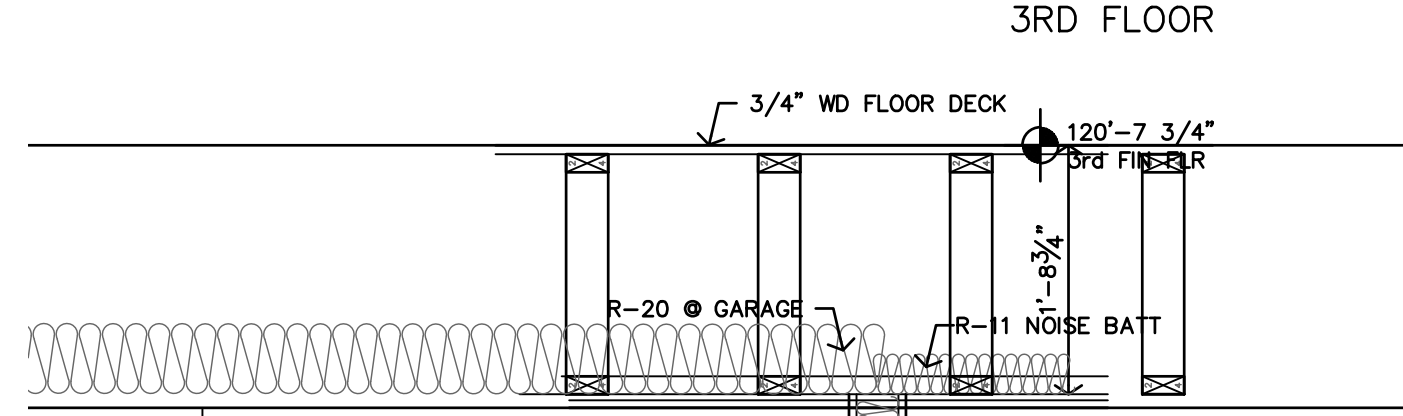
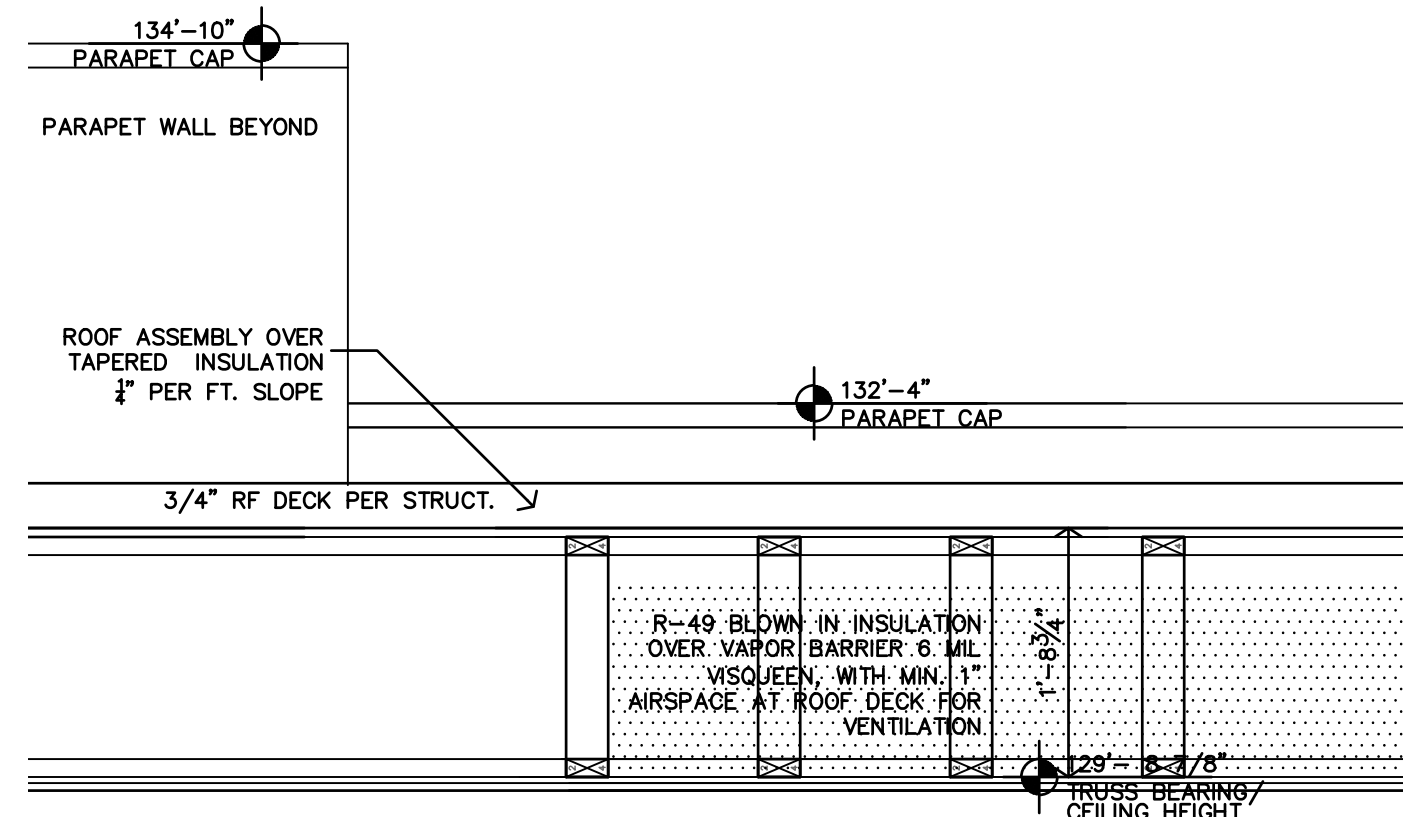
D P4 - 3B (MIRRORED) WALL SECT. @ MECH CL
 3/4\"=1'-0\"



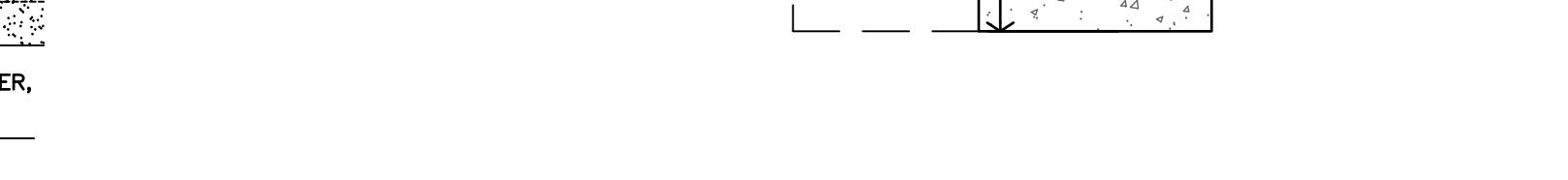
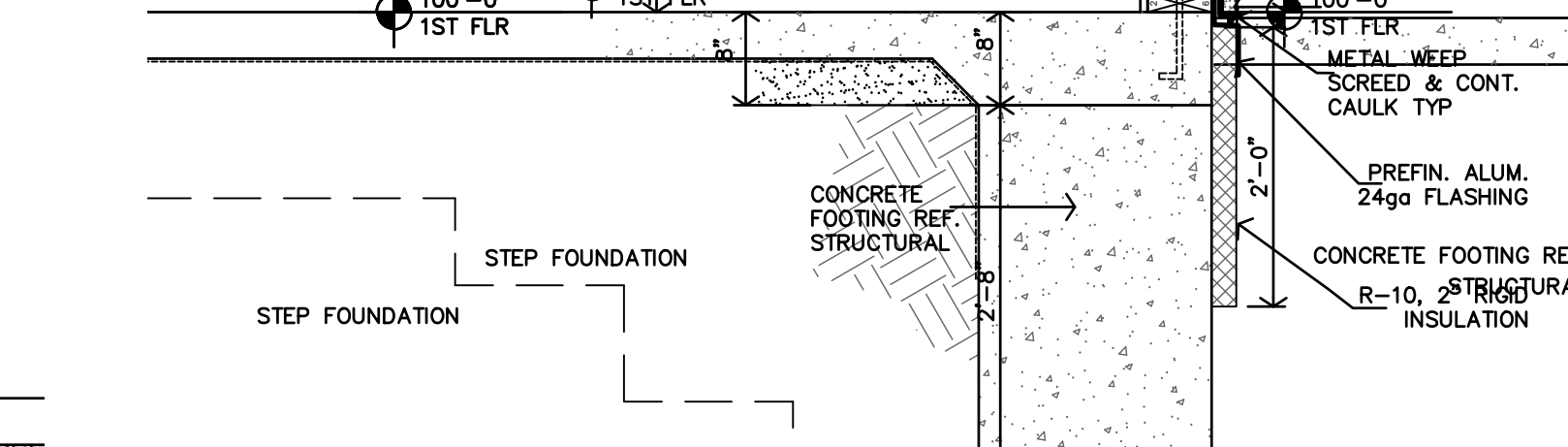
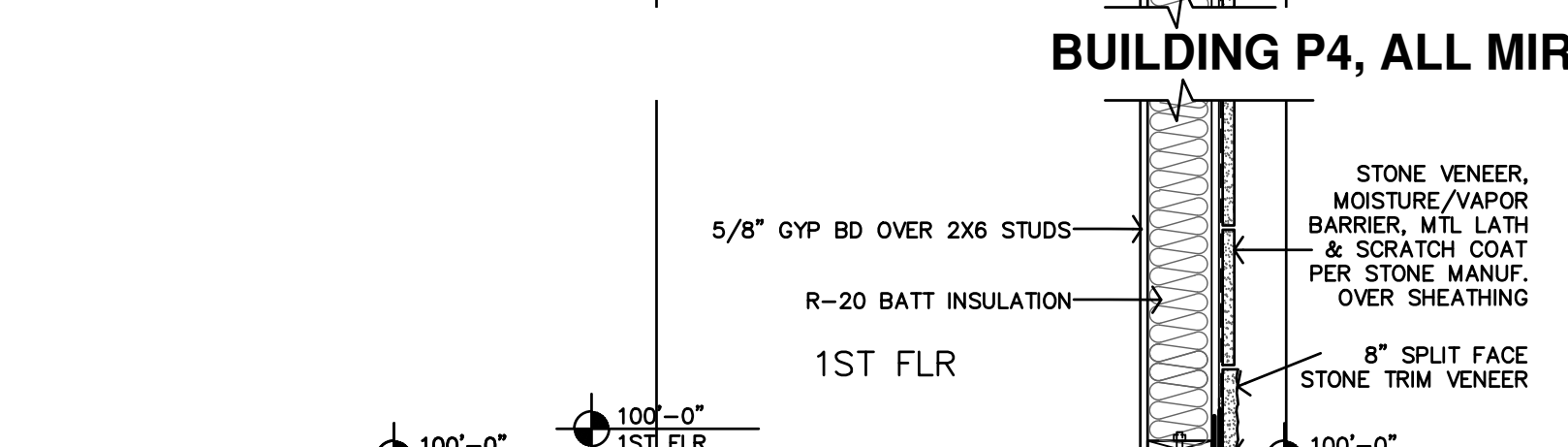
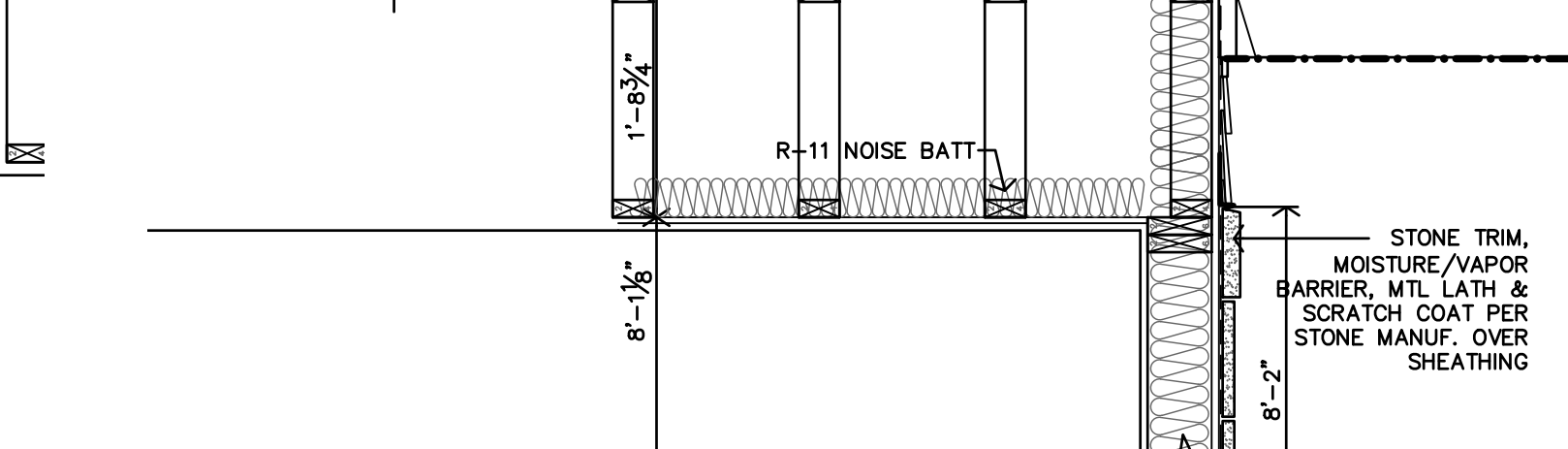
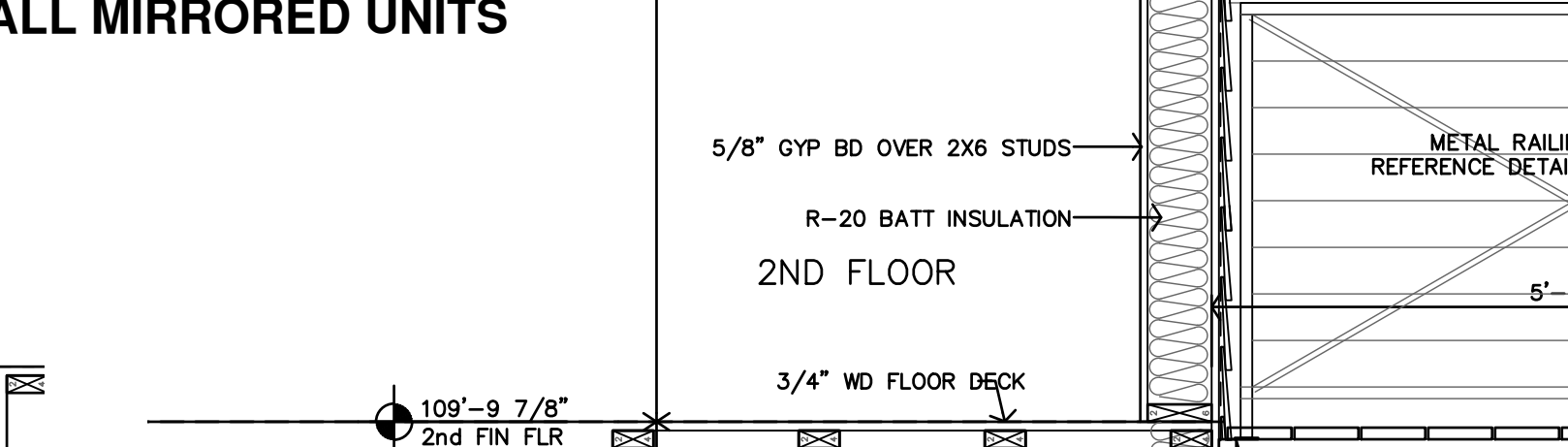
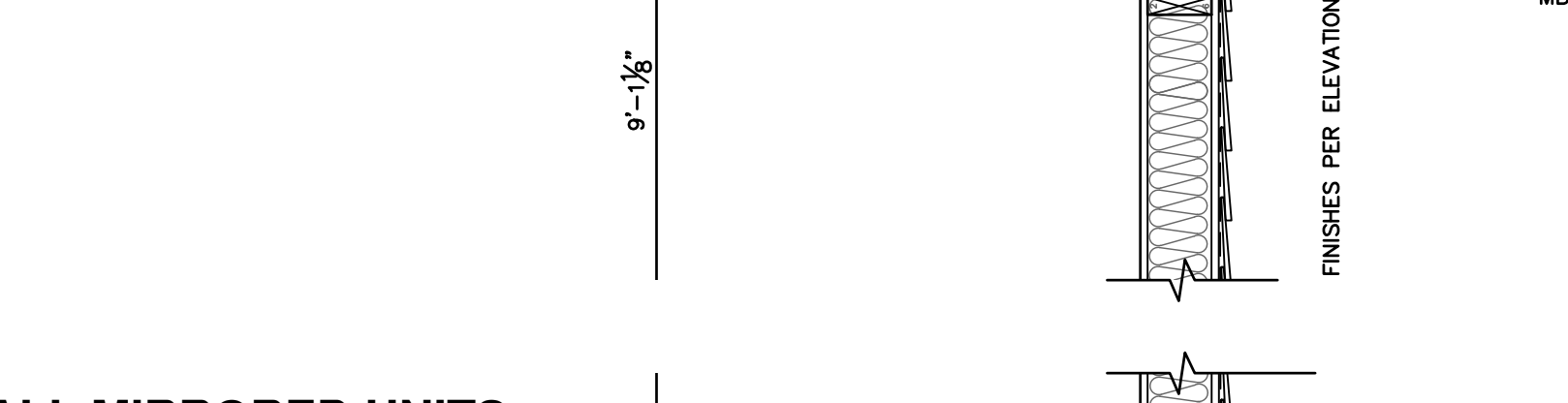
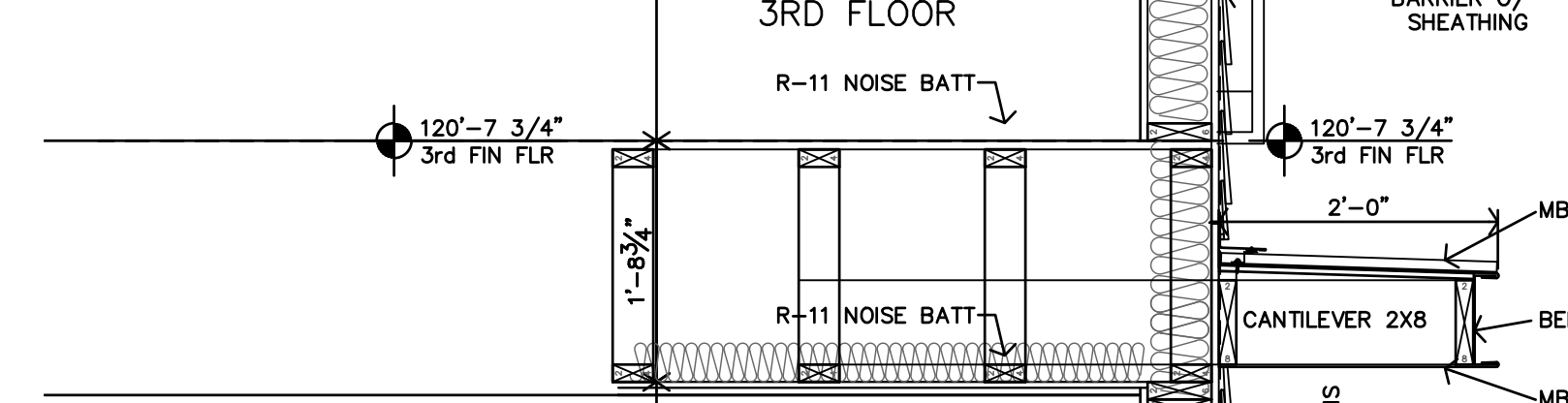
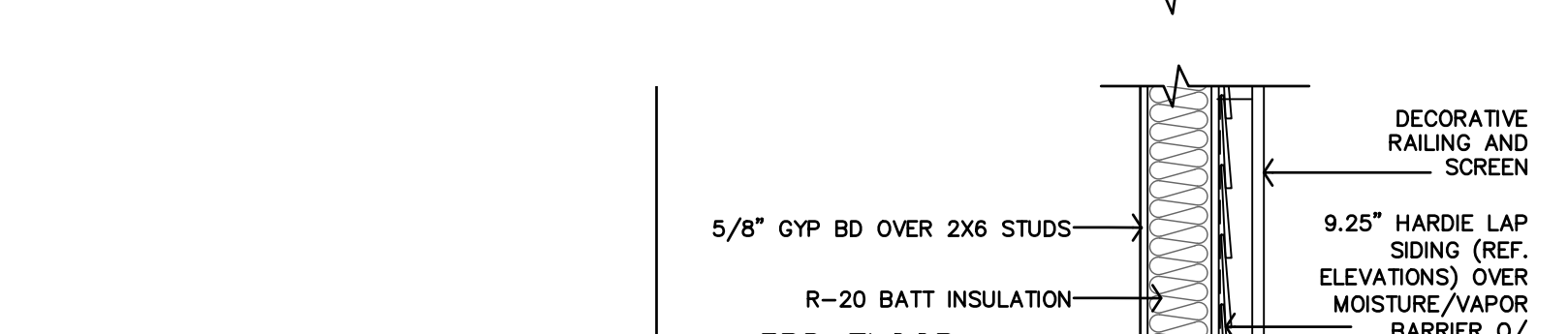
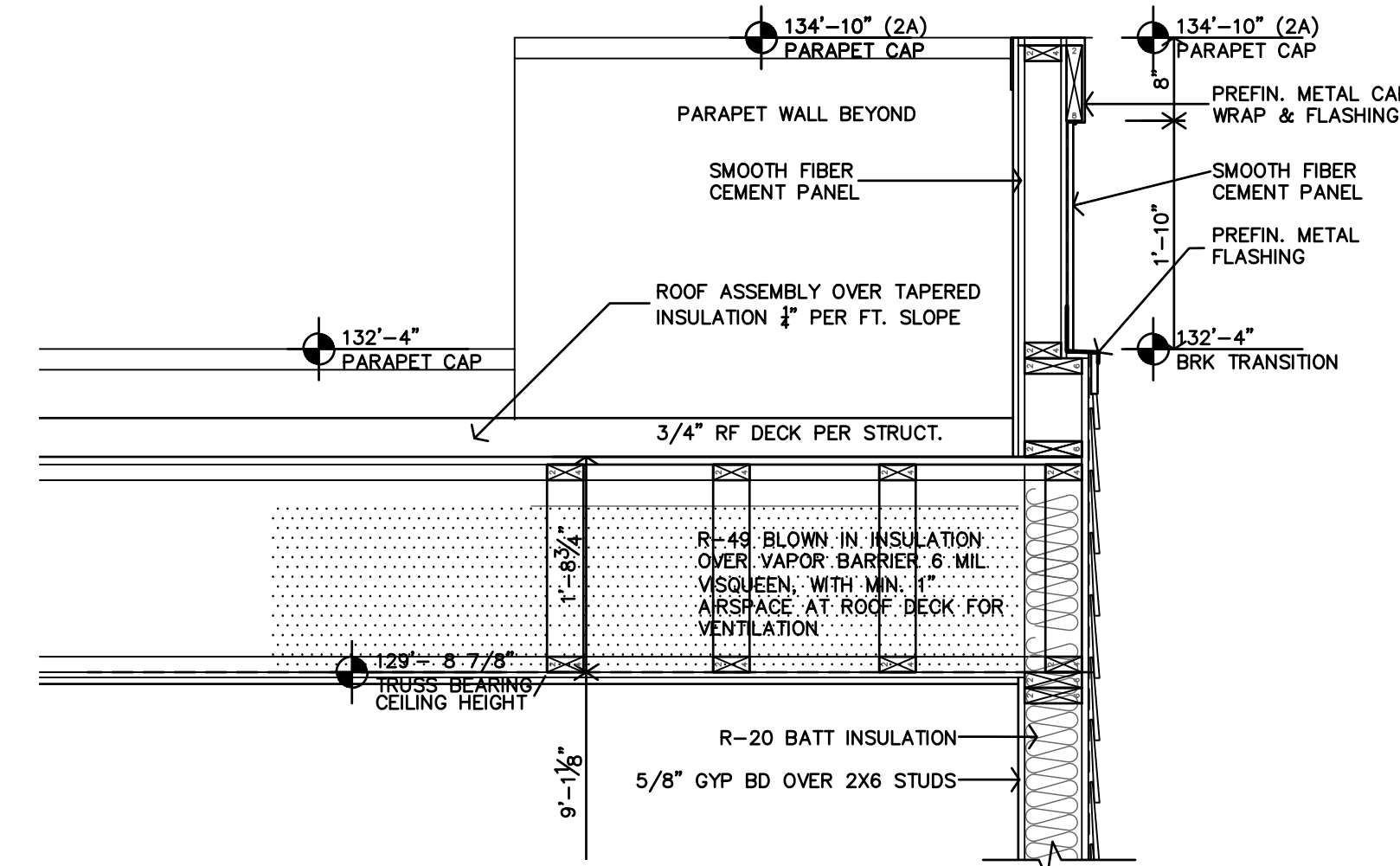
BUILDING P4, ALL MIRRORED UNITS



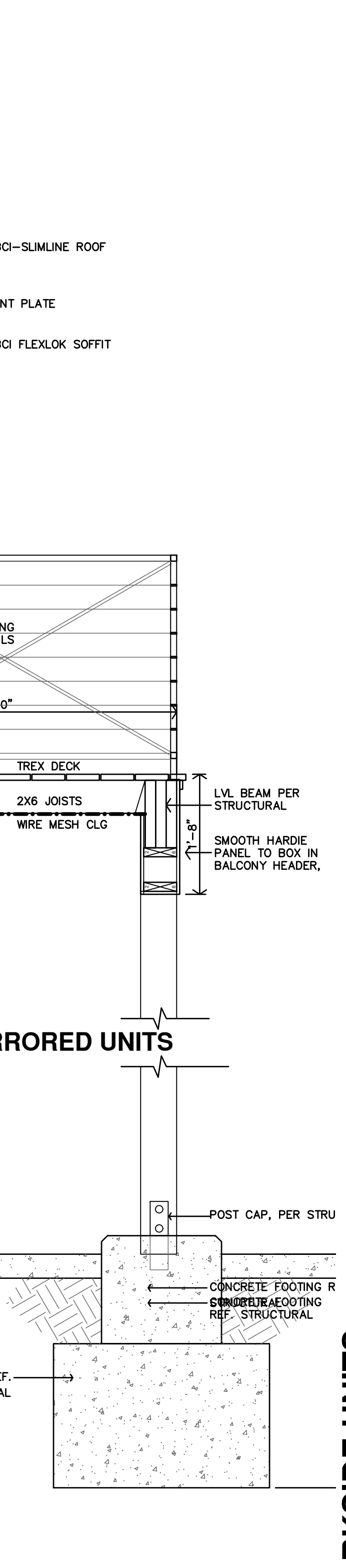
C P4 - 3B (MIRRORED) WALL SECT. @ GARAGE
3/4"=1'-0"



B P4 - 2A (MIRRORED) WALL SECT. @ BASEMENT
3/4"=1'-0"



A P4 - 2A (MIRRORED) WALL SECT. @ REAR
3/4"=1'-0"

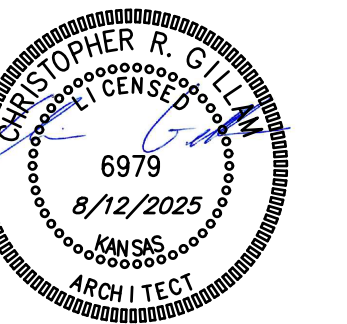


PARKSIDE UNITS

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Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgarchitects.com



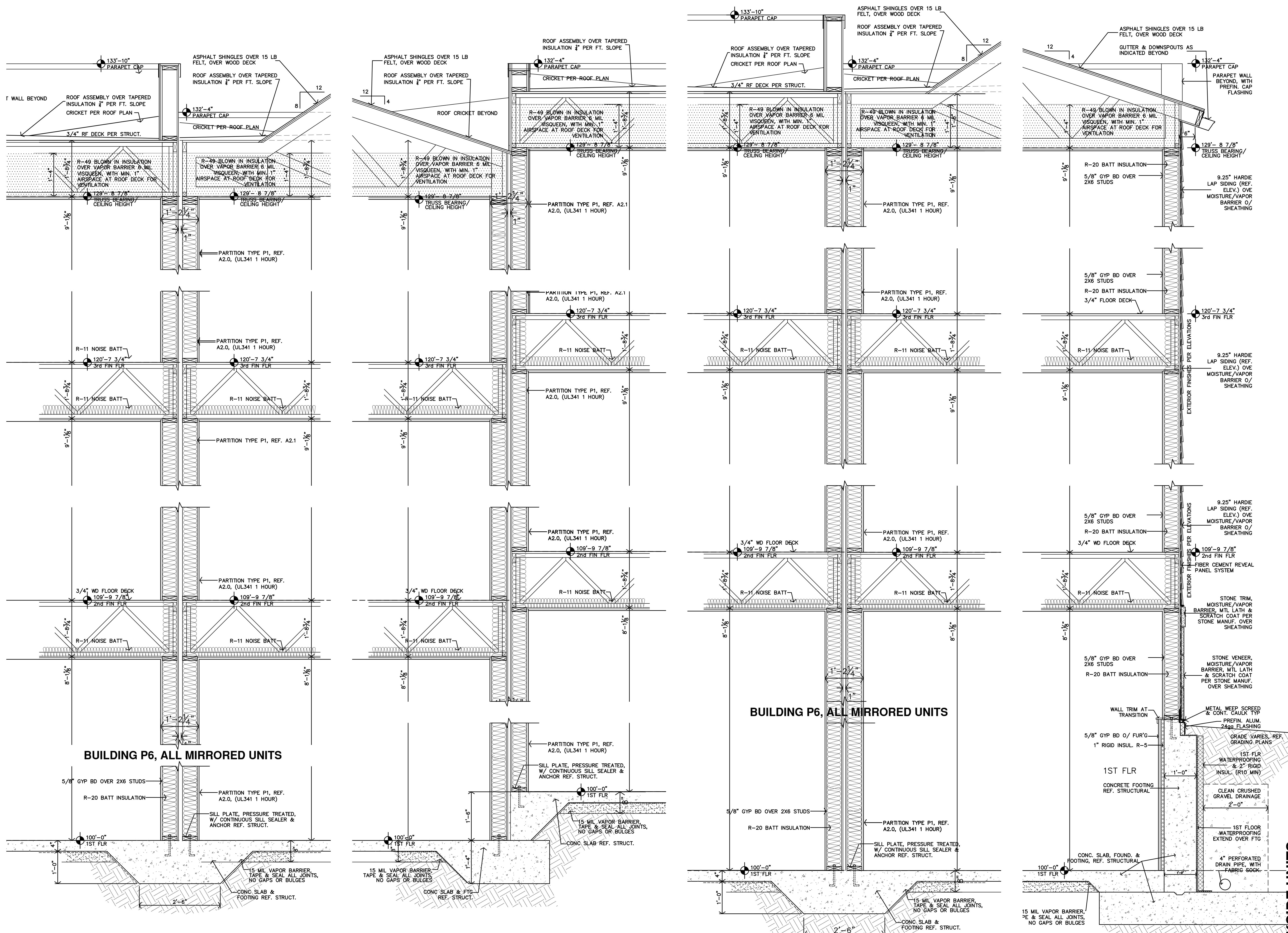
LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS



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JOB: 25-3090
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BUILDING P6, ALL MIRRORED UNITS

BUILDING P6, ALL MIRRORED UNITS

D P6 - 3A/3B (MIRRORED) WALL SECT. @ NO STEP
3/4"=1'-0"

C P6 - 3B/3A (MIRRORED) WALL SECT. @ 1'-6" STEP
3/4"=1'-0"

B P6 - 3A/3B (MIRRORED) WALL SECT. @ NO STEP
3/4"=1'-0"

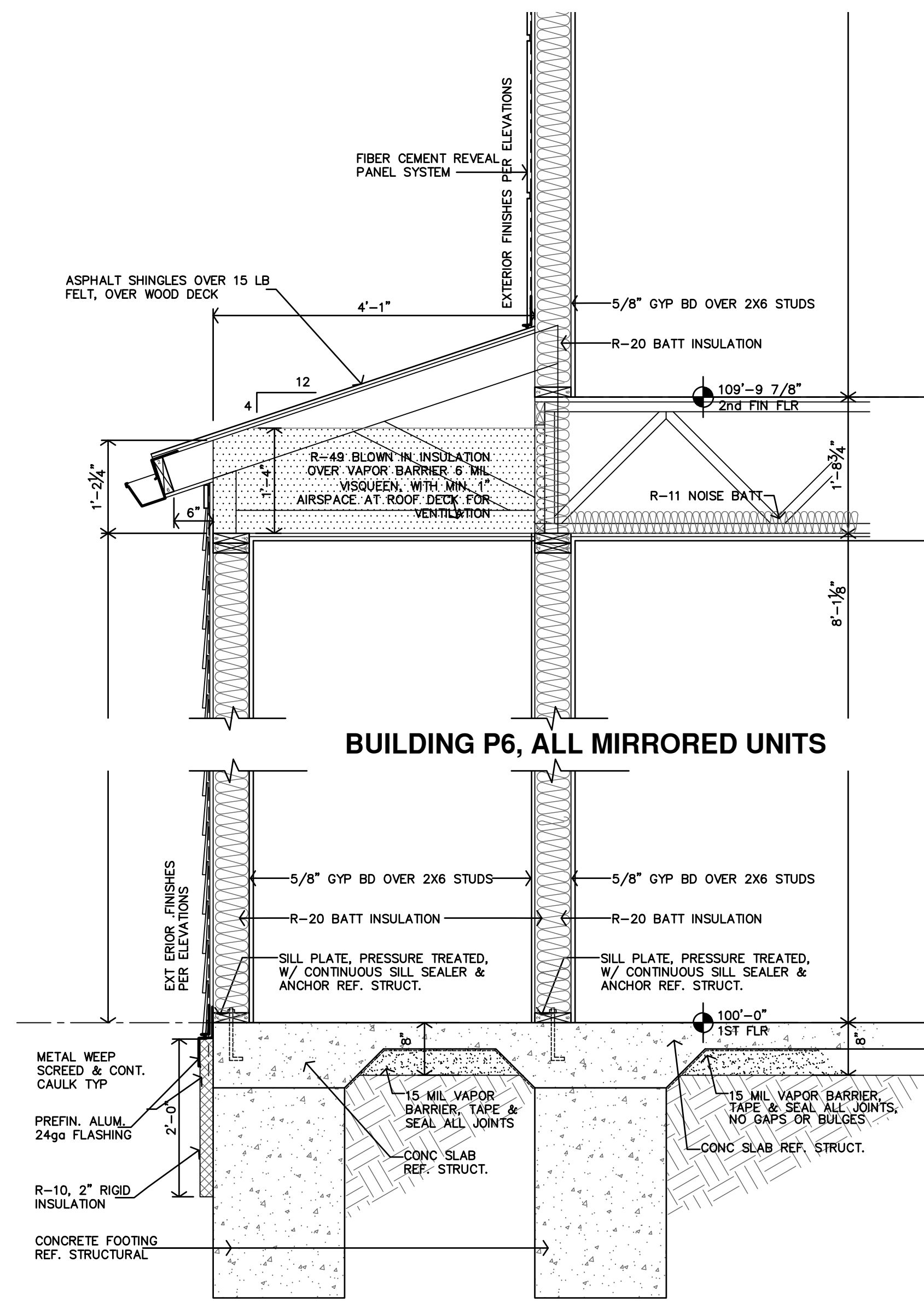
A P6 - 3B (MIRRORED) WALL SECT. @ END
3/4"=1'-0"

PARKSIDE UNITS

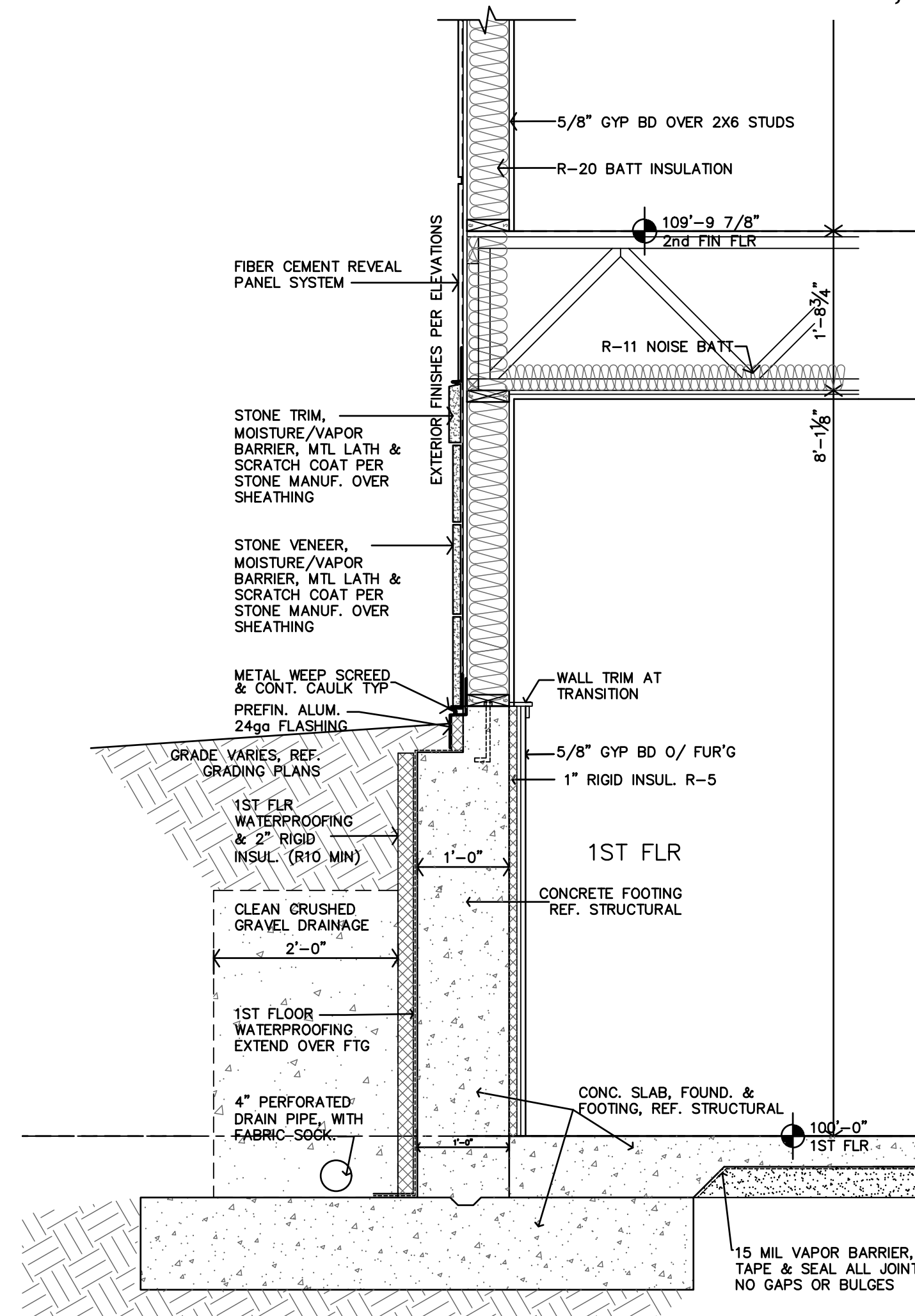


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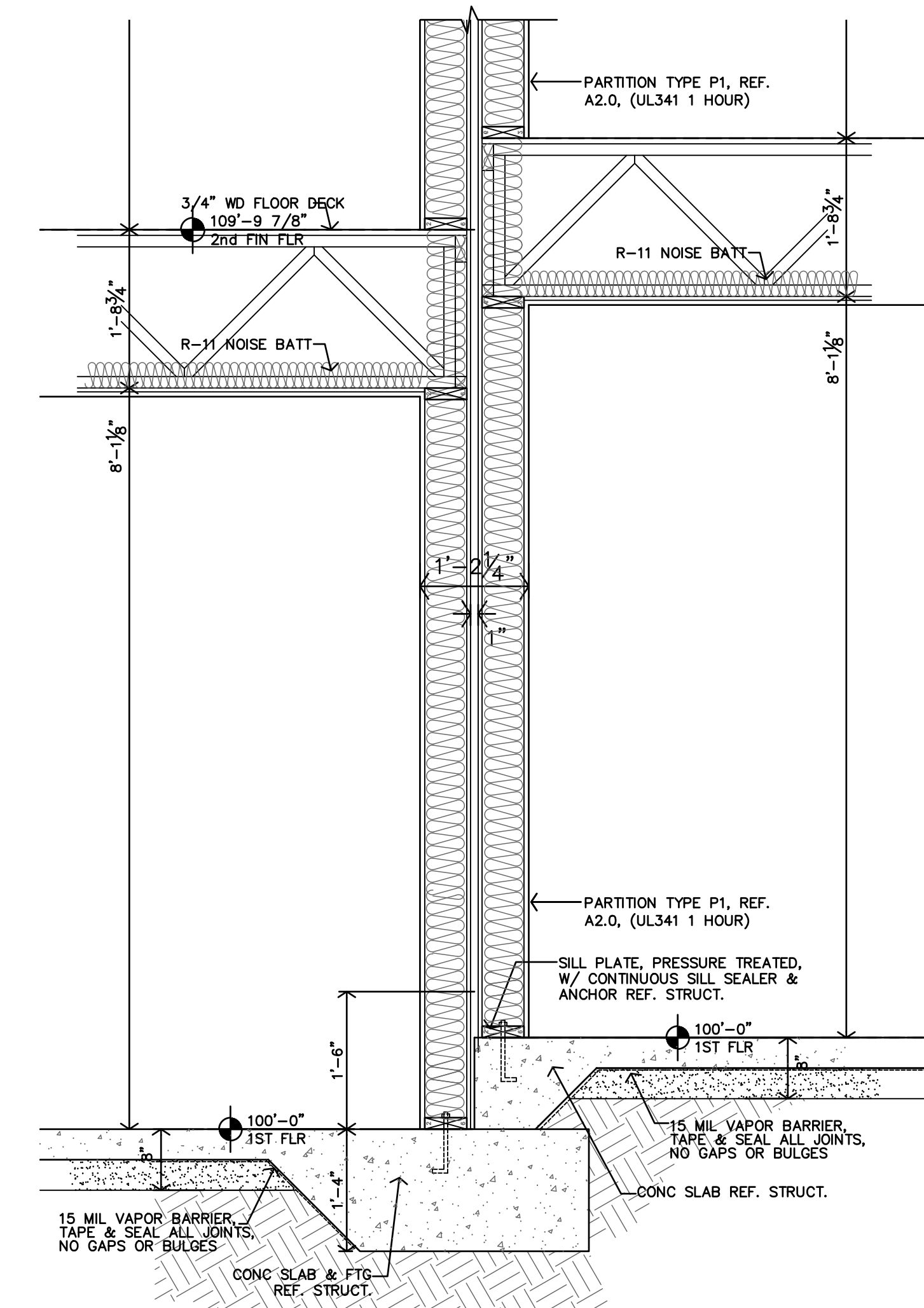
DATE:	8-12-2025
JOB:	25-3090
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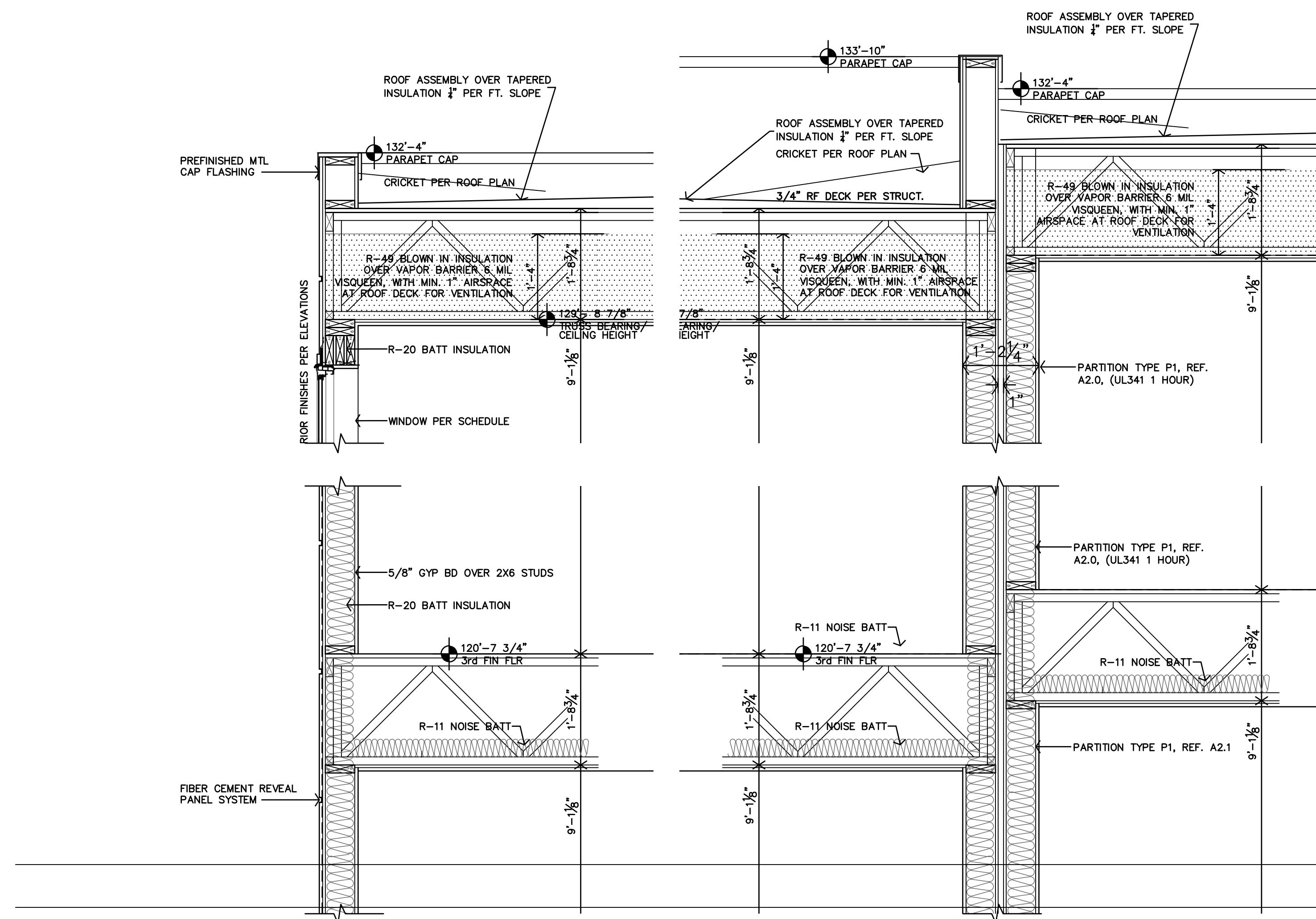
C P6 - 3A (MIRRORED)
WALL SECT. @ MECH CL
3/4"=1'-0"



B P6 - 3A (MIRRORED)
WALL SECT. @ END
3/4"=1'-0"

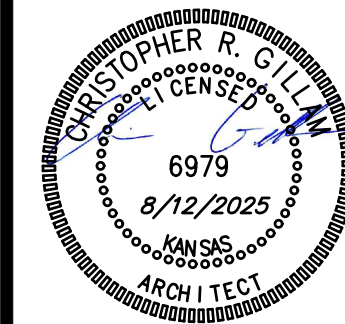


A P6 - 3A/3A (MIRRORED)
WALL SECT. @ 1'-0" STEP
3/4"=1'-0"



BUILDING P6, ALL MIRRORED UNITS

PARKSIDE UNITS



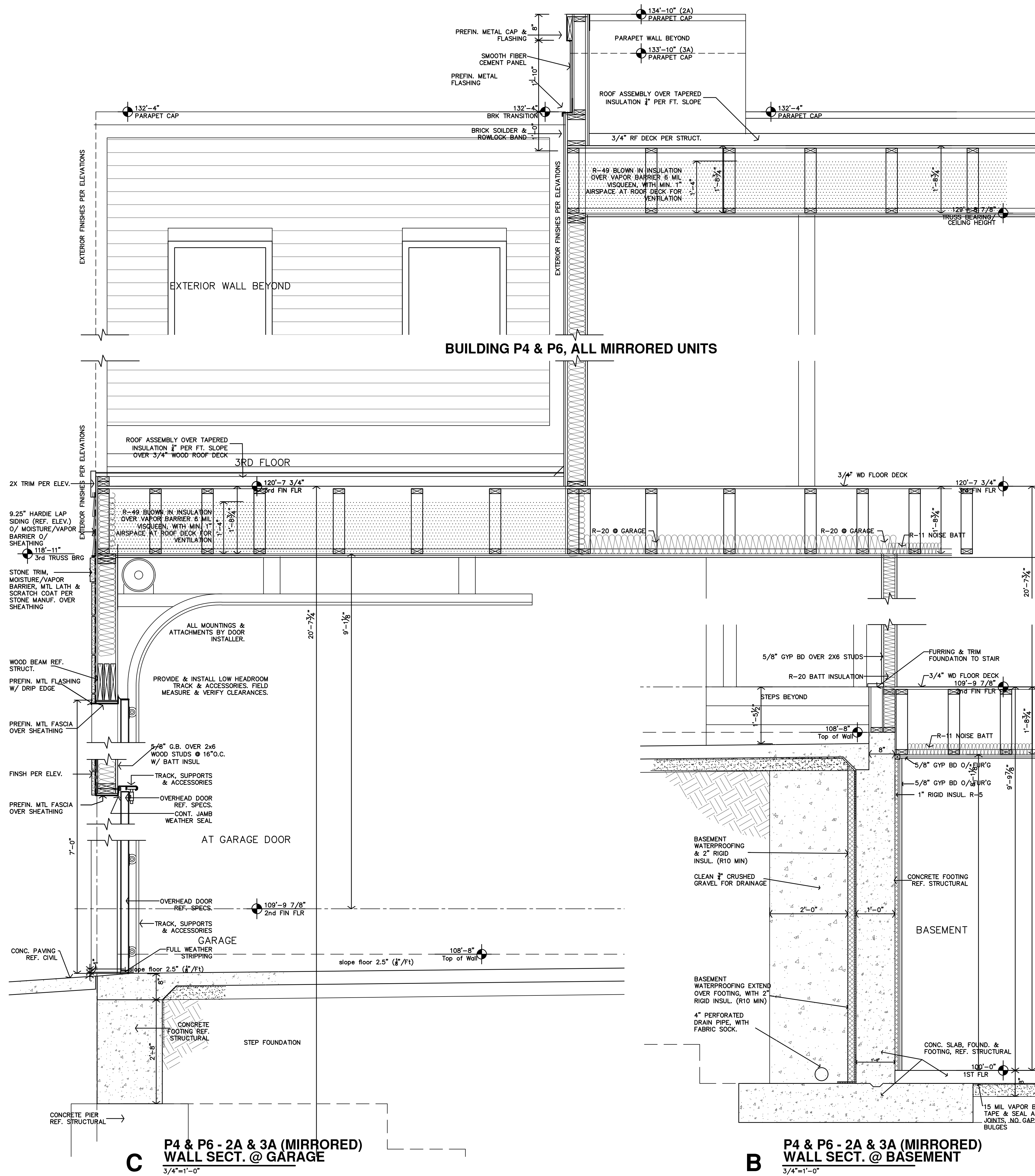
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LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS

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JonesGilliamRenz
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Salina, KS 67401 Kansas City, MO 64108
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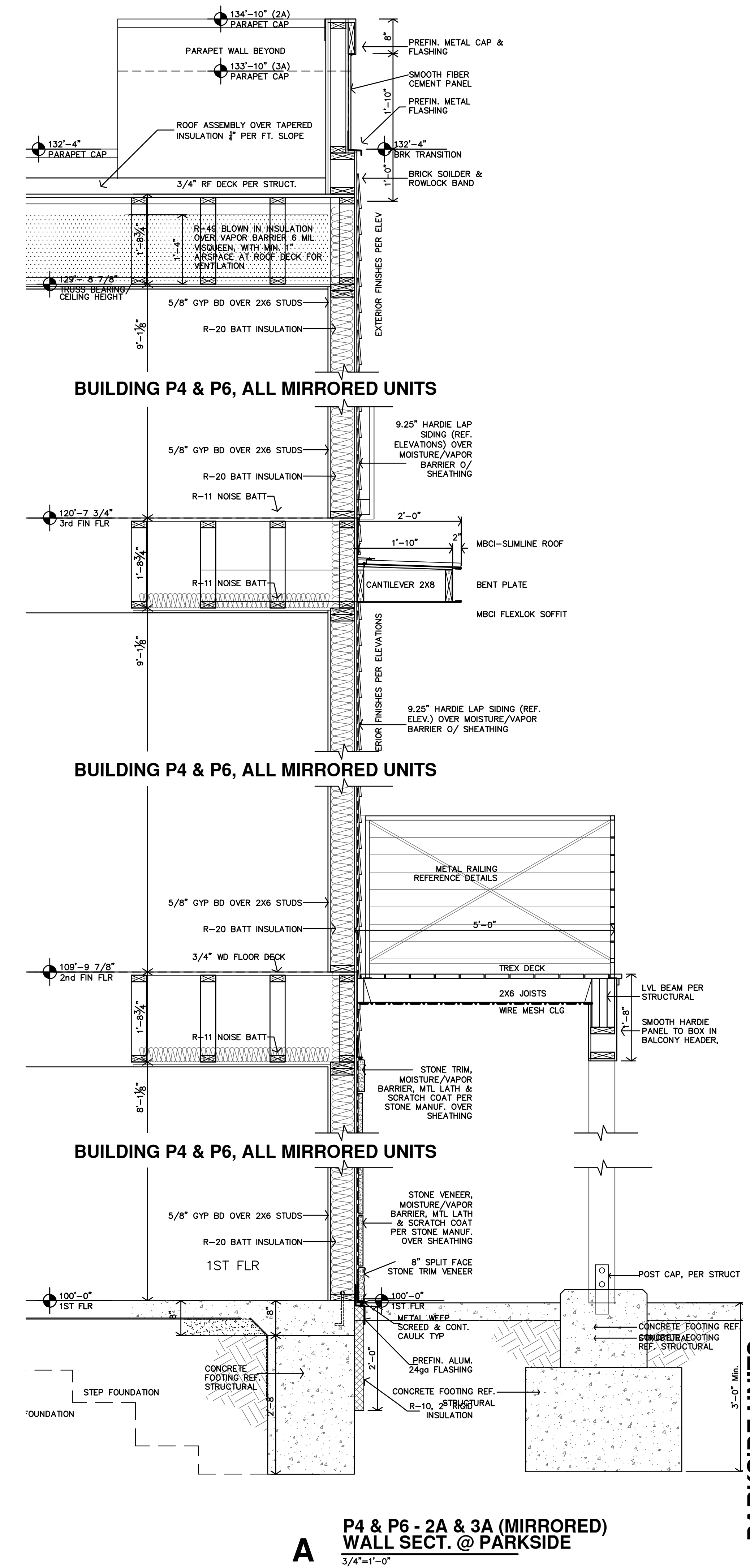
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C P4 & P6 - 2A & 3A (MIRRORED) WALL SECT. @ GARAGE
3/4"=1'-0"

B P4 & P6 - 2A & 3A (MIRRORED) WALL SECT. @ BASEMENT
3/4"=1'-0"

A P4 & P6 - 2A & 3A (MIRRORED) WALL SECT. @ PARKSIDE
3/4"=1'-0"



PARKSIDE UNITS

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LENEXA CITY CENTER - NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS

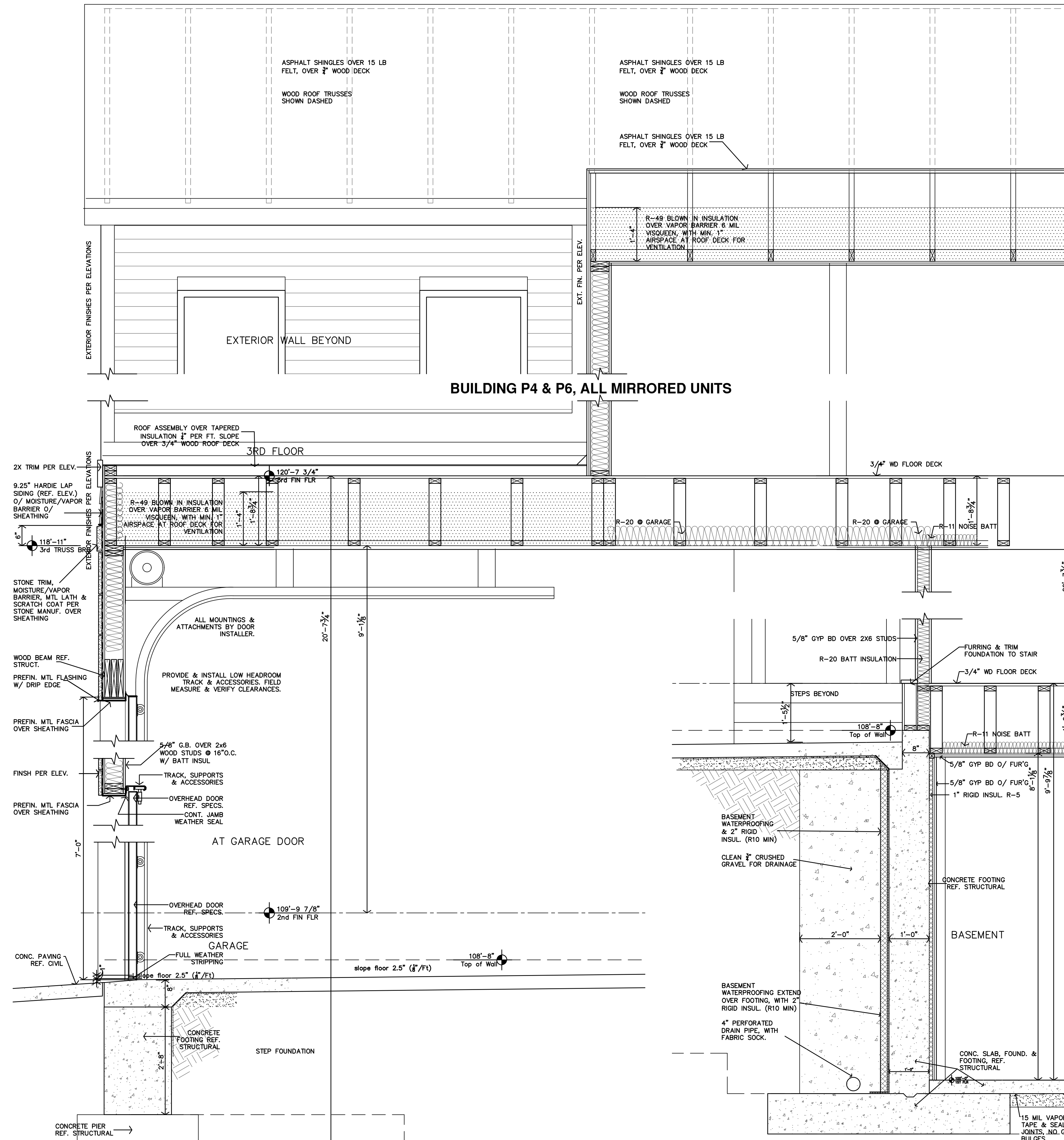
CHRISTOPHER R. GILLAM
REGISTERED PROFESSIONAL ARCHITECT
6979
8/12/2025
KANSAS
ARCHITECT

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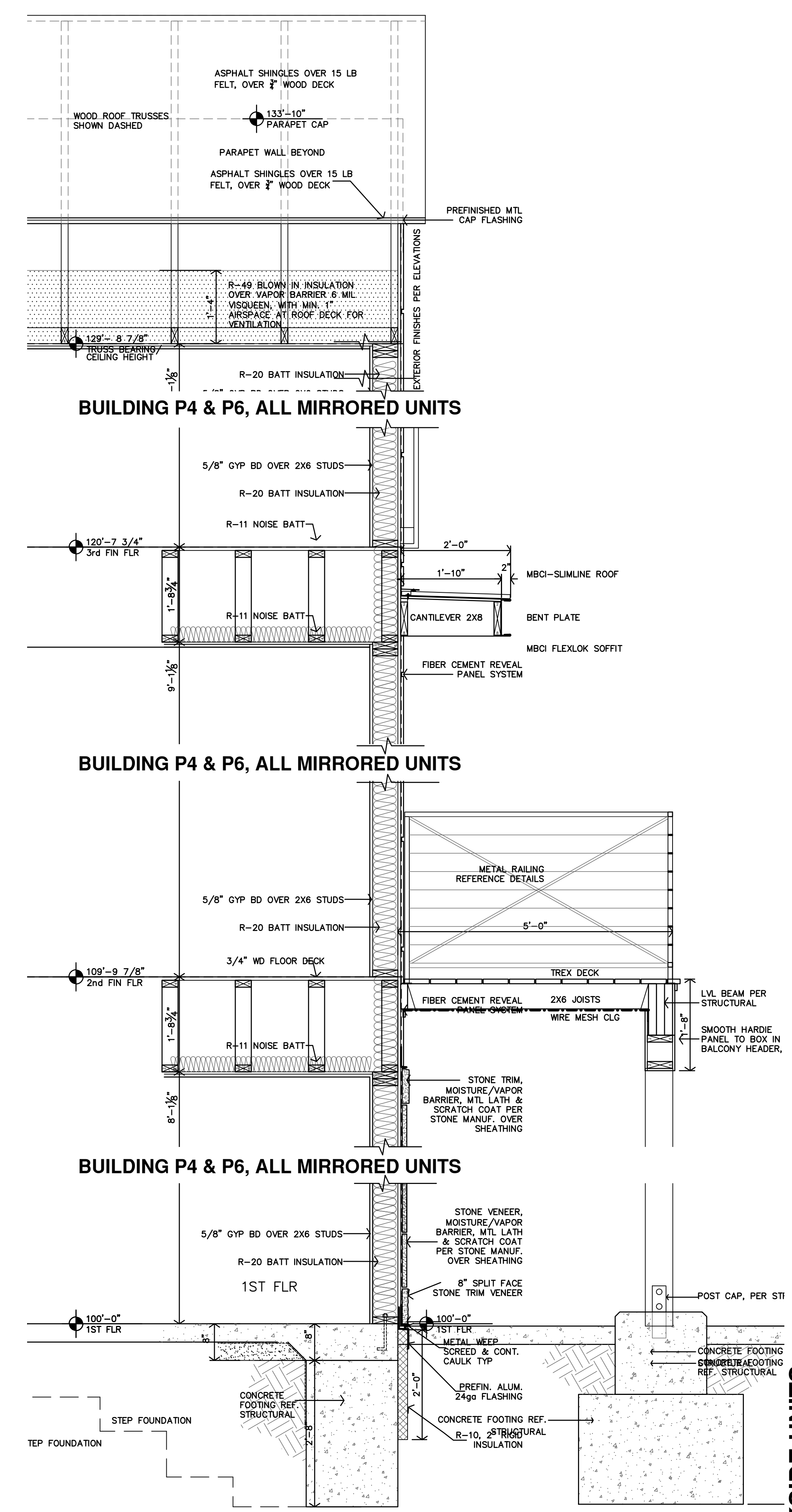
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C P4 & P6 - 3B (MIRRORED)
WALL SECT. @ GARAGE
3/4"=1'-0"

B P4 & P6 - 3B (MIRRORED)
WALL SECT. @ BASEMENT
3/4"=1'-0"

A P4 & P6 - 3B (MIRRORED)
WALL SECT. @ PARKSIDE
3/4"=1'-0"

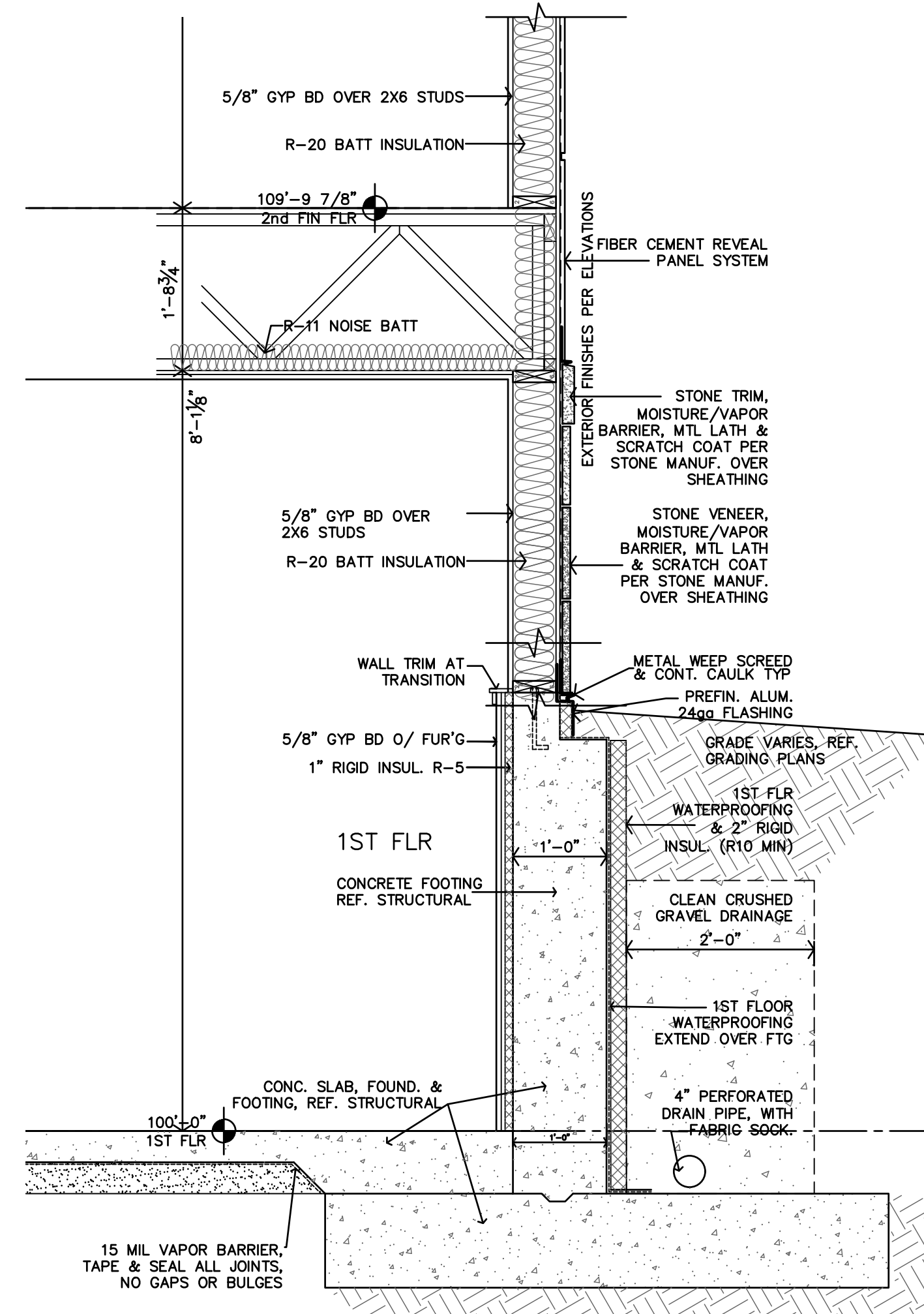
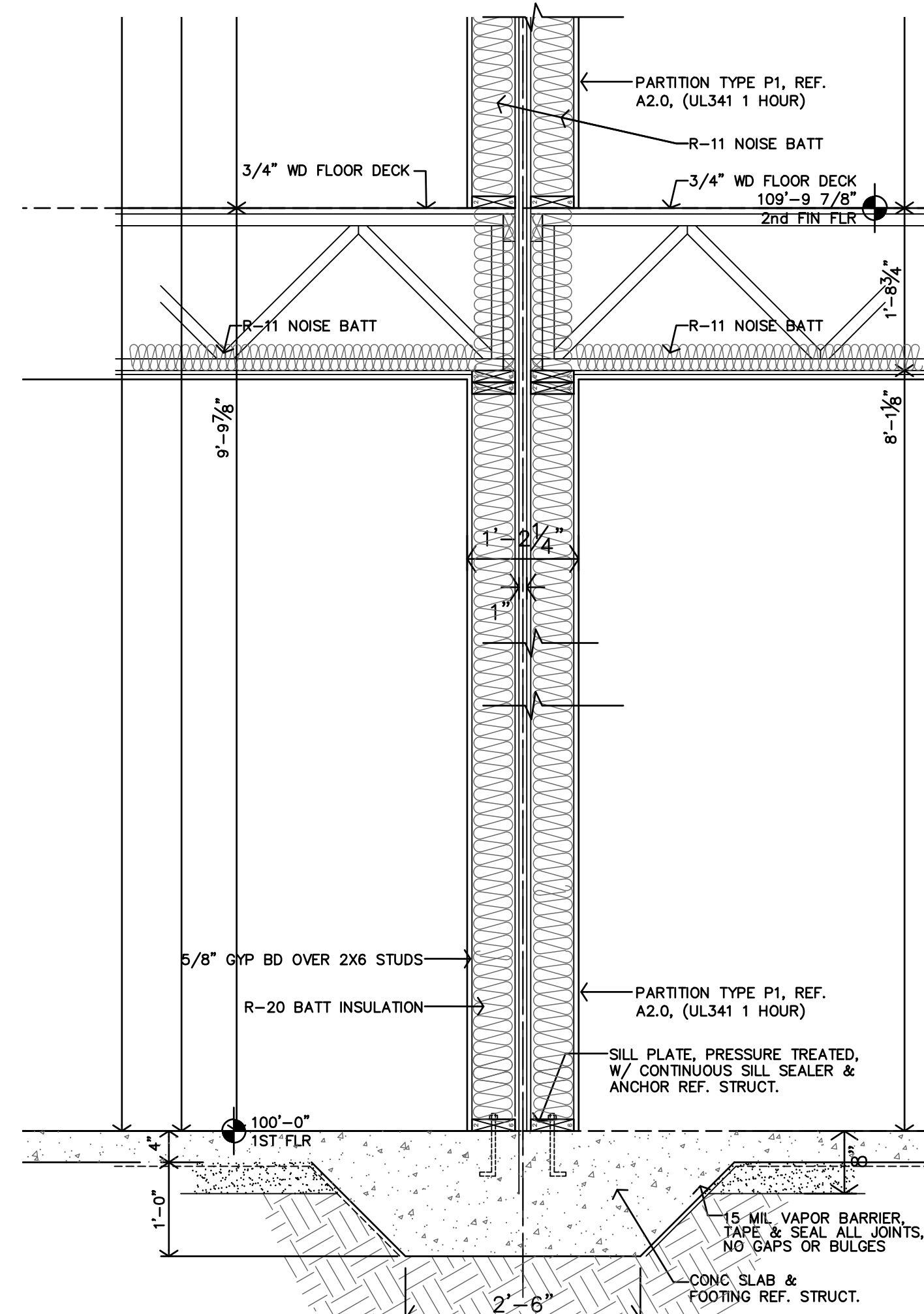
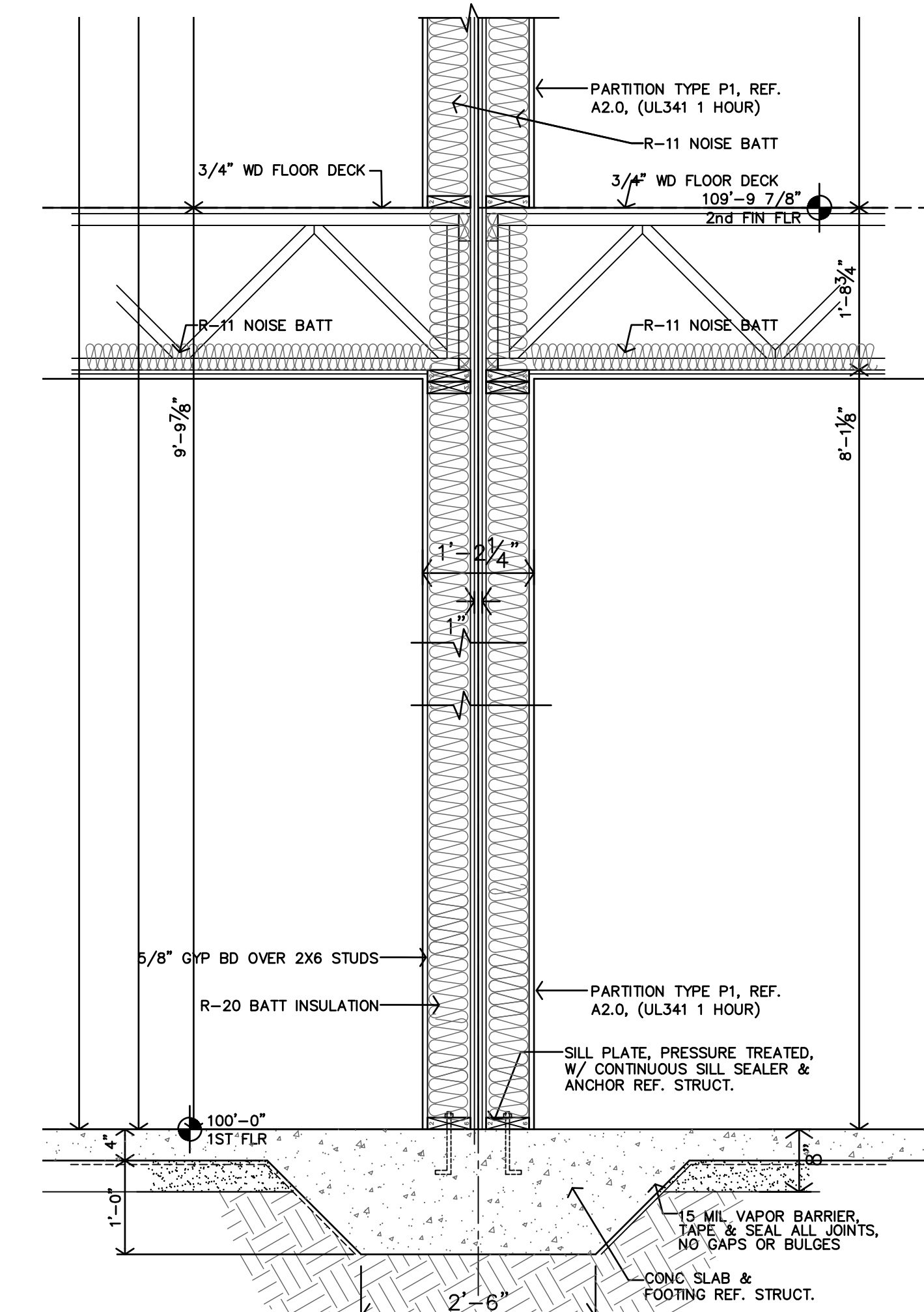
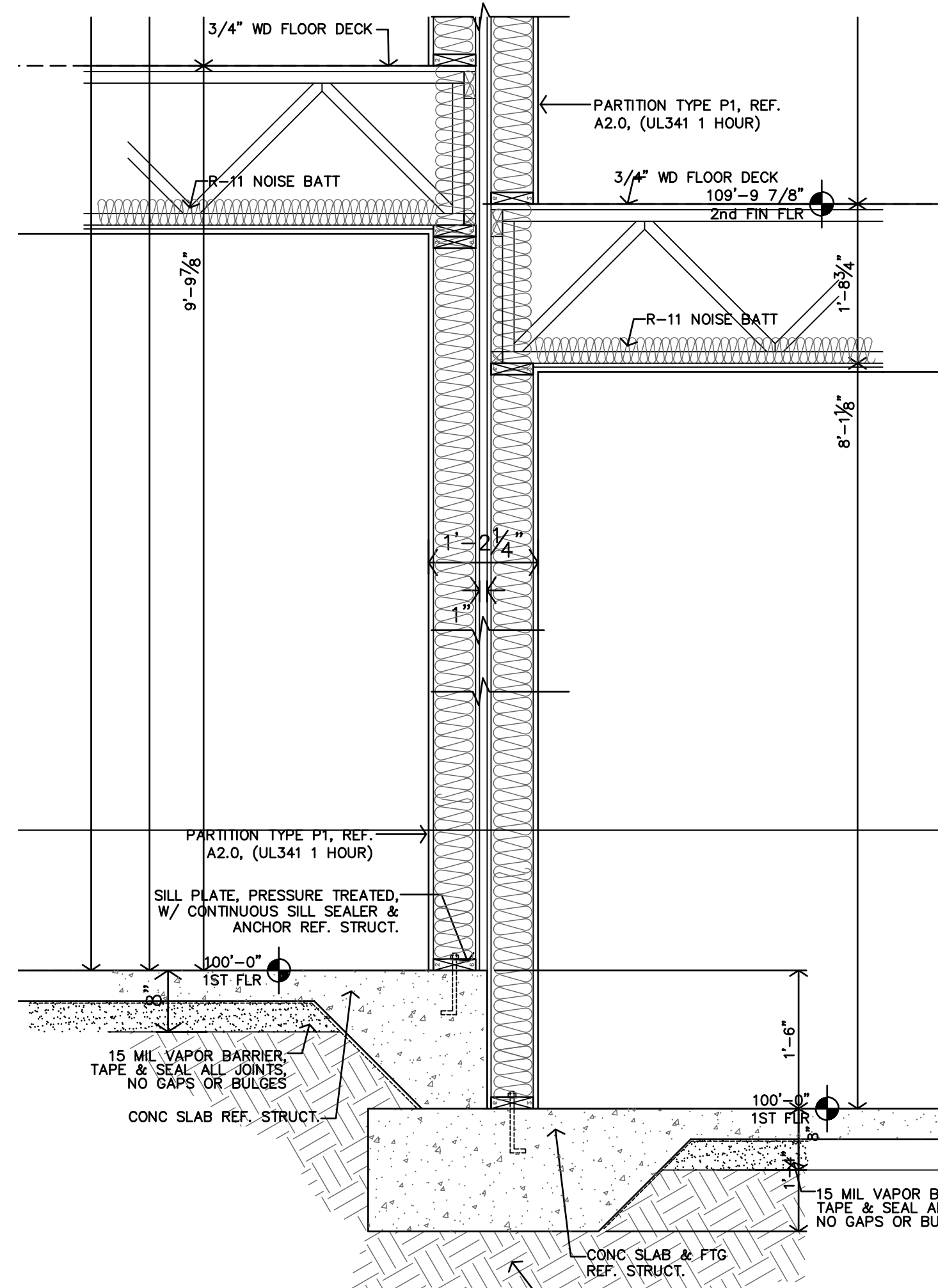
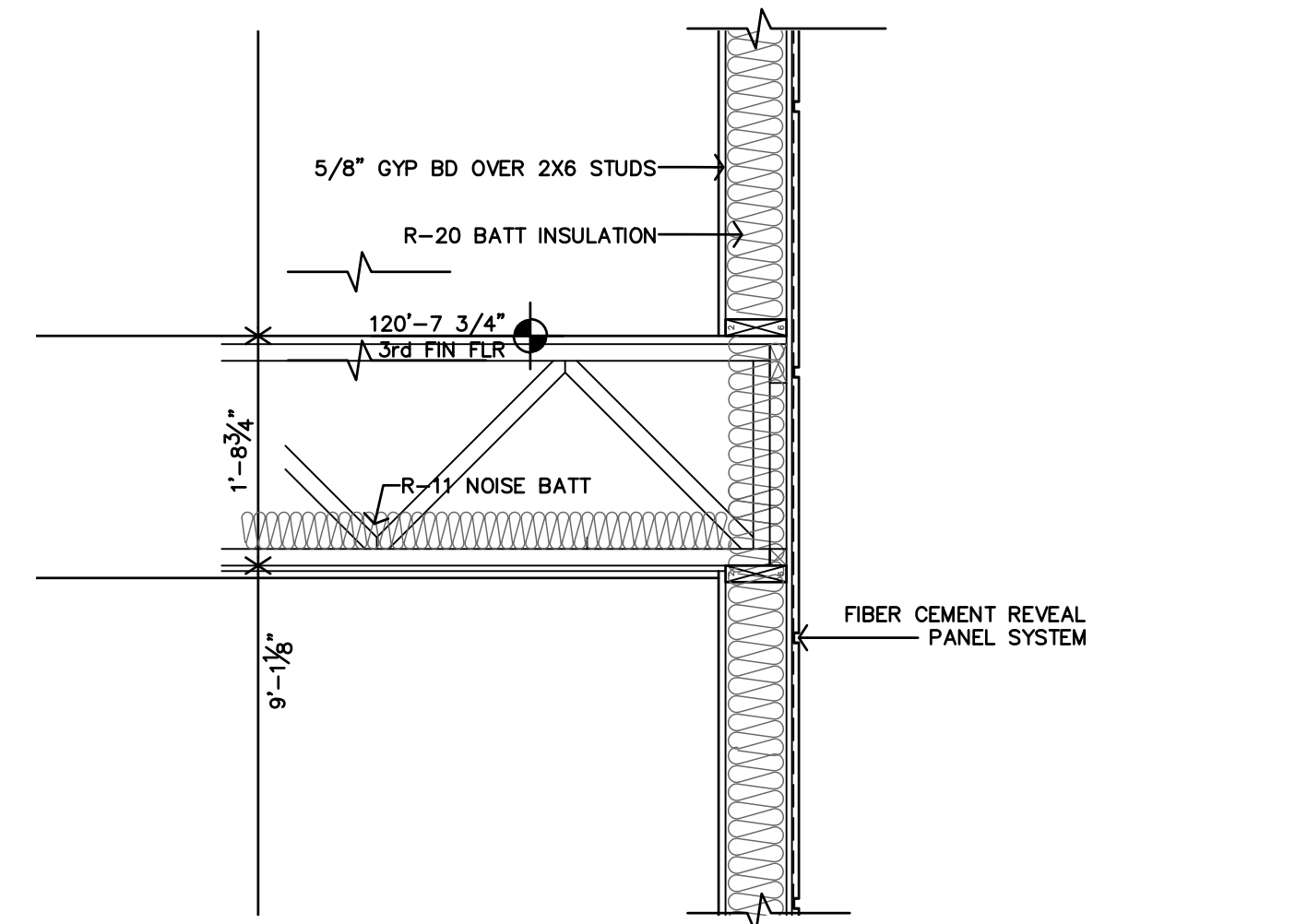
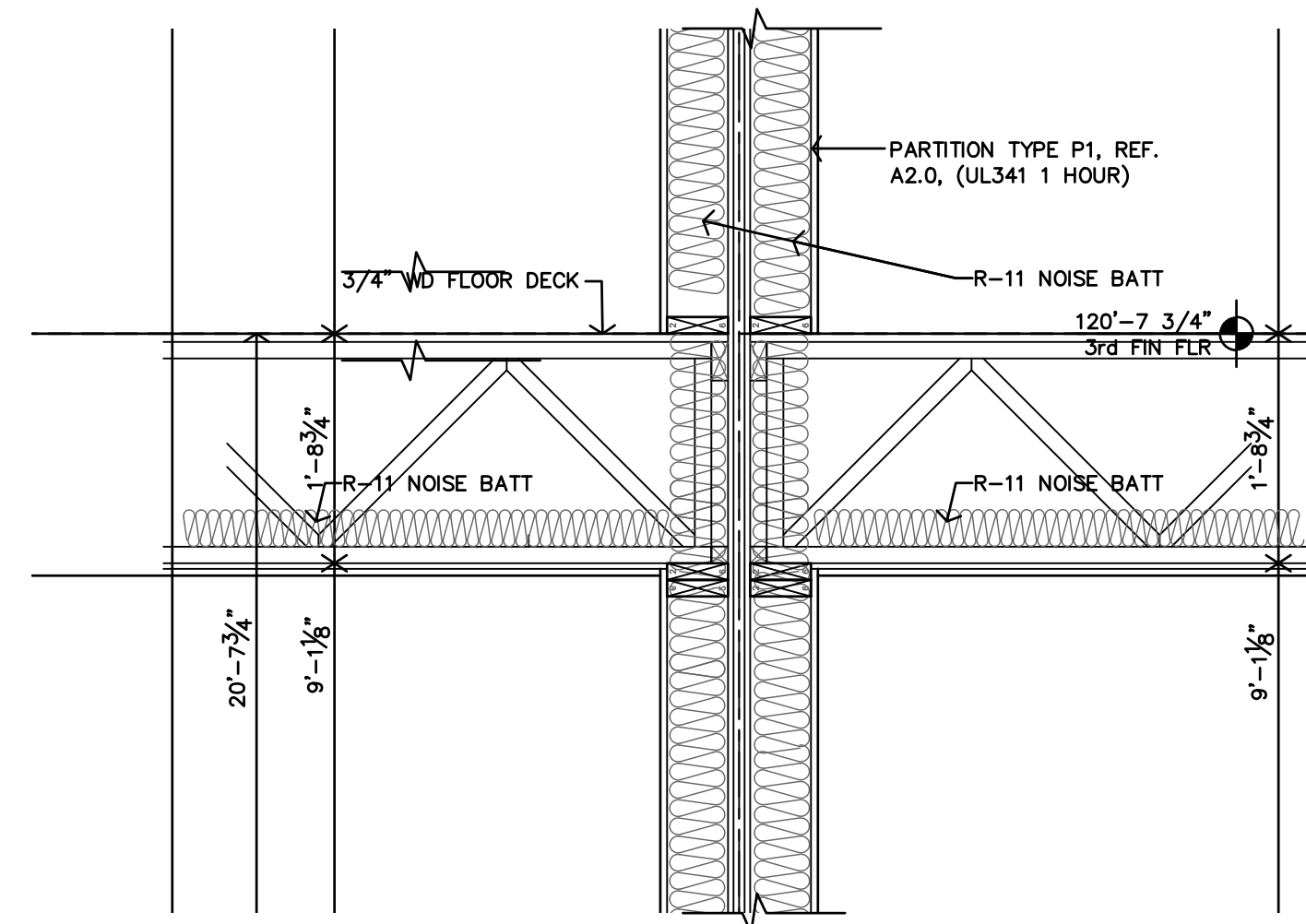
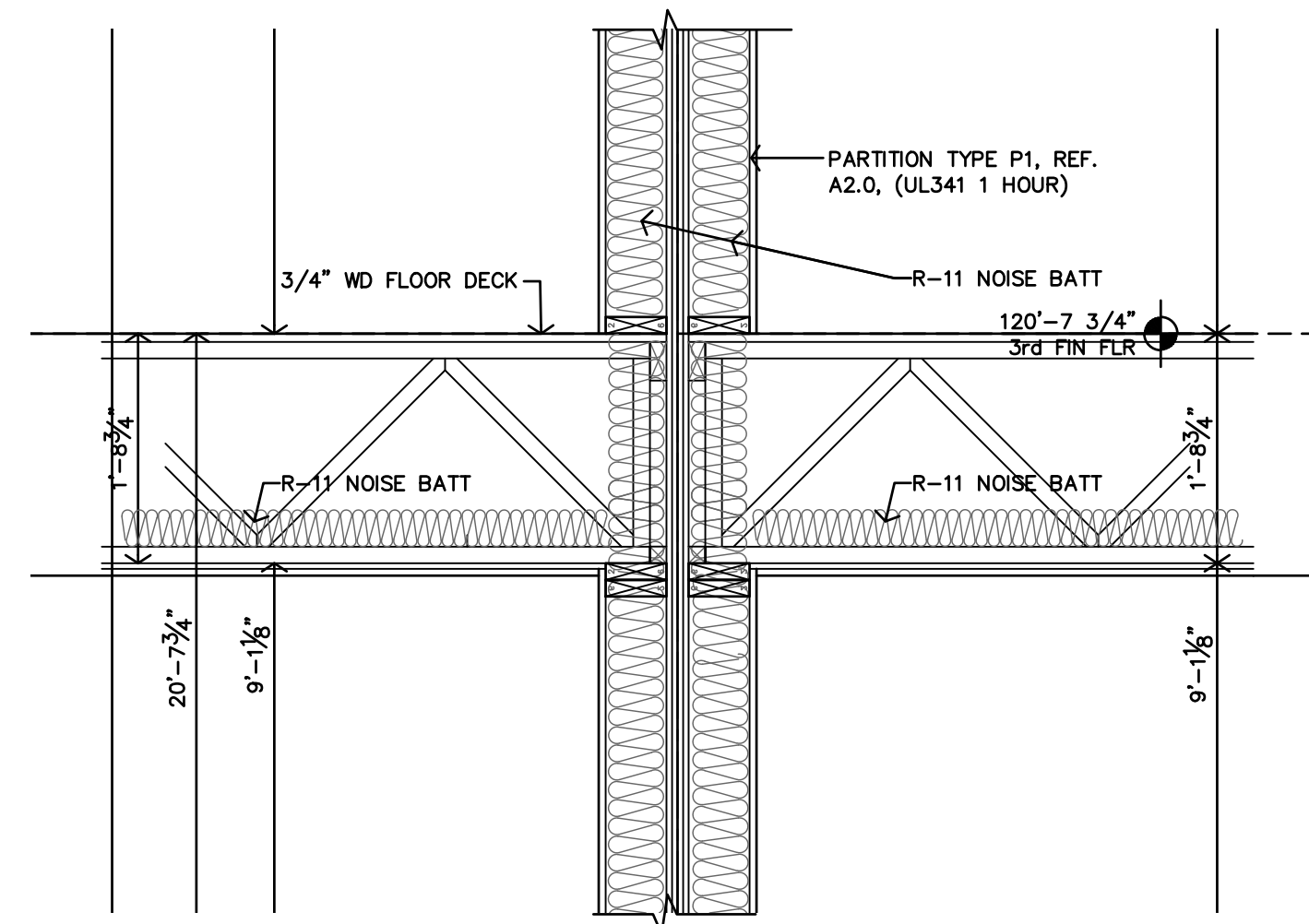
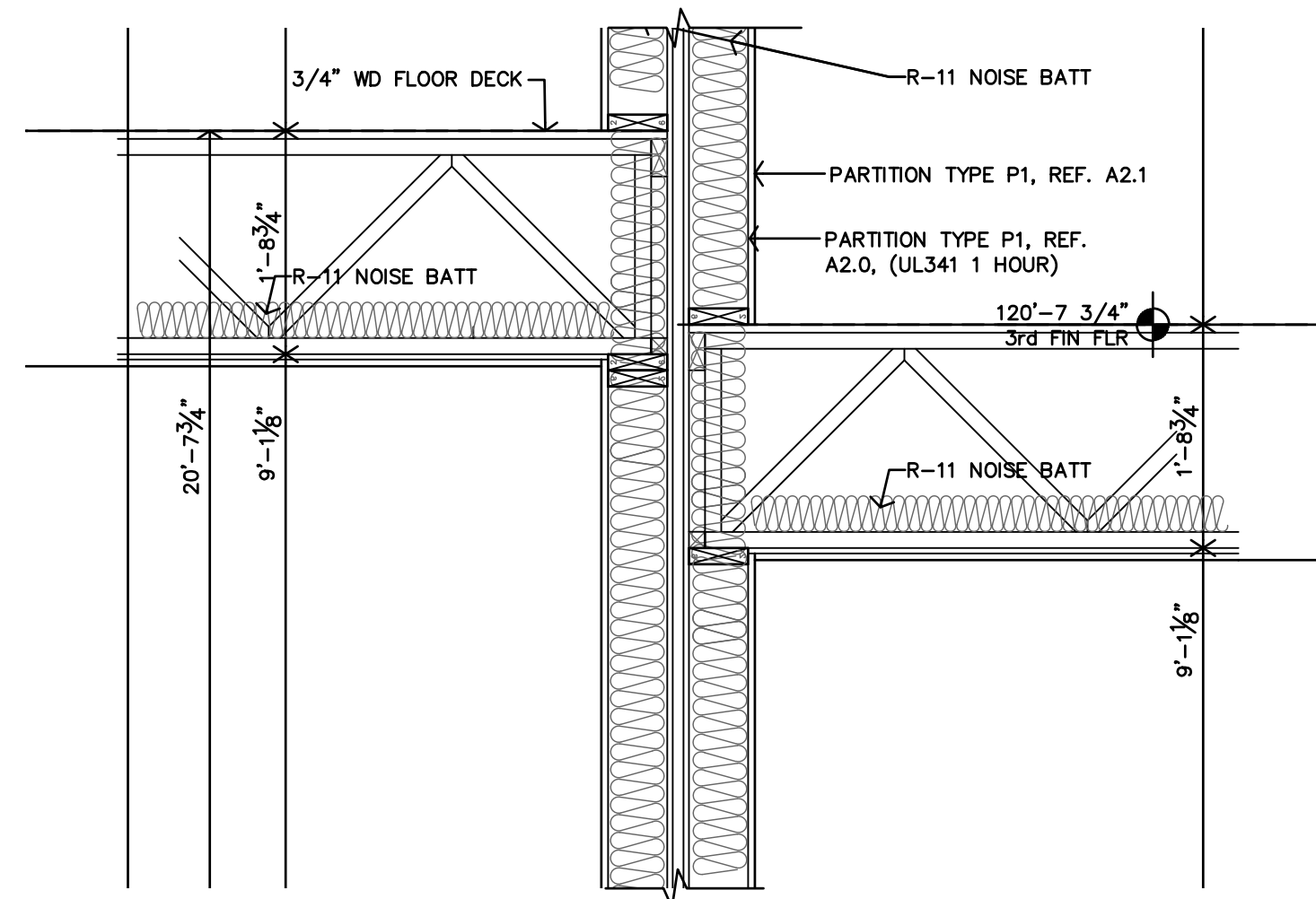
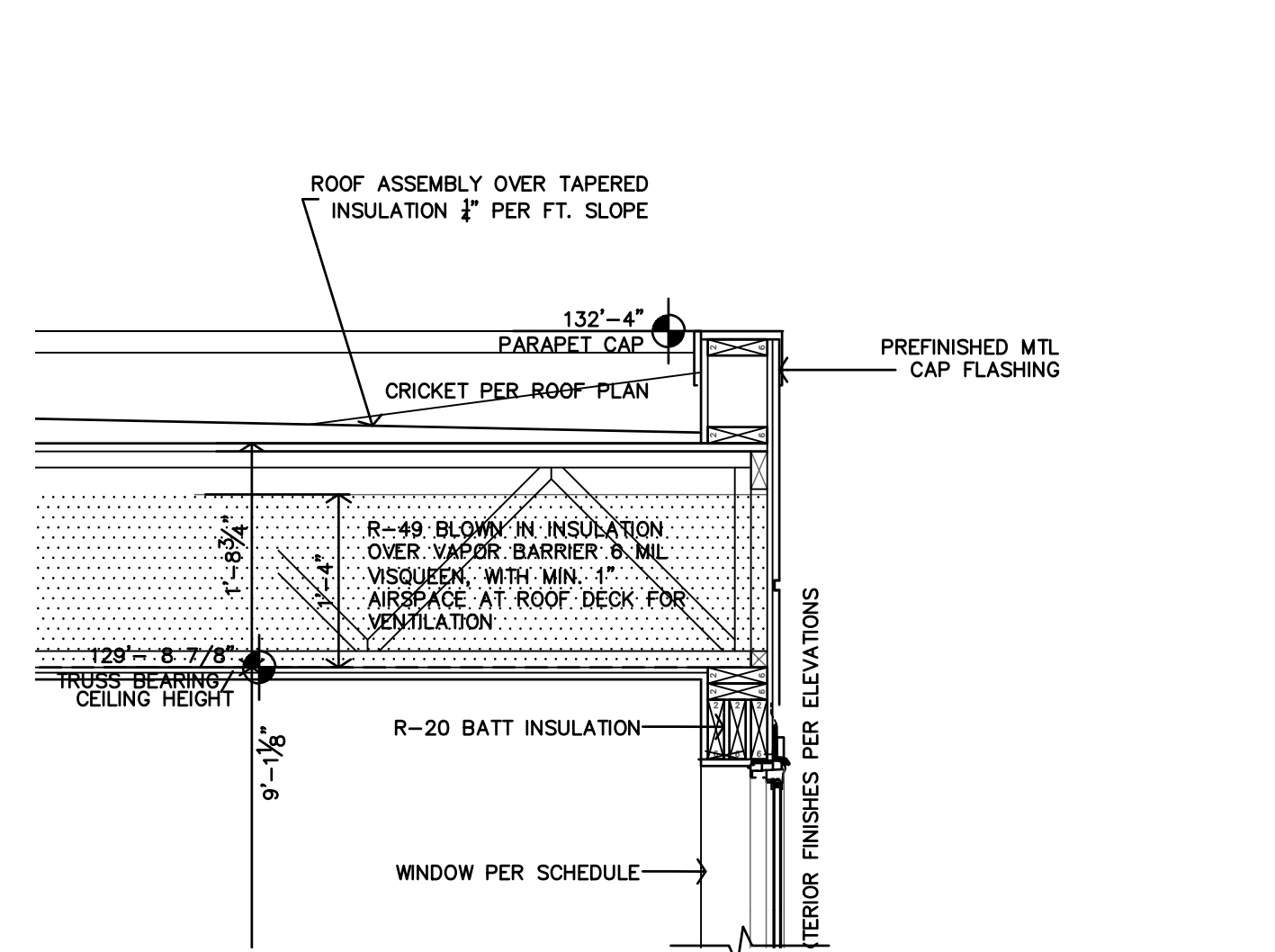
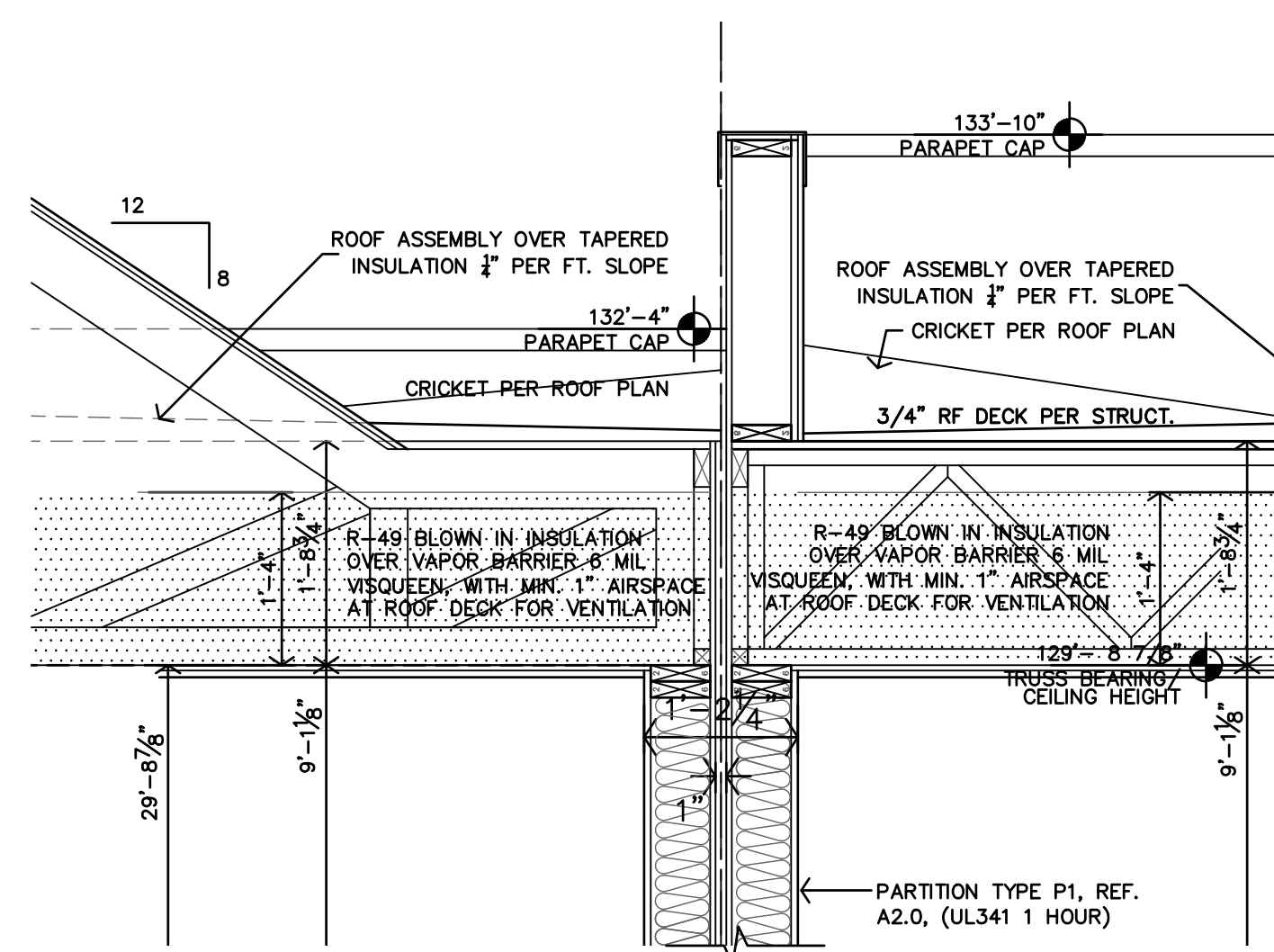
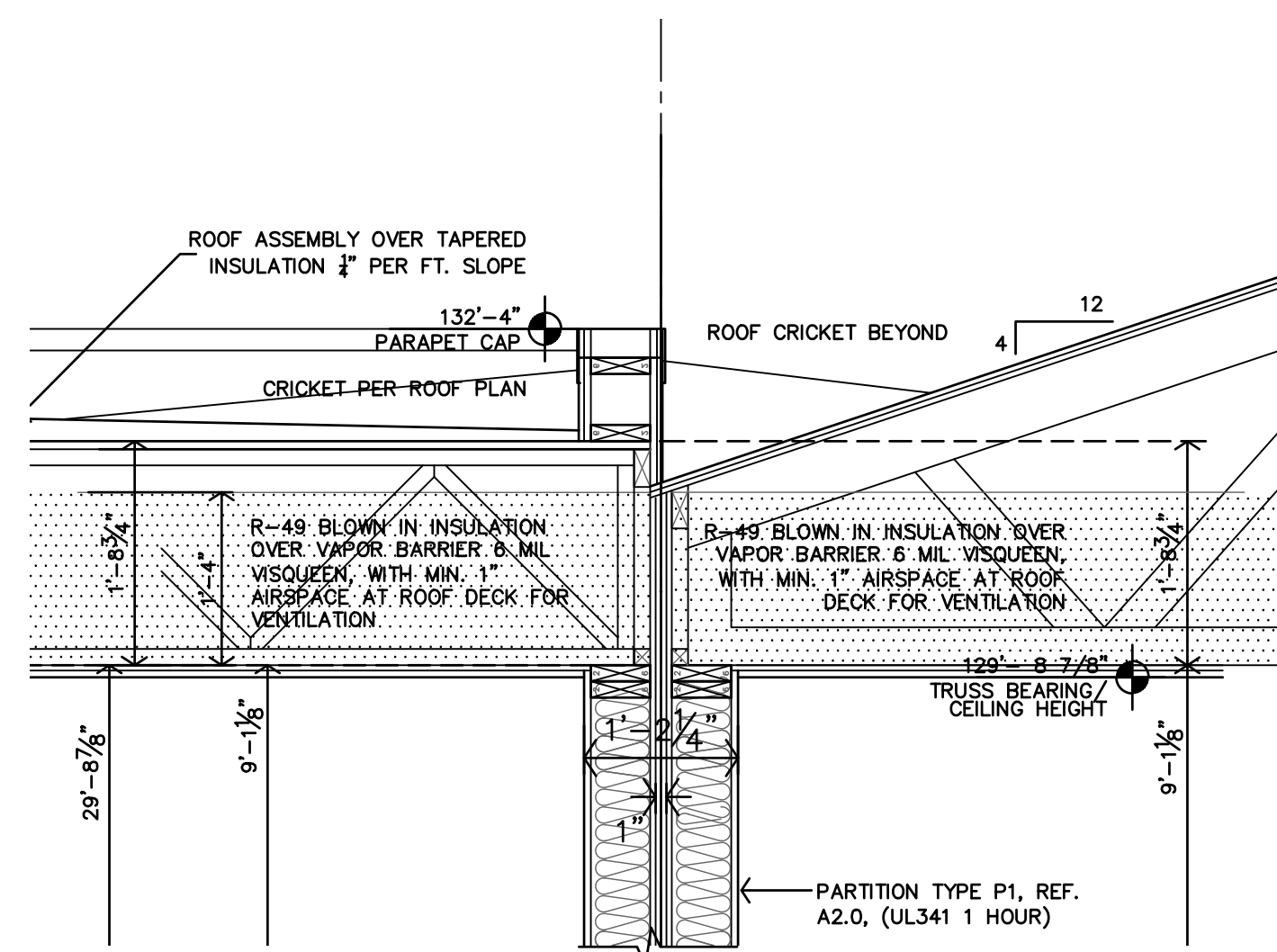
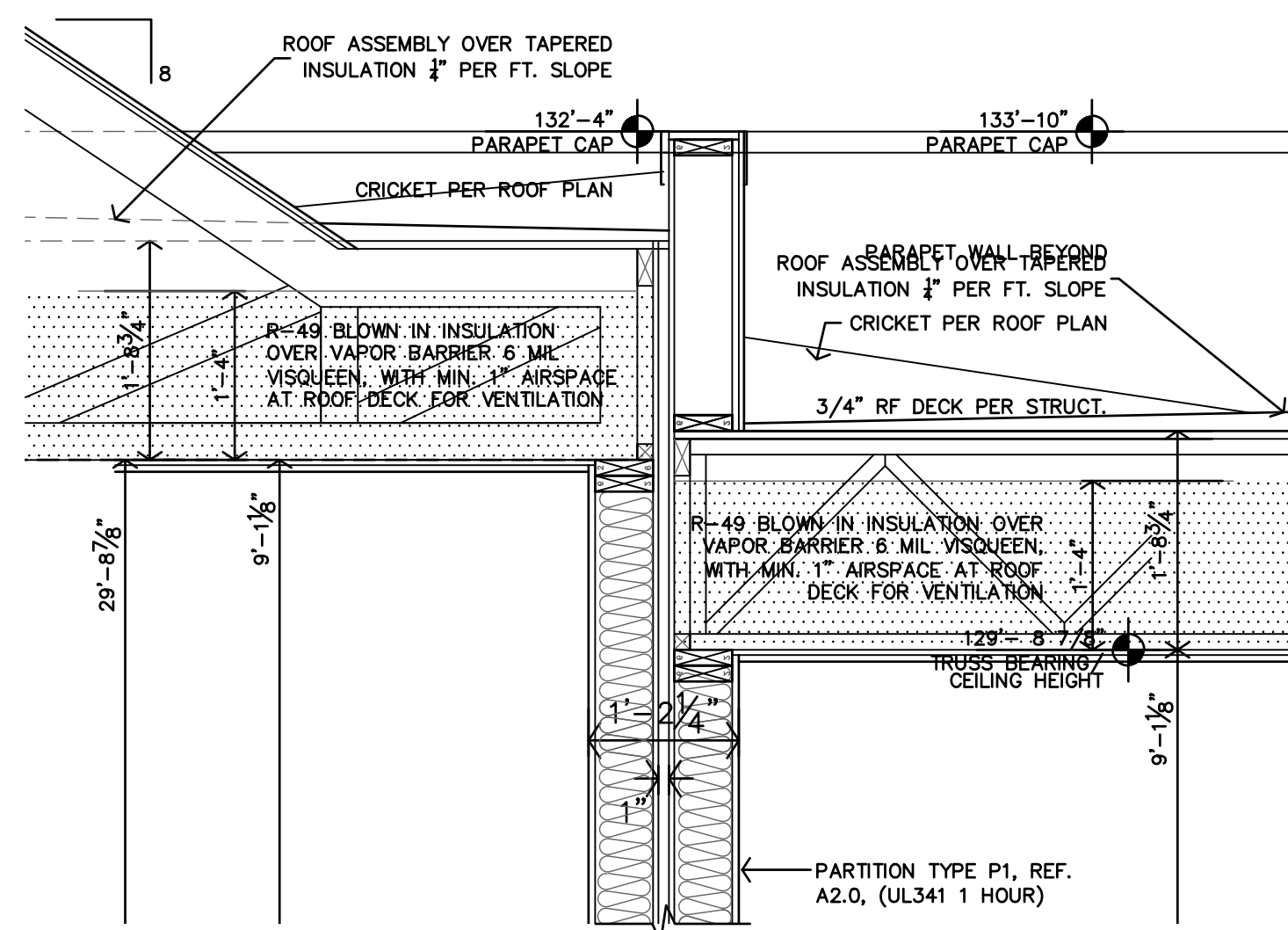


PARKSIDE UNITS



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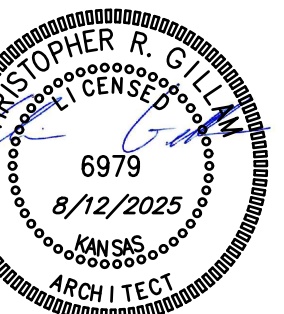


D P8 - 3A/3B UNITS (P11 & 12 SIM)
WALL SECT. @ 1'-6" STEP
3/4"=1'-0"

C P8 - 3A/3B UNITS (P10 & 12 SIM)
WALL SECT. @ NO STEP
3/4"=1'-0"

B P8 - 3B/3A UNITS (P10 & 12 SIM)
WALL SECT. @ NO STEP
3/4"=1'-0"

A P8 - 3A (P10 & 12 SIM)
WALL SECT. @ END
3/4"=1'-0"

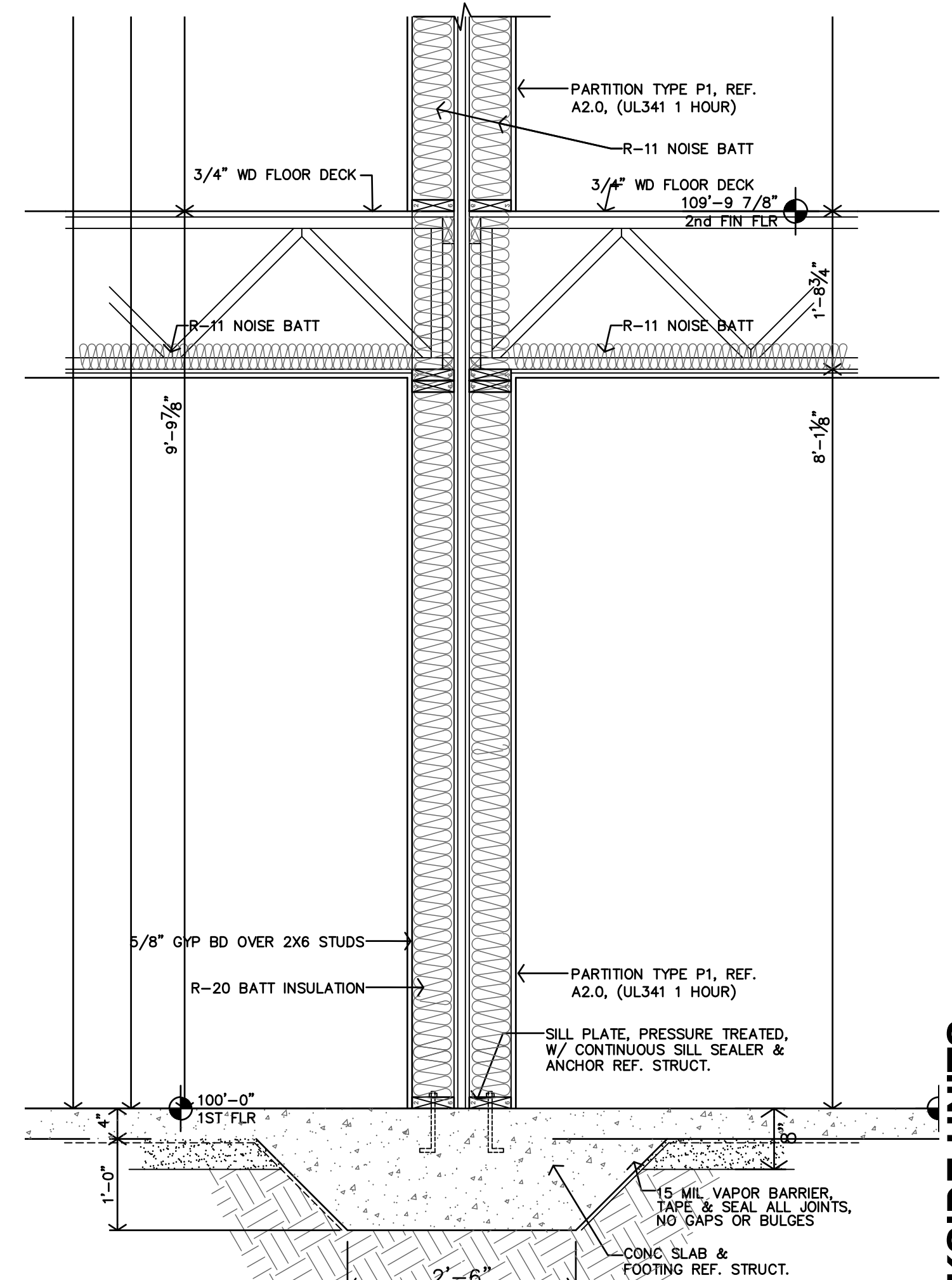
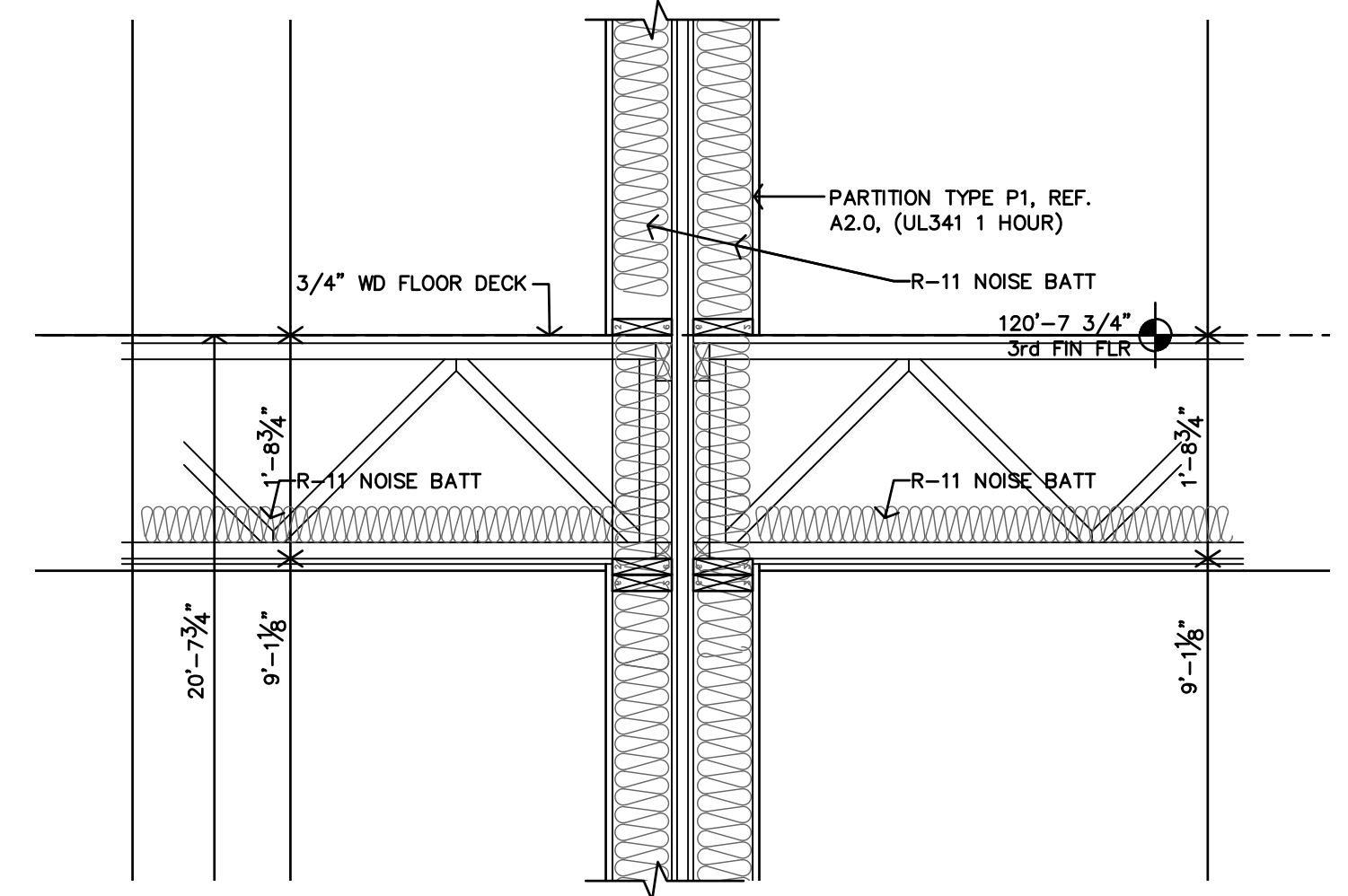
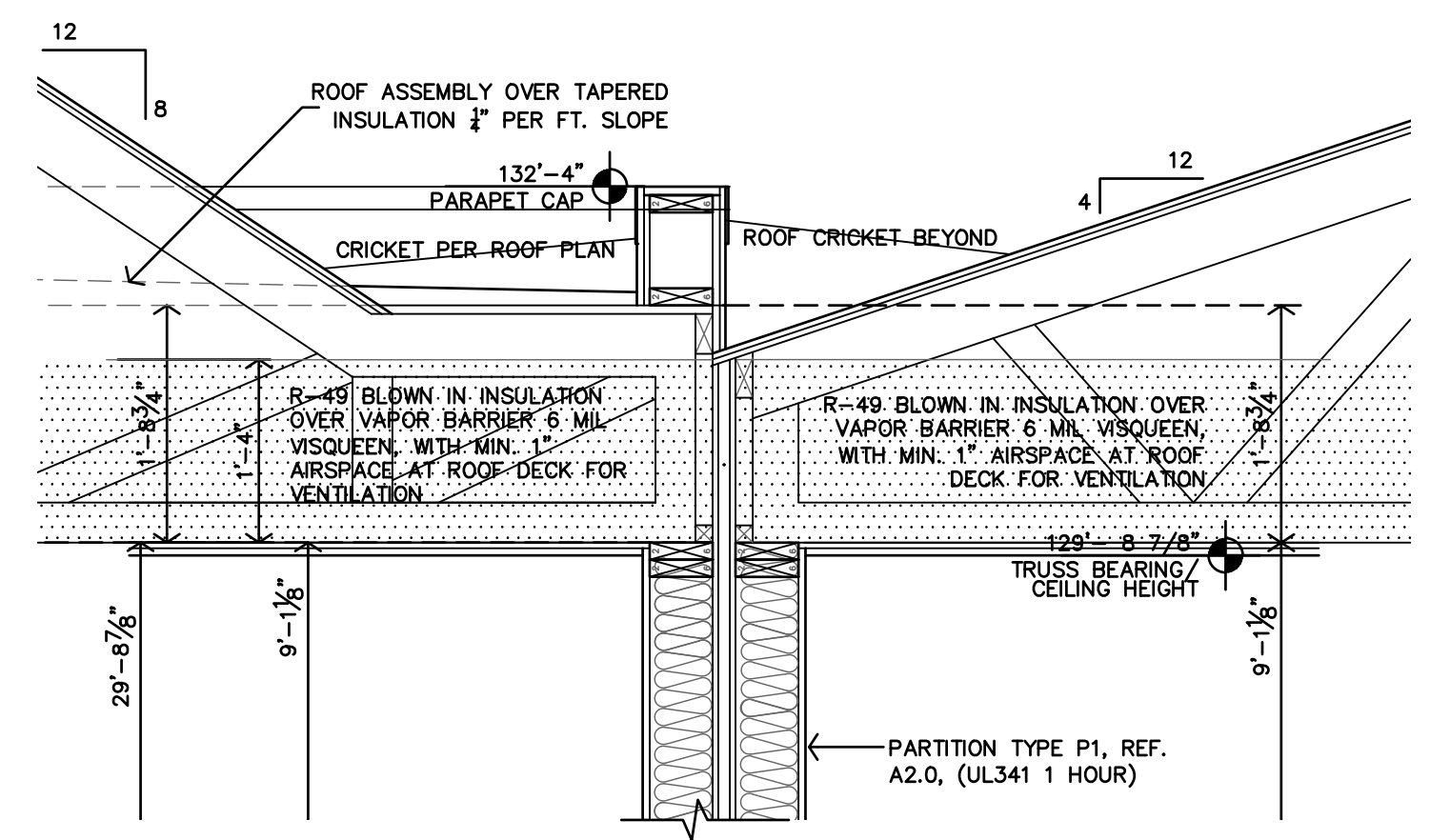


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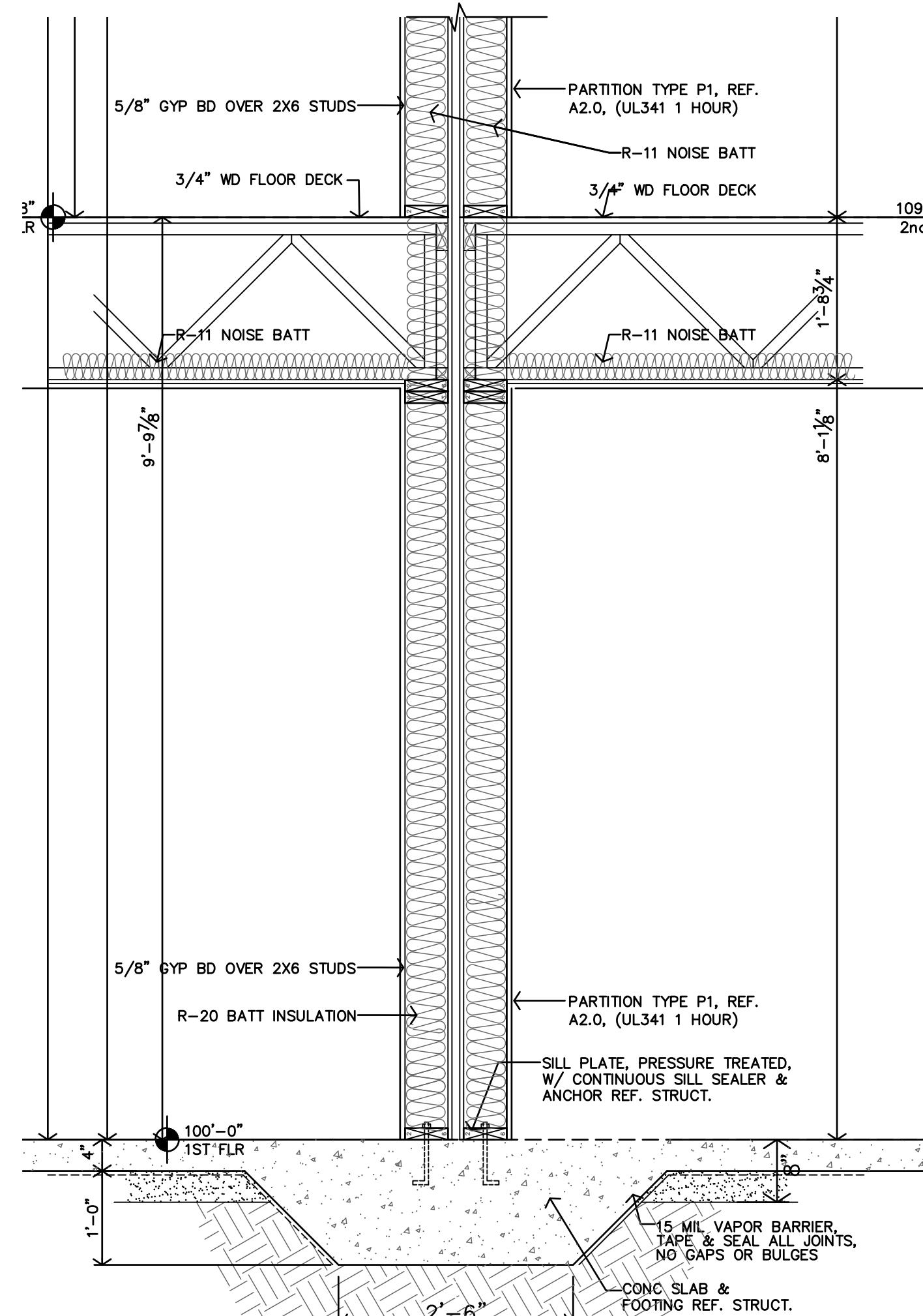
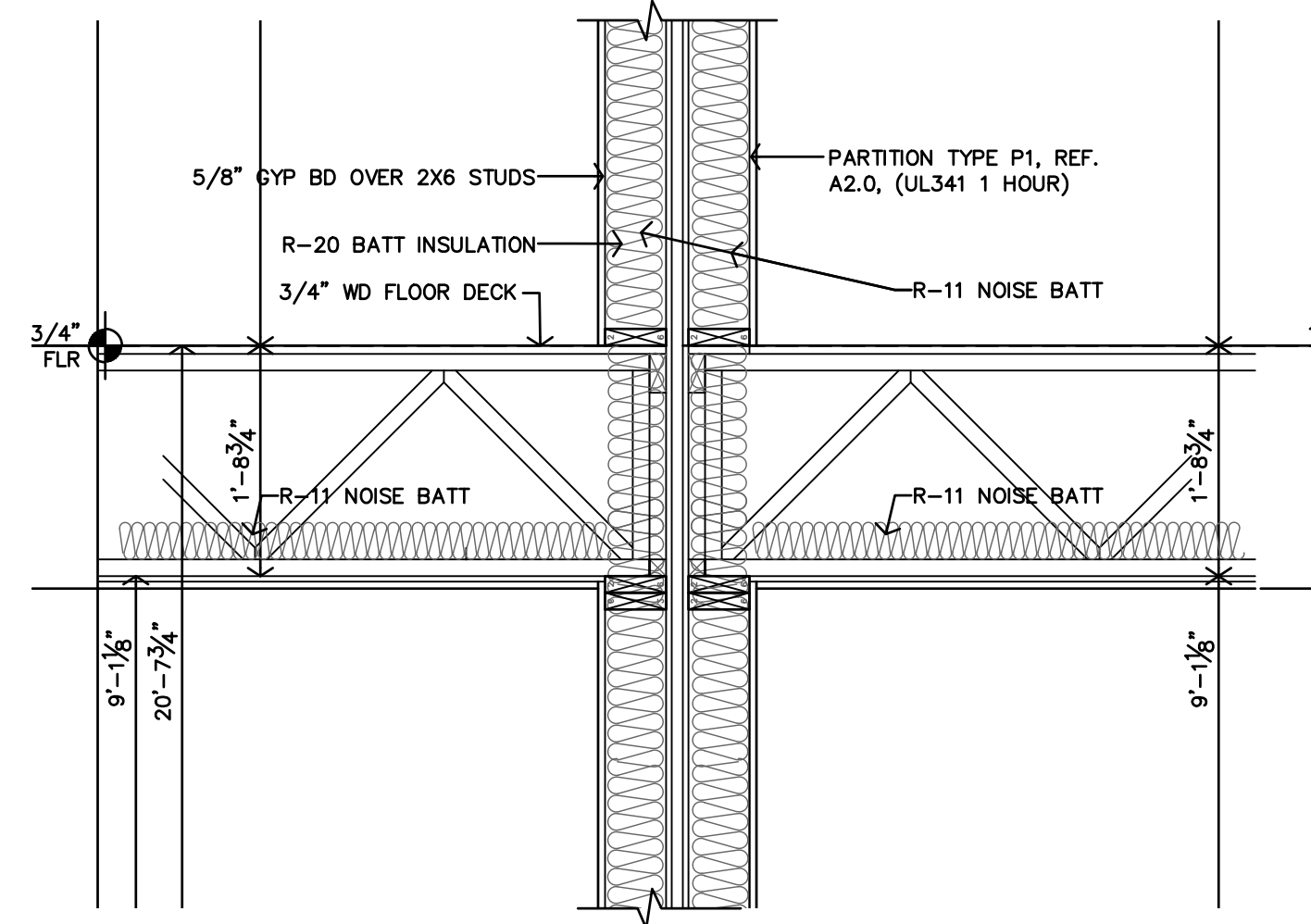
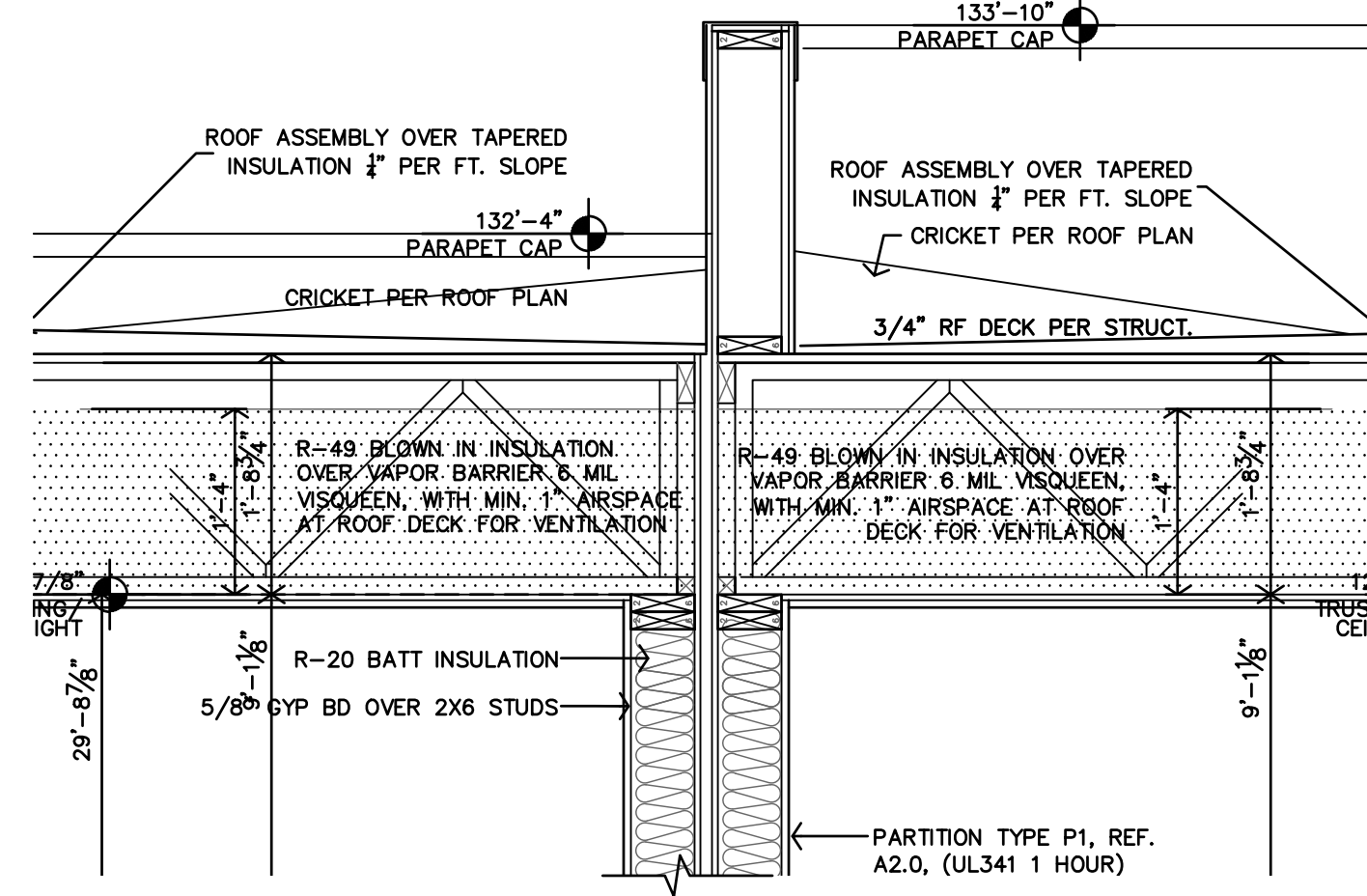
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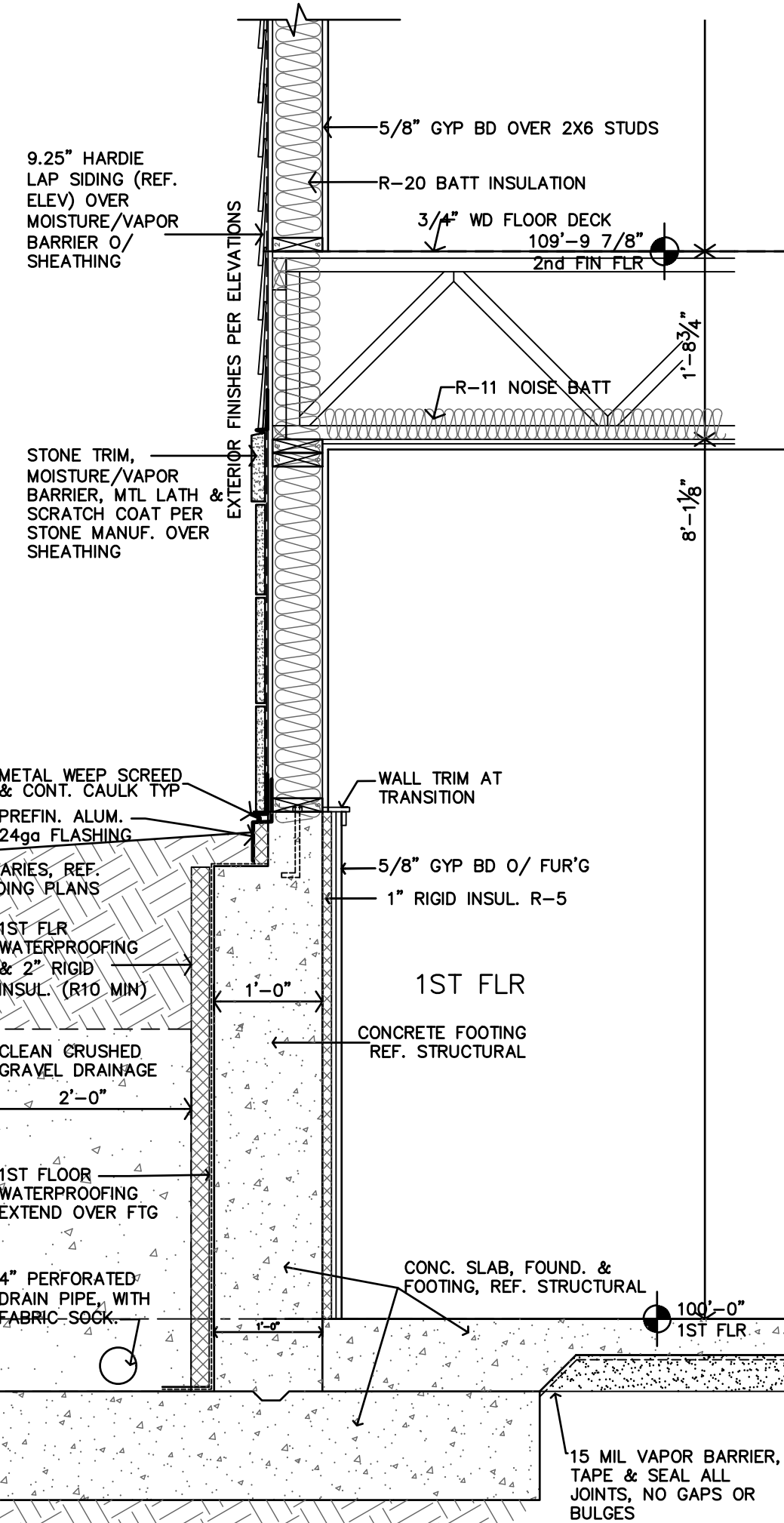
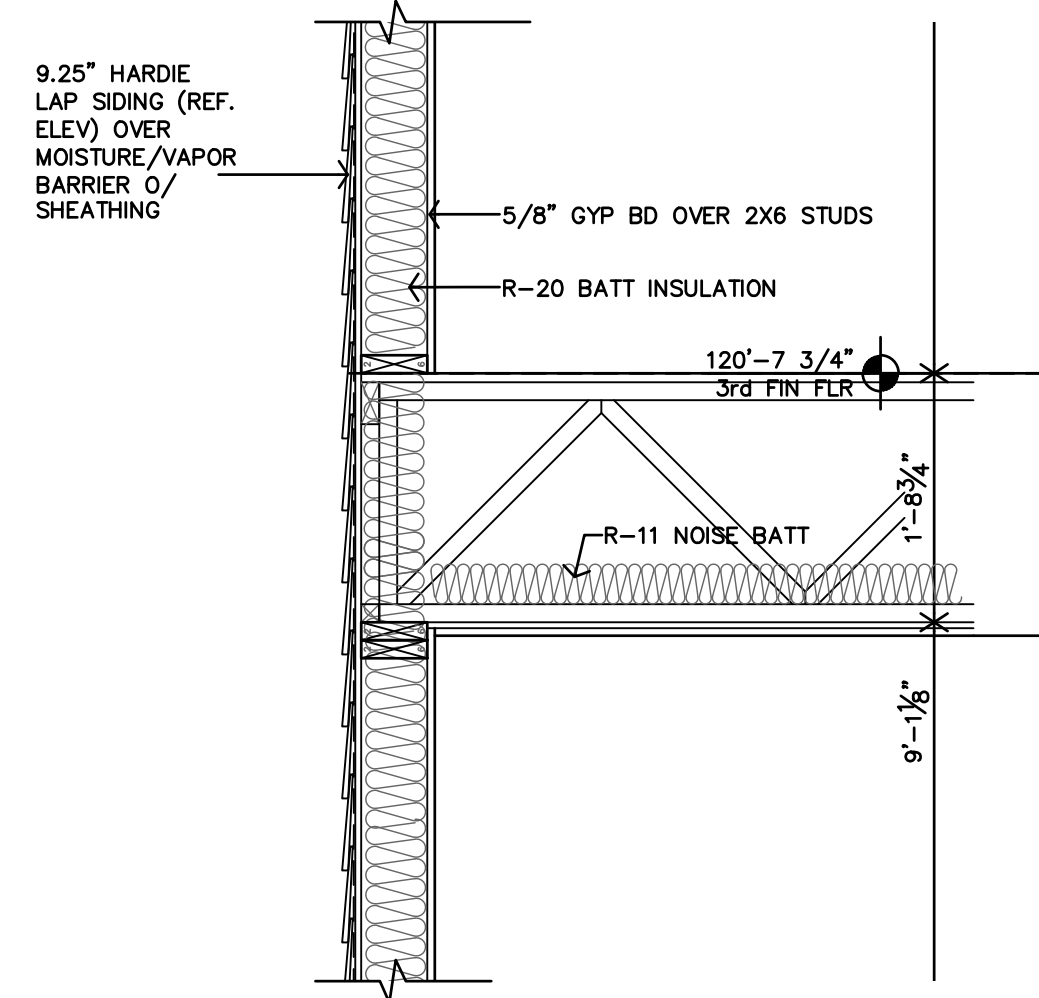
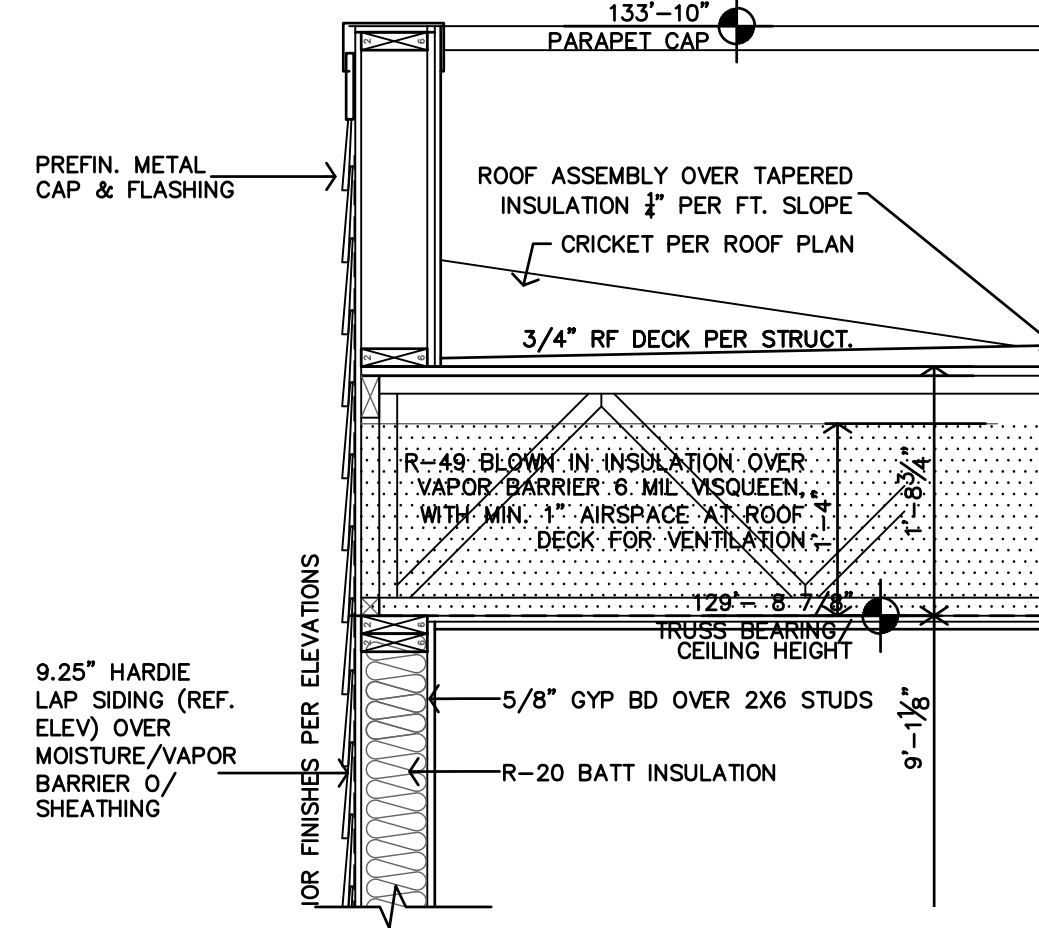
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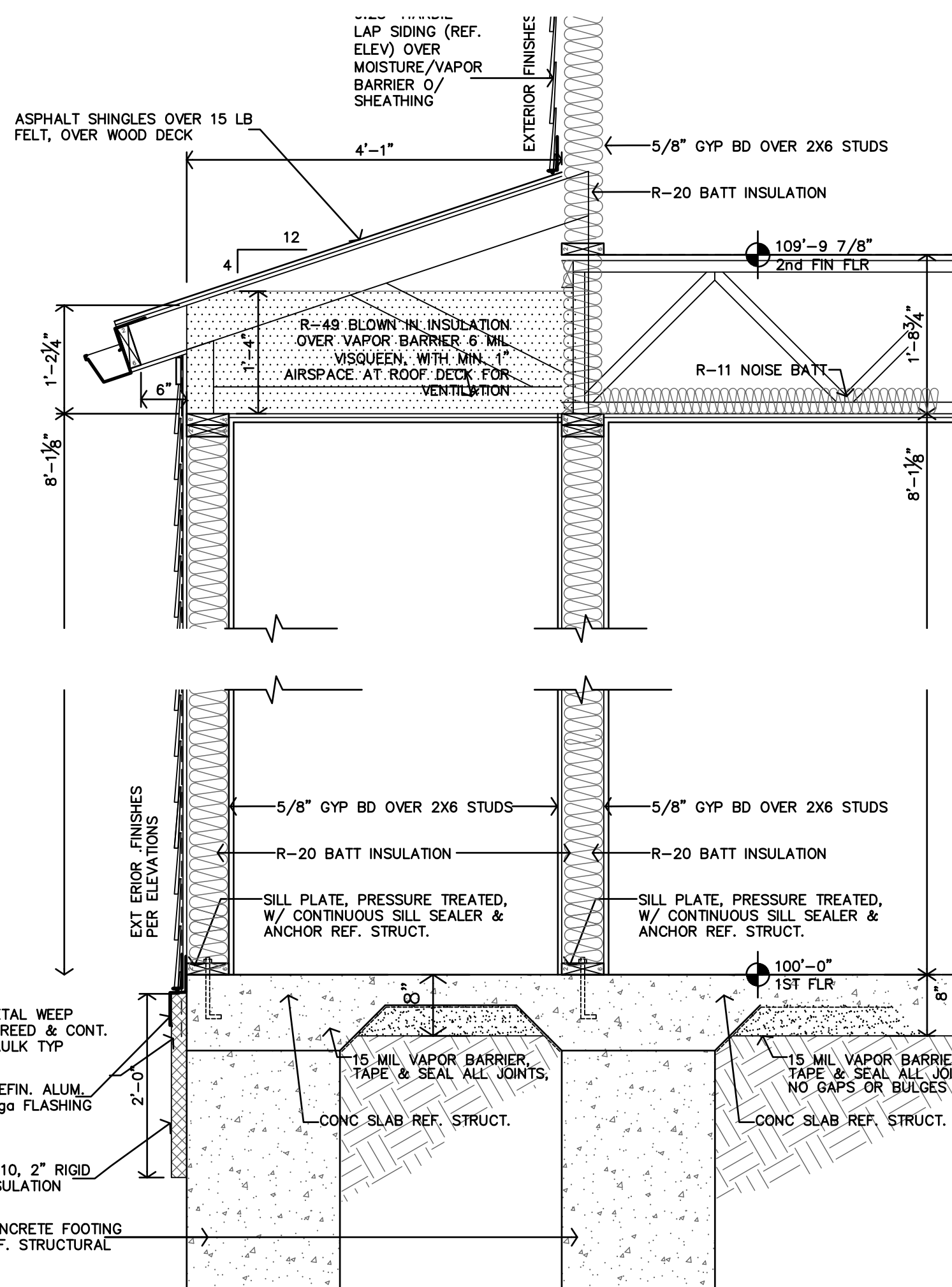
A P8 - 3B/3B UNITS (P10 & 12 SIM)
 WALL SECT. @ NO STEP
 3/4"=1'-0"



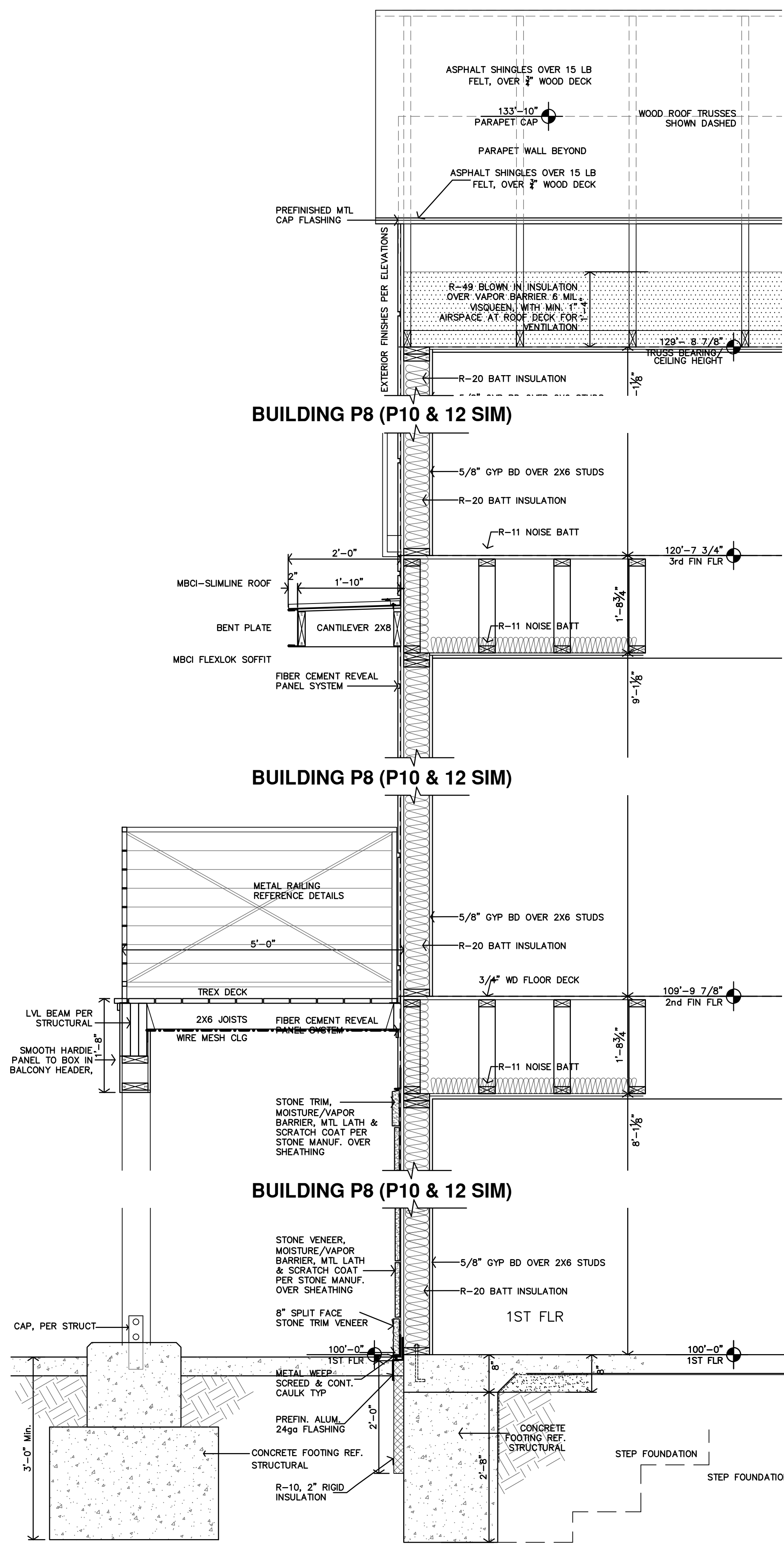
B P8 - 3A/3A UNITS (P10 & 12 SIM)
 WALL SECT. @ NO STEP
 3/4"=1'-0"



C P8 - 3A UNIT (P10 & 12 SIM)
 WALL SECT. @ END
 3/4"=1'-0"



D P8 - 3A UNIT (P10 & 12 SIM)
 WALL SECT. @ MECH CL
 3/4"=1'-0"

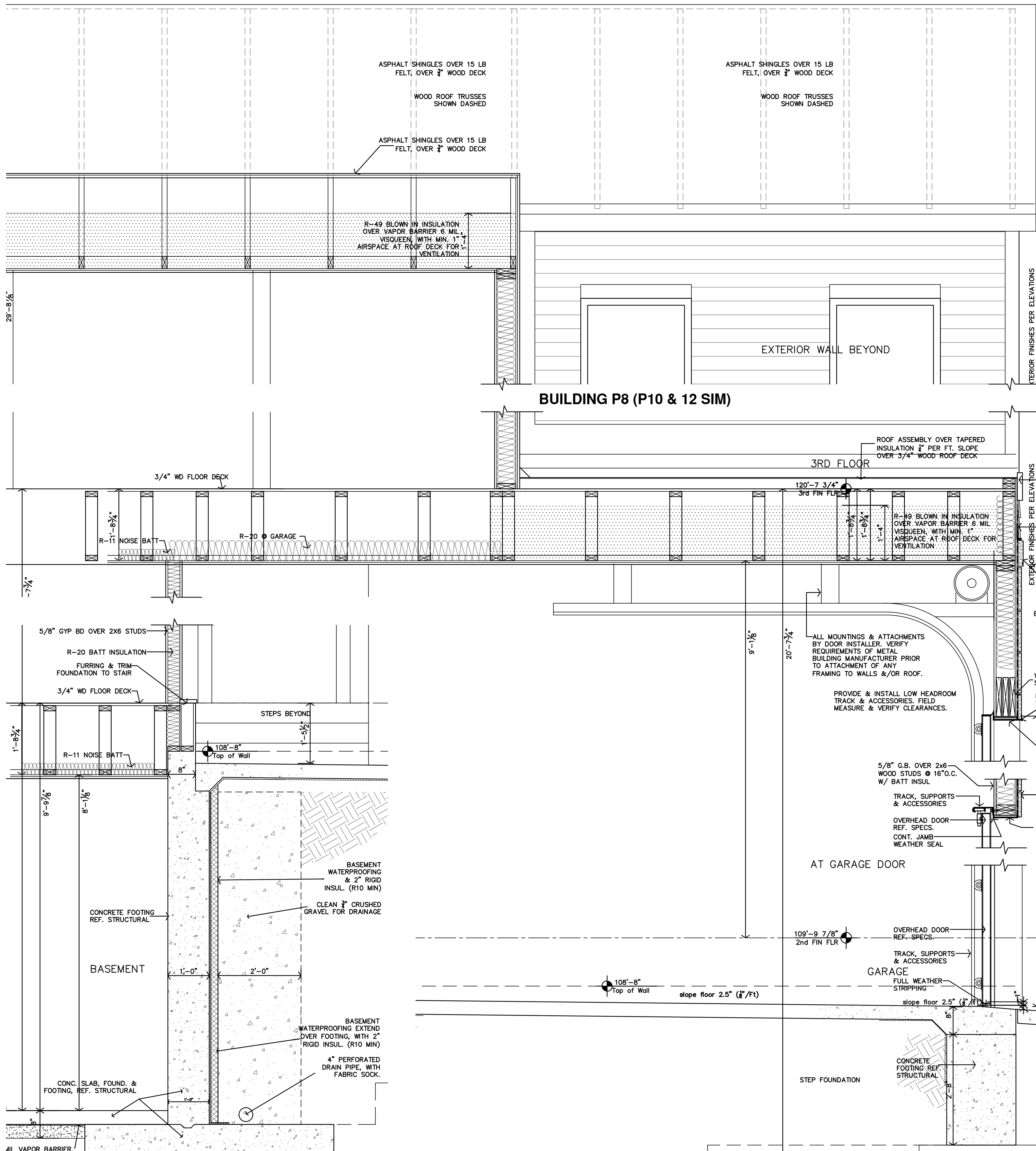


BUILDING P8 (P10 & 12 SIM)

BUILDING P8 (P10 & 12 SIM)

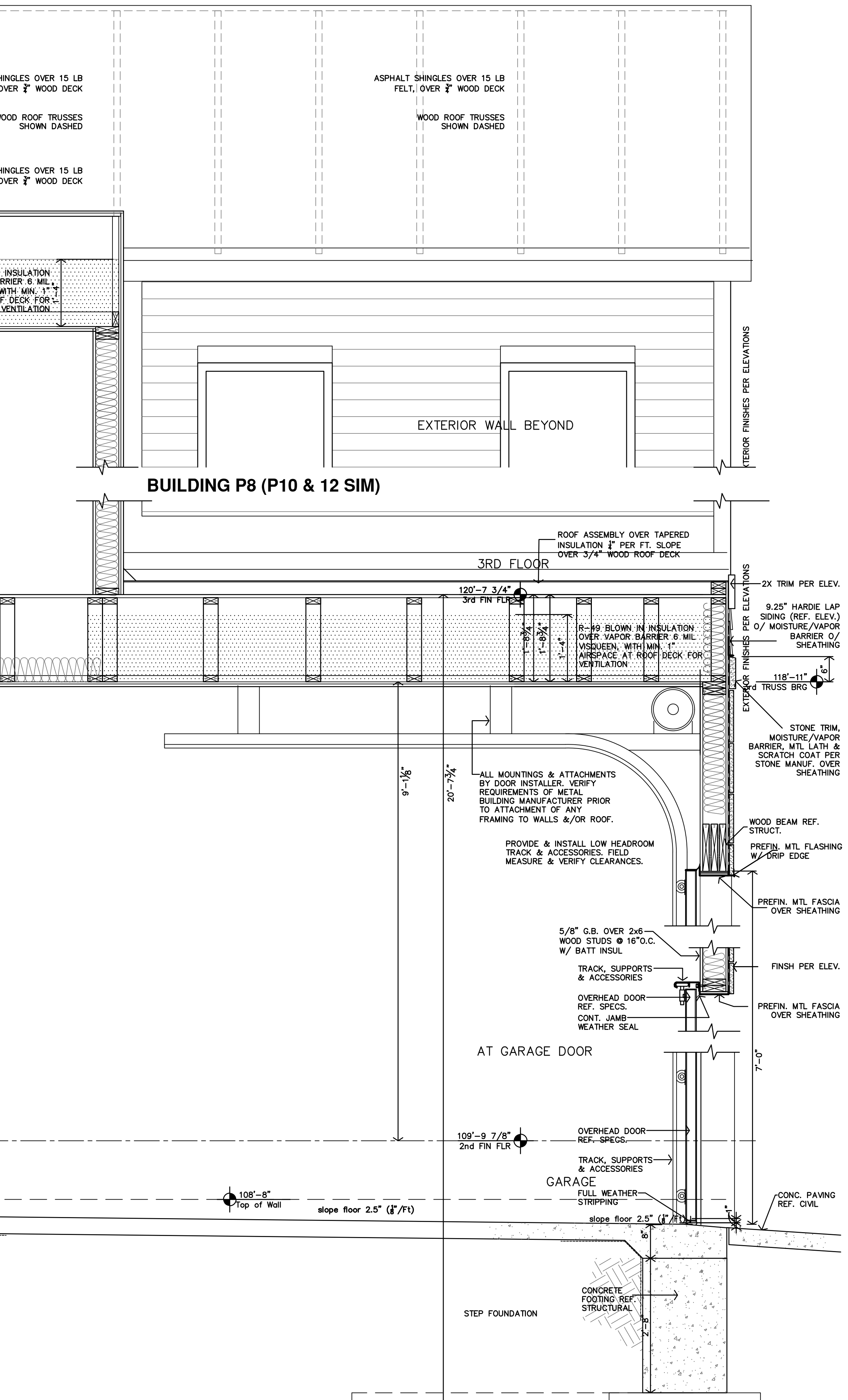
BUILDING P8 (P10 & 12 SIM)

C P8 - 3B (P10 & 12 SIM) WALL SECT. @ PARKSIDE
3/4"=1'-0"

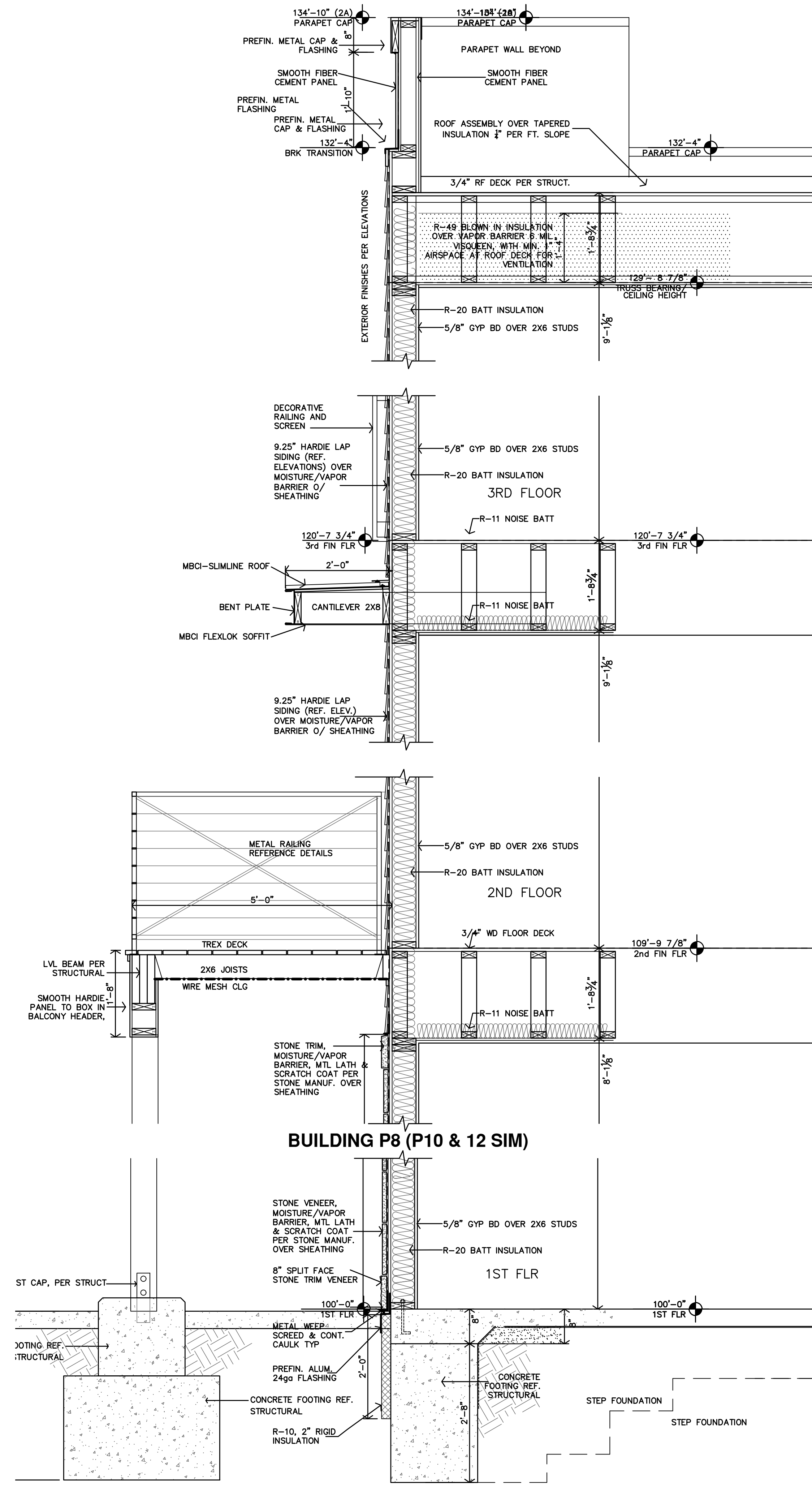


BUILDING P8 (P10 & 12 SIM)

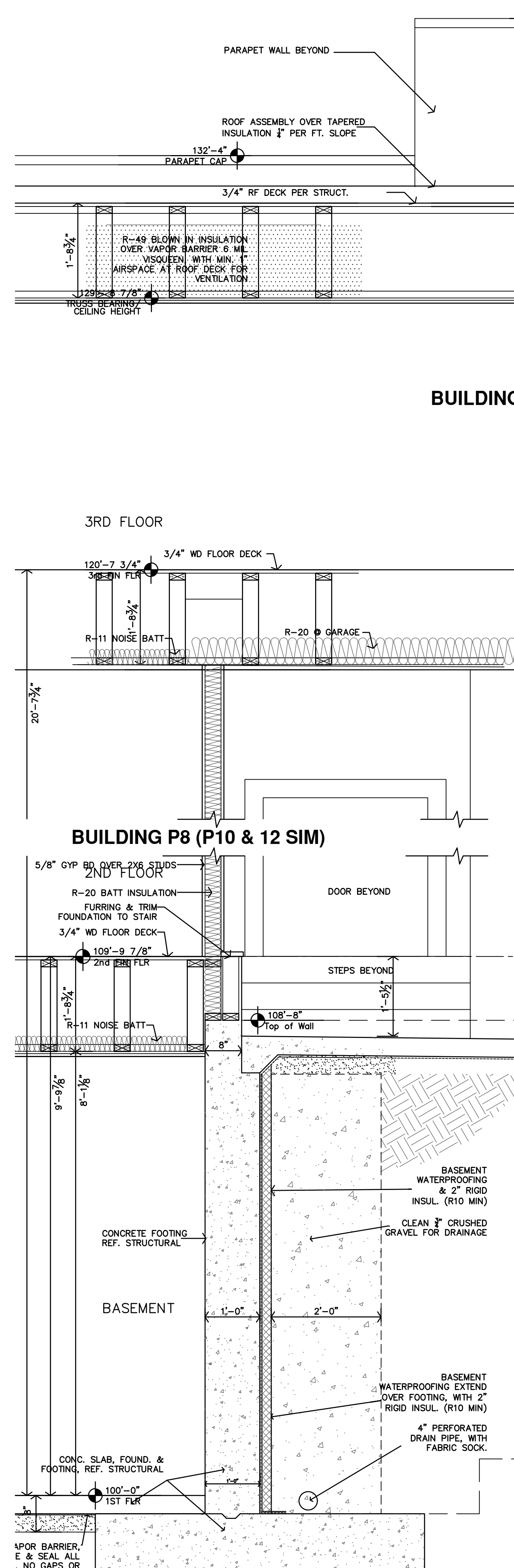
B P8 - 3B (P10 & 12 SIM) WALL SECT. @ BASEMENT
3/4"=1'-0"



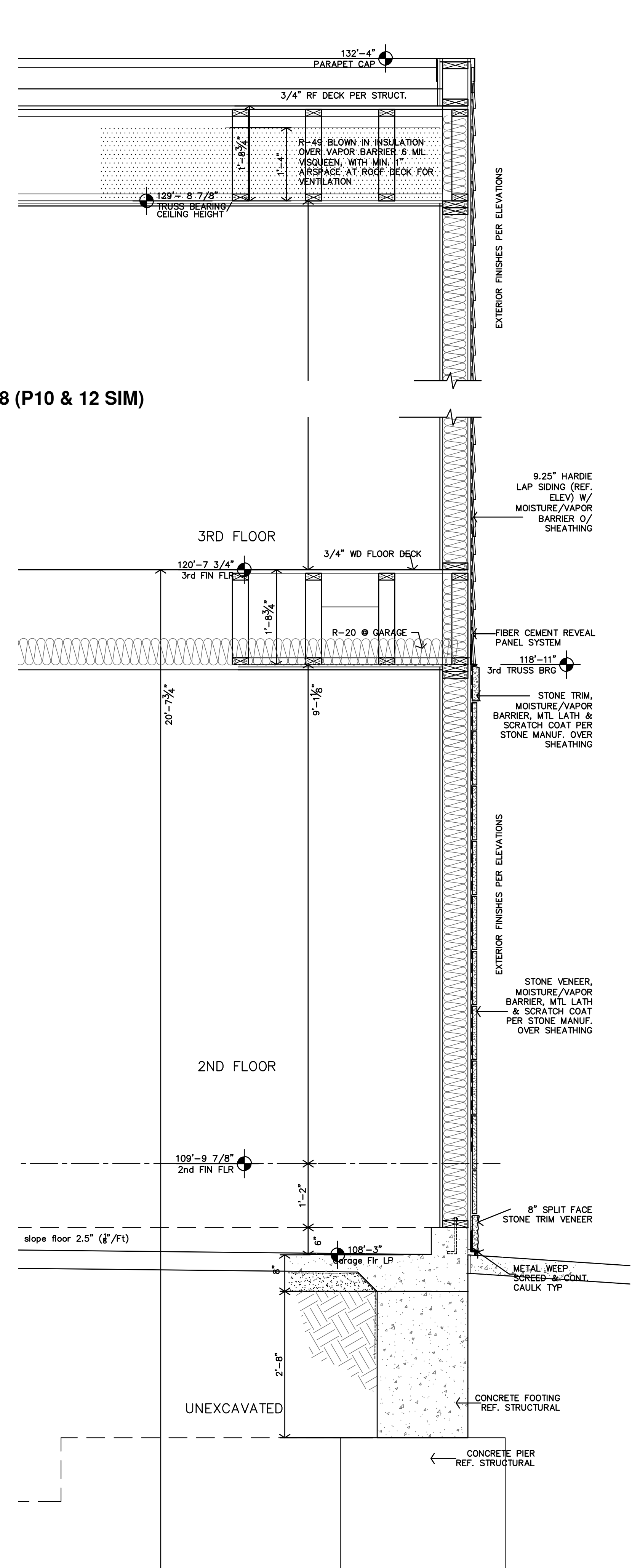
A P8 - 3B (P10 & 12 SIM) WALL SECT. @ GARAGE
3/4"=1'-0"



C P8 - 3A (P10 & 12 SIM)
WALL SECT. @ REAR
3/4"=1'-0"



B P8 - 3A (P10 & 12 SIM)
WALL SECT. @ BASEMENT
3/4"=1'-0"



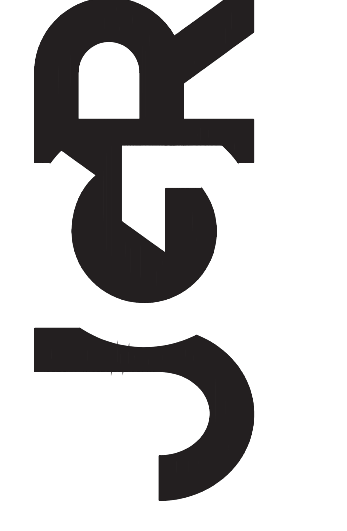
A P8 - 3A (P10 & 12 SIM)
WALL SECT. @ GARAGE
3/4"=1'-0"

BUILDING P8 (P10 & 12 SIM)

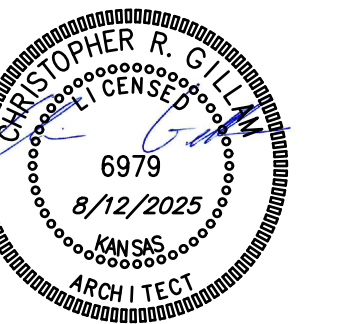
BUILDING P8 (P10 & 12 SIM)

PARKSIDE UNITS

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785.827.0386 jgr@jgarchitects.com



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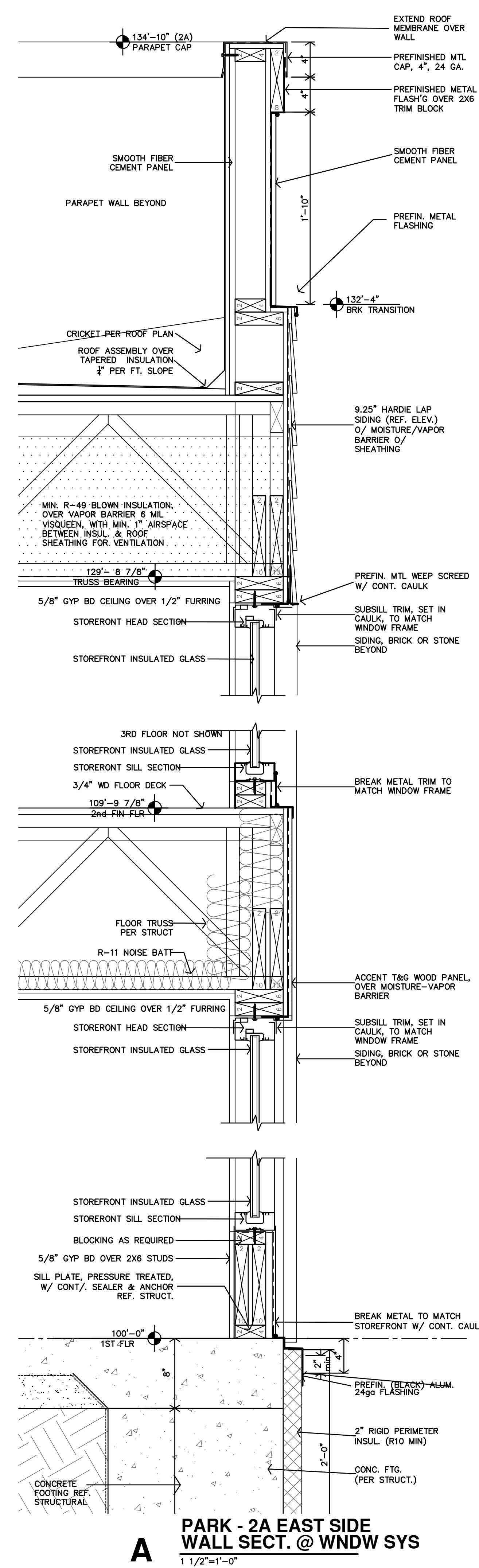
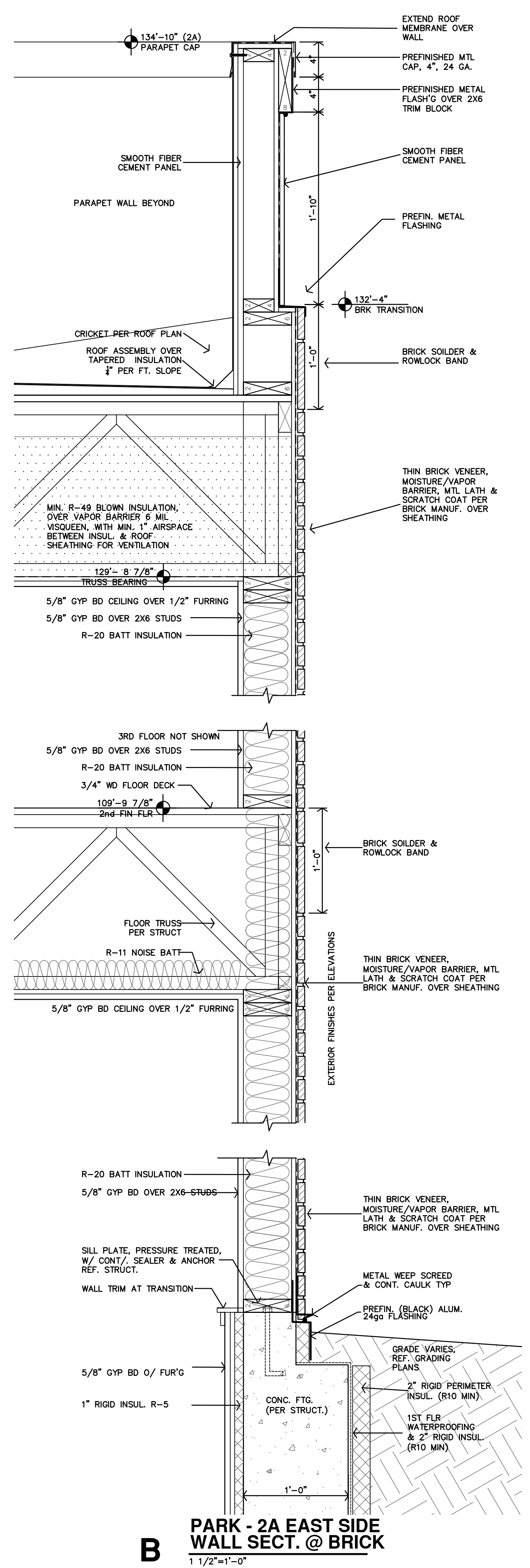
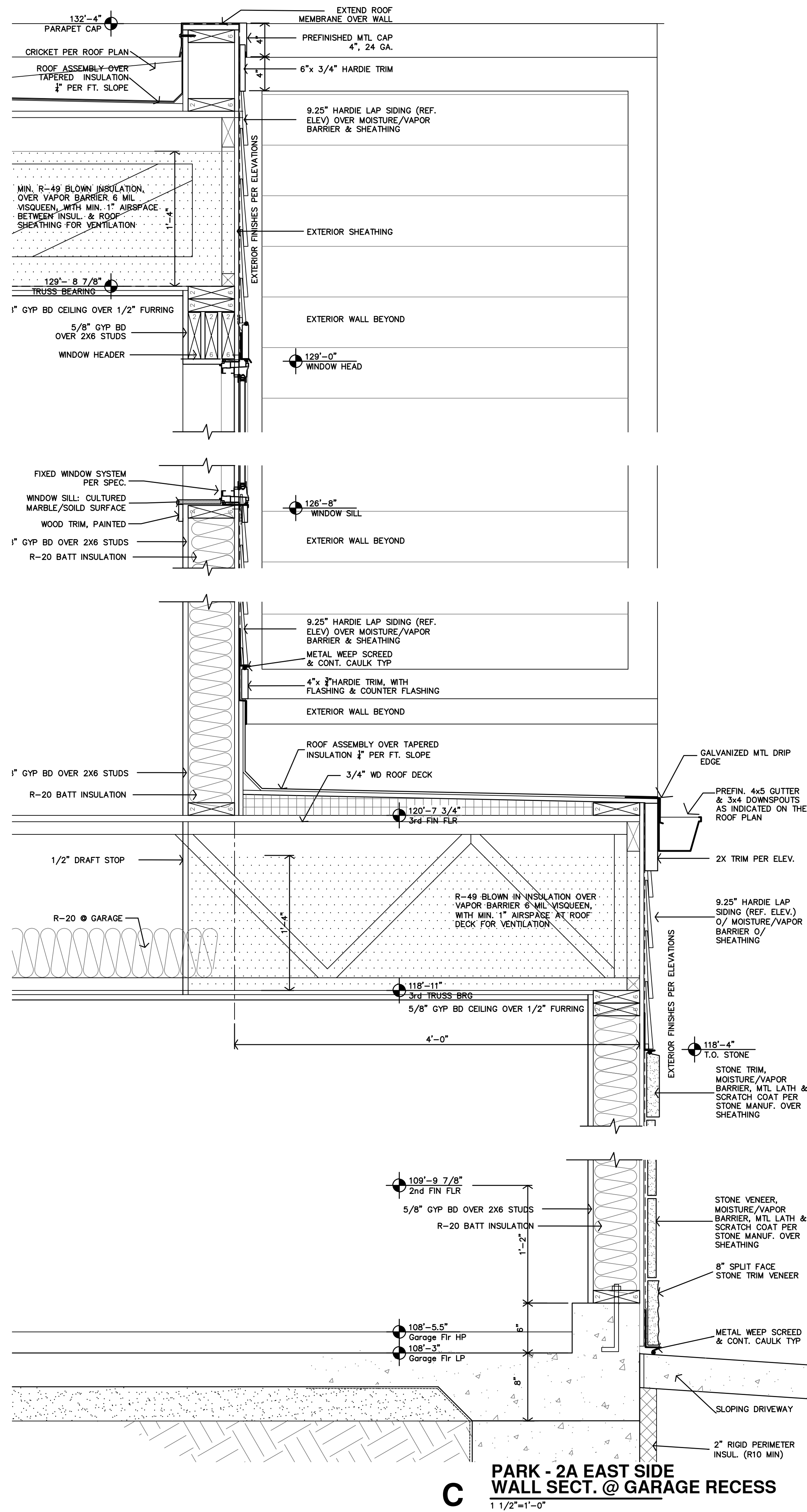


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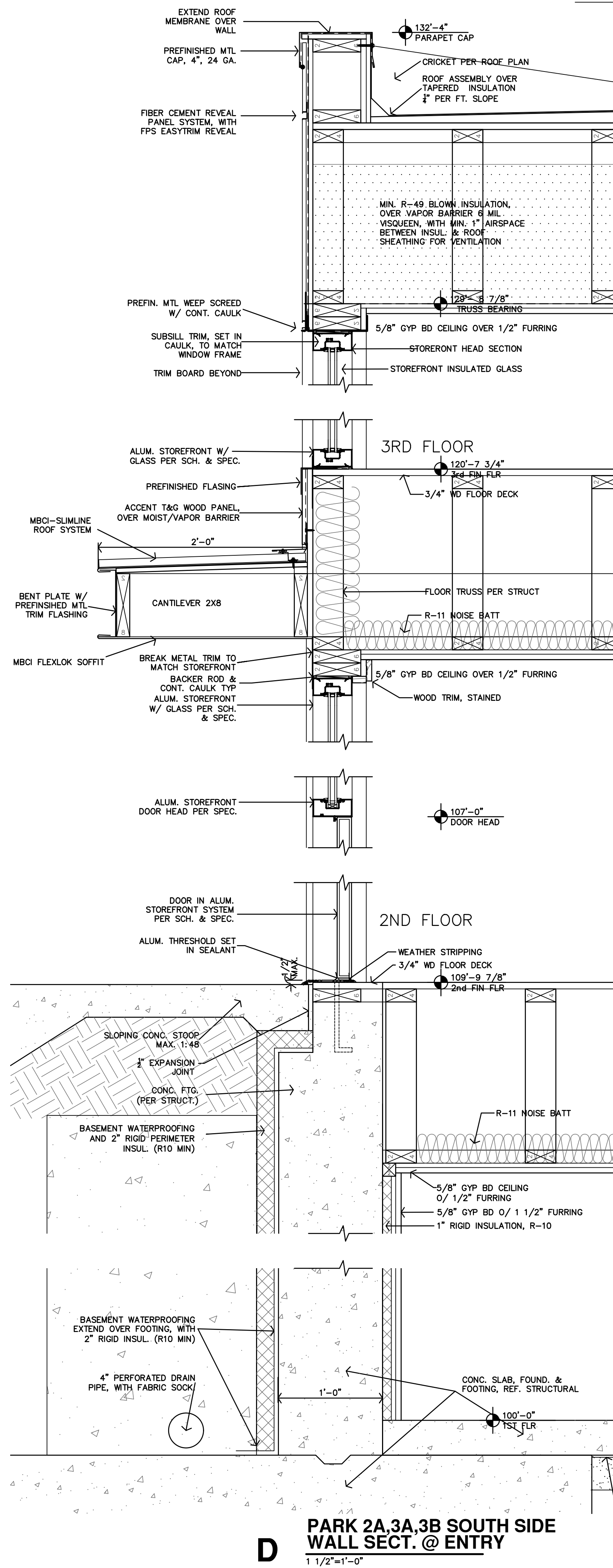
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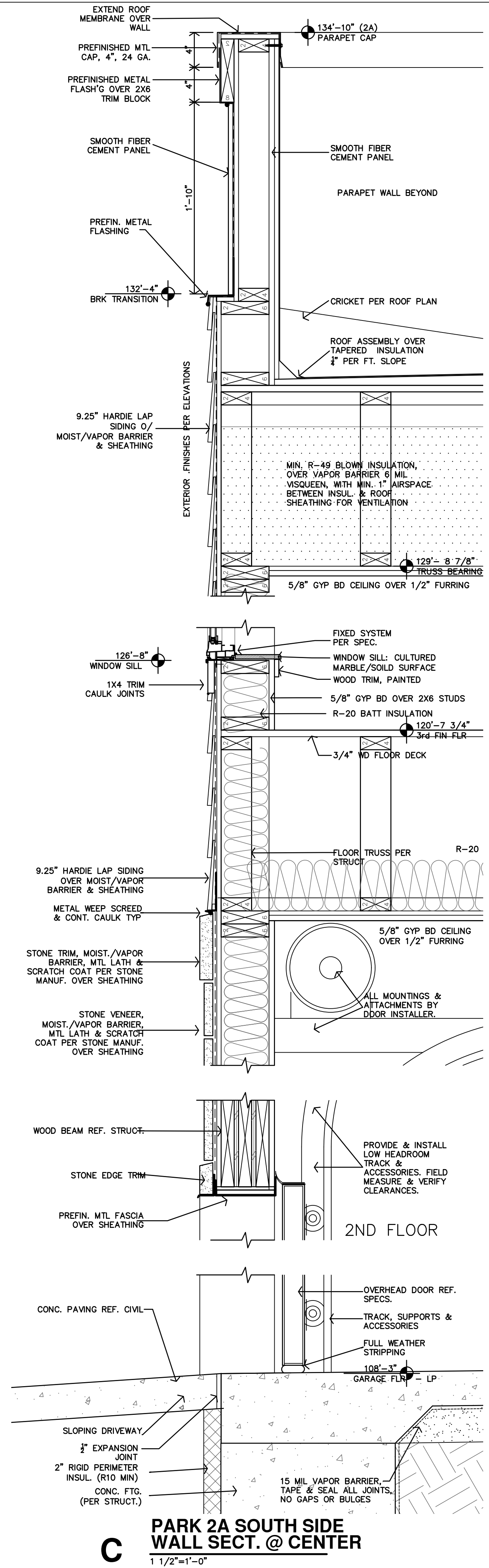


PARKSIDE UNITS

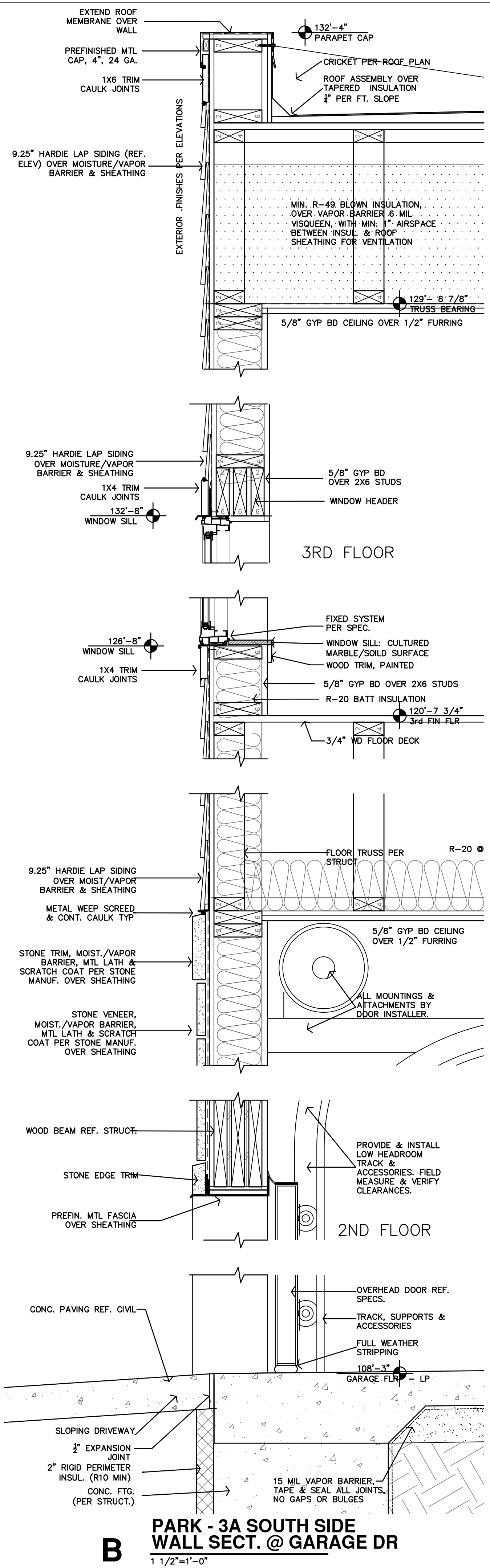
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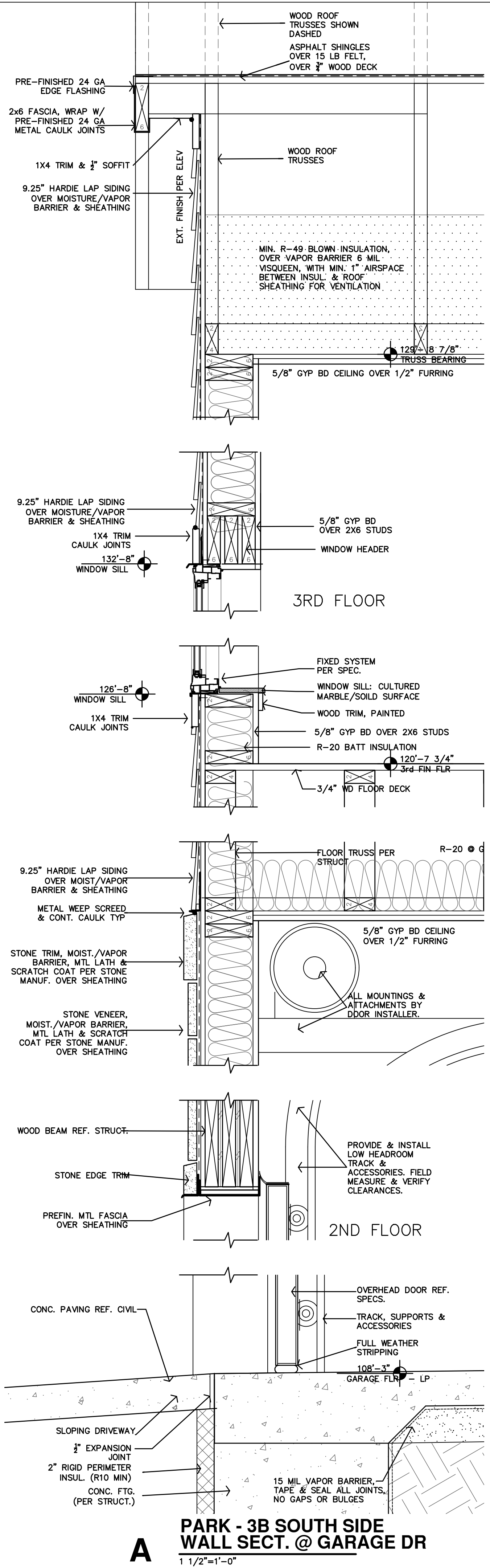
D PARK 2A, 3A, 3B SOUTH SIDE WALL SECT. @ ENTRY
1 1/2"=1'-0"



C PARK 2A SOUTH SIDE WALL SECT. @ CENTER
1 1/2"=1'-0"



B PARK - 3A SOUTH SIDE WALL SECT. @ GARAGE DR
1 1/2"=1'-0"



A PARK - 3B SOUTH SIDE WALL SECT. @ GARAGE DR
1 1/2"=1'-0"

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A4.14

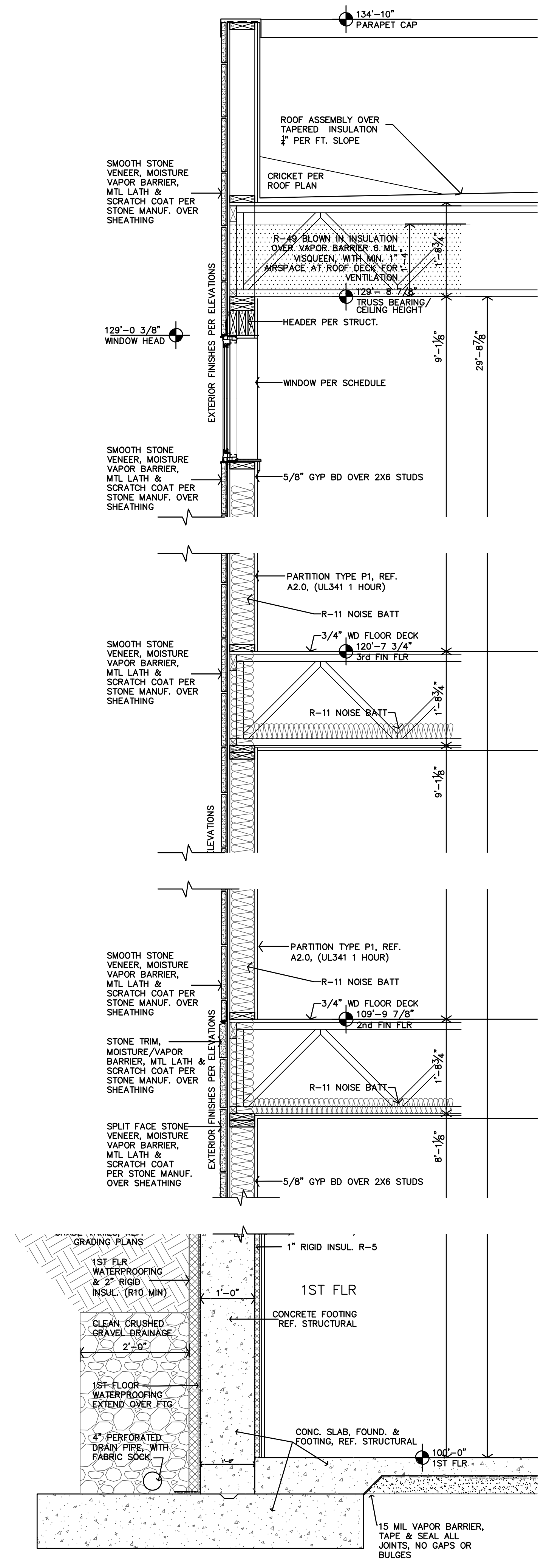


LENEXA, KANSAS
NEW TOWNHOMES COMPLEX

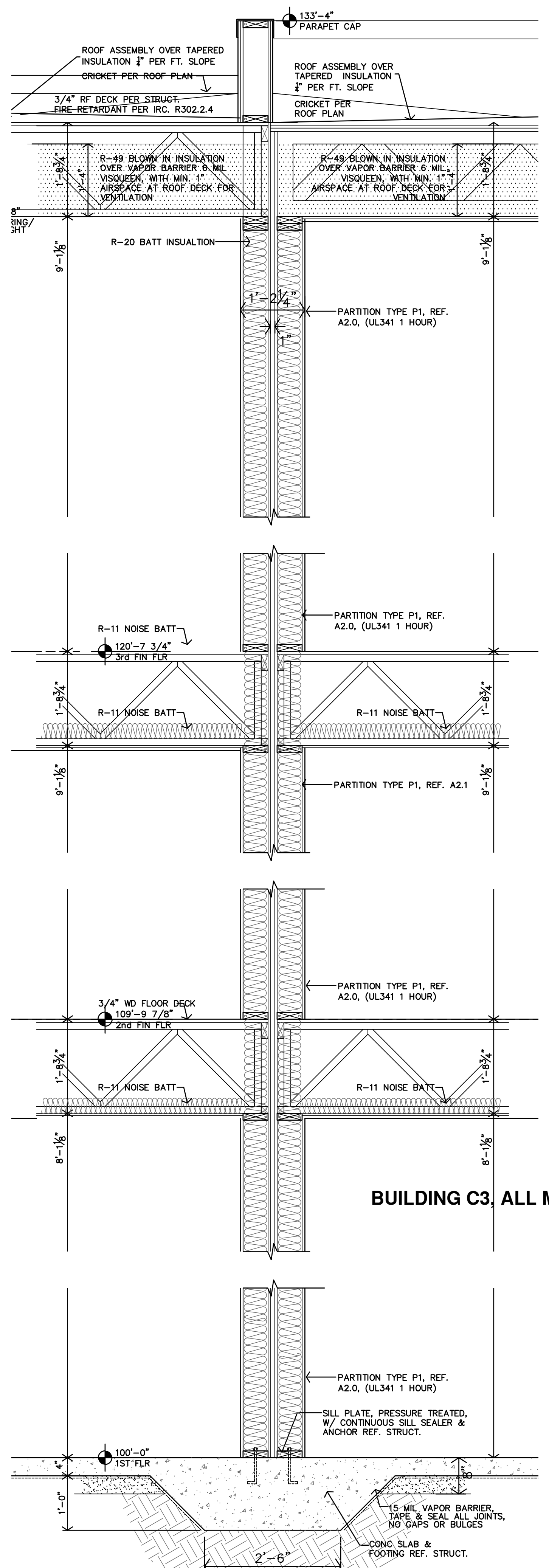
LENEXA CITY CENTER - NORTH VILLAGE TOWNHOMES

JGR
JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgarchitects.com

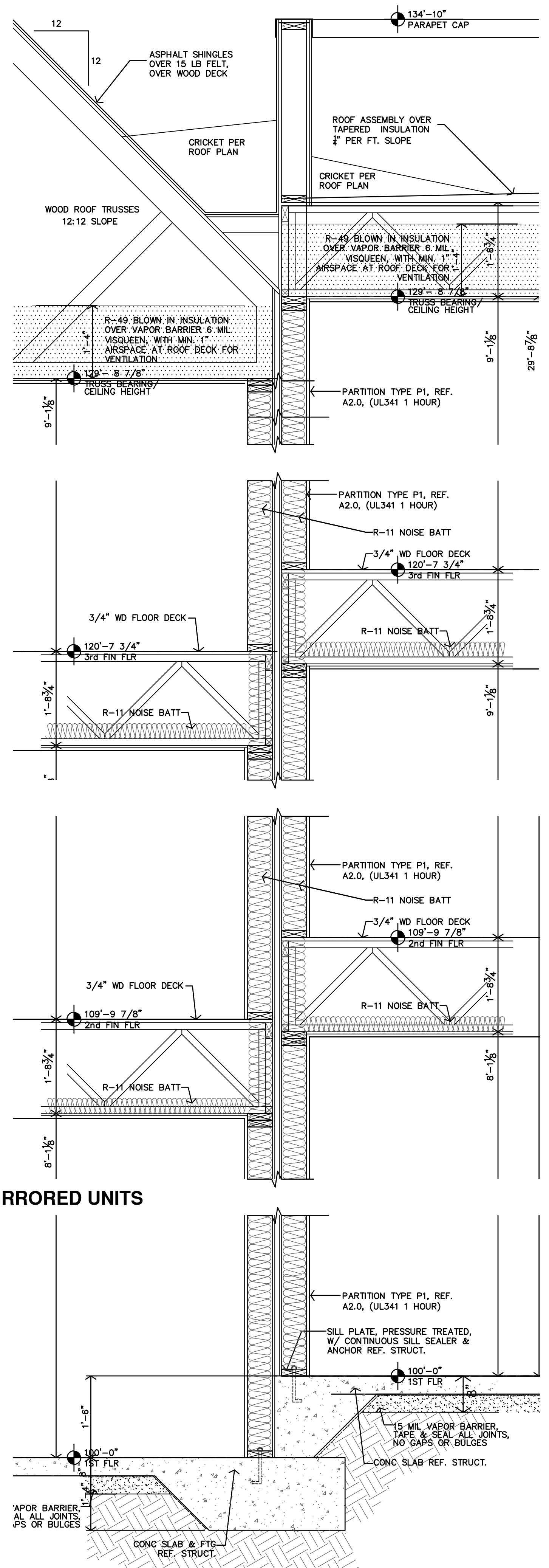
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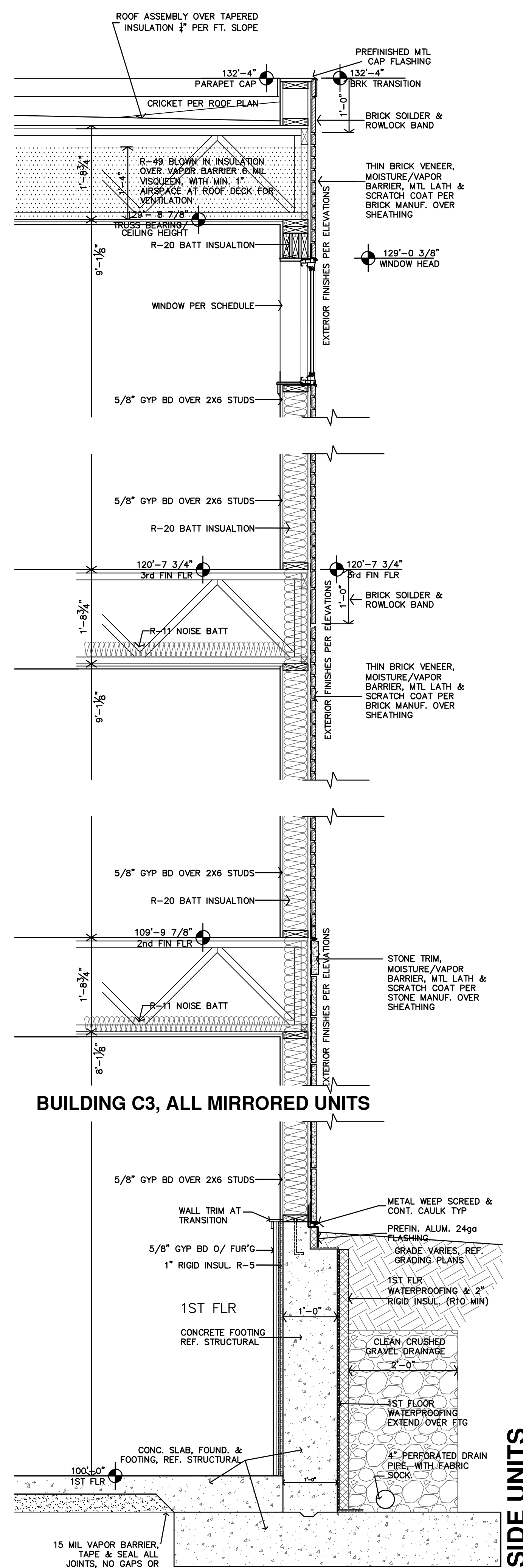
D C3 - 3A (MIRRORED) WALL SECT. @ END
3/4"=1'-0"



C C3 - 3A/2B (MIRRORED) WALL SECT. @ NO STEP
3/4"=1'-0"



B C3 - 2B/3A (MIRRORED) WALL SECT. @ 1'-6" STEP
3/4"=1'-0"

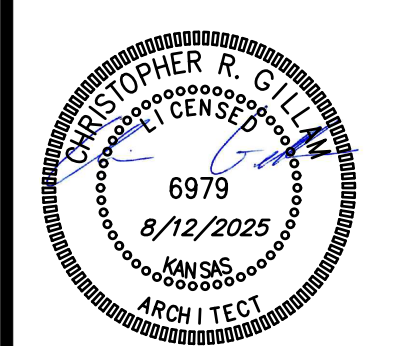


A C3 - 3A (MIRRORED) WALL SECT. @ END
3/4"=1'-0"

BUILDING C3, ALL MIRRORED UNITS

BUILDING C3, ALL MIRRORED UNITS

CITYSIDE UNITS



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DATE: 8-12-2025
JOB: 25-3090
SHEET NO.:

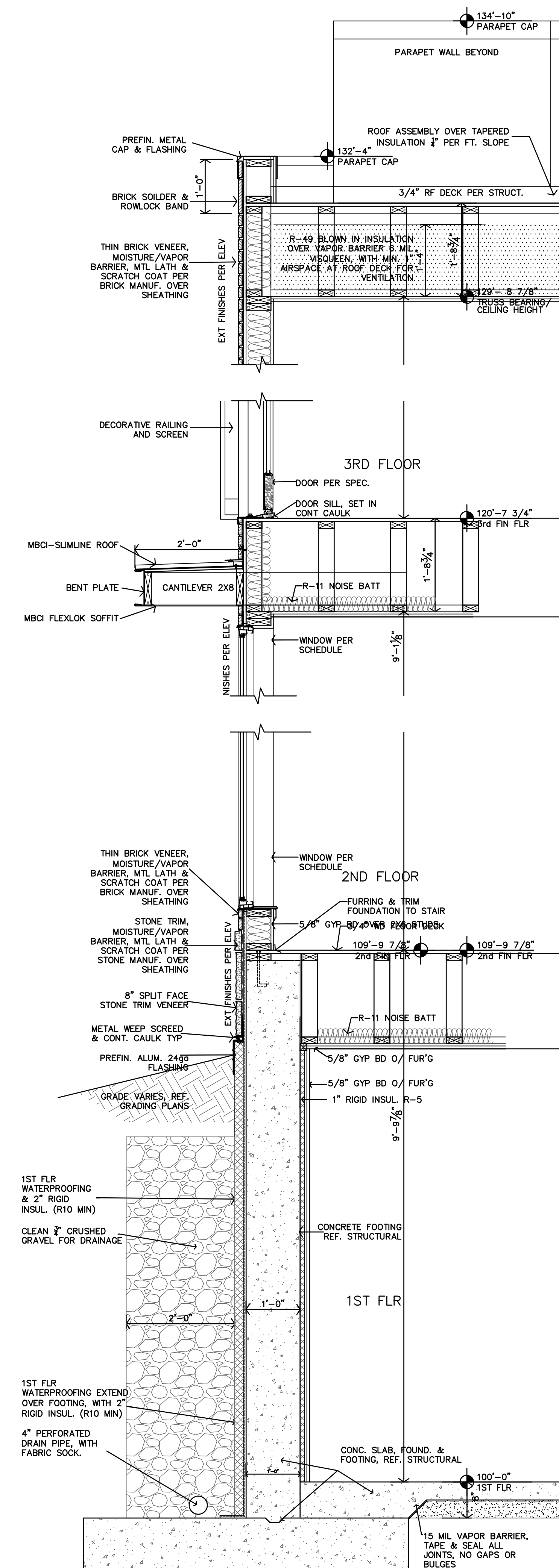
A4.16

LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS

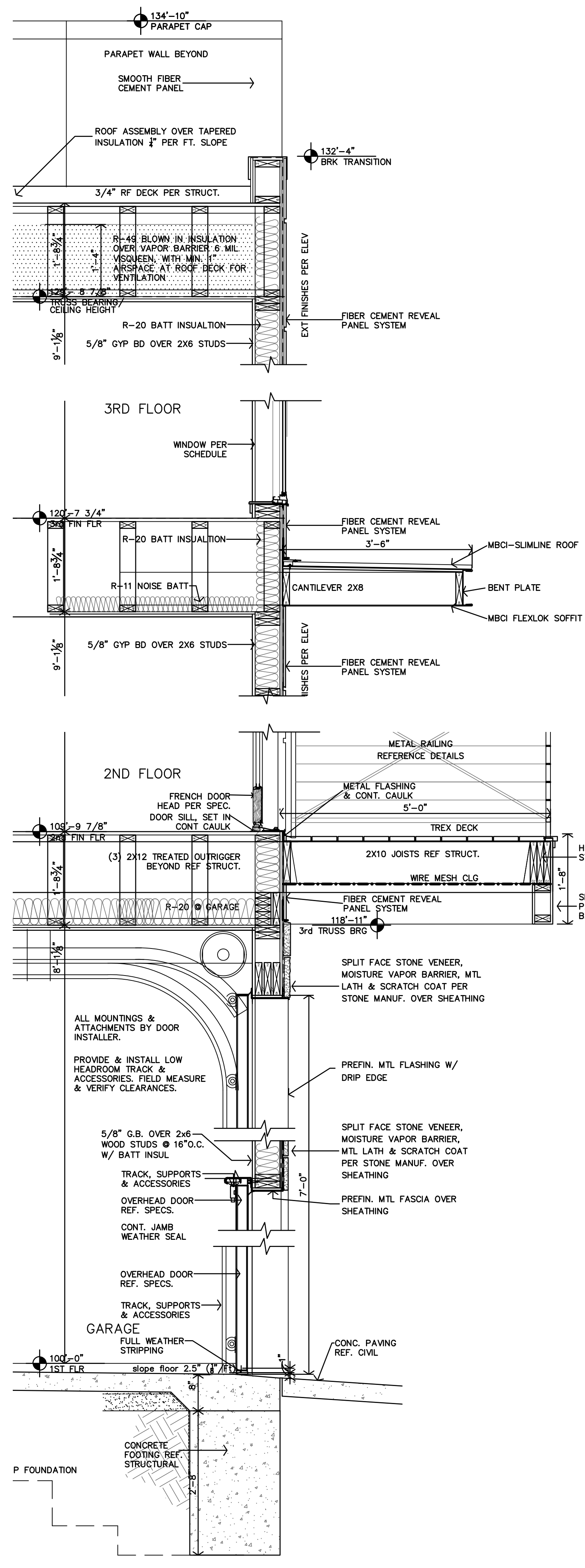
JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgarchitects.com



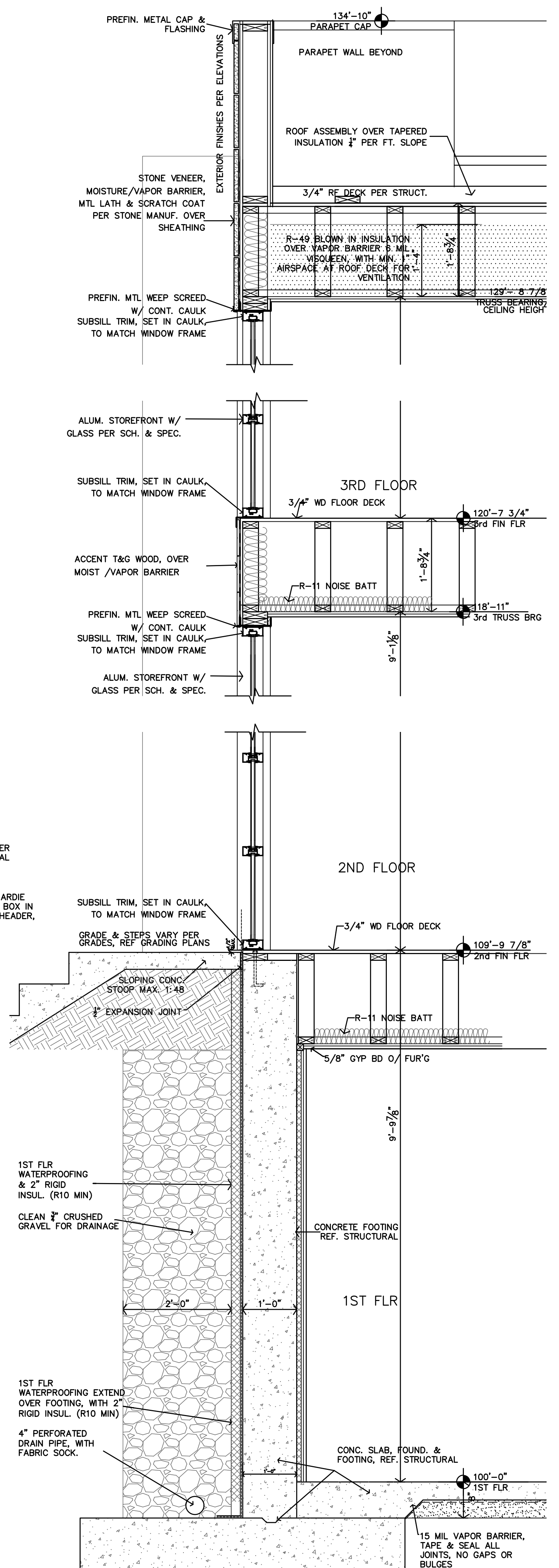
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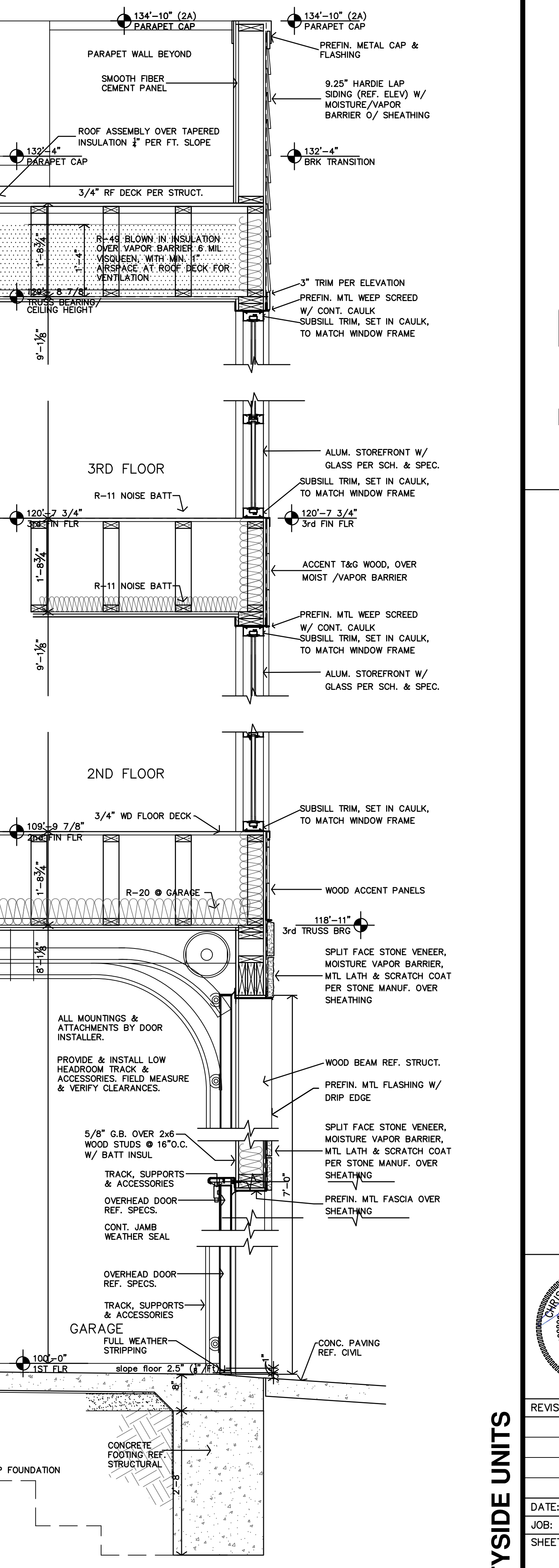
D C3 3A (MIRRORED)
WALL SECT. @ BASEMENT
3/4"=1'-0"



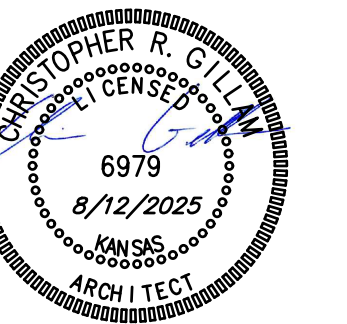
C C3 3A (MIRRORED)
WALL SECT. @ GARAGE
3/4"=1'-0"



B C3 3A (MIRRORED)
WALL SECT. @ BASEMENT
3/4"=1'-0"

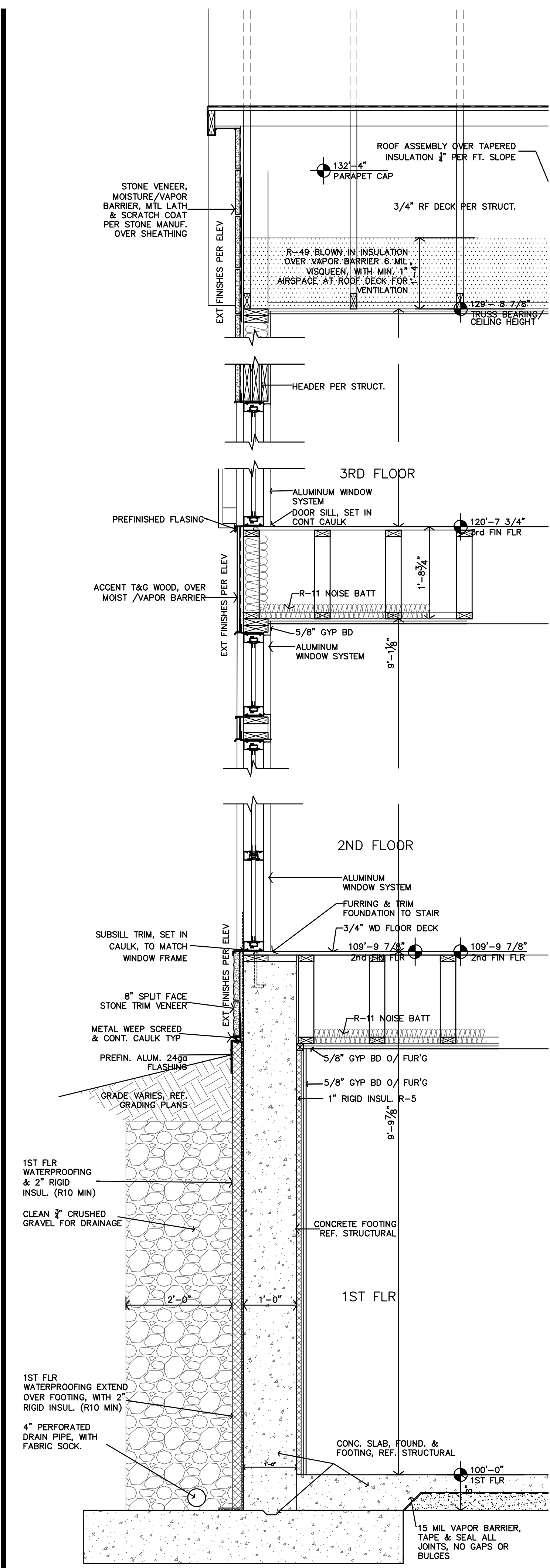


A C3 3A (MIRRORED)
WALL SECT. @ GARAGE
3/4"=1'-0"

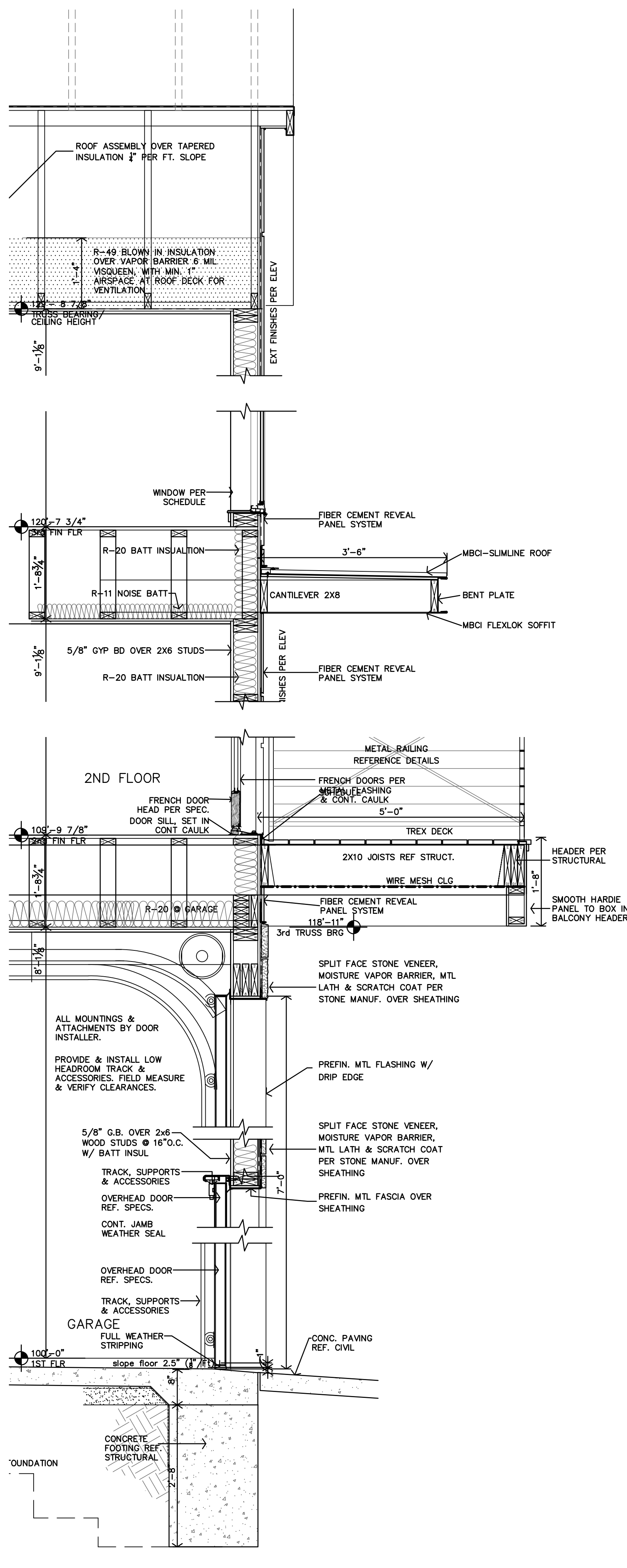


CITYSIDE UNITS

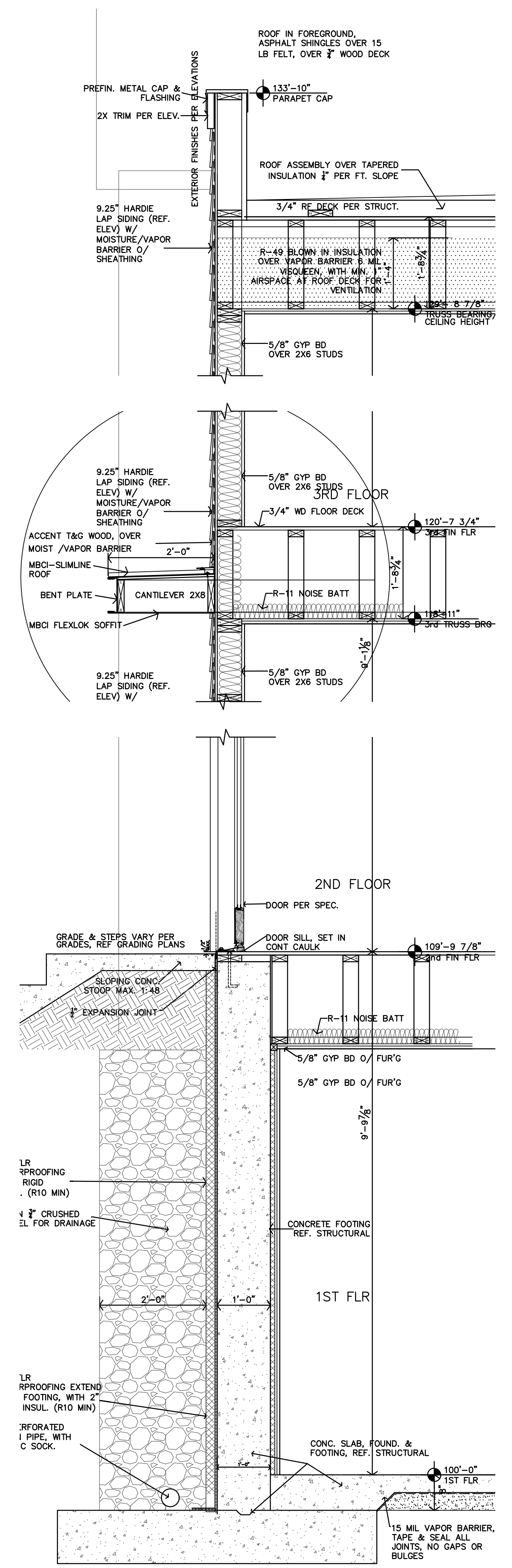
REVISION:	
DATE:	8-12-2025
JOB:	25-3090
SHEET NO.:	



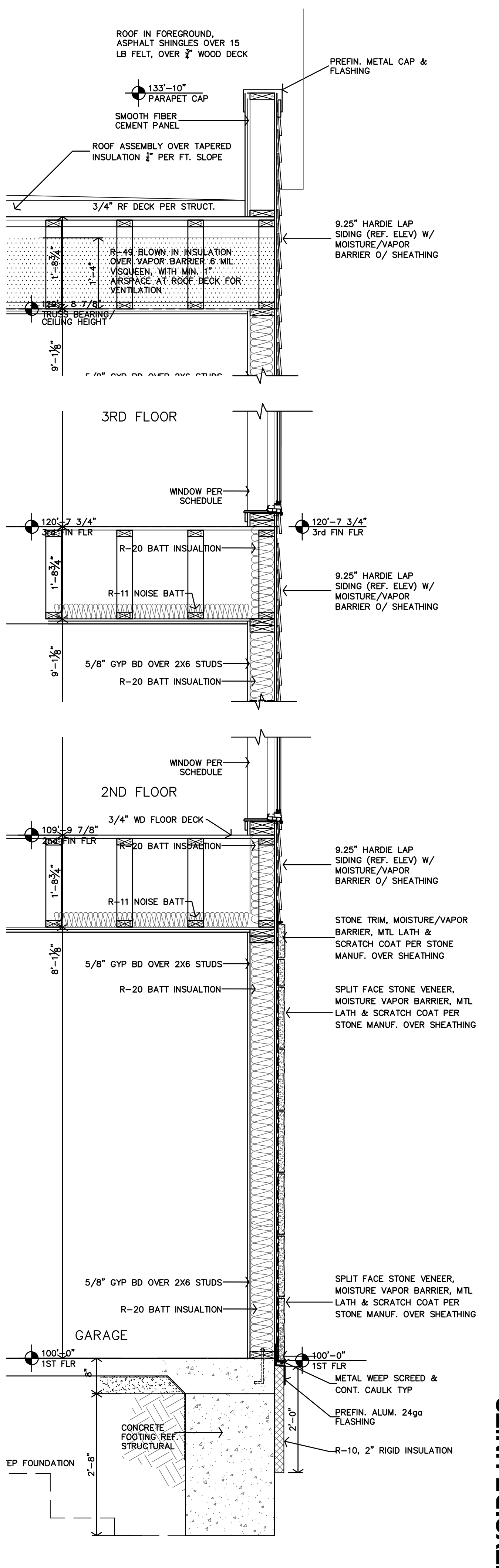
D C3 2B (MIRRORED) 3B SIMILAR WALL SECT. @ BASEMENT
3/4"=1'-0"



C C3 2B (MIRRORED) 3B SIMILAR WALL SECT. @ GARAGE
3/4"=1'-0"



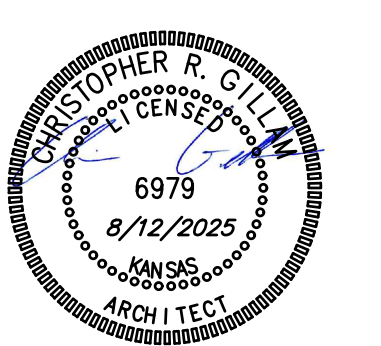
B C3 2B (MIRRORED) 3B SIMILAR WALL SECT. @ BASEMENT
3/4"=1'-0"



A C3 2B (MIRRORED) 3B SIMILAR WALL SECT. @ GARAGE
3/4"=1'-0"

CITYSIDE UNITS

REVISION:
DATE: 8-12-2025
JOB: 25-3090
SHEET NO.:

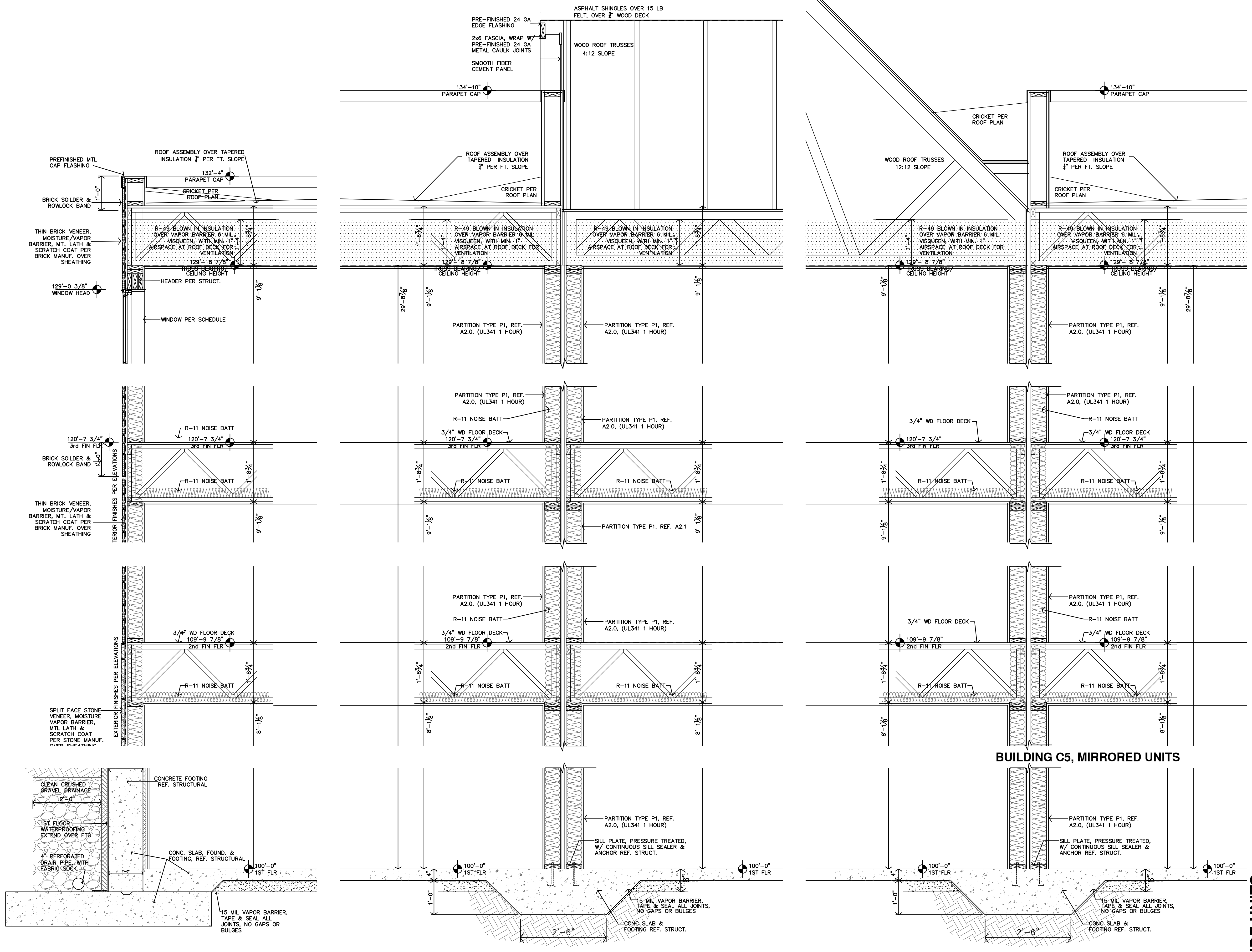


A4.18

LENEXA CITY CENTER - NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS

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C C5 - 3A
WALL SECT. @ END
3/4"=1'-0"

B C5 - 3A (NORM) & 3B (MIRRORED)
WALL SECT. @ NO STEP
3/4"=1'-0"

A C5 - 3B/3A (MIRRORED)
WALL SECT. @ NO STEP
3/4"=1'-0"

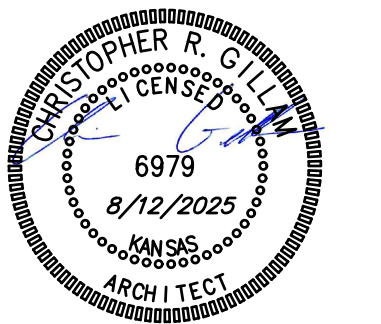
CITYSIDE UNITS

REVISION:

DATE: 8-12-2025

JOB: 25-3090

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LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
 KANSAS
 LENEXA,

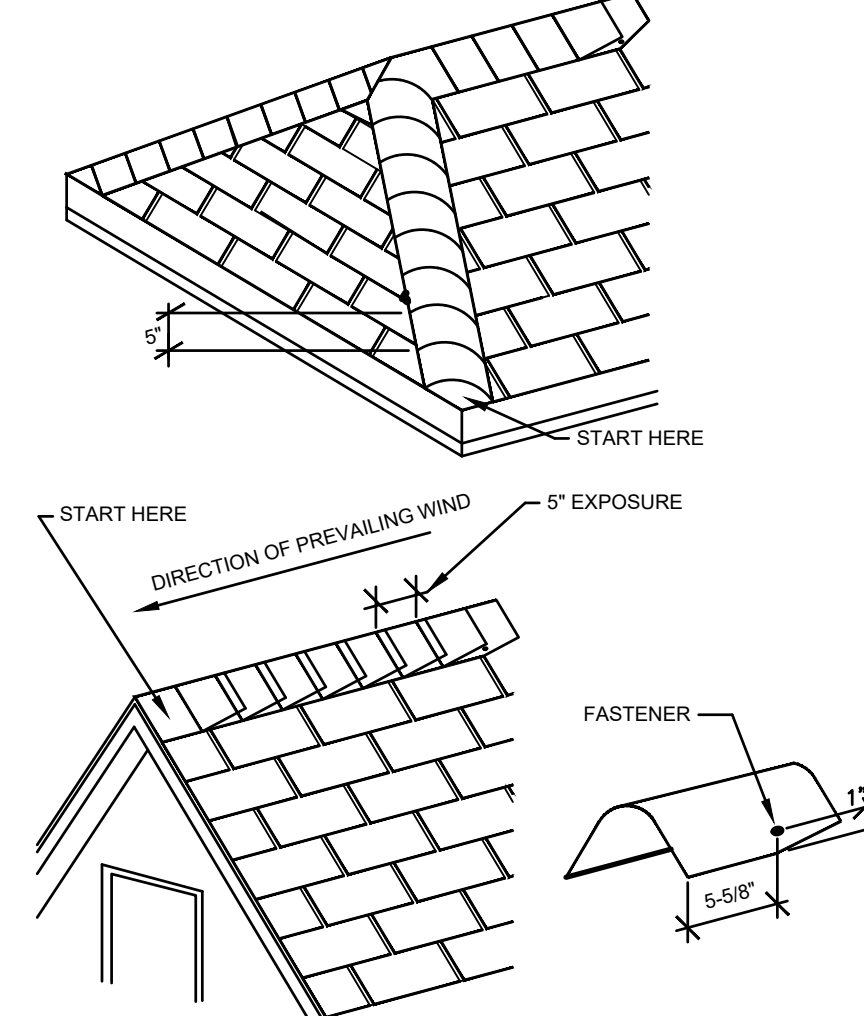
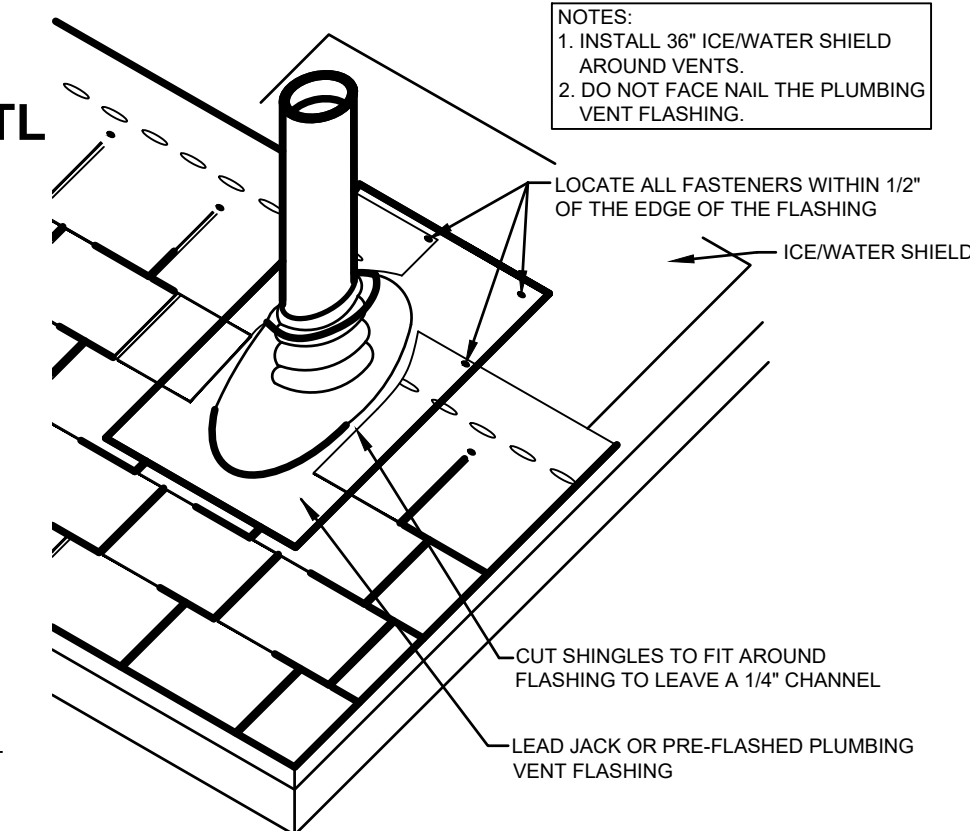
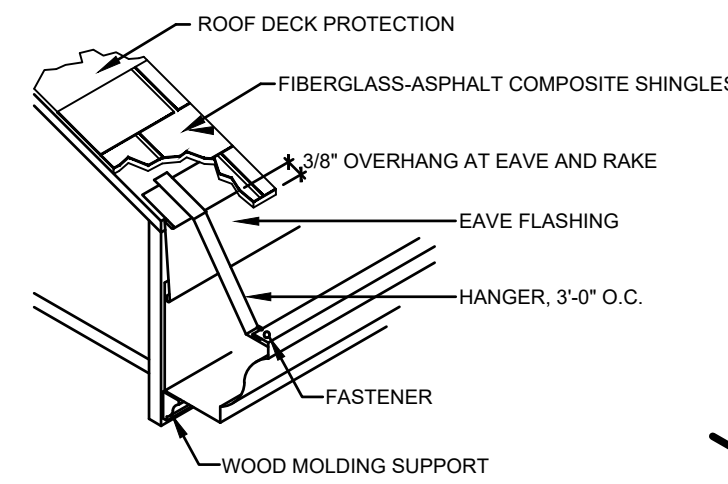
A4.19

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ROOFING DETAIL NOTES

1. TYPICAL MANUFACTURER'S DETAILS. ACTUAL CONDITIONS MAY VARY, REFER AND COORDINATE W/ BUILDING DETAILS PROVIDING THE MANUFACTURER'S MOST STRINGENT REQUIREMENTS, RECOMMENDATIONS, NECESSARY TO ACHIEVE COMPLETE WATERTIGHT WARRANTY.
2. A WOOD NALER IS REQUIRED WHEN INSULATION IS GREATER THAN 1" COORDINATE WITH MANUFACTURER'S REQUIREMENTS TOP OF WOOD ATTACH WOOD NAILERS SHALL BE SPACED NO GREATER THAN 18" O.C.

MANUFACTURER'S—ROOFING DETAILS, CONDITIONS VARY



F VENT FLASHING DETAIL
NOT TO SCALE

E HIP & RIDGE DETAILS
NOT TO SCALE

ROOF GENERAL NOTES

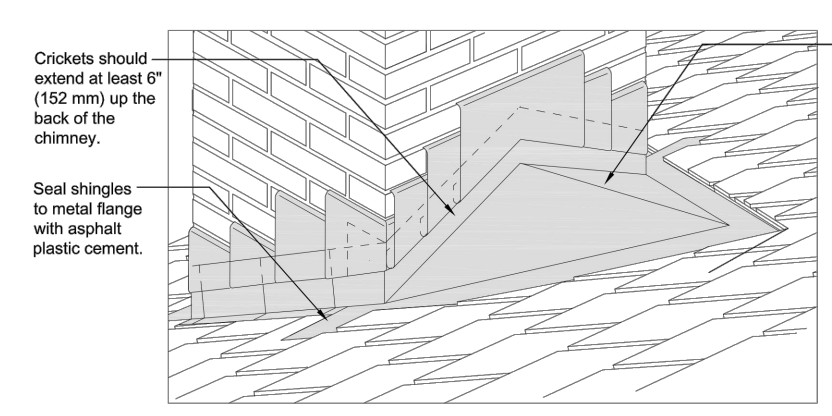
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
2. MANUFACTURER & INSTALLER SHALL BE RESPONSIBLE FOR TOTAL ROOF SYSTEM INCLUDING TRANSITIONS, FLASHINGS, ETC. TO MAINTAIN WATER TIGHT ROOF SYSTEM. SUBMIT MANUFACTURER'S AND ROOFING SYSTEMS PER THE GENERAL CONDITIONS.
3. MANUFACTURER SHALL WARRANT TOTAL ROOF SYSTEM.
4. REF. STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
5. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, RADON VENTS, ETC. NOT SHOWN FOR CLARITY, VERIFY LOCATION WITH ALL PLANS, INCL. MECHANICAL & PLUMBING DRAWINGS.
6. CONTRACTOR SHALL TIE-IN AND COORDINATE WITH UNDERGROUND ROOF COLLECTOR, EACH DOWNSPOUT LOCATION. REFERENCE CIVIL DRAWINGS.
7. INSTALL FIREBLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
8. CAULK & SEAL WATER TIGHT ALL JOINTS & TRANSITIONS.
9. ALL METAL MATERIALS (I.E. VALLEYS, FLASHINGS, ETC...) SHALL BE .0217\"/>

ATTIC VENTILATION

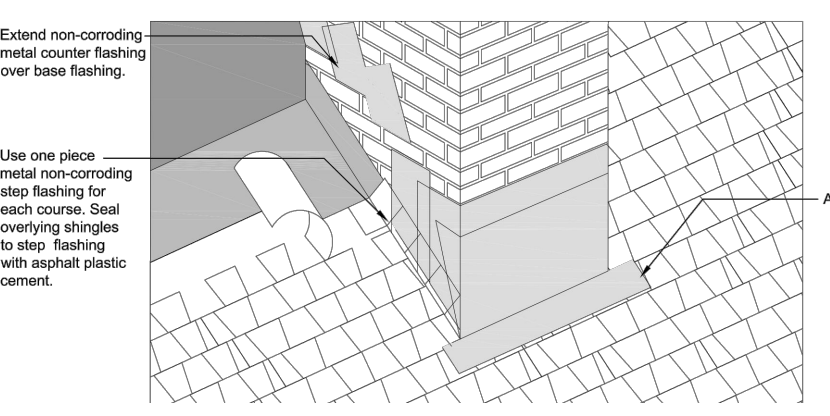
ATTIC VENTILATION PER IBC, (EXCEPTION 2), 1/300 WITH ASTM 396 VAPOR BARRIER, RIDGE VENT SHALL PROVIDE A MIN. OF 18 SQUARE INCHES OF (NFA) OF VENTILATION PER LINEAR FOOT. SOFFIT VENT SHALL PROVIDE A MIN. OF 8.5 SQUARE INCHES OF (NFA) OF VENTILATION PER LINEAR FOOT. ROOF VENT SHALL PROVIDE A MIN. OF 50 SQUARE INCHES OF (NFA) OF VENTILATION EACH. ADDITIONAL AND OPTIONAL VENTS MUST BE INSTALLED IF THESE AREAS ARE NOT PROVIDED OR MET.

PARKSIDE 2A, 3A, 3B LOW SLOPE MEMBRANE ROOF & PICHED SLOPED ROOF TOTAL AREA (995 SF)
ATTIC VENTILATION AREA MUST PROVIDE THE MINIMUM WITH A COMBINATION OF THE FOLLOWING:
(995/300sf = 3.32/2 = 1.66sf NFA, 2 OF THE FOLLOWING)
RIDGE VENT - 1.66sf OF NFA (1.66sf=239sf/18sf)= 13.3 LF
SOFFIT VENT - 1.66sf OF NFA (1.66sf=239sf/18sf)= 13.3 LF
ROOF VENT - 1.66sf OF NFA (1.66sf=239sf/18sf)= 5 EACH

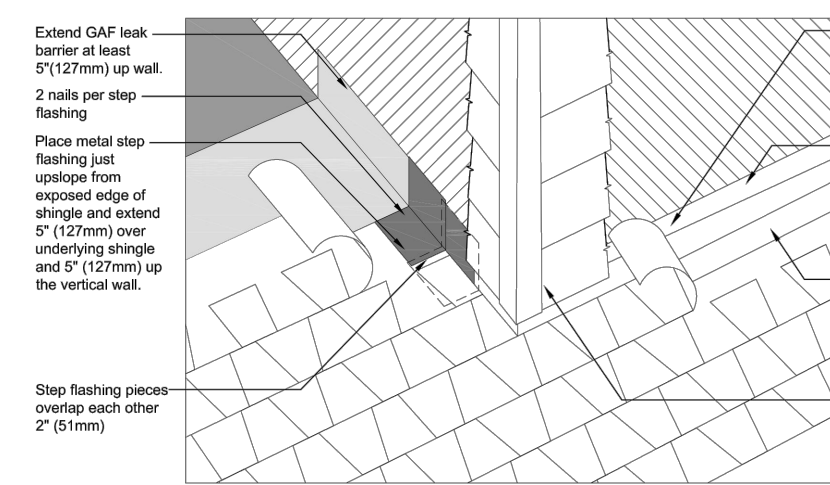
CITYSIDE 2A, 3A, 2B LOW SLOPE MEMBRANE ROOF & GABLED SLOPE ROOF TOTAL AREA (844 SF)
ATTIC VENTILATION AREA MUST PROVIDE THE MINIMUM WITH A COMBINATION OF THE FOLLOWING:
(844/300sf = 2.82/2 = 1.41sf NFA, 2 OF THE FOLLOWING)
RIDGE VENT - 1.41sf OF NFA (1.41sf=203sf/18sf)= 11.3 LF
SOFFIT VENT - 1.41sf OF NFA (1.41sf=203sf/18sf)= 11.3 LF
ROOF VENT - 1.41sf OF NFA (1.41sf=203sf/18sf)= 5 EACH



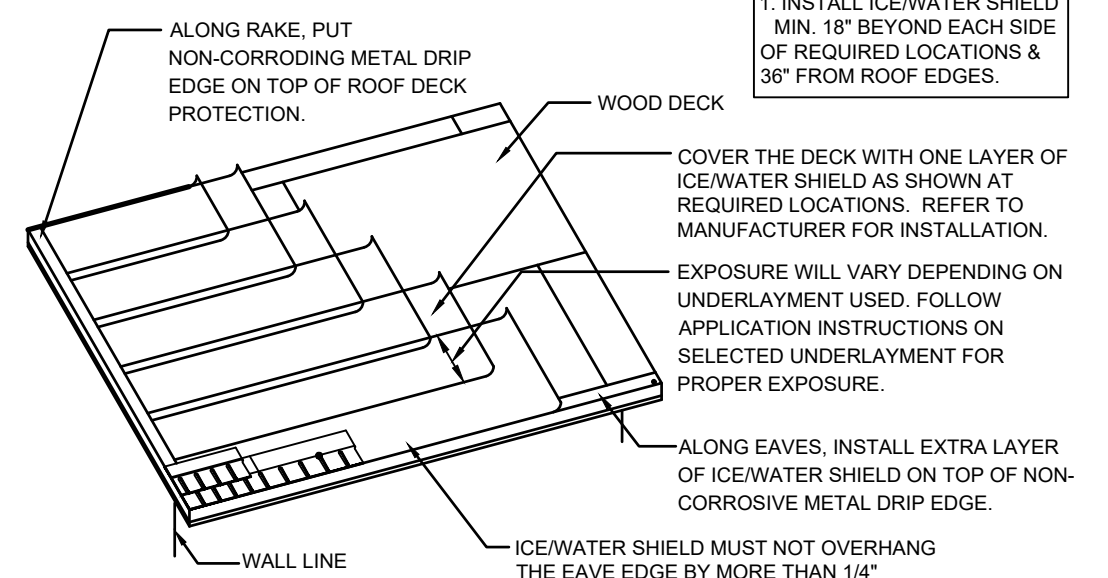
K CRICKET FLASHING
NOT TO SCALE



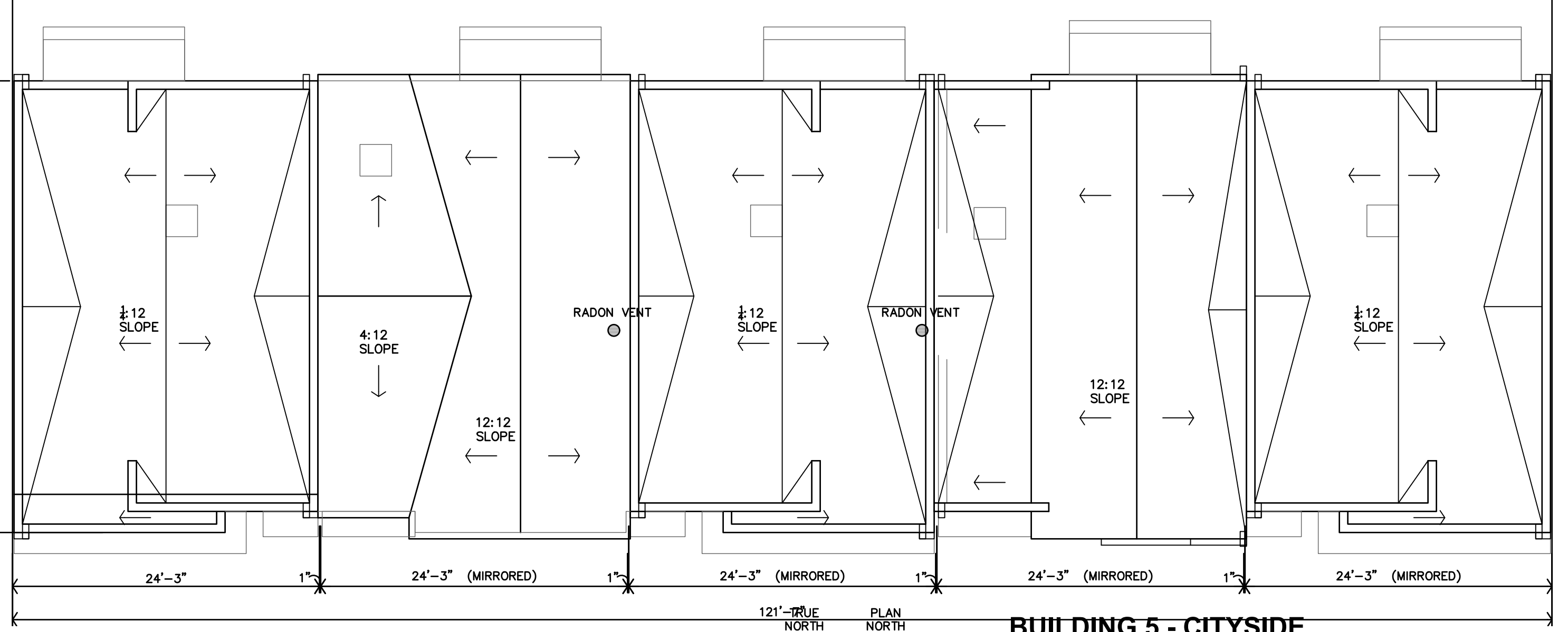
J CHIMNEY FLASHING
NOT TO SCALE



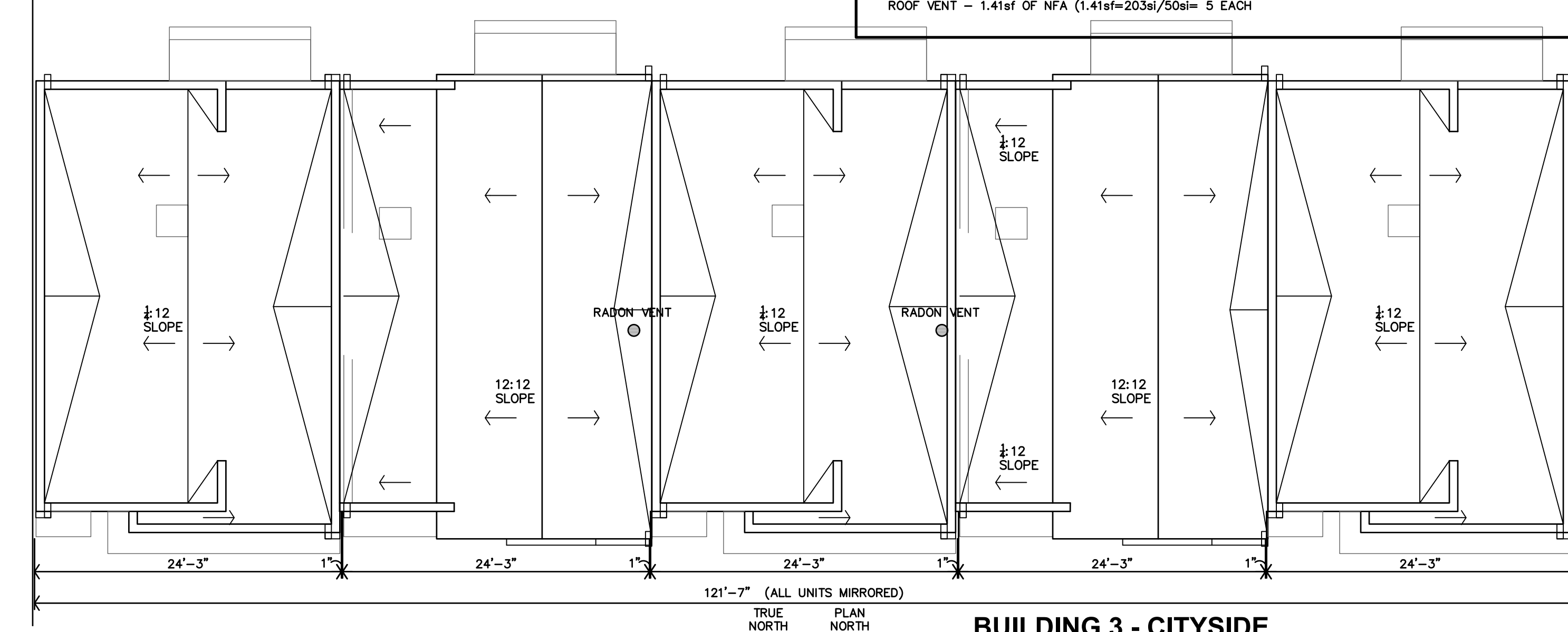
I WALL FLASHING DTL
NOT TO SCALE



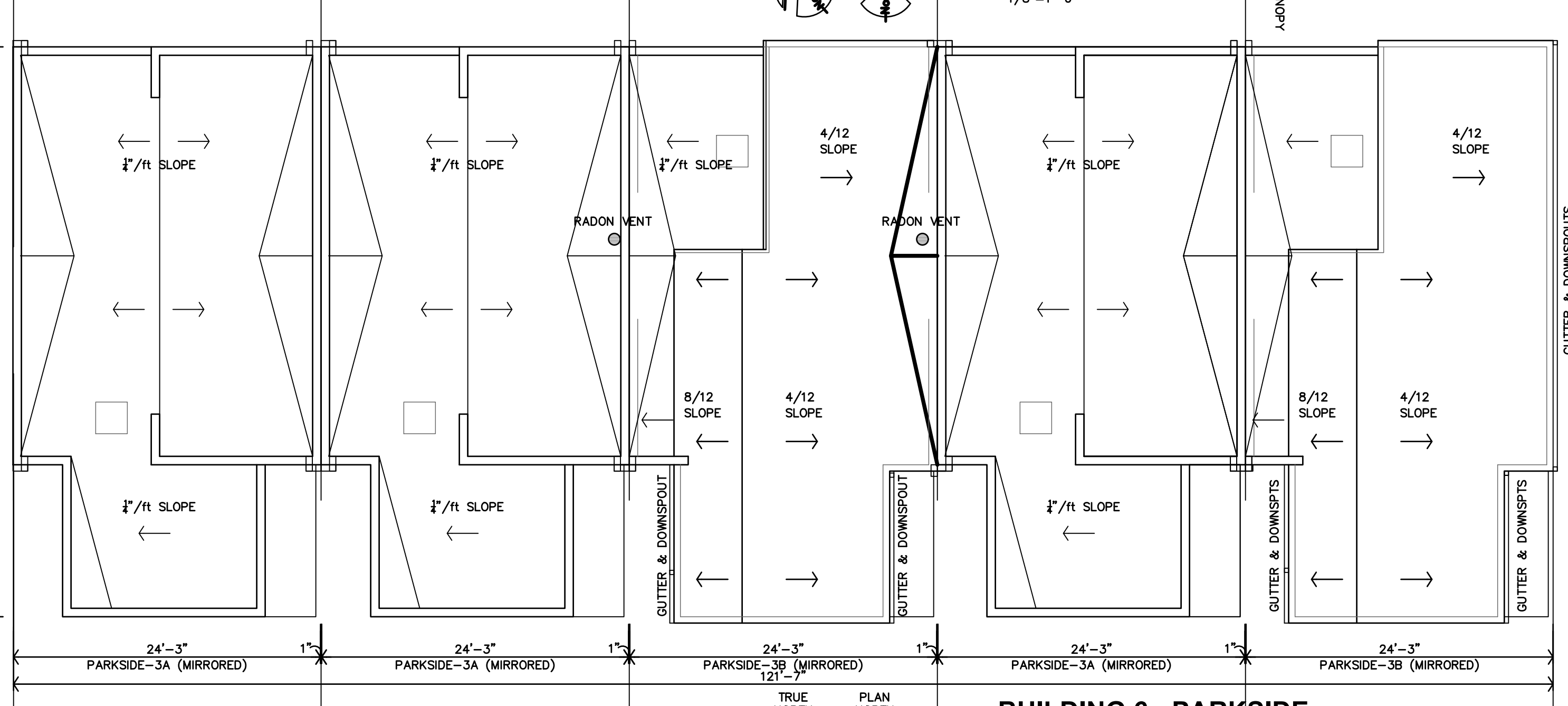
G UNDERLAYMENT LAYOUT DTL
NOT TO SCALE



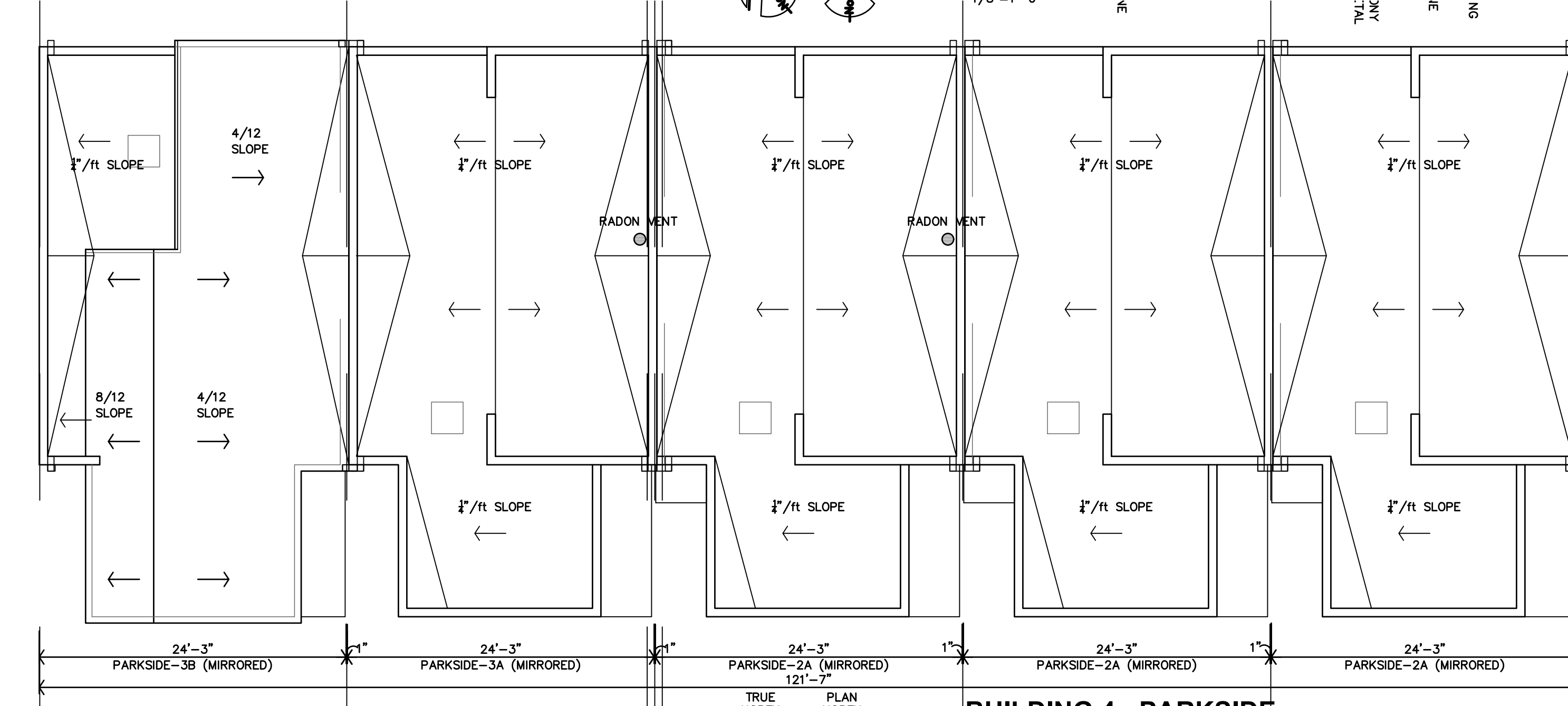
D BUILDING 5 - CITYSIDE ROOF PLAN
1/8"=1'-0"



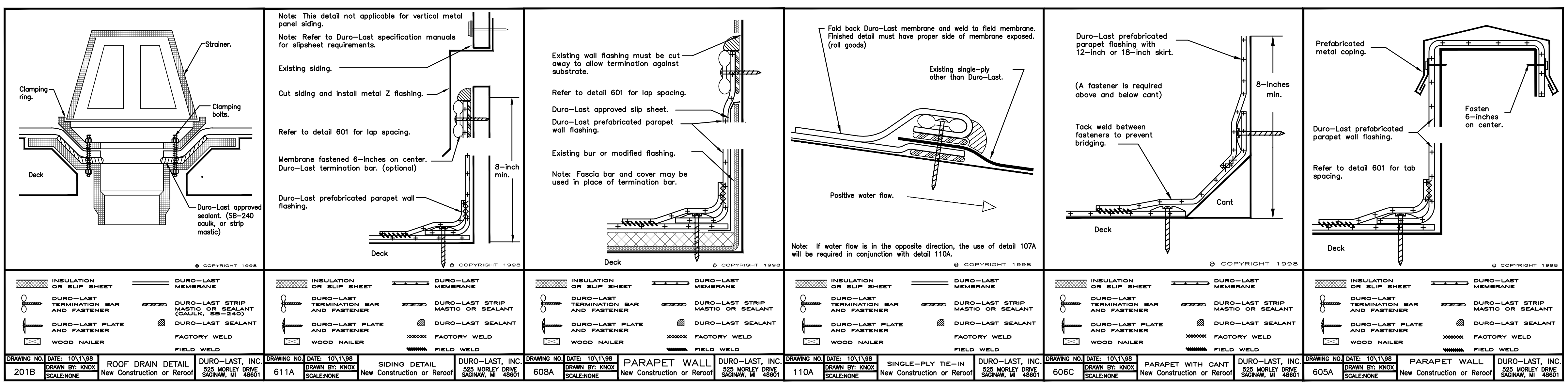
B BUILDING 3 - CITYSIDE ROOF PLAN
1/8"=1'-0"



C BUILDING 6 - PARKSIDE ROOF PLAN
1/8"=1'-0"

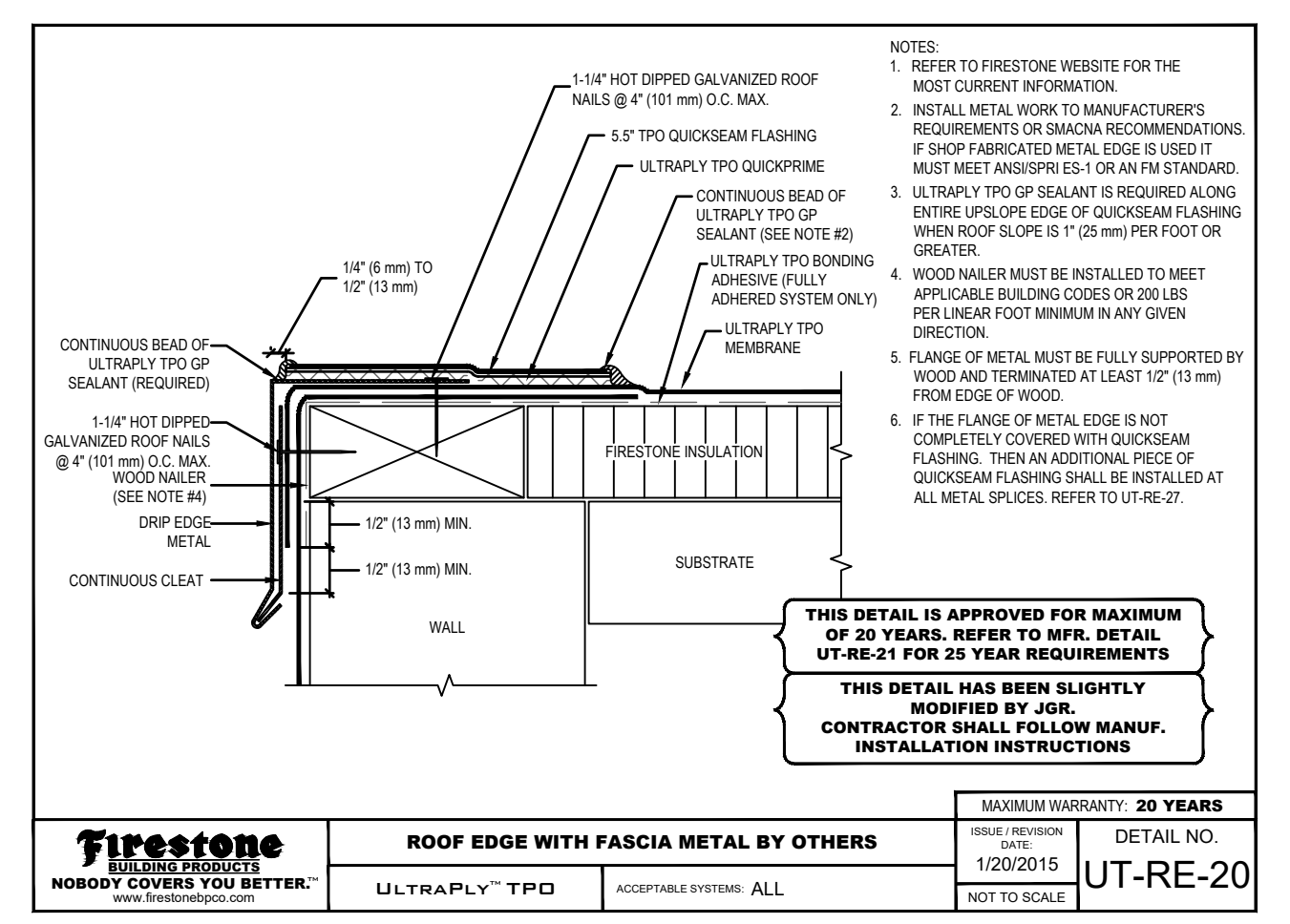
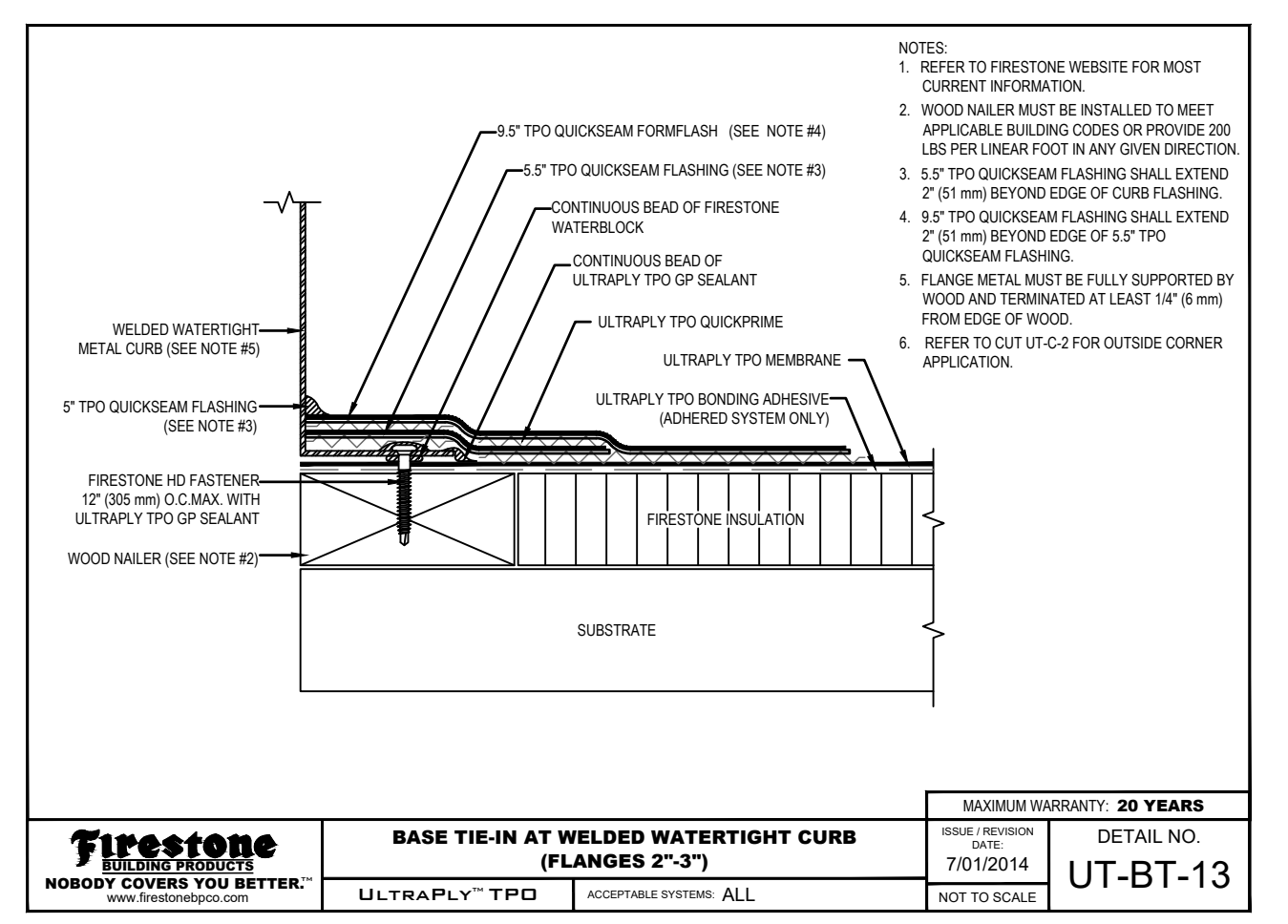
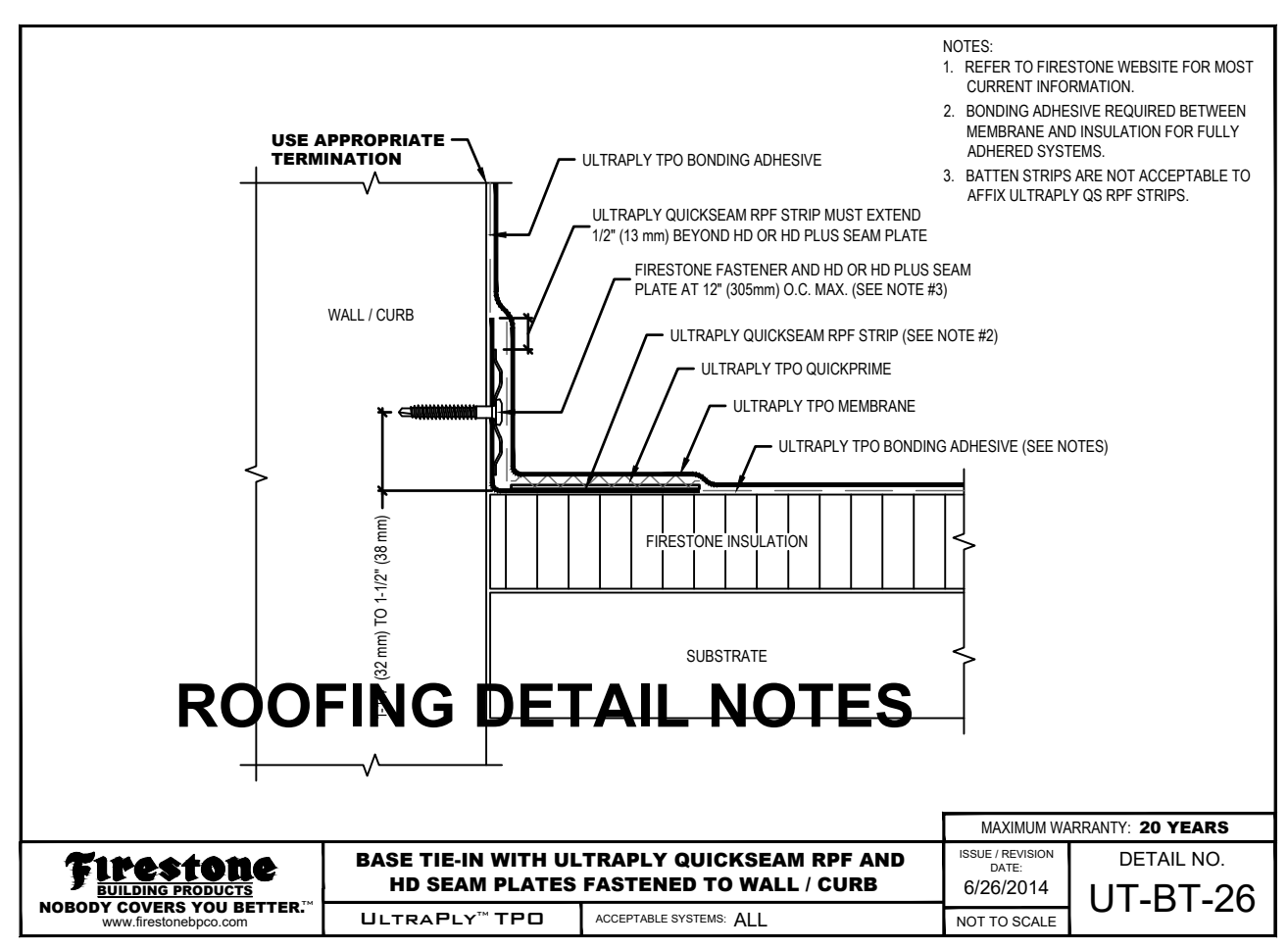
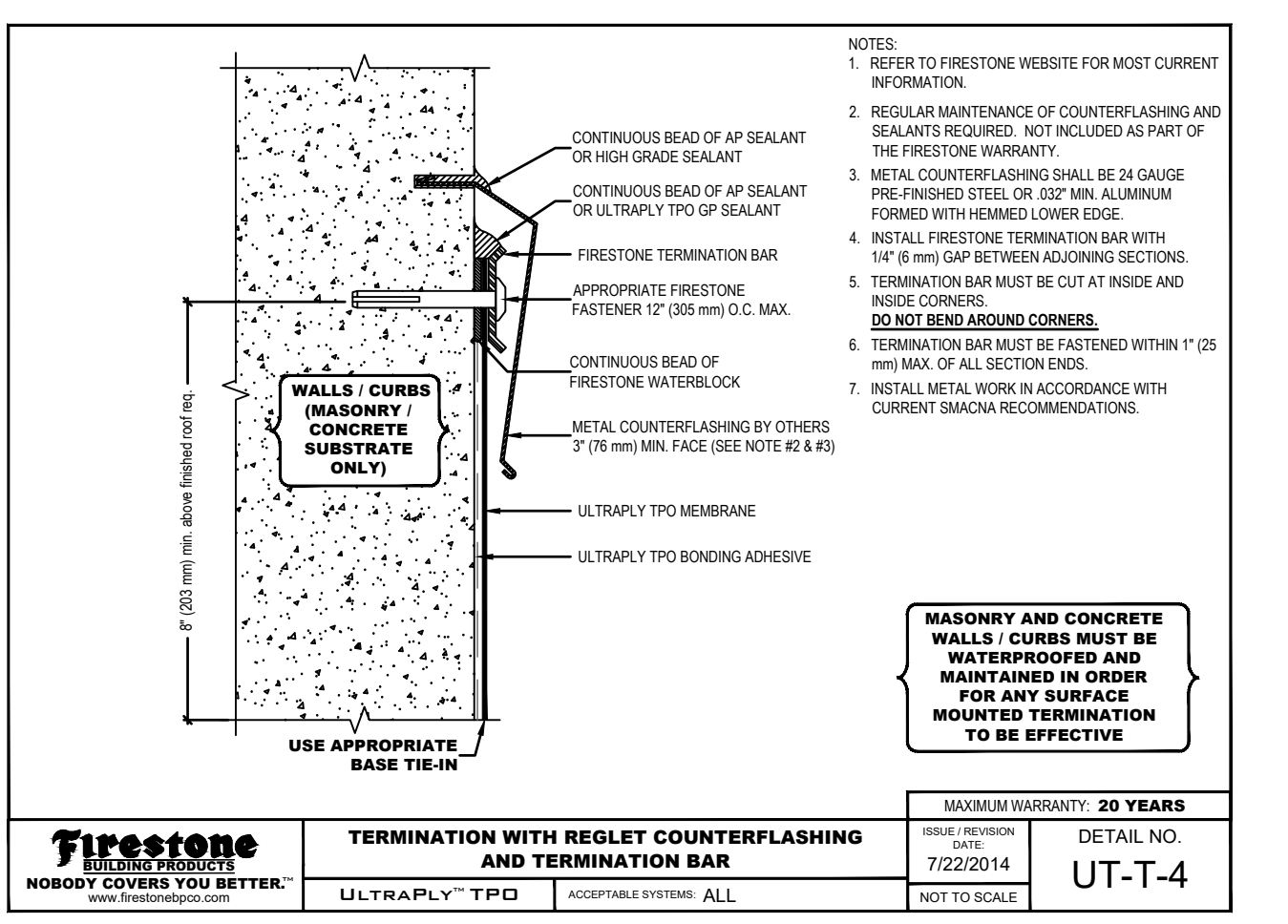
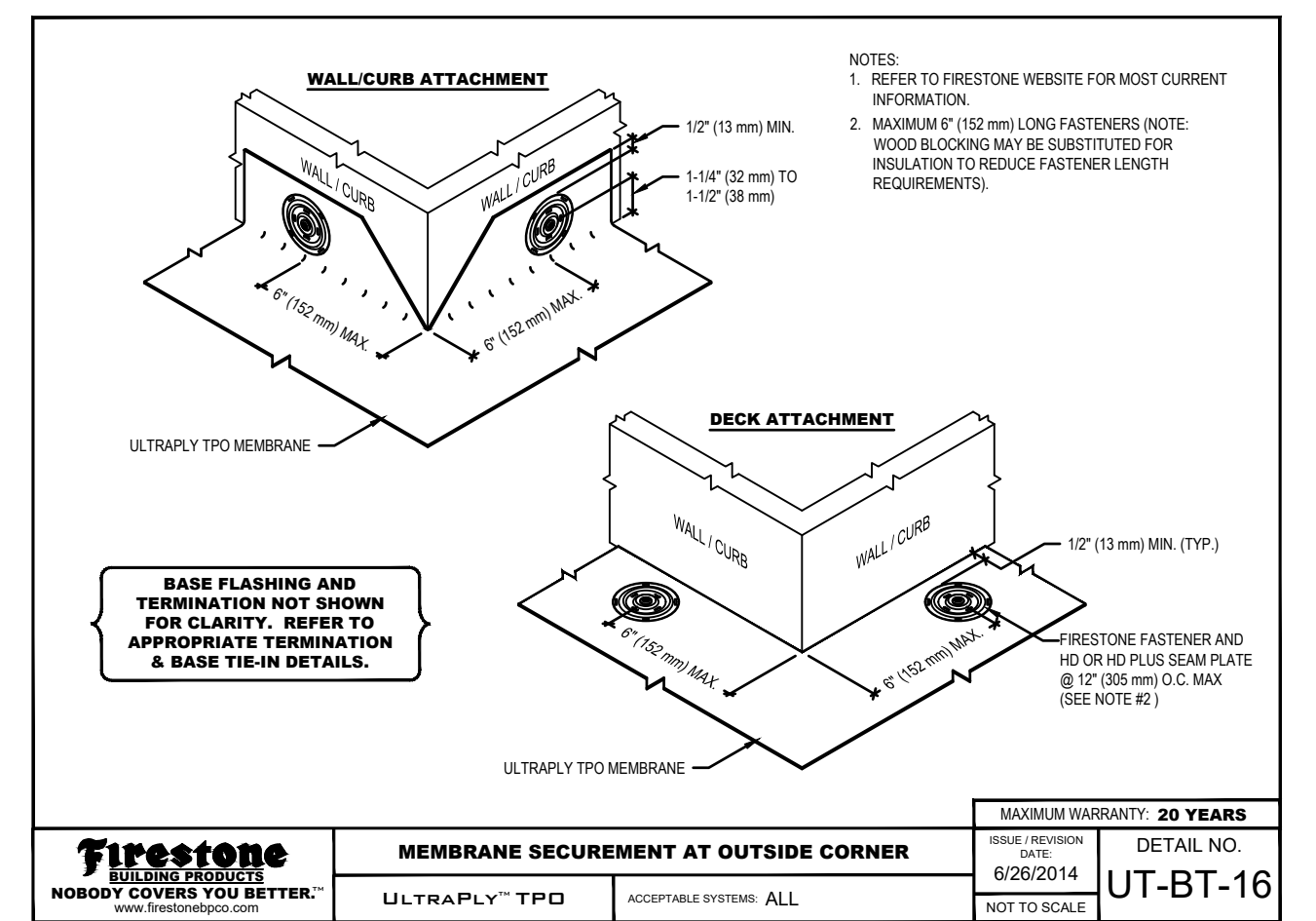
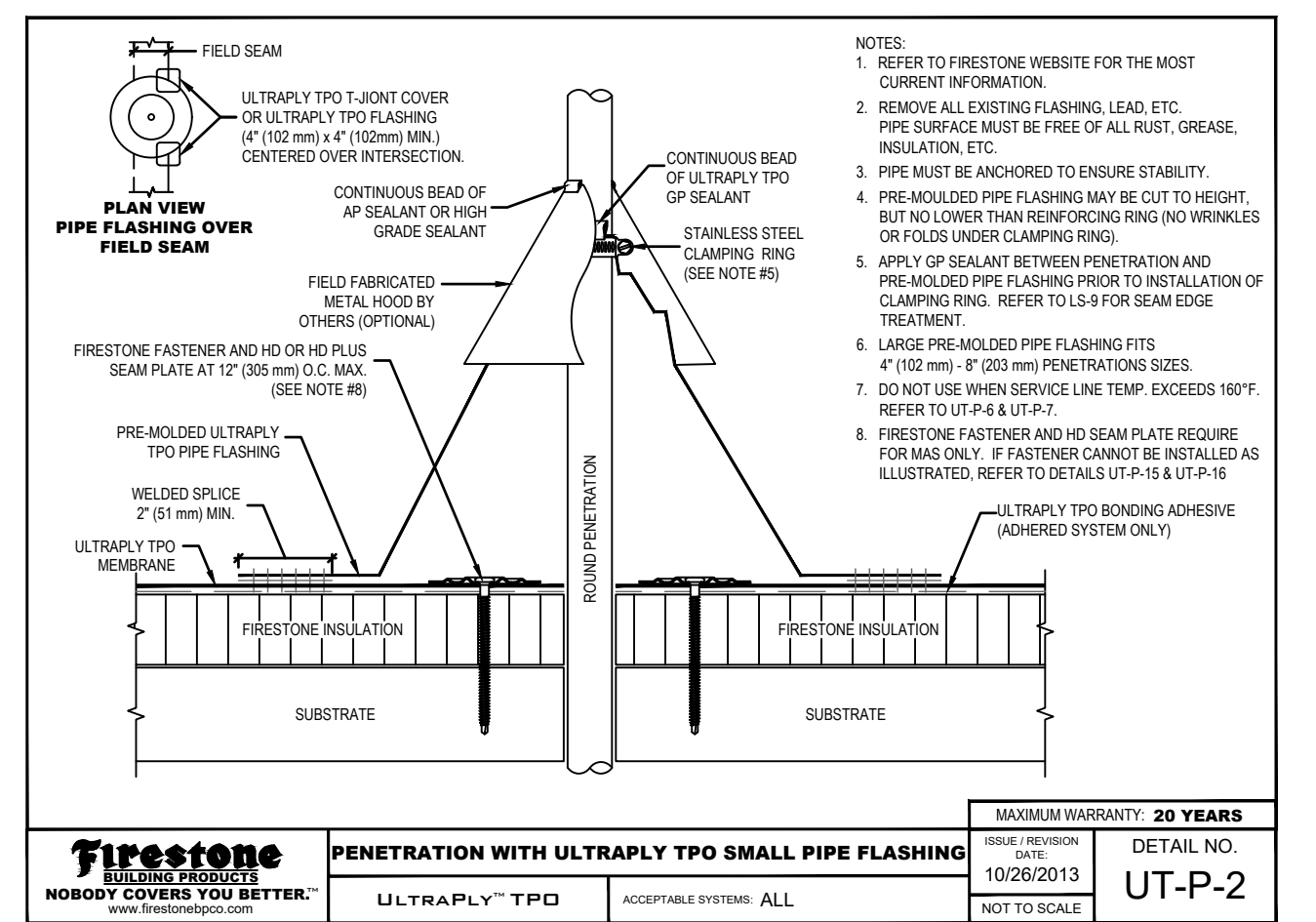
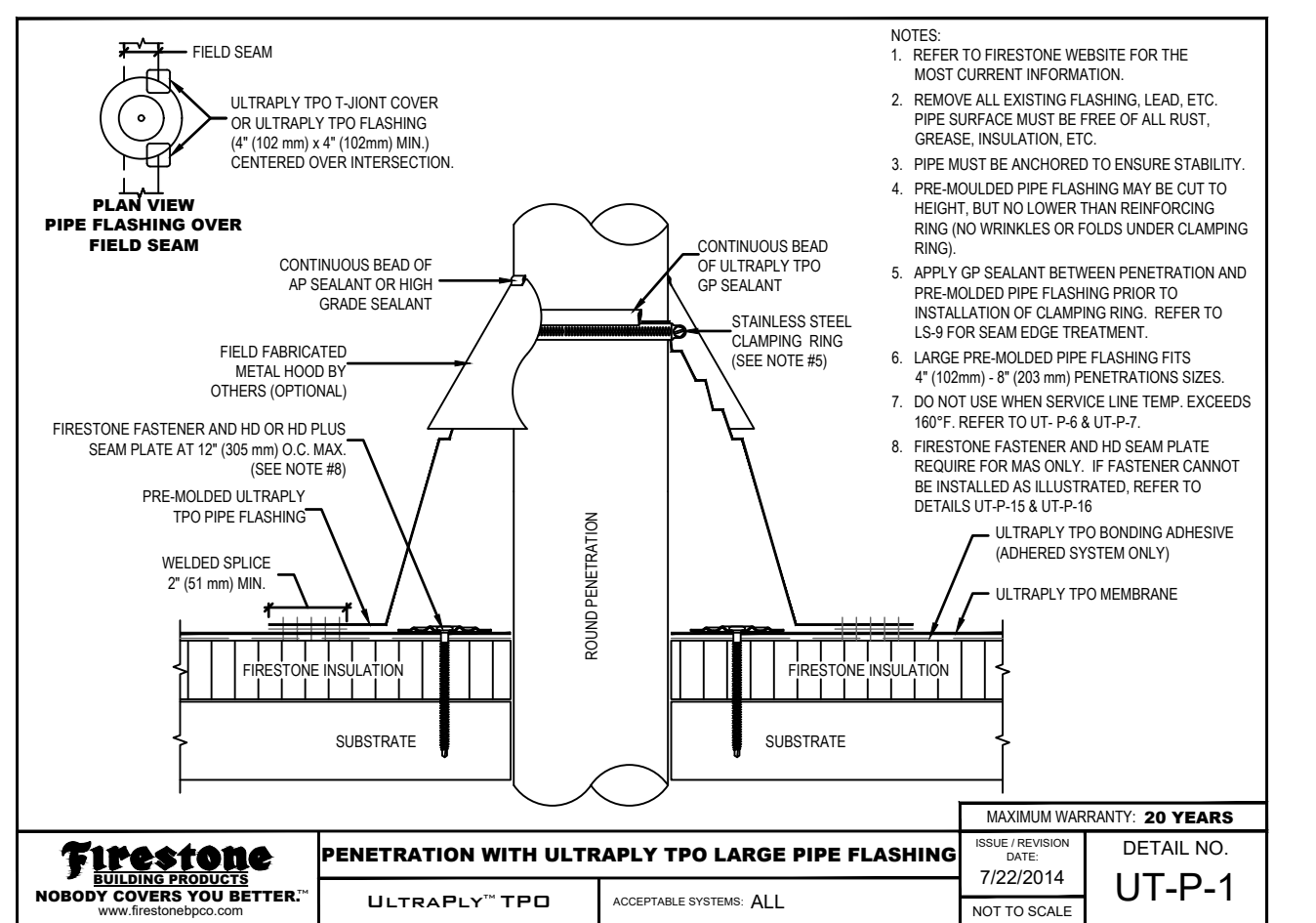


A BUILDING 4 - PARKSIDE ROOF PLAN
1/8"=1'-0"

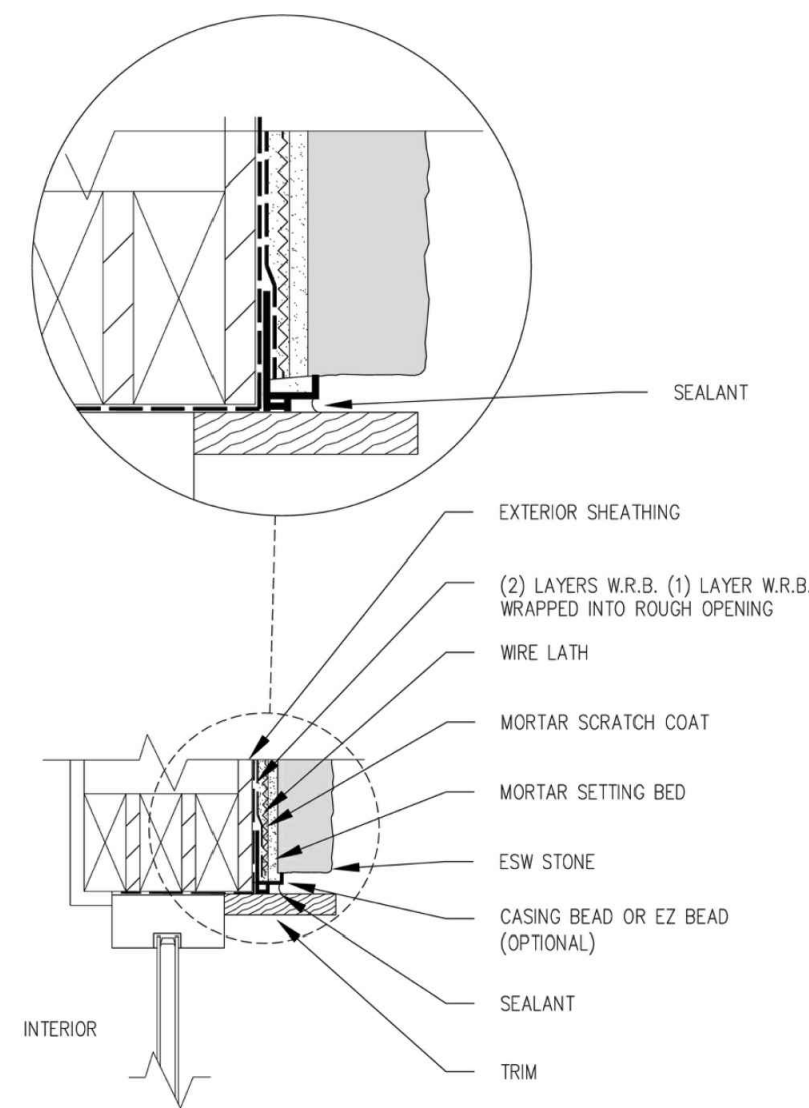


DURO-LAST MECHANICALLY ATTACHED ROOFING DETAILS
 BASIS OF SPECIFICATION. ACTUAL FIELD AND SUBSTRATE CONDITIONS VARY-REFERENCE SPECIFICATIONS

ROOFING DETAILS THIS SHEET ARE FOR BASE BID, DUROLAST OR FIRESTONE TPO MEMBRANE ROOF SYSTEM. THESE ARE MANUFACTURER'S STANDARD DETAILS FOR BASIS OF SPECIFICATION, AND FOR REFERENCE PURPOSES ONLY. FIELD CONDITIONS VARY. CONTRACTOR IS RESPONSIBLE TO INSTALL A COMPLETE, WEATHER-TIGHT ASSEMBLY IN FULL COMPLIANCE WITH THE SPECIFIED WARRANTIES.

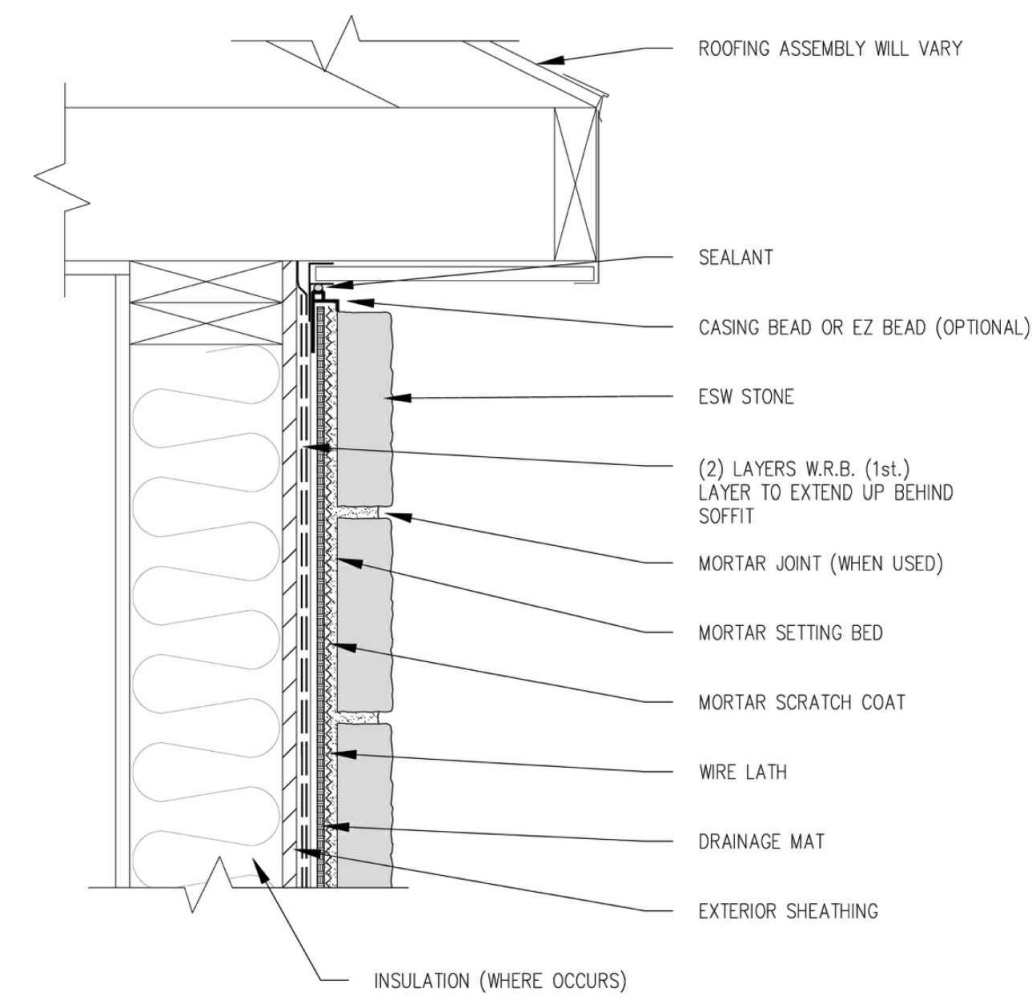


FIRESTONE FULLY ADHERED TPO ROOFING STANDARD DETAILS
 BASIS OF SPECIFICATION. ACTUAL FIELD AND SUBSTRATE CONDITIONS VARY-REFERENCE SPECIFICATIONS



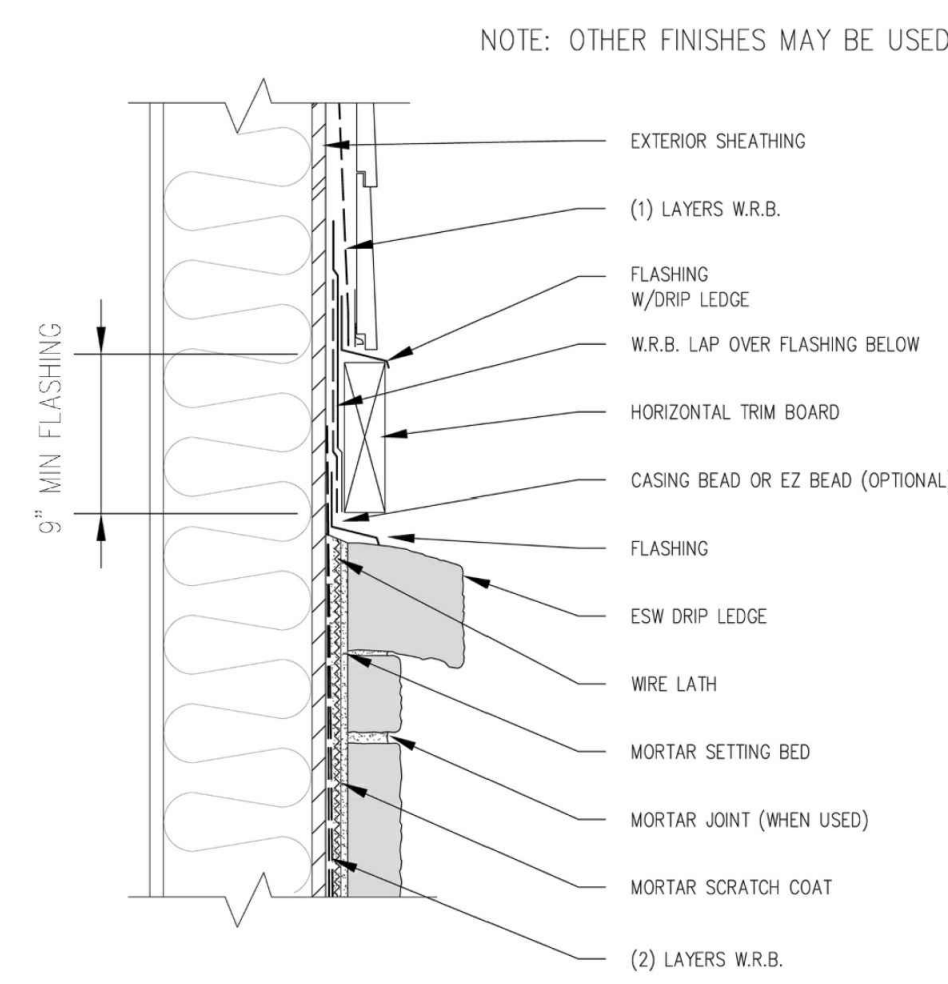
18 Commercial window jamb with trim

NO SCALE



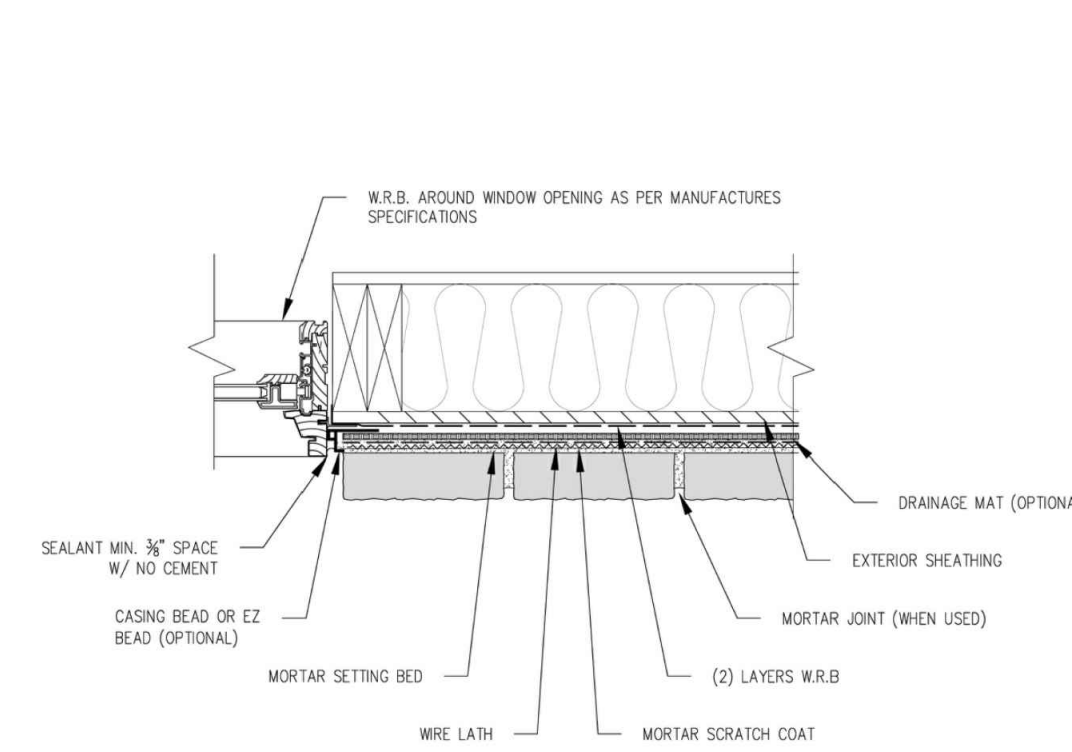
14 Top of wall with drainage mat

NO SCALE



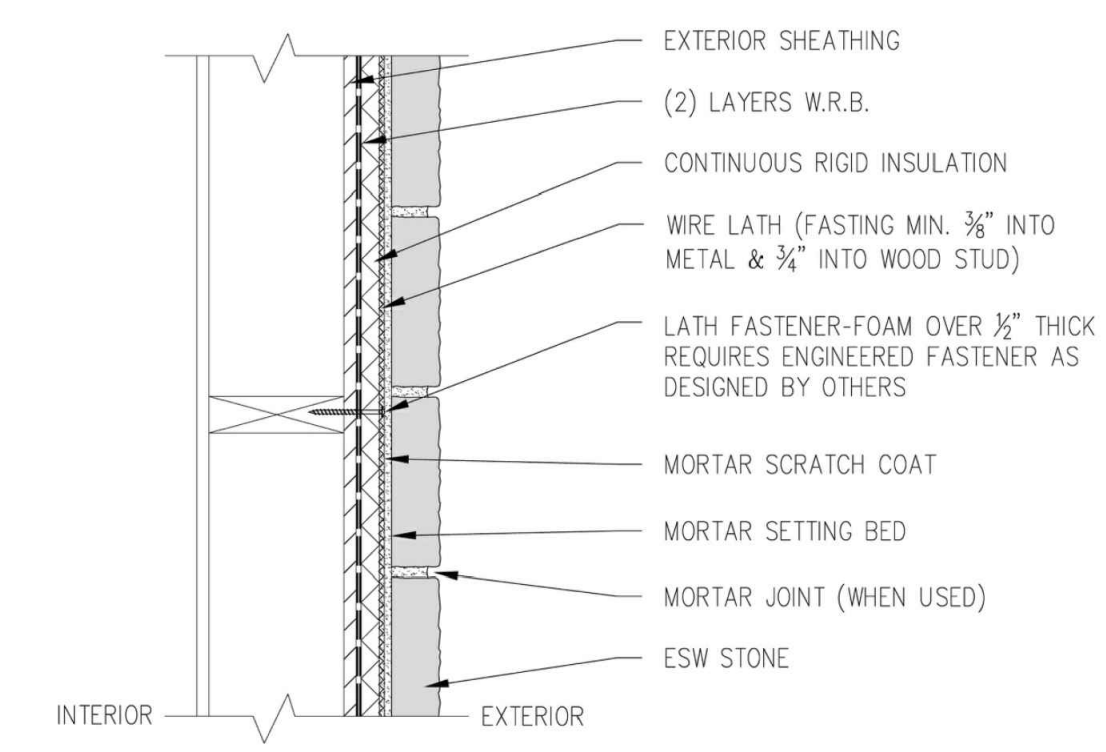
13 Horizontal transition with stone drip ledge

NO SCALE



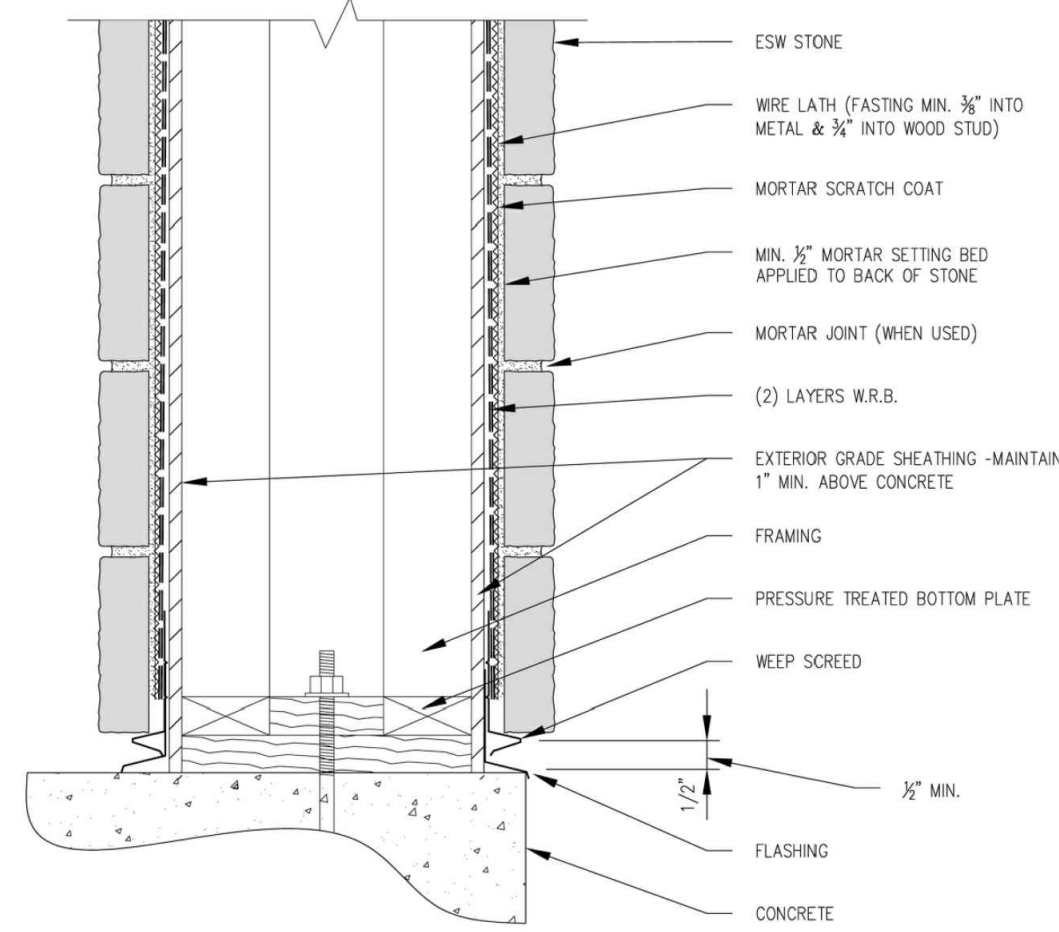
12 Window jamb optional drainage mat

NO SCALE



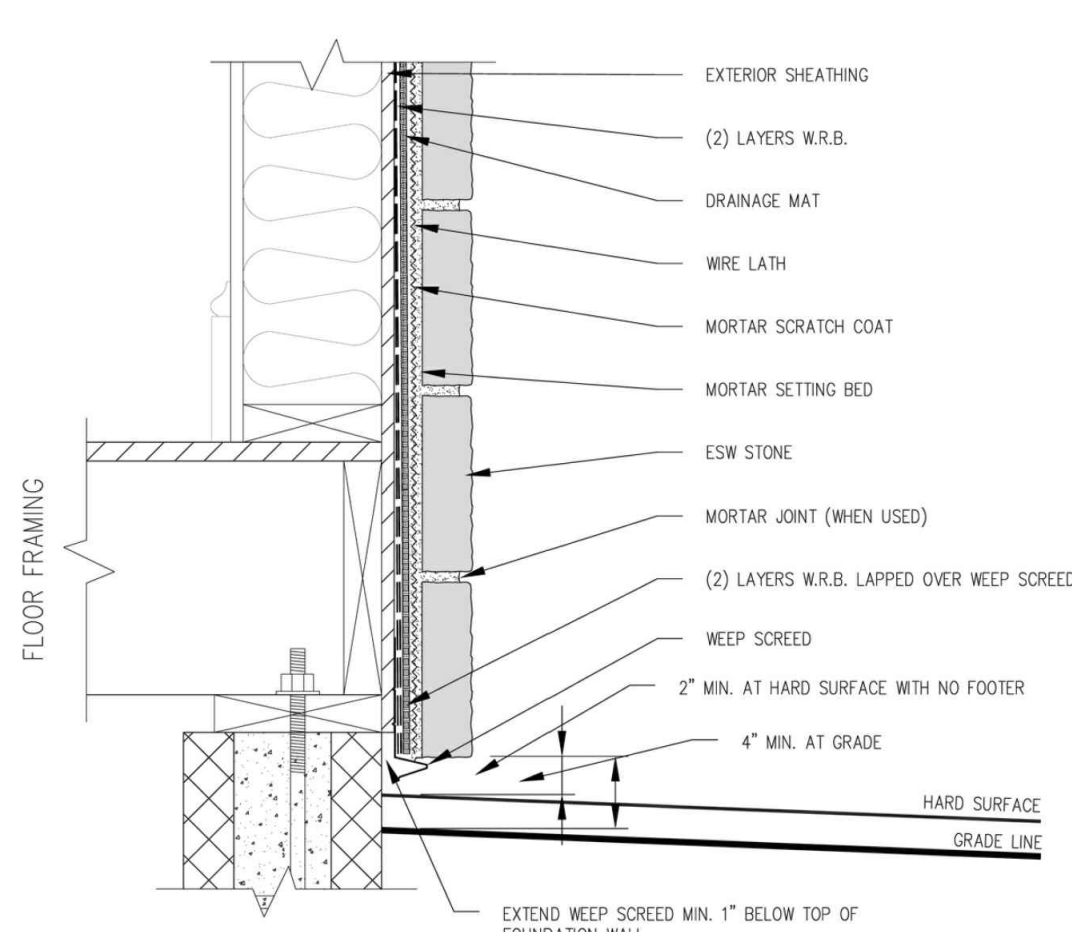
11 Wall over continuous rigid insulation

NO SCALE



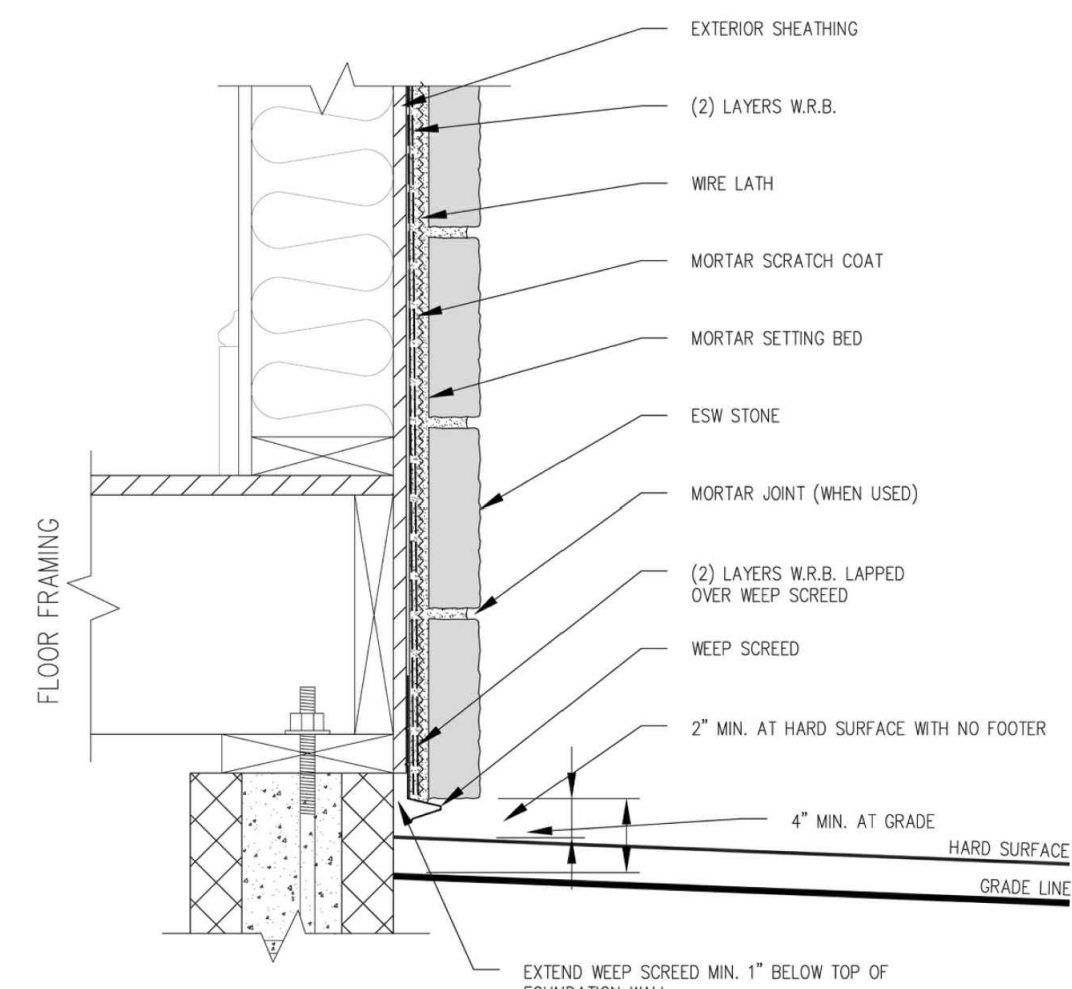
10 Wood column base

NO SCALE



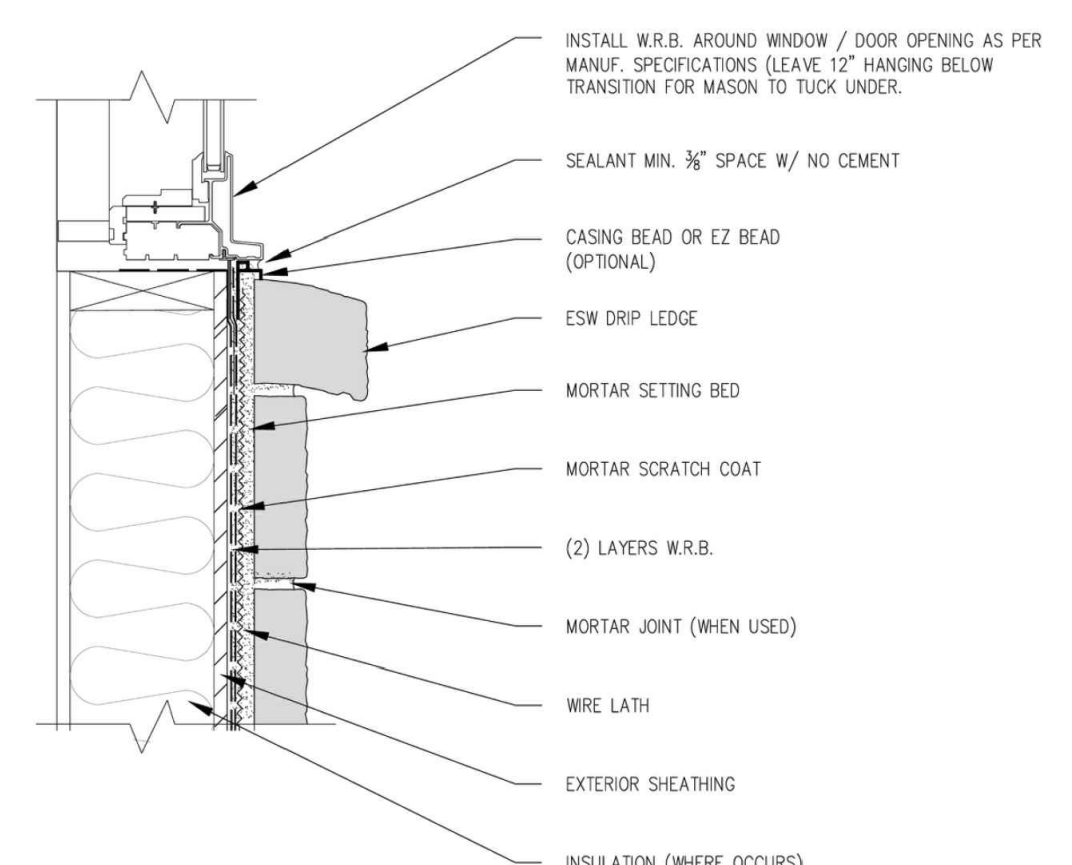
9 Foundation wall at base with (optional) drainage mat

NO SCALE



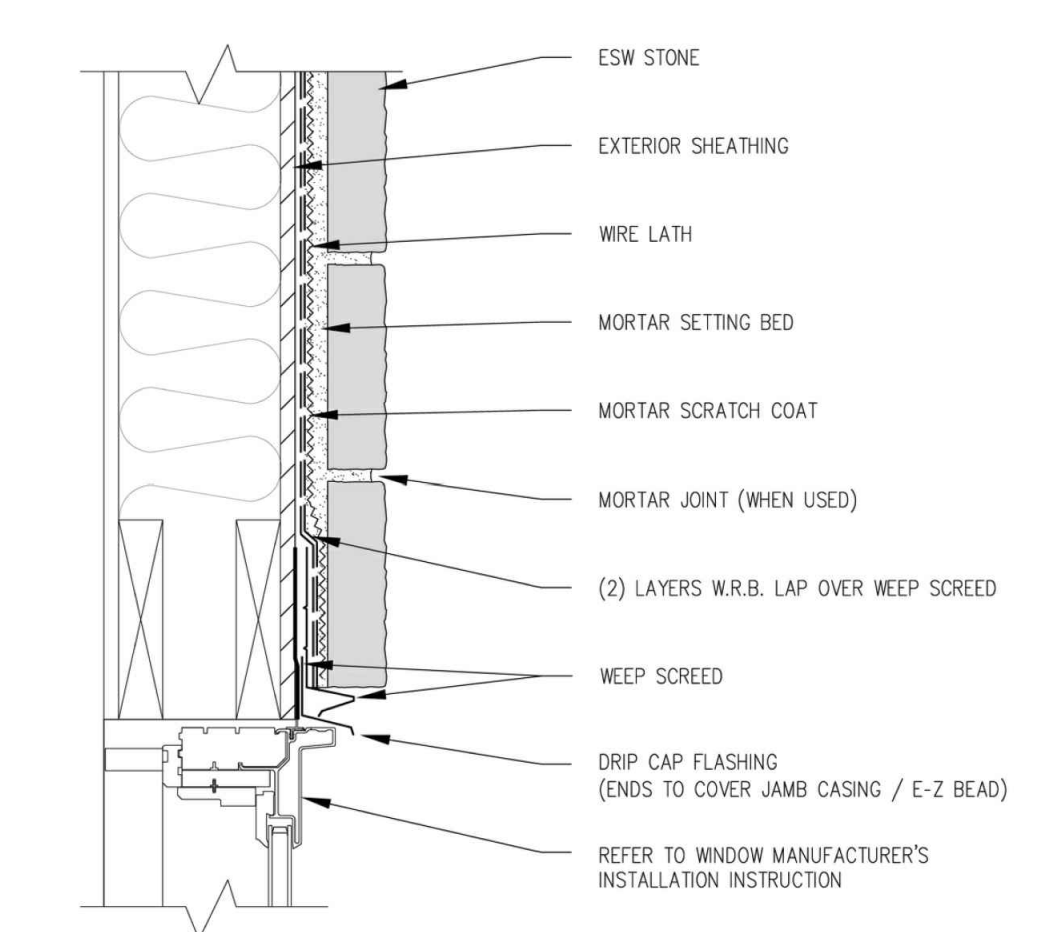
8 Foundation wall at base

NO SCALE



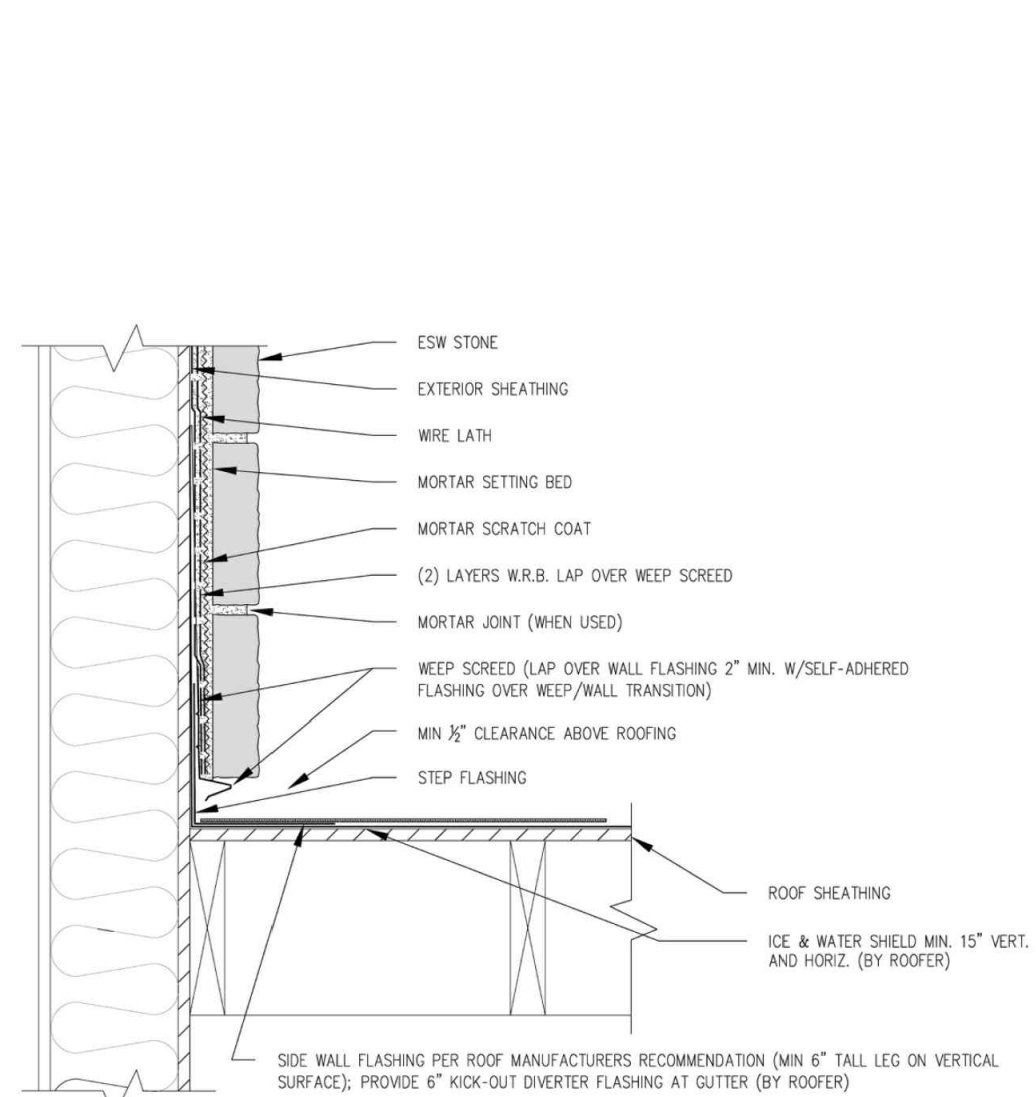
7 Window Sill with stone drip edge

NO SCALE



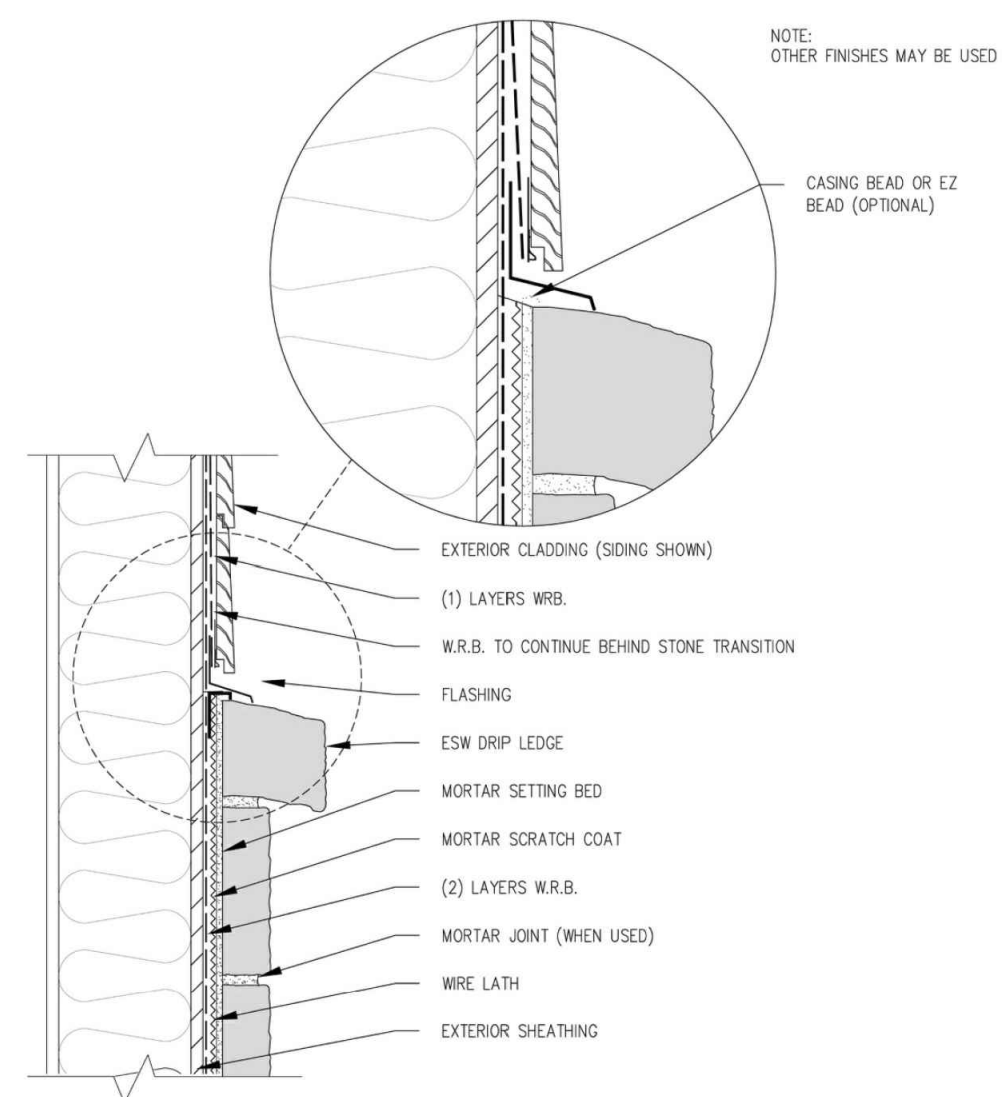
6 Window head

NO SCALE



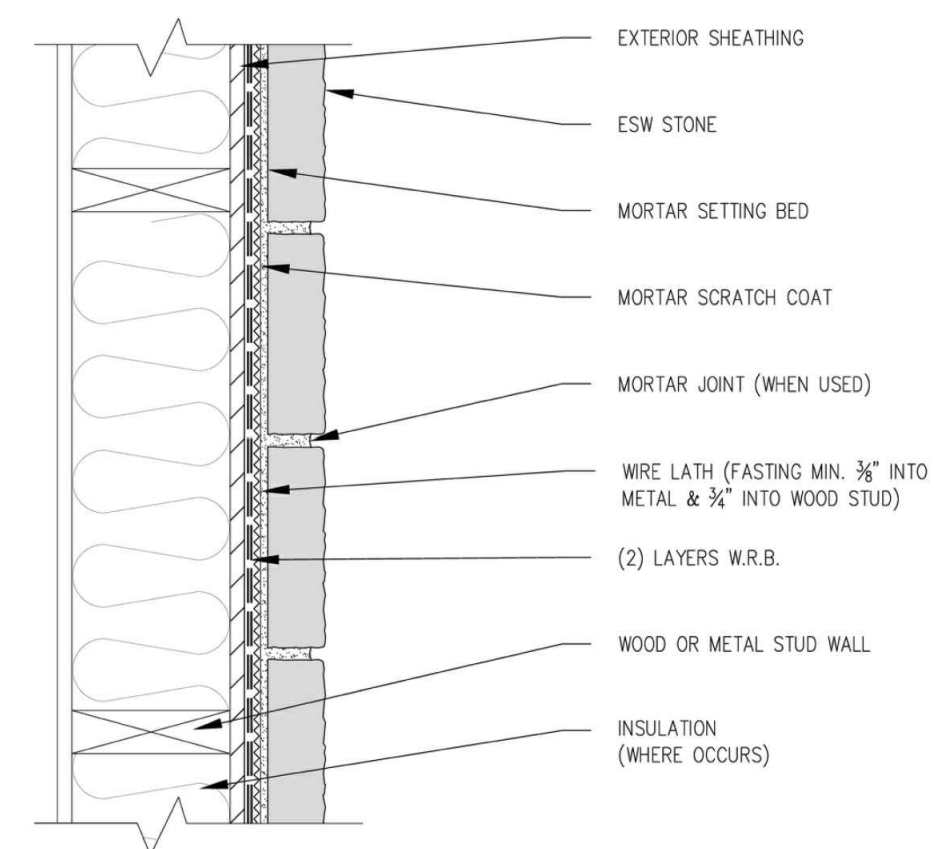
5 Side wall flashing at roof

NO SCALE



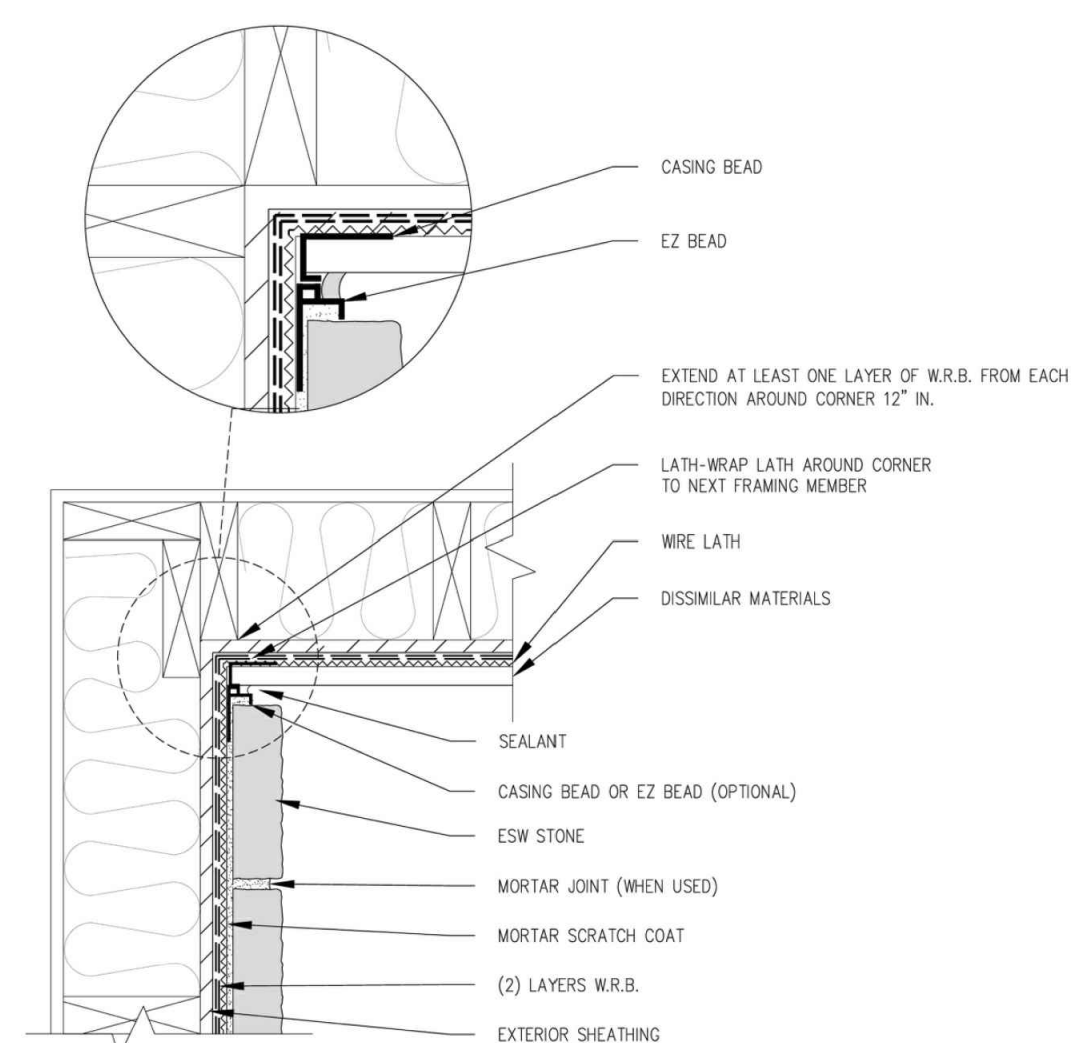
4 Stone below cladding

NO SCALE



3 Typical wood or metal stud wall

NO SCALE

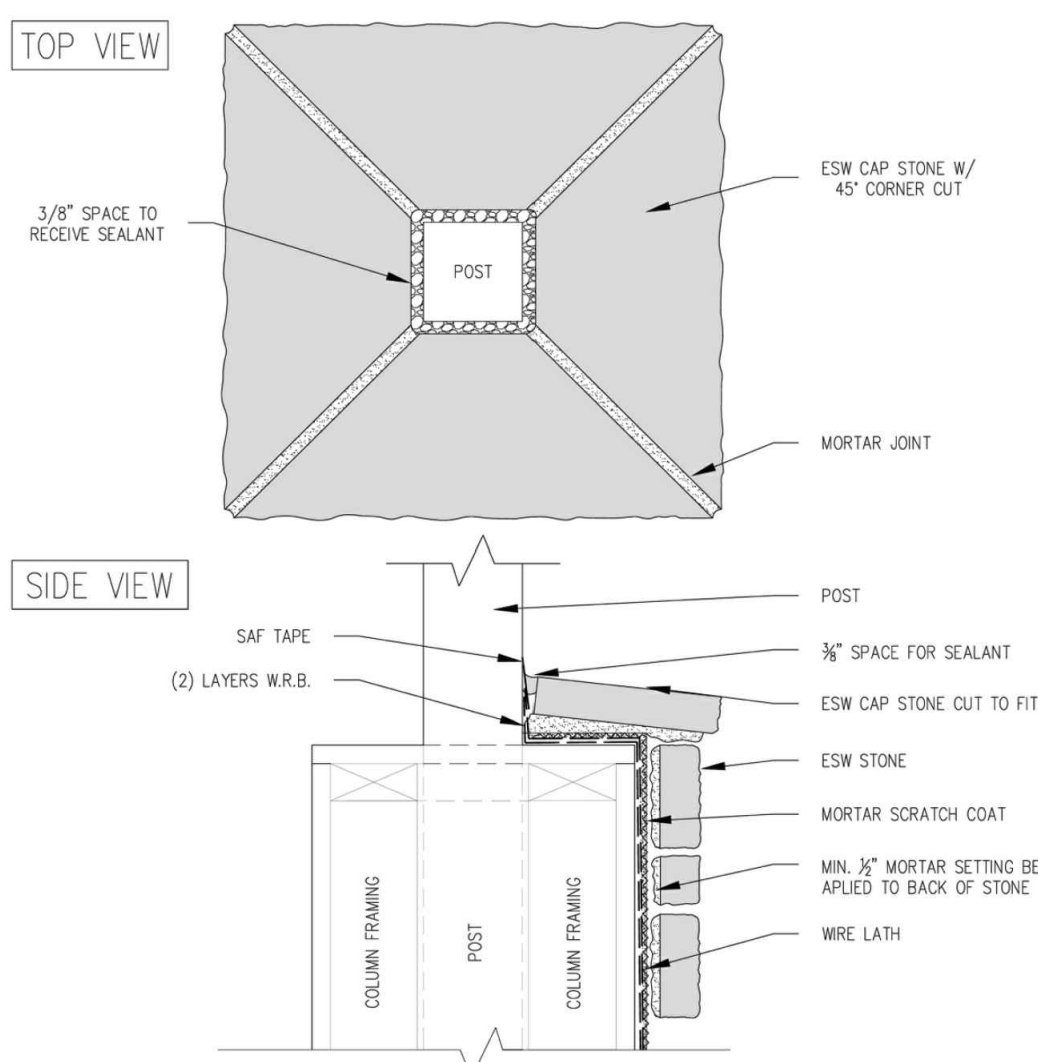


2 Wall-Section inside corner with stucco

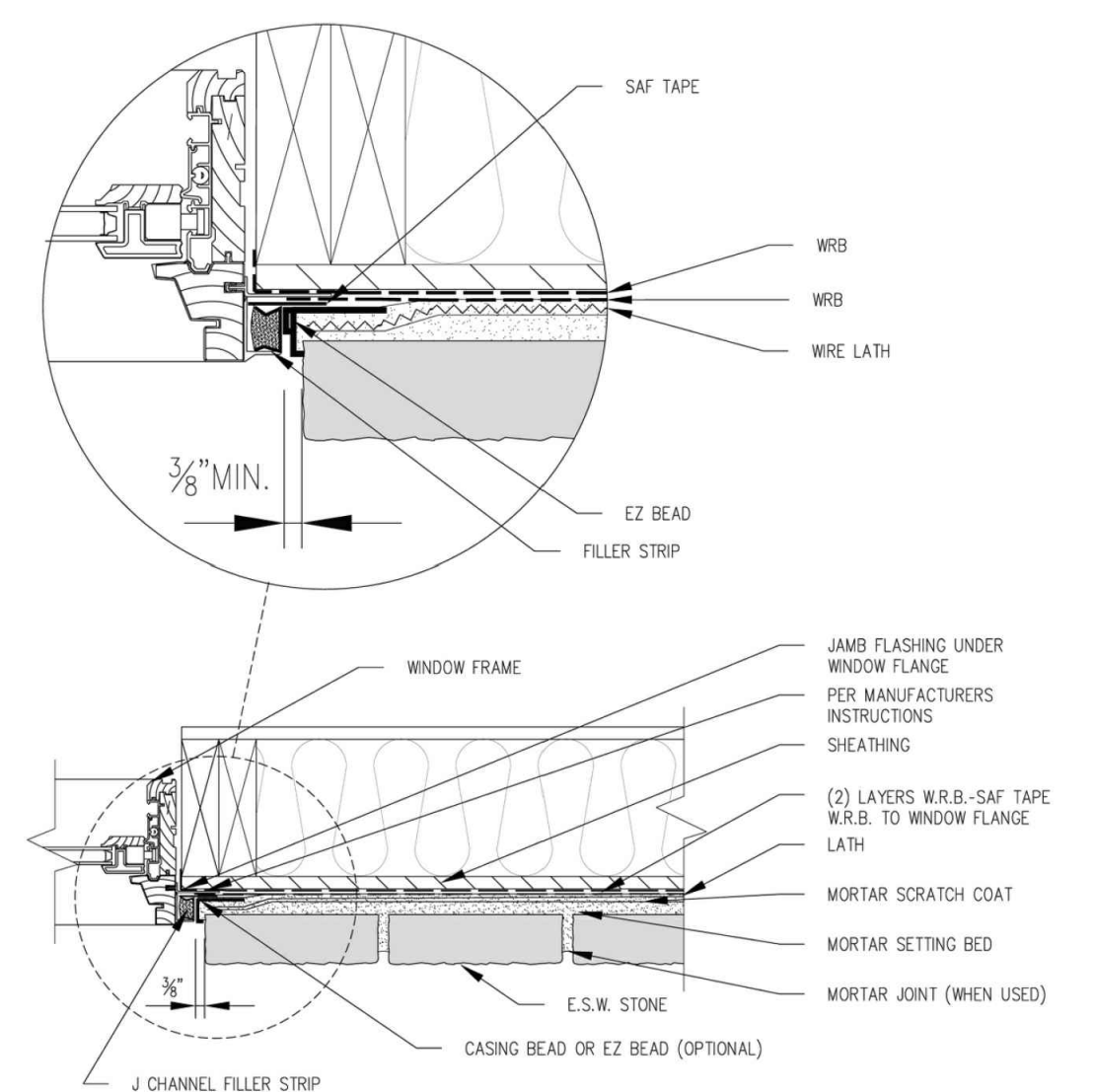
NO SCALE

Adhered Natural Stone
Follow BSI, Building Stone Institute
Confirm & Coordinate installation,
Guidelines with supplier, Manufacturer
Actual Conditions May Vary
DETAILS ARE NOT TO SCALE

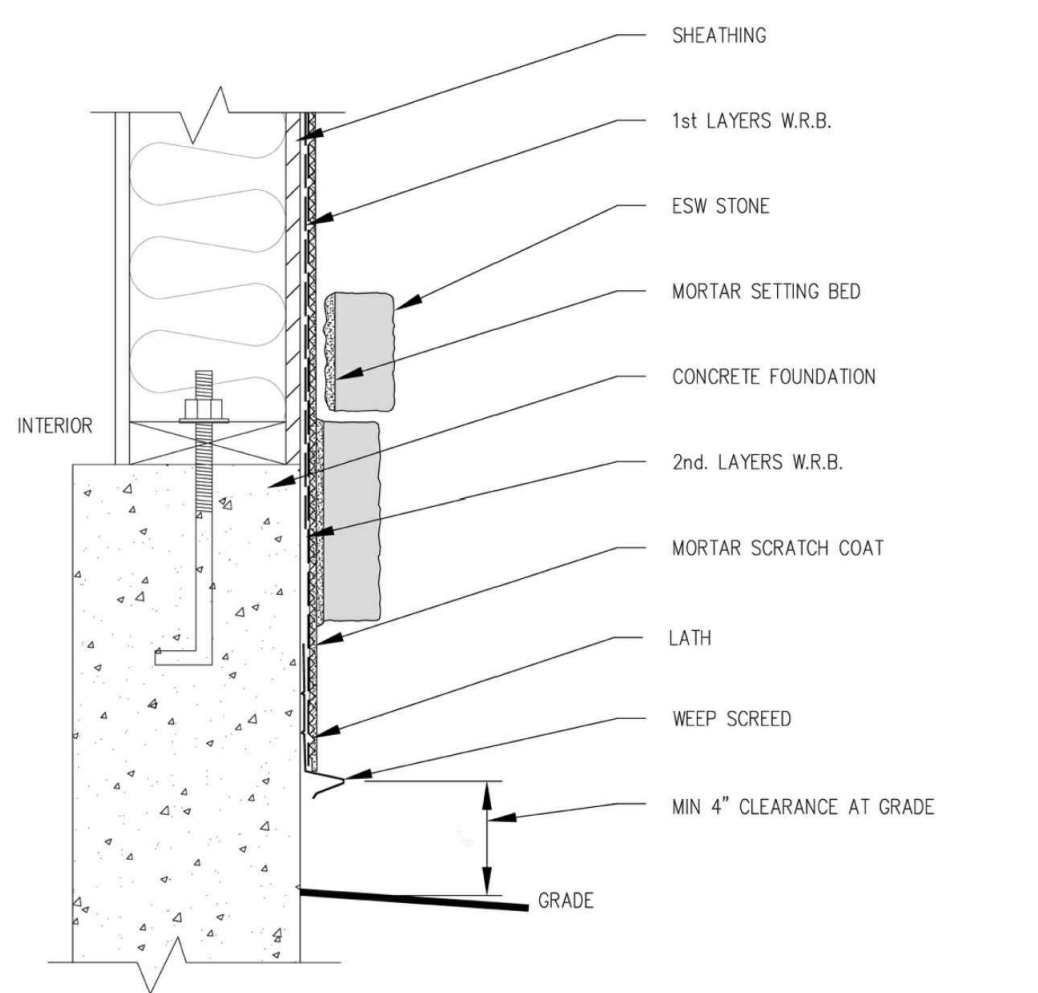
REVISION:	
DATE:	8-12-2025
JOB:	25-3090
SHEET NO.:	



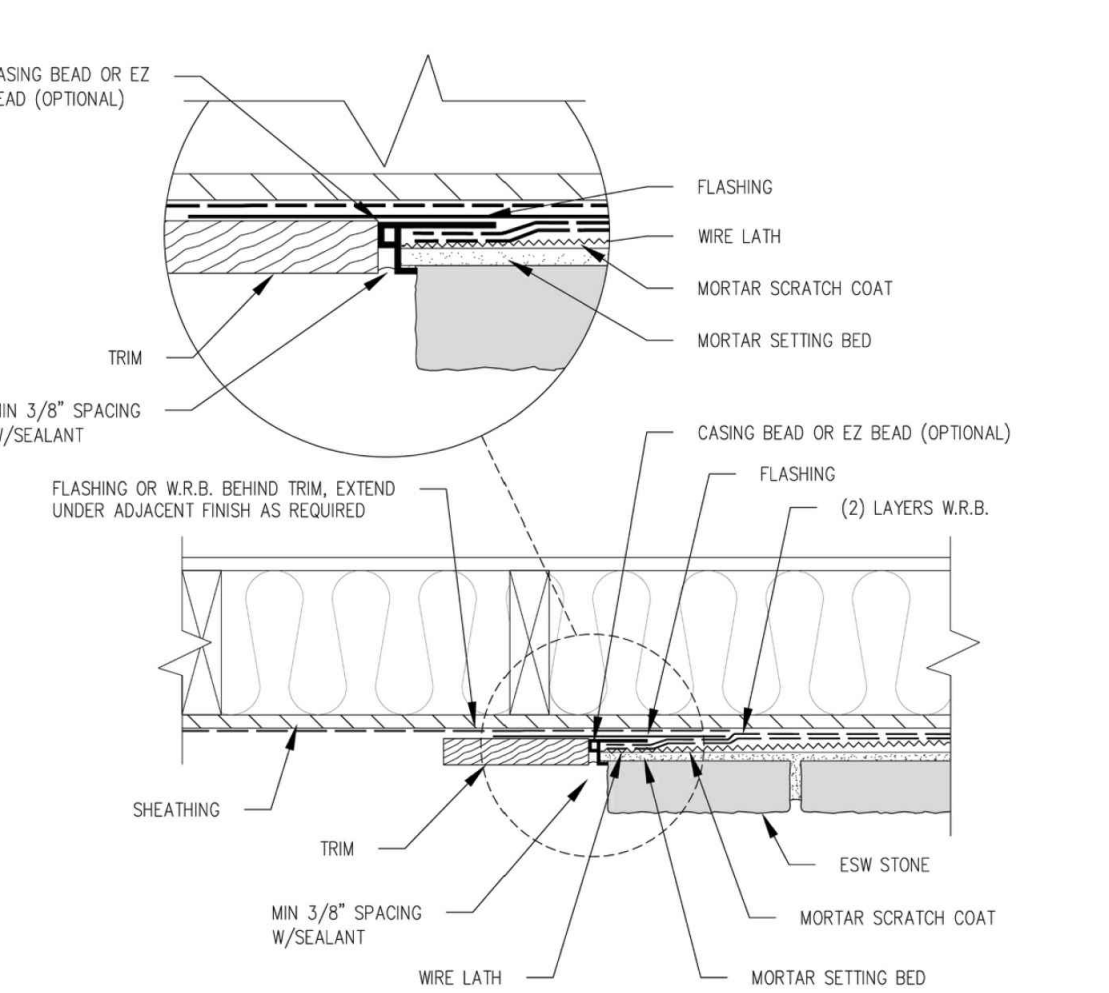
32 Column top with support post
NO SCALE



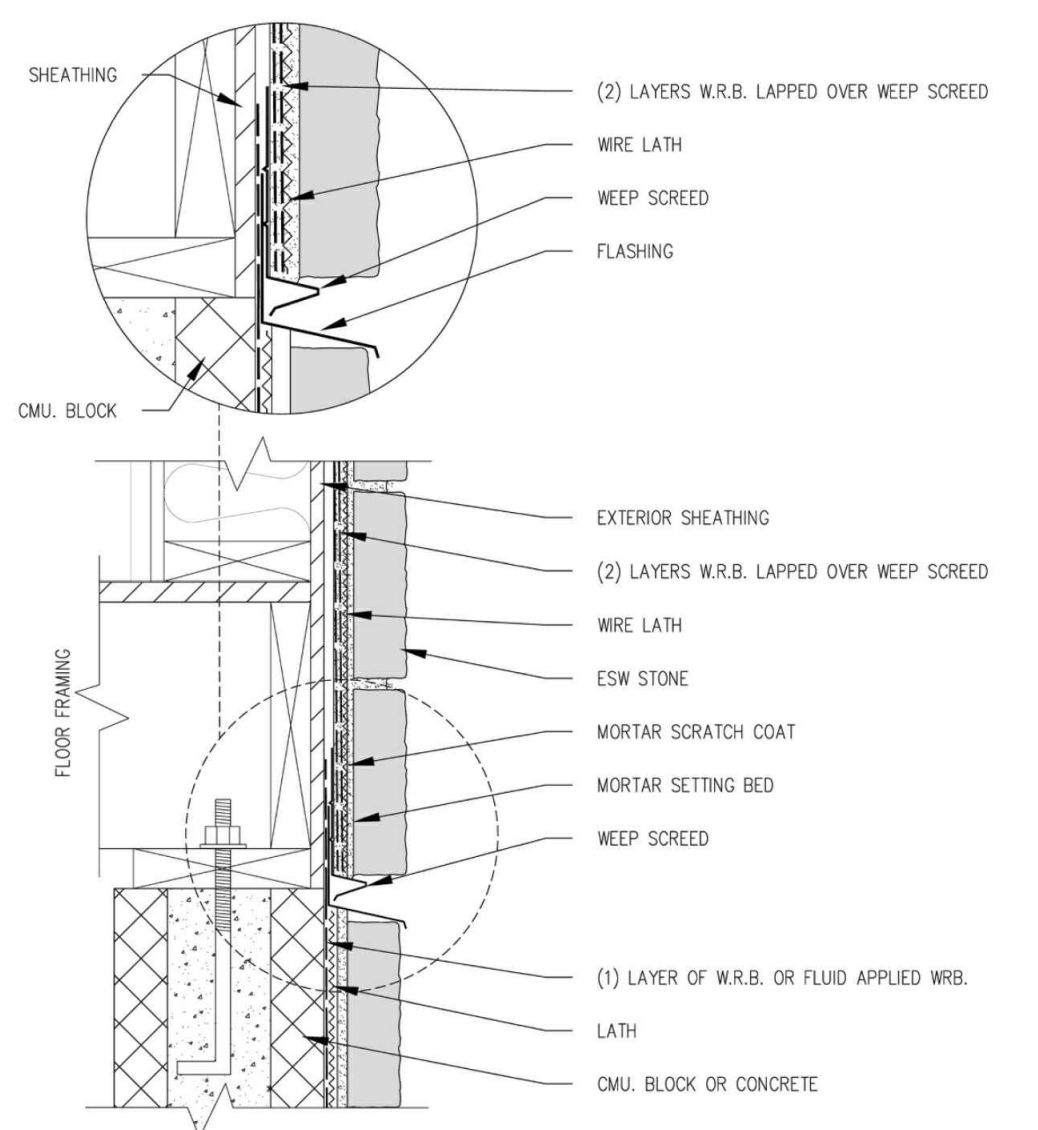
30 Window jamb integrated J-Channel
NO SCALE



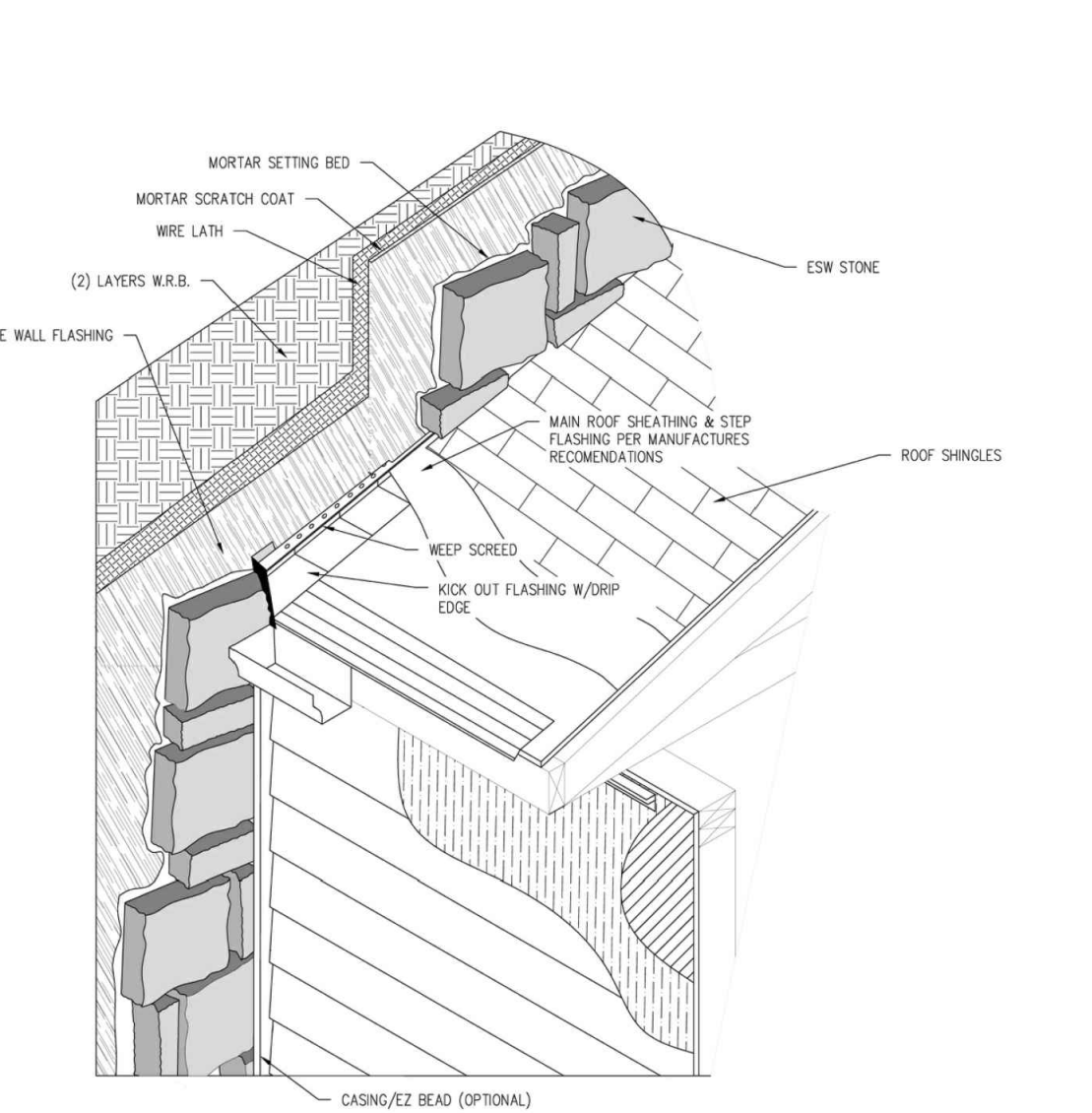
28 Stone/Foundation continue over foundation, with weep screed at grade
NO SCALE



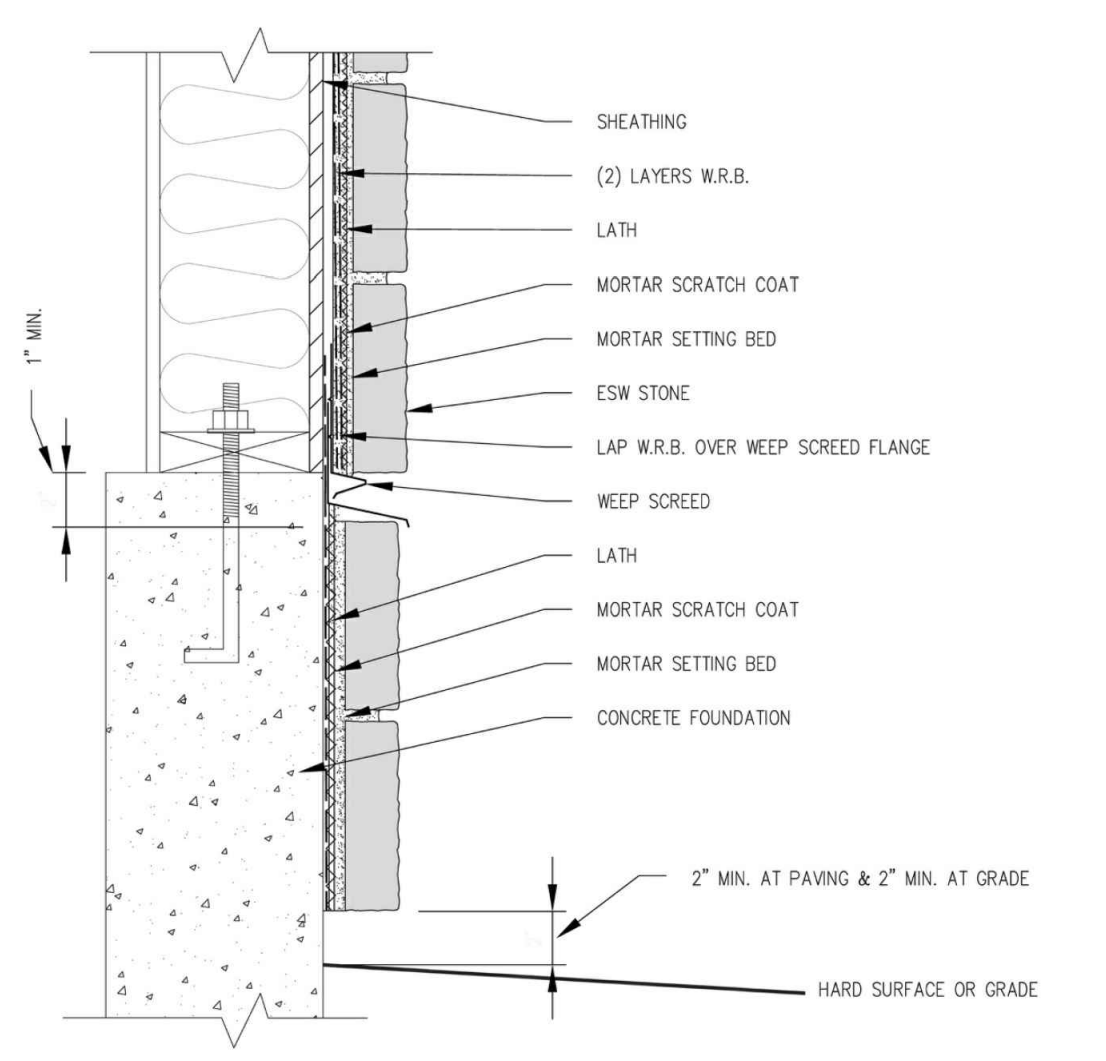
27 Vertical transition at dissimilar material
NO SCALE



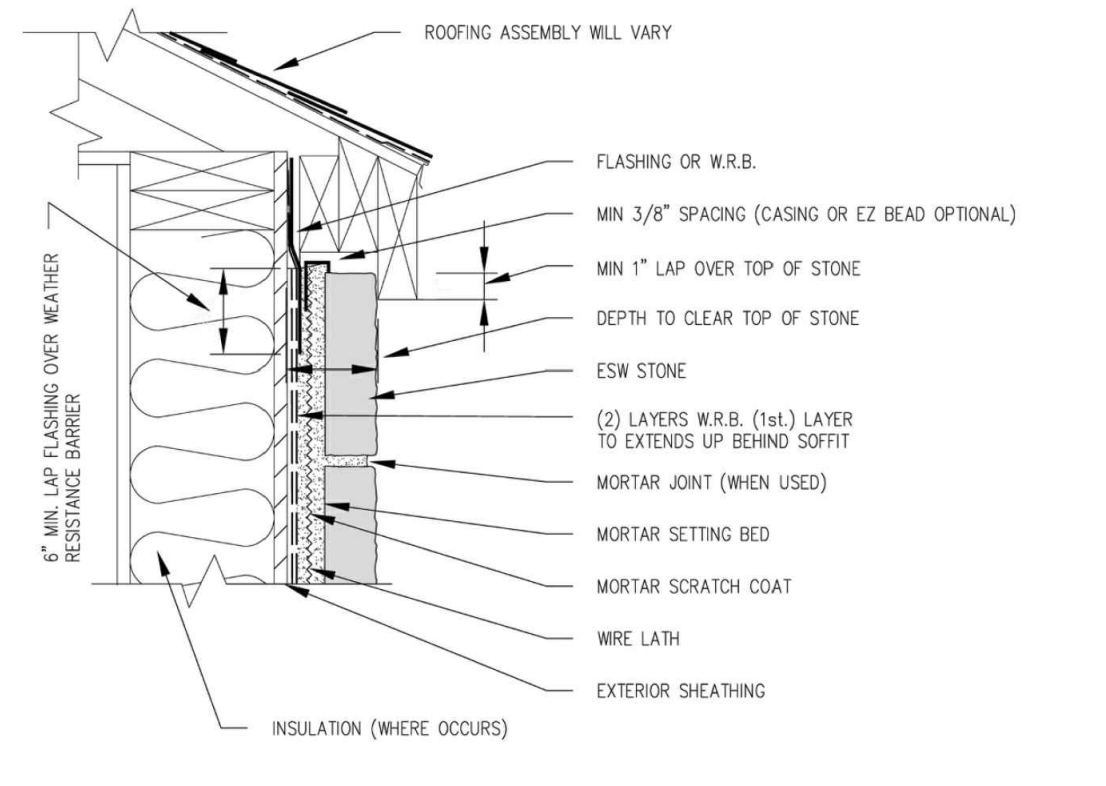
23 Multi-Story masonry wall to framed wall control joint
NO SCALE



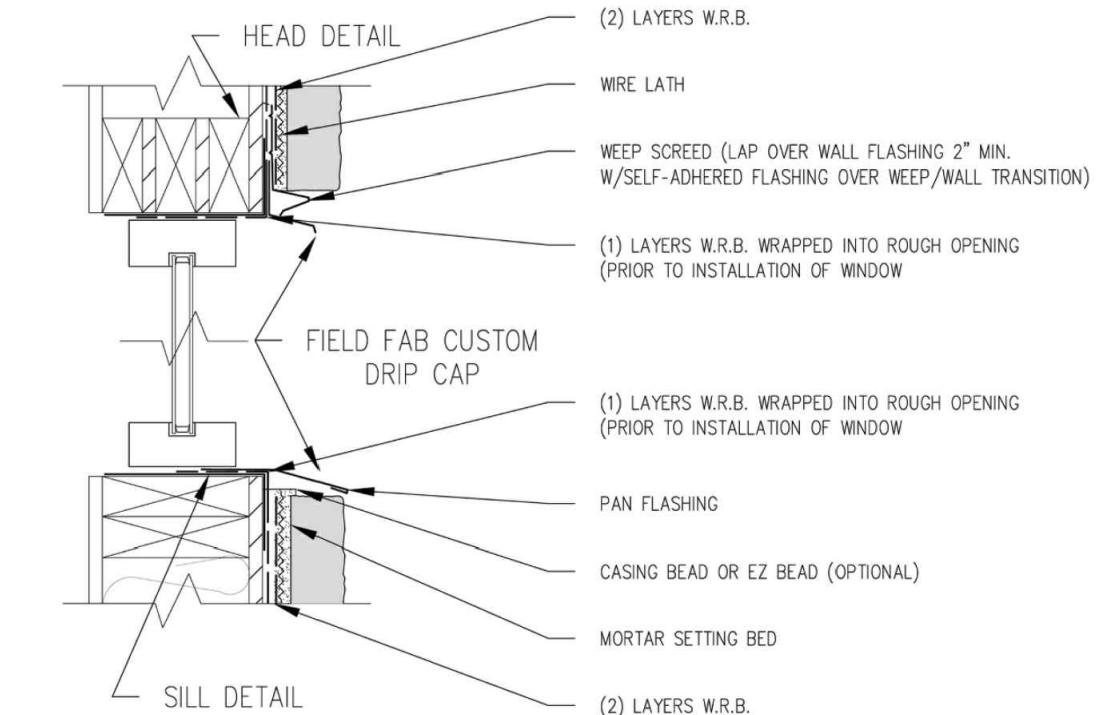
21 Isometric View Diverter/Kick-out flashing detail
NO SCALE



29 Stone/Foundation continue over foundation, weep screed at sill plate
NO SCALE



25 Stone under straight overhang
NO SCALE



19 Commercial window header and sill
NO SCALE

Adhered Natural Stone

Follow BSI, Building Stone Institute, Confirm & Coordinate installation Guidelines with supplier & manufacturer. Actual Conditions may vary.

DETAILS ARE NOT TO SCALE

1. Apply sheathing over the studs. Sheathing can be exterior OSB, plywood, exterior grade drywall, wallboard or cementitious board.
2. Staple the building paper to the sheathing. Attach the building paper in horizontal strips. Start at the bottom and overlap 2" (like shingles). Overlap the vertical joints by at least 6". If using flashing or support brackets (anchors), install them before proceeding to the next step.
3. Screw, staple or nail the metal lath to the studs. Only the screws that attach to the studs are counted to meet code requirements. Overlap the metal lath at least 1/2" for horizontal and 1" for vertical joints. At corners, overlap the vertical joints at least 16" around the corner to avoid corner cracking. Use barbed galvanized nails at 6" o.c. vertically for exterior work or steel wire furring nails at 4" o.c. for interior work. Minimum nail penetration is 1" into the studs. For steel studs, the lath must be anchored with corrosion resistant screws that have a minimum shank diameter of 0.136". (Fig 1A)
4. Apply a scratch coat that is 3/8" to 1/2" thick over and embedded into the metal lath. Use a toothed scraper, notched trowel or small piece of lath to lightly rake horizontal grooves in the scratch coat. Allow the scratch coat to cure for a minimum of 24 hours before installing adhered stone. (Fig 1B)

Starting Point
You can start laying stones at the top or the bottom of the wall. Working from the top down may keep mortar droppings from staining stones below, but make sure the mortar is strong enough to hold the suspended stone in place.

If beginning from the bottom, use a straight-edge and start 4" above soil or 2" above concrete to keep moisture from being absorbed from the ground. If your wall requires corner pieces, place these stones first. After your corner pieces are in place you can continue with the field stones.

Mortar Application
At the beginning of the workday, sponge or hose down the entire surface of the wall. This keeps the moisture from the wet mortar from being absorbed by the wall. Remoisten your work area with a fog spray or wet brush every hour. You want your work area to be damp, but not wet.
Using a trowel, apply mortar 3/8" to 3/4" thick to your work area. Push the mortar layer directly onto the backup wall (for concrete/concrete block/stucco) or into the scratch coat (for studs) with firm pressure on the trowel. Keep your work area limited to 10 square feet, so the mortar on the wall will not set before you can place the stones.

Setting Stones
Before setting absorptive stones like sandstone and some limestone, you should mist or brush the back of the stone with water to make it damp, but not wet. Do not pre-wet dense granites or other stones with less than 1% absorption. Natural stones do not absorb much water and a saturated stone will not adhere to the mortar. Just before placing the stone, cover 100% of the back of the stone with 1/2" of mortar. Place a slight excess of mortar at the edges of the stone. This will allow some mortar to squeeze out the stone edges and fill the joints when pressure is applied. Once the stone has been firmly pressed into the mortar bed, gently tap the stone with a soft mallet to set it in place. Be careful not to tap too hard. Some stud systems may be flexible and setting adjacent stones by tapping may dislodge a stone. Do not disturb or tap the stone after it has been set. The resulting total mortar thickness behind the stone should be between 3/8" and 1 1/4".

Joint Width
Proper joint width depends on the type of stone being used and the desired appearance. For wide joints, more mortar may need to be placed on the back of the stone. For thin joints, less mortar should be used. Be aware that increasing the amount of mortar on the back of the stone unit increases the possibility of mortar droppings on the stones below it. This also adds extra weight, which may cause the stones to be too heavy and fall off the wall. Make sure to keep your joints uniform in width. If your joints are greater than 1/2" in width, shrinkage cracks may develop within the joint.

Cutting and Trimming Stones
When placing a stone, try to find one that looks like a good fit with its neighbor. Some of these stones will still need to be trimmed to fit neatly and maintain uniform joint widths. To cut the stone, use a handheld grinder with a diamond cutting wheel or a chisel and hammer. If you prefer a rougher cut, score the back of the stone with the grinder and then use the hammer to break the unwanted pieces off. After the stone has been cut and trimmed, use a sponge or brush to assure that all grinding residue and dust have been removed.

Grouting and Finishing Joints
After the stone is in place and has set for 24 hours, come back and fill the joints using a pointing tool or grout bag. The final joint finish helps the wall resist moisture penetration. Tool the joint using a concave joint tool to compress and smooth the joints for maximum water resistance. Rough cut or raked joints will not be as water resistant as tooled joints. Brush away any crumbles or mortar tags after tooling the joint. We do not recommend installing stone veneer with open joints outdoors in climates with freeze/thaw weather cycles. Dry stack installation can be used for interior installations or warm climates where it does not freeze.

Clean up at the End of the Day
At the end of the workday, gently brush mortar smears off the stone. Do not use aggressive high pressure cleaning methods to clean the wall. They might loosen the stone. Natural stone is resistant to many chemicals, but some types of cleaners can damage the stone. Talk to your stone supplier to get specific recommendations for cleaning your stone.

Workmanship
Installation of adhered natural stone veneer is relatively straightforward, but requires an experienced tradesman with a keen eye to fit the stones in an attractive pattern. Important workmanship issues to consider include:

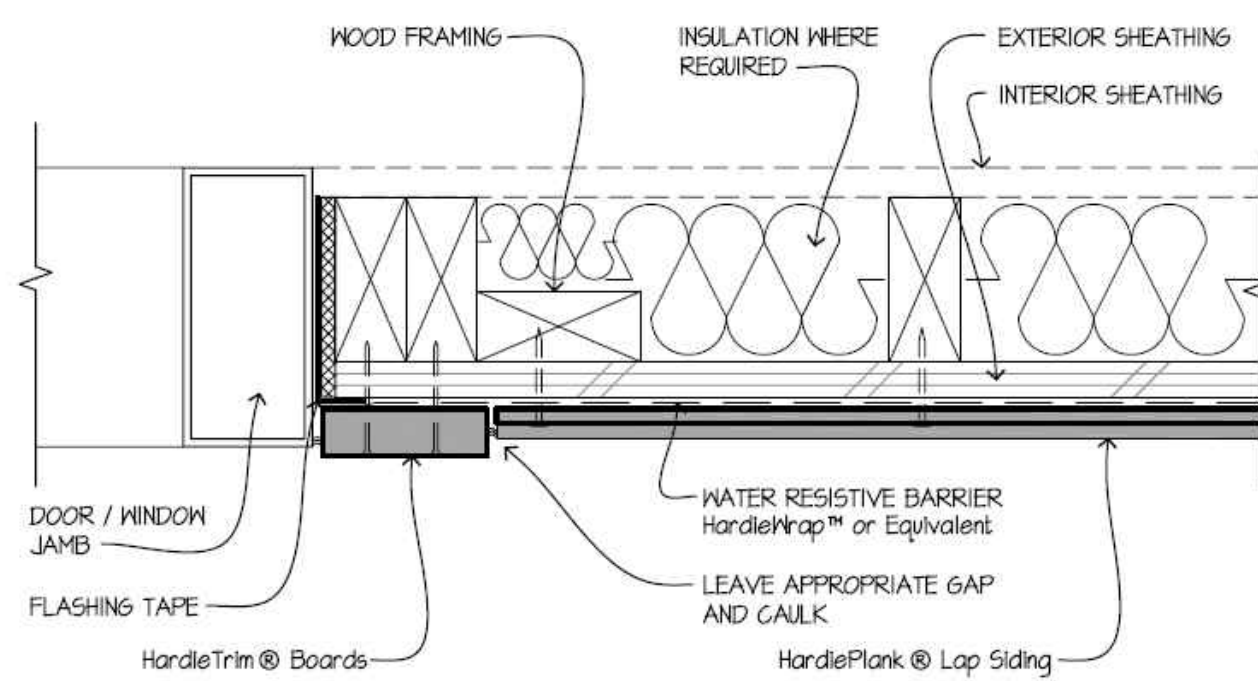
- Complete mortar bedding at the back of the stone is essential. Even small voids can collect water over time, leading to premature failure.
- Mortar joints need to be full and well-tooled, without voids or cracks that may let water into the wall. Dry-stack patterns are not recommended for exterior use in harsh environments like Colorado, with lots of freeze/thaw cycles.
- Mortar joint width should be fairly uniform. Very wide joints are likely to develop shrinkage cracks. Narrow joints are difficult to fill properly.
- The bond pattern should be "comfortable" – avoid the use of occasional large or very small stones or thin vertical stone pieces. The final product should have the appearance of load-bearing masonry, as shown below for several typical stone patterns.
- Avoid continuous vertical mortar joints that cross more than 4 units.



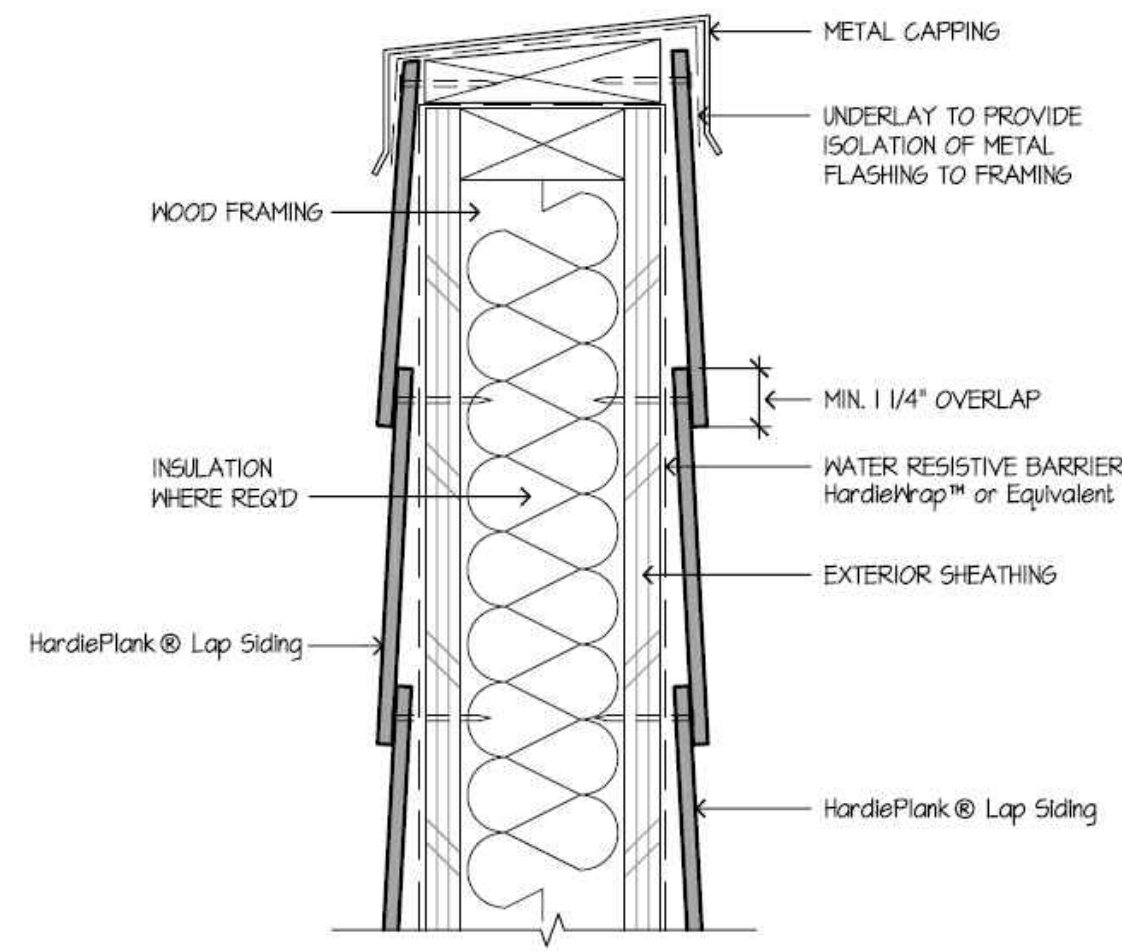
REVISION:	
DATE:	8-12-2025
JOB:	25-3090
SHEET NO.:	

HARDIE LAP SIDING
 Manufacturers Installation Details,
 Contractor to install as indicated
 Actual Conditions May Vary

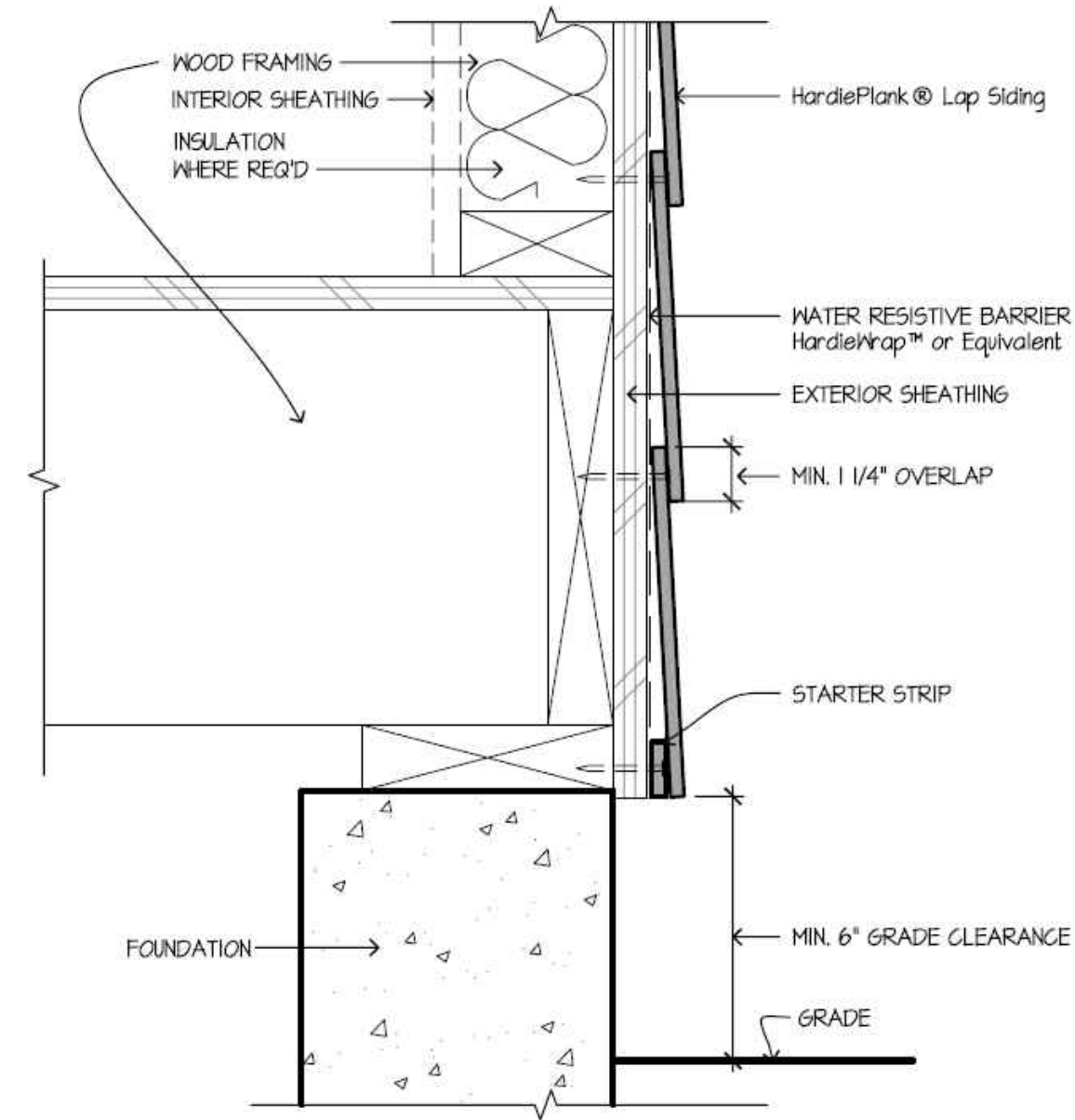
DETAILS ARE NOT TO SCALE



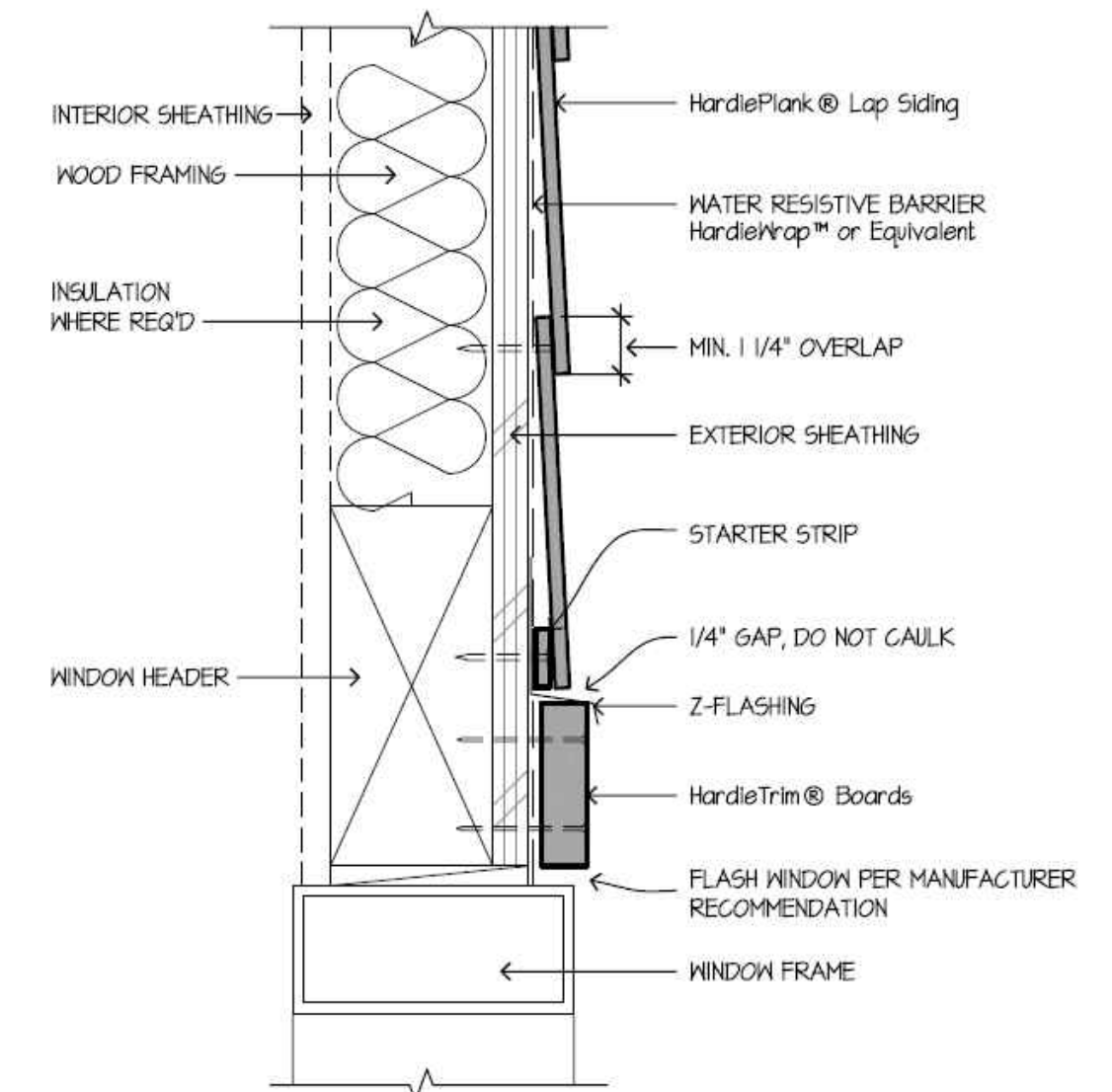
10 DOOR / WINDOW JAMB
 SCALE: 3/4"=1'-0"



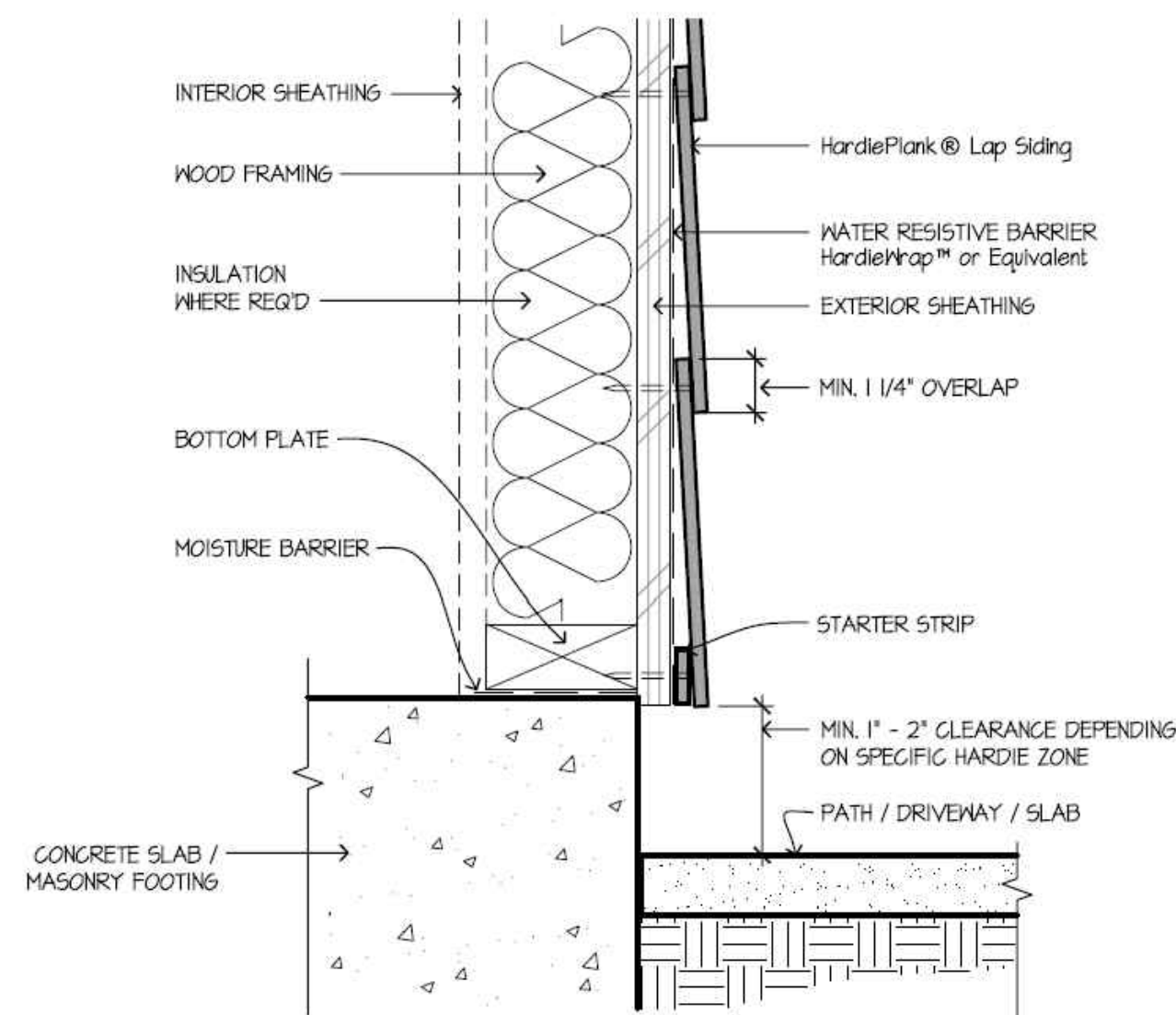
9 PARAPET
 SCALE: 3/4"=1'-0"



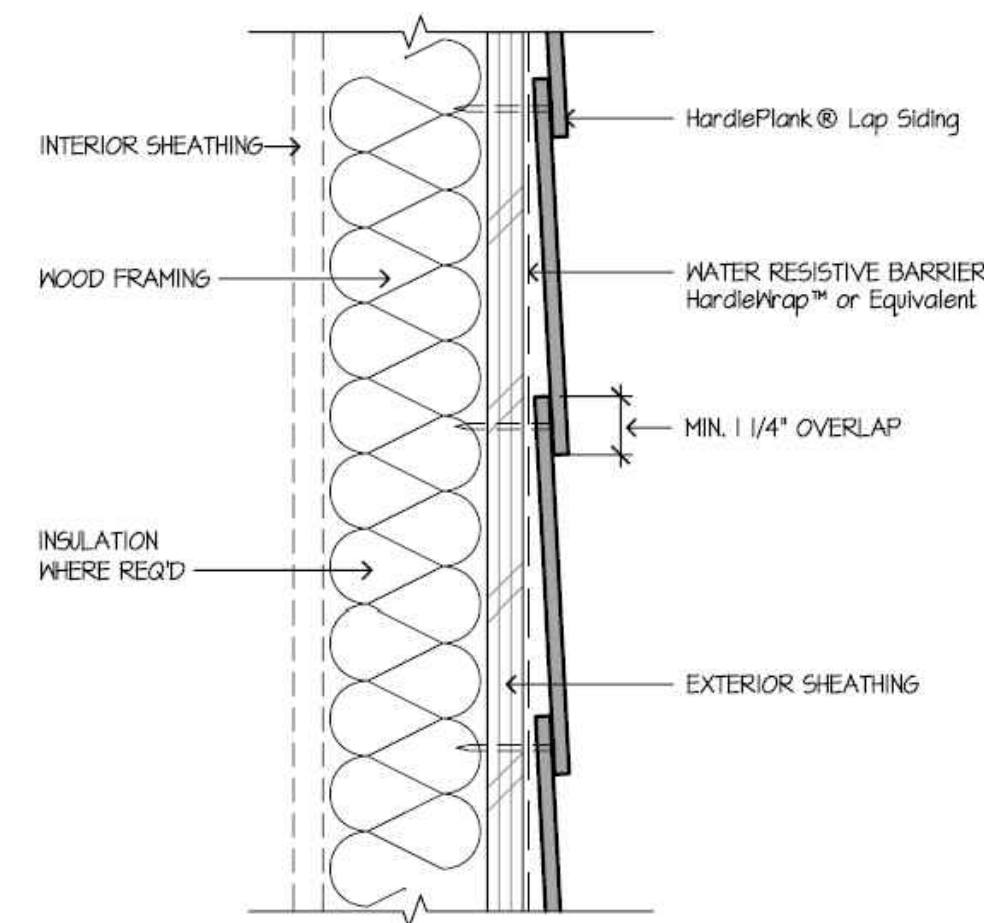
6 GRADE CLEARANCE
 SCALE: 3/4"=1'-0"



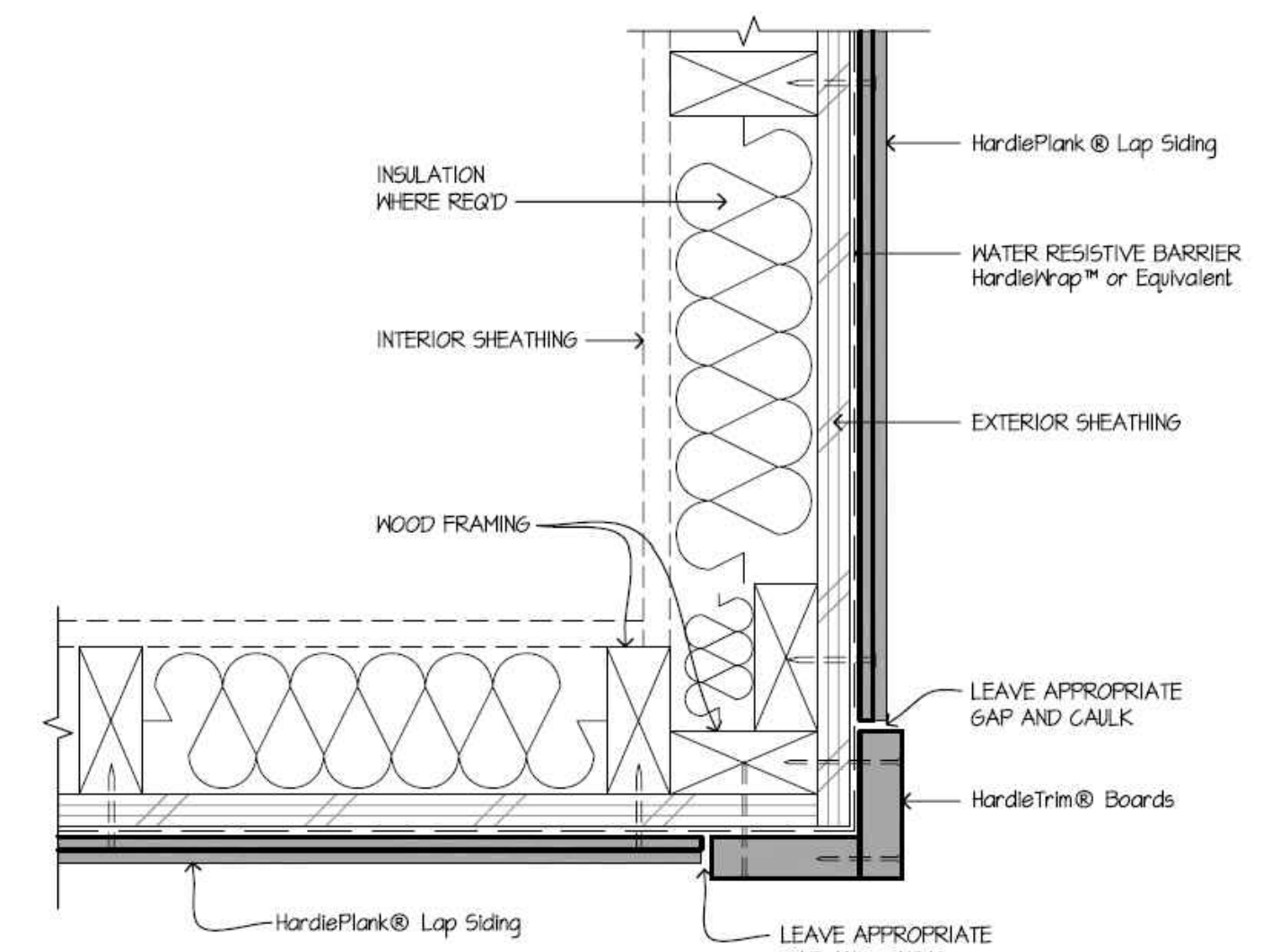
3 WINDOW/DOOR HEAD
 SCALE: 3/4"=1'-0"



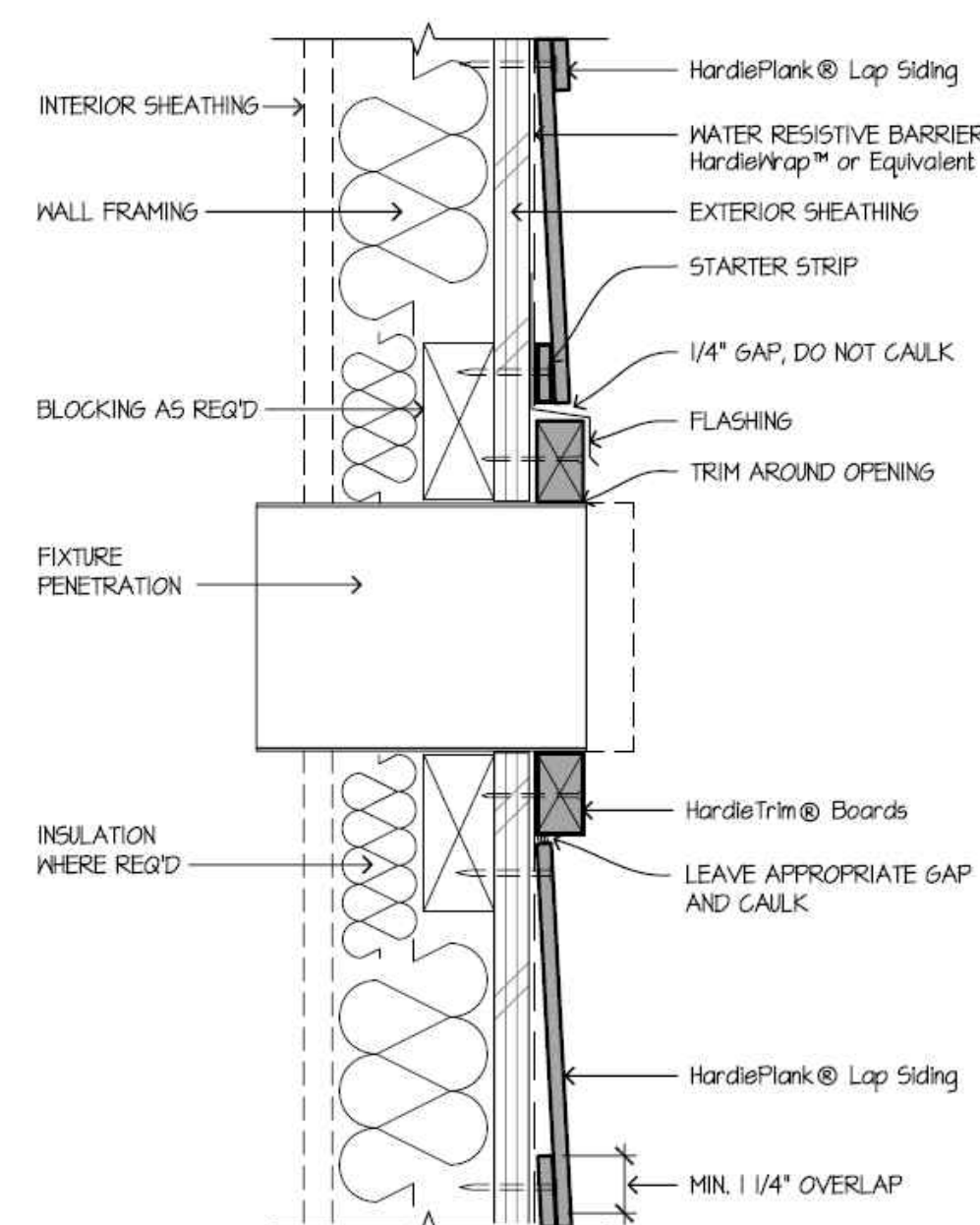
8 HARDSCAPE CLEARANCES, DECKS,
 PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.
 SCALE: 1/2"=1'-0"



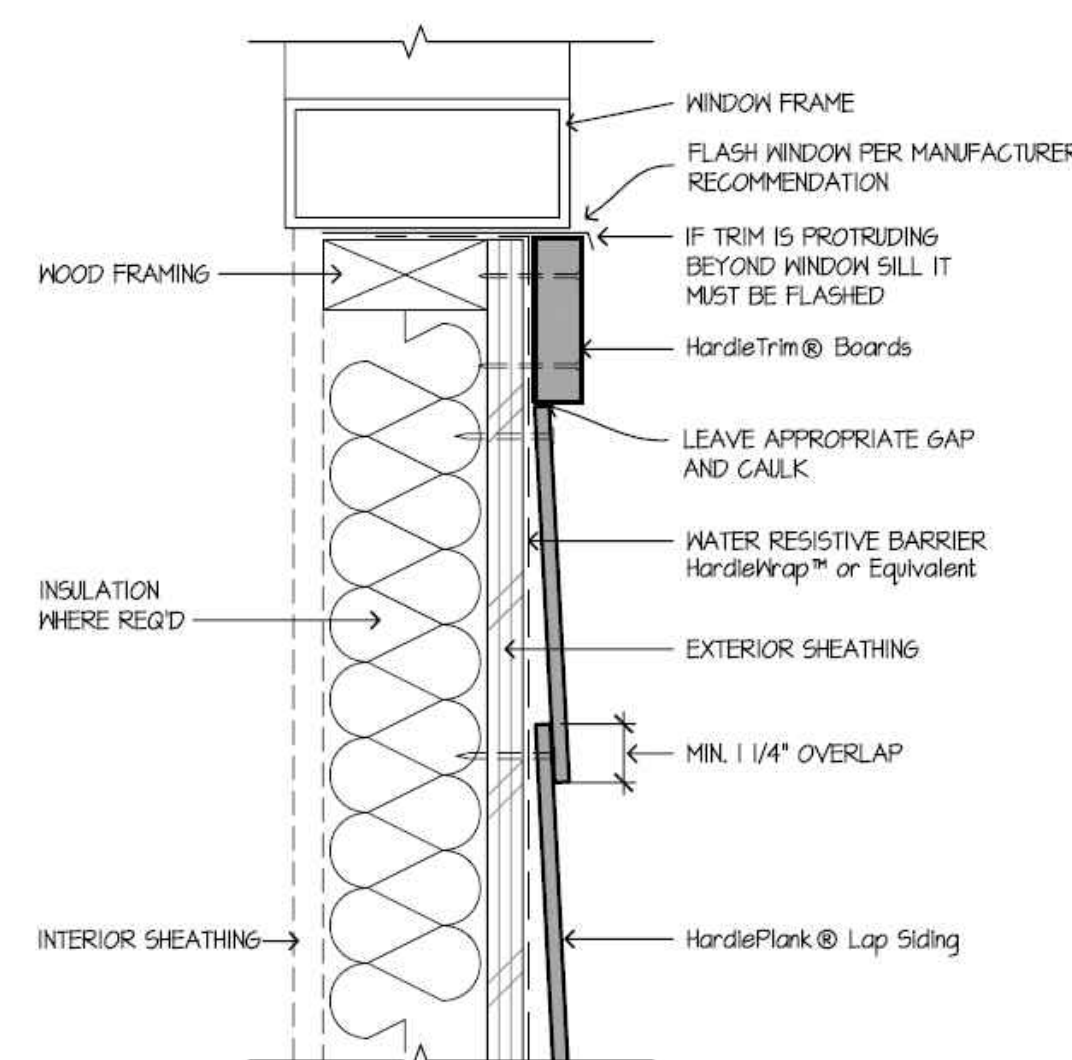
5 HORIZONTAL LAP VIEW
 SCALE: 3/4"=1'-0"



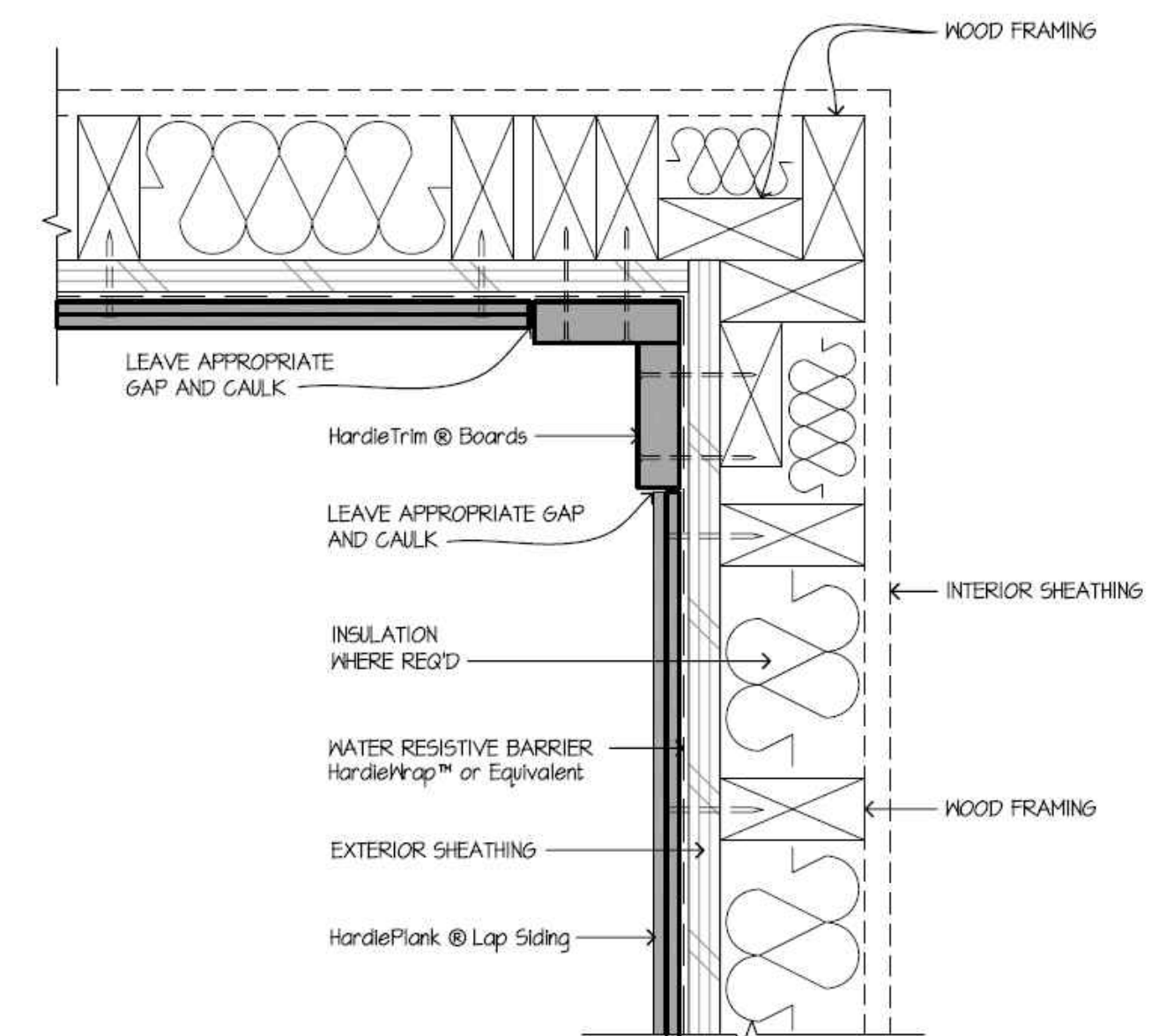
2 OUTSIDE CORNER
 SCALE: 3/4"=1'-0"



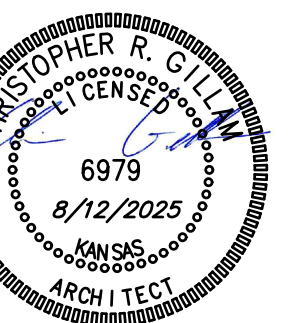
7 FIXTURE PENETRATION
 SCALE: 3/4"=1'-0"



4 WINDOW SILL
 SCALE: 3/4"=1'-0"



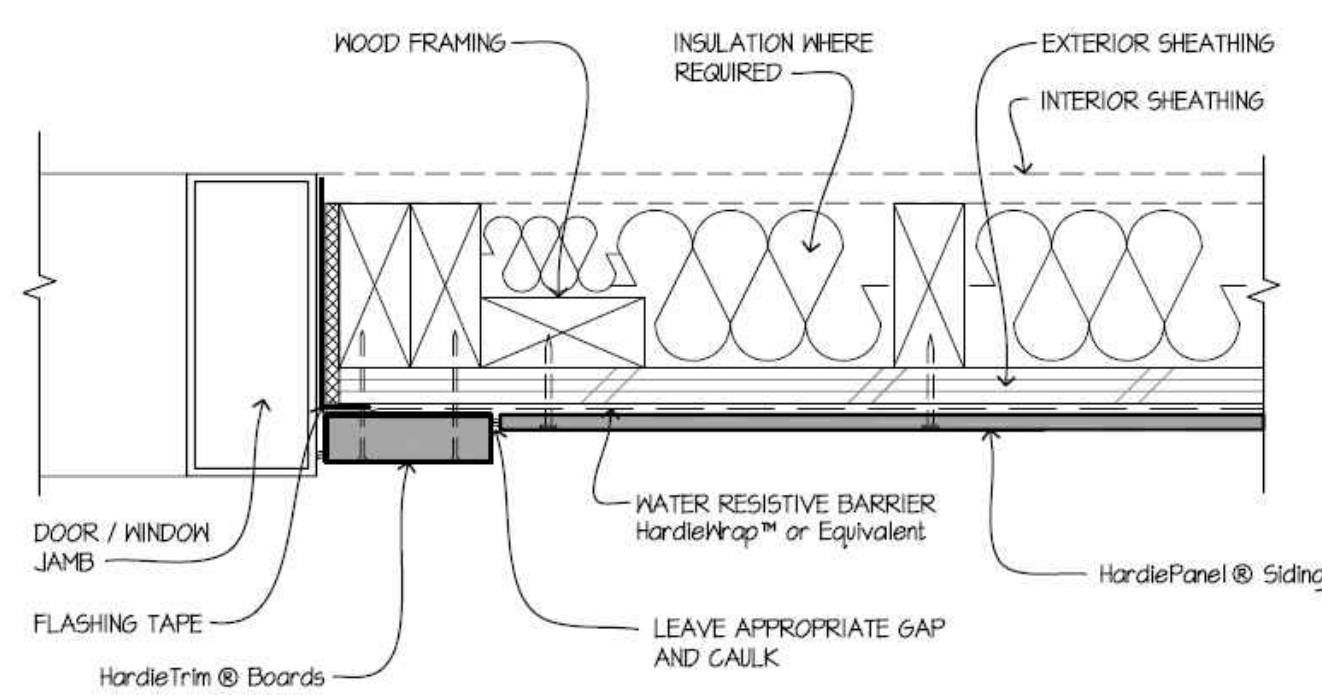
1 INSIDE CORNER
 SCALE: 3/4"=1'-0"



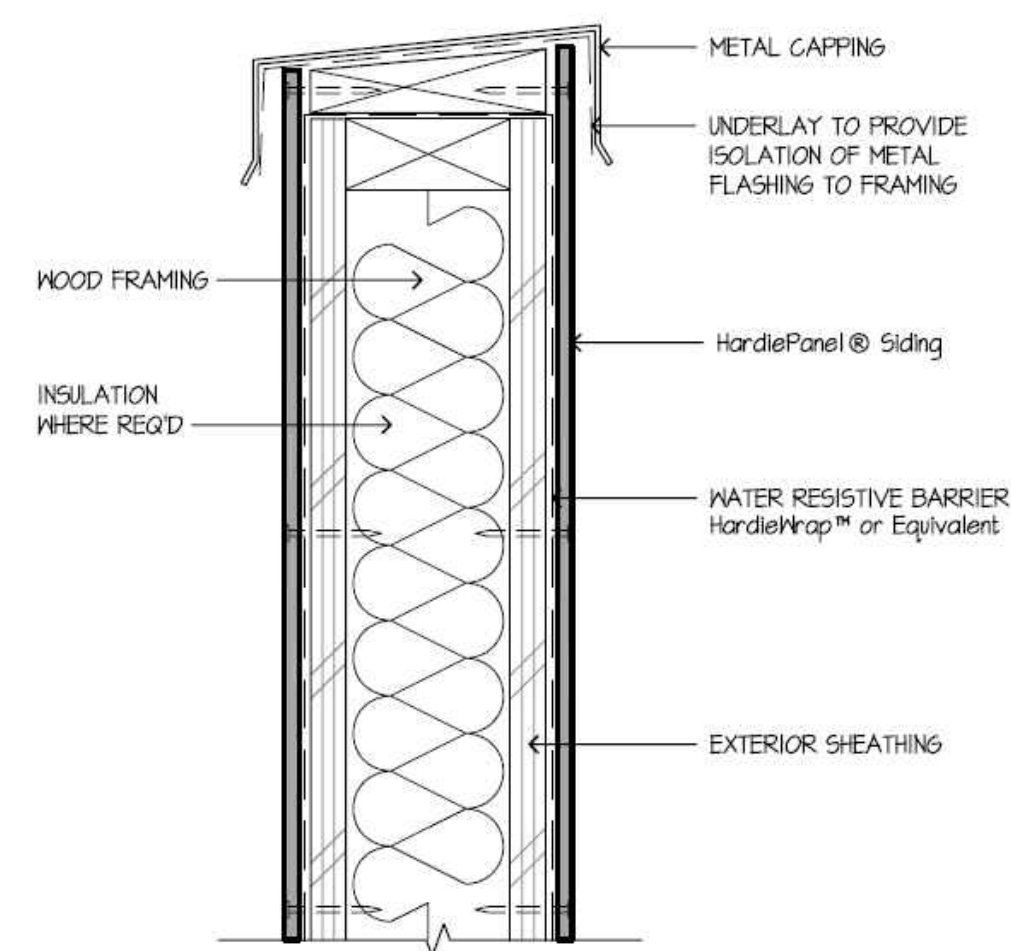
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DATE:	8-12-2025
JOB:	25-3090
SHEET NO.:	

HARDIE PANEL SIDING
 Manufacturers Installation Details,
 Contractor to install as indicated
 Actual Conditions May Vary

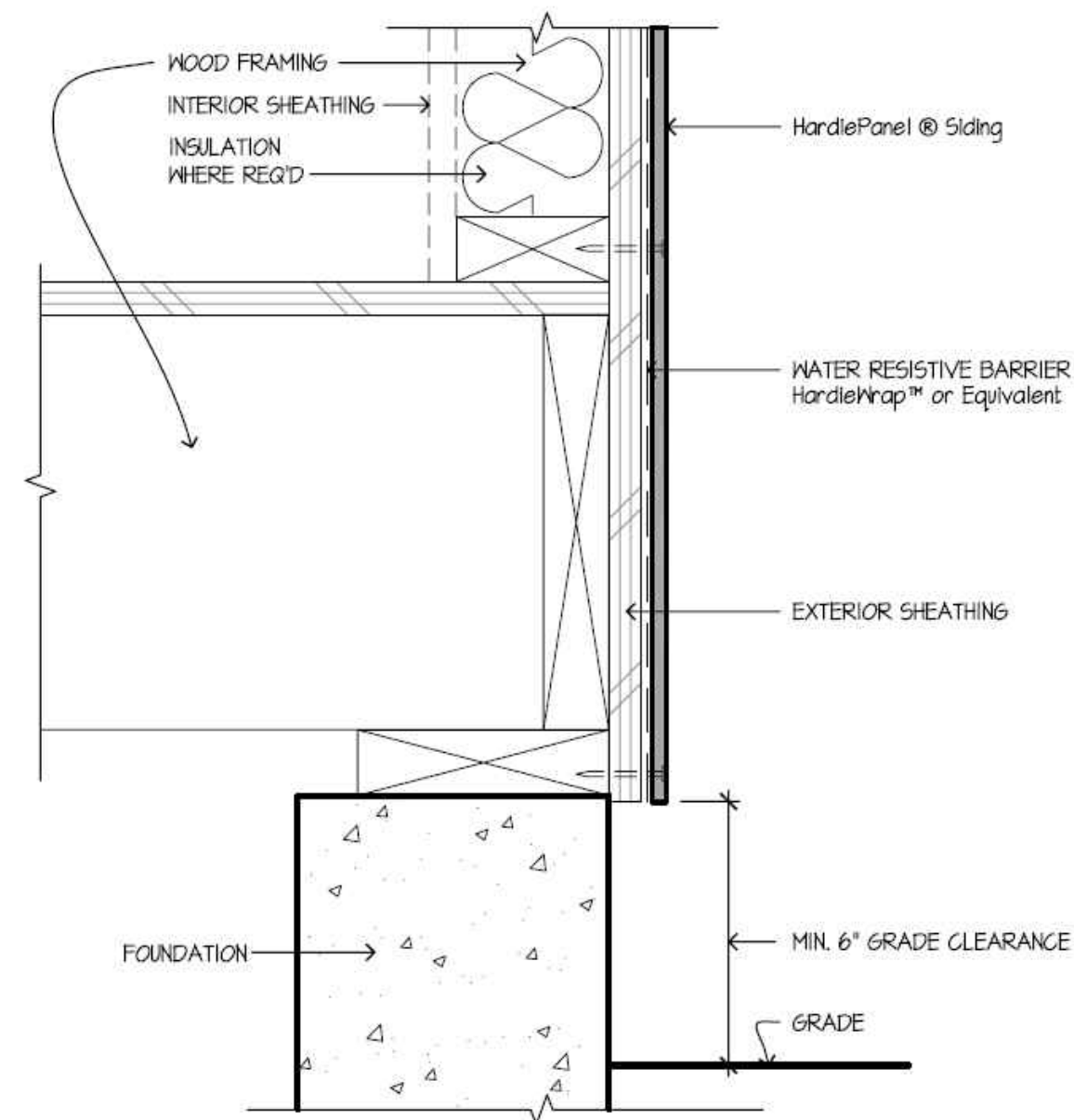
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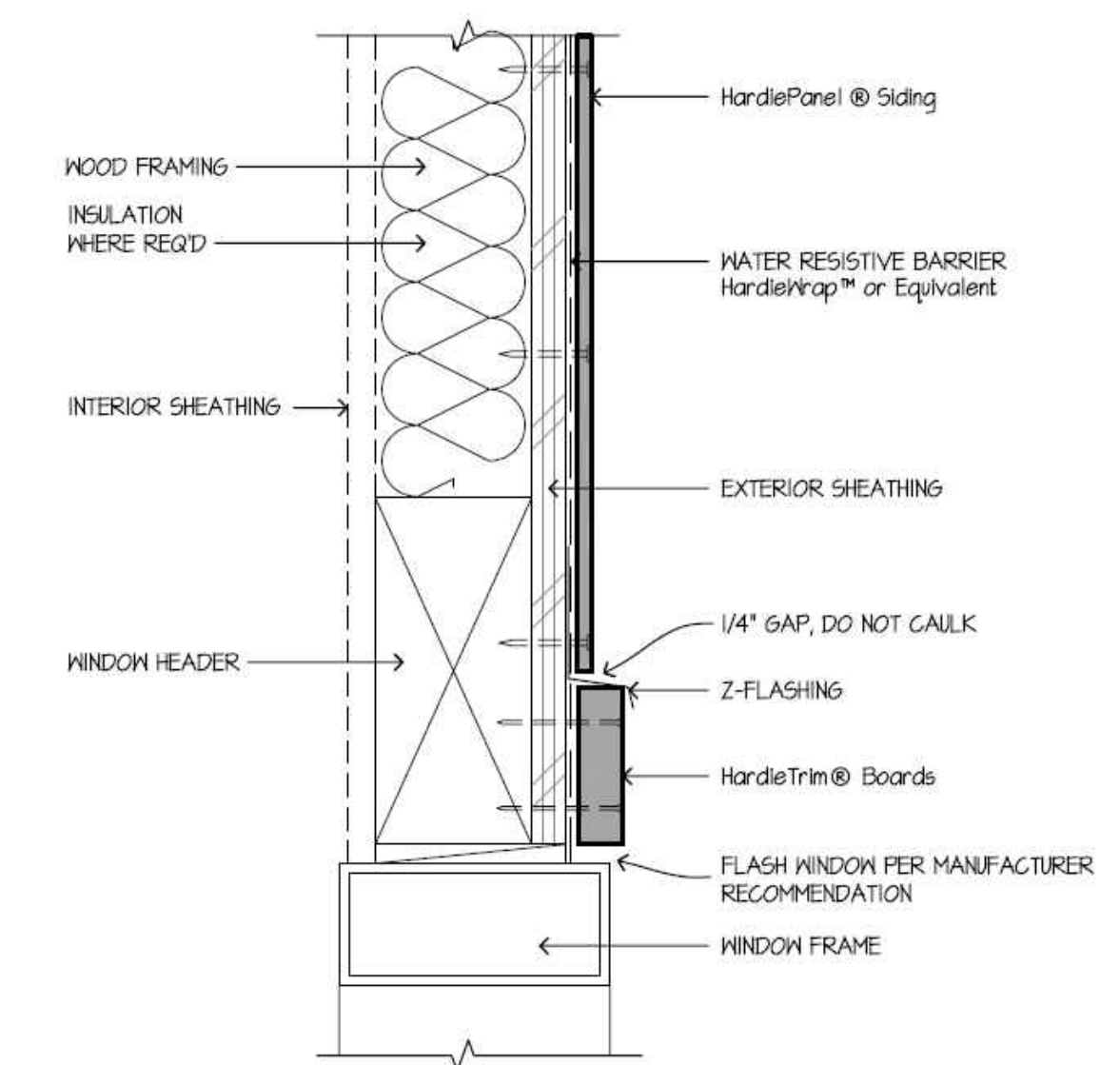
10 DOOR / WINDOW JAMB
 SCALE: 3"=1'-0"



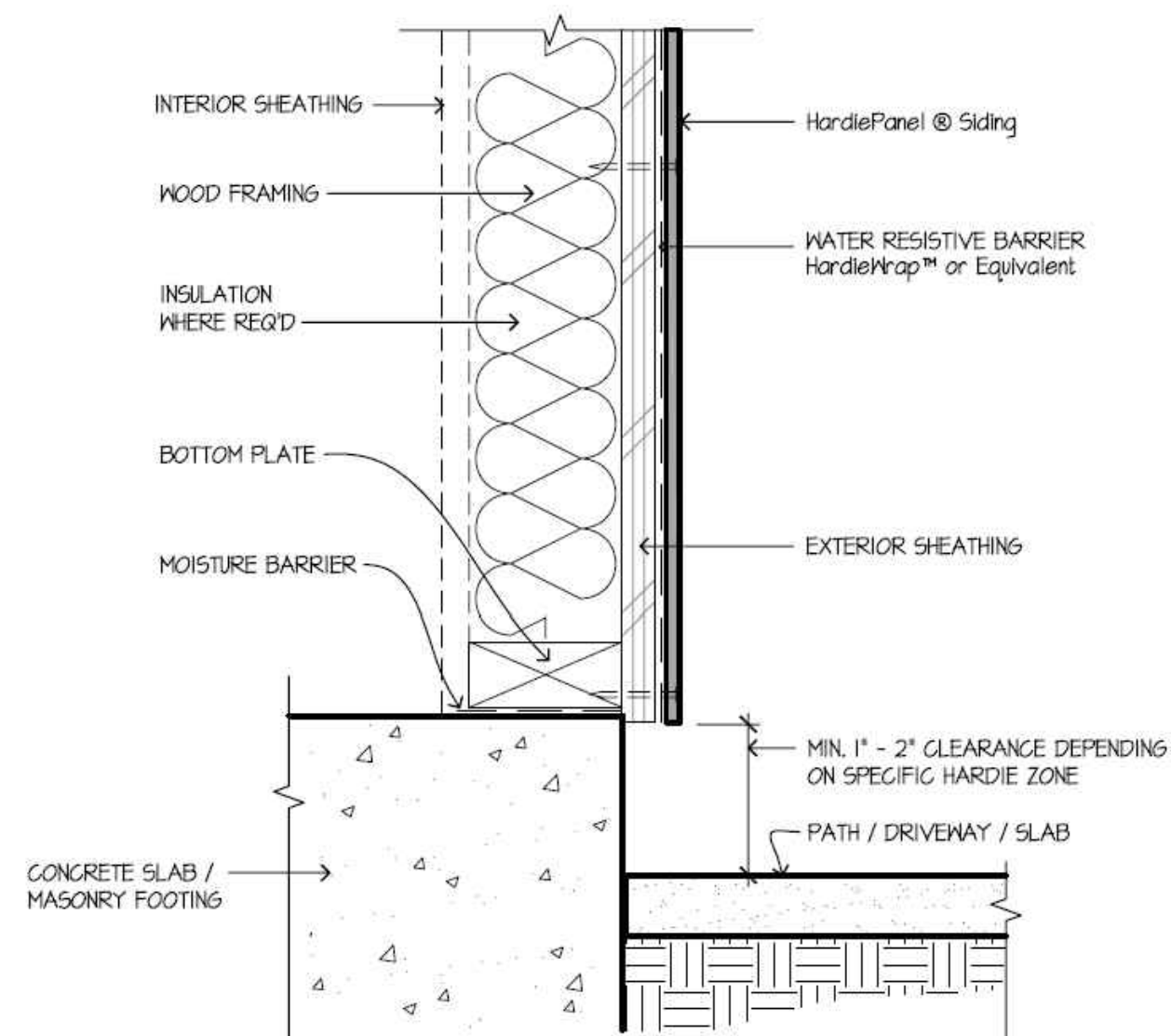
9 PARAPET
 SCALE: 3"=1'-0"



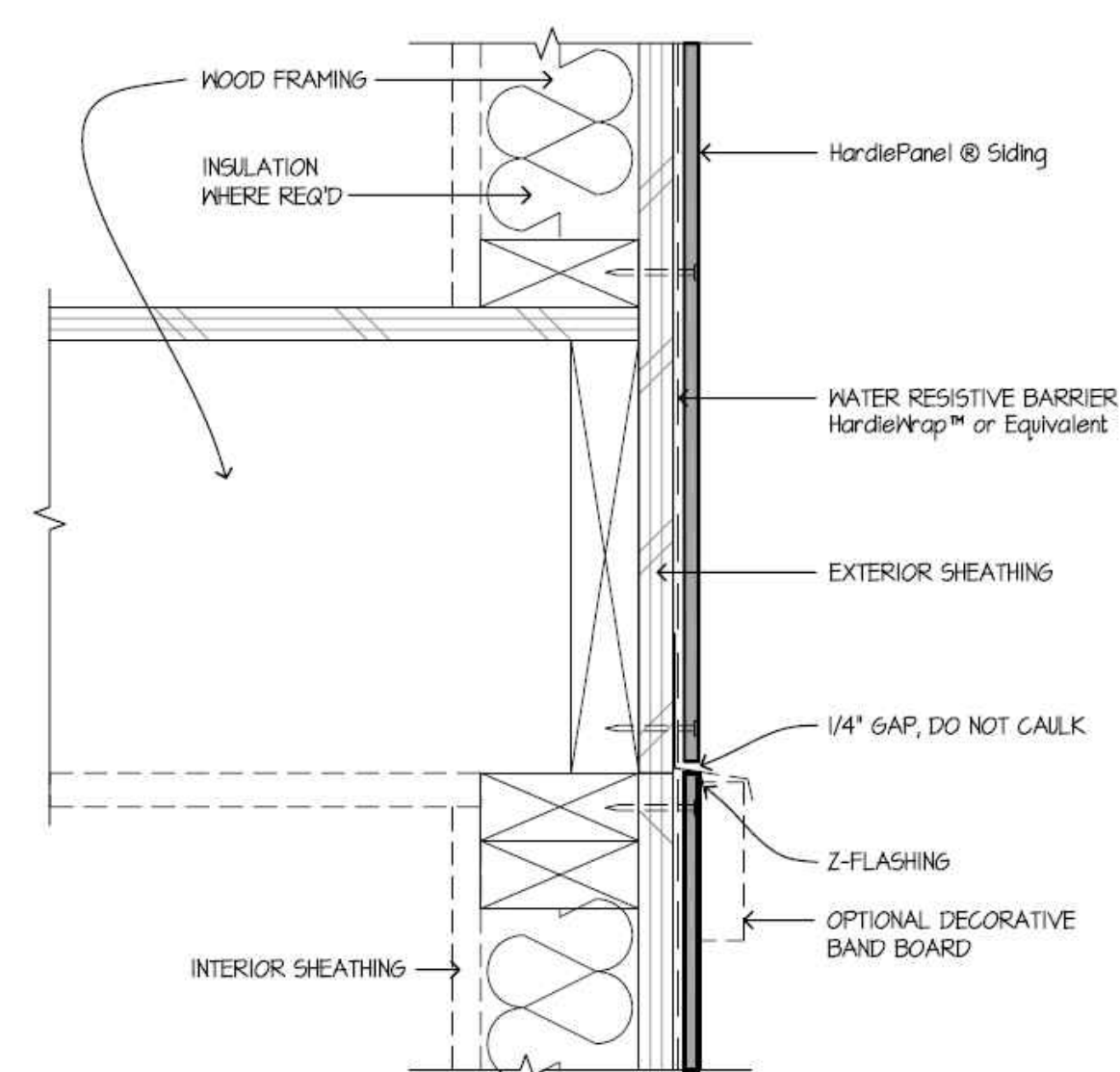
6 GRADE CLEARANCE
 SCALE: 3"=1'-0"



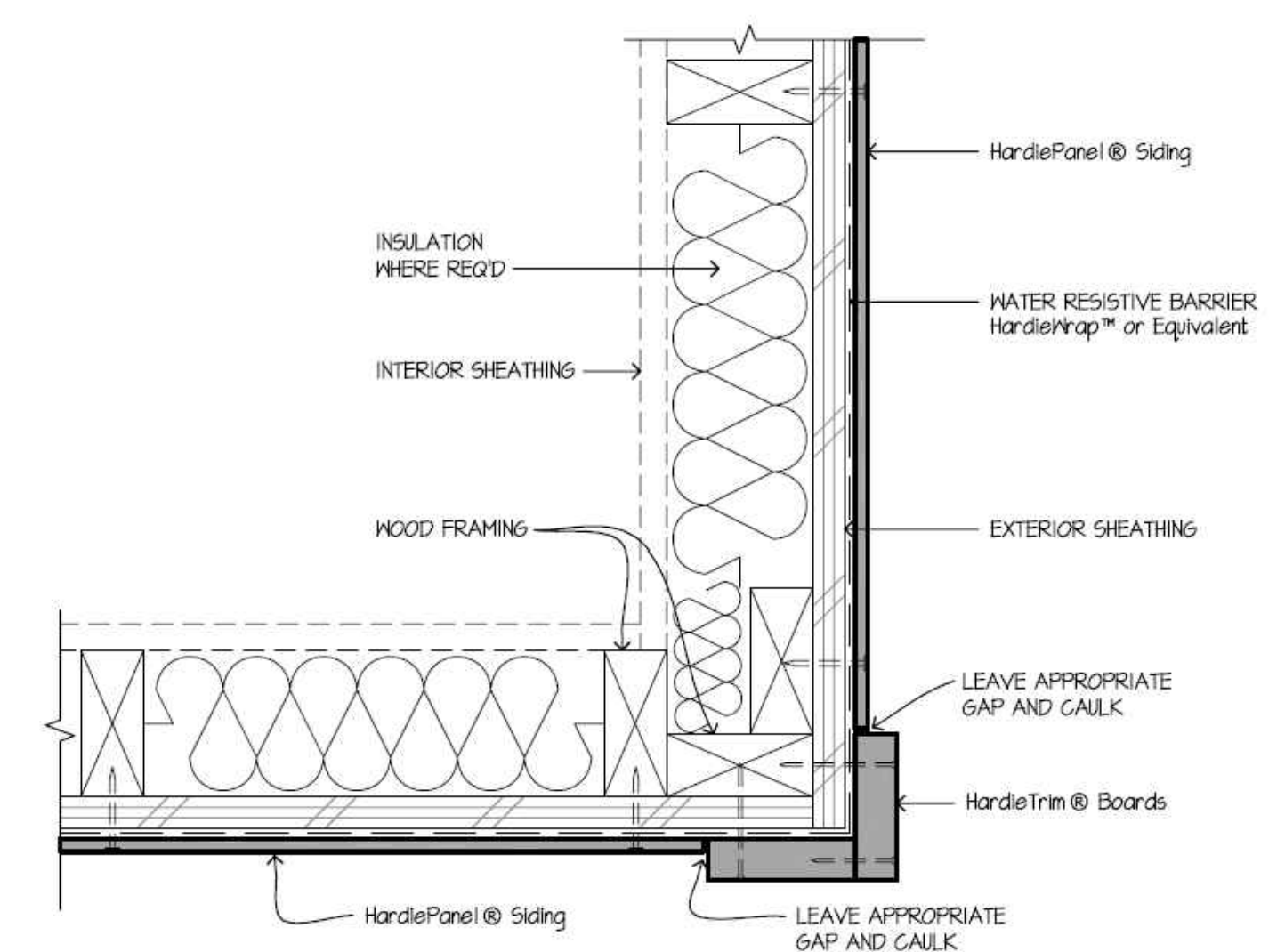
3 WINDOW/DOOR HEAD
 SCALE: 3"=1'-0"



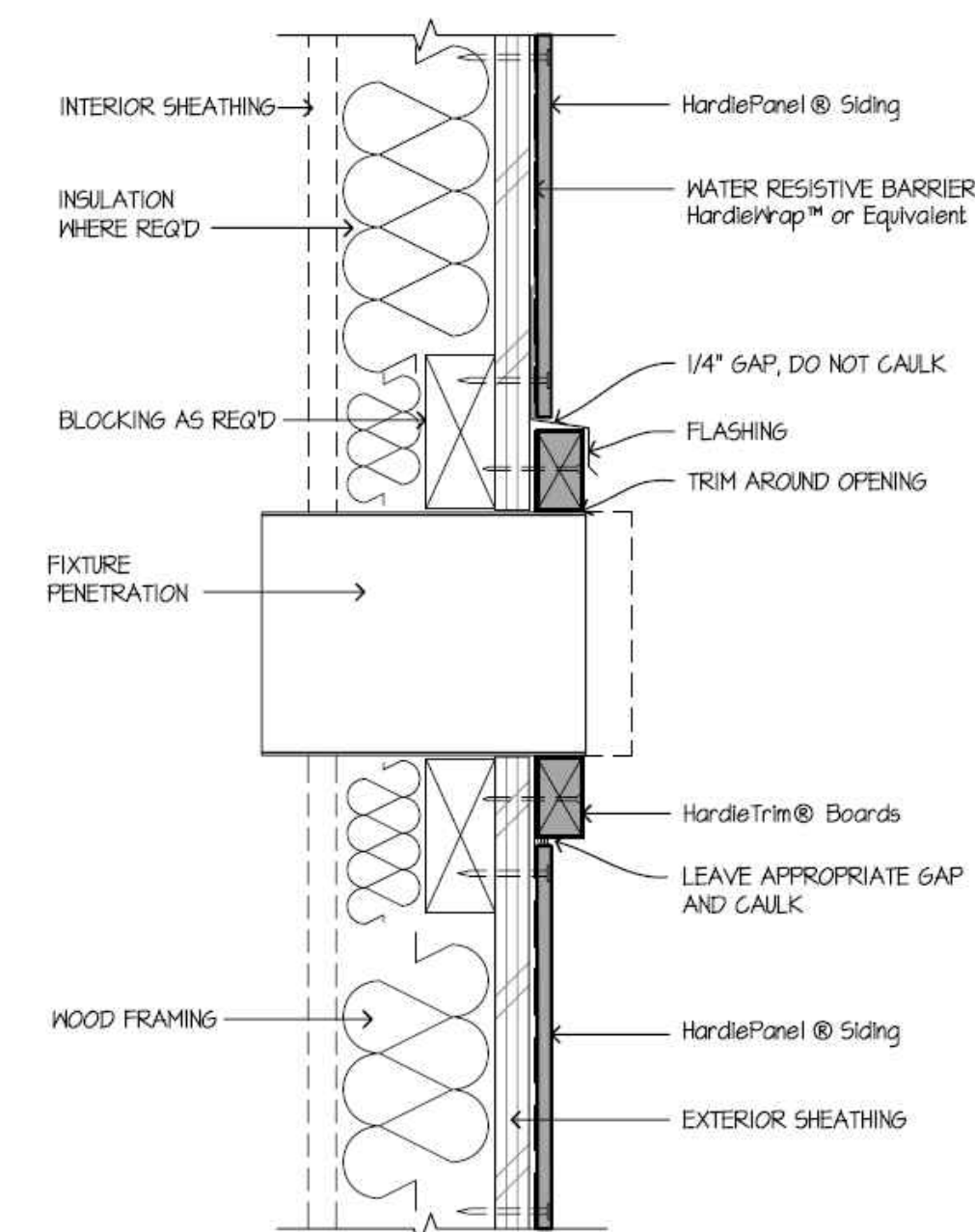
8 HARDSCAPE CLEARANCES, DECKS,
 PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.
 SCALE: 1/2"=1'-0"



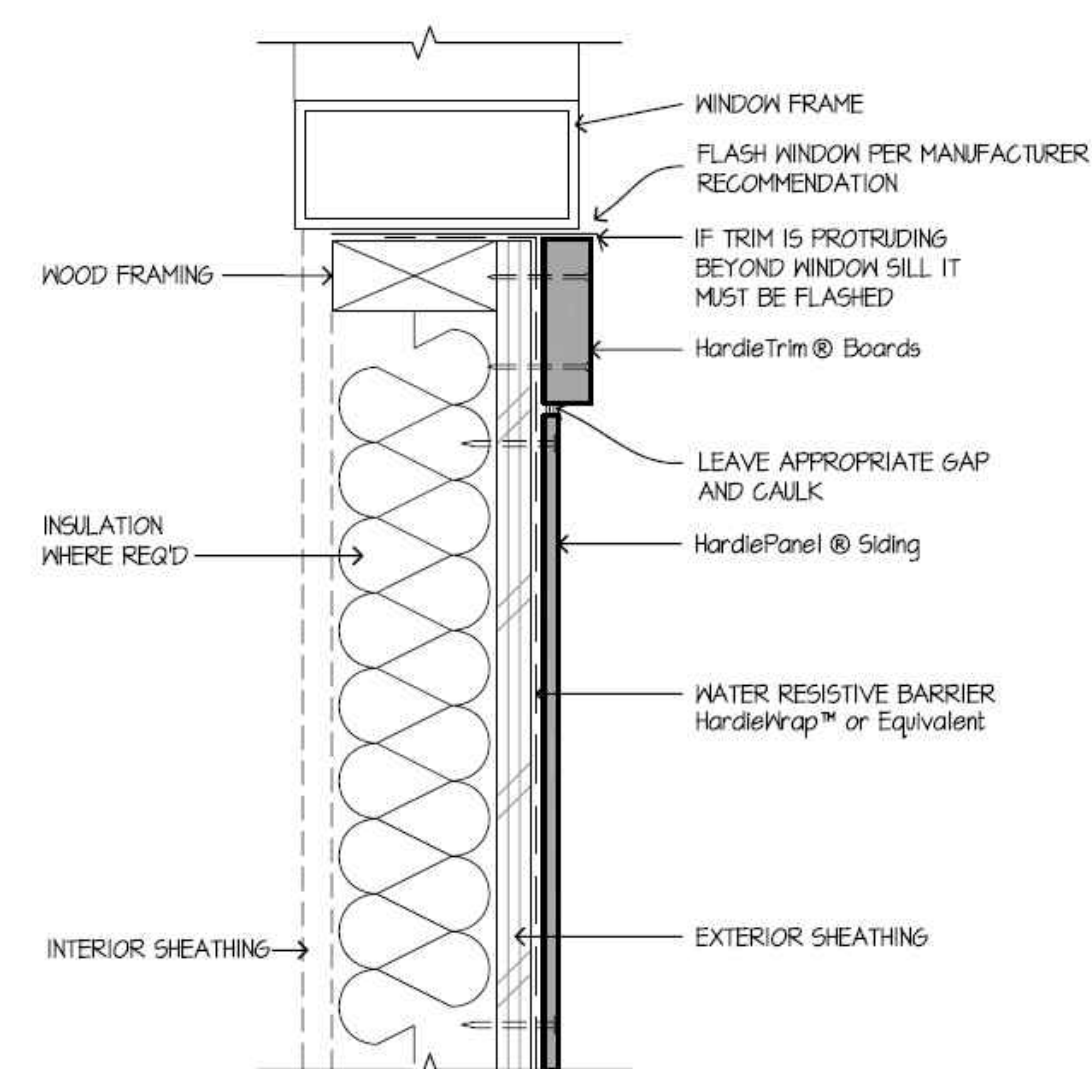
5 HORIZONTAL VIEW
 SCALE: 3"=1'-0"



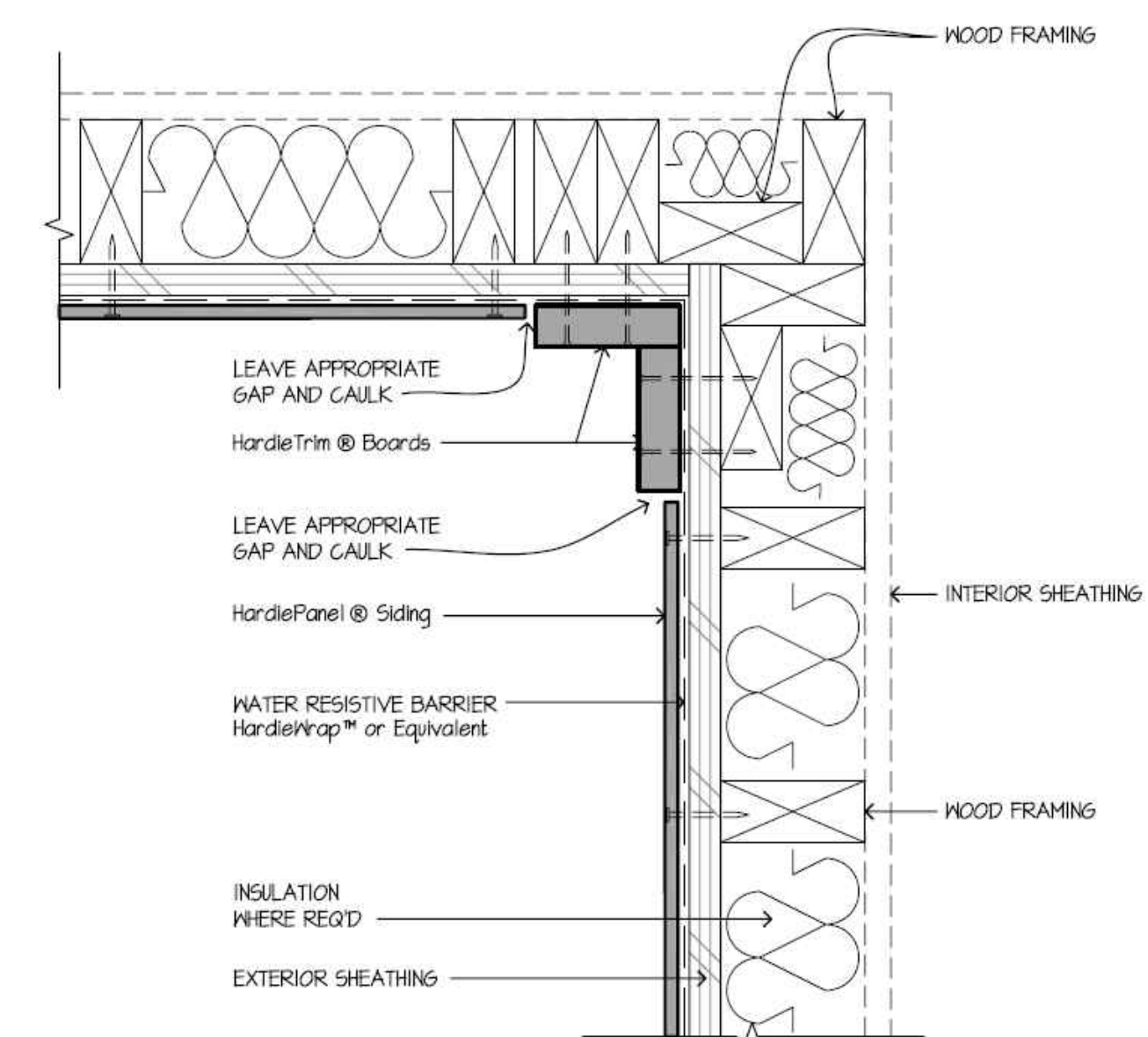
2 OUTSIDE CORNER
 SCALE: 3"=1'-0"



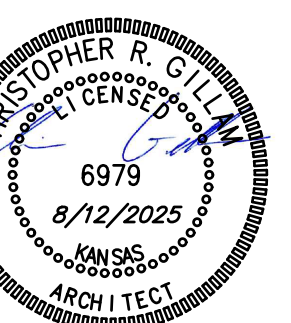
7 FIXTURE PENETRATION
 SCALE: 3"=1'-0"



4 WINDOW SILL
 SCALE: 3"=1'-0"



1 INSIDE CORNER
 SCALE: 3"=1'-0"

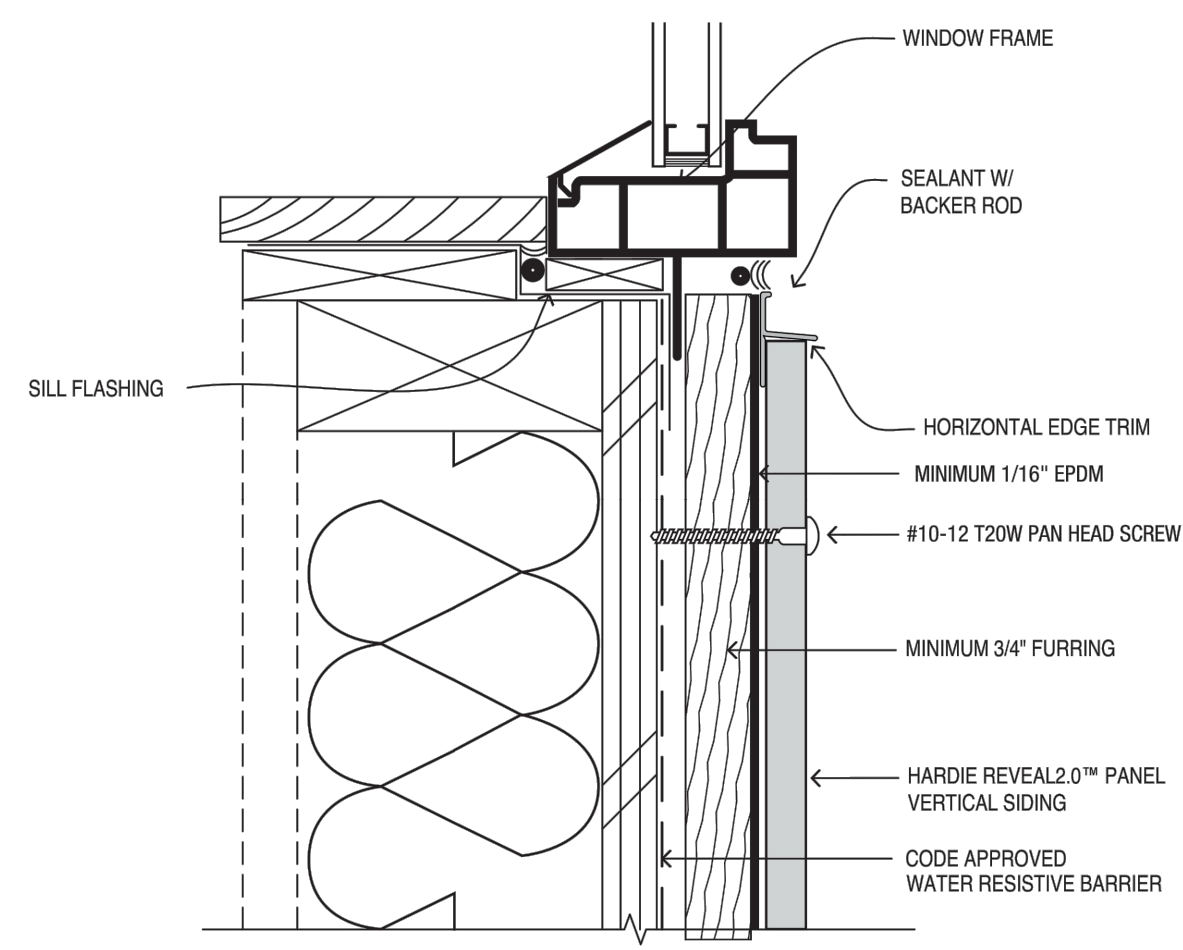


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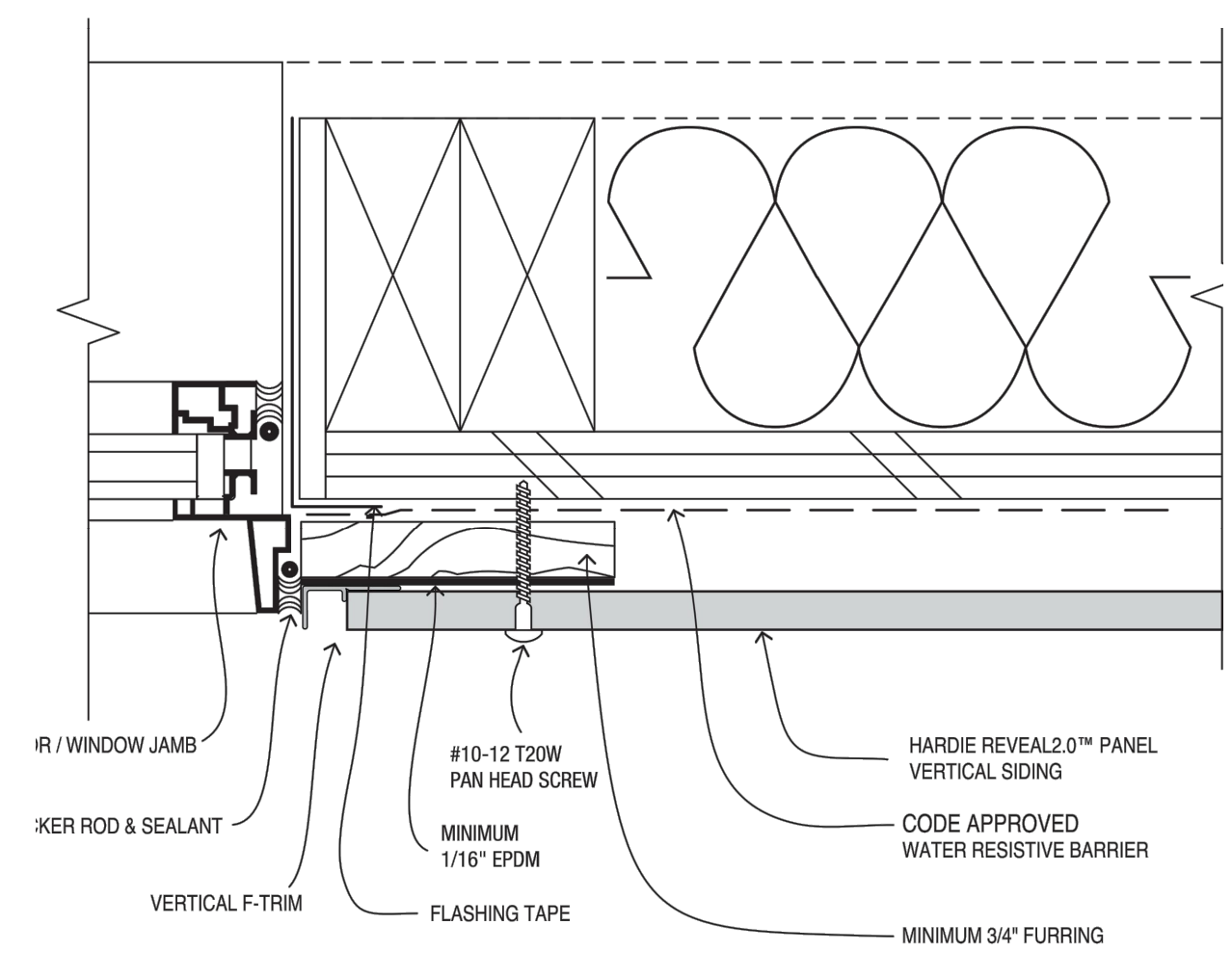
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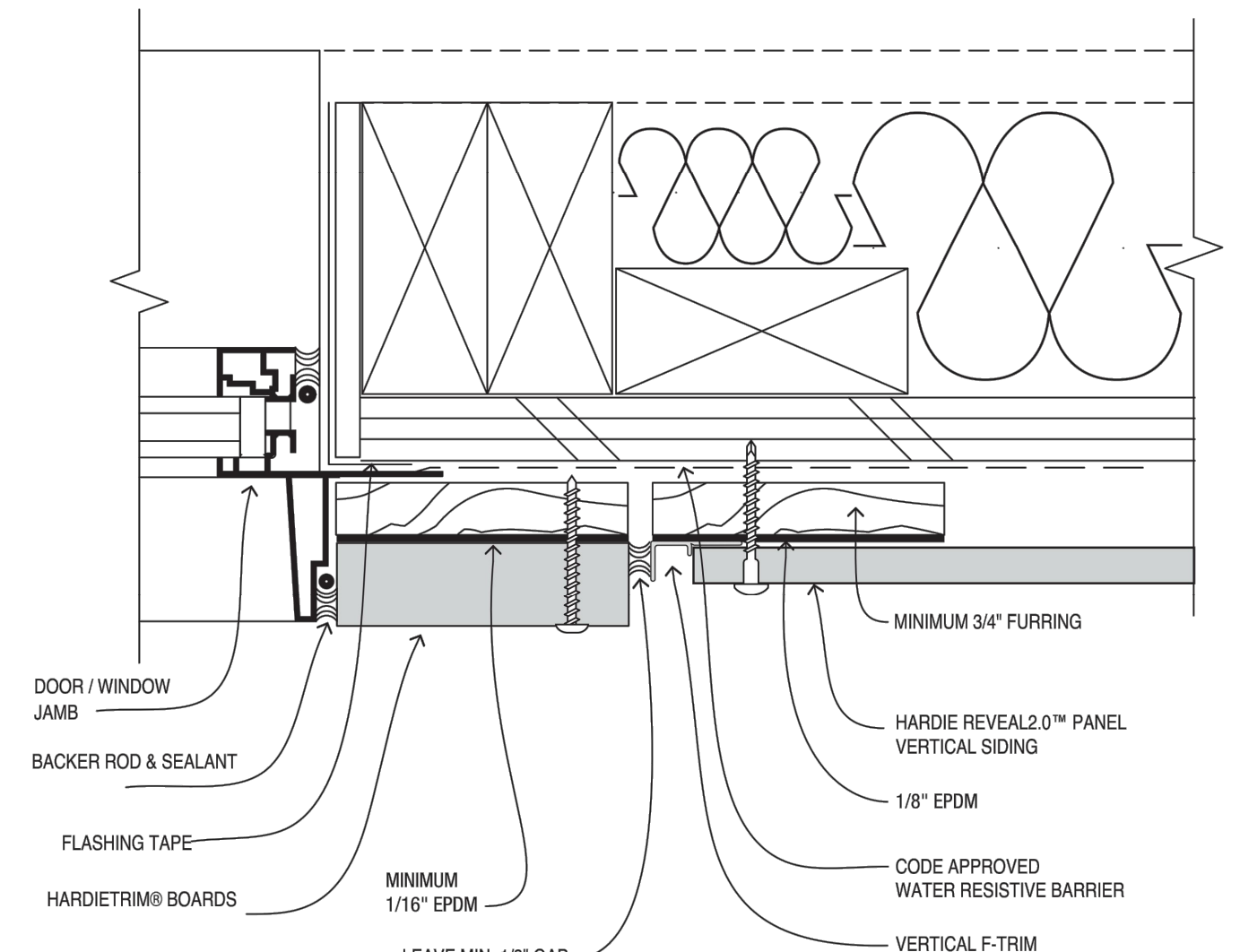
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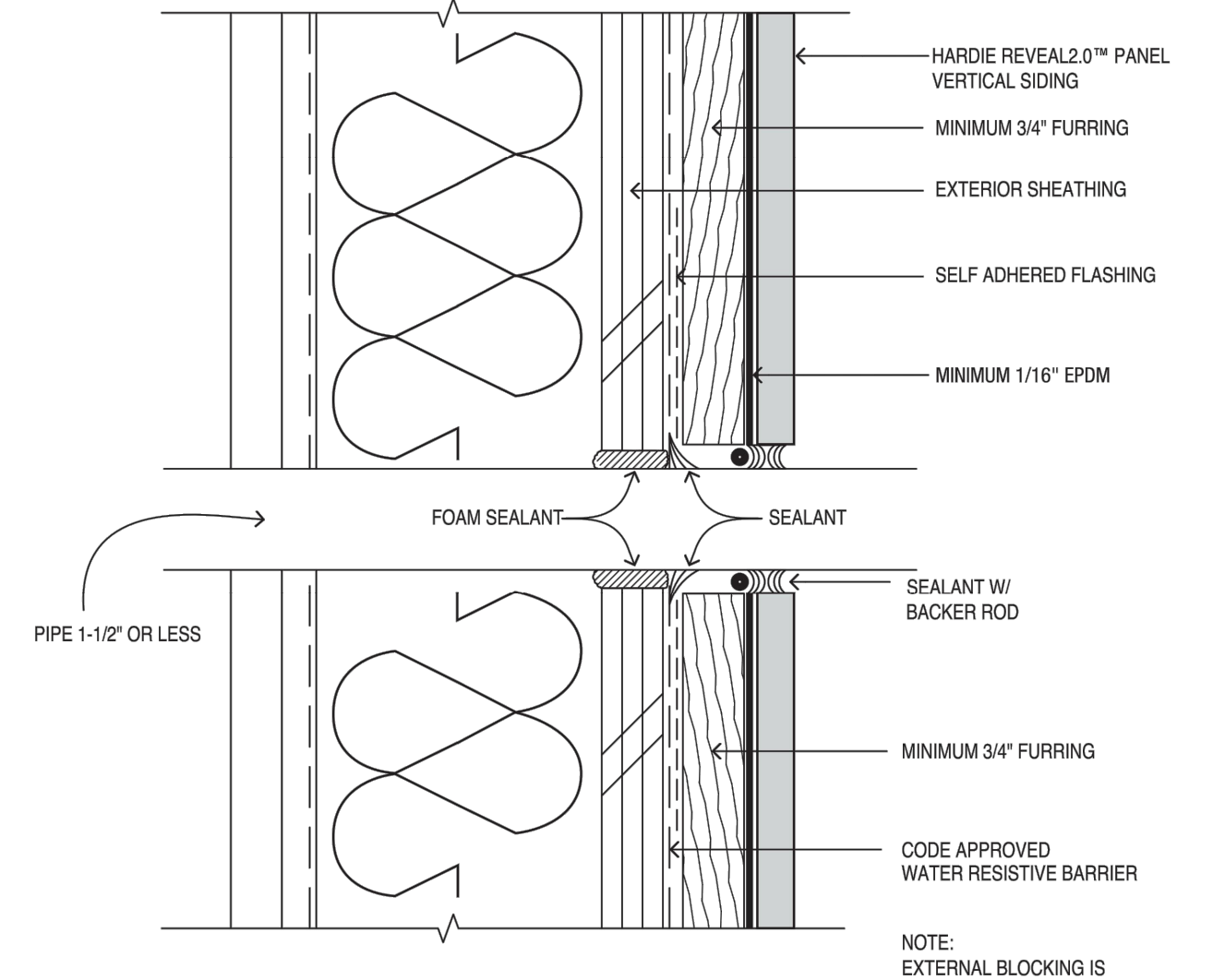
12 WINDOW SILL
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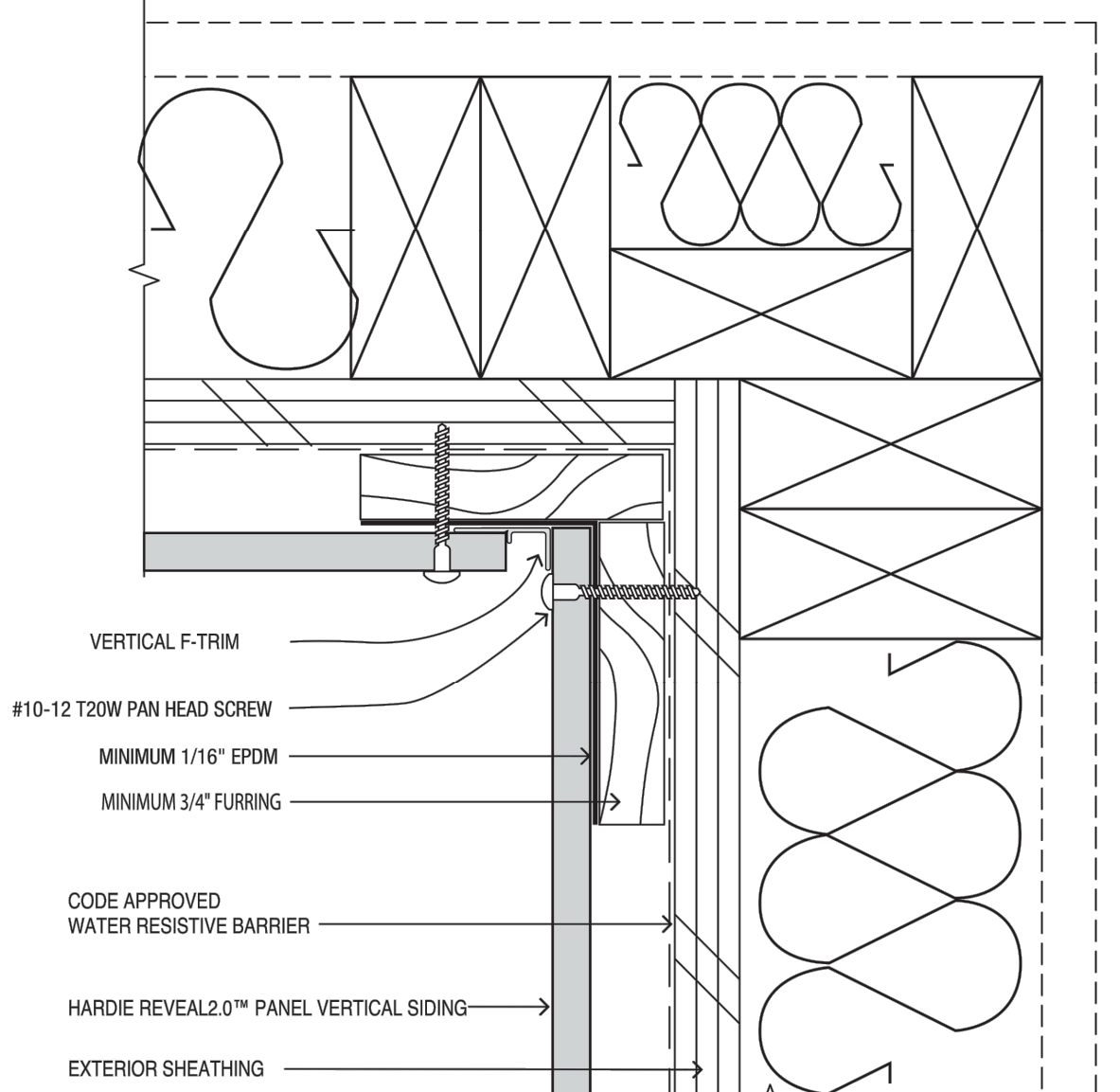
11 WINDOW JAMB, NO TRIM
NTS



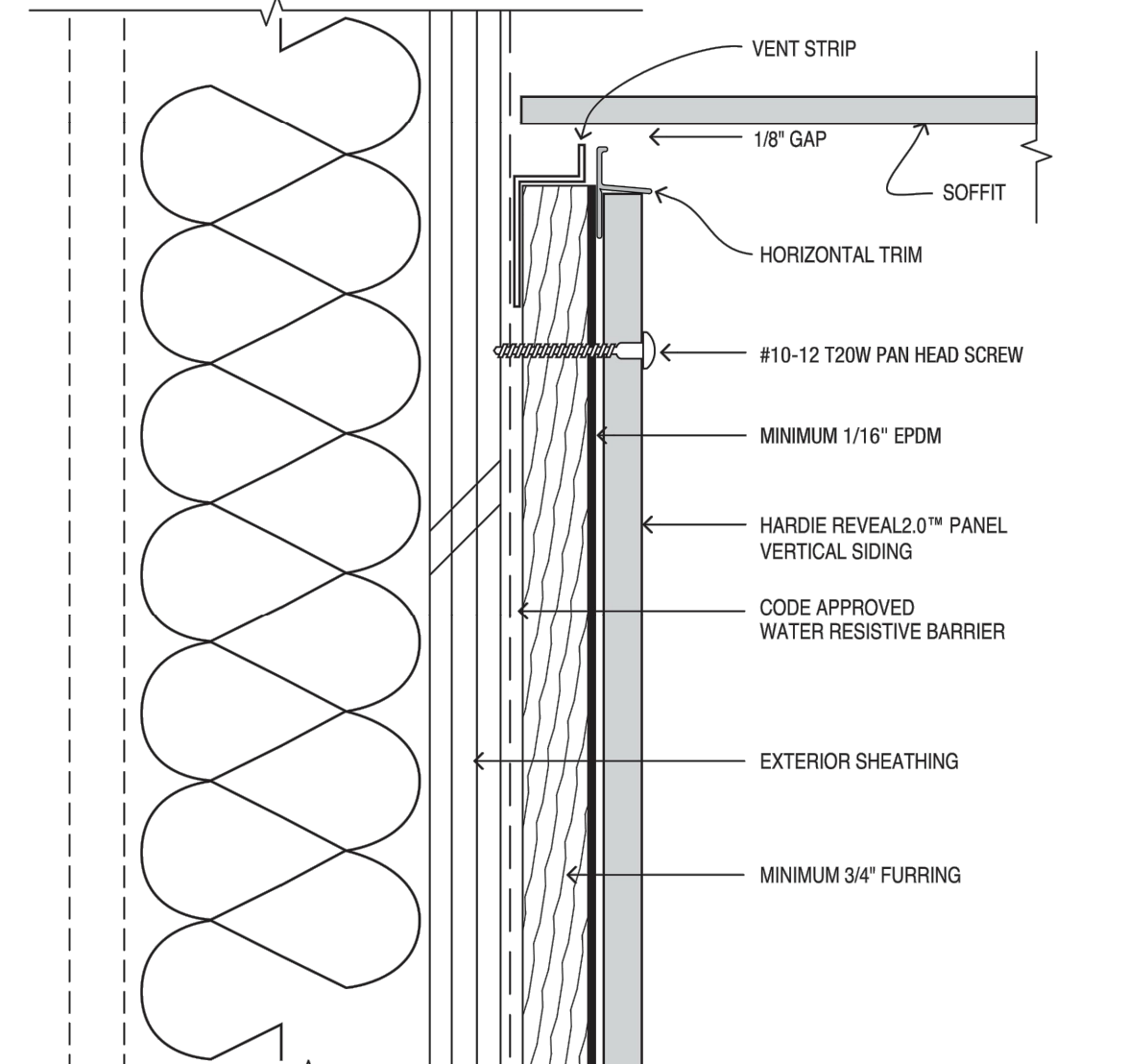
10 WINDOW JAMB, WITH TRIM
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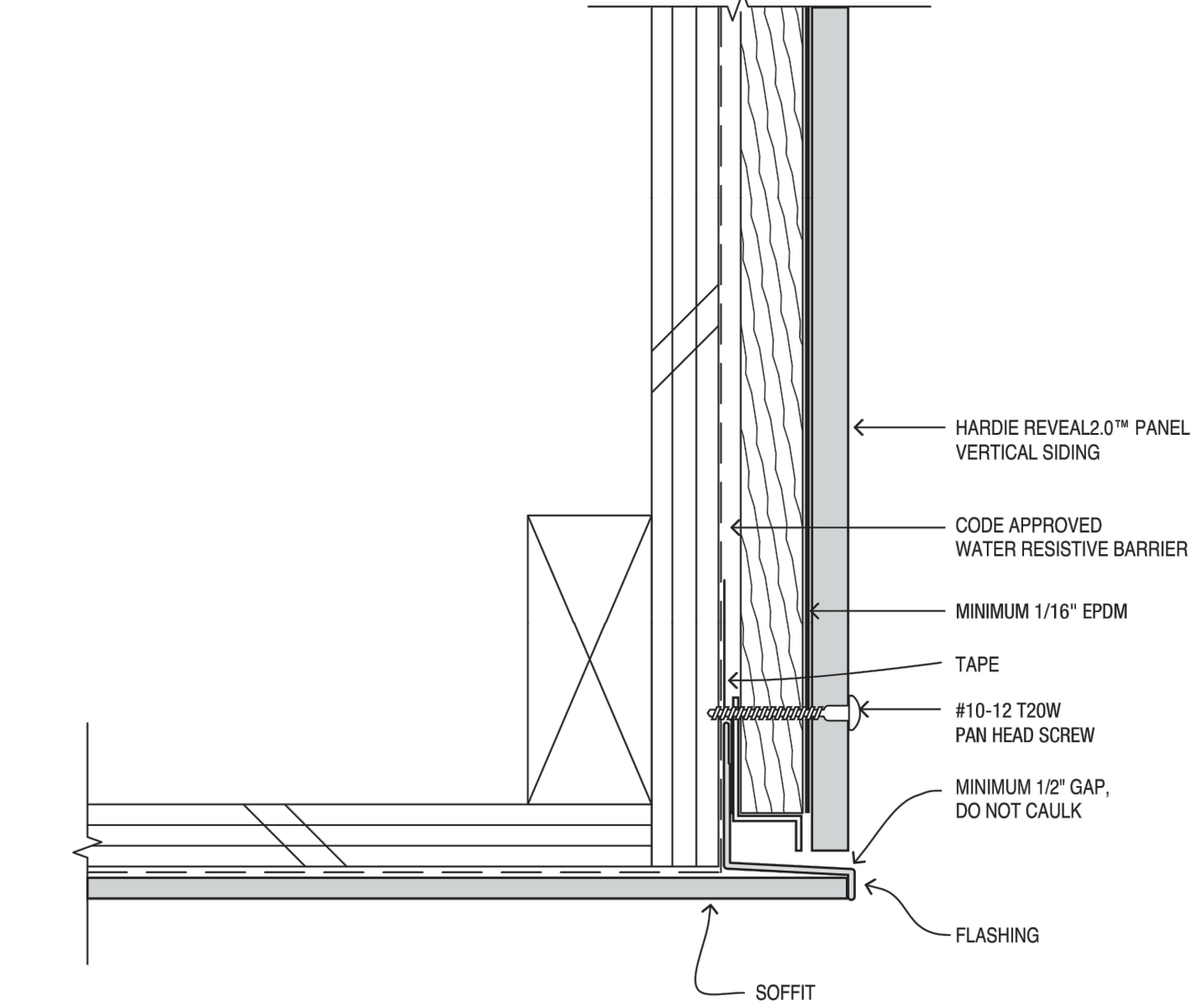
9 WALL PENETRATION 1.5" OR LESS
NTS



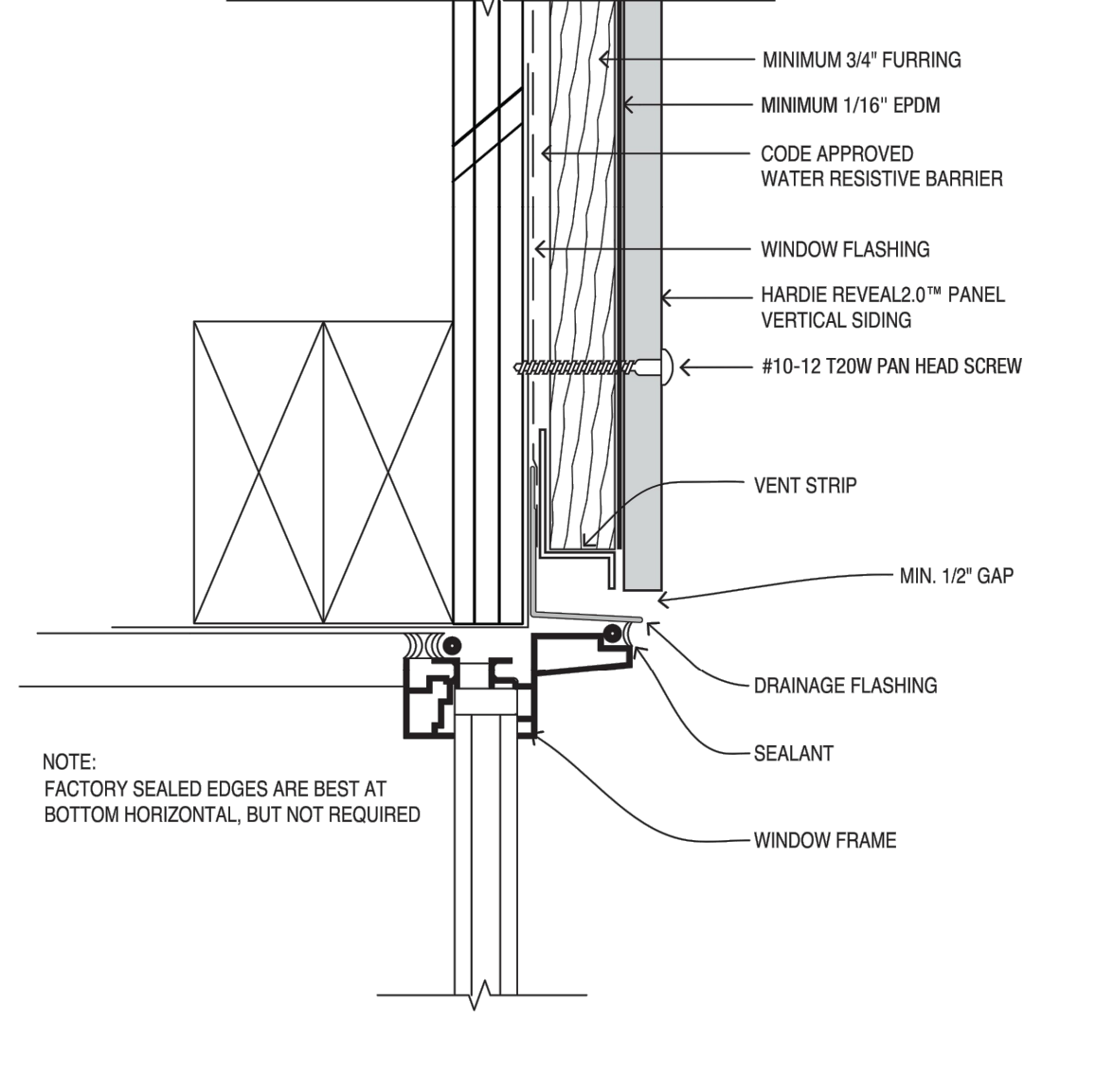
8 PLAN - INSIDE CORNER
NTS



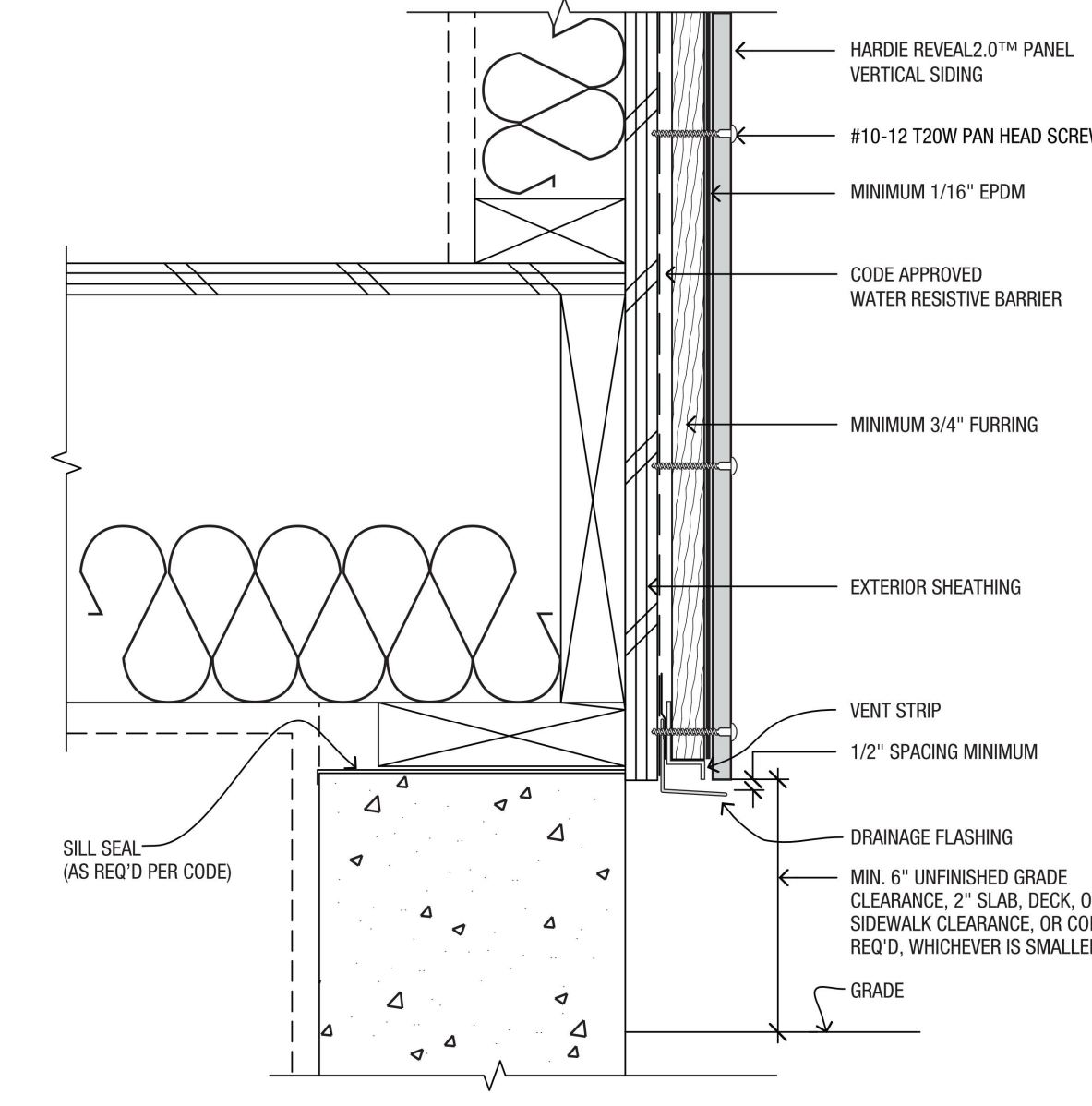
7 WALL TO SOFFIT
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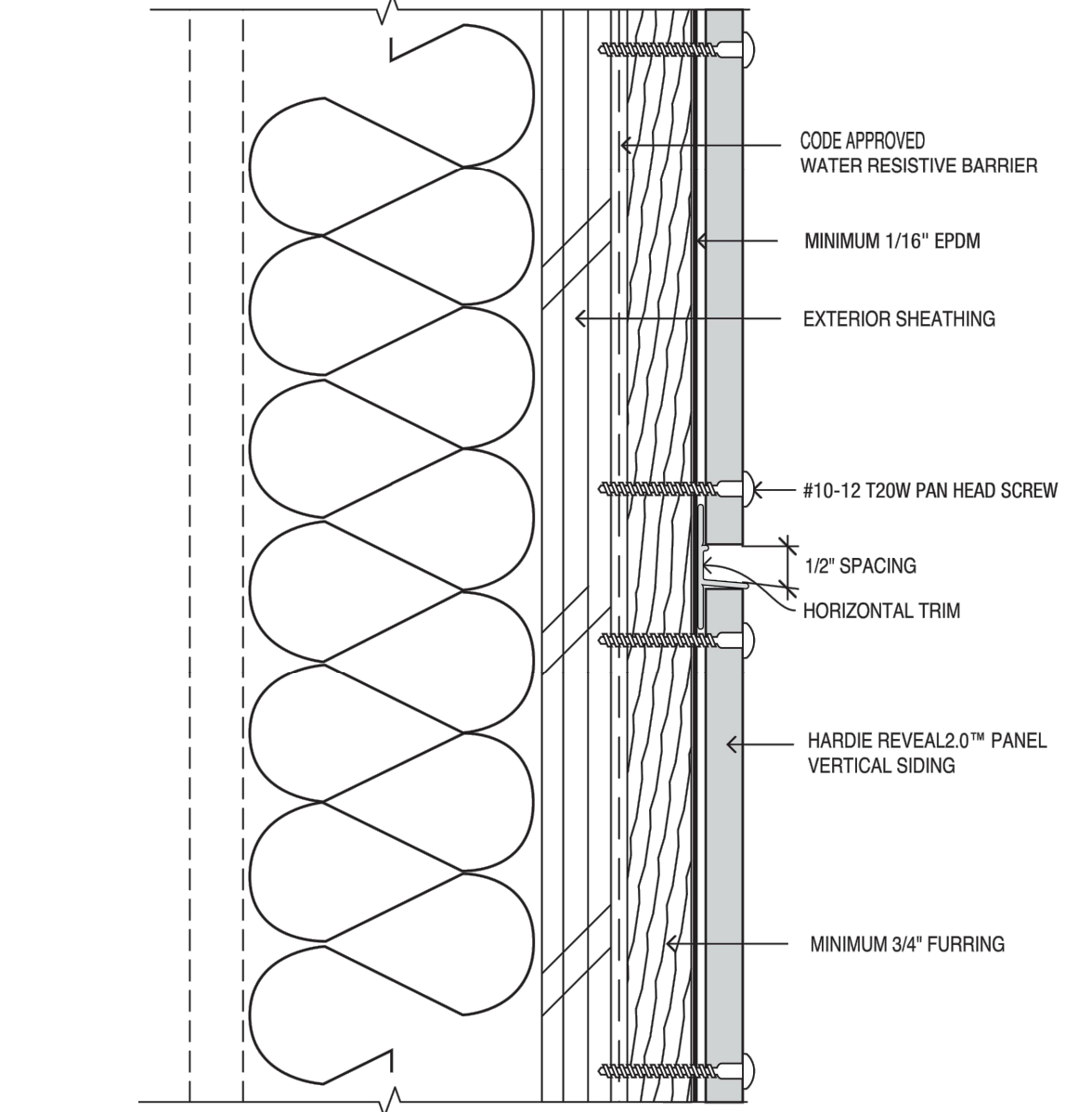
6 SOFFIT TO OUTSIDE CORNER
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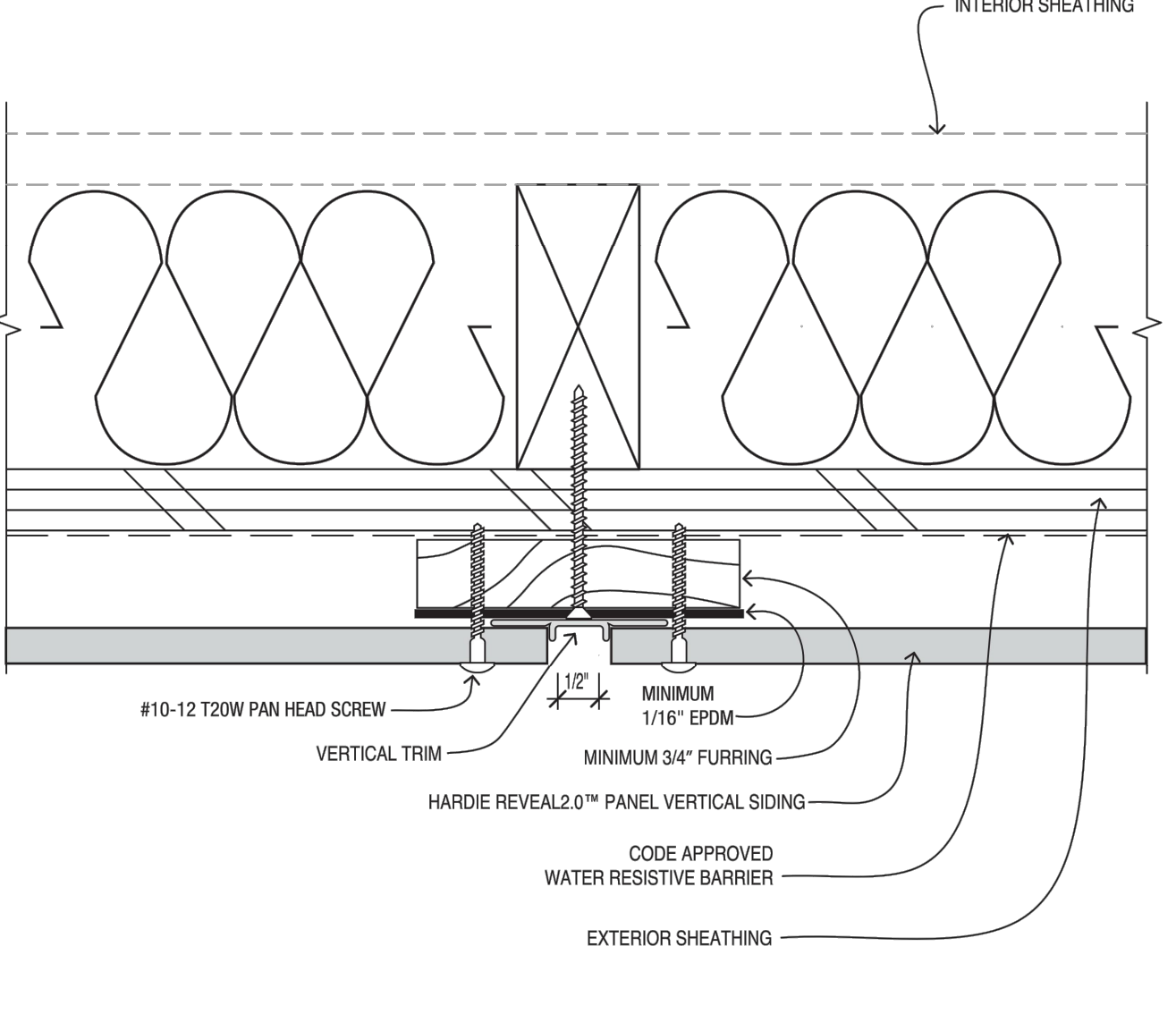
5 WINDOW HEAD, DOOR SIM.
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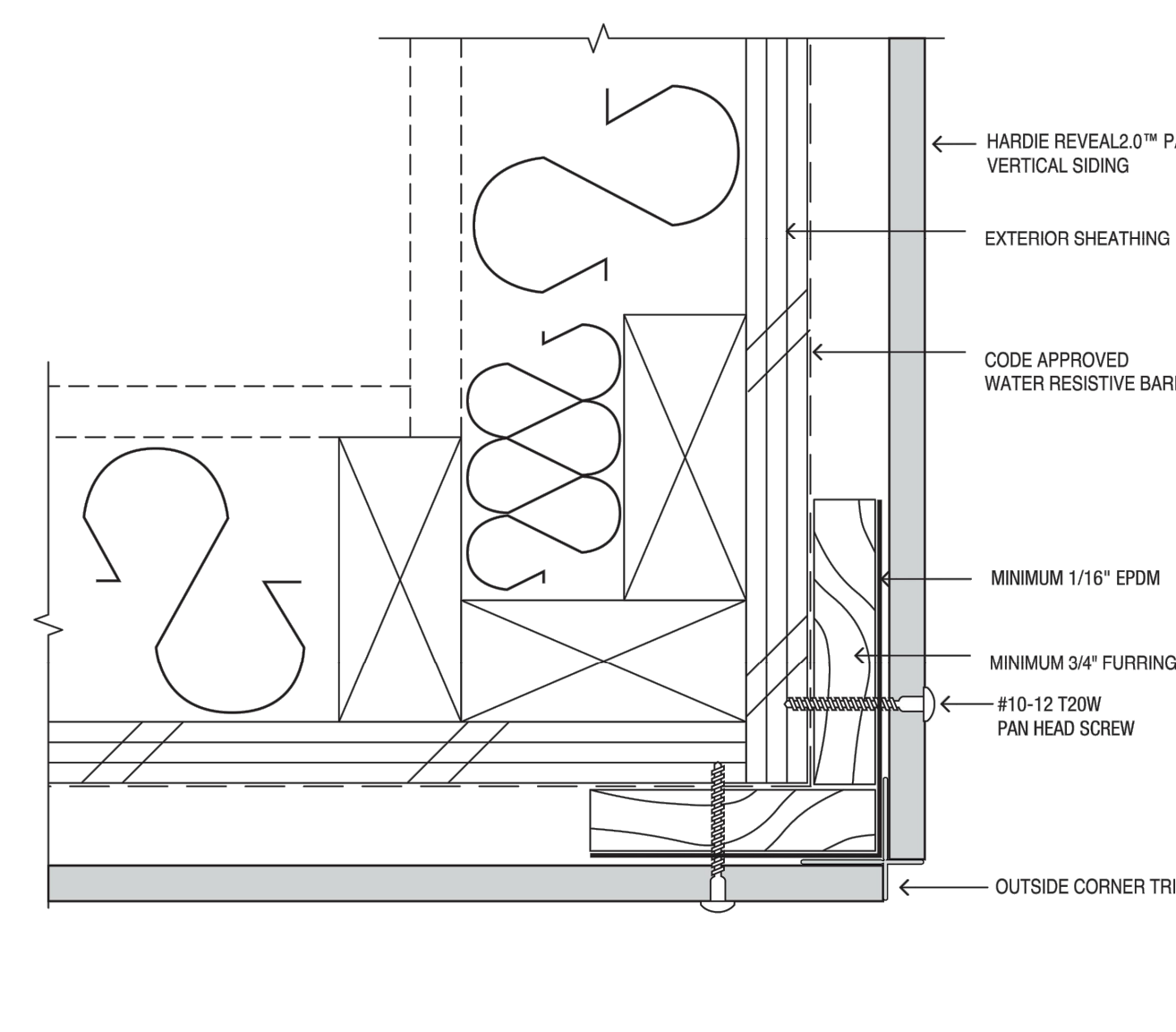
4 SECTION - AT GRADE
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3 SECTION - HORIZ REVEAL
NTS



2 PLAN - VERTICAL REVEAL
NTS



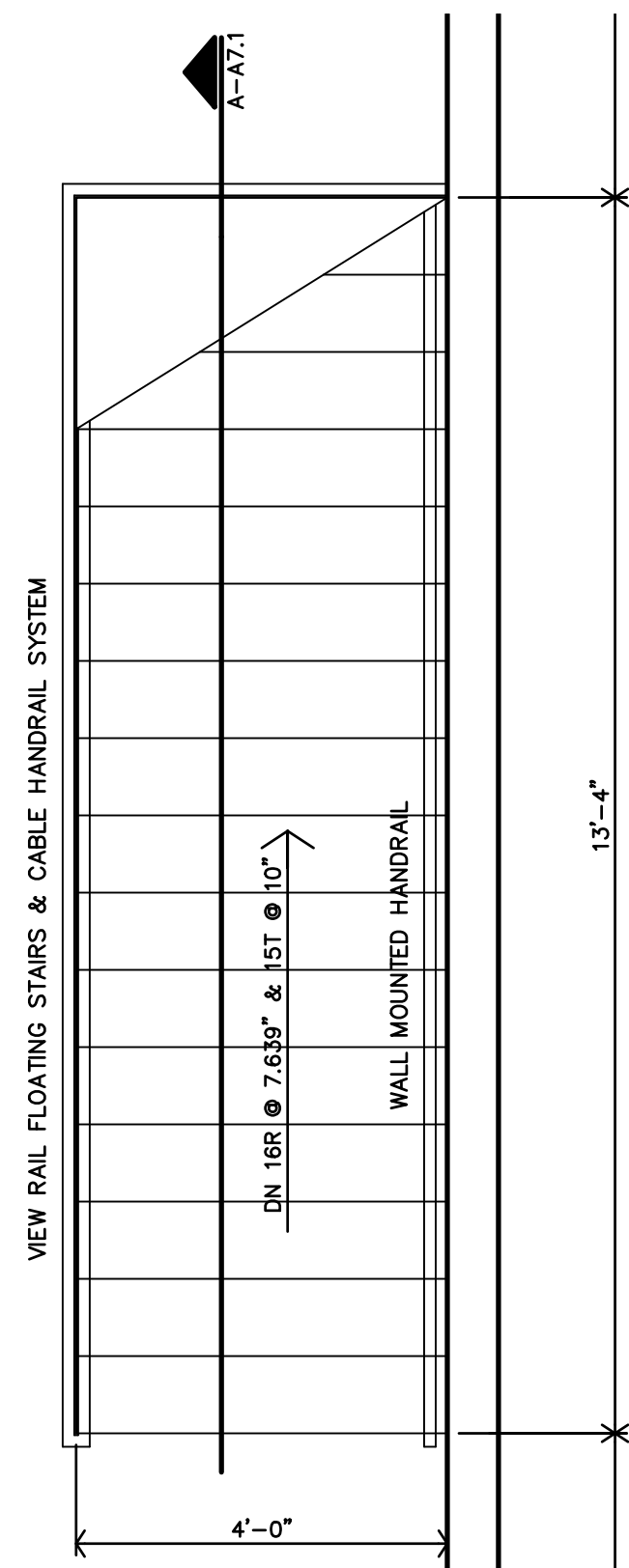
1 PLAN - OUTSIDE CORNER
NTS

HARDIE REVEAL PANEL SYSTEM

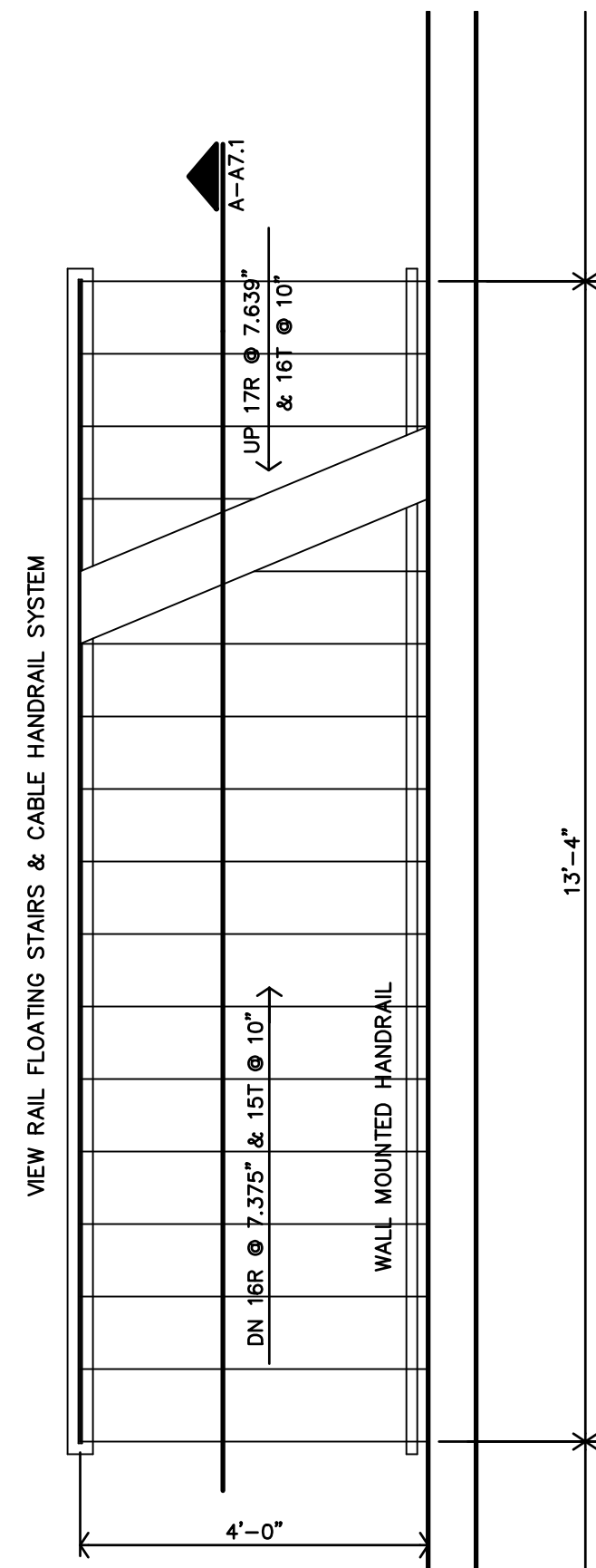
Manufacturers Installation Details, Install as indicated, Actual Conditions May Vary
DETAILS ARE NOT TO SCALE



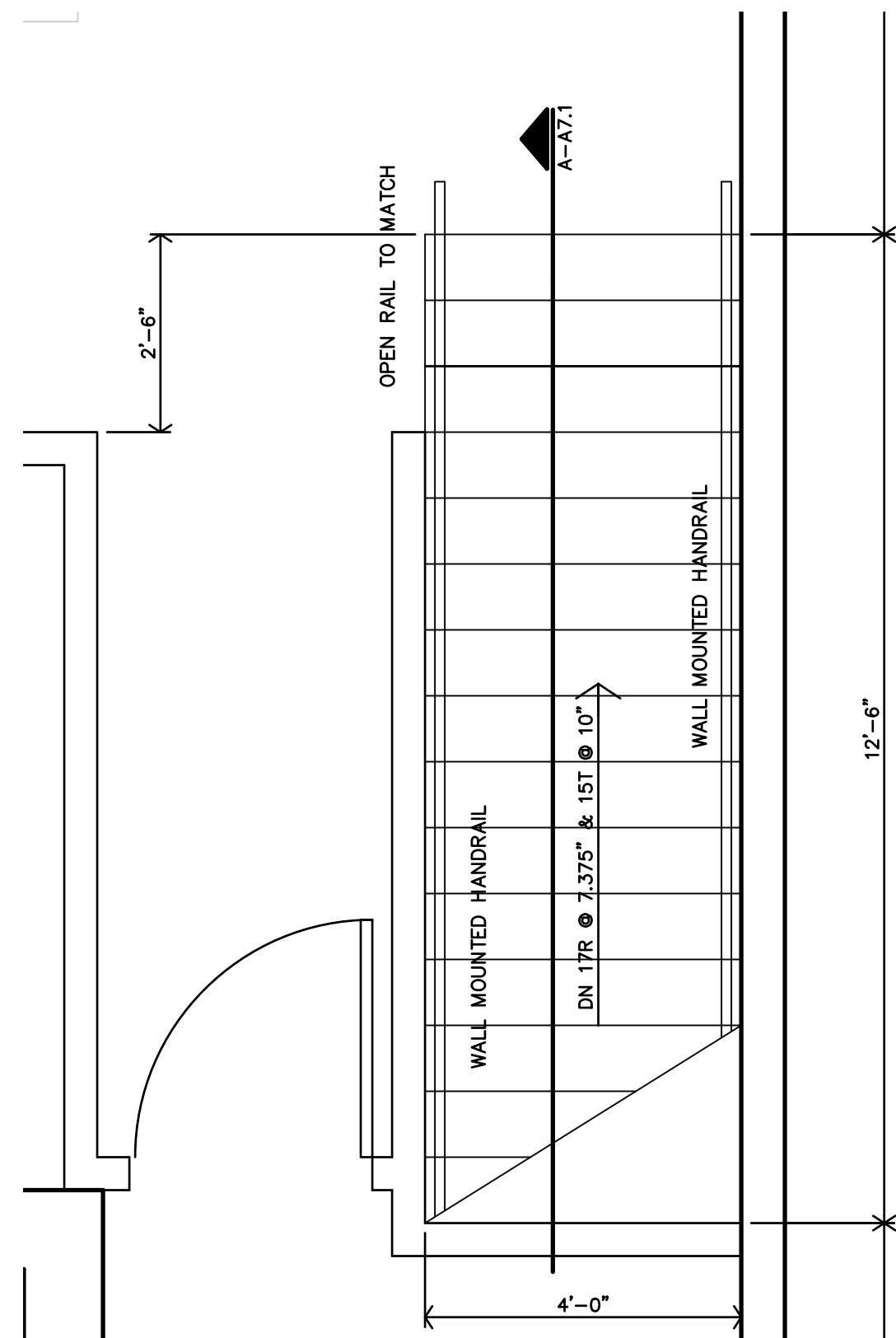
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DATE:	8-12-2025
JOB:	25-3090
SHEET NO.:	



D 3RD FLR STAIR PLAN
1/2"=1'-0"

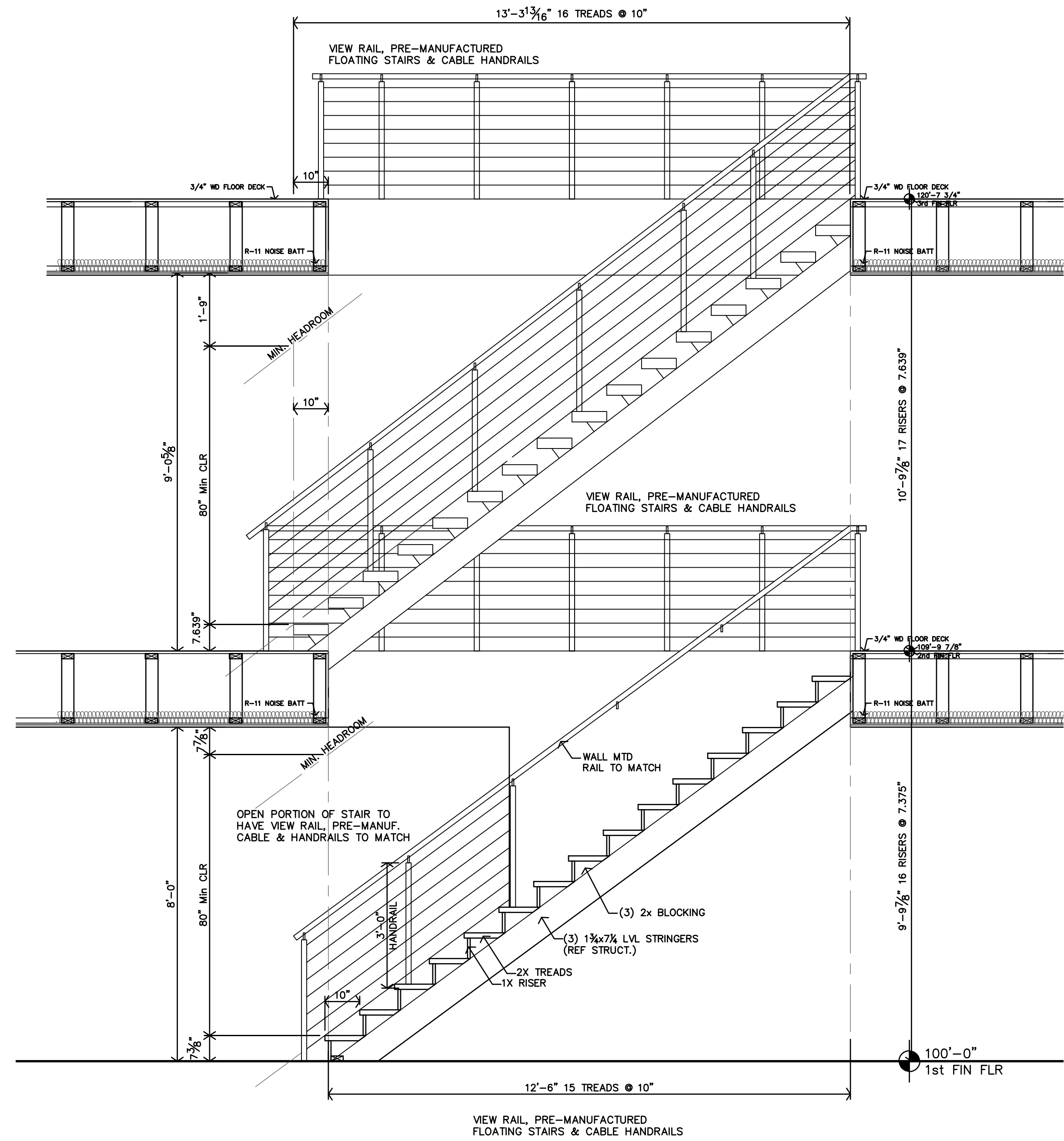


C 2ND FLR STAIR PLAN
1/2"=1'-0"



B 1ST FLR STAIR PLAN
1/2"=1'-0"

D VIEW RAIL, MANUFACTURED FLOATING STAIRS & CABLE RAILING
NO SCALE



A PARKSIDE 2A,2B,3A STAIR SECTION
1/2"=1'-0"

PARKSIDE UNITS

REVISION:

DATE: 8-12-2025

JOB: 25-3090

SHEET NO.:

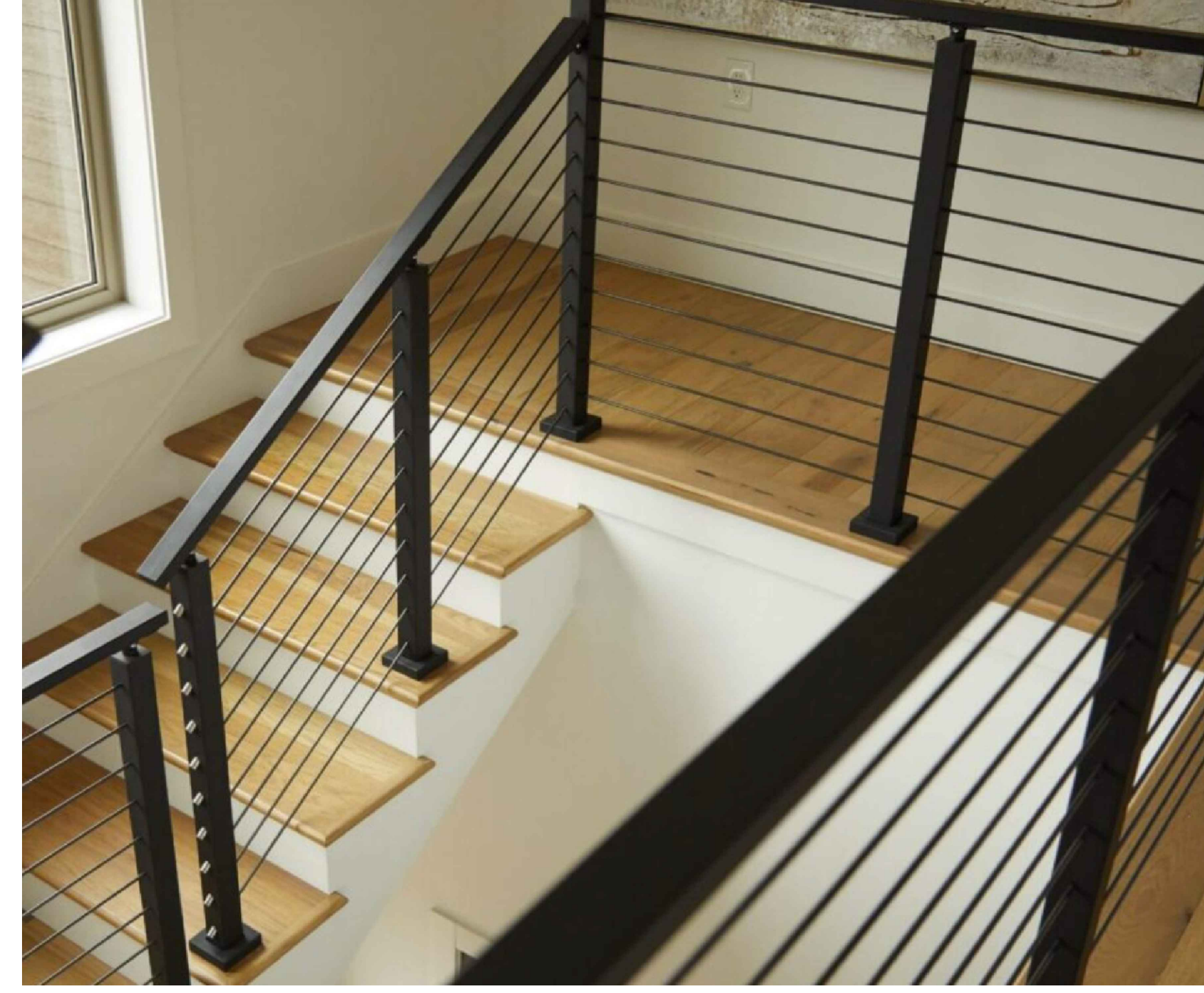
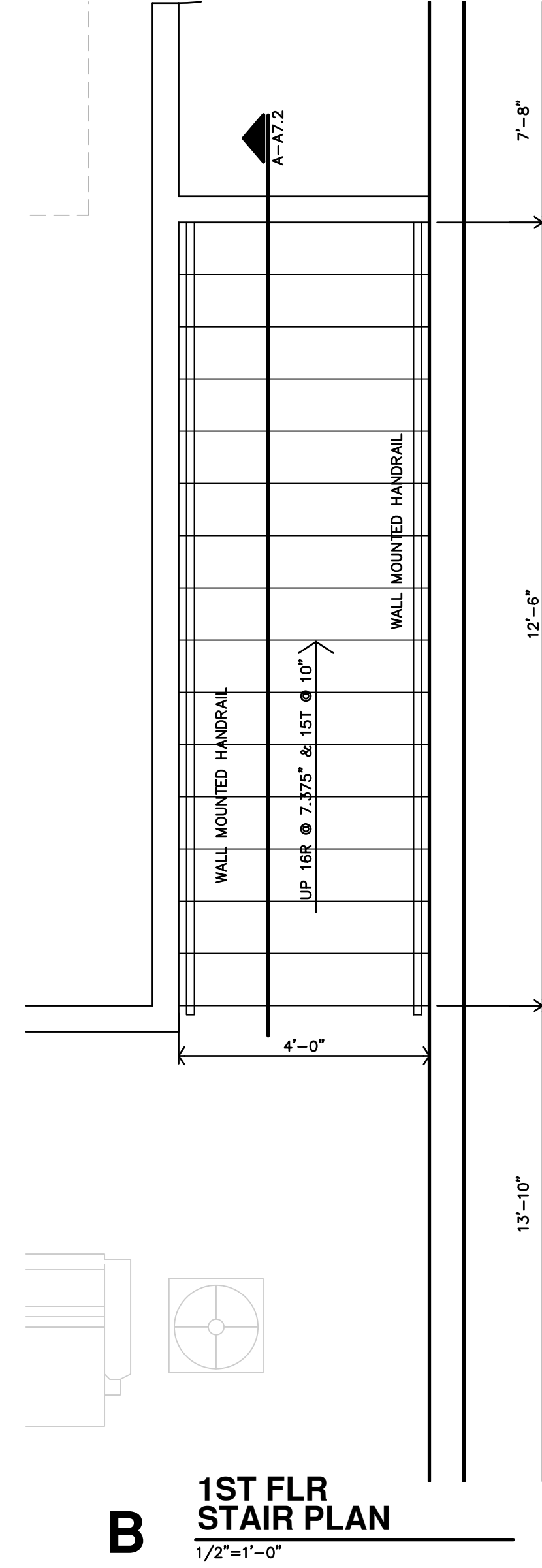
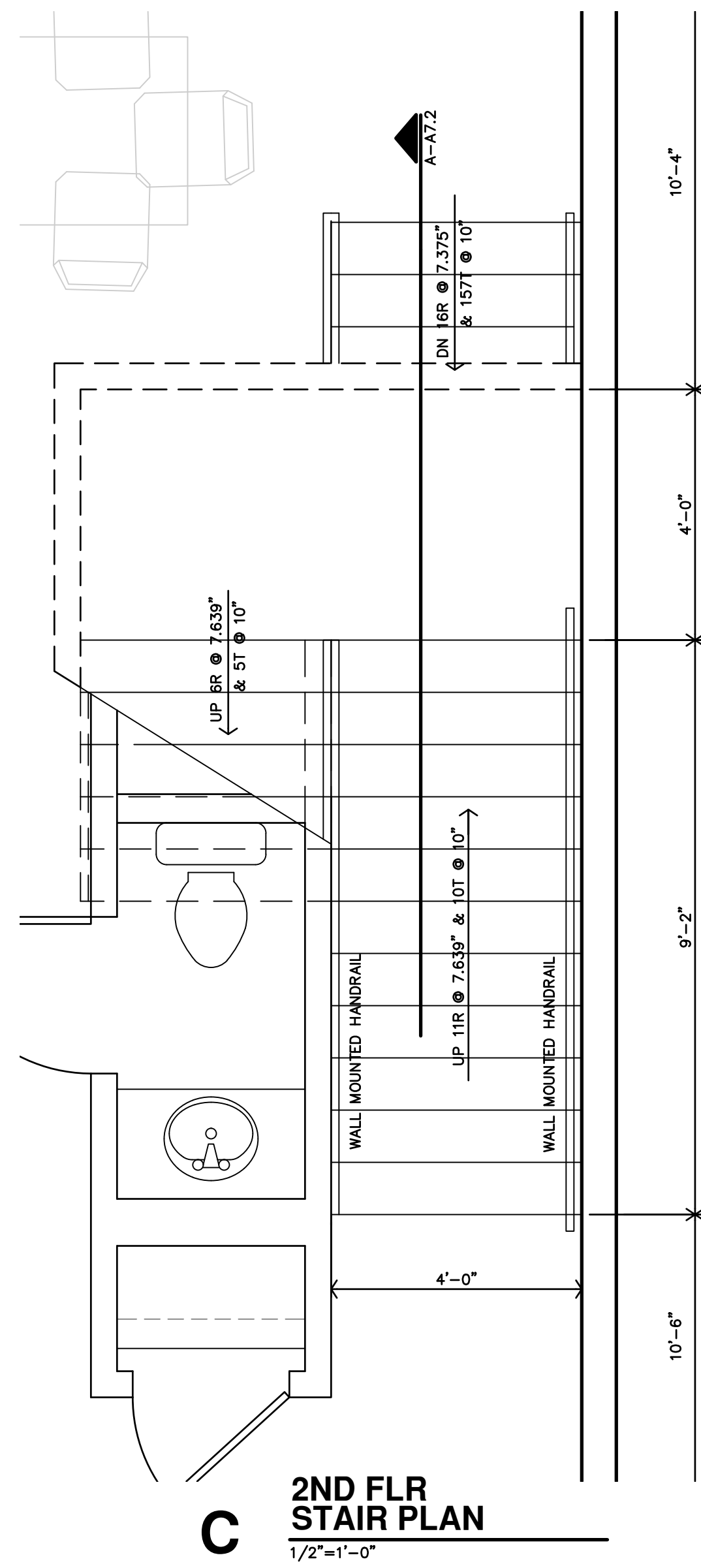
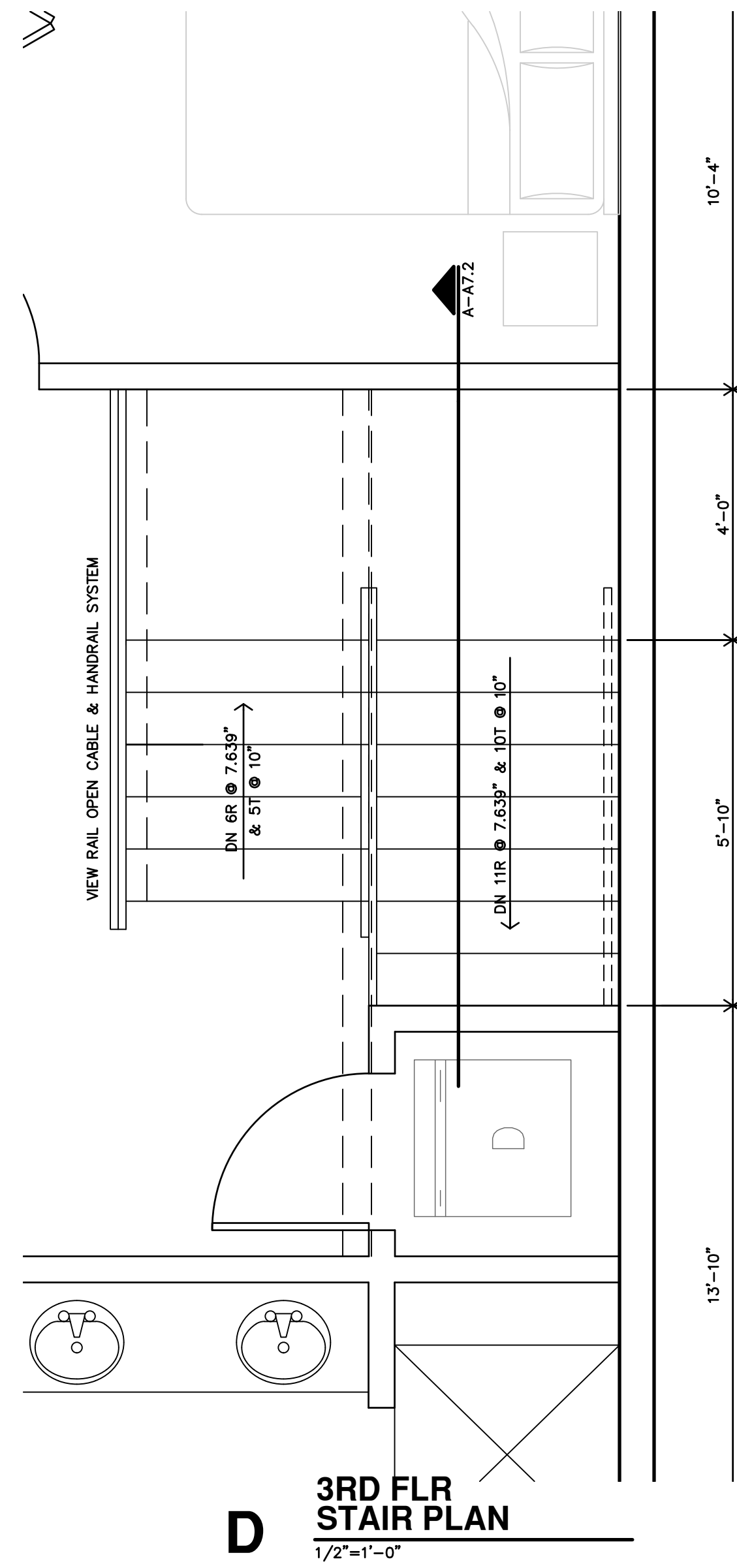


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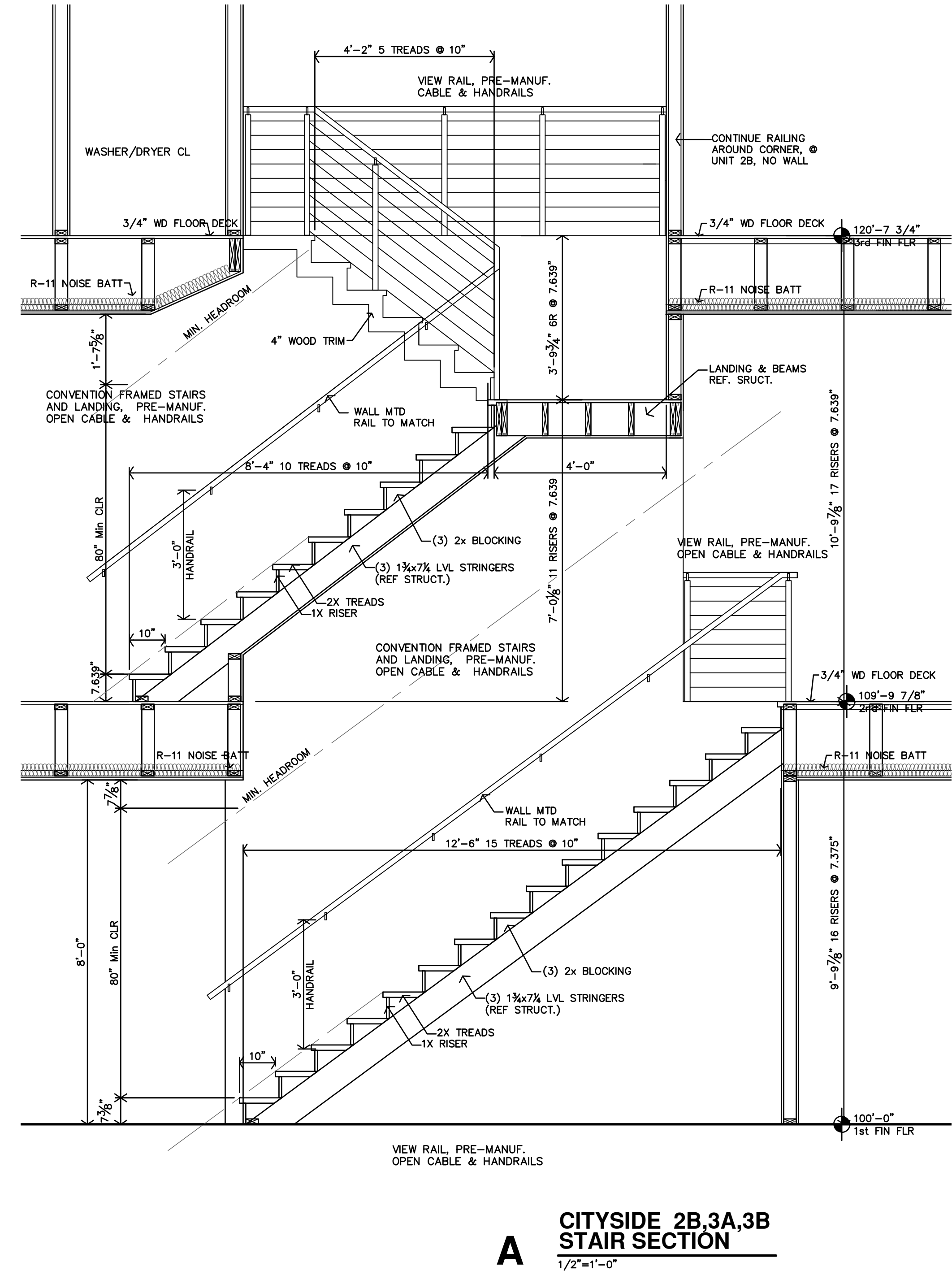
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LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
NEW TOWNHOMES COMPLEX
LENEXA, KANSAS

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Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgrarchitects.com



E CONVENTIONAL STAIRS W/
VIEW RAIL CABLE RAILING
NO SCALE



CITYSIDE UNITS

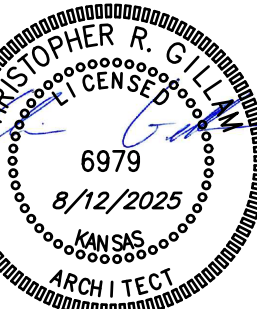
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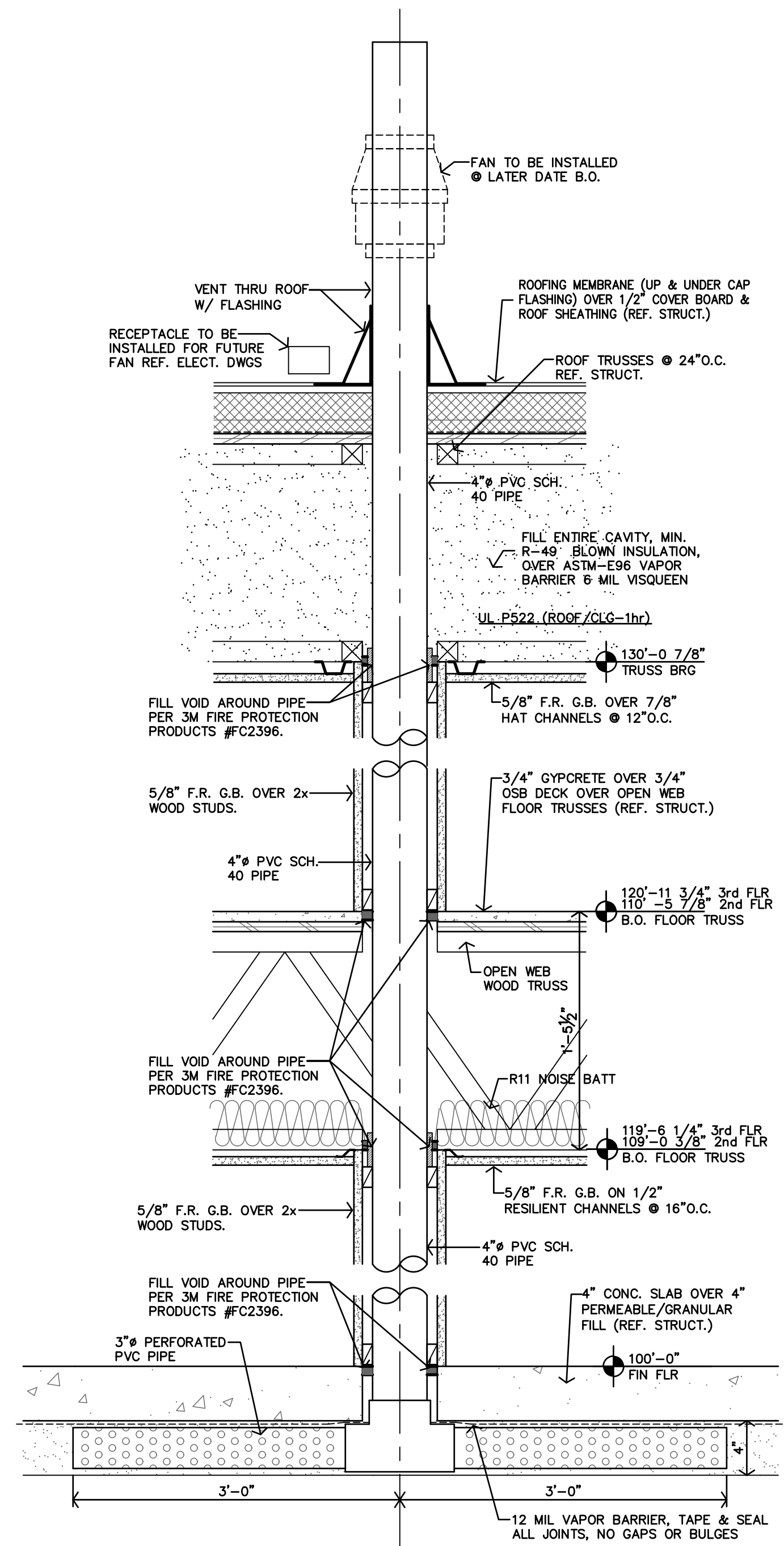
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LENEXA CITY CENTER_ NORTH VILLAGE TOWNHOMES
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KANSAS

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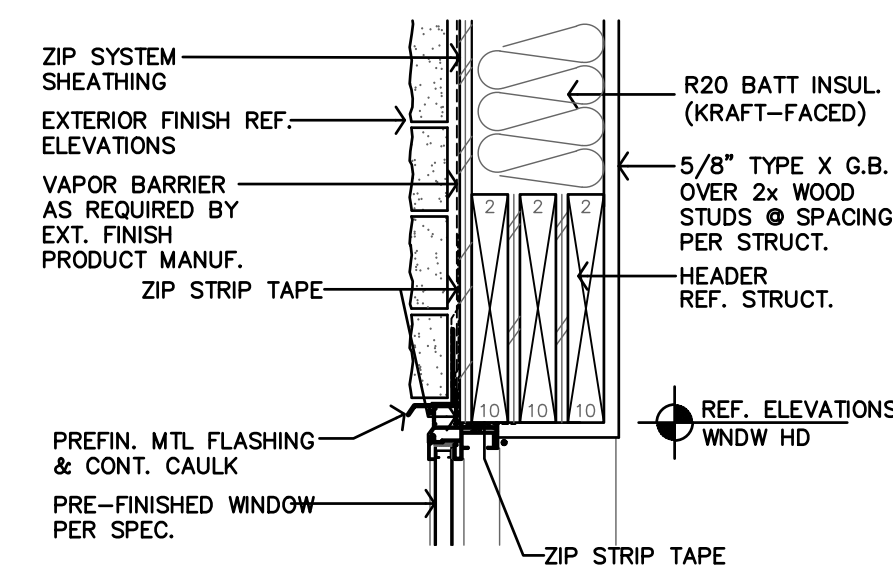


RADON VENTILATION PIPING IS SHOWN ON THE BUILDING PLANS. EACH VENT IS LOCATED AT APPROXIMATELY EVERY OTHER UNIT, (SERVING APPROX 2,500 SF), WITH AT LEAST ONE ARM OF THE VENT PIPE EXTENDING UNDER THE SLAB OF ALL INTERIOR UNITS.

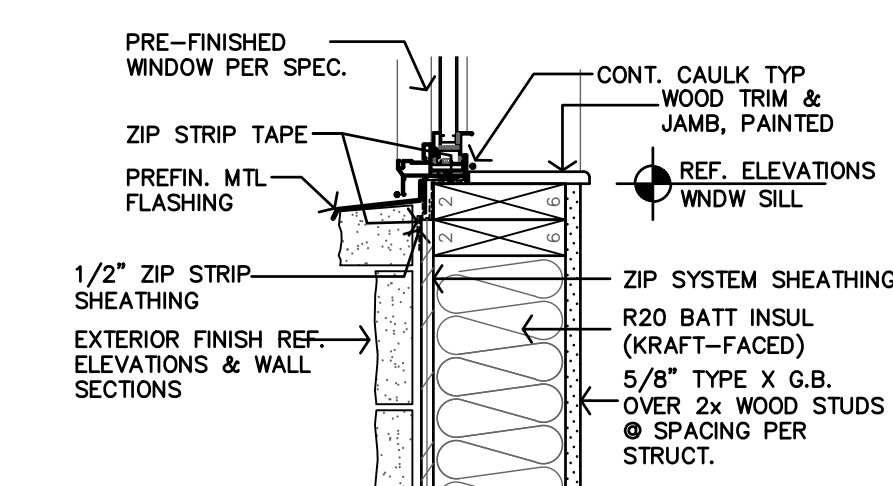
X RADON PIPE DETAIL
1 1/2"=1'-0"

TYPICAL RADON UNDER SLAB VENT DETAIL

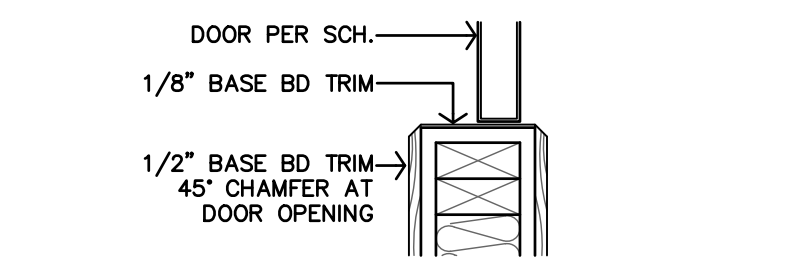
TYPICAL DOOR & WINDOW DETAILS



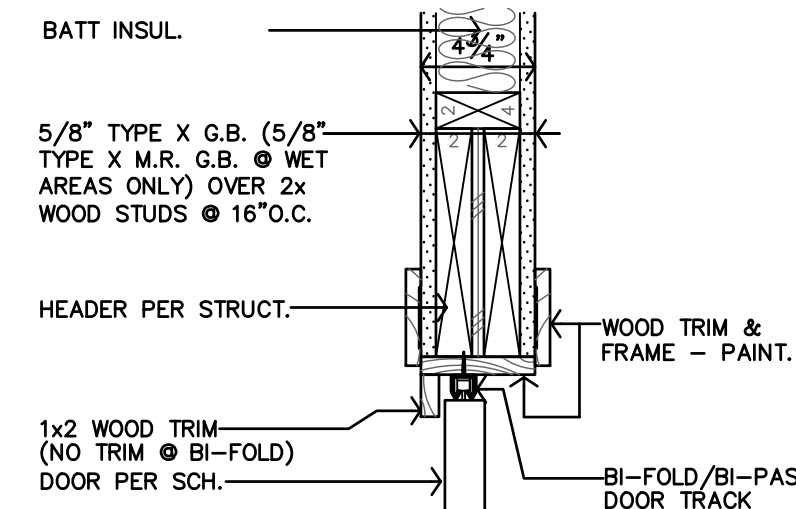
Q WINDOW HEAD DTL.
1 1/2"=1'-0" JAMB SIM.



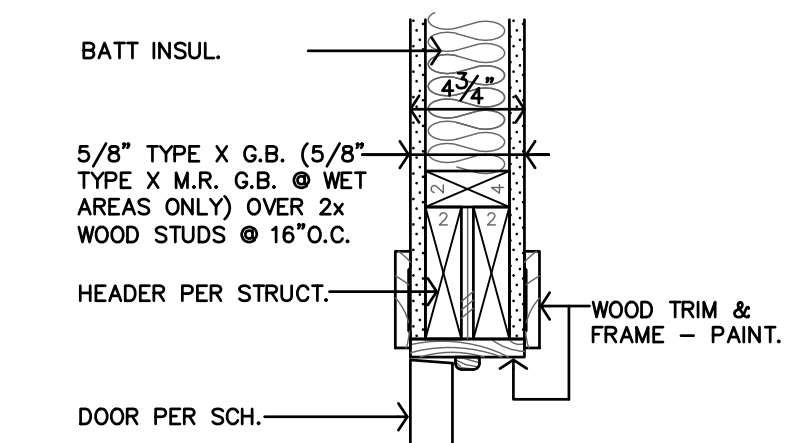
P WINDOW SILL DTL.
1 1/2"=1'-0"



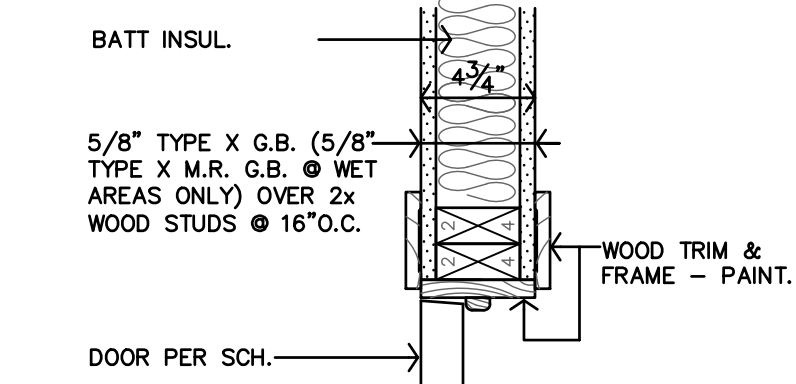
O BASE DETAIL @ BI-FOLD & BI-PASS DOOR
1 1/2"=1'-0"



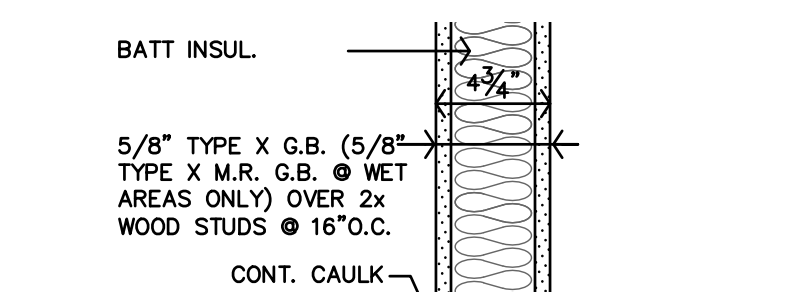
N BI-FOLD DR HEAD DTL.
1 1/2"=1'-0"



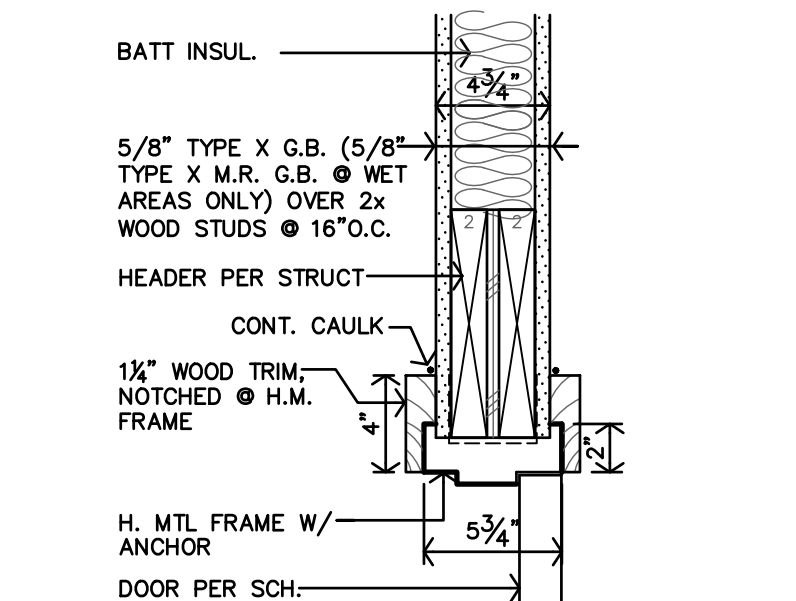
M DOOR HEAD DTL.
1 1/2"=1'-0"



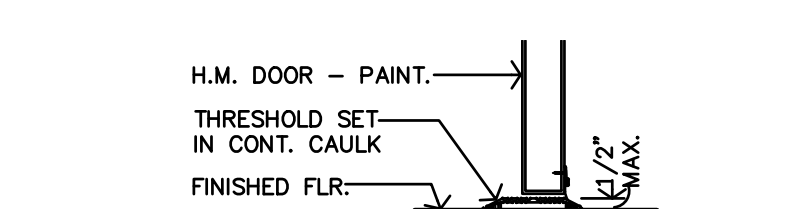
L DOOR JAMB DTL.
1 1/2"=1'-0"



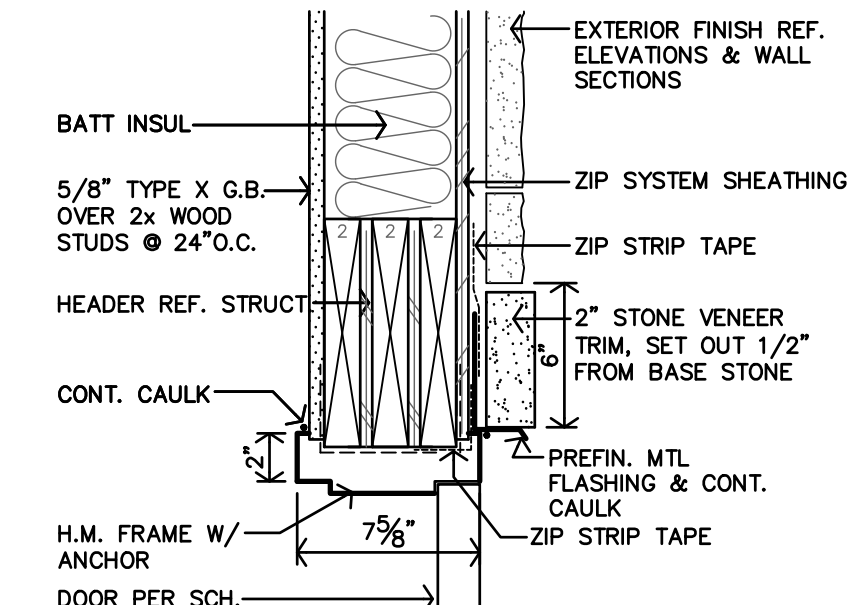
K H.M. DOOR JAMB DTL.
1 1/2"=1'-0"



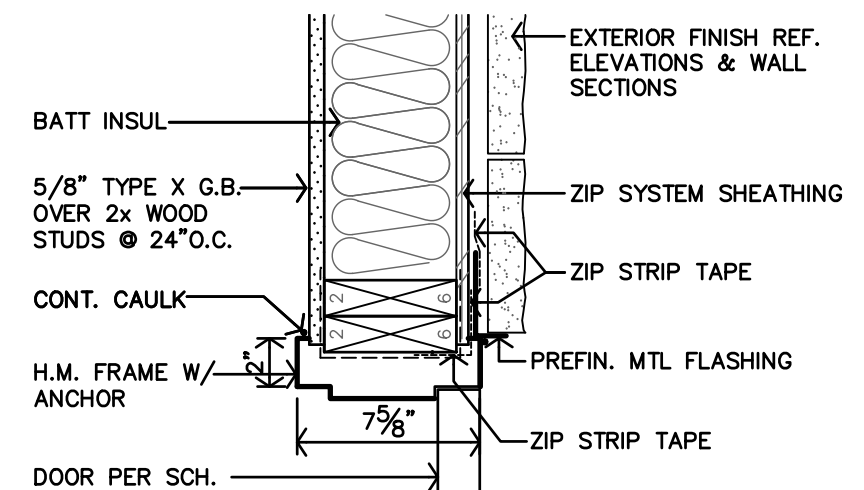
J H.M. DOOR HEAD DTL.
1 1/2"=1'-0"



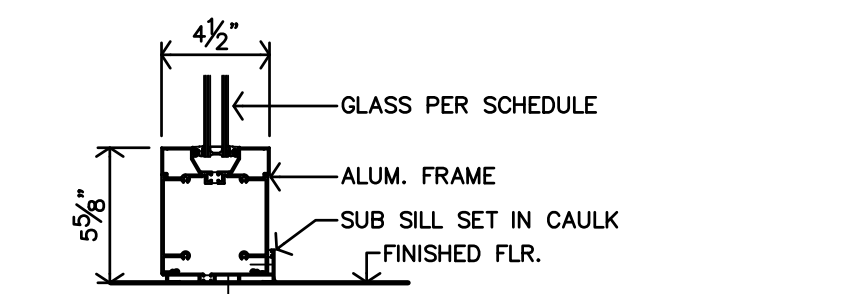
H H.M. THRESHOLD DTL.
1 1/2"=1'-0"



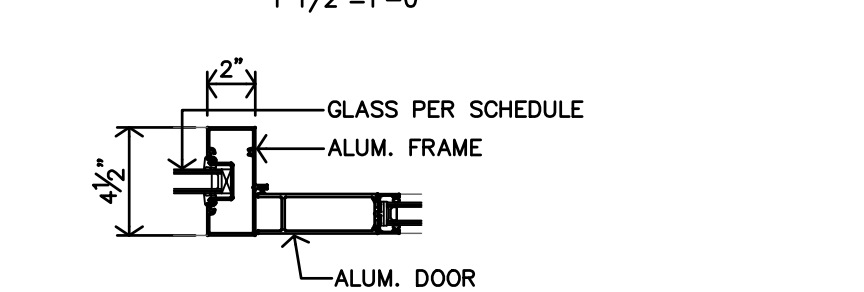
G H.M. DOOR HEAD DTL.
1 1/2"=1'-0"



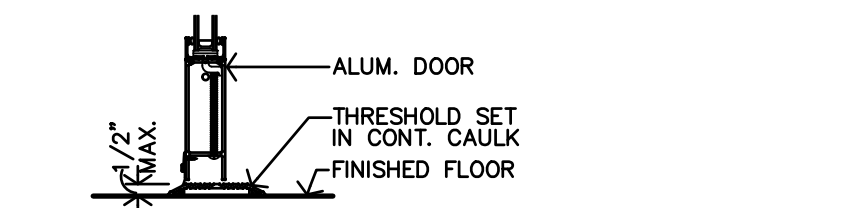
F H.M. DOOR JAMB DTL.
1 1/2"=1'-0"



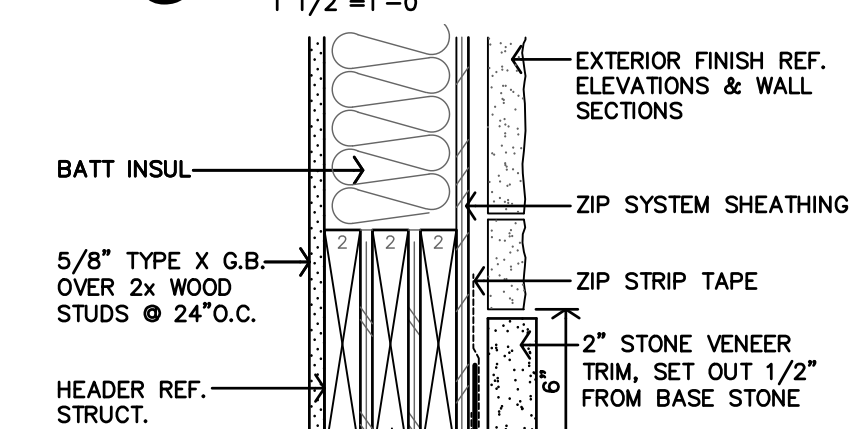
E STOREFRONT SILL DTL.
1 1/2"=1'-0"



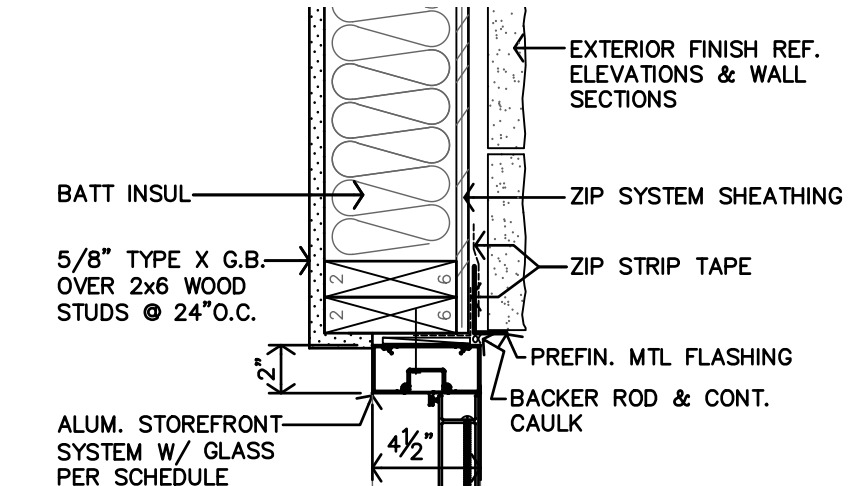
D STOREFRONT JAMB DTL. @ DOOR/SIDELITE
1 1/2"=1'-0" HEAD SIMILAR



C STOREFRONT THRESHOLD DTL.
1 1/2"=1'-0"

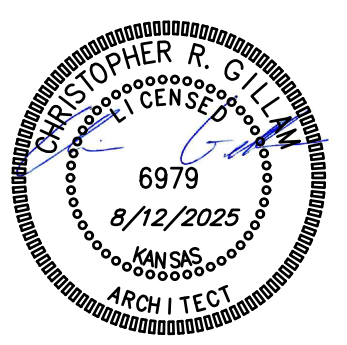


B STOREFRONT DOOR HEAD DTL.
1 1/2"=1'-0"



A STOREFRONT JAMB DTL.
1 1/2"=1'-0"

TYPICAL DOOR & WINDOW DETAILS



REVISION:	
DATE:	8-12-2025
JOB:	25-3090
SHEET NO.:	