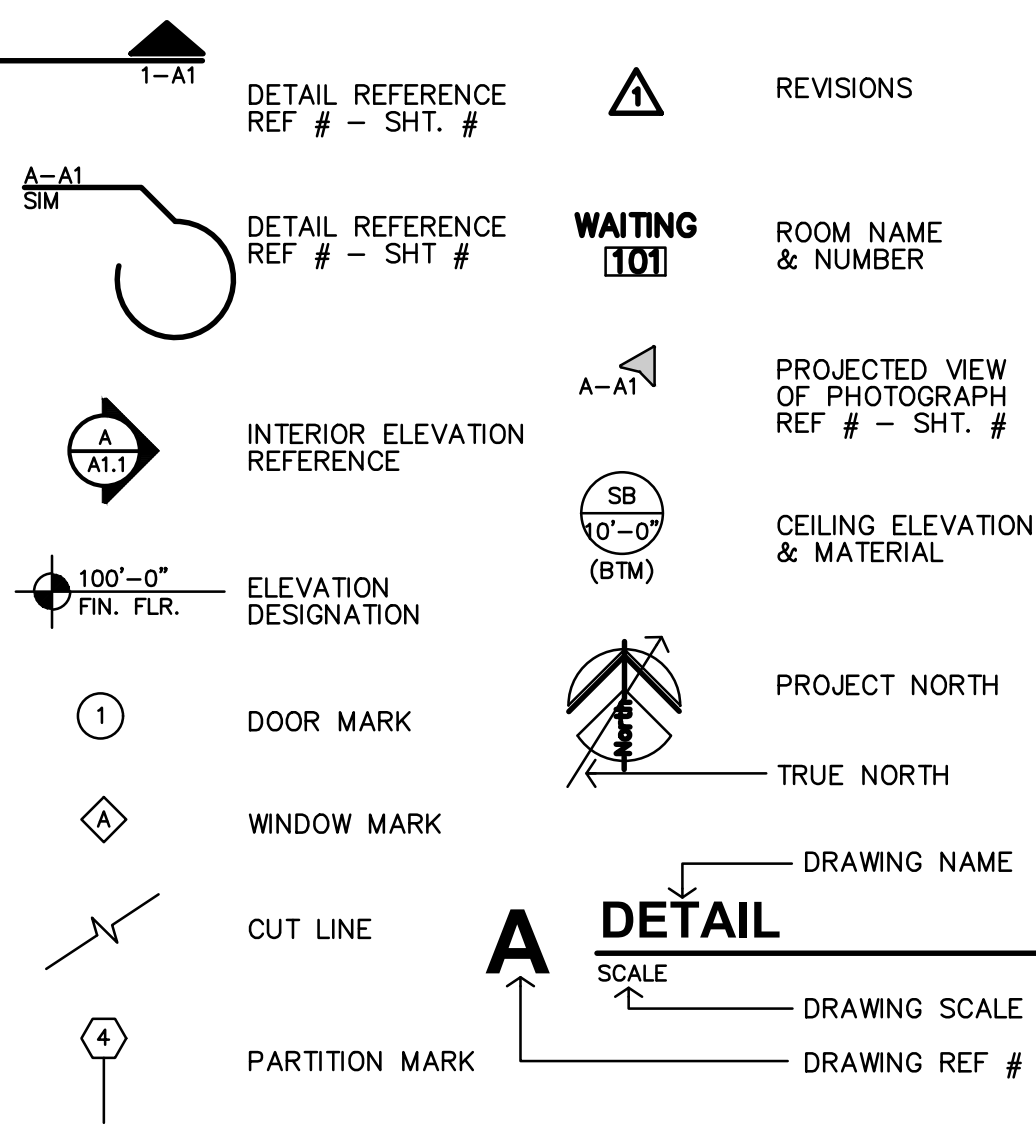


CANTERBURY VILLAGE

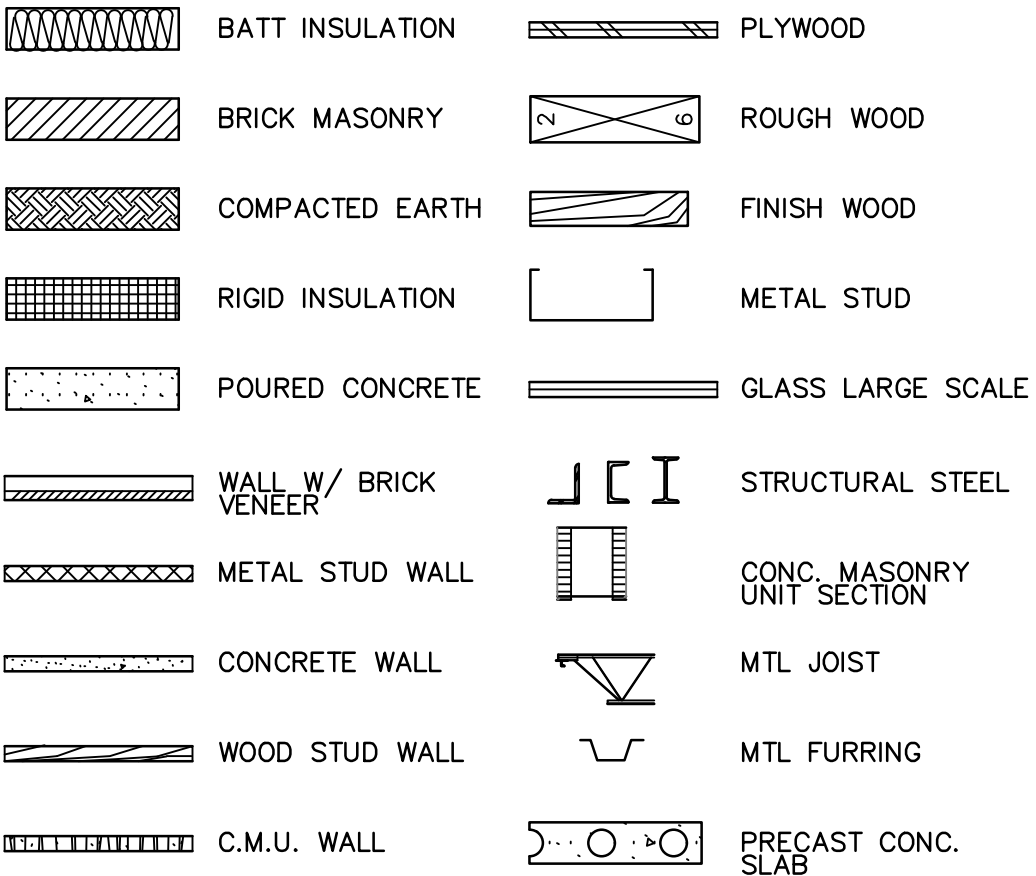
REMODEL, ADAPTIVE RE-USE APARTMENTS

WINFIELD, 22-3266 KANSAS

REFERENCE LEGEND



MATERIAL LEGEND



ABBREVIATIONS

& Z @ C #	AND Angle At Centerline Diameter or Round Pound or Number	Cntr. Col. Conc. C.T. CMU Ctr.	Counter Column Conc. Concrete Ceramic Tile Concrete Masonry Unit Center	Exp. Ext.	Expansion Exterior	Hr. Hgt.	Hour Height	N. N.I.C. No. or # Nom. N.T.S.	North Not In Contract Number Nominal Not To Scale	Reinf. Req'd Resil. Rm. R.O.	Reinforced Required Resilient Room Rough Opening	Temp. T.G. Thk. T.O.M. T.O.S. T.P. T.P.D. T.V. T.W. Typ. Trd.	Tempered Tongue & Groove Thick Top of Masonry Top of Steel Top of Pavement Toilet Paper Dispenser Television Tackwall Typical Tread
Acous. Adj. A.F.F. Aggr. Al. Approx. Arch. Asb. Asph. A.V.	Acoustical Adjustable Above Finished Floor Aggregate Aluminum Approximate Architect or Architectural Asbestos Asphalt Audio Visual	Dbl. Det. D.F. Dia. Dim. Dn. Dr. Ds. Dwg. Dwr.	Double Detail Drinking Fountain Diameter Dimension Down Dr. Downspout Drawing Drawer	F.A. F.D. F.E. F.E.C. F.F. F.F. F.L.<									

SHEET INDEX

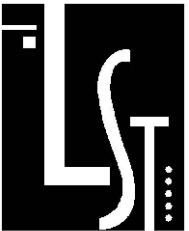
GENERAL	MECHANICAL-ELECTRICAL
UFAS 1 UNIFORM FEDERAL ACCESSIBILITY STANDARDS UFAS 2 UNIFORM FEDERAL ACCESSIBILITY STANDARDS UFAS 3 UNIFORM FEDERAL ACCESSIBILITY STANDARDS ADA ADA DIAGRAMS	ME1.1 MECHANICAL-ELECTRICAL DEMOLITION PLANS ME1.2 MECHANICAL-ELECTRICAL DEMOLITION PLANS ME1.3 CLUBHOUSE MECHANICAL-ELECTRICAL PLANS
SURVEY - CIVIL	MECHANICAL
C-1 TITLE SHEET C-2 PARTIAL ALTA SURVEY C-3 PARTIAL ALTA SURVEY C-4 ALTA SURVEY INFORMATION C-5 SITE-DIMENSION PLAN C-6 GRADING PLAN & EROSION CONTROL C-7 GRADING PLAN & EROSION CONTROL NOTES C-8 DETAILS	M0.1 MECHANICAL SPECIFICATIONS M1.1 MECHANICAL PLANS M1.2 MECHANICAL PLANS M6.1 SCHEDULES
ARCHITECTURAL	ELECTRICAL
A1.1 SITE PLAN A1.2 PARTIAL ENLARGED SITE PLAN AND DETAILS A2.1 BUILDINGS A & B - FLOOR PLANS A2.2 BUILDINGS C & D - FLOOR PLANS A2.3 BUILDINGS E & F - FLOOR PLANS A2.4 BUILDING G - FLOOR PLANS A2.5 UNIT PLANS AND DETAILS A2.6 UNIT PLANS AND DETAILS A2.7 UNIT PLANS AND DETAILS A2.8 UNIT PLANS AND DETAILS A2.9 UNIT PLANS AND DETAILS A2.10 UNIT PLANS AND DETAILS A2.11 STANDARD & ACCESSIBLE KITCHEN PLANS & ELEVATIONS A2.12 STANDARD & ACCESSIBLE BATH PLANS & ELEVATIONS A2.13 COMMUNITY BUILDING FLOOR PLANS & DETAILS A2.14 COMMUNITY BUILDING RESTROOM & KITCHEN DETAILS A2.15 UNITS/COMMUNITY BUILDING DOOR, WINDOW, & FINISH SCHEDULES A2.16 UNITS/COMMUNITY BUILDING DOOR, WINDOW, & FINISH SCHEDULES A2.17 BUILDING FLOOR FINISH PLANS A2.18 BUILDING FLOOR FINISH PLANS A2.19 BUILDING FLOOR FINISH PLANS A2.20 BUILDING FLOOR FINISH PLANS A3.1 BUILDING A - EXTERIOR ELEVATIONS A3.2 BUILDING B - EXTERIOR ELEVATIONS A3.3 BUILDING C - EXTERIOR ELEVATIONS A3.4 BUILDING D - EXTERIOR ELEVATIONS A3.5 BUILDING E - EXTERIOR ELEVATIONS A3.6 BUILDING F - EXTERIOR ELEVATIONS A3.7 COMMUNITY BUILDING - EXTERIOR ELEVATIONS A3.8 SHED - EXTERIOR ELEVATIONS	E0.1 ELECTRICAL SPECIFICATIONS E1.1 ELECTRICAL PLANS E1.2 ELECTRICAL PLANS E6.1 SCHEDULES

Civil Engineer ;



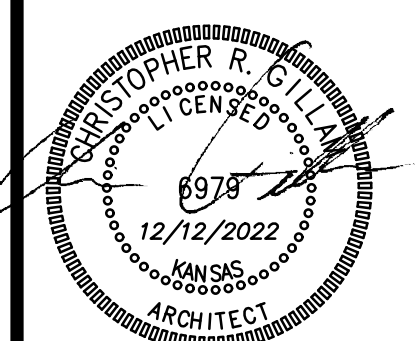
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JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040 | FAX (785) 762-7744
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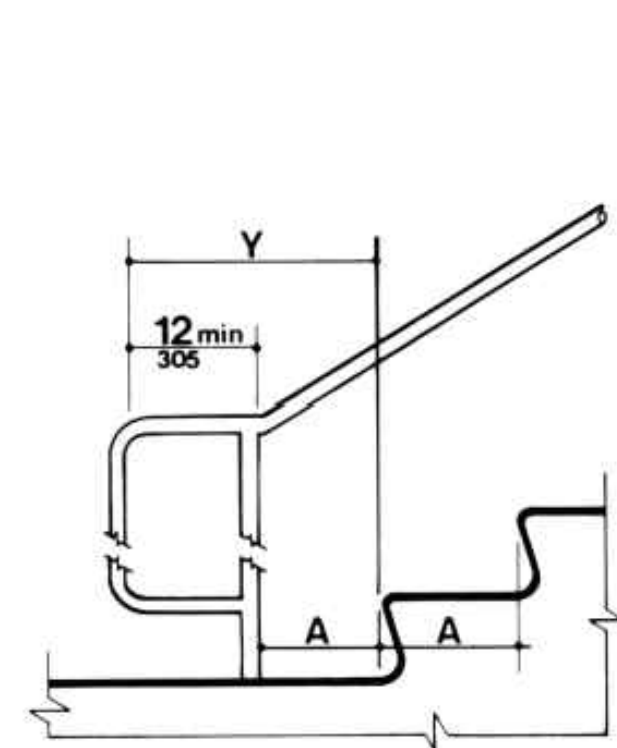


Figure 19(c)
Stair Handrails - Extension at Bottom of Run

Note: X is the 12 in minimum handrail extension required at each top riser. Y is the minimum handrail extension of 12 in plus the width of one tread that is required at each bottom riser.

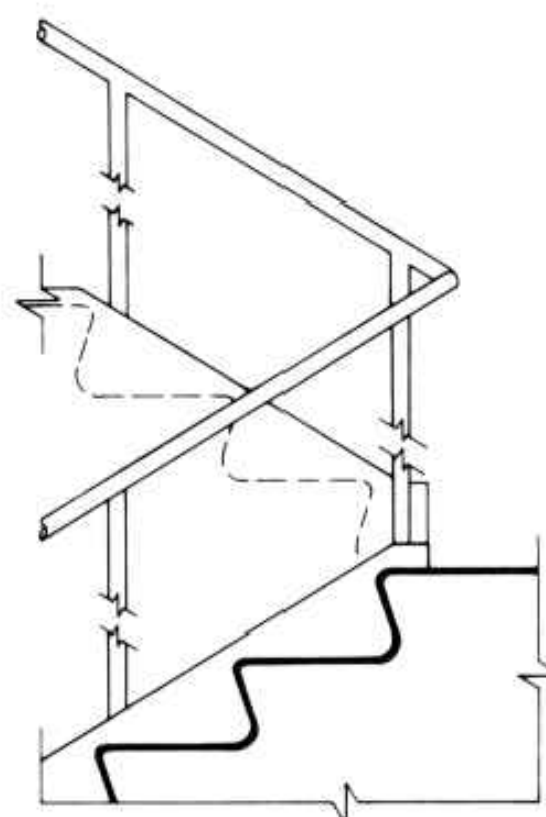
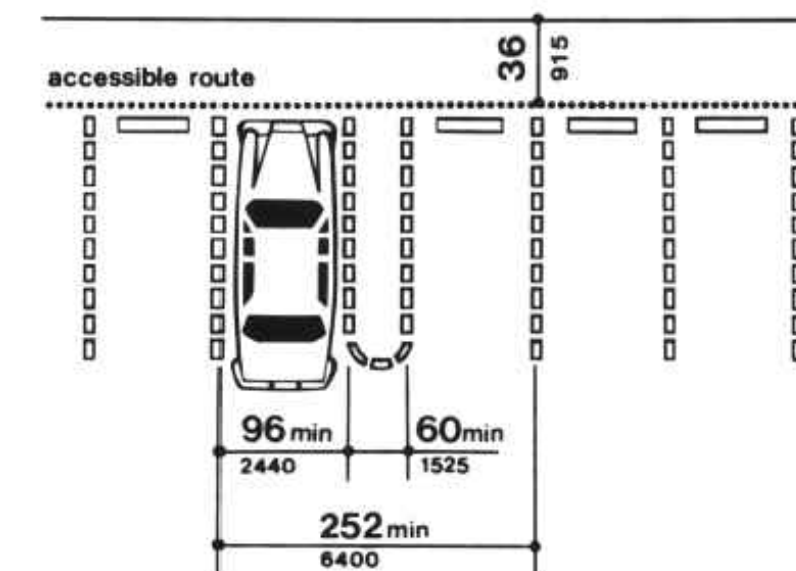
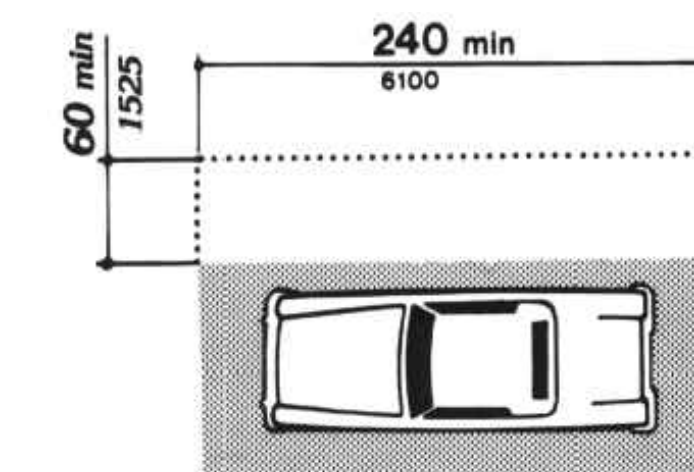
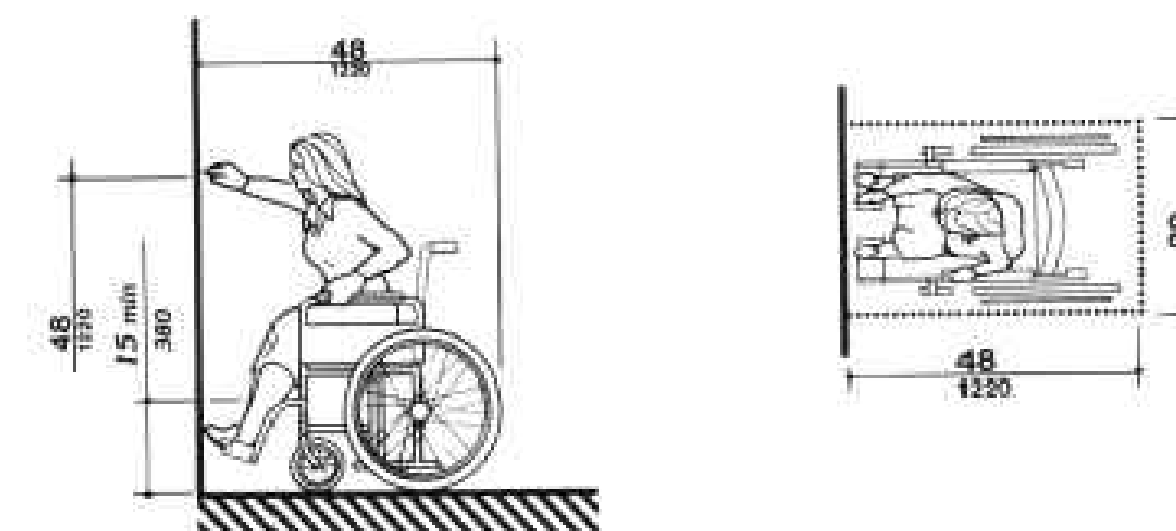


Figure 19(d)
Stair Handrails - Extension at Top of Run

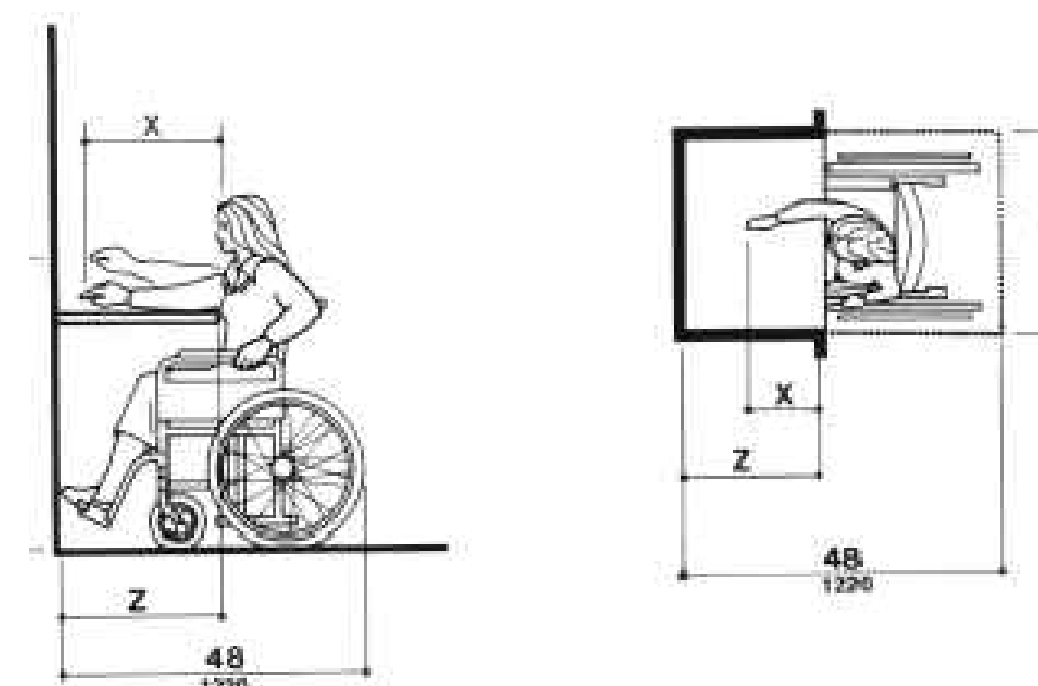
Note: X is the 12 in minimum handrail extension required at each top riser. Y is the minimum handrail extension of 12 in plus the width of one tread that is required at each bottom riser.



B STANDARD UFAS PARKING SPACES
NO SCALE



(a) High Forward Reach Limit



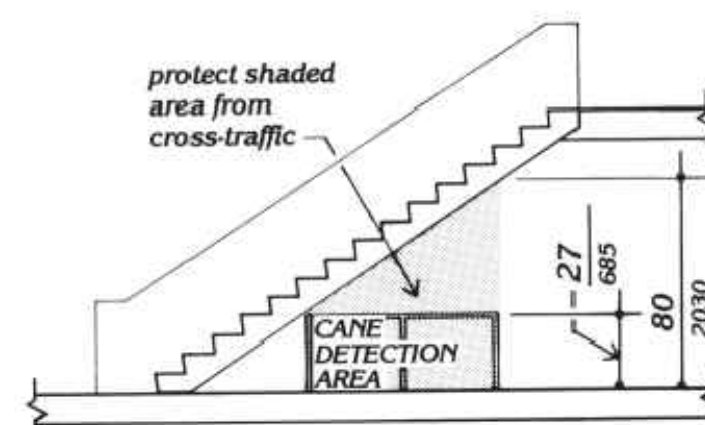
If $x \leq 25$ in (635 mm), z shall be $\geq x$. When $x < 20$ in (510 mm), then y shall be 48 in (1220 mm) maximum.
If x is 25 in (635 mm) to 44 in (1120 mm), then y shall be 44 in (1120 mm) maximum.

(b) Maximum Forward Reach over an Obstruction

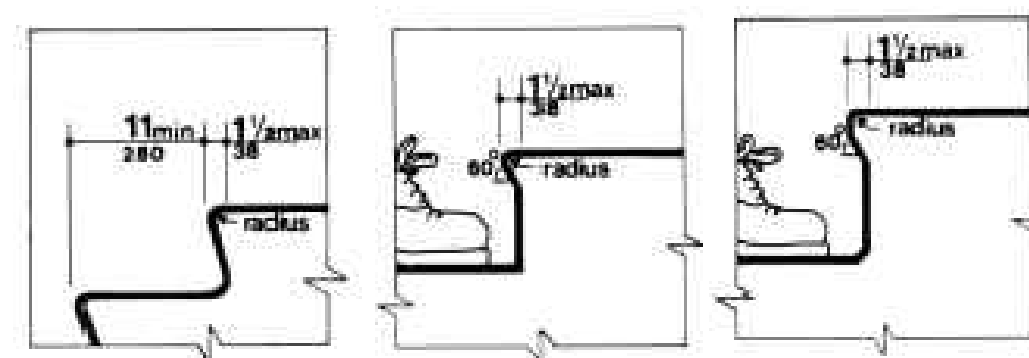
A STANDARD UFAS REACH DIAGRAMS
NO SCALE

NOTE:
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F GENERAL UFAS DIAGRAM
NO SCALE



C STAIR NOSINGS
NO SCALE

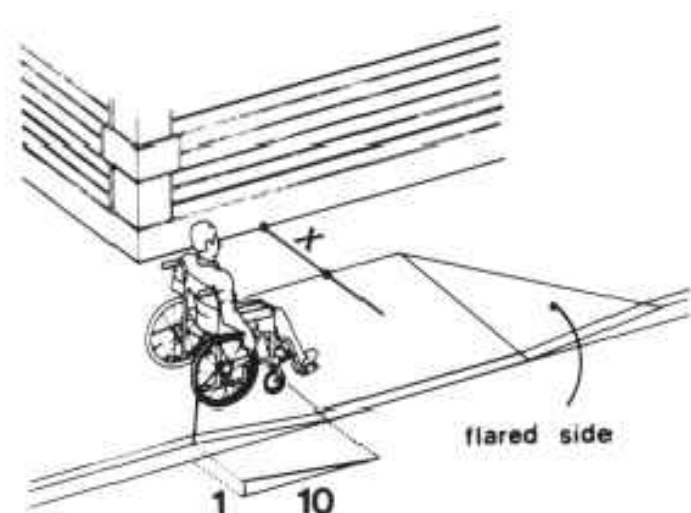


Figure 12(a)

4.7.5 SIDES OF CURB RAMPS. If a curb ramp is located where pedestrians must walk across the ramp, or where it is not protected by handrails or guardrails, then it shall have flared sides; the maximum slope of the flare shall be 1:10 (see Fig. 12(a)). Curb ramps with returned curbs may be used where pedestrians would not normally walk across the ramp (see Fig. 12(b)).

Note: If X is less than 48 inches, then the slope of the flared side shall not exceed 1:12.

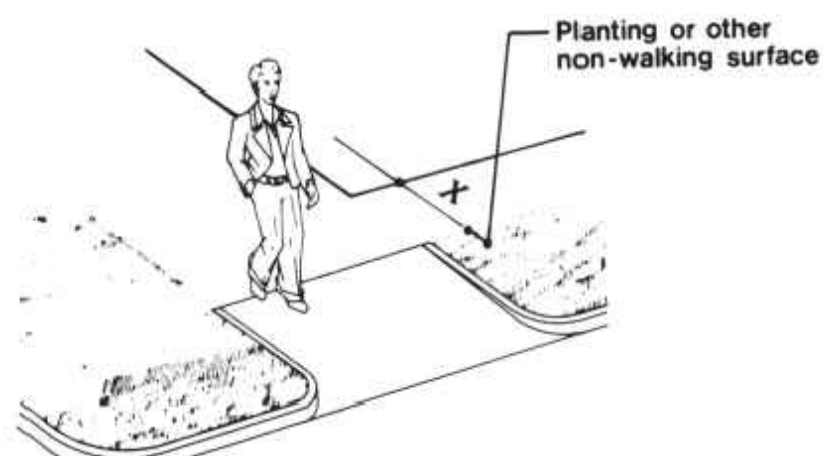
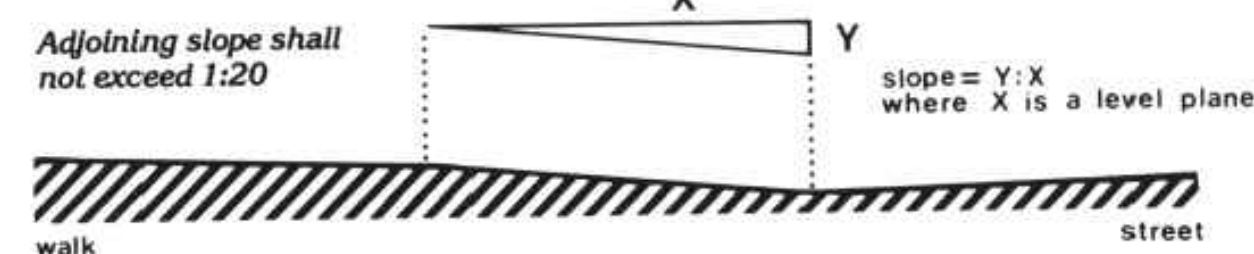
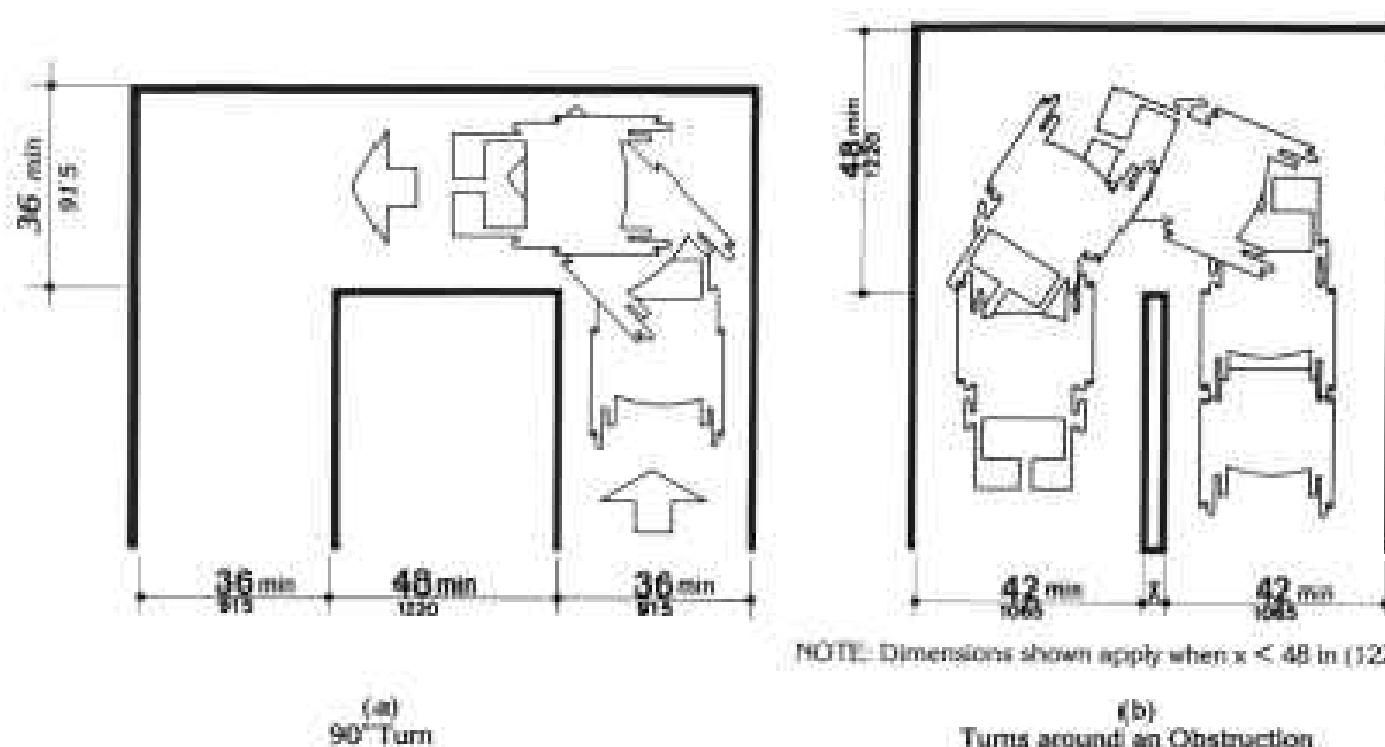


Figure 12(b)

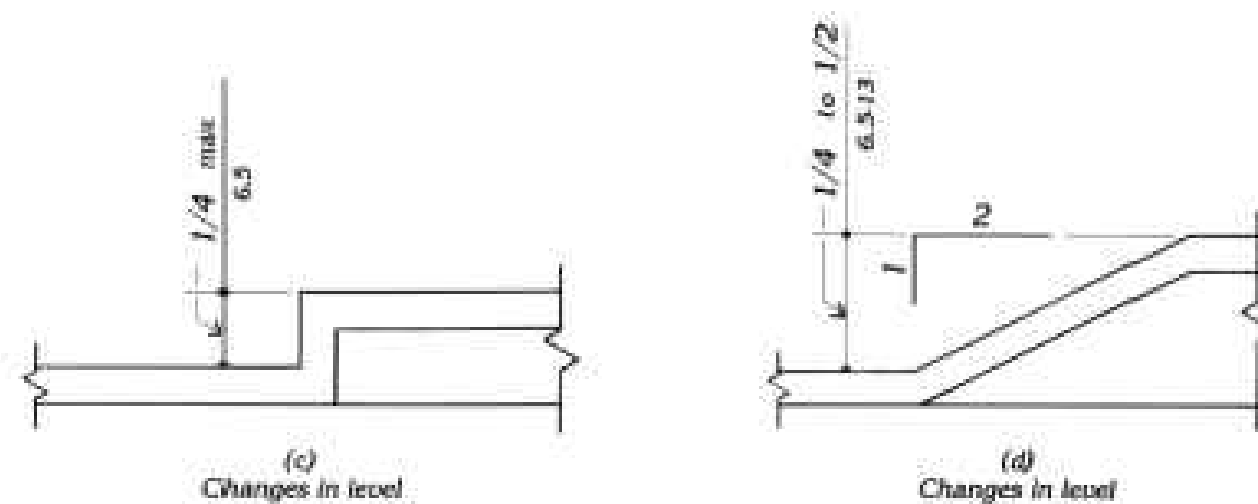
H STANDARD UFAS CURB RAMPS
NO SCALE



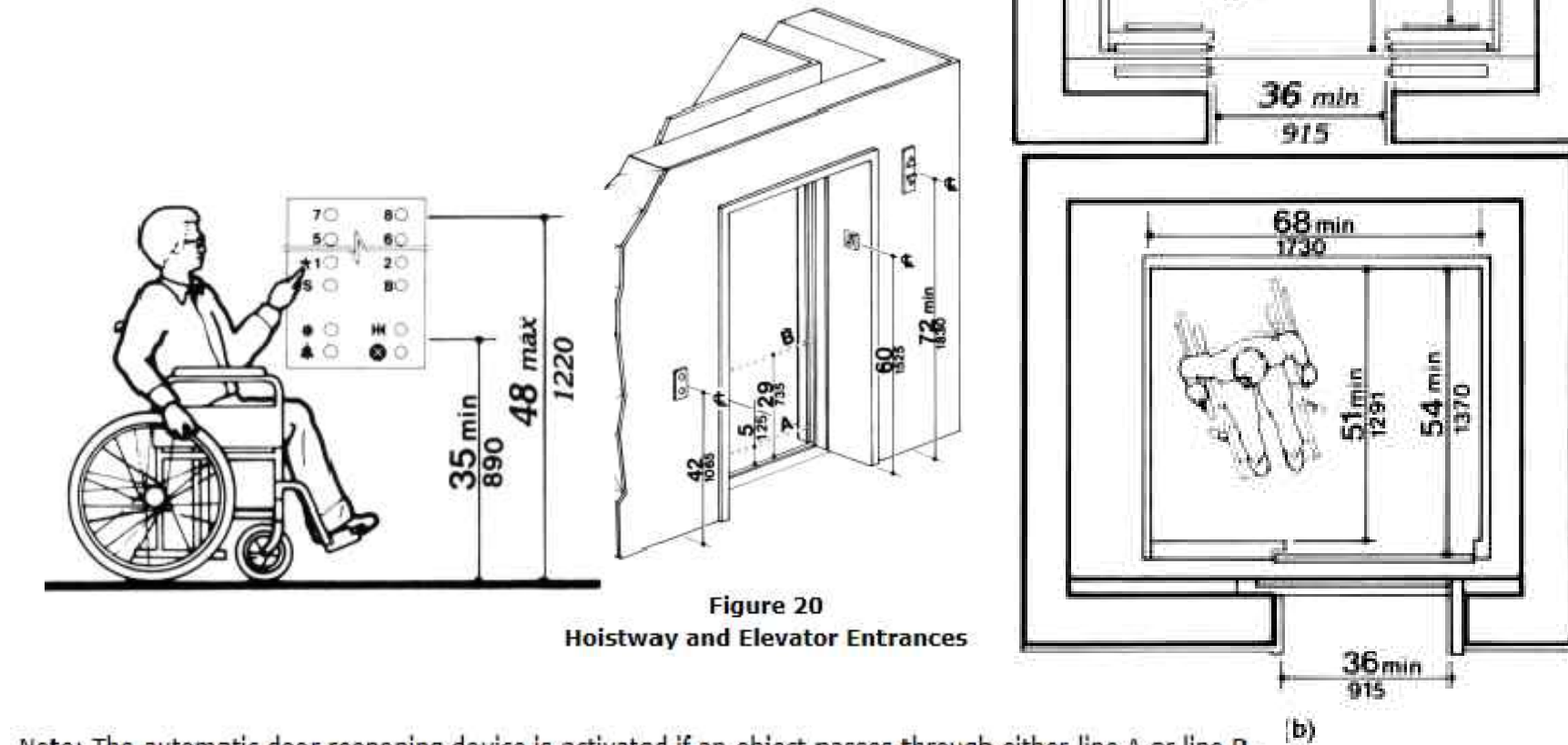
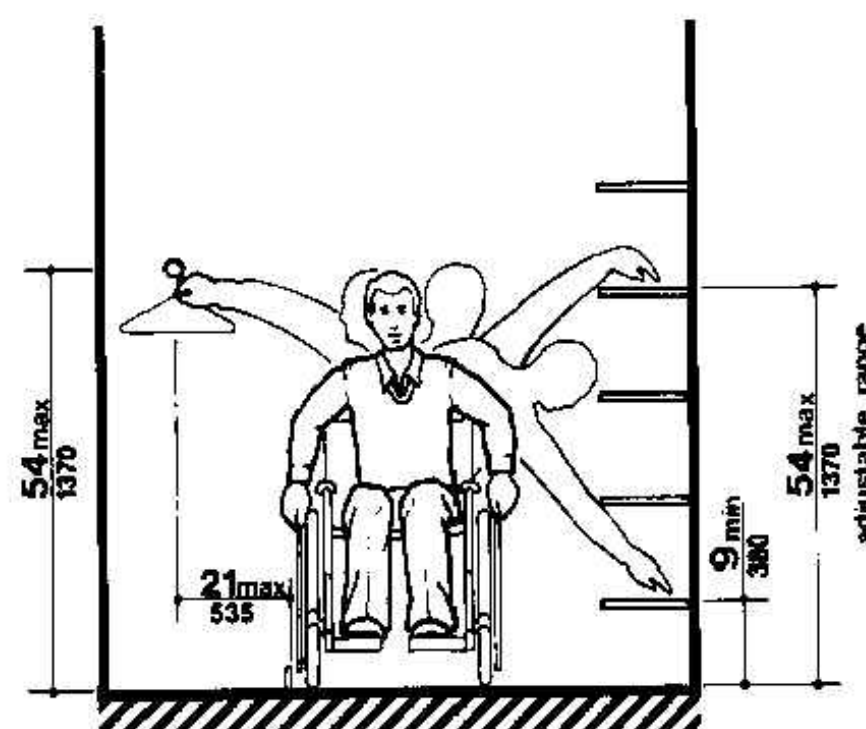
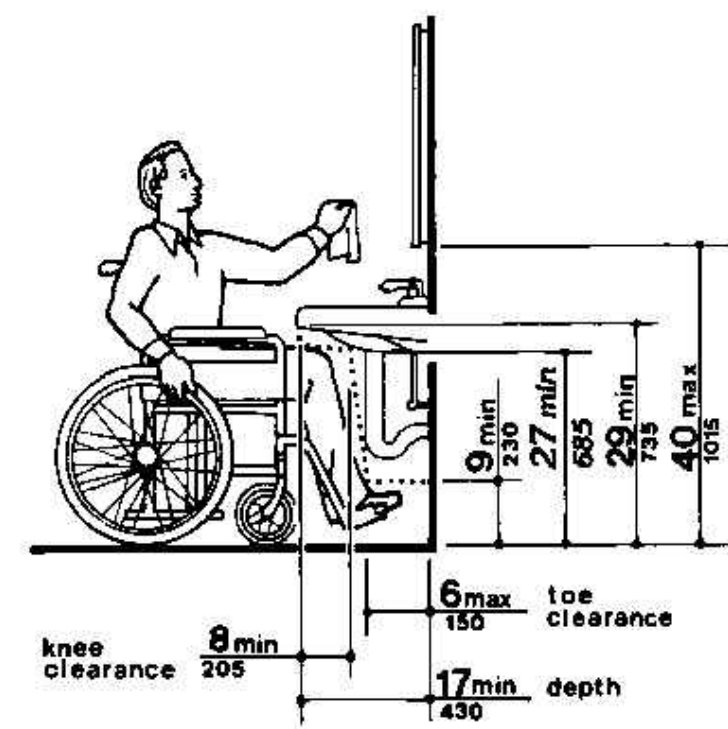
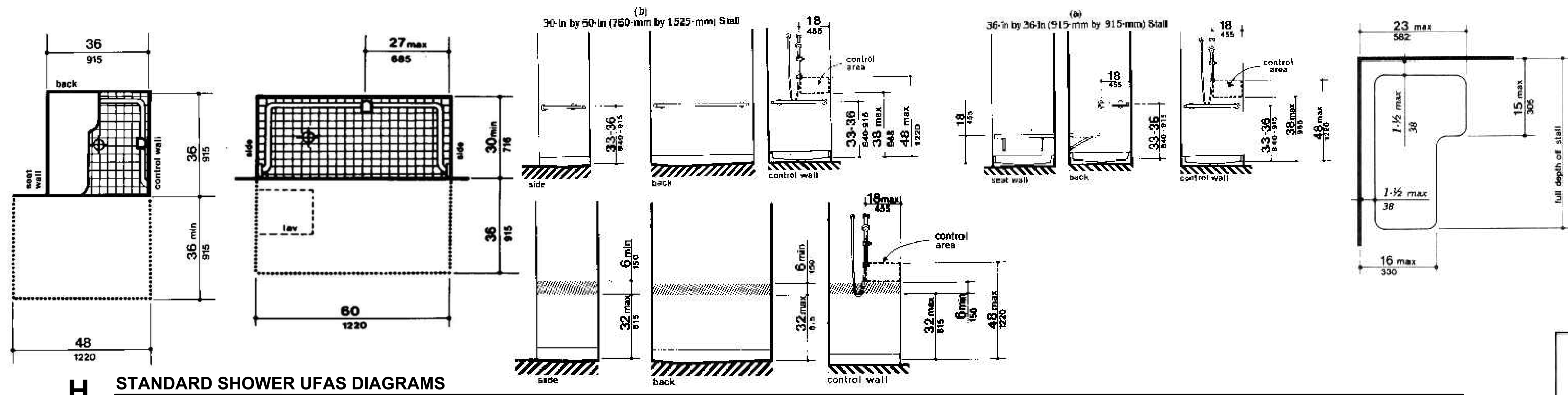
G STANDARD UFAS SLOPE
NO SCALE



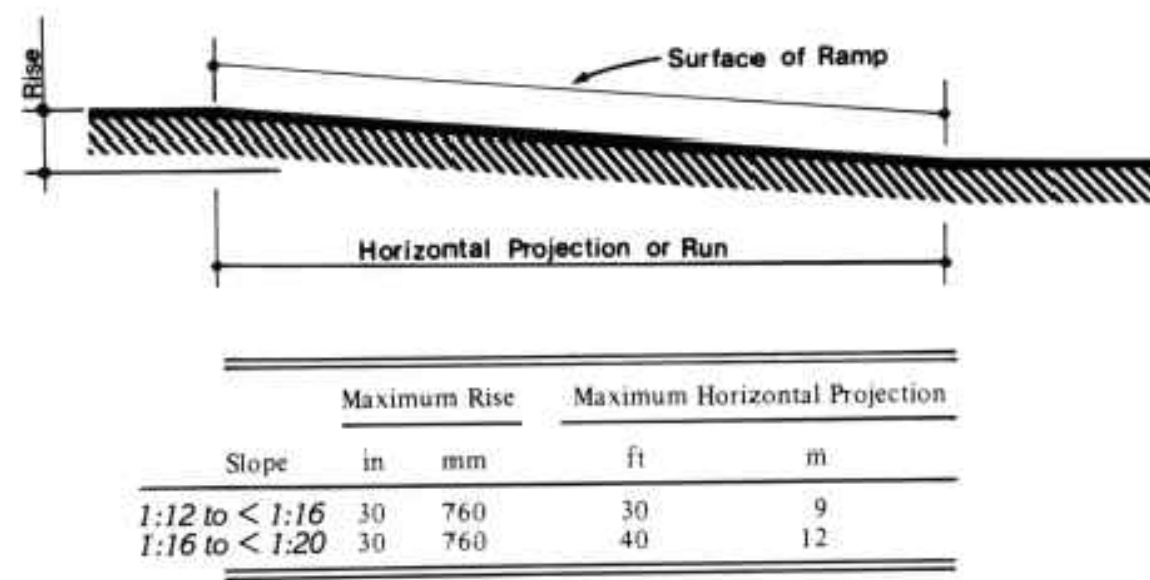
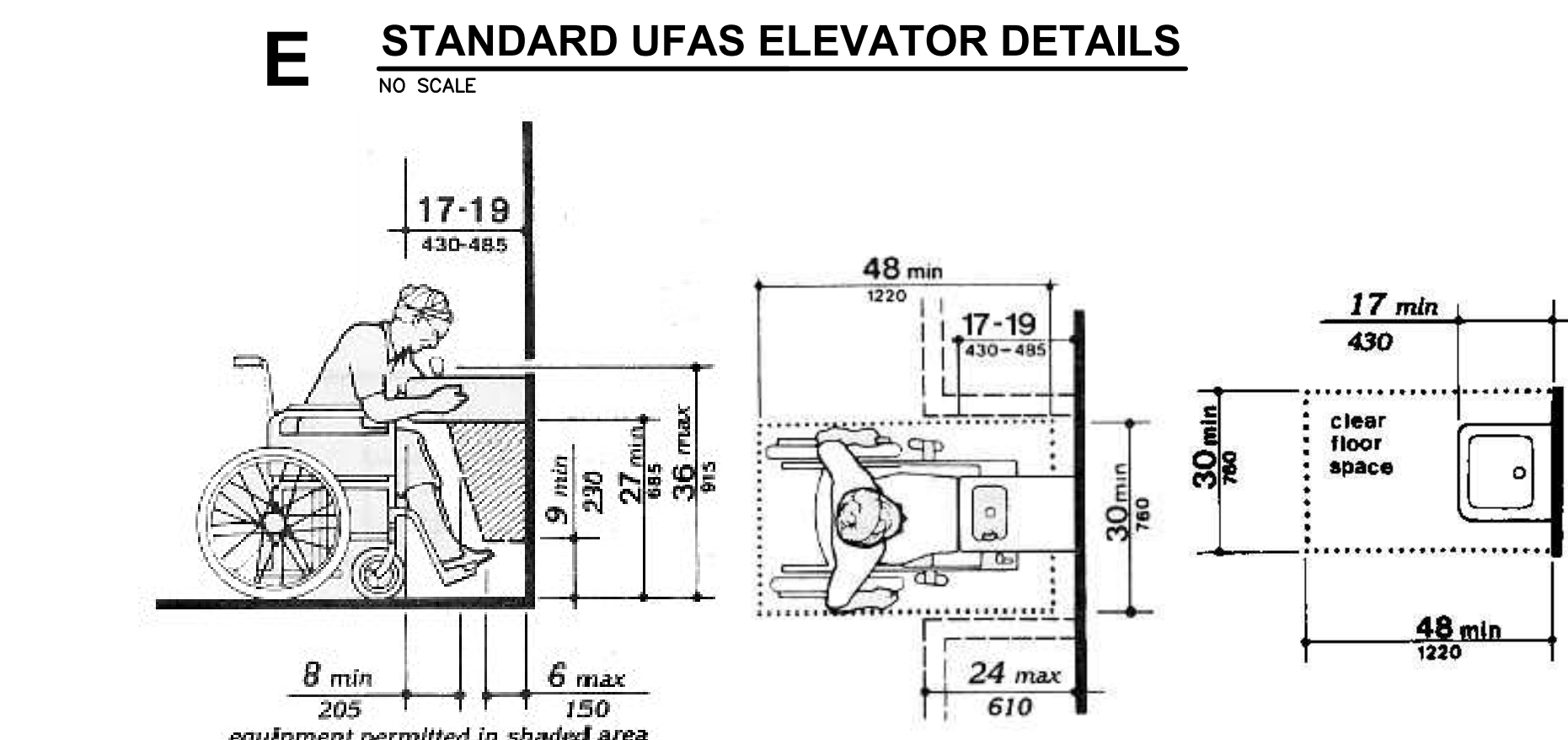
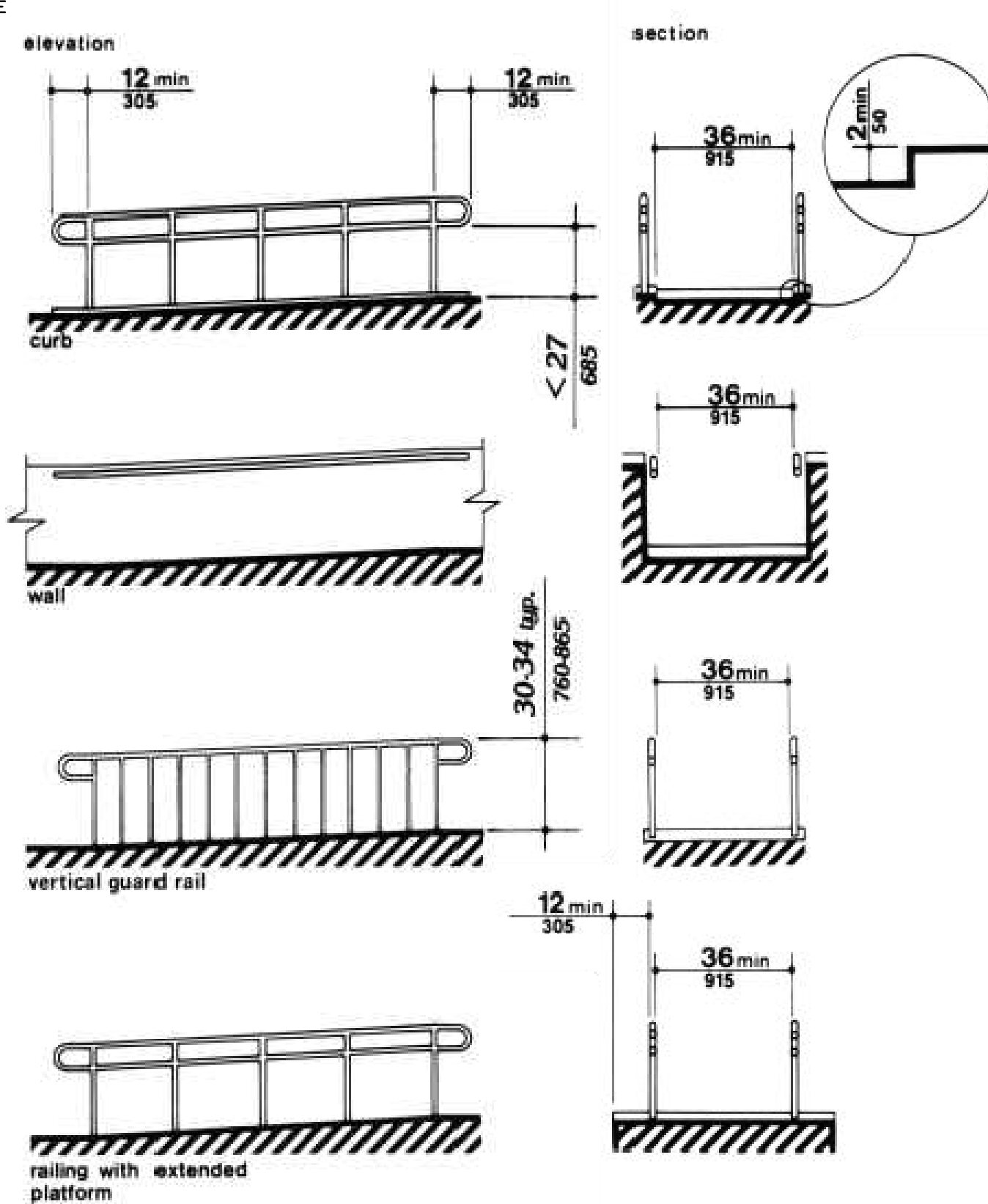
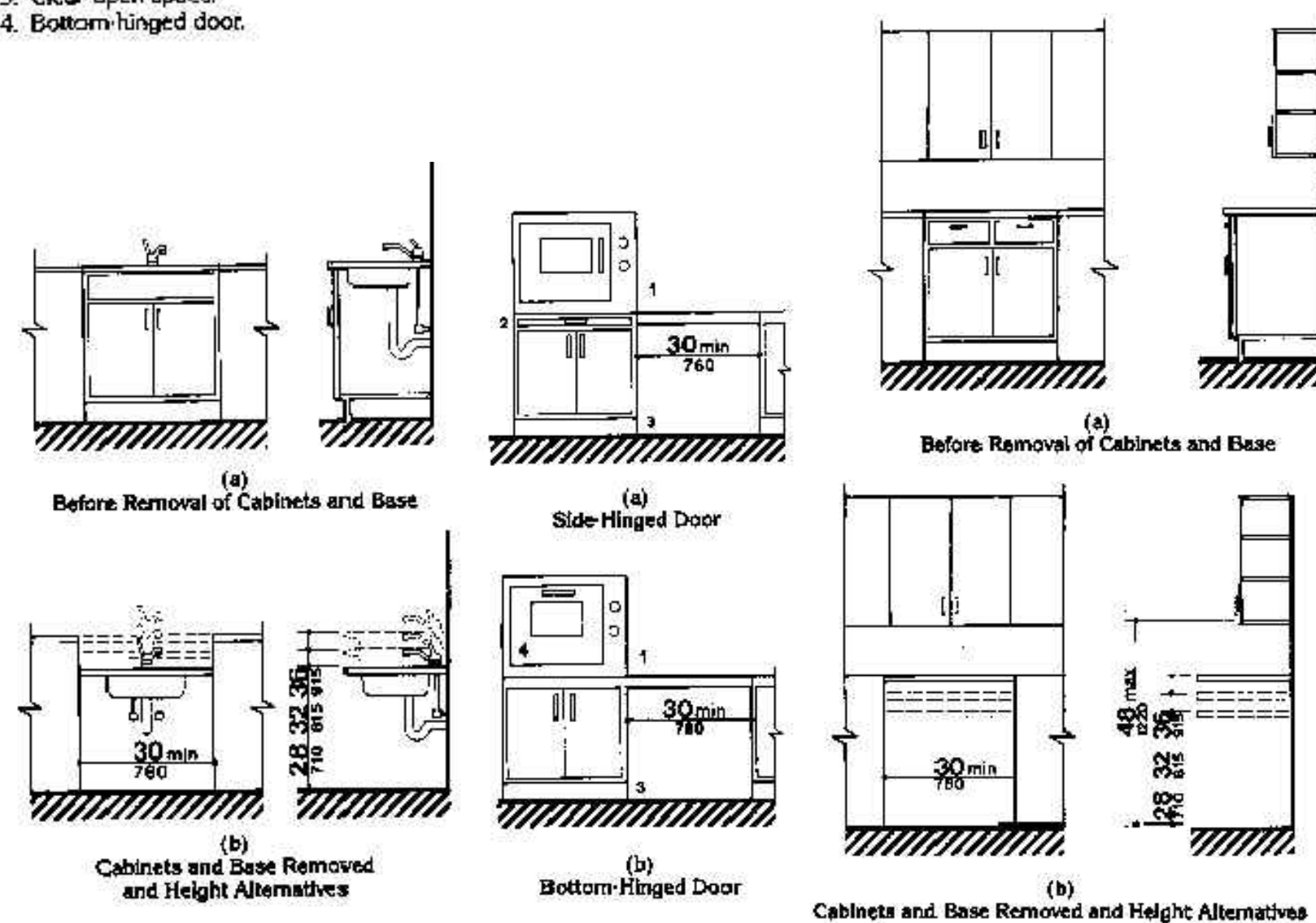
E UFAS WIDTH DIAGRAMS
NO SCALE



D UFAS CHANGE IN LEVEL DIAGRAM
NO SCALE

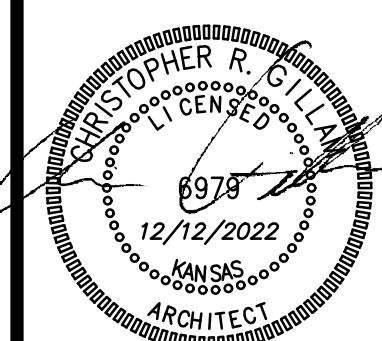


SYMBOL KEY:
1. Countertop or wall-mounted oven.
2. Pull out board preferred with side-opening door.
3. Clear open space.
4. Bottom-hinged door.



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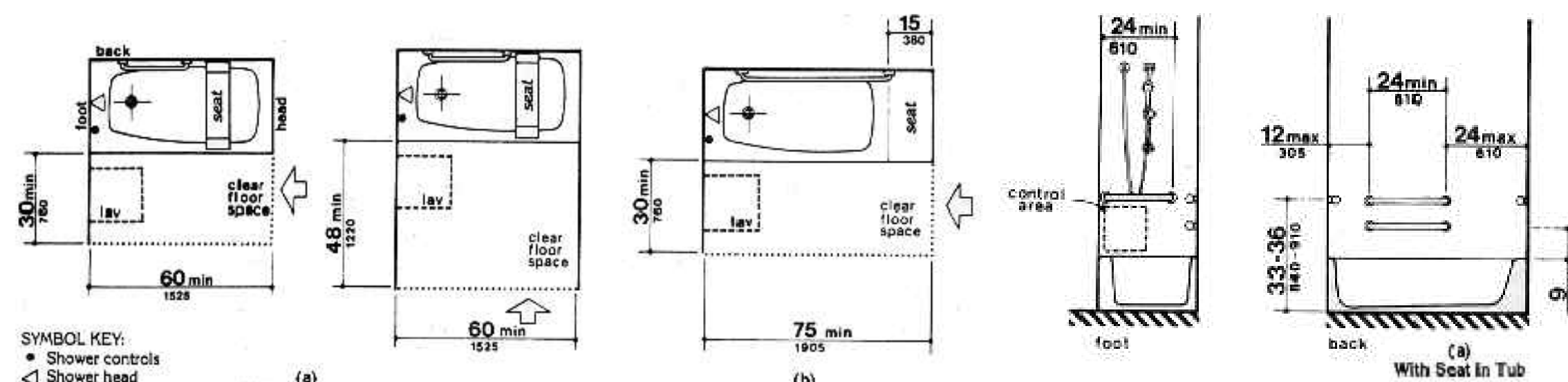
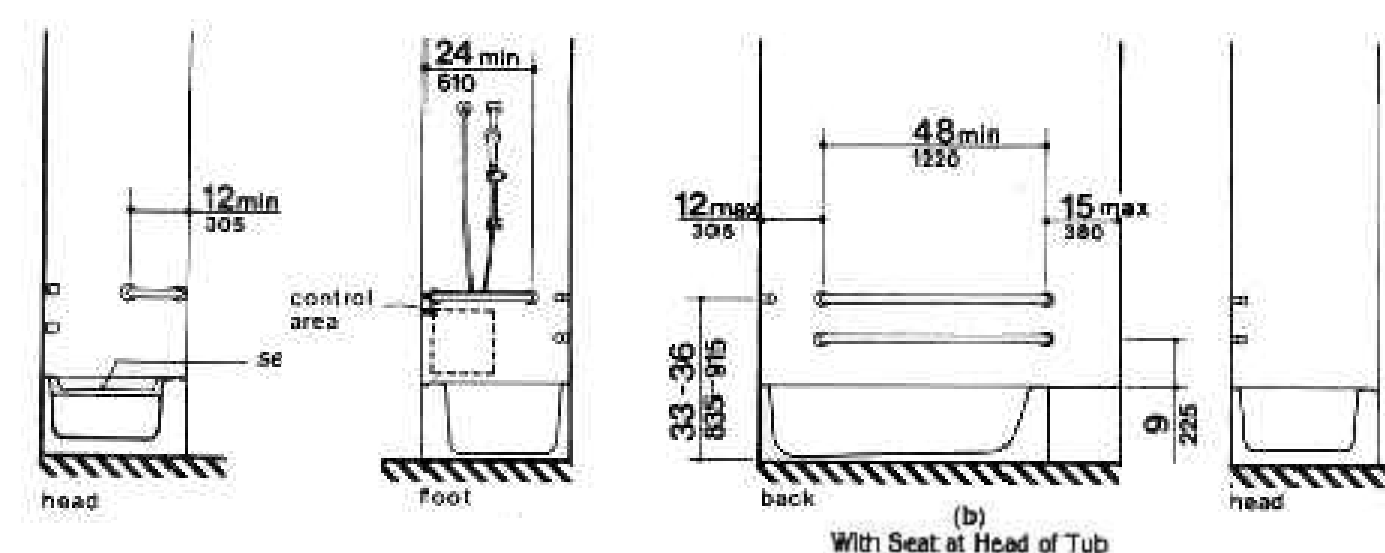
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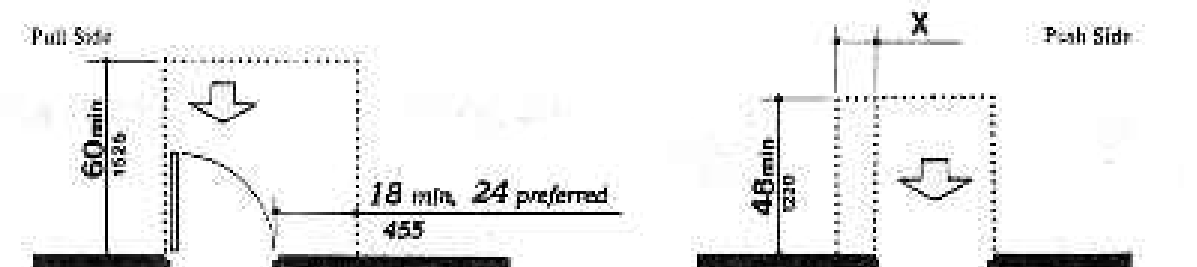
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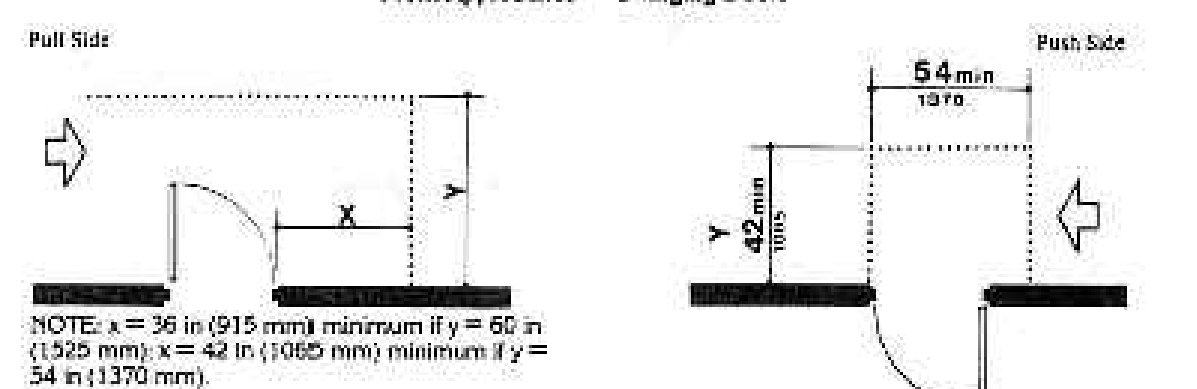
SYMBOL KEY:
• Shower controls
△ Shower head
→ Drain

C STANDARD BATHROOM/TUB DIAGRAMS

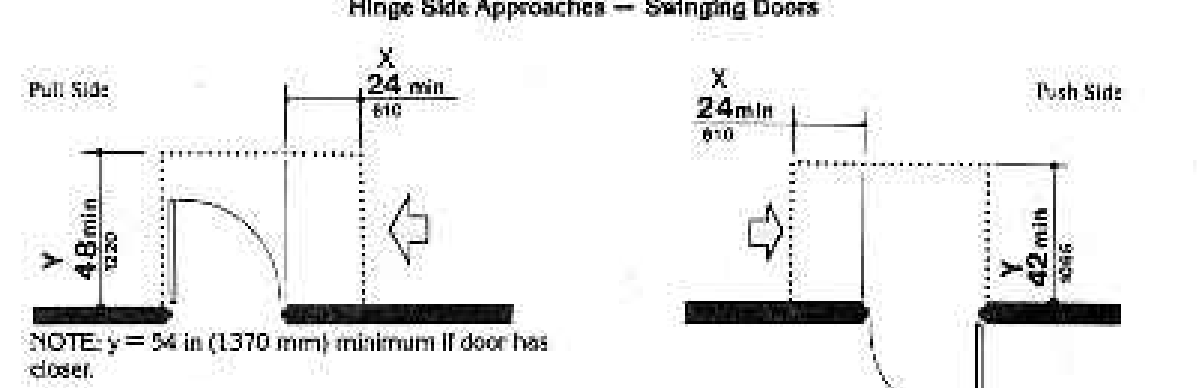
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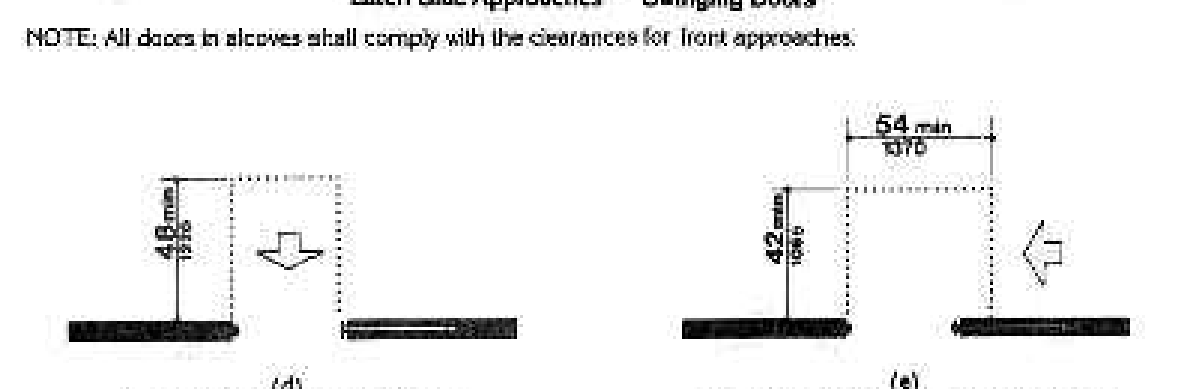
Front Approaches - Swinging Doors



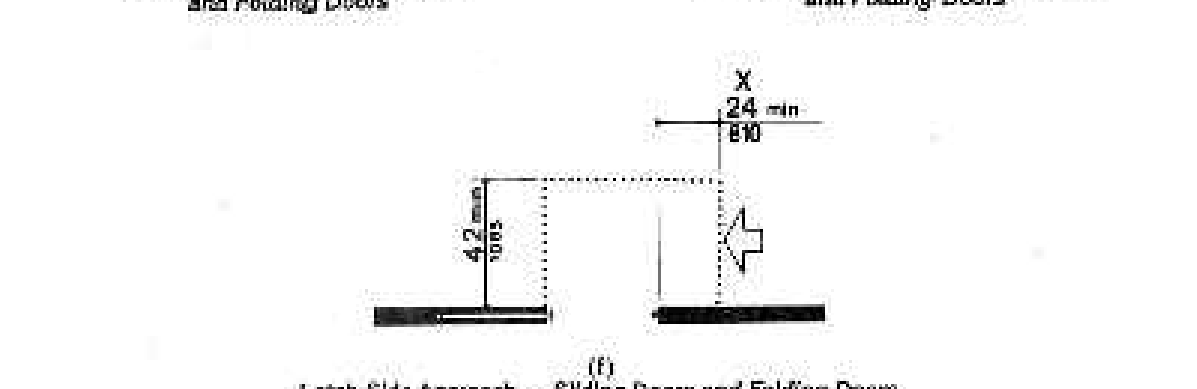
Hinge Side Approaches - Swinging Doors



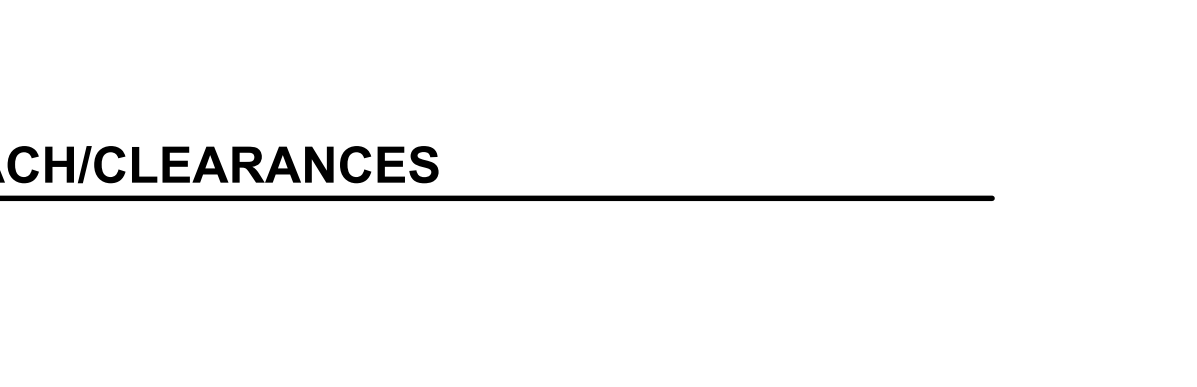
Latch Side Approaches - Swinging Doors



Front Approach - Sliding Doors and Folding Doors

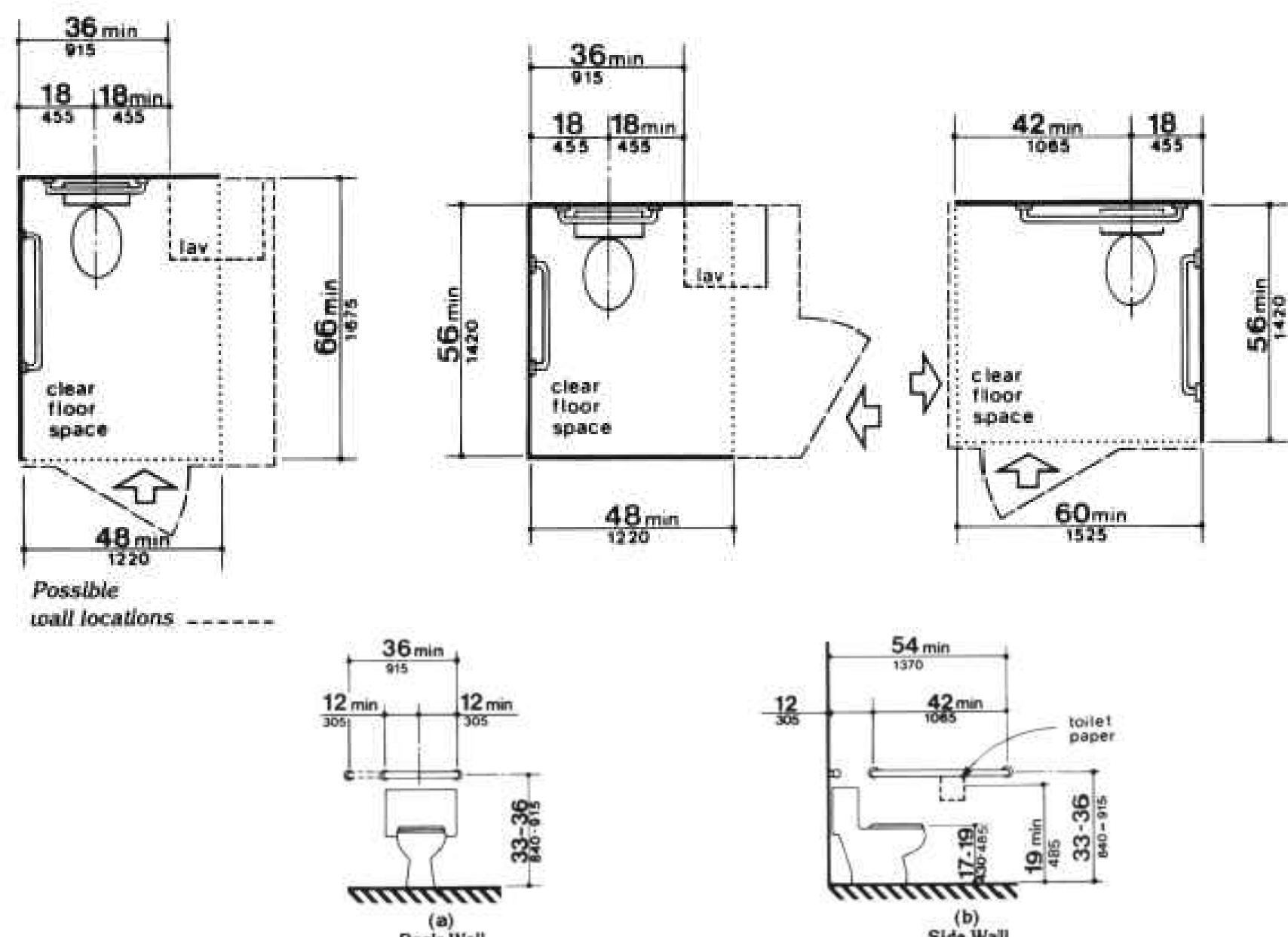


Slide Side Approach - Sliding Doors and Folding Doors



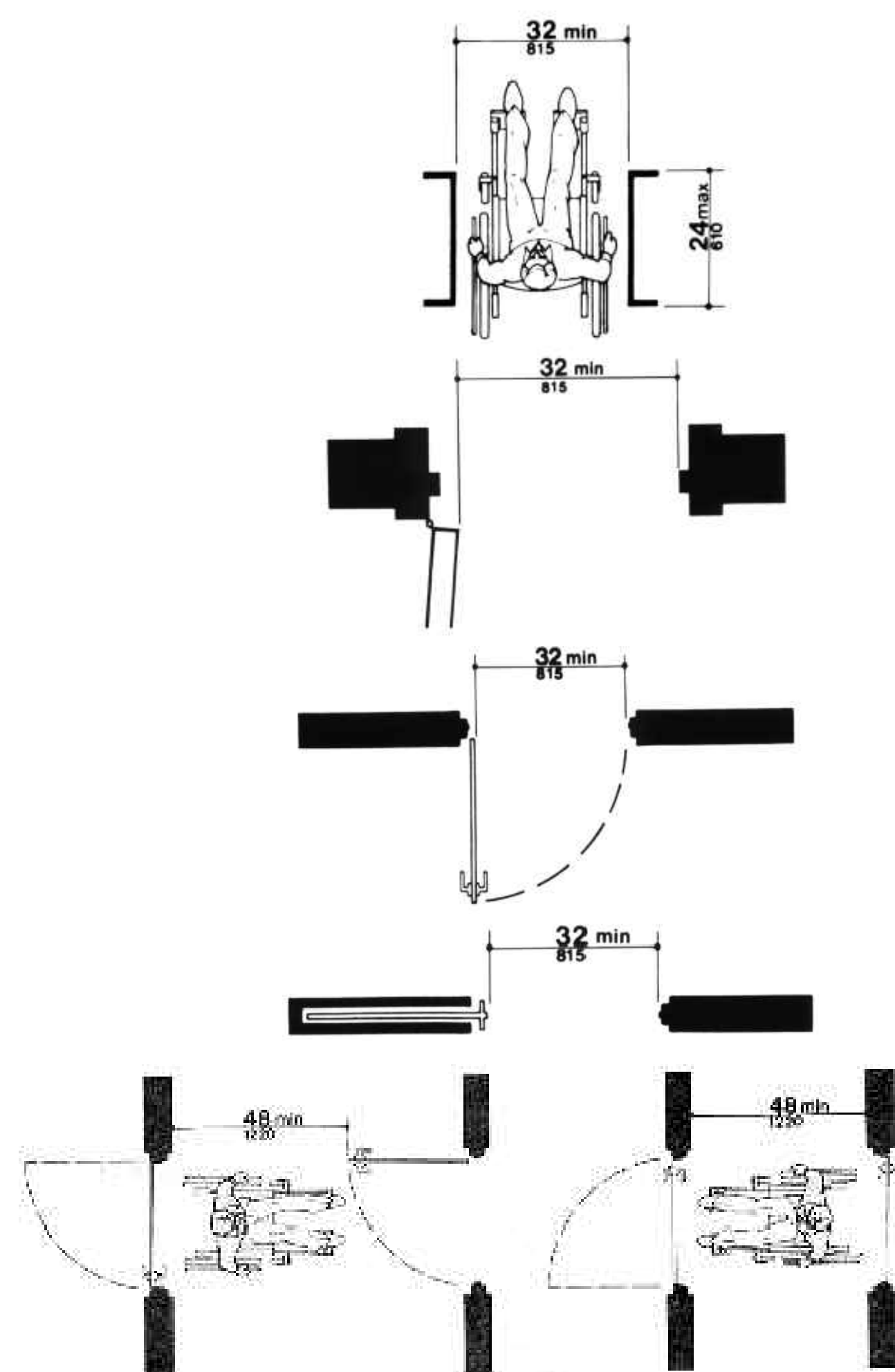
Latch Side Approach - Sliding Doors and Folding Doors

4.34.5.1 DOORS. Doors shall not swing into the clear floor space required for any fixture.



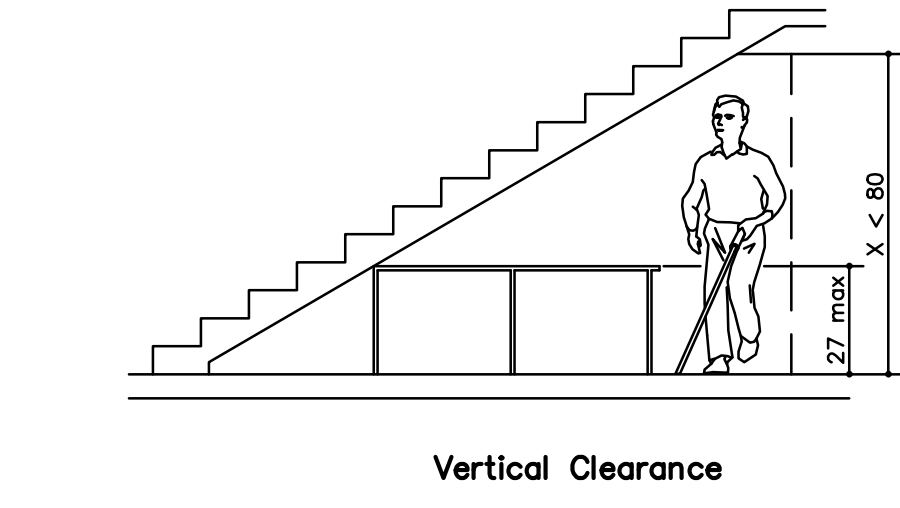
A STANDARD UFAS TOILET/WATER CLOSET DIAGRAMS

NO SCALE

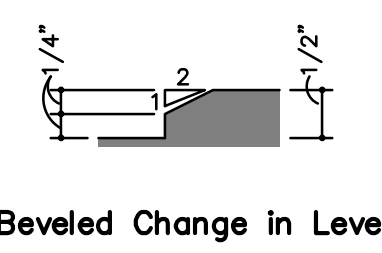


B STANDARD UFAS DOOR APPROACH/CLEARANCES

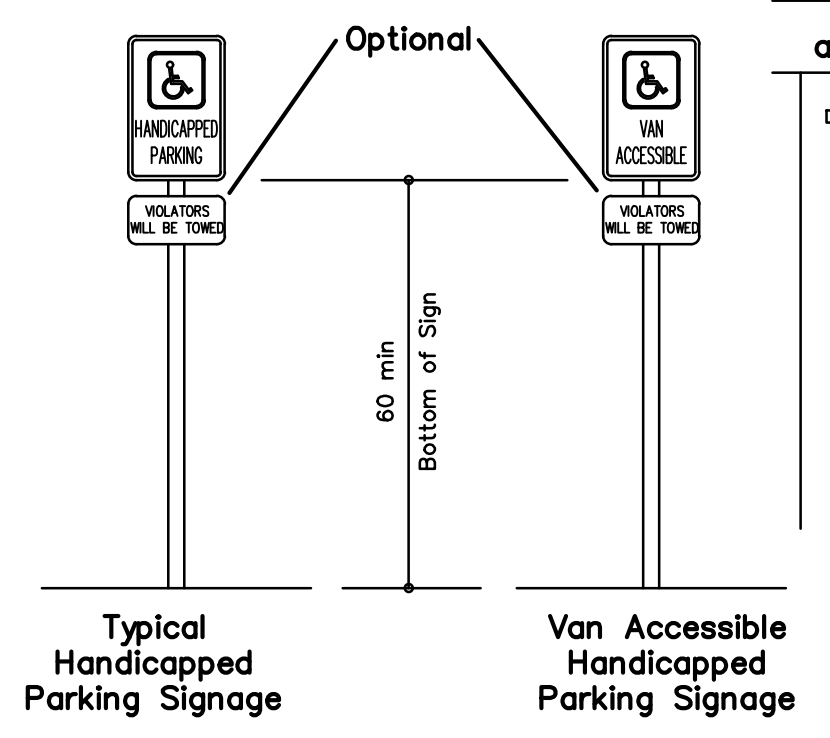
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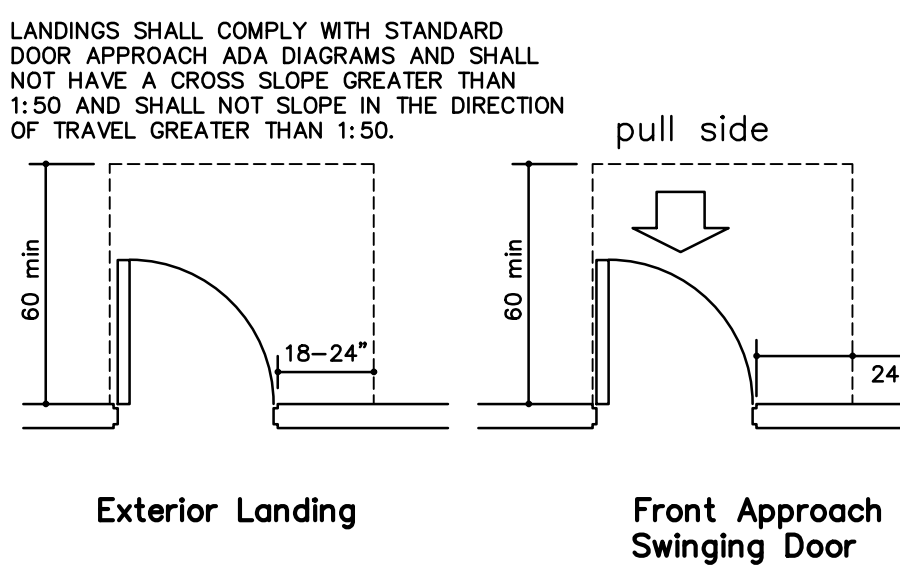
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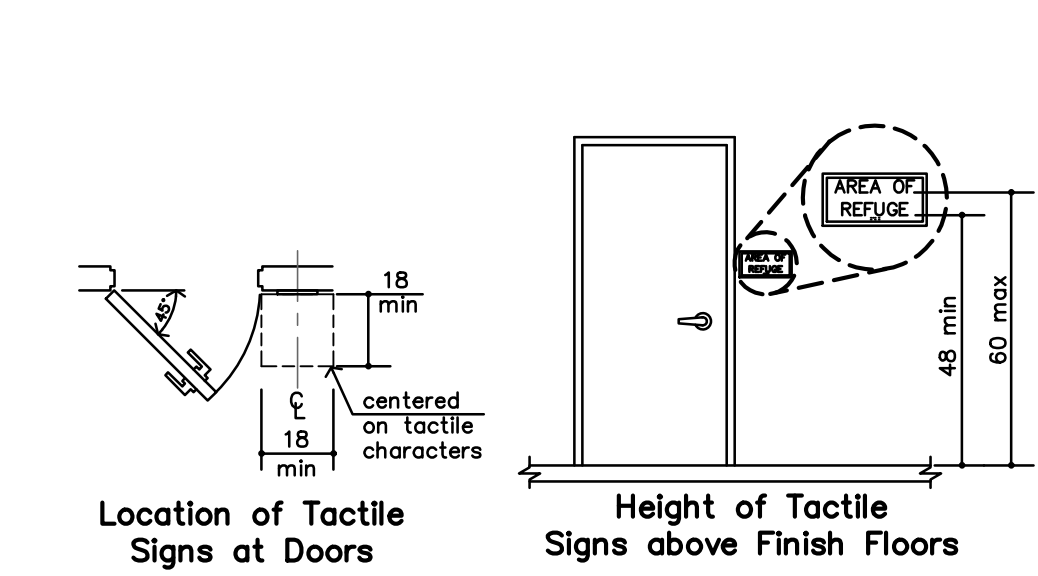
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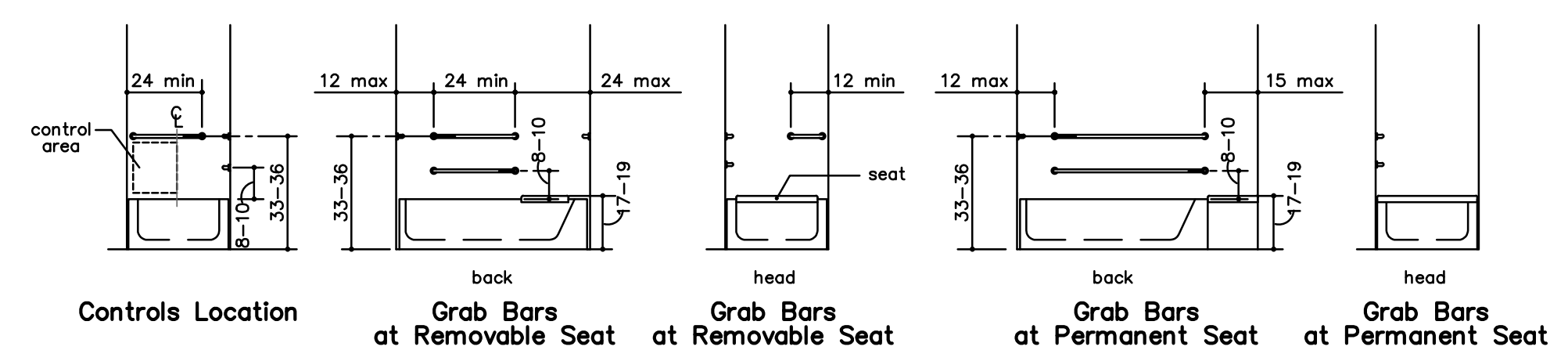
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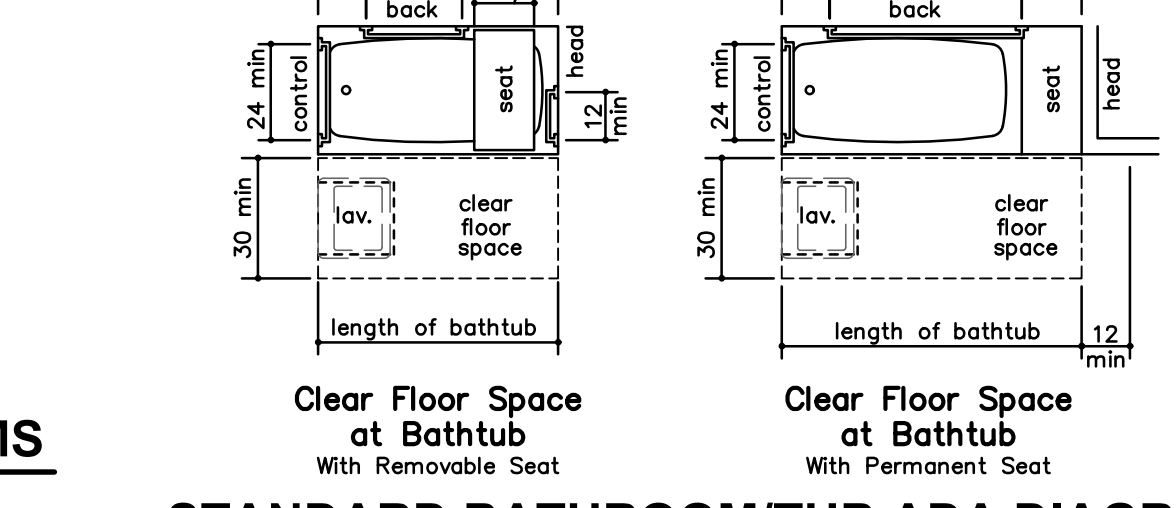
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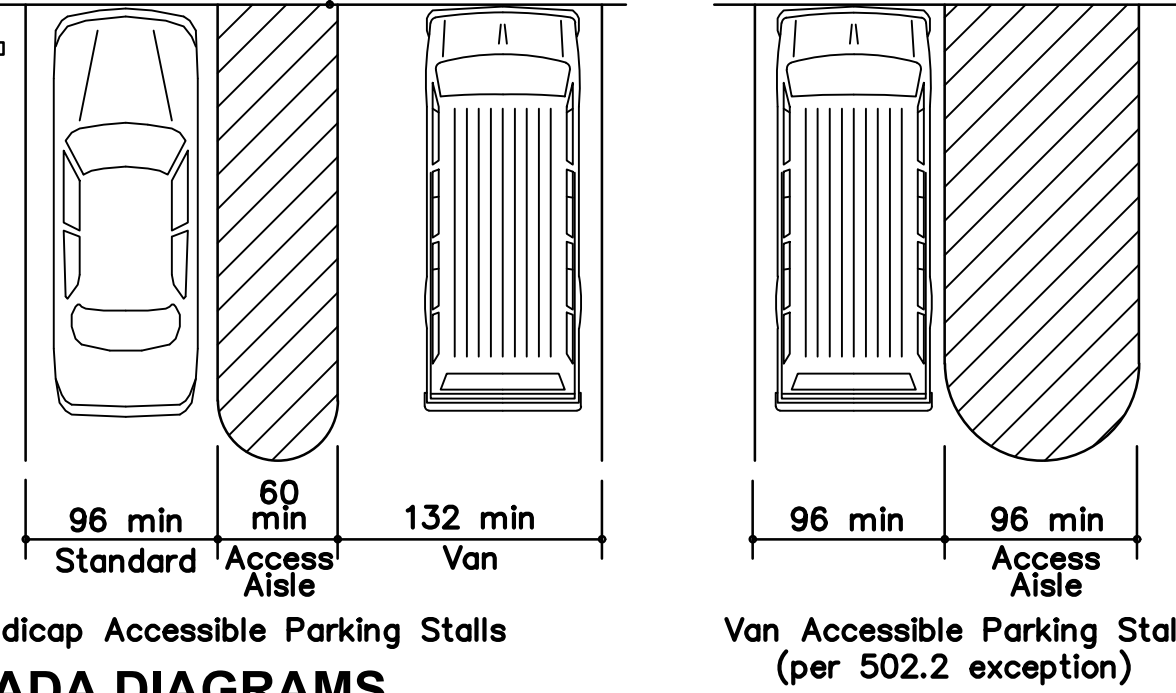
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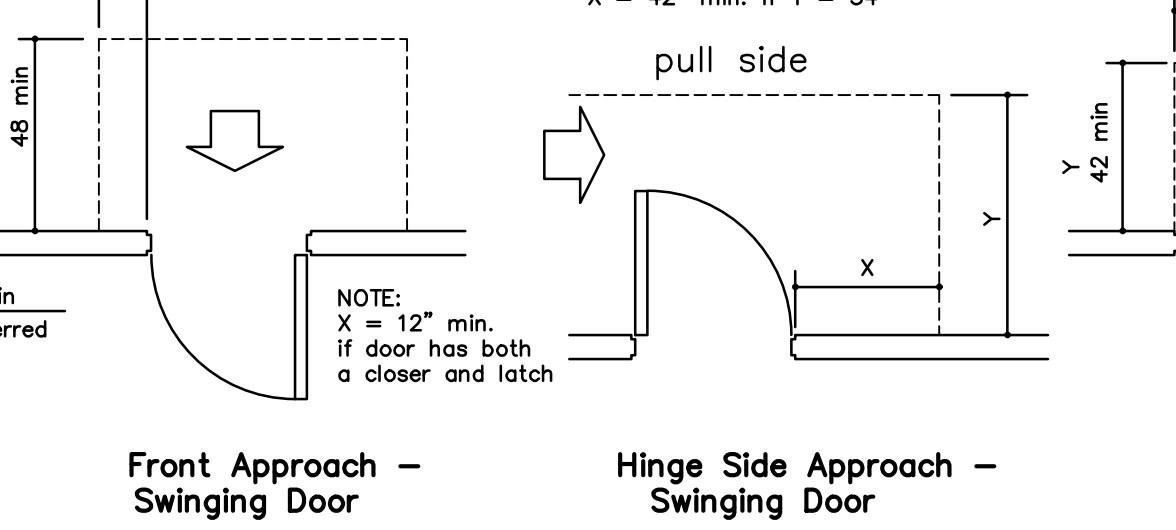
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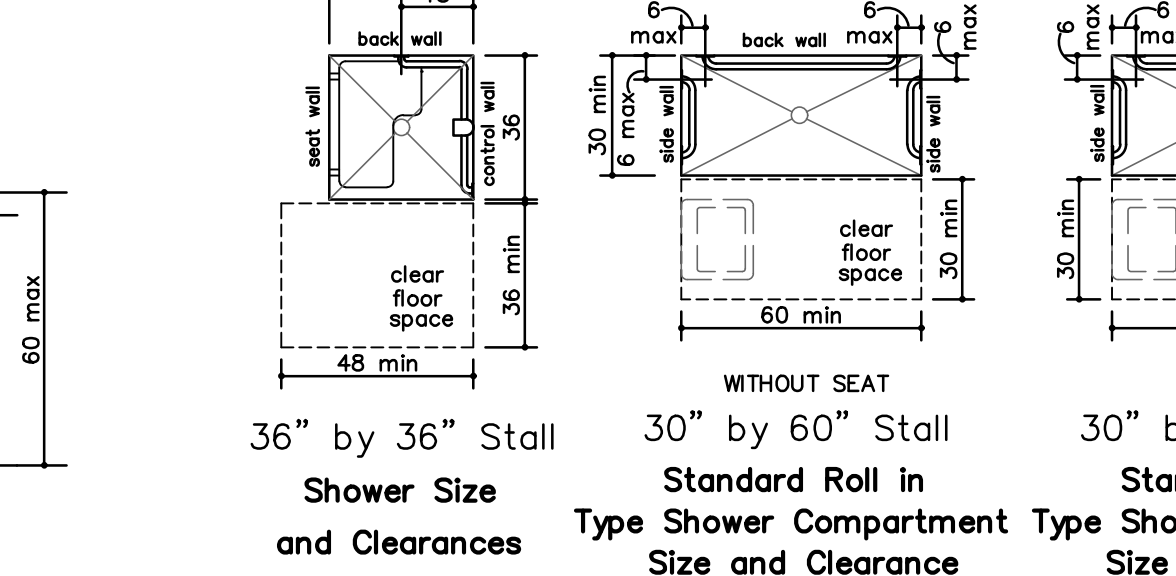
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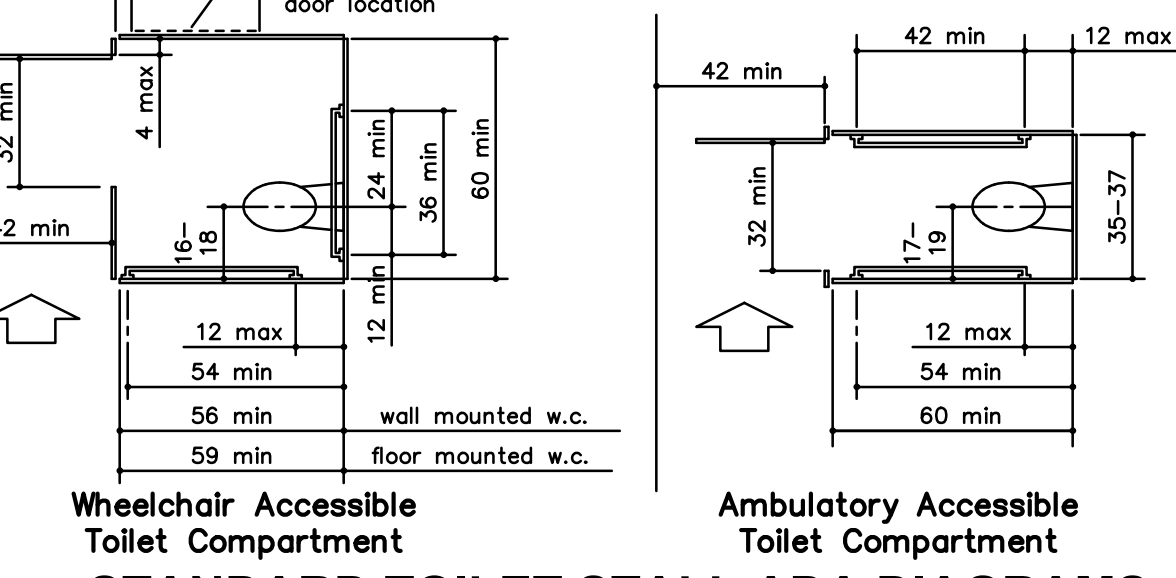
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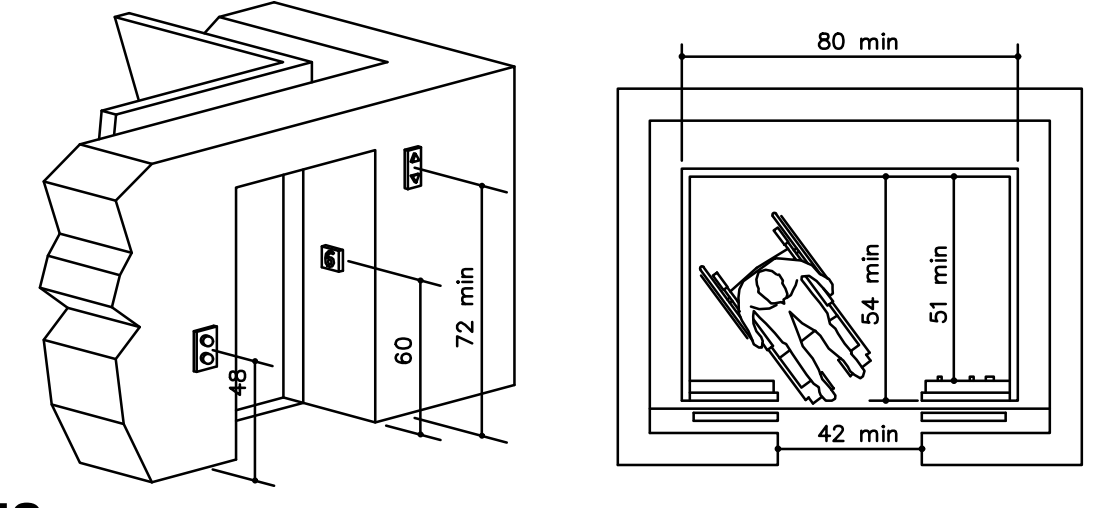
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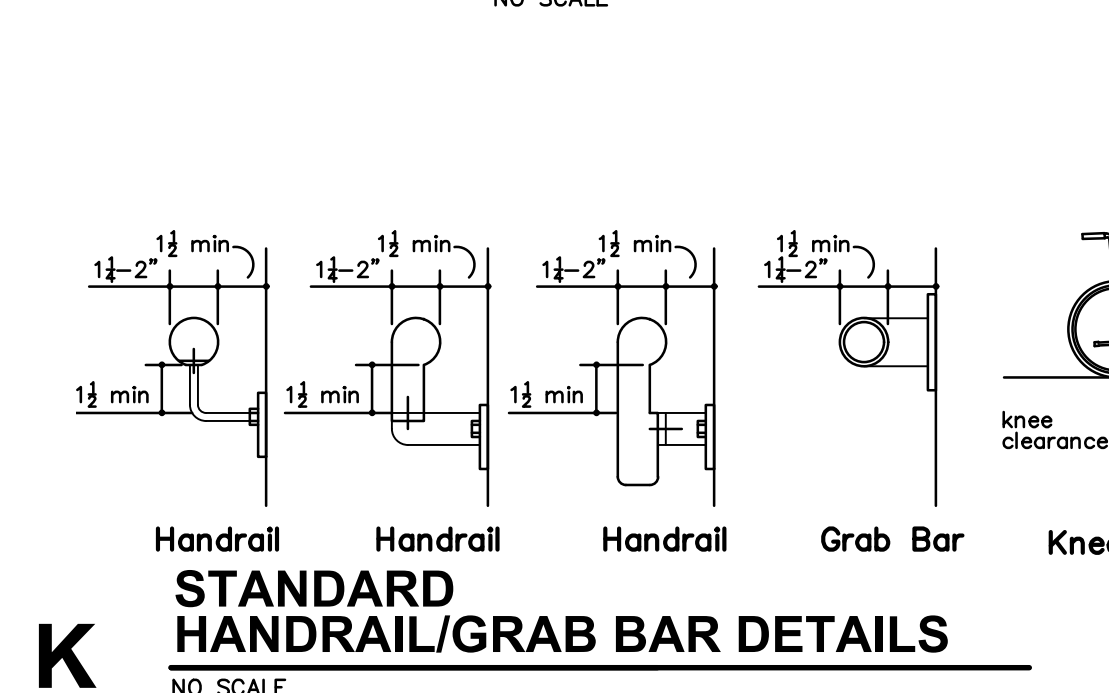
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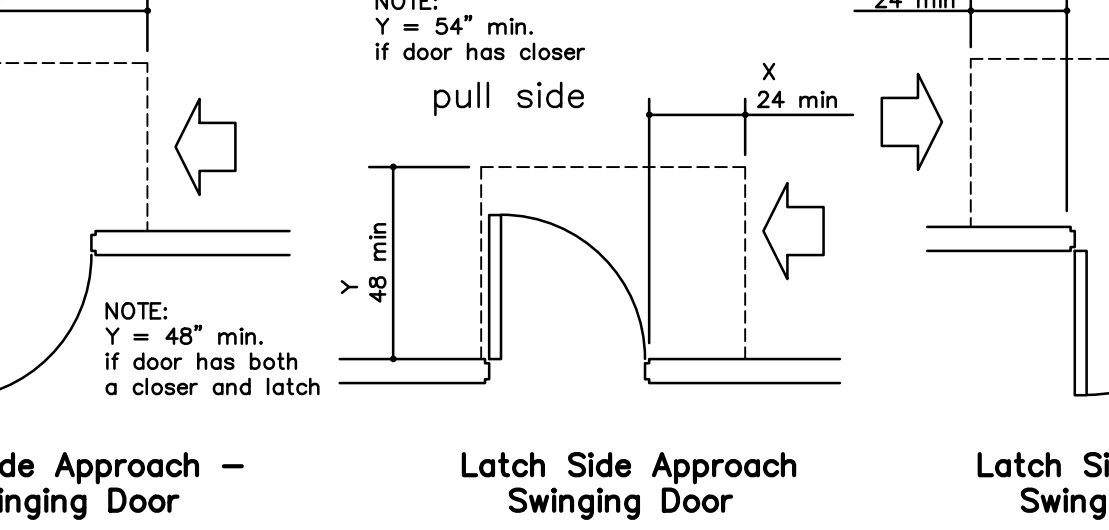
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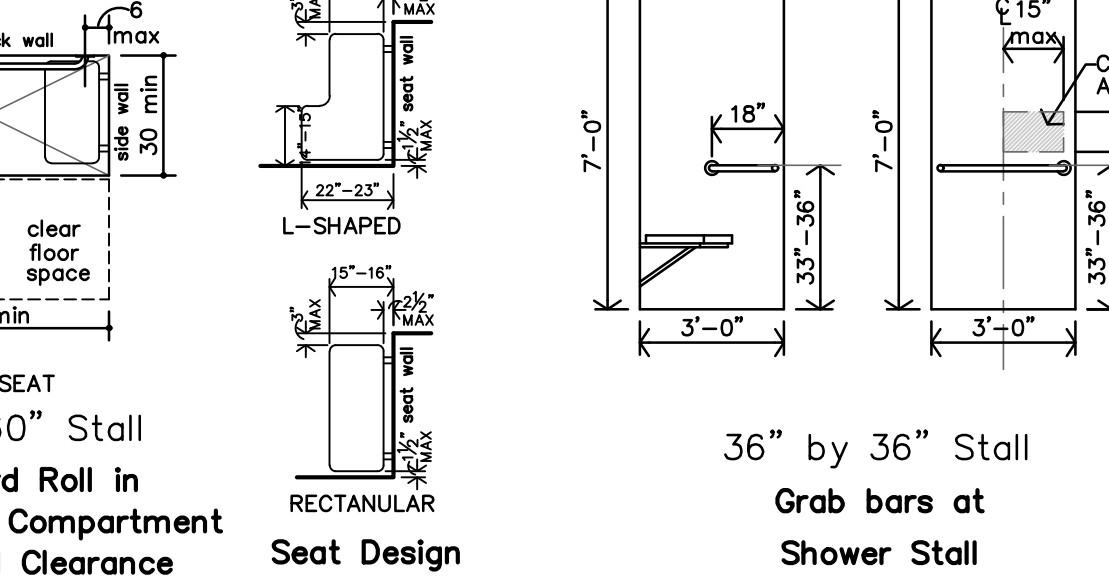
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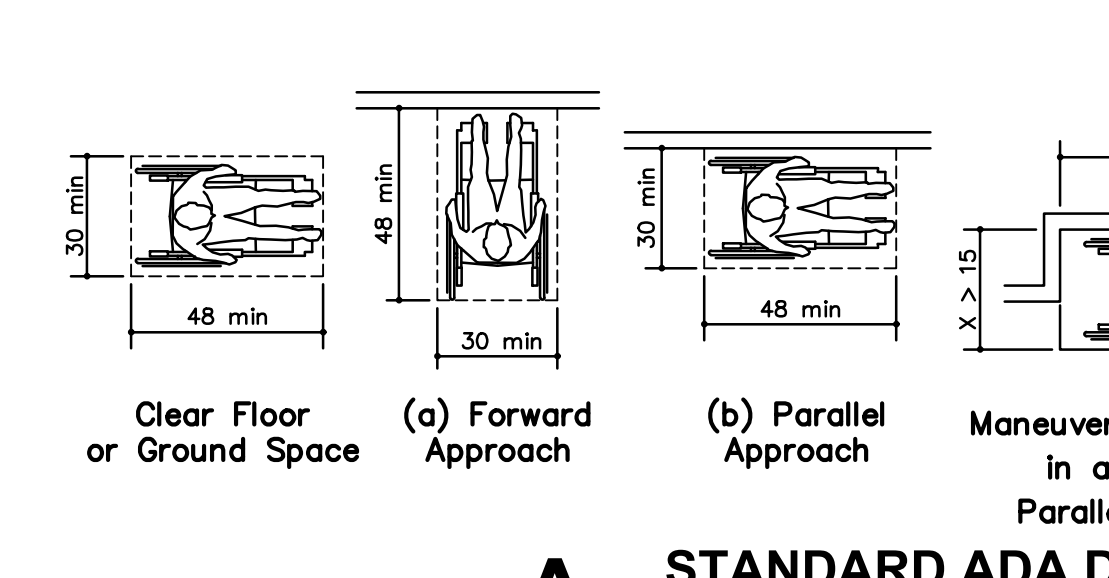
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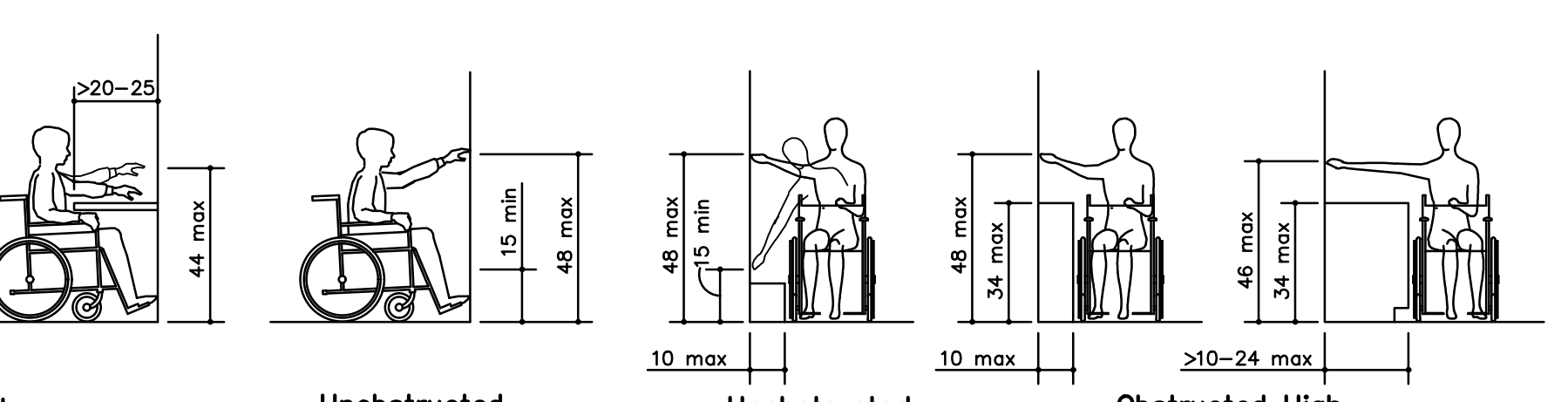
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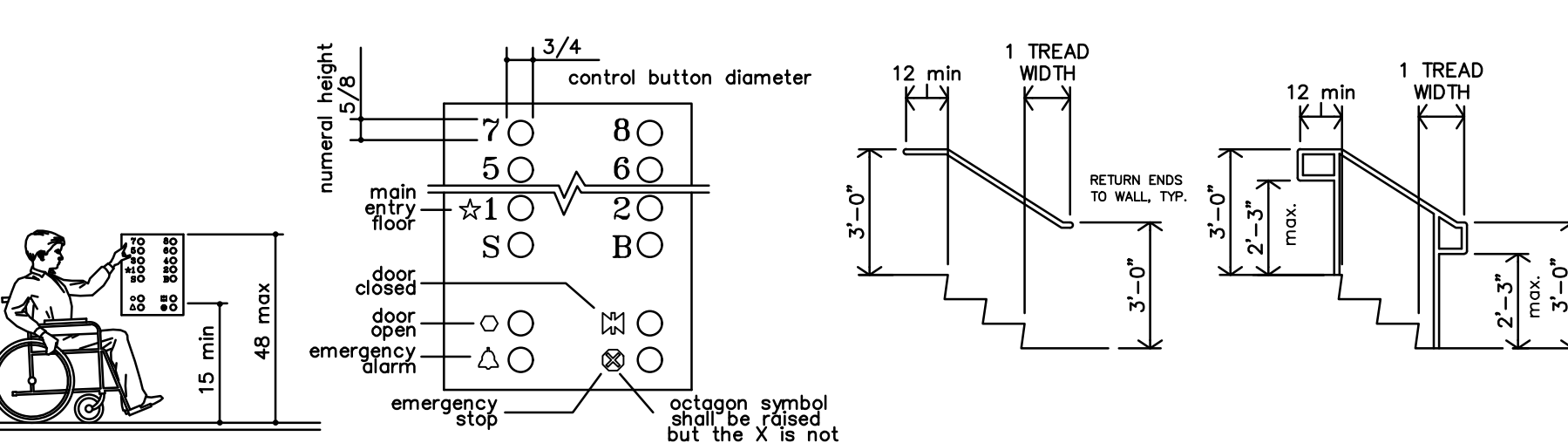
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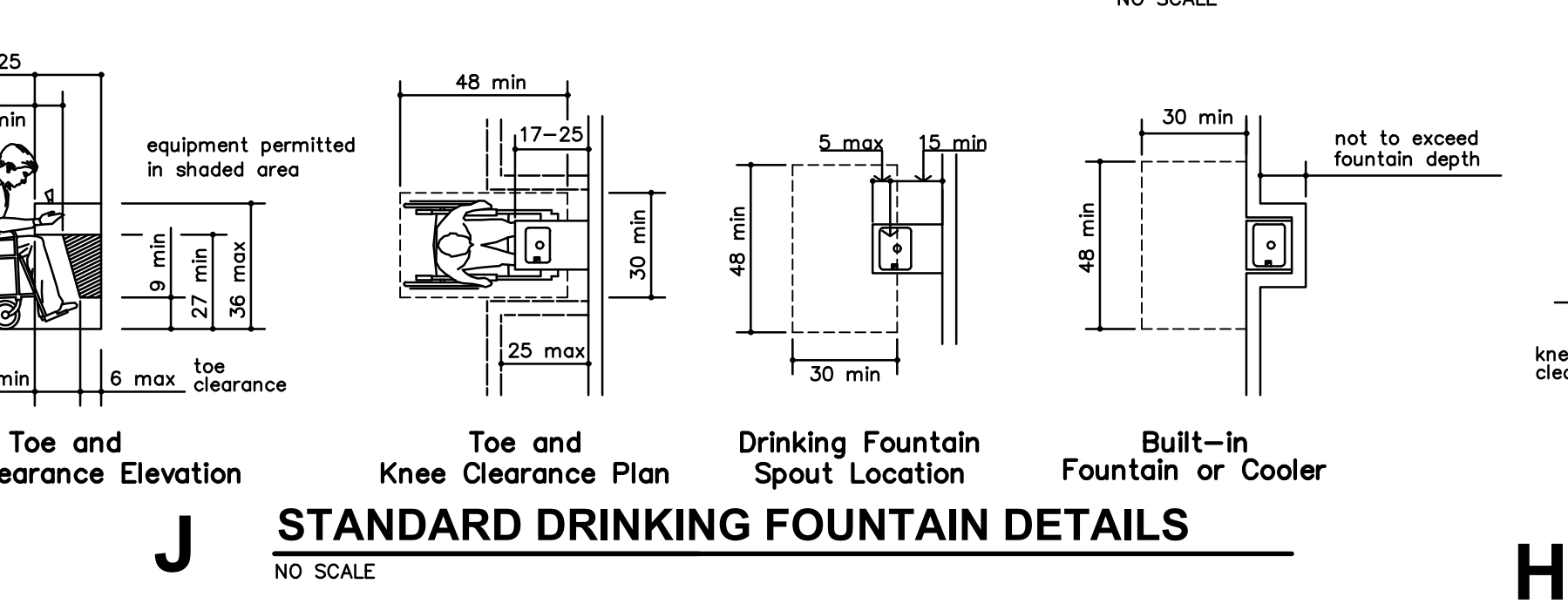
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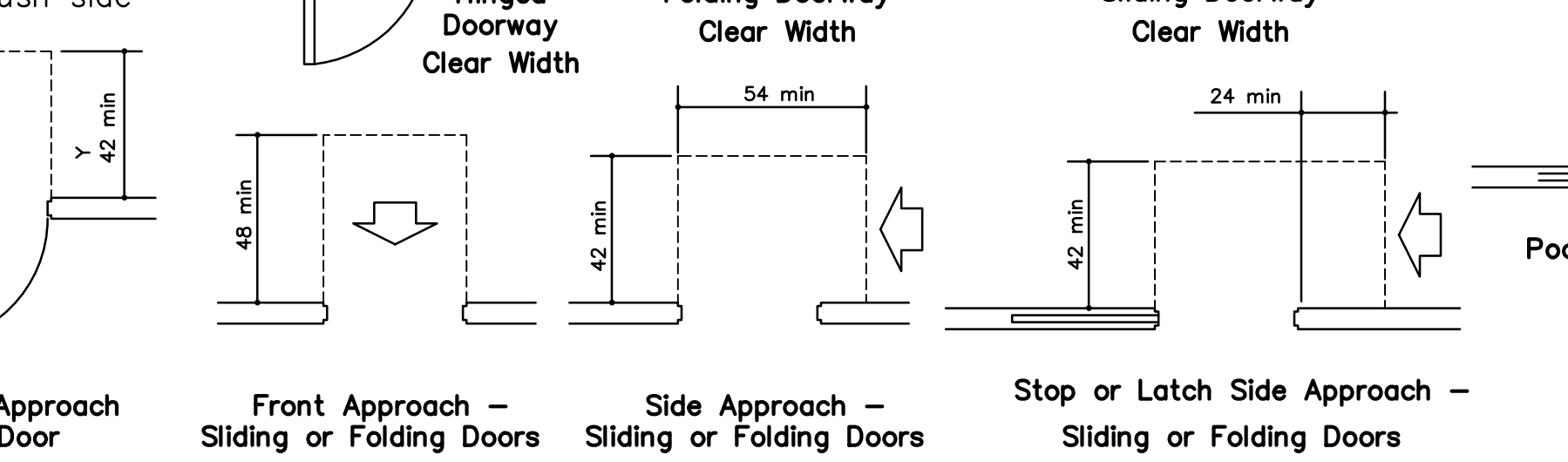
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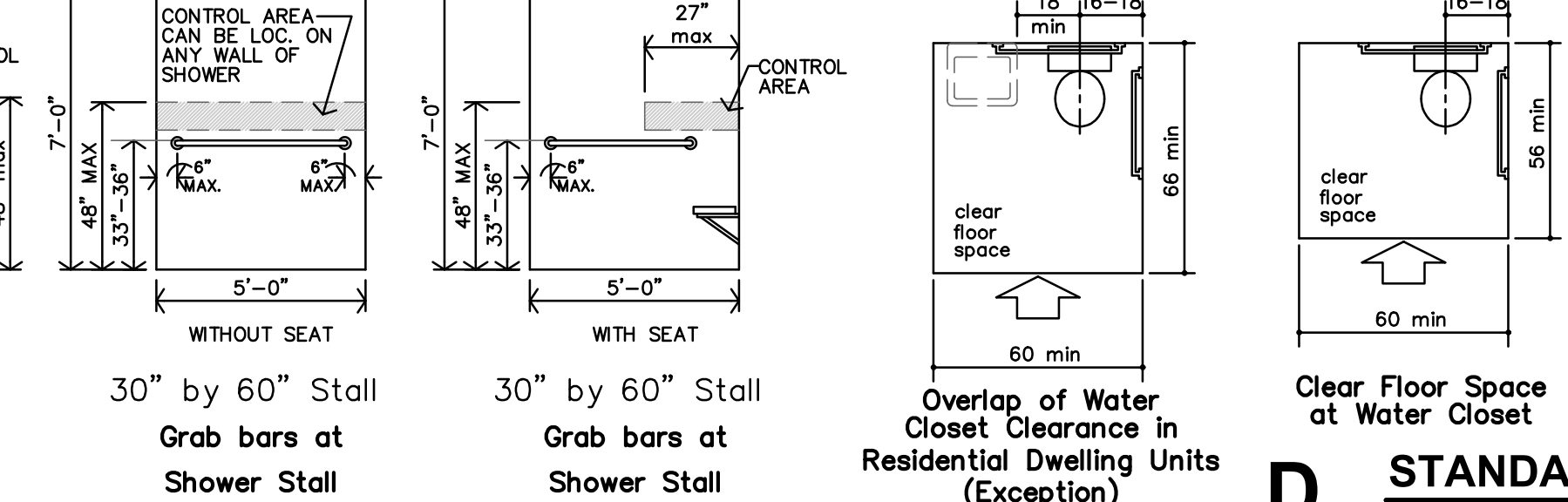
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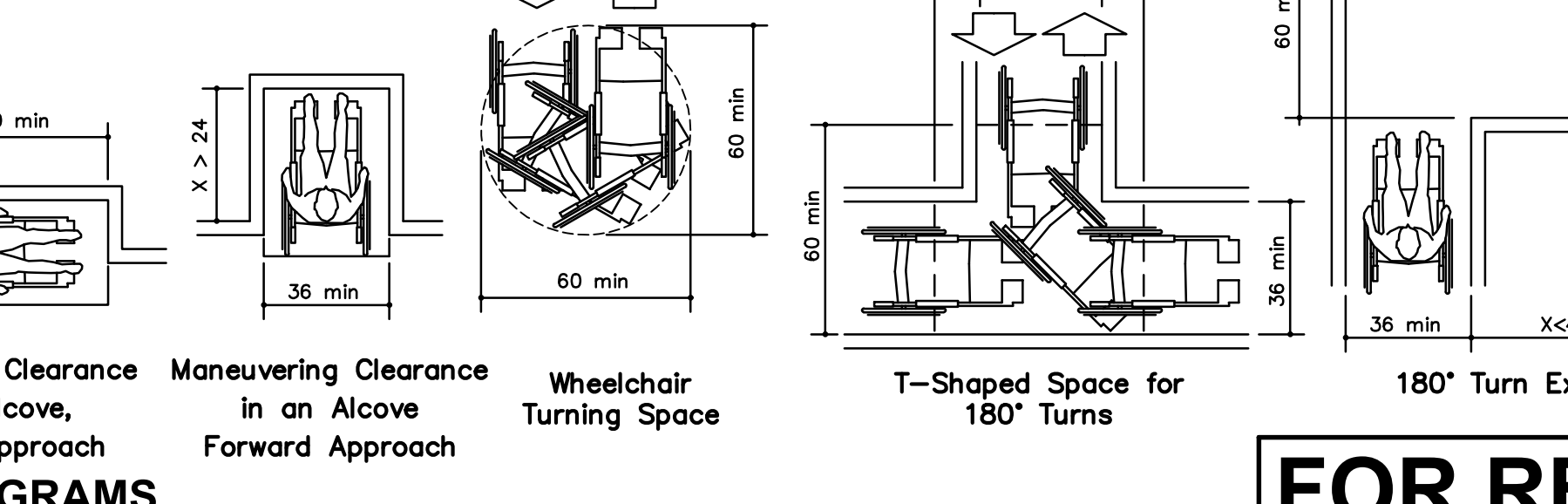
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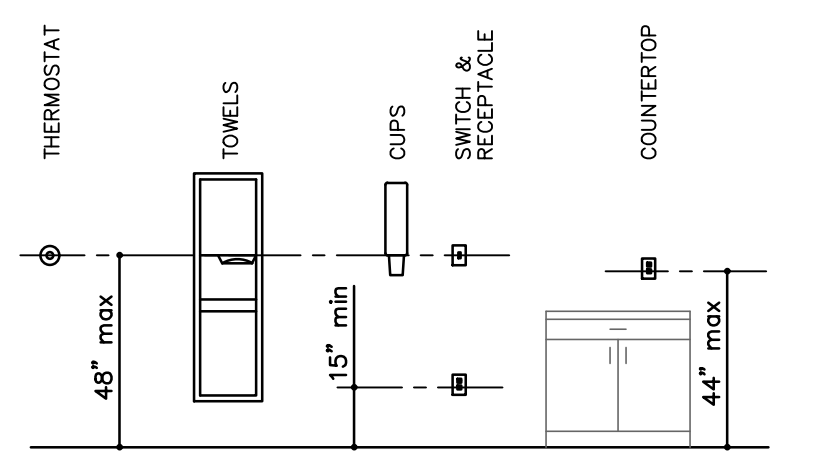
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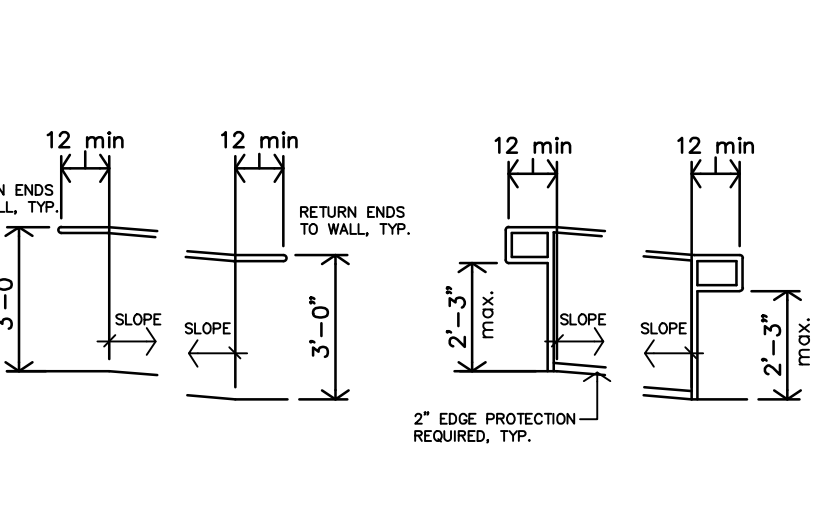
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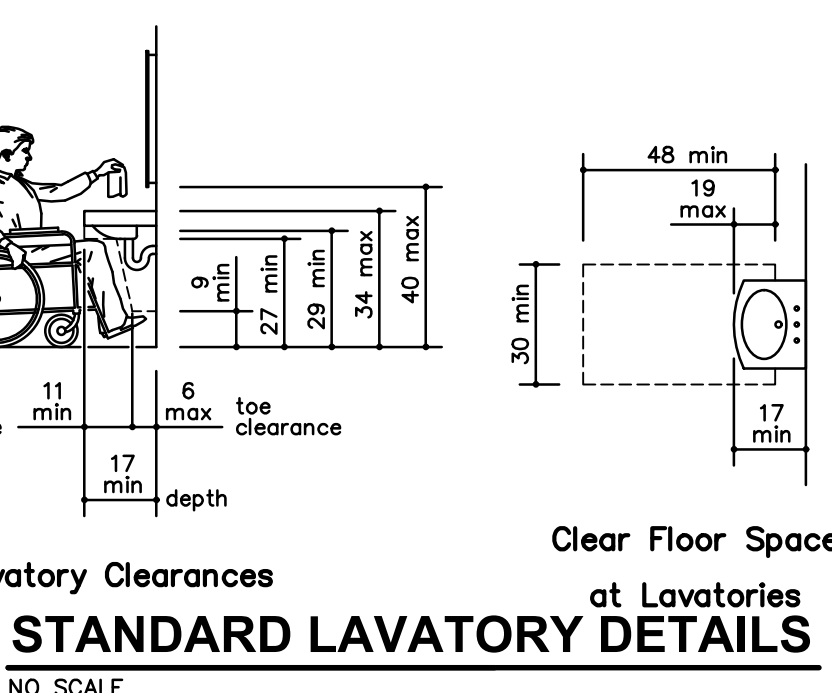
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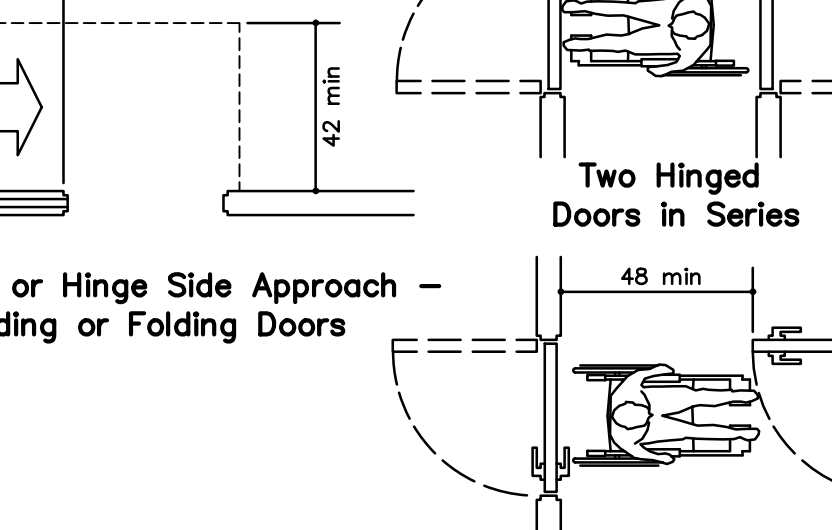
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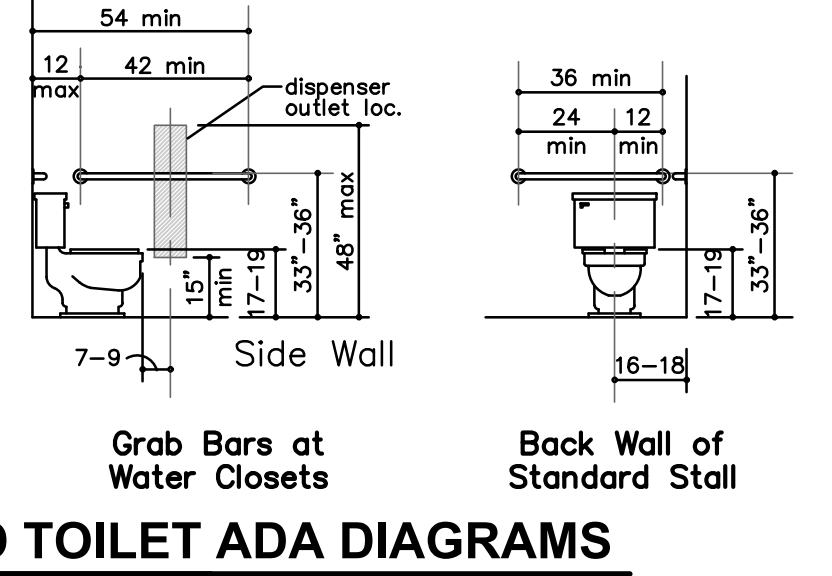
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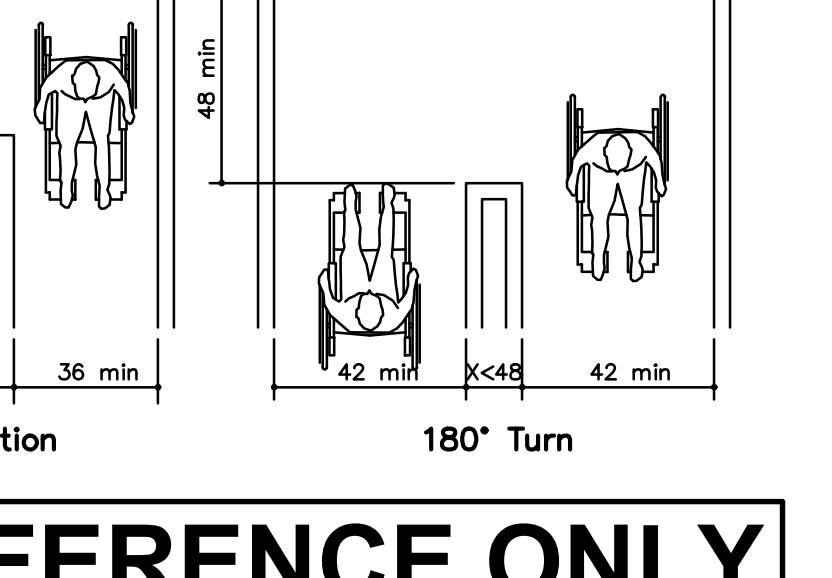
D **STANDARD TOILET ADA DIAGRAMS**
NO SCALE



J **STANDARD DRINKING FOUNTAIN DETAILS**
NO SCALE



M **STANDARD RAMP/STAIR HANDRAIL EXTENSIONS**
NO SCALE



Q **STANDARD CONTROL REACH LIMITATIONS DETAILS**
NO SCALE

JonesGillamRenz
1881 Main Street, Suite 301
Kansas City, MO 64108
jgr@jgarchitects.com

JGR

CANTERBURY VILLAGE
REMODEL, ADAPTIVE RE-USE APARTMENTS
WINFIELD, KANSAS

REVISION:

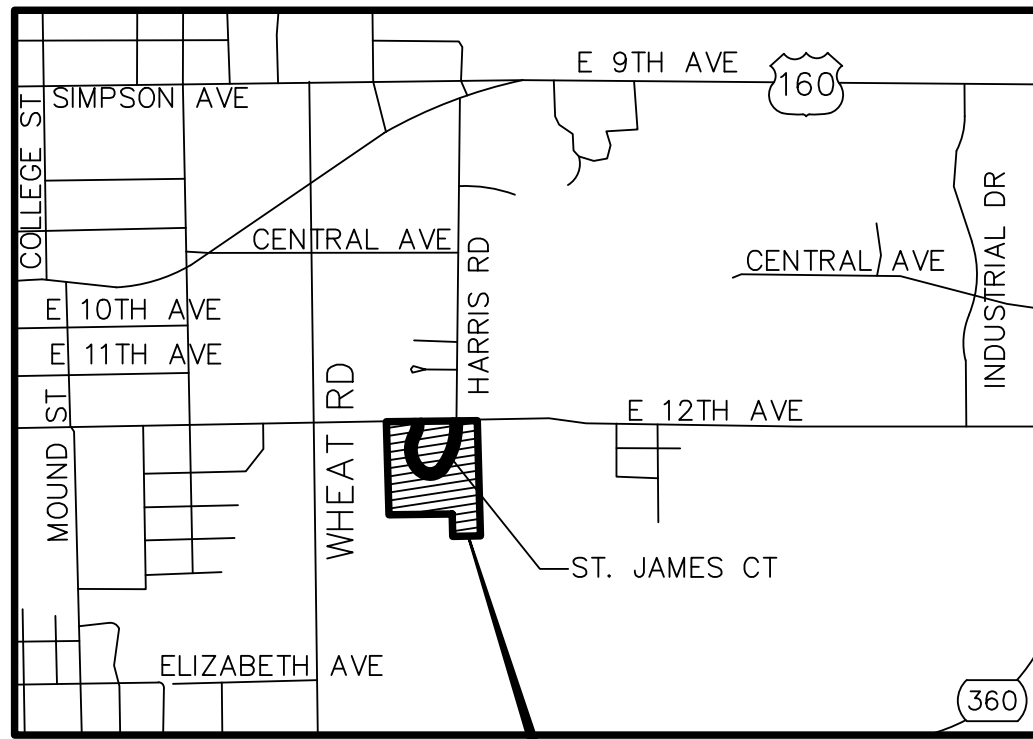
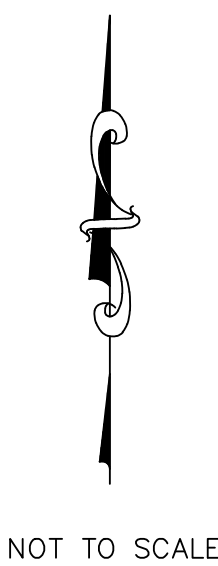
DATE: 12-12-2022
JOB: 22-3266
SHEET NO.:

ADA

FOR REFERENCE ONLY

CONSTRUCTION PLANS FOR ADA IMPROVEMENTS PLAN WINFIELD, KANSAS

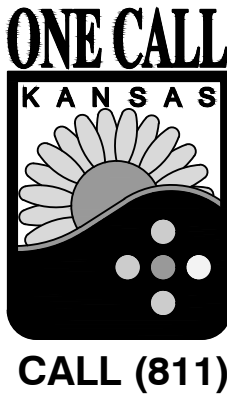
DECEMBER 2022



LOCATION MAP
CITY OF WINFIELD, KANSAS

INDEX TO SHEETS

- C-1 TITLE SHEET
- C-2 ALTA NSPS LAND TITLE SURVEY
- C-3 ALTA NSPS LAND TITLE SURVEY
- C-4 ALTA NSPS LAND TITLE SURVEY
- C-5 SITE AND DIMENSION PLABN
- C-6 GRADING AND EROSION CONTROL PLAN
- C-7 GRADING AND EROSION CONTROL NOTES
- C-8 DETAIL SHEET



GAS SERVICE
200 E. 9TH
P.O. BOX 646
WINFIELD, KANSAS 67156
(620) 221-5500

ELECTRIC UTILITY
200 E. 9TH
P.O. BOX 646
WINFIELD, KANSAS 67156
(620) 221-5600

UNDERGROUND UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE DEPICTED FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UNDERGROUND UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION DEPICTED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE DEPICTED AS ACCURATELY AS POSSIBLE FROM INFORMATION MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES SHOWN HEREON BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

CAUTION -- NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. **THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.**

SAFETY NOTICE TO CONTRACTOR

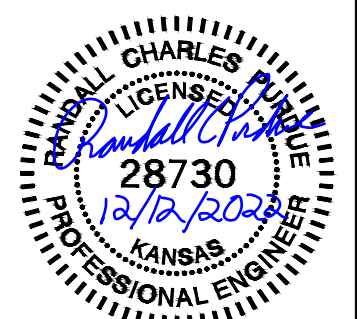
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL, CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.

REV	DATE	DESCRIPTION
0	12-12-22	INITIAL ISSUE
DD	AWK	RCP
DSN	DWN	CHK



RANDALL CHARLES PURDUE
ENGINEER
KS # 28730

2318 N. JACKSON | P.O. BOX 1304
WINFIELD, KANSAS 67156
PH. (785) 762-5040 | FAX (785) 762-7744
jcd@kveeng.com | www.kveeng.com

KAW VALLEY ENGINEERING

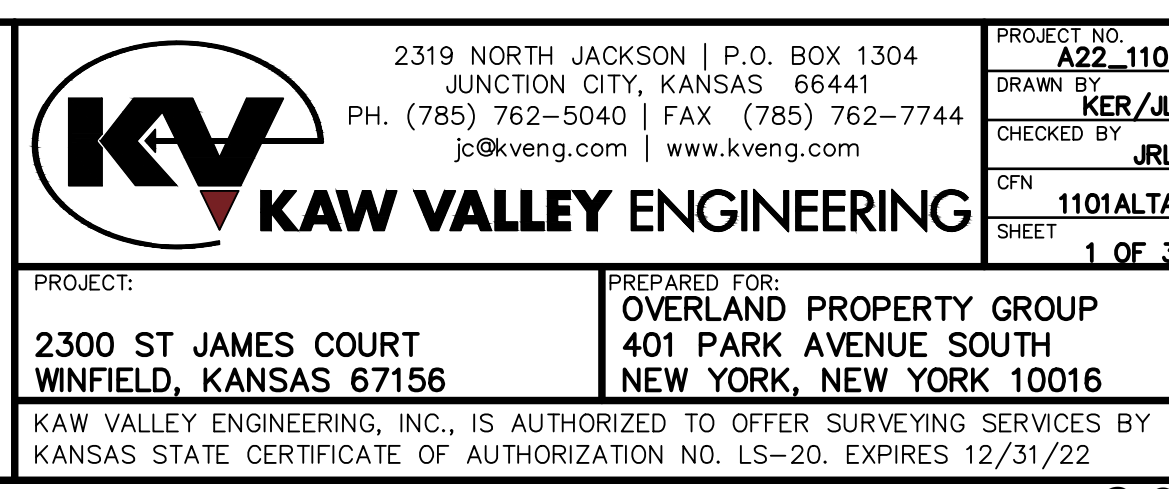
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/22

ADA IMPROVEMENTS PLAN
2300 ST. JAMES COURT
WINFIELD, KANSAS

CIVIL CONSTRUCTION PLANS
TITLE SHEET

PROJ. NO.	A22-1101
DESIGNER	DD
DRAWN BY	AWK/JT
CN	1101TS
SHEET	REV
C-1	0

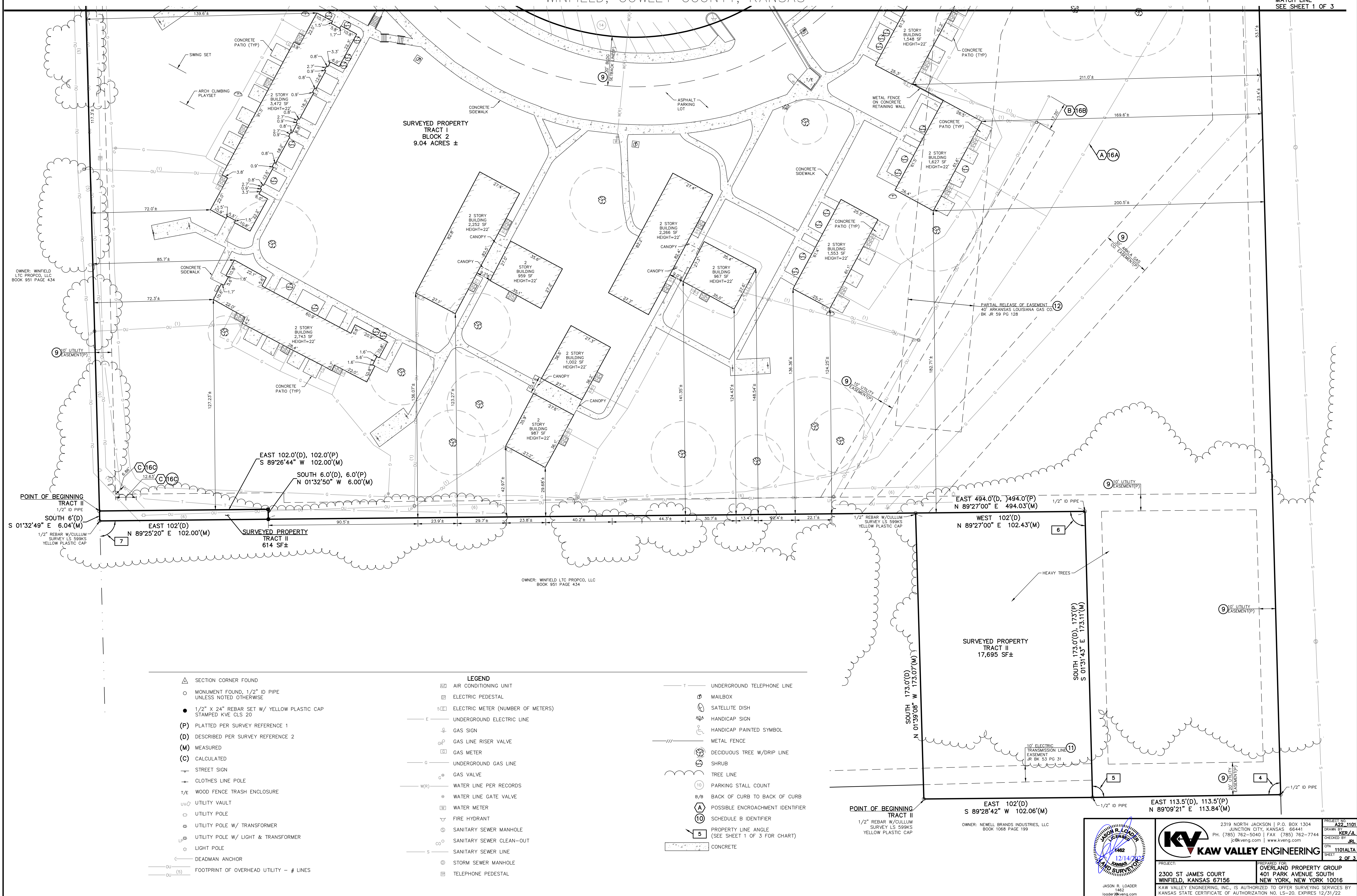
SW 1/4, SEC 26, T-32-S, R-4-E
WINFIELD, COWLEY COUNTY, KANSAS



SW 1/4, SEC 26, T-32-S, R-4-E
WINFIELD, COWLEY COUNTY, KANSAS

SCALE: 1" = 20'

MATCH LINE
SEE SHEET 1 OF 3



ALTA/NSPS LAND TITLE SURVEY

SW 1/4, SEC 26, T-32-S, R-4-E
WINFIELD, COWLEY COUNTY, KANSAS

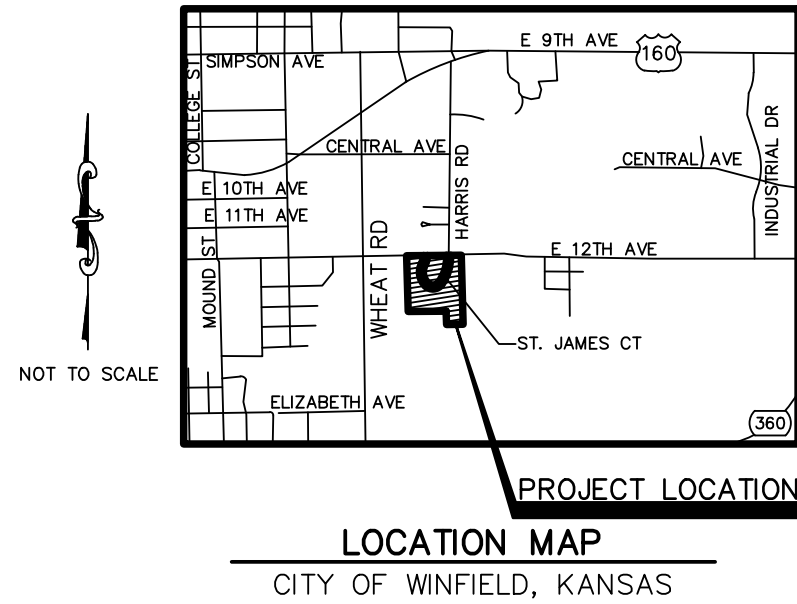


TABLE "A" NOTES:

TABLE A ITEMS NOT ADDRESSED BELOW ARE ADDRESSED ON THE FACE OF THE SURVEY OR UNDER OTHER HEADINGS ON THIS OR OTHER SHEETS.

- ADDRESS: 2300 ST. JAMES COURT
- GROSS LAND AREA: TRACT I: 485,380 SF / 11.14 ACRES
TRACT II: 18,309 SF / 0.42 ACRE
- THERE ARE 108 DESIGNATED PARKING SPACES LOCATED ON SURVEYED PROPERTY 102 STANDARD AND 6 HANDICAPPED DESIGNATED SPACES.
- CLIENT DID NOT DESIGNATE ANY PARTY WALLS.
- 11(a). PLANS/REPORTS WERE NOT PROVIDED.
- 11(b). KANSAS ONE-CALL TICKET #224444976
- SURVEYED PROPERTY IS LOCATED AT THE INTERSECTION OF ST JAMES COURT AND 12TH AVENUE.
- THERE WAS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- AT THE TIME OF SURVEY THE SURVEYOR WAS NOT MADE AWARE OF PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES.
- THERE WAS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

SURVEY REFERENCE:

- CANTERBURY VILLAGE ADDITION RECORDED IN BOOK L PAGE 17.
- KANSAS WARRANTY DEED RECORDED AS BOOK 1077 PAGE 314.

UNDERGROUND UTILITY STATEMENT:

WITH REGARD TO UNDERGROUND UTILITIES, INFORMATION FROM THE SOURCES LISTED HEREON WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. OF THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

GENERAL NOTES:

- THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH LAWS AND MINIMUM STANDARDS FOR THE STATE OF KANSAS.
- KANSAS ONE-CALL TICKET #224444976
- ALL BOUNDARY LINES OF THE SURVEYED PROPERTY ARE CONTIGUOUS WITH THE ADJOINING PARCELS
- THE PROPERTY HAS DIRECT ACCESS TO ST JAMES COURT, A DEDICATED PUBLIC STREET.
- THE SURVEY PROPERTY IS THE SAME AS THE REAL PROPERTY DESCRIBED IN SCHEDULE A OF THE TITLE COMMITMENT REFERENCED HEREON AND DESCRIBED IN THE KANSAS WARRANTY DEED RECORDED AS BOOK 1077 PAGE 314.

BASIS OF BEARINGS:

ASSUMED S 01°32'49" E ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 32 SOUTH, RANGE 4 EAST, COWLEY COUNTY, KANSAS.

POTENTIAL ENCROACHMENTS:

WITHOUT EXPRESSING A LEGAL OPINION AS TO OWNERSHIP OR NATURE, POTENTIAL ENCROACHMENTS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK FOR THIS SURVEY ARE LISTED AS FOLLOWS:

- UNDERGROUND GAS LINE IS LOCATED ON SURVEYED PROPERTY ALONG WEST, SOUTH LINES AND SOUTHEAST PORTION OF SURVEYED PROPERTY AS SHOWN HEREON.
- OVERHEAD POWER LINE, UTILITY POLE W/TRANSFORMER AND LIGHT AND DEADMAN ANCHOR IS OVER THE PLATTED EASEMENT LINE AS SHOWN HEREON.
- UNDERGROUND TELEPHONE LINE IS OVER THE PLATTED EASEMENT LINE AT THE SOUTHWEST CORNER AS SHOWN HEREON.

THIS SURVEY DEPICTS THE FEATURES OBSERVABLE IN THE PROCESS OF CONDUCTING THE FIELDWORK FOR THIS SURVEY. THEREFORE, SOME POTENTIAL ENCROACHMENTS MAY NOT HAVE BEEN OBSERVED, ARE NOT OBSERVABLE, OR ARE NOT THE OPINION OF THE SURVEYOR. IT MAY BE THE OPINION OF OTHERS, THERE ARE POTENTIAL ENCROACHMENTS NOT LISTED. AN ENCROACHMENT IS A LEGAL MATTER AND CAN ONLY BE ESTABLISHED OR DEFINED BY THE JUDICIAL SYSTEM.

FLOOD STATEMENT:

THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN "OTHER AREAS ZONE X" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP NUMBERS 20035C0351D AND 20035C0352D EFFECTIVE DATE OCTOBER 19, 2010.

ZONING:

THERE WAS NO ZONING REPORT OR LETTER PROVIDED TO THE SURVEYOR BY THE CLIENT.

TITLE COMMITMENT:

PREFERRED TITLE OF ST. JOSEPH, L.L.C., AGENT FOR COMMONWEALTH LAND TITLE INSURANCE COMPANY
COMMITMENT NO: 20220817785
COMMITMENT DATE: NOVEMBER 1, 2022 @ 7:30 AM

SCHEDULE B -- PART II ITEMS:

PER PARAGRAPH 6.C.II OF THE MINIMUM STANDARDS DETAILS REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, EASEMENTS AND OTHER SURVEY-RELATED MATTERS BURDENING THE SURVEYED PROPERTY AND IDENTIFIED IN THE TITLE EVIDENCE PROVIDED TO OR OBTAINED BY THE SURVEYOR ARE SUMMARIZED BELOW. THE SURVEYOR'S NOTES ARE IN REGARD TO THE LEGAL DESCRIPTION OF THE DOCUMENT ONLY AND DO NOT PURPORT TO GIVE A LEGAL OPINION FOR THE ITEM LISTED. ITEMS NOT LISTED ARE EITHER NOT MATTERS OF SURVEY OR DO NOT CONTAIN A LEGAL DESCRIPTION.

- EASEMENTS AND BUILDING SETBACK LINES AFFECTING SUBJECT PROPERTY AS SHOWN ON PLAT OF CANTERBURY VILLAGE RECORDED IN PLAT BOOK L AT PAGE 17, IN THE OFFICE OF THE REGISTER OF DEEDS FOR COWLEY COUNTY KANSAS. (LIES WITHIN TRACT I SURVEYED PROPERTY AND ITS LOCATION IS SHOWN)
- MINERAL RESERVATION CONTAINED IN WARRANTY DEED FROM SISTERS OF ST. JOSEPH OF WICHITA TO HERBERT KELLEY AND PAULINE KELLEY, AS JOINT TENANTS RECORDED IN BOOK 209 AT PAGE 377, IN SAID REGISTER'S OFFICE. (LIES WITHIN TRACT I AND TRACT II SURVEYED PROPERTY)
- EASEMENT FOR RIGHT OF WAY GRANTED TO THE CITY OF WINFIELD, KANSAS AS SHOWN IN DOCUMENT FILED FOR RECORD DECEMBER 19, 1967 AND RECORDED IN JR. BOOK 53 AT PAGE 31, IN SAID REGISTER'S OFFICE. (LIES WITHIN TRACT II SURVEYED PROPERTY AND ITS LOCATION IS SHOWN)
- EASEMENT GRANTED TO ARKANSAS LOUISIANA GAS COMPANY AS SHOWN IN DOCUMENT FILED FOR RECORD SEPTEMBER 3, 1964 AND RECORDED IN JR. BOOK 45 AT PAGE 123, IN SAID REGISTER'S OFFICE. (MAY LIE WITHIN OR CROSS TRACT I SURVEYED PROPERTY, PROVIDED DOCUMENTS ARE TOO VAGUE TO PLOT)
- PARTIAL RELEASE OF EASEMENT WAS FILED FOR RECORD NOVEMBER 12, 1970 AND RECORDED IN JR. BOOK 59 AT PAGE 128. IN SAID REGISTER'S OFFICE. (LIES WITHIN TRACT I SURVEYED PROPERTY AND ITS LOCATION IS SHOWN)
- TERMS AND CONDITIONS OF MEMORANDUM OF AMENDED AND RESTATED GROUND LEASE DATED JUNE 1, 2005, FILED FOR RECORD OCTOBER 24, 2005 AND RECORDED IN BOOK 755 AT PAGE 793, IN SAID REGISTER'S OFFICE, EXECUTED BY AND BETWEEN SEABURY DEVELOPMENT SOCIETY, A KANSAS NONPROFIT CORPORATION ("LANDLORD") AND WINFIELD APARTMENT PARTNERS, LLC, A KANSAS LIMITED LIABILITY COMPANY ("TENANT"). (COVERS ENTIRE SURVEYED PROPERTY)
- 236(E)(2) USE AGREEMENT FILED FOR RECORD OCTOBER 24, 2005 AND RECORDED IN BOOK 755 AT PAGE 802, IN SAID REGISTER'S OFFICE, EXECUTED BY AND BETWEEN WINFIELD APARTMENT PARTNERS, LLC, A KANSAS LIMITED LIABILITY COMPANY AND SECRETARY OF HOUSING AND URBAN DEVELOPMENT. (COVERS ENTIRE SURVEYED PROPERTY)
- DECLARATION OF LAND USE RESTRICTIVE COVENANTS FOR LOW-INCOME HOUSING TAX CREDITS DATED OCTOBER 6, 2005, FILED FOR RECORD OCTOBER 24, 2005 AND RECORDED IN BOOK 755 AT PAGE 821, IN SAID REGISTER'S OFFICE, EXECUTED BY AND BETWEEN KANSAS HOUSING RESOURCES CORPORATION AND WINFIELD APARTMENT PARTNERS, LLC. (COVERS ENTIRE SURVEYED PROPERTY)
- SUBJECT TO THE FOLLOWING ENCROACHMENTS APPEARING ON SURVEY PREPARED BY KAW VALLEY ENGINEERING PROJECT NO. A22-1101:
 - UNDERGROUND GAS LINE IS LOCATED ALONG WEST, SOUTH LINES AND SOUTHEAST PORTION OF SUBJECT PROPERTY. (LIES WITHIN TRACT I SURVEYED PROPERTY AND ITS LOCATION IS SHOWN)
 - OVERHEAD POWER LINE, UTILITY POLE WITH TRANSFORMER AND LIGHT AND DEADMAN ANCHOR IS OVER THE PLATTED EASEMENT LINE. (LIES WITHIN TRACT I SURVEYED PROPERTY AND ITS LOCATION IS SHOWN)
 - UNDERGROUND TELEPHONE LINE IS OVER THE PLATTED EASEMENT LINE AT THE SOUTHWEST CORNER OF SUBJECT PROPERTY. (LIES WITHIN TRACT I SURVEYED PROPERTY AND ITS LOCATION IS SHOWN)

TITLE COMMITMENT SCHEDULE A DESCRIPTION (BOOK 1077 PAGE 314):

TRACT I:
BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 32 SOUTH, RANGE 4 EAST OF THE 6TH P.M. IN COWLEY COUNTY, KANSAS, THENCE SOUTH ALONG THE WEST LINE OF SAID QUARTER SECTION A DISTANCE OF 761.5 FEET TO A POINT, THENCE EAST PARALLEL TO THE NORTH LINE OF SAID QUARTER SECTION A DISTANCE OF 102.0 FEET TO A POINT, THENCE SOUTH PARALLEL TO THE WEST LINE OF SAID QUARTER SECTION A DISTANCE OF 6.0 FEET TO A POINT, THENCE EAST PARALLEL TO THE NORTH LINE OF SAID QUARTER SECTION A DISTANCE OF 494.0 FEET TO A POINT, THENCE SOUTH PARALLEL TO THE WEST LINE OF SAID QUARTER SECTION A DISTANCE OF 173.0 FEET TO A POINT, THENCE EAST PARALLEL TO THE NORTH LINE OF SAID QUARTER SECTION A DISTANCE OF 113.5 FEET TO A POINT, THENCE NORTH PARALLEL TO THE WEST LINE OF SAID QUARTER SECTION A DISTANCE OF 940.5 FEET TO A POINT ON THE NORTH LINE OF SAID QUARTER SECTION, THENCE WEST ALONG THE NORTH LINE OF SAID QUARTER SECTION A DISTANCE OF 709.9 FEET TO THE POINT OF BEGINNING EXCEPT ANY AND ALL DEDICATIONS TO THE CITY OF WINFIELD OR TO THE PUBLIC FOR STREET RIGHT-OF-WAY THAT ARE OF RECORD, ALSO DESCRIBED AS BLOCKS 1 AND 2, CANTERBURY VILLAGE ADDITION TO THE CITY OF WINFIELD, COWLEY COUNTY KANSAS.

TRACT II:
BEGINNING 761.5 FEET SOUTH OF THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 32 SOUTH, RANGE 4 EAST OF THE 6TH P.M. COWLEY COUNTY KANSAS; THENCE SOUTH 6 FEET, THENCE EAST 102 FEET, THENCE NORTH 6 FEET; THENCE WEST 102 FEET TO POINT OF BEGINNING, IN THE CITY OF WINFIELD, KANSAS AND BEGINNING 57 RODS SOUTH AND 494 FEET EAST OF THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 32 SOUTH, RANGE 4 EAST OF THE 6TH P.M., THENCE EAST 102 FEET, THENCE NORTH 173 FEET, THENCE WEST 102 FEET, THENCE SOUTH 173 FEET TO POINT OF BEGINNING, IN THE CITY OF WINFIELD, KANSAS.

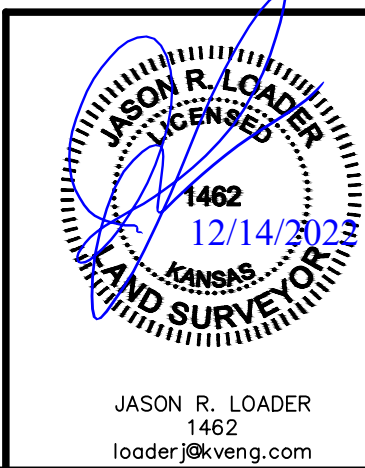
SURVEYOR CERTIFICATION:

TO INTERIM HOLDINGS, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, WINFIELD APARTMENT PARTNERS, LLC, A KANSAS LIMITED LIABILITY COMPANY, PREFERRED TITLE OF ST. JOSEPH, L.L.C., COMMONWEALTH LAND TITLE INSURANCE COMPANY AND OVERLAND PROPERTY GROUP:

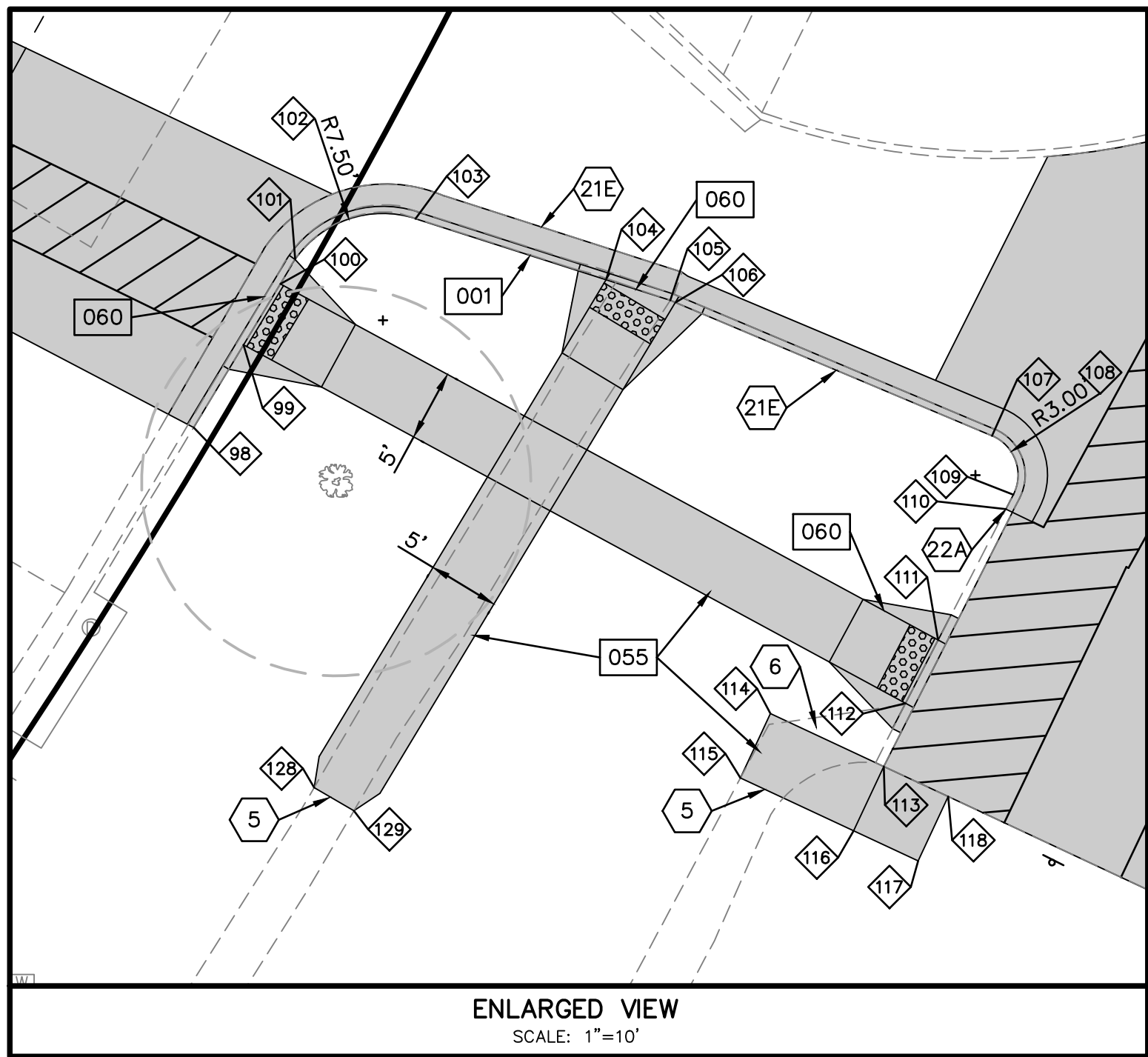
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 11(b), 12, 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 15, 2022.

DATE OF PLAT OR MAP: SEPTEMBER 27, 2022

(AN ORIGINAL SEAL AND SIGNATURE IN BLUE INK SIGNIFIES THE CERTIFICATION OF THE ENTIRE FACE OF THIS DOCUMENT AND ALL OF ITS CONTENT.)



2319 NORTH JACKSON P.O. BOX 1304 JUNCTION CITY, KANSAS 66441 PH. (785) 762-5040 FAX (785) 762-7744 jc@kveng.com www.kveng.com		PROJECT NO. A22-1101 DRAWN BY KER/L CHECKED BY JRL GPN 1101ALTA SHEET 3 OF 3
PROJECT: 2300 ST JAMES COURT WINFIELD, KANSAS 67156		PREPARED FOR: OVERLAND PROPERTY GROUP 401 PARK AVENUE SOUTH NEW YORK, NEW YORK 10016
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER SURVEYING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION NO. LS-20. EXPIRES 12/31/22		



COORDINATE TABLE			
◇	NORTHING	EASTING	DESCRIPTION
58	1523697.83	1758452.31	SW
59	1523711.24	1758455.95	ER
60	1523698.95	1758458.26	PI
61	1523701.07	1758469.47	RP
62	1523693.10	1758469.84	RP
63	1523698.61	1758471.78	ER
64	1523694.73	1758470.79	EC
65	1523693.81	1758474.41	PI
66	1523697.87	1758475.44	PI
67	1523747.40	1758483.67	PI
68	1523743.23	1758462.20	SW
69	1523744.18	1758456.28	SW
70	1523721.91	1758458.03	RAMP
71	1523717.13	1758457.10	RAMP
72	1523695.99	1758446.85	SW
73	1523690.86	1758445.85	SW
74	1523703.43	1758422.51	SW
75	1523707.78	1758424.49	SW
76	1523710.15	1758420.57	SW
77	1523705.80	1758418.11	SW
78	1523682.90	1758410.92	SW
79	1523685.36	1758406.57	SW
80	1523685.52	1758406.28	SW
81	1523682.73	1758411.22	SW
82	1523722.41	1758367.28	SW
83	1523731.21	1758392.03	SW
84	1523735.96	1758332.12	ER
85	1523740.24	1758385.53	SW
86	1523743.29	1758386.10	SW
87	1523752.10	1758390.70	SW
88	1523753.40	1758388.21	SW
89	1523762.52	1758392.98	SW
90	1523760.94	1758396.01	SW
91	1523768.86	1758400.25	SW
92	1523766.83	1758404.05	SW
93	1523564.48	1758402.43	PI
94	1523565.38	1758424.64	PI
95	1523549.35	1758415.44	PI
96	1523533.84	1758406.53	PI
97	1523518.97	1758398.49	ER
98	1523519.40	1758434.14	RAMP
99	1523525.21	1758437.65	EC
100	1523529.49	1758440.24	RAMP
101	1523531.20	1758441.29	RAMP
102	1523526.93	1758447.45	SW
103	1523534.07	1758449.74	ER
104	1523529.78	1758463.14	RAMP
105	1523528.33	1758467.66	PI
106	1523528.18	1758468.01	SW
107	1523518.81	1758490.28	ER
108	1523516.05	1758489.11	RP
109	1523514.67	1758491.78	RP
110	1523513.66	1758491.26	EC
111	1523504.45	1758486.49	RAMP
112	1523500.01	1758484.20	RAMP
113	1523495.57	1758482.67	SW
114	1523499.28	1758474.70	SW

COORDINATE TABLE			
◇	NORTHING	EASTING	DESCRIPTION
115	1523494.75	1758472.59	SW
116	1523491.04	1758480.55	SW
117	1523488.92	1758485.08	SW
118	1523491.45	1758487.70	SW
119	1523472.56	1758531.97	SW
120	1523504.63	1758547.30	PI
121	1523526.19	1758509.17	SW
122	1523543.56	1758518.55	SW
123	1523546.96	1758512.75	SW
124	1523542.39	1758510.26	SW
125	1523529.50	1758503.24	SW
126	1523536.45	1758494.19	SW
127	1523532.71	1758486.31	EC
128	1523494.08	1758442.62	SW
129	1523492.45	1758445.41	SW
130	1523693.47	1758521.33	PI
131	1523501.92	1758551.93	R
200	1523849.05	1757947.07	SEC
201	1523855.86	1758656.59	PT ON SEC

SEC = SECTION CORNER
PT ON SEC = POINT ON SECTION LINE
PI = RADIUS POINT
RP = POINT OF INTERSECTION
ER = END RADIUS
EP = EDGE OF PAVEMENT
EC = END OF CURB
SW = CORNER OF SIDEWALK
RAMP = ADA SIDEWALK RAMP

* NORTHWEST CORNER, SOUTHWEST 1/4,
SECTION 26, T-32-S, R-4-E

** MAG NAIL ON SECTION LINE, NORTH OF
NORTHEAST PROPERTY CORNER
(SEE SHEET C-2 FOR BEARING AND
DISTANCE)

NOTES:

- 1 REMOVE DUMPSIDE PAD PAVEMENT. REMOVE CONCRETE CURB AND GUTTER TO LIMITS SHOWN. SALVAGE FENCE TO RESET AT NEW POSITION.
- 2 PEDESTRIAN CROSSWALK. SLOPE SHALL NOT BE GREATER THAN 2% ANY DIRECTION
- 3 SAW CUT TO LIMITS SHOWN. REMOVE AND REPLACE PAVEMENT
- 4 REMOVE CONCRETE PAD, RELOCATE MAILBOX TO NEW CONCRETE PAD WEST OF CURRENT LOCATION
- 5 SAW CUT TO LIMITS SHOWN. REMOVE & REPLACE SIDEWALK
- 6 SAW CUT TO LIMITS SHOWN. REMOVE SIDEWALK
- 12C 4" YELLOW STRIPES @ 2'-0" O.C. (45')
- 22A TAPER CURBS FROM 6" TO 0" IN 2'-0"
- 22B SAW CUT EXISTING CURB AND GUTTER TO LIMITS SHOWN. REMOVE CONTRACTOR TO REMOVE A SIGN

LIMITS OF CONSTRUCTION - REMOVE AND REPLACE CONCRETE AS NOTED
HEREON - SEE GRADING PLAN.

CONSTRUCTION NOTES:

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH (OWNER).
2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE ("STANDARD SPECIFICATIONS").
3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INTERFERE AS FEASIBLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA.
5. ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND OPERATIONS SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
6. PAINT FOR STRIPING ON PUBLIC STREETS, HIGHWAYS AND ENTRANCES SHALL BE REFLECTORIZED PAINT CONFORMING TO THE SPECIFICATIONS OR REQUIREMENTS OF THE AUTHORITY GOVERNING THE STREET OR HIGHWAY.

	DETAILS - SEE DETAIL SHEET C-8 FOR THE FOLLOWING DETAILS
001	INTEGRAL CONCRETE CURB AND GUTTER
001A	INTEGRAL CONCRETE CURB AND GUTTER (1'-6"
040	REGULAR DUTY CONCRETE
042	HEAVY DUTY CONCRETE
055	CONCRETE SIDEWALK
060	SIDEWALK RAMPS
102	ACCESSIBLE STRIPING
120	ACCESSIBLE PARKING SIGNAGE

[illegible]

RANDALL CHARLES PURDUE
ENGINEER
KS # 28730

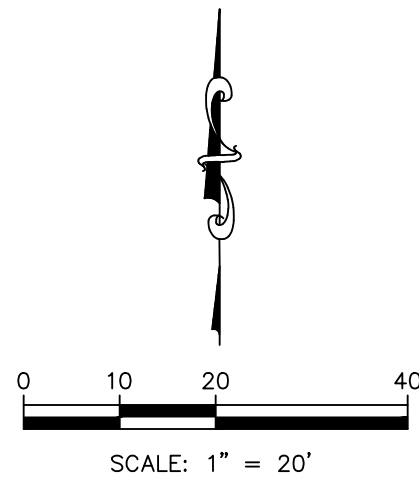
KAW VALLEY ENGINEERING

2319 N. JACKSON, P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040 FAX (785) 762-7744
jke@kve.com | www.kve.com

KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-1131 EXPIRES 12/31/22

ADA IMPROVEMENTS PLAN 2300 ST. JAMES COURT WINFIELD, KANSAS	CIVIL CONSTRUCTION PLANS SITE AND DIMENSION PLANS
--	--

PROJ. NO.		A22_1101	
DESIGNER		DRAWN BY	
DD		AWK/JT	
CFN			
1101SP-DIM			
SHEET		REV	
C-5		0	



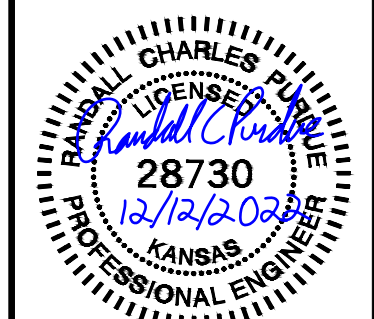
- LEGEND (PROPOSED)**
- 44.00 SPOT ELEVATION (ADD 1100), TOP OF PAVEMENT
 - 42.52 TOP OF CURB (ADD 1100)
 - 42.02 FLOWLINE OF CURB (ADD 1100)
 - FLOW DIRECTION
 - 43.61(M/E) SPOT ELEVATION (ADD 1100) EXISTING ELEVATION

- EROSION & PROPOSED IMPROVEMENTS LEGEND:**
- WATTLE INSTALLATION

- DETAILS - SEE DETAIL SHEET C-8 FOR THE FOLLOWING DETAILS**
- 805 WATTLE INSTALLATION SEDIMENTATION FENCE
- NOTES:**
- 21C MATCH EXISTING PAVEMENT ELEVATIONS

- CONTRACTOR TO VERIFY EXISTING SIDEWALK CROSS SLOPE. REPLACE IF NECESSARY TO MEET ADA REQUIREMENTS OF CROSS SLOPE 2% OR LESS, ALONG WITH RUNNING SLOPE 5% OR LESS.
- CONTRACTOR TO CONSTRUCT NEW SIDEWALK/PAVEMENT.

REV	DATE	DESCRIPTION
0	12-12-22	INITIAL ISSUE
DD		AWK
DD		DSN
		CHK



RANDALL CHARLES PURDUE
ENGINEER
KS # 28730

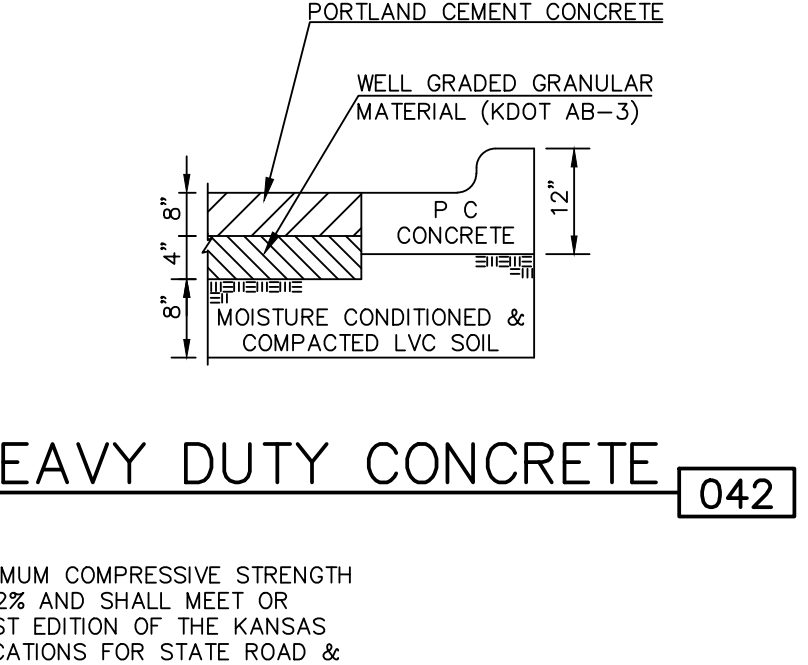
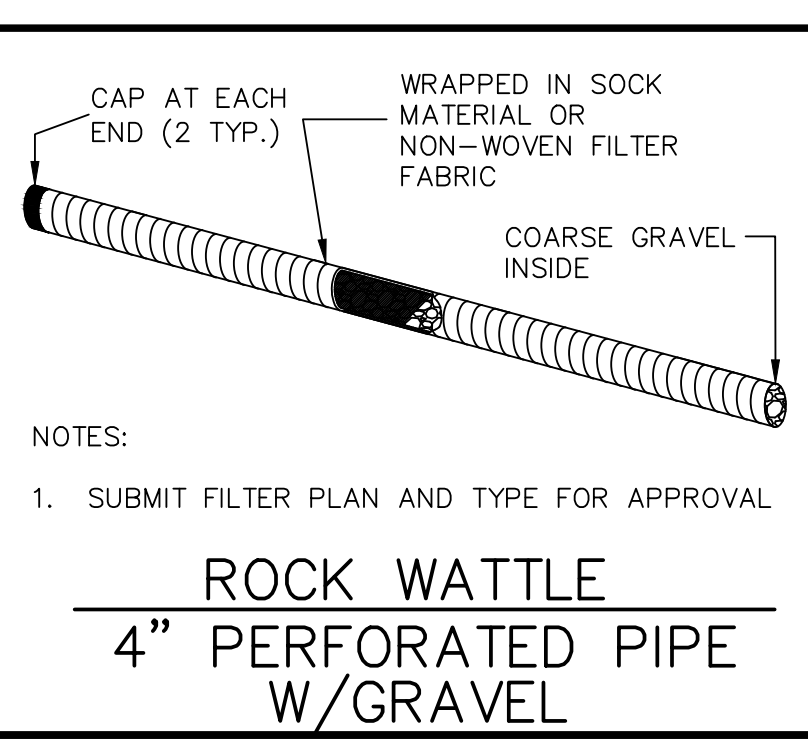
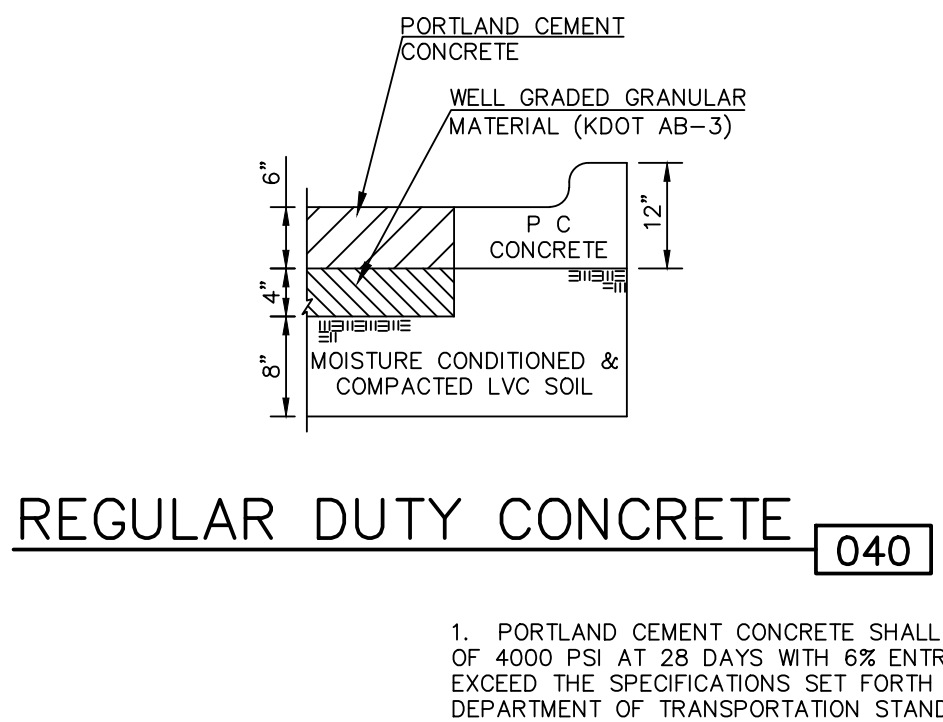
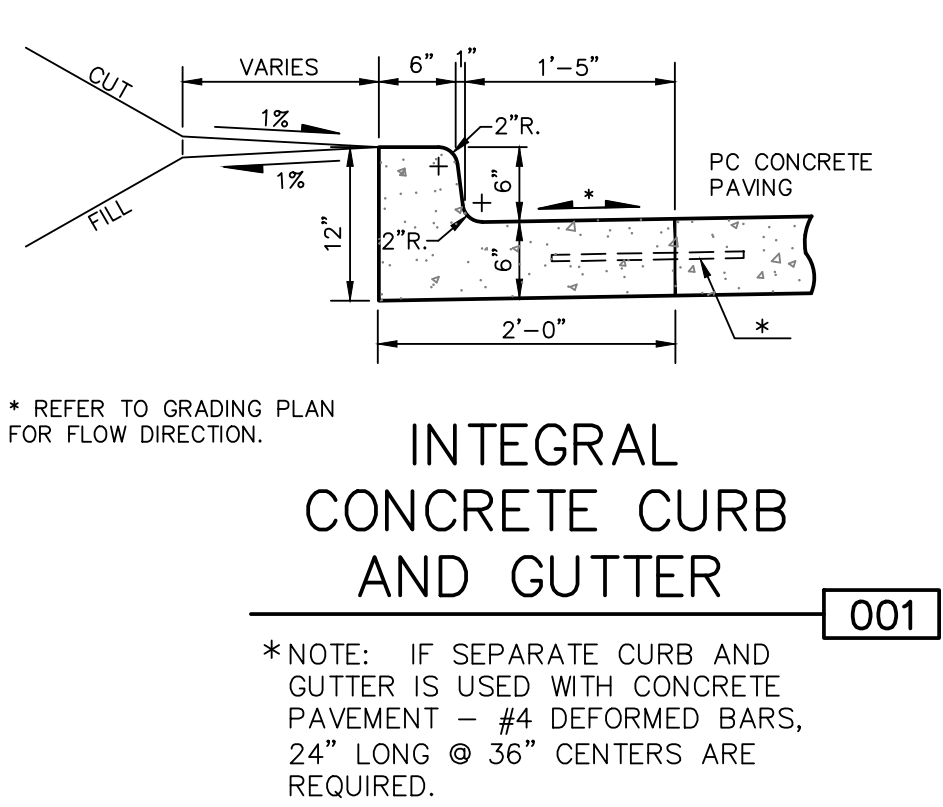
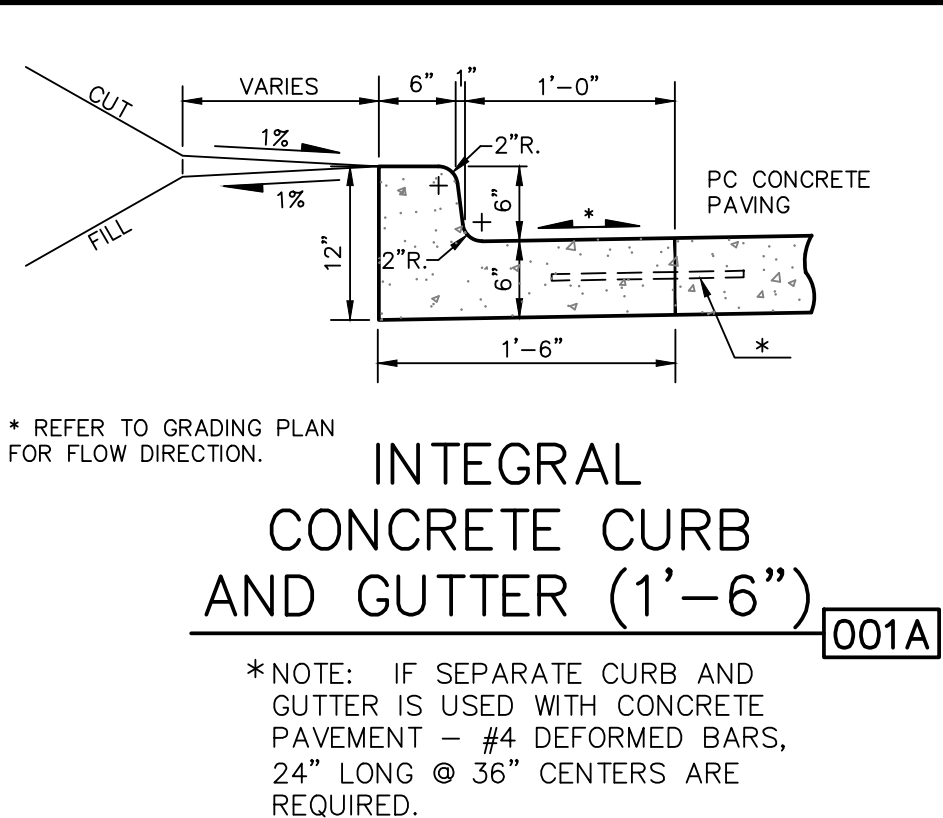
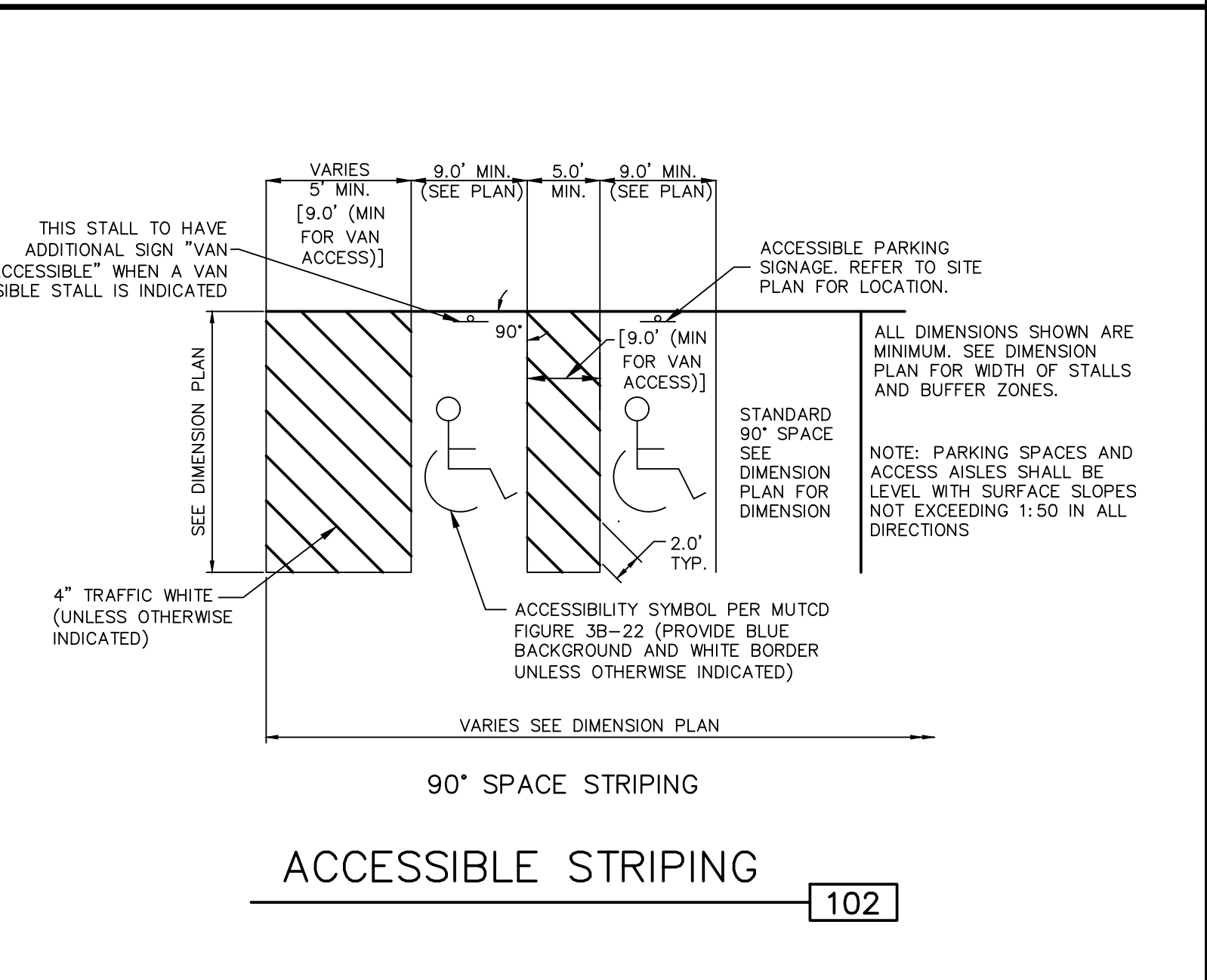
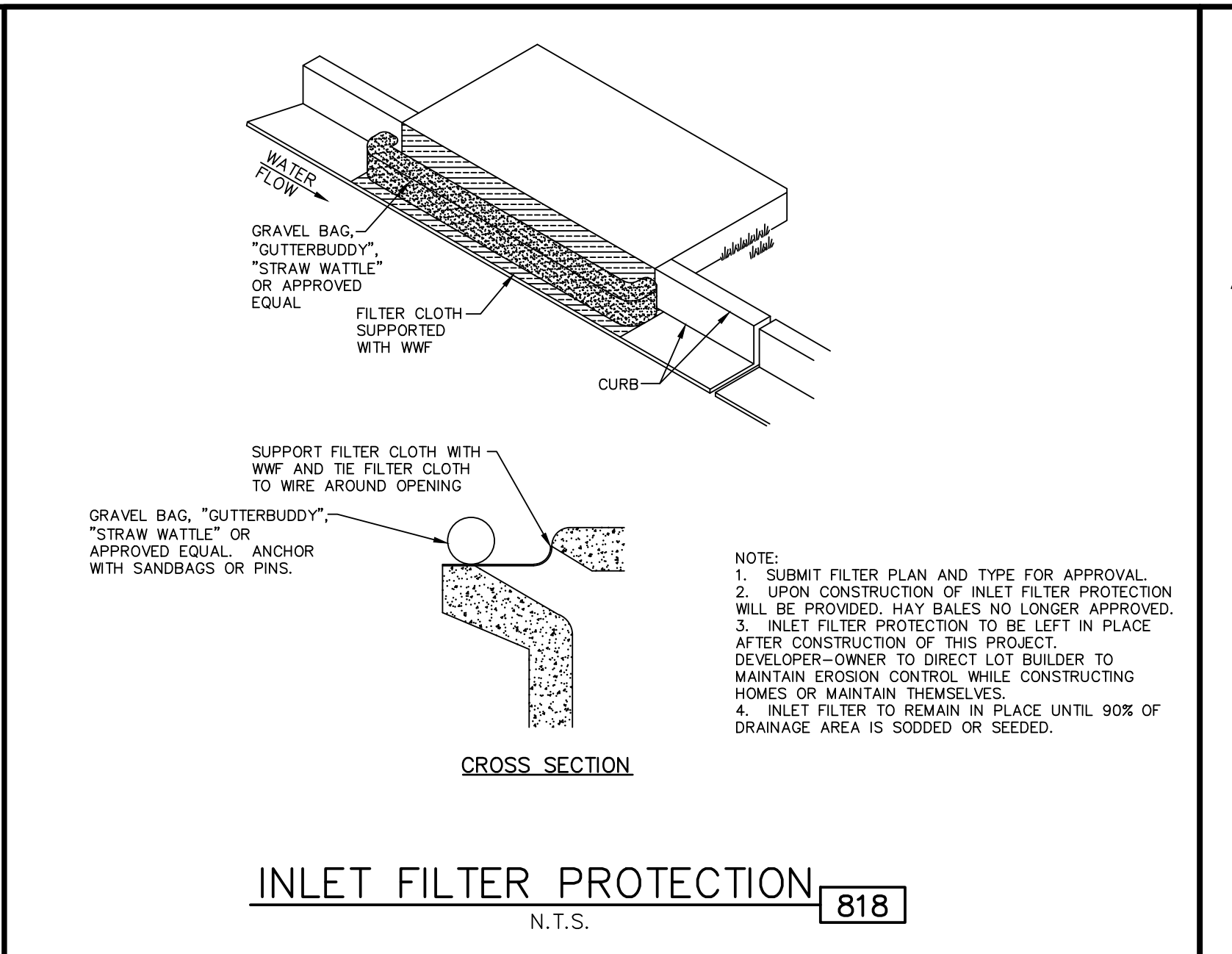
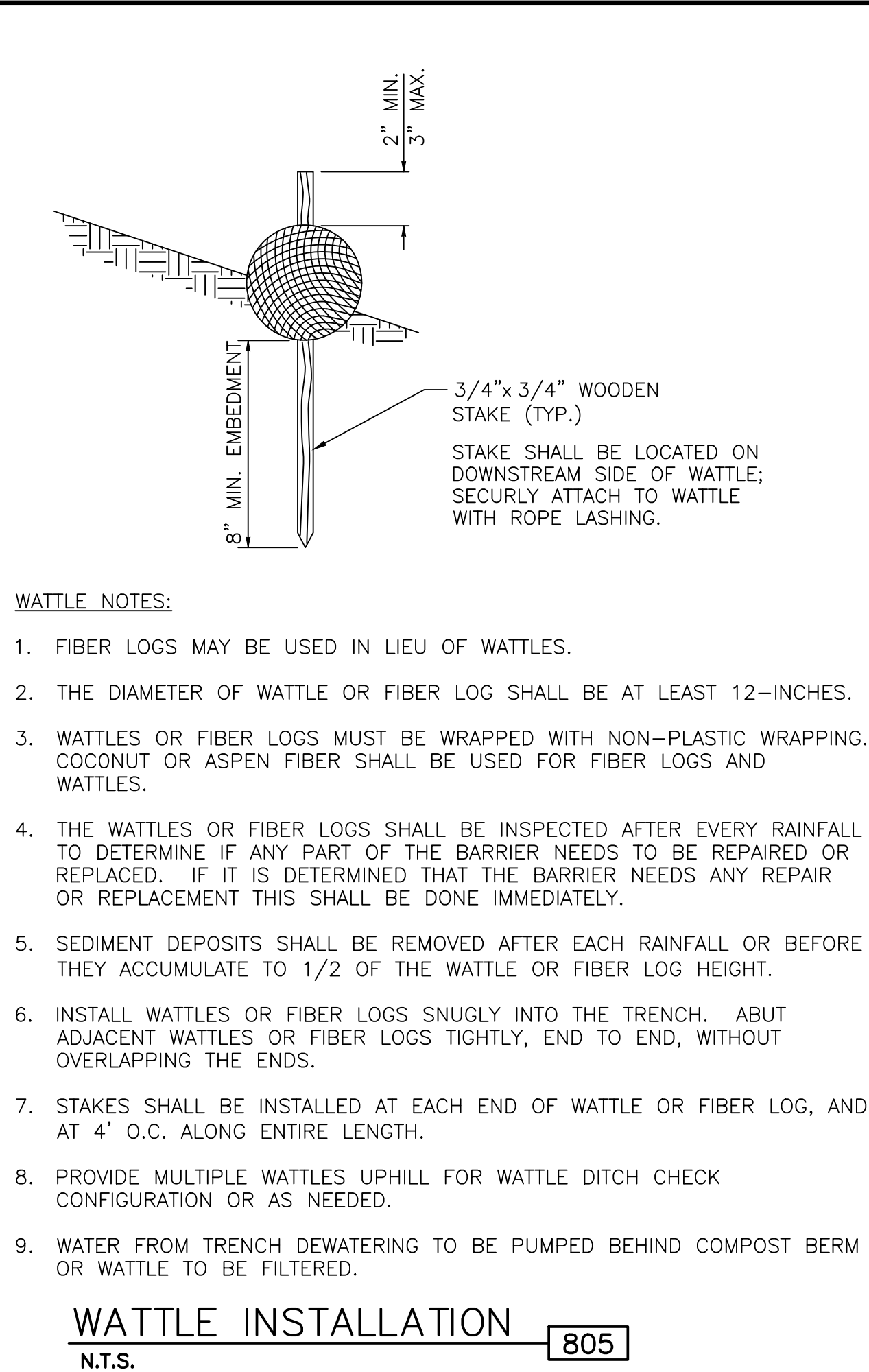
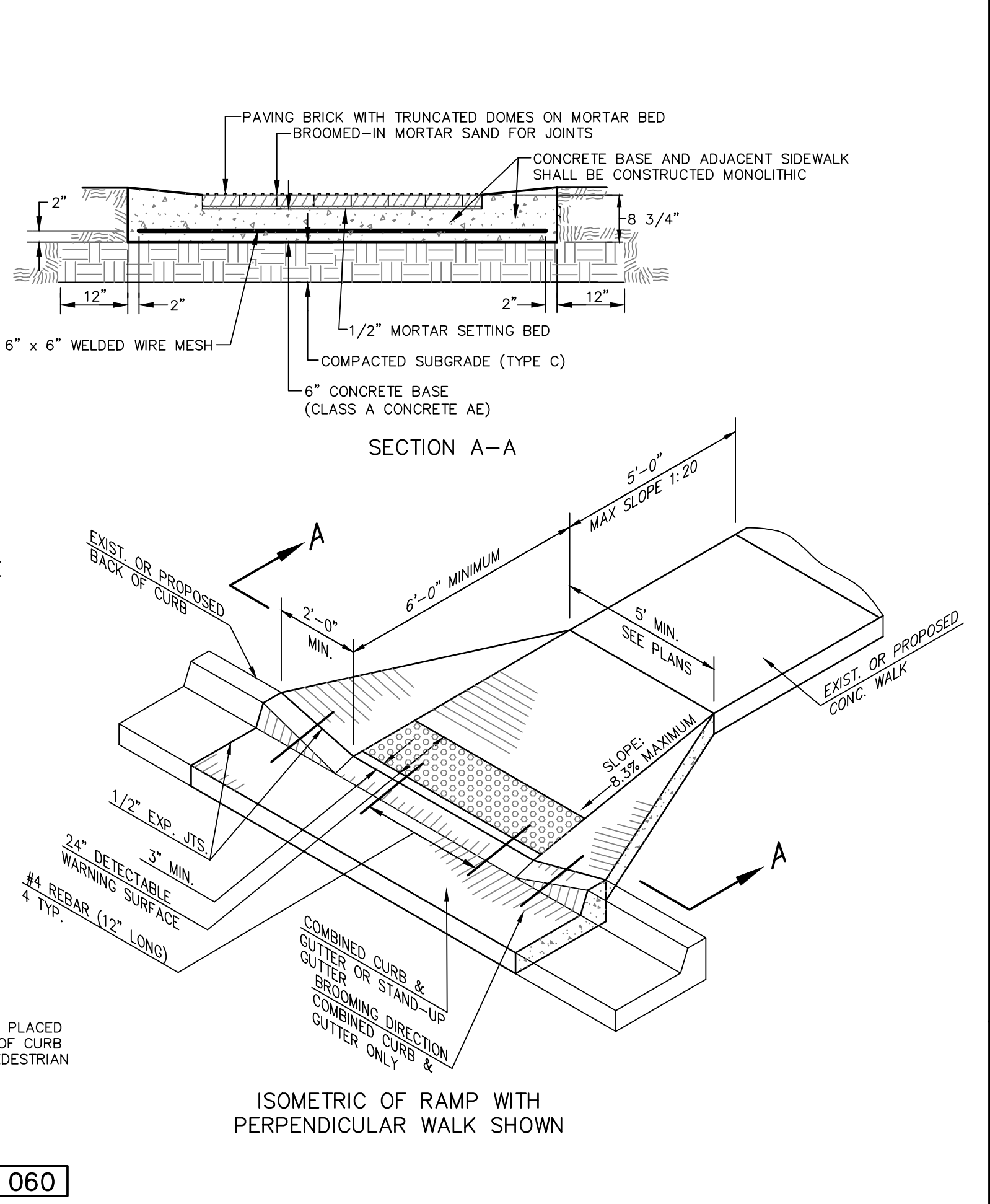
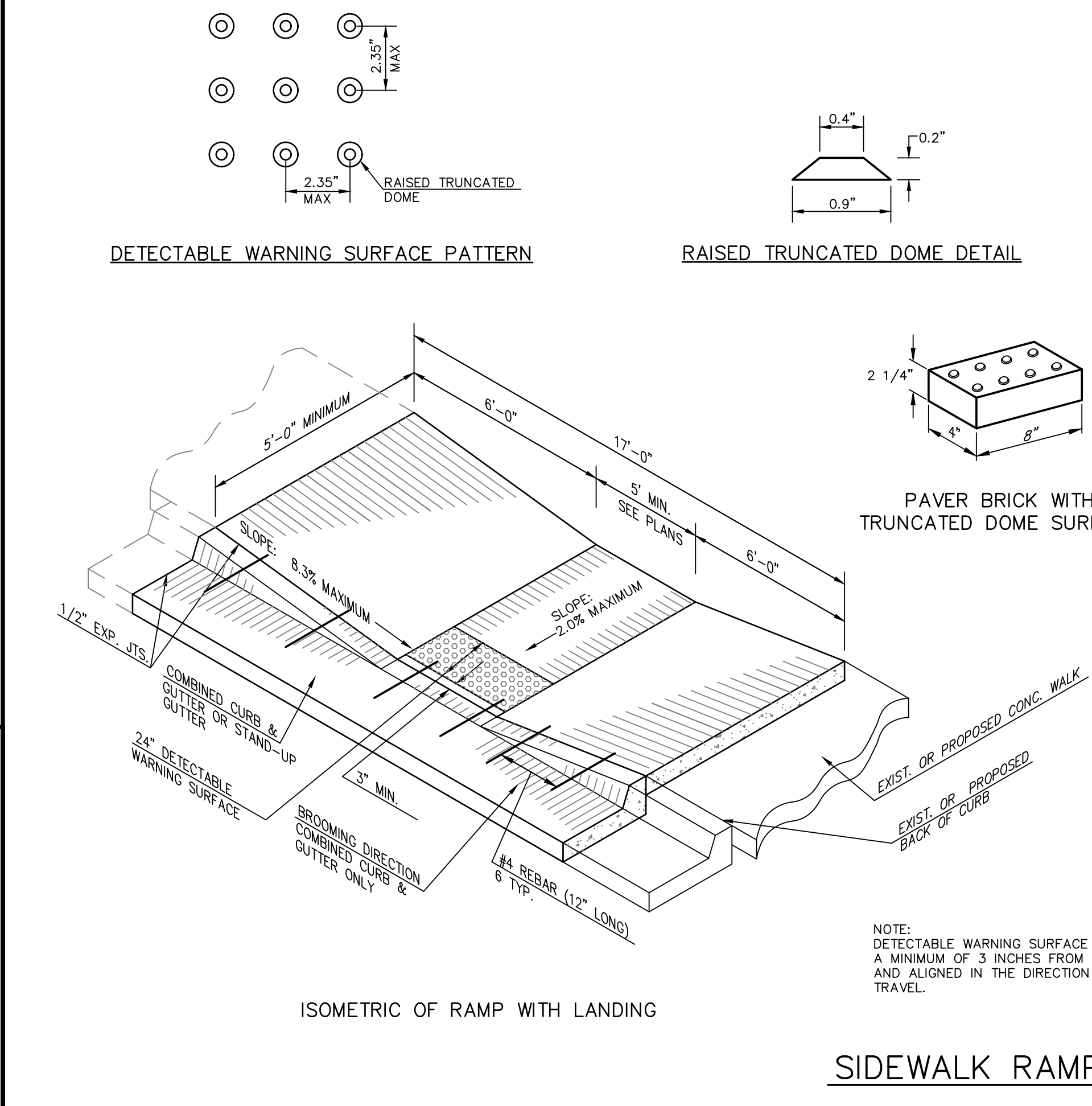
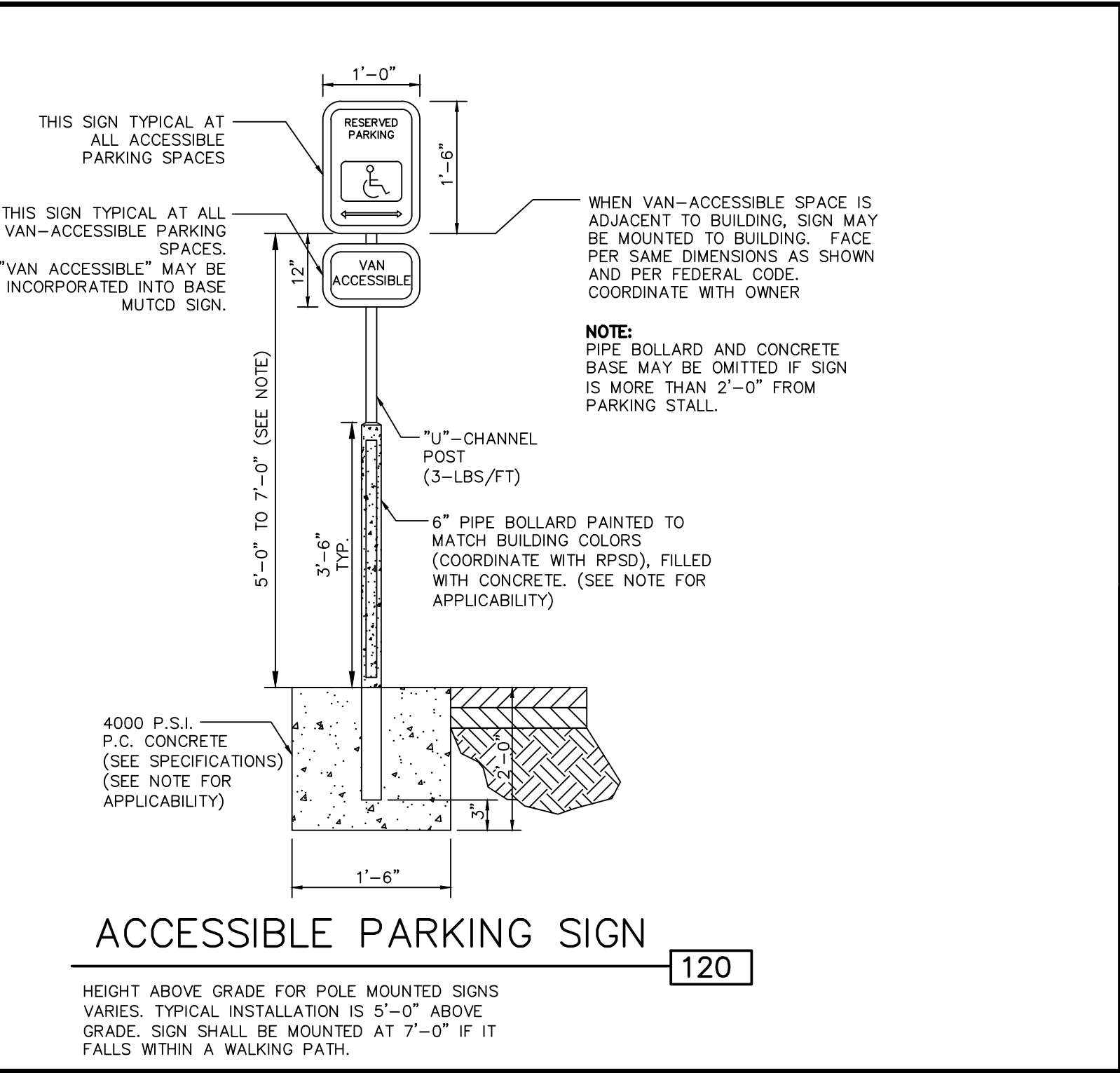
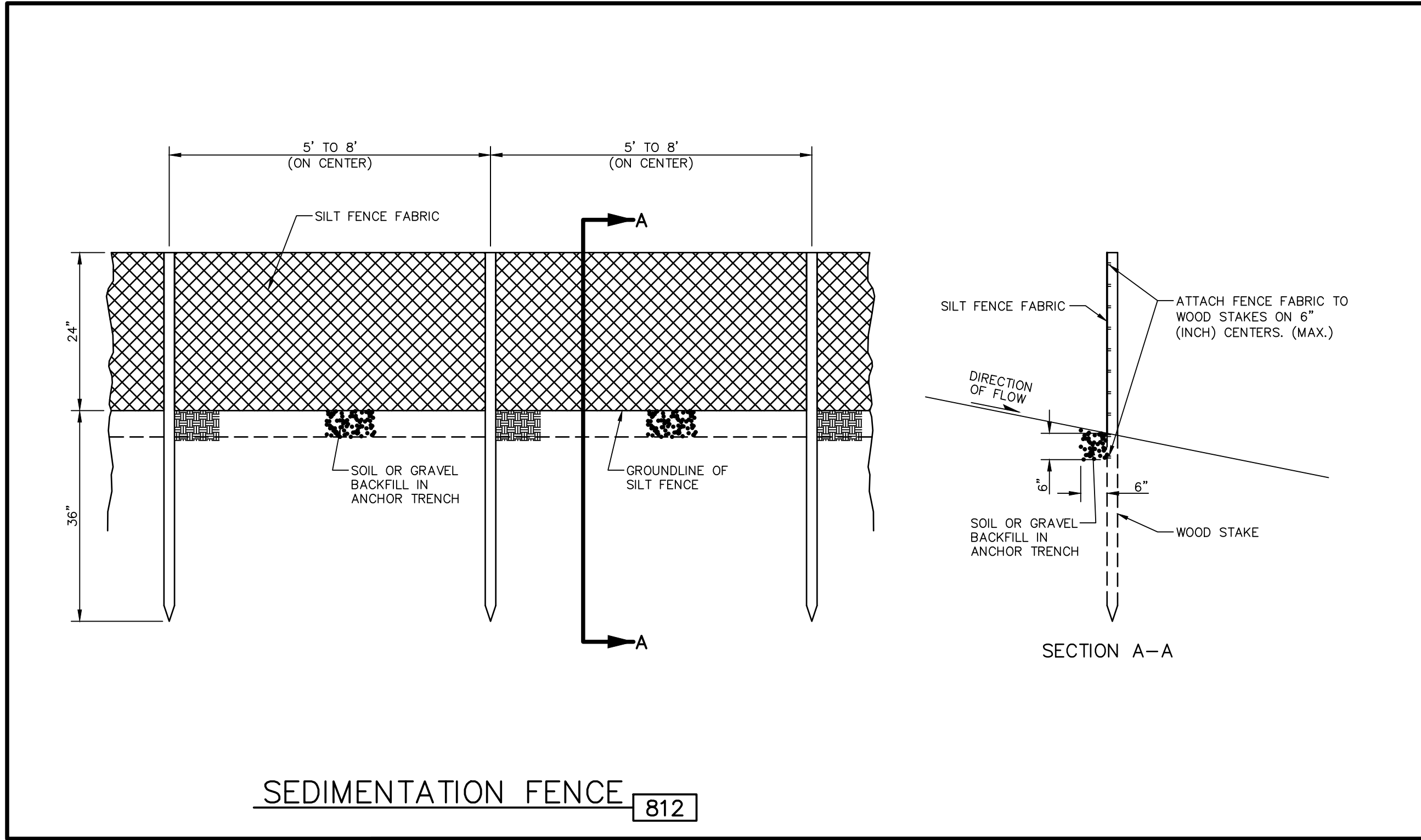
2318 N. JACKSON | P.O. BOX 1304
WINFIELD, KS 67156
PH. (785) 762-5040 | FAX (785) 762-7744
jcd@kveeng.com | www.kveeng.com

KAW VALLEY ENGINEERING
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/22

ADA IMPROVEMENTS PLAN
2300 ST. JAMES COURT
WINFIELD, KANSAS

CIVIL CONSTRUCTION PLANS
GRADING AND EROSION CONTROL PLAN

PROJ. NO.	A22-1101
DESIGNER	DD
DRAWN BY	AWK/JT
CN	1101GP-ECP
SHEET	REV
C-6	0



ACCESSIBLE UNIT SYMBOLS

- (5) UNITS SHALL BE ACCESSIBLE UNITS
(2) 1-bedroom UNITS
(3) 3-bedroom UNITS
- (2) UNITS SHALL BE HEARING & VISION IMPAIRED ACCESSIBLE UNITS
(1) 2-bedroom UNITS
(1) 3-bedroom UNITS

SITE KEY NOTES

- (A) NEW ACCESSIBLE PARKING — REF. CIVIL
- (B) — NEW ACCESSIBLE ROUTE & SIDEWALK
- (C) EXISTING ADJACENT PLAYGROUND — TO BE REPLACED WITH NEW REF. ENLARGED PLANS SHEET A1.2
- (D) REPLACE EXISTING STEEL STAIR RAILING WITH NEW PER CODE. ALTERNATE BID
- (E) EXISTING TRASH ENCLOSURE — TO BE REPLACED WITH NEW
- (F) EXISTING SIDEWALK — FILL, PATCH, & REPAIR AS NECESSARY
- (G) EXISTING PAVING & ASPHALT — FILL, PATCH, & REPAIR AS NECESSARY TO DRIVES & PARKING
- (H) EXISTING BUILDING & UNIT SIGNAGE: TO BE REPLACED ALTERNATE BID
- (J) NEW PAVING AROUND EXISTING MAILBOX. MOVE MAILBOX TO NEW LOCATION IF SHOWN.
- (K) NEW STRIPING

NOTE:
CONC. SLABS & SIDEWALKS SHALL BE 4"th.min 3,500 PSI W/ 6x6-W1.2xW1.2 WWF. SLOPE ACROSS SLAB NO MORE THAN 2% (1/8" PER 12") OVER 4"th. GRANULAR FILL (MIN.) COMPACTED OVER SUBGRADE, PREP PER SOILS REPORT.

UNIT SUMMARY

UNIT LABEL	UNIT DESCRIPTION	SQ FT per UNIT	TOTAL NO. of UNITS	TOTAL UNIT SF
1A	1bed/1bath	551 sf	10	6,612 sf
1B	Accessible 1bed/1bath	551 sf	2	1,102 sf
2A	2bed/1bath	734 sf	14	10,276 sf
2B	2bed/1bath	734 sf	10	7,340 sf
2C	2bed/1bath	725 sf	20	14,500 sf
2D	2bed/1bath	914 sf	2	1,828 sf
3A	3bed/1bath	914 sf	39	35,646 sf
3B	3bed/1bath	914 sf	3	2,742 sf
TOTAL			100	173,770 sf

MEASURED PER APPENDIX C: DESIGN REQUIREMENTS OF THE KANSAS HOUSING CORPORATION.
INTERIOR WALL CONDITIONED SPACE ONLY

PROJECT SUMMARY

BUILDING TYPE	BUILDING LAYOUT	UNIT LABELS*	BUILDING AREA GSF	NO. of BUILDINGS	TOTAL PROJECT SF
A	2-1bd,6-2bd	1A,2A,2B	5,897 sf	2	11,794 sf
B	1-1bd,4-2bd	1A,2C	3,704 sf	2	7,408 sf
C	4-2bd	2C	3,089 sf	3	9,267 sf
D	2-1bd,4-2bd	1A,1B,2A,2B	4,293 sf	3	12,879 sf
E	4-3bd	3A,3B	3,822 sf	2	7,644 sf
F	6-3bd	3A	5,733 sf	5	28,665 sf
G	2-2bd,4-3bd	2D,3A,3B	5,733 sf	1	5,733 sf
	CLUBHOUSE		2,411 sf	1	2,411 sf
	MAINTENANCE SHED		361 sf	1	361 sf

TOTAL BUILDING	20	86,162 sf
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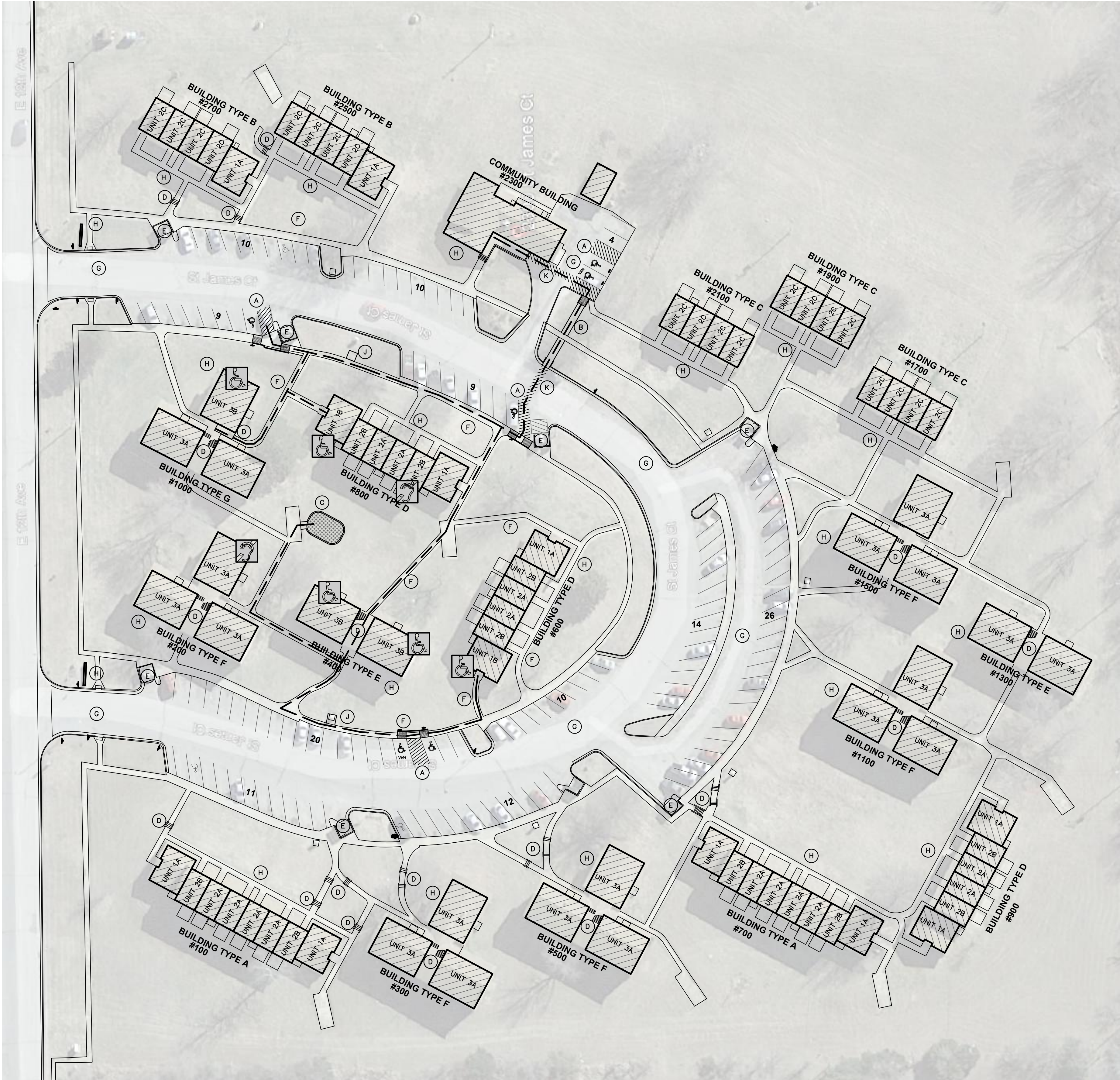
MEASURED FOR FULL BUILDING EXTERIOR DIMENSIONAL AREA

* ALL FIRST FLOOR UNITS LABELED ON SITE PLAN. REF. SHEETS A2.1-A2.4 FOR BUILDING PLANS & SECOND FLOOR UNITS.

TOTAL SITE PARKING SUMMARY

APARTMENT	STANDARD	127
	ACCESSIBLE	3
CLUBHOUSE	STANDARD	2
	ACCESSIBLE	1
	ACC. VAN	1
	ACC. VAN	1
TOTAL PARKING		135
PARKING RATIO		1.35

135 stalls/100 apartment units = 1.35 ratio



A

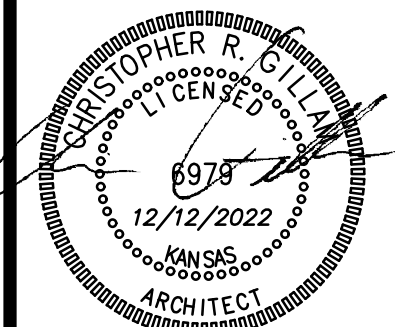
OVERALL SITE PLAN

1"=40'-0"

JonesGillamRenz
1881 Main Street, Suite 301
Kansas City, MO 64108
jgr@jgarchitects.com

JGR

CANTERBURY VILLAGE
REMODEL, ADAPTIVE RE-USE APARTMENTS
WINFIELD, KANSAS

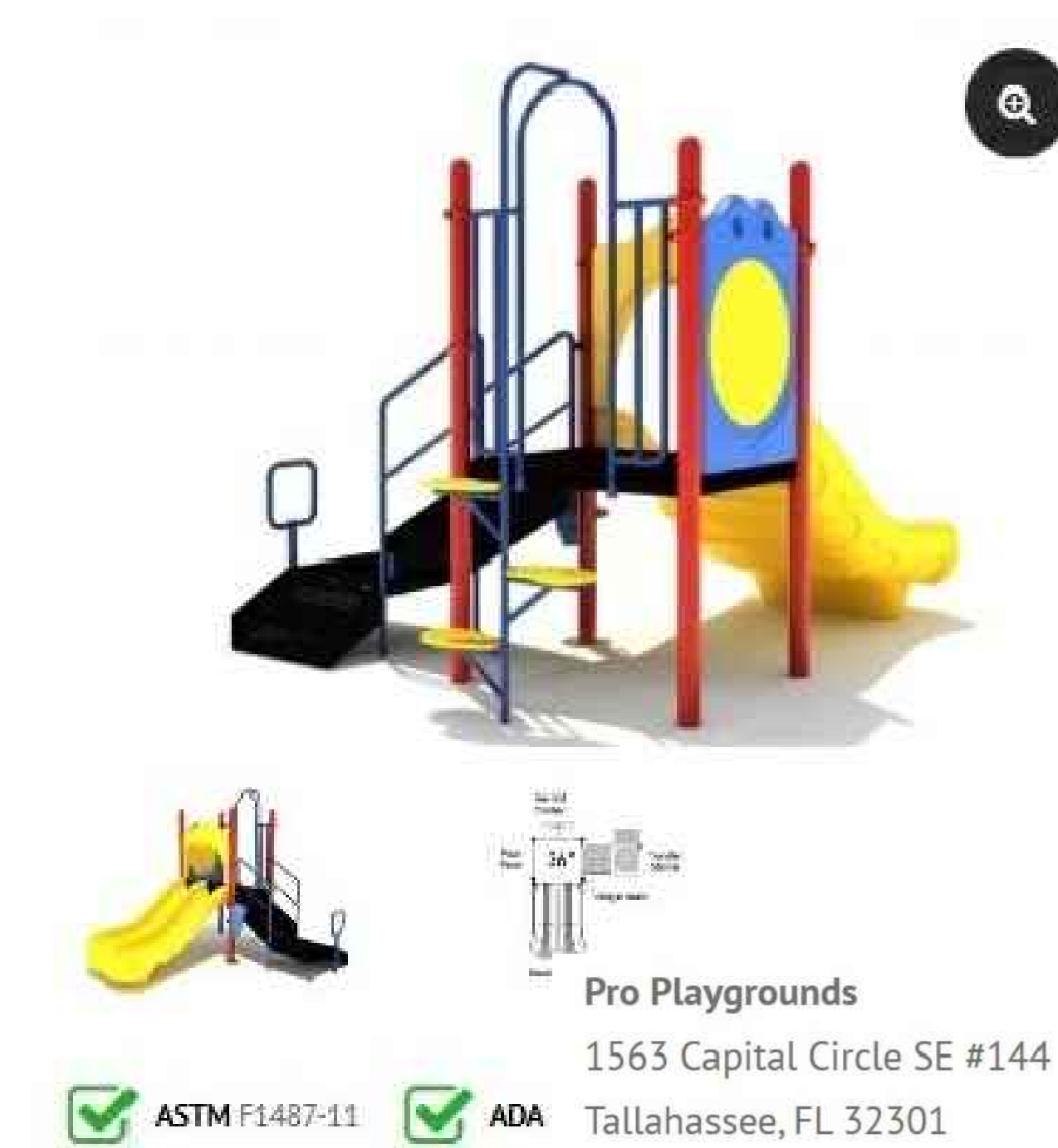


REVISION:

DATE: 12-12-2022
JOB: 22-3266
SHEET NO.:

A1.1

COPYRIGHTED ©



Arlington Playground Structure

Price:	\$5,726.00
Categories:	Playground Systems, Ages 2-5 Years, Playgrounds By Age, Kids Play Series Playgrounds
Brand:	QPC
SKU:	PKP103
Weight:	975 LBS
Product Age Group:	2 to 5 years
Product Material Type:	Metal
Product Post Diameter:	3.5"
Product Use Zone:	20' 4" x 22' 6"

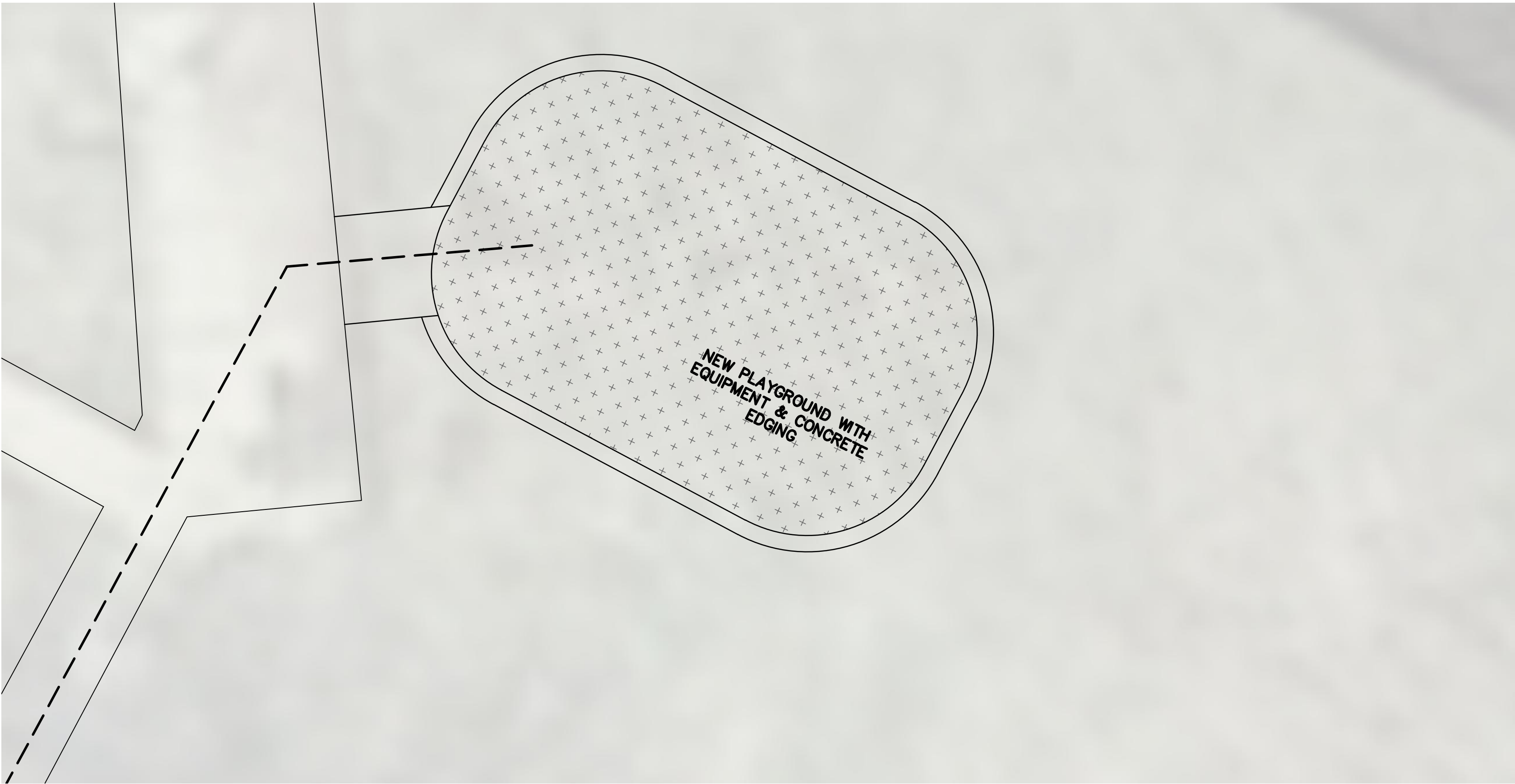
Pro Playgrounds
1563 Capital Circle SE #144
Tallahassee, FL 32301
Telephone: [1-800-573-7529](tel:1-800-573-7529)
FAX: (850)-328-0341
E-mail: sales@proplaygrounds.com

PRO PLAYGROUNDS

The Arlington play structure is the perfect size unit for small spaces, child care centers, and preschools. The smaller size allows the unit to also fit into any larger playground, creating a specific space for children ages 2 to 12 years old. A transfer station makes this an ADA compliant unit. Double bongos and a single drum are post-mounted at ground level for kids to enjoy playing tunes. A bean pod climber provides a challenge for children as they work their growing bodies to climb up the unit. Once on the main deck, a barrier wall prevents children from falling. A ship's wheel on the barrier wall adds a little something extra for the imagination. A double slide leads children gently back to the ground. The Arlington play structure is a great choice for any playground. Don't forget safety surfacing! Choose from loose-fill surfaces or a poured rubber surface for a safe play environment.

D PLAYGROUND EQUIPMENT

NO SCALE



C

ENLARGED PLAYGROUND

1/4" = 1'-0"



Home > Products > Shade > Hexagon Single Column Fabric Shade



Hexagon Single Column Fabric Shade **\$2,353.00**

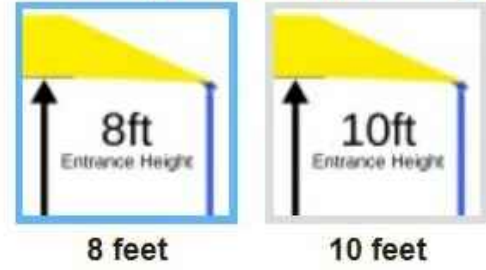


Product Description

The Hexagon single column fabric shade can be utilized to shade smaller regions or arranged in many for flexibility. They are available in sizes equal to 24' and therefore one can be certain to fit the area in question. These fabric shades are perfect for employee break rooms, service kiosks, lounge areas, sandboxes, splash parks, pools and drive through windows. The hexagon single column fabric shade is manufactured in ultraviolet stabilized material to fight the rays of the sun. It offers a six sided roof on a solo center post. It provides artistic value to the environment. These are extremely affordable and available at reasonable prices.

Qty: 1

* Select your entrance height:



* Select your glide elbow:



* Select your mount:

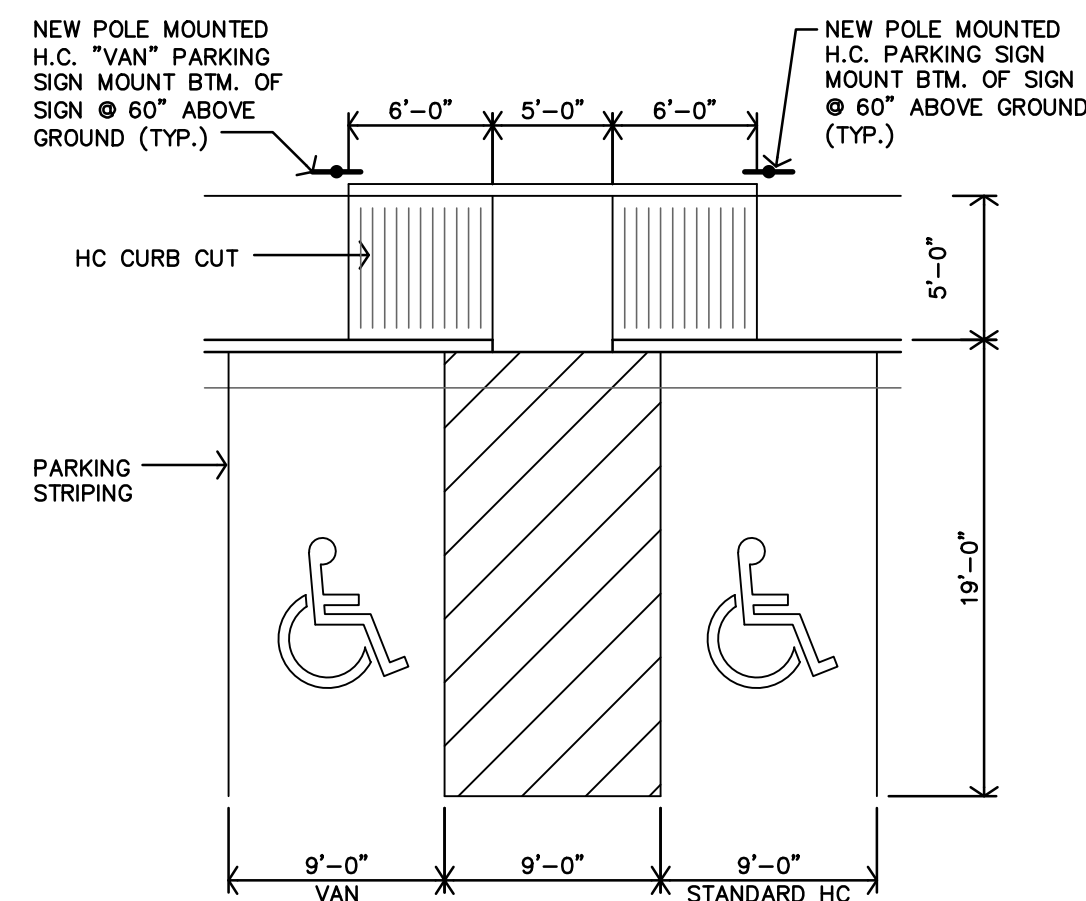


* Select your size:

- ☒ 10 feet Diameter (\$2,353.00)
- ☐ 12 feet Diameter (\$2,642.00)
- ☐ 14 feet Diameter (\$2,791.00)

B PLAYGROUND SHADE

1/4" = 1'-0"



A

TYPICAL (REF. CIVIL) ACCESSIBLE PARKING DETAIL

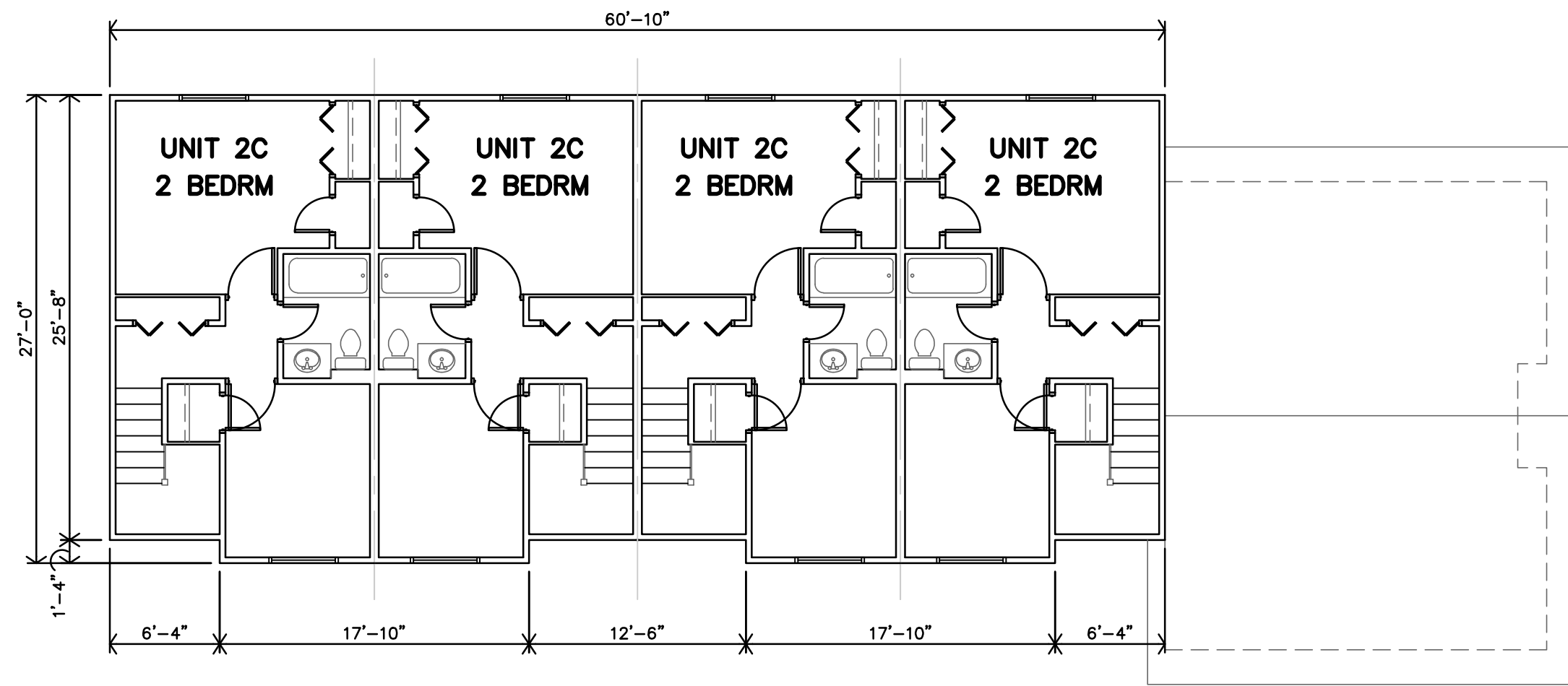
1/8" = 1'-0"

REVISION:

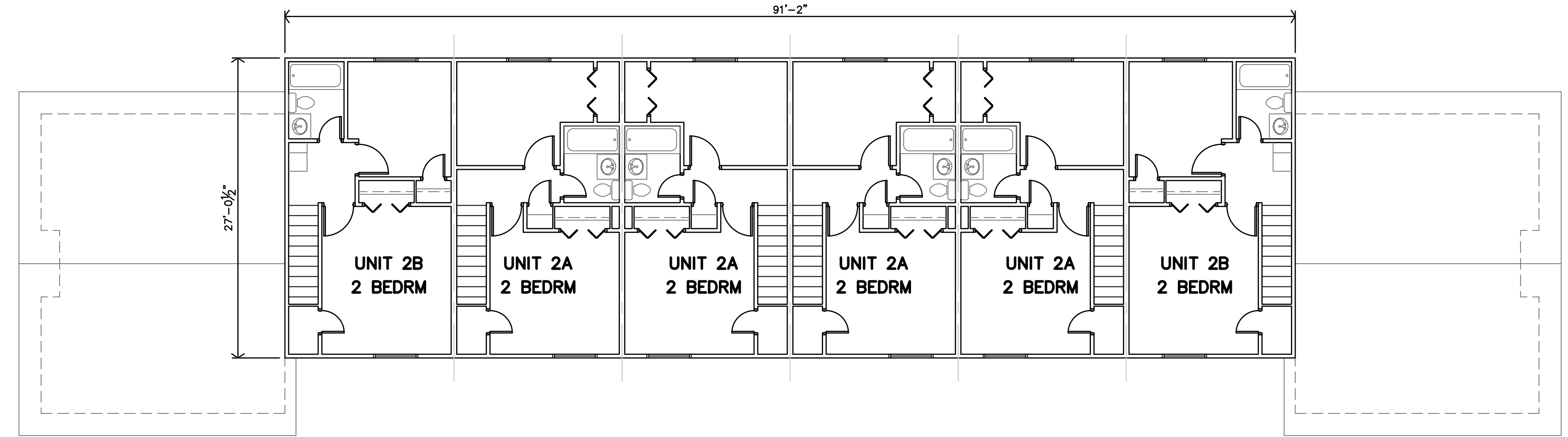
DATE: 12-12-2022

JOB: 22-3266

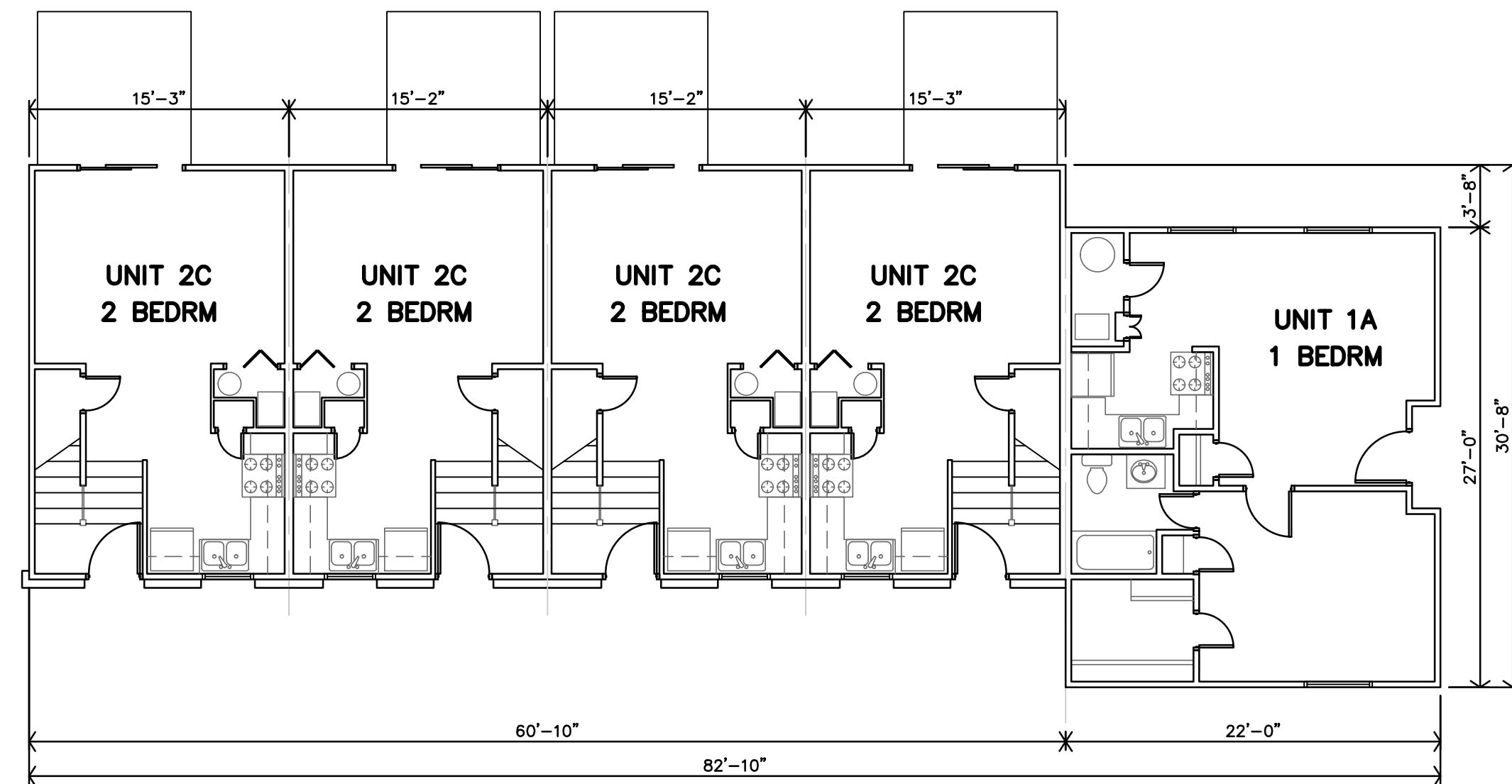
SHEET NO.:



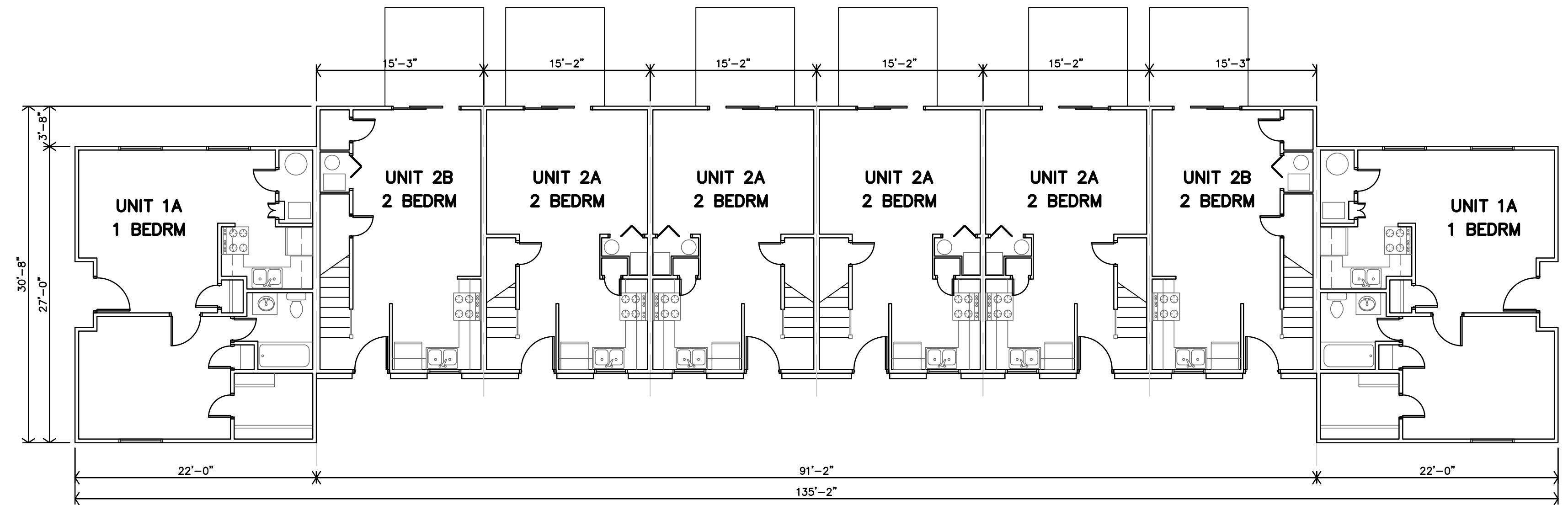
D EXISTING
BUILDING TYPE B
SECOND FLOOR PLAN
1/8"=1'-0"



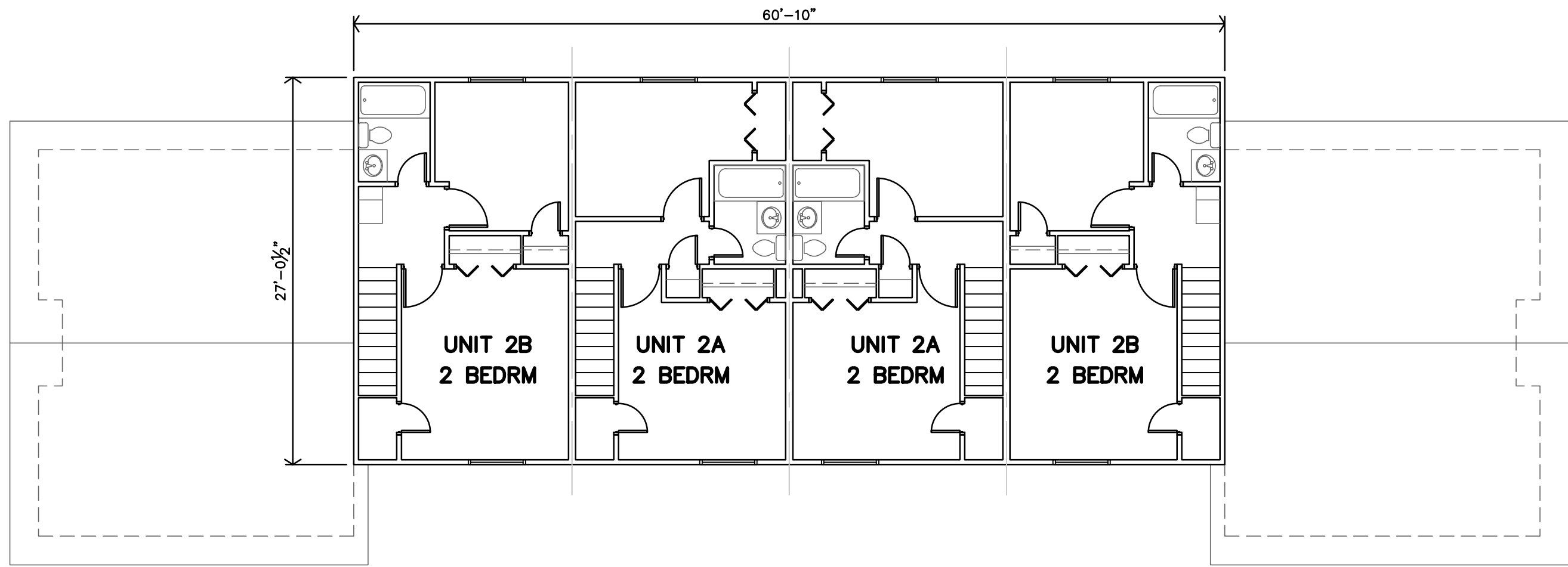
B EXISTING
BUILDING TYPE A
SECOND FLOOR PLAN
1/8"=1'-0"



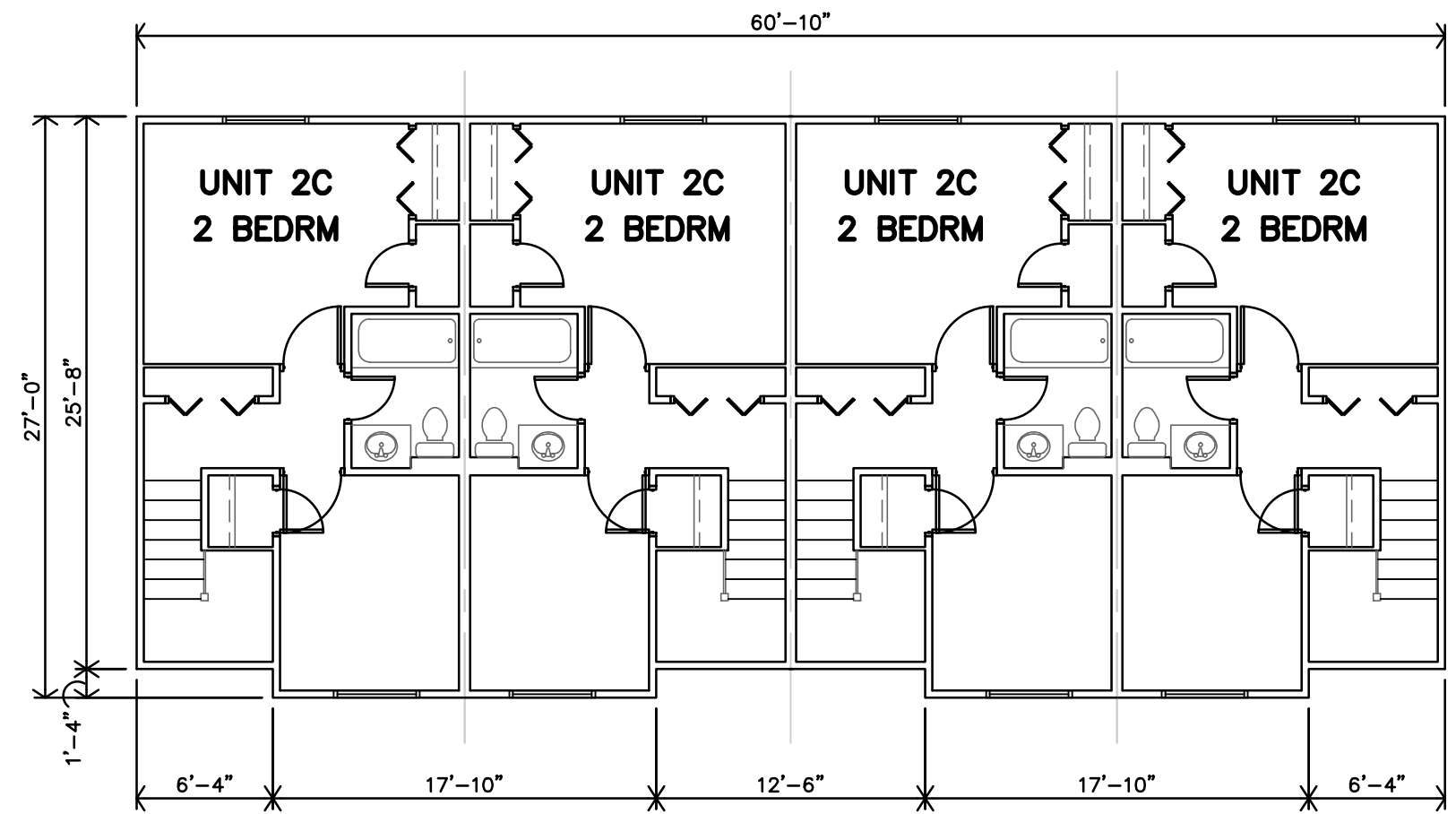
C EXISTING
BUILDING TYPE B
FIRST FLOOR PLAN
1/8"=1'-0"



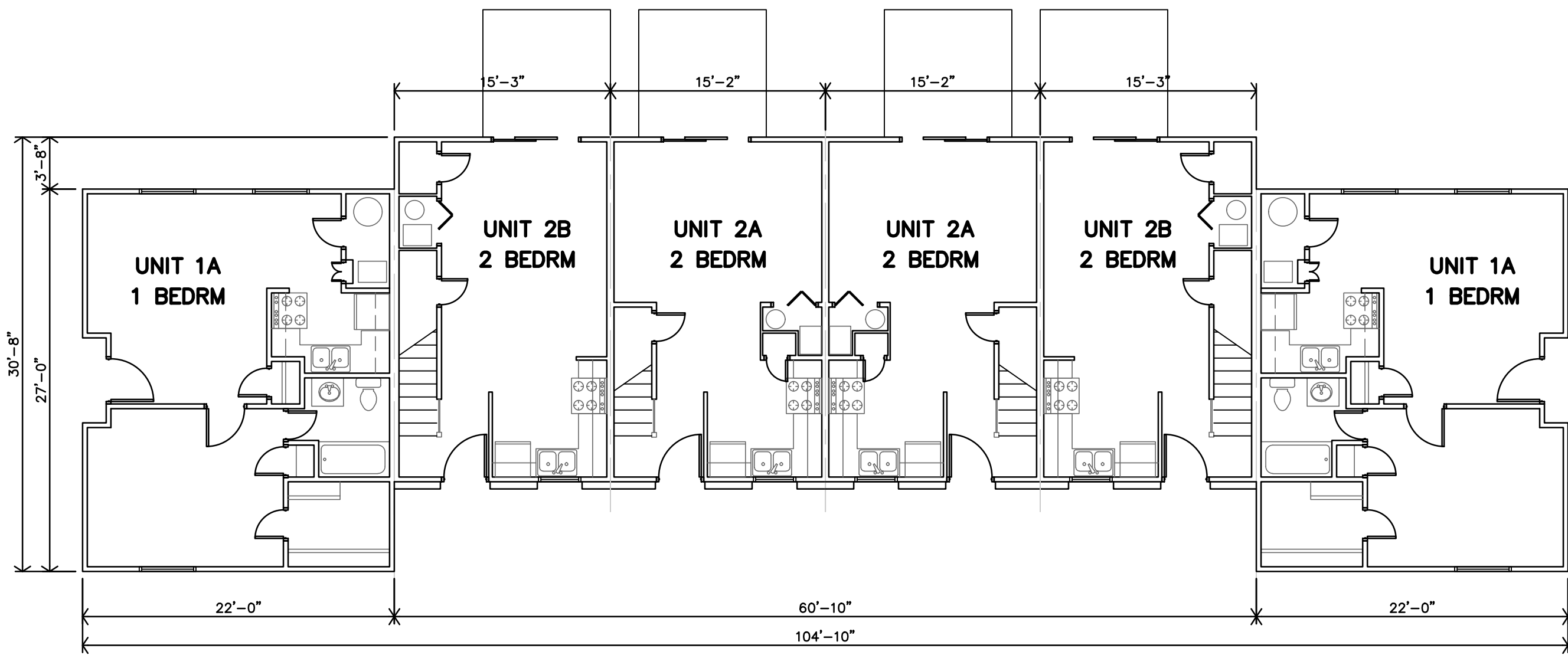
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FIRST FLOOR PLAN
1/8"=1'-0"



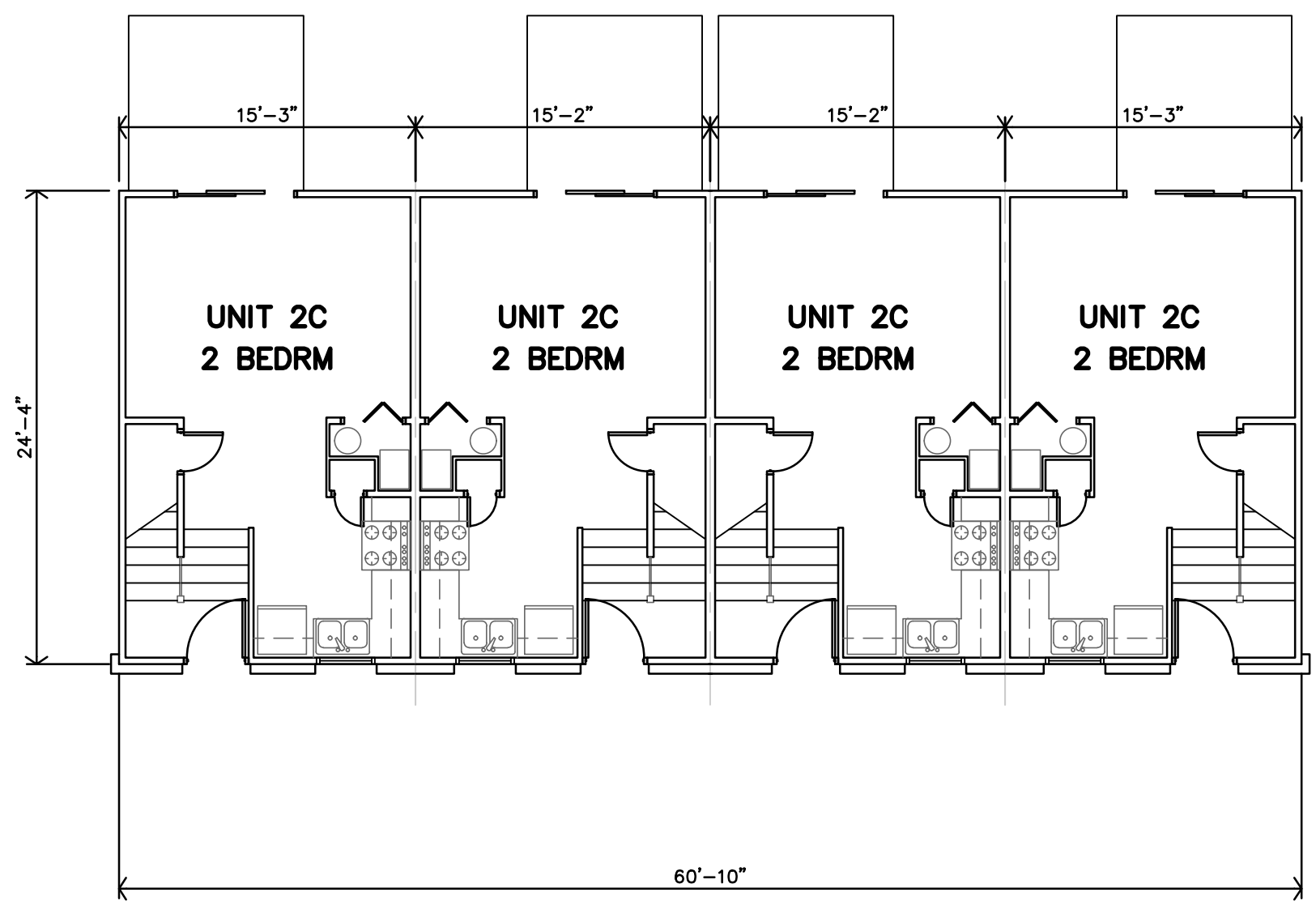
D EXISTING
BUILDING TYPE D
SECOND FLOOR PLAN
1/8"=1'-0"



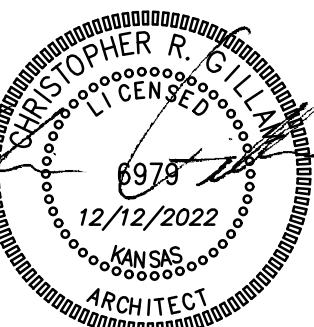
B EXISTING
BUILDING TYPE C
SECOND FLOOR PLAN
1/8"=1'-0"



C EXISTING
BUILDING TYPE D
FIRST FLOOR PLAN
1/8"=1'-0"

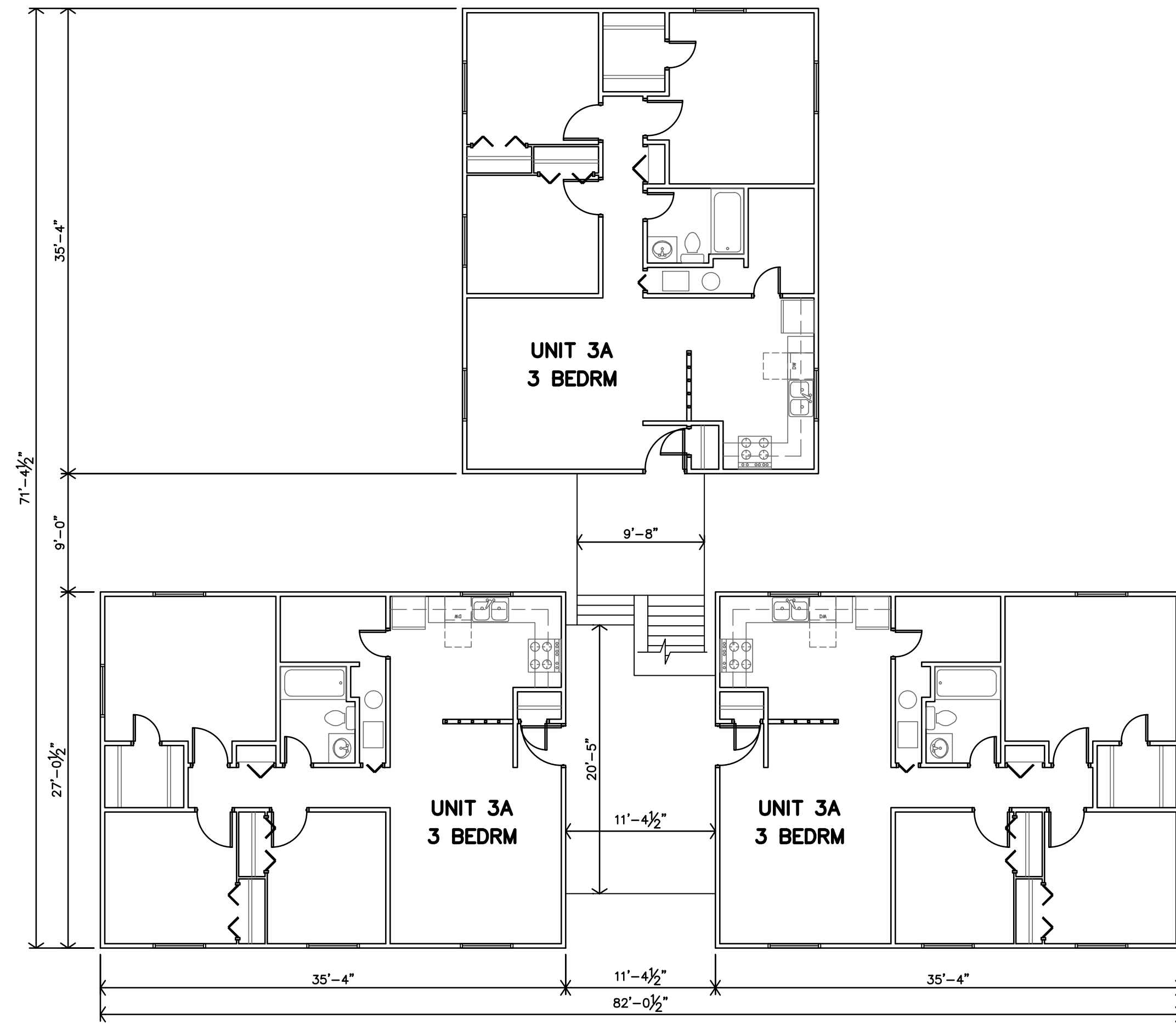


A EXISTING
BUILDING TYPE C
FIRST FLOOR PLAN
1/8"=1'-0"

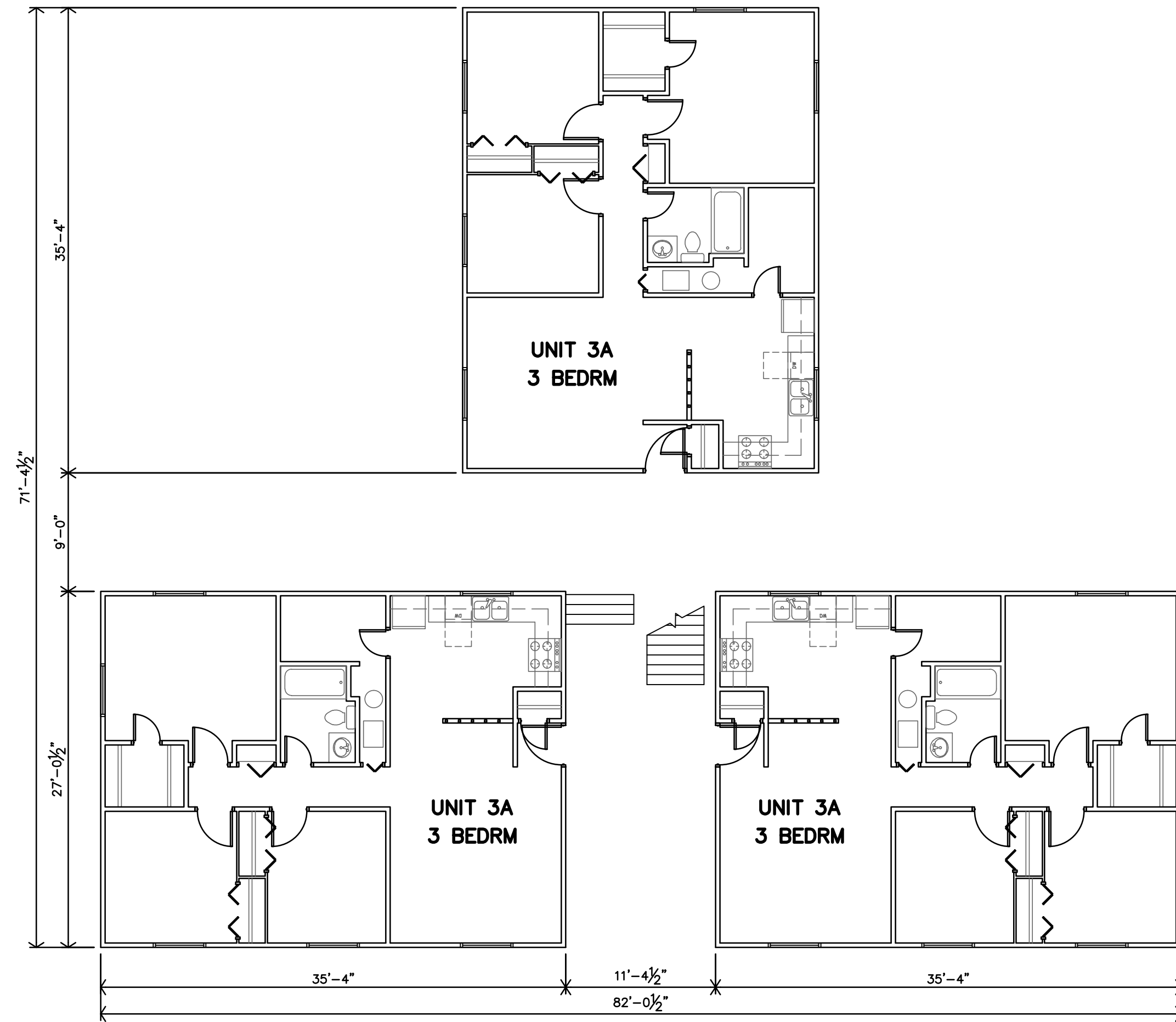


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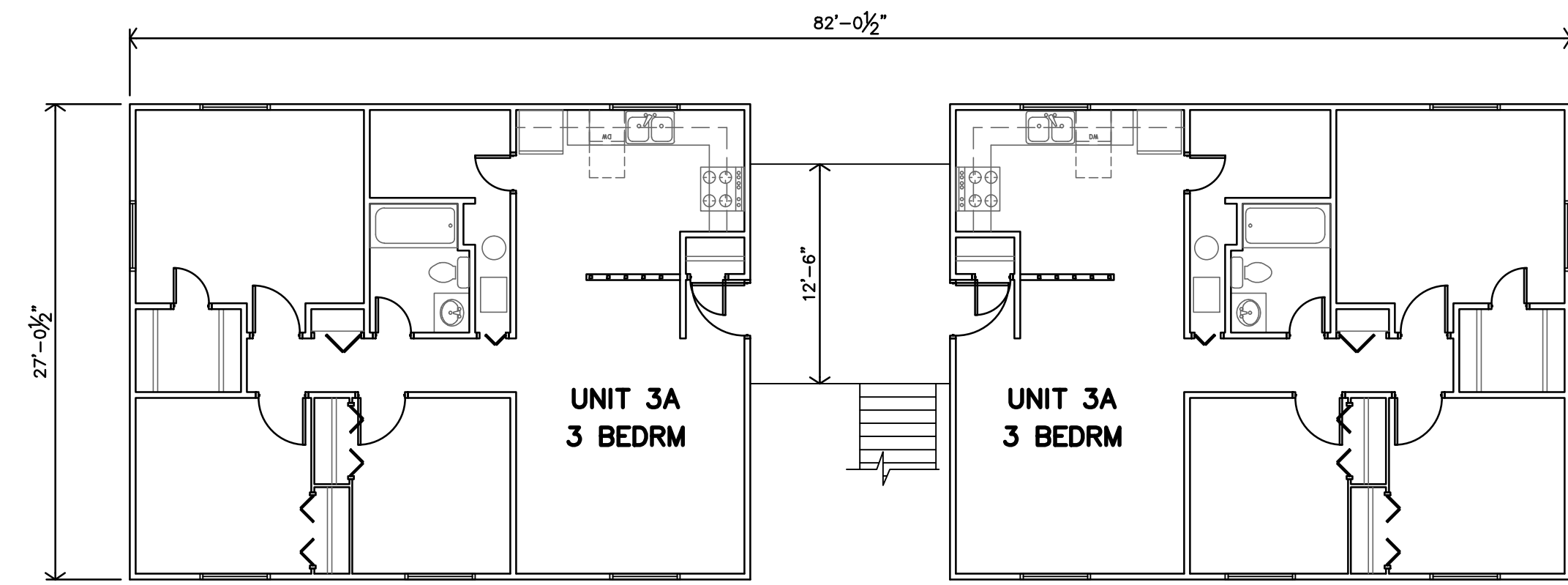
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JOB: 22-3266
SHEET NO.:



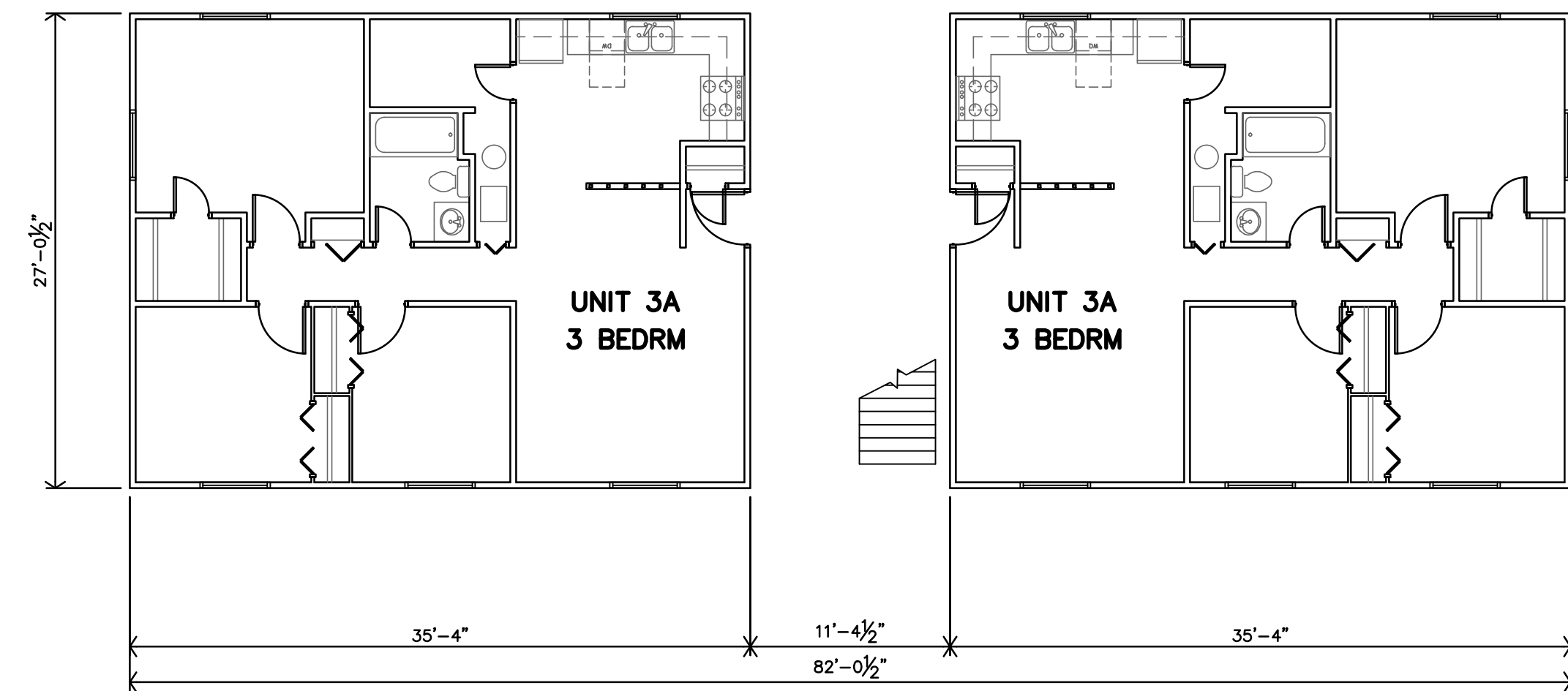
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BUILDING TYPE F
SECOND FLOOR PLAN
1/8"=1'-0"



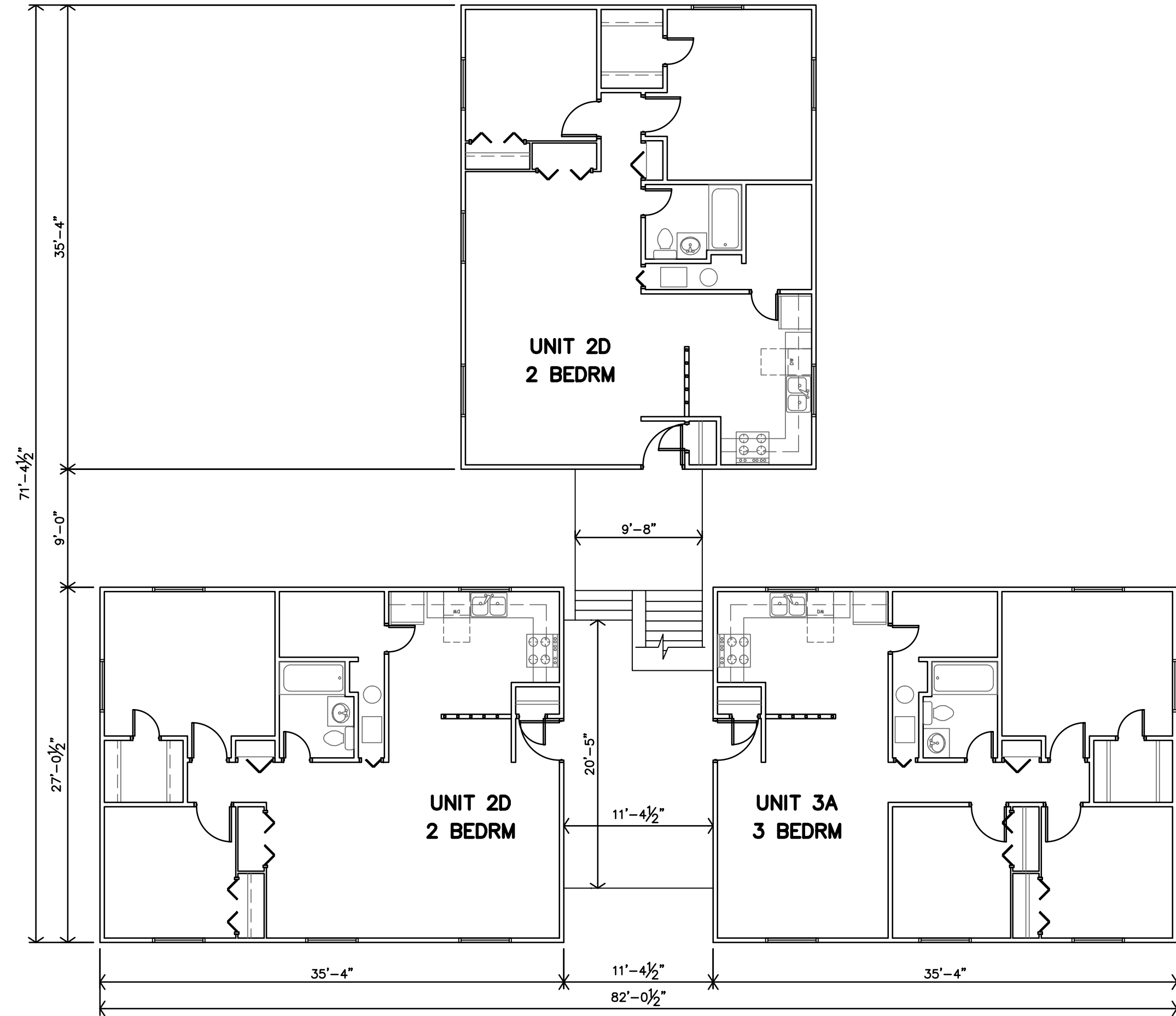
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BUILDING TYPE F
FIRST FLOOR PLAN
1/8"=1'-0"



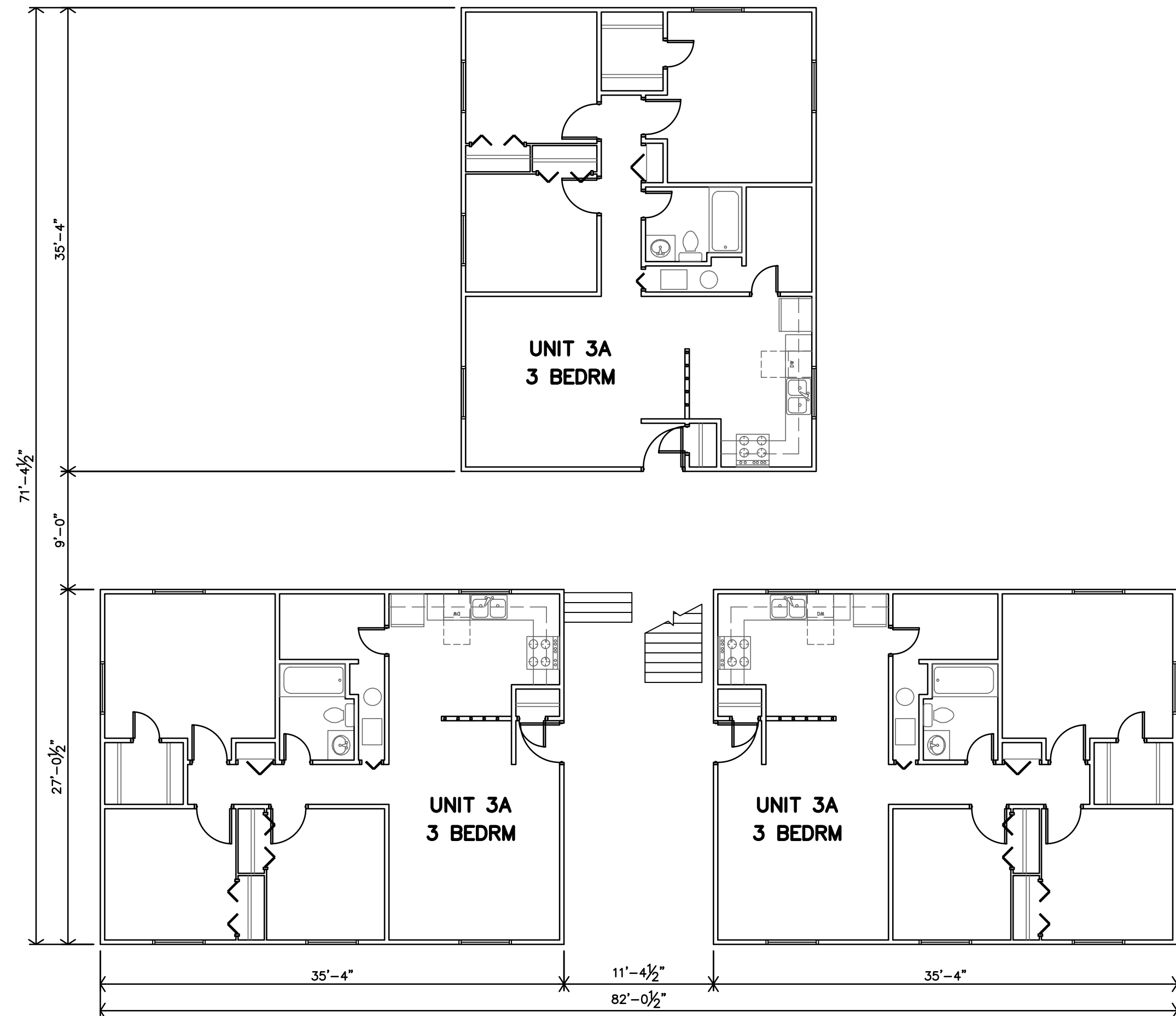
B EXISTING
BUILDING TYPE E
SECOND FLOOR PLAN
1/8"=1'-0"



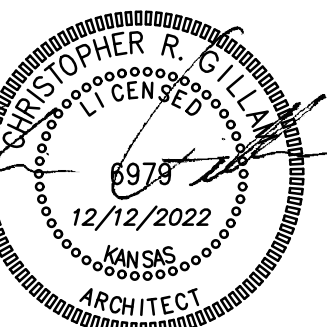
A EXISTING
BUILDING TYPE E
FIRST FLOOR PLAN
1/8"=1'-0"



B
**EXISTING
BUILDING TYPE G
SECOND FLOOR PLAN**
1/8"=1'-0"



A
**EXISTING
BUILDING TYPE G
FIRST FLOOR PLAN**
1/8"=1'-0"



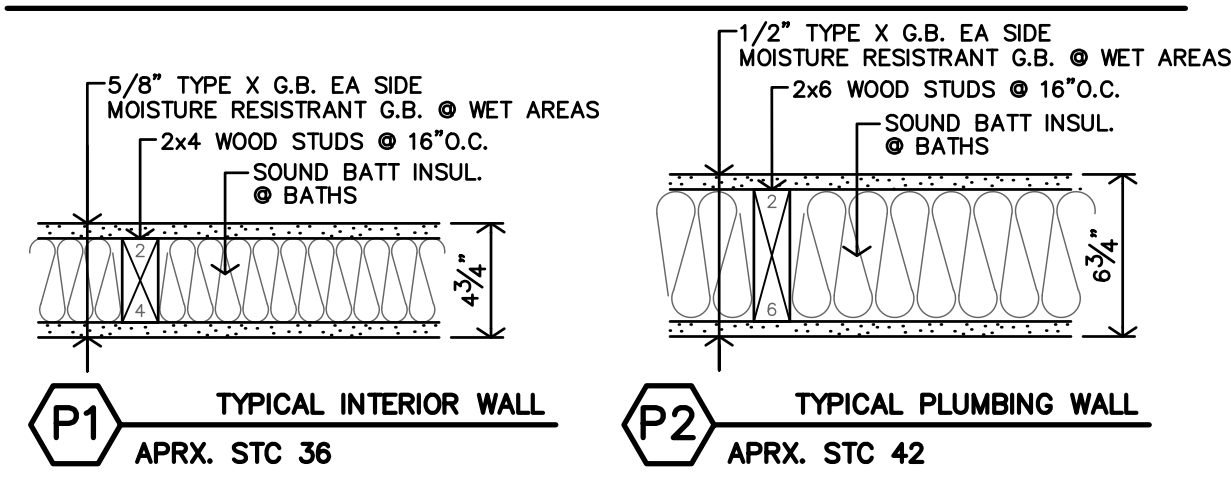
REVISION:

DATE: 12-12-2022

JOB: 22-3266

SHEET NO.:

NEW WALL TYPES
APARTMENT PARTITION SCHEDULE



KEYNOTES

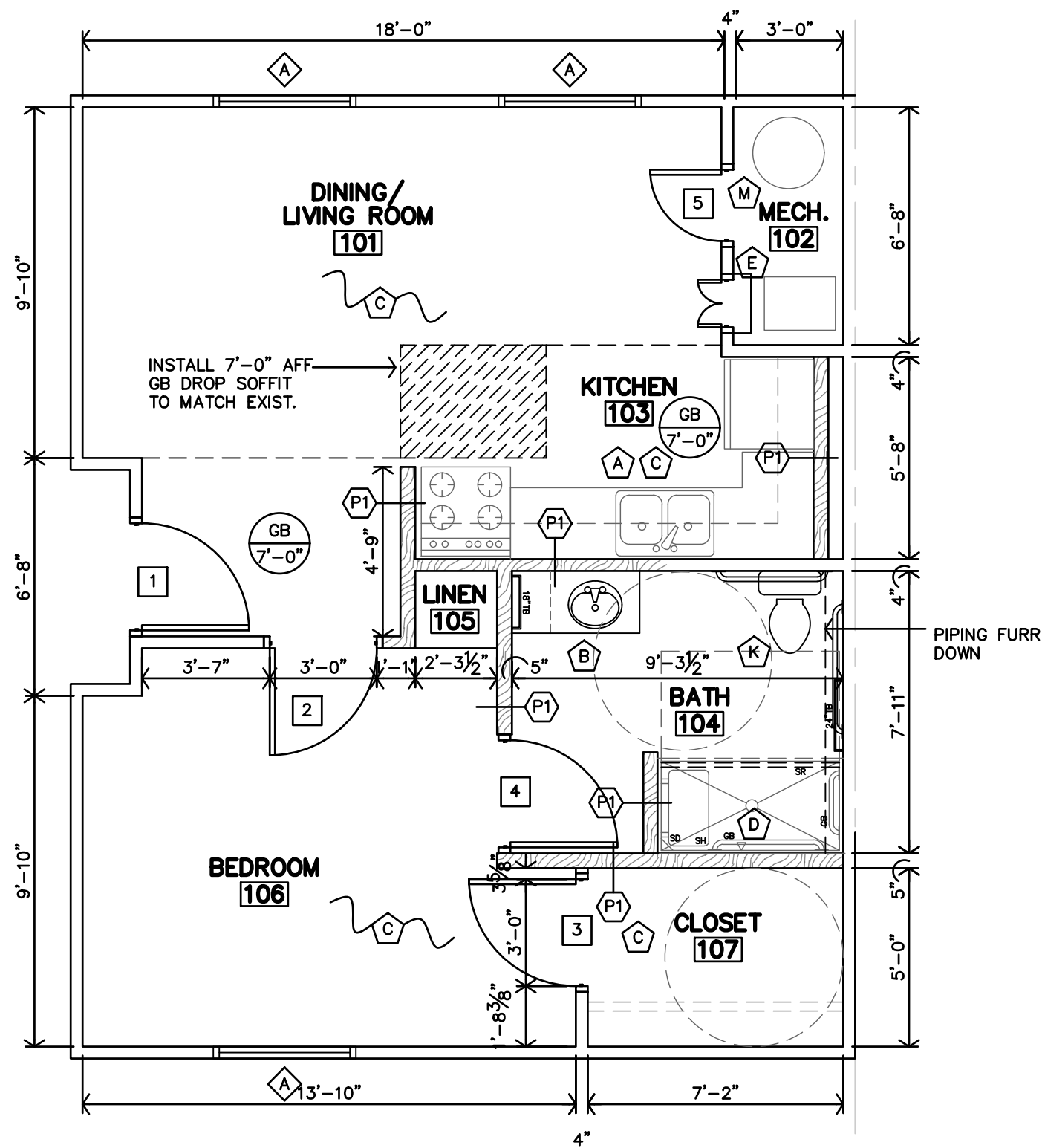
- UNIT KEYNOTES:**
- (A) INSTALL NEW CABINETS, COUNTERTOPS, APPLIANCES AND FIXTURES IN THE KITCHEN AREA. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS FOR NEW CASEWORK SHOP DRAWINGS.
 - (B) INSTALL NEW VANITY AND SINK.
 - (C) INSTALL NEW FLOORING & BASE.
 - (D) INSTALL NEW TUB/SHOWER, SURROUND, SHOWER, HEADS, SPOUTS, VALVE CONTROLS & CURTAIN RODS.
 - (E) INSTALL NEW FURNACE (REF. MECHANICAL)
 - (F) CEILINGS TO RECEIVE ORANGE PEEL TEXTURE & PAINT.
 - (G) INSTALL NEW DOOR
 - (H) INSTALL NEW MOP SINK
 - (J) INSTALL NEW COUNTER AT 30" AFF TO MEET ADA
 - (K) INSTALL NEW TOILET
 - (L) INSTALL NEW WASHERS & DRYERS
 - (M) INSTALL NEW WATER HEATER (PER ALTERNATE BID)
 - (N) PAINT EXISTING CABINET. INSTALL NEW LINEN CABINET TO MATCH OTHERS AT APARTMENT #707
 - (P) EXISTING BEARING WALL TO REMAIN
 - (Q) LOWER & OR RELOCATE EXISTING F.E. TO ADA HEIGHT

UNIT NOTES

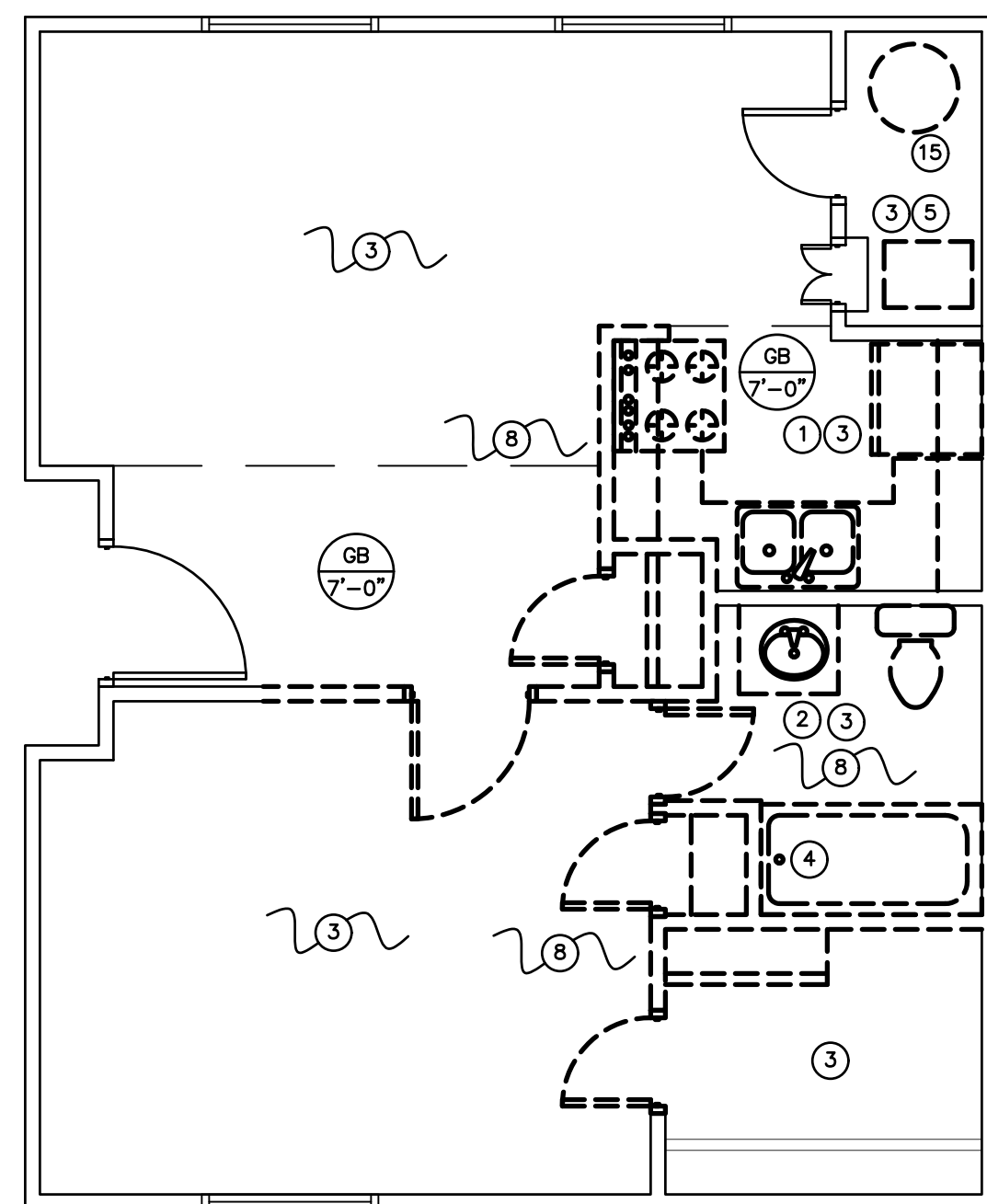
- GENERAL UNIT NOTES:**
- REF. FLOOR PLANS FOR ADDITIONAL DIMENSIONS, PARTITION TYPES AND NOTES. ALL WALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL PROVIDE SINGLE PLASTIC COATED WIRE SHELVES & ROD AT ALL CLOSETS U.N.O. AT ADA CLOSETS.
 - FE = FIRE EXTINGUISHER, WALL MOUNTED; FEC = FIRE EXTINGUISHER CABINET. LOCATIONS APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2015 IBC, SECTION 906.1.
 - KITCHEN & BATH RECEPTACLES ABOVE COUNTERTOP TO BE 44"max ABOVE FIN FLR.
 - AT ALL EXISTING INTERIOR AND EXTERIOR DOORS: REPLACE EXISTING HARDWARE WITH NEW. (ALTERNATE)
 - ALL INTERIOR WALLS & CEILINGS TO RECEIVE ORANGE PEEL TEXTURE & PAINT.
 - REMOVE ALL EXISTING FINISH FLOORING & BASE AT INTERIOR OF UNITS. NEW FLOORING & BASE TO BE INSTALLED, REFERENCE FINISH SCHEDULE AND PLANS. ALTERNATE: EXISTING CARPET @ BEDROOMS TO REMAIN
 - ACCESSIBLE UNITS (INDICATED ON FLOOR PLAN SHEETS):**
 - CONTRACTOR SHALL PROVIDE & INSTALL COVERS AT: HOT WATER, DRAIN PIPES, DISPOSAL WHERE PIPING IS EXPOSED.
 - CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL INSTALLED GRAB BARS, COUNTERTOPS/SUPPORT BRACES, SHOWER SURROUND & BASES, SHOWER SEATS, ETC. AS REQ'D.
 - ALL TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - INSTALL PLASTIC COATED WIRE CLOTHES SHELF & ROD @ 48" AFF
 - HEARING/VISION IMPAIRED UNIT (INDICATED ON FLOOR PLAN SHEETS):**
 - CONTRACTOR SHALL INSTALL EQUIPMENT REQUIRED PER 2010 ADA SEC. 809.5. & ICC A117.1-2009 SEC. 1005.
 - ALTERNATE**
 - DOORS NOT DESIGNATED PER PLAN TO BE REMOVED PER BASE BID, SHALL BE REPLACED WITH NEW INCLUDING HARDWARE.
 - REPLACE ALL WINDOWS WITH NEW
- DEMOLITION KEYNOTES:**
- REMOVE ALL EXISTING CABINETS, COUNTERTOPS, APPLIANCES AND FIXTURES IN THE KITCHEN AREA.
 - REMOVE EXISTING VANITY AND SINK.
 - REMOVE ALL EXISTING FINISH FLOORING & BASE, ENTIRE UNIT. PREP FOR NEW FLOORING & BASE. ALTERNATE: EXISTING CARPET @ BEDROOMS TO REMAIN.
 - REMOVE EXISTING TUB/SHOWER & SURROUND, REMOVE EXISTING HEADS, SPOUTS, VALVE CONTROLS & CURTAIN RODS.
 - REMOVE EXISTING OLD OR DAMAGED SPLIT UNITS AND REPLACE AS NECESSARY (OWNER TO IDENTIFY AS NEEDED)
 - REMOVE ALL POPCORN TEXTURE FROM CEILING G.B
 - AT APARTMENTS #602, #603, #707, #902, #903, #904, #1304, #1503 & #1904: REMOVE ALL EXISTING SHEETROCK FROM WALLS & CEILINGS AS WELL AS ALL ASSOCIATED INSULATION. REPLACE WITH NEW. THOROUGHLY INSPECT & REPLACE ANY WATER-DAMAGED WOOD FRAMING MEMBERS. (UNITS IDENTIFIED WITH WATER DAMAGE)
 - REMOVE ALL EXISTING WALLS, DOORS, CLOSET RODS, MECHANICAL, ELECTRICAL, ETC. IN THIS AREA AS INDICATED BY DASHED LINES.
 - REMOVE EXISTING DOOR & PARTIAL WALL
 - REMOVE MOP SINK
 - REMOVE COUNTER
 - REMOVE PARTIAL WALL
 - REMOVE PLUMBING FIXTURES
 - REMOVE WASHERS & DRYERS
 - REMOVE EXISTING WATER HEATER (PER ALTERNATE BID)

GENERAL NOTES

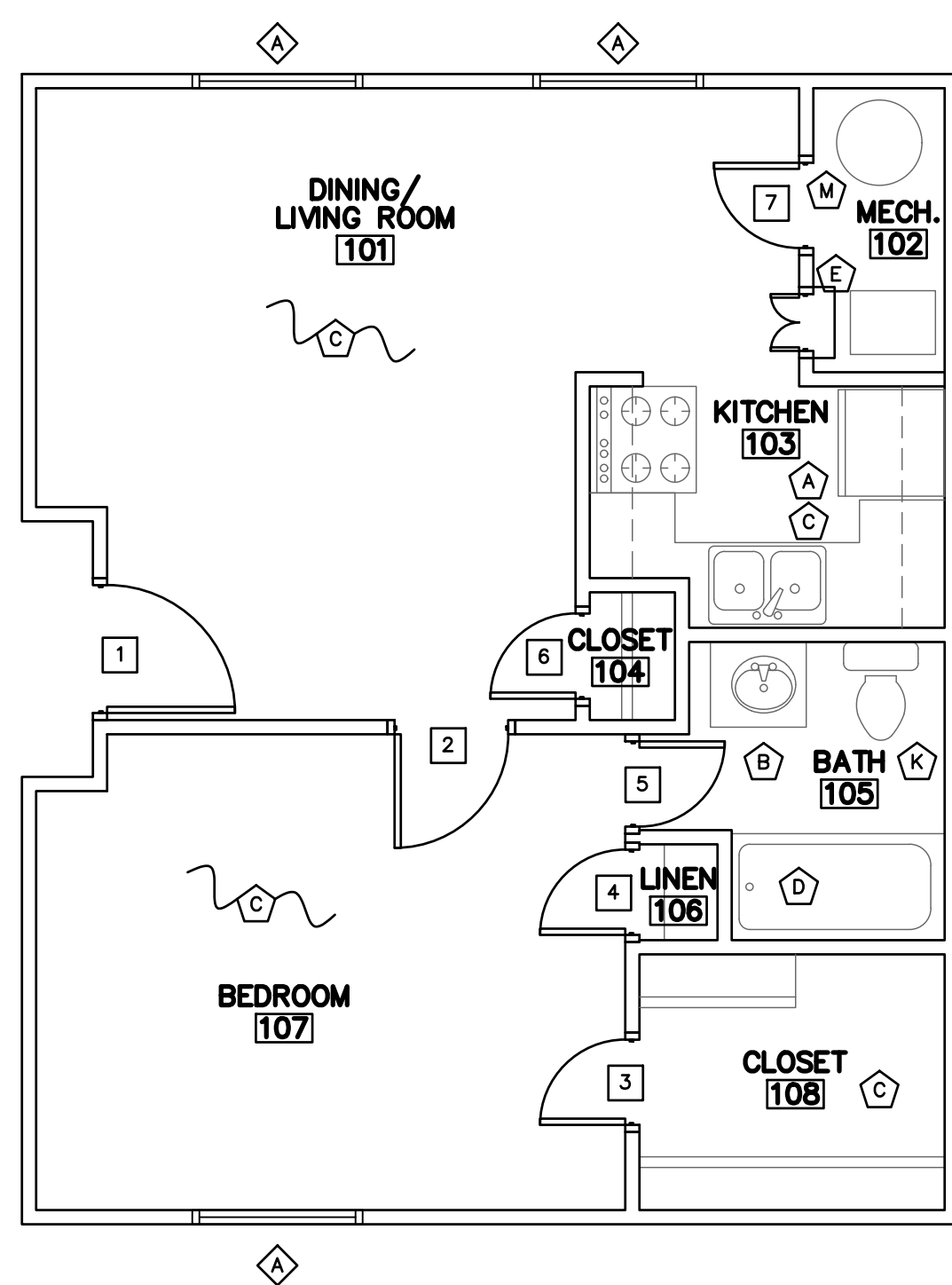
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 - THE ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CORE DRILLING FOR PIPING & CONDUIT INSTALLATION.
 - ALL OTHER CUTTING, PATCHING & FINISHING, U.N.O. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - SHORING OF EXISTING STRUCTURE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTRACTOR TO INVESTIGATE & IDENTIFY ALL STRUCTURAL BEAMS, COLUMNS, & BEARING WALLS PRIOR TO ANY DEMO WORK. NOTIFY ARCHITECT AT ALL PROPOSED ACCESSIBLE UNITS.
 - NOTIFY ARCHITECT IMMEDIATELY IF ASBESTOS IS SUSPECTED ON SITE. DO NOT DISTURB UNLESS DIRECTED.
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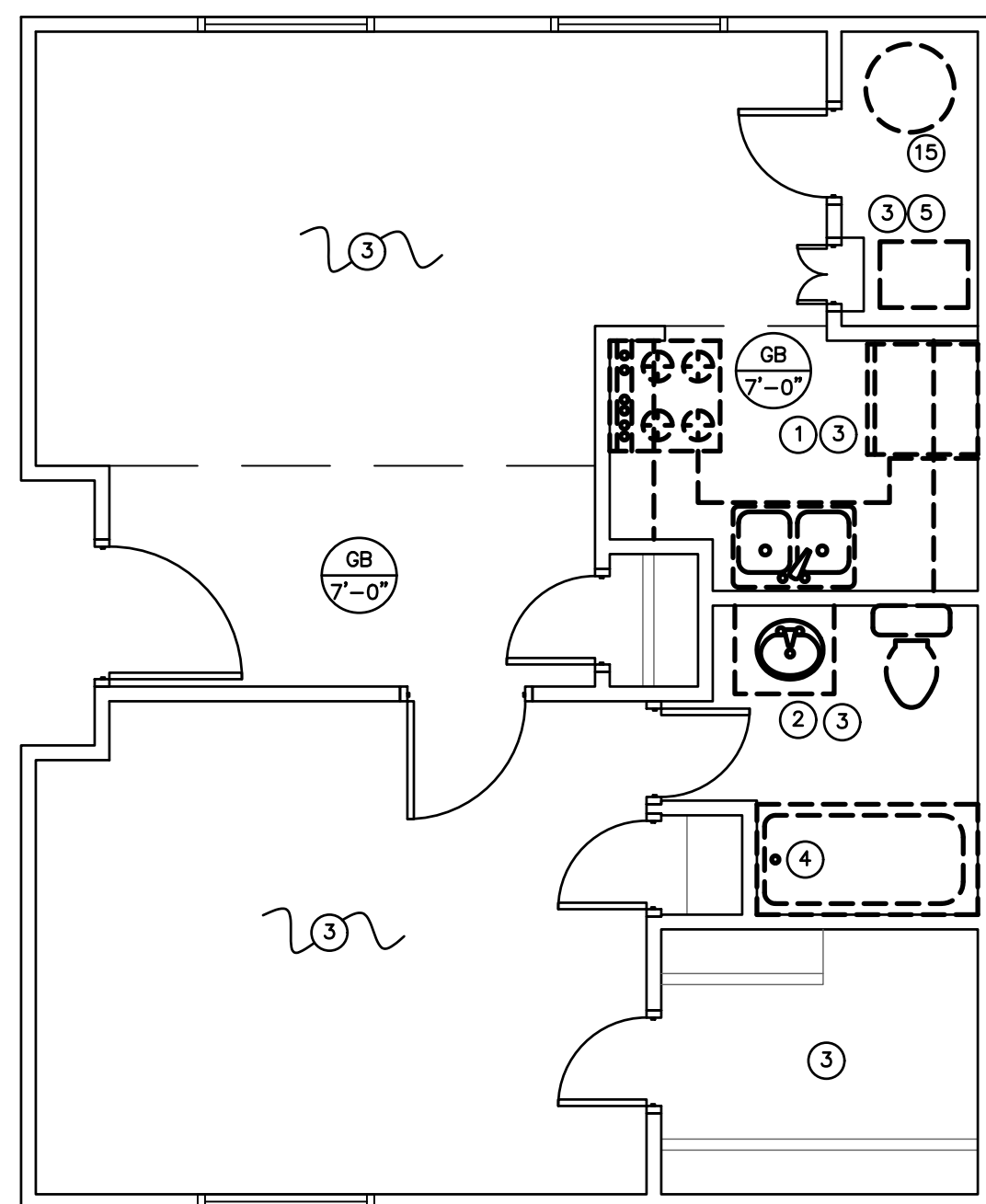
D PROPOSED ACCESSIBLE UNIT 1B 1-BEDROOM ENLARGED FLOOR PLAN
1/4"=1'-0"



C ACCESSIBLE UNIT 1B 1-BEDROOM DEMOLITION PLAN
1/4"=1'-0" NOTE: ALL G.B. CEILINGS AT 8'-0" A.F.F. U.N.O.



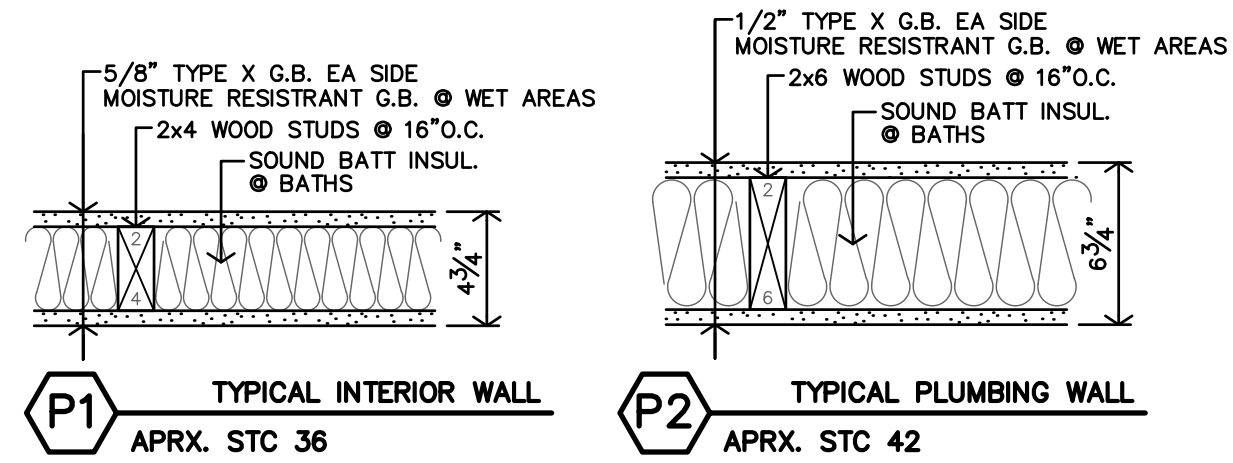
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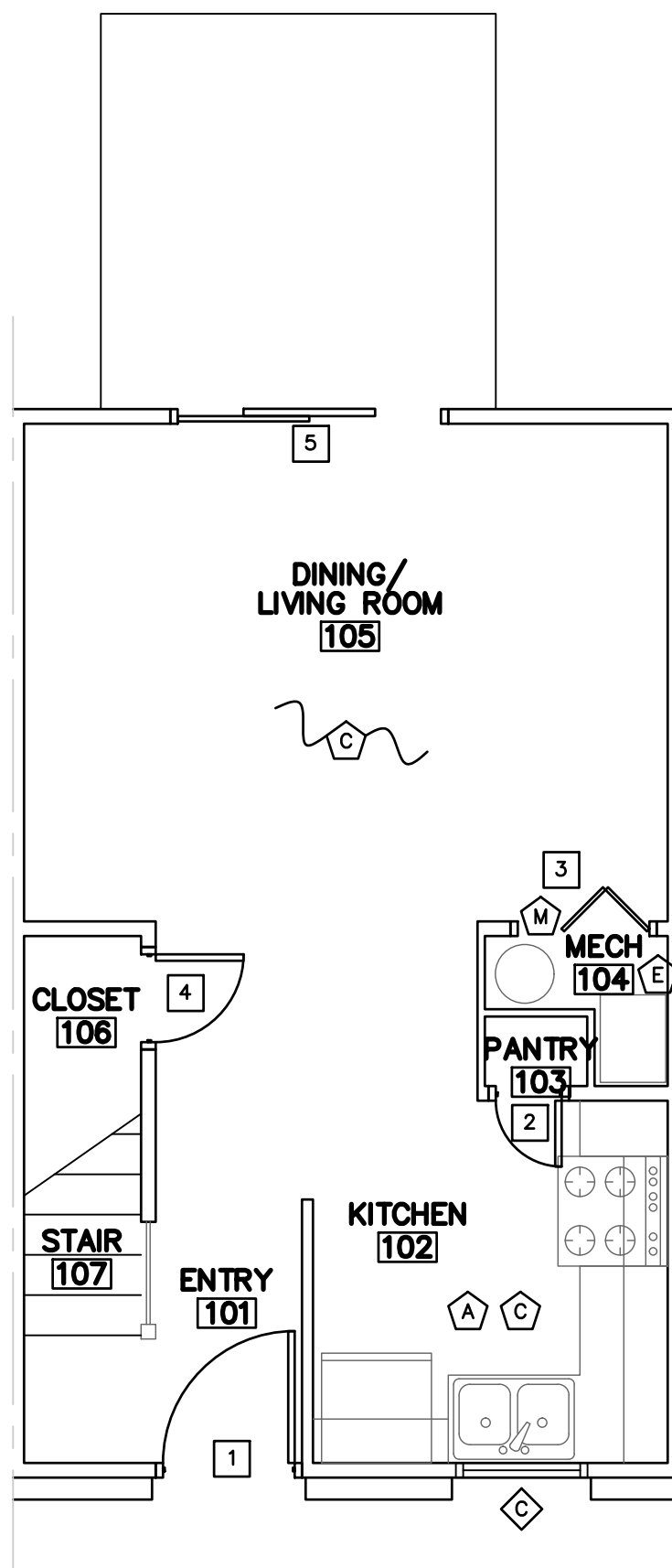
NEW WALL TYPES APARTMENT PARTITION SCHEDULE



KEYNOTES

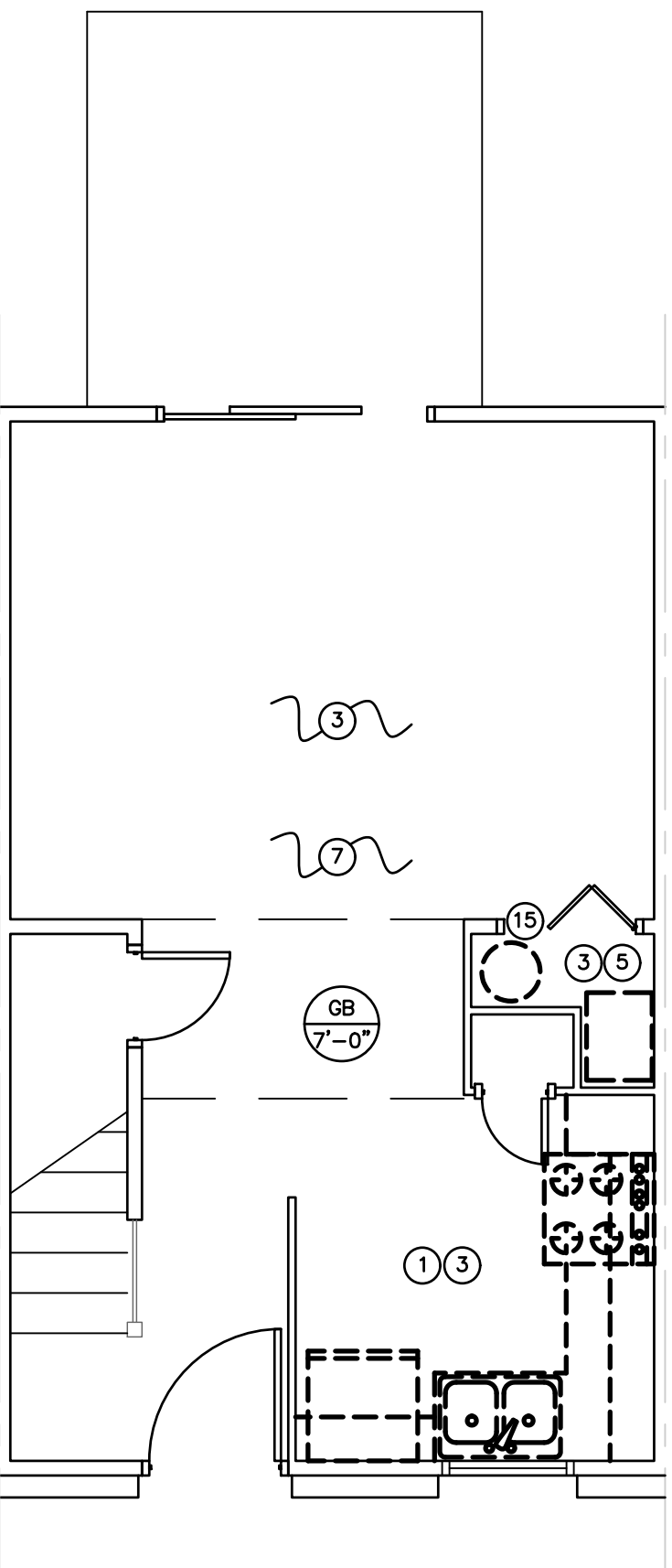
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ENLARGED SECOND FLOOR PLAN
1/4"=1'-0"



C PROPOSED UNIT 2A 2-BEDROOM
ENLARGED FIRST FLOOR PLAN
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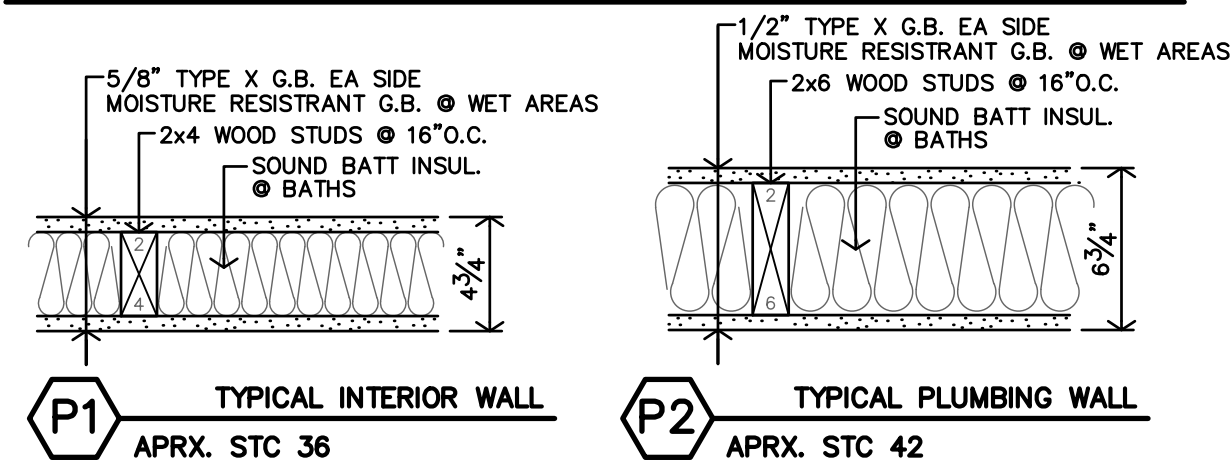
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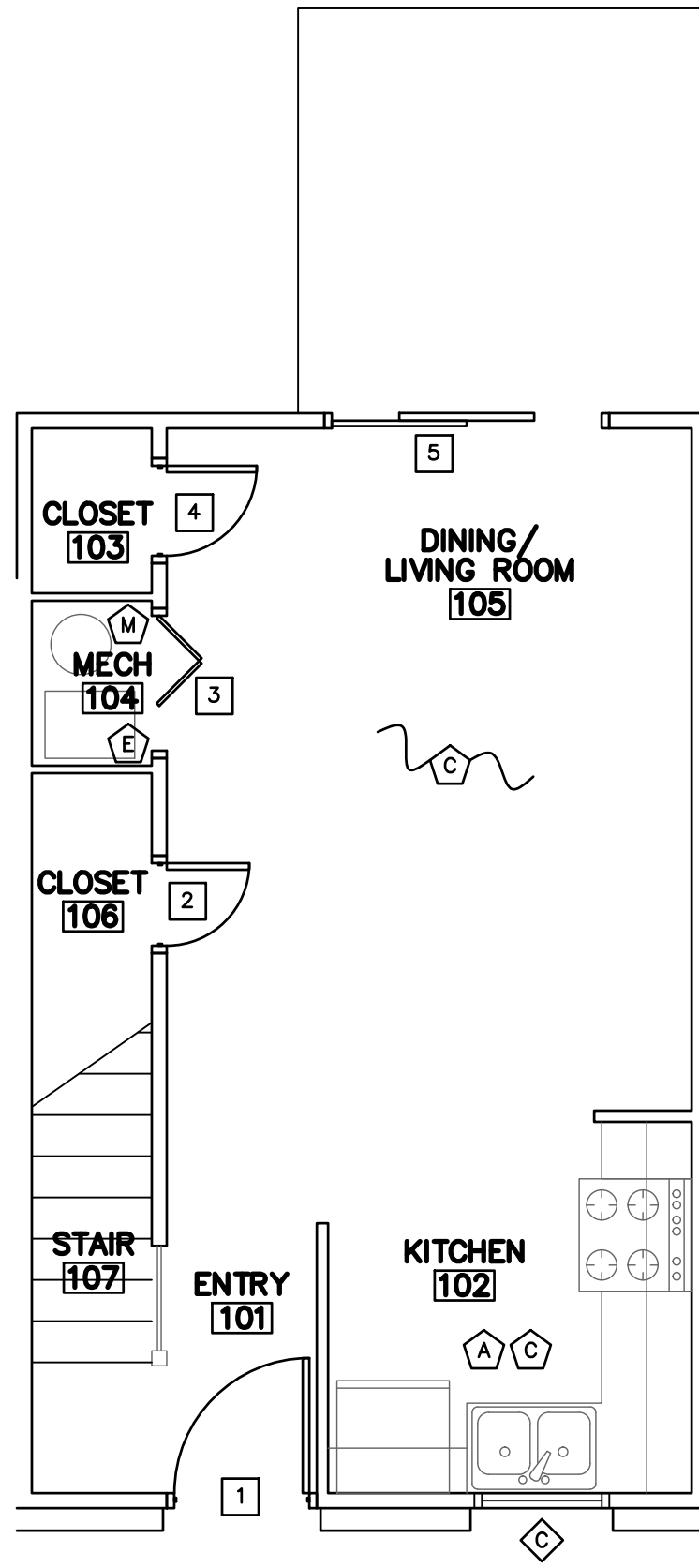
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NEW WALL TYPES APARTMENT PARTITION SCHEDULE



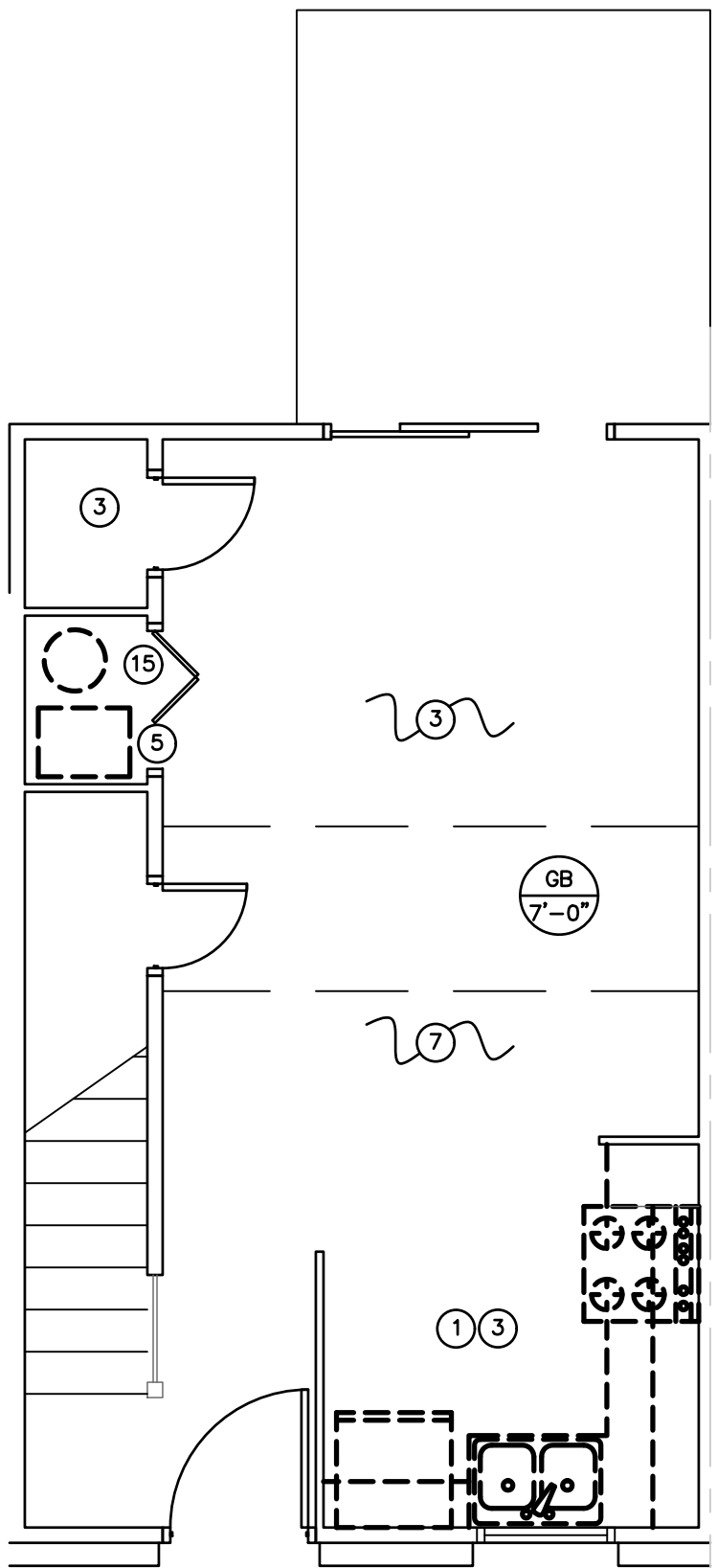
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D PROPOSED UNIT 2B 2-BEDROOM
ENLARGED SECOND FLOOR PLAN
1/4"=1'-0"



C PROPOSED UNIT 2B 2-BEDROOM
ENLARGED FIRST FLOOR PLAN
1/4"=1'-0"

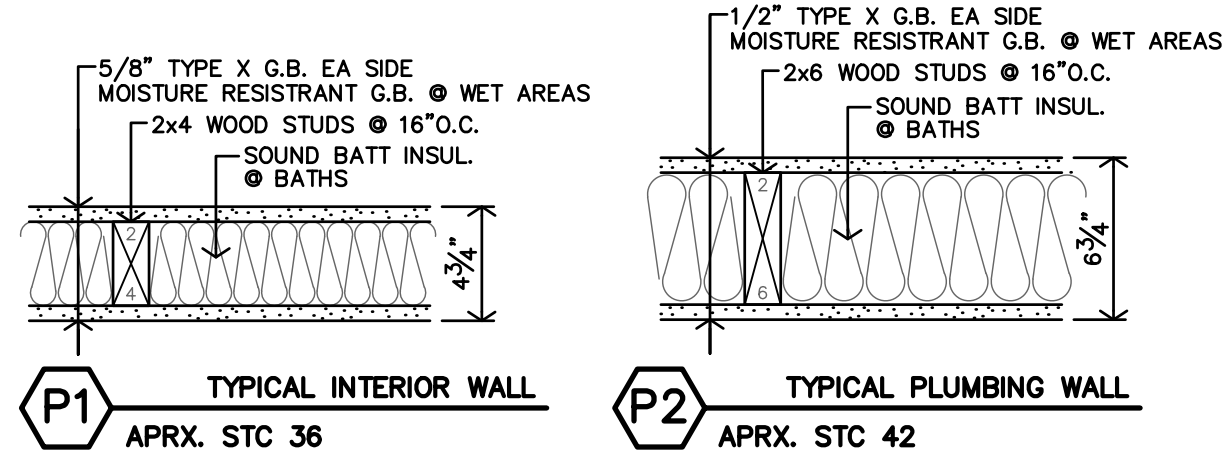
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NEW WALL TYPES APARTMENT PARTITION SCHEDULE



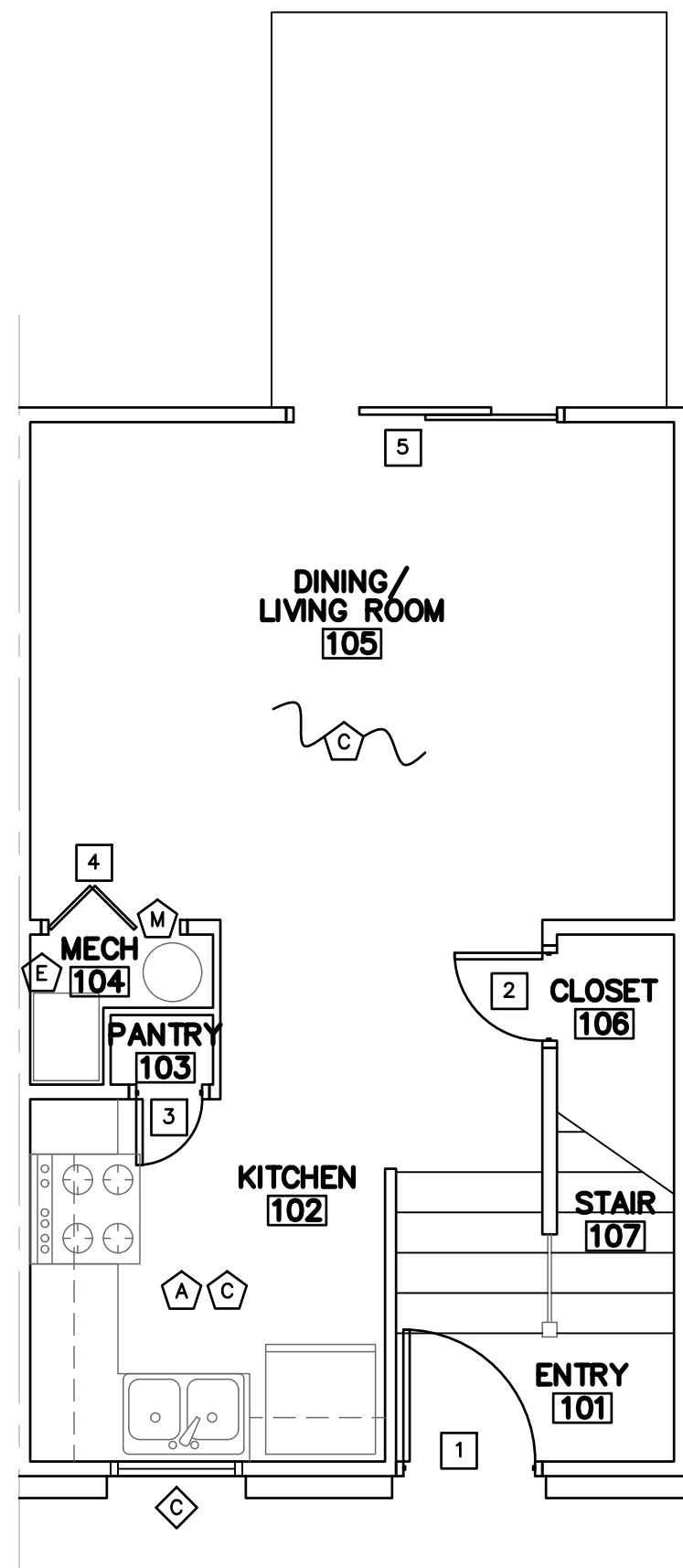
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 - INSTALL NEW TOILET
 - INSTALL NEW WASHERS & DRYERS
 - INSTALL NEW WATER HEATER (PER ALTERNATE BID)
 - PAINT EXISTING CABINET. INSTALL NEW LINEN CABINET TO MATCH OTHERS AT APARTMENT #707
 - EXISTING BEARING WALL TO REMAIN
 - LOWER & OR RELOCATE EXISTING F.E. TO ADA HEIGHT

D

PROPOSED UNIT 2C 2-BEDROOM ENLARGED SECOND FLOOR PLAN

1/4"=1'-0"



C

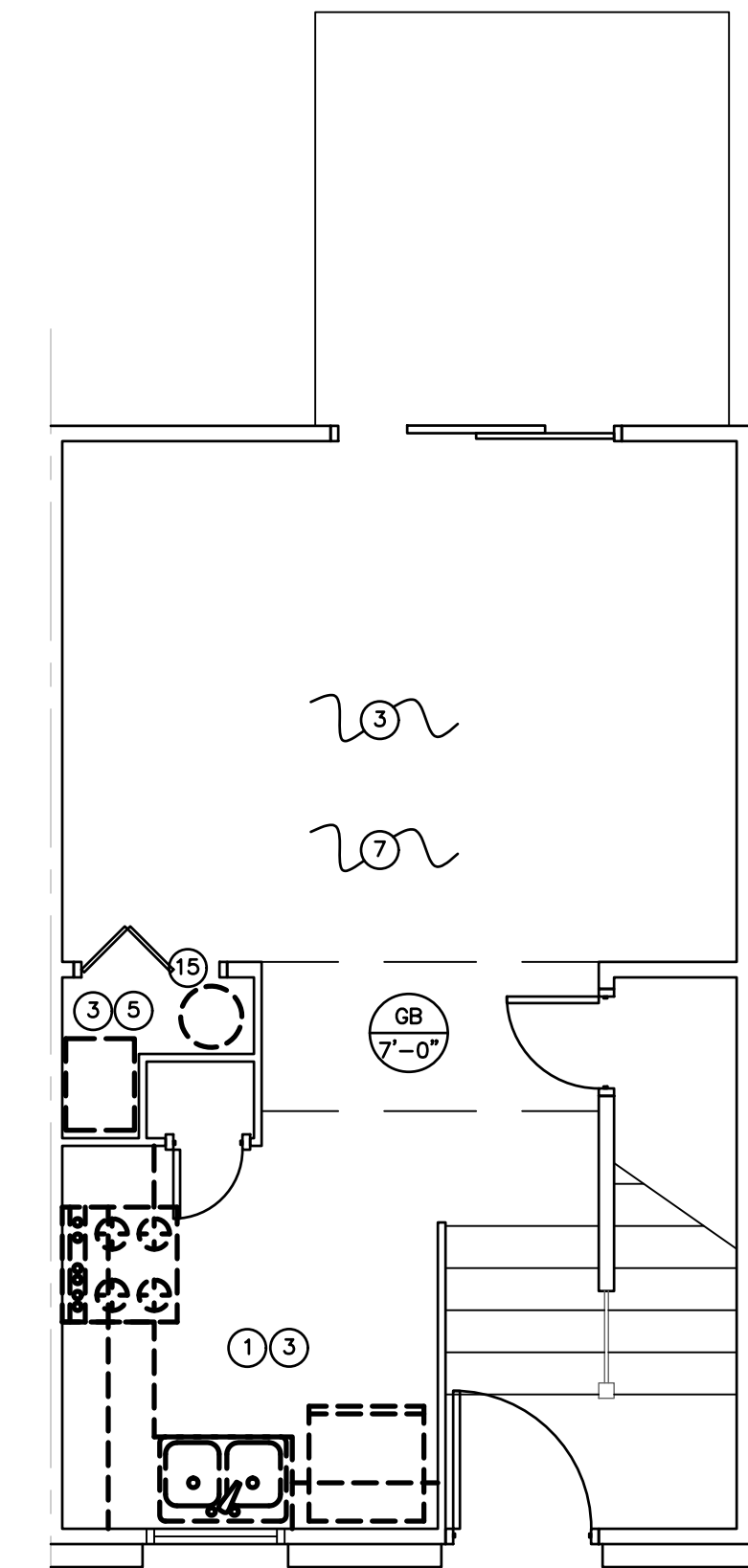
PROPOSED UNIT 2C 2-BEDROOM ENLARGED FIRST FLOOR PLAN

1/4"=1'-0"

B

UNIT 2C 2-BEDROOM SECOND FLOOR DEMOLITION PLAN

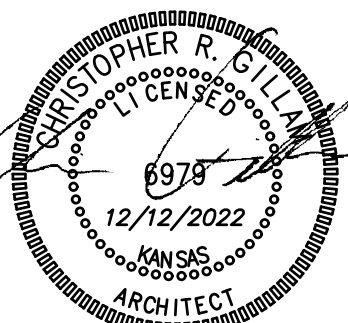
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A

UNIT 2C 2-BEDROOM FIRST FLOOR DEMOLITION PLAN

1/4"=1'-0" NOTE: G.B. CEILINGS AT 8'-0" A.F.F. U.N.O.

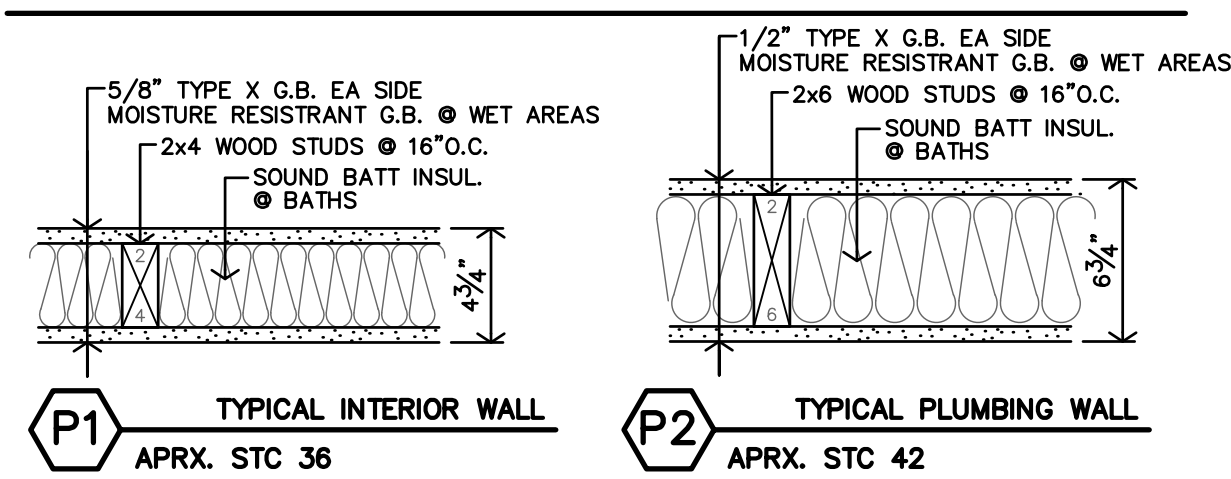


REVISION:

DATE: 12-12-2022
JOB: 22-3266
SHEET NO.:



NEW WALL TYPES
APARTMENT PARTITION SCHEDULE



KEYNOTES

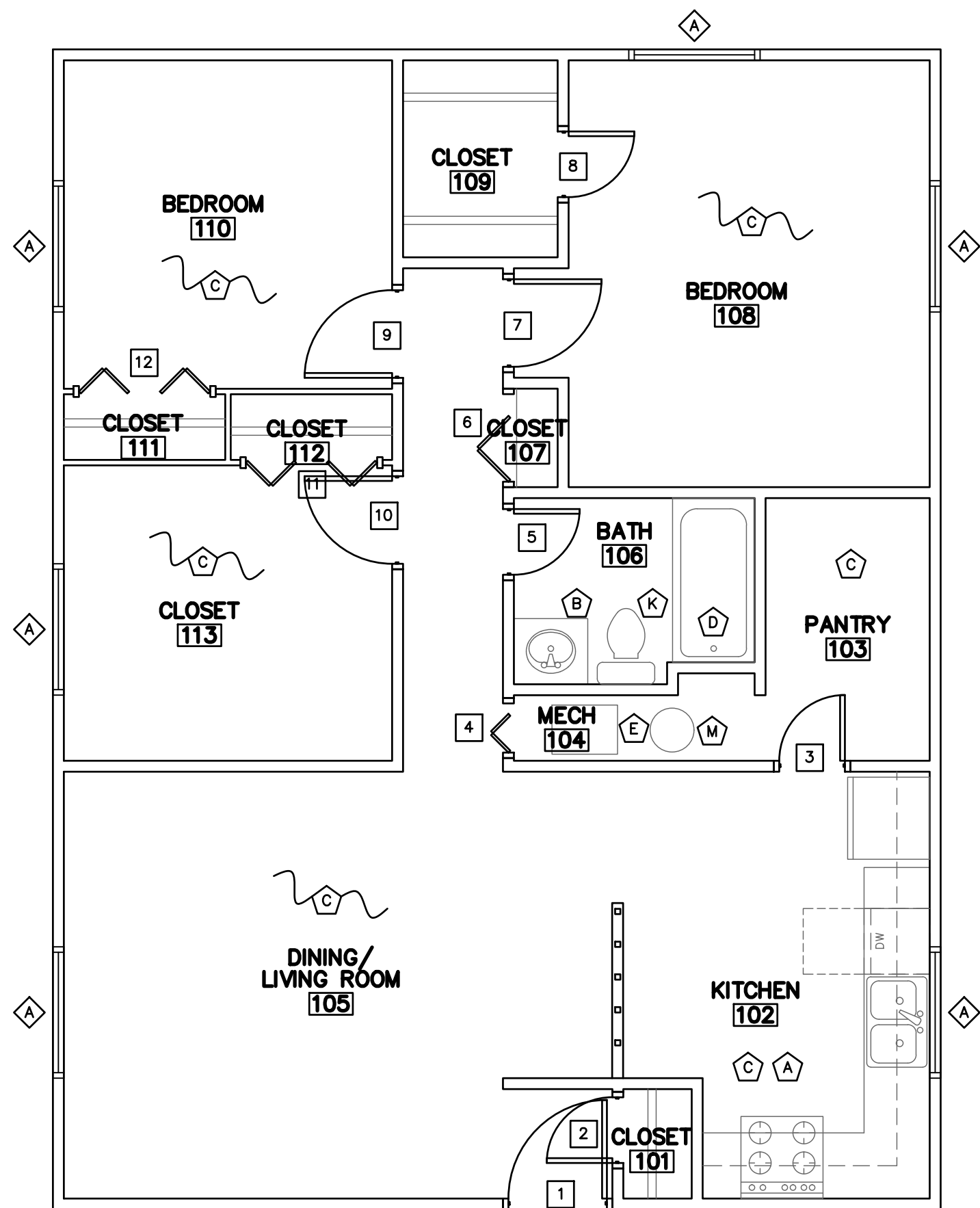
- UNIT KEYNOTES:**
- (A) INSTALL NEW CABINETS, COUNTERTOPS, APPLIANCES AND FIXTURES IN THE KITCHEN AREA. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS FOR NEW CASEWORK SHOP DRAWINGS.
 - (B) INSTALL NEW VANITY AND SINK.
 - (C) INSTALL NEW FLOORING & BASE.
 - (D) INSTALL NEW TUB/SHOWER, SURROUND, SHOWER, HEADS, SPOUTS, VALVE CONTROLS & CURTAIN RODS.
 - (E) INSTALL NEW FURNACE (REF. MECHANICAL)
 - (F) CEILINGS TO RECEIVE ORANGE PEEL TEXTURE & PAINT.
 - (G) INSTALL NEW DOOR
 - (H) INSTALL NEW MOP SINK
 - (J) INSTALL NEW COUNTER AT 30" AFF TO MEET ADA
 - (K) INSTALL NEW TOILET
 - (L) INSTALL NEW WASHERS & DRYERS
 - (M) INSTALL NEW WATER HEATER (PER ALTERNATE BID)
 - (N) PAINT EXISTING CABINET. INSTALL NEW LINEN CABINET TO MATCH OTHERS AT APARTMENT #707
 - (P) EXISTING BEARING WALL TO REMAIN
 - (Q) LOWER & OR RELOCATE EXISTING F.E. TO ADA HEIGHT

UNIT NOTES

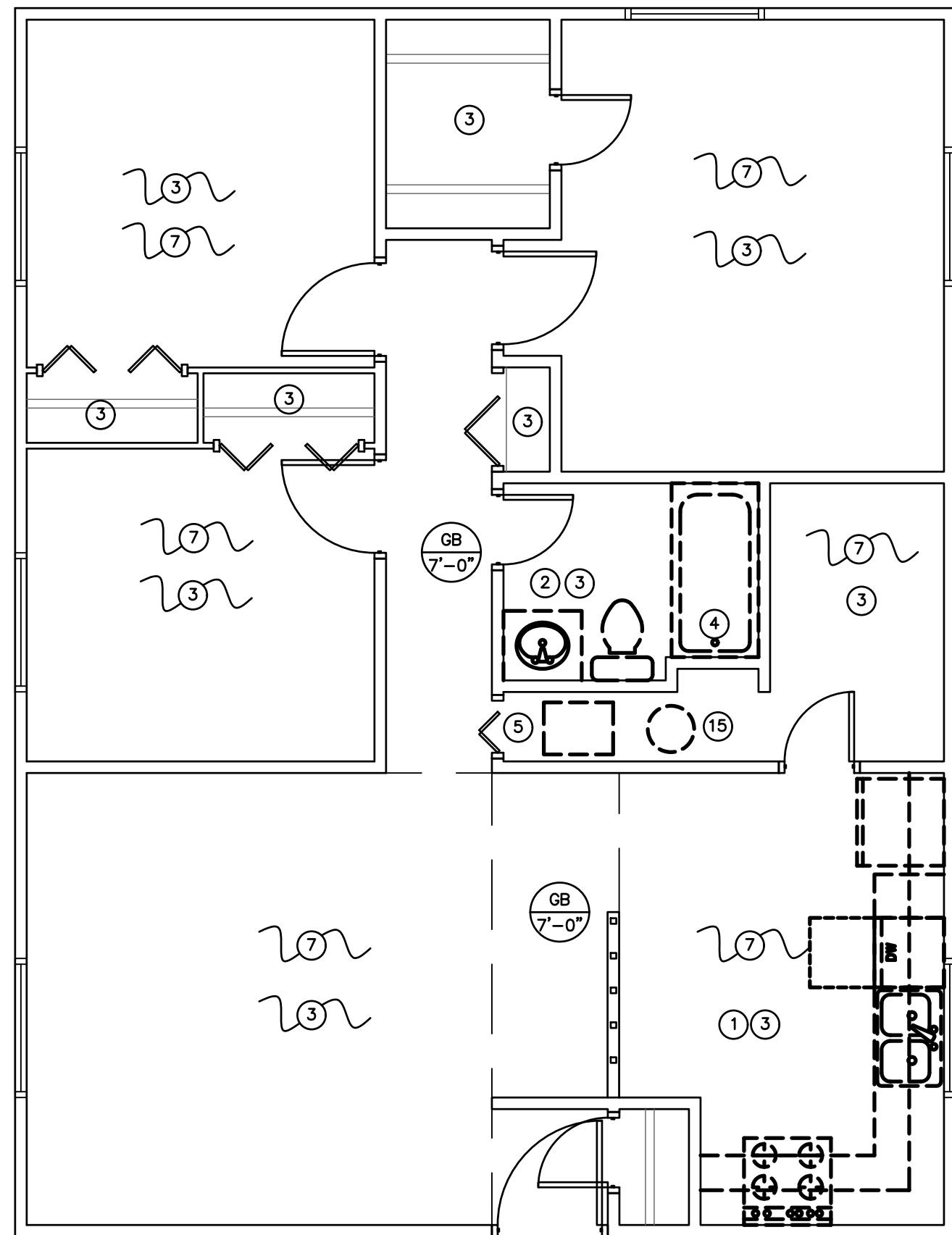
- GENERAL UNIT NOTES:**
1. REF. FLOOR PLANS FOR ADDITIONAL DIMENSIONS, PARTITION TYPES AND NOTES. ALL WALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
 2. CONTRACTOR SHALL PROVIDE SINGLE PLASTIC COATED WIRE SHELVES & ROD AT ALL CLOSETS U.N.O. AT ADA CLOSETS.
 3. FE = FIRE EXTINGUISHER, WALL MOUNTED; FEC = FIRE EXTINGUISHER CABINET. LOCATIONS APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2015 IBC, SECTION 906.1.
 4. KITCHEN & BATH RECEPTACLES ABOVE COUNTERTOP TO BE 44"max ABOVE FIN FLR.
 5. AT ALL EXISTING INTERIOR AND EXTERIOR DOORS: REPLACE EXISTING HARDWARE WITH NEW. (ALTERNATE)
 6. ALL INTERIOR WALLS & CEILINGS TO RECEIVE ORANGE PEEL TEXTURE & PAINT.
 7. REMOVE ALL EXISTING FINISH FLOORING & BASE AT INTERIOR OF UNITS. NEW FLOORING & BASE TO BE INSTALLED, REFERENCE FINISH SCHEDULE AND PLANS. ALTERNATE: EXISTING CARPET @ BEDROOMS TO REMAIN
 8. **ACCESSIBLE UNITS (INDICATED ON FLOOR PLAN SHEETS):**
 - CONTRACTOR SHALL PROVIDE & INSTALL COVERS AT: HOT WATER, DRAIN PIPES, DISPOSAL WHERE PIPING IS EXPOSED.
 - CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL INSTALLED GRAB BARS, COUNTERTOPS/SUPPORT BRACES, SHOWER SURROUND & BASES, SHOWER SEATS, ETC. AS REQ'D.
 - ALL TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - INSTALL PLASTIC COATED WIRE CLOTHES SHELF & ROD @ 48" AFF
 9. **HEARING/VISION IMPAIRED UNIT (INDICATED ON FLOOR PLAN SHEETS):**
 - CONTRACTOR SHALL INSTALL EQUIPMENT REQUIRED PER 2010 ADA SEC. 809.5. & ICC A117.1-2009 SEC. 1005.
 10. **ALTERNATE**
 - DOORS NOT DESIGNATED PER PLAN TO BE REMOVED PER BASE BID, SHALL BE REPLACED WITH NEW INCLUDING HARDWARE.
 - REPLACE ALL WINDOWS WITH NEW
- DEMOLITION KEYNOTES:**
- (1) REMOVE ALL EXISTING CABINETS, COUNTERTOPS, APPLIANCES AND FIXTURES IN THE KITCHEN AREA.
 - (2) REMOVE EXISTING VANITY AND SINK.
 - (3) REMOVE ALL EXISTING FINISH FLOORING & BASE, ENTIRE UNIT. PREP FOR NEW FLOORING & BASE. ALTERNATE: EXISTING CARPET @ BEDROOMS TO REMAIN.
 - (4) REMOVE EXISTING TUB/SHOWER & SURROUND, REMOVE EXISTING HEADS, SPOUTS, VALVE CONTROLS & CURTAIN RODS.
 - (5) REMOVE EXISTING OLD OR DAMAGED SPLIT UNITS AND REPLACE AS NECESSARY (OWNER TO IDENTIFY AS NEEDED)
 - (6) REMOVE ALL POPCORN TEXTURE FROM CEILING G.B
 - (7) AT APARTMENTS #602, #603, #707, #902, #903, #904, #1304, #1503 & #1904: REMOVE ALL EXISTING SHEETROCK FROM WALLS & CEILINGS AS WELL AS ALL ASSOCIATED INSULATION. REPLACE WITH NEW. THOROUGHLY INSPECT & REPLACE ANY WATER-DAMAGED WOOD FRAMING MEMBERS. (UNITS IDENTIFIED WITH WATER DAMAGE)
 - (8) REMOVE ALL EXISTING WALLS, DOORS, CLOSET RODS, MECHANICAL, ELECTRICAL, ETC. IN THIS AREA AS INDICATED BY DASHED LINES.
 - (9) REMOVE EXISTING DOOR & PARTIAL WALL
 - (10) REMOVE MOP SINK
 - (11) REMOVE COUNTER
 - (12) REMOVE PARTIAL WALL
 - (13) REMOVE PLUMBING FIXTURES
 - (14) REMOVE WASHERS & DRYERS
 - (15) REMOVE EXISTING WATER HEATER (PER ALTERNATE BID)

GENERAL NOTES

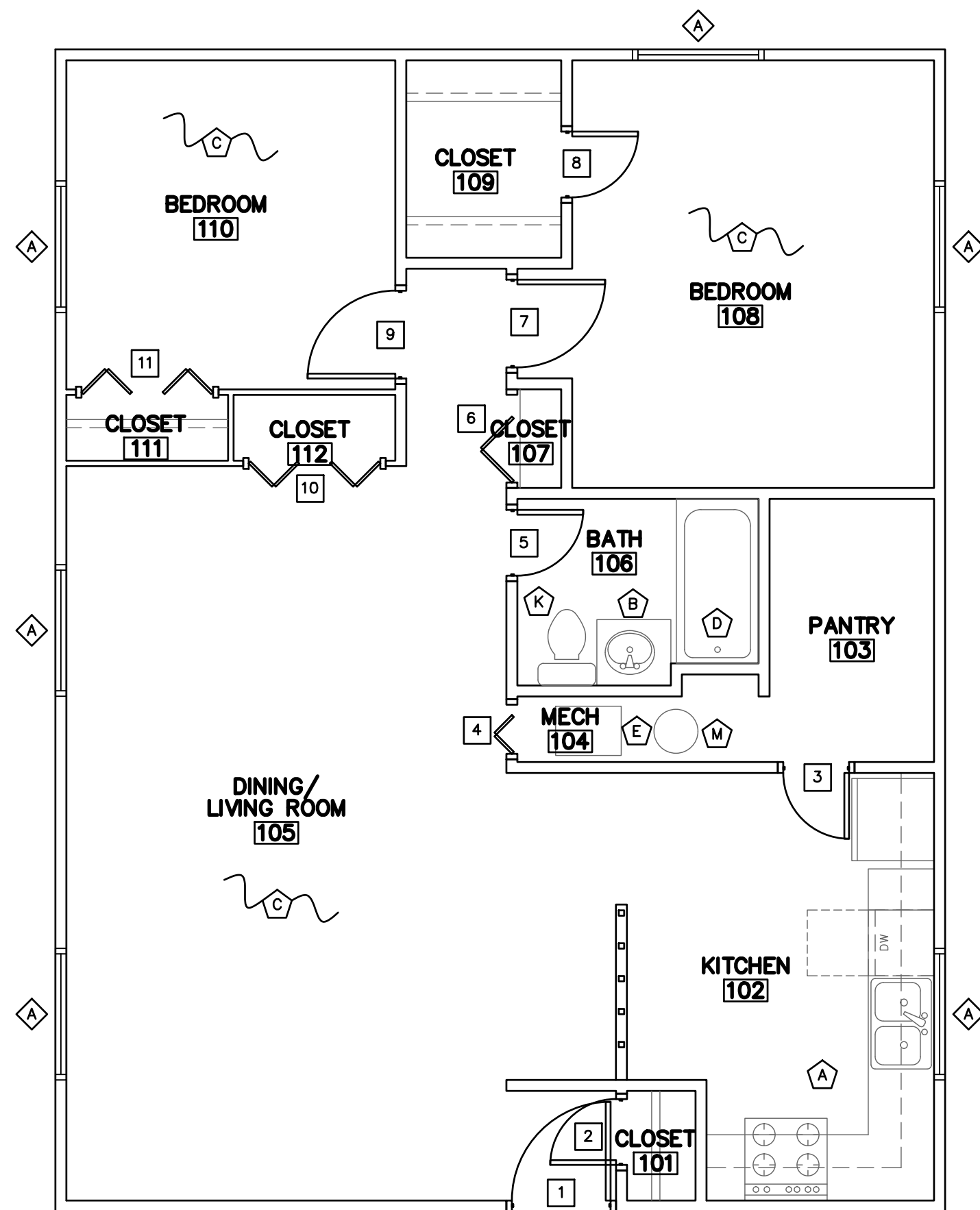
- DEMOLITION GENERAL NOTES**
1. WHERE EXIST. BUILDING COMPONENTS ARE TO BE REMOVED; PATCH & REPAIR THE SURFACES TO MATCH EXISTING FINISH, UNLESS NEW FINISHES ARE CALLED FOR. PAINT WALLS CORNER TO CORNER
 2. REMOVE EXISTING BUILDING COMPONENTS AS INDICATED, IMPLIED OR AS REQUIRED SCHEMATICALLY SHOWN AS BOLD DASHED LINES. FIELD VERIFY ALL LOCATIONS
 3. THE ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CORE DRILLING FOR PIPING & CONDUIT INSTALLATION.
 4. ALL OTHER CUTTING, PATCHING & FINISHING, U.N.O. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 5. SHORING OF EXISTING STRUCTURE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTRACTOR TO INVESTIGATE & IDENTIFY ALL STRUCTURAL BEAMS, COLUMNS, & BEARING WALLS PRIOR TO ANY DEMO WORK. NOTIFY ARCHITECT AT ALL PROPOSED ACCESSIBLE UNITS.
 6. NOTIFY ARCHITECT IMMEDIATELY IF ASBESTOS IS SUSPECTED ON SITE. DO NOT DISTURB UNLESS DIRECTED.
 7. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE DEMOLITION BY DIFFERING TRADES.
 8. CONTRACTOR TO COORDINATE LOCATIONS OF ANY OF ALL EXISTING EXISTING RECEPTACLES, SWITCHES, DEVICES, ETC. PRIOR TO DEMOLITION, RELOCATE OR ABANDON ACCORDINGLY.



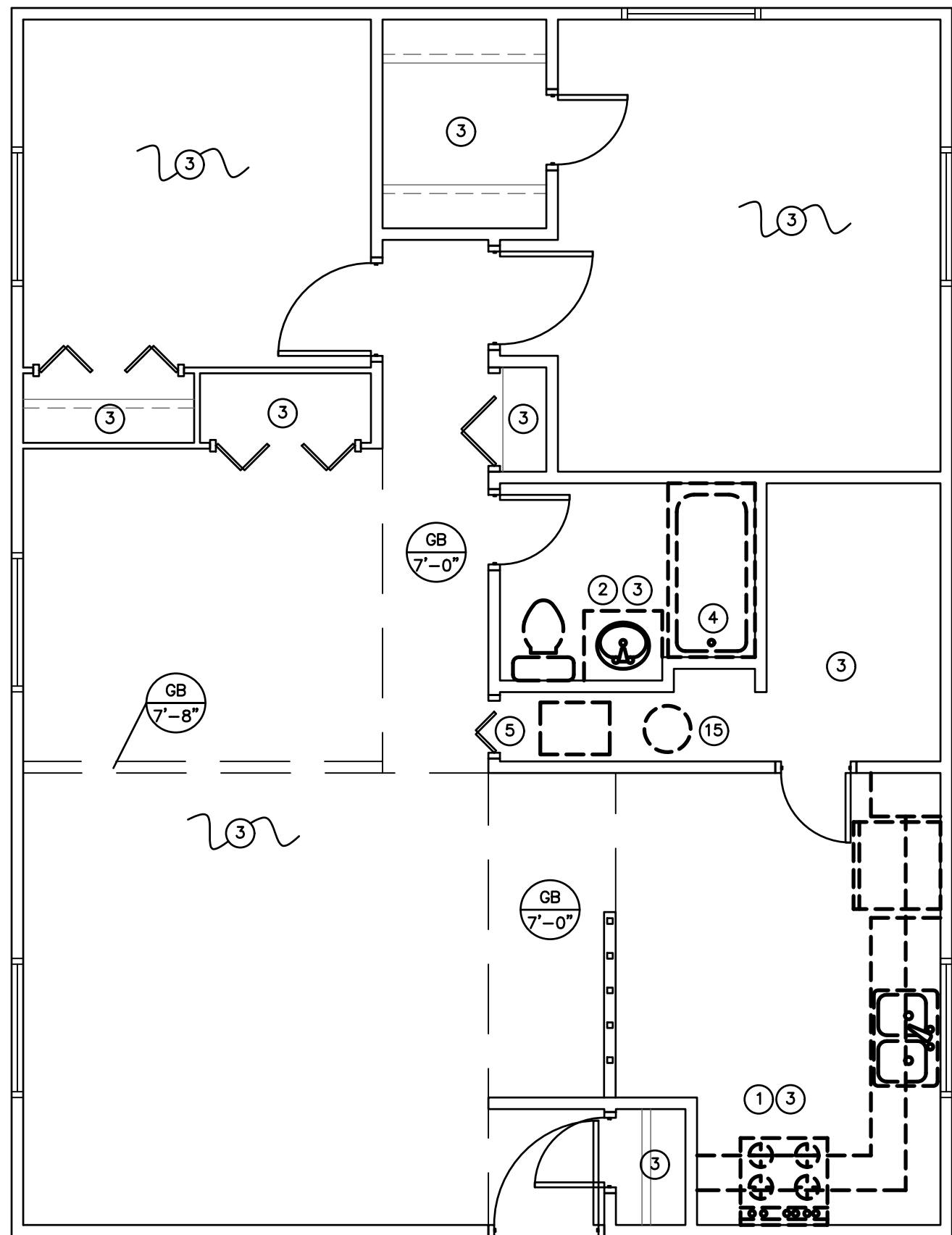
D PROPOSED UNIT 3A 3-BEDROOM
ENLARGED FLOOR PLAN
1/4"=1'-0"



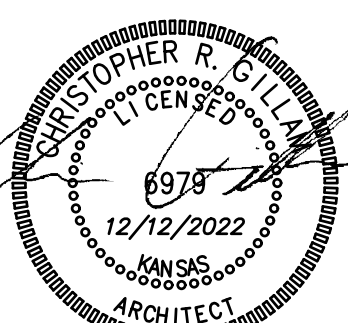
C UNIT 3A 3-BEDROOM
DEMOLITION PLAN
1/4"=1'-0" NOTE: G.B. CEILINGS AT 8'-0" A.F.F. U.N.O.



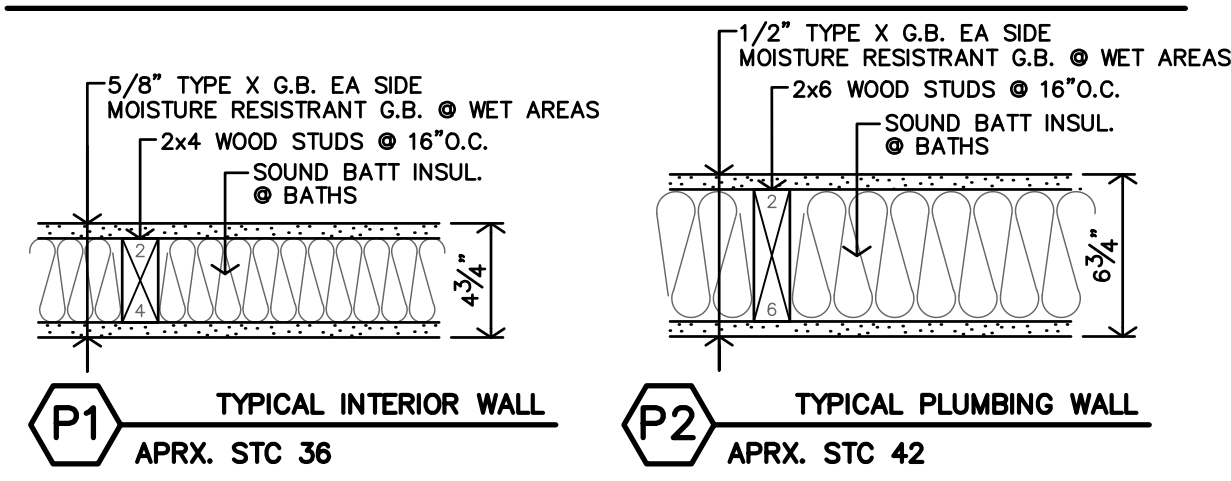
B PROPOSED UNIT 2D 2-BEDROOM
ENLARGED FLOOR PLAN
1/4"=1'-0"



A UNIT 2D 2-BEDROOM
DEMOLITION PLAN
1/4"=1'-0" NOTE: G.B. CEILINGS AT 8'-0" A.F.F. U.N.O.



NEW WALL TYPES
APARTMENT PARTITION SCHEDULE



KEYNOTES

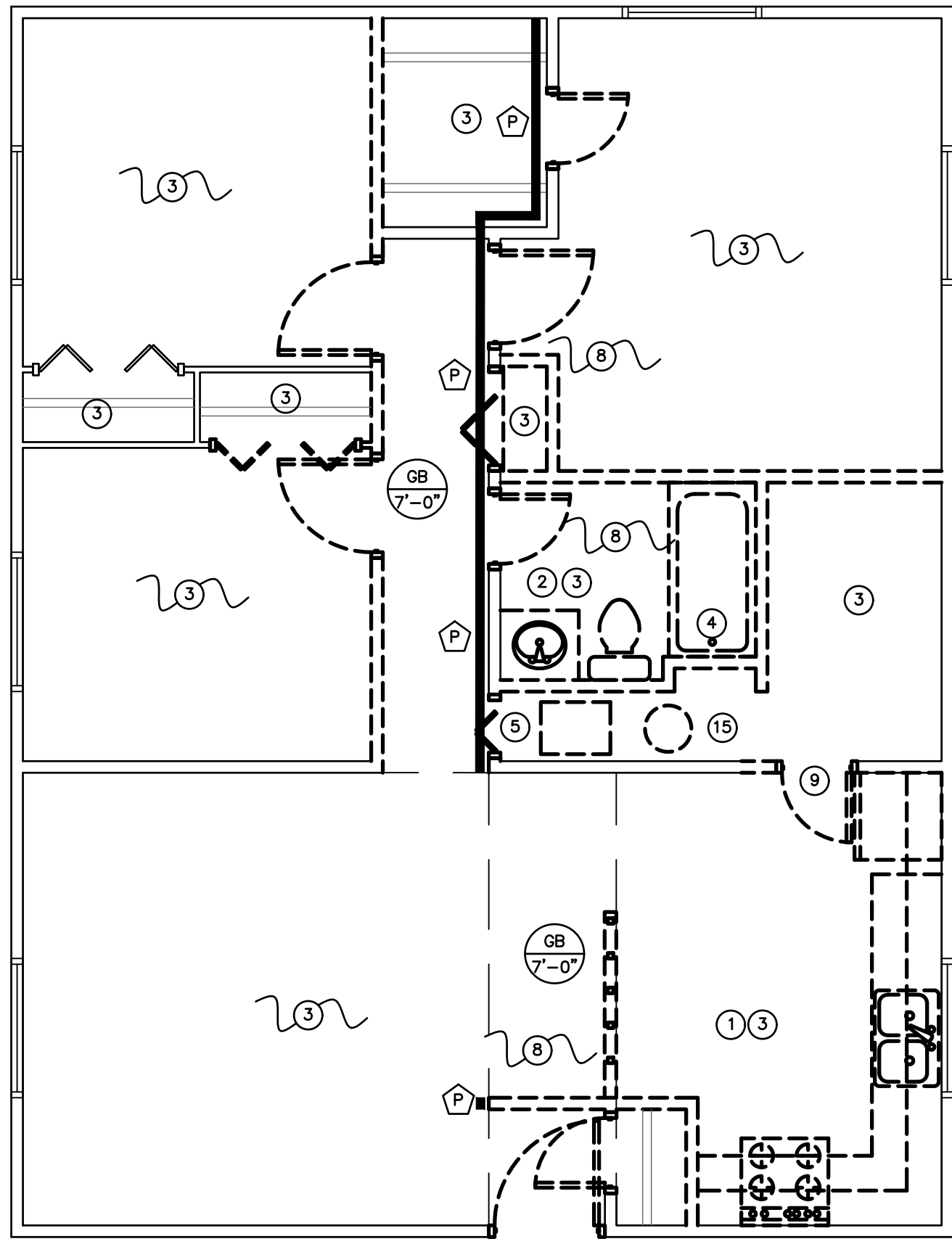
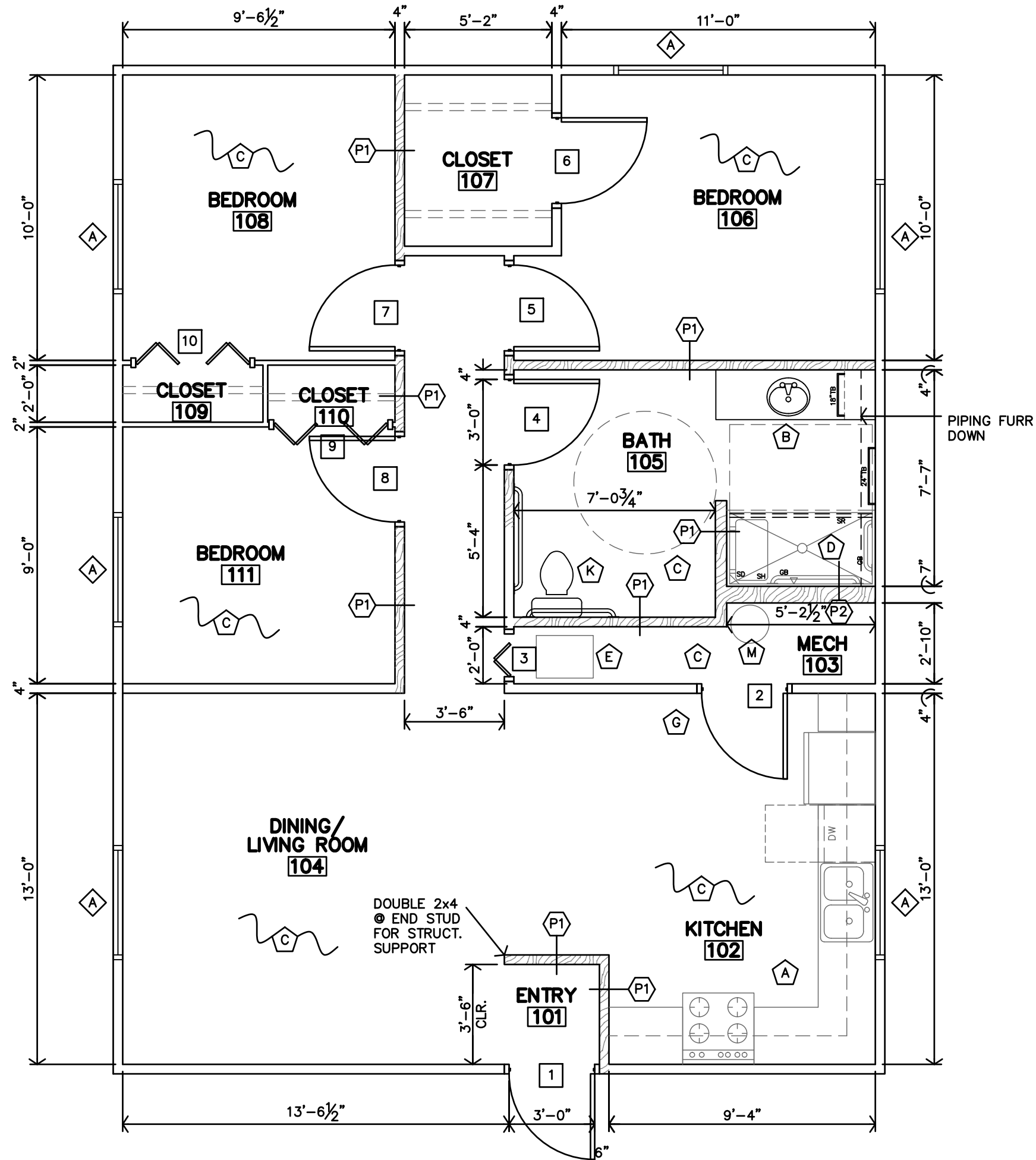
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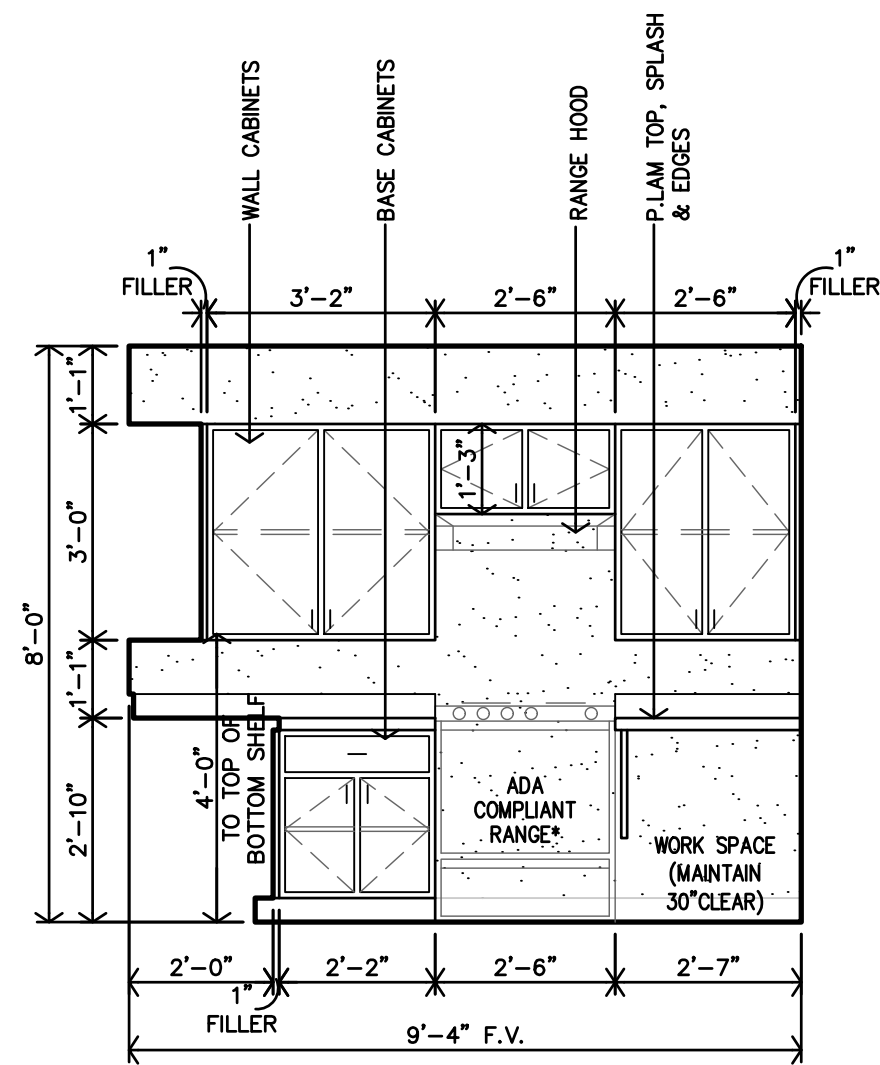
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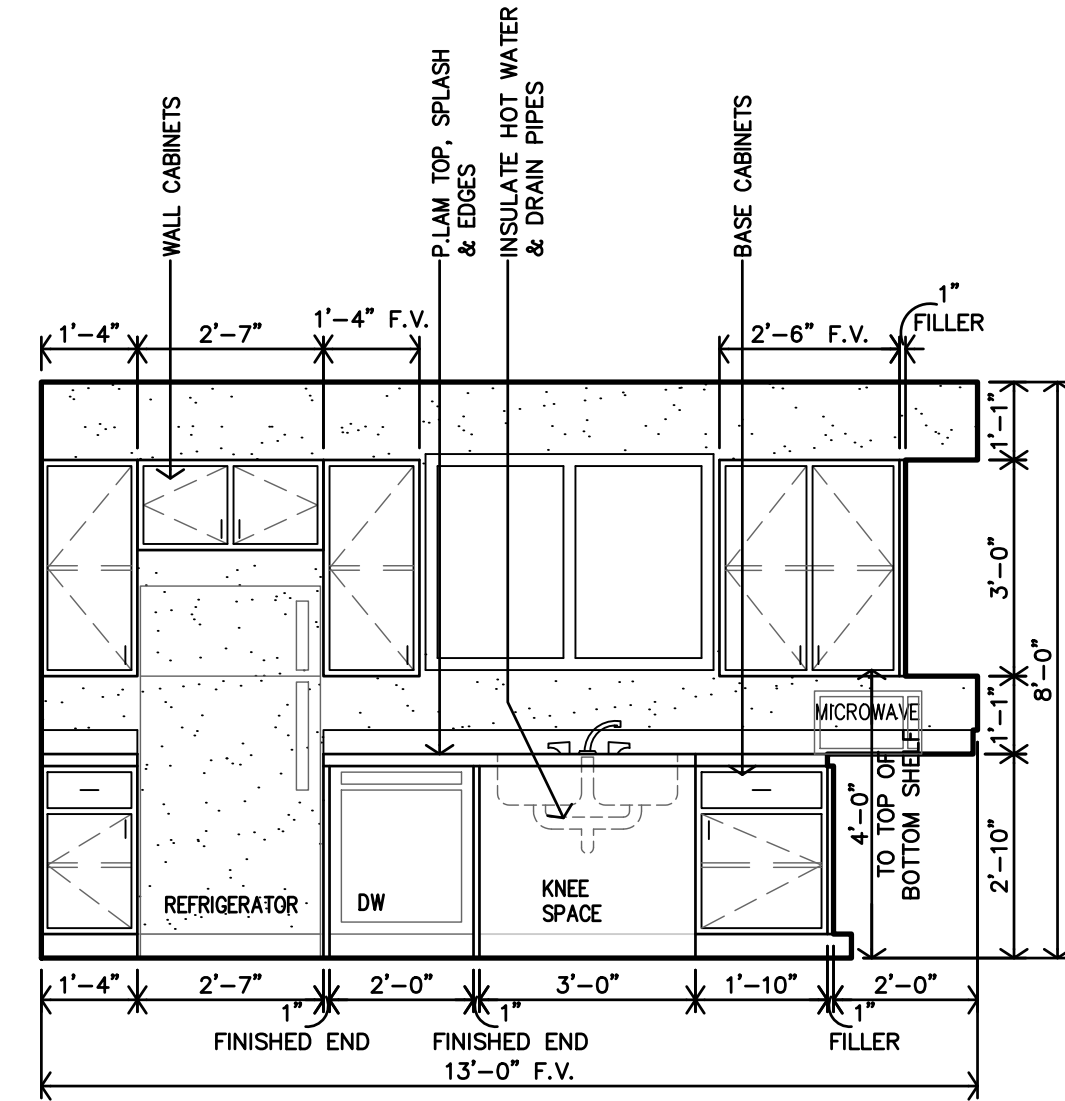
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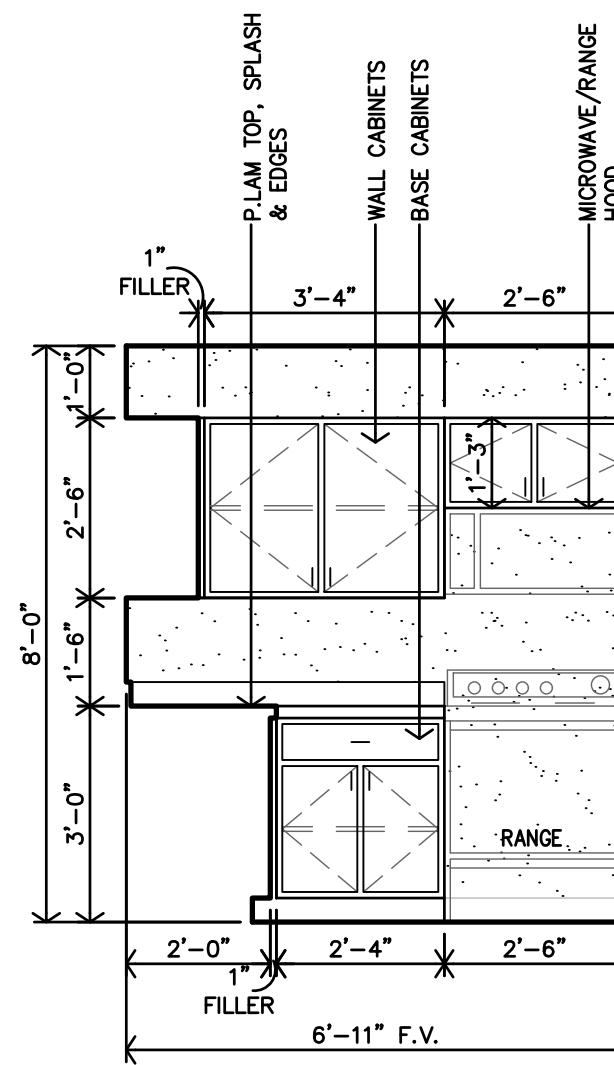




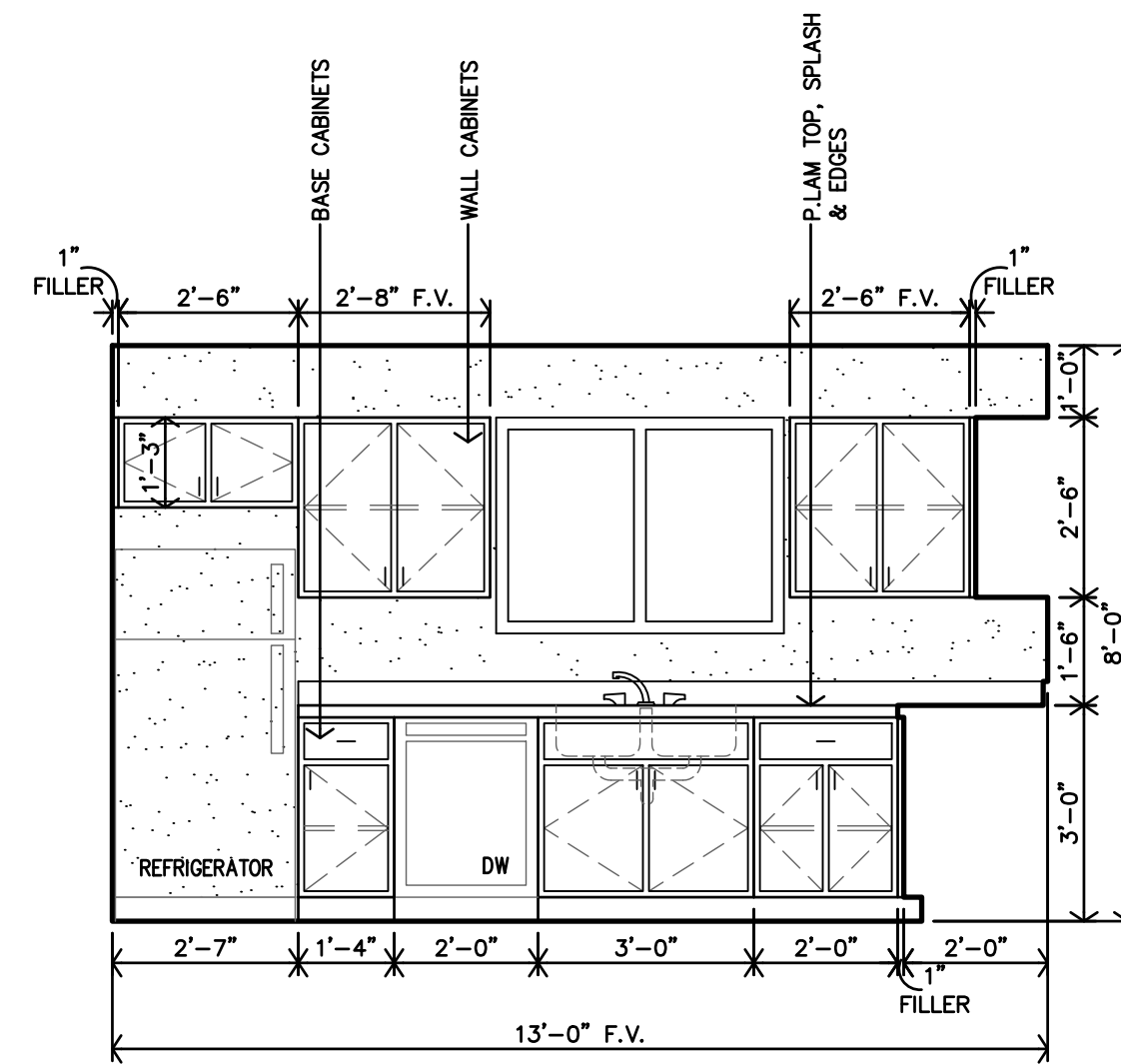
R ACCESSIBLE
UNIT 3B KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



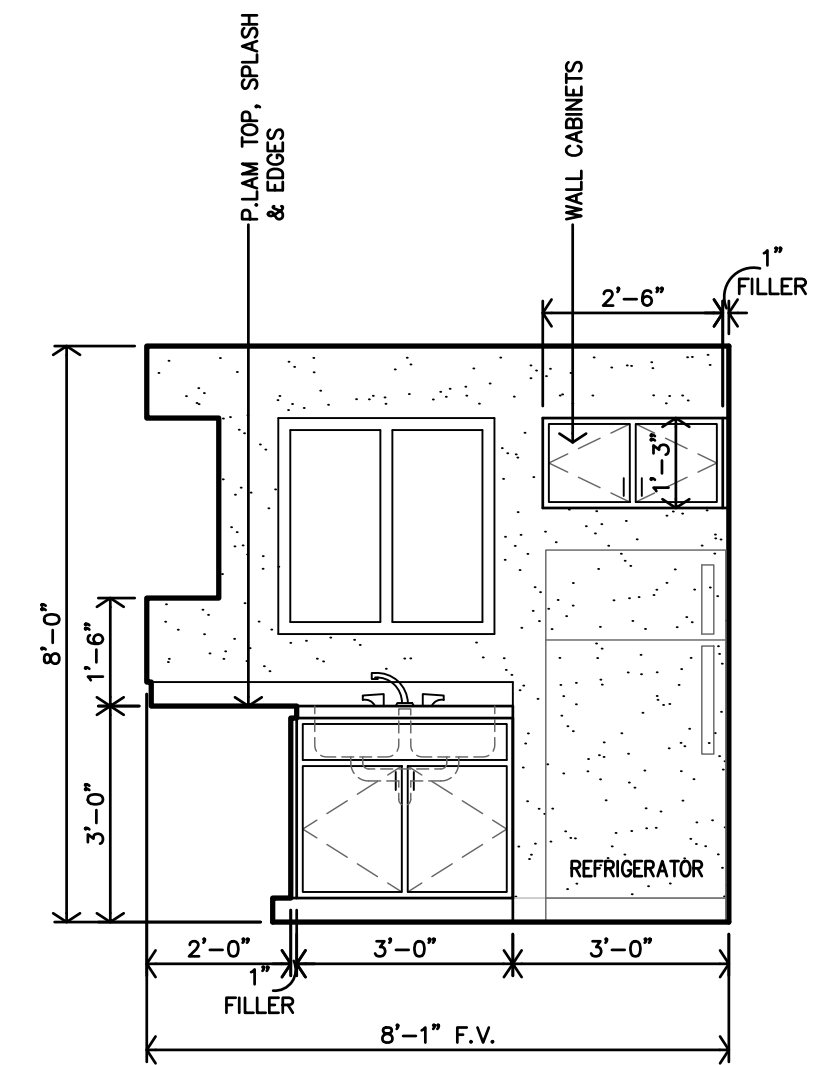
Q ACCESSIBLE
UNIT 3B KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



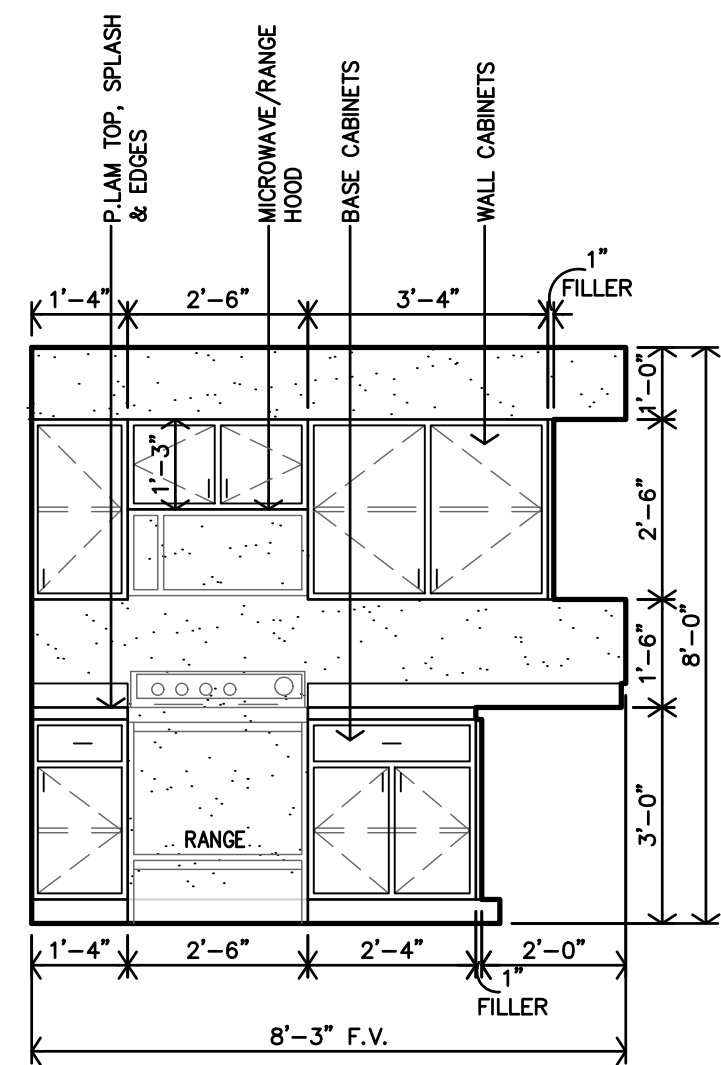
P UNIT 2D & 3A KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



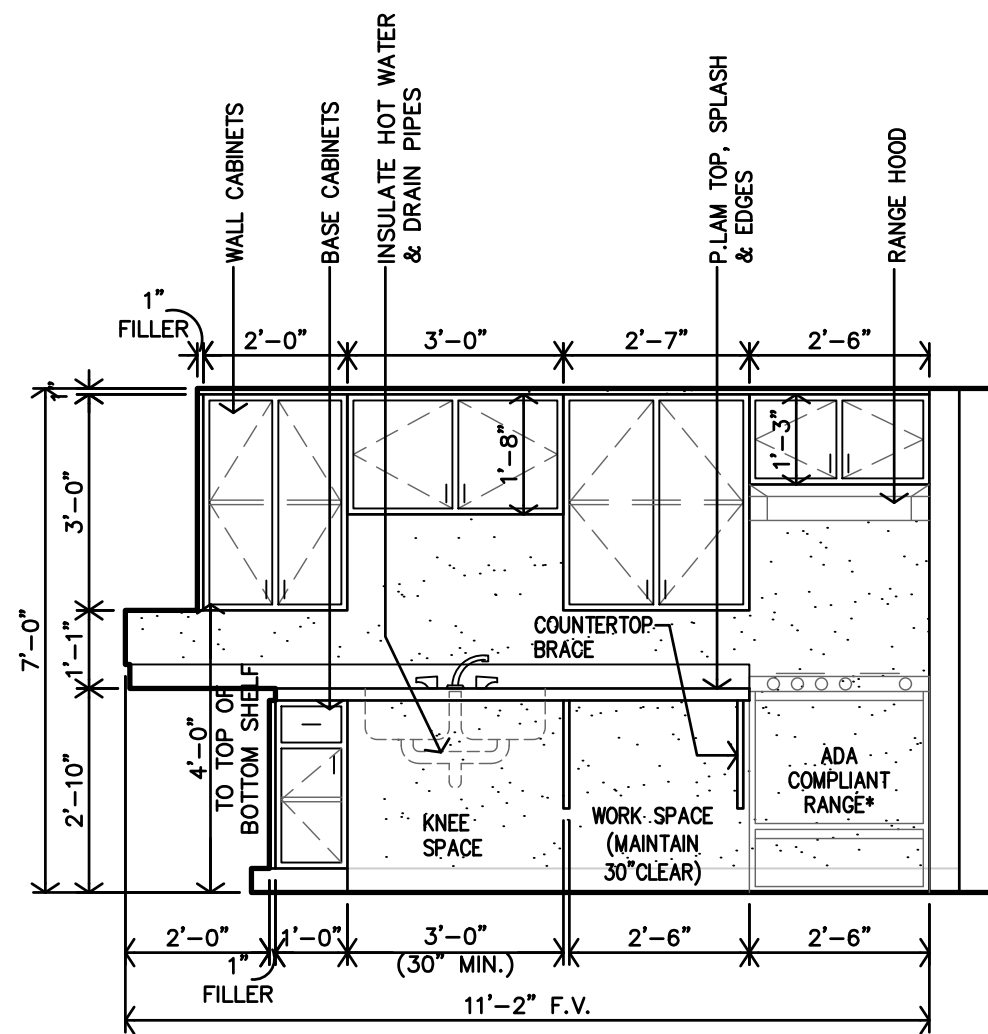
N UNIT 2D & 3A KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



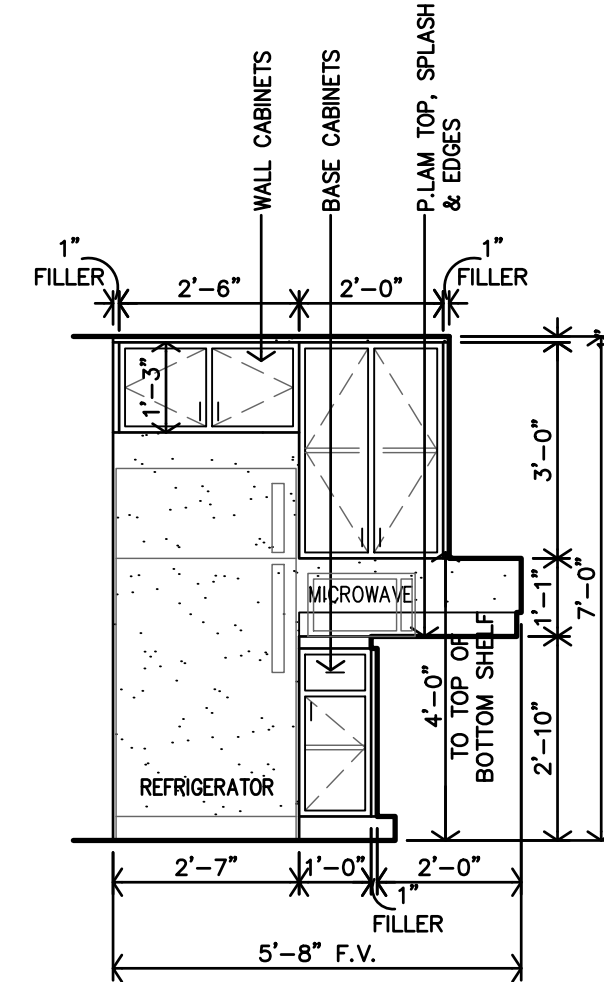
M UNITS 2A, 2B, & 2C KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



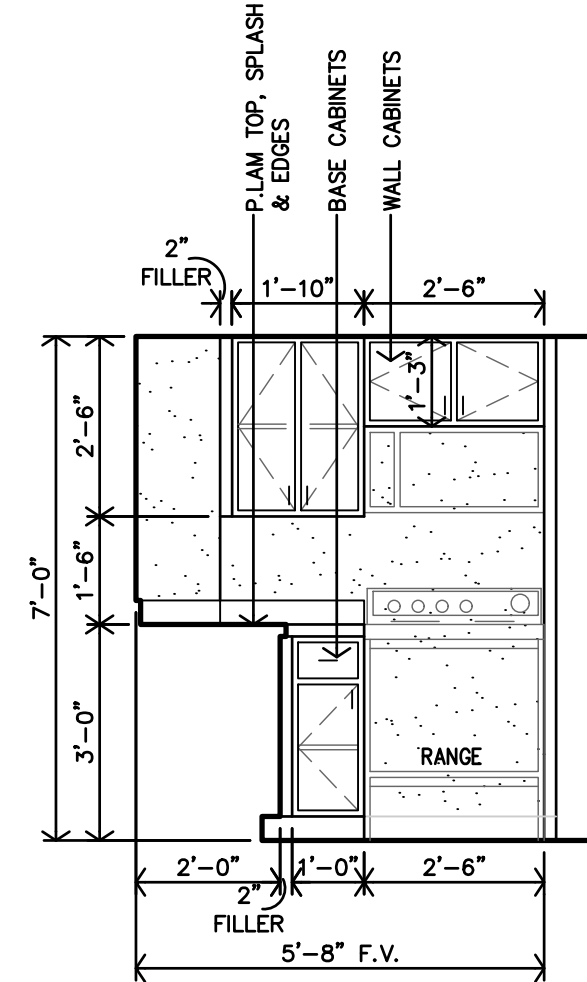
L UNITS 2A, 2B, & 2C KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



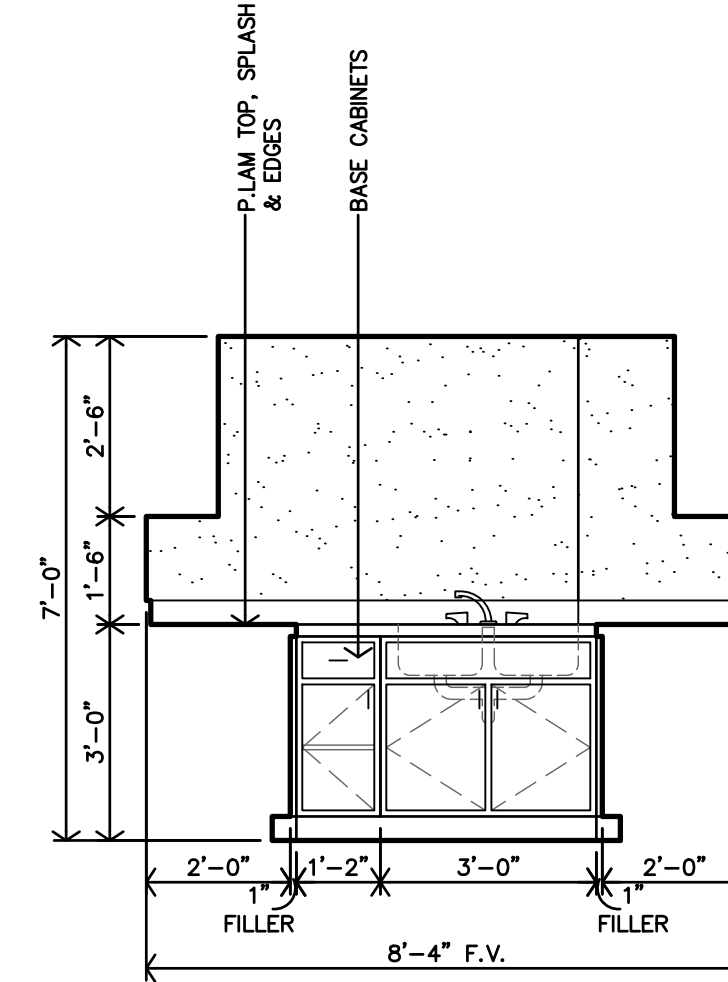
K ACCESSIBLE
UNIT 1B KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



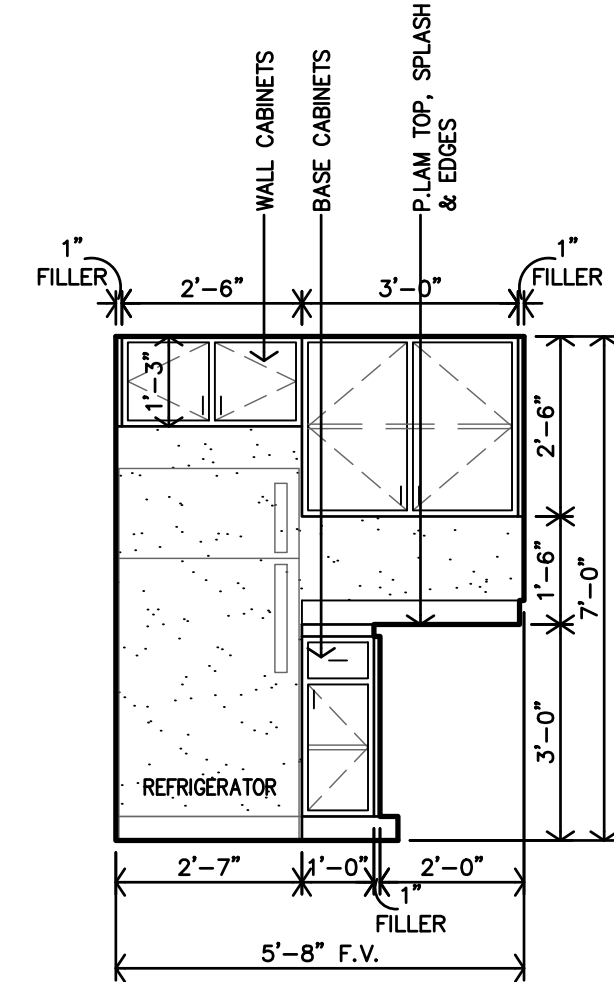
J ACCESSIBLE
UNIT 1B KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



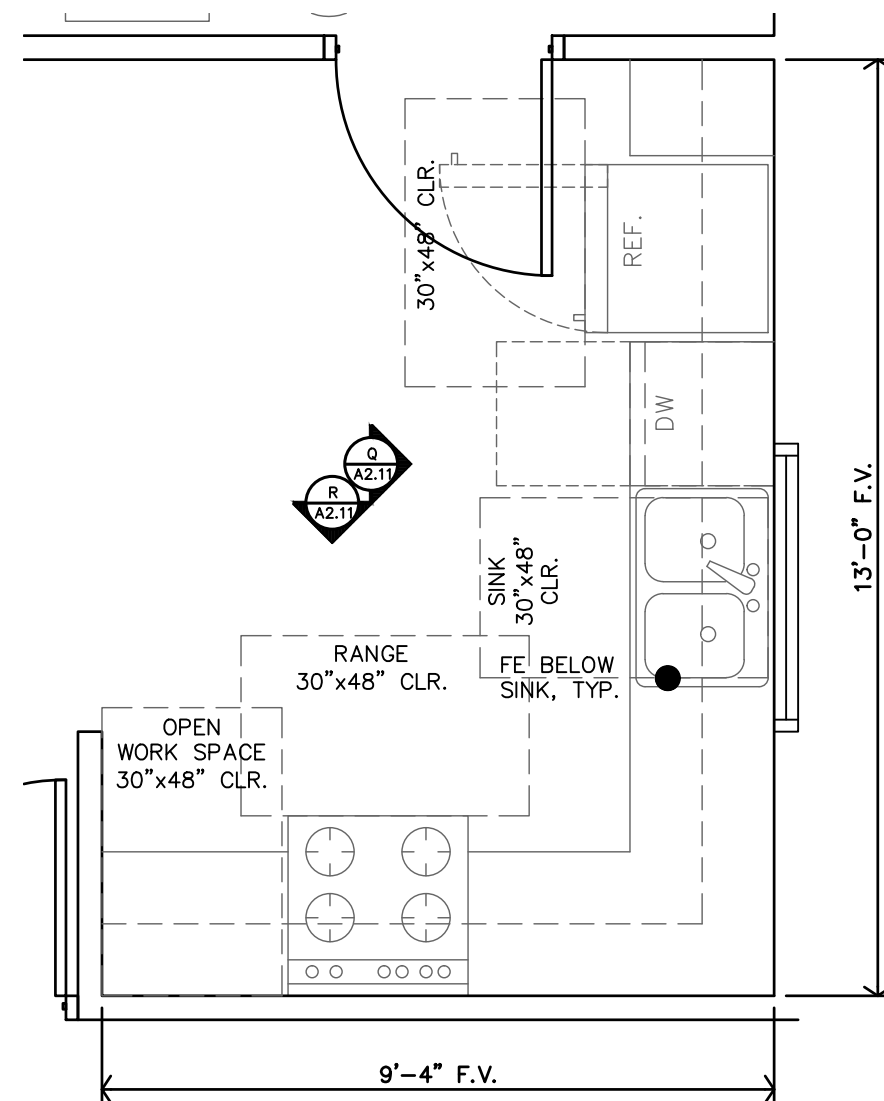
H UNIT 1A KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



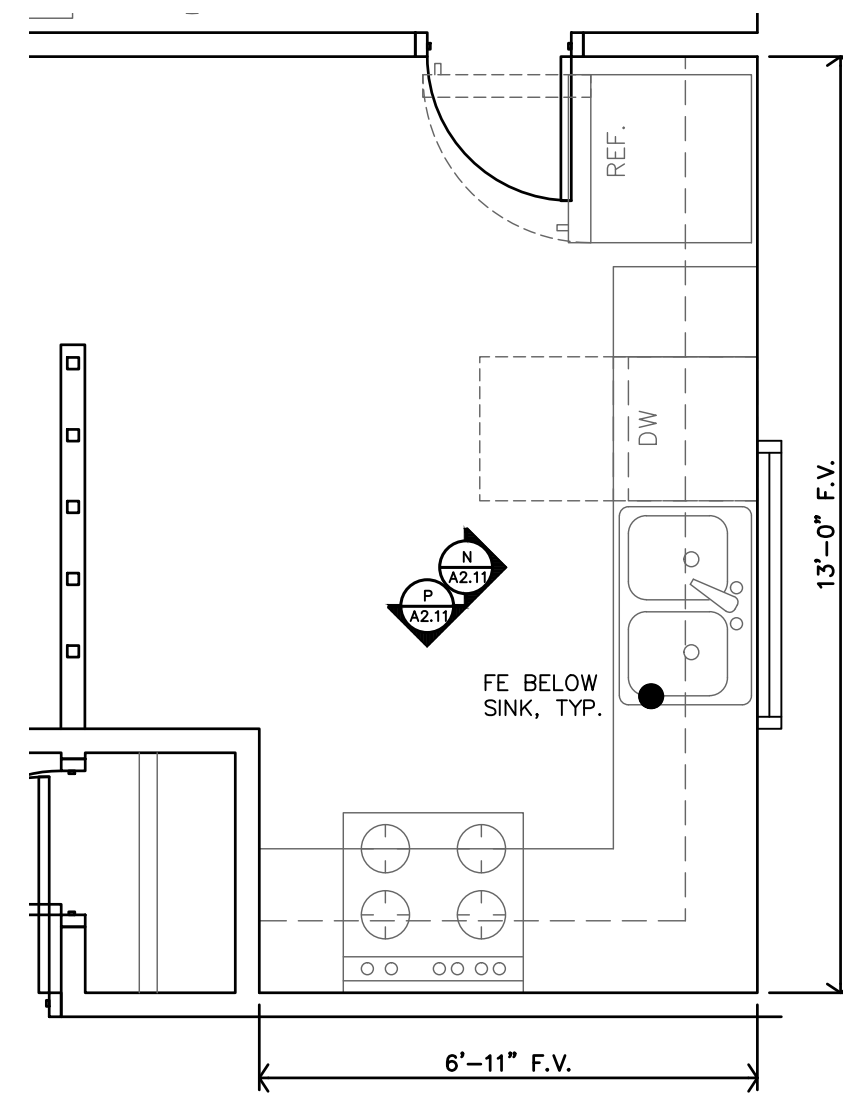
G UNIT 1A KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



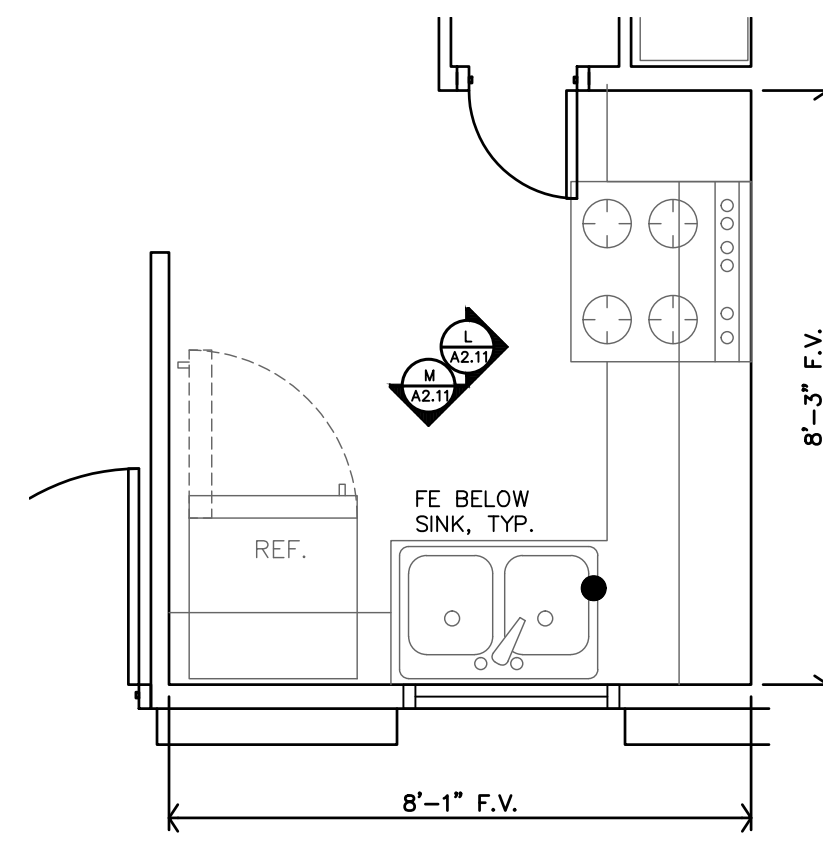
F UNIT 1A KITCHEN
INTERIOR ELEVATION
3/8"=1'-0"



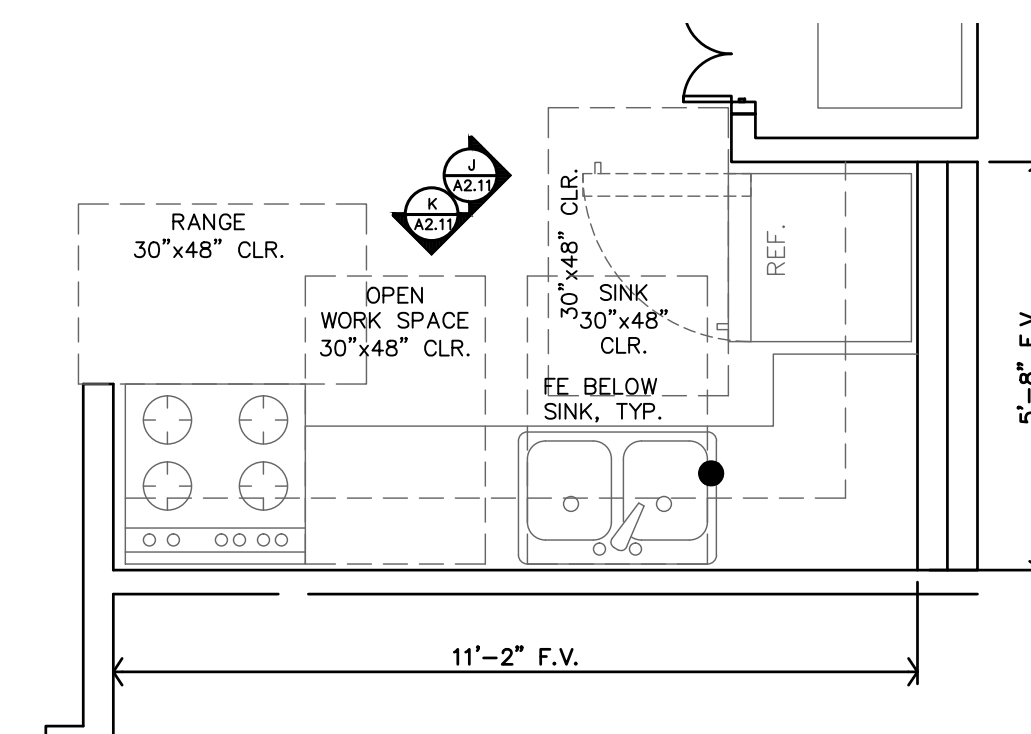
E ACCESSIBLE
UNIT 3B KITCHEN
ENLARGED PLAN
3/8"=1'-0"



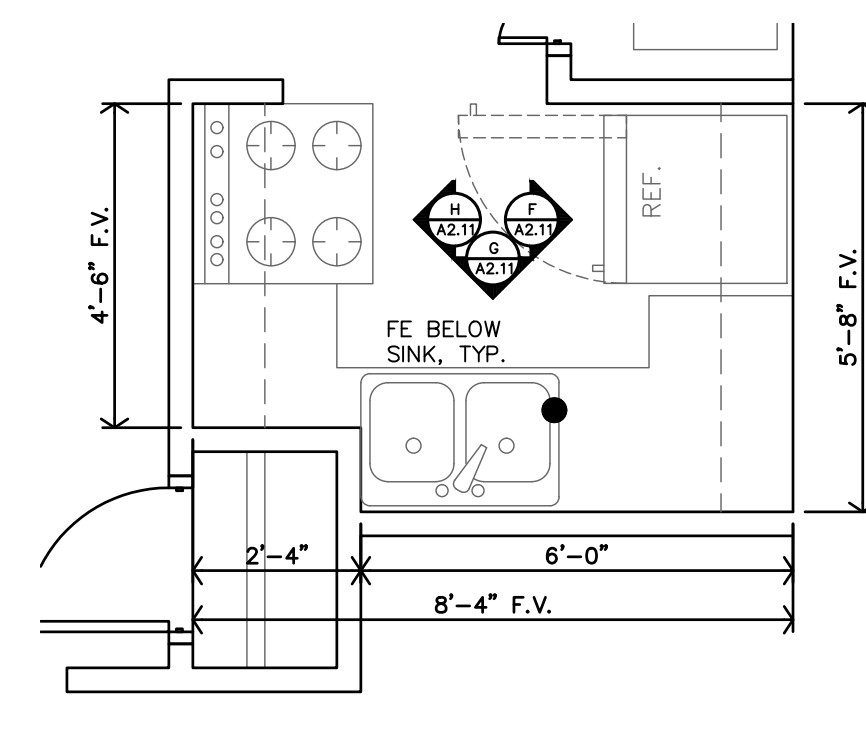
D UNIT 2D & 3A KITCHEN
ENLARGED PLAN
3/8"=1'-0"



C UNIT 2A, 2B, & 2C KITCHEN
ENLARGED PLAN
3/8"=1'-0"



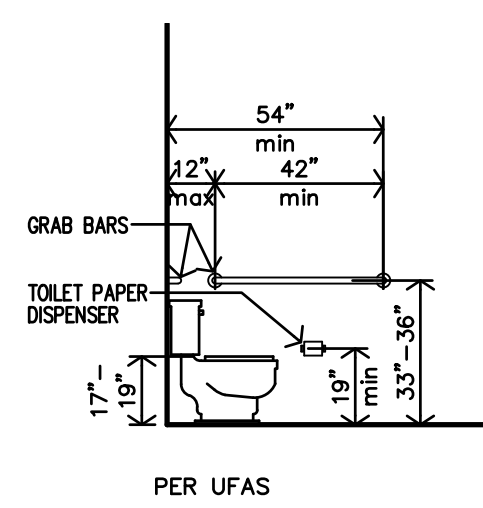
B ACCESSIBLE
UNIT 1B KITCHEN
ENLARGED PLAN
3/8"=1'-0"



A UNIT 1A KITCHEN
ENLARGED PLAN
3/8"=1'-0"

R ACCESSIBLE ROLL-IN SHOWER PLAN
1/4"=1'-0"

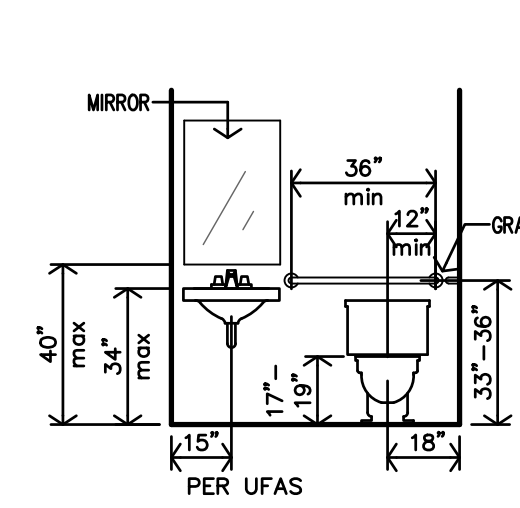
NOTE:
GC TO INSTALL BLOCKING FOR FOLDING SEAT & ALL GRAB/SIDE BARS



Q ACCESSIBLE TOILET SIDE WALL
1/4"=1'-0" FOR ACCESSIBLE HEIGHTS

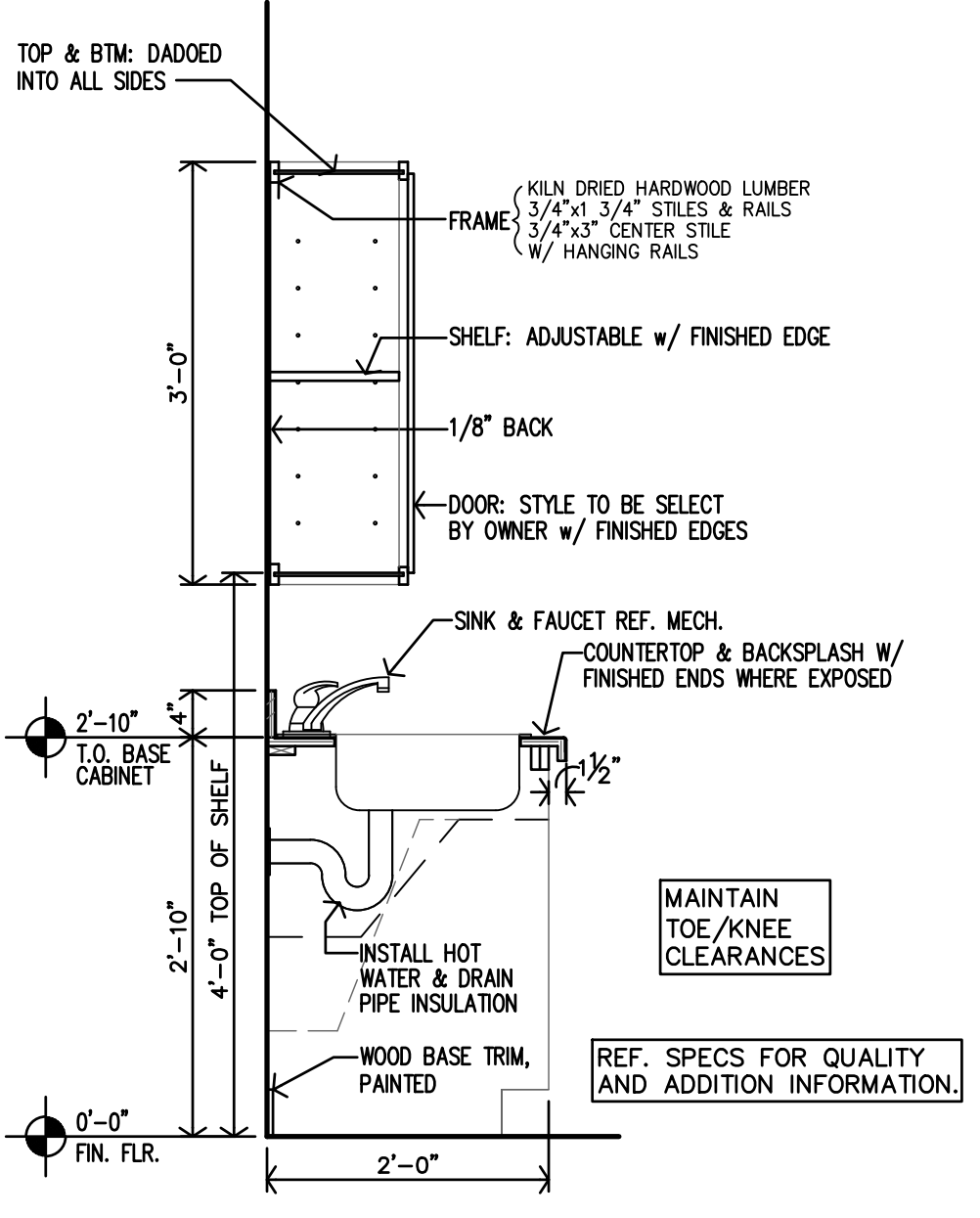
S ACCESSIBLE ROLL-IN SHOWER
1/4"=1'-0" FOR ACCESSIBLE HEIGHTS

NOTE:
END WALL NOT SHOWN



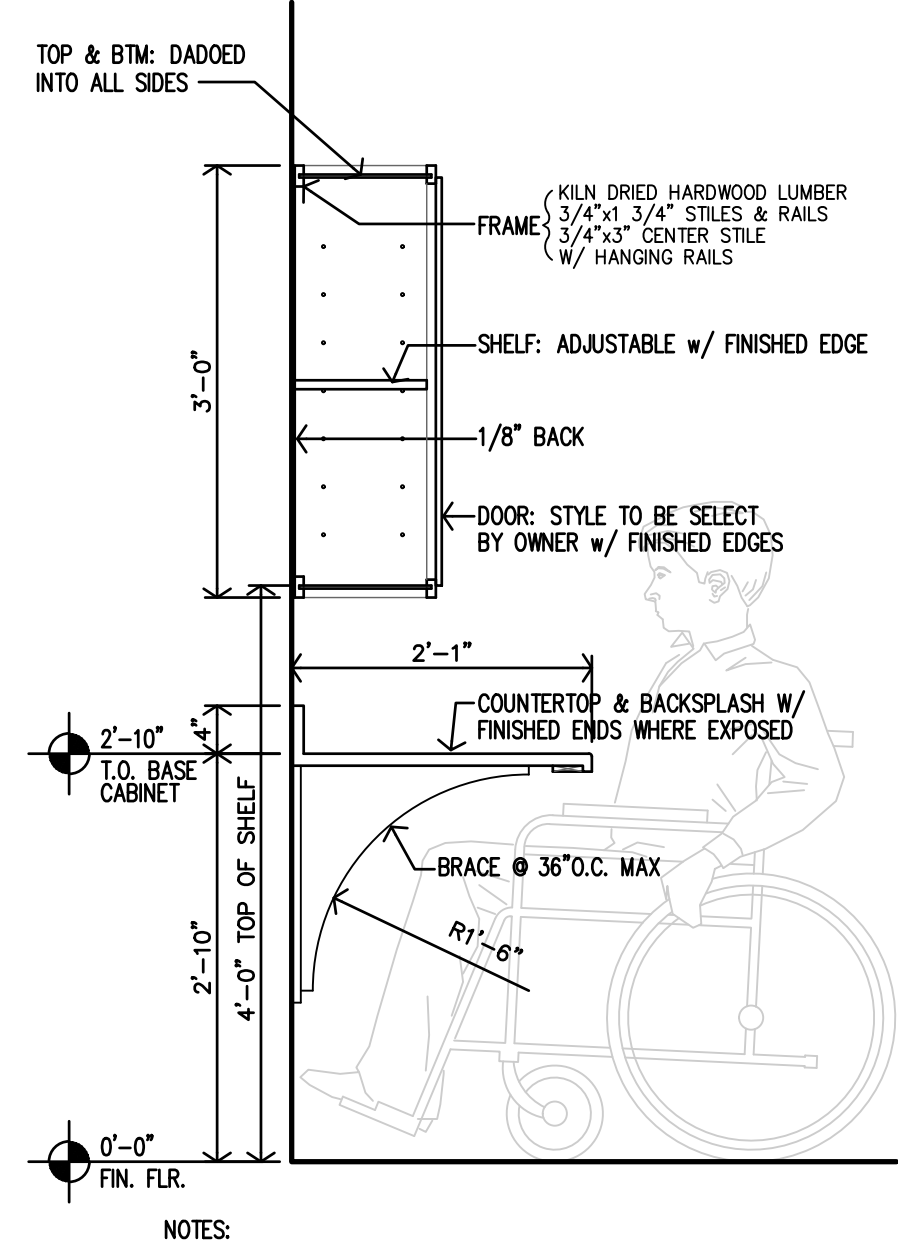
P ACCESSIBLE TOILET REAR WALL
1/4"=1'-0" FOR ACCESSIBLE HEIGHTS

ACCESSIBLE BATHROOM DETAILS



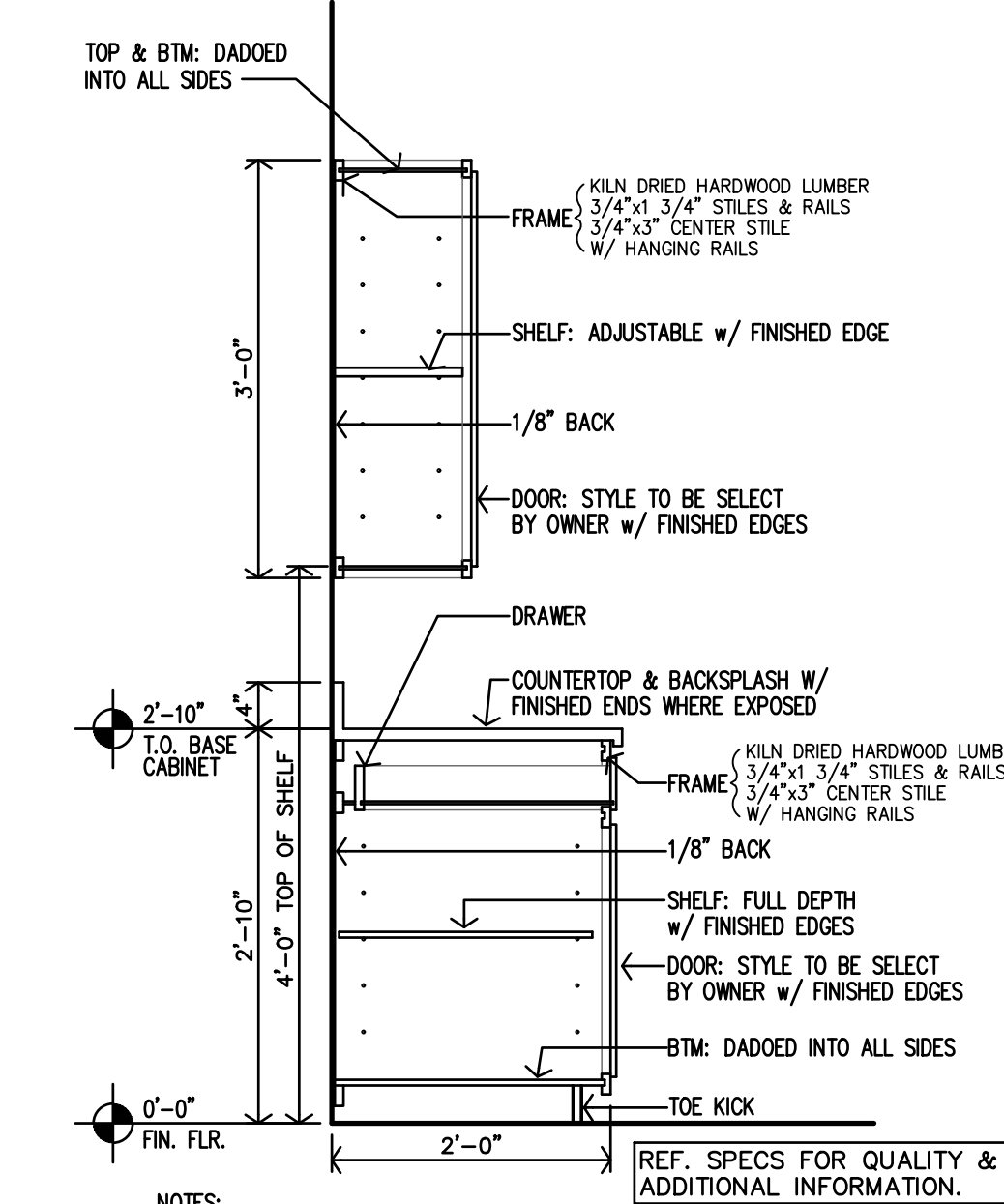
NOTES:
1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.

O SECTION @ ACCESSIBLE KITCHEN SINK
3/4"=1'-0"



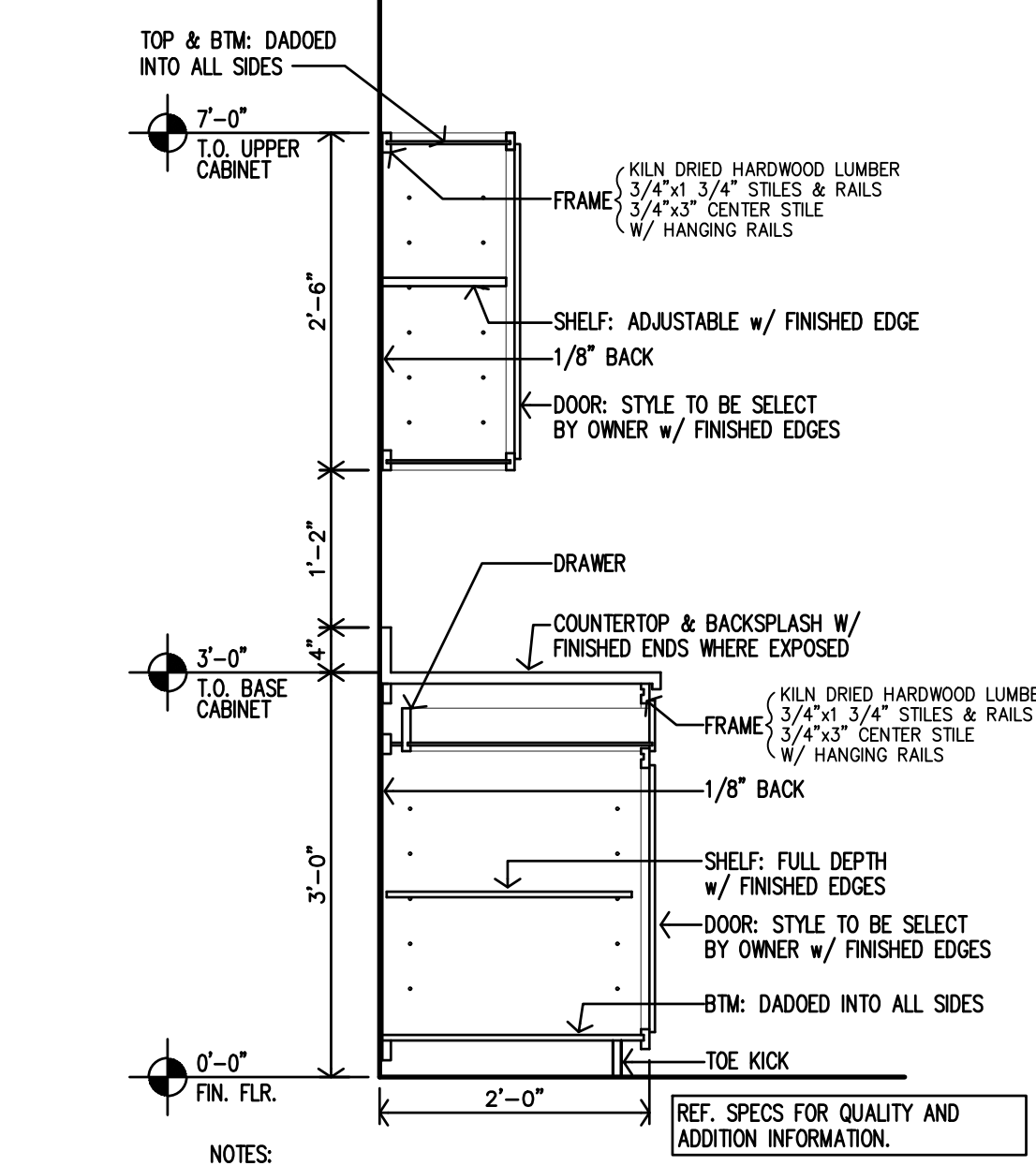
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N SECTION @ ACCESSIBLE KITCHEN WORK SPACE
3/4"=1'-0"



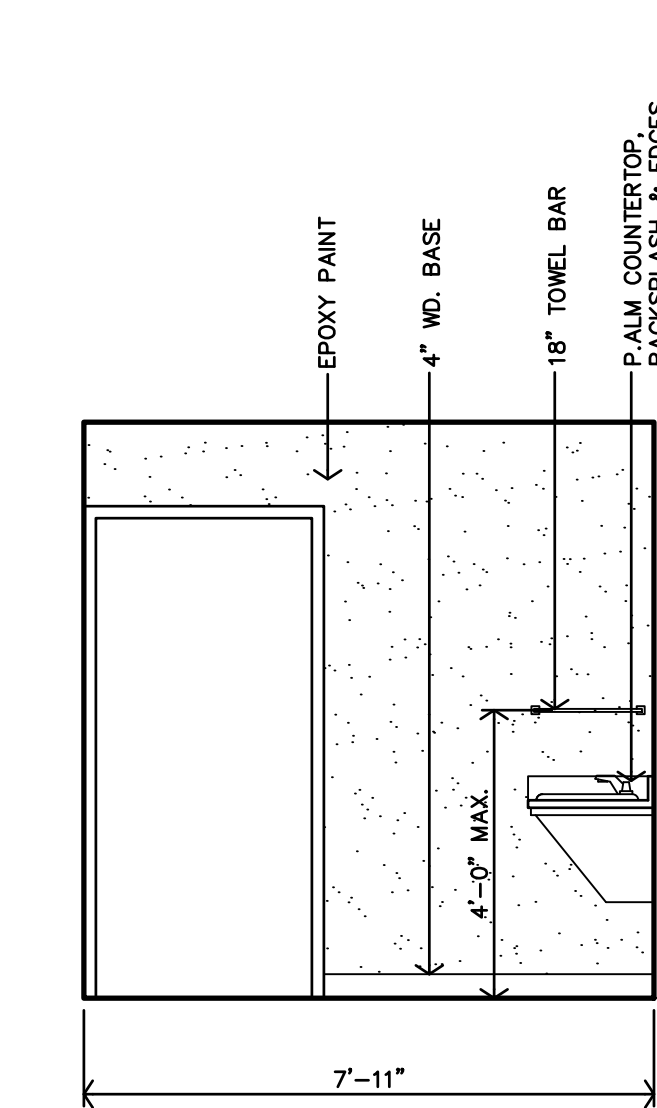
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M SECTION @ ACCESSIBLE KITCHEN CABINET
3/4"=1'-0"

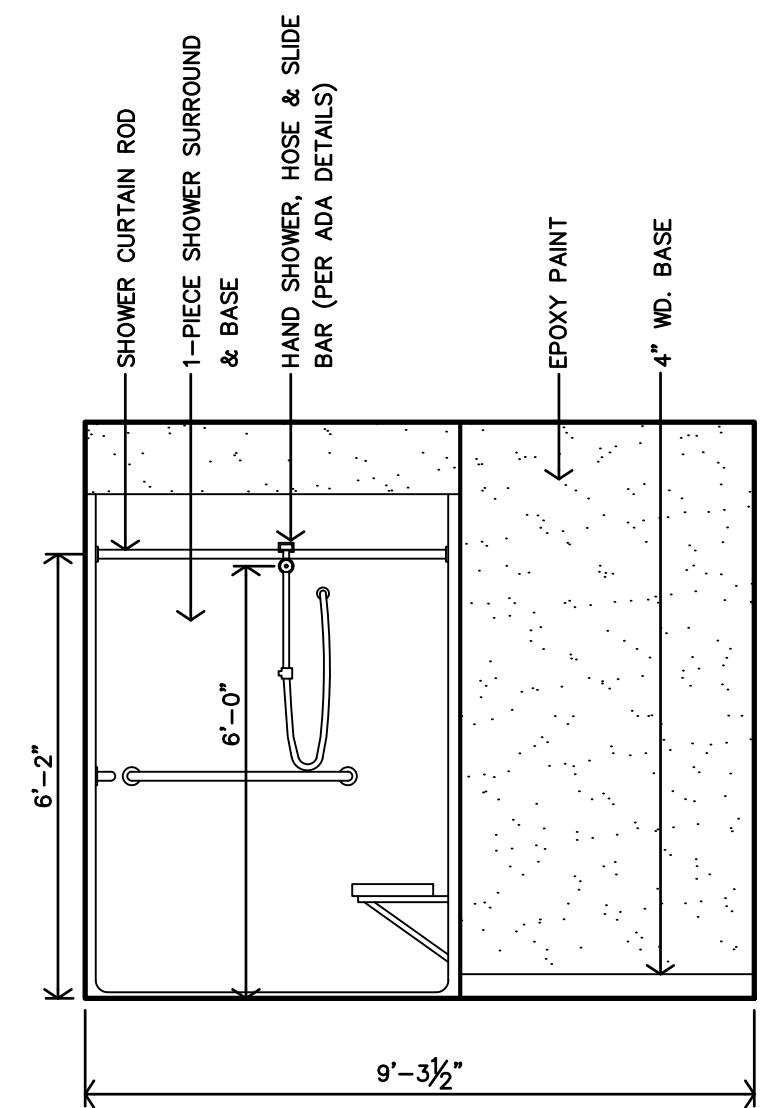


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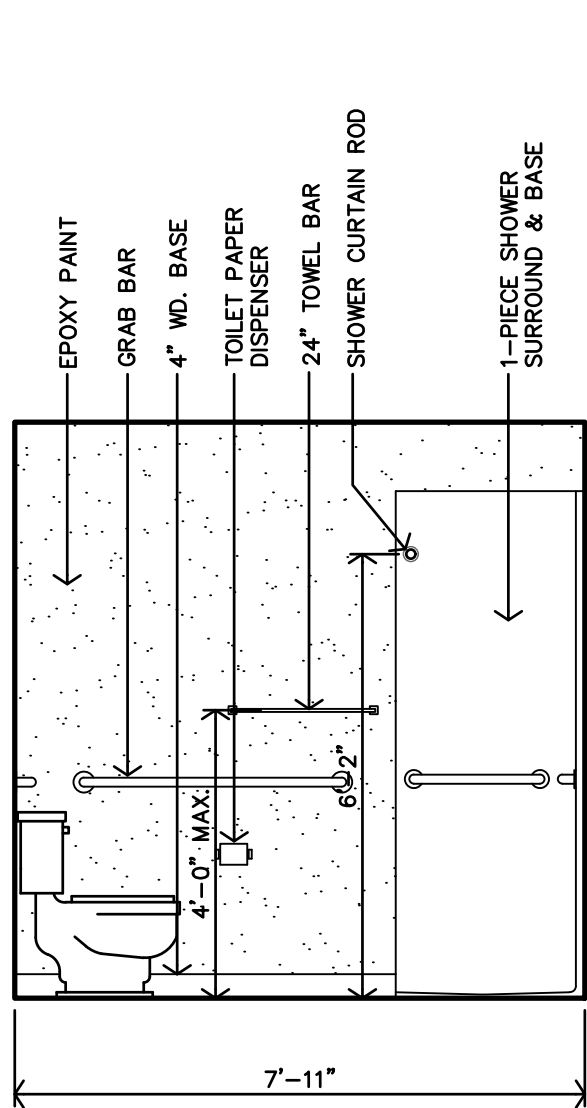
L SECTION @ STANDARD KITCHEN CABINET
3/4"=1'-0"



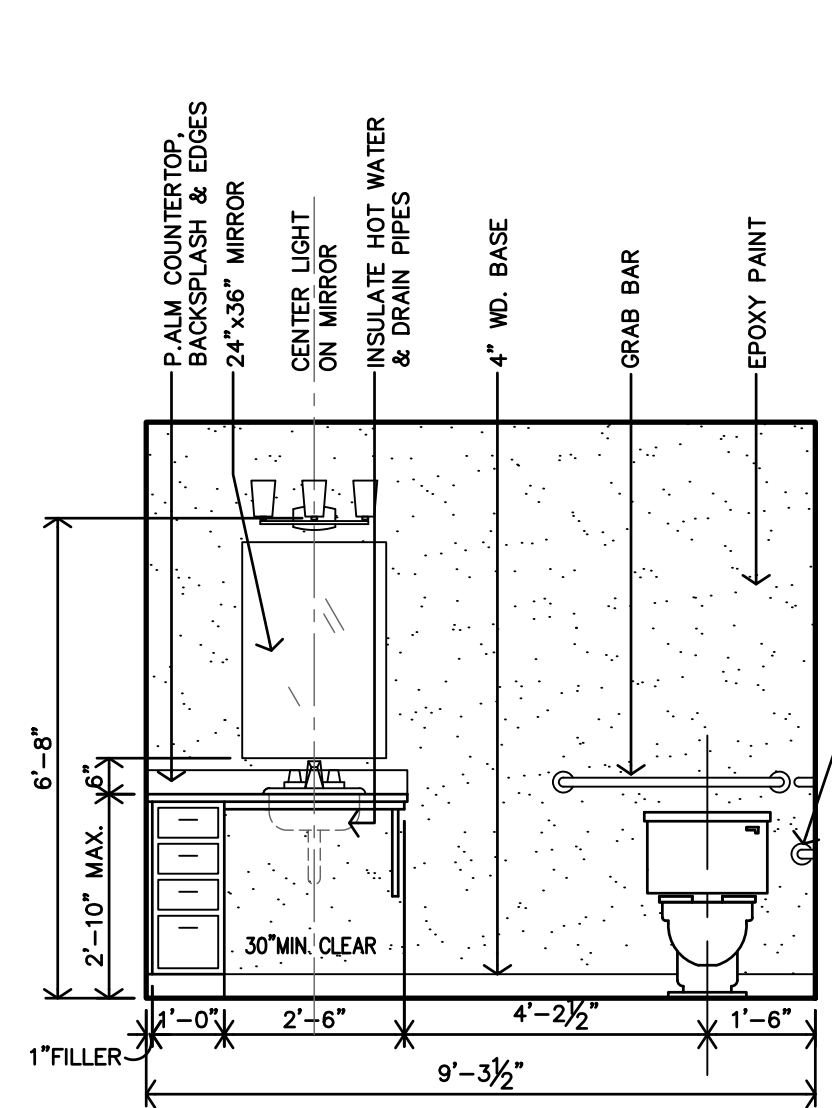
F ACCESSIBLE UNIT 1B BATHROOM INTERIOR ELEVATION
3/8"=1'-0"



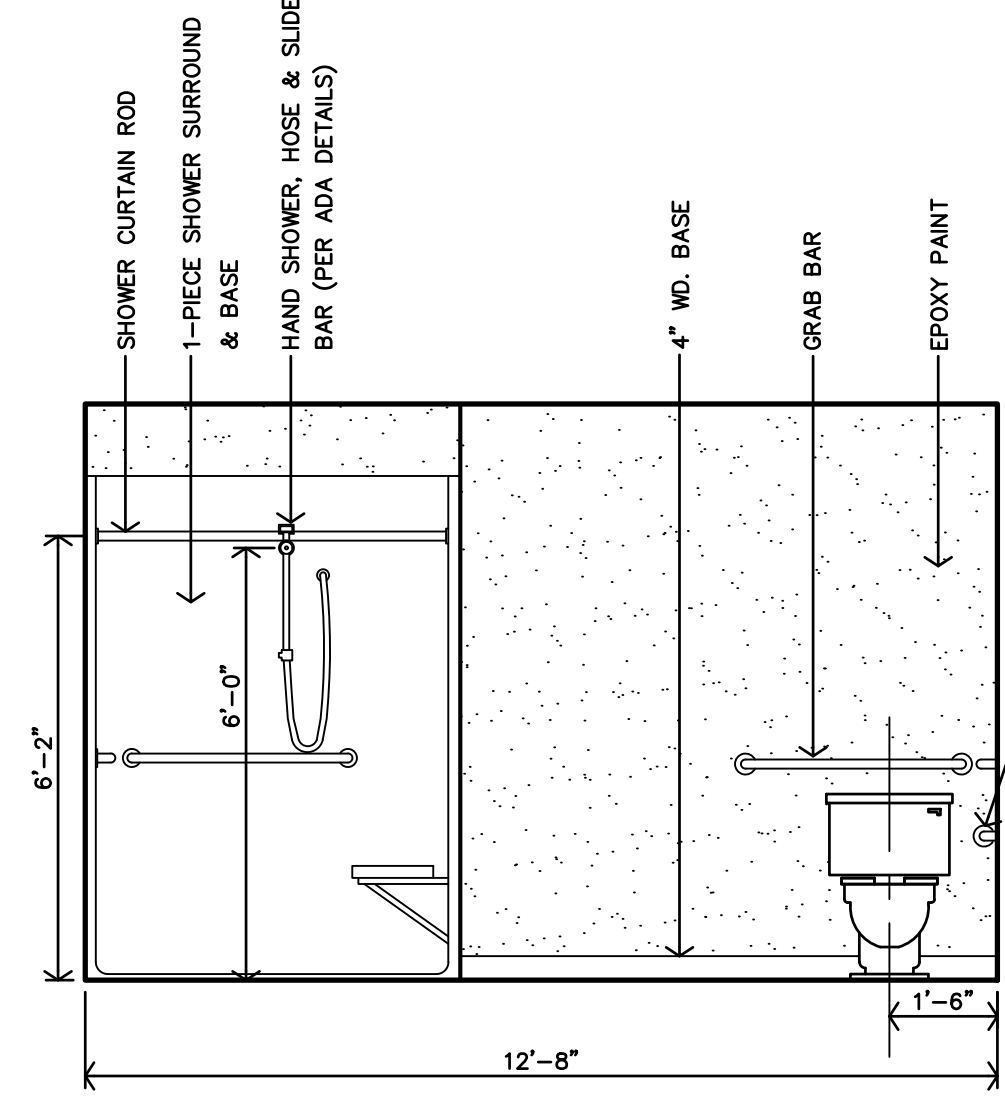
E ACCESSIBLE UNIT 1B BATHROOM INTERIOR ELEVATION
3/8"=1'-0"



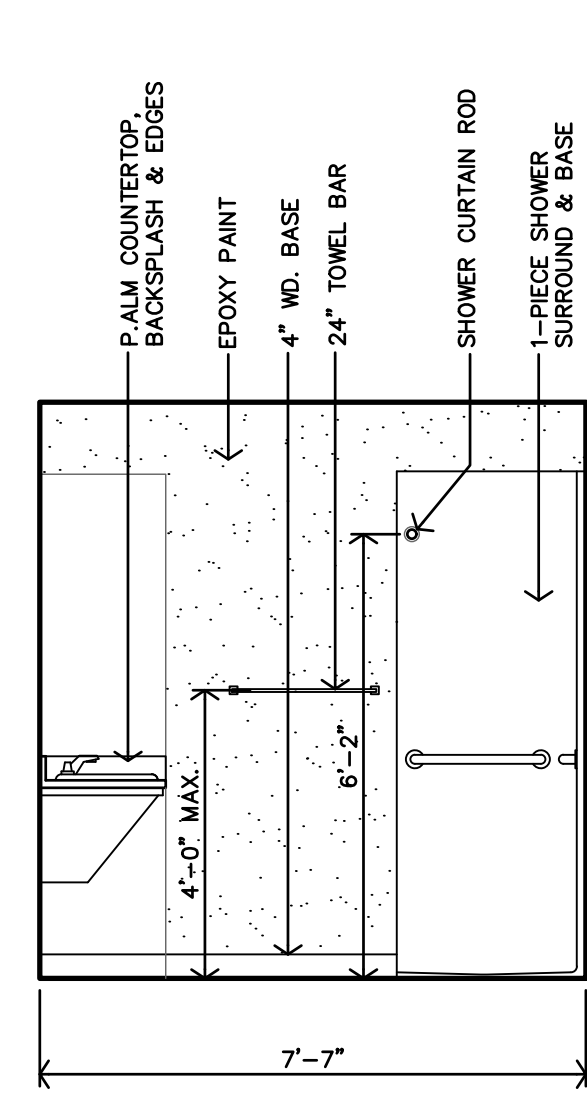
D ACCESSIBLE UNIT 1B BATHROOM INTERIOR ELEVATION
3/8"=1'-0"



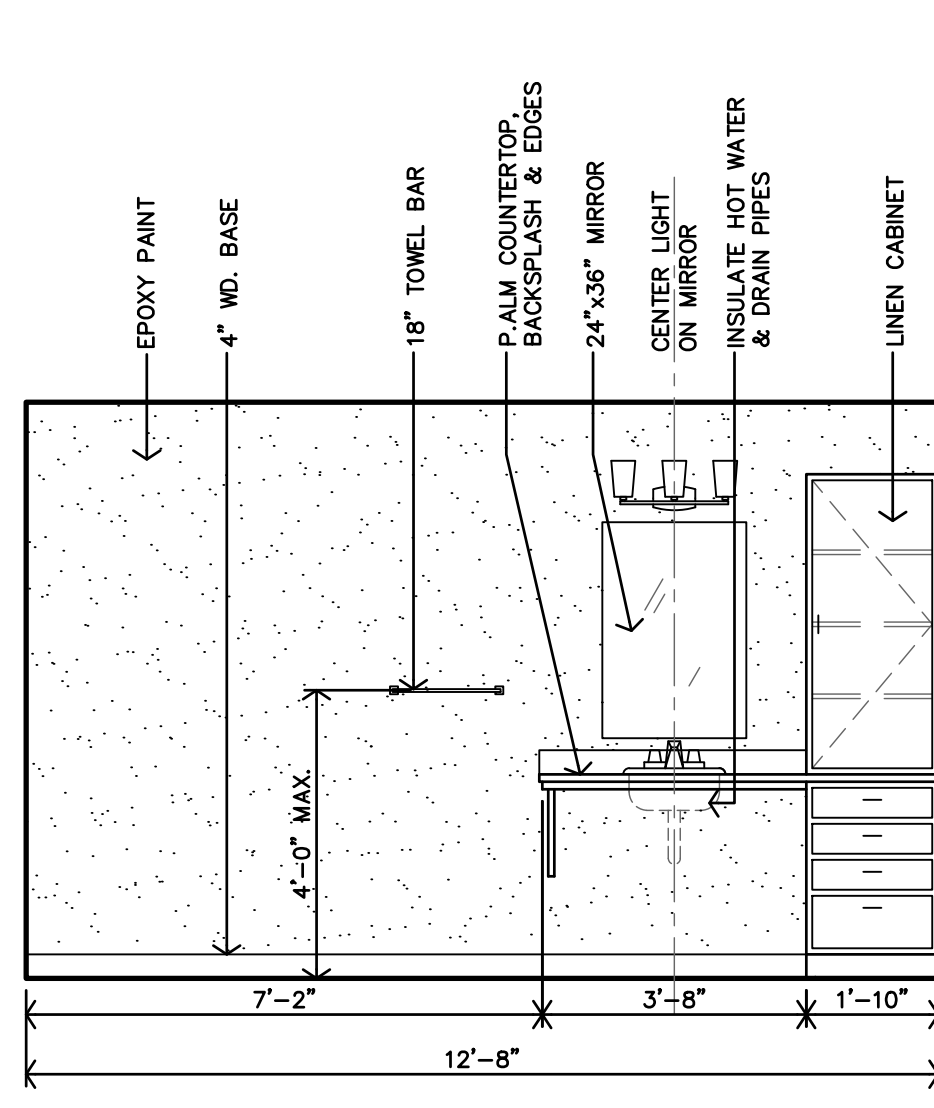
C ACCESSIBLE UNIT 1B BATHROOM INTERIOR ELEVATION
3/8"=1'-0"



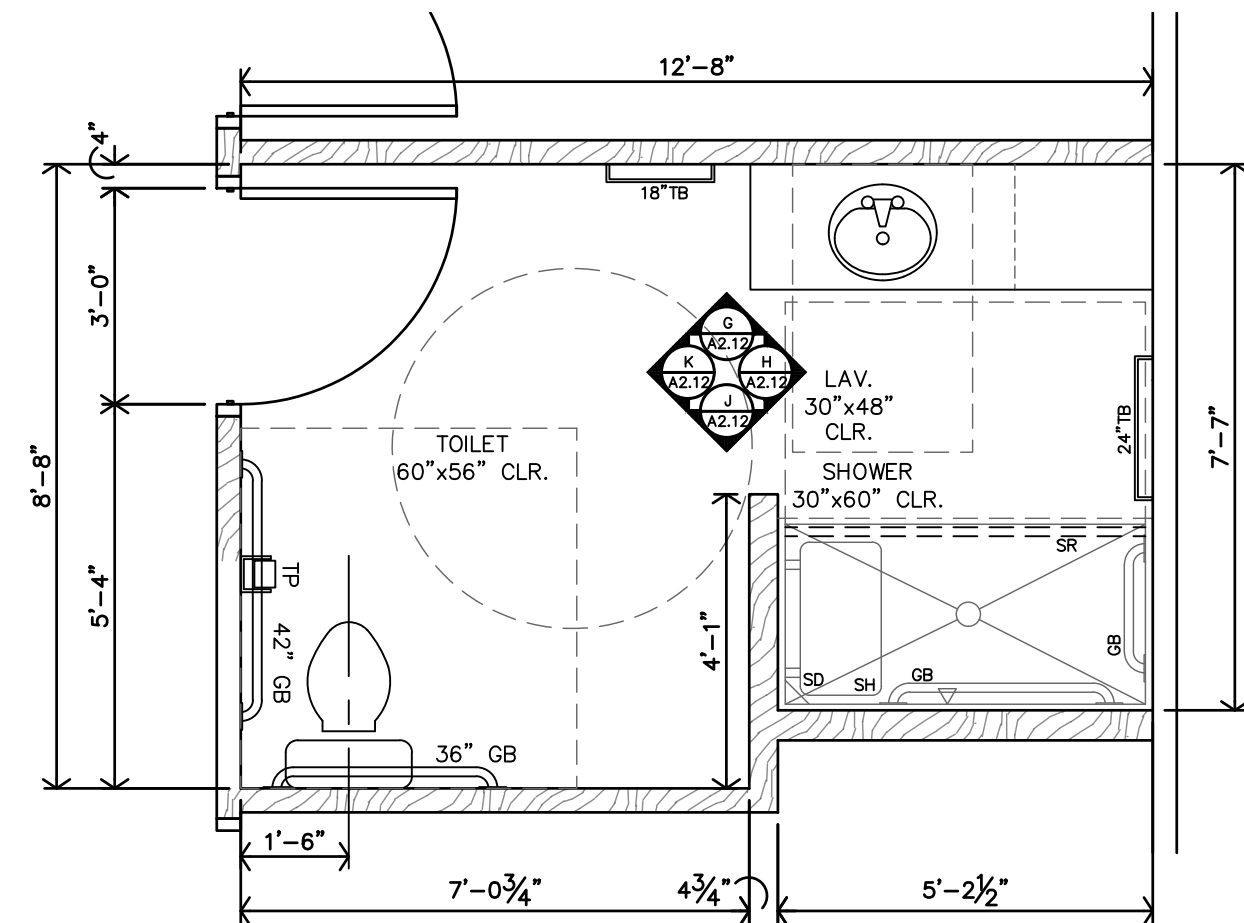
J ACCESSIBLE UNIT 3B BATHROOM INTERIOR ELEVATION
3/8"=1'-0"



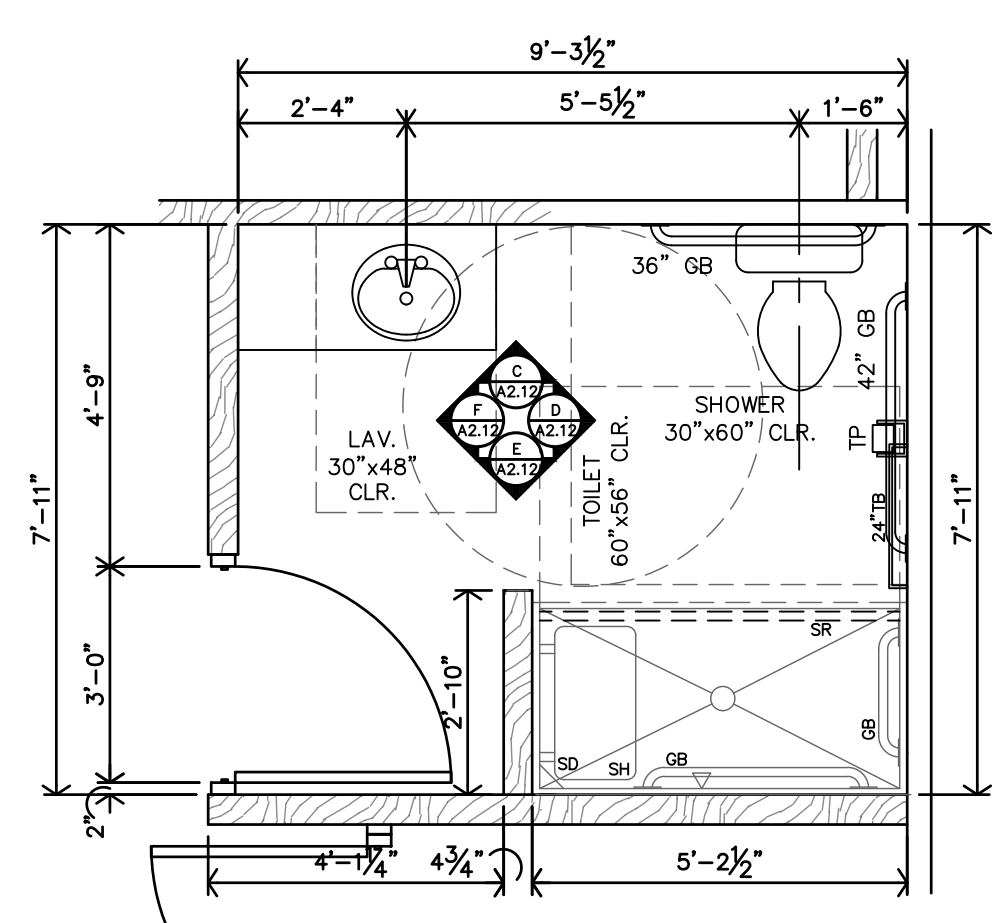
H ACCESSIBLE UNIT 3B BATHROOM INTERIOR ELEVATION
3/8"=1'-0"



G ACCESSIBLE UNIT 3B BATHROOM INTERIOR ELEVATION
3/8"=1'-0"



B ACCESSIBLE UNIT 3B BATHROOM ENLARGED PLAN
3/8"=1'-0"



A ACCESSIBLE UNIT 1B BATHROOM ENLARGED PLAN
3/8"=1'-0"

DIMENSIONS MAY VARY, FIELD VERIFY EACH UNIT. LAYOUTS MAY BE MIRRORRED AND/OR FLIPPED, REFERENCE UNIT PLANS.

LEGEND

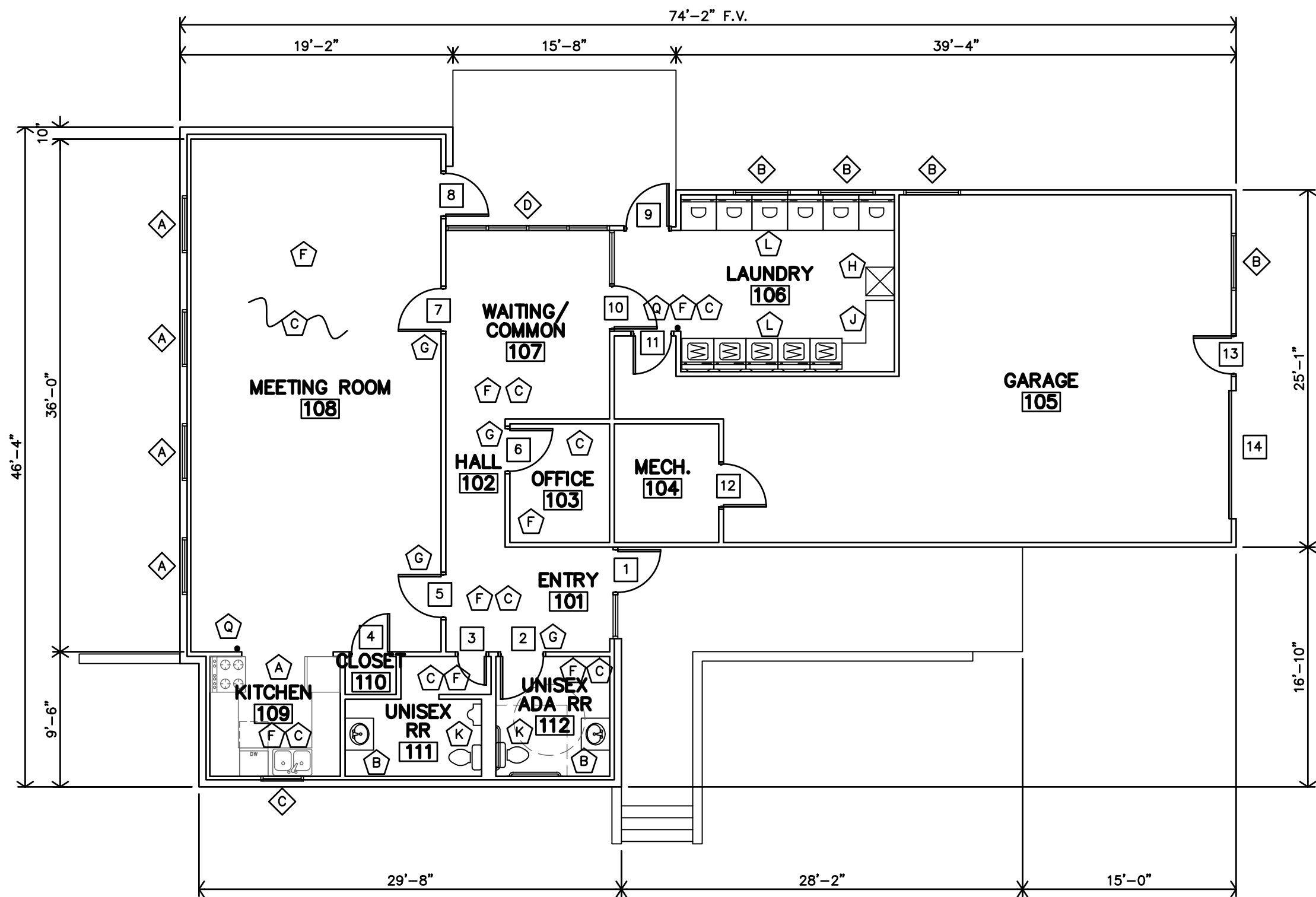
GB	GRAB BAR
MR	MIRROR
SR	SHOWER ROD
SS	SHOWER SEAT
TB	TOWEL BAR
TP	TOILET PAPER DISP.

KEYNOTES
UNIT KEYNOTES:
(A) INSTALL NEW CABINETS, COUNTERTOPS, APPLIANCES AND FIXTURES IN THE KITCHEN AREA. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS FOR NEW CASEWORK SHOP DRAWINGS.
(B) INSTALL NEW VANITY AND SINK.
(C) INSTALL NEW FLOORING & BASE.
(D) INSTALL NEW TUB/SHOWER, SURROUND, SHOWER, HEADS, SPOUTS, VALVE CONTROLS & CURTAIN RODS.
(E) INSTALL NEW FURNACE (REF. MECHANICAL)
(F) CEILINGS TO RECEIVE ORANGE PEEL TEXTURE & PAINT.
(G) INSTALL NEW DOOR
(H) INSTALL NEW MOP SINK
(J) INSTALL NEW COUNTER AT 30" AFF TO MEET ADA
(K) INSTALL NEW TOILET
(L) INSTALL NEW WASHERS & DRYERS
(M) INSTALL NEW WATER HEATER (PER ALTERNATE BID)
(N) PAINT EXISTING CABINET, INSTALL NEW LINEN CABINET TO MATCH OTHERS AT APARTMENT #707
(P) EXISTING BEARING WALL TO REMAIN
(Q) LOWER & OR RELOCATE EXISTING F.E. TO ADA HEIGHT

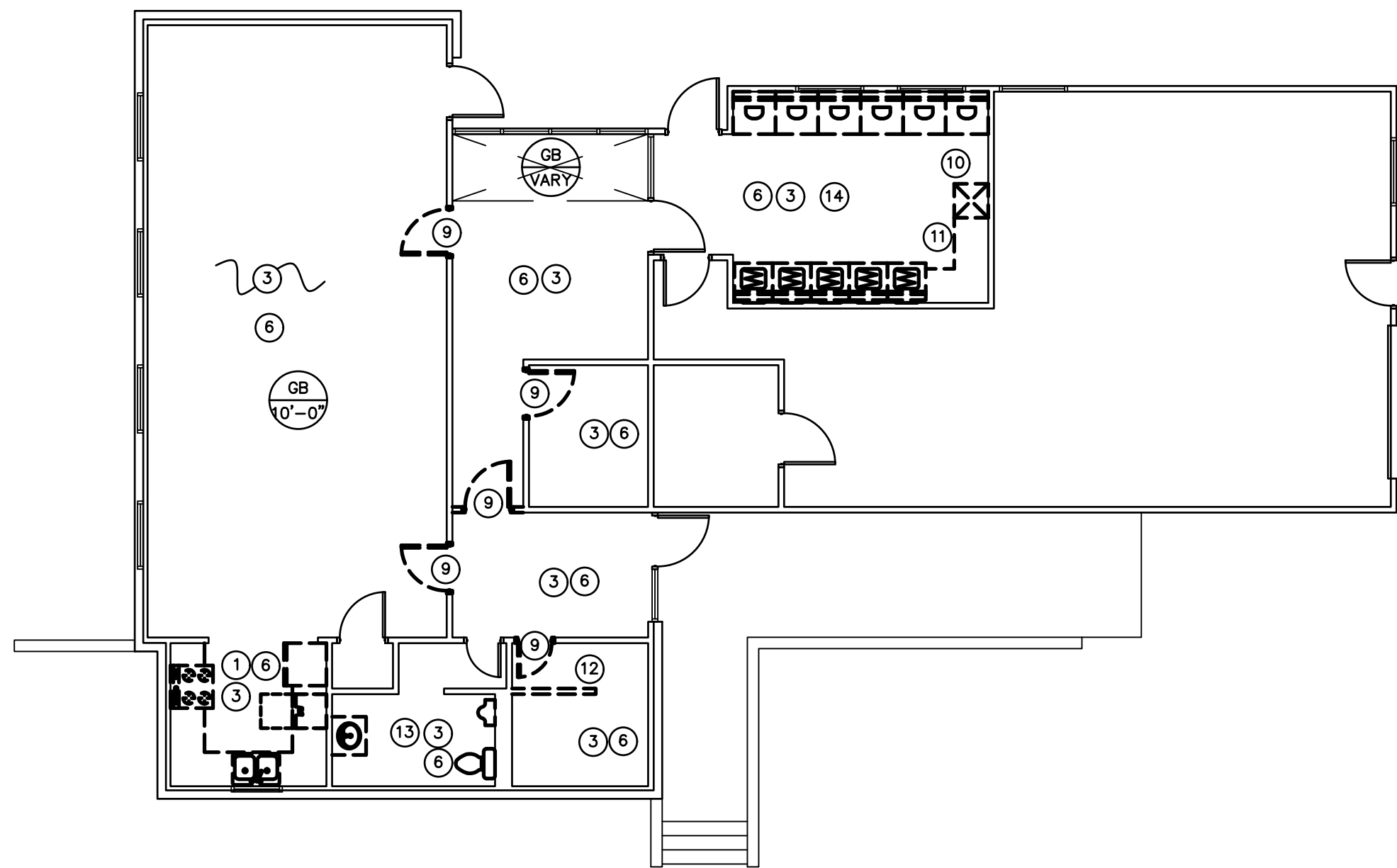
UNIT NOTES
GENERAL UNIT NOTES:
1. REF. FLOOR PLANS FOR ADDITIONAL DIMENSIONS, PARTITION TYPES AND NOTES. ALL WALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
2. CONTRACTOR SHALL PROVIDE SINGLE PLASTIC COATED WIRE SHELVES & ROD AT ALL CLOSETS U.N.O. AT ADA CLOSETS.
3. FE = FIRE EXTINGUISHER, WALL MOUNTED; FEC = FIRE EXTINGUISHER CABINET. LOCATIONS APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2015 IBC, SECTION 906.1.
4. KITCHEN & BATH RECEPTACLES ABOVE COUNTERTOP TO BE 44"max ABOVE FIN FLR.
5. AT ALL EXISTING INTERIOR AND EXTERIOR DOORS: REPLACE EXISTING HARDWARE WITH NEW. (ALTERNATE)
6. ALL INTERIOR WALLS & CEILINGS TO RECEIVE ORANGE PEEL TEXTURE & PAINT.
7. REMOVE ALL EXISTING FINISH FLOORING & BASE AT INTERIOR OF UNITS. NEW FLOORING & BASE TO BE INSTALLED, REFERENCE FINISH SCHEDULE AND PLANS. ALTERNATE: EXISTING CARPET
8. ACCESSIBLE UNITS (INDICATED ON FLOOR PLAN SHEETS): - CONTRACTOR SHALL PROVIDE & INSTALL COVERS AT: HOT WATER, DRAIN PIPES, DISPOSAL WHERE PIPING IS EXPOSED. - CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL INSTALLED GRAB BARS, COUNTERTOPS/SUPPORT BRACES, SHOWER SURROUND & BASES, SHOWER SEATS, ETC. AS REQ'D. - ALL TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH). - INSTALL PLASTIC COATED WIRE CLOTHES SHELF & ROD 48" AFF
9. HEARING/VISION IMPAIRED UNIT (INDICATED ON FLOOR PLAN SHEETS): CONTRACTOR SHALL INSTALL EQUIPMENT REQUIRED PER 2010 ADA SEC. 809.5. & ICC A117.1-2009 SEC. 1005.
10. ALTERNATE - DOORS NOT DESIGNATED PER PLAN TO BE REMOVED PER BASE BID, SHALL BE REPLACED WITH NEW INCLUDING HARDWARE. - REPLACE ALL WINDOWS WITH NEW

DEMOLITION KEYNOTES:
(1) REMOVE ALL EXISTING CABINETS, COUNTERTOPS, APPLIANCES AND FIXTURES IN THE KITCHEN AREA.
(2) REMOVE EXISTING VANITY AND SINK.
(3) REMOVE ALL EXISTING FINISH FLOORING & BASE, ENTIRE UNIT, PREP FOR NEW FLOORING & BASE. ALTERNATE: EXISTING CARPET
(4) REMOVE EXISTING TUB/SHOWER & SURROUND, REMOVE EXISTING HEADS, SPOUTS, VALVE CONTROLS & CURTAIN RODS.
(5) REMOVE EXISTING OLD OR DAMAGED SPLIT UNITS AND REPLACE AS NECESSARY (OWNER TO IDENTIFY AS NEEDED)
(6) REMOVE ALL POPCORN TEXTURE FROM CEILING G.B
(7) AT APARTMENTS #602, #603, #707, #902, #903, #904, #1304, #1503 & #1904: REMOVE ALL EXISTING SHEETROCK FROM WALLS & CEILINGS AS WELL AS ALL ASSOCIATED INSULATION. REPLACE WITH NEW. THOROUGHLY INSPECT & REPLACE ANY WATER-DAMAGED WOOD FRAMING MEMBERS. (UNITS IDENTIFIED WITH WATER DAMAGE)
(8) REMOVE ALL EXISTING WALLS, DOORS, CLOSET RODS, MECHANICAL, ELECTRICAL, ETC. IN THIS AREA AS INDICATED BY DASHED LINES.
(9) REMOVE EXISTING DOOR & PARTIAL WALL
(10) REMOVE MOP SINK
(11) REMOVE COUNTER
(12) REMOVE PARTIAL WALL
(13) REMOVE PLUMBING FIXTURES
(14) REMOVE WASHERS & DRYERS
(15) REMOVE EXISTING WATER HEATER (PER ALTERNATE BID)

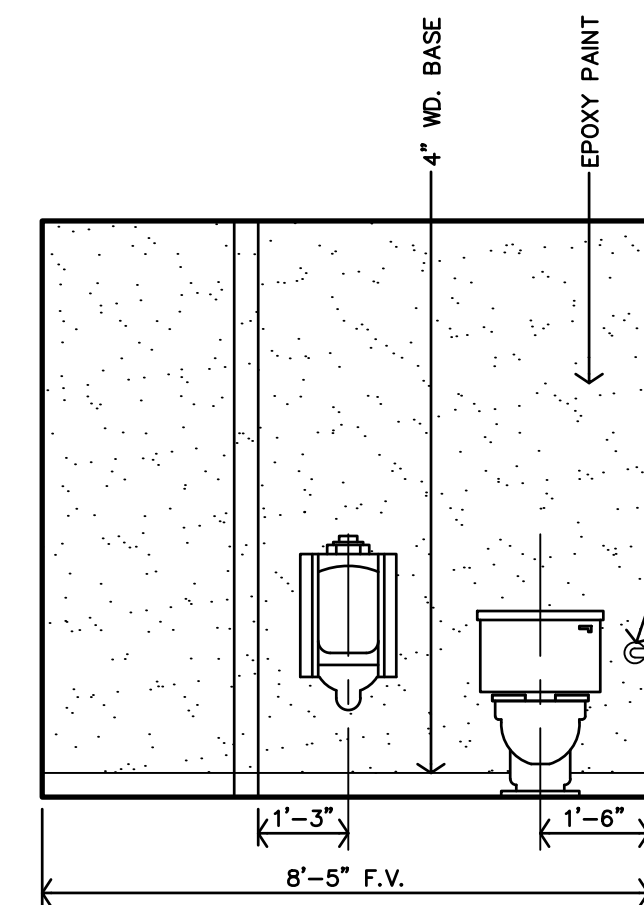
GENERAL NOTES
DEMOLITION GENERAL NOTES
1. WHERE EXIST. BUILDING COMPONENTS ARE TO BE REMOVED; PATCH & REPAIR THE SURFACES TO MATCH EXISTING FINISH, UNLESS NEW FINISHES ARE CALLED FOR. PAINT WALLS CORNER TO CORNER
2. REMOVE EXISTING BUILDING COMPONENTS AS INDICATED, IMPLIED OR AS REQUIRED SCHEMATICALLY SHOWN AS BOLD DASHED LINES. FIELD VERIFY ALL LOCATIONS
3. THE ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CORE DRILLING FOR PIPING & CONDUIT INSTALLATION.
4. ALL OTHER CUTTING, PATCHING & FINISHING, U.N.O. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. SHORING OF EXISTING STRUCTURE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTRACTOR TO INVESTIGATE & IDENTIFY ALL STRUCTURAL BEAMS, COLUMNS, & BEARING WALLS PRIOR TO ANY DEMO WORK. NOTIFY ARCHITECT AT ALL PROPOSED ACCESSIBLE UNITS.
6. NOTIFY ARCHITECT IMMEDIATELY IF ASBESTOS IS SUSPECTED ON SITE. DO NOT DISTURB UNLESS DIRECTED.
7. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE DEMOLITION BY DIFFERING TRADES.
8. CONTRACTOR TO COORDINATE LOCATIONS OF ANY OF ALL EXISTING EXISTING RECEPTACLES, SWITCHES, DEVICES, ETC. PRIOR TO DEMOLITION, RELOCATE OR ABANDON ACCORDINGLY.



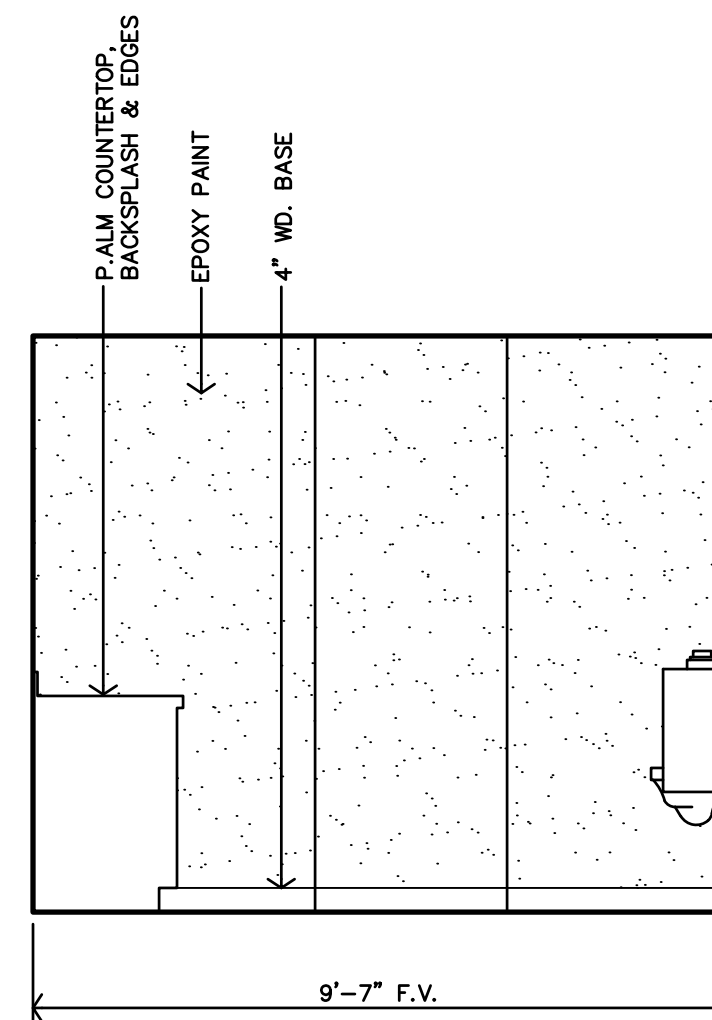
**PROPOSED
COMMUNITY BUILDING
FLOOR PLAN**
1/8"=1'-0"



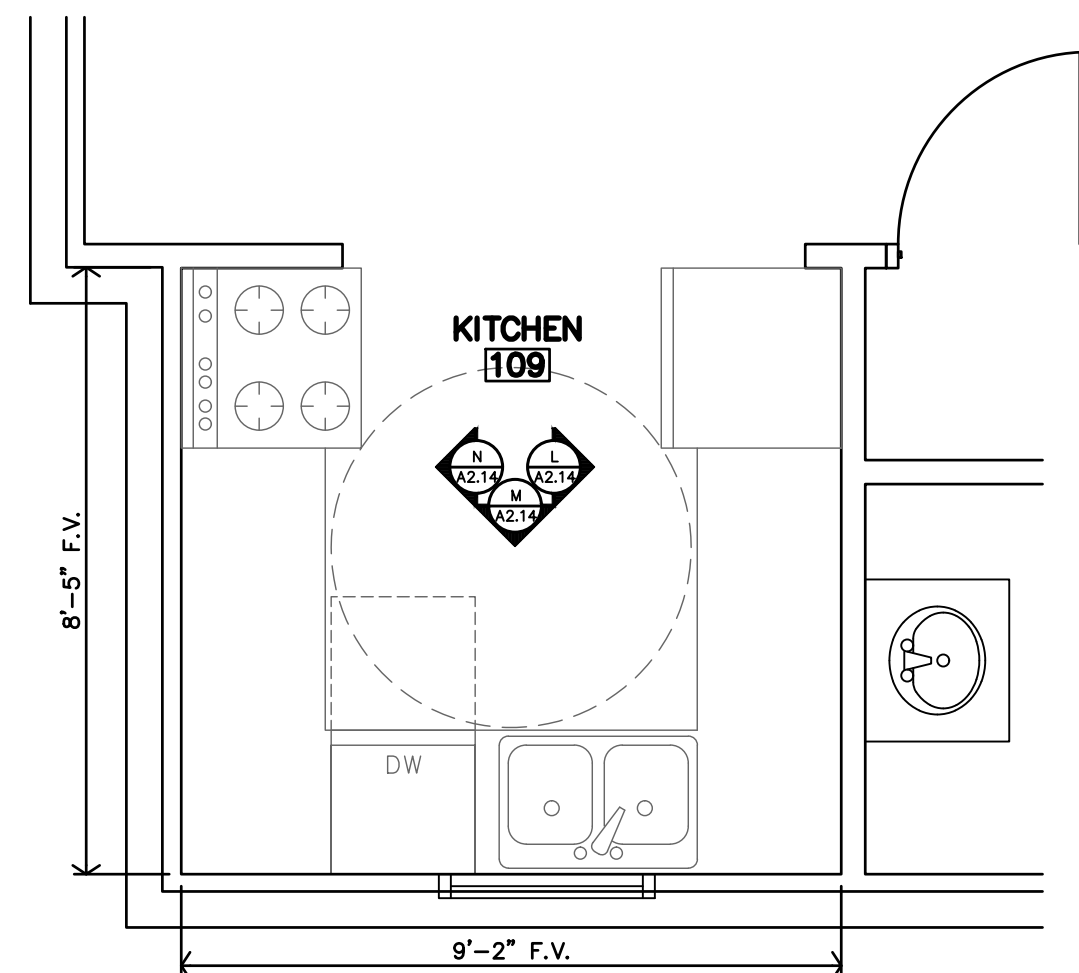
**COMMUNITY BUILDING
DEMOLITION FLOOR PLAN**
1/8"=1'-0" NOTE: G.B. CEILINGS ALL AT 8'-0" A.F.F. U.N.O.



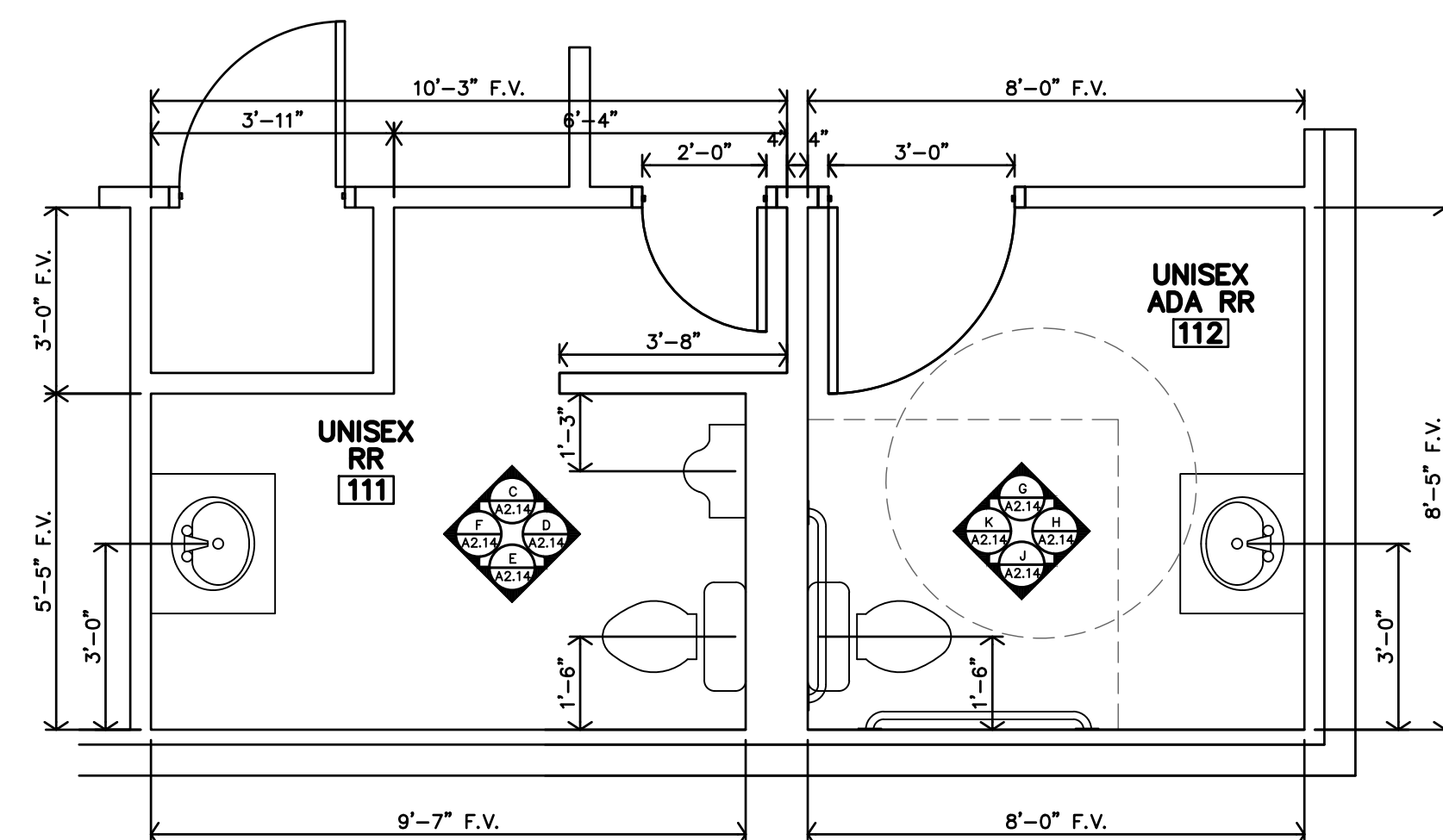
D **RESTROOM 111**
INTERIOR ELEVATION
3/8"=1'-0"



C **RESTROOM 111**
INTERIOR ELEVATION
3/8"=1'-0"

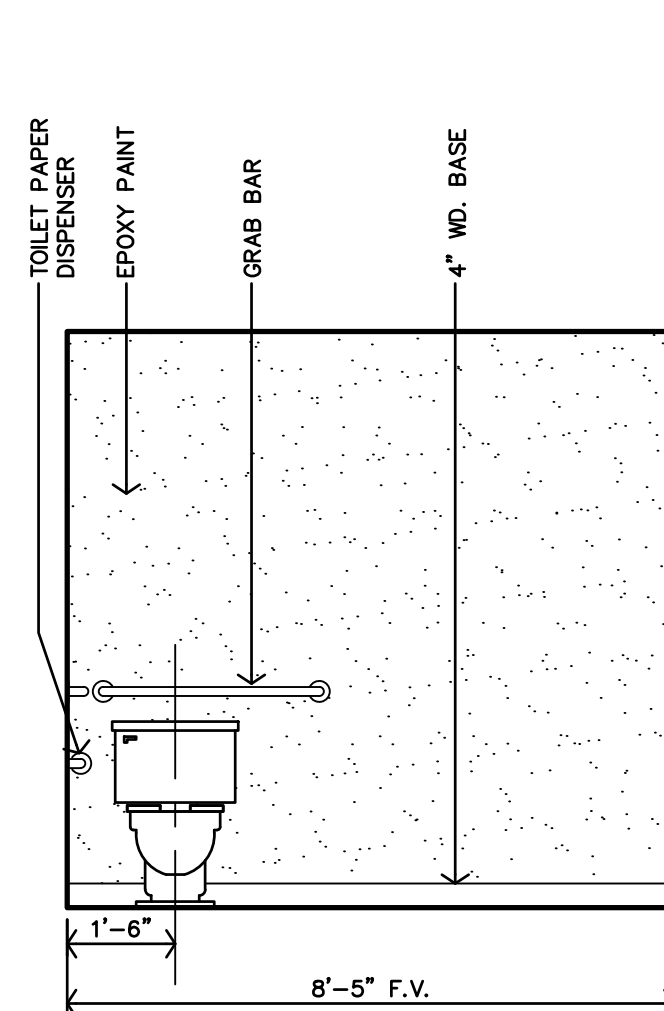


B **KITCHEN 109**
ENLARGED PLAN
3/8"=1'-0"

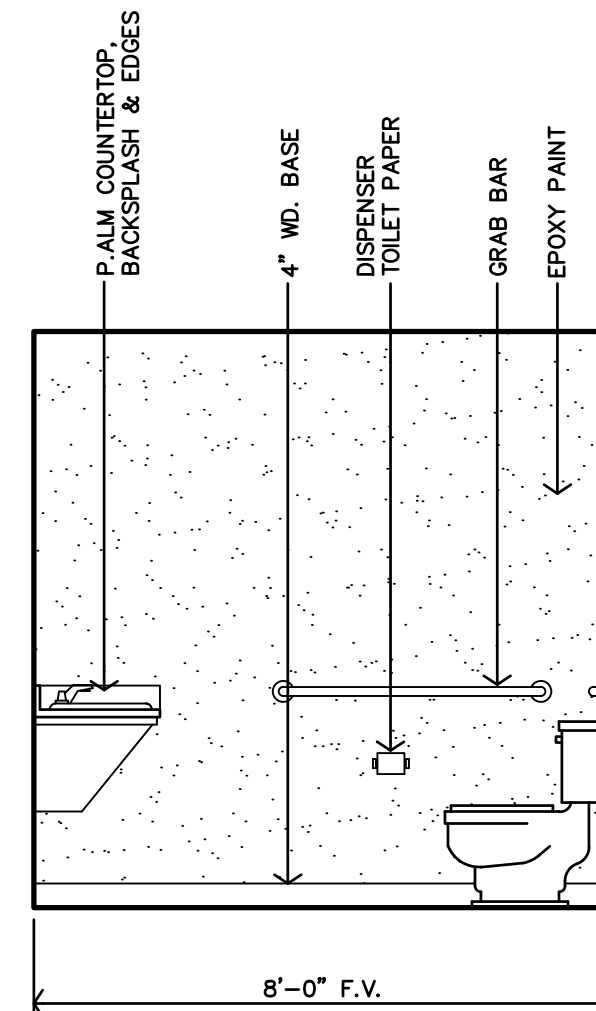


A **RESTROOMS 111 & 112**
ENLARGED PLANS
3/8"=1'-0"

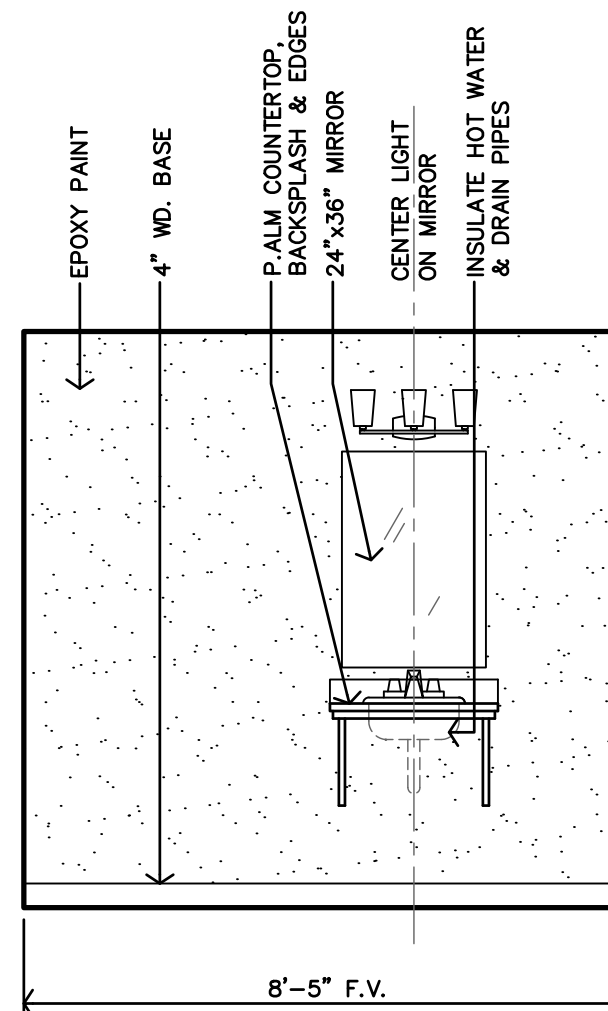
K **RESTROOM 112**
INTERIOR ELEVATION
3/8"=1'-0"



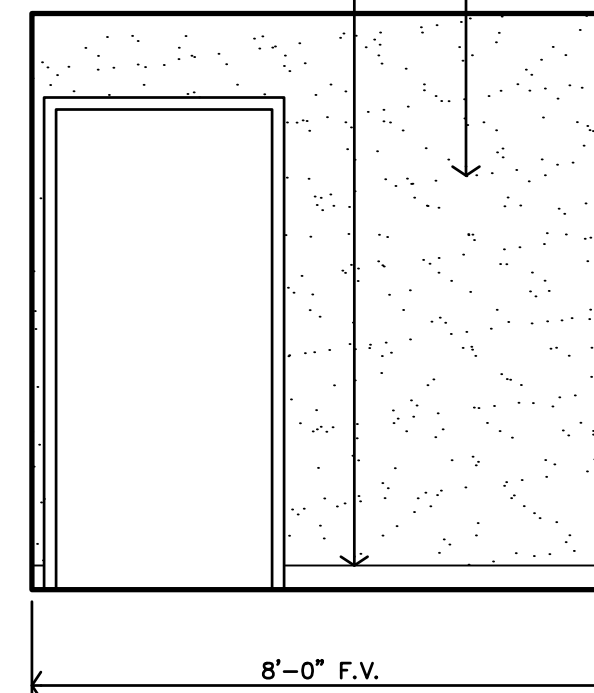
J **RESTROOM 112**
INTERIOR ELEVATION
3/8"=1'-0"



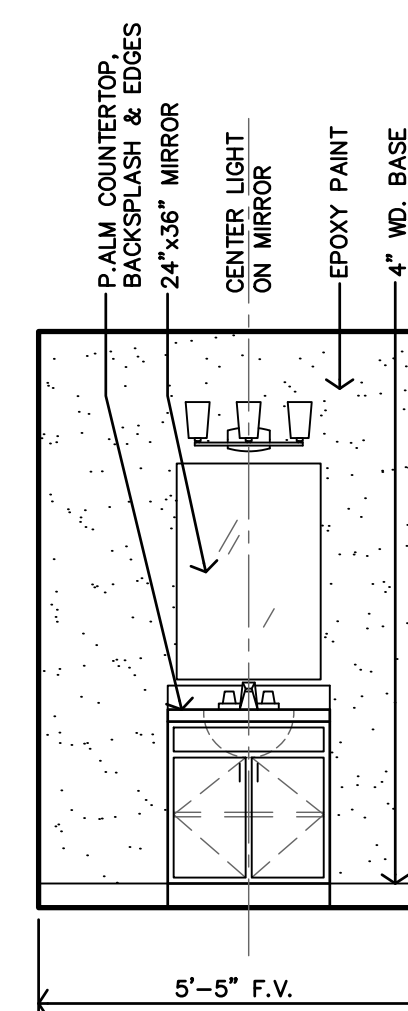
H **RESTROOM 112**
INTERIOR ELEVATION
3/8"=1'-0"



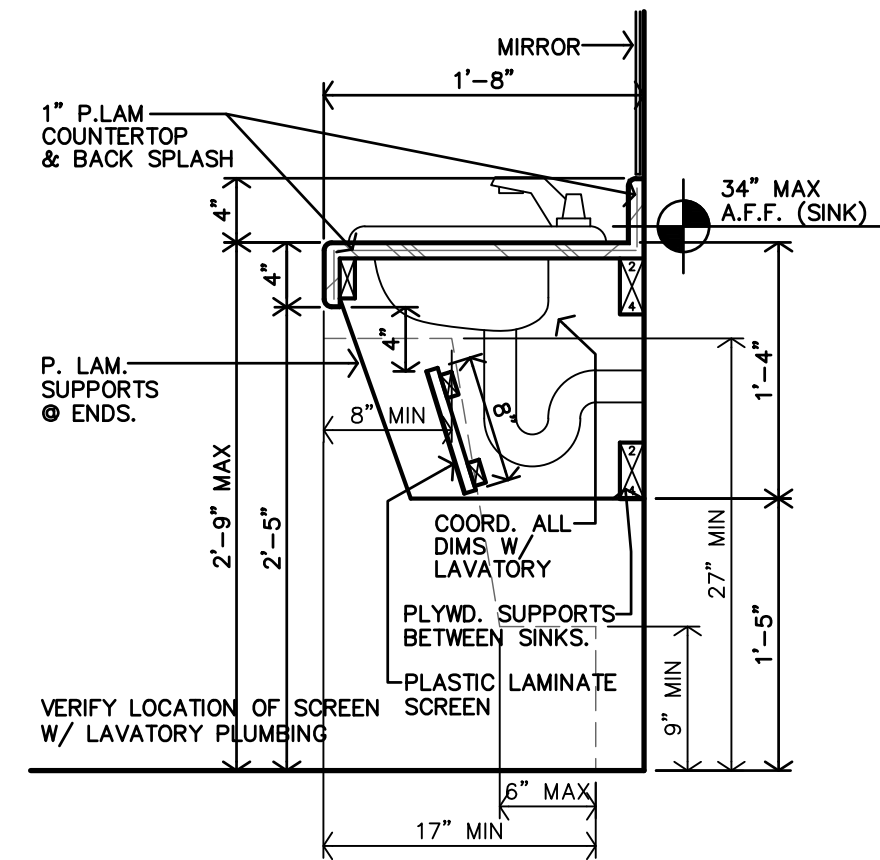
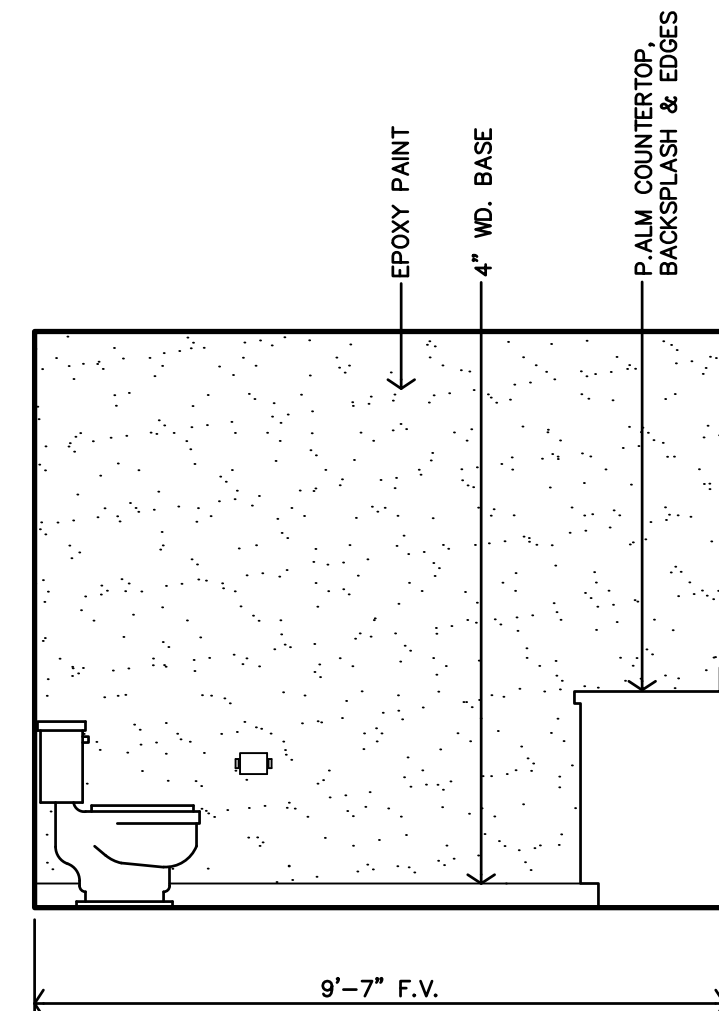
G **RESTROOM 112**
INTERIOR ELEVATION
3/8"=1'-0"



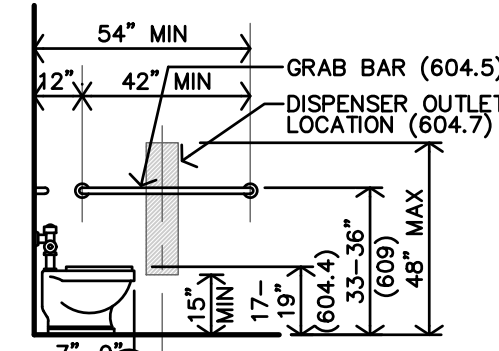
F **RESTROOM 111**
INTERIOR ELEVATION
3/8"=1'-0"



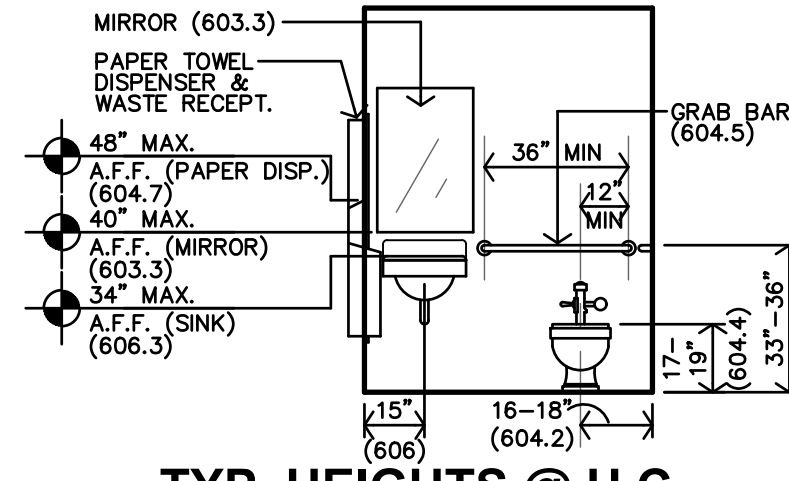
E **RESTROOM 111**
INTERIOR ELEVATION
3/8"=1'-0"



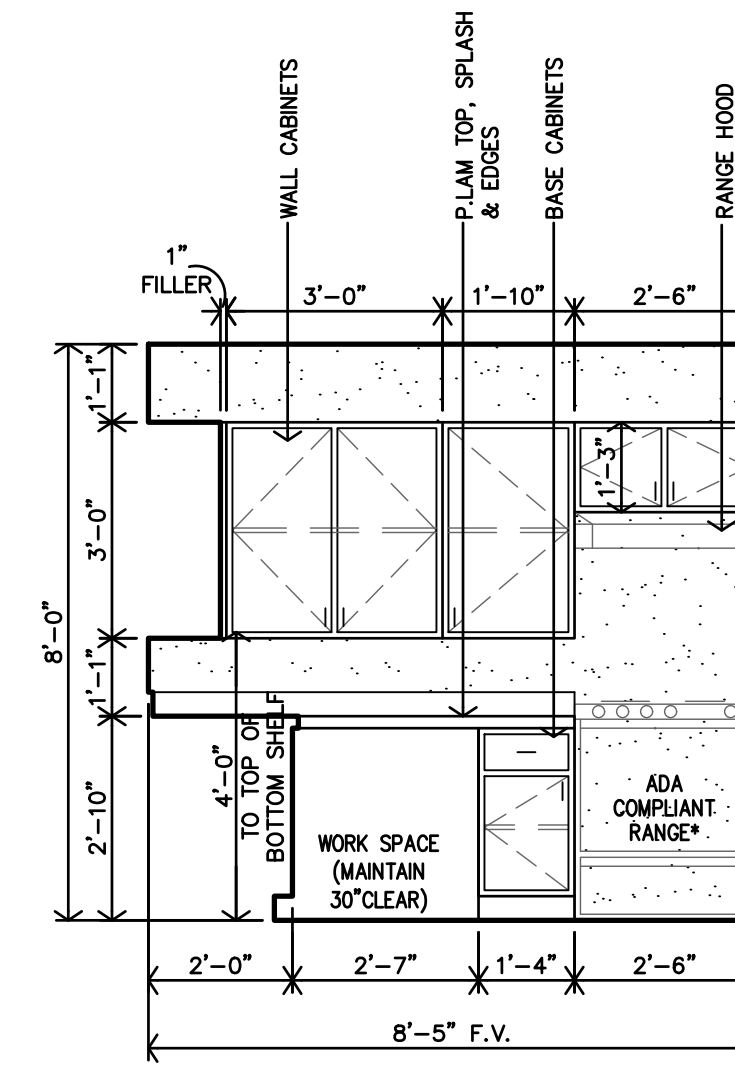
Q **VANITY DETAIL**
1"=1'-0"



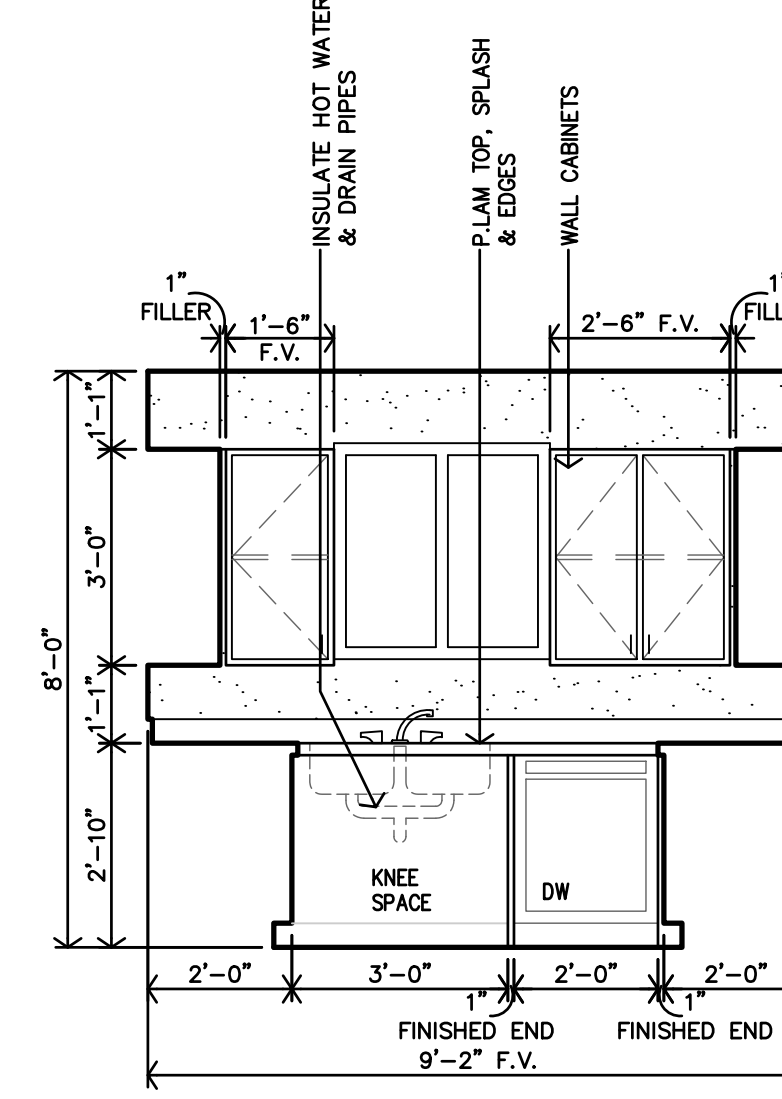
P **TYP. HEIGHTS @ H.C.**
TOILET SIDE WALL
1/4"=1'-0"
FOR HC HEIGHTS
& LOCATION ONLY



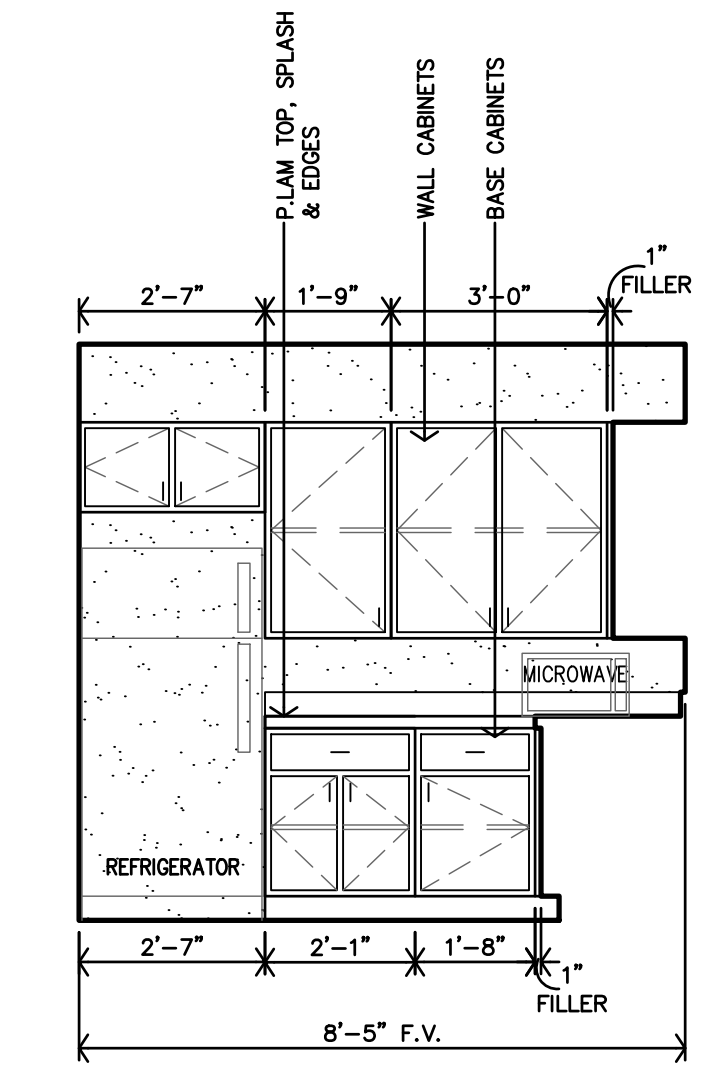
O **TYP. HEIGHTS @ H.C.**
TOILET BACK WALL
1/4"=1'-0"
FOR HC HEIGHTS
& LOCATION ONLY



N **KITCHEN 109**
INTERIOR ELEVATION
3/8"=1'-0"



M **KITCHEN 109**
INTERIOR ELEVATION
3/8"=1'-0"



L **KITCHEN 109**
INTERIOR ELEVATION
3/8"=1'-0"

FINISHES & INSTRUCTIONS														
P1 LATEX PAINT			C CARPET			VP VINYL PLANK FLR/G TILE			CT CERAMIC TILE					
P2 EPOXY PAINT									TX TEXTURE					
MARK	DESCRIPTION	FLOOR		BASE		WALLS		CEILING		REMARKS				
		CARPET	VINYL PLANK FLR/G EXISTING	WOOD - PAINTED (P1) EXISTING	NEW 1/2" FIRE RATED G.B. EXISTING GYP. BOARD	EXIST. GYP. BOARD NEW G.B. CEILING								
UNIT 3A														
101	CLOSET	VP		●		P1	P1		P1	P1				
102	KITCHEN	VP		●		P1	P1		P1	P1				
103	PANTRY	VP		●		P1	P1		P1	P1				
104	MECH.	VP		●		P1	P1		P1	P1				
105	DINING/LIVING ROOM	VP		●		P1	P1		P1	P1				
106	BATH	VP		●		P2	P2		P2	P2				
107	CLOSET	VP		●		P1	P1		P1	P1				
108	BEDROOM	VP		●		P1	P1		P1	P1		3		
109	CLOSET	VP		●		P1	P1		P1	P1				
110	BEDROOM	VP		●		P1	P1		P1	P1		3		
111	CLOSET	VP		●		P1	P1		P1	P1				
112	CLOSET	VP		●		P1	P1		P1	P1				
113	BEDROOM	VP		●		P1	P1		P1	P1		3		
UNIT 3B														
101	ENTRY	VP		●		P1	P1		P1	P1				
102	KITCHEN	VP		●		P1	P1		P1	P1		1, 2		
103	MECH.	VP		●		P1	P1		P1	P1				
104	DINING/LIVING ROOM	VP		●		P1	P1		P1	P1				
105	BATH	VP		●		P2	P2		P2	P2		1, 2		
106	BEDROOM	VP		●		P1	P1		P1	P1				
107	CLOSET	VP		●		P1	P1		P1	P1				
108	BEDROOM	VP		●		P1	P1		P1	P1				
109	CLOSET	VP		●		P1	P1		P1	P1				
110	CLOSET	VP		●		P1	P1		P1	P1				
111	BEDROOM	VP		●		P1	P1		P1	P1				

FINISHES & INSTRUCTIONS												
P1 LATEX PAINT		C CARPET		VP VINYL PLANK FLR/G TILE				CT CERAMIC TILE				
P2 EPOXY PAINT								TX TEXTURE				
MARK	DESCRIPTION	FLOOR		BASE		WALLS		CEILING			REMARKS	
		CARPET	VINYL PLANK FLR/G	EXISTING	WOOD - PAINTED (P1)	EXISTING	NEW 1/2" FIRE RATED G.B.	EXISTING GYP. BOARD	EXIST. GYP. BOARD			NEW G.B. CEILING
UNIT 1A												
101	DINING/LIVING ROOM	VP		●		P1	P1	P1	P1			
102	MECH.	VP		●		P1	P1	P1	P1			
103	KITCHEN	VP		●		P1	P1	P1	P1			
104	CLOSET	VP		●		P1	P1	P1	P1			
105	BATH	VP		●		P2	P2	P2	P2			
106	LINEN	VP		●		P1	P1	P1	P1			
107	BEDROOM	VP		●		P1	P1	P1	P1		3	
108	CLOSET	VP		●		P1	P1	P1	P1			
UNIT 1B												
101	DINING/LIVING ROOM	VP		●		P1	P1	P1	P1			
102	MECH.	VP		●		P1	P1	P1	P1			
103	KITCHEN	VP		●		P1	P1	P1	P1		1, 2	
104	BATH	VP		●		P2	P2	P2	P2		1, 2	
105	LINEN	VP		●		P1	P1	P1	P1			
106	BEDROOM	VP		●		P1	P1	P1	P1			
107	CLOSET	VP		●		P1	P1	P1	P1			
UNIT 2A												
101	ENTRY	VP		●		P1	P1	P1	P1			
102	KITCHEN	VP		●		P1	P1	P1	P1			
103	PANTRY	VP		●		P1	P1	P1	P1			
104	MECH.	VP		●		P1	P1	P1	P1			
105	DINING/LIVING ROOM	VP		●		P1	P1	P1	P1			
106	CLOSET	VP		●		P1	P1	P1	P1			
107	STAIR	VP		●		P1	P1	P1	P1			
108	HALL	VP		●		P1	P1	P1	P1			

MARK	DOOR										FRAME			REPLACE DOOR WITH NEW 1" PER BASE BID/ALT. BID	DETAILS	REMARKS	LOCATION		
	SIZE			MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH	GY. BD OPENING									
	W	H	T																
											MTL. USBL	WOOD LOWER	GLASS SLIDING					GLASS SLIDING	ROCKET DOOR
UNIT 1A																			
1	3'-0"	6'-8"	1 3/4"	●			A			●		●		●		ALT. BID	G/H-A2.15	2, 3	UNIT ENTRY
2	2'-8"	6'-8"	1 3/4"	●	●					●		●		●		ALT. BID	C/D-A2.15	1	BEDROOM
3	2'-0"	6'-8"	1 3/4"	●	●					●		●		●		ALT. BID	C/D-A2.15		BED/CLOSET
4	2'-0"	6'-8"	1 3/4"	●	●					●		●		●		ALT. BID	C/D-A2.15		LINEN
5	2'-0"	6'-8"	1 3/4"	●	●					●		●		●		ALT. BID	C/D-A2.15	1	BATH
6	2'-0"	6'-8"	1 3/4"	●	●					●		●		●		ALT. BID	C/D-A2.15		CLOSET
7	2'-0"	6'-8"	1 3/4"	●	●					●		●		●		ALT. BID	C/D-A2.15		MECH.
UNIT 1B																			
1	3'-0"	6'-8"	1 3/4"	●			A			●		●		●		ALT. BID	G/H-A2.15	2, 3, 4	UNIT ENTRY
2	3'-0"	6'-8"	1 3/4"		●					●		●		●		BASE BID	C/D-A2.15	1	BEDROOM
3	3'-0"	6'-8"	1 3/4"		●					●		●		●		BASE BID	C/D-A2.15		BED/CLOSET
4	3'-0"	6'-8"	1 3/4"		●					●		●		●		BASE BID	C/D-A2.15	1	BATH
5	2'-0"	6'-8"	1 3/4"		●					●		●		●		ALT. BID	C/D-A2.15		MECH.
UNIT 2A																			
1	3'-0"	6'-8"	1 3/4"	●			A			●		●		●		ALT. BID	G/H-A2.15	2, 3	UNIT ENTRY
2	1'-8"	6'-8"	1 3/4"		●		B			●		●		●		ALT. BID	C/D-A2.15		PANTRY
3	PR 1'-6"	6'-8"	1 3/4"		●				C	●		●		●		ALT. BID	E/F-A2.15		MECH.
4	2'-0"	6'-8"	1 3/4"		●		B			●		●		●		ALT. BID	C/D-A2.15		CLOSET
5	6'-0"(3'-0")	6'-8"	1 3/4"		●		F			●		●		●		ALT. BID		6	PATIO
6	2'-0"	6'-8"	1 3/4"		●		B			●		●		●		ALT. BID	C/D-A2.15		CLOSET
7	(4)1'-0"	6'-8"	1 3/4"		●				D	●		●		●		ALT. BID	E/F-A2.15		BED/CLOSET
8	2'-8"	6'-8"	1 3/4"		●		B			●		●		●		ALT. BID	C/D-A2.15	1	BEDROOM
9	2'-0"	6'-8"	1 3/4"		●		B			●		●		●		ALT. BID	C/D-A2.15		LINEN
10	2'-0"	6'-8"	1 3/4"		●		B			●		●		●		ALT. BID	C/D-A2.15	1	BATH
11	2'-8"	6'-8"	1 3/4"		●		B			●		●		●		ALT. BID	C/D-A2.15	1	BEDROOM
12	(4)1'-0"	6'-8"	1 3/4"		●				D	●		●		●		ALT. BID	E/F-A2.15		BED/CLOSET
UNIT 2B																			
1	3'-0"	6'-8"	1 3/4"	●			A			●</									

SPECIFIC NOTES:

1. AT ALL REMOVABLE CABINET FRONTS:
WALLS AND FLOORS ARE TO BE FINISHED
2. NEW WALLS - INSTALL 5/8" TYPE X M
G.B. @ ALL WET AREAS.
3. ALT. BID EXISTING CARPET TO REMAIN

COMMUNITY BLDG. FINISH SCHEDULE												
FINISHES & INSTRUCTIONS												
P1 LATEX PAINT C CARPET VP VINYL PLANK FLR'G TILE CT CERAMIC TILE												
P2 EPOXY PAINT TX TEXTURE												
MARK	DESCRIPTION	FLOOR			BASE		WALLS		CEILING			REMARKS
		CARPET	VINYL PLANK FLR'G	CERAMIC TILE	WOOD - PAINTED (P1)	CERAMIC TILE WAINSCOT	EXISTING GYP. BOARD	CERAMIC TILE WAINSCOT	EXIST. GYP. BOARD			
		EXISTING			EXISTING							
101	ENTRY		VP		●		P1		P1			
102	HALL		VP		●		P1		P1			
103	OFFICE		VP		●		P1		P1			
104	MECH.		VP		●		P2		P2			
105	GARAGE		VP		●		P1		P1			
106	LAUNDRY		VP		●		P1		P1			
107	WAITING/COMMON		VP		●		P1		P1			
108	MEETING ROOM		VP		●		P2		P2			
109	KITCHEN		VP		●		P1		P1			
110	CLOSET		VP		●		P1		P1			
111	UNISEX RESTROOM		VP		●		P1		P1			
112	UNISEX ADA RESTROOM		VP		●		P1		P1			
GENERAL NOTES: A. REMOVE, REPLACE GYP BOARD CEILING AS NEEDED DURING RECONSTRUCTION OF UNITS. PATCH AND REPAIR TO MATCH EXISTING REMAINING CEILINGS IN TEXTURE. B. INSTALL VINYL, RUBBER, OR ALUMINUM TRANSITION STRIP BETWEEN FLOOR MATERIAL OF DIFFERING HEIGHTS C. ALL AREAS INDICATED TO RECEIVE NEW FINISH SHALL RECEIVE COMPLETE FINISH AS SCHEDULED AT ENTIRE ROOM. CONTRACTOR SHALL COORDINATE FINISHES AND ACCENTS WITH DETAILS AND INTERIOR ELEVATIONS D. FLOORING CONTRACTOR SHALL VERIFY THAT SUBFLOOR IS LEVEL AND PROPERLY PREPPED PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS. E. CONTRACTOR SHALL VERIFY THAT FLOORS ARE PREPPED/"FLOORSTONED" FOR LEVEL TRANSITION BETWEEN DIFFERING MATERIALS. F. CONTRACTOR SHALL COORDINATE WITH INTERIOR ELEVATIONS, FLOOR PLANS AND MISCELLANEOUS DETAILS TO VERIFY ALL AESTHETIC ACCENTS AND DETAILS.							SPECIFIC NOTES: 1.					

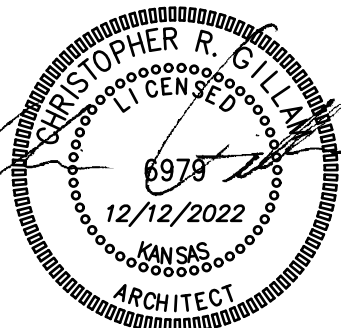
WINDOW SCHEDULE							
MARK	WIDTH	HEIGHT	STYLE	QUANTITY (EACH UNIT)	INTERIOR	EXTERIOR	DETAILS
UNIT 1A							
A	4'-0"	4'-0"	ALT. BID - NEW VINYL	3		●	
UNIT 1B							
A	4'-0"	4'-0"	ALT. BID - NEW VINYL	3		●	
UNIT 2A							
A	4'-0"	4'-0"	ALT. BID - NEW VINYL	2		●	
C	3'-0"	3'-0"	ALT. BID - NEW VINYL	1		●	
UNIT 2B							
A	4'-0"	4'-0"	ALT. BID - NEW VINYL	2		●	
C	3'-0"	3'-0"	ALT. BID - NEW VINYL	1		●	
UNIT 2C							
A	4'-0"	4'-0"	ALT. BID - NEW VINYL	2		●	
C	3'-0"	3'-0"	ALT. BID - NEW VINYL	1		●	
UNIT 2D							
A	4'-0"	4'-0"	ALT. BID - NEW VINYL	6		●	
UNIT 3A							
A	4'-0"	4'-0"	ALT. BID - NEW VINYL	6		●	
UNIT 3B							
A	4'-0"	4'-0"	ALT. BID - NEW VINYL	6		●	
COMMUNITY BUILDING							
A	4'-0"	4'-0"	ALT. BID - NEW VINYL	4		●	
B	4'-0"	3'-0"	ALT. BID - NEW VINYL	4		●	
C	3'-0"	3'-0"	ALT. BID - NEW VINYL	1		●	
D	11'-0"	7'-0"	ALT. BID - NEW VINYL	1		●	
GENERAL NOTES: 1. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND WINDOW SIZES. 2. PER BASE BID; CONTRACTOR TO REPLACE DAMAGED AND MISSING SCREENS. PER ALTERNATE BID (SEE SCHEDULE), CONTRACTOR TO REMOVE ENTIRE WINDOW UNIT AND REPLACE WITH NEW VINYL WINDOW TO MATCH EXISTING. INCLUDE INSECT SCREENS ON EXTERIOR UNITS. 3. CONTRACTOR MUST INSTALL 1/4" INSUL. OR THERMAL BREAK. CONTINUOUS AROUND WINDOW. 4. CONTRACTOR TO PROVIDE & INSTALL MANUFACTURERS COORDINATING FINNING SYSTEM FOR ALUM. WINDOWS. 5. ALL SECOND FLOOR WINDOWS AND OPERABLE WINDOWS W/ THE SILL 6'-0" ABOVE GRADE, SHALL BE PROVIDE W/ WINDOW OPENING CONTROL DEVICE PER ASTM 2090 & 2018 IBC SEC. 1015.6.1							

COMMUNITY BLDG. DOOR SCHEDULE																											
MARK	DOOR												FRAME										DETAILS	REMARKS	LOCATION		
	SIZE				MATERIAL		TYPE	FINISH	MATERIAL		TYPE	FINISH	DOOR		FRAME PER SCH.		ALTERNATE - REPLACE DOOR (FRAME TO REMAIN) PER SCH.										
	W	H	T	MTL. INSUL.	ALUMINUM	H.C. WOOD	GLASS SLIDING	POCKET DOOR	BI-PASS	BI-FOLD	PRE-PRIMED	PAINT	PRE-FINISHED	WOOD	METAL	EXISTING		NEW	EXISTING	REMAINS	PAINT	GYP. BD. OPENING				BASE BID - REPLACE DOOR & FRAME PER SCH.	
1	3'-0"	7'-0"	1 3/4"					F																J/K-A2.15	2, 3	ENTRY	
2	3'-0"	6'-8"	1 3/4"					B																	C/D-A2.15	3	RESTROOM
3	2'-0"	6'-8"	1 3/4"					B																	J/K-A2.15	3, 8	RESTROOM
4	2'-8"	6'-8"	1 3/4"					B																	J/K-A2.15	2, 3	CLOSET
5	3'-0"	6'-8"	1 3/4"					B																	J/K-A2.15		MEETING ROOM
6	3'-0"	6'-8"	1 3/4"					B																	C/D-A2.15	1, 3	OFFICE
7	3'-0"	6'-8"	1 3/4"					B																	C/D-A2.15	3, 4	MEETING ROOM
8	3'-0"	6'-8"	1 3/4"					B																	C/D-A2.15	5	MEETING ROOM
9	3'-0"	7'-0"	1 3/4"					E																	J/K-A2.15	3, 6	LAUNDRY
10	3'-0"	6'-8"	1 3/4"					E																	J/K-A2.15	5	LAUNDRY
11	2'-8"	6'-8"	1 3/4"					B																	C/D-A2.15	5	GARAGE
12	3'-0"	6'-8"	1 3/4"					B																	C/D-A2.15	1, 3	MECH.
13	2'-8"	6'-8"	1 3/4"					A																	G/H-A2.15		GARAGE
14	F.V. 9'-0"	6'-8"						G																			GARAGE
GENERAL NOTES:														SPECIFIC NOTES:													
A. ALL NEW DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS UNLESS NOTED OTHERWISE PROVIDED & INSTALLED PER SPECIFICATIONS SECTION 8710														1. OFFICE DOOR - HARDWARE TO BE ENTRANCE/OFFICE STYLE FUNCTION. KEYED ON OUTSIDE WITH PUSH BUTTON LOCK INSIDE.													
C. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER.														2. CONTRACTOR TO FIELD VERIFY THE SIZE OF EXISTING FRAME/OPENING. DOORS INTO PUBLIC USE SPACES (LOBBY, RESTROOM, OFFICES, ETC) MUST HAVE A MIN. OF 36" WIDE DOOR. IF DOORS AT THESE UNITS MEASURES LESS THAN 36", CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY.													
D. UNDERCUT DOORS PER MECH DWGS.														3. INTERIOR RESTROOM - HARDWARE TO BE PRIVACY STYLE FUNCTION. WITH PUSH BUTTON LOCK ON INSIDE. INSIDE RELEASE ALWAYS FREE FOR EGRESS.													
E. FOR ALT. BIDS OF REPLACING DOORS, DOOR FRAMES TO REMAIN. CONTRACTOR TO FIELD VERIFY SIZE OF EXISTING FRAME/OPENING.														4. STORAGE ROOM - HARDWARE TO BE STOREROOM FUNCTION TYPE. ENTRANCE BY KEY ONLY. INTERIOR RELEASE ALWAYS FREE.													
F. CONTRACTOR TO VERIFY THE SIZE OF ALL EXISTING DOORS/OPENINGS TO BE REPLACED.														5. HALL - HARDWARE TO BE LEVER TYPE PASSAGE STYLE LATCH SETS. COORDINATE WITH MANUFACTURER FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER.													
G. U.N.O. IN SCHEDULE ABOVE AND NOTES BELOW, ALL INTERIOR DOORS WITH LEVER-STYLE LATCH SETS SHALL BE HAVE A PASSAGE STYLE FUNCTION.														6. SECURED ENTRY FOR TENANT AFTER HOURS USE - COORDINATE KEYING REQUIREMENTS WITH OWNER.													

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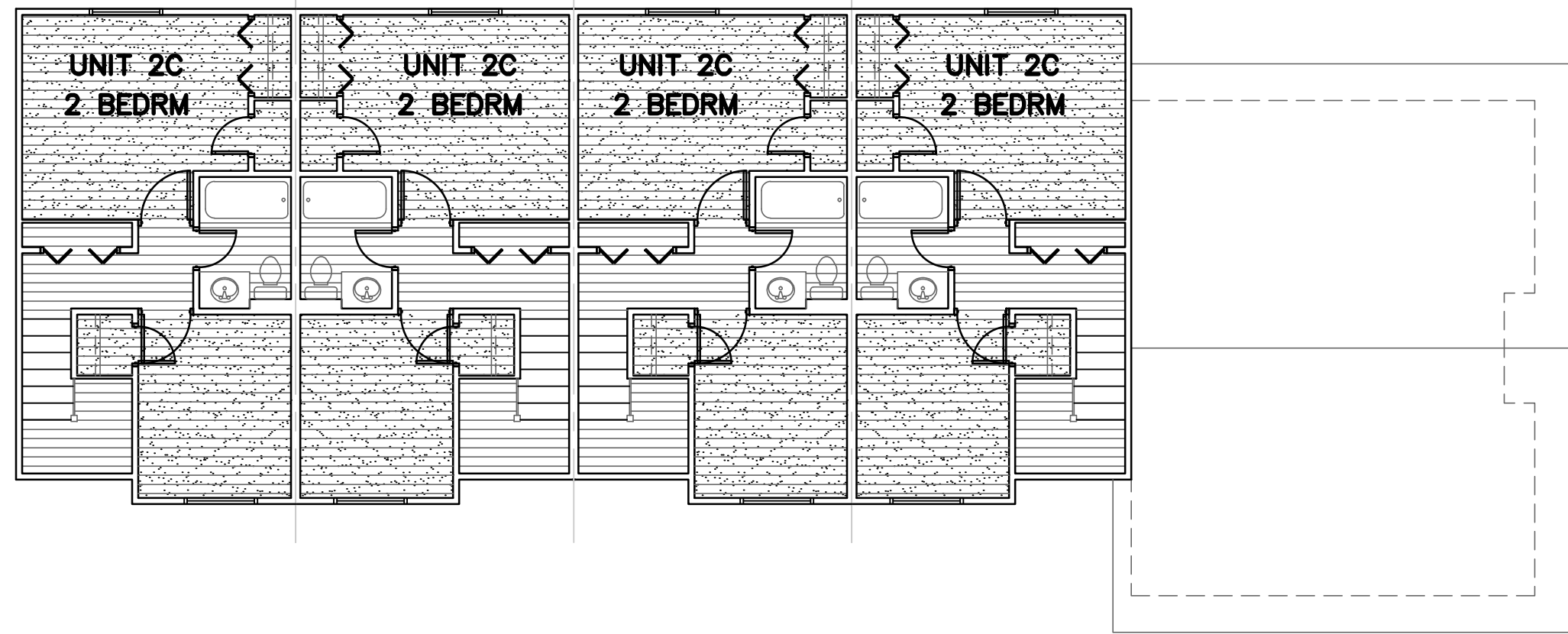


CANTERBURY VILLAGE
REMODEL, ADAPTIVE RE-USE APARTMENTS
WINFIELD, KANSAS



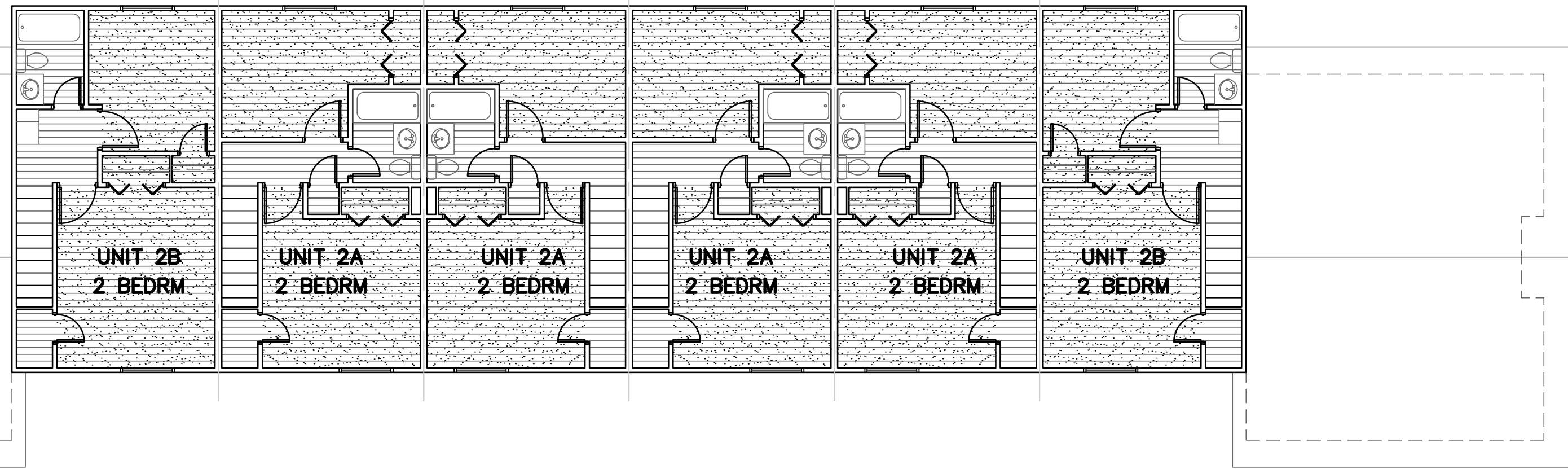
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DATE: 12-12-2022
JOB: 22-3266
SHEET NO.:

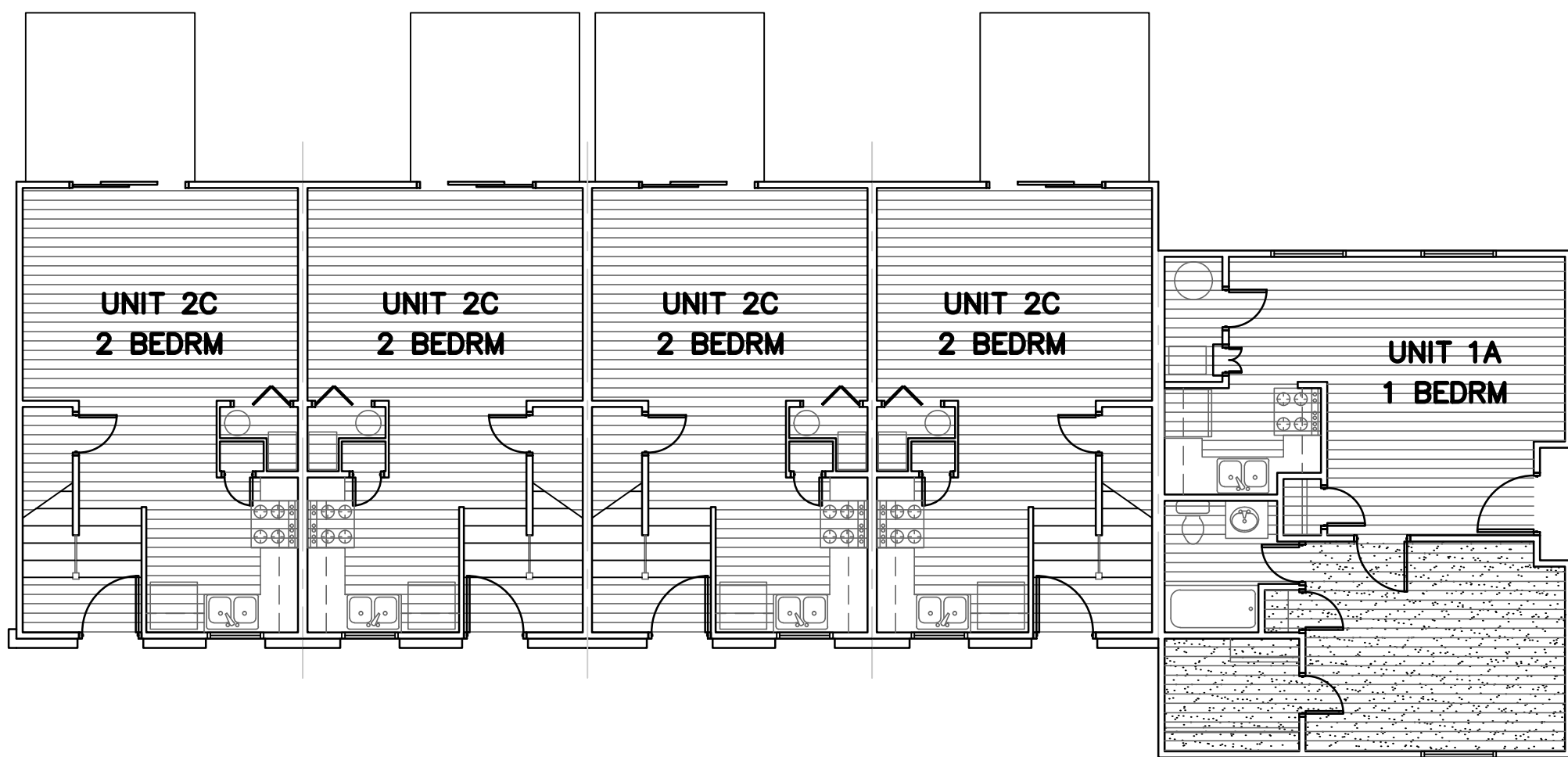


D BUILDING TYPE B
SECOND FLOOR PLAN
1/8"=1'-0"

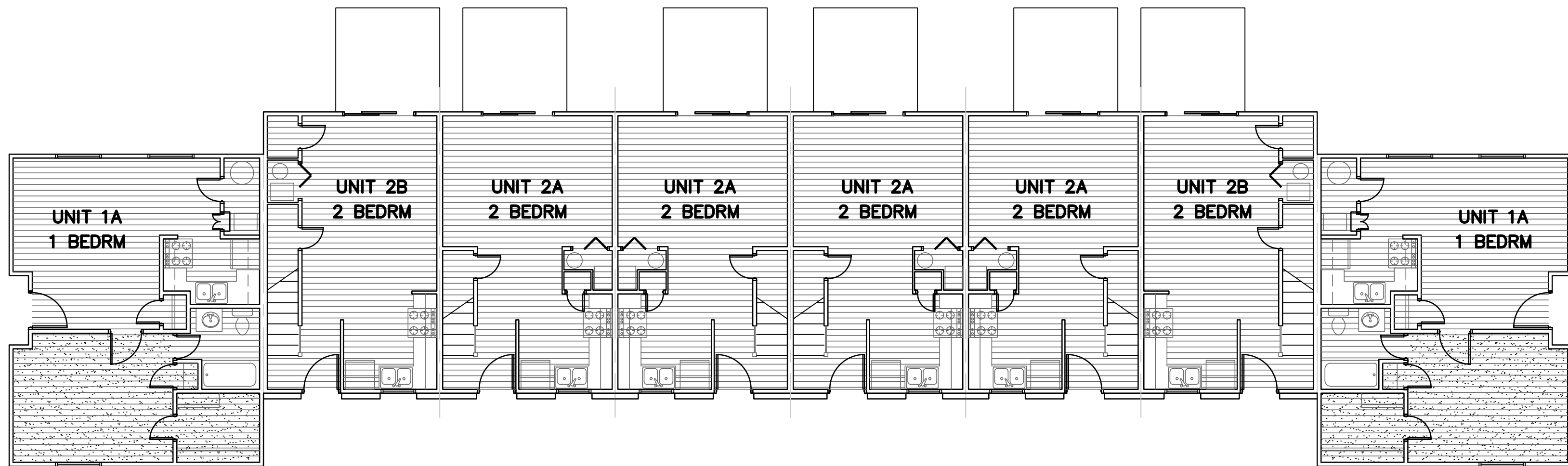
LEGEND	
	LVT
	BASE BID: LVT ALT BID: KEEP EXIST. CARPET



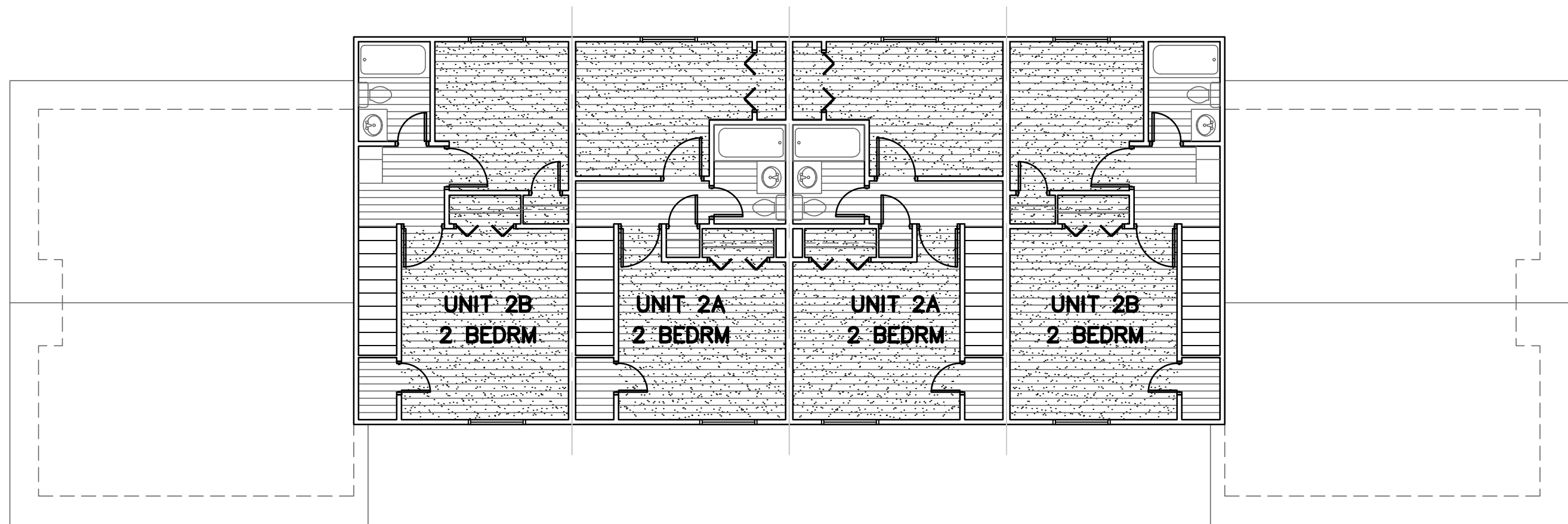
B BUILDING TYPE A
SECOND FLOOR PLAN
1/8"=1'-0"



C BUILDING TYPE B
FIRST FLOOR PLAN
1/8"=1'-0"

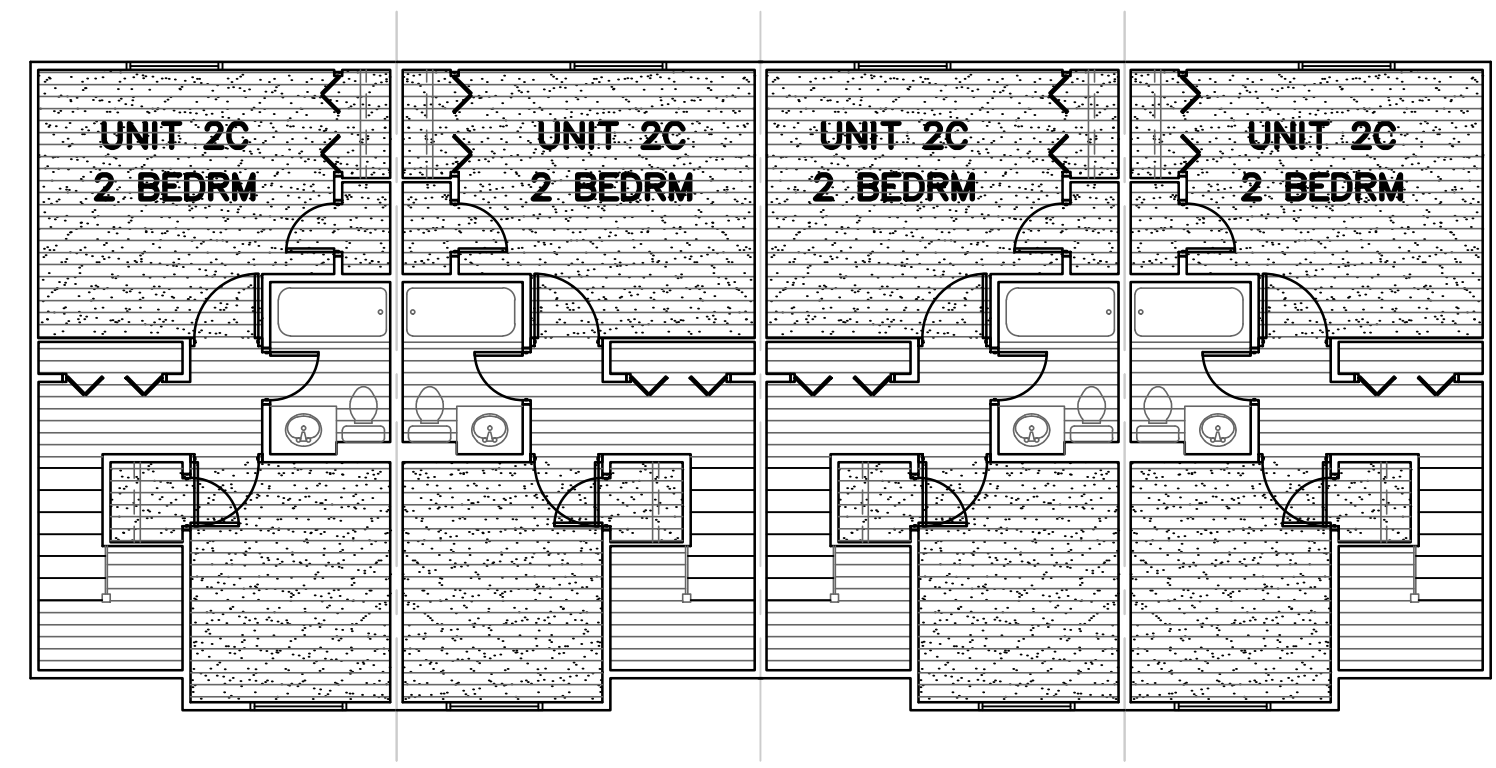


A BUILDING TYPE A
FIRST FLOOR PLAN
1/8"=1'-0"

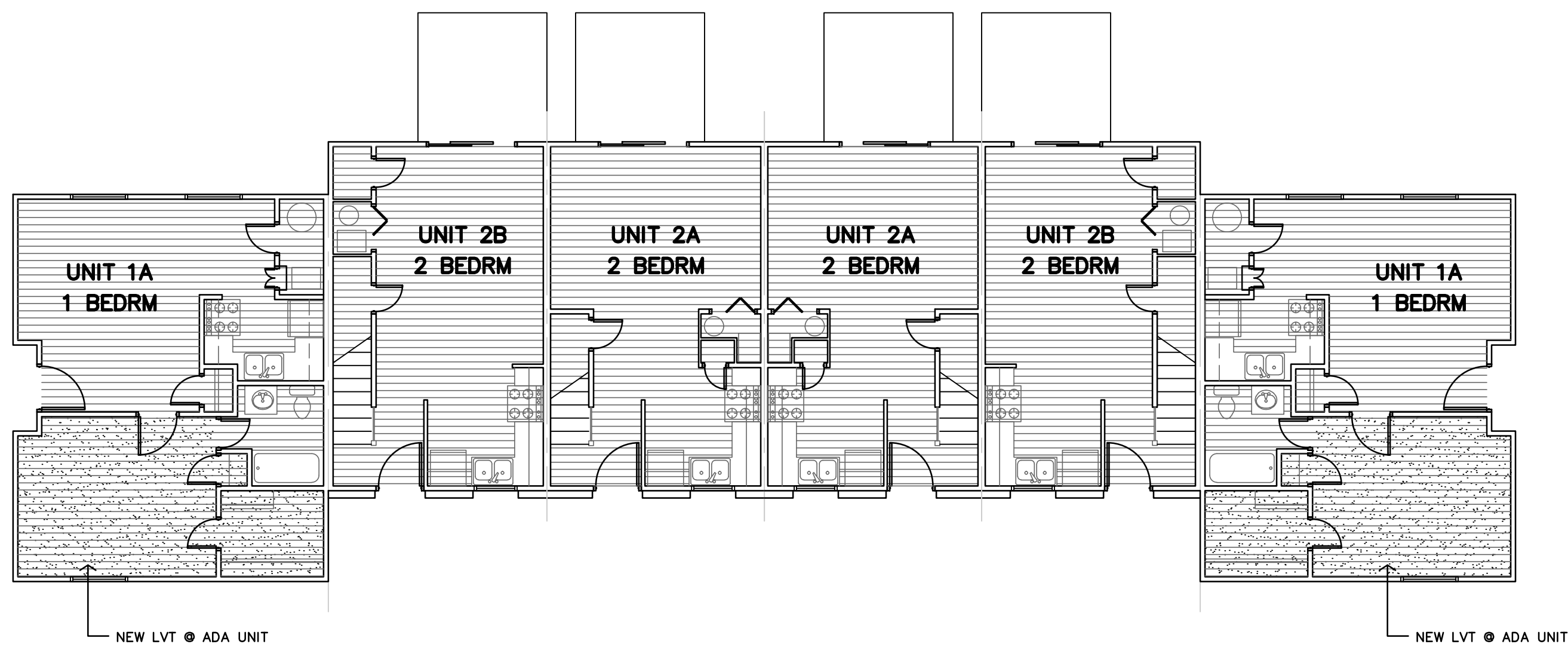


D **BUILDING TYPE D**
SECOND FLOOR PLAN
1/8"=1'-0"

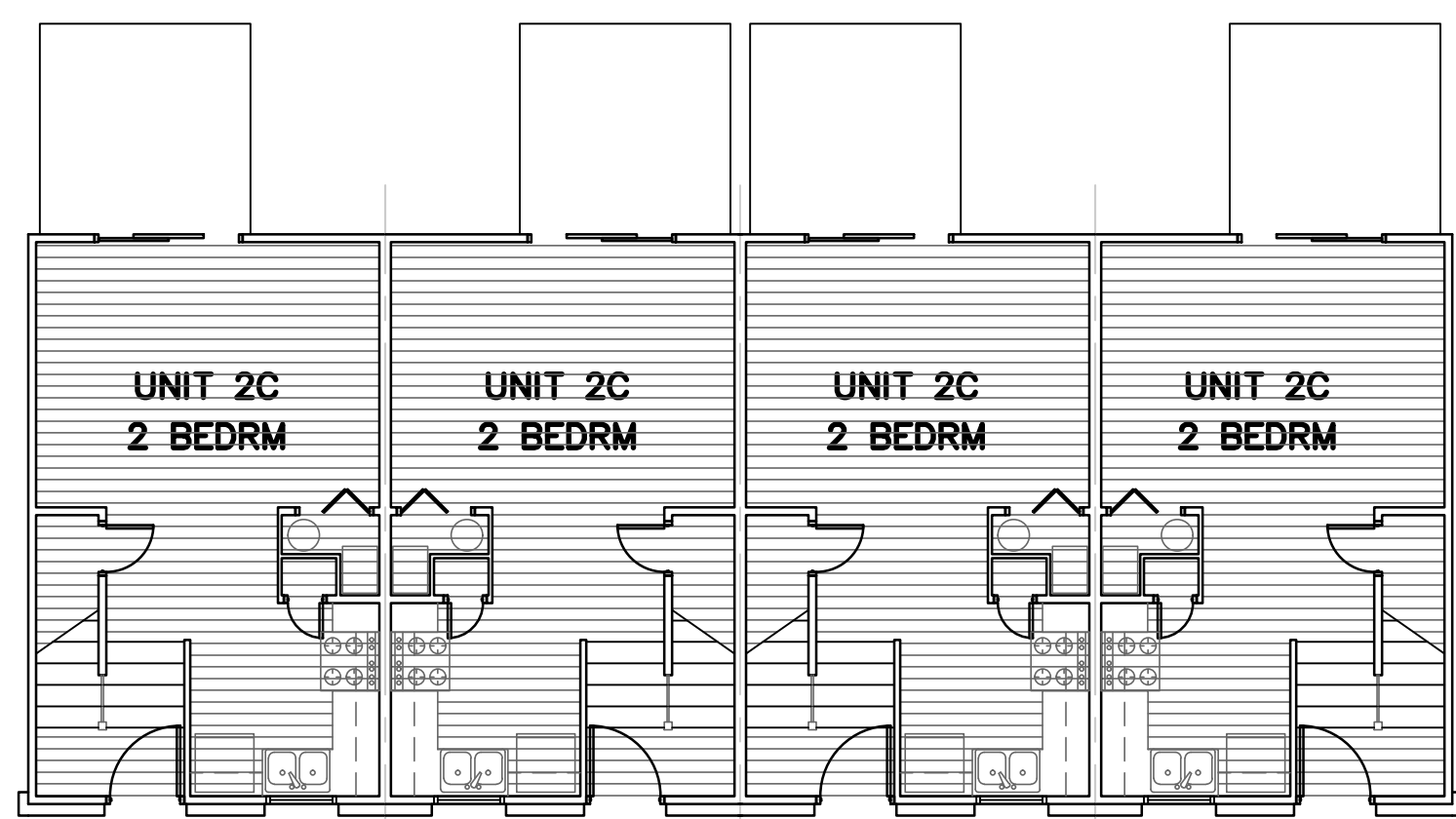
LEGEND	
	LVT
	BASE BID: LVT ALT BID: KEEP EXIST. CARPET



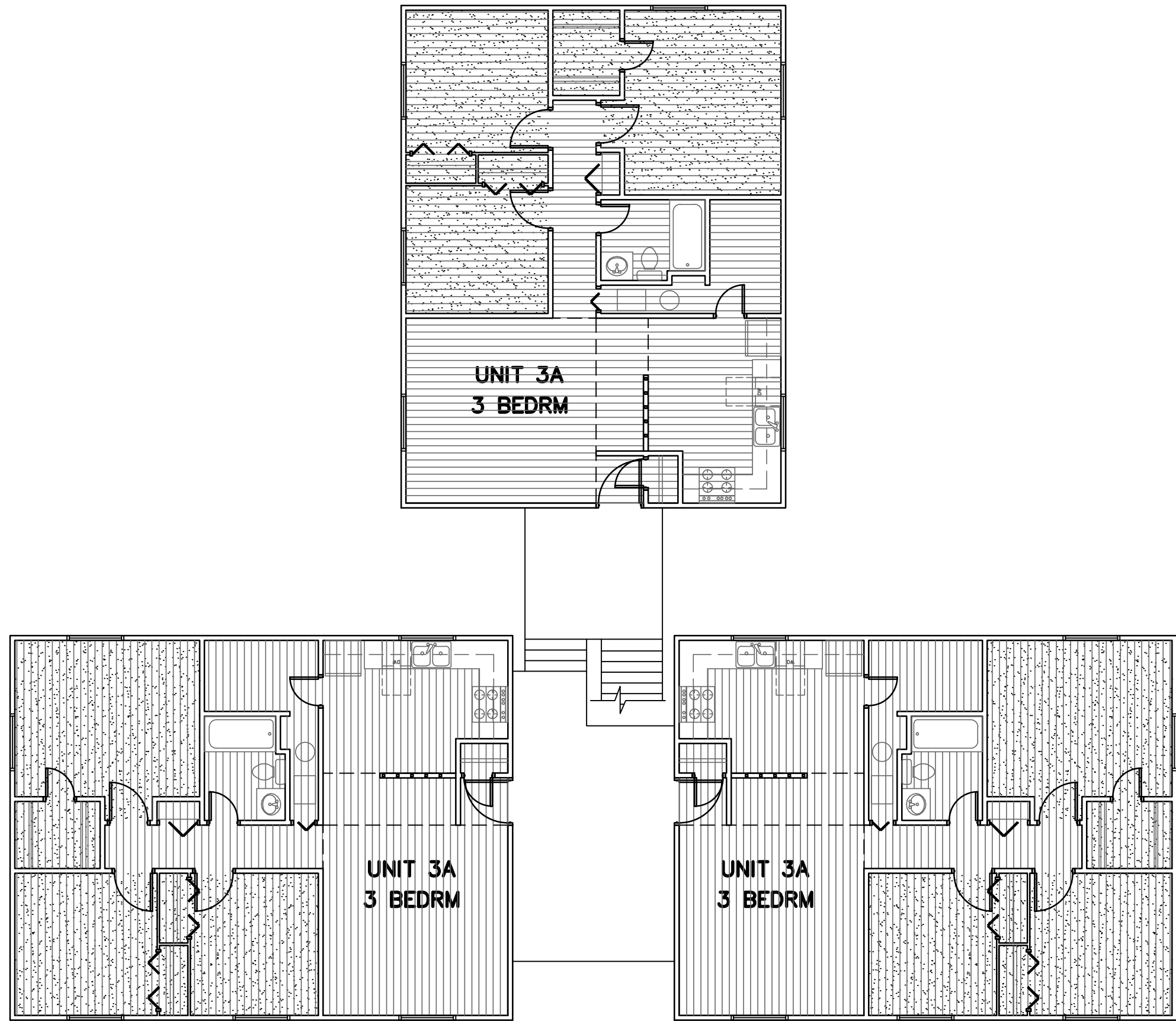
B **BUILDING TYPE C**
SECOND FLOOR PLAN
1/8"=1'-0"



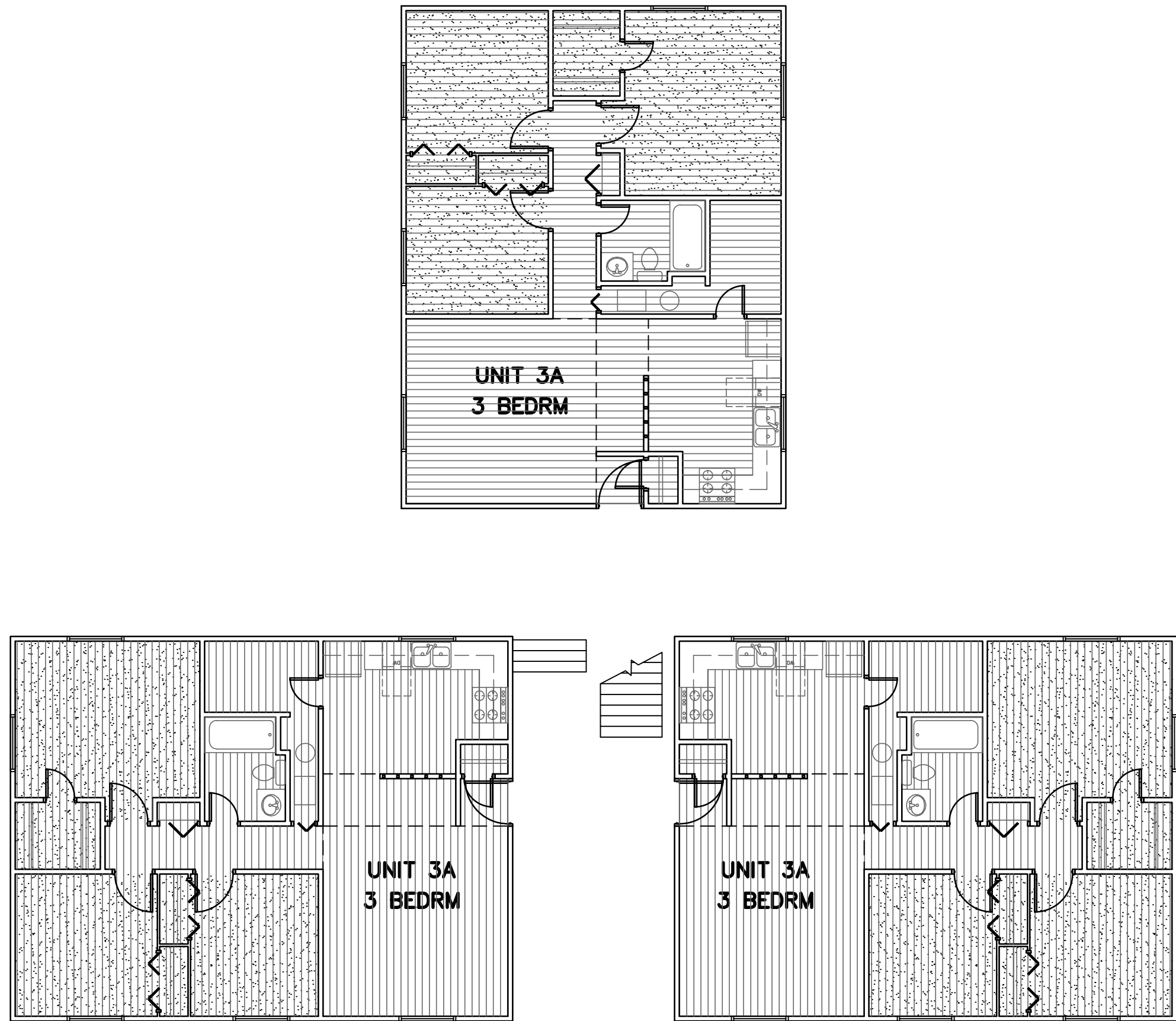
C **BUILDING TYPE D**
FIRST FLOOR PLAN
1/8"=1'-0"



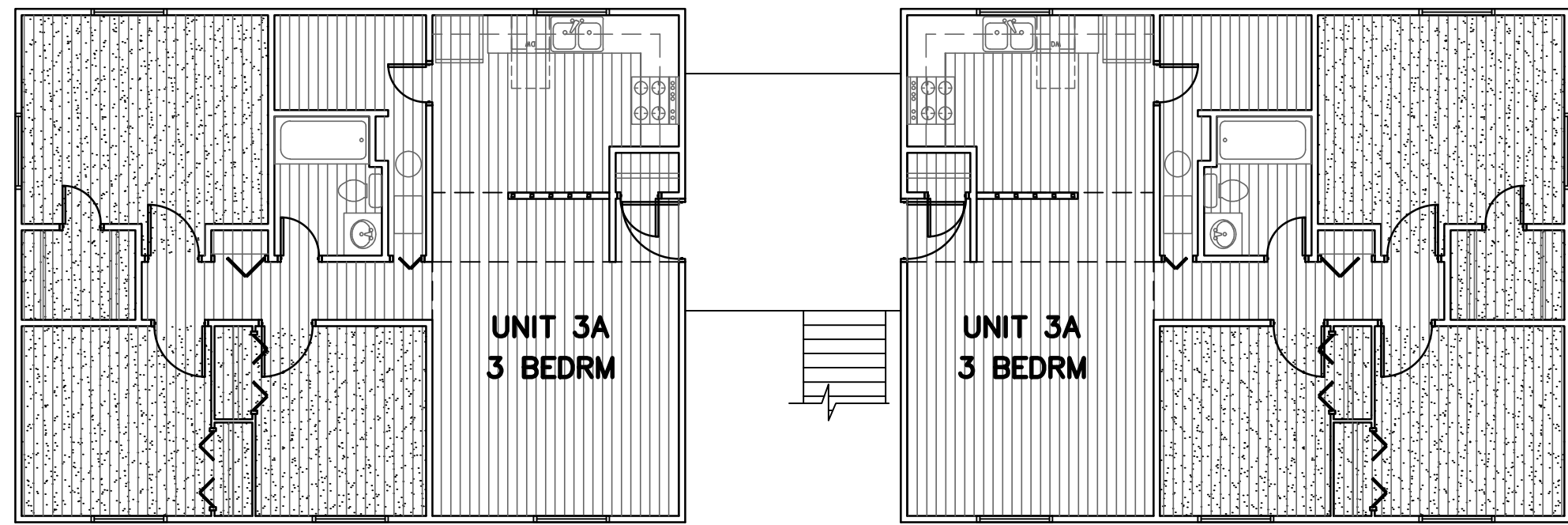
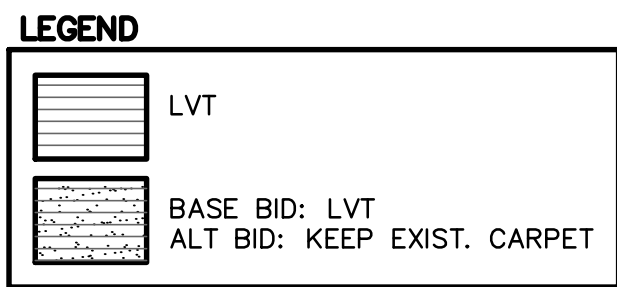
A **BUILDING TYPE C**
FIRST FLOOR PLAN
1/8"=1'-0"



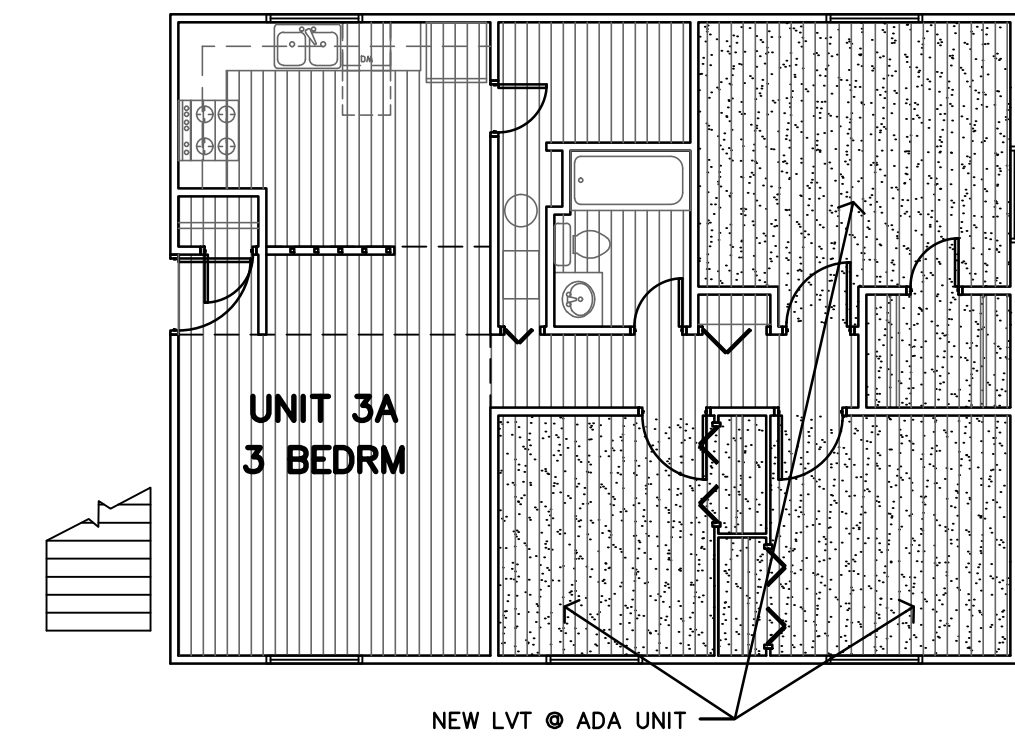
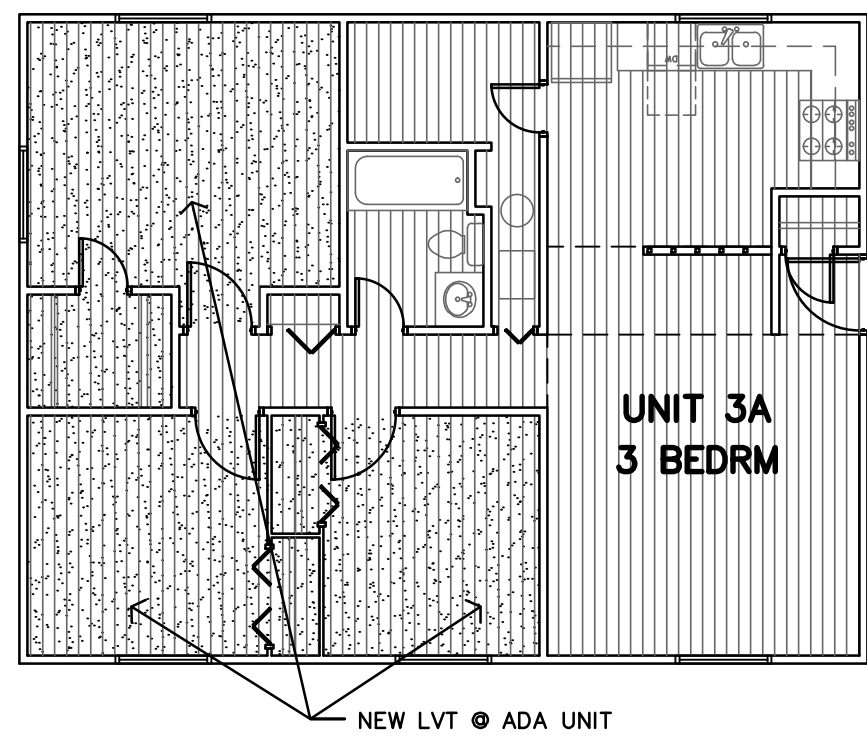
D **BUILDING TYPE F
SECOND FLOOR PLAN**
1/8"=1'-0"



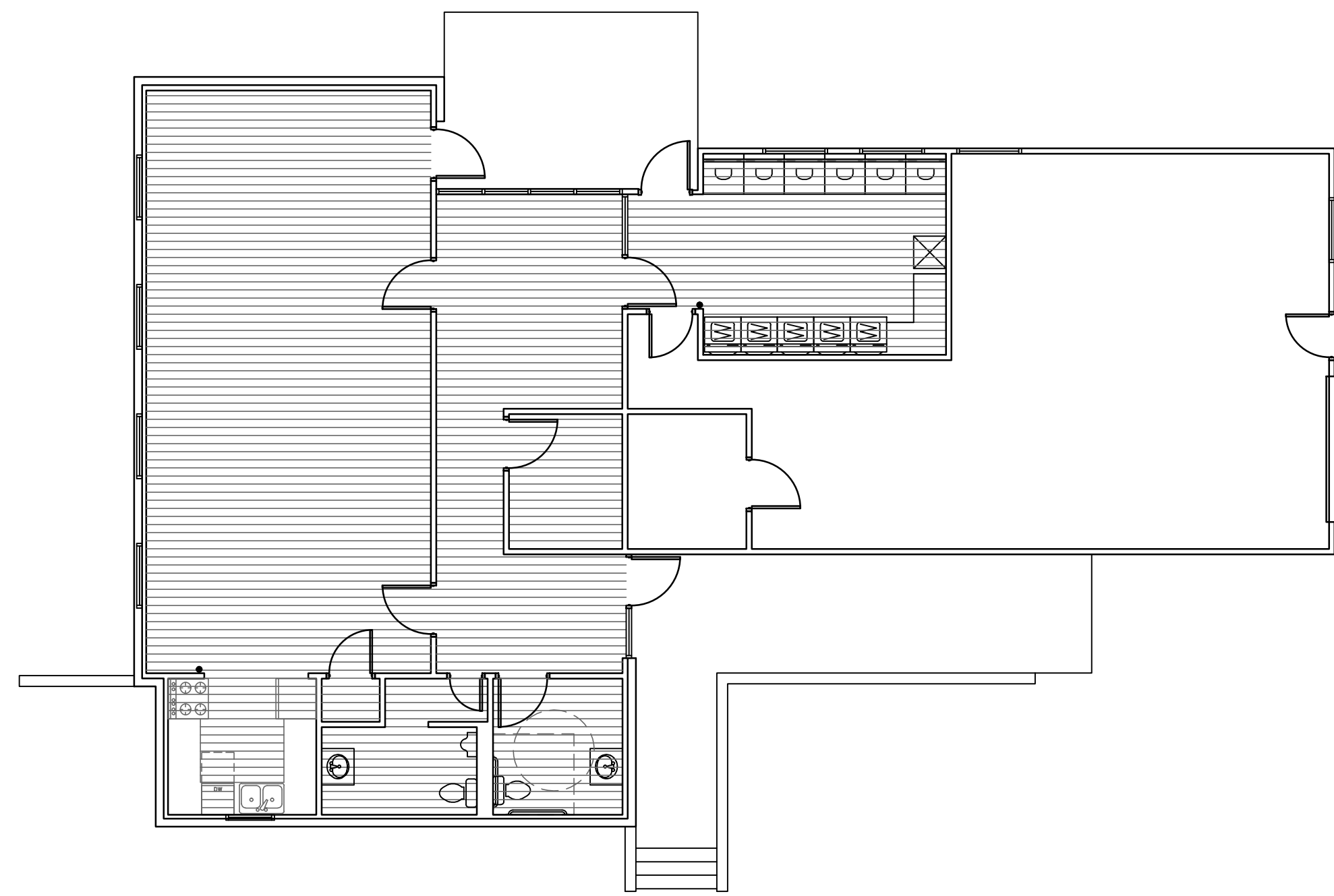
C **BUILDING TYPE F
FIRST FLOOR PLAN**
1/8"=1'-0"



B **BUILDING TYPE E
SECOND FLOOR PLAN**
1/8"=1'-0"



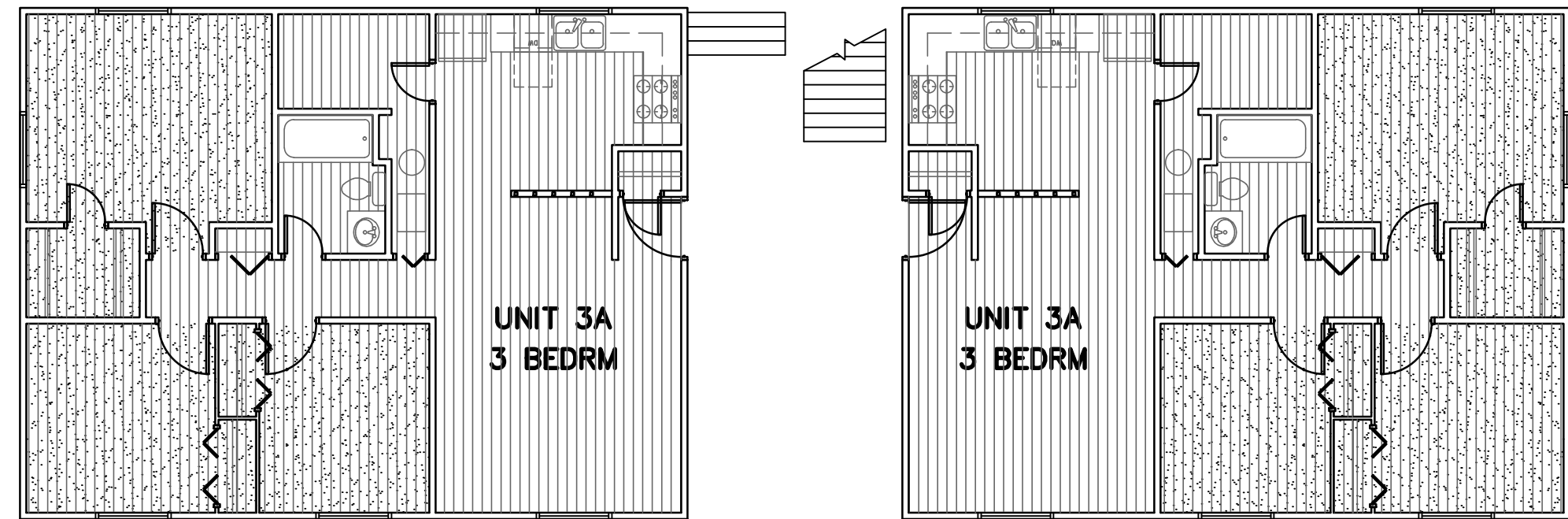
A **BUILDING TYPE E
FIRST FLOOR PLAN**
1/8"=1'-0"



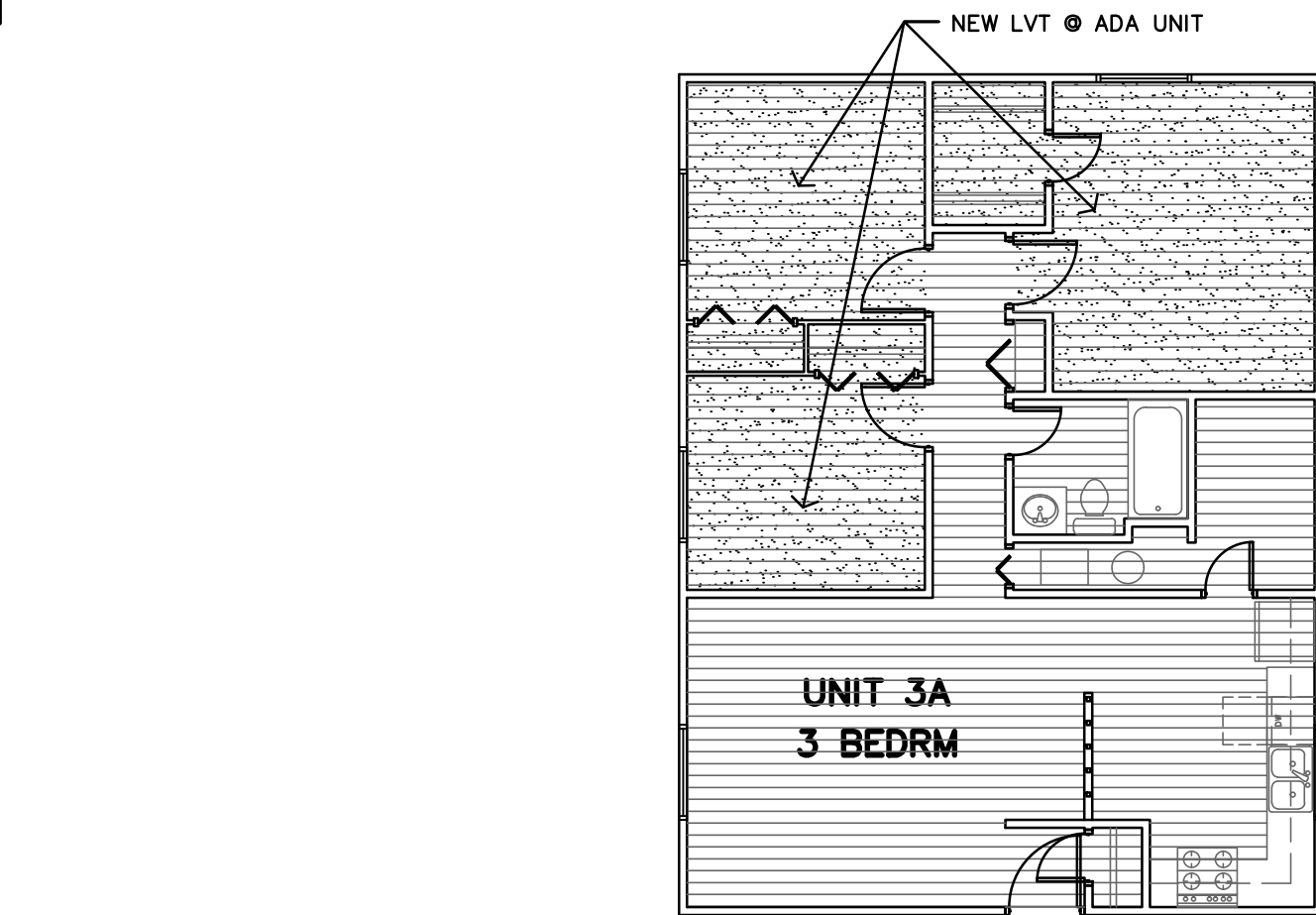
C COMMUNITY BUILDING
FLOOR PLAN
1/8"=1'-0"

LEGEND

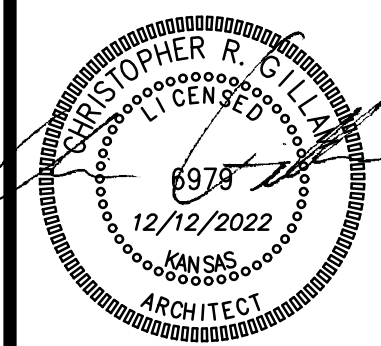
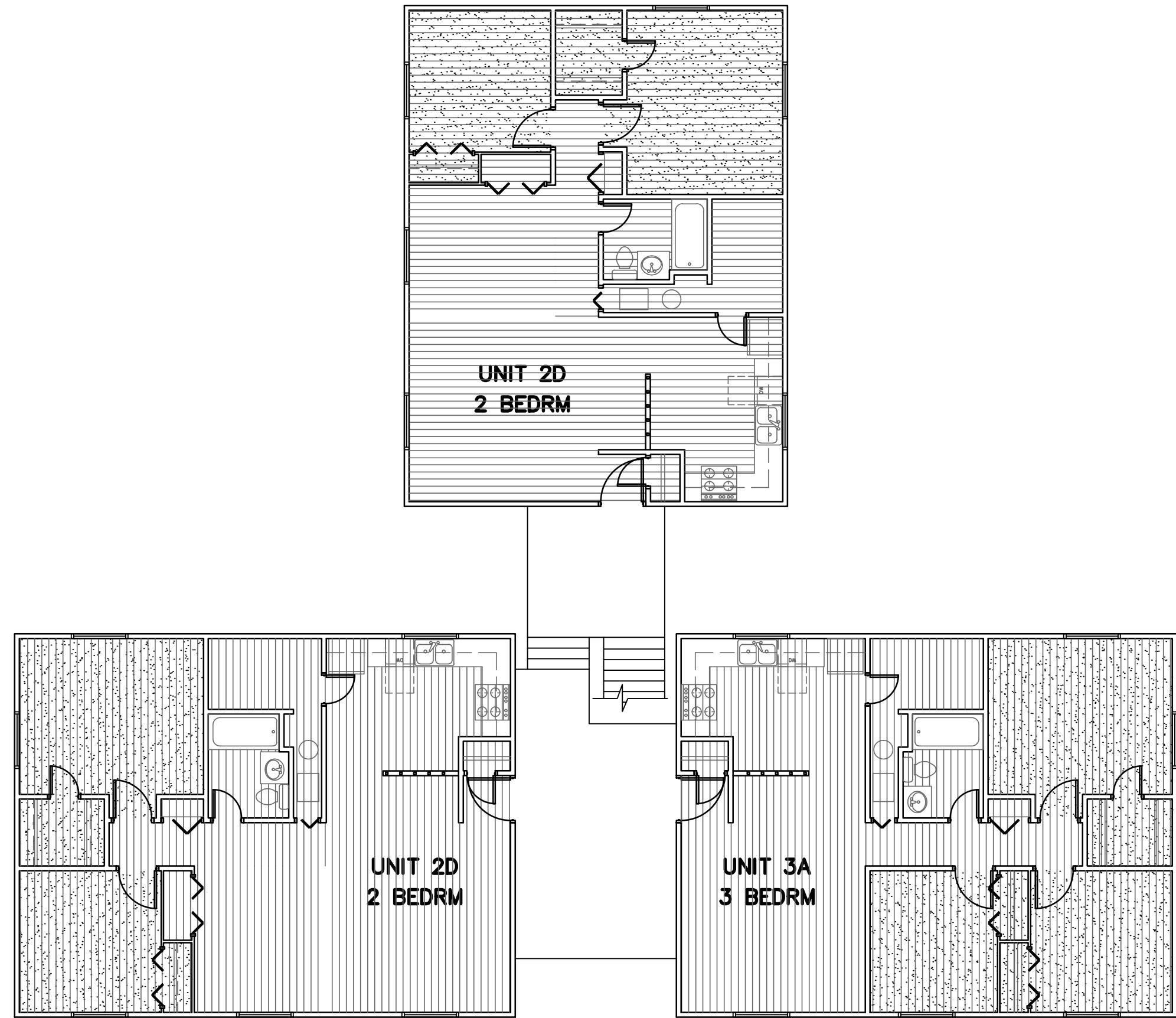
	LVT
	BASE BID: LVT ALT BID: KEEP EXIST. CARPET



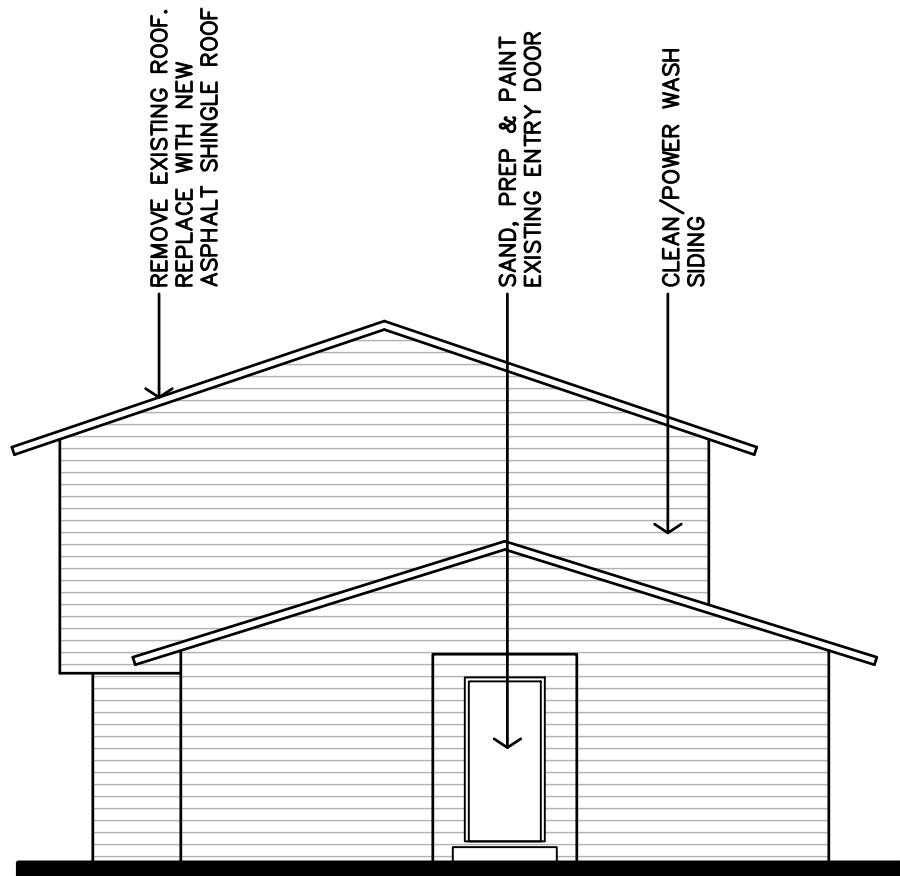
A BUILDING TYPE G
FIRST FLOOR PLAN
1/8"=1'-0"



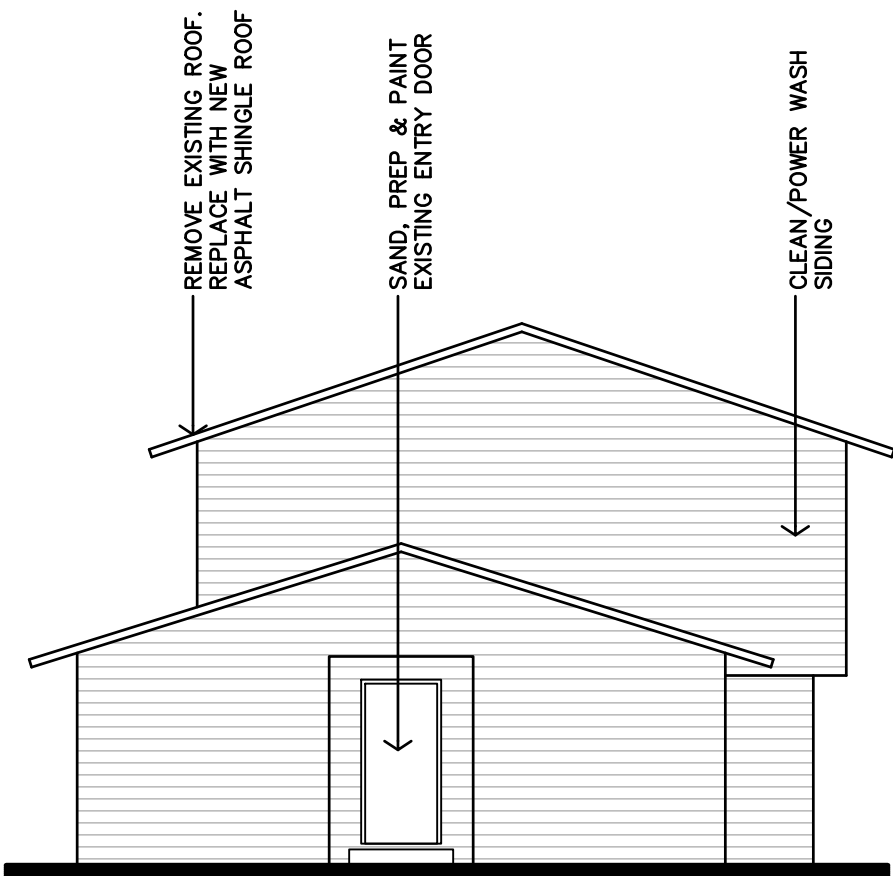
B BUILDING TYPE G
SECOND FLOOR PLAN
1/8"=1'-0"



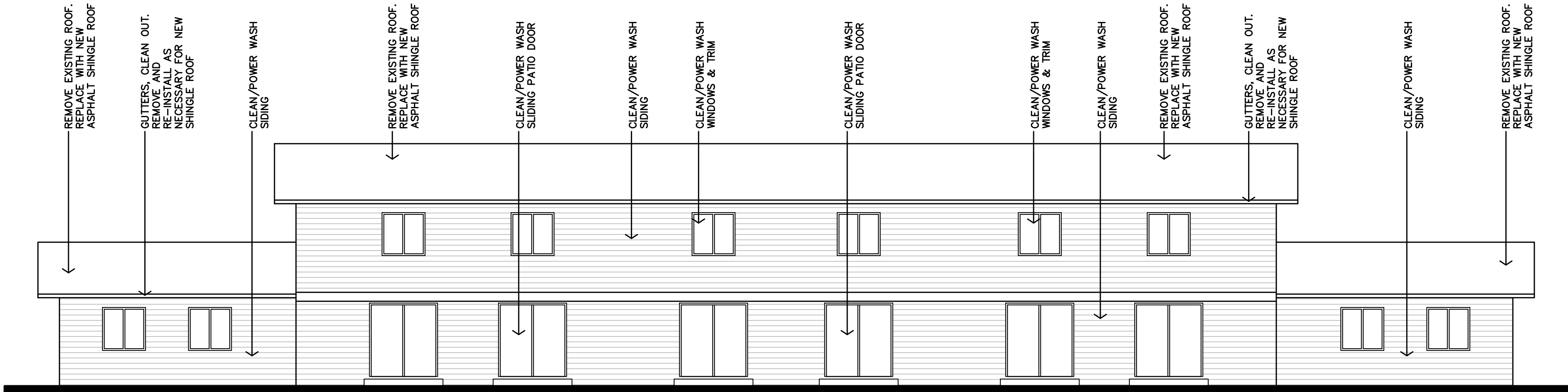
REVISION:	
DATE:	12-12-2022
JOB:	22-3266
SHEET NO.:	



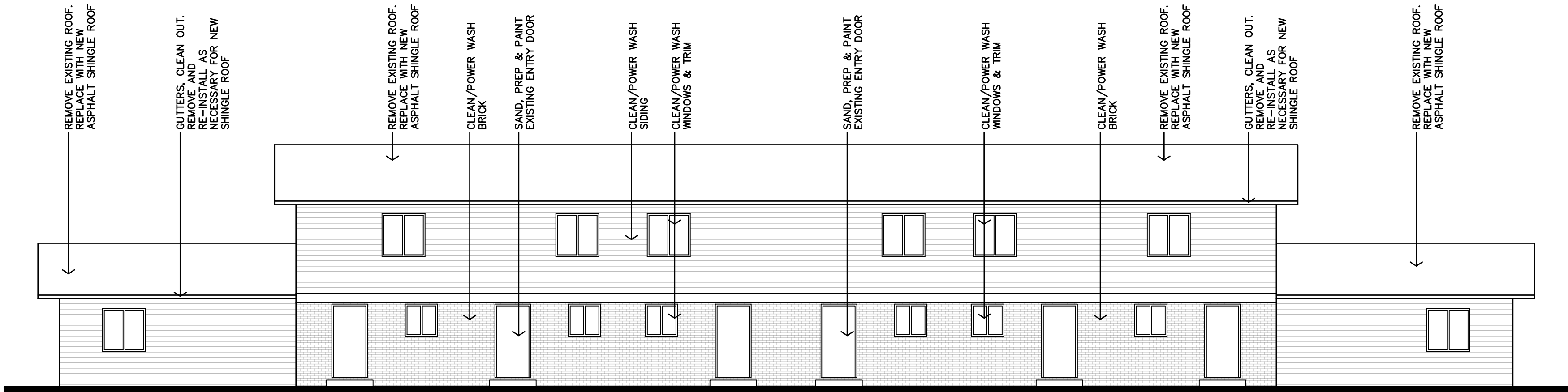
D **BUILDING TYPE A LEFT EXTERIOR ELEVATION**
1/8"=1'-0"



C **BUILDING TYPE A RIGHT EXTERIOR ELEVATION**
1/8"=1'-0"



B **BUILDING TYPE A BACK EXTERIOR ELEVATION**
1/8"=1'-0"

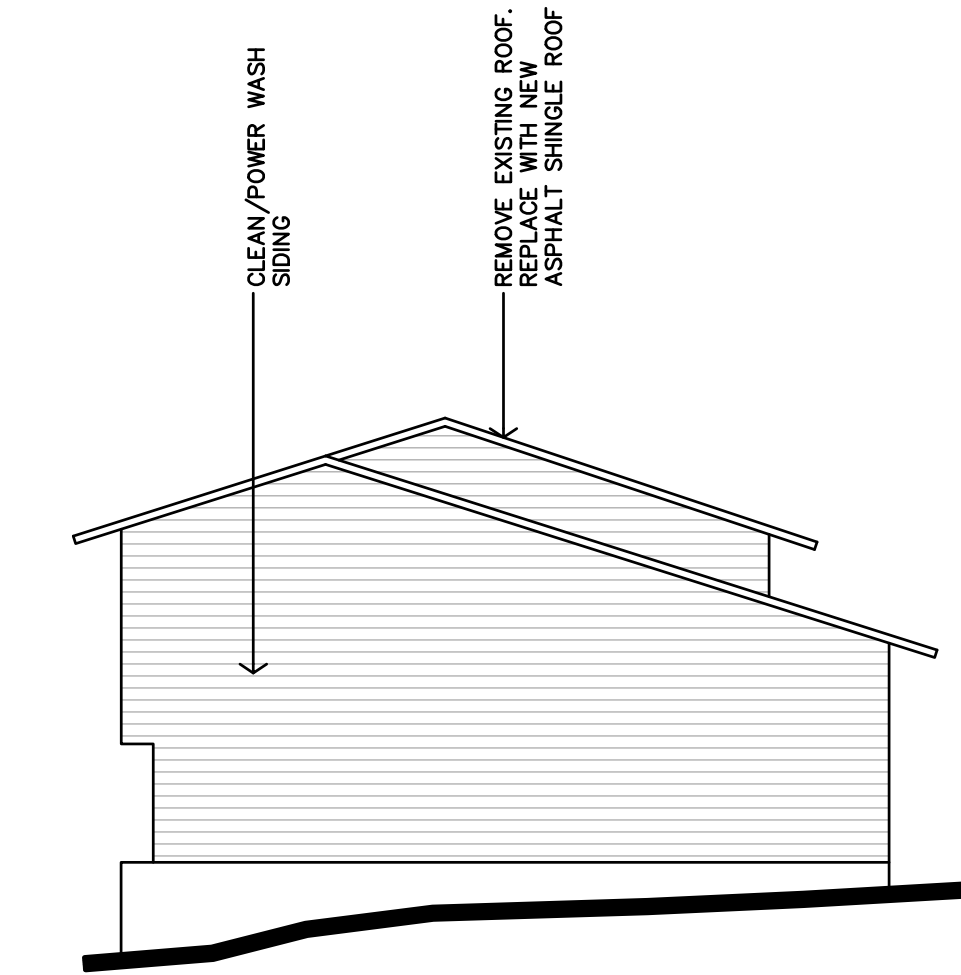


A **BUILDING TYPE A FRONT EXTERIOR ELEVATION**
1/8"=1'-0"

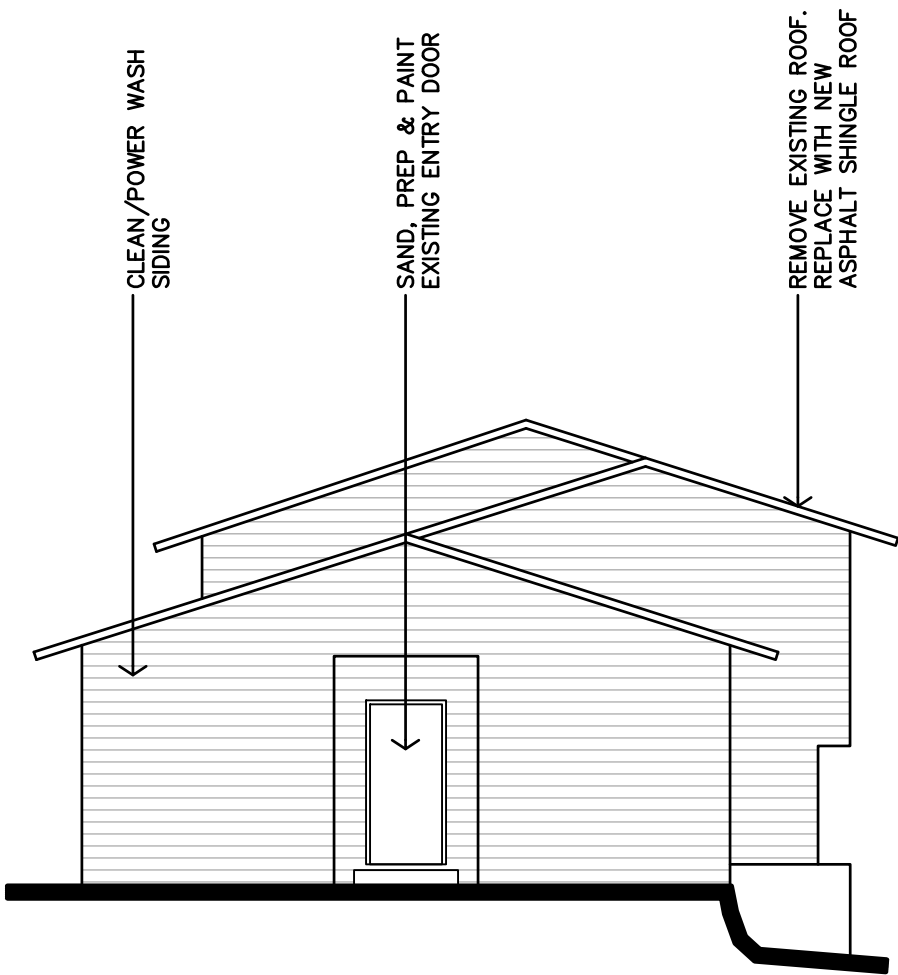
BUILDINGS - EXTERIOR NOTES & SCOPE OF WORK

ROOFING:	<u>BASE BID</u> —NEW 30 YEAR ASPHALT SHINGLE ROOF WITH (1)LAYER FELT UNDERLAYMENT. PER SPEC. <u>ALTERNATE</u> —NONE
WINDOWS & TRIM:	<u>BASE BID</u> —CLEAN/POWER WASH, REPLACE INSECT SCREEN AS NEEDED <u>ALTERNATE</u> —REPLACE WITH NEW
DOORS & TRIM:	<u>BASE BID</u> —SAND, PREP AND PAINT EXISTING <u>ALTERNATE</u> —REMOVE ALL ENTRY DOORS & REPLACE WITH NEW PER DOOR SCHEDULE A2.15
HARDWARE:	<u>BASE BID</u> —NEW UNIT ENTRY DOOR HARDWARE PER SPEC. <u>ALTERNATE</u> —NONE
DECKS & RAILING:	<u>BASE BID</u> —CLEAN/POWER WASH, PREP AND PAINT <u>ALTERNATE</u> —REPLACE DAMAGED BOARDS AS NEEDED, REPLACE ALL RAILINGS WITH NEW TO MEET BUILDING CODE, PREP AND PAINT.
SLIDING PATIO DOORS:	<u>BASE BID</u> —CLEAN/POWER WASH & REPLACE INSECT SCREEN AS NEEDED <u>ALTERNATE</u> —REPLACE WITH NEW

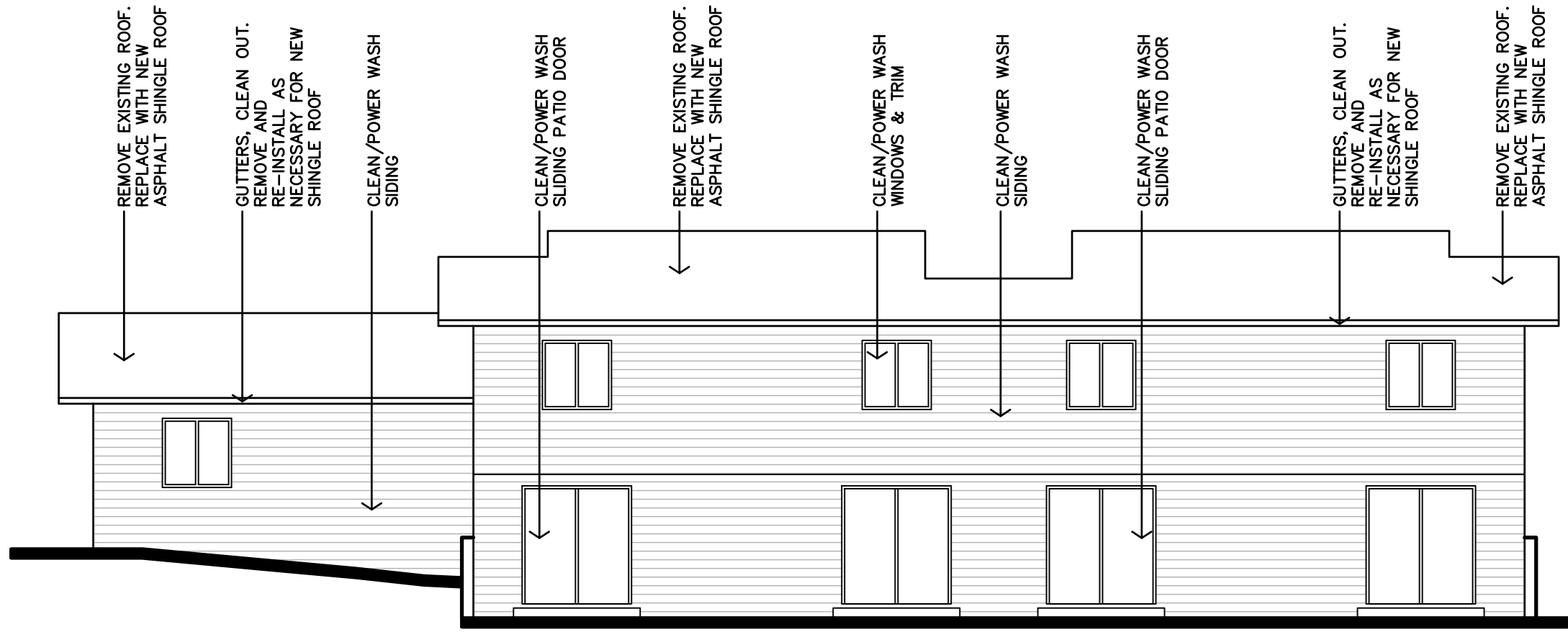
WALL SIDING:	<u>BASE BID</u> —CLEAN/POWER WASH ALL VINYL SIDING. <u>ALTERNATE</u> —NONE
FACE BRICK:	<u>BASE BID</u> —CLEAN/POWER WASH ALL BRICK <u>ALTERNATE</u> —NONE
FASCIA & WALL TRIM:	<u>BASE BID</u> —CLEAN/POWER WASH ALL FASCIA & WALL TRIM <u>ALTERNATE</u> —NONE
SOFFITS:	<u>BASE BID</u> —CLEAN/POWER WASH ALL SOFFITS <u>ALTERNATE</u> —NONE
GUTTERS/DOWNSPOUTS:	<u>BASE BID</u> —CLEAN OUT. REMOVE AND RE-INSTALL AS NECESSARY FOR NEW SHINGLE ROOF. <u>ALTERNATE</u> —REPLACE WHERE BROKEN OR DAMAGED. FINISH COLOR PAINT TO MATCH EXIST.



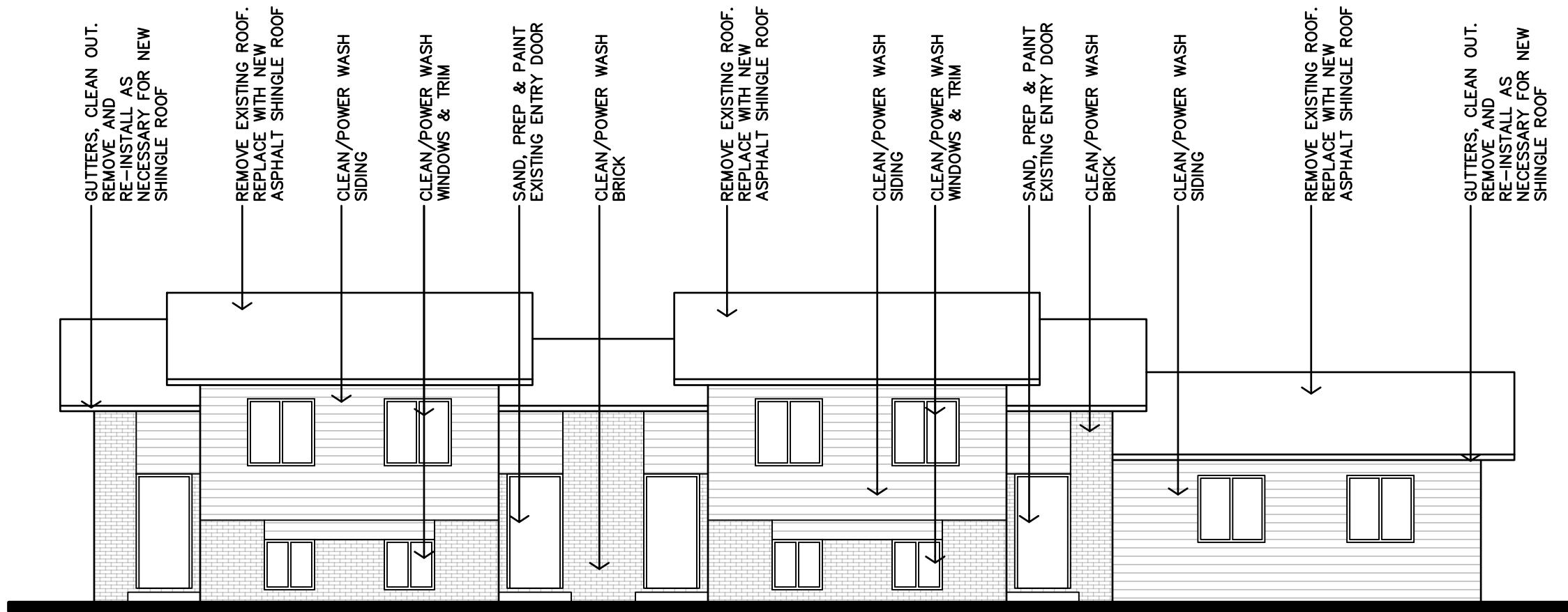
D **BUILDING TYPE B LEFT EXTERIOR ELEVATION**
1/8"=1'-0"



C **BUILDING TYPE B RIGHT EXTERIOR ELEVATION**
1/8"=1'-0"



B **BUILDING TYPE B BACK EXTERIOR ELEVATION**
1/8"=1'-0"

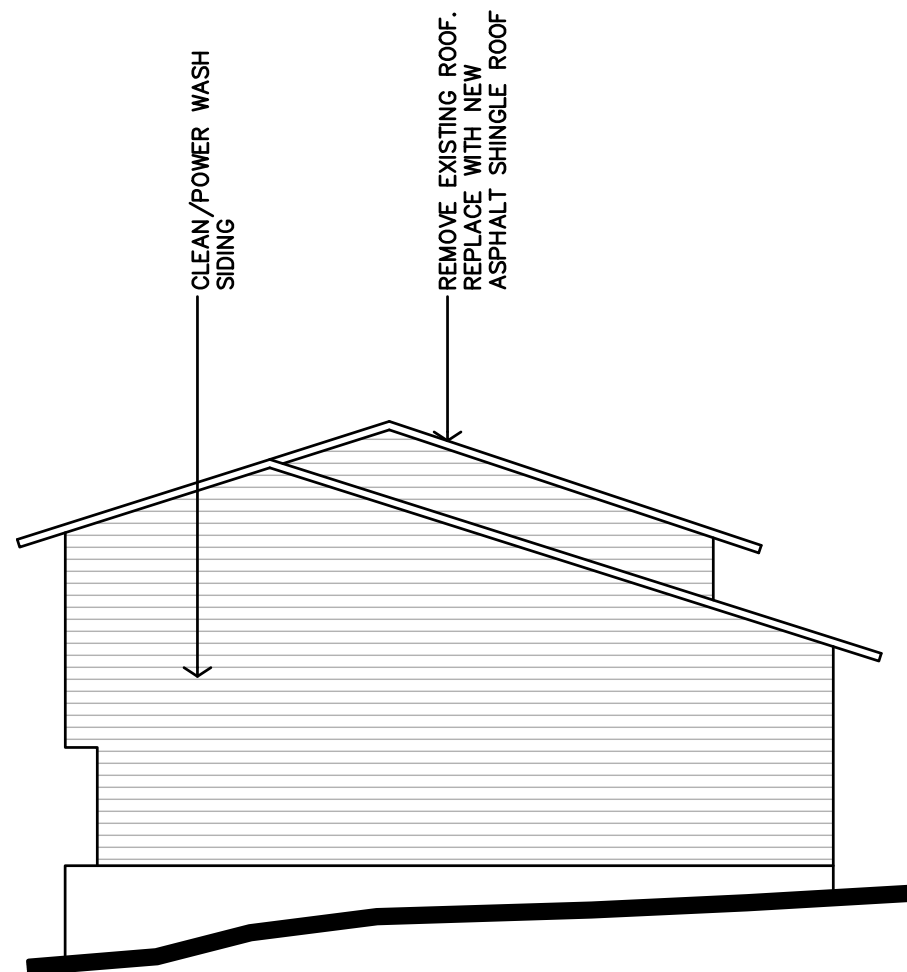


A **BUILDING TYPE B FRONT EXTERIOR ELEVATION**
1/8"=1'-0"

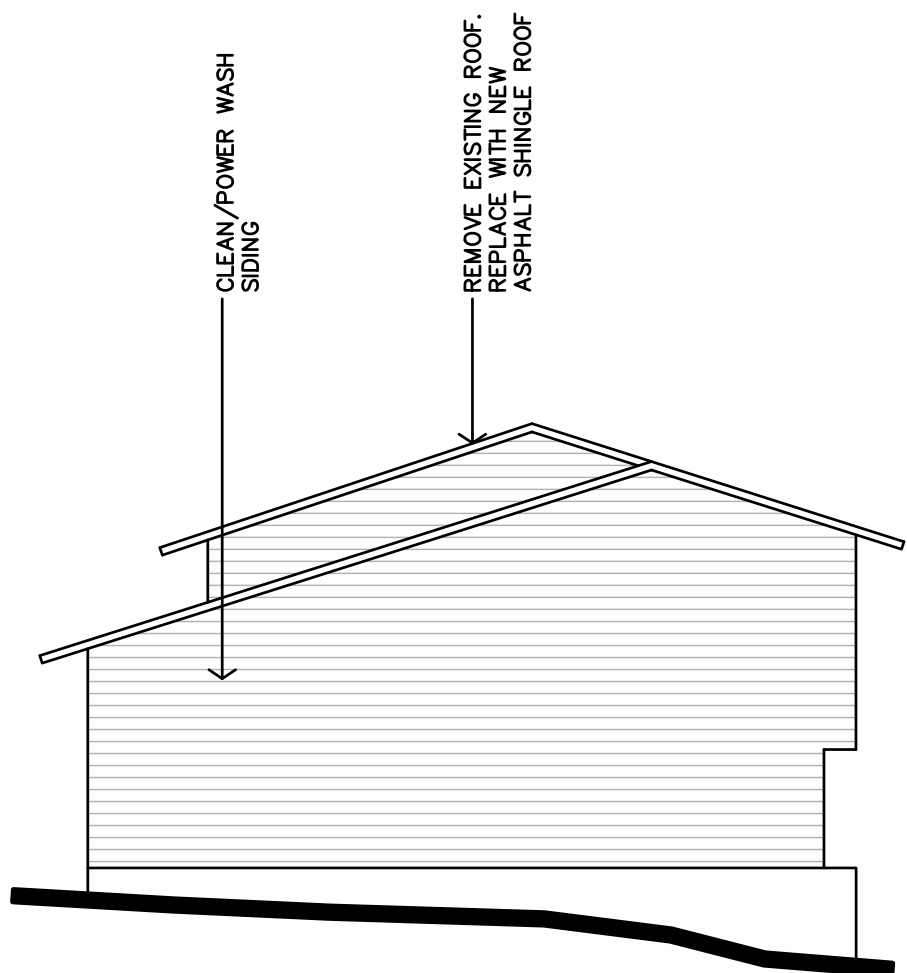
BUILDINGS - EXTERIOR NOTES & SCOPE OF WORK			
ROOFING:	BASE BID--NEW 30 YEAR ASPHALT SHINGLE ROOF WITH (1)LAYER FELT UNDERLAYMENT. PER SPEC. ALTERNATE--NONE	WALL SIDING:	BASE BID--CLEAN/POWER WASH ALL VINYL SIDING. ALTERNATE--NONE
WINDOWS & TRIM:	BASE BID--CLEAN/POWER WASH, REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW	FACE BRICK:	BASE BID--CLEAN/POWER WASH ALL BRICK ALTERNATE--NONE
DOORS & TRIM:	BASE BID--SAND, PREP AND PAINT EXISTING ALTERNATE--REMOVE ALL ENTRY DOORS & REPLACE WITH NEW PER DOOR SCHEDULE A2.15	FASCIA & WALL TRIM:	BASE BID--CLEAN/POWER WASH ALL FASCIA & WALL TRIM ALTERNATE--NONE
HARDWARE:	BASE BID--NEW UNIT ENTRY DOOR HARDWARE PER SPEC. ALTERNATE--NONE	SOFFITS:	BASE BID--CLEAN/POWER WASH ALL SOFFITS ALTERNATE--NONE
DECKS & RAILING:	BASE BID--CLEAN/POWER WASH, PREP AND PAINT ALTERNATE--REPLACE DAMAGED BOARDS AS NEEDED, REPLACE ALL RAILINGS WITH NEW TO MEET BUILDING CODE, PREP AND PAINT.	GUTTERS/DOWNSPOUTS:	BASE BID--CLEAN OUT. REMOVE AND RE--INSTALL AS NECESSARY FOR NEW SHINGLE ROOF. ALTERNATE--REPLACE WHERE BROKEN OR DAMAGED. FINISH COLOR PAINT TO MATCH EXIST.
SLIDING PATIO DOORS:	BASE BID--CLEAN/POWER WASH & REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW		

BUILDINGS - EXTERIOR NOTES & SCOPE OF WORK

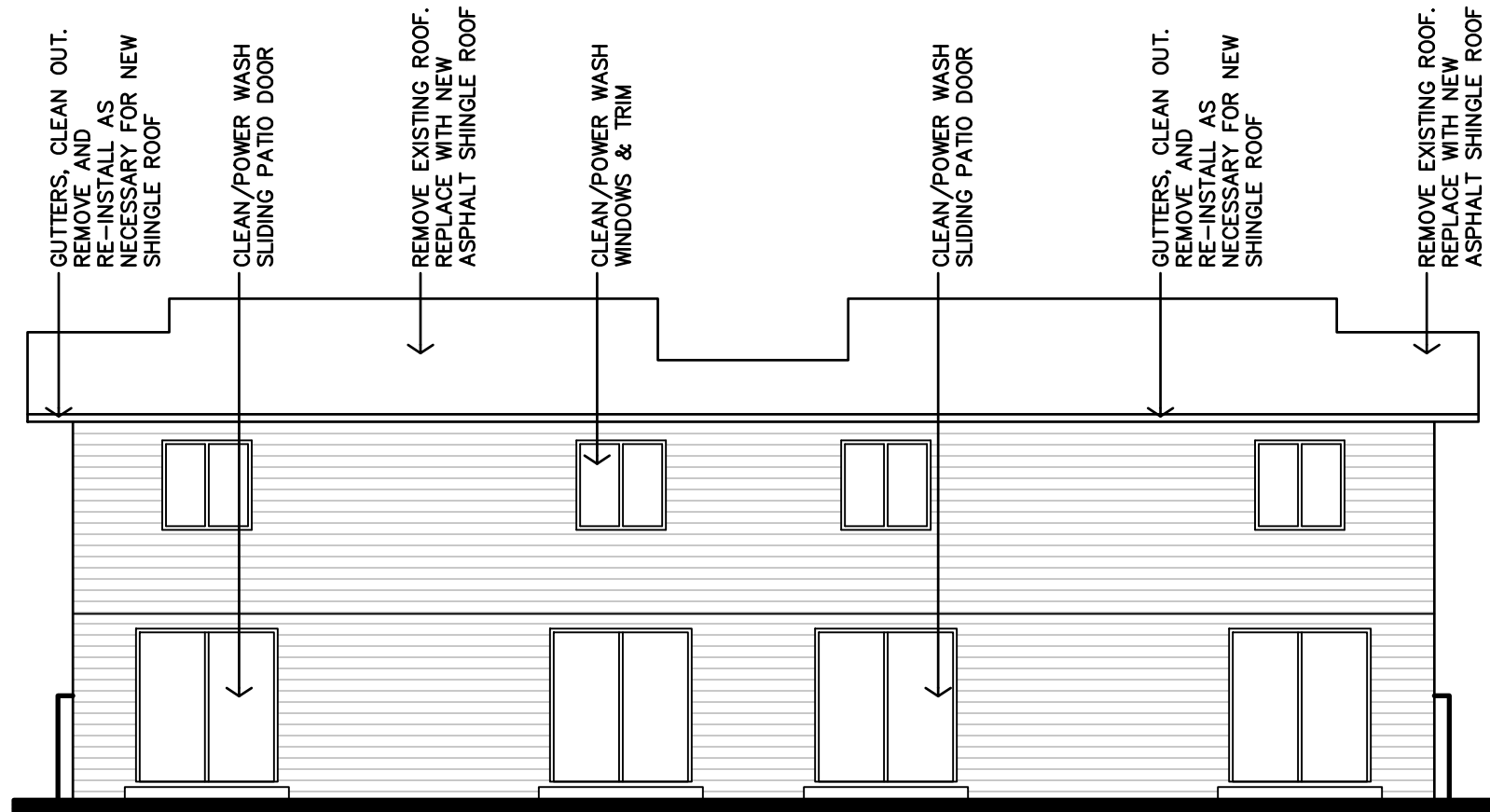
ROOFING:	BASE BID--NEW 30 YEAR ASPHALT SHINGLE ROOF WITH (1)LAYER FELT UNDERLAYMENT. PER SPEC. ALTERNATE--NONE	WALL SIDING:	BASE BID--CLEAN/POWER WASH ALL VINYL SIDING. ALTERNATE--NONE
WINDOWS & TRIM:	BASE BID--CLEAN/POWER WASH, REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW	FACE BRICK:	BASE BID--CLEAN/POWER WASH ALL BRICK ALTERNATE--NONE
DOORS & TRIM:	BASE BID--SAND, PREP AND PAINT EXISTING ALTERNATE--REMOVE ALL ENTRY DOORS & REPLACE WITH NEW PER DOOR SCHEDULE A2.15	FASCIA & WALL TRIM:	BASE BID--CLEAN/POWER WASH ALL FASCIA & WALL TRIM ALTERNATE--NONE
HARDWARE:	BASE BID--NEW UNIT ENTRY DOOR HARDWARE PER SPEC. ALTERNATE--NONE	SOFFITS:	BASE BID--CLEAN/POWER WASH ALL SOFFITS ALTERNATE--NONE
DECKS & RAILING:	BASE BID--CLEAN/POWER WASH, PREP AND PAINT ALTERNATE--REPLACE DAMAGED BOARDS AS NEEDED, REPLACE ALL RAILINGS WITH NEW TO MEET BUILDING CODE, PREP AND PAINT.	GUTTERS/DOWNSPOUTS:	BASE BID--CLEAN OUT. REMOVE AND RE--INSTALL AS NECESSARY FOR NEW SHINGLE ROOF. ALTERNATE--REPLACE WHERE BROKEN OR DAMAGED. FINISH COLOR PAINT TO MATCH EXIST.
SLIDING PATIO DOORS:	BASE BID--CLEAN/POWER WASH & REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW		



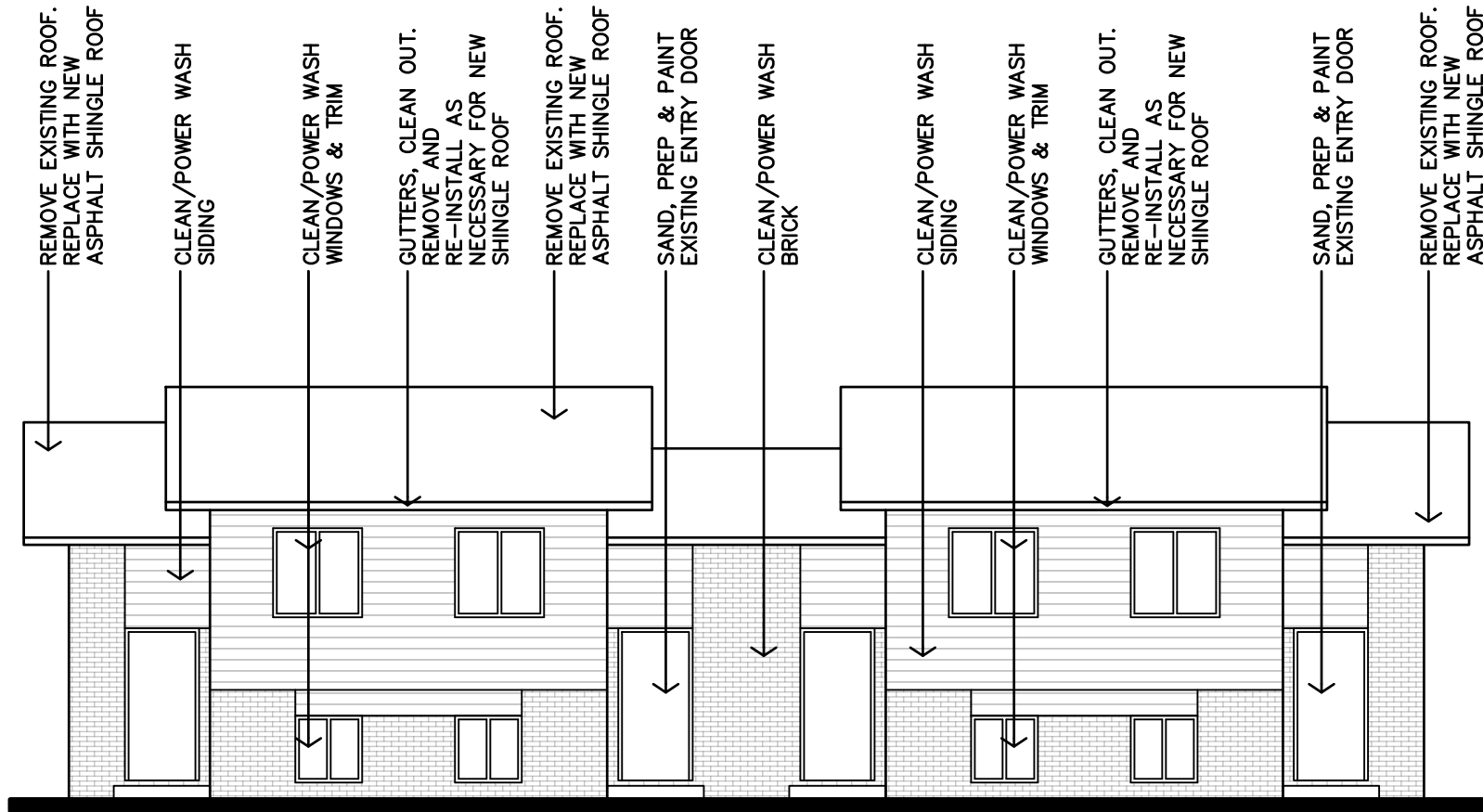
D BUILDING TYPE C LEFT EXTERIOR ELEVATION
1/8"=1'-0"



C BUILDING TYPE C RIGHT EXTERIOR ELEVATION
1/8"=1'-0"



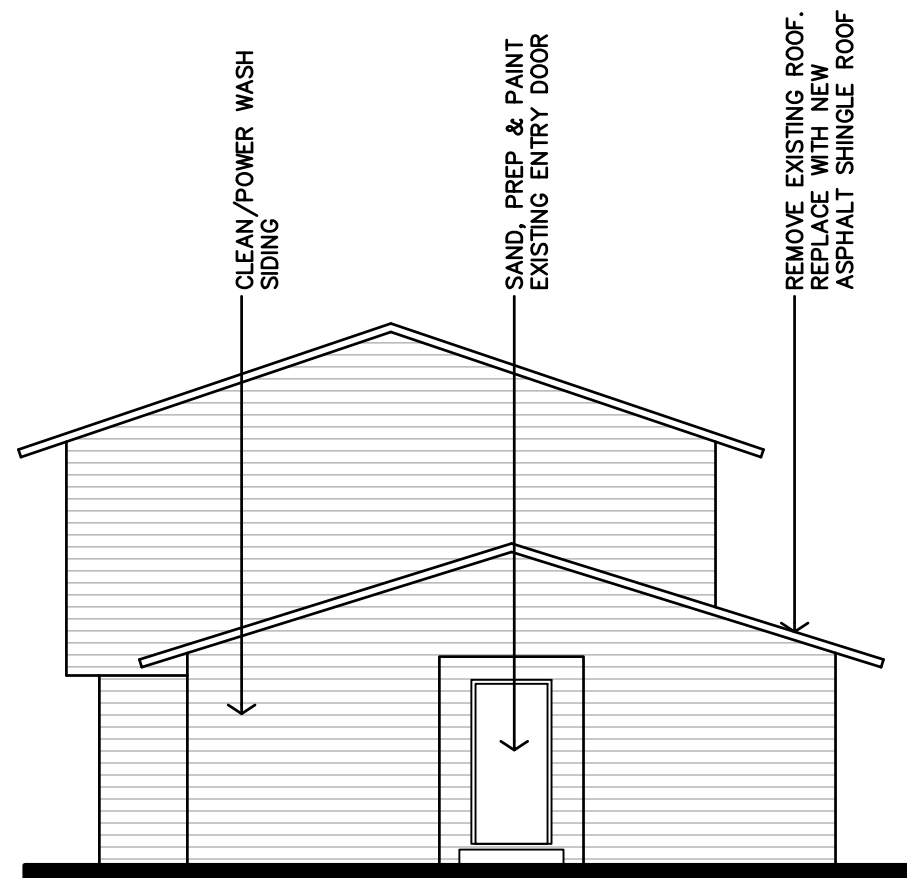
B BUILDING TYPE C BACK EXTERIOR ELEVATION
1/8"=1'-0"



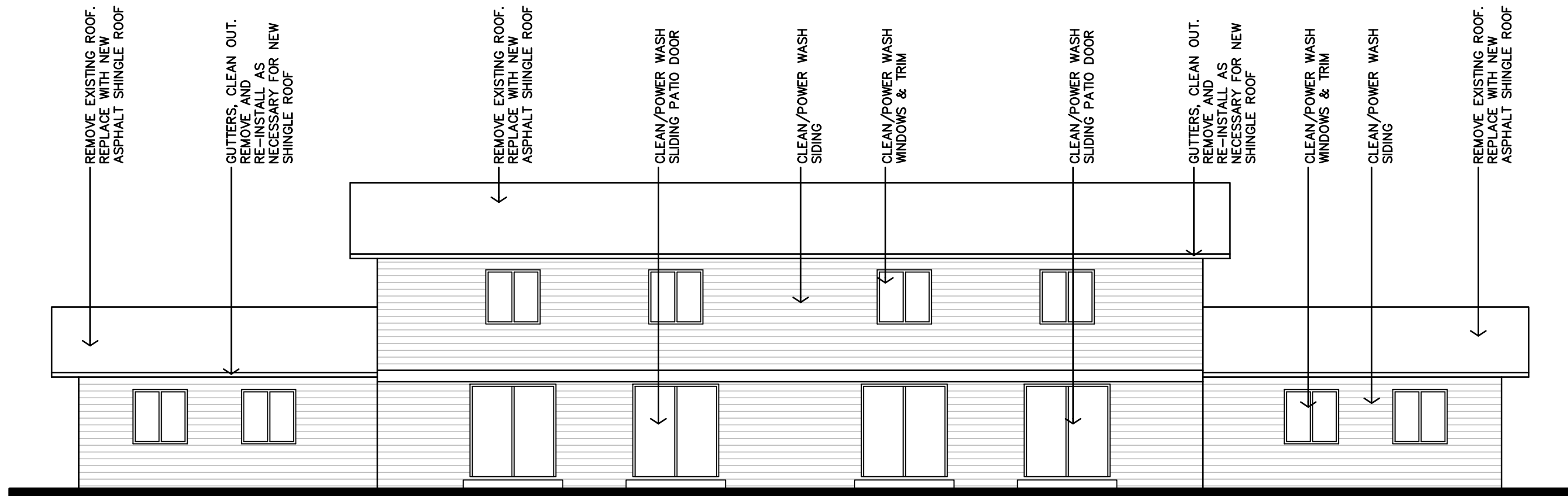
A BUILDING TYPE C FRONT EXTERIOR ELEVATION
1/8"=1'-0"

BUILDINGS - EXTERIOR NOTES & SCOPE OF WORK

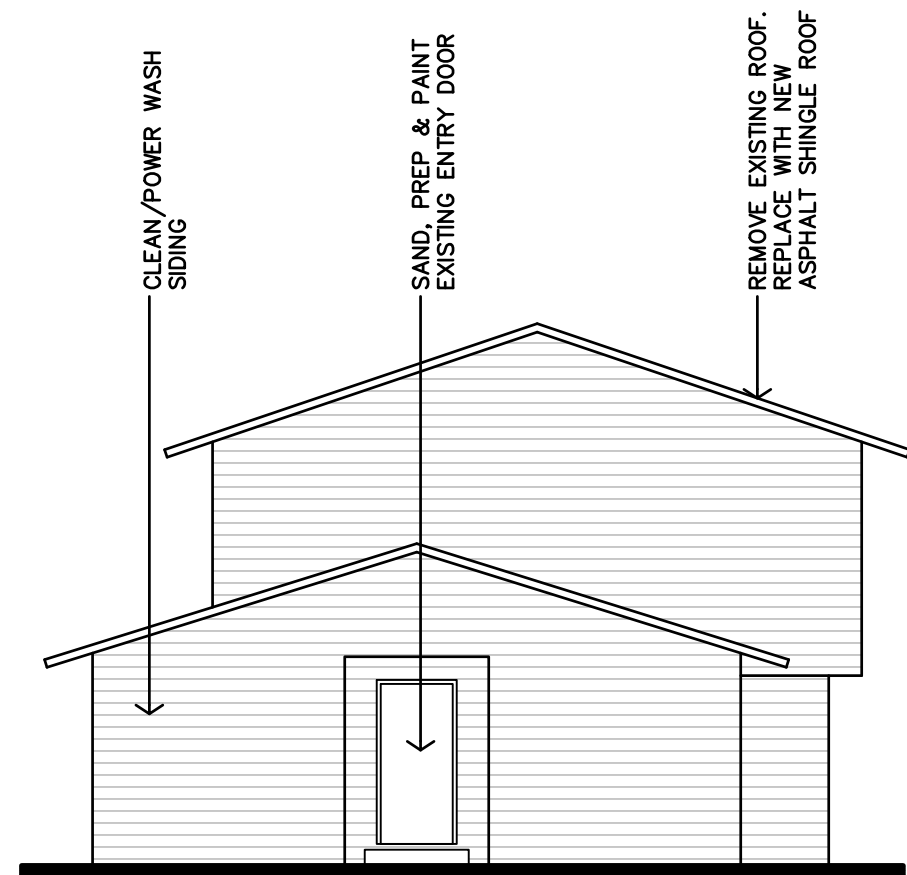
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WINDOWS & TRIM:	BASE BID--CLEAN/POWER WASH, REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW	FACE BRICK:	BASE BID--CLEAN/POWER WASH ALL BRICK ALTERNATE--NONE
DOORS & TRIM:	BASE BID--SAND, PREP AND PAINT EXISTING ALTERNATE--REMOVE ALL ENTRY DOORS & REPLACE WITH NEW PER DOOR SCHEDULE A2.15	FASCIA & WALL TRIM:	BASE BID--CLEAN/POWER WASH ALL FASCIA & WALL TRIM ALTERNATE--NONE
HARDWARE:	BASE BID--NEW UNIT ENTRY DOOR HARDWARE PER SPEC. ALTERNATE--NONE	SOFFITS:	BASE BID--CLEAN/POWER WASH ALL SOFFITS ALTERNATE--NONE
DECKS & RAILING:	BASE BID--CLEAN/POWER WASH, PREP AND PAINT ALTERNATE--REPLACE DAMAGED BOARDS AS NEEDED, REPLACE ALL RAILINGS WITH NEW TO MEET BUILDING CODE, PREP AND PAINT.	GUTTERS/DOWNSPOUTS:	BASE BID--CLEAN OUT. REMOVE AND RE-INSTALL AS NECESSARY FOR NEW SHINGLE ROOF. ALTERNATE--REPLACE WHERE BROKEN OR DAMAGED. FINISH COLOR PAINT TO MATCH EXIST.
SLIDING PATIO DOORS:	BASE BID--CLEAN/POWER WASH & REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW		



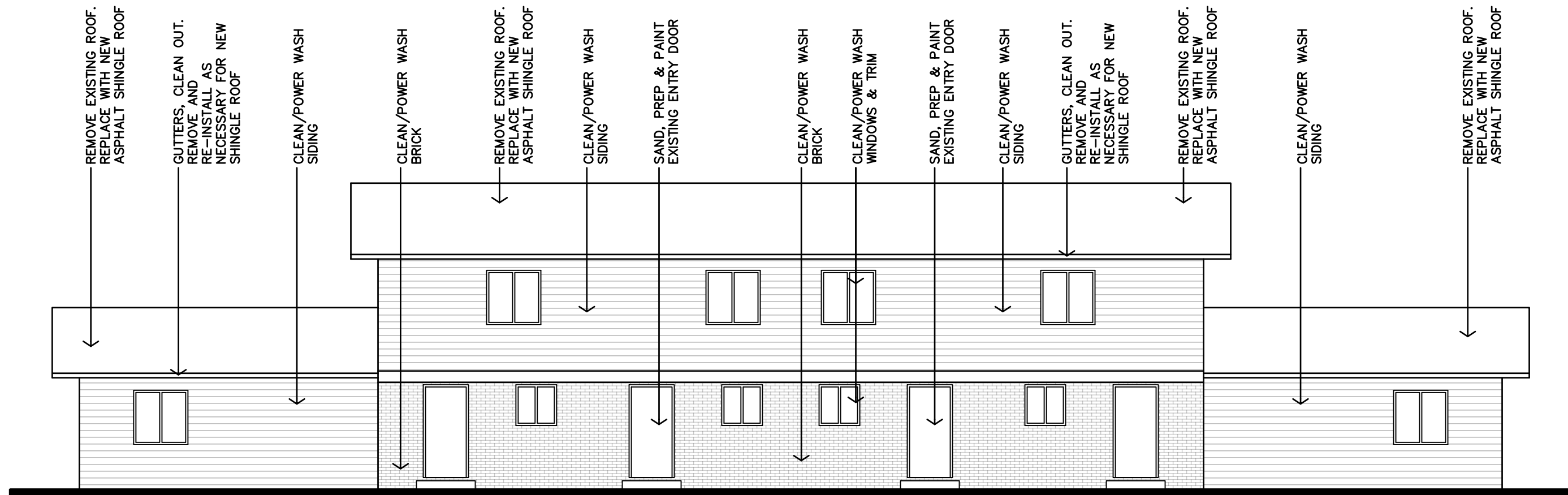
D BUILDING TYPE D LEFT EXTERIOR ELEVATION
1/8"=1'-0"



B BUILDING TYPE D BACK EXTERIOR ELEVATION
1/8"=1'-0"



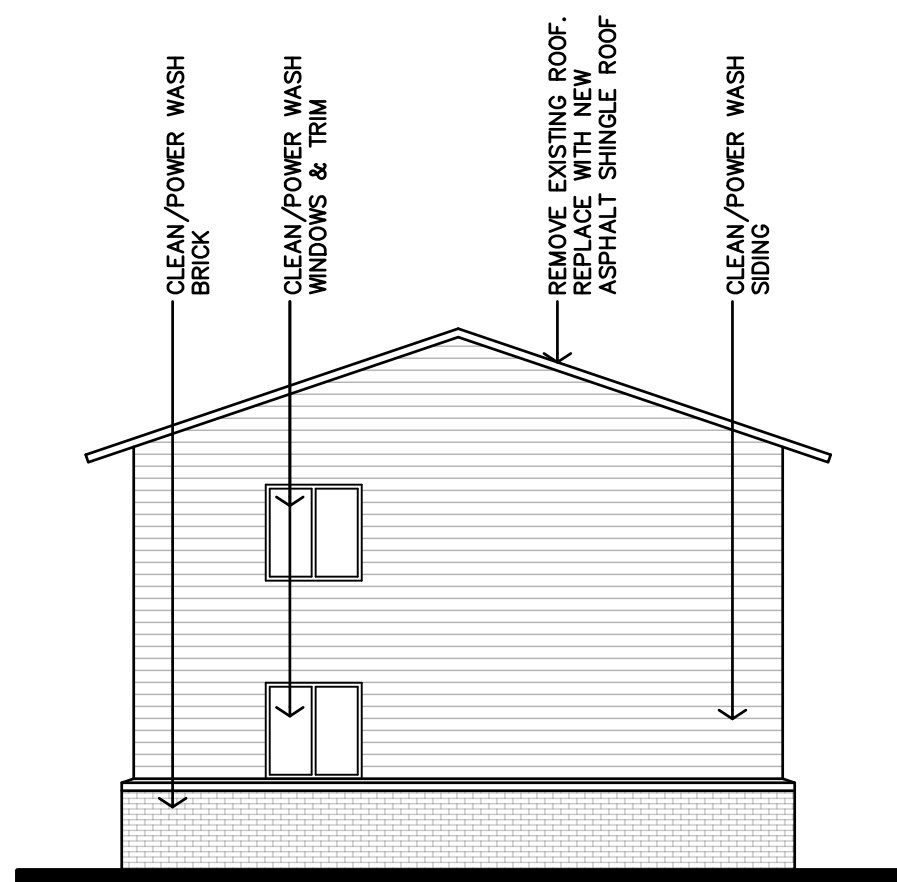
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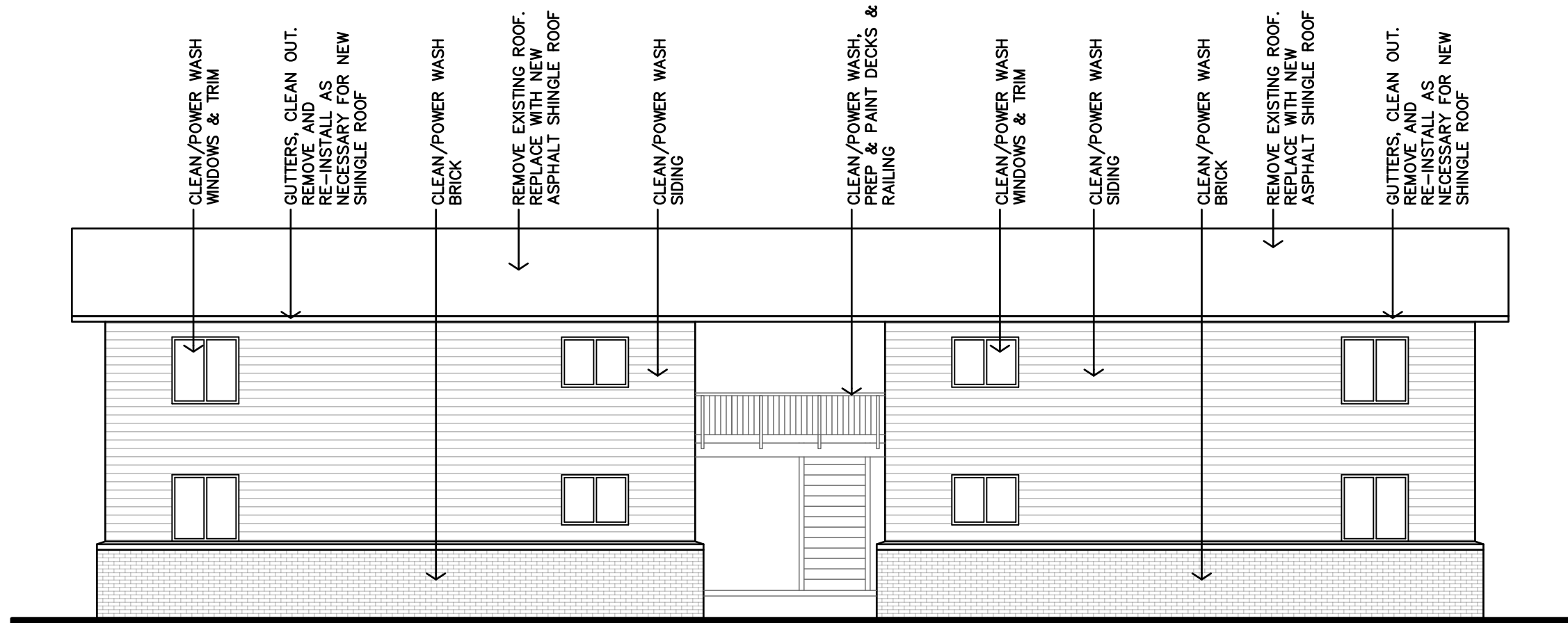
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BUILDINGS - EXTERIOR NOTES & SCOPE OF WORK

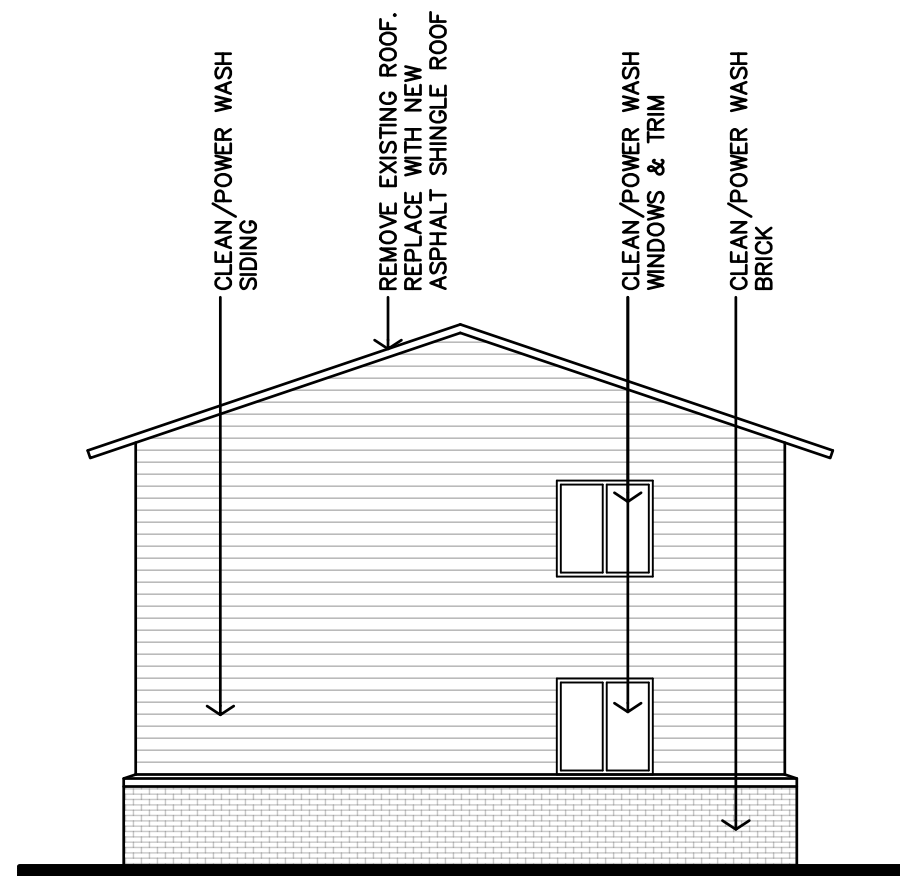
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WINDOWS & TRIM:	BASE BID--CLEAN/POWER WASH, REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW	FACE BRICK:	BASE BID--CLEAN/POWER WASH ALL BRICK ALTERNATE--NONE
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SLIDING PATIO DOORS:	BASE BID--CLEAN/POWER WASH & REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW		



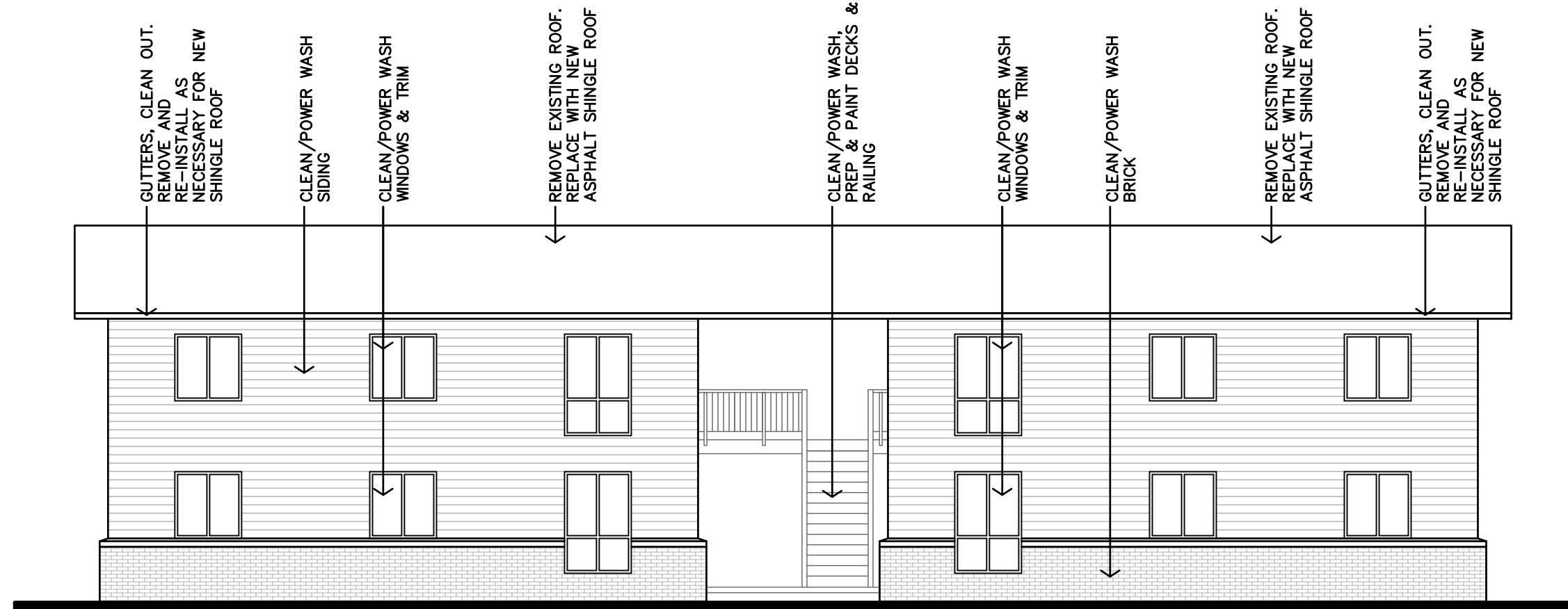
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1/8"=1'-0"



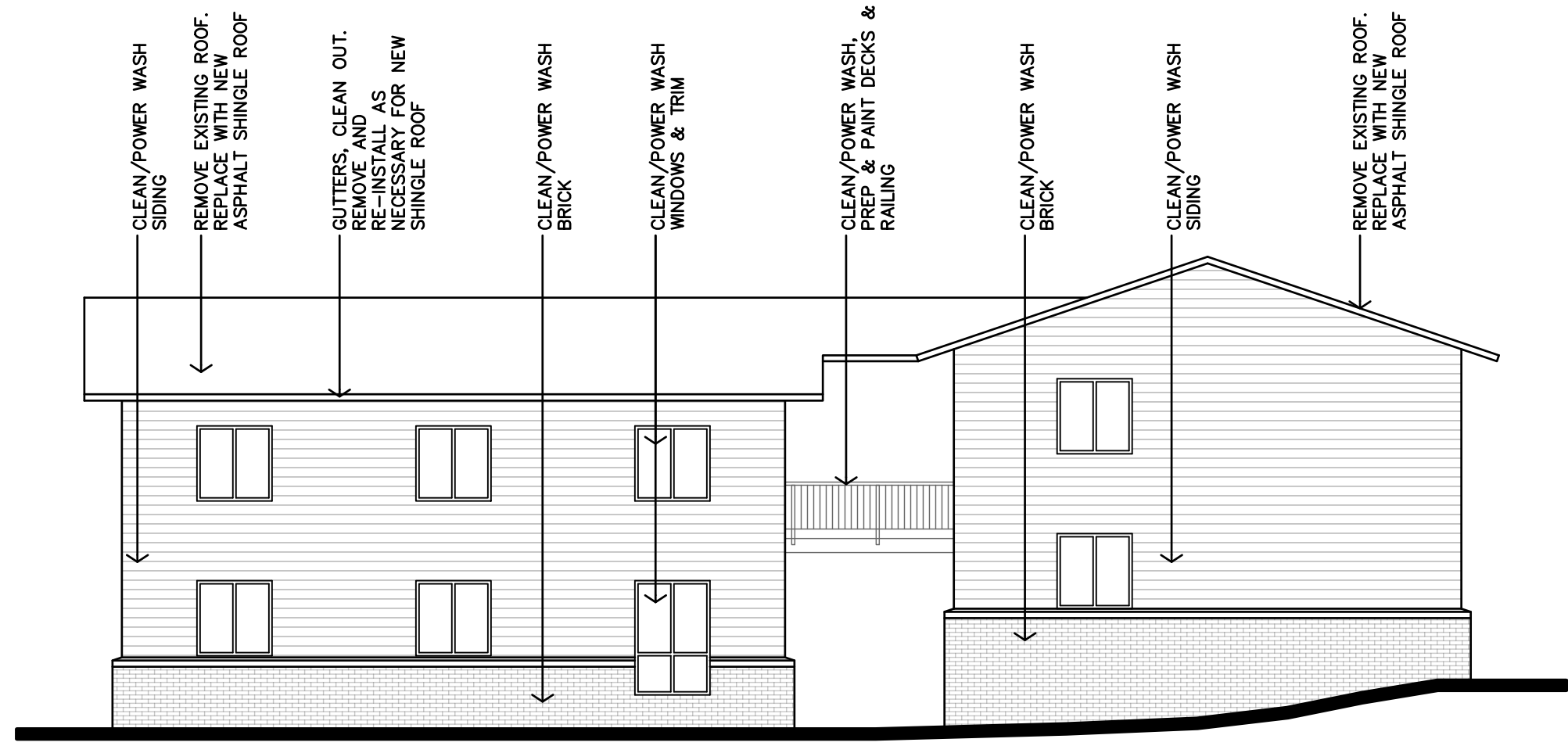
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1/8"=1'-0"



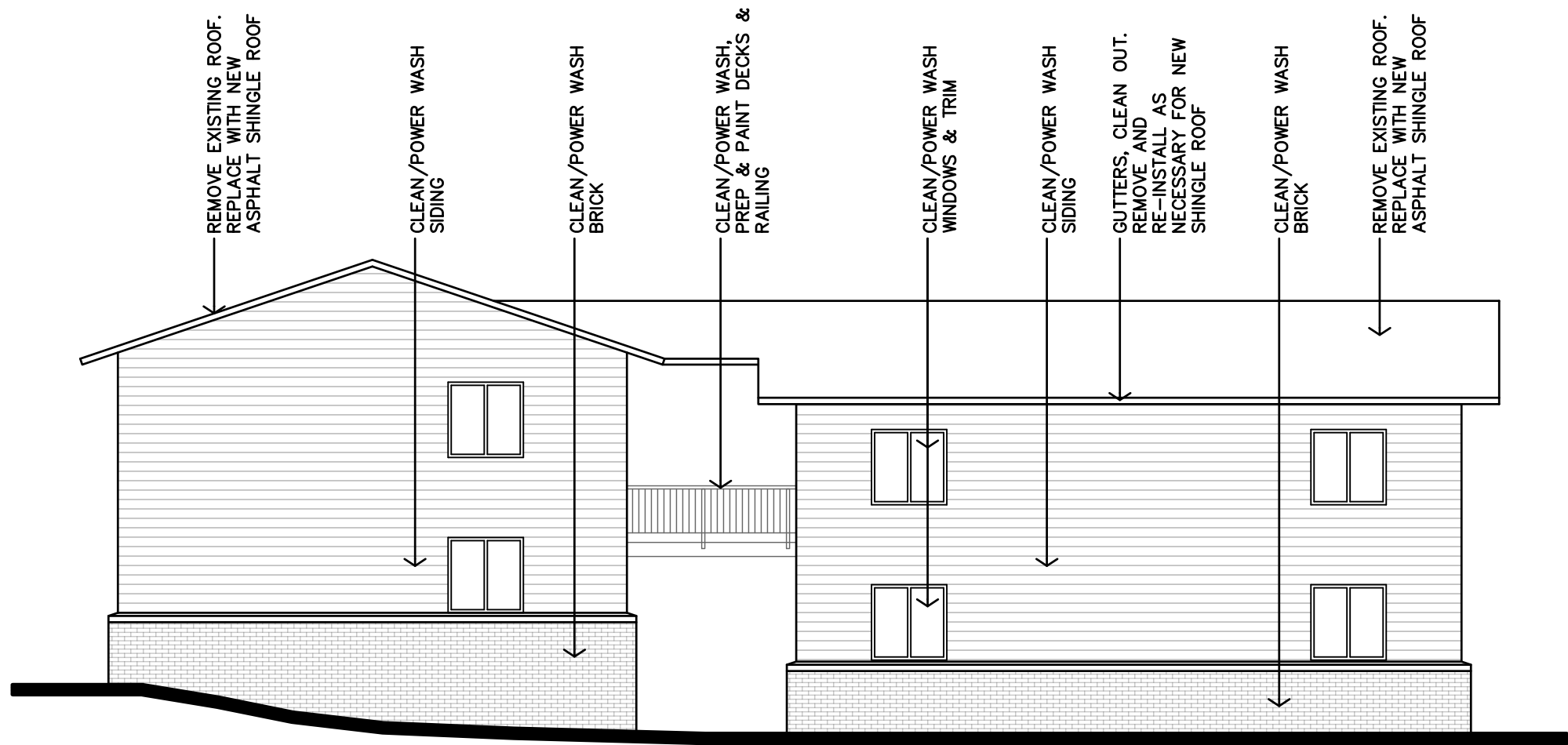
C BUILDING TYPE E RIGHT EXTERIOR ELEVATION
1/8"=1'-0"



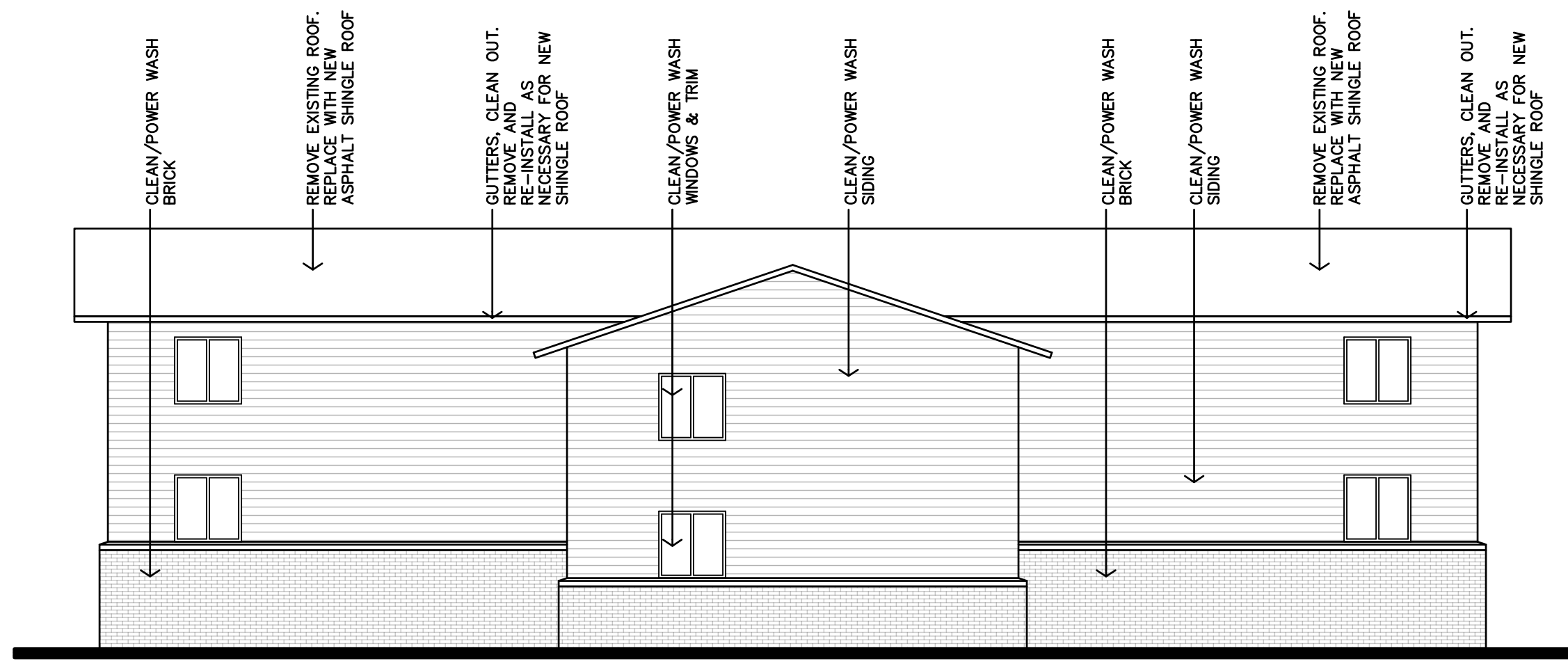
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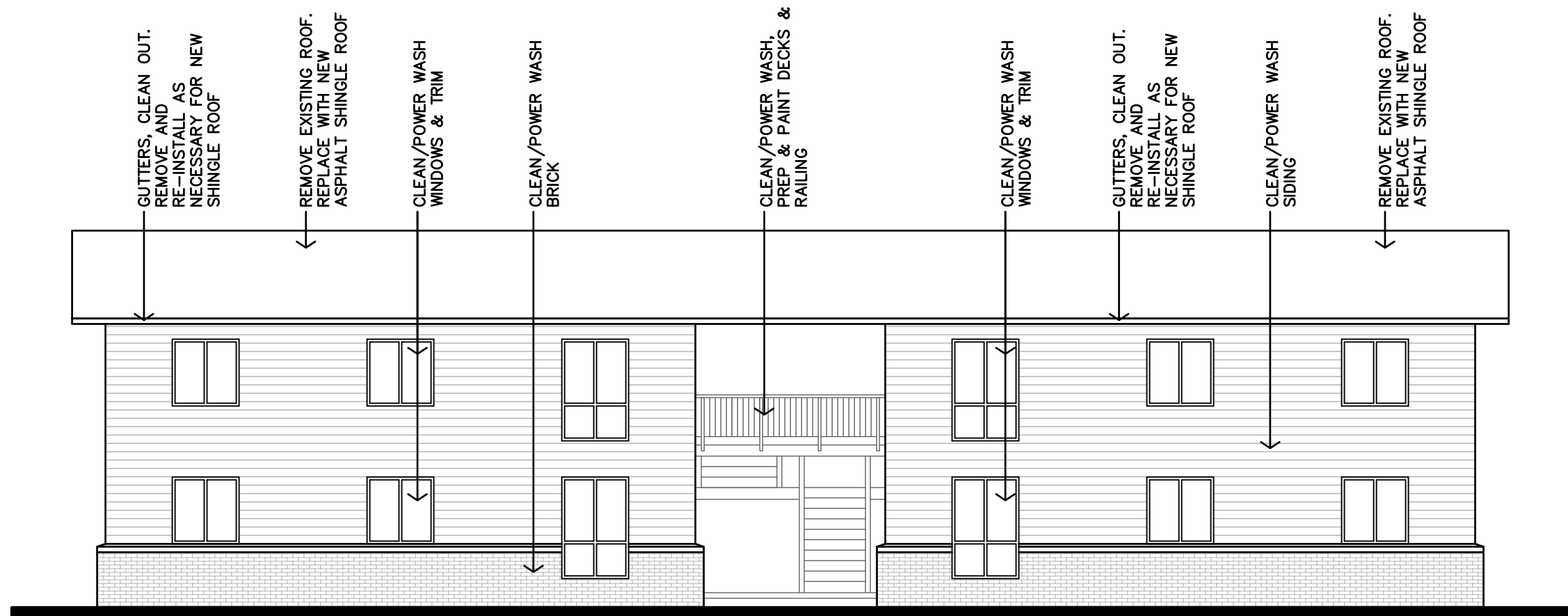
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C **BUILDING TYPE F RIGHT EXTERIOR ELEVATION**
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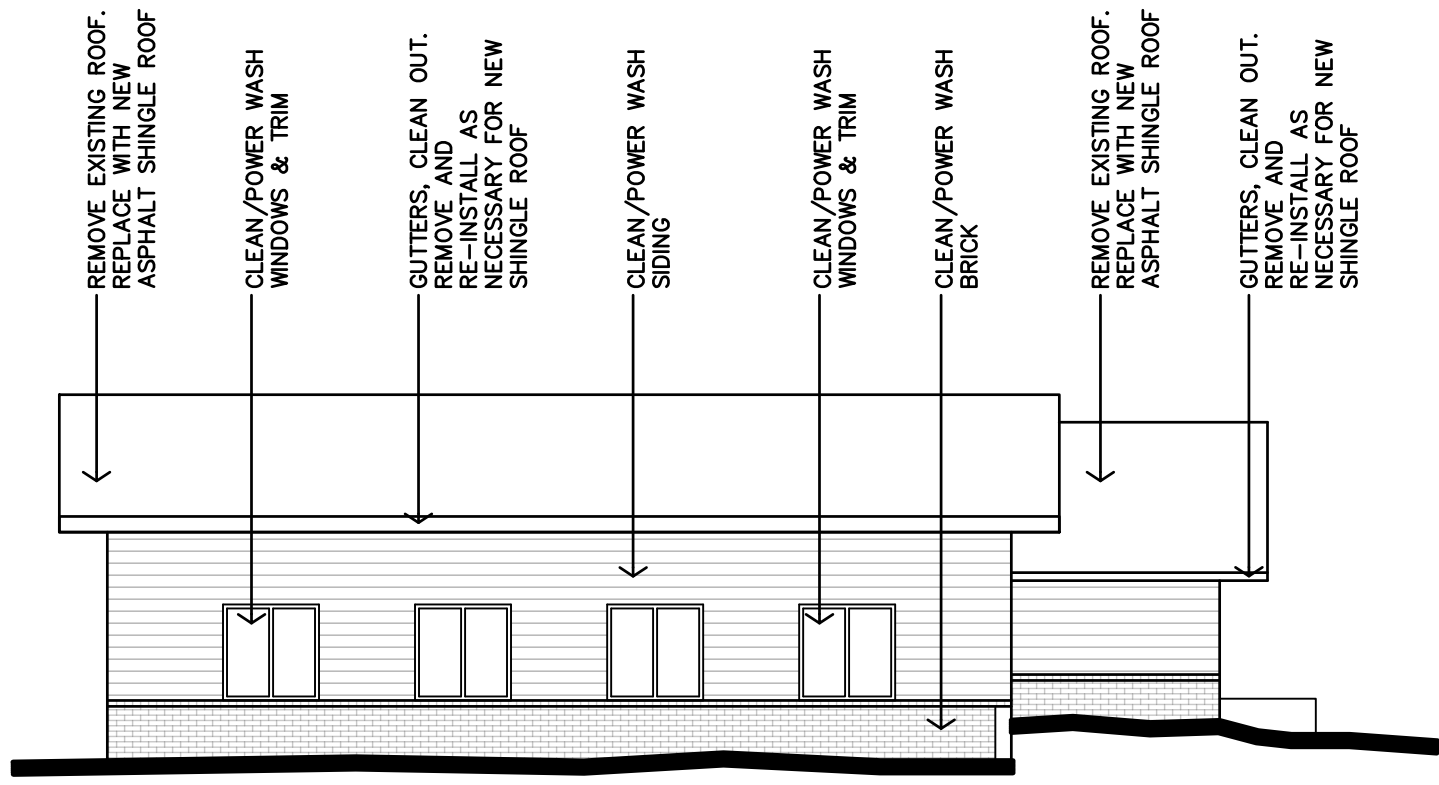


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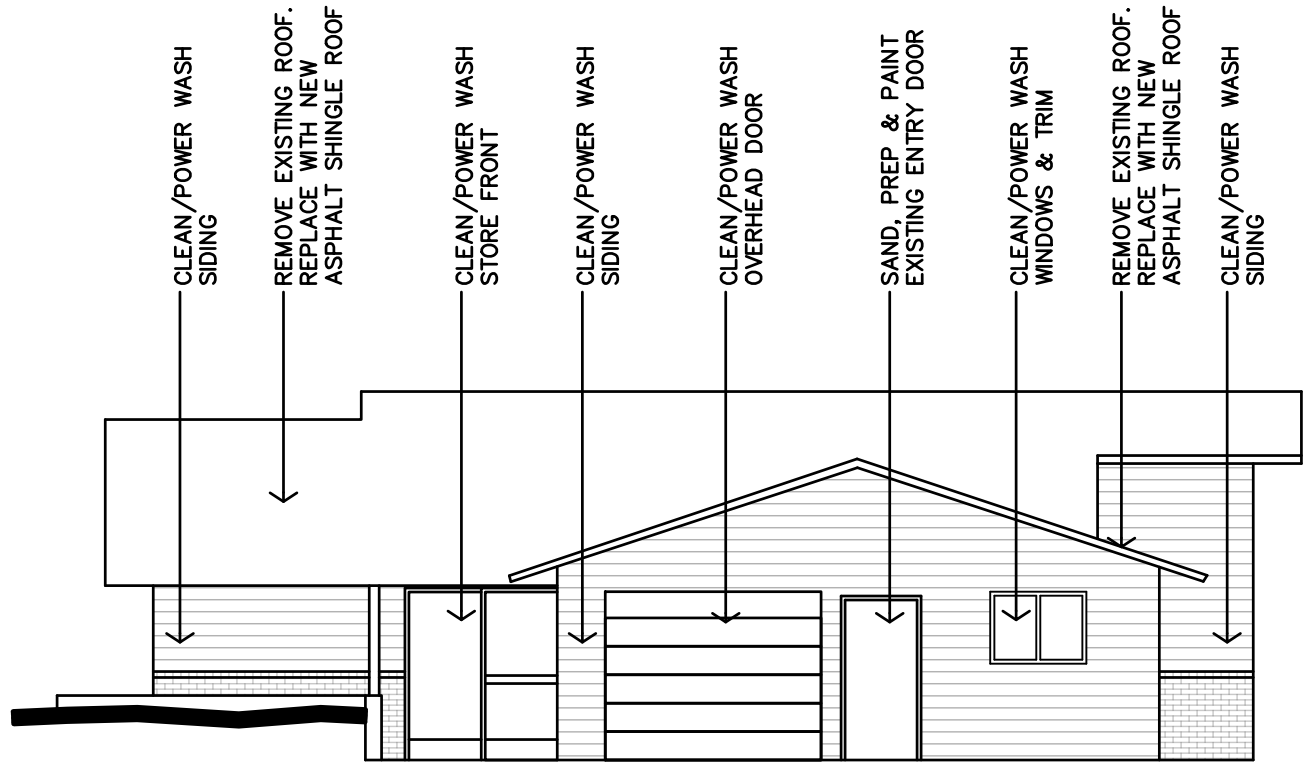


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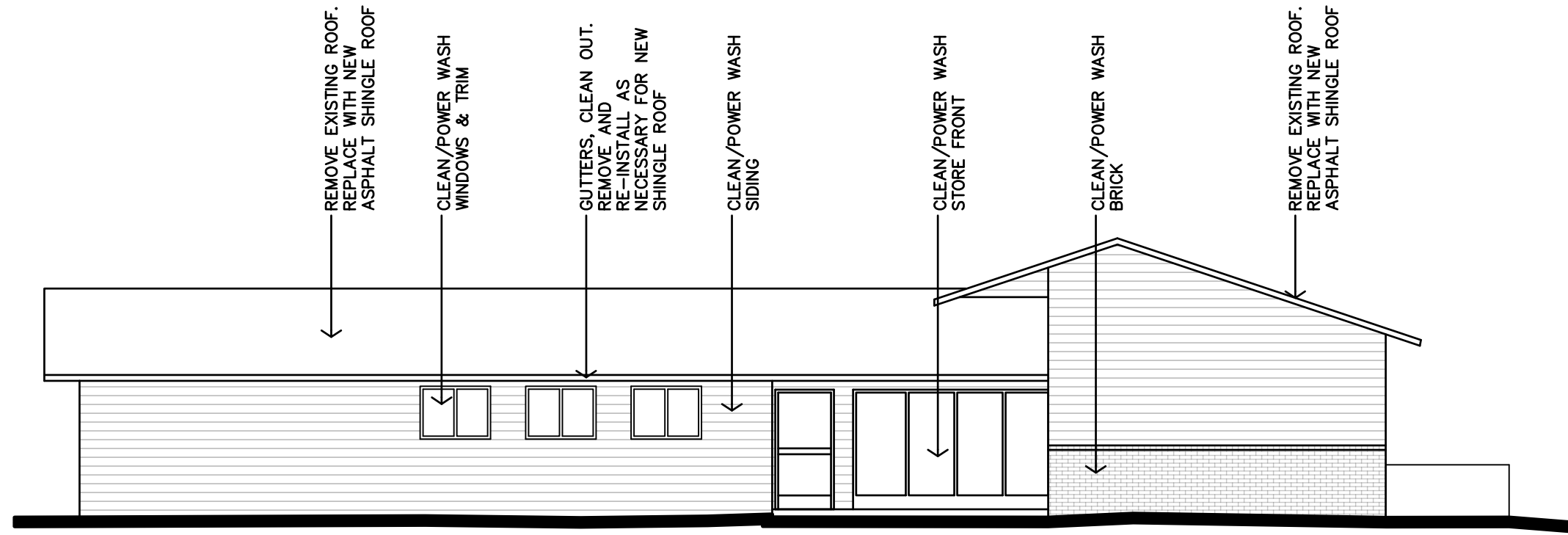
BUILDINGS - EXTERIOR NOTES & SCOPE OF WORK			
ROOFING:	BASE BID--NEW 30 YEAR ASPHALT SHINGLE ROOF WITH (1)LAYER FELT UNDERLAYMENT. PER SPEC. ALTERNATE--NONE	WALL SIDING:	BASE BID--CLEAN/POWER WASH ALL VINYL SIDING. ALTERNATE--NONE
WINDOWS & TRIM:	BASE BID--CLEAN/POWER WASH, REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW	FACE BRICK:	BASE BID--CLEAN/POWER WASH ALL BRICK ALTERNATE--NONE
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SLIDING PATIO DOORS:	BASE BID--CLEAN/POWER WASH & REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW		



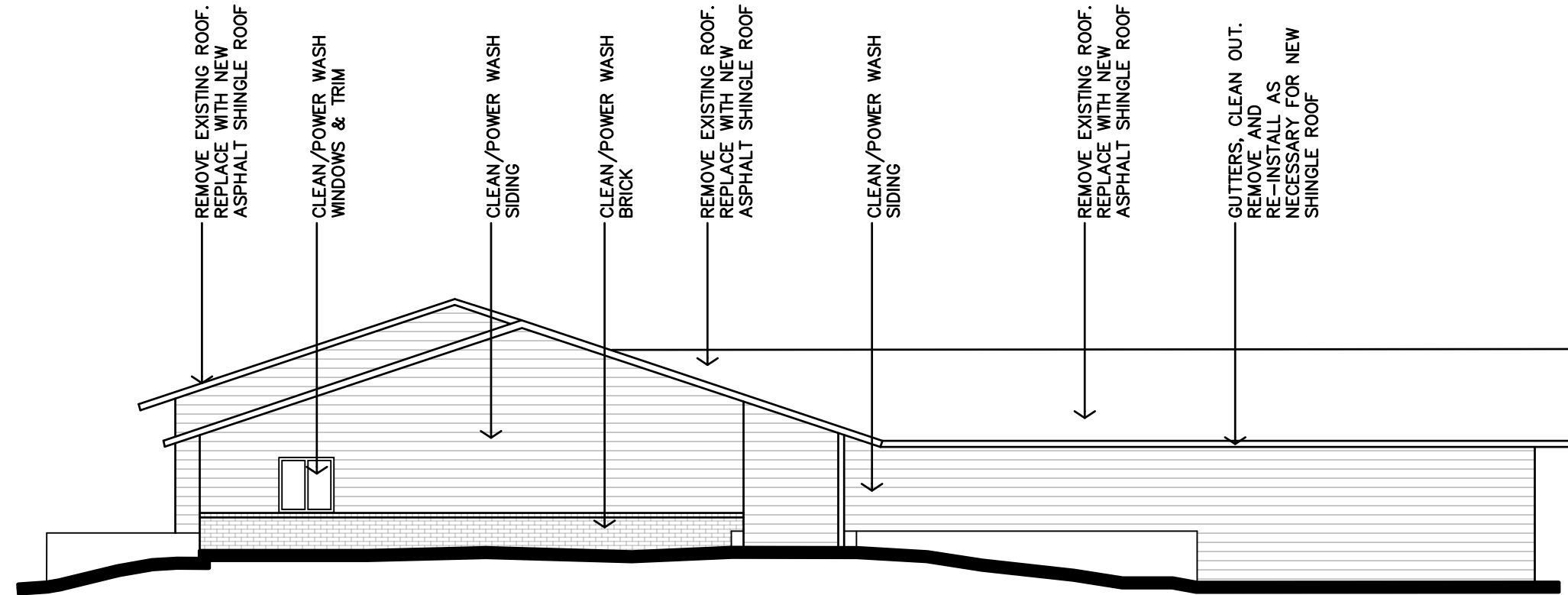
D COMMUNITY BUILDING LEFT
EXTERIOR ELEVATION
1/8"=1'-0"



C COMMUNITY BUILDING RIGHT
EXTERIOR ELEVATION
1/8"=1'-0"



B COMMUNITY BUILDING BACK
EXTERIOR ELEVATION
1/8"=1'-0"

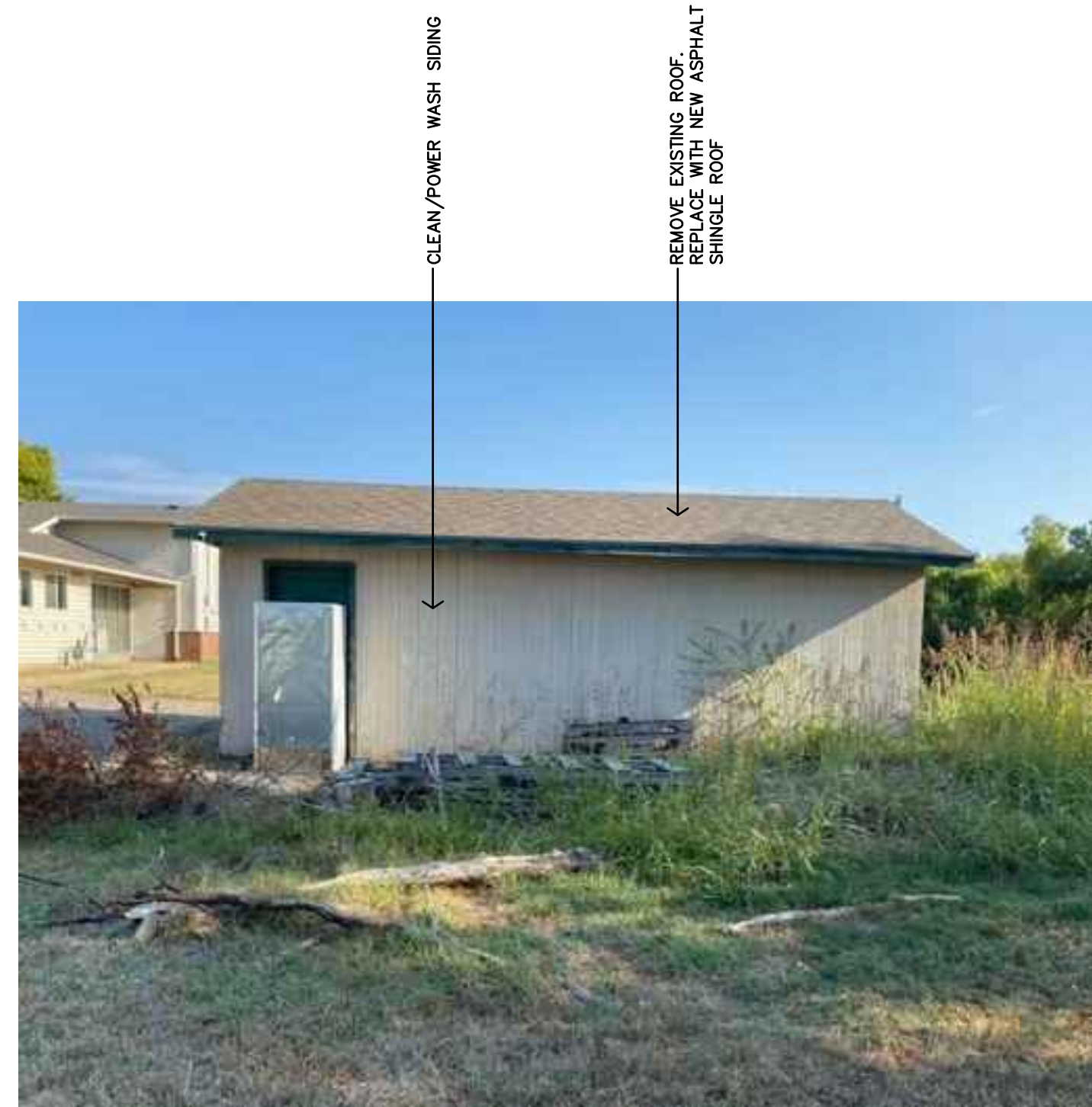


A COMMUNITY BUILDING FRONT
EXTERIOR ELEVATION
1/8"=1'-0"

BUILDINGS - EXTERIOR NOTES & SCOPE OF WORK

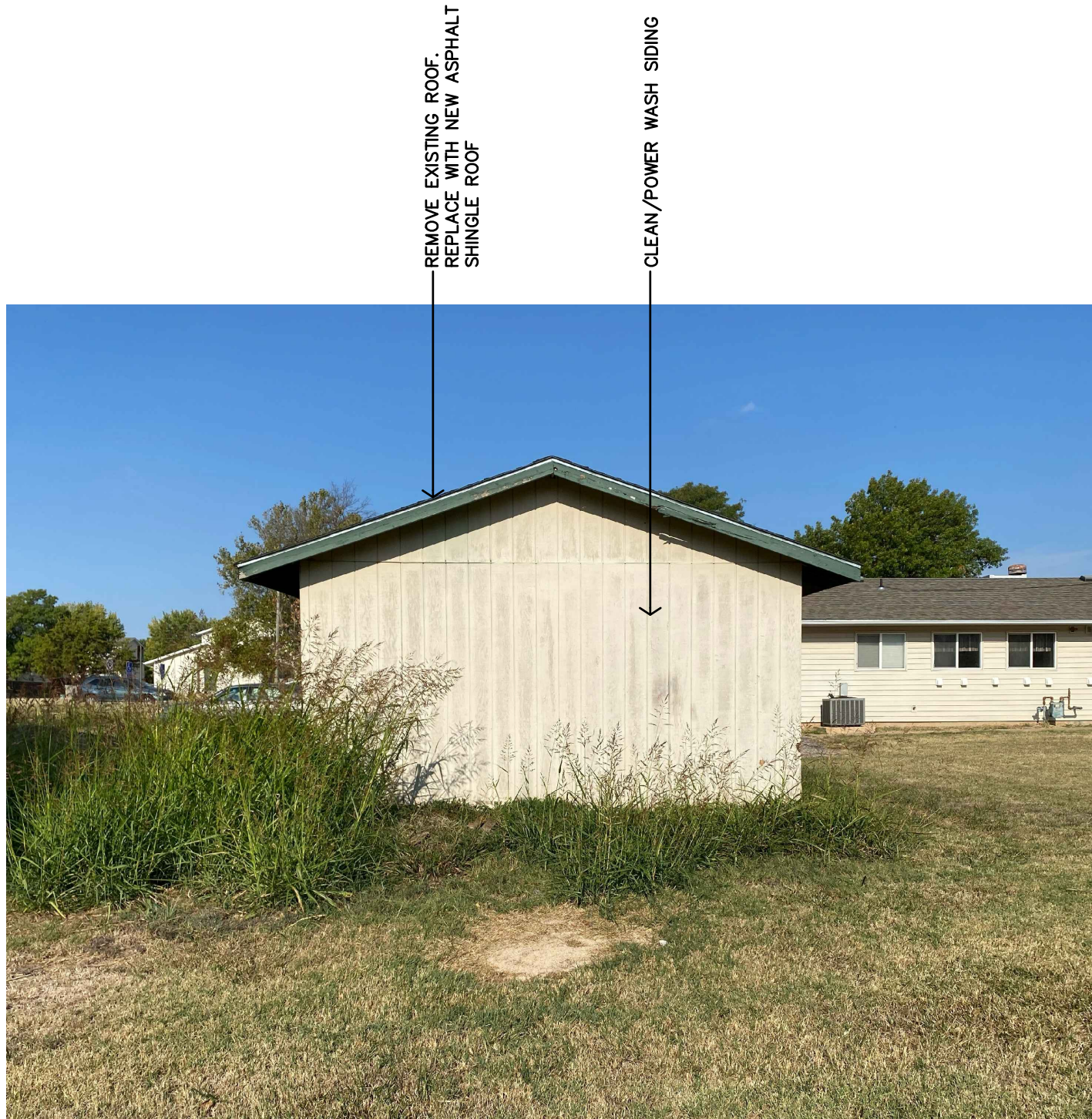
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WALL SIDING:	BASE BID--CLEAN/POWER WASH ALL VINYL SIDING. ALTERNATE--NONE
FACE BRICK:	BASE BID--CLEAN/POWER WASH ALL BRICK ALTERNATE--NONE
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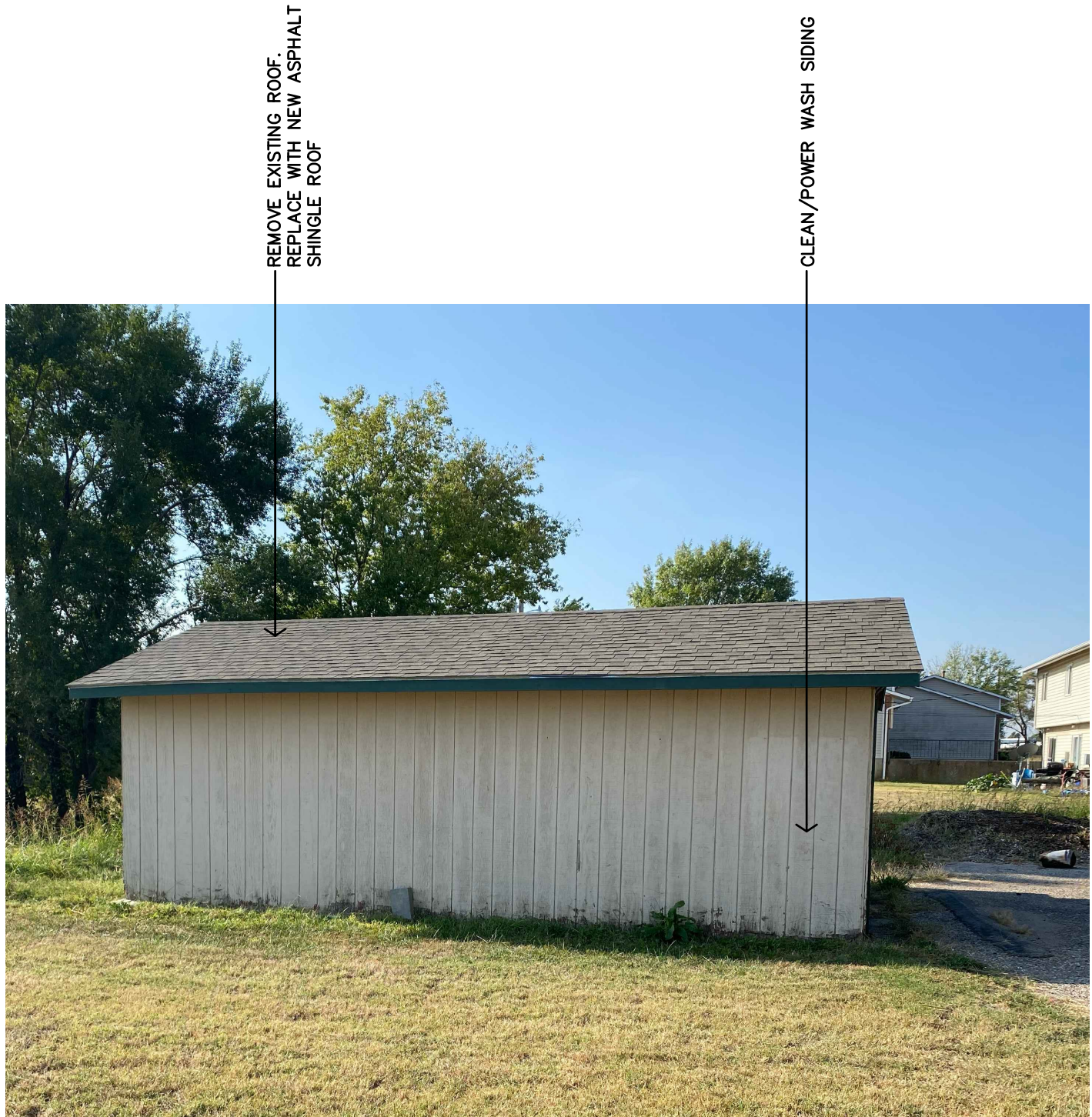
D SHED SIDE EXTERIOR ELEVATION

NTS



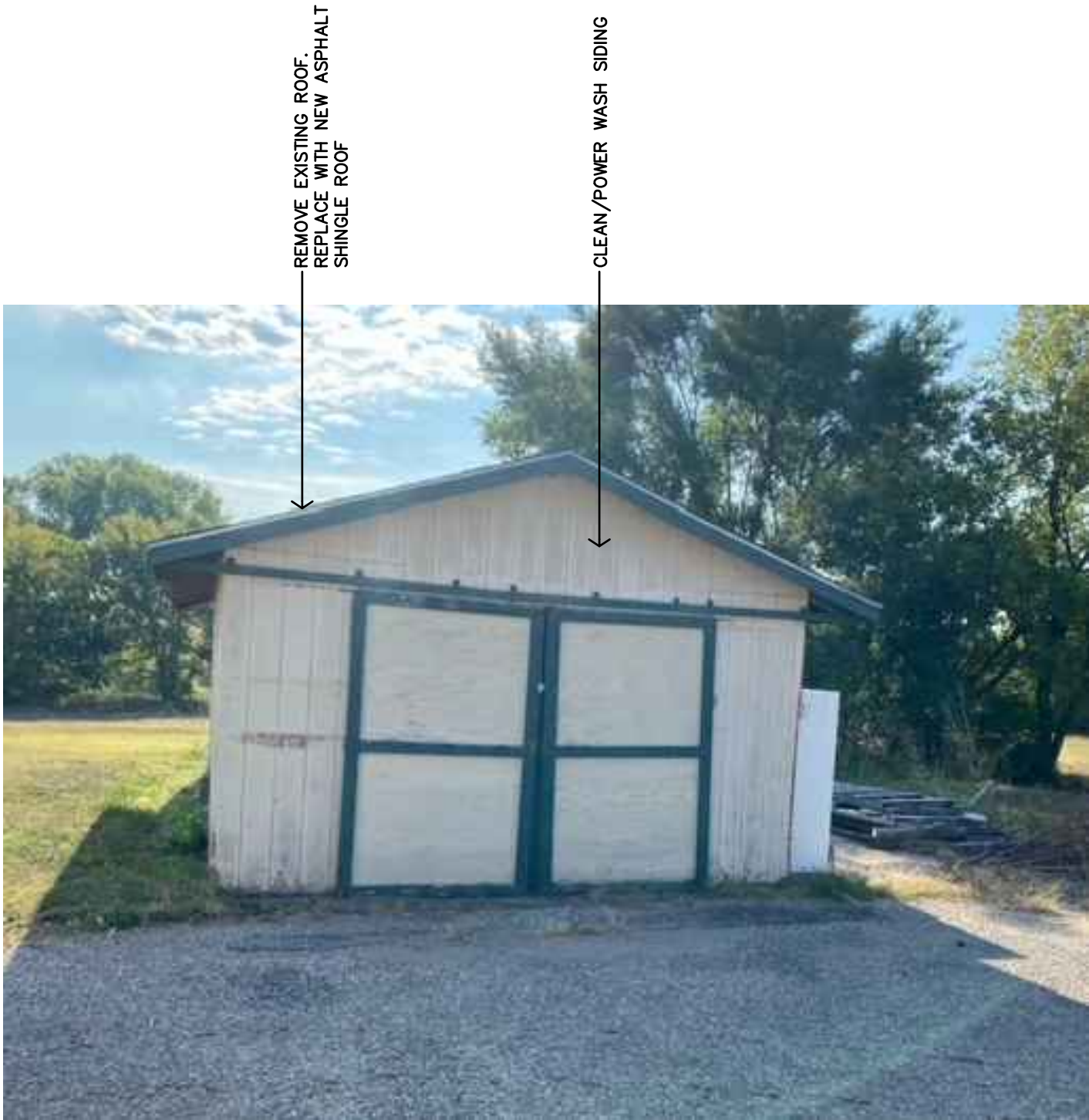
C SHED REAR EXTERIOR ELEVATION

NTS



B SHED SIDE EXTERIOR ELEVATION

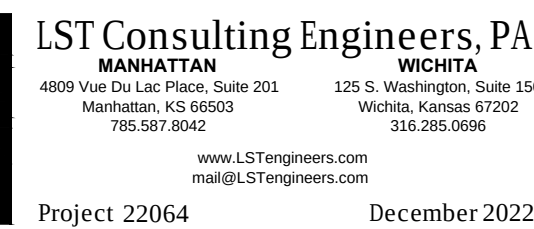
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A SHED FRONT EXTERIOR ELEVATION

NTS

BUILDINGS - EXTERIOR NOTES & SCOPE OF WORK			
ROOFING:	BASE BID--NEW 30 YEAR ASPHALT SHINGLE ROOF WITH (1)LAYER FELT UNDERLAYMENT. PER SPEC. ALTERNATE--NONE	WALL SIDING:	BASE BID--CLEAN/POWER WASH ALL VINYL SIDING. ALTERNATE--NONE
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SLIDING PATIO DOORS:	BASE BID--CLEAN/POWER WASH & REPLACE INSECT SCREEN AS NEEDED ALTERNATE--REPLACE WITH NEW		



1. EXISTING AIR DEVICE AND ASSOCIATED MECHANICAL INSTALLATION TO REMAIN. IF REQUIRED FOR NEW WORK, REMOVE EXISTING AIR DEVICE IN CEILING/ ROOF AND RE-INSTALLED IN SAME LOCATION. COORDINATE REQUIREMENTS WITH G.C. CLEAN, REPAIR, AND RESTORE EXISTING AIR DEVICES TO LIKE NEW CONDITION PRIOR TO RE-USE, OR REPLACE TO MATCH EXISTING.
2. REMOVE EXISTING PLUMBING FIXTURES, AND ASSOCIATED PLUMBING INSTALLATION TAKEN OUT OF SERVICE. SEE NEW WORK PLANS FOR ADDITIONAL INFO.
3. REMOVE AND REPLACE EXISTING PLUMBING FIXTURE. SEE NEW WORK PLANS FOR ADDITIONAL INFO.
4. DISCONNECT GAS FROM EXISTING RANGE TO BE REPLACED. EXISTING ROUGH IN NATURAL GAS IS ROUGH-IN TO REMAIN FOR NEW RANGE. SEE NEW WORK PLANS FOR ADDITIONAL INFO.
5. REMOVE EXISTING EXHAUST FAN/ LIGHT COMBO. RE-USE EXISTING EXHAUST DUCT AND W/IRCUTRY FOR NEW EXHAUST FAN. SEE NEW WORK PLANS FOR ADDITIONAL INFO.
6. DISCONNECT EXISTING PLUMBING AND ELECTRICAL CONNECTIONS TO DISHWASHER TO BE REPLACED. SEE NEW WORK PLANS FOR ADDITIONAL INFO.
7. DISCONNECT GAS FROM RANGE AND REMOVE GAS PIPING FROM WALL TO BE REMOVED. SEE NEW WORK FOR ADDITIONAL INFO. FIELD VERIFY EXIST LOCATION OF EXISTING EQUIPMENT AND GAS PIPING.
8. LIGHT FIXTURE TO BE REMOVED. RE-USE EXISTING CIRCUITRY FOR NEW LIGHT FIXTURE. SEE NEW WORK PLANS FOR ADDITIONAL INFO.
9. LIGHT SWITCH AND ASSOCIATED CIRCUITRY TO BE REMOVED.
10. LIGHT SWITCH/ RECEPTACLE TO BE REMOVED AND RELOCATED TO NEW WALL. SEE NEW WORK PLANS FOR MORE INFORMATION.
11. REMOVE EXISTING WALL HYDRANT AND ASSOCIATED PLUMBING INSTALLATION FROM WALLS TO BE REMOVED.
12. REPLACE LAMP HOLDER IF NOT IN WORKING ORDER. FIELD VERIFY REQUIREMENTS. SEE NEW WORK PLANS FOR MORE INFORMATION.
13. DISCONNECT EXHAUST DUCT FROM HOOD TO BE REMOVED. EXISTING DUCT ABOVE CEILING TO REMAIN FOR RE-USE. SEE NEW WORK PLANS FOR ADDITIONAL INFO.
14. REMOVE EXISTING DOMESTIC WATER PIPING WHERE ROUTED IN ATTIC. FIELD VERIFY EXIST LOCATION OF EXISTING.



JonesGillamRenz
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Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgarchitects.com



REVISION:

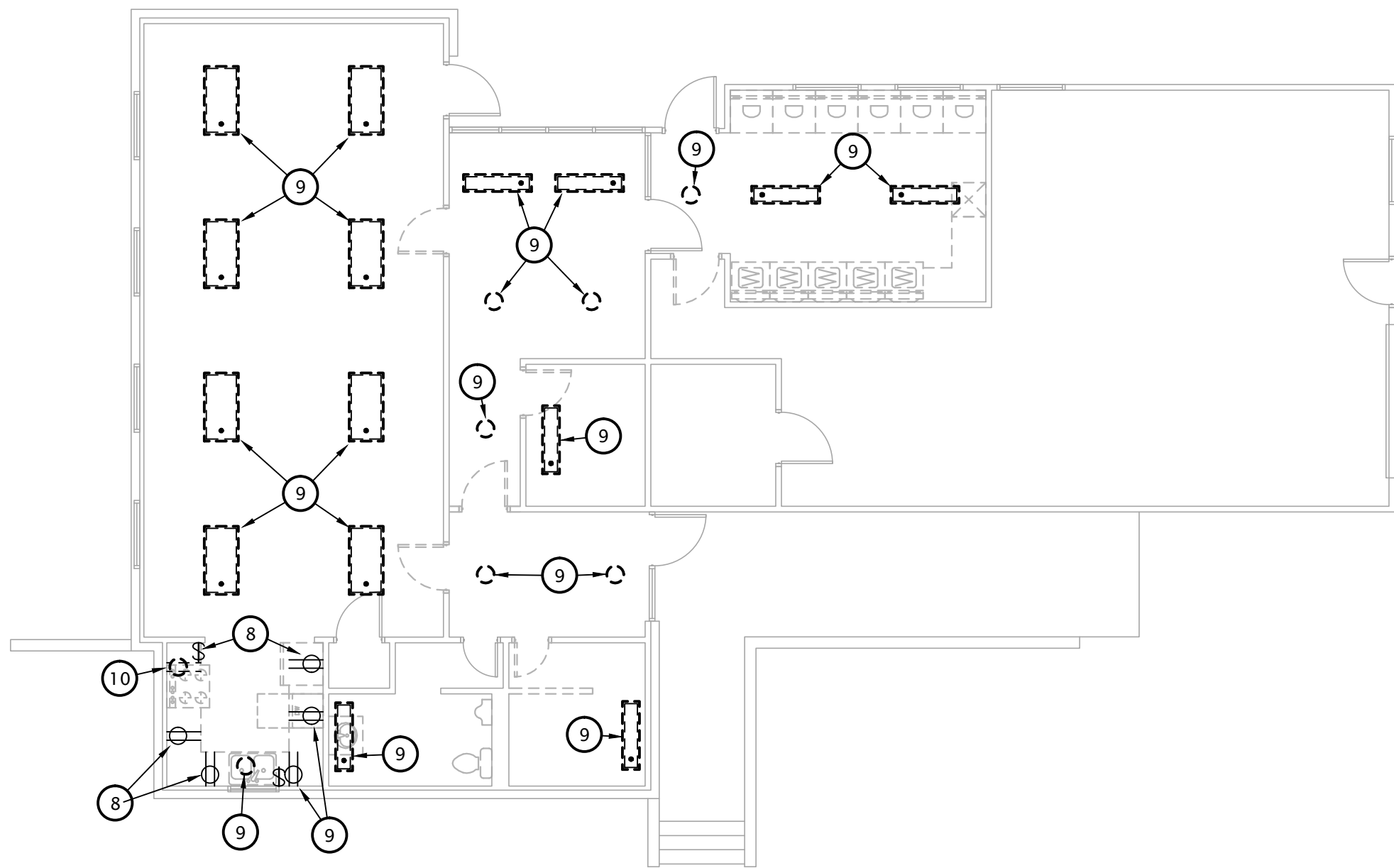
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JOB:	22-3266
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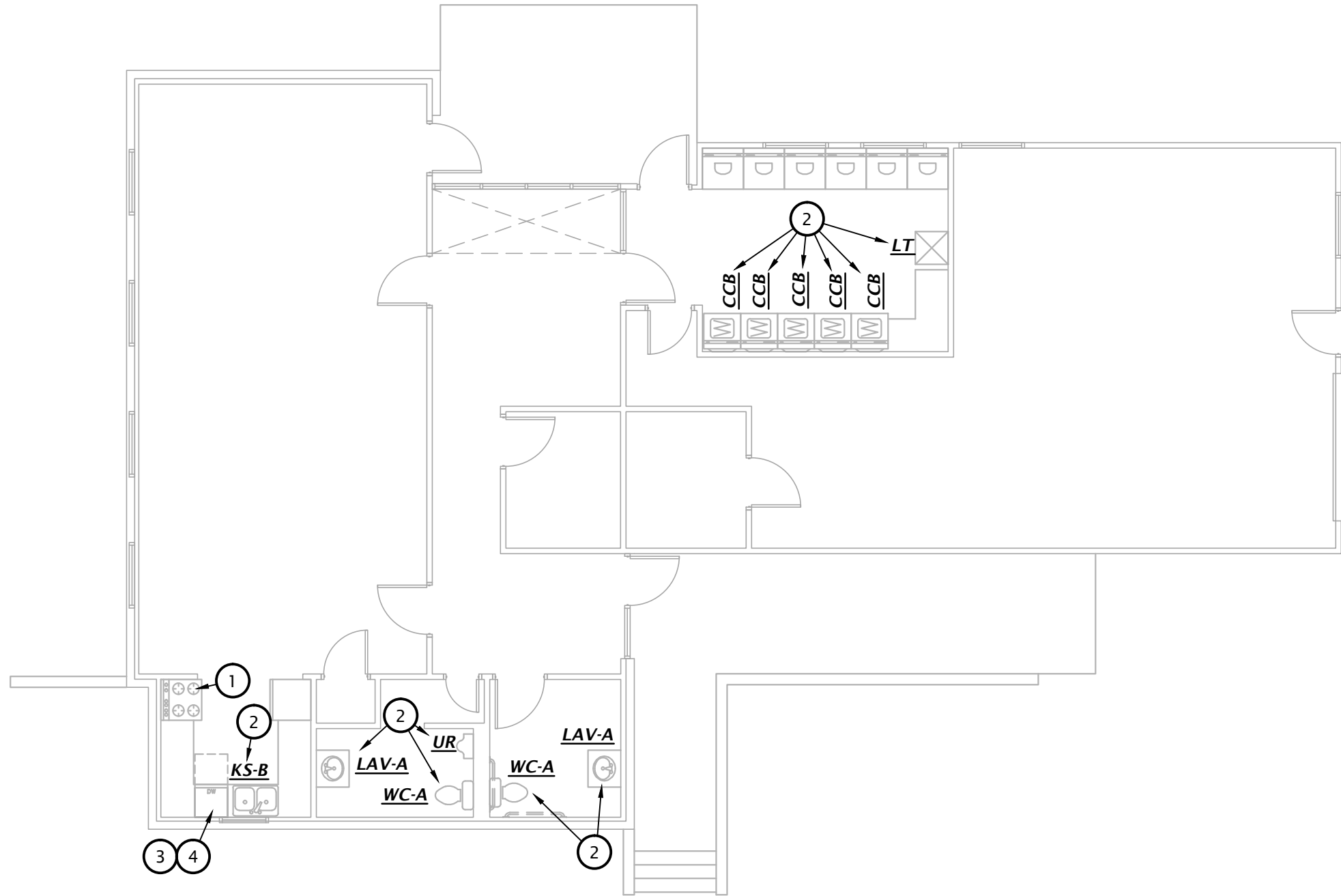
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1 CLUBHOUSE M/E DEMO PLAN

1/8" = 1'-0"

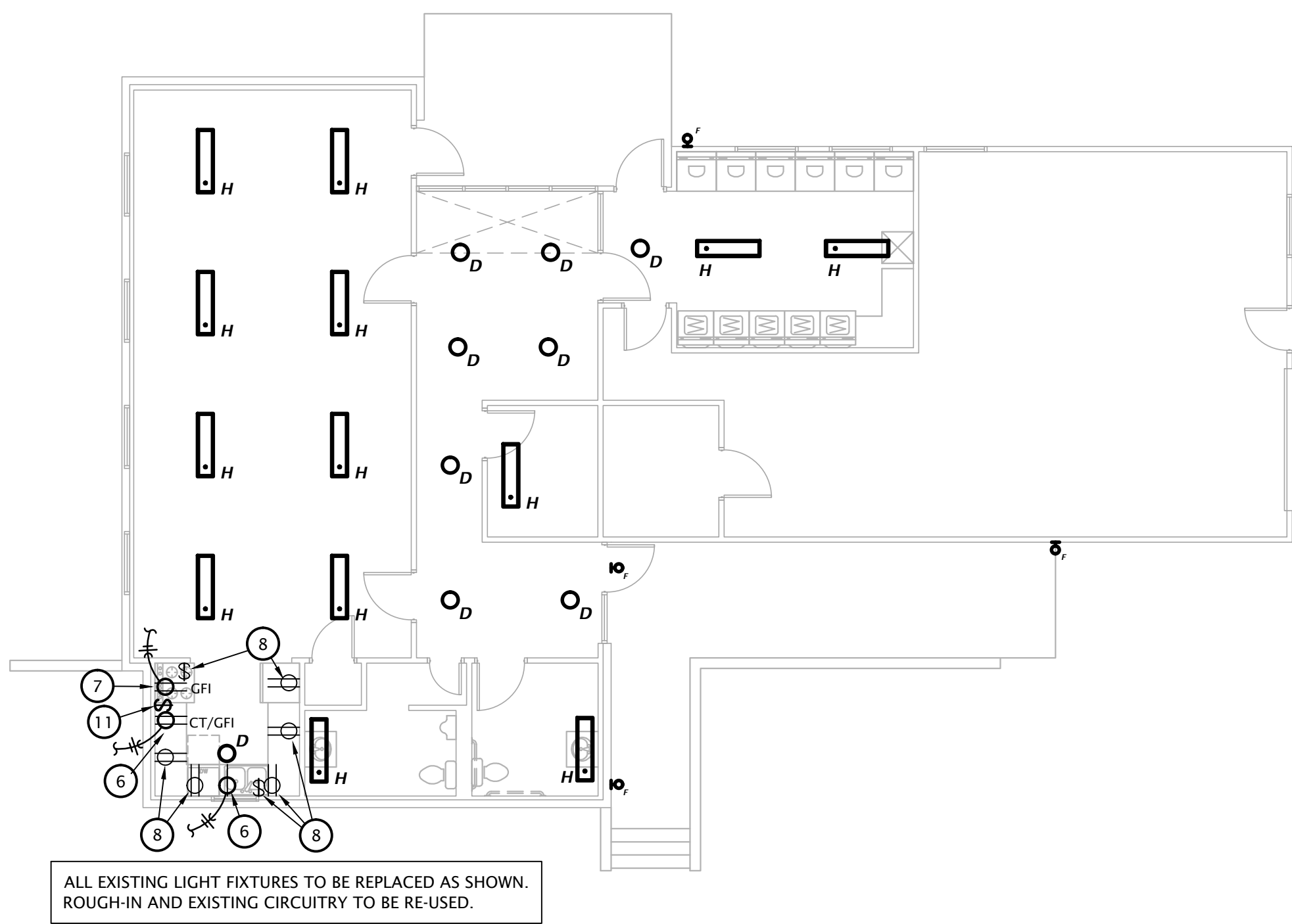


1 CLUBHOUSE MECHANICAL PLAN

1/8" = 1'-0"

NOTES BY SYMBOL

- CONNECT NATURAL GAS TO NEW RANGE PROVIDED BY OTHERS. MODIFY EXISTING ROUGH-IN AS REQUIRED FOR NEW WORK. COORDINATE EXACT REQUIREMENTS WITH EXISTING CONDITIONS AND EQUIPMENT PROVIDED.
- REPLACE EXISTING PLUMBING FIXTURE. MODIFY EXISTING ROUGH-INS AS REQUIRED. FIELD VERIFY EXACT REQUIREMENTS.
- CONNECT DISHWASHER DRAIN TO INDIRECT CONNECTION AT GARBAGE DISPOSER.
- PROVIDE 1/2" HW BRANCH WITH SHUT-OFF VALVE BELOW SINK AND CONNECT DISHWASHER. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED.
- PROVIDE SIMPLEX RECEPTACLE BELOW COUNTER FOR CORD AND PLUG CONNECTION OF DISHWASHER. PROVIDE CORD AND GROUNDING PLUG AS REQUIRED. RECEPTACLE SHALL BE LOCATED IN BASE CABINET ADJACENT TO DISHWASHER TO ALLOW ACCESS TO PLUG.
- NEW COUNTERTOP RECEPTACLE, CIRCUIT WITH EXISTING COUNTERTOP RECEPTACLES.
- NEW RECEPTACLE FOR CONNECTION OF RANGE, CIRCUIT WITH EXISTING RECEPTACLES SERVING AREA.
- EXISTING ELECTRICAL DEVICES TO REMAIN.
- LIGHT FIXTURE TO BE REMOVED. RE-USE EXISTING CIRCUITRY FOR NEW LIGHT FIXTURE. SEE NEW WORK PLAN FOR ADDITIONAL INFO.
- RECEPTACLE TO BE REMOVED.
- PROVIDE SWITCH FOR CONTROL OF RANGE HOOD. MODIFY 120V CONNECTION TO RANGE HOOD AS REQUIRED FOR NEW LOCATION.



ALL EXISTING LIGHT FIXTURES TO BE REPLACED AS SHOWN.
ROUGH-IN AND EXISTING CIRCUITRY TO BE RE-USED.

2 CLUBHOUSE ELECTRICAL PLAN

1/8" = 1'-0"

DIVISION 15 - MECHANICAL SPECIFICATIONS

SECTION 15050 - BASIC MECHANICAL MATERIALS AND METHODS

15050.01 The drawings and general provisions of the Contract, including General Conditions, Supplementary General Conditions, and General Requirements apply to the work specified in DIVISION 15 - MECHANICAL.

15050.02 The Mechanical Contract includes all labor, materials and equipment required for the complete mechanical systems as shown and herein specified.

15050.03 This contractor is responsible for reviewing ALL drawings to determine extent of coordination required with other trades. Additional offsets, bends, material will not be accepted as a result of un-coordinated work.

15050.04 This contractor is required to perform work in a professional and quality workman like manner. This includes, but is not limited to:

- a. Make vertical elements plumb and horizontal elements level unless noted otherwise.
- b. Install equipment and fittings plumb and level, neatly aligned with adjacent vertical and horizontal lines, unless noted otherwise.
- c. Protect work from damage and water during construction. Replace all equipment/material damaged or exposed to water during construction.
- d. Clean equipment, interior and exterior, at completion of construction and remove all temporary labels, stains and foreign substances.
- e. Protect HVAC ductwork from accumulating dirt and debris during construction and replace all HVAC filters at completion of construction

15050.05 Each major component of equipment shall have the manufacturer's name; address, model number and rating on a nameplate securely affixed.

15050.06 All equipment of one type (such as furnaces, condensing units, etc.) shall be the products of one manufacturer, unless otherwise specified.

15050.07 The quantity or quality level shown or specified shall be the minimum provided or performed. The actual installation may comply exactly with the minimum quantity or quality specified, or it may exceed the minimum within reasonable limits. To comply with these requirements, indicated numeric values are minimum or maximum, as appropriate, for the context of requirements. Refer uncertainties to Architect for a decision before proceeding. Where the quality of required material is not specified, the Contractor shall furnish a first class standard item as approved by the Architect/Engineer.

15050.08 Manufacturer's names are intended to establish type and quality of items to be provided via the contract.The materials, products, and equipment described in the specifications or on the drawings establish a standard of required function, dimension, appearance, and quality to be met by any proposed substitution. Listing of these manufacturers shall in no way be construed as a device intended to limit the bidders to those specifically listed.

15050.09 Electrical Characteristics for Mechanical Equipment: Equipment of higher electrical characteristics may be furnished provided such proposed equipment is approved in writing and connecting electrical services, circuit breakers, and conduit sizes are appropriately modified. If minimum energy ratings or efficiencies are specified, equipment shall comply with requirements.

15050.10 The Drawings are schematic only and are not intended to show the exact routing of piping, ductwork, etc. Final determination of routing shall be made at the jobsite, in coordination with other trades.

15050.11 Install all equipment in strict accordance with the manufacturer's recommendations.

15050.12 All work under this contract shall conform to the requirements of all applicable local, state, and federal code requirements. If compliance with two or more standards is specified and the standards establish different or conflicting requirements for minimum quantities or quality levels, comply with the most stringent requirement. Refer uncertainties and requirements that are different, but apparently equal, to Architect for a decision before proceeding.

15050.13 All components, accessories, and installation required for a complete mechanical installation shall be provided. Where materials or labor are required for completion of a system, such material or labor shall be included as if fully specified herein.

15050.14 Periodically during construction and prior to Owner acceptance of the building, Contractor shall remove from the premises and dispose of all packing material and debris related to work performed under this Division.

15050.15 Before submitting his bid, the Contractor shall visit the actual location of the job and shall fully understand the scope of the work to be done and the conditions under which it is to be performed.

15050.16 The Mechanical Contractor shall be responsible for locating and setting his own pipe sleeves, and be well aware of the job progress to avoid unnecessary delay for setting of same.

15050.17 The Mechanical Contractor shall do all excavating and backfilling necessary to complete work under this contract. Lines shall be used to lay out the trenches for underground work. Trenches shall be of sufficient width and shall be cribbed or braced to prevent cave in or settlement. Trenches close to walls and columns of the building shall not be excavated without the Architect's prior consent. The bottoms of trenches shall be tamped hard and graded to secure the required fall before laying pipe. Bell holes shall be excavated so the pipe will rest on solid ground for its entire length. Hand backfill and tamp backfill into place at sides of pipes, leaving tops and joints exposed until pipe runs have been tested and approved.

15050.18 Notify the Engineer of errors, discrepancies, or omissions in the drawings and specifications before construction or fabrication of affected work, or failing such notice, be responsible for correction of such work without cost to the Owner, Architect, or Engineer.

SECTION 15055 SERVICES

15055.01 Provide the services as shown on plans and specified.

15055.02 Locate and mark all known utilities prior to proceeding with work.

15055.03 Should any existing utilities be damaged or disrupted, immediately notify Owner and repair to existing condition.

15055.04 Contractor shall pay any and all required utility service fees associated with this project.

15055.05 Contractor shall verify all utility requirements with the appropriate utility provider. Any work required by utility providers but not indicated on the drawings shall be provided as though fully specified.

15055.09 Water and sewer utilities are indicated on the drawings. Coordinate with Civil drawings.

SECTION 15060 PIPE AND FITTINGS

15060.01 Above Grade Piping and Fittings:

- A. Type L hard copper pipe with sweat type fittings and 50/50 solder shall be used for all discharge pipe from relief valves, condensate drain, and non-potable domestic water piping.
- B. Domestic water piping:
 - 1. Type L hard copper pipe with sweat type fitting and 95/5 lead free solder.

2. If approved by owner, cross-linked polyethylene (PEX) with brass barbed fittings. All components shall be from same manufacturer, and installed in strict accordance with Manufacturer's instructions. System used must have been in production for a minimum of five years.

All piping installed where subject to damage shall be copper.

C. Service weight centrifugally cast iron soil pipe, bearing the mark of the Cast Iron Institute, with "NO HUB" joints shall be used for soil, waste and vent lines. All changes in direction shall be made by the use of 45 wyes, half wyes, long sweep 1/4 bends, 1/8, 1/8, or 1/16 bends. Sanitary tees may be used where the changes in direction of flow is from horizontal to vertical. Where space conditions necessitate the use of short radius fitting, approval shall be obtained before installation. NOTE: WHERE PERMITTED BY LOCAL BUILDING CODES, ABOVE GROUND SANITARY WASTE AND VENT PIPING MAY BE SCHEDULED 40 PVC WITH SOLVENT WELDED JOINTS. ALL FITTINGS SHALL BE DRAINAGE PATTERN FITTINGS, AND NO PVC PIPING SHALL BE USED IN RETURN AIR PLENUMS.

15060.02 Below Grade Pipe and Fittings

A. Schedule 40 PVC drain waste and vent piping with solvent welded joints shall be used for all soil, waste and vent lines. All changes in directions shall be made by the use of 45 wyes, half wyes, long sweep 1/4 bends, 1/8, 1/8, or 1/16 bends. Sanitary tees may be used where the changes in direction of flow are from horizontal to vertical. Where space conditions necessitate the use of short radius fitting, approval shall be obtained before installation.

B. Water Piping:

- 1. Copper Pipe: ASME B16.18, cast copper alloy or ASME B16.22 wrought copper and bronze with ASTM B 32, alloy Sn95 solder joints.
- 2. PE Pipe: ASTM D2239, or ASTM D2447 Schedule 40, with ASTM D2609 PE fittings and mechanical joints with stainless steel clamp.

15060.03 Soil, Waste and Vent Piping

A. The arrangement of the systems must be as direct as possible avoiding all unnecessary offsets. All pipe shall run as indicated on the drawings, unless some condition should arise which would make it necessary or seem advisable to alter same; in which case, the Architect or his representative must be consulted before making any change. Horizontal lines shall be graded at 1/8" per foot, unless noted otherwise. Where necessary, lines may pitch at 1/10" per foot when approved or noted.

B. Every vent for traps shall be connected to the waste line by as short a connection as possible, but in no case shall such connections have a length greater than 2' in length, measuring horizontally from the center of the fixture to the vent. Horizontal vents shall connect into the main stack at least 18" above the highest fixture.

C. Each fixture and piece of equipment requiring connection to the sanitary drainage system shall be equipped with a trap. Each trap shall be placed as near the fixture as possible and no fixture shall be double trapped. Combination drain/vent piping is acceptable where indicated and allowed by building codes.

D. All under slab plastic piping shall be installed in strict compliance with building codes as well as all manufacturers' recommendations.

15060.04 Domestic Water Piping

A. All runs of pipe shall be installed as shown on drawings, unless some condition should arise which would make it necessary or seem advisable to alter same; in which case, the Architect or his representative must be consulted before making any change.

15060.05 Refrigeration Piping

A. All refrigerant piping shall be Type L ACR hard copper with silfos joints. All elbow fittings,except suction line oil traps, shall be long radius type. Suction line oil traps shall be comprised of short radius elbows to minimize the quantity of oil retained.

B. All refrigerant lines shall be charged with nitrogen during all sweating and heating operations, and shall be evacuated with a vacuum pump prior to charging.

SECTION 15080 MECHANICAL INSULATION

15080.06 Insulate refrigerant suction lines with 3/4" foam pipe insulation, "Armacell Armaflex" or equivalent. Paint exterior insulation with two coats of "Armacell Armaflex" finish.

15080.07 Condensate drains from cooling coils shall be insulated with 1/2" thick preformed fiberglass pipe insulation.

15080.08 Insulate ductwork as scheduled. Duct dimensions indicated on the plans are free area.

Indoor Concealed Supply Duct: Insulate all rectangular and round sheet metal duct with 1-1/2" fiberglass Duct wrap with foil exterior vapor barrier

Indoor Concealed Return Duct: 1-1/2" fiberglass duct wrap with foil exterior vapor barrier

General Building Exhaust Duct: None Required

Outdoor Air Intake Ductwork: 1-1/2" fiberglass duct wrap with foil exterior vapor barrier.

SECTION 15120 PIPING SPECIALTIES AND VALVES

15120.01 Valves shall be installed at locations shown and specified; the locations shall be accessible. All valves shall be installed with their stems or spindles horizontal or above.

15120.02 Provide unions where shown at all equipment connections and at other points where disconnection of piping will be required.

15120.03 Apollo bronze body ball valves, Series 70 or approved equal, with threaded or soldered end, shall be used in 3" and smaller copper and steel lines for domestic water duties. Provide with extended stem when used in insulated lines.

15120.04 Screwed or solder type ground joint unions shall be used on piping 2" and smaller.

15120.05 Unions shall not be installed in walls or partitions or above non accessible ceilings.

15120.06 Dielectric unions shall be used where copper lines connect to other types of materials.

15120.07 Provide chrome plated escutcheons on exposed pipes where they pass through walls and ceilings.

SECTION 15140 PIPING SUPPORTS, ANCHORS AND SEALS

15140.01 Provide pipe sleeves, hangers and supports.

15140.02 Pipe shall be securely supported from structure. Hangers shall be provided where required. No plastic hangers or straps shall be used.

15140.03 Pipe sleeves will be required in all pipe penetrations through exterior walls and floors. Sleeves shall be Schedule 5 steel pipe, field fabricated from minimum 16 gauge steel with 2" overlap at the seam.

15140.04 Space between sleeves and pipes in outside walls shall be filled or tightly caulked with oakum, butyl rubber, link seals or other approved equally effective material to resist the penetration of water. Pipe sleeve shall be sufficient diameter to provide approximately 1/2" clearance around pipe, and in the case of insulated pipe, approximately 1/2" around insulation.

15140.05 Sleeves shall be set no closer than three pipe diameters center to center, be set 3/4" past all wall surfaces, and securely anchored to the wall.

15140.06 Hanger and support spacing for horizontal steel and copper piping shall not exceed the following:

PIPE SIZE	STEEL PIPE	COPPER PIPE
1/2" - 1-1/4"	7'	5'
1-1/2" - 2"	9'	6'
2-1/2" - 3"	11'	10'

15140.07 Soil, waste, vent and drain pipe shall have a minimum of one hanger per pipe section at the joints and at changes in direction and branch connections.

15140.08 Spacing of supports and braces for exposed vertical piping shall not exceed the hanger spacing specified for horizontal pipe, unless otherwise indicated.

SECTION 15430 PLUMBING SPECIALTIES

15430.01 Provide Zurn, Smith, Wade, Josam, or approved equal cleanouts where shown. Cleanouts shall be the same size pipe for pipe 4" and smaller, and 4" for lines 4" and larger.

15430.02 Floor and exterior cleanouts shall be Zurn ZN-1400. Set in 12" x 12" x 4" concrete pad for exterior use.

15430.03 Wall cleanouts shall be "NO-HUB" caps behind Zurn Z1446 round stainless steel cover.

SECTION 15440 PLUMBING FIXTURES AND TRIM

15440.01 Provide complete, all fixtures indicated. All fixtures shall be set firm and true, connected to all pipe and ready for use. All fixtures shall be of one manufacturer throughout the entire installation, unless otherwise specified. Stop valves shall be provided on the water connections to all fixtures.

15440.02 Refer to plumbing fixture schedule on drawings. Fixtures from Eljer, American Standard, Crane, and Kohler are equally accepted provided comparable units are provided.

15440.03 Refer to elevations on the Architect's drawings for installation height of wall mounted fixtures.

15440.04 Plumbing trim utilized shall be provided with renewable seats and replaceable internal working components.

15440.05 All fixtures shall be substantially supported in an approved manner. Furnish and install adjustable carriers as required for all wall hung fixtures.

15440.06 All spaces between fixtures and finished surfaces shall be caulked and pointed square with an approved white silicone sealant resulting in a neat and smooth appearance.

15440.07 The contractor shall be responsible for the protection and cleanliness of all fixtures, equipment and accessories.

SECTION 15670 - A/C SYSTEMS

15670.01 Provide Trane, Lennox, York, or Carrier condensing unit/evaporator/furnace combinations as scheduled on the drawings.

15670.02 Gas fired furnaces shall be provided with direct drive factory balanced, resilient mounted, centrifugal fan. Fans shall be multispeed with internal thermal protection and permanent lubrication.

15670.03 Gas heat exchangers shall be stamped and welded aluminized steel. Heating system shall be equipped with electronic pilot ignition, 100 percent safety gas shutoff valve, control gas valve, and manual shutoff.

15670.04 Combustion air intake and vent piping shall be PVC pipe, sized per Manufacturer's recommendations. Terminations through wall or roof shall be made utilizing Manufacturer's PVC fitting.

15670.05 All system components shall be of same Manufacturer.

15670.06 Refrigerant evaporator coils shall be copper tube with mechanically bonded aluminum fins, complying with ARI 210/240, and with thermal expansion valve.

15670.07 Filters shall be 1" thick throwaway type.

15670.08 Condensing units shall have steel housing with removable panels to access controls. Service valves, fittings and gage ports shall be on exterior of unit. Housing shall be finished with baked enamel. Condenser coils shall be copper tube with mechanically bonded aluminum fins complying with ARI 210/240.

15670.09 Compressors shall be hermetically sealed scroll type mounted on vibration isolators. Provide with crankcase heater. Motor shall be permanently lubricated and have thermal and current sensitive overload protection, start capacitor, relay, and contactor.

15670.10 Provide with programmable thermostats and all required control wiring.

SECTION 15890 SHEET METAL WORK

15890.01 Provide all sheet metal work for supply, return, and exhaust air systems. Provide all grilles, louvers, hand dampers, and all work required to make the job complete as shown on the drawings.

15890.02 All duct construction, gauges, methods of construction, and methods for hanging and supporting shall conform to SMACNA Standards applicable sections of the Mechanical Code.

15890.03 All ductwork shall be constructed of galvanized sheet steel to 2" SMACNA pressure class and Class "C" sealing.

15890.04 Make joints in rectangular ductwork airtight and patch or solder open corners.

15890.05 All round ductwork shall be 26 gauge galvanized "Snap Lock" pipe with all changes in direction made via adjustable elbows. All seams and connections shall be sealed with foil faced pressure sensitive tape. Silver-coated polyethylene cloth tape is not acceptable. All rectangular duct shall be 24 gauge galvanized sheetmetal. Duct sizes shown on drawings are air stream size.

15890.06 Provide Ventfabrics, Inc., "Metaledge Ventglass" canvas connections for all duct systems at connections to motorized equipment.

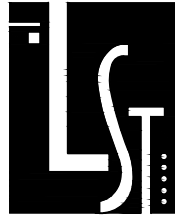
15890.07 Coordinate ductwork installation with other trades and verify the location of all light fixtures, pipes, beams, and other possible obstructions, and adjust routing of ductwork as required to accommodate same.

SECTION 15950 TESTING, ADJUSTING, AND BALANCING

15950.01 All testing and balancing work shall be performed in accordance with NEBB National Standards for Testing, Adjusting, and Balancing of Environmental Systems.

15950.02 Adjust all fans and air outlets to within 10% of specified airflow.

END OF DIVISION 15



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Project 22064
December 2022

HVAC SYMBOLS



RECTANGULAR SUPPLY DUCT UP



RECTANGULAR SUPPLY DUCT DOWN



ROUND DUCT UP



ROUND DUCT DOWN



RECTANGULAR RETURN DUCT UP



RECTANGULAR RETURN DUCT DOWN



SQUARE SUPPLY DIFFUSER



FLEXIBLE DUCTWORK - MAX 5'



RIGID DUCTWORK



WALL GRILLE (SUPPLY OR RETURN)



THERMOSTAT



90° ELBOW WITH TURNING VANES



GRILLE/DIFFUSER TAG



TOP: DEVICE TAG (SEE SCHEDULE)

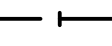


MIDDLE: NECK SIZE

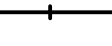


BOTTOM: AIRFLOW

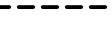
PLUMBING SYMBOLS



SANITARY DRAIN BELOW GRADE



SANITARY DRAIN ABOVE GRADE



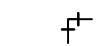
SANITARY VENT



DOMESTIC COLD WATER



DOMESTIC HOT WATER



WATER SERVICE



SHORT RADIUS 90° ELBOW



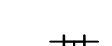
PIPE TURNED UP



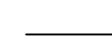
PIPE TURNED DOWN



TEE UP



TEE DOWN



TEE



TEE SHORT RADIUS 45° ELBOW



CLEANOUT



BALL VALVE



FLOOR DRAIN

GENERAL SYMBOLS



DETAIL REFERENCE



DETAIL NUMBER



SHEET NUMBER



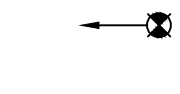
ELEVATION REFERENCE



SECTION CUT



DETAIL NUMBER



SHEET NUMBER



KEYED PLAN NOTE



REVISION NOTE



ELEVATION

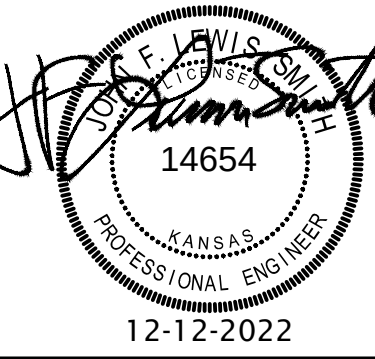


CONNECT TO EXISTING. FIELD VERIFY LOCATION & MATERIAL OF EXISTING

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CANTERBURY VILLAGE
REMODEL
WINFIELD,
KANSAS



14654
KANSAS
PROFESSIONAL ENGINEER

12-12-2022

REVISION:

DATE: 12-12-2022

JOB: 22-3266

SHEET NO.:

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REVISION:

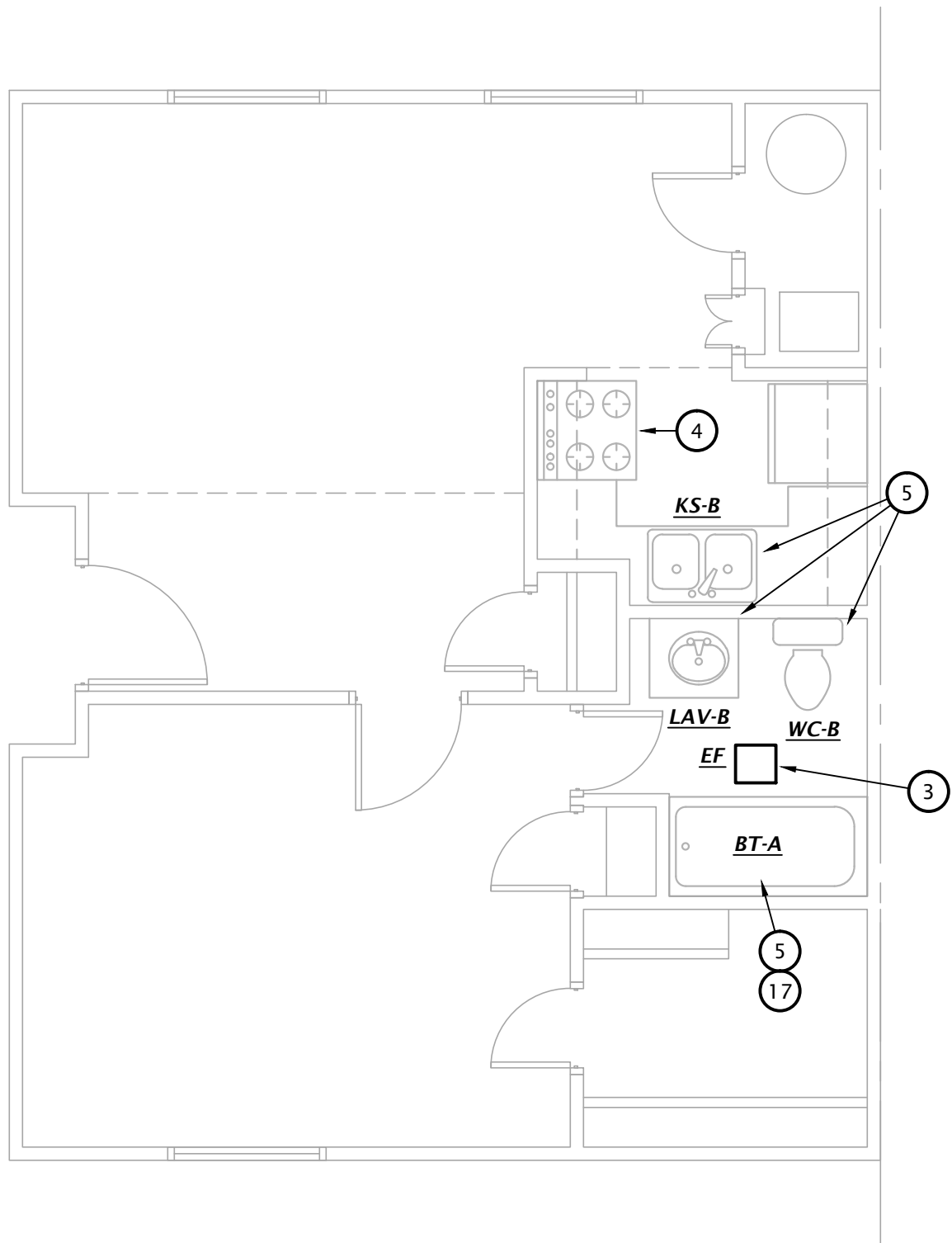
DATE: 12-12-2022

JOB: 22-3266

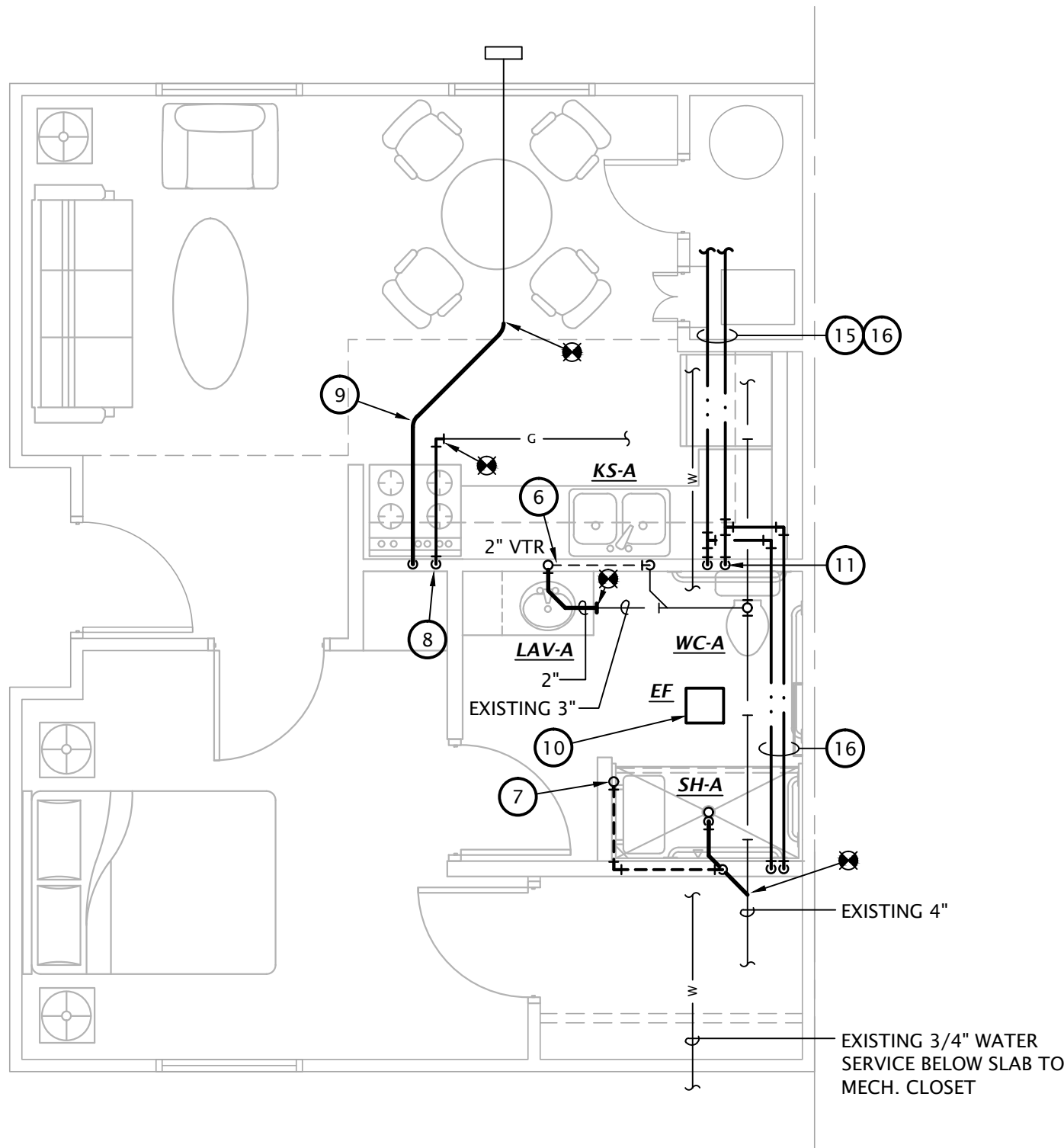
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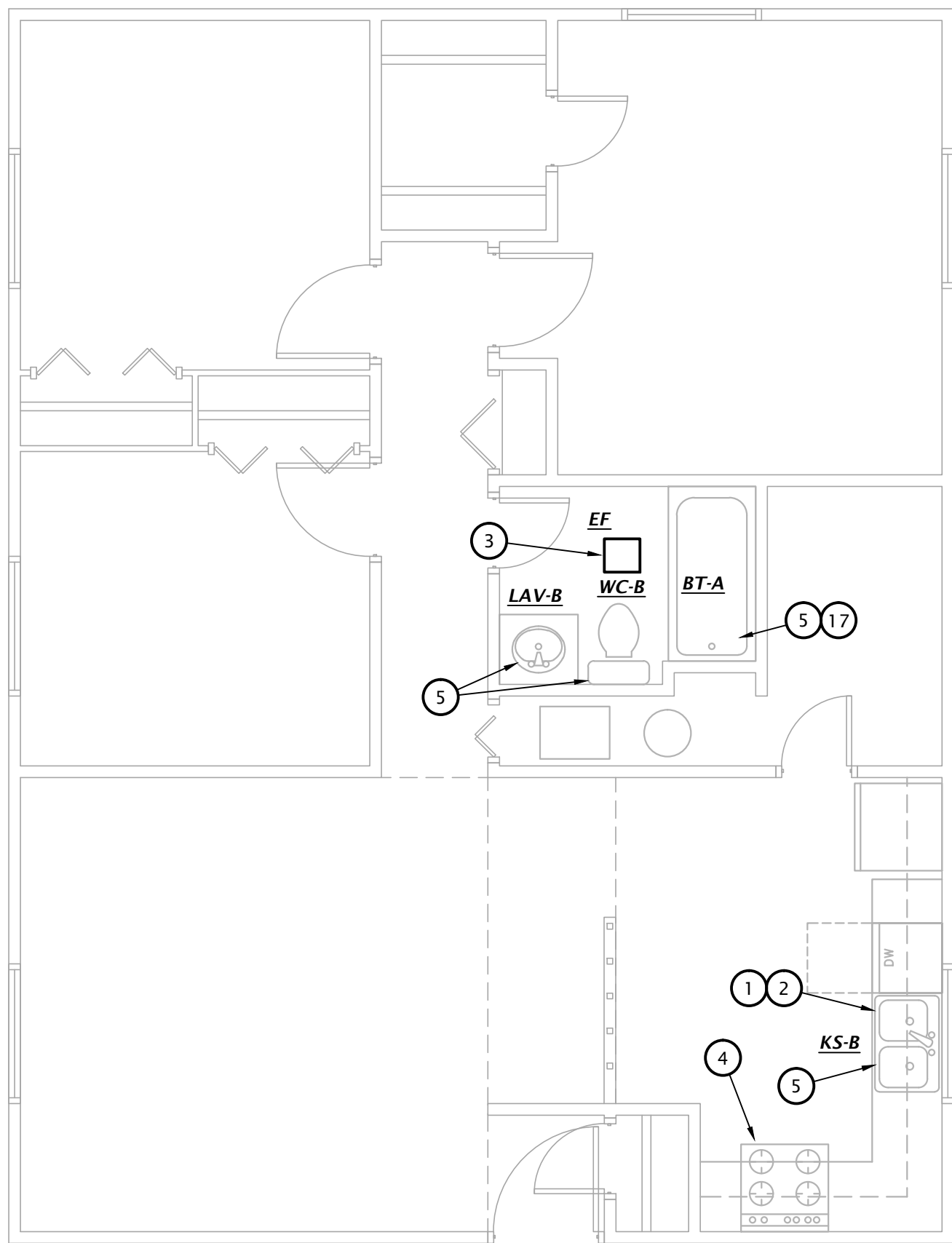
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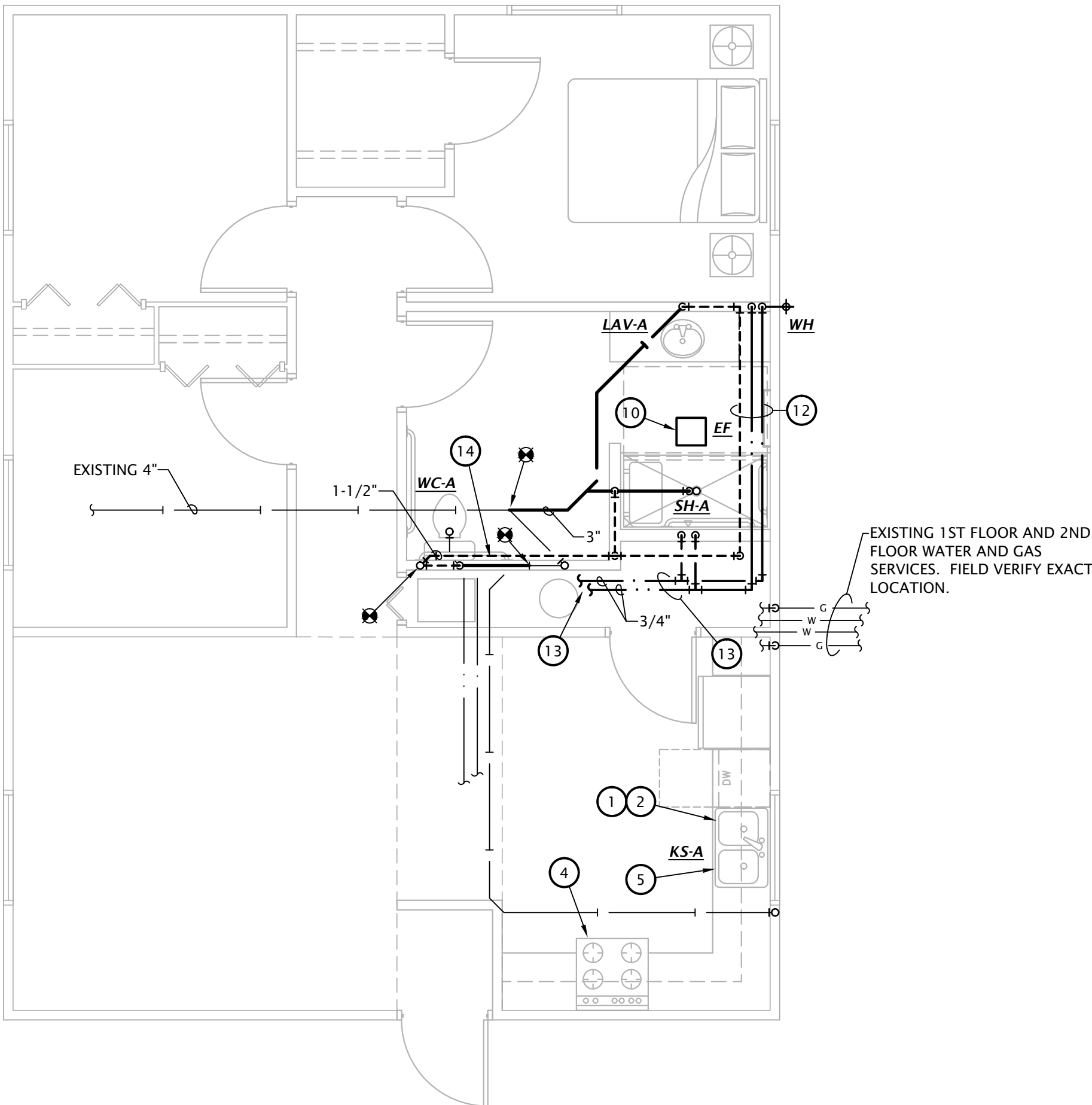
5 UNIT 1A MECHANICAL PLAN
1/4" = 1'-0"



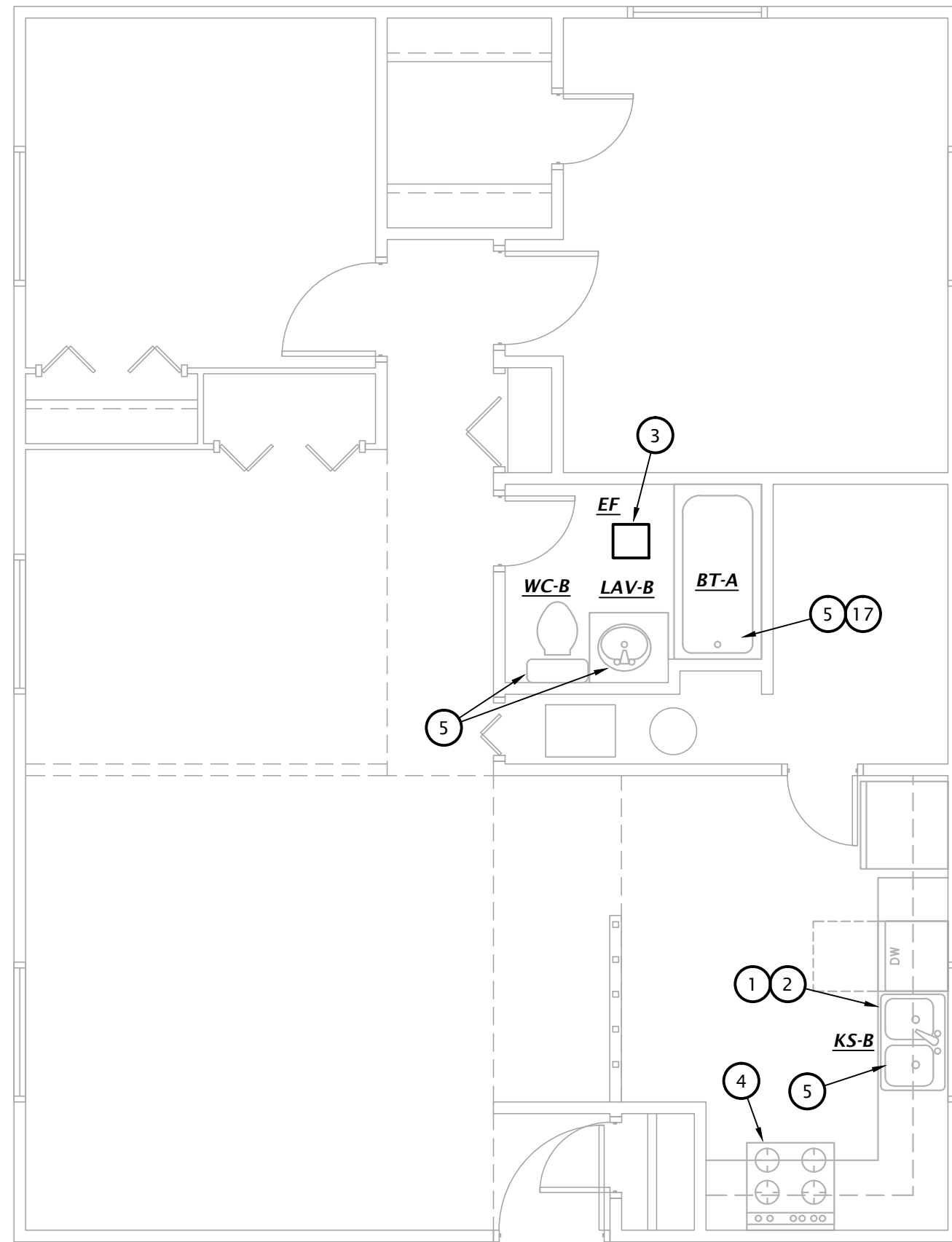
4 ACCESSIBLE UNIT 1B MECHANICAL PLAN
1/4" = 1'-0"



3 UNIT 3A MECHANICAL PLAN
1/4" = 1'-0"



2 ACCESSIBLE UNIT 3B MECHANICAL PLAN
1/4" = 1'-0"



1 UNIT 2D MECHANICAL PLAN
1/4" = 1'-0"

ALTERNATE BIDS
FOR EACH UNIT PROVIDE ALTERNATE PRICING AS FOLLOWS:
1. AT EACH APARTMENT UNIT PROVIDE CONDENSING UNIT 'CU-1.5' & FURNACE 'F-1.5'
2. AT EACH APARTMENT UNIT PROVIDE WATER HEATER 'WH'
MODIFY EXISTING MECHANICAL AND ELECTRICAL INSTALLATION AS REQUIRED FOR UNIT REPLACEMENT. FIELD VERIFY EXACT REQUIREMENTS.

NOTES BY SYMBOL

1. CONNECT DISHWASHER DRAIN TO INDIRECT CONNECTION AT GARBAGE DISPOSER.
2. PROVIDE 1/2" HW BRANCH WITH SHUT-OFF VALVE BELOW SINK AND CONNECT DISHWASHER. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED.
3. REPLACE EXISTING EXHAUST FAN/ LIGHT WITH NEW. MODIFY EXISTING MECHANICAL AND ELECTRICAL INSTALLATION AS REQUIRED. FIELD VERIFY EXACT REQUIREMENTS.
4. CONNECT NATURAL GAS TO NEW RANGE PROVIDED BY OTHERS. MODIFY EXISTING ROUGH-IN AS REQUIRED FOR NEW WORK. COORDINATE EXACT REQUIREMENTS WITH EXISTING CONDITIONS AND EQUIPMENT PROVIDED.
5. REPLACE EXISTING PLUMBING FIXTURE. MODIFY EXISTING ROUGH-INS AS REQUIRED. FIELD VERIFY EXACT REQUIREMENTS.
6. CONNECT EXISTING VENT SERVING KITCHEN SINK TO VTR. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING.
7. ROUTE VENT FROM SHOWER TO EXISTING VTR. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING.
8. EXTEND 3/4" GAS IN ATTIC DOWN IN WALL TO NEW RANGE LOCATION. PROVIDE GAS, COCK, UNION, AND DIRT LEG AND CONNECT TO NEW RANGE PROVIDED BY OTHERS. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING GAS PIPING.
9. PROVIDE 5"Ø EXHAUST FROM KITCHEN HOOD AND CONNECT TO EXISTING EXHAUST DUCT IN ATTIC. MODIFY EXISTING DUCT INSTALLATION AS REQUIRED. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING DUCTWORK.
10. CONNECT EXISTING 4"Ø EXHAUST DUCT TO NEW EXHAUST FAN. FIELD VERIFY EXACT LOCATION OF EXISTING DUCT, AND MODIFY EXISTING DUCTWORK AS REQUIRED.
11. ROUTE 3/4" HW AND CW DOWN IN WALL AND PROVIDE 1/2" FIXTURE BRANCHES TO WATER CLOSET, KITCHEN SINK, AND LAVATORY.
12. ROUTE PIPING IN SOFFIT. COORDINATE WITH ARCH.
13. CONNECT TO EXISTING 3/4" HW AND CW PIPING IN MECH CLOSET. FIELD VERIFY EXACT LOCATION OF EXISTING. ROUTE PIPING TIGHT TO CEILING IN MECH ROOM.
14. ROUTE VENT PIPING BETWEEN JOISTS. CONNECT TO EXISTING 3" VENT UP THROUGH 2ND FLOOR TO VTR. FIELD VERIFY EXACT ROUTING AND LOCATION OF EXISTING PIPING.
15. CONNECT 3/4" HW AND CW PIPING TO EXISTING 3/4" PIPING IN MECHANICAL CLOSET. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING.
16. ROUTE WATER PIPING IN SOFFIT. DO NOT ROUTE PIPING IN ATTIC. COORDINATE EXACT ROUTING WITH ARCH AND OTHER TRADES.
17. FIELD VERIFY BATHTUBS ARE NOT CONNECTED WITH DRUM TRAPS. IF DRUM TRAP EXISTS, REMOVE AND REPLACE WITH CODE APPROVED TRAP.



CONDENSING UNIT SCHEDULE												
MARK	MANUF.	MODEL	NOMINAL TONS	SUPPLY CFM	COOLING CAPACITY					ELECTRICAL		
					OA DB	ENT AIR DB/WB	SENS MBH	TOT MBH	MIN SEER	MCA	MOCPP	V/PH
CU-1.5	GOODMAN	GXXM401810A	1.5	610	95	75/63	12.92	17	14	11.9	20	240/1
Notes: 1. Refrigerant lines shall be field fabricated. Coordinate line sizing requirements with equipment manufacturer for length of run for each apartment. Provide suction accumulators, etc. as required. 2. Provide with R140a refrigerant. 3. Provide with matching evaporator coil at furnace.												

AIR DEVICE SCHEDULE											
MARK	MANUFACTURER	MODEL	APPLICATION				FINISH	MOUNTING	DAMPER	DESCRIPTION	NOTES
			SUPPLY	RETURN	EXHAUST	TRANSFER					
SD-A	HART & COOLEY	A618	•				WHITE	SURFACE	YES	Aluminum, straight blade vertical fin register with opposed blade damper	1,2,3
SD-B	HART & COOLEY	684	•				WHITE	SURFACE	YES	Steel, 4-way register with damper	1,2,3,5
RC-A	HART & COOLEY	650		•			WHITE	SURFACE	NO	Single deflection, steel, louvered face return grille	1,2,3,4
TC-A	HART & COOLEY	650				•	WHITE	SURFACE	NO	Single deflection, steel, louvered face return grille	1,2,3,4

NOTES:

1. Provide mounting frame as required for ceiling type.

2. Maximum NC shall be 25.

3. Paint objects visible through grilles with flat black paint.

4. Neck size shall be same as face.

5. Provide round to square neck adapter as required for runout size indicated on plans.

CANTERBURY VILLAGE

WINFIELD, KANSAS

REMODEL

JGR

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DATE:	12-12-2022
JOB:	22-3266
SHEET NO.:	

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DIVISION 16 - ELECTRICAL
SECTION 16010 - GENERAL ELECTRICAL REQUIREMENTS

- 16010.01 The drawings and general provisions of the Contract, including General Conditions, Supplementary General Conditions, and General Requirements apply to the work specified in Division 16 - ELECTRICAL.
- 16010.02 The Electrical Contract includes all labor, material and equipment required for the complete electrical systems as shown and specified.
- 16010.03 This contractor is responsible for reviewing ALL drawings to determine extent of coordination required with other trades. Additional offsets, bends, and materials will not be accepted as a result of un-coordinated work.
- 16010.04 This contractor is required to perform work in a professional and quality workman like manner. This includes, but is not limited to:
- a. Make vertical elements plumb and horizontal elements level unless noted otherwise.
 - b. Install equipment and fittings plumb and level, neatly aligned with adjacent vertical and horizontal lines, unless noted otherwise.
 - c. Protect work from damage and water during construction. Replace all equipment/material damaged or exposed to water during construction.
 - d. Clean equipment, interior and exterior, at completion of construction and remove all temporary labels, stains and foreign substances.
- 16010.05 Each major component of equipment shall have the manufacturer's name, address, model number, and U.L. label securely affixed in a conspicuous place.
- 16010.06 All equipment of one type (such as panelboards, switches, wiring devices, etc.) shall be the product of one manufacturer, unless specified otherwise.
- 16010.07 Where the quality of required material is not specified, the Contractor shall furnish a first class standard item as approved by the Architect/Engineer.
- 16010.08 The quantity or quality level shown or specified shall be the minimum provided or performed. The actual installation may comply exactly with the minimum quantity or quality specified, or it may exceed the minimum within reasonable limits. To comply with these requirements, indicated numeric values are minimum or maximum, as appropriate for the context of requirements. Refer uncertainties to Architect for a decision before proceeding. Where the quality of required material is not specified, the Contractor shall furnish a first class standard item as approved by the Architect/Engineer.
- 16010.09 Manufacturer's names are intended to establish type and quality of items to be provided via the contract. The materials, products, and equipment described in the specifications or on the drawings establish a standard of required function, dimension, appearance, and quality to be met by any proposed substitution. Listing of these manufacturers shall in no way be construed as a device intended to limit the bidders to those specifically listed.
- 16010.10 Install all equipment in strict accordance with the manufacturer's recommendations and the shop drawings approved by the Engineer.
- 16010.11 All work under this contract shall conform to the requirements of the 2014 National Electrical Code (NFPA 70) and all applicable local, state, and federal code requirements. If compliance with two or more standards is specified and the standards establish different or conflicting requirements for minimum quantities or quality levels, comply with the most stringent requirement. Refer uncertainties and requirements that are different, but apparently equal, to Architect for a decision before proceeding.
- 16010.12 Periodically during construction and prior to Owner acceptance of the building, Contractor shall remove from the premises and dispose of all packing material and debris associated with the Work specified under this Division.
- 16010.13 Before submitting bid, the Contractor shall visit the actual location of the job and shall fully understand the scope of the work to be done and the condition under which it is to be performed.
- 16010.14 Electrical Contractor shall coordinate requirements for electrical service with utility company and Owner, and facilitate installation of such equipment by providing additional electrical installation where required.
- 16010.15 Procure and pay for all permits and service charges required as related to this Work.
- 16010.16 Notify the Engineer of errors, discrepancies, or omissions in the drawings and specifications before construction or fabrication of affected work, or failing such notice, be responsible for correction of such work without cost to the Owner, Architect, or Engineer.
- 16010.17 Where fire rated construction is penetrated by this Work, fire seal at penetrations with UL listed fire sealing system. Refer to Architectural drawings and specifications.
- 16010.18 Provide Shop Drawings for the following electrical equipment. Refer to Division 1 specifications for submittal process. Electrical equipment listed below shall not be ordered or installed until shop drawings have been submitted and reviewed. Shop Drawings shall include product data indicating performance, dimensions, finish/color and configuration. Include all accessories and installed components.
- Panelboards; Load Centers; Light Fixtures (provided by Contractor); Wiring Devices; Lighting Control Devices; Disconnect Switches; Fire Alarm
- SECTION 16030 - ELECTRICAL CONNECTIONS
- 16030.01 The Electrical Contractor shall provide all conduit and wiring and shall connect complete and ready for operation all electrical motors and equipment in the other contracts. The other contractors shall furnish to the Electrical Contractor all switches, electrical controls, capacitors and other accessories required. Installation of all motors, equipment, etc., shall be made by the Contractor furnishing the equipment, except where otherwise indicated.
- 16030.02 The Electrical Contractor shall provide disconnect switches as shown and where otherwise required to comply with applicable electrical codes.

SECTION 16060 - GROUNDING

- 16060.01 The entire electrical system, including all special power systems, shall be grounded in accordance with the National Electrical Code.
- 16060.02 Equipment grounding conductors shall be installed in all conduits. The conduit system shall not be used as the sole means of grounding.
- SECTION 16110 - RACEWAYS
- 16110.01 Provide the conduits and raceways as specified and indicated on the plans.
- 16110.02 All exterior above grade raceways shall be Galvanized Rigid Metal Conduit (RMC) or Intermediate Metal Conduit (IMC) with threaded couplings and fittings.
- 16110.03 All exterior below grade conduits and conduits installed below floor slab-on-grade shall be Schedule 40 PVC, Galvanized Rigid Metal Conduit (RMC), or High Density Polyethylene Conduit (HDPE). When utilizing PVC or HDPE, transition to Galvanized RMC before turning up and penetrating finished grade or floor slab.
- 16110.04 All interior dry location raceways shall be thinwall Electrical Metallic Tubing (EMT) with compression or setscrew couplings and fittings.
- 16110.05 Flexible Metal Conduit (FMC) may be used for final connections to light fixtures and vibrating equipment in lengths not to exceed 6'-0" and where fished through existing wall construction. Utilize Liquid Tight Flexible Metal Conduit (LFMC) where exposed to moisture.
- 16110.06 Single conduits shall be used for all circuits, but more than one circuit may be carried in each conduit, provided the number of conductors and size of conductors are proportioned in accordance with the rules of the NEC, and conduits are of ample size to allow for removal and replacement of conductors when necessary. Do not exceed 40% fill.
- 16110.07 Where conduit is carried in walls, it shall be thoroughly bedded and not visible. In placing conduits, they shall be so located as to not weaken or injure the construction of the building in any way, and the installation of these shall be approved by the Architect.
- 16110.08 Joints must be made so the ends of the pipes come together in the center of the coupling.
- 16110.09 All conduit shall be run parallel or perpendicular to the building surfaces.
- 16110.10 All empty conduit systems shall be provided with suitable pull strings.

SECTION 16120 - WIRE AND CABLES

- 16120.01 Provide the wire as specified and the circuiting as shown on the drawings.
- 16120.02 All wire and cable shall be copper, #12 awg, unless noted otherwise. Conductors #8 and smaller shall be solid. All wire shall be Code Type THWN or THHN, unless noted otherwise, and shall be Rome, General Cable, Crescent, Southwire, or General Electric. Where approved by owner, feeders may be compact aluminum. Increase size to provide ampacity equivalent to that of copper conductors shown.
- 16120.03 All wiring, except control, special systems and low voltage wiring shall be in conduit, unless noted otherwise.
- 16120.04 The circuiting of all light and receptacle outlets has been shown on the plans, and the Contractor shall follow this circuiting layout.
- 16120.05 Circuitry sizes shown are minimum, and allowances shall be made to limit voltage drop. Circuits over 75' long shall be increased by one wire size, circuits over 150' long shall be increased by two wire sizes.
- 16120.06 Machine or power pulling of cables into raceways shall be accomplished such that pulling stresses shall not exceed those recommended by the manufacturer.
- 16120.07 All cables shall be lubricated with "Polywater," or equally effective cable lubricating material.
- 16120.08 Wiring for individual dwelling units may be Type NM or BX cable, installed in accordance with the NEC.

SECTION 16130 - ELECTRICAL BOXES AND FITTINGS

- 16130.01 Provide all electrical pull, junction and outlet boxes as specified and shown on the drawings, as well as those required for a complete and code acceptable installation.
- 16130.02 Junction and pull boxes shall be galvanized metal of the knockout type, and shall be provided throughout in accessible locations.
- 16130.03 All outlet boxes for light fixtures, receptacles, and wall switches in dry locations shall be of the Steel City, or equal, galvanized knockout type. Lighting fixture outlet boxes in ceiling shall be not less than 4" square of the knockout type. Gangable type boxes shall be used in all gypboard surfaces. Plug unused openings in all boxes.
- 16130.04 Install boxes for switch and receptacle outlets at the locations shown on the drawings, allowing for relocation of up to 4 feet in any direction if so directed prior to rough-in, without additional cost to the Owner. Boxes shall be flush mounted on all walls for concealed work in occupied/finished areas.
- 16130.05 Electrical boxes located in 1-hour fire rated walls shall be installed as follows:
- a. Boxes shall be U.L. listed for use in fire rated assemblies.
 - b. Annular space around listed boxes shall not exceed 1/8".
 - c. Boxes on opposite sides of the fire rated wall shall comply with one of the following:
 - 1. Be separated by the horizontal distance specified in the listing of the electrical box.
 - 2. Be separated by fire blocking material in accordance with IBC section 717.2.1.
 - 3. Protect both boxes with listed fire rated putty pads.
- 16130.06 Electrical boxes located in fire rated ceiling/floor assemblies shall:
- a. Be steel construction and not exceed 16 square inches in area.
 - b. Annular space around ceiling boxes shall not exceed 1/8".
 - c. The aggregate area of ceiling boxes does not exceed 100 square inches for every 100 square feet of ceiling area.

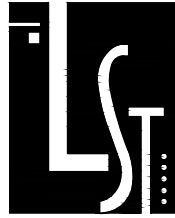
SECTION 16140 - WIRING DEVICES

- 16143.01 Provide the wiring devices and cover plates as specified.
- 16143.02 Wiring Devices shall be as manufactured by Pass & Seymour, Leviton, Hubbell, Eaton, or approved equal. Devices shall be commercial specification grade, rated at 20 amps, 120 volts, unless specified otherwise. Coordinate device color with Architect. Devices shall be as follows:
- | | |
|----------------------------------|---------------|
| a. Switches: | |
| 1. 1-Pole (SPST) Switch | P&S #PS20AC1_ |
| 2. 2-Pole (DPST) Switch | P&S #PS20AC2_ |
| 3. 3-Way Switch | P&S #PS20AC3_ |
| b. Wall Receptacles: | |
| 1. Single Receptacle | P&S #S361_ |
| 2. Duplex Receptacle | P&S #PS5362_ |
| 3. Tamperproof Duplex Receptacle | P&S #TR63_ |
| 4. GFCI Duplex Receptacle | P&S #2095_ |
- 16143.03 Terminations at wiring devices shall be made using screw terminals only. Use of "stab-in" connections is not acceptable.
- 16143.04 All flush-mounted wiring devices in finished areas shall be provided with stainless steel cover plates.
- 16143.05 Cover plates for wiring devices in surface-mounted boxes and unfinished areas shall be galvanized utility box covers, raised 1/4".
- 16143.06 Where more than one device is in a single location, utilize a one-piece multigang cover plate.
- 16143.07 Devices shall be set at the following elevations from the finished floor to the center of the box, unless otherwise indicated on the plans:
- | | |
|----------------------------|-----|
| a. Light switches | 48" |
| b. Convenience Receptacles | 18" |

SECTION 16510 - LIGHT FIXTURES

- 16510.01 Provide the light fixtures as specified and scheduled on plans. Material, equipment or services necessary to complete the installation of these fixtures, but not specifically mentioned shall be furnished as though specified.
- 16510.02 UL or CSA US Listing: Light fixtures shall be manufactured in strict accordance with the appropriate and current requirements of the "Standards for Safety" to UL 8750 or others as they may be applicable. A listing shall be provided for each fixture type, and the appropriate label or labels shall be affixed to each fixture in a position concealing it from normal view.
- 16510.03 Approved Manufacturers: Provide products of firms regularly engaged in the manufacture of light fixtures of types and ratings required, whose products have been in satisfactory use in similar service for not less than 5 years. The manufacturer of the lighting fixtures shall comply with the provisions of the appropriate code and standards.
- 16510.04 LED FIXTURES - Comply with UL 1598. Test according to IESNA LM 80-08, where life expectancy is specified. Provide luminaires with the following characteristics unless otherwise noted:
- a. Life: 50,000 hours minimum interior/100,000 hours minimum exterior
 - b. Efficacy: 90 lumens/watt
 - c. CRI: 80 minimum interior/70 minimum exterior
 - d. MacAdam ellipse: 4-step minimum per ANSI recommendations
- 16510.05 LED's shall be manufactured by, Nichia, Samsung, LG, Osram, Philips or Cree.
- a. Individual LEDs shall be connected such that a catastrophic loss or the failure of one LED will not result in the loss of the entire luminaire
 - b. LED Boards shall be suitable for field maintenance or service from below the ceiling with plug-in connectors.
- 16510.06 LED drivers shall be manufactured by eldoLED, Osram, Philips or Cree. Drivers shall have <10% total harmonic distortion, minimum 95% power factor, and universal 120/277 volt operation.
- 16510.07 Light fixture manufacturers shall provide a warranty against loss of performance and defects in materials and workmanship for the fixtures for a period of 5 years after acceptance of the products. Warranty shall cover all components comprising the fixture.

END DIVISION 16 - ELECTRICAL



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Project 22064
December 2022

CIRCUIT AND RACEWAY SYMBOLS

	CIRCUIT DESIGNATION: TOP INDICATES PANEL OF CIRCUIT ORIGIN BOTTOM INDICATES CIRCUIT NUMBER HOMERUN - WIRING TO PANEL OF CIRCUIT ORIGIN PARTIAL HOMERUN - WIRING TO PANEL OF CIRCUIT ORIGIN CONDUIT CONCEALED IN WALL OR ABOVE CEILING CONDUIT BELOW GRADE OR EMBEDDED IN CONCRETE CONDUIT EXPOSED OVERHEAD LINE VOLTAGE CIRCUIT CONDUCTORS SHORT = HOT/TRACER/SWITCH LEG. CONDUCTOR LONG = NEUTRAL (GROUNDED) CONDUCTOR CURVED = GROUNDING (BONDING) CONDUCTOR GROUNDING CONNECTION
--	---

LIGHTING SYMBOLS

	RECESSED DOWNLIGHT WALL MOUNTED LUMINAIRE CEILING MOUNTED LUMINAIRE
--	---

POWER SYMBOLS

	SINGLE RECEPTACLE DUPLEX RECEPTACLE SINGLE POLE WALL SWITCH THREE WAY WALL SWITCH JUNCTION BOX DISCONNECT SWITCH
--	---

SYMBOL MODIFYING DESIGNATORS

CLG	CEILING MOUNTED • FLUSH MOUNTED IN SUSPENDED CEILINGS • SURFACE MOUNTED TO STRUCTURE ABOVE IN OPEN CEILINGS
CT	MOUNT BOTTOM OF DEVICE AT 6" ABOVE COUNTERTOP
GFI	GROUND FAULT CIRCUIT INTERRUPTING DEVICE
NL	NIGHTLIGHT WIRED TO UNSWITCHED HOT CONDUCTOR
WP	PROVIDE WEATHERPROOF ENCLOSURE FOR DEVICE
XX"	MOUNTING HEIGHT OF DEVICE ABOVE FINISHED FLOOR

ABBREVIATIONS

A	AMPERE
AFF	ABOVE FINISH FLOOR
C	CONDUIT
CATV	COMMUNITY ANTENNA TELEVISION
CT	CURRENT TRANSFORMER
FMC	FLEXIBLE METALLIC CONDUIT
G	GROUNDING (BONDING) CONDUCTOR
GC	GENERAL CONTRACTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
kcmil	THOUSAND CIRCULAR MILLS
MLO	MAIN LUG ONLY
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NEC	NATIONAL ELECTRICAL CODE (NFPA 70)
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NRTL	NATIONALLY RECOGNIZED TESTING LABORATORY
PH or ϕ	PHASE
PVC	POLYVINYL CHLORIDE CONDUIT
RCPT	RECEPTACLE
TYP	TYPICAL
UG	UNDERGROUND
U.L.	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE
V	VOLT (ALTERNATING CURRENT)
VA	VOLTAMPERE
W	WATT(S)

GENERAL SYMBOLS

	DETAIL REFERENCE DETAIL NUMBER SHEET NUMBER ELEVATION REFERENCE DETAIL NUMBER SHEET NUMBER SECTION CUT DETAIL NUMBER SHEET NUMBER KEYED PLAN NOTE REVISION NOTE ELEVATION CONNECT TO EXISTING. FIELD VERIFY LOCATION & MATERIAL OF EXISTING
--	---

1 ELECTRICAL SPECIFICATIONS
NO SCALE

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JGR

CANTERBURY VILLAGE

KANSAS

REMODEL

WINFIELD,



12-12-2022

REVISION:

DATE: 12-12-2022

JOB: 22-3266

SHEET NO.:

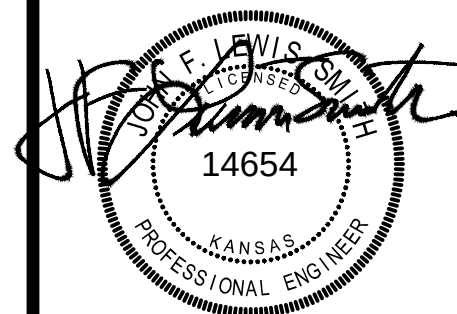
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- ## **ELECTRICAL PLAN NOTES BY SYMBOL**
1. PORCELAIN LAMP BASE WITH PULL CHAIN, REPLACE AS NEEDED IF NOT IN GOOD WORKING ORDER. FIELD VERIFY LOCATION AND CONDITION.
 2. LIGHT SWITCH TO BE REMOVED FROM WALL BEING DEMOLISHED AND RELOCATED, RECONNECT TO EXISTING CIRCUITRY.
 3. RECEPTACLE TO BE REMOVED FROM WALL BEING DEMOLISHED AND RELOCATED, RECONNECT TO EXISTING CIRCUITRY.
 4. NOT USED.
 5. CONNECT TO EXISTING CIRCUIT PREVIOUSLY SERVING AREA.
 6. REPLACE EXISTING FIXTURE, ROUGH-IN AND EXISTING CIRCUITRY TO BE RE-USED.
 7. EXHAUST FAN TO BE REPLACED. CONNECT EXISTING CIRCUITRY TO NEW FAN PROVIDED BY M.C., MODIFY CIRCUITRY AS REQUIRED. COORDINATE WITH M.C.
 8. CONNECT EXHAUST FAN PROVIDED BY MECHANICAL CONTRACTOR.
 9. SWITCH CLOSEST TO THE DOOR SHALL CONTROL ALL LIGHTS IN BATHROOM AND OTHER SWITCH SHALL CONTROL THE EXHAUST FAN.
 10. CONNECT TO EXISTING UNSWITCHED 120V CIRCUIT.
 11. PROVIDE DOOR ANNUNCIATOR SYSTEM A/ HORN/STROBE DEVICE AND LOW VOLTAGE TRANSFORMER AT ALL ACCESSIBLE APARTMENTS AND APARTMENTS DESIGNATED HEARING-IMPAIRED. INSTALL HORN/STROBE APPLIANCE AT 80" AFF. INSTALL TRANSFORMER IN DOUBLE GANG JUNCTION BOX ABOVE HORN/STROBE WITH BLANK COVER PLATE AND PROVIDE LOW VOLTAGE CONTROL WIRING. REFER TO DETAIL 1 ON EG.1. PROVIDE ENGRAVED SIGN AT THE HORN/STROBE DEVICE TO READ "DOOR".
 12. PROVIDE PUSH BUTTON AT 48" AFF FOR ANNUNCIATOR SYSTEM AT ALL APARTMENTS DESIGNATED FOR HEARING-IMPAIRED. COORDINATE LOCATION OF UNITS WITH ARCH. SEE TO DETAIL 1 ON EG.1.
 13. PROVIDE NEW 120V CIRCUIT. ROUTE TO NEW 20A/1P BREAKER IN EXISTING UNIT PANEL, ROUTE (2)#12 AND #12 GROUND TO RECEPTABLES. FIELD VERIFY SIZE OF EXISTING KITCHEN RECEPTACLE BREAKER SIZE, RE-USE IF 20A/1P.
 14. PROVIDE 120V CONNECTION TO RANGE HOOD/MICROWAVE. STANDARD UNITS WILL HAVE MICROWAVE ABOVE RANGE. ACCESSIBLE UNITS WILL HAVE RANGE HOOD. COORDINATE EXACT ELECTRICAL ROUGH-IN REQUIREMENTS WITH EQUIPMENT PROVIDED. IF EQUIPMENT IS CORD AND PLUG, PROVIDE RECEPTACLE INSIDE CABINET ABOVE RANGE.
 15. PROVIDE SWITCH IN ACCESSIBLE UNITS FOR CONTROL OF RANGE HOOD.
 16. PROVIDE RECEPTACLE BEHIND RANGE FOR CONNECTION OF RANGE AND CONNECTION TO KITCHEN RECEPTACLE CIRCUIT. COORDINATE WITH PLACEMENT OF RECEPTACLE THE EQUIPMENT PROVIDED.
 17. PROVIDE CEILING MOUNTED SMOKE/CO DETECTORS. DETECTORS TO BE 120 VAC WITH BATTERY BACKUP AND SHALL BE INTERCONNECTED TO OTHERS IN THE SAME APARTMENT.
 18. PROVIDE SWITCHED SIMPLEX RECEPTACLE BELOW COUNTER FOR DISPOSAL OPERATION.
 19. PROVIDE SIMPLEX RECEPTACLE BELOW COUNTER FOR CORD AND PLUG CONNECTION OF DISHWASHER. PROVIDE CORD AND GROUNDING PLUG AS REQUIRED. RECEPTACLE SHALL BE LOCATED IN BAS CABINET ADJACENT TO DISHWASHER TO ALLOW ACCESS TO PLUG.
 20. PROVIDE NEW 120V CIRCUIT. ROUTE TO NEW 20A/1P BREAKER IN EXISTING UNIT PANEL, ROUTE (2)#12 AND #12 GROUND TO RECEPTACLE.
 21. PROVIDE CEILING MOUNTED SMOKE/CO DETECTORS WITH 177 CANDELA STROBE LIGHT IN HEARING-IMPAIRED APARTMENTS. DETECTORS TO BE 120 VAC WITH BATTERY BACKUP AND SHALL BE INTERCONNECTED TO OTHERS IN THE SAME APARTMENT. COORDINATE LOCATION OF HEARING-IMPAIRED UNITS WITH ARCH.
 22. PROVIDE STROBE LIGHT IN AT HEARING-IMPAIRED UNITS. STROBE SHALL BE 120 VAC WITH BATTERY BACKUP AND SHALL BE INTERCONNECTED TO SMOKE DETECTORS IN THE SAME APARTMENT. COORDINATE LOCATION OF HEARING-IMPAIRED UNITS WITH ARCH.





12-12-2022

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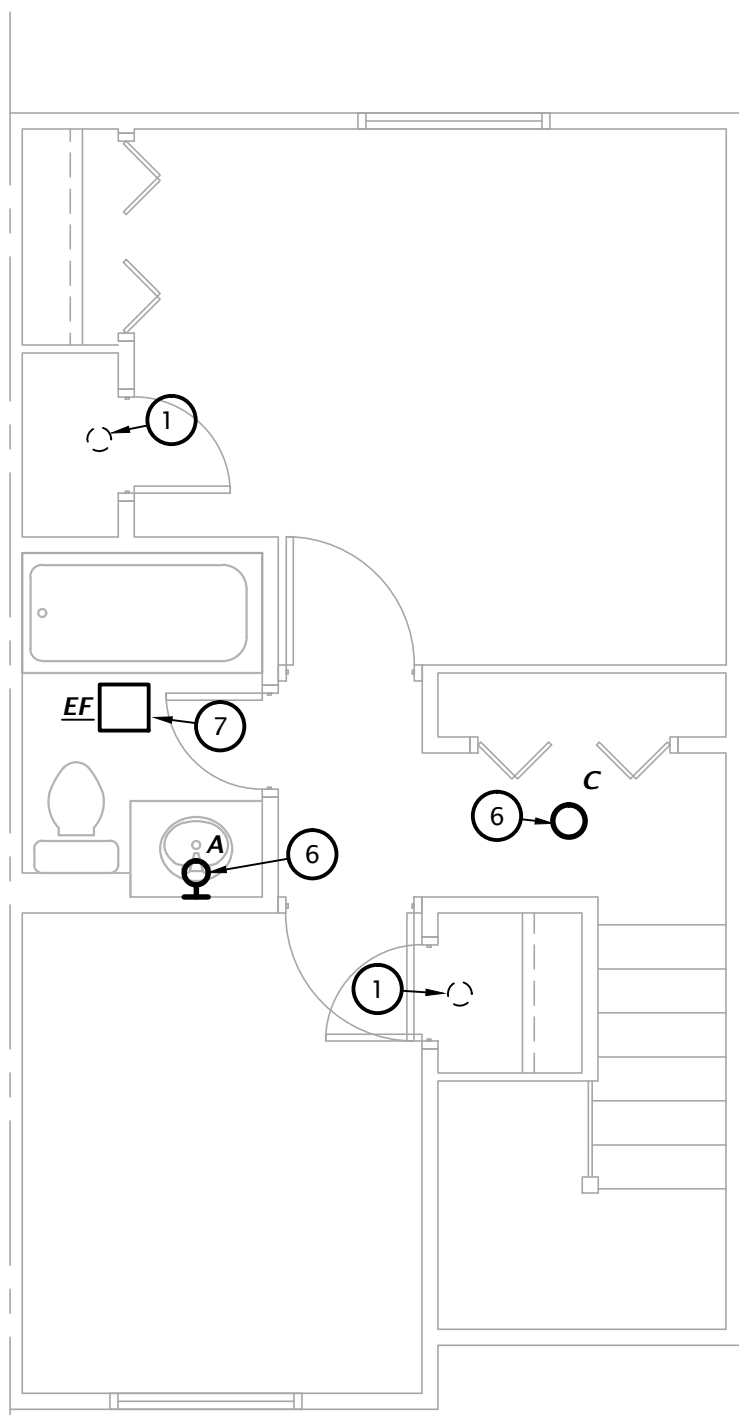
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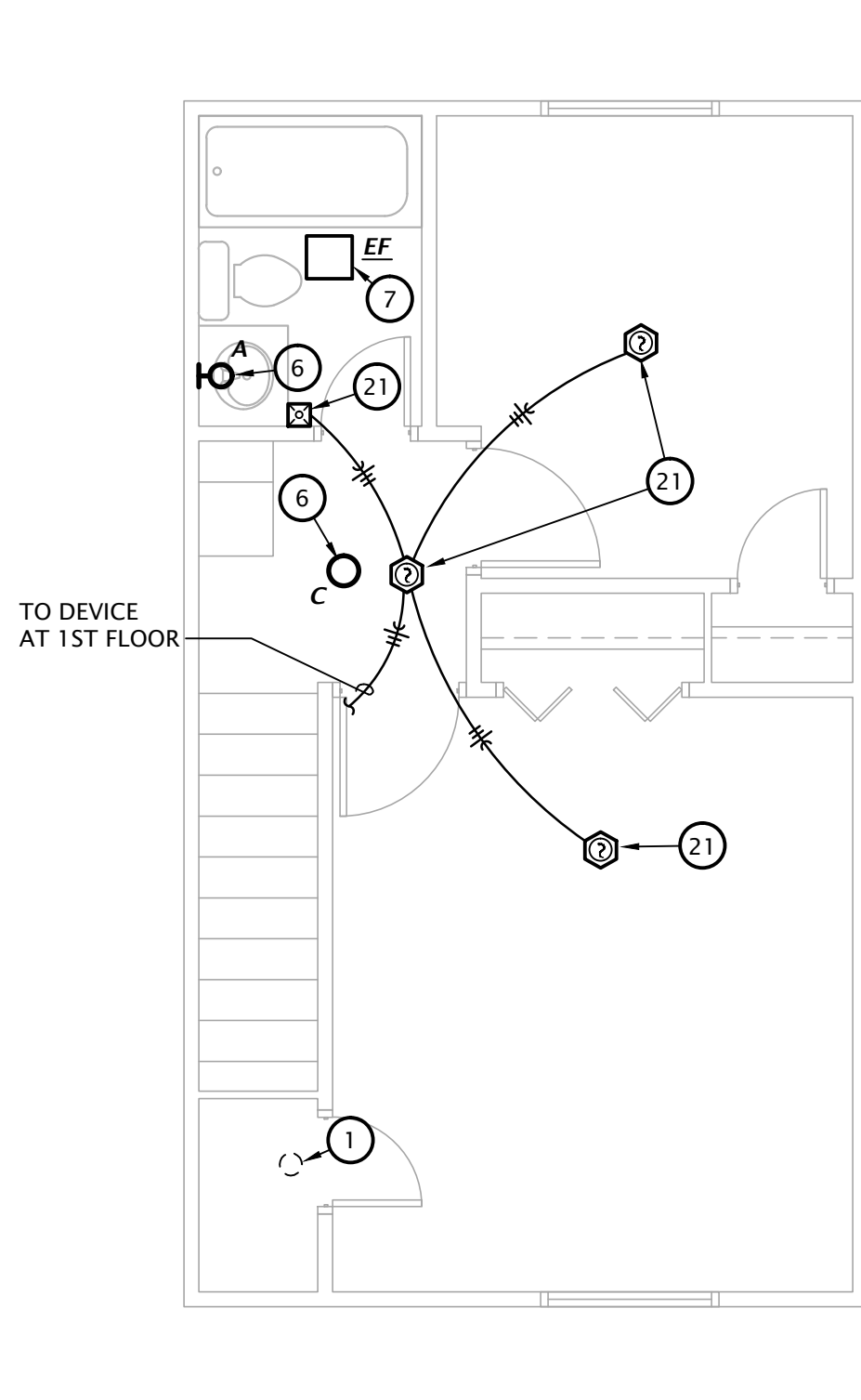
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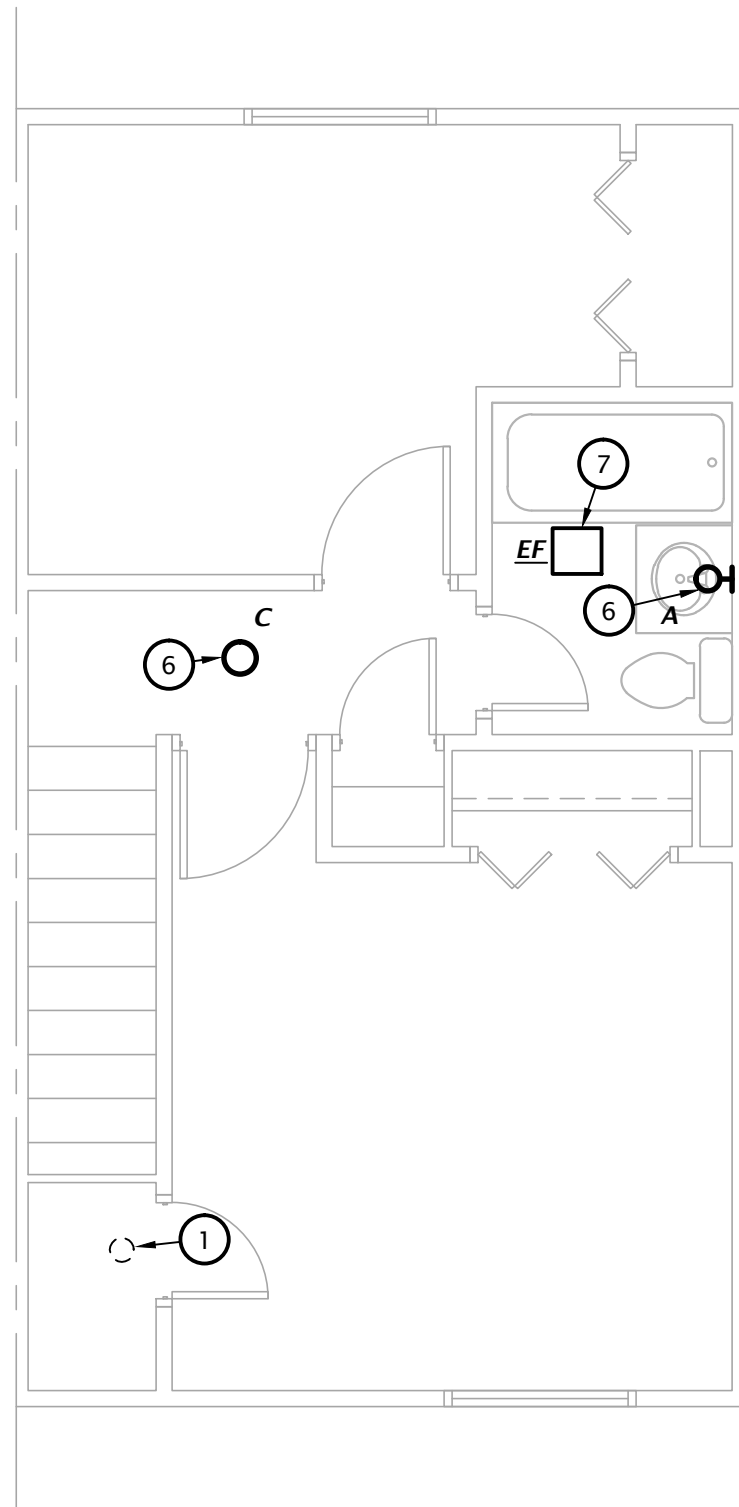
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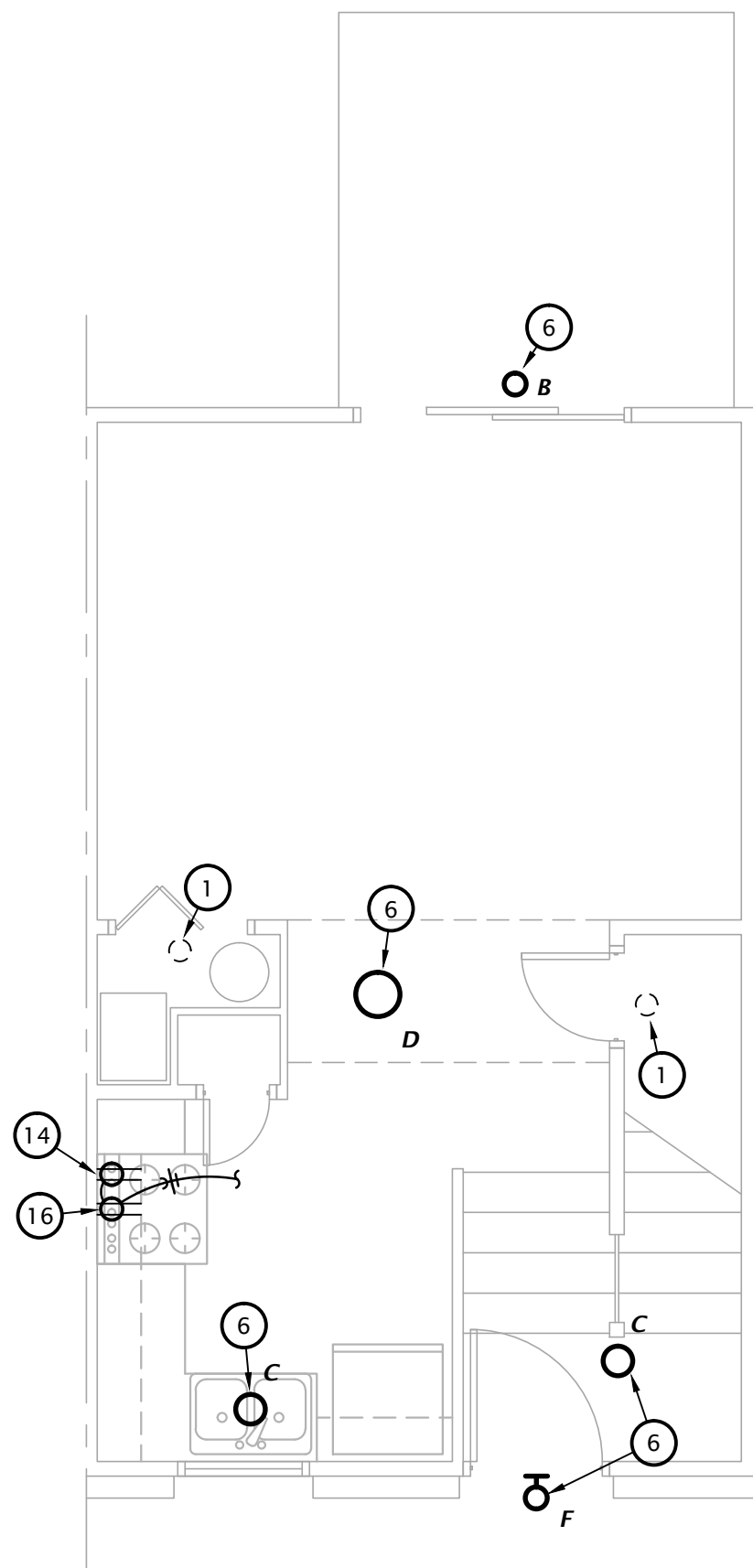
6 UNIT 2C 2ND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



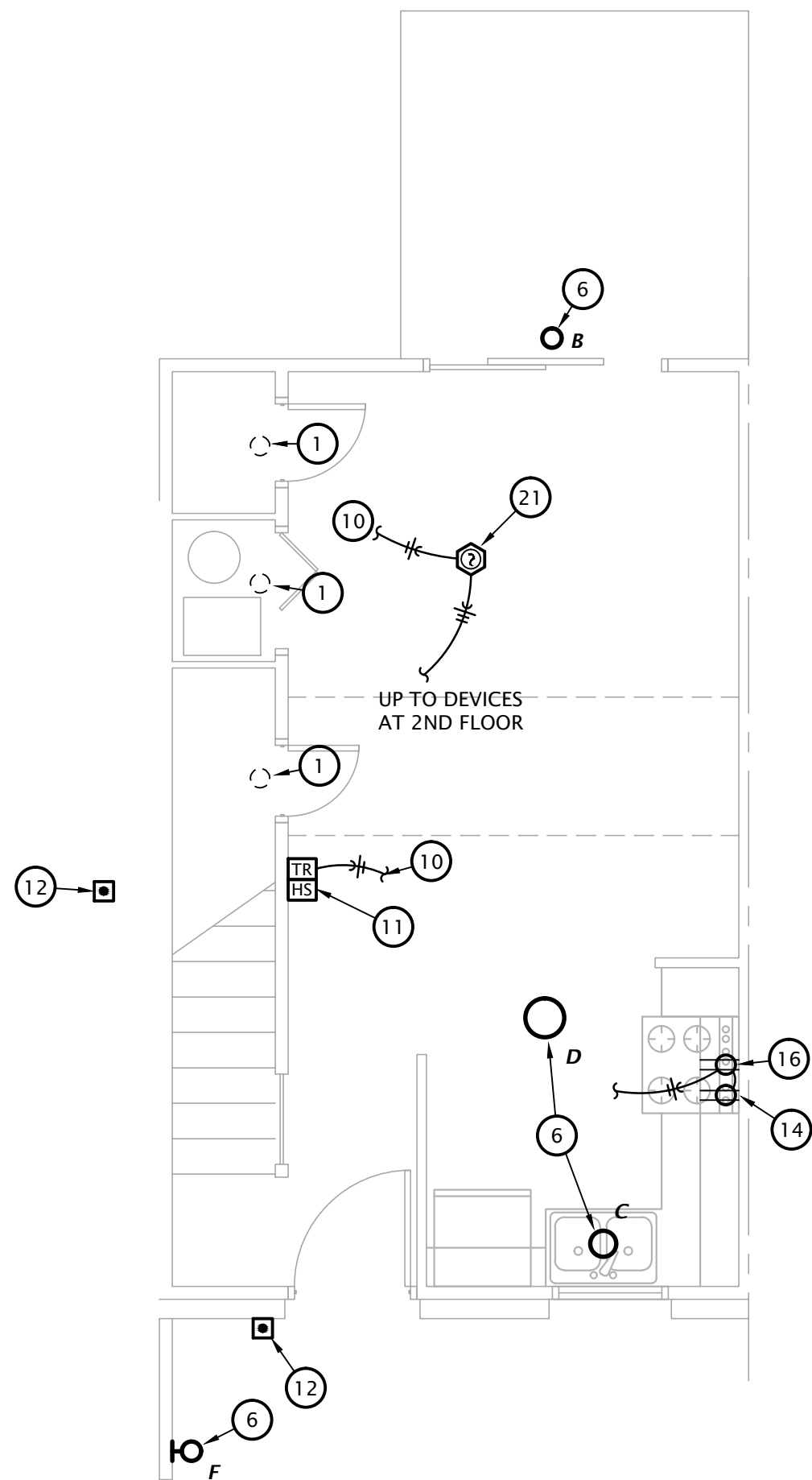
5 UNIT 2B 2ND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



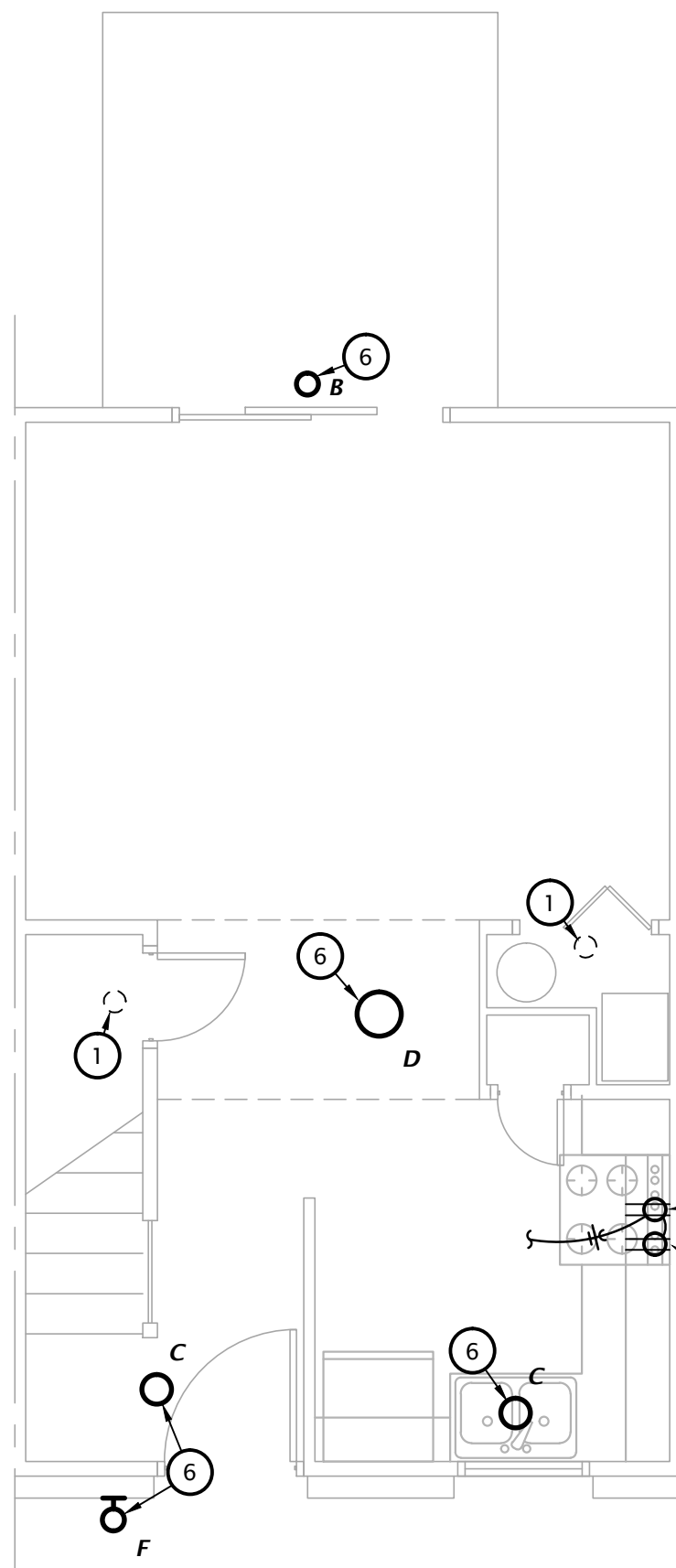
4 UNIT 2A 2ND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



3 UNIT 2C 1ST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



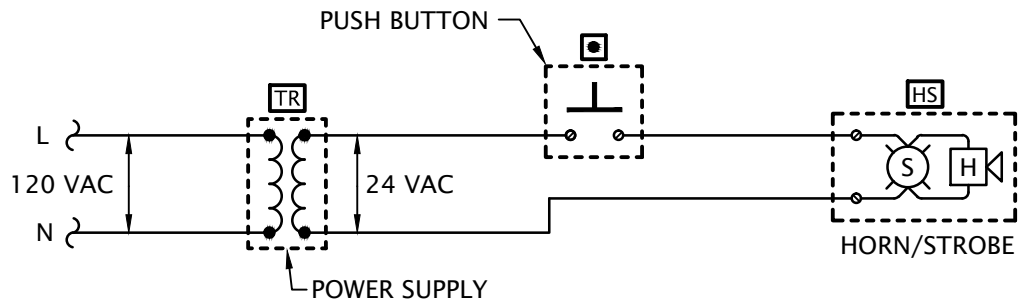
2 UNIT 2B 1ST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



1 UNIT 2A 1ST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

SEE SHEET E1.1 FOR NOTES BY SYMBOL

LIGHT FIXTURE SCHEDULE								
MARK	MANUFACTURER	MODEL NUMBER	LAMP / LED DATA		BALLAST/DRIVER	MOUNTING	FINISH	DESCRIPTION
			WATT/LUMENS	COLOR				
A	SEAGULL	4423003EN3-710	(3) 9.5W LED	3000°K	INTEGRAL DRIVER	WALL AT 7'-0"	BURNT SIENNA	3-LAMP LED VANITY LIGHT
B	ELCO	ELSP63CT5W	15W LED 900 LUMENS	3000°K	INTEGRAL DRIVER	SURFACE	WHITE	6" ROUND FLUSH MOUNT DOWNLIGHT
C	ELCO	ELSP83CT3W	18W LED 1200 LUMENS	3000°K	INTEGRAL DRIVER	SURFACE	WHITE	8" ROUND FLUSH MOUNT DOWNLIGHT
D	ELCO	ELSP12CT3W	22W LED 1500 LUMENS	3000°K	INTEGRAL DRIVER	SURFACE	WHITE	12" ROUND FLUSH MOUNT DOWNLIGHT
F	WAVE	S75VC-LR12-C-BK	13W LED 1000 LUMENS	4000°K	INTEGRAL DRIVER	WALL	BLACK	WALL MOUNT EXTERIOR LIGHT
H	ELCO	ELSP1248CT3W	40W LED 4000 LUMENS	3000°K	INTEGRAL DRIVER	SURFACE	WHITE	1'x4' EDGE-LIT LED FLAT PANEL
GENERAL: All interior LED fixtures shall be 3000°K corrected color temperature, min. 80 CRI. All exterior LED fixtures shall be 4000°K corrected color temperature, min. 70 CRI , and shall be fully downcast. All light fixtures shall be provided with universal drivers capable of operating at 120V or 208V UNO. All LED fixtures shall adhere to LM79 and LM80 standards. All apartment light fixtures shall be Energy Star certified.								



- DOOR ALARM BUZZER SYSTEM NOTES
1. PROVIDE DOOR ANNUNCIATOR SYSTEM COMPLETE WITH PUSH BUTTON, HORN/STROBE(S), POWER SUPPLIES AND ALL WIRING REQUIRED. HORN/STROBE SHALL ACTIVATE WHEN PUSH BUTTON IS DEPRESSED.
 2. HORN/STROBE SHALL OPERATE AT 24VAC, HAVE A CLEAR LENS WITH 50cd STROBE AND HORN WITH 82dB AT 10', UL 1638 LISTED, EDWARDS #6536-G5. FLUSH MOUNT IN WALL AT 6'-8" AFF.
 3. PUSH BUTTON SHALL BE WHITE WITH CHROME RIM, NON-ILLUMINATED, WITH N.O. MOMENTARY CONTACTS, RATED FOR 0.67 AMPS AT 24VAC, EDWARDS #620. PROVIDE WITH STAINLESS STEEL COVER PLATE, EDWARDS #147-10. MOUNT AT 48" AFF.
 4. POWER SUPPLY SHALL BE A LOW VOLTAGE CLASS 2 TRANSFORMER WITH 120VAC PRIMARY AND 24VAC SECONDARY, 20VA, EDWARDS #598. FLUSH MOUNT IN 2-GANG WALL BOX WITH BLANK COVER PLATE, DIRECTLY ABOVE HORN/STROBE.
 5. LOW VOLTAGE CLASS 2 CABLING SHALL BE MINIMUM 18 AWG UNSHIELDED.

1 APARTMENT DOOR ANNUNCIATOR DIAGRAM
No Scale