

THE RESERVES at EAGLE POINT

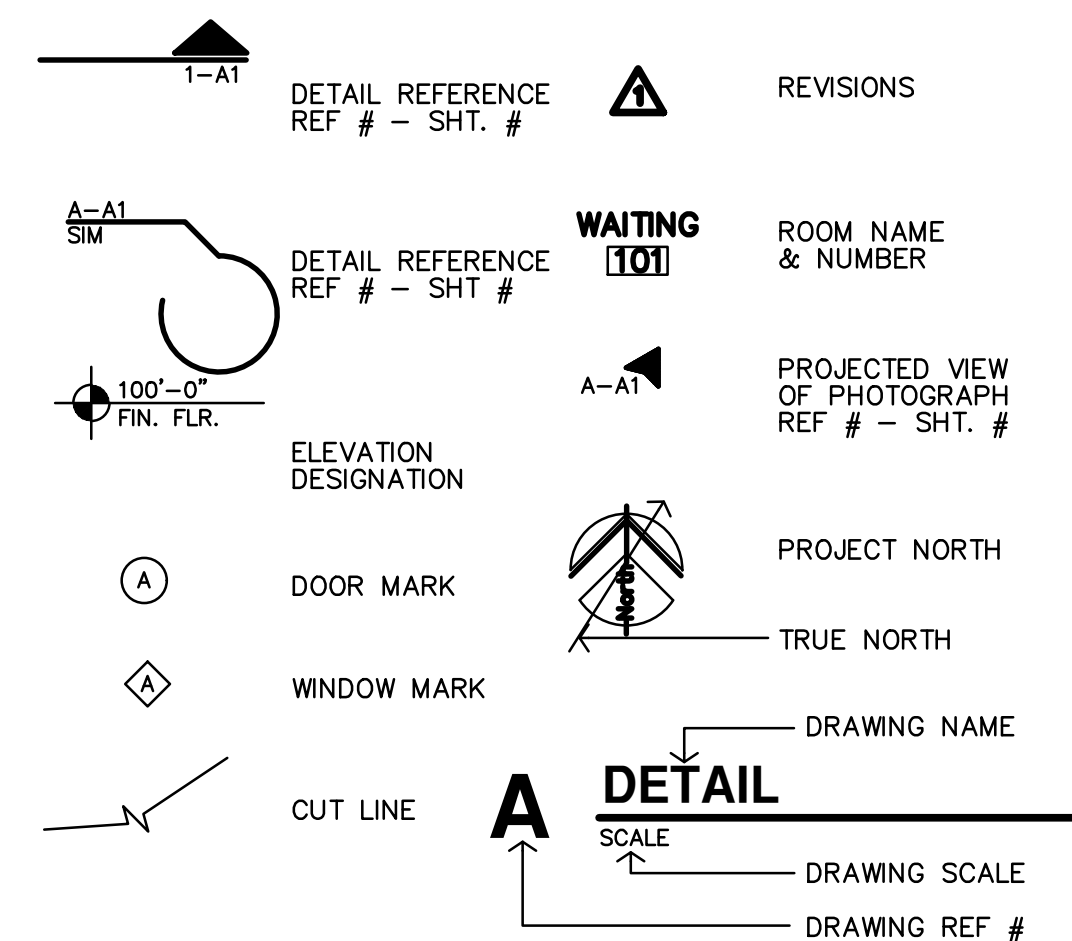
365 NORTH PICADILLY RD - BUILDING A

AURORA,

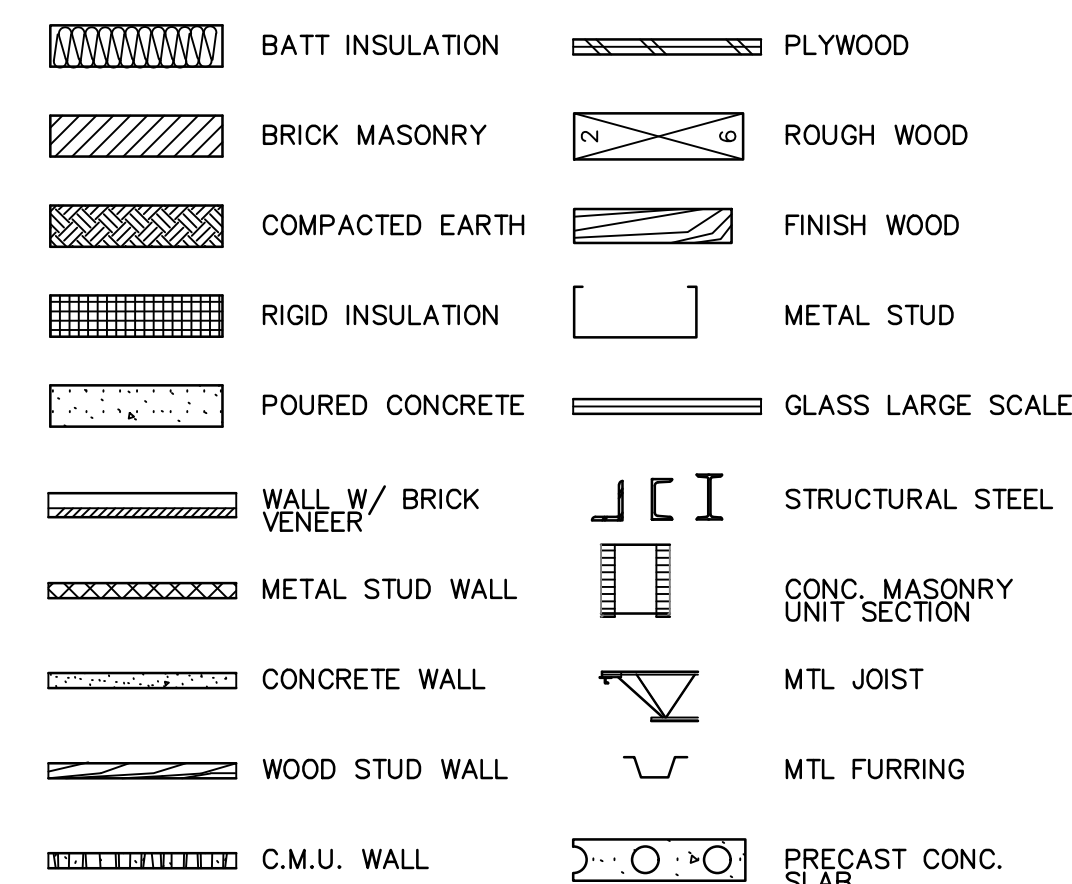
22-3219

COLORADO

REFERENCE LEGEND



MATERIAL LEGEND



ABBREVIATIONS

&	AND	Cntr.	Center	Exp.	Expansion	Hr.	Hour	N.I.C.	North	Reinf.	Reinforced	Temp.	Tempered
@	Angle	Col.	Column	Ext.	Exterior	Hgt.	Height	N.I.C.	Not In Contract	Req'd	Required	T.&G.	Tongue & Groove
∅	Centerline	Conc.	Concrete	F.A.	Fire Alarm	I.D.	Inside Diameter	No. or #	Number	Resil.	Resilient	Thk.	Thick
Ø	Diameter or Round	C.T.	Ceramic Tile	F.D.	Fire Alarm	Insul.	Insulation	Nom.	Nominal	Rm.	Room	I.O.M.	Top Of Masonry
#	Pound or Number	CMU	Concrete Masonry Unit	Fdn.	Foundation	Int.	Interior	N.T.S.	Not To Scale	R.O.	Rough Opening	T.O.S.	Top Of Steel
Acous.	Acoustical	Det.	Detail	F.F.	Finish	Jan	Janitor	O/	On or Over	S.	South	T.P.	Top Of Pavement
Adj.	Adjustable	D.F.	Drinking Fountain	F.F.C.	Fire Extinguisher	Jt.	Joint	Obs.	Obscure	S.B.	Splash Block	T.P.D.	Toilet Paper Dispenser
A.F.F.	Above Finished Floor	Dia.	Diameter	Fin.	Finish	Kit.	Kitchen	O.C.	On Center	S.C.	Solid Core	T.V.	Television
Aggr.	Aggregate	Dia.	Diameter	Fl.	Flashing	Lab.	Laboratory	Off.	Office	S.D.	Soap Dispenser	T.V.	Top Of Steel
Al.	Aluminum	Dim.	Dimension	Flt.	Flow line	Lam.	Laminate	Opp.	Opposite	Sect.	Section	T.P.	Top Of Pavement
Arch.	Architect or Architectural	Dr.	Door	Ft.	Foot or feet	Lav.	Lavatory	Opng.	Opening	Shr.	Shower	Trd.	Tread
Asb.	Asbestos	Dr.	Door	Ftg.	Footing	Lckr.	Locker	Opp.	Opposite	Sht.	Sheet	U.O.N.	Unless Otherwise Noted
Asph.	Asphalt	Dwg.	Drawing	Furr.	Furring	Lt.	Light	P.	Paint	Sim.	Similar	Ur.	Urinal
A.V.	Audio Visual	Dwr.	Drawer	Future	Future	Lt.	Light	Pi.	Plate	S.N.D.	Sanitary Napkin Disp.	V.C.T.	Vinyl Composition Tile
Bd.	Board	(E)	Existing	Ga.	Gauge	Max.	Maximum	Pi.Lam.	Plastic Laminate	S.N.R.	Sanitary Napkin Recep.	V.T.	Vapor Barrier
Bitum.	Bituminous	Ea.	Each	Galv.	Galvanized	M.C.	Maximum	Plas.	Plaster	Spec.	Specification	Vert.	Vertical
Bldg.	Building	Ea.	Each	G.B.	Grab Bar	Mech.	Mechanical	Plywd.	Plywood	S.S.	Stainless Steel	Vest.	Vestibule
Bk.	Block	Exp.	Expansion Joint	Gl.	Glass	Memb.	Membrane	Pt.	Point	Std.	Standard	Vy.	Vinyl
Bk'g.	Blocking	E.J.	Expansion Joint	Gr.	Grade	Met.	Metal	P.T.D.	Paper Towel Dispenser	Stl.	Steel	W.	West
Bm.	Beam	Elev.	Elevation	Gyp.	Gypsum	Mfr.	Manufacturer	Ptn.	Partition	Susp.	Suspended	w/o	Without
Bot.	Bottom	Eq.	Equipment	H.B.	Hose Bibb	Mn.	Minimum	P.T.R.	Paper Towel Receptacle	S.V.	Sheet Vinyl	W.C.	Wall Covering
Bot. BY OWNER	Bottom BY OWNER	Eq.	Equipment	H.C.	Hollow Core	Misc.	Miscellaneous	Q.T.	Quarry Tile	Sym.	Symmetrical	Wd.	Wood
Brg.	Bearing	Equip.	Equipment	Hwd.	Hardware	Misc.	Miscellaneous	R.	Riser	Tex.	Texture	Wp.	Waterproof
Brk.	Brick	E.W.	Each Way	H.M.	Hollow Metal	M.O.	Masonry Opening	Rad.	Radius	T.B.	Towel Bar	Wdw.	Window
Cab.	Cabinet	Exist.	Existing	Horiz.	Horizontal	Mtd.	Mounted	R.D.	Roof Drain	T.Bd.	Tack Board	Wscst.	Wainscot
Cig.	Ceiling	Expo.	Exposed					Ref.	Reference			Wt.	Weight
Cir.	Clear												



730 N. Ninth St. 1881 Main St, Ste 301
 Salina, KS 67401 Kansas City, MO 64108
 785.827.0386 jgr@jgrarchitects.com

CONSULTANTS

Civil Engineer ;



541 E. Garden Drive, Unit N
 Winsor, CO 80550
 970.663.4552
 ridgetopeng.com

Mechanical & Electrical Engineer ;



LST Consulting Engineers, PA
 4809 Vue Du Lac Place, Suite 301
 Manhattan, KS 66503
 785.587.8042; FAX 785.587.8039
 mail@LSTengineers.com

Structural Engineer ;



Bob D. Campbell & Co., Inc.
 4338 Belleview
 Kansas City, MO 64111
 816.531.4144; FAX 816.531.8572
 info@bdc-engrs.com

SHEET INDEX

GENERAL

- COVER & SHEET INDEX
- CPFI CODE FOOTPRINT
- ADA ADA DIAGRAMS
- ICC 1 ICC A117.1-2017 DETAILS AND SECTIONS
- ICC 2 ICC A117.1-2017 DETAILS AND SECTIONS
- ICC 3 ICC A117.1-2017 DETAILS AND SECTIONS
- FH1 FAIR HOUSING
- FH2 FAIR HOUSING
- FH3 FAIR HOUSING
- EN1 RESCHECK REPORTS
- EN2 RESCHECK REPORTS
- EN3 COMCHECK REPORTS
- EN4 COMCHECK REPORTS

ARCHITECTURAL

- A1.1 SITE PLAN
- A1.2 BUILDING ADDRESSING PLAN
- A1.3 ENLARGED SITE PLANS AND DETAILS
- A1.4 TRASH ENCLOSURE PLANS AND SECTIONS
- A2.0 APARTMENT GENERAL NOTES, SCHEDULES & DETAILS
- A2.1 STANDARD/TYPE-B APARTMENTS FLOOR PLANS
- A2.2 STANDARD/TYPE-B ENLARGED BATH PLANS
- A2.3 STANDARD/TYPE-B INTERIOR & CASEWORK ELEVATIONS
- A2.4 ACCESSIBLE/TYPE-A APARTMENTS FLOOR PLANS
- A2.5 ACCESSIBLE/TYPE-A ENLARGED BATH PLANS
- A2.6 ACCESSIBLE/TYPE-A INTERIOR & CASEWORK ELEVATIONS
- A2.7 ACCESSIBLE ROLL-IN SHOWER APARTMENTS FLOOR PLANS & ENLARGED BATH PLANS
- A2.8 ACCESSIBLE ROLL-IN SHOWER INTERIOR & CASEWORK ELEVATIONS
- A2.9 REFLECTED CEILING PLANS, TYPICAL ALL UNITS
- A2.10 APARTMENT BUILDING GENERAL NOTES, SCHEDULES & DETAILS
- A2.11 APARTMENT BUILDING A (TYPE 4) FIRST, SECOND & THIRD FLOOR PLANS
- A3.2 APARTMENT BUILDINGS A/B/C/F (TYPE 4) EXTERIOR ELEVATIONS
- A4.1 WALL SECTIONS
- A4.2 WALL SECTIONS
- A4.3 WALL SECTIONS
- A4.4 ENTRY WALL SECTIONS AND DETAILS
- A4.5 DETAILS
- A4.6 DETAILS
- A4.7 FIRE PENETRATION DETAILS
- A4.8 MANUFACTURER HARDIE LAP SIDING INSTALLATION DETAILS
- A4.9 MANUFACTURER HARDIE PANEL SIDING INSTALLATION DETAILS
- A4.10 MANUFACTURER HARDIE REVEAL PANEL SIDING INSTALLATION DETAILS
- A4.11 MANUFACTURER STONE INSTALLATION DETAILS
- A4.12 MANUFACTURER STONE INSTALLATION DETAILS
- A4.13 ENERGY FRAMING & AIR FILTRATION DETAILS
- AS.1 BUILDINGS D/E/G/H (TYPE 1) & BUILDINGS A/B/C/F (TYPE 4) ROOF PLANS
- AS.2 DETAILS & STAIR DETAILS
- A6.1 STAIR SECTION & ENLARGED PLANS

STRUCTURAL

- S1.0 GENERAL NOTES
- S1.1 SCHEDULES & DETAILS
- S1.2 SCHEDULES & DETAILS
- S2.0 FOUNDATION FRAMING PLAN
- S2.1 SECOND FLOOR FRAMING PLAN
- S2.2 THIRD FLOOR FRAMING PLAN
- S2.3 ROOF FRAMING PLAN
- S2.4 SHEARWALL PLAN
- S3.1 DETAILS
- S3.2 DETAILS
- S3.3 DETAILS

MECHANICAL

- ME1.0 M/E SITE PLAN
- ME1.1 FIRST FLOOR M/E PLAN
- M4.1 FIRST FLOOR UNIT HVAC PLANS
- M4.2 SECOND FLOOR UNIT HVAC PLANS
- M4.3 THIRD FLOOR UNIT HVAC PLANS
- M6.1 HVAC SCHEDULES & DETAILS
- P1.1 BUILDING WASTE & VENT PLANS
- P1.2 BUILDING WASTE & VENT PLANS
- P4.1 UNIT DOMESTIC WATER PLANS
- P4.2 UNIT DOMESTIC WATER PLANS
- PS.1 WASTE & VENT ISOMETRIC DIAGRAMS
- PS.2 DOMESTIC WATER RISER DIAGRAMS
- PE.1 PLUMBING SCHEDULES & DETAILS

ELECTRICAL

- E4.1 UNIT POWER PLANS
- E4.2 UNIT POWER PLANS
- ES.1 FIXTURE SCHEDULES & DETAILS
- E6.2 SCHEDULES
- E6.3 SCHEDULES
- E6.4 SCHEDULES & CALCULATIONS
- E6.5 ELECTRICAL RISER DIAGRAM



City of Aurora Building Division
 Project: Multifamily Building
 Address: 365 N Picadilly Rd
 Occupancy Group: R2
 Construction Type: VB-Spk
 RSN: 1762321
 Permit: 23-2396735-CM

Code violations that are found during inspection are required to be corrected. Permit issuance does not grant approval of a code violation.

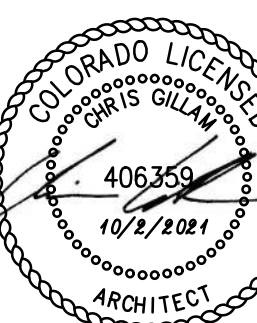
SEPARATE FIRE ALARM PERMIT REQUIRED:
 Due to the proposed work the general contractor is required to obtain the services of a fire alarm contractor to determine if a separate alarm permit is required. If it is determined that the spacing of the fire alarm devices is not in compliance, then a separate fire alarm permit is required. Approval of the documents is required prior to system installation or any request for inspection. A certificate of occupancy or final approval cannot be issued by the Building Division without this fire protection system. 2015 IFC, Section 105.7.6.

SEPARATE FIRE SPRINKLER PERMIT REQUIRED:
 Due to the proposed work the general contractor is required to obtain the services of a fire sprinkler contractor to determine if a separate sprinkler permit is required. If it is determined that the spacing of the fire sprinkler heads is not in compliance, then a separate fire sprinkler permit is required. Approval of the documents is required prior to system installation or any request for inspection. A Certificate of Occupancy or final approval cannot be issued by the Building Division without this fire protection system. 2021 IFC, Section 105.5.1

Reviewed for Certificate of Occupancy. These documents DO provide sufficient information for Final Inspections to be requested from all required city departments. ALL Final city inspections must be completed and approved.

Emergency Responder Radio Coverage: All New Commercial Buildings that exceed 5,000 sq. ft. and any additions to Existing Buildings (when structural changes occur including additions or removals that could materially change the original fire performance), shall have approved radio coverage for emergency responders within the building. This building must be assessed to determine adequate in-building radio coverage at the time of final frame and electrical inspection by a qualified 3rd party inspection service at the owner's developer's expense. Lack of adequate in-building radio coverage may delay the issuance of a Certificate of Occupancy. Where the structure is found deficient a separate permit is required to install, repair or modify any Emergency Response Radio Coverage system. Per 2021 IFC, Section 510.

PERMIT SET 10-2-2023



REVISION:

DATE: 10-2-2023

JOB: 22-3219

SHEET NO.:

PROJECT INFORMATION

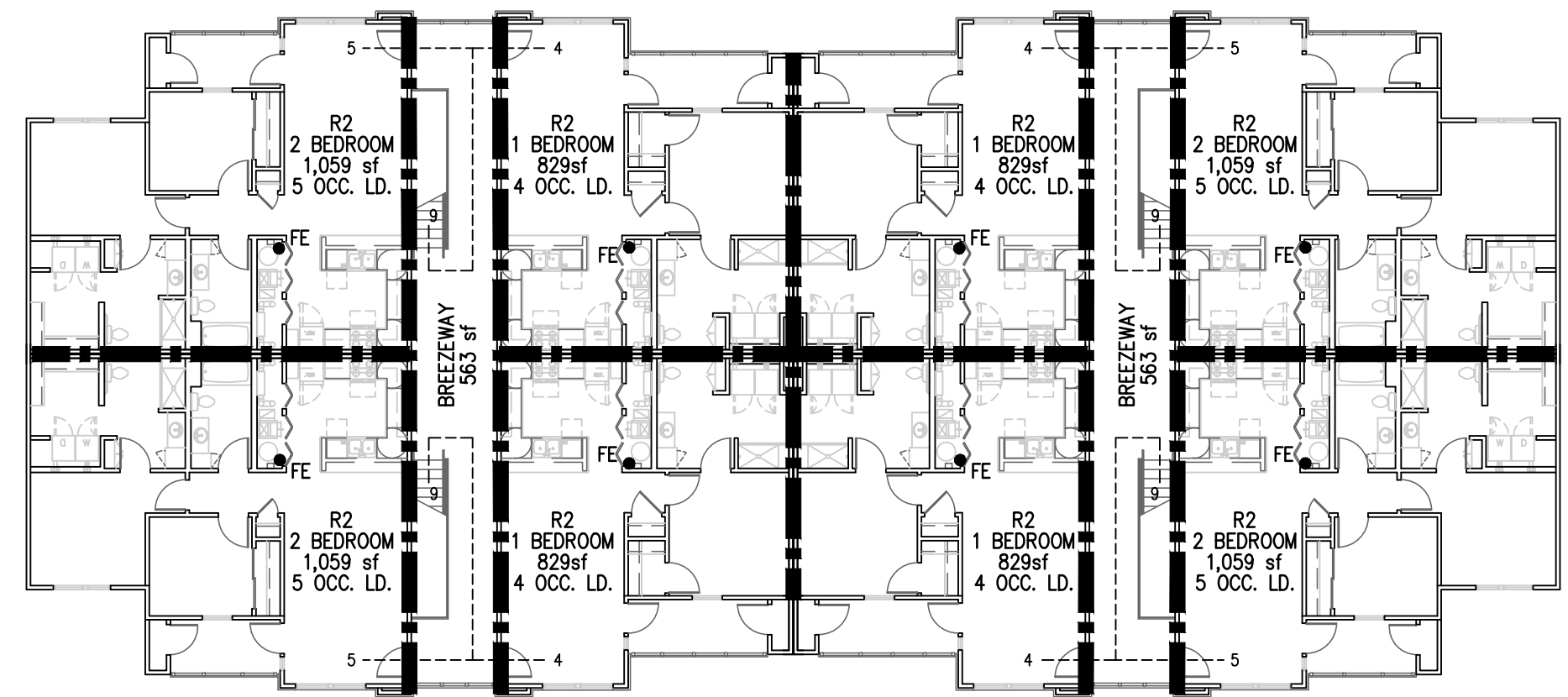
TYPE OF CONSTRUCTION	NEW CONSTRUCTION
FACILITY NAME	THE RESERVES at EAGLE POINT
FACILITY ADDRESS	AURORA, COLORADO
COUNTY	DOUGLAS
LOCAL FIRE DEPARTMENT	CITY OF AURORA
WATER SUPPLY	CITY OF AURORA
LOCAL BUILDING INSPECTION DEPARTMENT	CITY OF AURORA
ARCHITECT	JONES GILLAM RENZ ARCHITECTS 730 N. NINTH ST., SALINA, KS 67401
CODES/REGULATIONS	2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2020 NATIONAL ELECTRICAL CODE 2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE 2017 ICC/ANSI A117.1 2010 ADA STANDARDS for ACCESSIBLE DESIGN

LEGEND

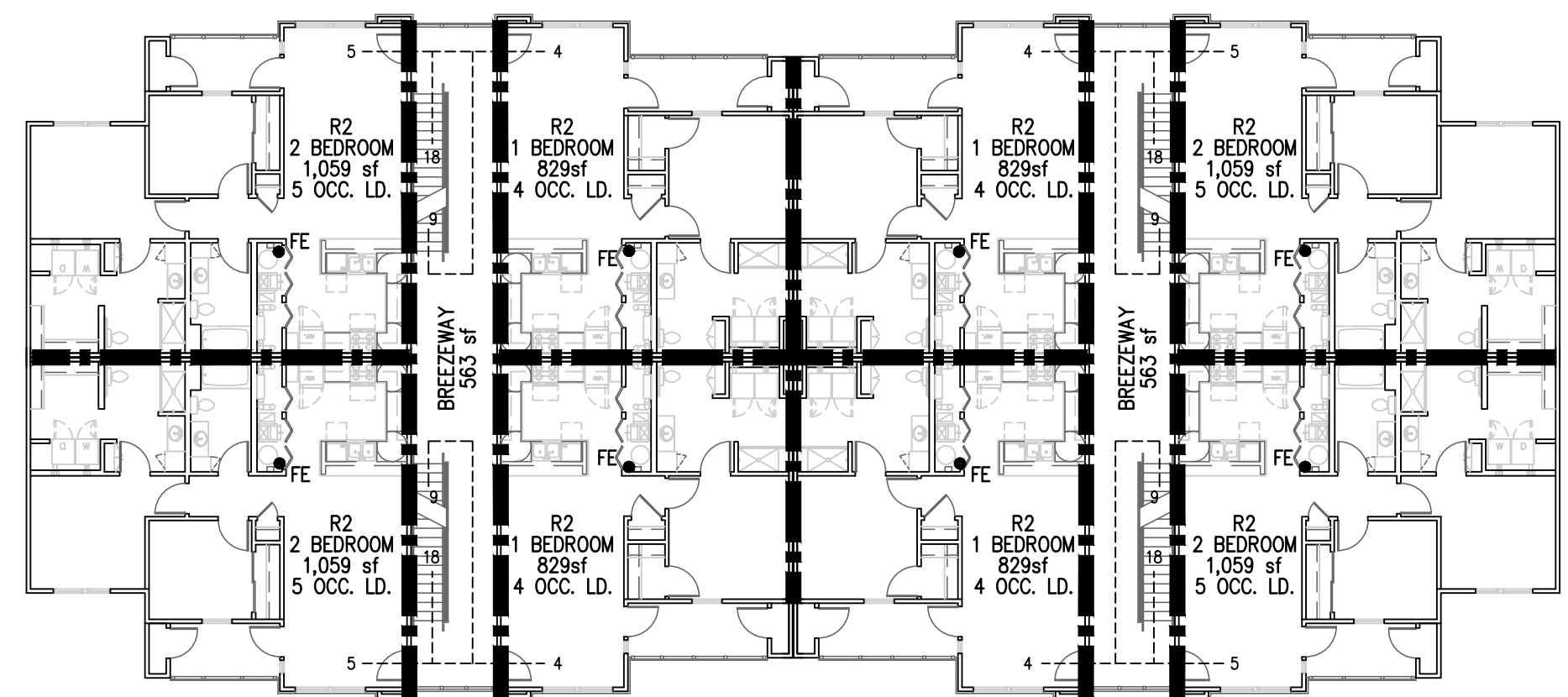
DESIGNATED EMERGENCY EXIT	68/74.4' — EXIT WIDTH (ACTUAL/REQUIRED) 122/340' — OCCUPANT LOAD (ACTUAL/ALLOWED)
0 HOUR CONSTRUCTION	---
FIRE PARTITION/UNIT SEPARATION:	1 HOUR CONSTRUCTION W/ 45 MIN PROTECTED OPENINGS
EMERGENCY LIGHT	EL
FIRE EXTINGUISHER	FE
FIRE HYDRANT	FH

APARTMENT BUILDINGS CODE INFORMATION

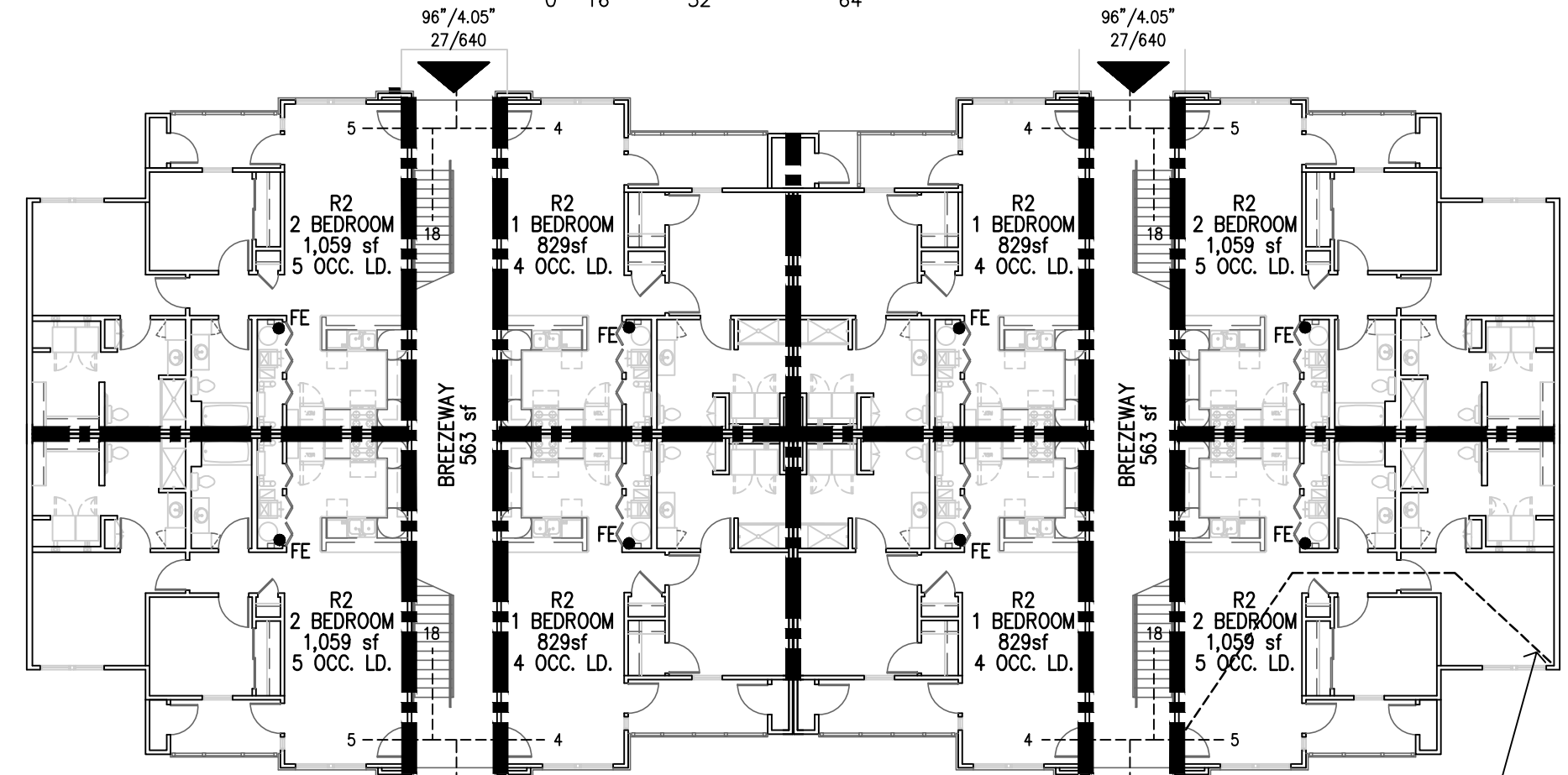
OCCUPANCY GROUPS:	R2 APARTMENTS	FIRE RESISTANCE RATING FOR BUILDING ELEMENTS	V-B
BUILDINGS:	A/B/C/D/E/F/G/H	STRUCTURAL FRAME:	0 HOUR
CONSTRUCTION TYPE:	V-B	INTERIOR BEARING WALLS:	0 HOUR
BASIC ALLOWABLE AREA:	R2 7,000 SF	INTERIOR NON-BEARING WALLS:	0 HOUR
		EXTERIOR BEARING WALLS:	0 HOUR
		EXTERIOR NON-BEARING WALLS:	0 HOUR
		FLOOR/CEILING:	1 HOUR
		CEILING/ROOF:	1 HOUR
		SHAFT ENCLOSURES:	1 HOUR
BUILDINGS A/B/C/F Type 4		SPECIAL CONDITIONS:	
ALLOWABLE AREA INCREASE:		EXIT & EMERGENCY LIGHTING	
BASE ALLOWABLE	7,000 SF	PORTABLE FIRE EXTINGUISHERS	
FRONTAGE AREA INCREASE (42%)	2,940 SF	FIRE ALARM REQUIREMENTS:	
ALLOWABLE AREA (PER FLOOR)	9,940 SF	SPRINKLER MONITOR (REF ELECTRICAL SHEETS)	
ALLOWABLE AREA (PER BLDG)	29,820 SF	AUTOMATIC FIRE SUPPRESSION SYSTEM:	
		REQUIRED PER NFPA 13R	
ACTUAL BUILDING AREA:		EMERGENCY POWER SOURCE:	
FIRST FLOOR	8,791 SF	NOT REQUIRED	
SECOND FLOOR	8,791 SF	HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1))	
THIRD FLOOR	8,791 SF	NONE	
TOTAL ACTUAL BUILDING AREA	26,373 SF	SMOKE PARTITIONS: SMOKE CONTROL: STANDPIPES:	
		NOT REQUIRED NOT REQUIRED NOT REQUIRED	
		TOTAL OCCUPANT LOAD:	
		132 (TYPE 1)	
		108 (TYPE 4)	
		EXITING: REFERENCE PLANS	
		OCCUPANT LOAD FACTORS:	
		OCCUPANCY USE LOAD FACTOR OCCS= 2-EXITS	
		R2 APARTMENTS 200 sf/OCCUPANT 10	



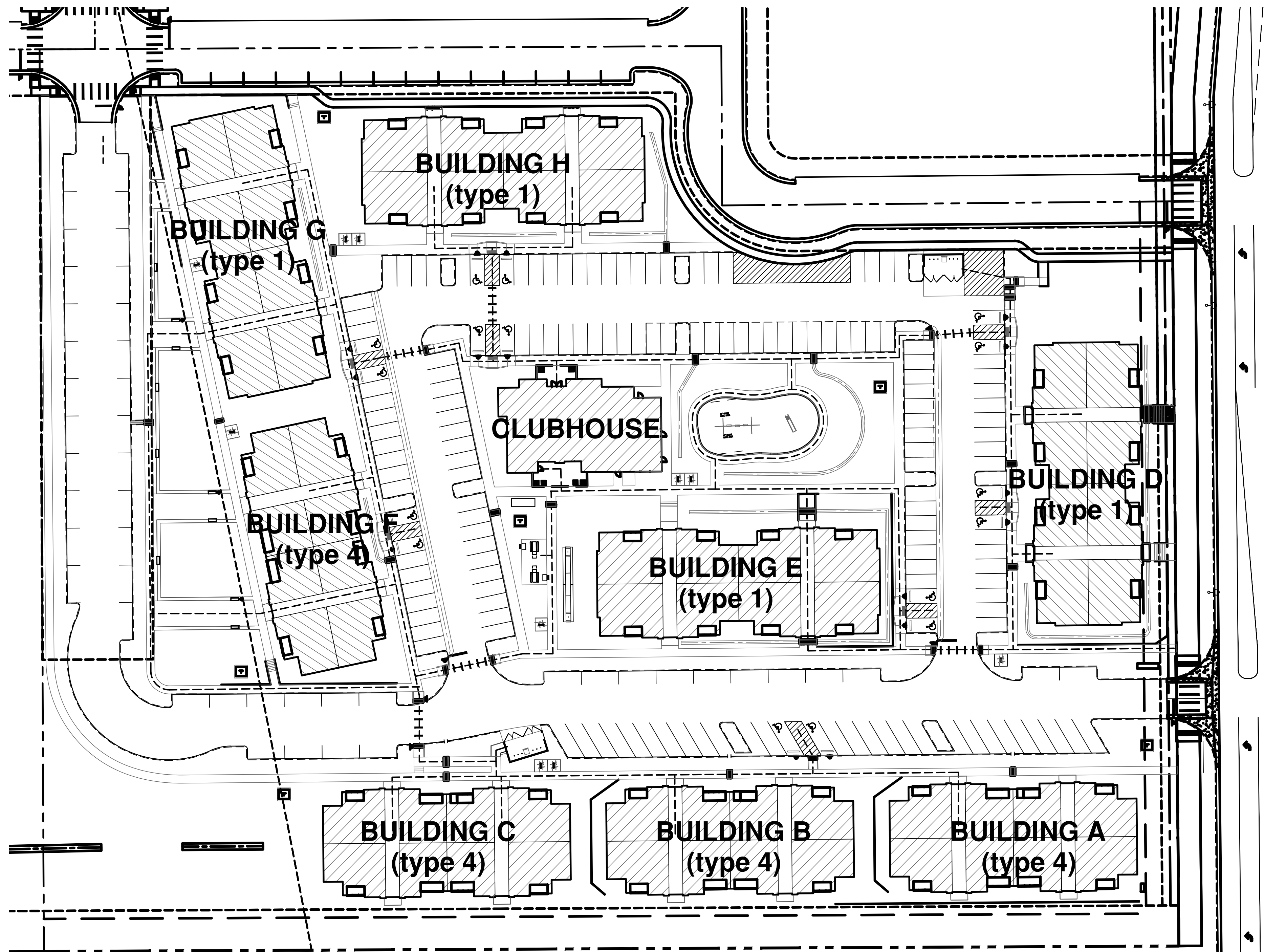
APARTMENT BUILDINGS A/B/C/F (TYPE 4) THIRD FLOOR PLAN



APARTMENT BUILDINGS A/B/C/F (TYPE 4) SECOND FLOOR PLAN



APARTMENT BUILDINGS A/B/C/F (TYPE 4) FIRST FLOOR PLAN



A SITE PLAN

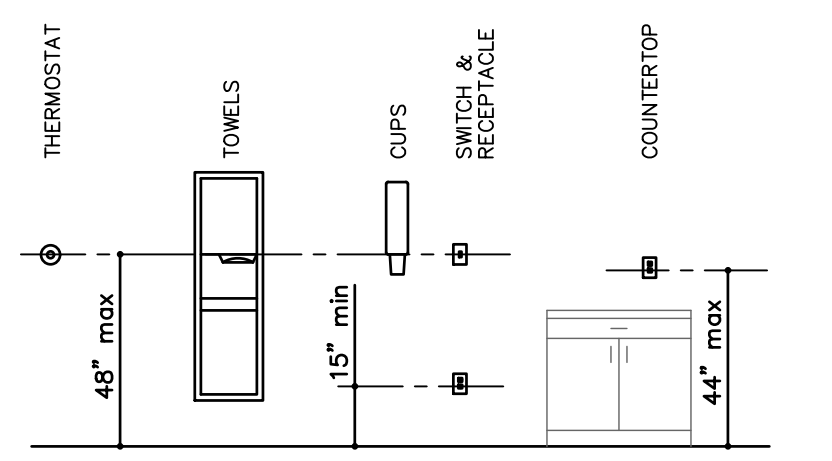
This sheet of drawings has not been reviewed for code compliance.



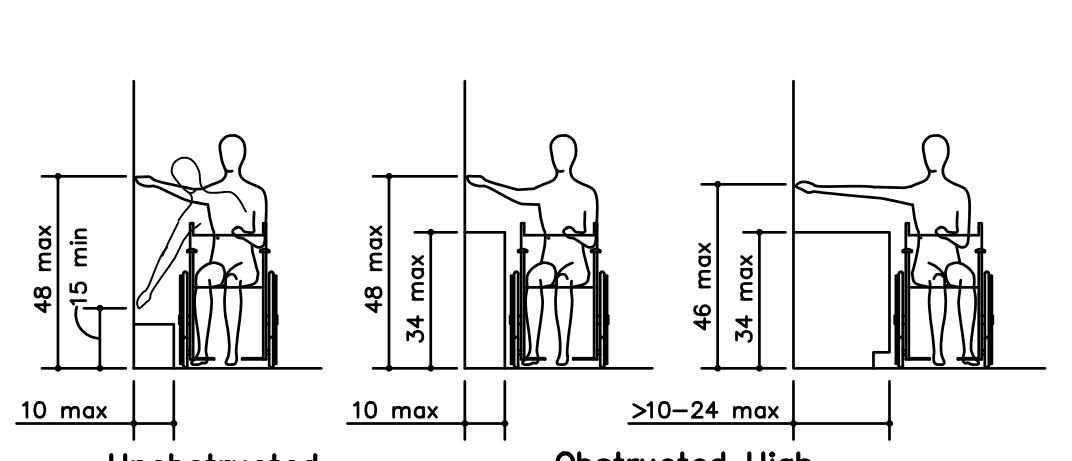
REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

ADA

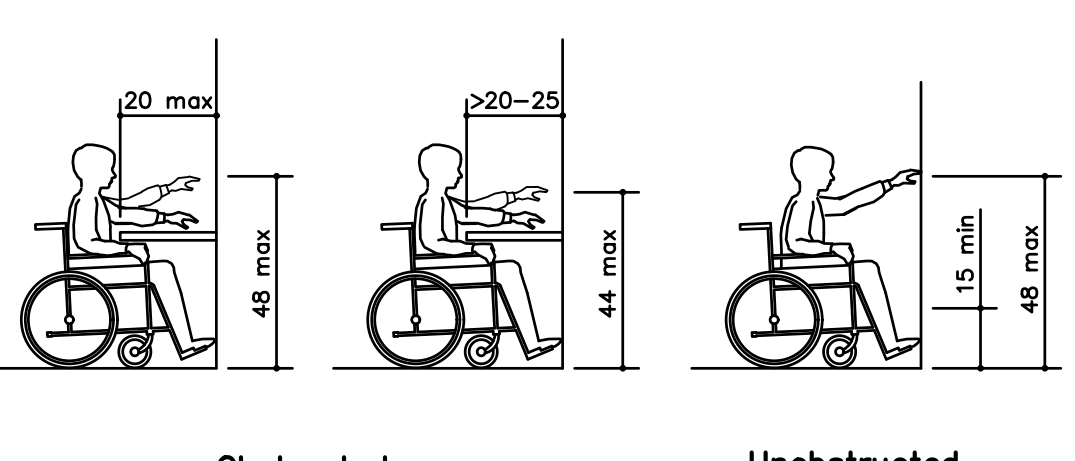
COPYRIGHTED



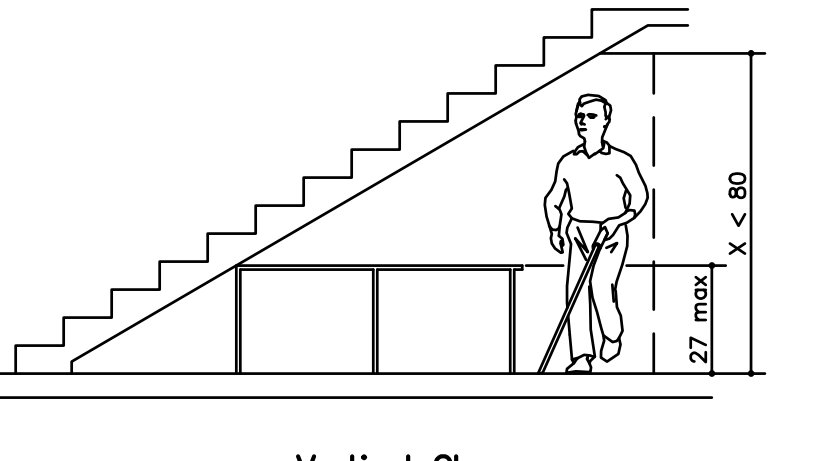
Q STANDARD CONTROL REACH LIMITATIONS DETAILS
NO SCALE



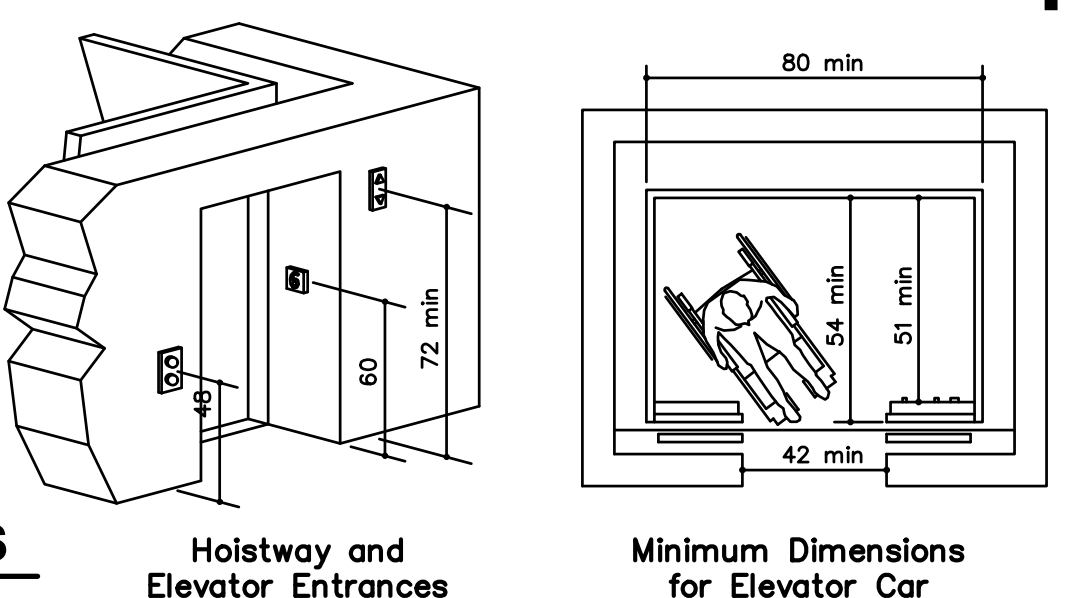
R STANDARD REACH ADA DIAGRAMS
NO SCALE



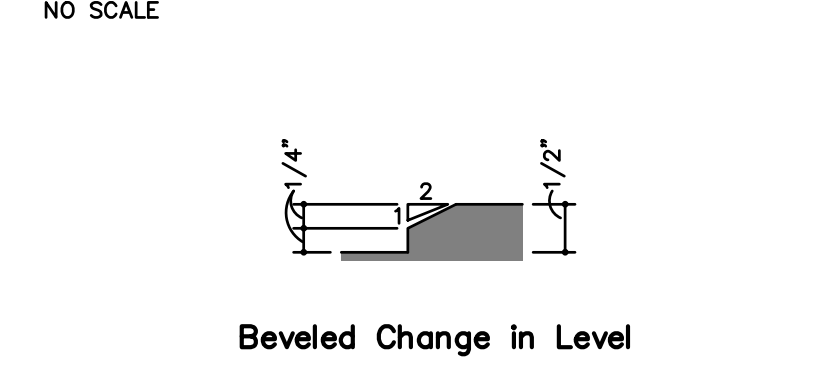
O STANDARD BATHROOM/TUB ADA DIAGRAMS
NO SCALE



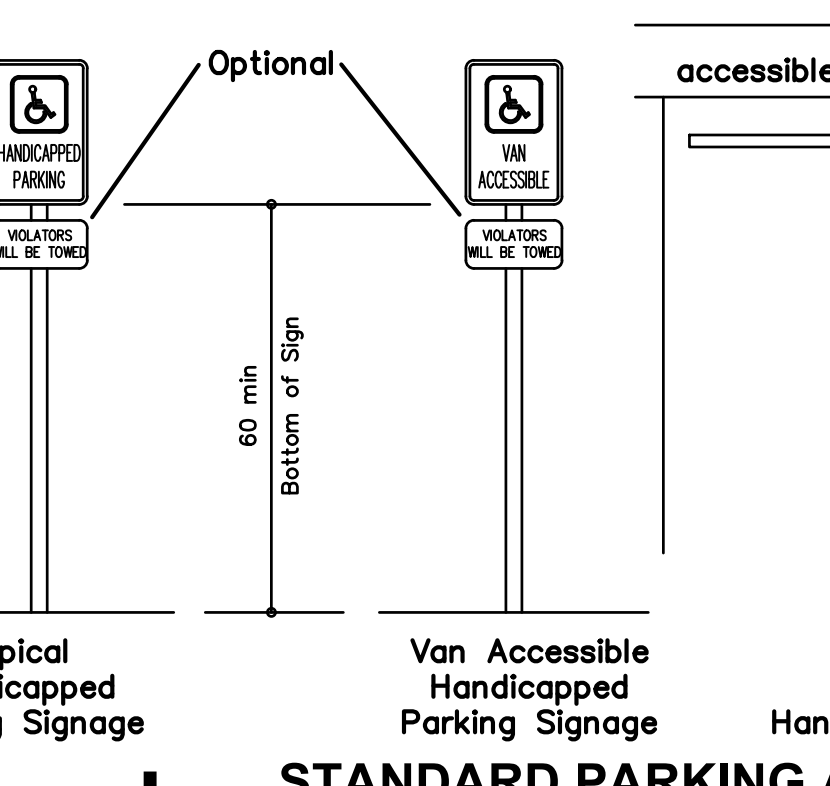
S STANDARD VERTICAL CLEARANCE
NO SCALE



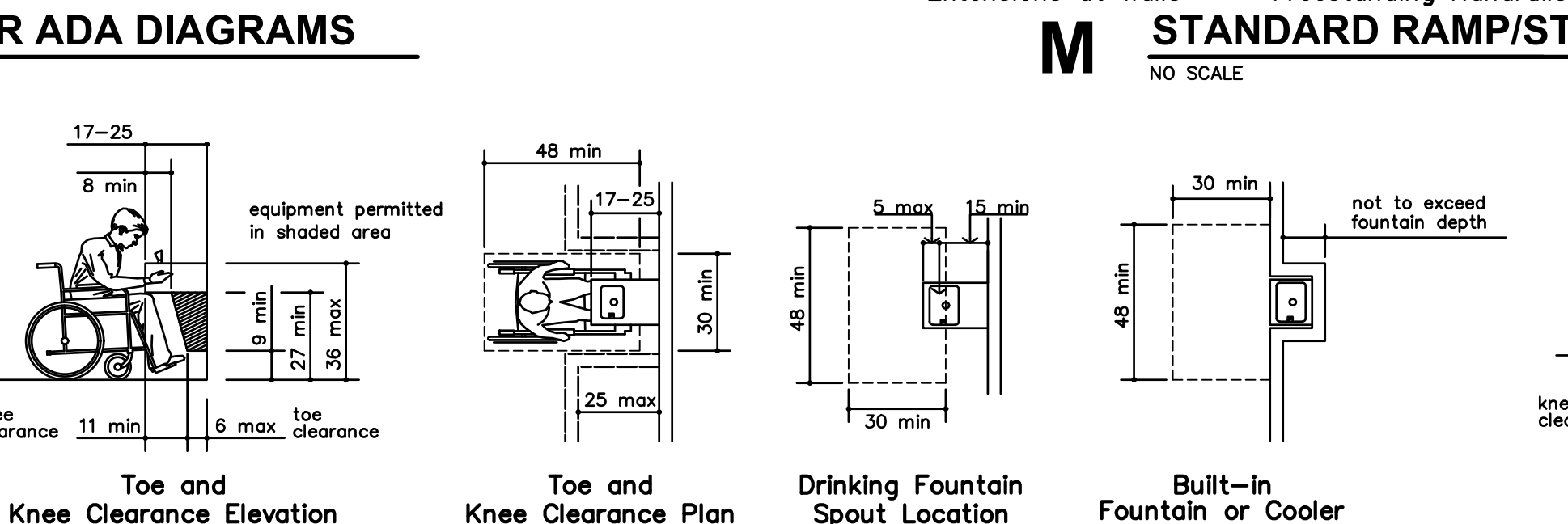
N STANDARD ELEVATOR ADA DIAGRAMS
NO SCALE



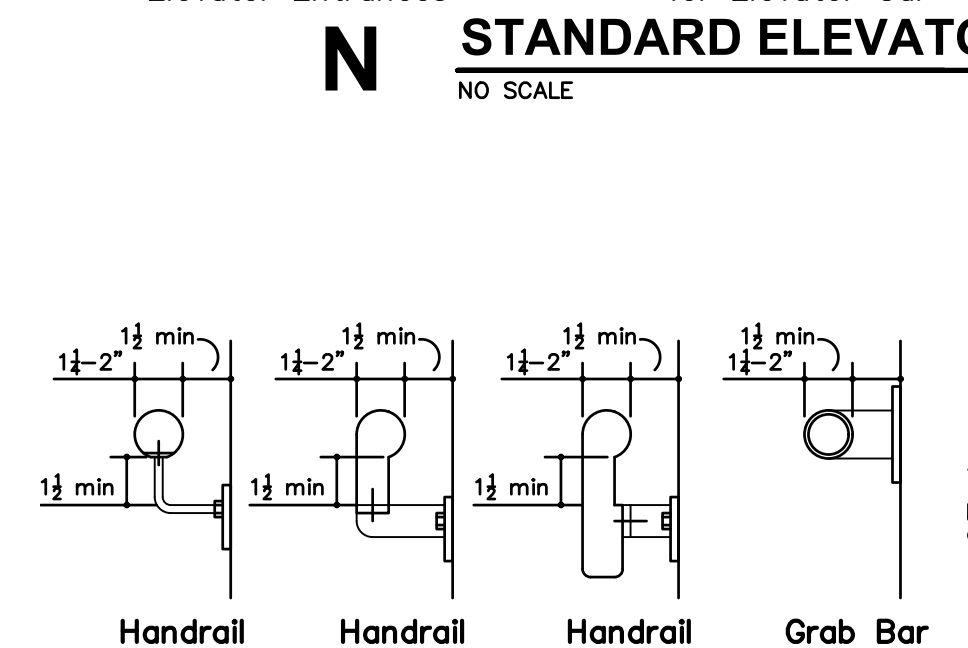
P THRESHOLD ADA DIAGRAMS
NO SCALE



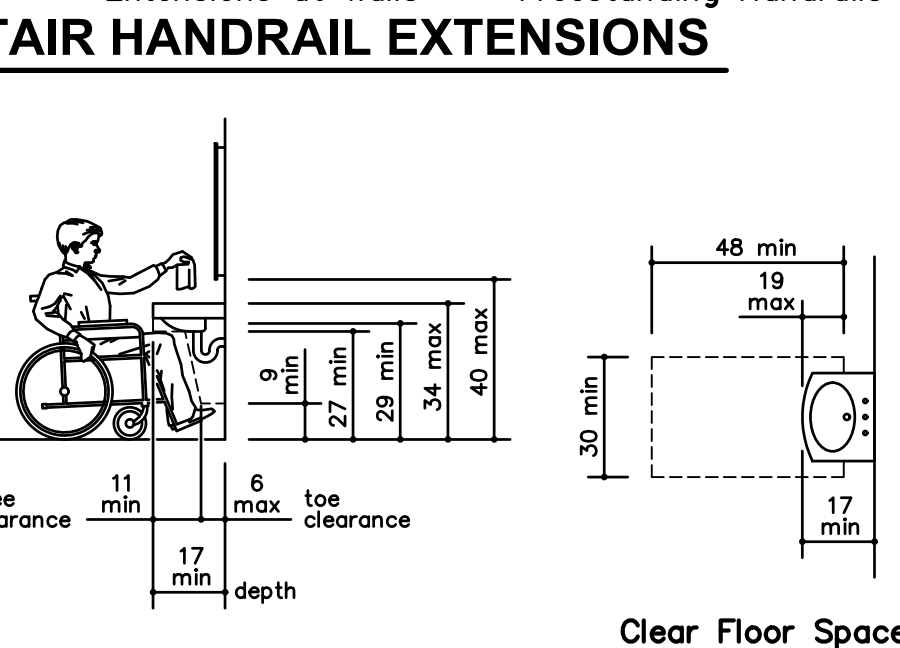
L STANDARD PARKING ADA DIAGRAMS
NO SCALE



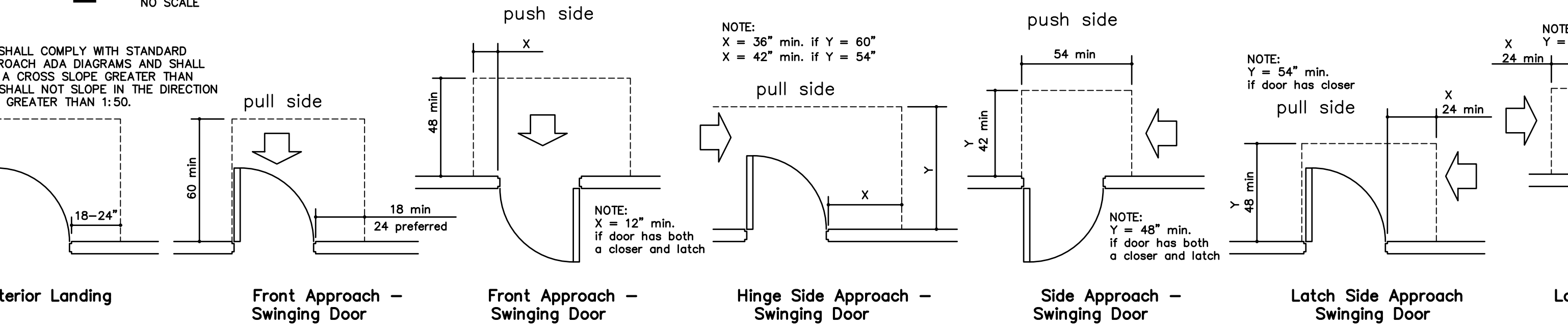
J STANDARD DRINKING FOUNTAIN DETAILS
NO SCALE



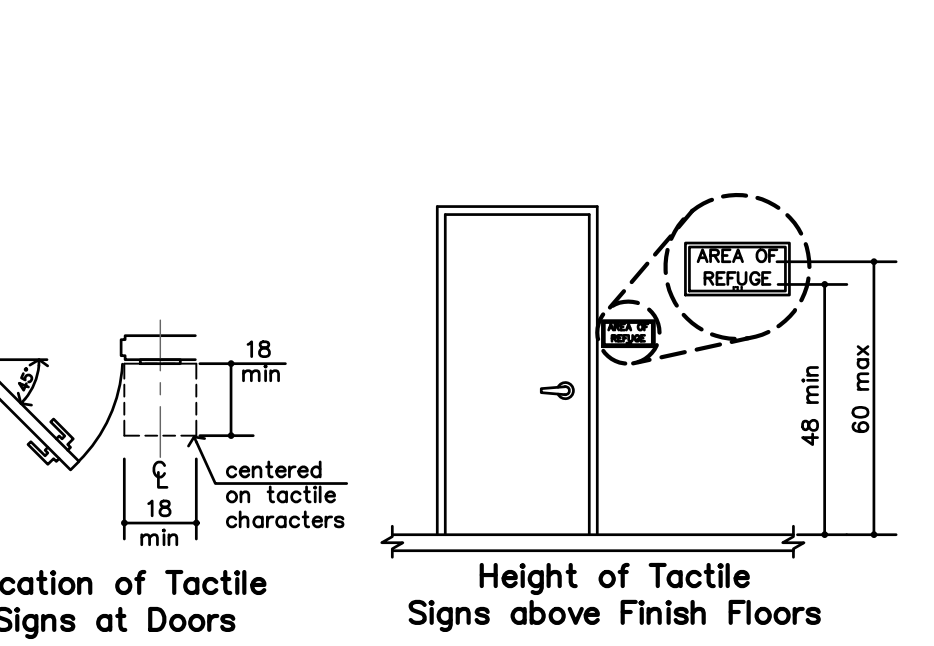
K STANDARD HANDRAIL/GRAB BAR DETAILS
NO SCALE



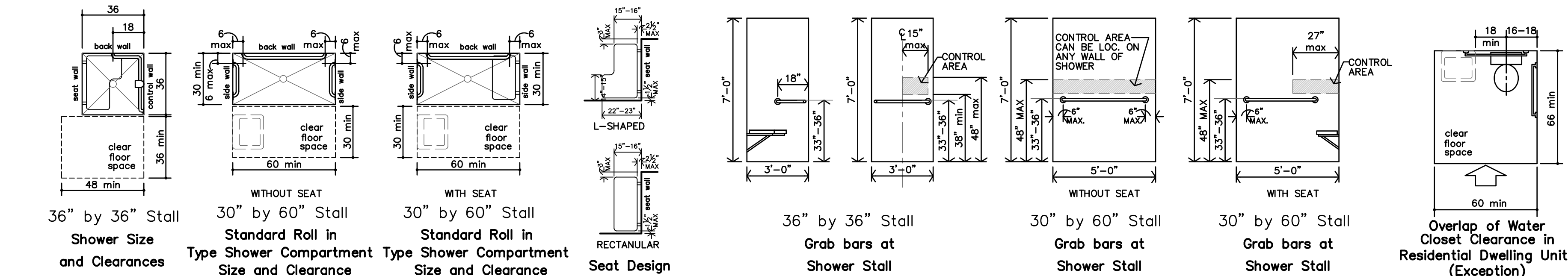
H STANDARD LAVATORY DETAILS
NO SCALE



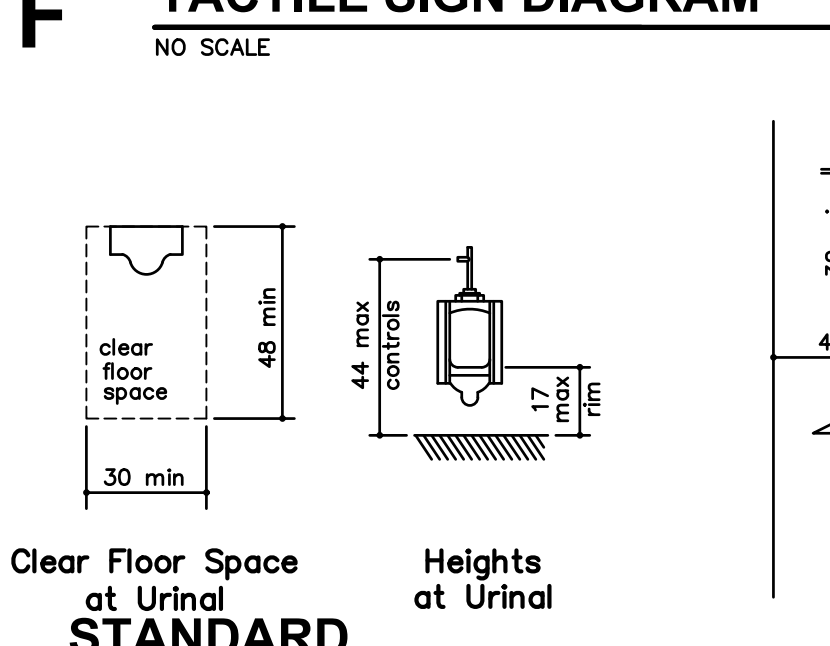
G STANDARD DOOR APPROACH ADA DIAGRAMS
NO SCALE



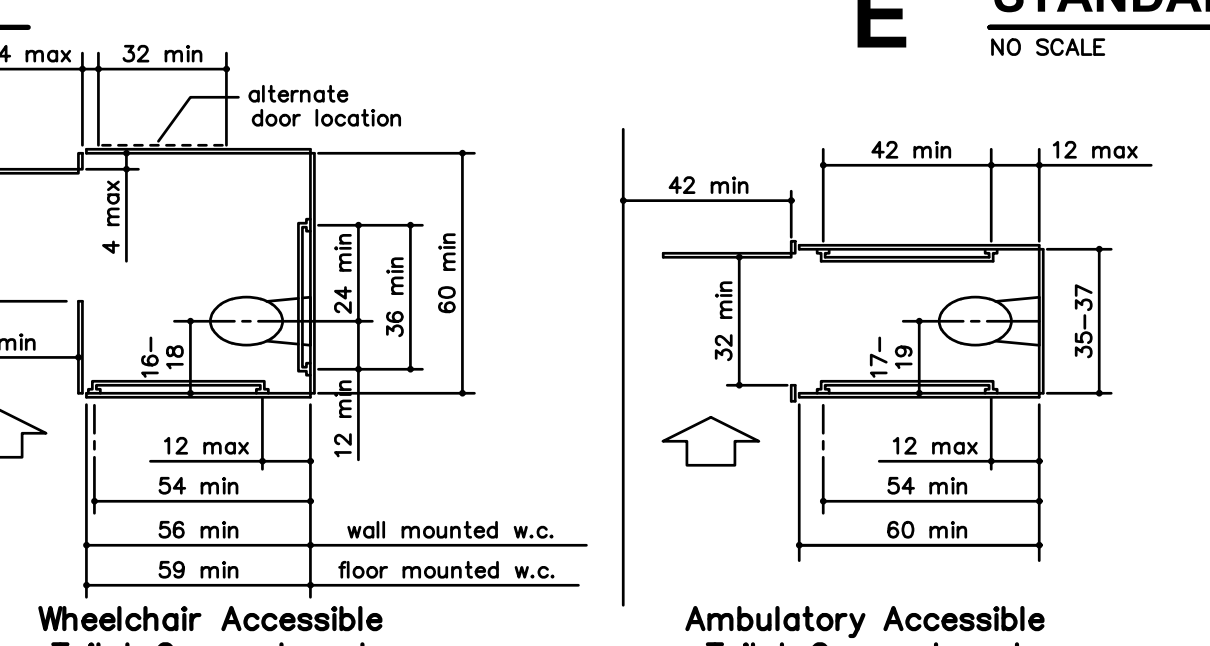
F TACTILE SIGN DIAGRAM
NO SCALE



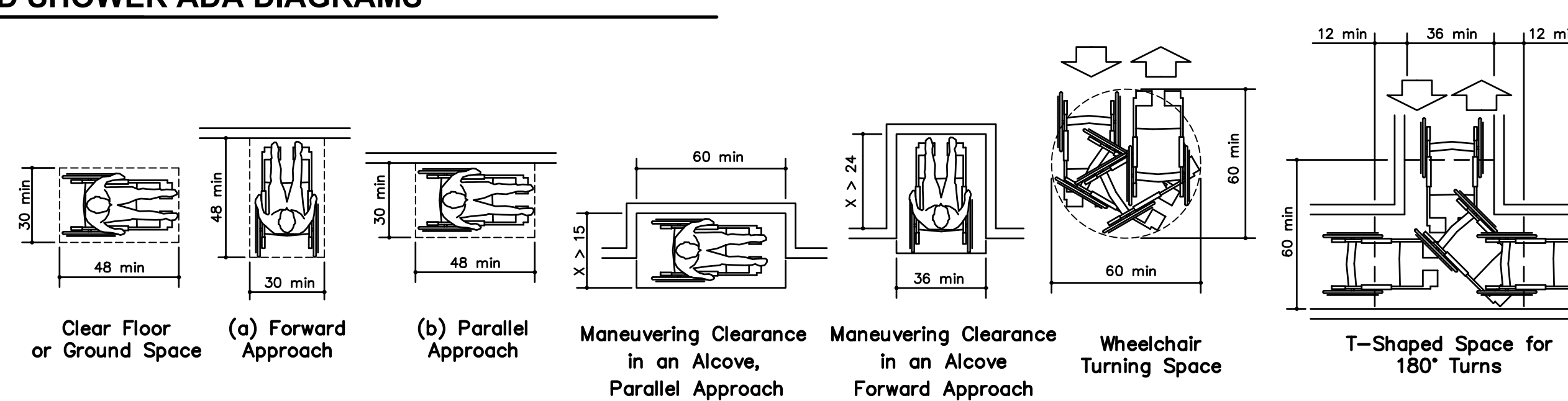
E STANDARD SHOWER ADA DIAGRAMS
NO SCALE



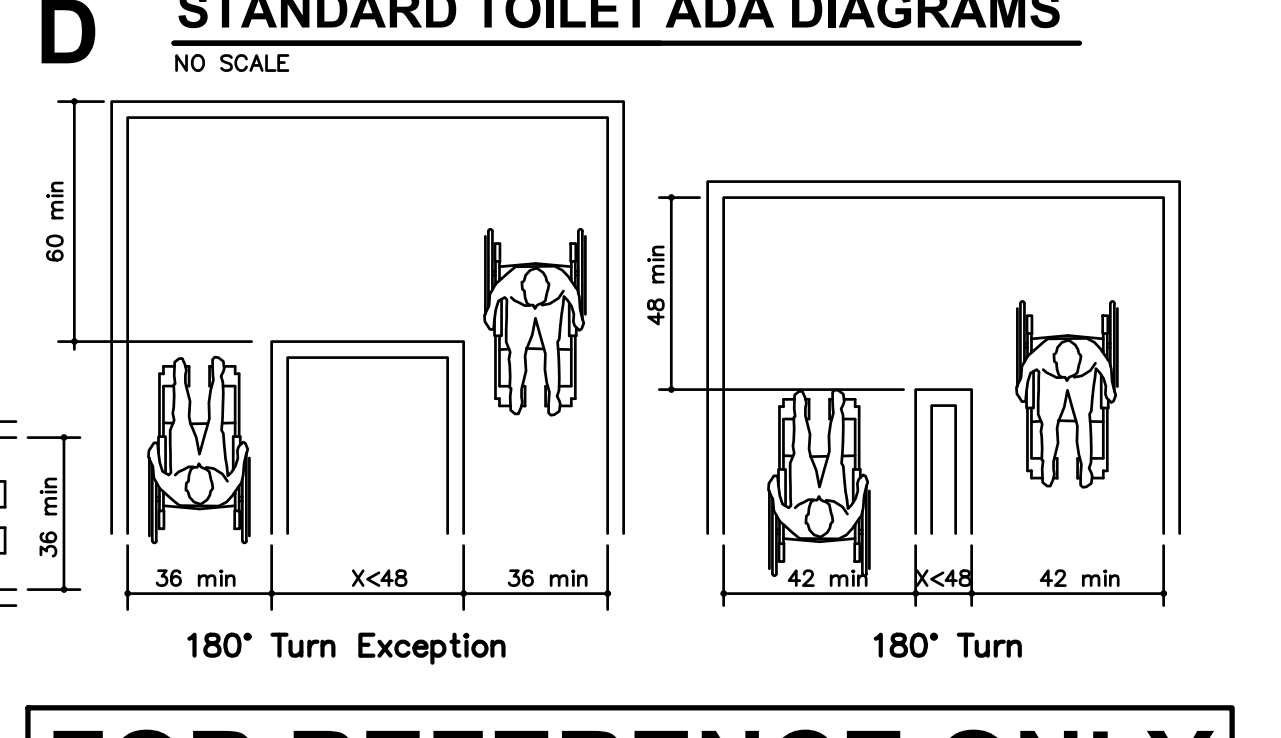
C STANDARD URINAL ADA DIAGRAMS
NO SCALE



B STANDARD TOILET STALL ADA DIAGRAMS
NO SCALE



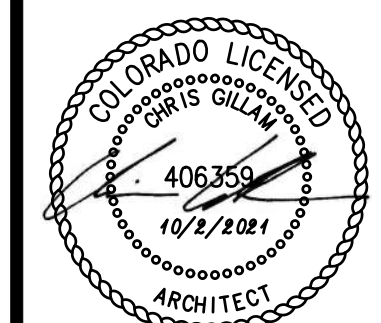
A STANDARD ADA DIAGRAMS
NO SCALE



D STANDARD TOILET ADA DIAGRAMS
NO SCALE

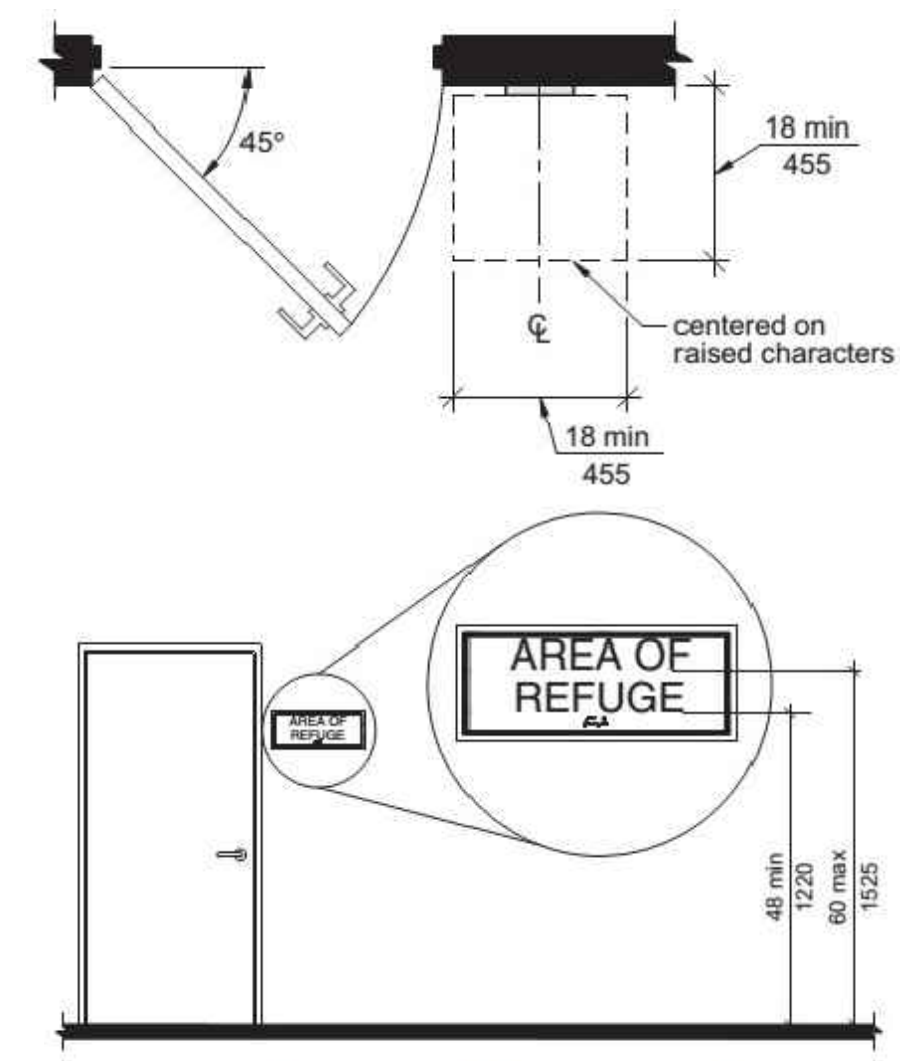
FOR REFERENCE ONLY

This sheet of drawings has not been reviewed for code compliance.

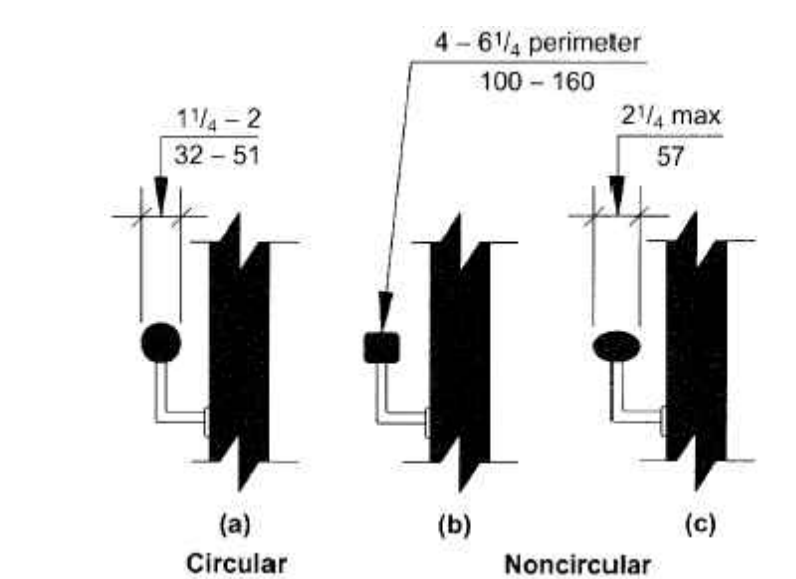


REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

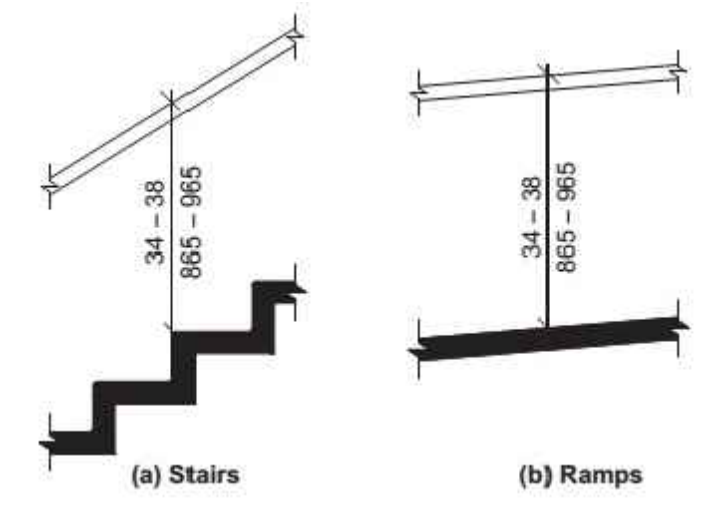
This sheet of drawings has not been reviewed for code compliance.



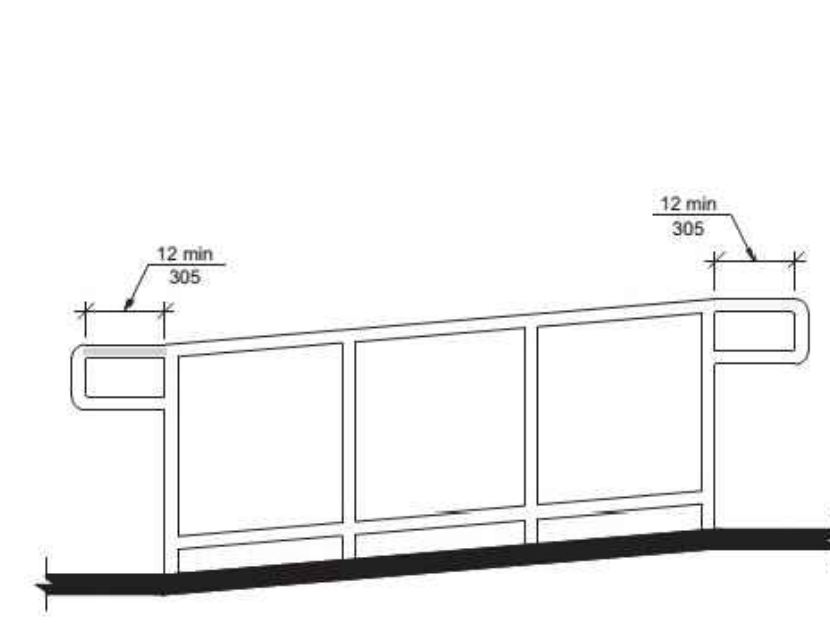
V SIGNAGE (Section 703)
NO SCALE



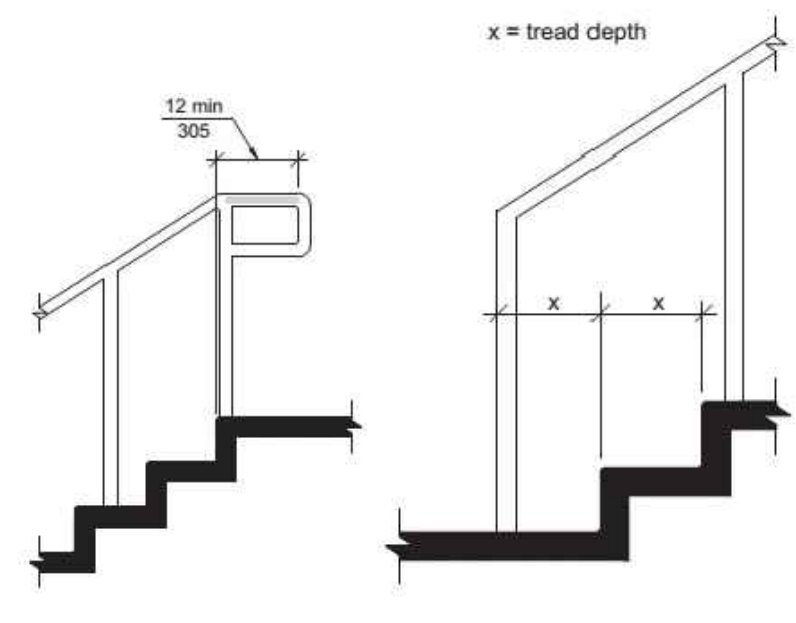
U HANDRAIL CROSS SECTION (Section 505)
NO SCALE



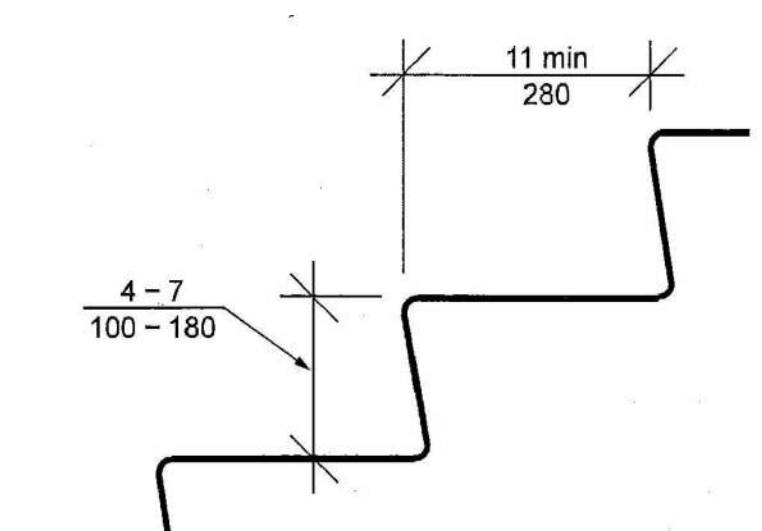
S HANDRAIL HEIGHT (Section 505)
NO SCALE



T RAMP TOP & BOTTOM HANDRAIL EXTENSION (Section 505)
NO SCALE



R STAIR TOP & BOTTOM HANDRAIL EXTENSION (Section 505)
NO SCALE



Q STAIR TREAD & RISER (Section 504)
NO SCALE

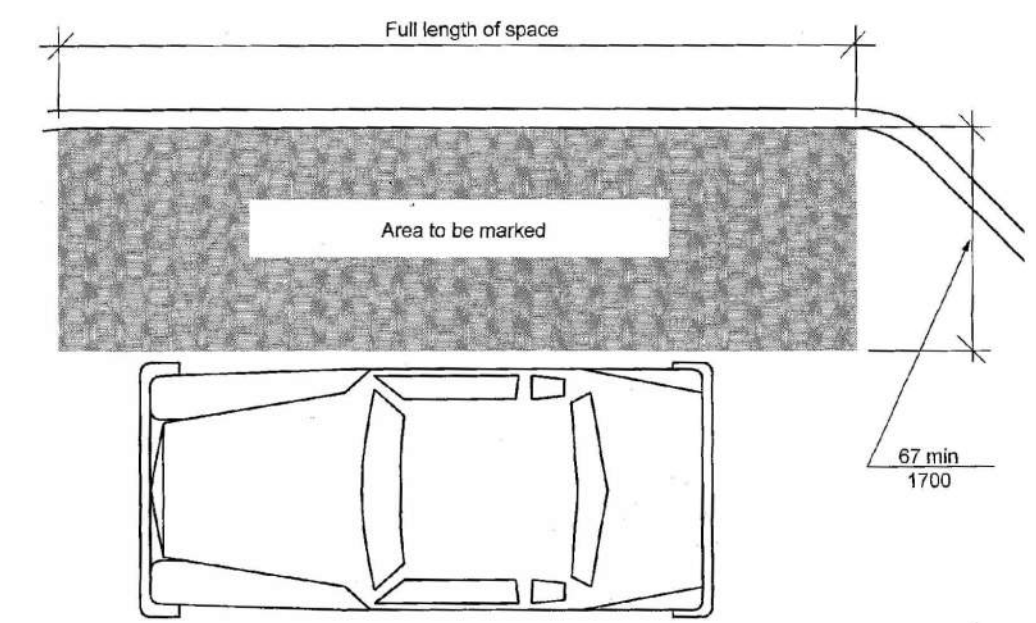
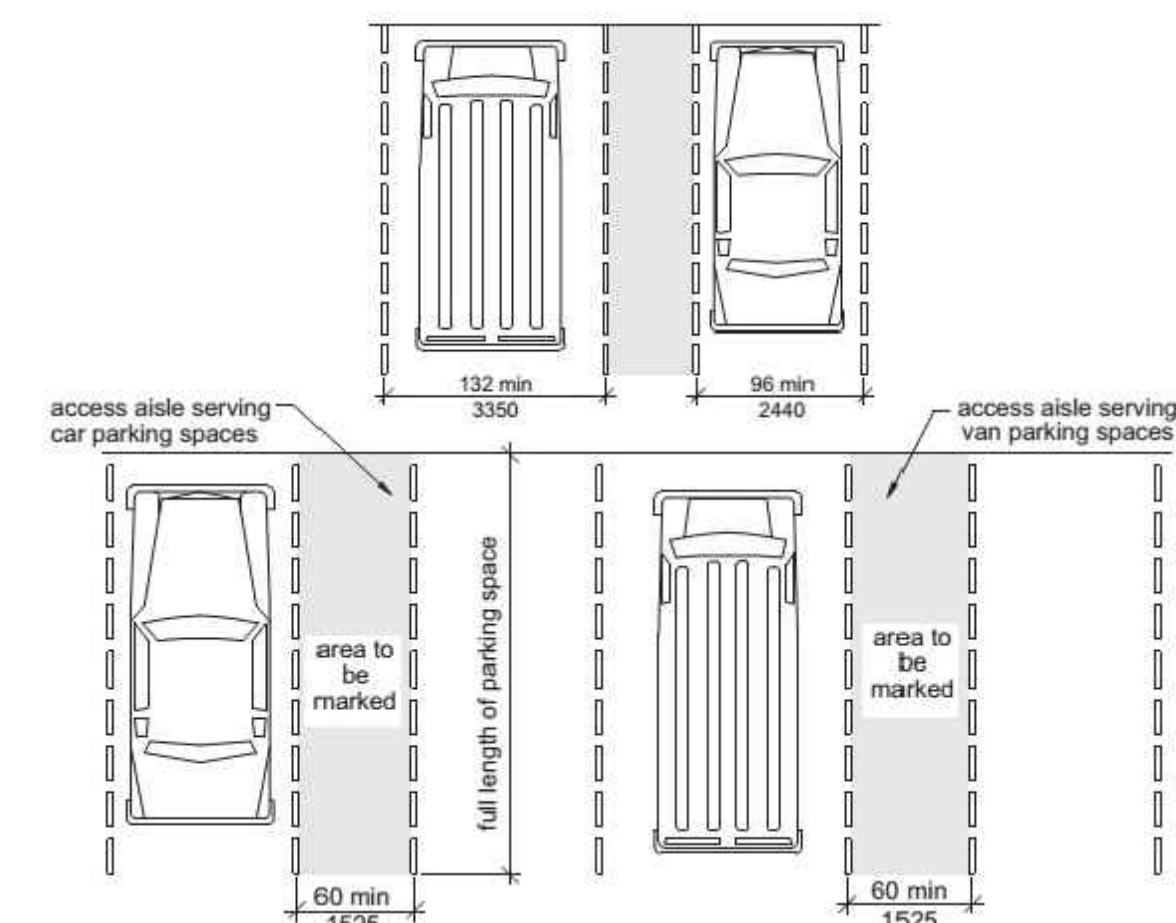
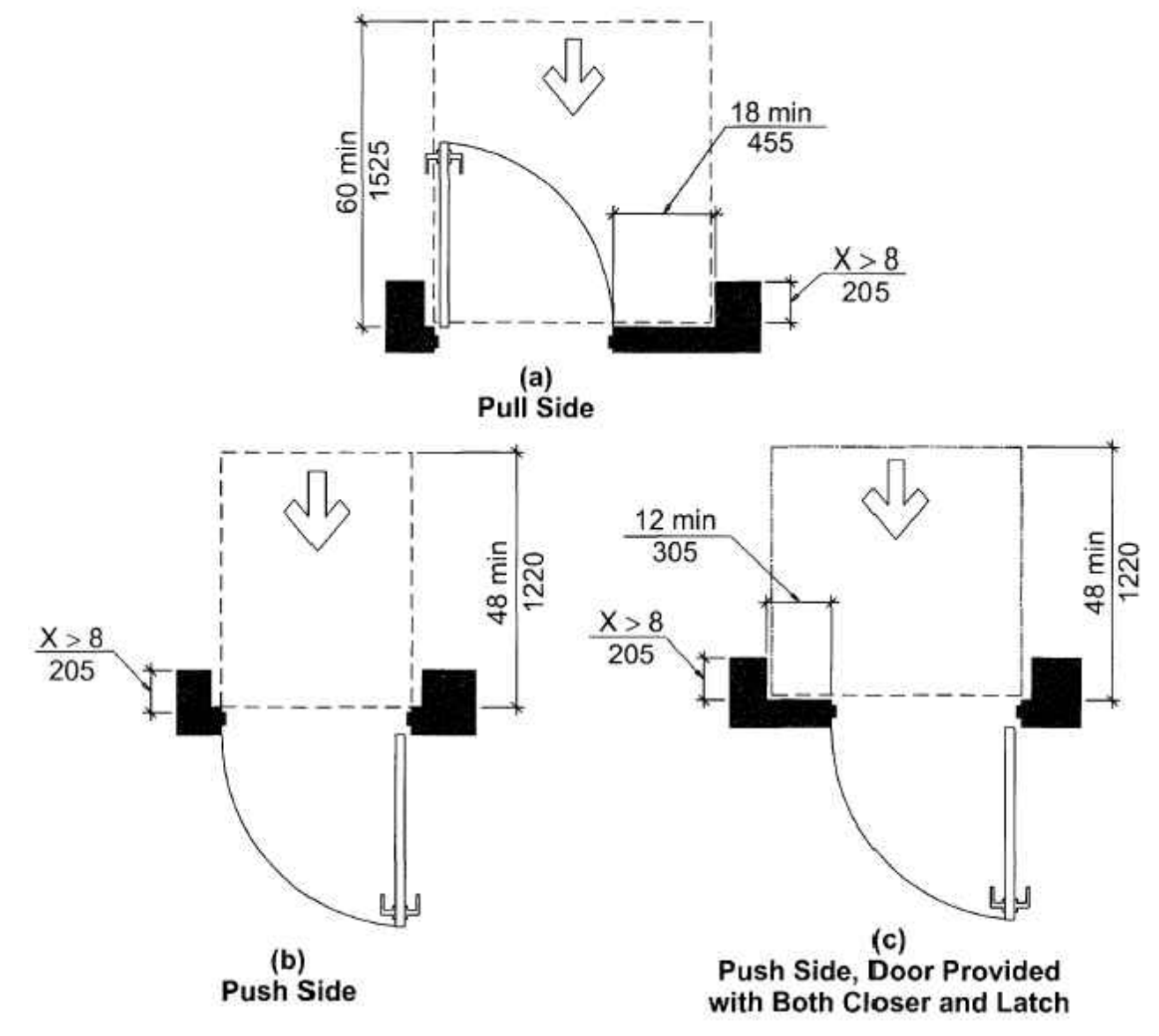


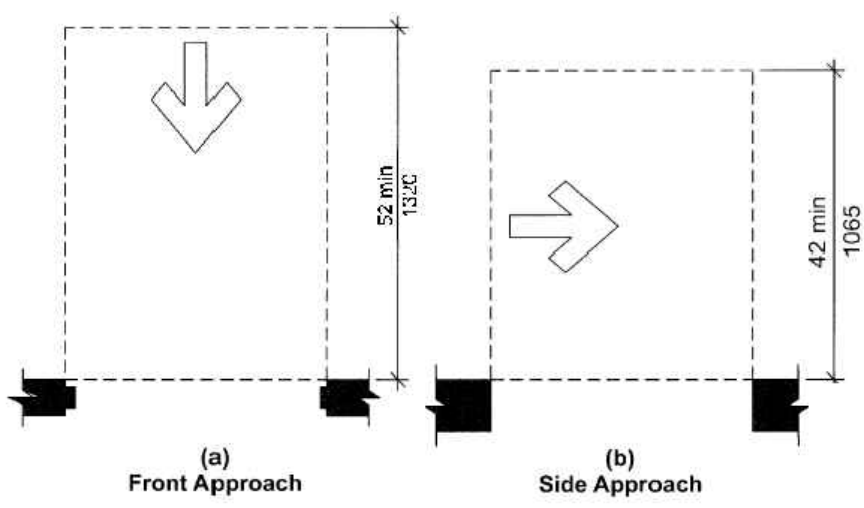
FIGURE 603.3(A)
PASSENGER LOADING ZONE ACCESSIBLE - NEW BUILDINGS
P PASSENGER LOADING ZONE (Section 503)
NO SCALE



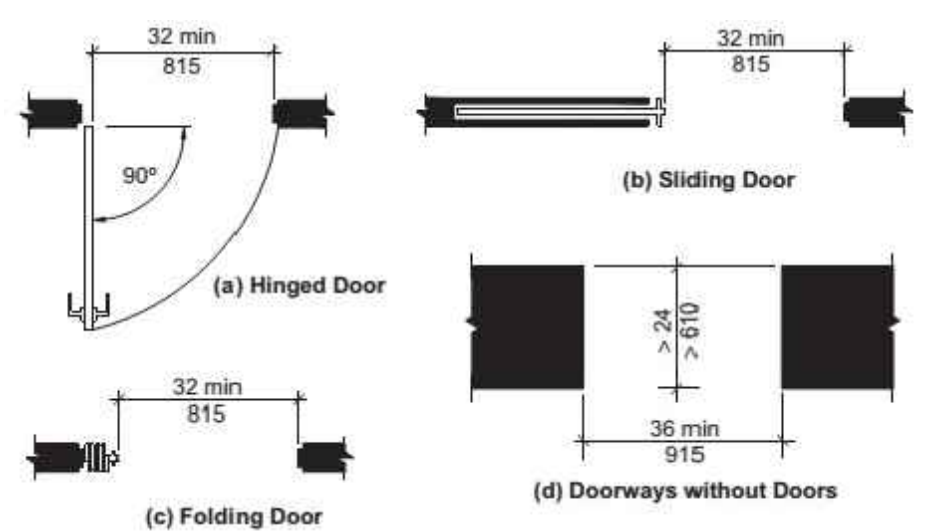
O ACCESSIBLE PARKING SPACES (Section 502)
NO SCALE



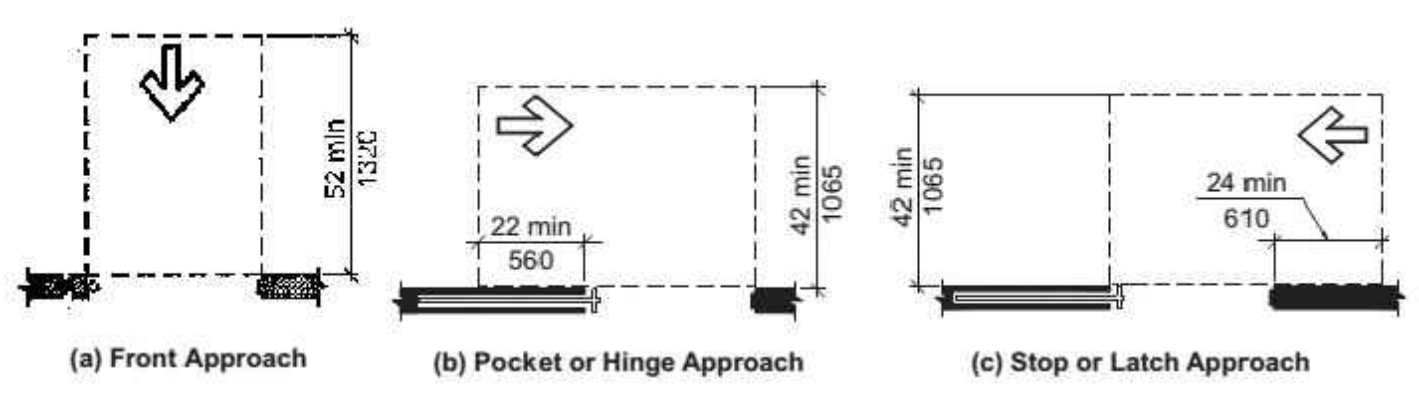
N MANEUVERING CLEARANCES AT RECESSED DOORS (Section 404)
NO SCALE



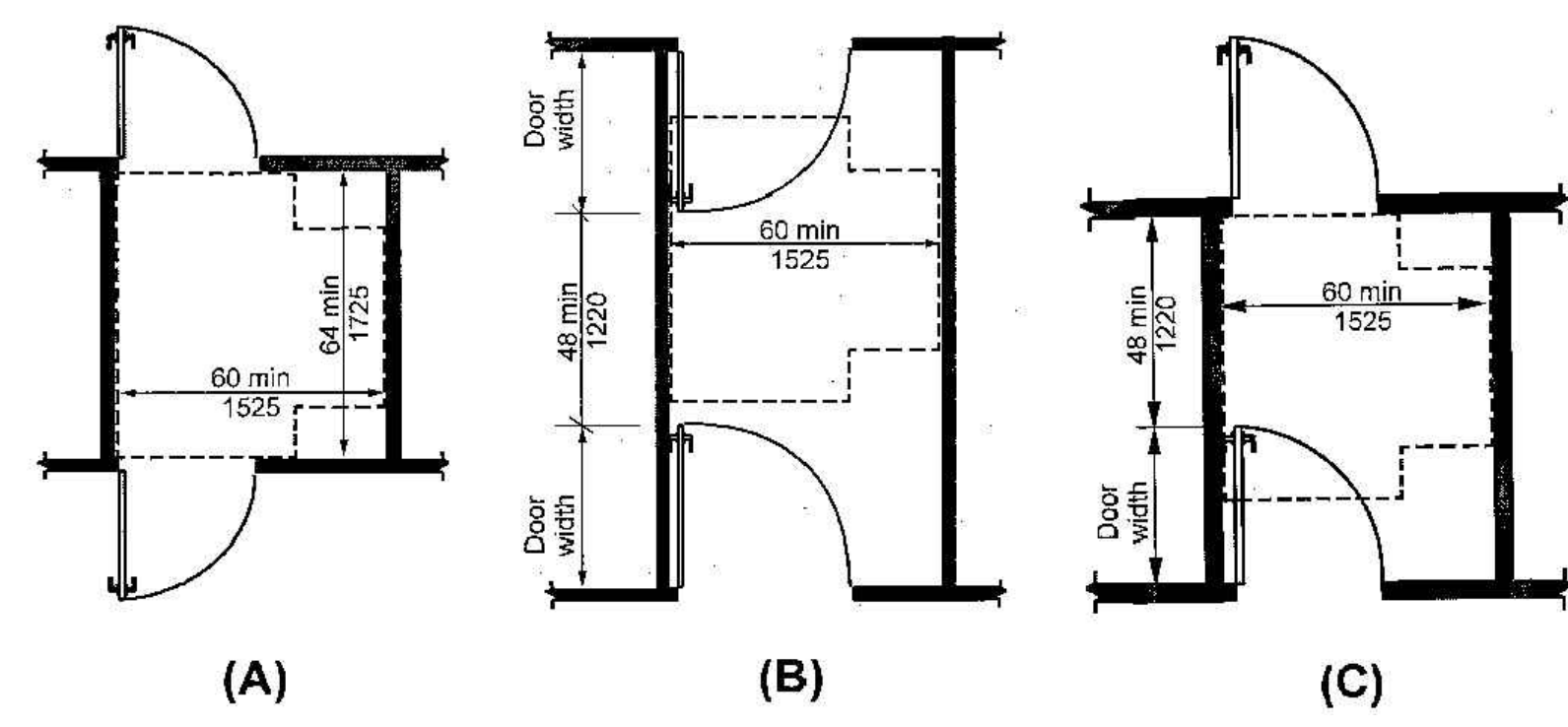
M MANEUVERING CLEARANCES AT DOORWAYS without DOORS (Section 404)
NO SCALE



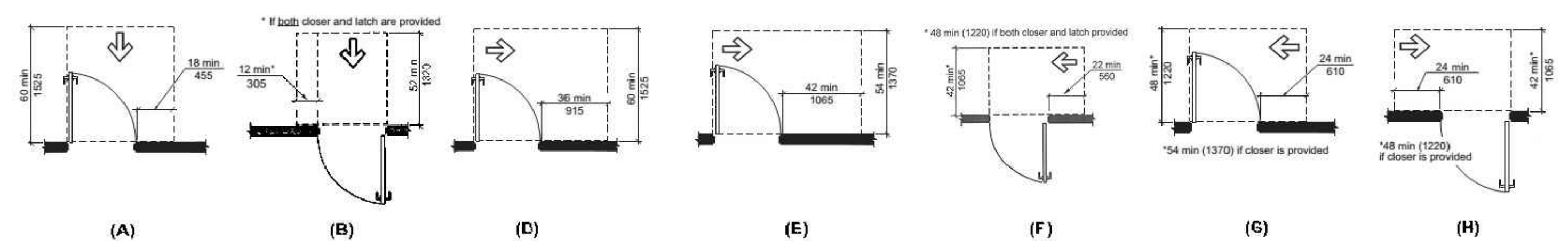
L CLEAR WIDTH OF DOORWAYS (Section 404)
NO SCALE



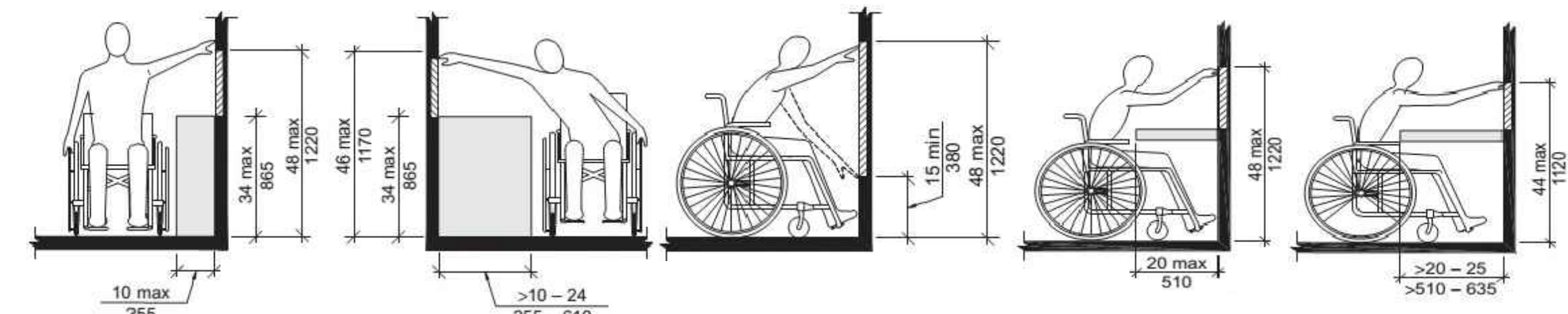
K MANEUVERING CLEARANCES AT SLIDING & FOLDING DOORS (Section 404)
NO SCALE



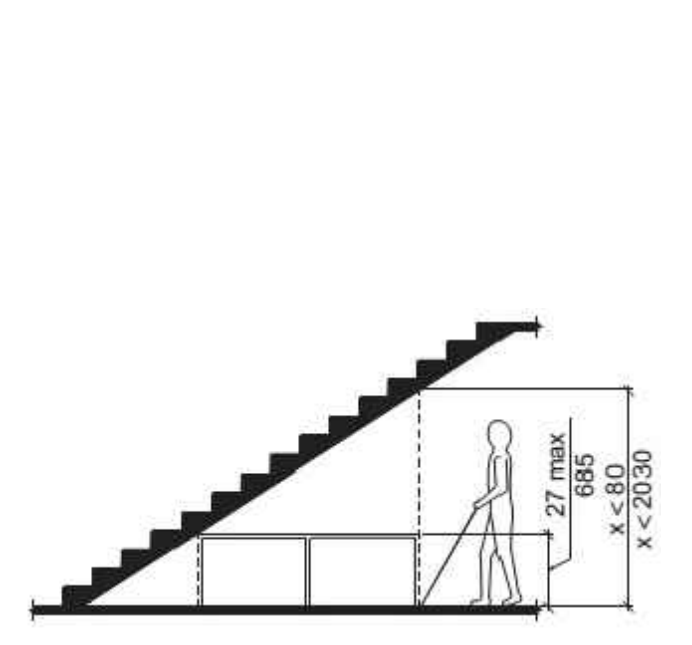
J TWO DOORS IN SERIES (Section 404)
NO SCALE



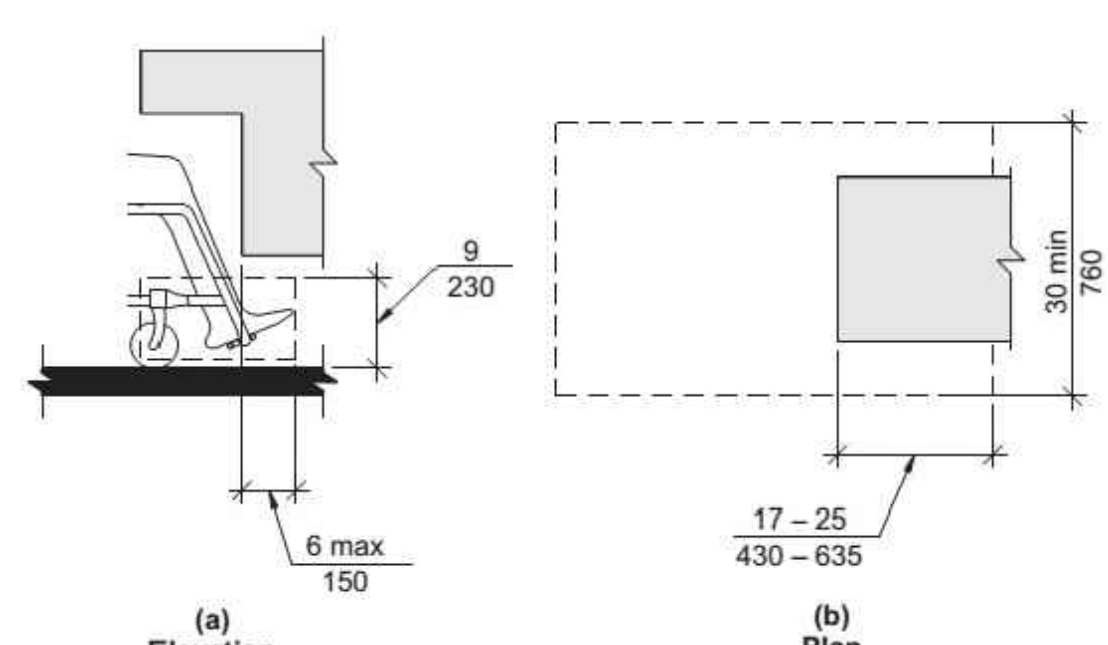
H MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS (Section 404)
NO SCALE



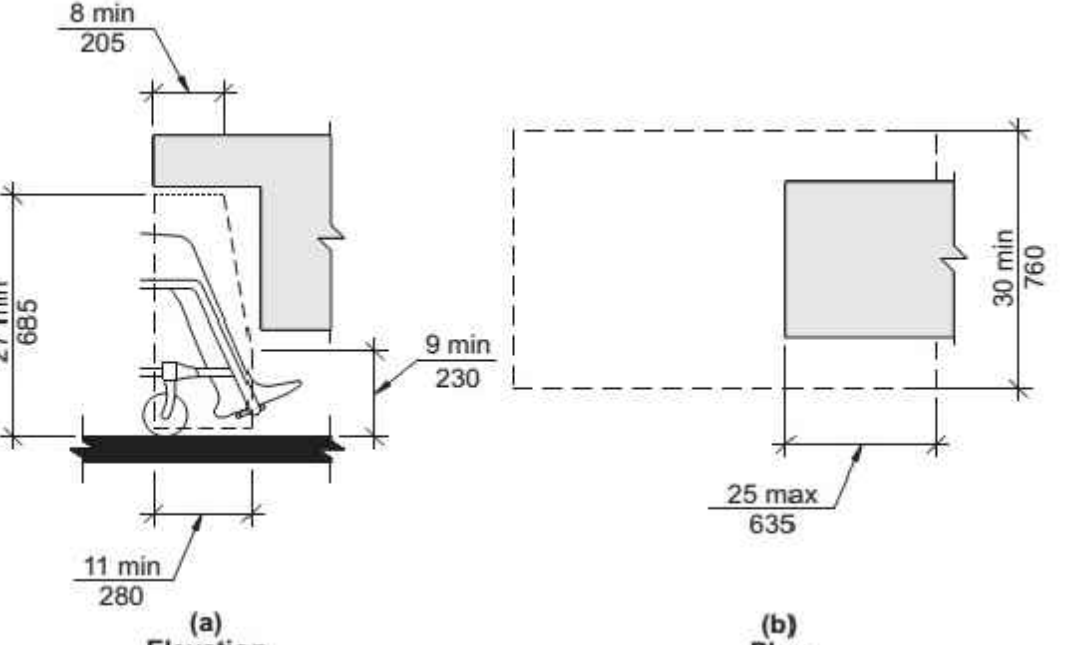
G REACH CLEARANCES (Section 308)
NO SCALE



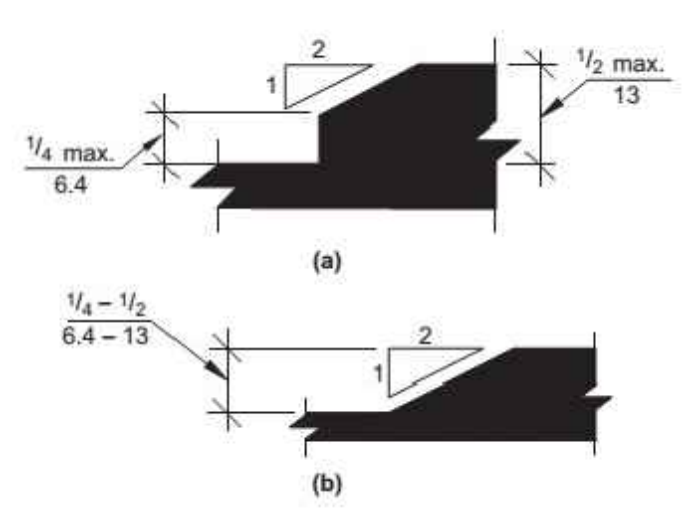
F VERTICAL CLEARANCE (Section 307)
NO SCALE



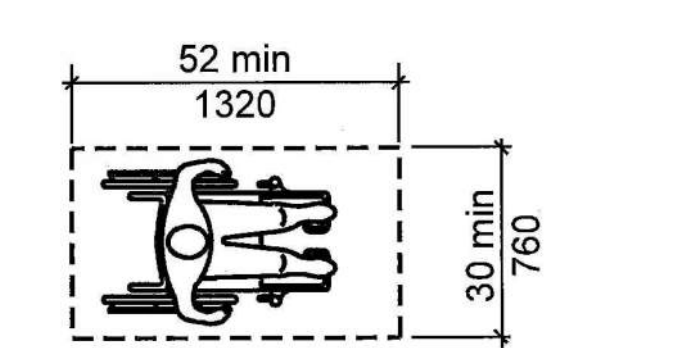
E TOE CLEARANCE (Section 306)
NO SCALE



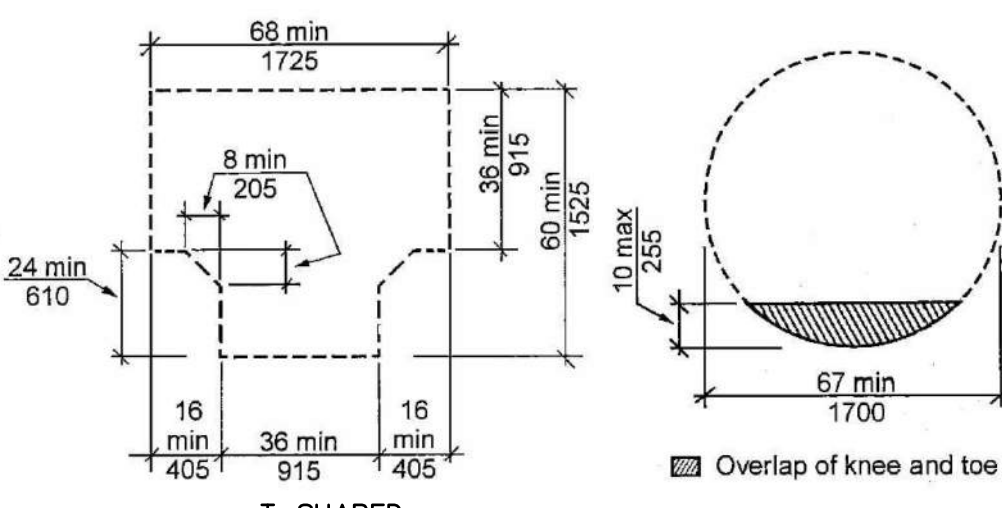
D KNEE CLEARANCE (Section 306)
NO SCALE



C CHANGES IN LEVEL (Section 303)
NO SCALE

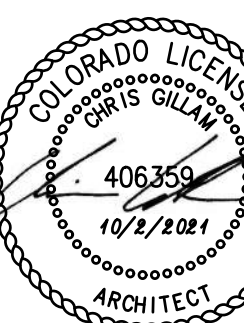


B CLEAR FLOOR SPACE (305)
NO SCALE



A TURNING SPACE (304)
NO SCALE

THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY & CONTAINS KEY ILLUSTRATIONS OF ICC A117.1-2017, ACCESSIBLE and USEABLE BUILDINGS and FACILITIES, FOR MORE INFORMATION REFERENCE ENTIRE REQUIREMENTS.



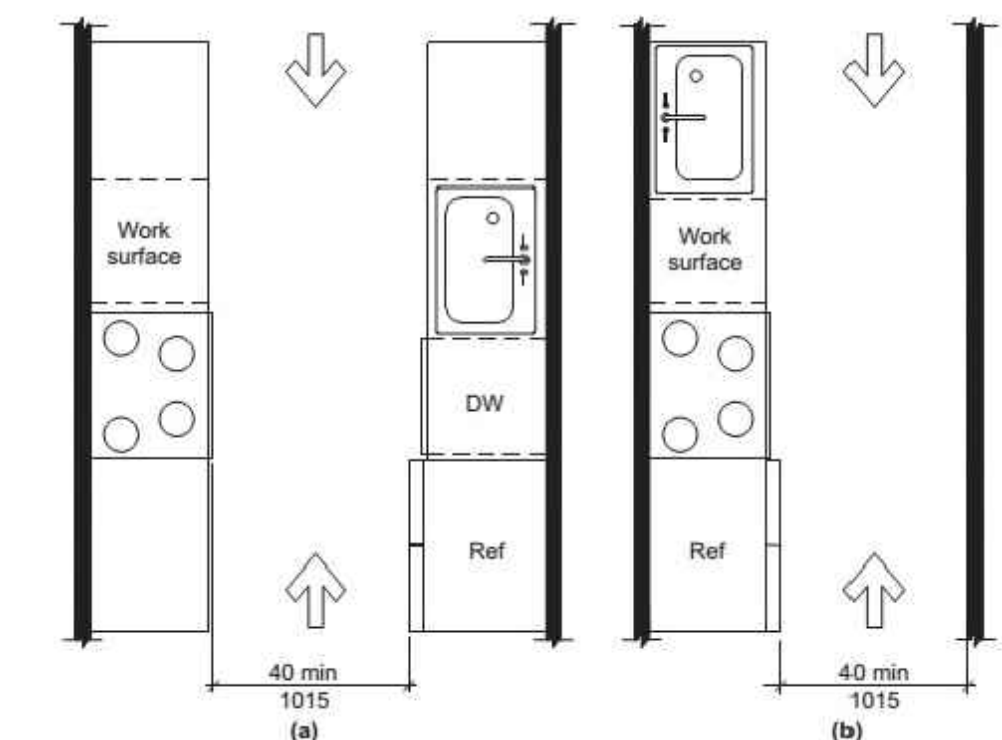
REVISION:

DATE: 10-2-2023

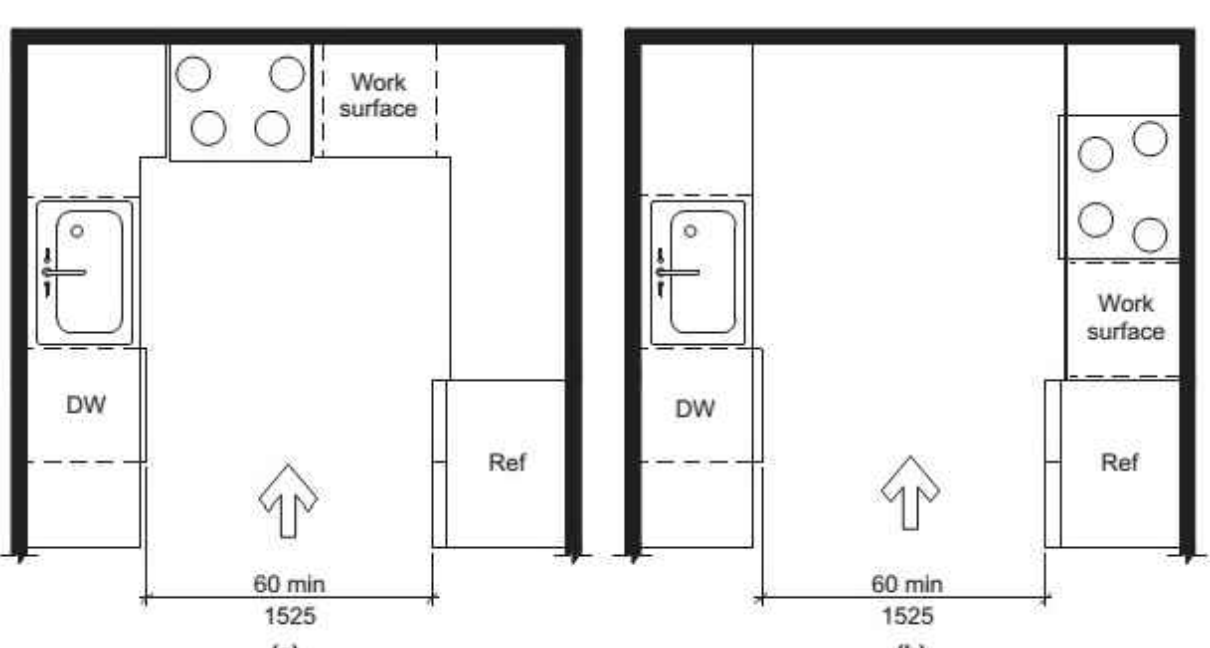
JOB: 22-3219

SHEET NO.:

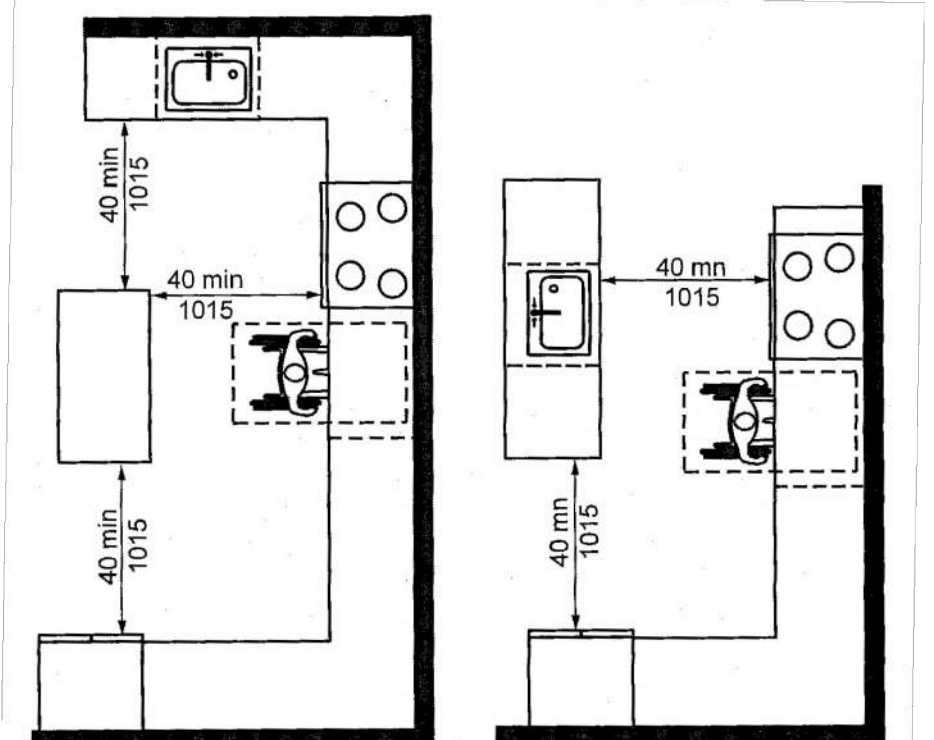
This sheet of drawings has not been reviewed for code compliance.



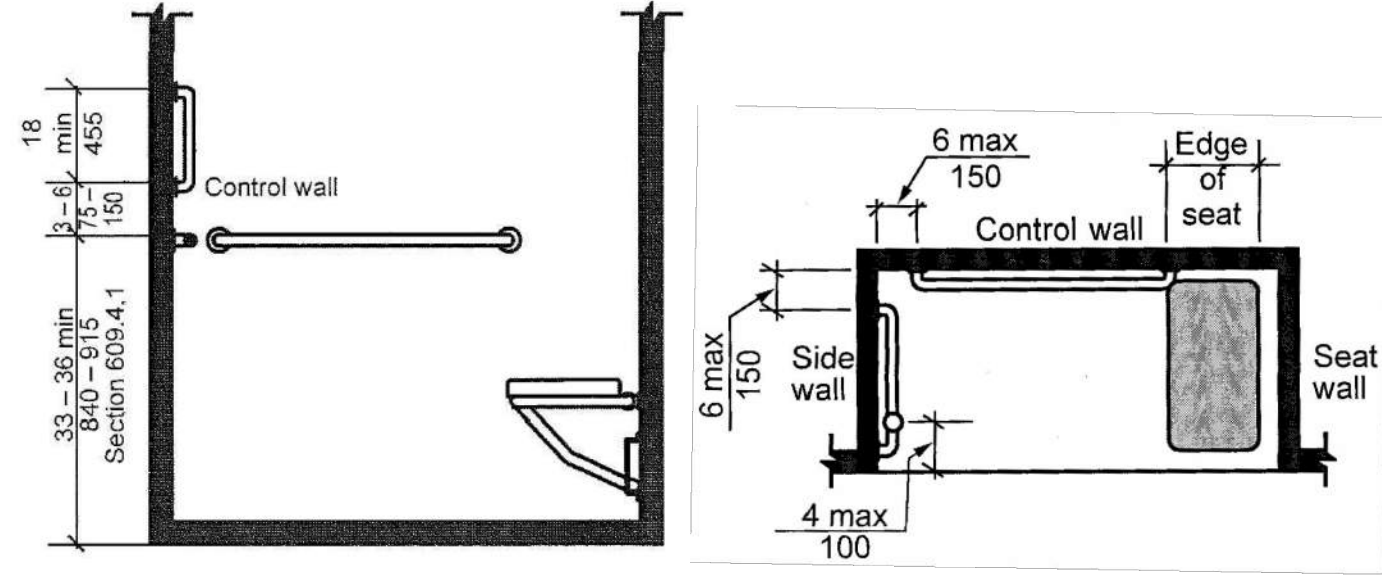
V PASS-THRU KITCHEN CLEARANCE (Section 804)
NO SCALE



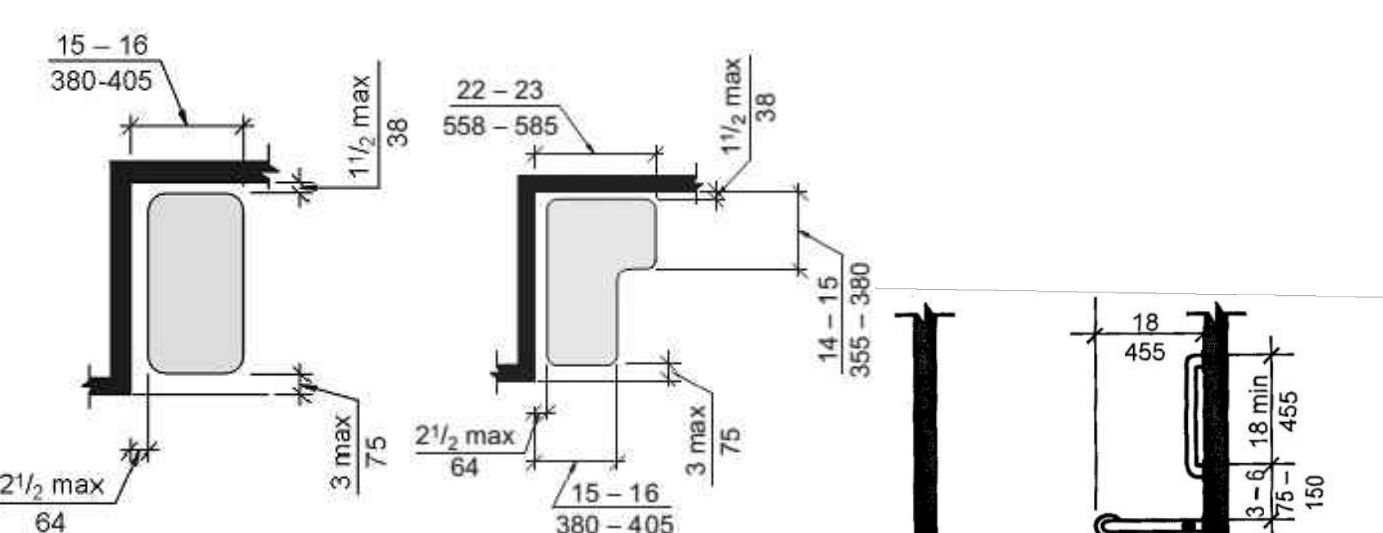
U U-SHAPED KITCHEN CLEARANCE (Section 804)
NO SCALE



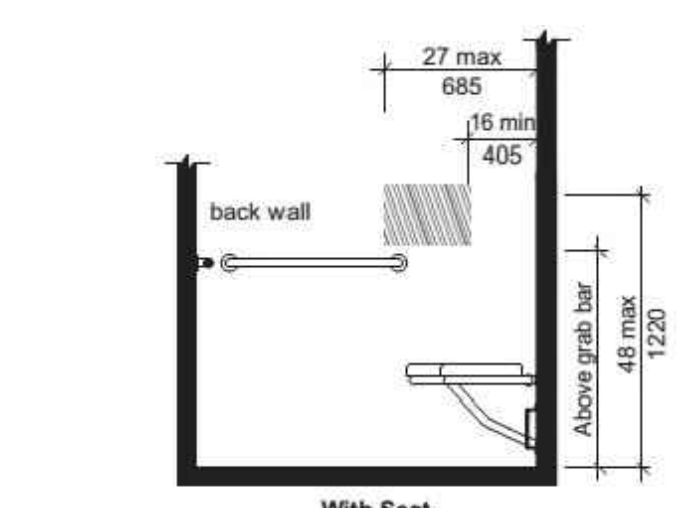
T U-SHAPED KITCHEN CLEARANCE EXCEPTION (Section 804)
NO SCALE



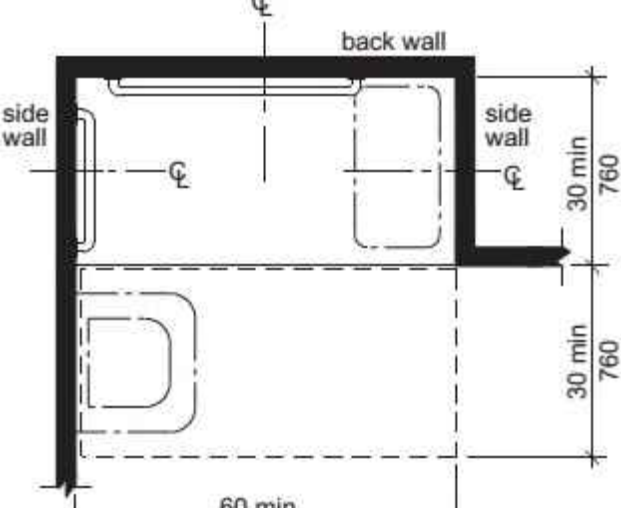
S ROLL-IN SHOWER GRAB BARS (Section 608)
NO SCALE



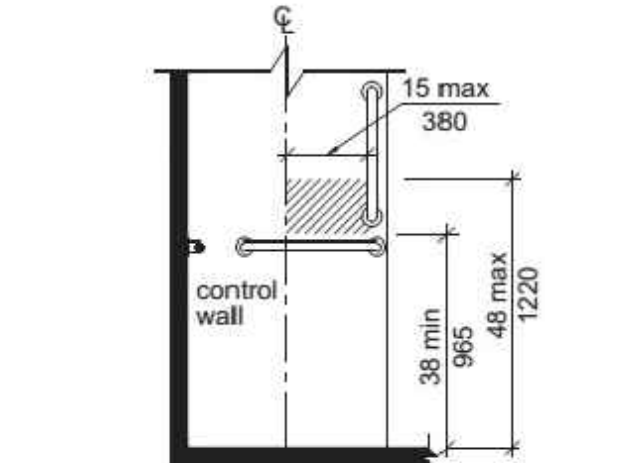
O SHOWER SEATS (Section 610)
NO SCALE



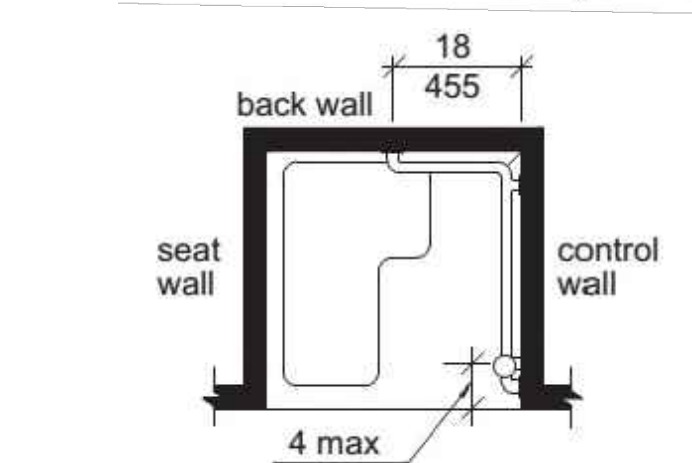
R ROLL-IN SHOWER CONTROLS LOCATION (Section 608)
NO SCALE



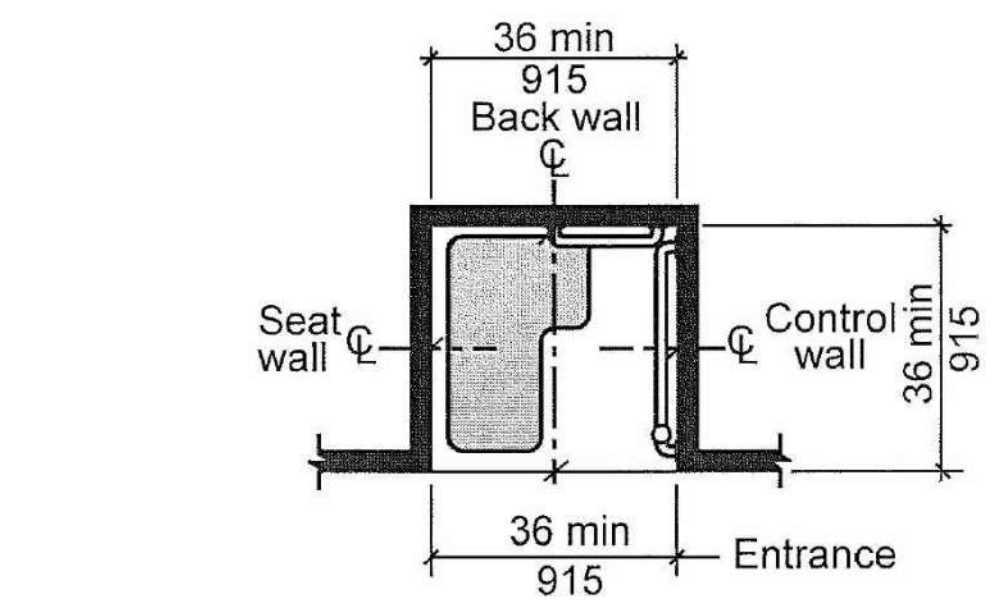
Q ROLL-IN SHOWER SIZE & CLEARANCE (Section 608)
NO SCALE



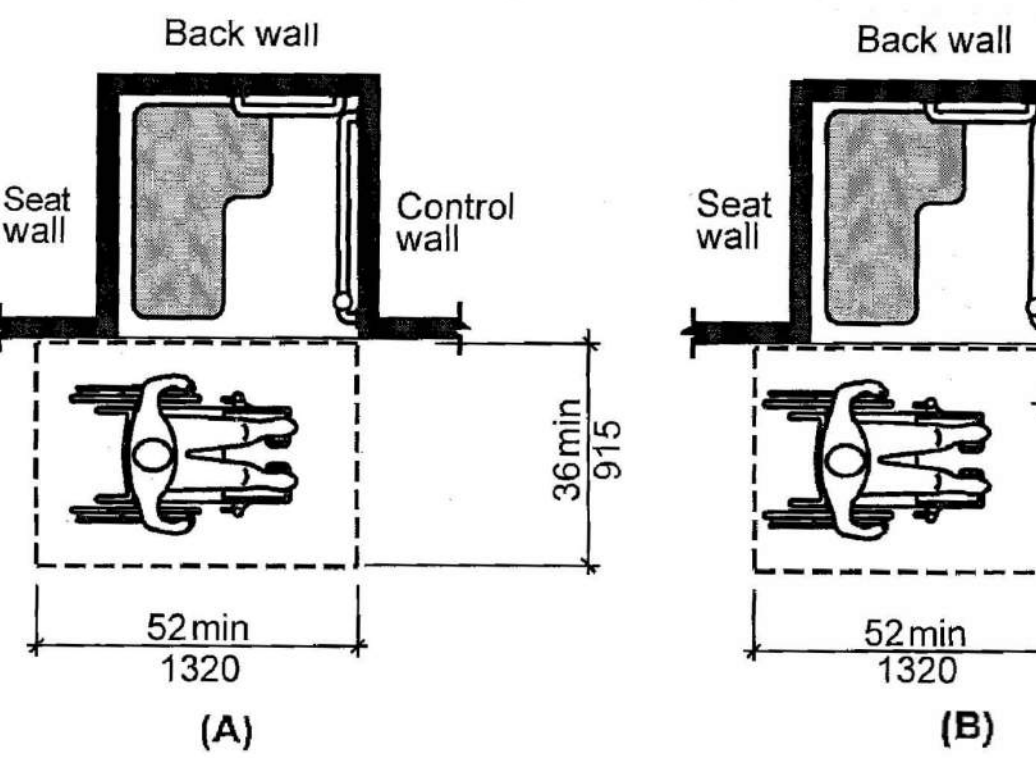
O TRANSFER SHOWER CONTROLS LOCATION (Section 608)
NO SCALE



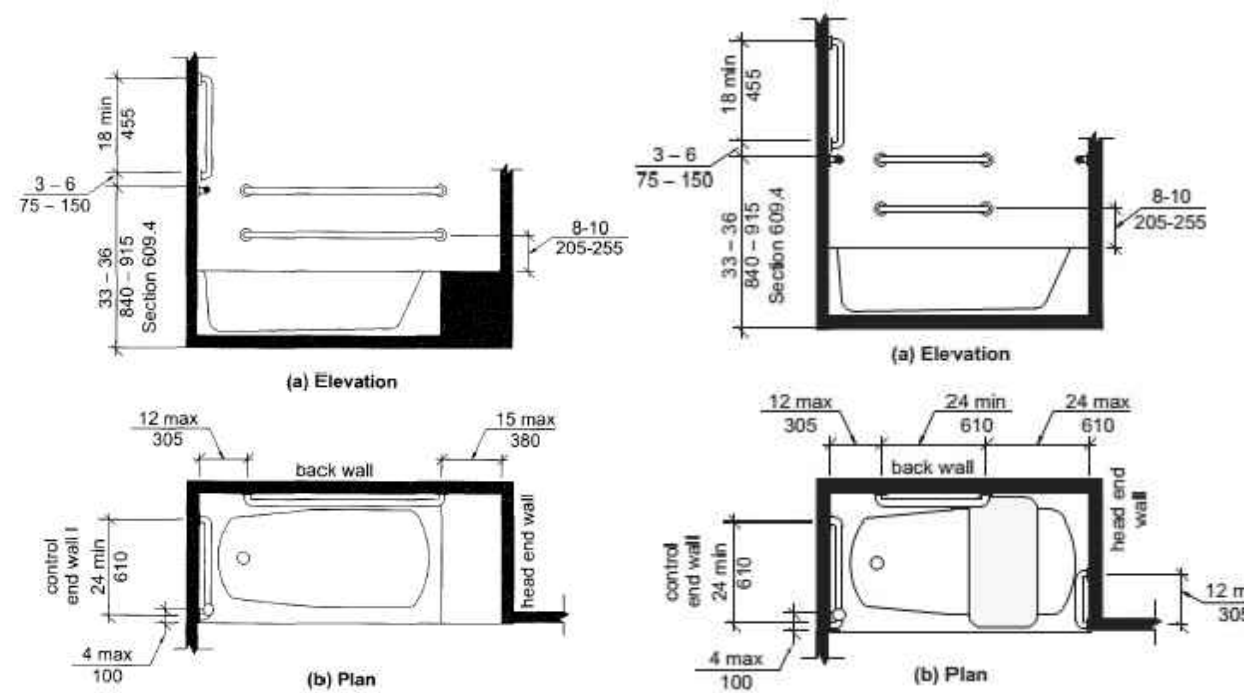
N TRANSFER SHOWER GRAB BARS (Section 608)
NO SCALE



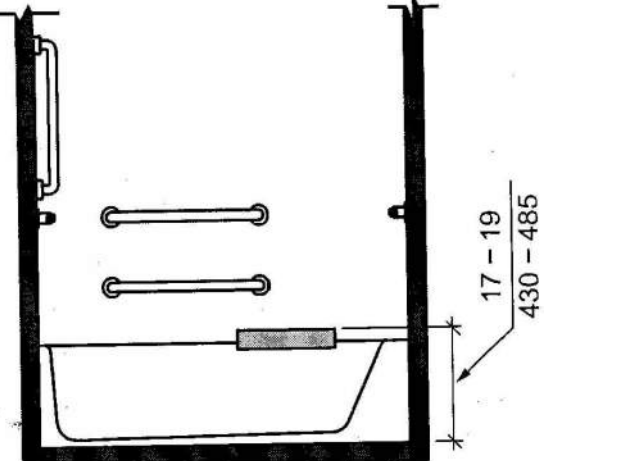
Note: inside finished dimensions measured at the center points of opposing sides



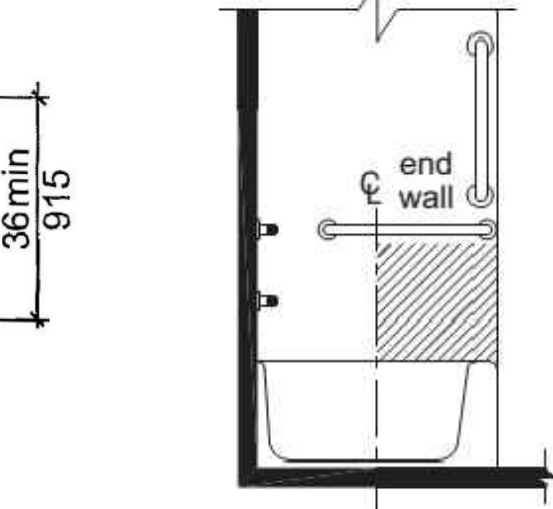
M BATH TUB SEAT (Section 610)
NO SCALE



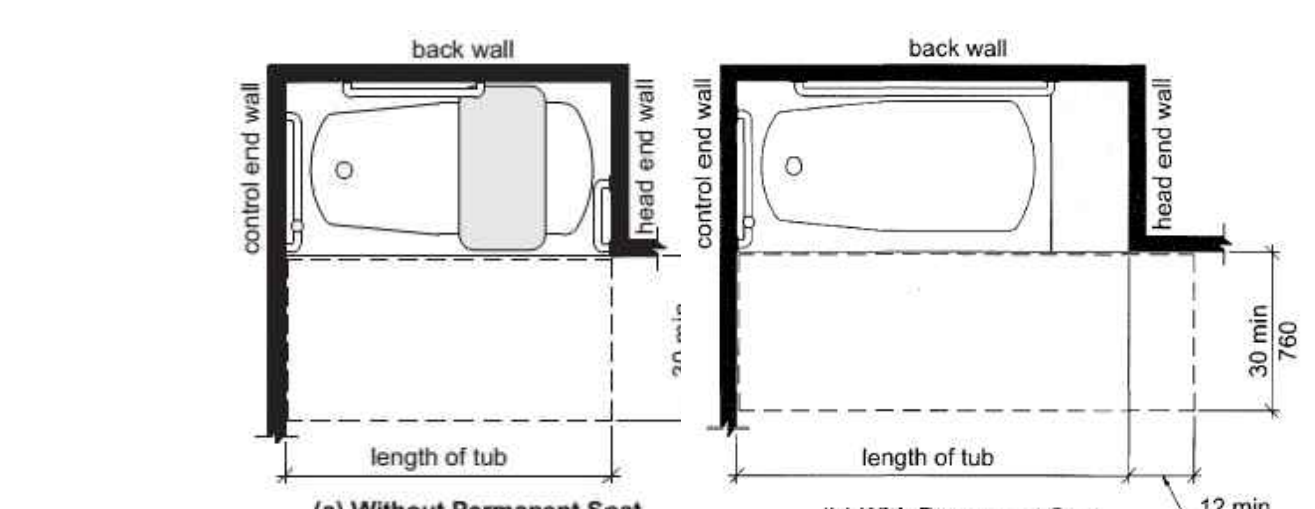
L GRAB BARS FOR BATHTUBS (Section 607)
NO SCALE



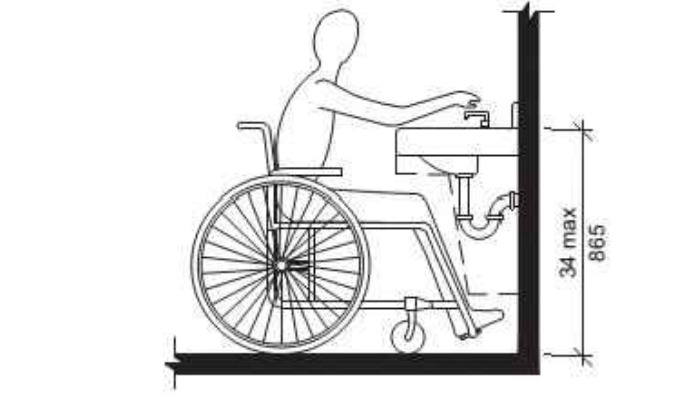
K BATH TUB SEAT (Section 610)
NO SCALE



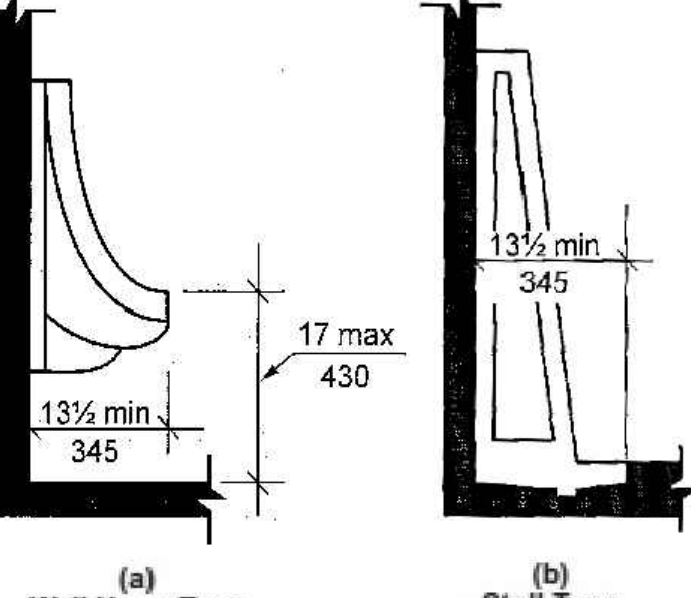
J BATH TUB CONTROLS (Section 607)
NO SCALE



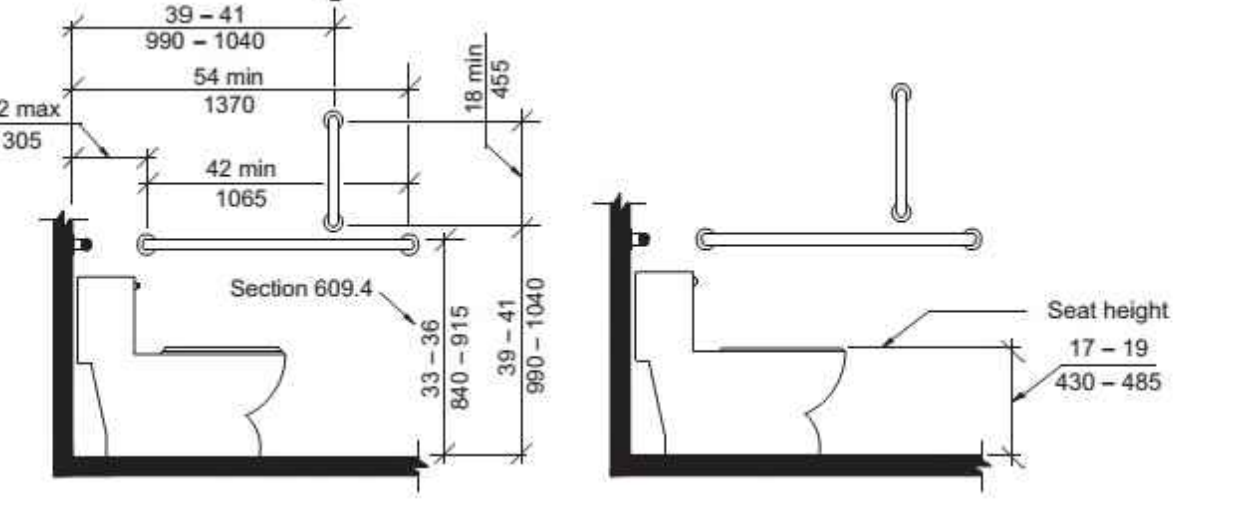
H CLEARANCES FOR BATHTUBS (Section 607)
NO SCALE



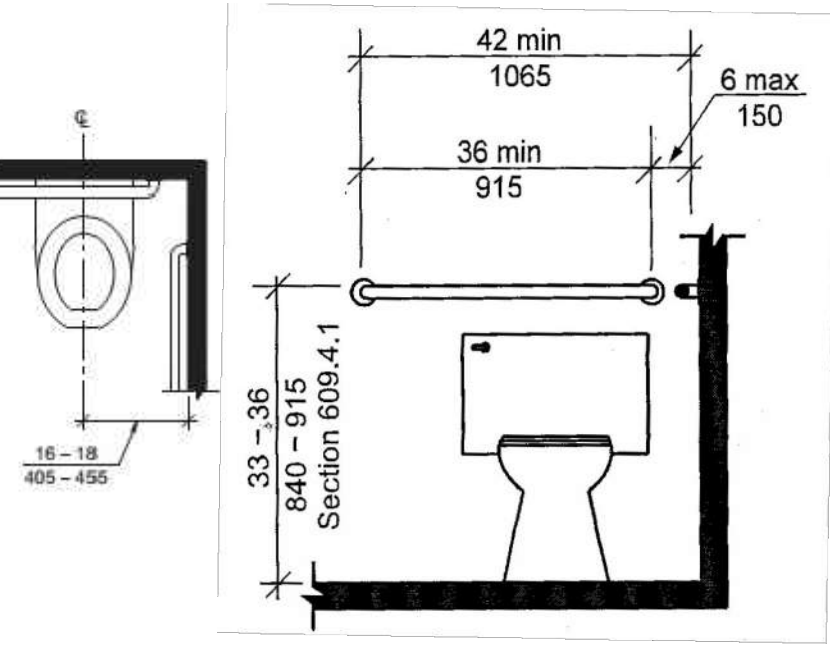
G HEIGHT OF LAVATORIES & SINKS (Section 606)
NO SCALE



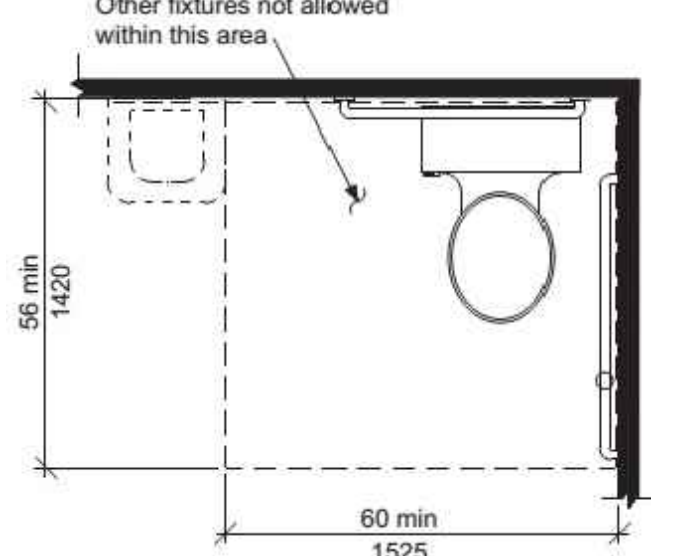
F HEIGHT OF URINALS (Section 605)
NO SCALE



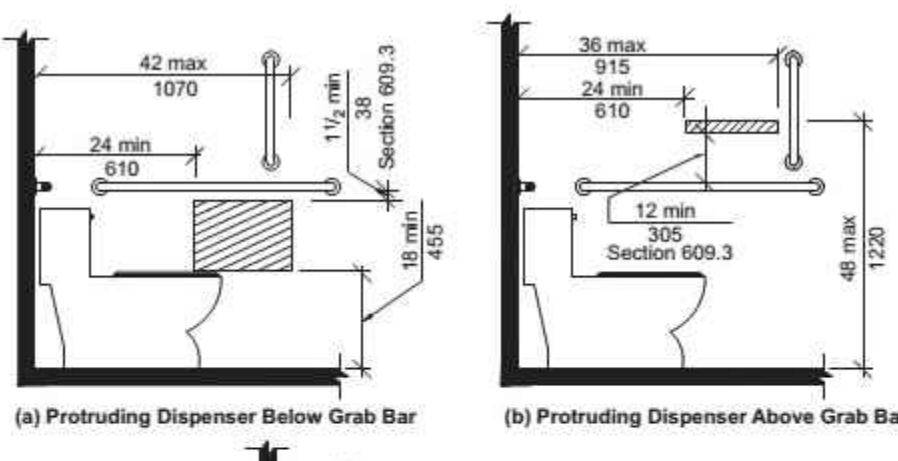
E WATER CLOSET HEIGHT & SIDE WALL GRAB BAR (Section 604)
NO SCALE



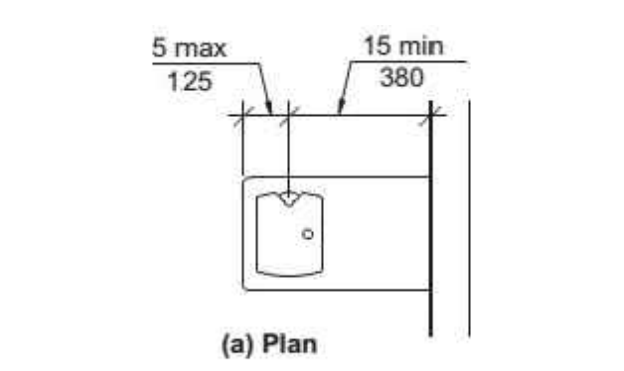
D WATER CLOSET LOCATION & REAR WALL GRAB BAR (Section 604)
NO SCALE



C CLEARANCES AT WATER CLOSET (Section 604)
NO SCALE

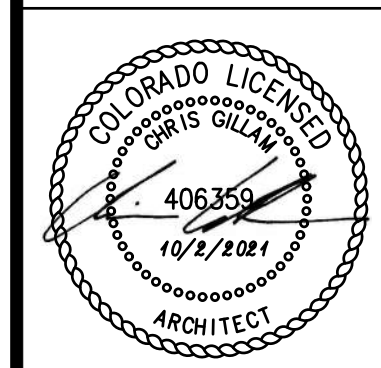


B DISPENSER OUTLET LOCATION (Section 604)
NO SCALE

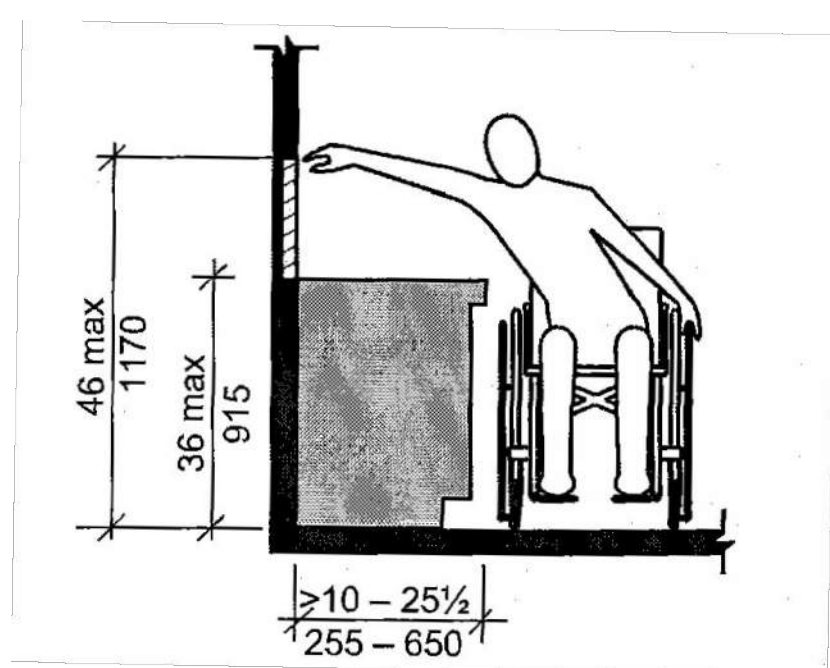


A DRINKING FOUNTAIN (Section 602)
NO SCALE

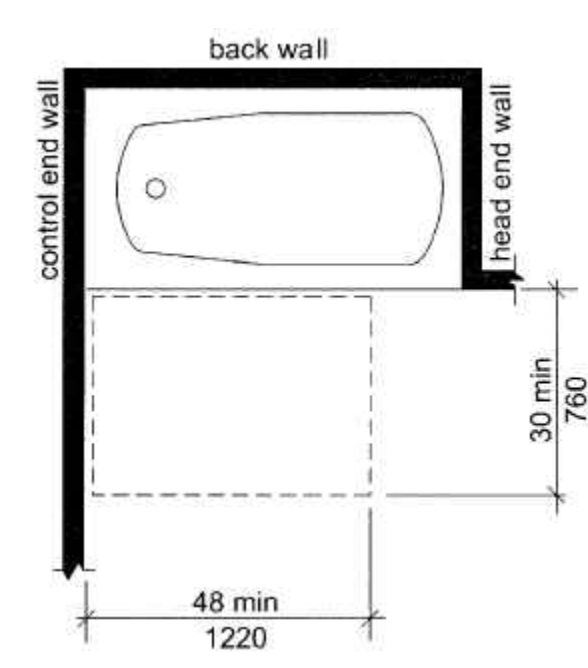
THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY & CONTAINS KEY ILLUSTRATIONS OF ICC A117.1-2017, ACCESSIBLE and USEABLE BUILDINGS and FACILITIES, FOR MORE INFORMATION REFERENCE ENTIRE REQUIREMENTS.



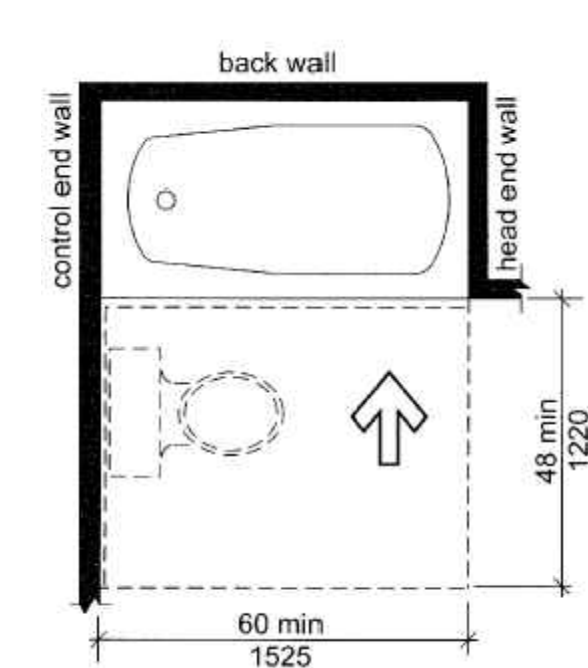
REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:



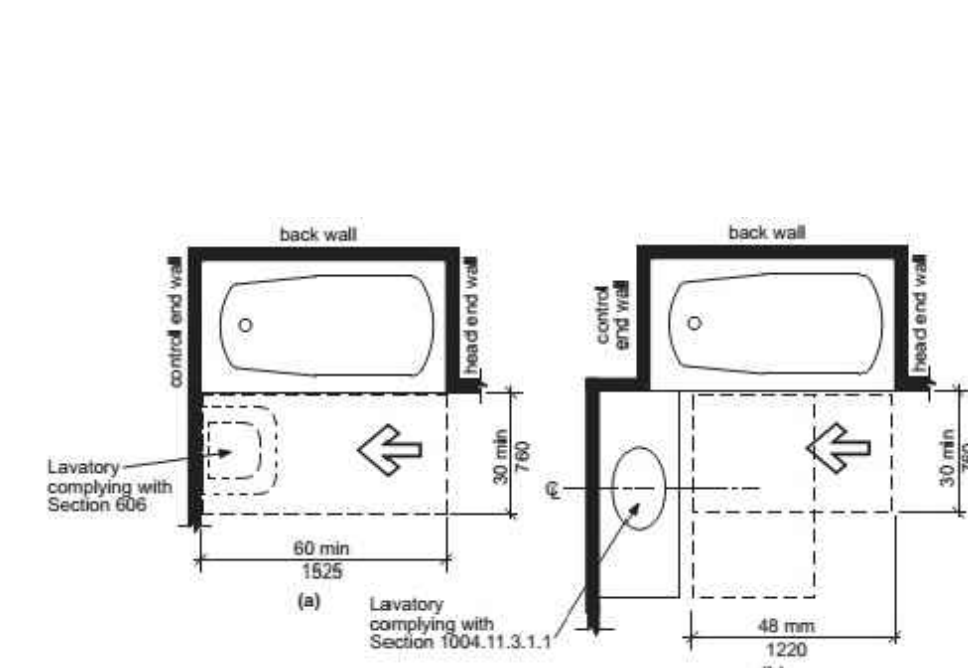
P REACH RANGE OVER KITCHEN or BATH CABINET - TYPE B UNITS (Section 1104)
NO SCALE



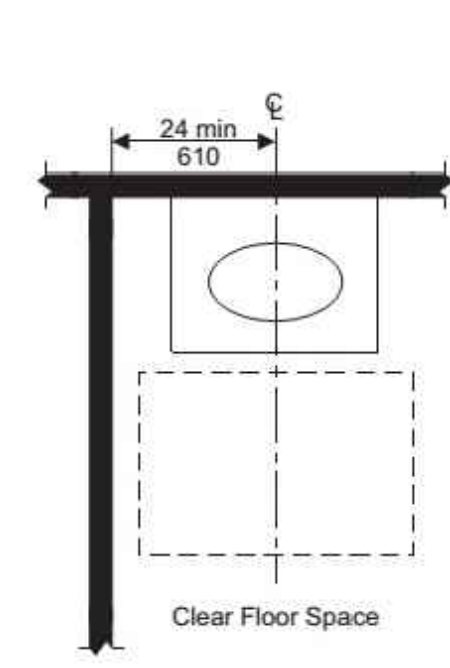
O BATHTUB CLEARANCES AT TYPE B UNITS - OPT B BATH (Section 1104)
NO SCALE



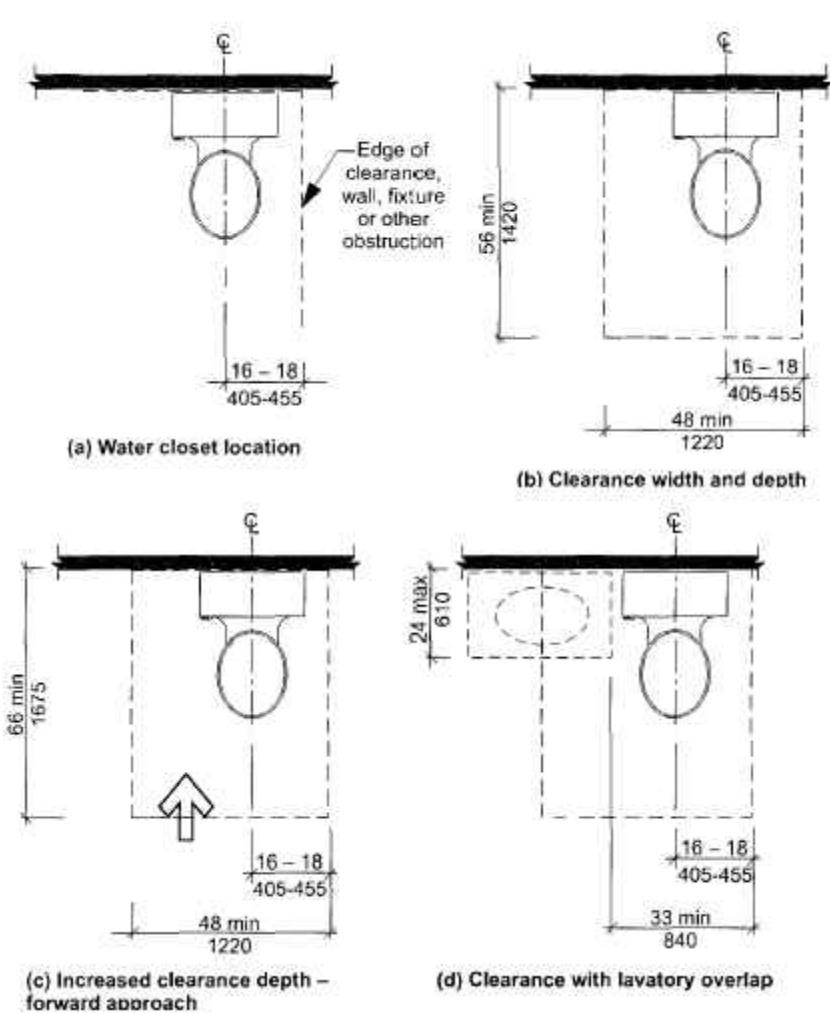
N BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



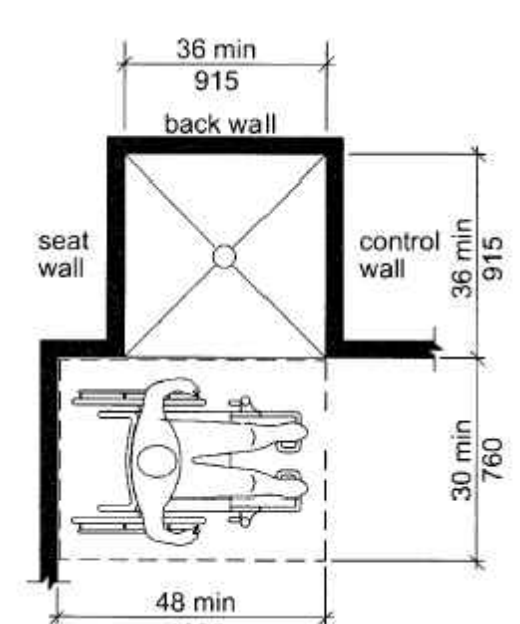
M BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



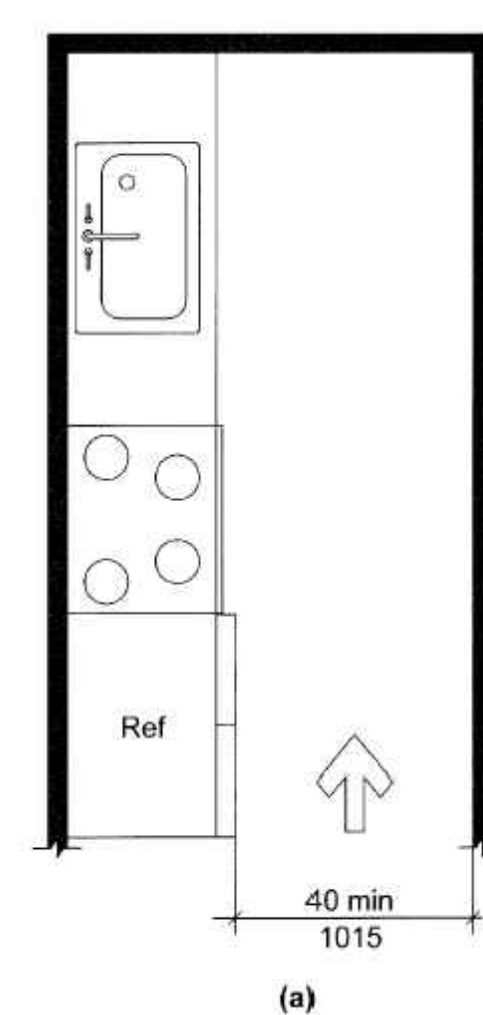
L LAVATORY AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



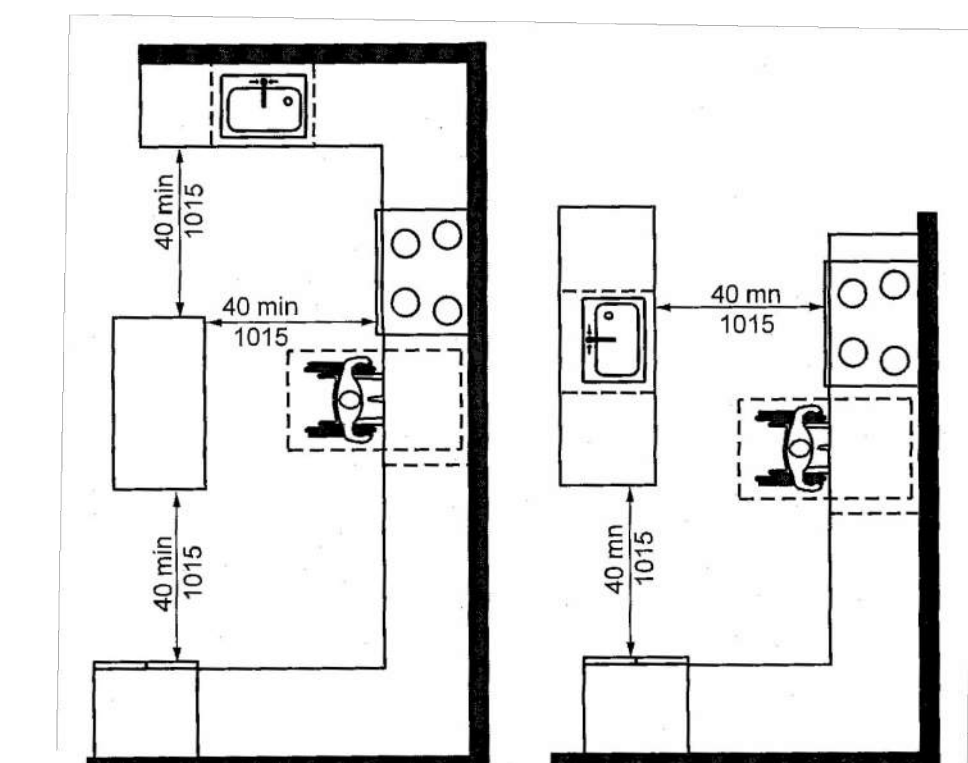
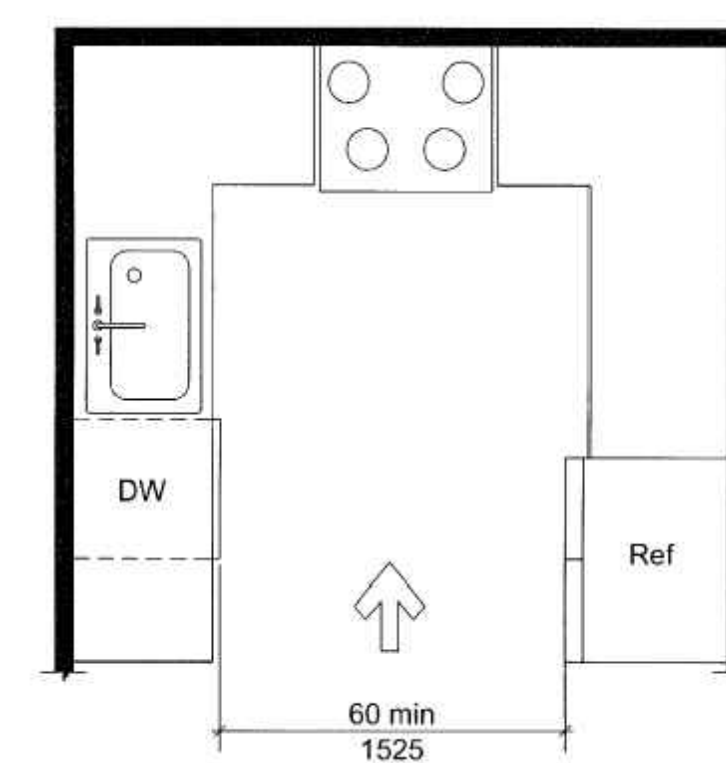
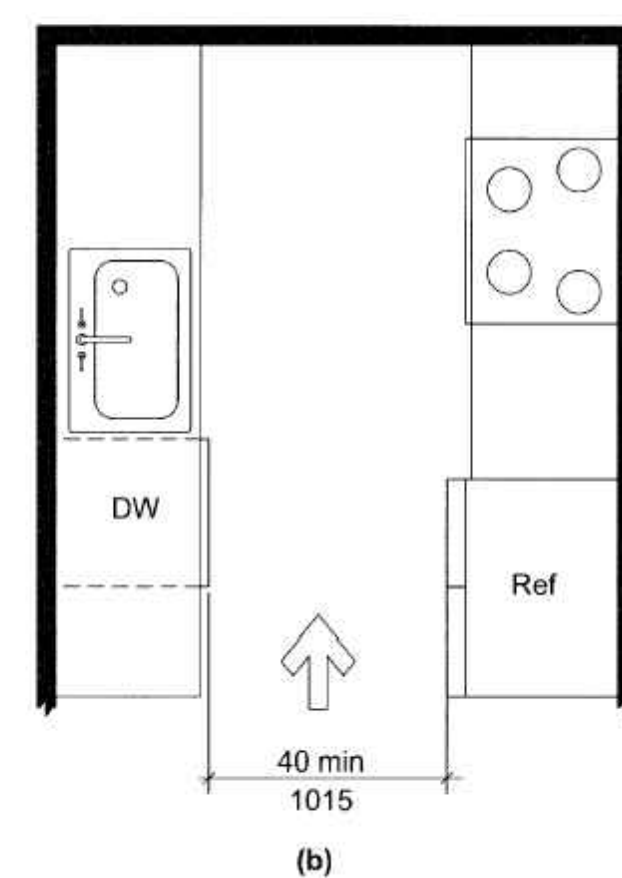
K WATER CLOSET CLEARANCES TYPE B UNITS (Section 1104)
NO SCALE



J TRANSFER SHOWER AT TYPE B UNITS (Section 1104)
NO SCALE

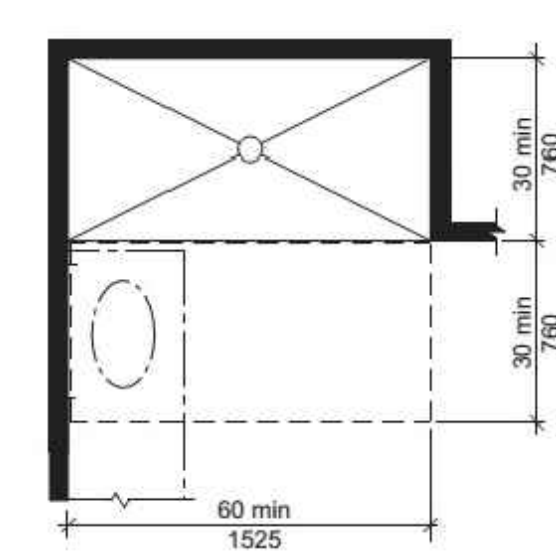


H MIN KITCHEN CLEARANCE - TYPE B UNITS (Section 1104)
NO SCALE

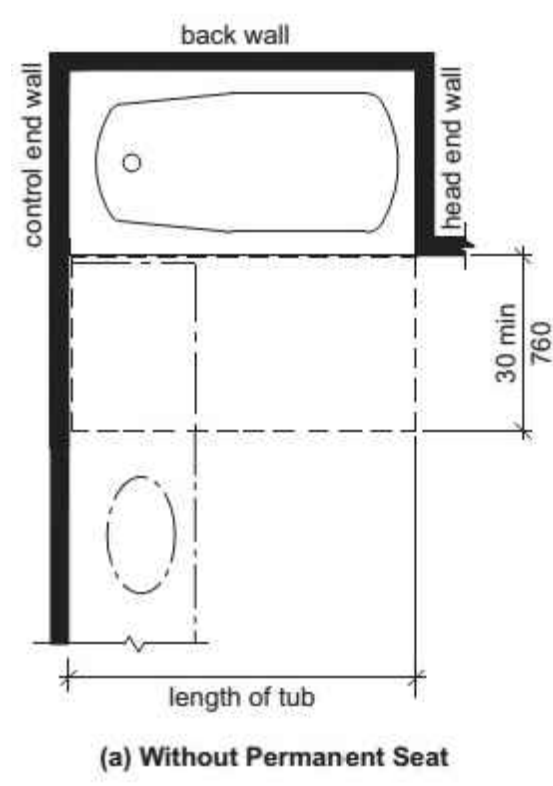


G U-SHAPED KITCHEN CLEARANCE - TYPE B UNITS - EXCEPTION (Section 1104)
NO SCALE

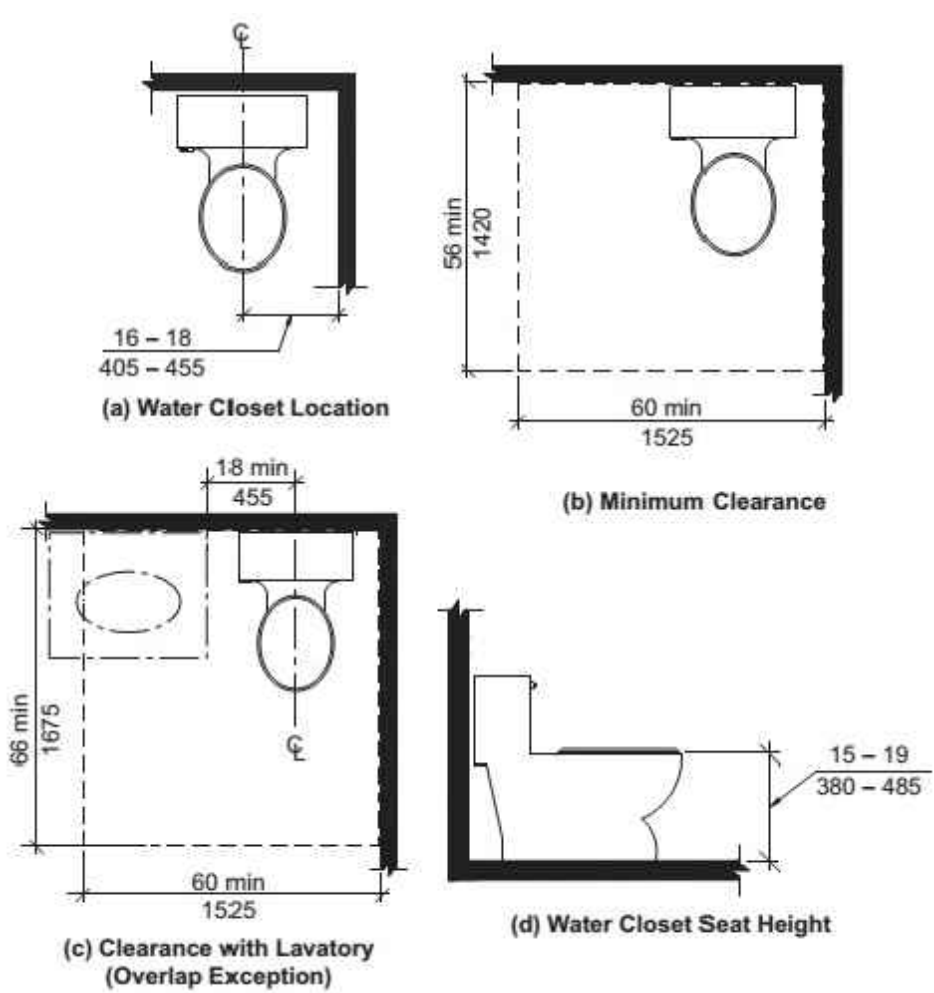
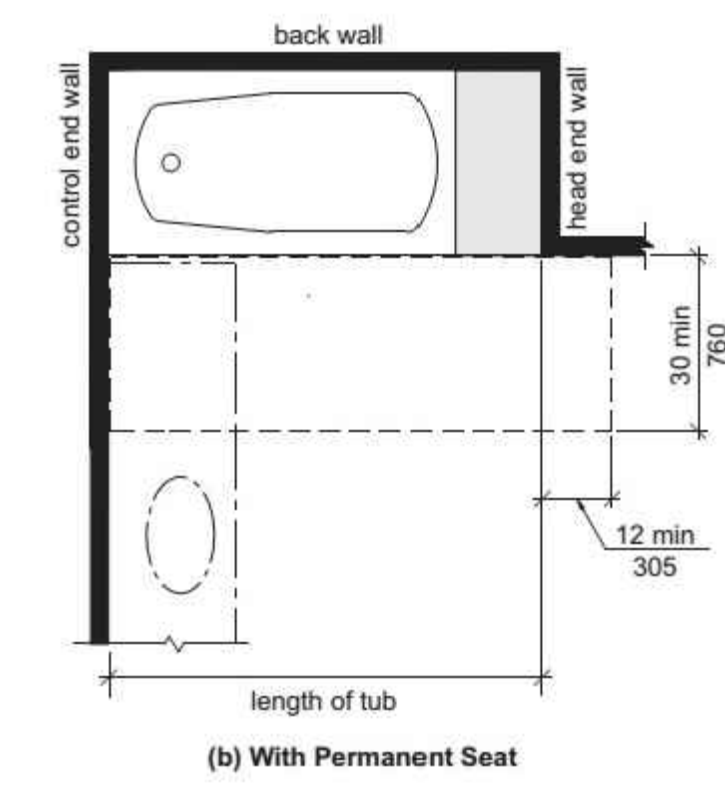
This sheet of drawings has not been reviewed for code compliance.



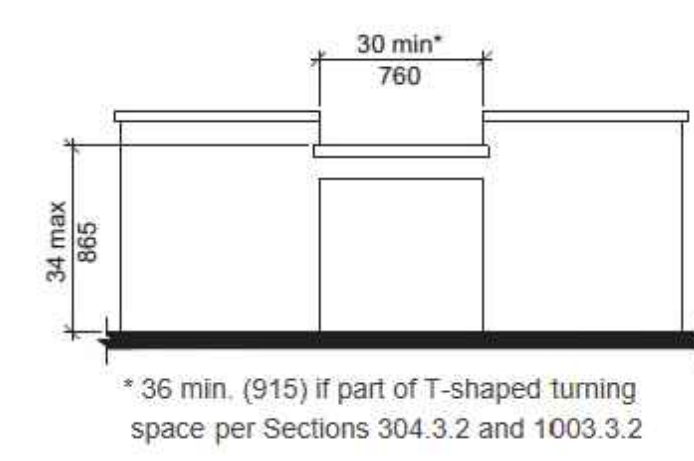
F ROLL-IN SHOWER CLEARANCES TYPE A UNITS (Section 1103)
NO SCALE



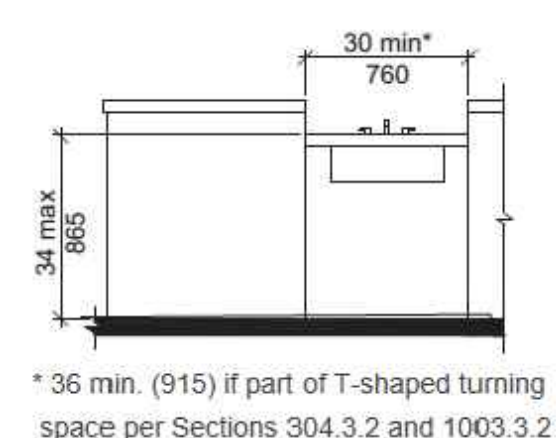
E BATHTUB CLEARANCES TYPE A UNITS (Section 1003)
NO SCALE



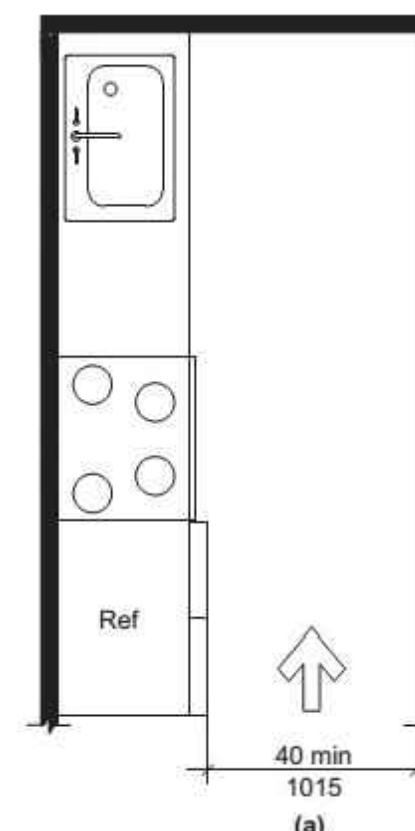
D WATER CLOSET CLEARANCES TYPE A UNITS (Section 1103)
NO SCALE



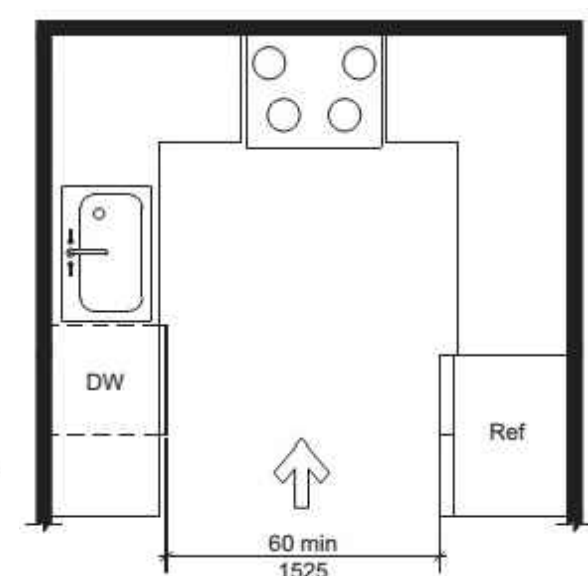
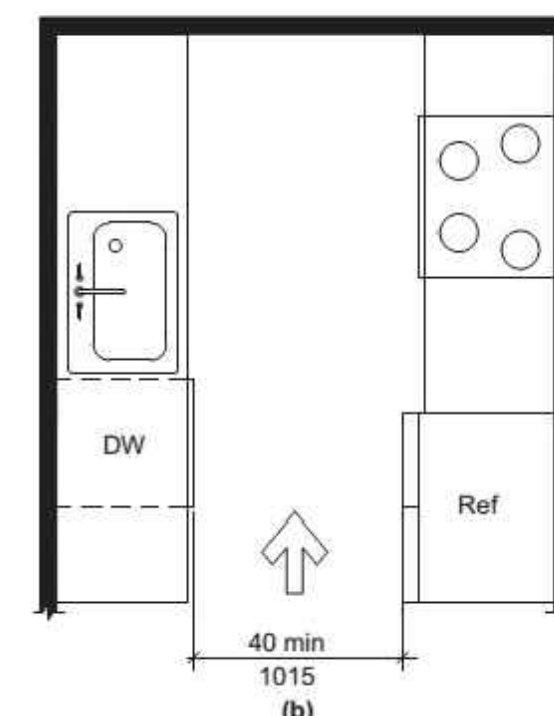
C WORK SURFACE - TYPE A UNITS (Section 1103)
NO SCALE



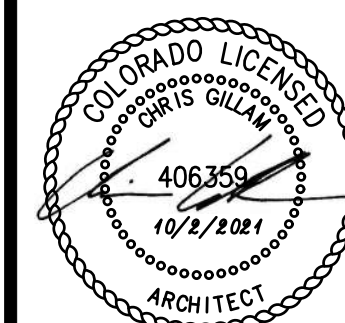
B KITCHEN SINK - TYPE A UNITS (Section 1103)
NO SCALE



A MIN KITCHEN CLEARANCE - TYPE A UNITS (Section 1103)
NO SCALE

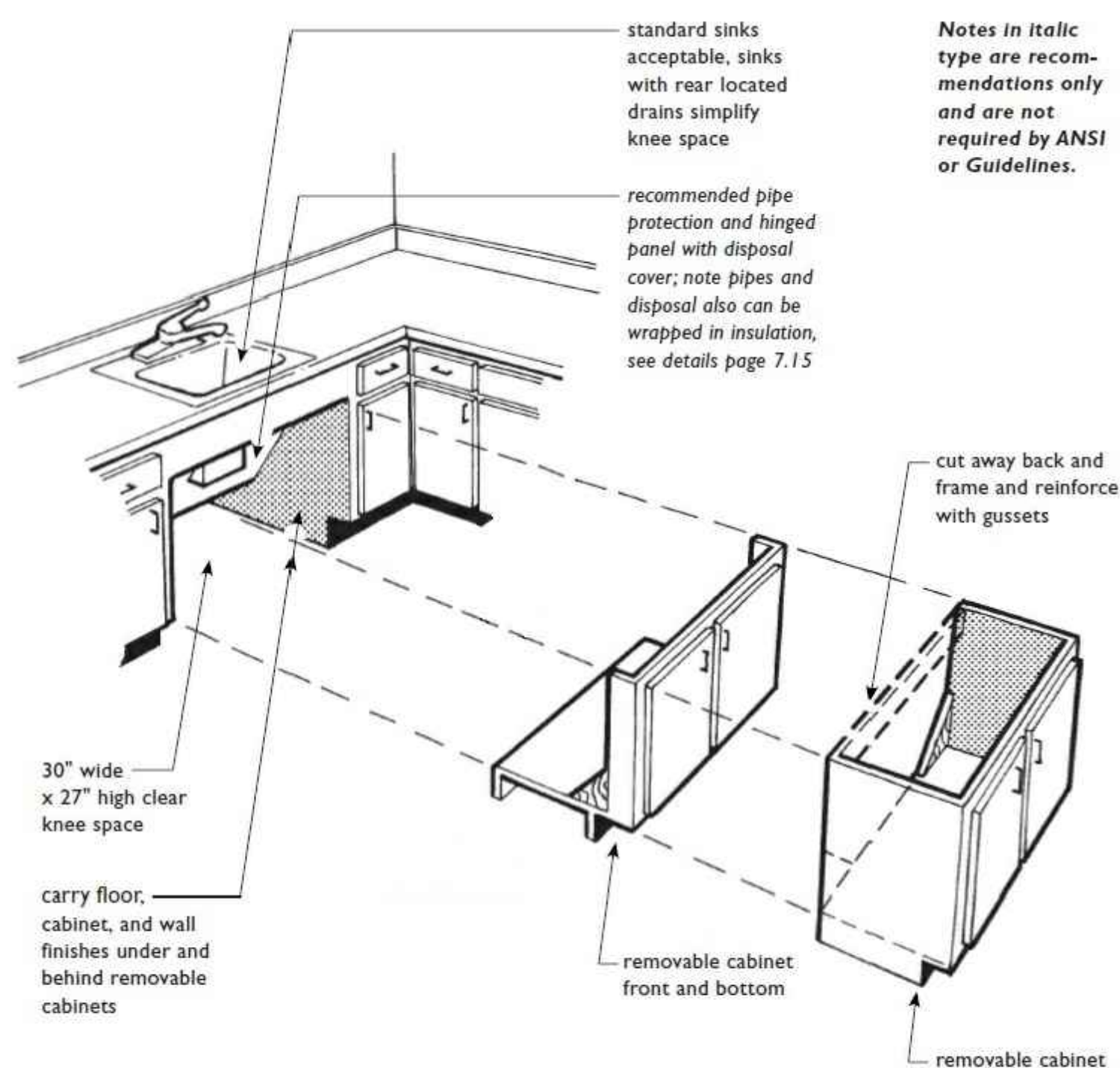
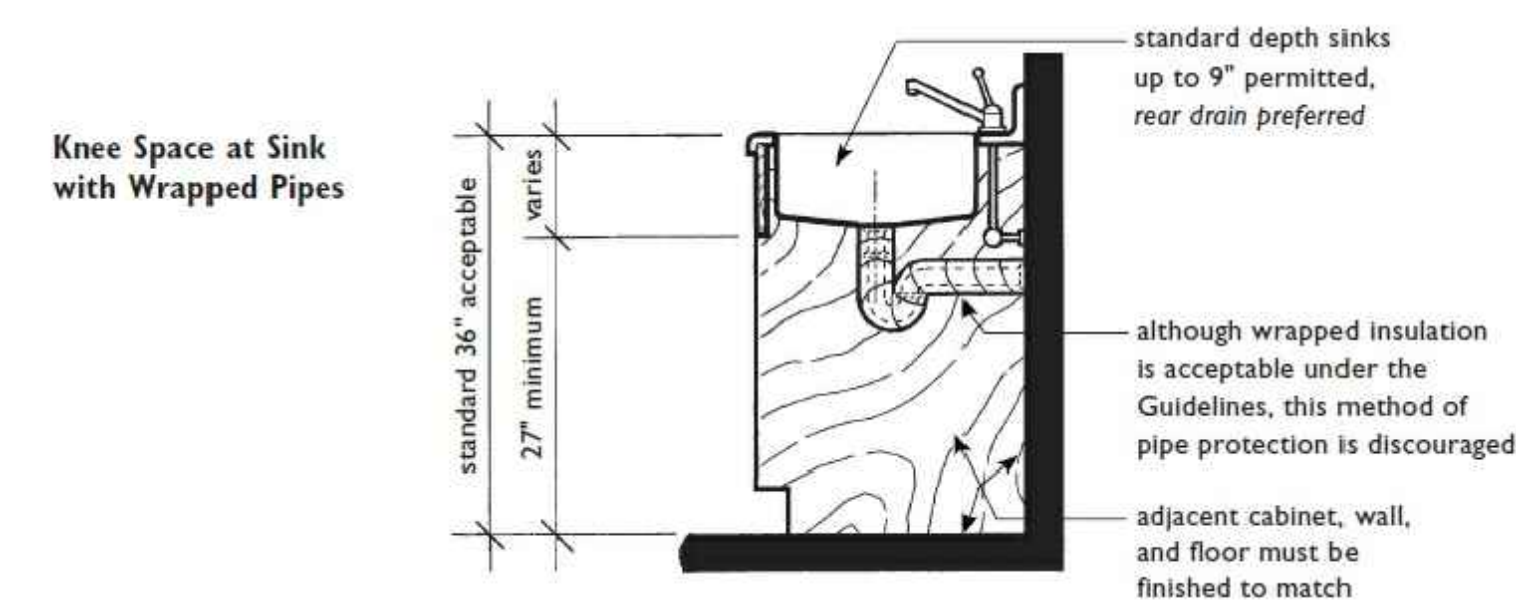
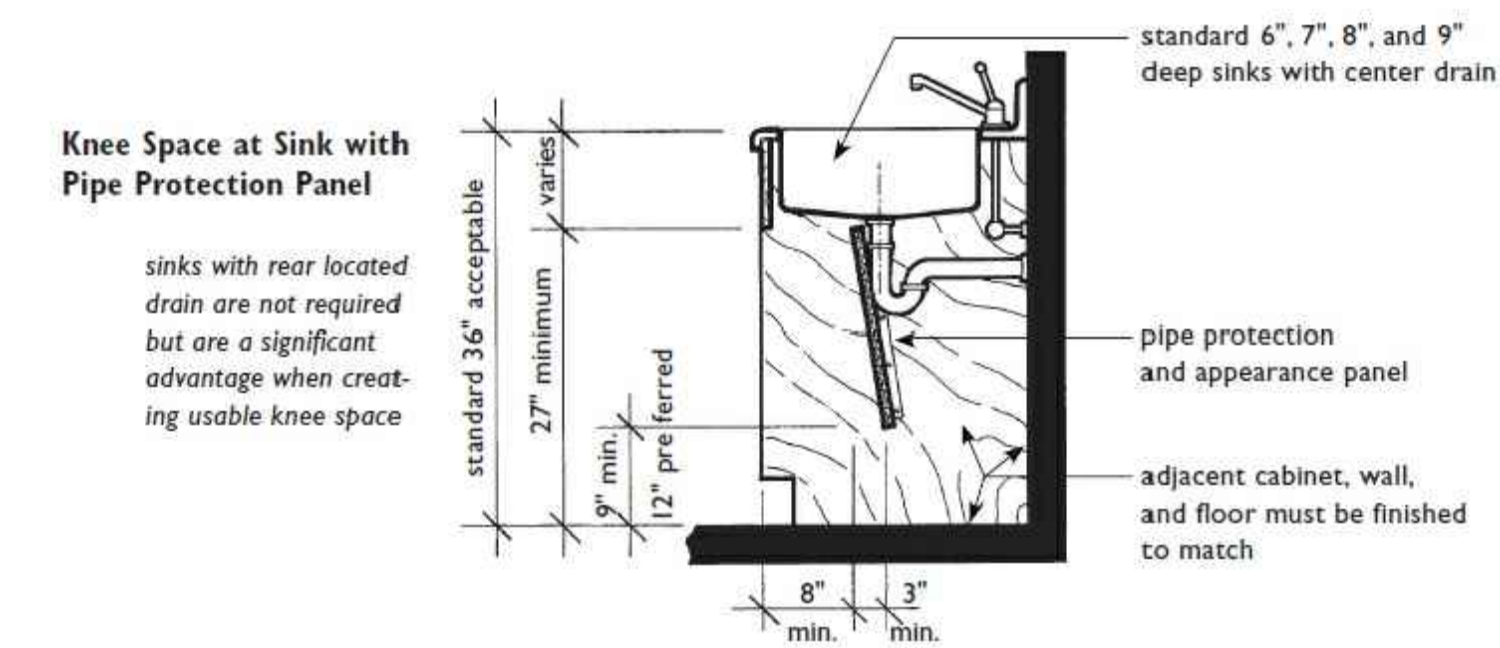
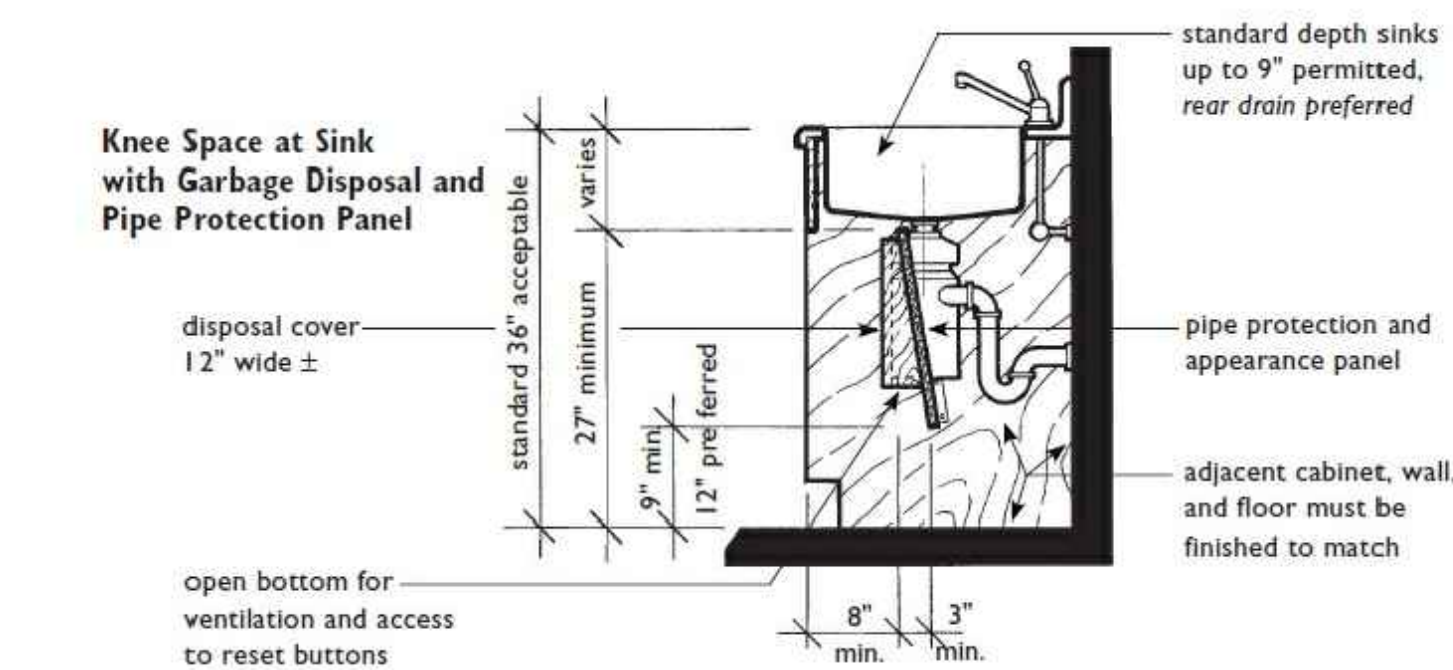


THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY & CONTAINS KEY ILLUSTRATIONS OF ICC A117.1-2017, ACCESSIBLE and USEABLE BUILDINGS and FACILITIES, FOR MORE INFORMATION REFERENCE ENTIRE REQUIREMENTS.

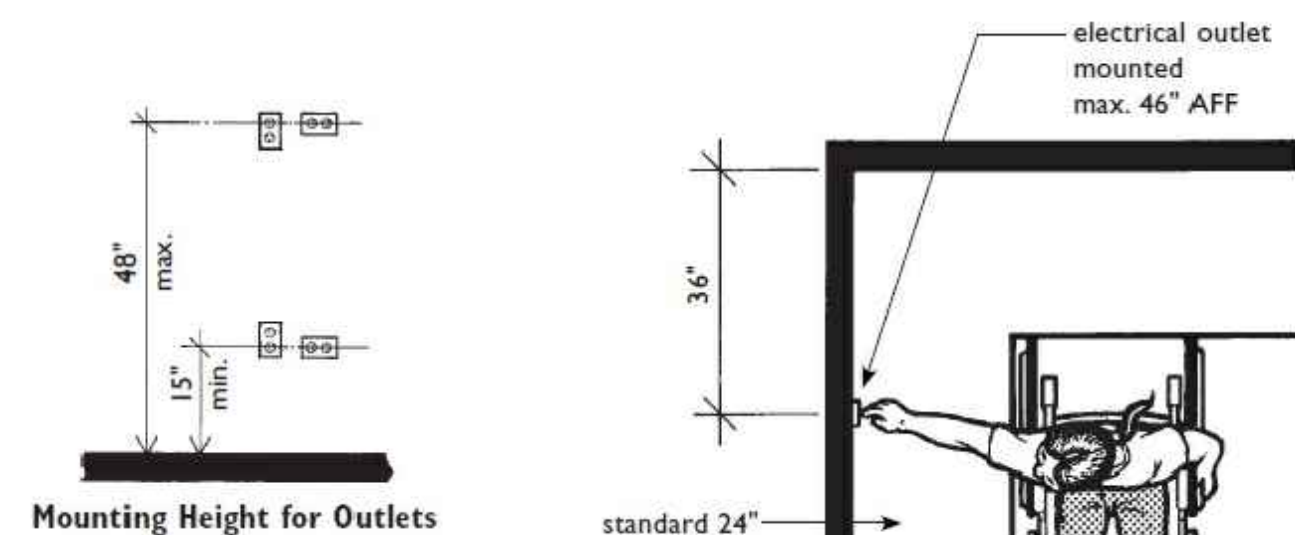


REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

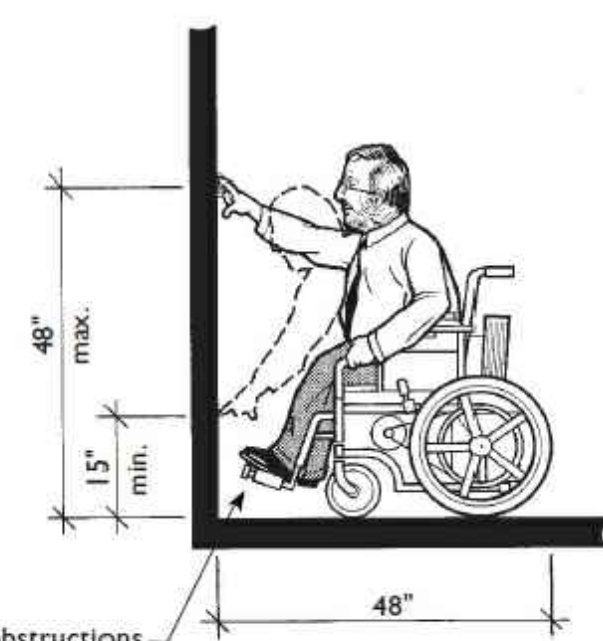
This sheet of drawings has not been reviewed for code compliance.



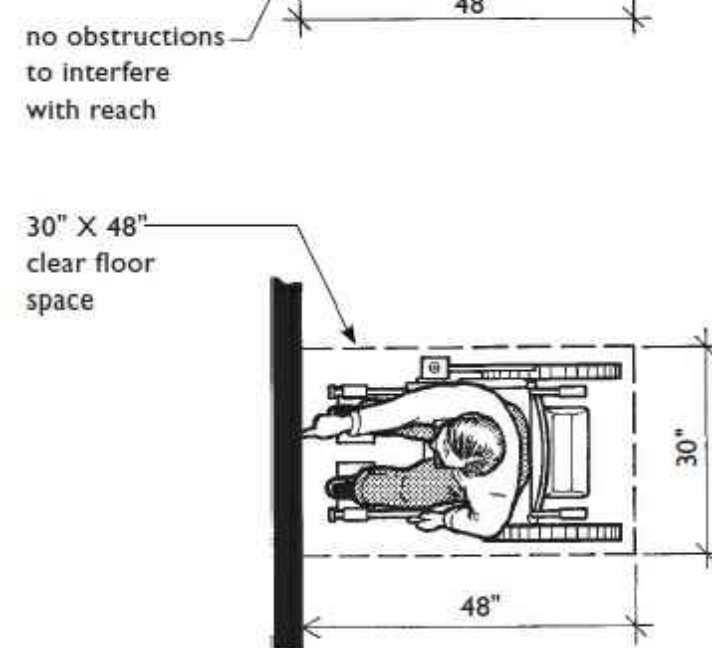
Possible Removable Cabinet Options for Required Knee Spaces at Sinks or Cooktops in Narrow (Less Than 60" Wide) U-Shaped Kitchens



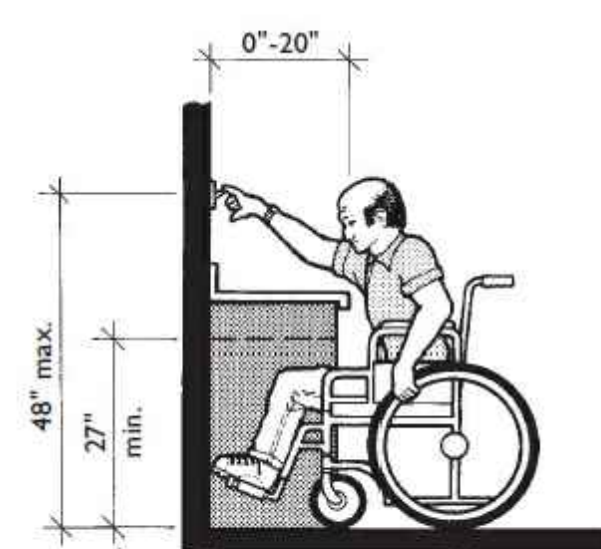
Mounting Height for Outlets



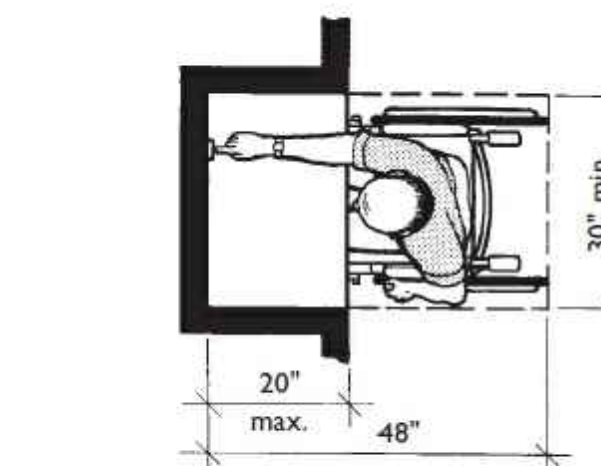
Electrical Outlets on Walls Over Cabinets Must Be a Minimum of 36" from a Corner



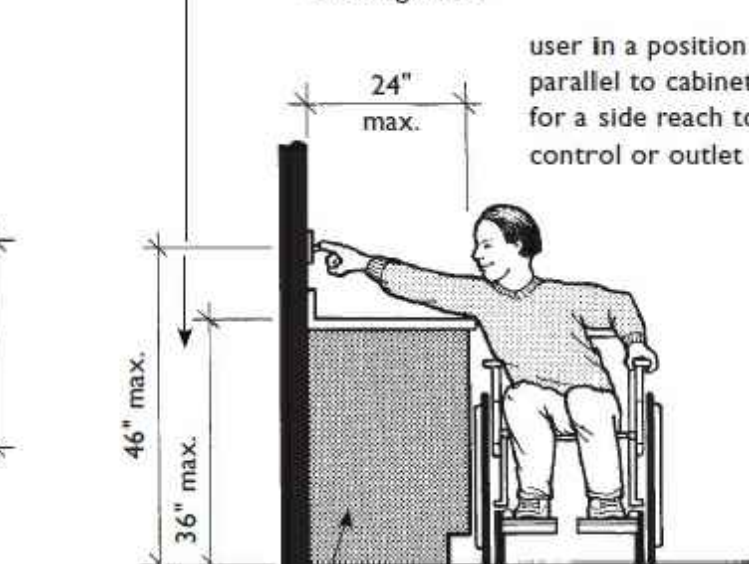
High and Low Forward Reach Limits From a Perpendicular Approach



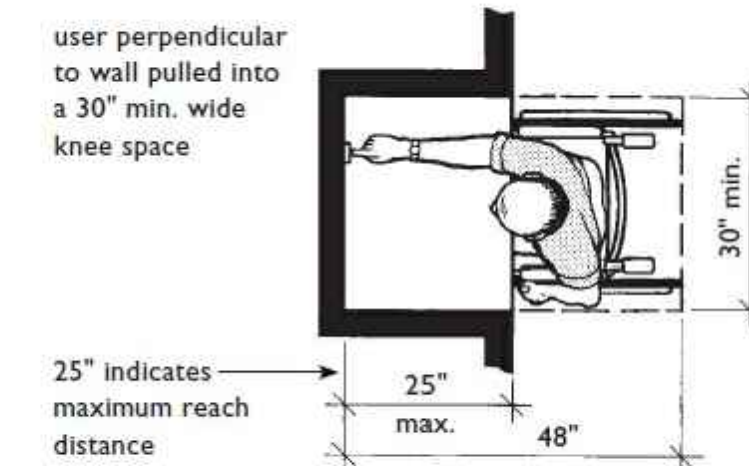
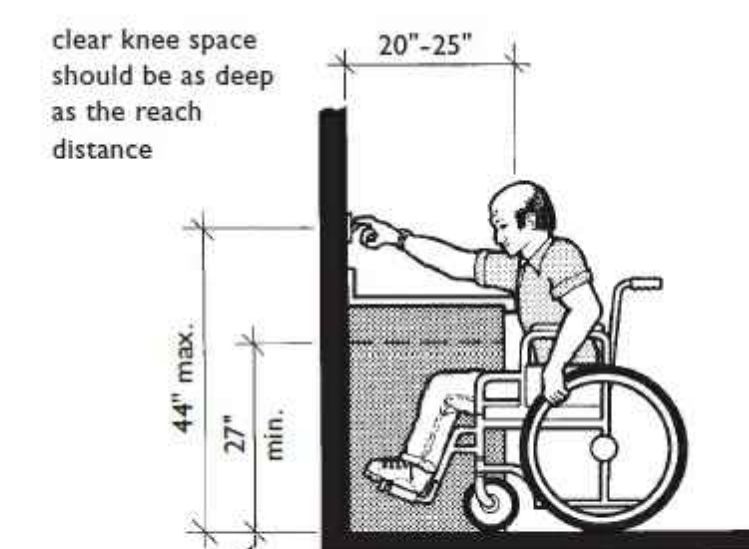
Maximum Side Reach (From a Parallel Approach) Over an Obstruction



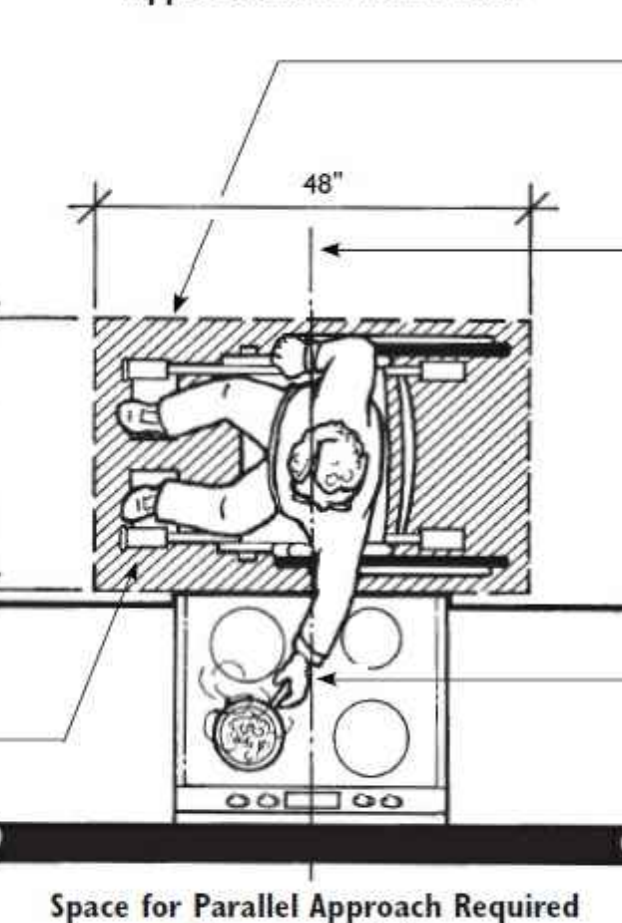
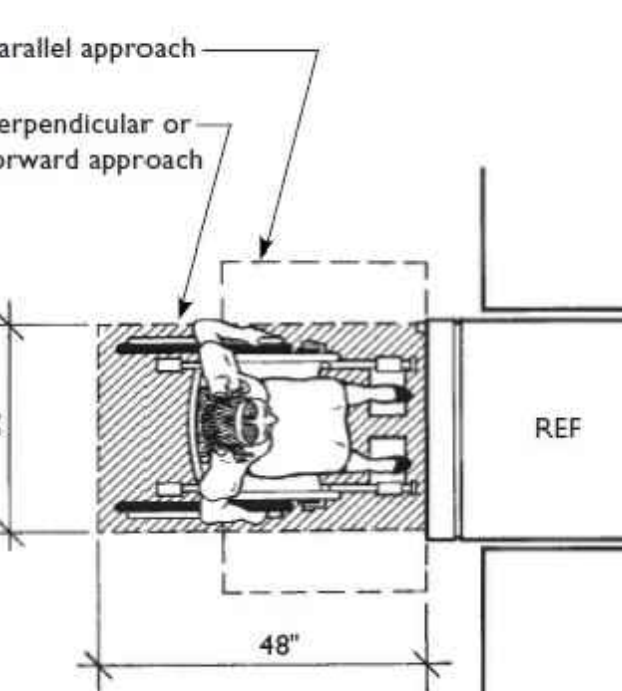
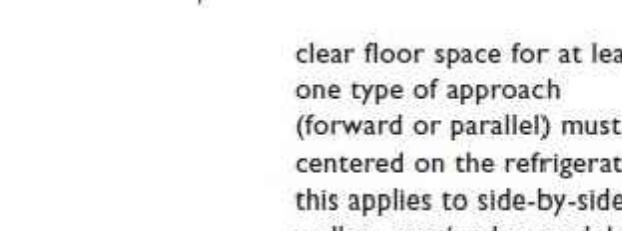
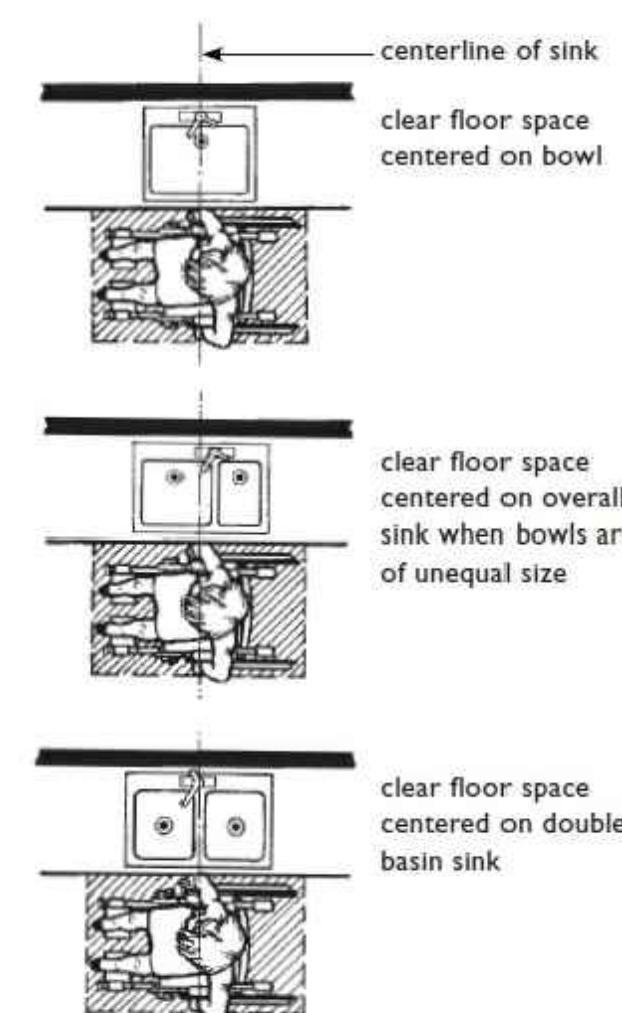
Maximum Forward Reach (From a Perpendicular Approach) over an Obstruction



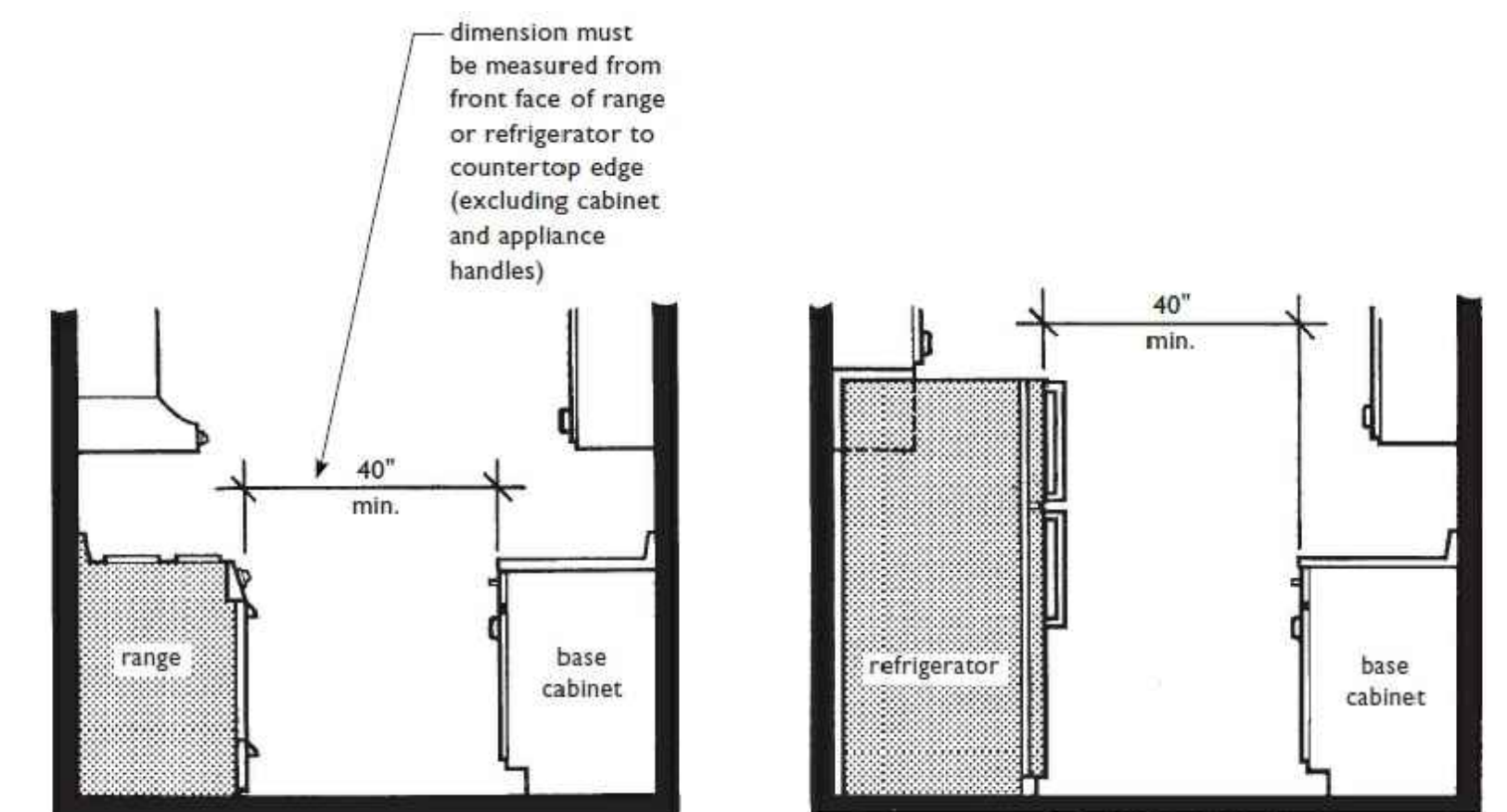
Maximum Side Reach (From a Parallel Approach) Over an Obstruction



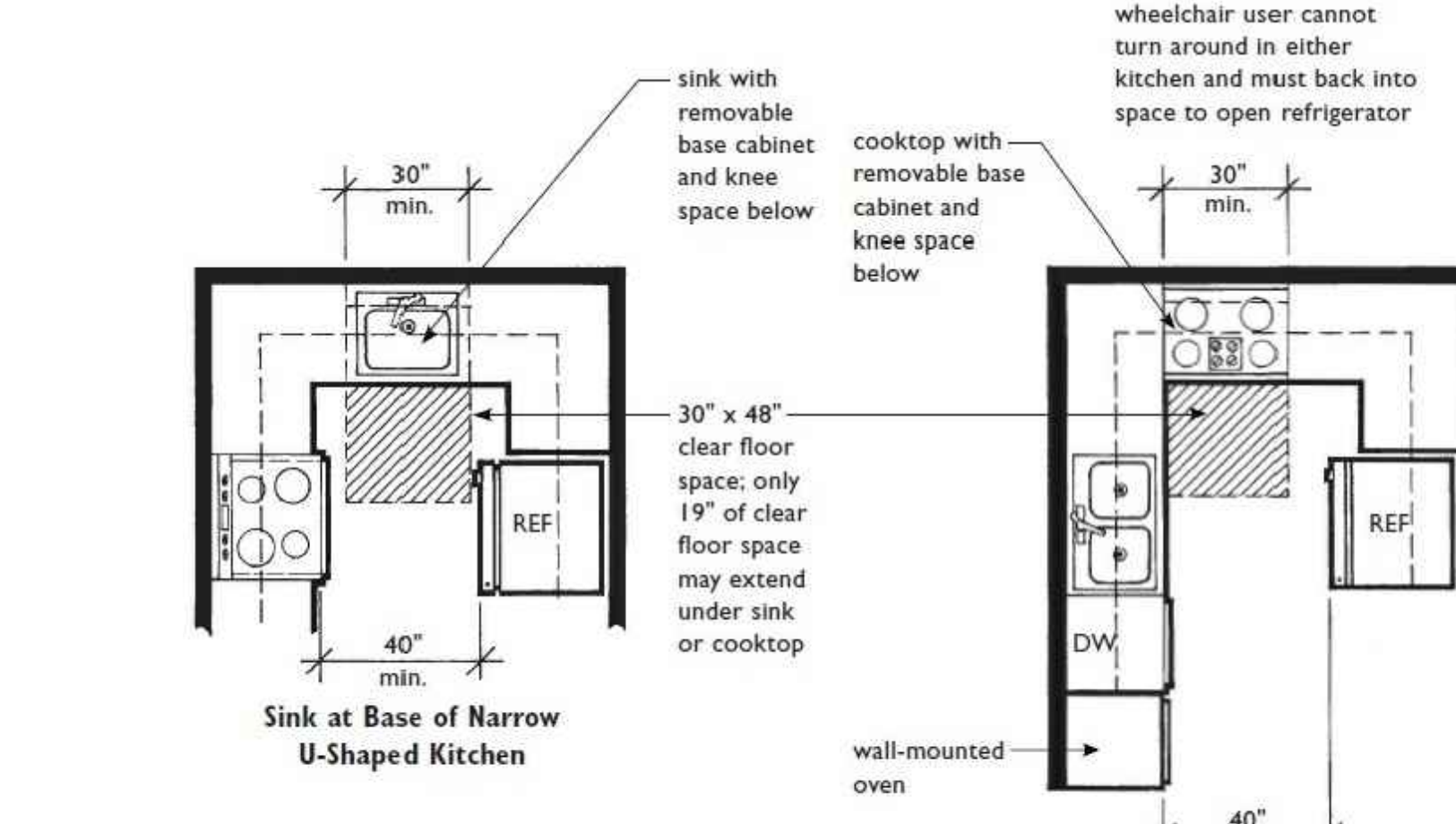
Maximum Forward Reach (From a Perpendicular Approach) over an Obstruction



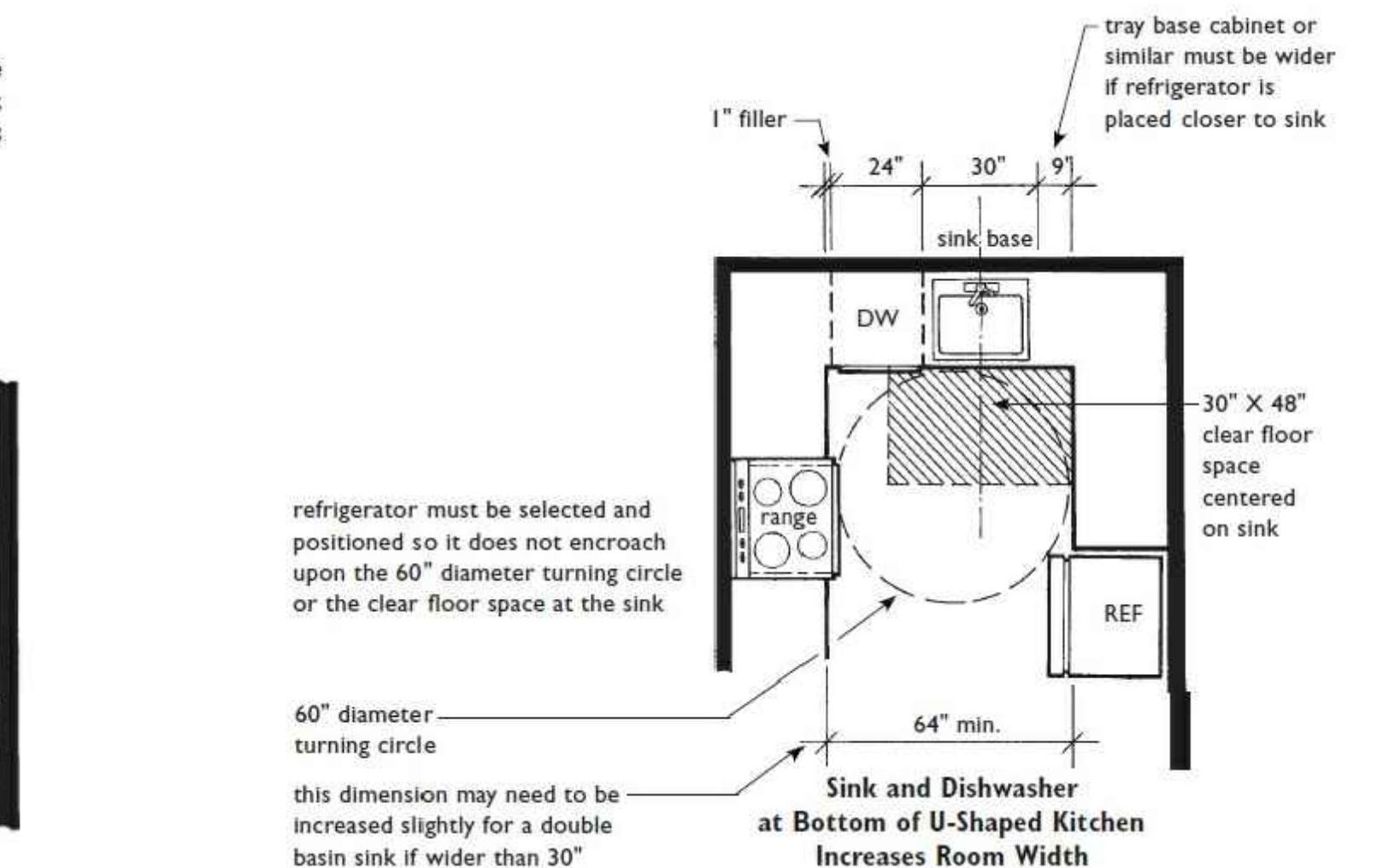
Space for Parallel Approach Required at Range and Cooktop



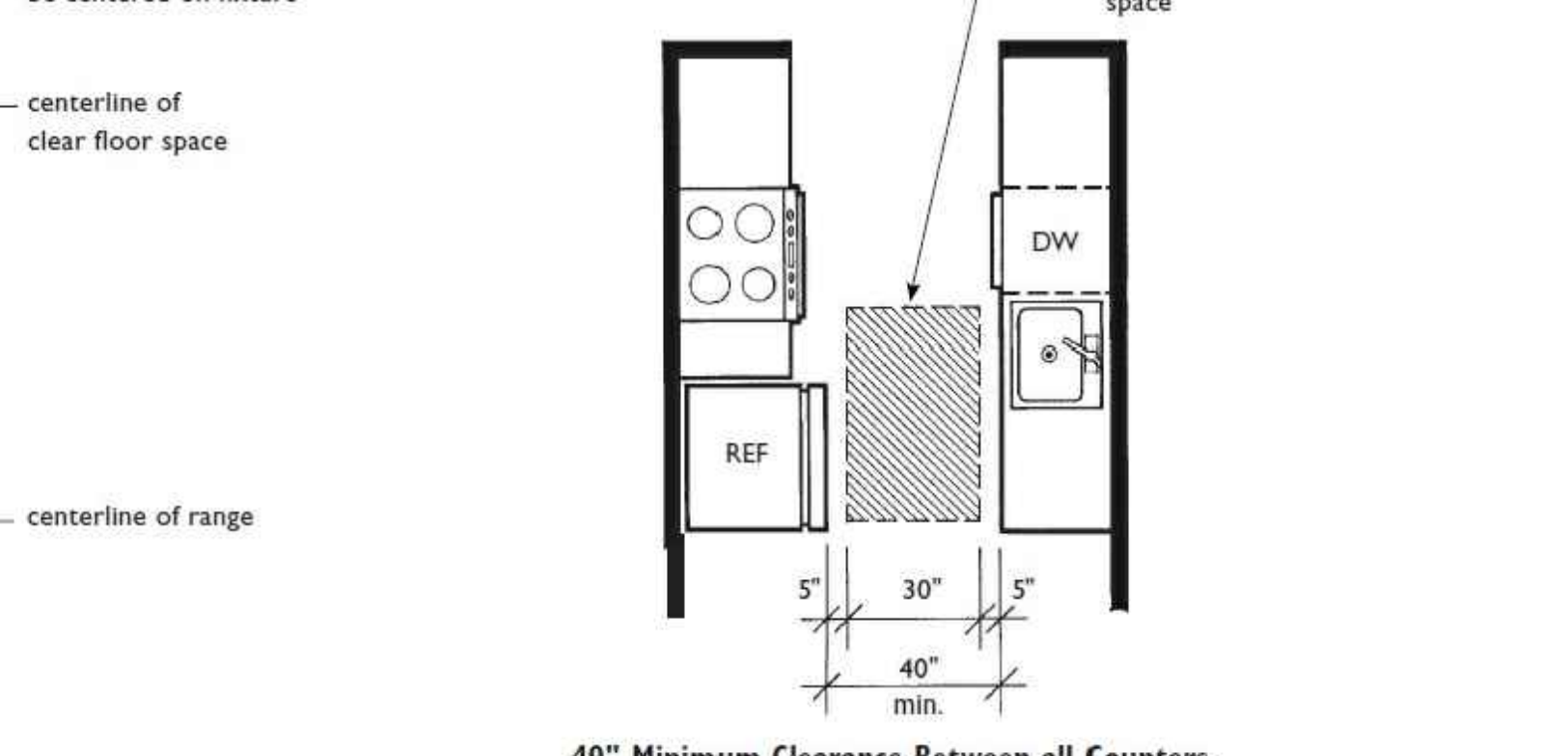
Minimum Clearance between Range and Opposing Base Cabinet; Minimum Clearance between Refrigerator and Opposing Base Cabinet



Sink at Base of Narrow U-Shaped Kitchen; Cooktop at Base of Narrow U-Shaped Kitchen (Not Allowed for a Range)



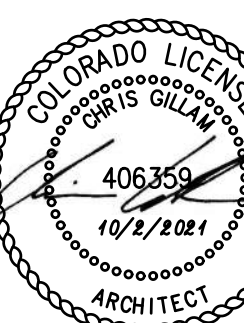
Sink and Dishwasher at Bottom of U-Shaped Kitchen Increases Room Width



40" Minimum Clearance Between all Counters, Base Cabinets, Appliances, and Walls

FOR REFERENCE ONLY

COPYRIGHTED



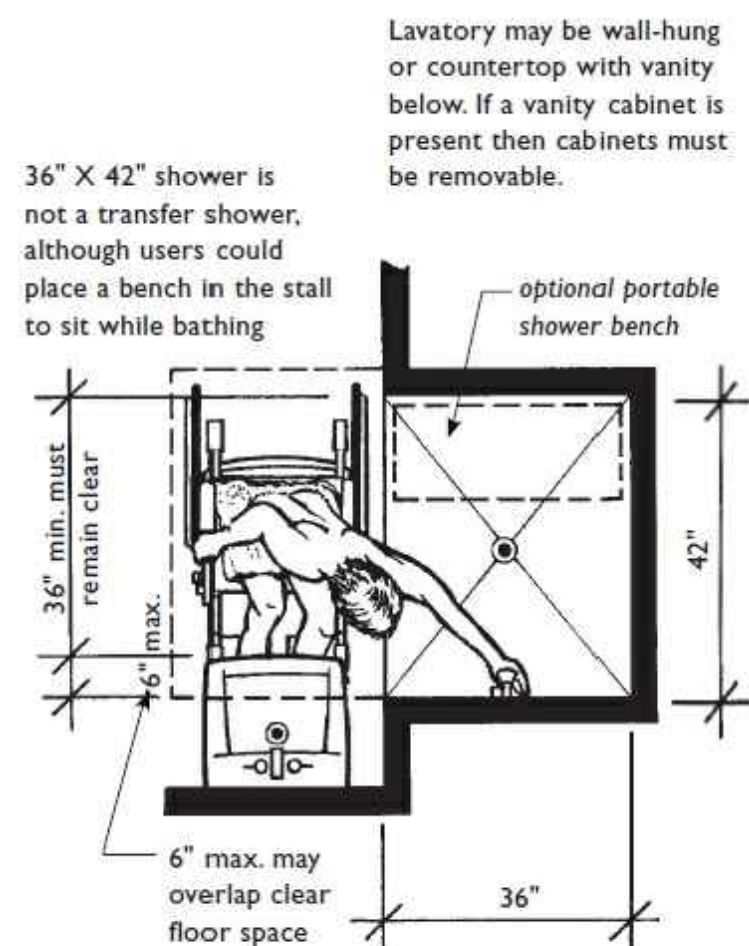
REVISION:

DATE: 10-2-2023

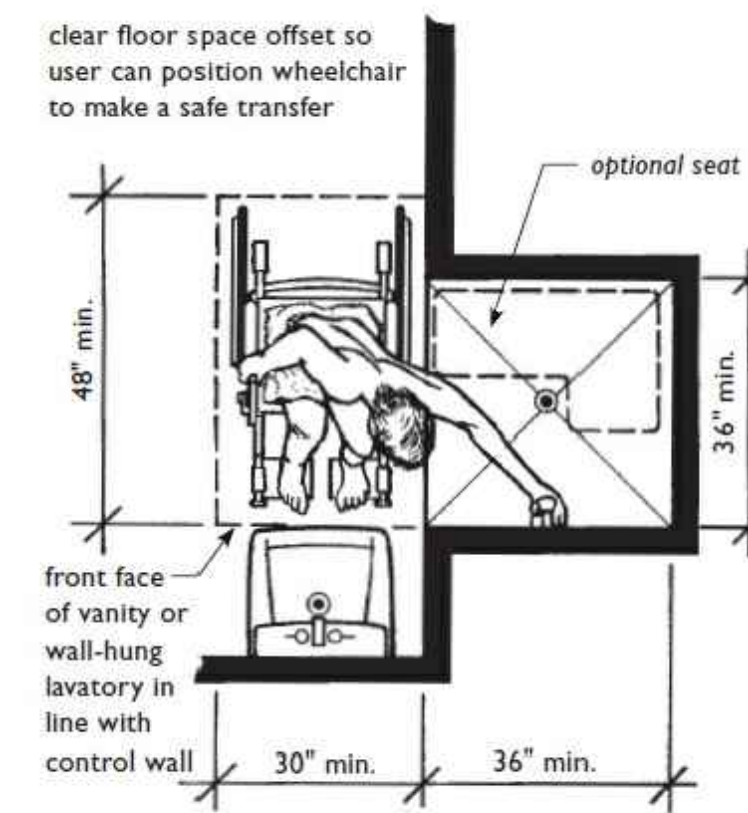
JOB: 22-3219

SHEET NO.:

This sheet of drawings has not been reviewed for code compliance.

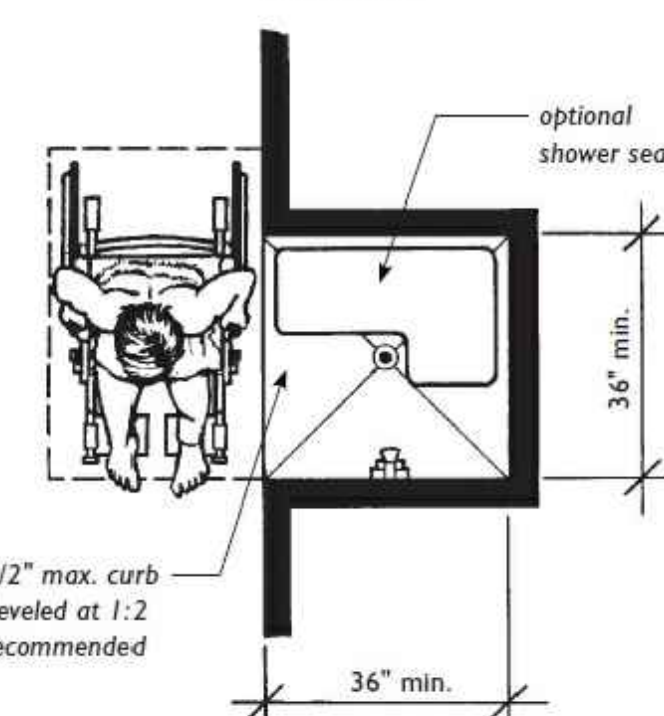


Lavatory at 36-Inch X 42-Inch Shower
Applicable in Specification A and B Bathrooms

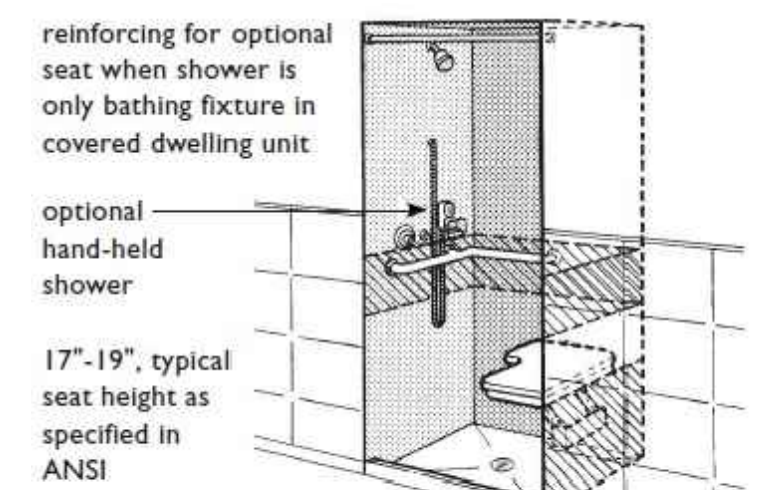


Lavatory at 36-Inch X 36-Inch Shower
Applicable in Specification A and B Bathrooms

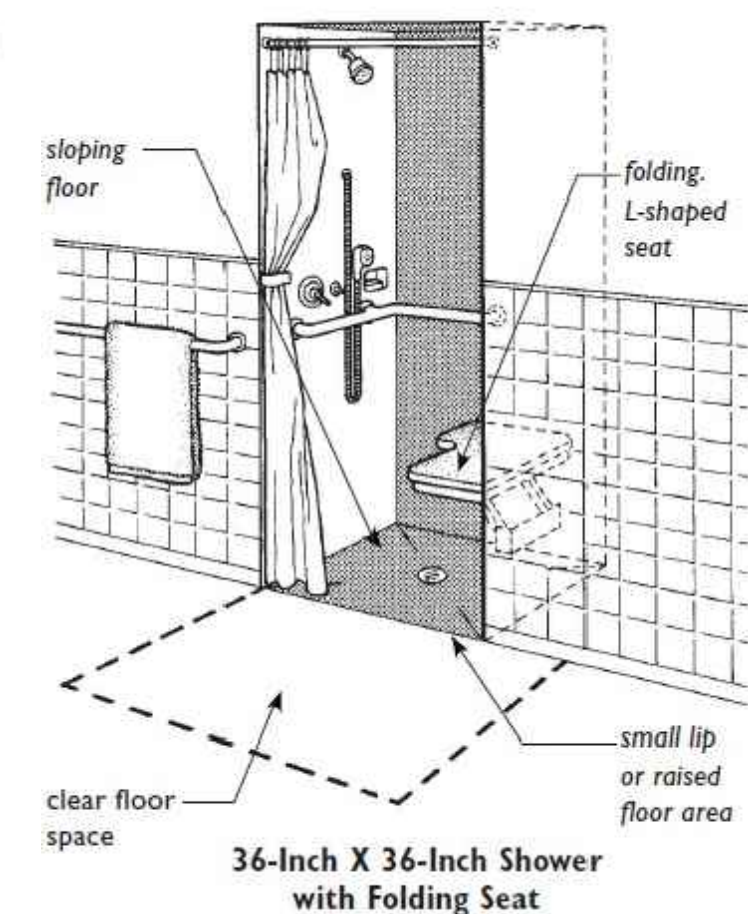
In Specification B bathrooms, when shower is only bathing fixture and is a nominal 36" X 36", it must have reinforcing for grab bars and a wall-mounted shower seat.



When Shower Stall Is the Only Bathing Fixture It Must Be at Least 36 Inches X 36 Inches



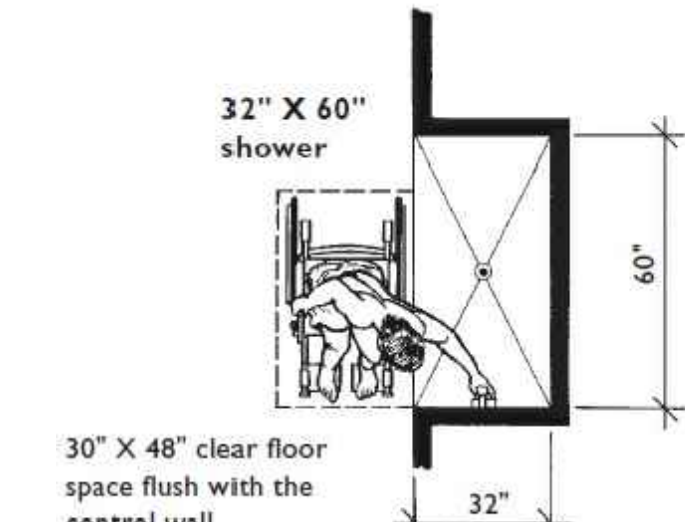
Seat and Grab Bar in 36" X 36" Shower



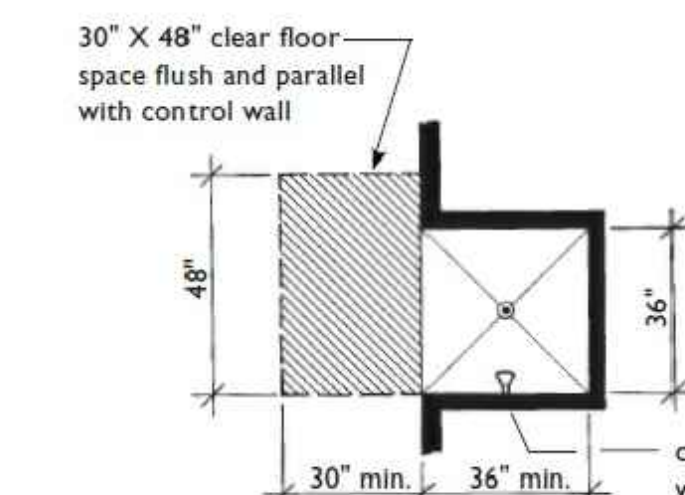
36-Inch X 36-Inch Shower with Folding Seat

Lavatory at 36-Inch X 42-Inch Shower
Applicable in Specification A and B Bathrooms

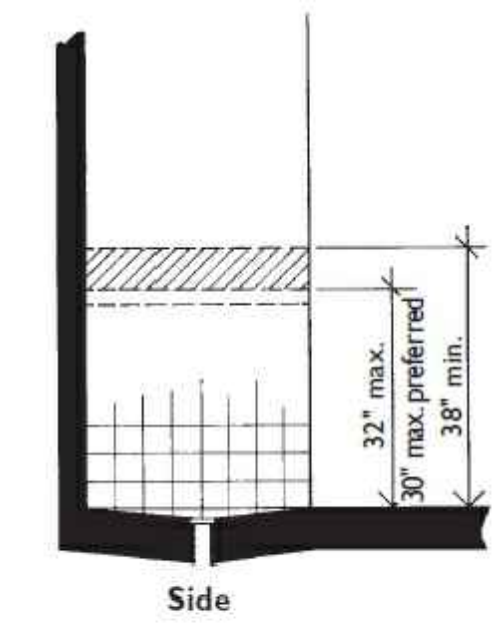
36" X 42" shower is not a transfer shower, although users could place a bench in the stall to sit while bathing



Other Shower Sizes Meet the Requirements of the Guidelines



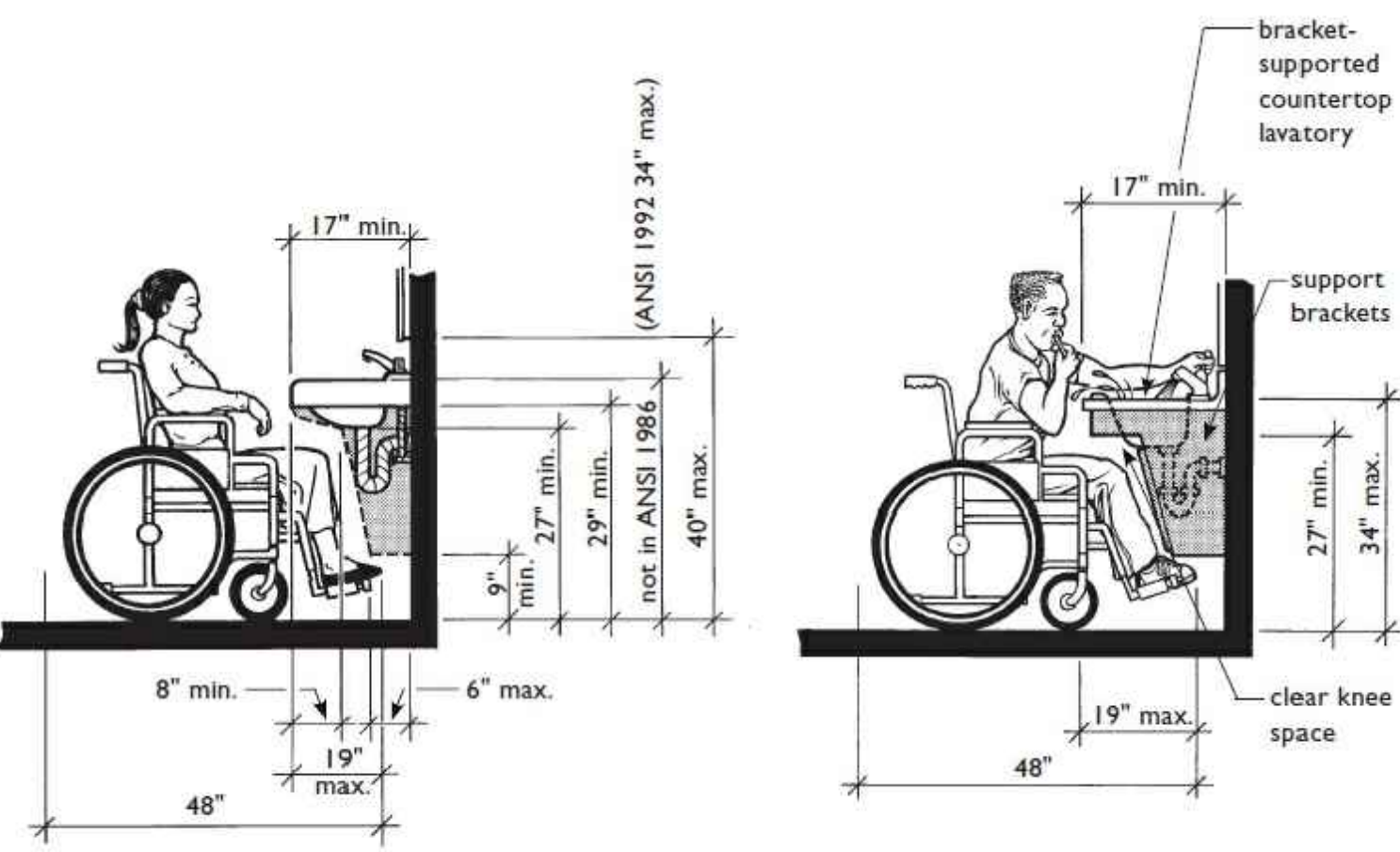
Guideline Requirements for Clear Floor Space at Showers



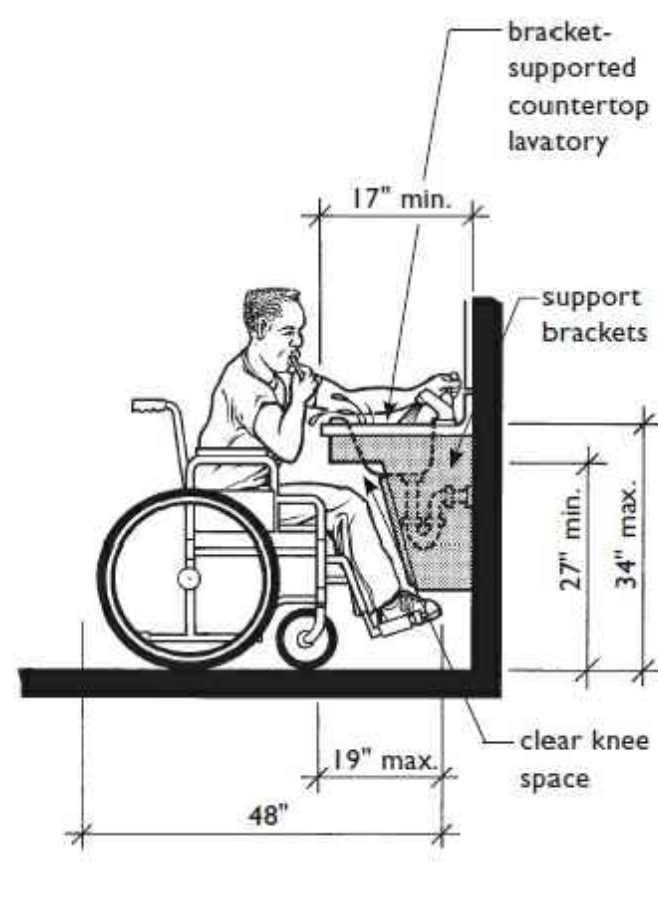
Minimum Reinforcing for Grab Bars in Showers

Side

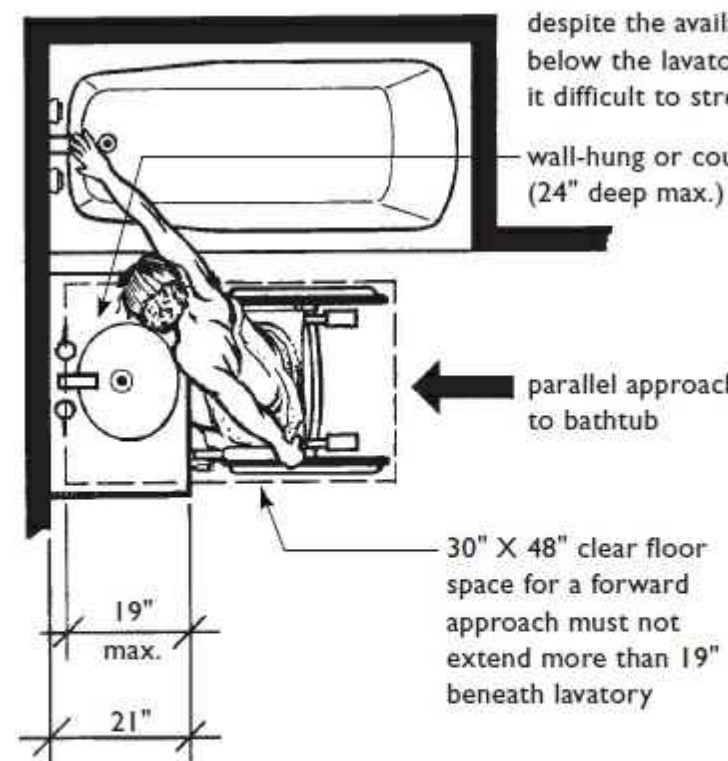
FOR REFERENCE ONLY



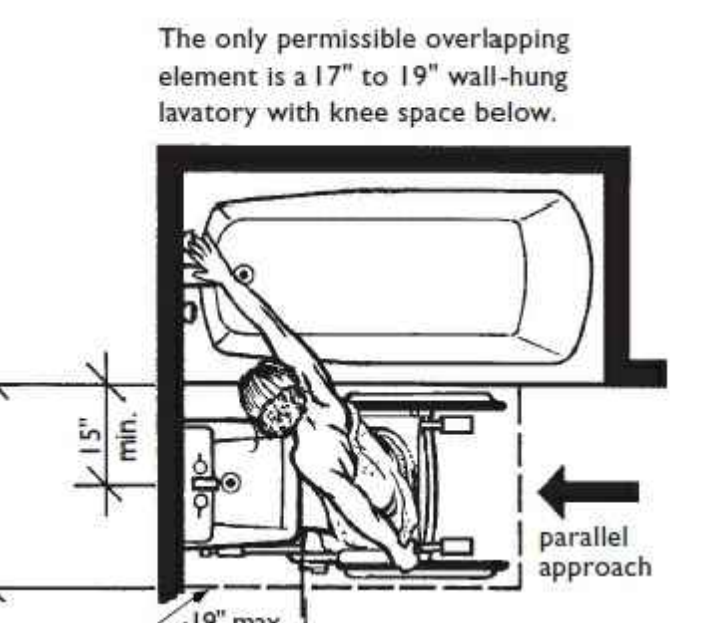
ANSI 1986 Requirements at Knee Space
(Guidance for Knee Space in A Bathrooms)



Knee Space at Lavatories that Meets the Requirements for B Bathrooms

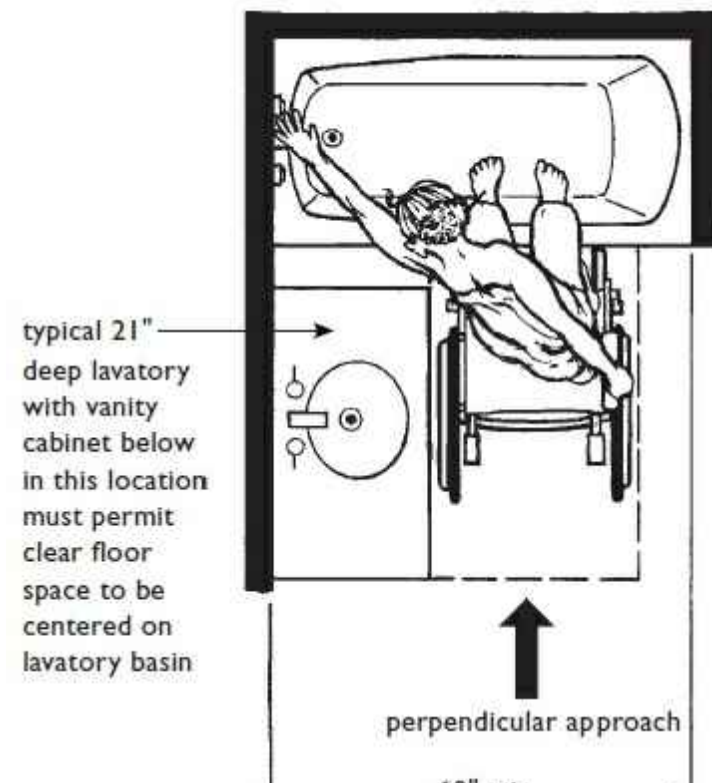


Parallel Approach to Bathtub at Lavatory with Knee Space Permitted in Specification A Bathrooms



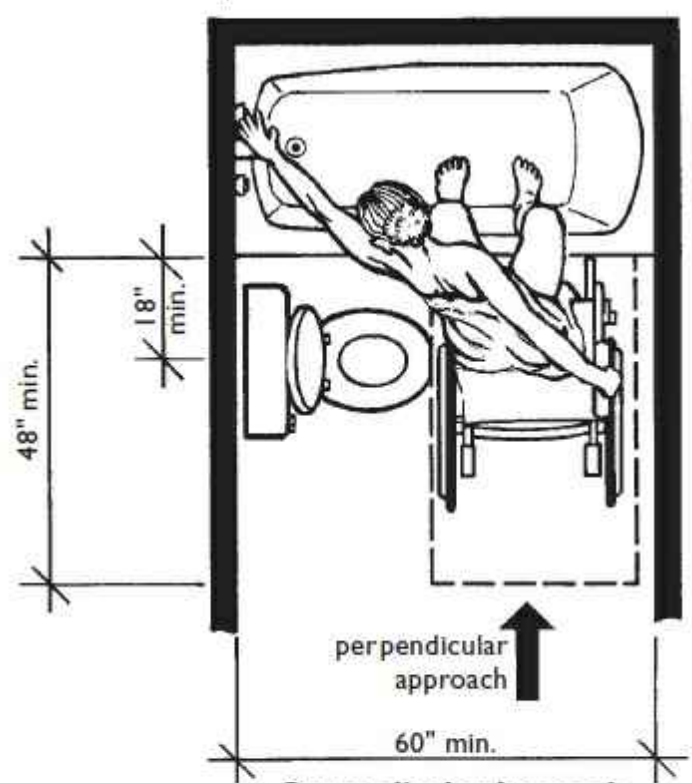
Parallel Approach at Bathtub with Small Wall-Hung Lavatory Applies to Specification B Bathrooms Only

When a lavatory with vanity cabinet is adjacent to tub, a person using in a wheelchair must make a perpendicular approach to the tub rim to be sufficiently close to operate the controls. The user will have to remove footrests, place feet in tub, and execute a stretch which may be difficult for some people.



Perpendicular Approach to Bathtub at Vanity Cabinet Permitted in Specification A Bathrooms Only

Toilets typically protrude into the room farther than vanity cabinets, making it necessary for a person using a wheelchair to perform, what may be for some people, a difficult stretch to operate tub controls.



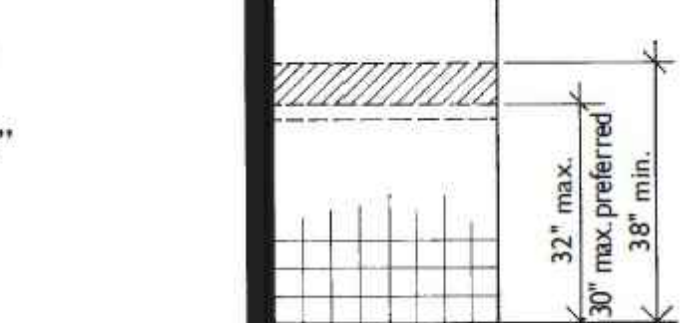
Perpendicular Approach to Bathtub at Toilet Permitted in Specification A Bathrooms Only



Perpendicular Approach to Bathtub at Toilet Permitted in Specification A Bathrooms Only



Perpendicular Approach to Bathtub at Toilet Permitted in Specification A Bathrooms Only

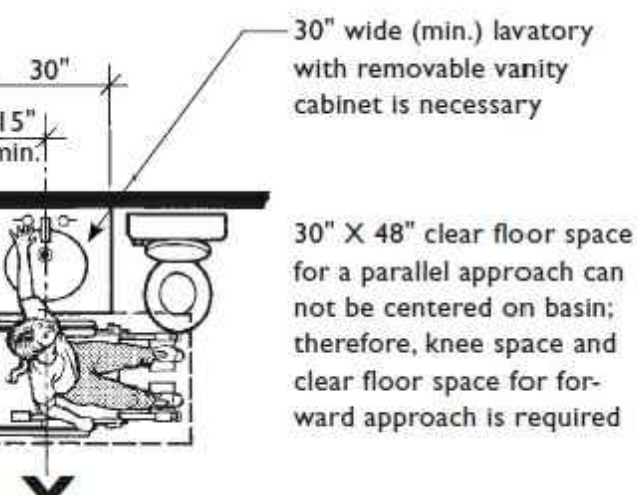


Perpendicular Approach to Bathtub at Toilet Permitted in Specification A Bathrooms Only

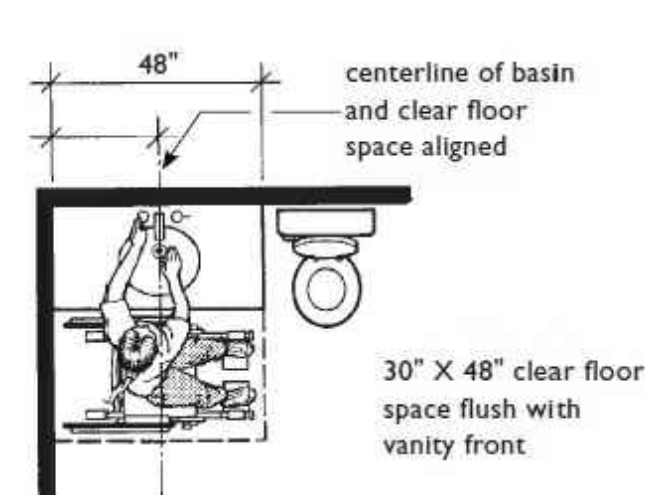
Perpendicular Approach to Bathtub at Toilet Permitted in Specification A Bathrooms Only

Perpendicular Approach to Bathtub at Toilet Permitted in Specification A Bathrooms Only

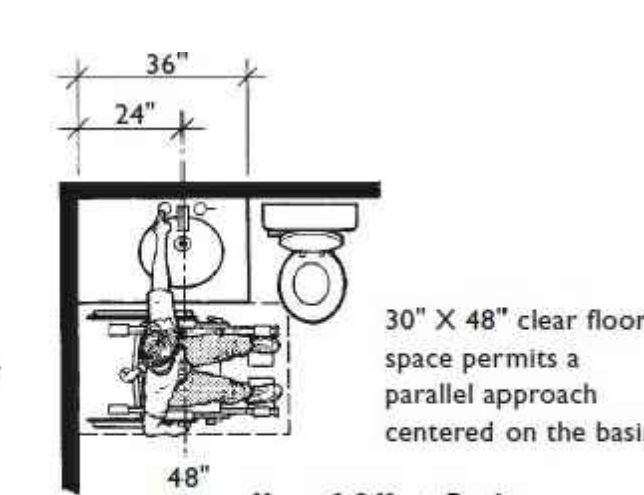
Perpendicular Approach to Bathtub at Toilet Permitted in Specification A Bathrooms Only



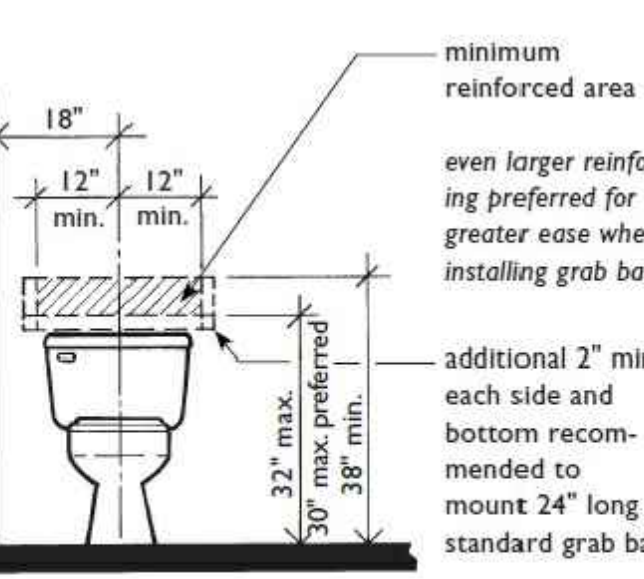
Removable Base Cabinet Must Be Provided Because Clear Floor Space Can Not Be Centered (Required in A and B Bathrooms)



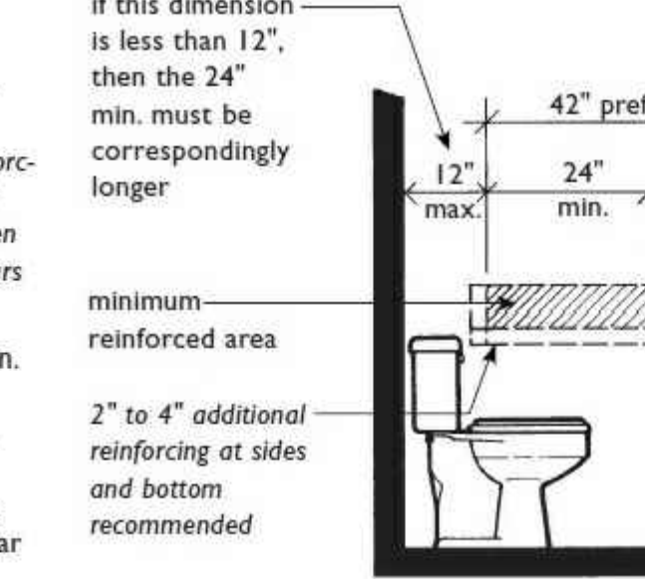
Removable Base Cabinet Not Required Because Clear Floor Space Centered on Basin (Applicable in A and B Bathrooms)



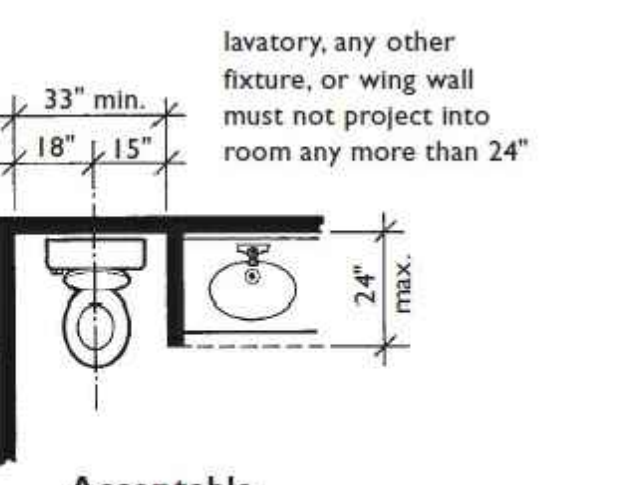
Use of Offset Basin to Reduce Lavatory Length (Applicable in A and B Bathrooms)



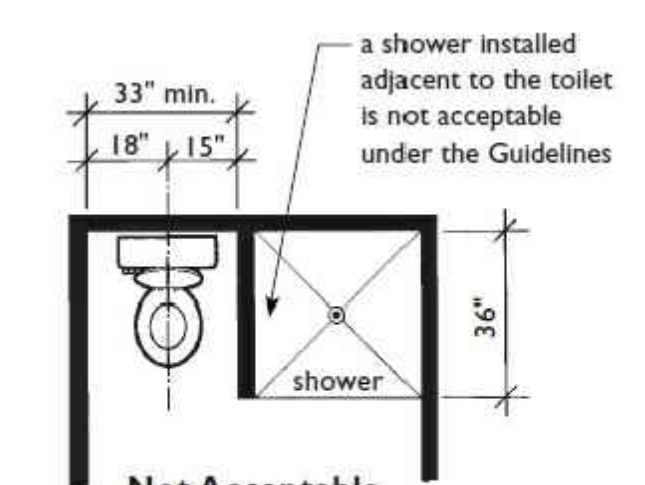
Minimum Reinforcing Behind Toilets Located Beside a Wall



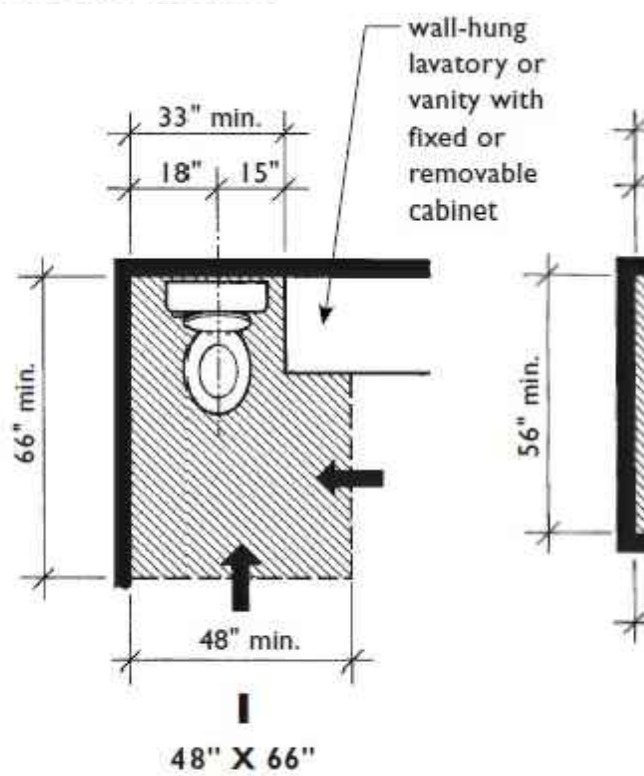
Minimum Reinforcing to the Side of Toilets



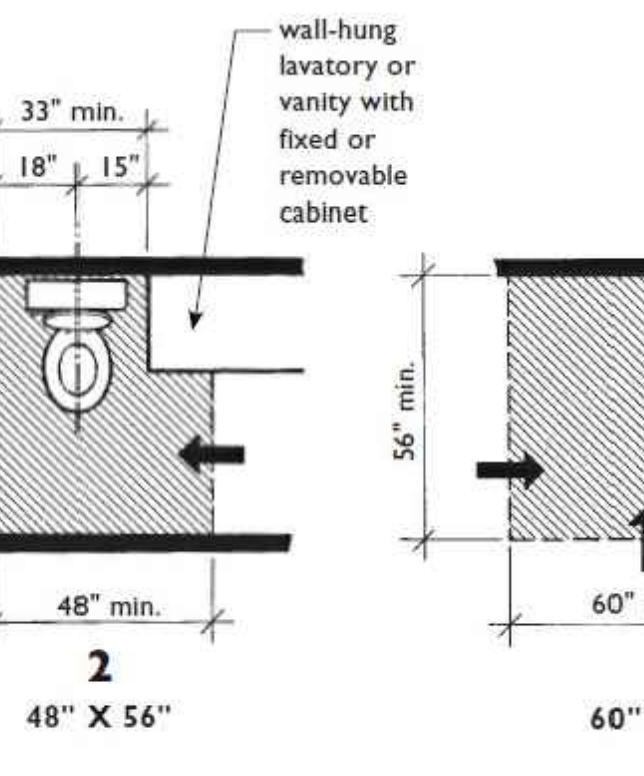
Acceptable Some Features May Overlap Clear Floor Space at Toilet



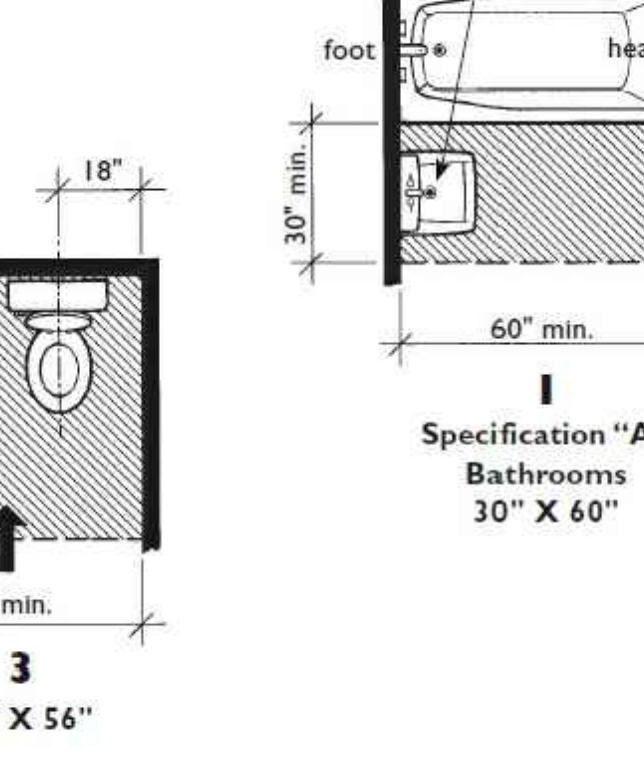
Not Acceptable



1 48" X 66"

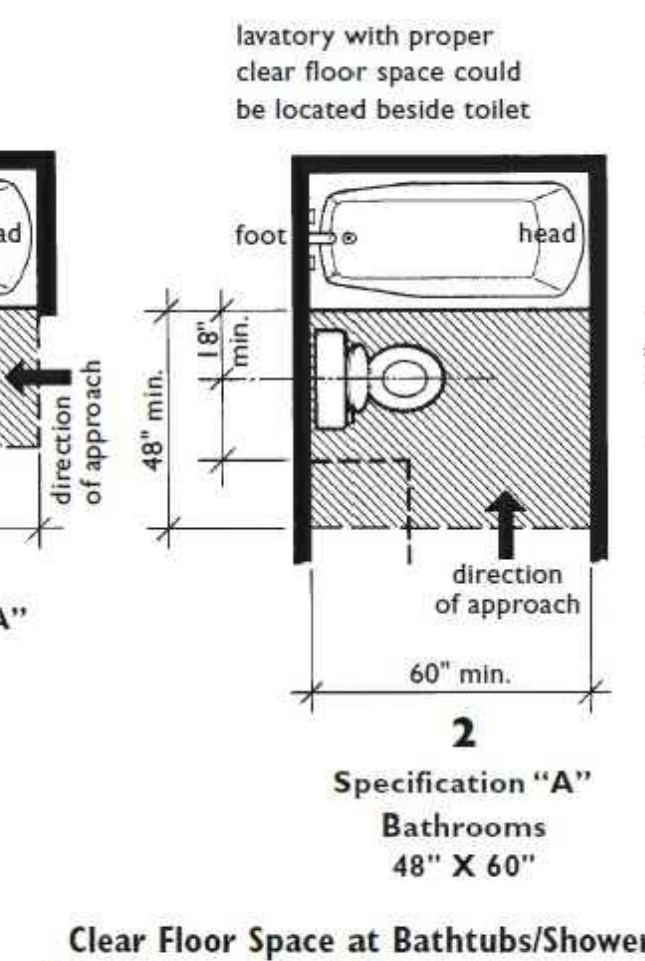


2 48" X 56"

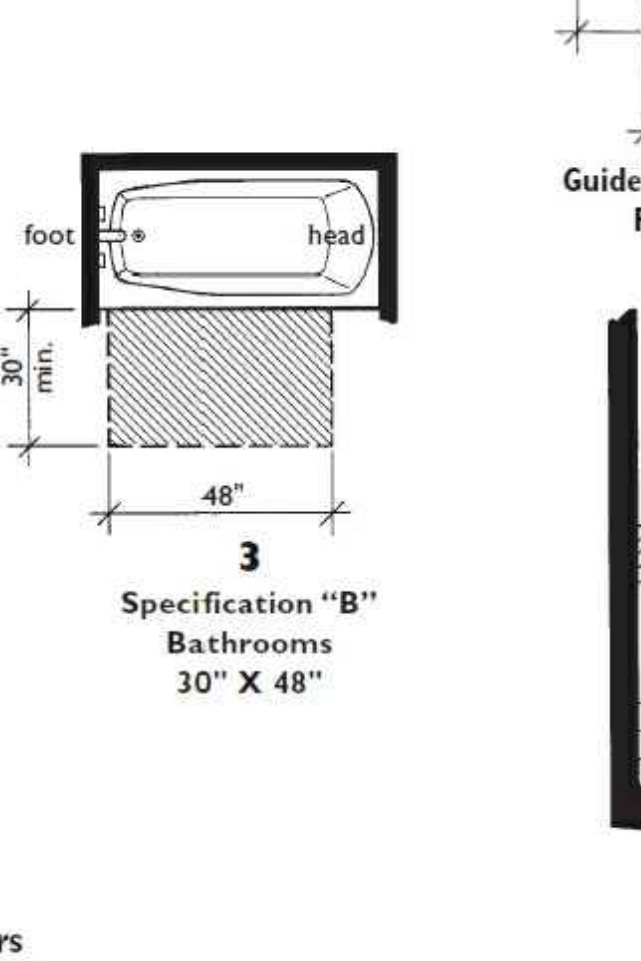


3 60" X 56"

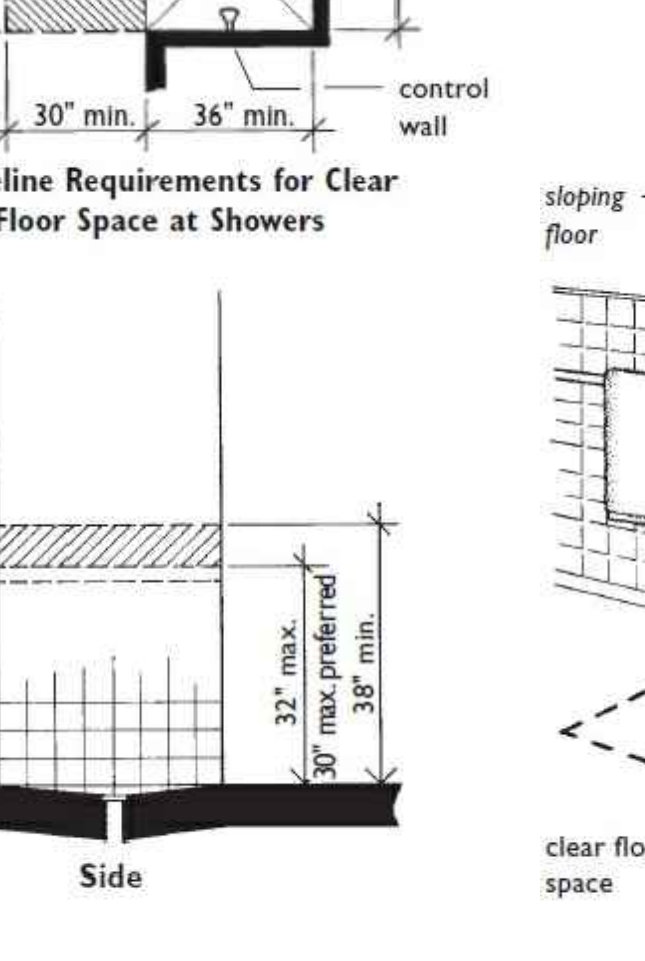
Clear Floor Space at Toilets (One of the Three Must be Provided in "A" and "B" Bathrooms)



1 Specification "A" Bathrooms 30" X 60"

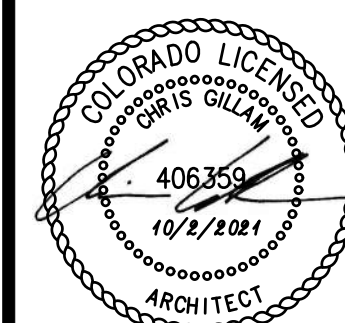


2 Specification "A" Bathrooms 48" X 60"



3 Specification "B" Bathrooms 30" X 48"

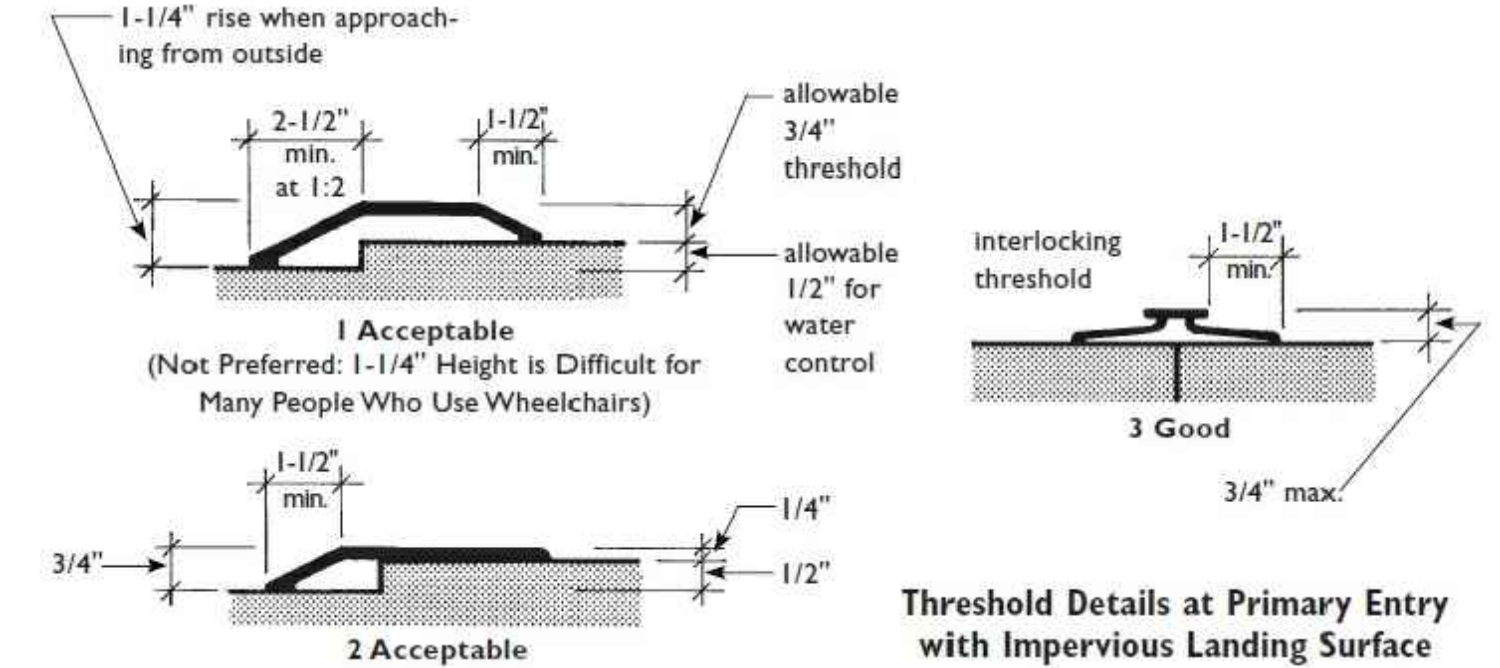
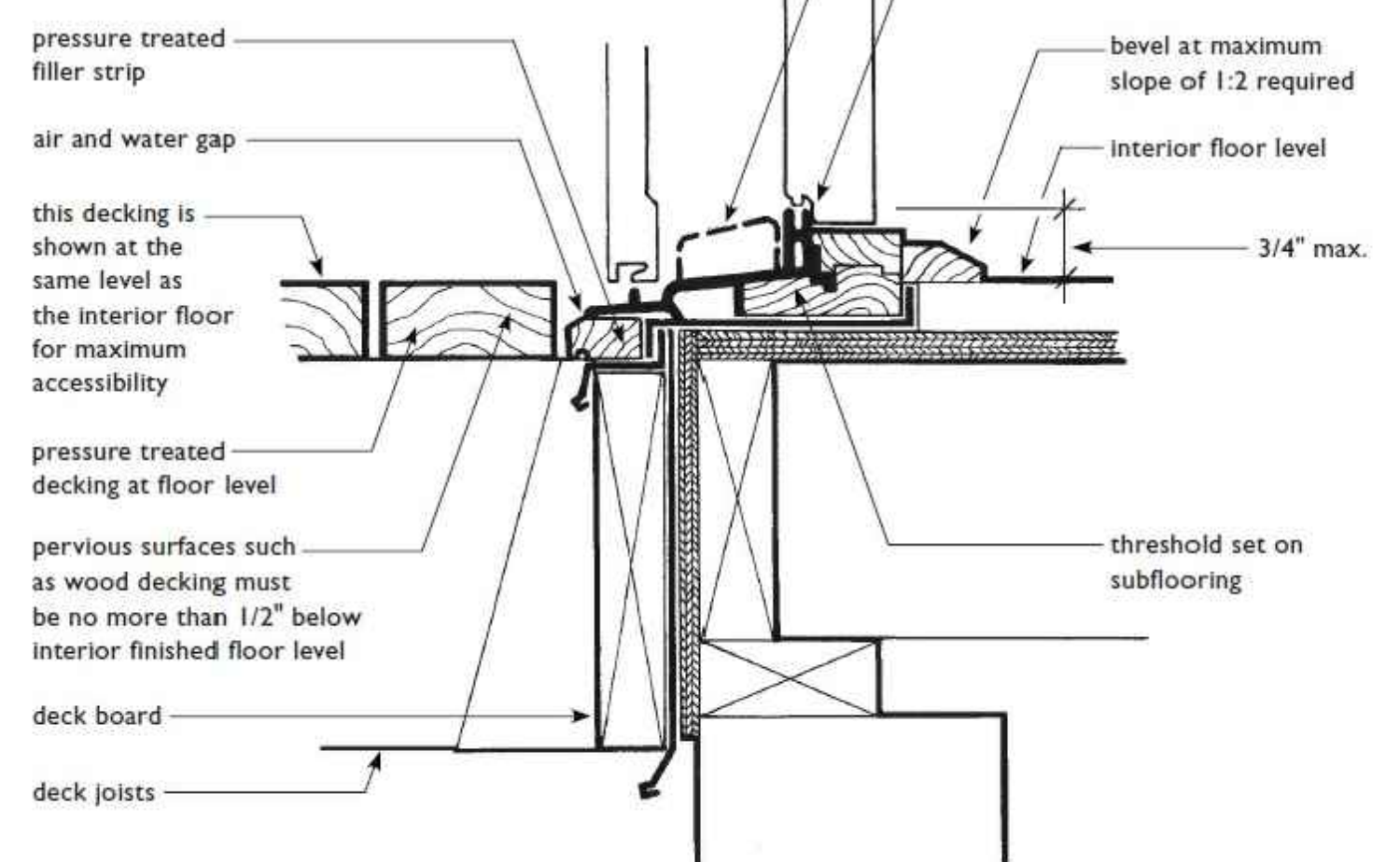
Clear Floor Space at Bathtubs/Showers Shaded Areas Must Remain Unobstructed (Taken from Guideline Figures 7(b) and 8)



REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

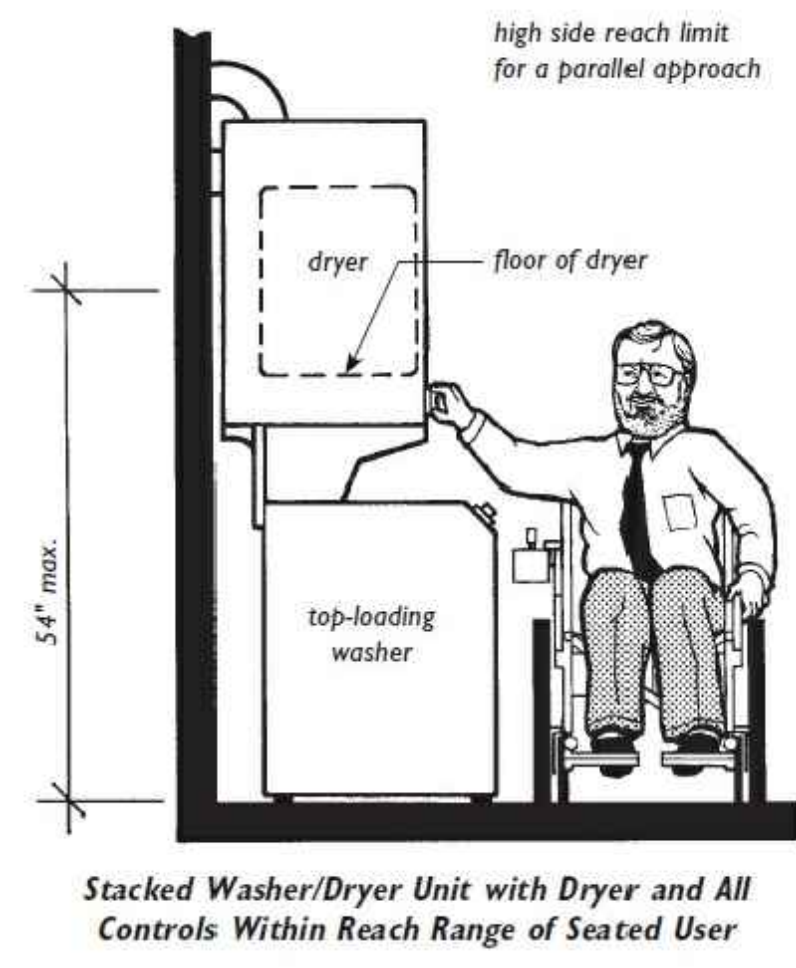
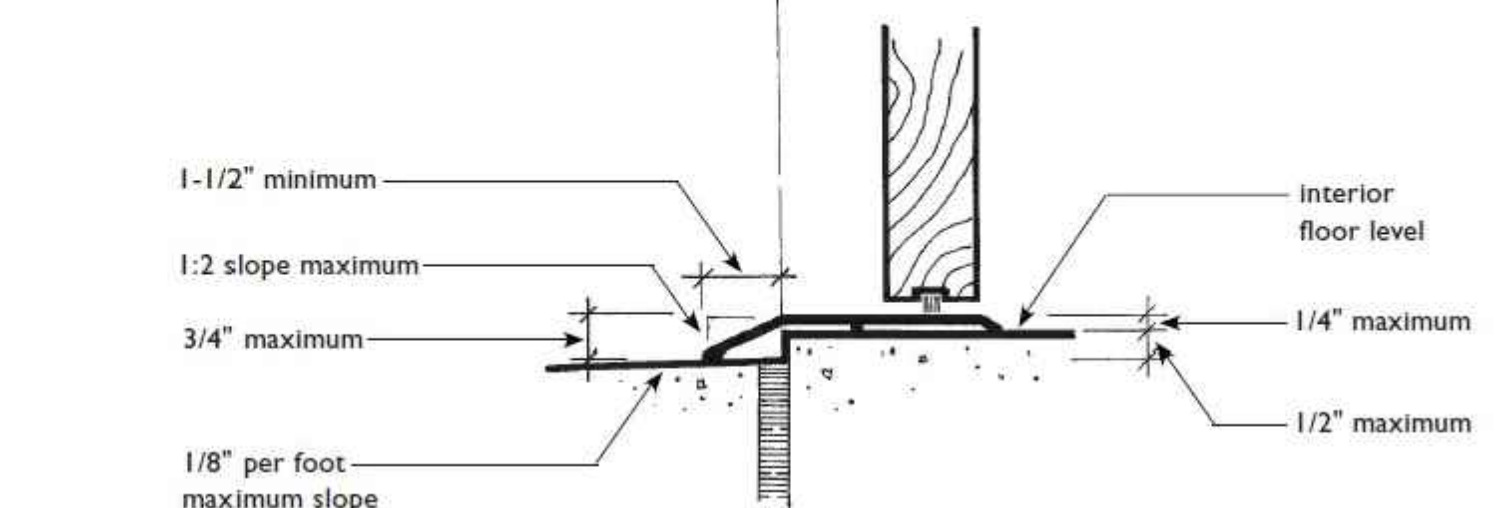
Sliding Secondary Door at Wood Deck

showing allowable changes in level at exterior sliding glass doors to balcony or patio where 1/2-inch maximum changes in level are permitted.

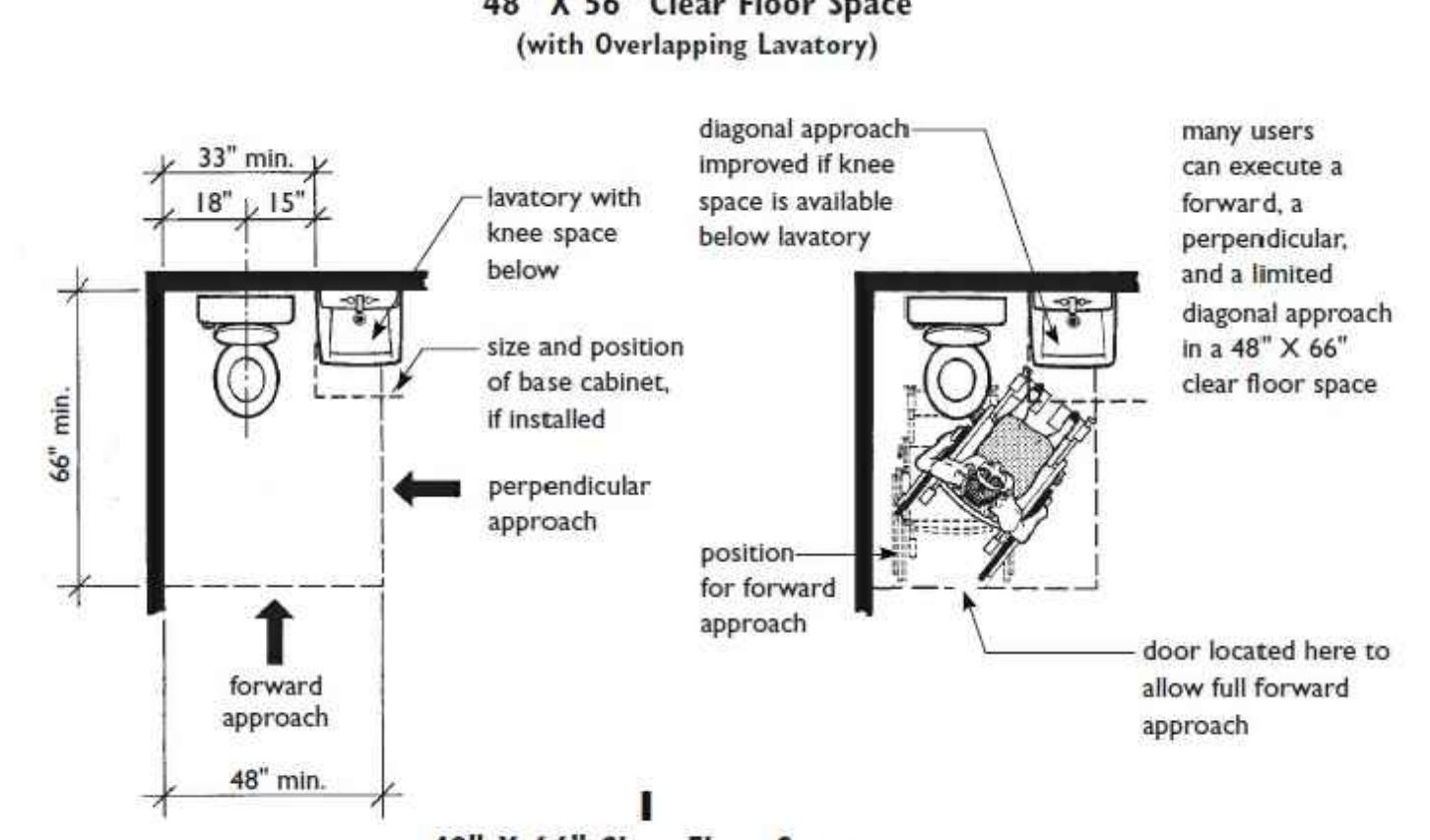
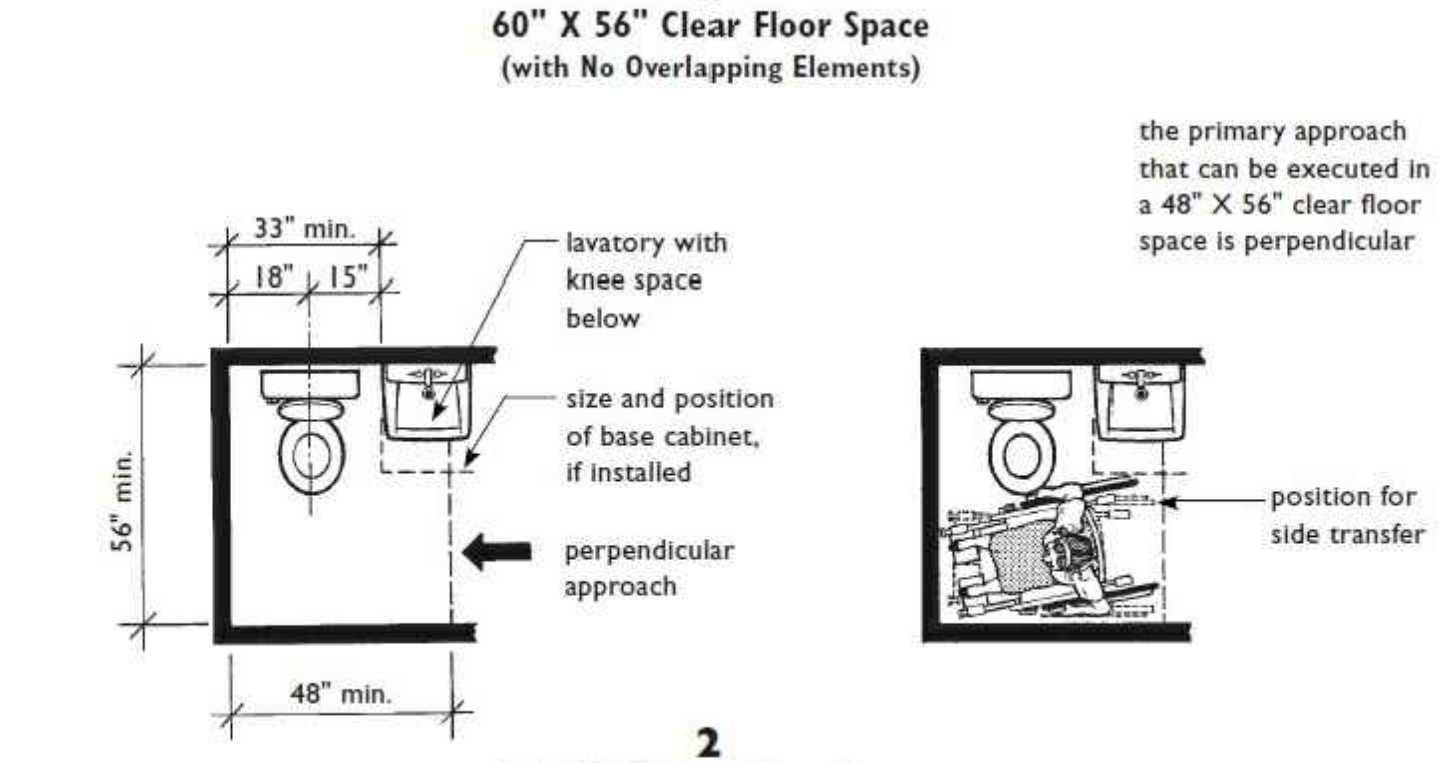
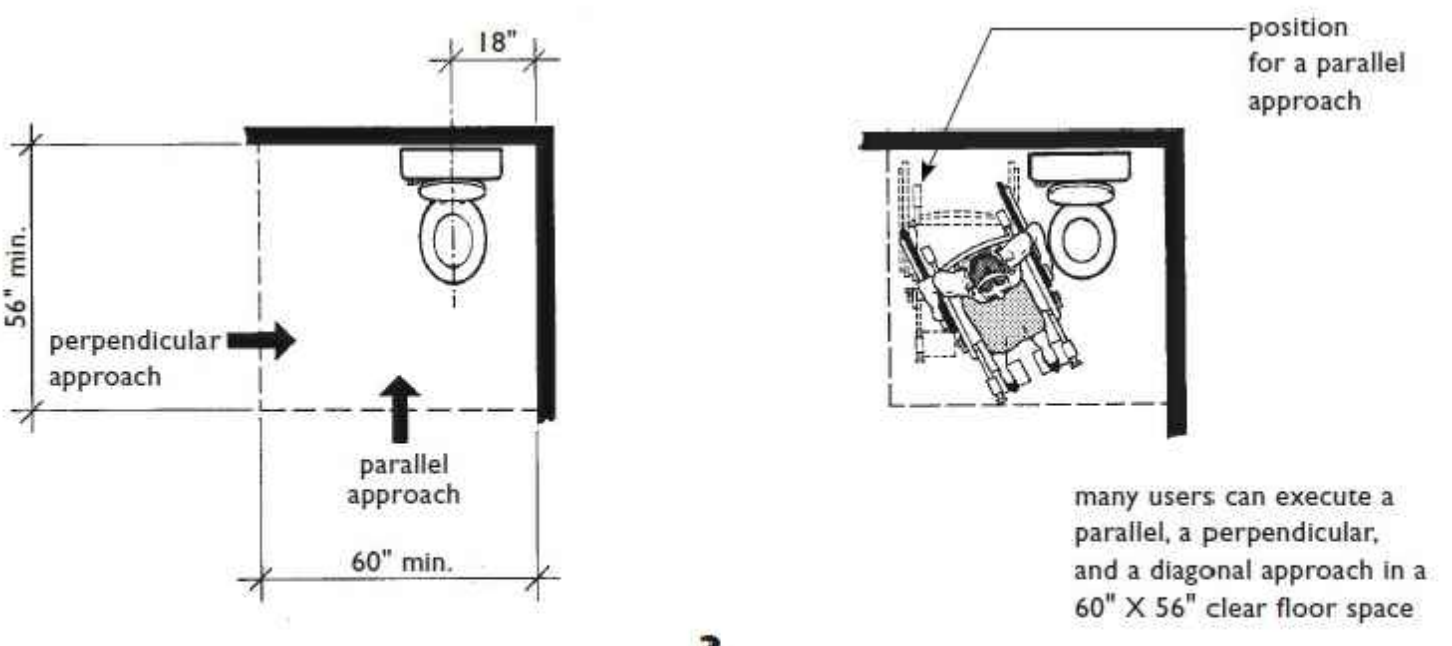


Swinging Primary Entry Door at Concrete Landing

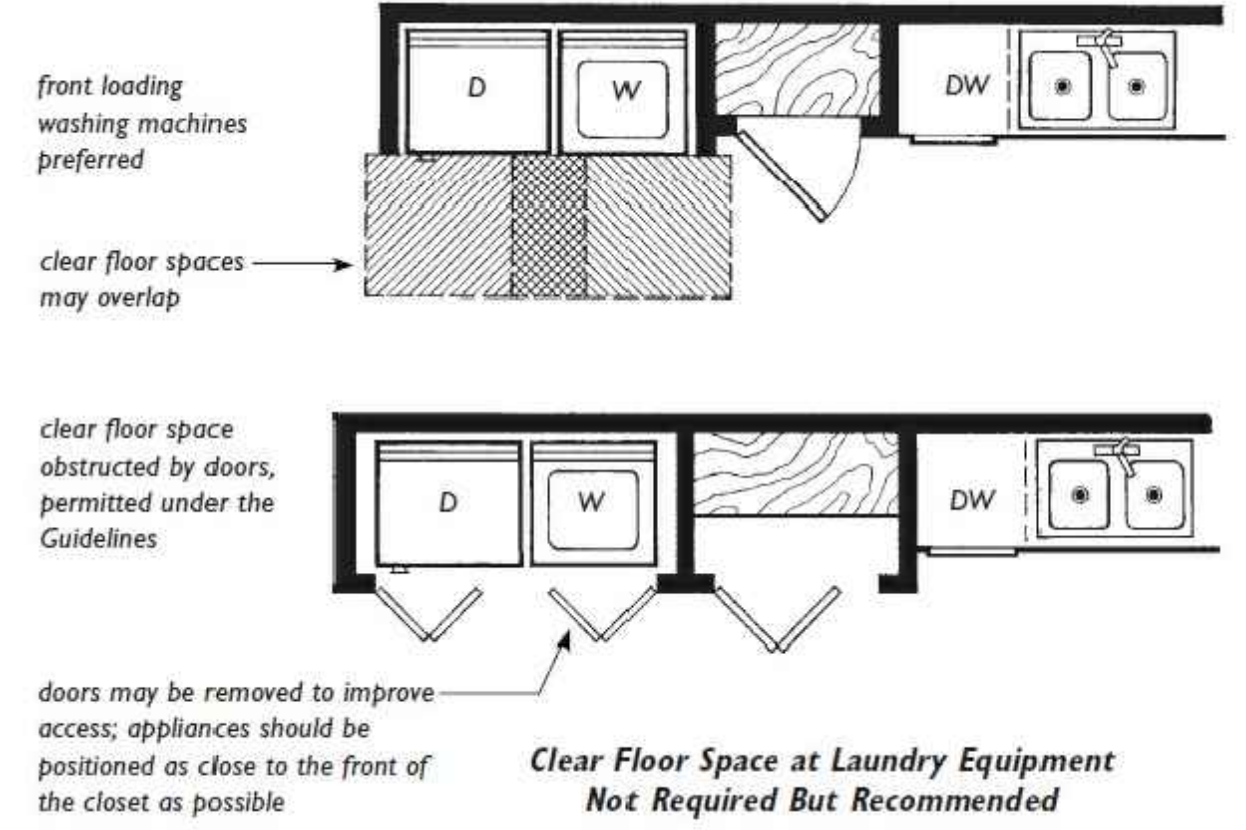
showing allowable changes in level at primary entry doors with direct exterior access onto concrete or other impervious landing surface where 1/2-inch maximum changes in level are permitted.



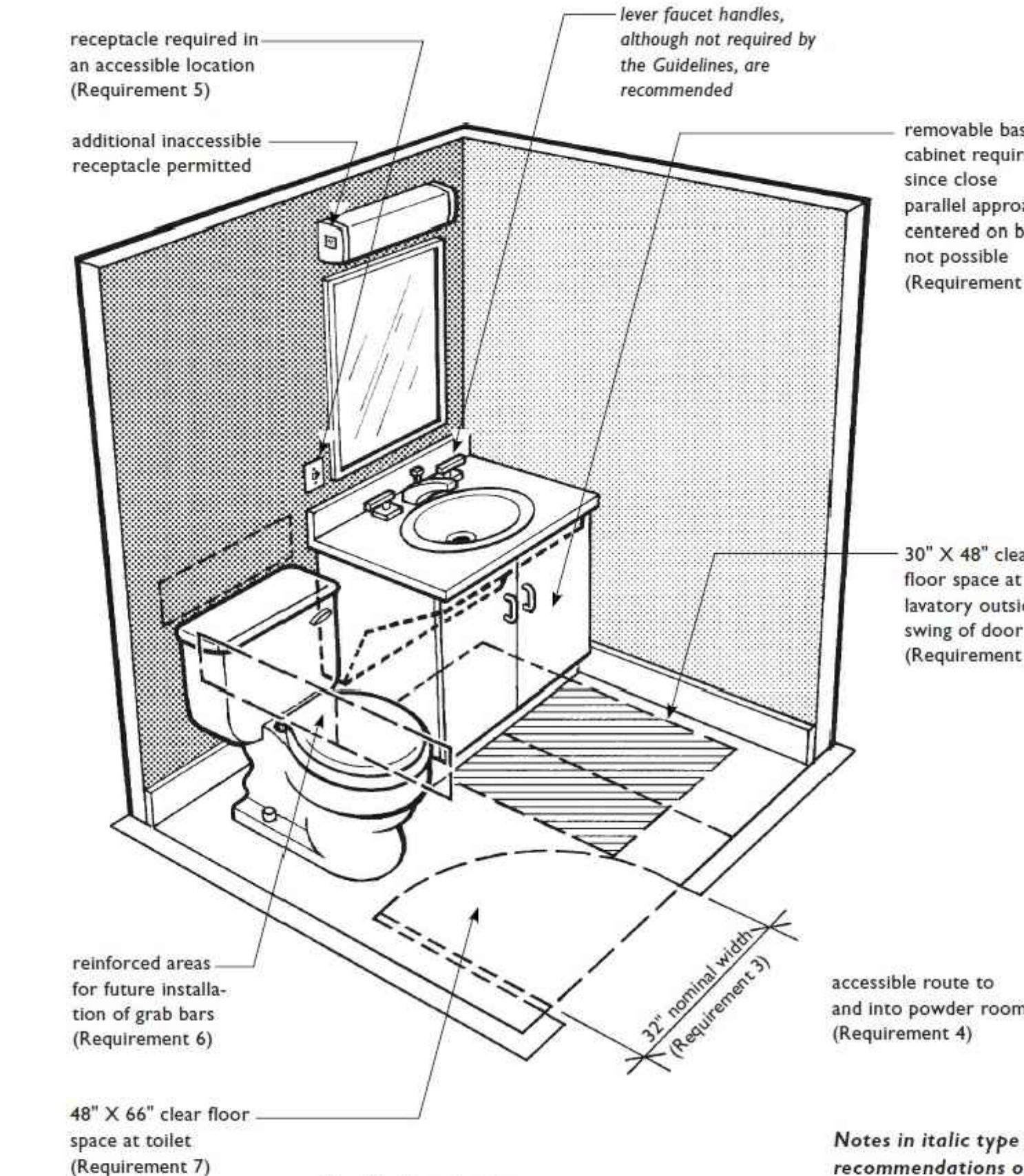
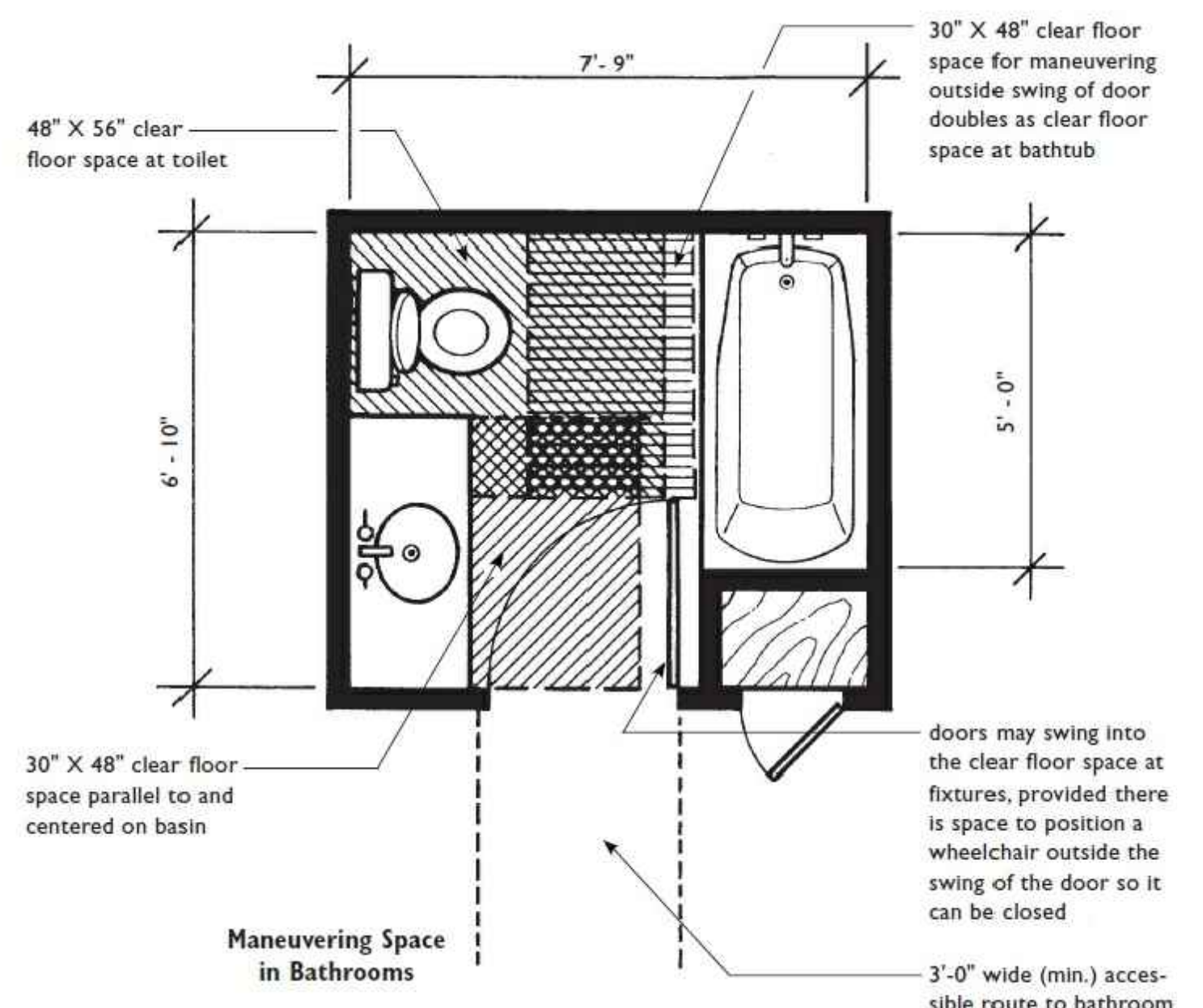
Stacked Washer/Dryer Unit with Dryer and All Controls Within Reach Range of Seated User



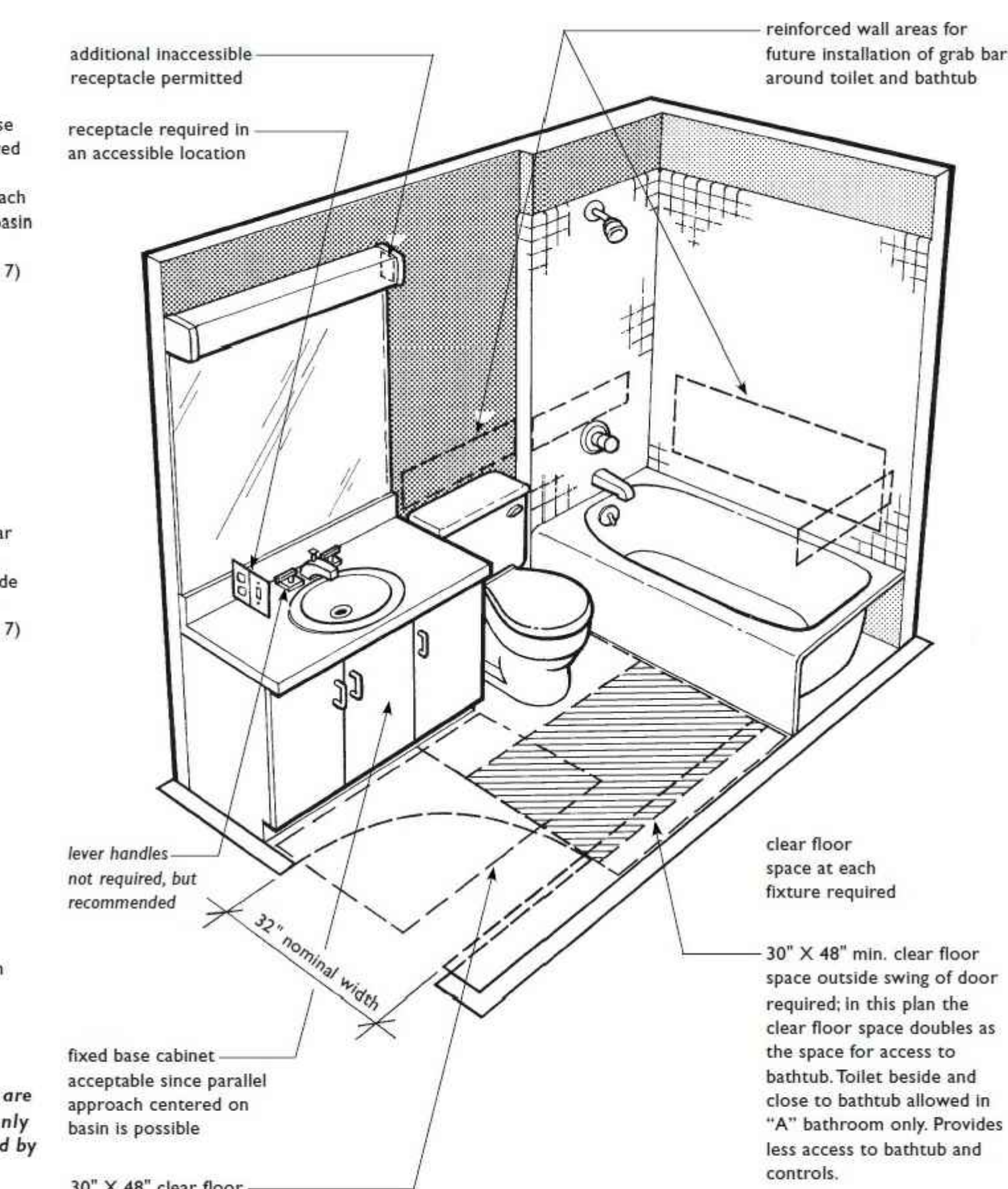
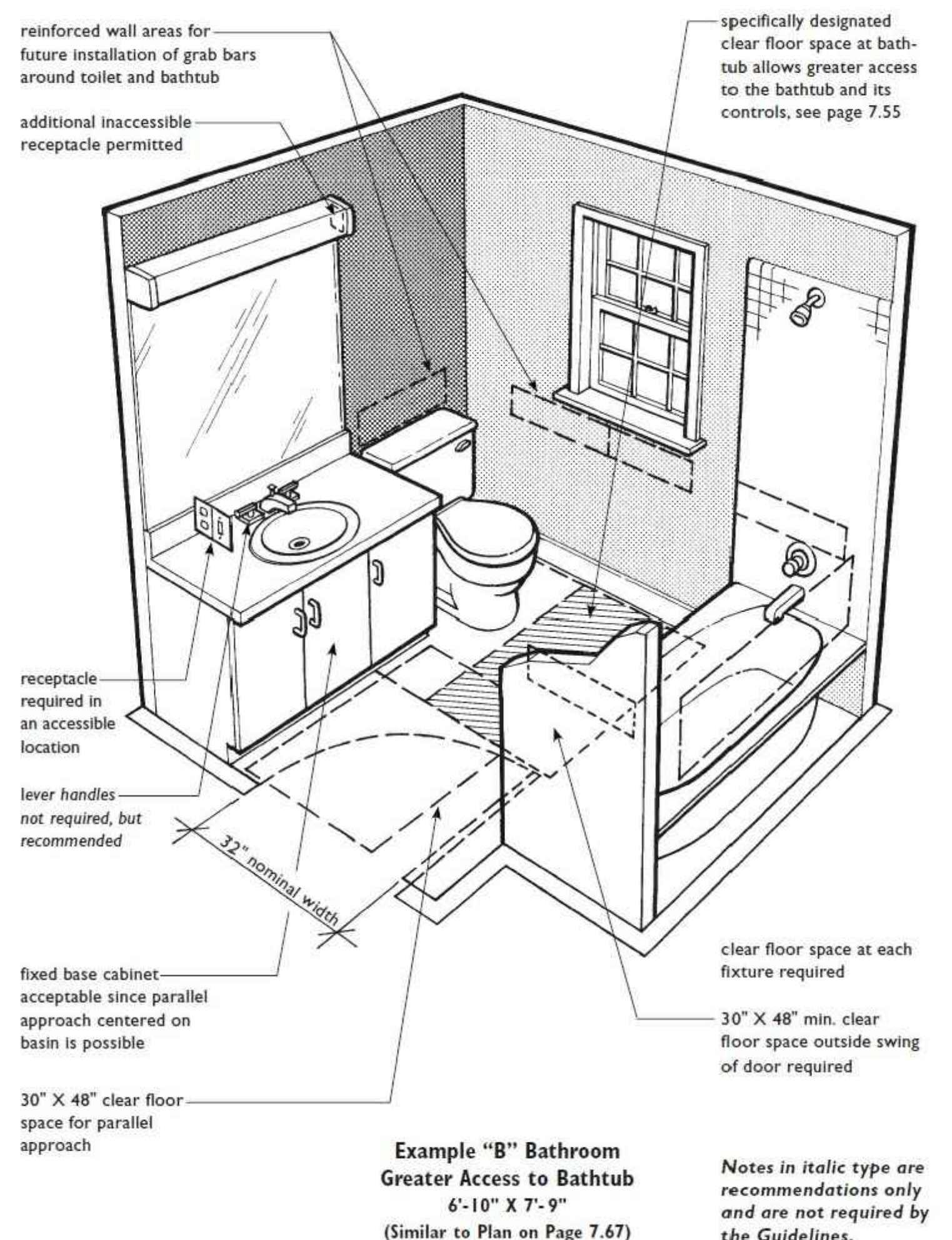
48" X 66" Clear Floor Space (with Overlapping Lavatory)



This sheet of drawings has not been reviewed for code compliance.



Usable Powder Room 5'-6" X 5'-8" (See Plan Page 7.81)
Powder Room in Single-Story Dwelling Unit Must Meet Only Requirements 3, 4, and 5
Powder Room Must Meet Requirements 3, 4, 5, 6, and 7 When It Is the Only Toilet Facility on the Entry Level of a Multistory Unit in a Building with One or More Elevators



Example "A" Bathroom 9'-4" X 5'-2" (See plan page 7.66)

FOR REFERENCE ONLY

FH3



Generated by REScheck-Web Software Compliance Certificate

Project: Eagle Point_Aurora CO (Type 1)
Energy Code: 2021 IECC
Location: Aurora, Colorado
Project Type: New Construction
Construction Year: 2024
Energy Code Version: 2021 IECC
Energy Code Edition: 5 (2020 HDB)
Permit Number:
Construction Site:
Owner/Agent:
Designer/Contractor:

Compliance: Passes using IA trade-off
Energy Code: 2021 IECC
Location: Aurora, Colorado
Project Type: New Construction
Construction Year: 2024
Energy Code Version: 2021 IECC
Energy Code Edition: 5 (2020 HDB)
Permit Number:
Construction Site:
Owner/Agent:
Designer/Contractor:

Envelope Assemblies

Table with columns: Assembly, U-Factor, R-Value, Comments, etc. Rows include Ceiling Flat Ceiling or Ceiling Truss, Wall Wood Frame, etc.

Additional Efficiency Packages

Table with columns: Package, Comments, Credits. Row 1: Efficient Air Sealing and Ventilation Performance, Credits: 10

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 1 of 10

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other information submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements as REScheck Version 1 REScheck-Web used to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: Title Signature Date



Table with columns: Section #, Description, Plans Verified, Field Verified, Comments/Assumptions. Rows include 402.1.1 Ceiling Insulation, 402.1.2 Wall Insulation, etc.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 2 of 10

Table with columns: Section #, Description, Plans Verified, Field Verified, Comments/Assumptions. Rows include 402.1.1 Ceiling Insulation, 402.1.2 Wall Insulation, etc.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 3 of 10

Table with columns: Section #, Description, Plans Verified, Field Verified, Comments/Assumptions. Rows include 402.1.1 Ceiling Insulation, 402.1.2 Wall Insulation, etc.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 4 of 10

Table with columns: Section #, Description, Plans Verified, Field Verified, Comments/Assumptions. Rows include 402.1.1 Ceiling Insulation, 402.1.2 Wall Insulation, etc.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 5 of 10

Table with columns: Section #, Description, Plans Verified, Field Verified, Comments/Assumptions. Rows include 402.1.1 Ceiling Insulation, 402.1.2 Wall Insulation, etc.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 7 of 10

Table with columns: Section #, Description, Plans Verified, Field Verified, Comments/Assumptions. Rows include 402.1.1 Ceiling Insulation, 402.1.2 Wall Insulation, etc.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 8 of 10

Table with columns: Section #, Description, Plans Verified, Field Verified, Comments/Assumptions. Rows include 402.1.1 Ceiling Insulation, 402.1.2 Wall Insulation, etc.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 9 of 10

Table with columns: Section #, Description, Plans Verified, Field Verified, Comments/Assumptions. Rows include 402.1.1 Ceiling Insulation, 402.1.2 Wall Insulation, etc.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 10 of 10



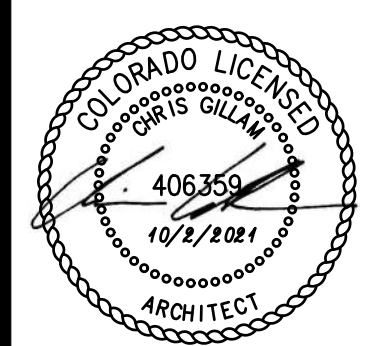
Table with columns: Measure, Credits, Comments. Rows include Above-Grade Walls, Below-Grade Walls, etc.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 1)
Date Recheck:
Report date: 09/28/23
Page 10 of 10

BUILDING TYPE 1 APARTMENT RESCHECK SHEETS

THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD
AURORA, COLORADO



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

EN1

JonesGillamRenZ
1881 Main Street, Suite 301
Kansas City, MO 64108
785.827.0386



730 N. Ninth
Salina, KS 67401
785.827.0386

AURORA, COLORADO



Generated by REScheck-Web Software Compliance Certificate

Project: **Eagle Point_Aurora CO (Type 4)**

Energy Code: **2021 IECC**
 Location: **Aurora, Colorado**
 Construction Type: **Multi-Family**
 Project Type: **New Construction**
 Construction Year: **2023**
 Climate Zone: **5 (6000 HDD)**
 Permit Number: _____
 Construction Site: _____ Designer/Signer: _____ Designer/Contractor: _____

Compliance: Passes USGBC LEED v4.1 BD+C: LEED Gold

Compliance: **7% Better Than Code** (Minimum 1% LEED v4.1 BD+C: LEED Gold)

USGBC LEED v4.1 BD+C: LEED Gold is a registered trademark of the U.S. Green Building Council (USGBC).
 All USGBC LEED v4.1 BD+C: LEED Gold is a registered trademark of the U.S. Green Building Council (USGBC).
 All USGBC LEED v4.1 BD+C: LEED Gold is a registered trademark of the U.S. Green Building Council (USGBC).

Envelope Assemblies

Assembly	U-Value	Req. U-Value	Compl.	Notes
Ceiling - Flat Ceiling or Sloped Truss	0.03	0.03	0.04	0.04
Wall - Wood Frame, 2" x 4"	0.09	0.09	0.09	0.09
Door - Glass Door (over 50% glazing)	0.30	0.30	0.30	0.30
Window - Vinyl Frame	0.30	0.30	0.30	0.30
Window - Vinyl Frame	0.30	0.30	0.30	0.30
Floor - Site-On-Grade (Insulated)	0.06	0.06	0.06	0.06

Additional Efficiency Packages

Required: 1 Proposed: 2

Efficiency of Sealing and Insulation Performance: 1.0

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 1 of 10

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other documents submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements in REScheck Version 1.0. REScheck Web used to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name	Title	Signature	Date

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 2 of 10



REScheck Software Version: REScheck-Web Inspection Checklist
 Energy Code: 2021 IECC

Requirements: 100.0% were addressed directly in the REScheck software

Note: In the "Comments/Assumptions" column, a green checkmark indicates that the requirement was met. A red "X" indicates that the requirement was not met. A yellow "W" indicates that the requirement was not met, but a comment was provided. A blue "I" indicates that the requirement was not met, but an inspection is required.

Section & Req. ID	Final Inspection Provisions	Plan Verified Value	Field Verified Value	Compl.?	Comments/Assumptions
402.1.1	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.2	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.3	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 3 of 10

Section & Req. ID	Final Inspection Provisions	Plan Verified Value	Field Verified Value	Compl.?	Comments/Assumptions
402.1.4	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.5	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.6	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 4 of 10

Section & Req. ID	Final Inspection Provisions	Plan Verified Value	Field Verified Value	Compl.?	Comments/Assumptions
402.1.7	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.8	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.9	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 5 of 10

Section & Req. ID	Final Inspection Provisions	Plan Verified Value	Field Verified Value	Compl.?	Comments/Assumptions
402.1.10	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.11	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.12	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 6 of 10

Section & Req. ID	Final Inspection Provisions	Plan Verified Value	Field Verified Value	Compl.?	Comments/Assumptions
402.1.13	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.14	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.15	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 7 of 10

Section & Req. ID	Final Inspection Provisions	Plan Verified Value	Field Verified Value	Compl.?	Comments/Assumptions
402.1.16	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.17	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.18	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 8 of 10

Section & Req. ID	Final Inspection Provisions	Plan Verified Value	Field Verified Value	Compl.?	Comments/Assumptions
402.1.19	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.20	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.21	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 9 of 10

Section & Req. ID	Final Inspection Provisions	Plan Verified Value	Field Verified Value	Compl.?	Comments/Assumptions
402.1.22	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.23	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.24	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.

Project Title: Eagle Point_Aurora CO (Type 4)
 Data Source: _____ Report date: 09/26/23
 Page 10 of 10

Section & Req. ID	Final Inspection Provisions	Plan Verified Value	Field Verified Value	Compl.?	Comments/Assumptions
402.1.25	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.26	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.
402.1.27	Final Inspection Provisions: Ceiling Insulation: R-13	13	13	Compl.	Requirement will be met.

2021 IECC Energy Efficiency Certificate

Insulation Rating: 6.5 Value

Above-Grade Wall: 25.00

Below-Grade Wall: 6.00

Floor: 16.00

Ceiling & Roof: 69.00

Outdoor (unconditioned spaces):

Roof & Siding Rating: 0 Factor 160C

Window: 0.30

Door: 0.30

Heating & Cooling Equipment: Efficiency

Water Heating: Efficiency

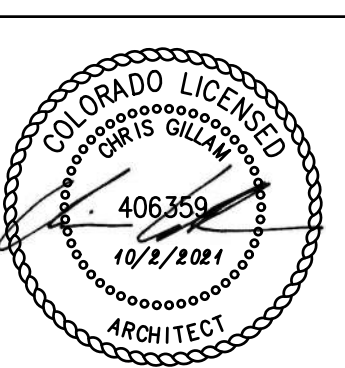
Comments: _____

A BUILDING TYPE 4 APARTMENT RESCHECK SHEETS

JonesGillamRenZ
 1881 Main Street, Suite 301
 Kansas City, MO 64108
 jgr@jgarchitects.com

JGR
 730 N. Ninth
 Salina, KS 67401
 785.927.0386

THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD
AURORA, COLORADO



REVISION: _____

DATE: 10-2-2023

JOB: 22-3219

SHEET NO.:

EN2

COMcheck Software Version COMcheckWeb
Exterior Lighting Compliance Certificate

Project Information
 Energy Code: 2021 IECC
 Project Title: The Reserves at Eagle Point Site Lighting
 Project Type: New Construction
 Exterior Lighting Zone: 2 (Residentially zoned area (L2))

Construction Site
 Developer/Contractor: [redacted]
 Designer/Architect: JonesGillamRenz
 Address: 1881 Main Street, Suite 301
 Kansas City, MO 64108
 Phone: 816.488.4412

Area/Surface Category	Allowed Watts		Tradable Watts	
	A	B	C	D
Parking area	5839 A2	0.04	Yes	3756
Walkway - 5.0 feet wide	5839 A2	0.1	Yes	232
Walkway - 5.0 feet wide	5839 B	0.5	Yes	2032
			Total Tradable Watts =	4788
			Total Allowed Watts =	6396
			Total Tradable Watts =	480

Proposed Exterior Lighting Power

Fixture ID / Description / Lamp / Wattage Per Lamp / Ballast	A		B		C		D		E	
	Lamp/ Fixture	# of Fixtures	Watts	Watts	Watts	Watts	Watts	Watts	Watts	(C X D)
Parking area (5839 A2): Tradable Wattage		1	20	128	2500					
LED A1: LED Roadway Parking (40 130W)		1	13	129	1677					
LED A3: LED Roadway Parking (40 130W)		1	2	139	258					
Walkway - 5.0 feet wide (2222 A2): Tradable Wattage		1	3	61	203					
LED A1: LED Roadway Parking (40 87W)		1	1	67	67					
LED A3: LED Roadway Parking (40 87W)		1	2	67	134					
LED A3: LED Roadway Parking (40 87W)		1	1	67	203					
					Total Proposed Watts =					3337

Project Title: The Reserves at Eagle Point Site Lighting
 Report Date: 09/20/21
 Data Filename: [redacted]
 Page: 1 of 3

Exterior Lighting (FASIS) - Design 12% fixture beam code

Exterior Lighting Compliance Statement

The proposed exterior lighting design (as indicated in the attached) is consistent with the building code, applicable code, and other applicable codes and standards. The proposed exterior lighting system has been reviewed to meet the 2021 IECC requirements for exterior lighting design. The design is consistent with the applicable code requirements.

[Handwritten Signature] 2 Sept '21

Project Title: The Reserves at Eagle Point Site Lighting
 Report Date: 09/20/21
 Data Filename: [redacted]
 Page: 2 of 3

COMcheck Software Version COMcheckWeb
Inspection Checklist
 Energy Code: 2021 IECC

Requirements: 100% were addressed directly in the COMcheck software.

Test in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is claimed in a separate table, a reference to that table is provided.

Section	Plan Review	Completed?	Comments/Assumptions
100.0.0	Plan Review	Completed	Requirement will be met.
100.0.1	Plan Review	Completed	Requirement will be met.
100.0.2	Plan Review	Completed	Requirement will be met.
100.0.3	Plan Review	Completed	Requirement will be met.
100.0.4	Plan Review	Completed	Requirement will be met.
100.0.5	Plan Review	Completed	Requirement will be met.

Additional Comments/Assumptions:

Project Title: The Reserves at Eagle Point Site Lighting
 Report Date: 09/20/21
 Data Filename: [redacted]
 Page: 3 of 3

Section	Final Inspection	Completed?	Comments/Assumptions
100.0.0	Final Inspection	Completed	Requirement will be met.
100.0.1	Final Inspection	Completed	Requirement will be met.
100.0.2	Final Inspection	Completed	Requirement will be met.
100.0.3	Final Inspection	Completed	Requirement will be met.
100.0.4	Final Inspection	Completed	Requirement will be met.
100.0.5	Final Inspection	Completed	Requirement will be met.

Additional Comments/Assumptions:

Project Title: The Reserves at Eagle Point Site Lighting
 Report Date: 09/20/21
 Data Filename: [redacted]
 Page: 4 of 5

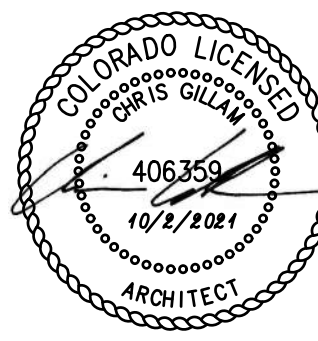
Section	Final Inspection	Completed?	Comments/Assumptions
100.0.0	Final Inspection	Completed	Requirement will be met.
100.0.1	Final Inspection	Completed	Requirement will be met.
100.0.2	Final Inspection	Completed	Requirement will be met.
100.0.3	Final Inspection	Completed	Requirement will be met.
100.0.4	Final Inspection	Completed	Requirement will be met.
100.0.5	Final Inspection	Completed	Requirement will be met.

Additional Comments/Assumptions:

Project Title: The Reserves at Eagle Point Site Lighting
 Report Date: 09/20/21
 Data Filename: [redacted]
 Page: 5 of 5

A CLUBHOUSE COMCHECK SHEETS

This sheet of drawings has not been reviewed for code compliance.



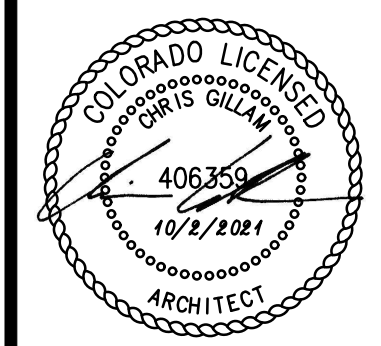
REVISION:

DATE: 10-2-2023

JOB: 22-3219

SHEET NO.:

EN4



REVISION:

DATE: 12-5-2023

JOB: 22-3219

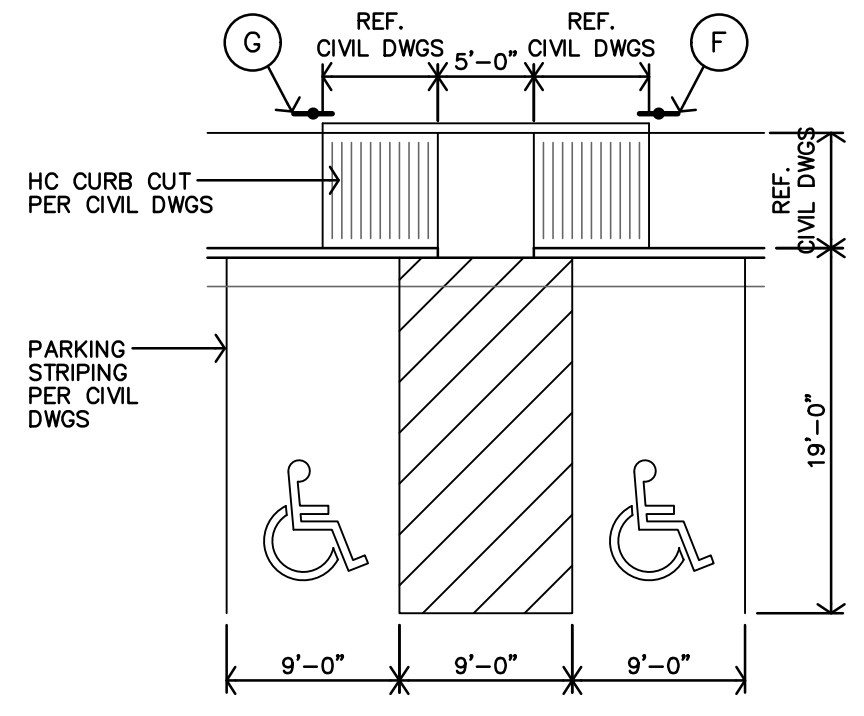
SHEET NO.:

A1.1

SITE PLAN KEY NOTES

- (A) MONUMENT SIGN REF. SHEET A1.3
- (B) KNOX BOX COORD. W/ FIRE DEPT. (TYP)
- (C) MECH. CLOSET REF. & COORDINATE W/ W/E DRAWINGS (TYP)
- (D) HC TRASH ENCLOSURE REF. SHEET A1.4
- (E) DASHED LINE INDICATES ACCESSIBLE PATH
- (F) NEW POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
- (G) NEW POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
- (H) PAINTED STRIPPING @ ACCESSIBLE ROUTE
- (J) BIKE RACK - 2 BIKES PER RACK. REF. SPEC. & DETAILS K/L/A1.3
- (K) 72" HEIGHT BLACK SECURITY FENCE ALONG FULL LENGTH OF SOUTHERN PROPERTY LINE. REF. H/A1.4
- (L) PLAYGROUND - (1) BUMP SLIDE & (1) SWING SET. REF. ENLARGED PLAN ON SHEET A1.3
- (M) CONCRETE PAVER PLAZA. REF. EAGLE RIDGE DEVELOPMENT GUIDELINES & G/A1.4
- (N) BENCH - (10) PARK BENCHES REF. J/A1.3
- (P) TRASH RECEPT. - (3) TRASH RECEPTACLE PER MASTER PLAN GUIDELINES REF. A1.3
- (Q) MONUMENT SIGN - DESIGN PER EAGLE RIDGE MASTER PLAN

NOTE:
CONC. SLOPE ACROSS SLABS NO MORE THAN 2% (1/8" PER 12") OVER 4" THICK GRANULAR FILL (MIN.) COMPACTED OVER SUBGRADE, PREP PER SOILS REPORT.



B HANDICAPPED PARKING
1"=10'-0"

PARKING SUMMARY

2021 IBC - CODE REQUIRED	
TOTAL STALLS	203
STALLS PER ZONING .85/DWELLING UNIT	164
GUEST STALLS 1/3 DWELLING UNITS	39
ACCESSIBLE STALLS IBC CH. 11	14

PROVIDED	
TOTAL STALLS	227
STANDARD STALLS	174
GUEST STALLS	39
ACCESSIBLE STALLS	14
PARKING RATIO (STALLS/UNITS)	1.18
BICYCLE PARKING SPACES	20

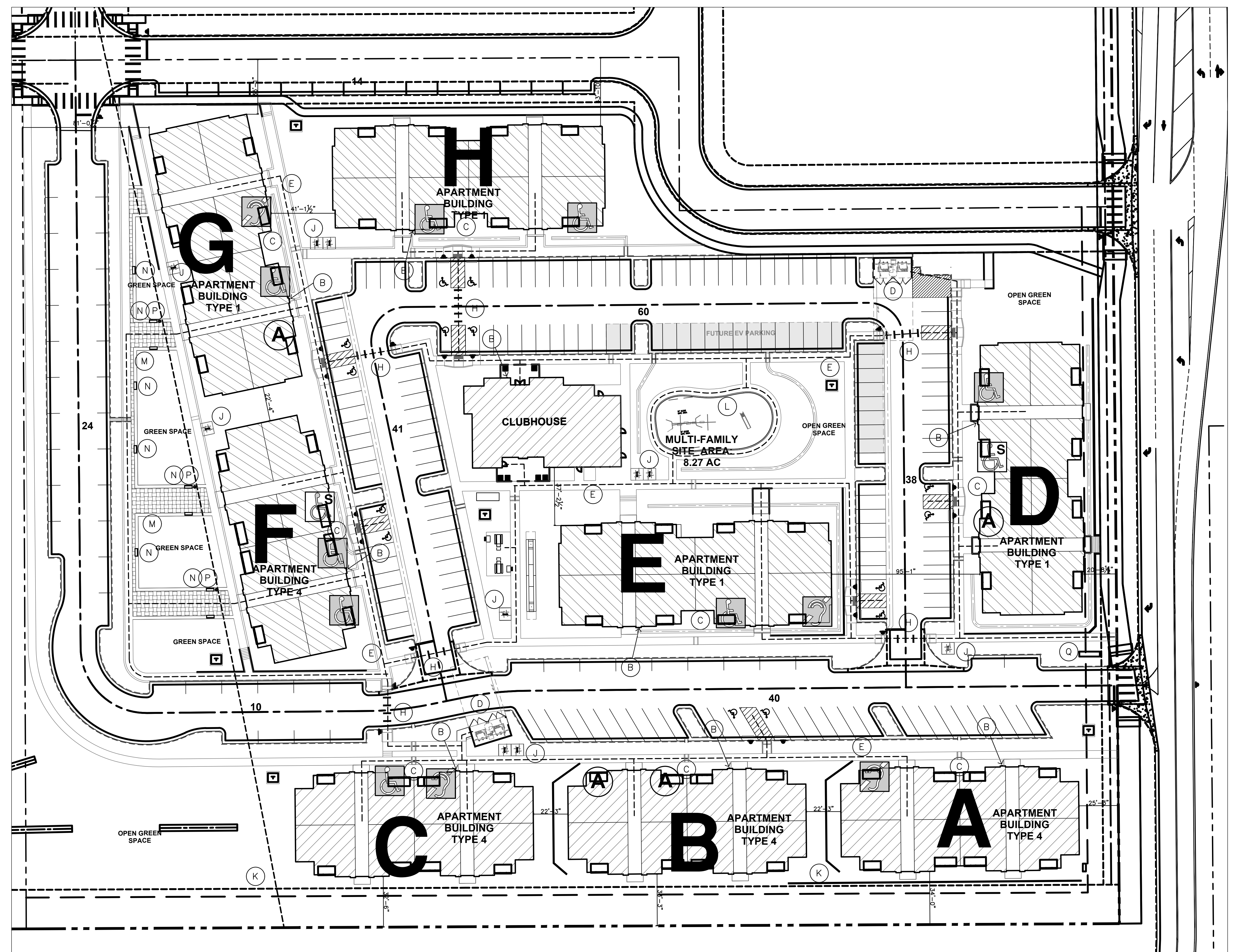
PARKING MEETS ZONING REQ'S .85/DWELLING UNIT = 163.3

LOT COVERAGE

SITE ACRES	SITE SQUARE FOOT	BLDG COVERAGE (GSF FOOTPRINT)	LOT COVERAGE
8.26 ACRES	360,083 sf	80,848 sf	22.40%

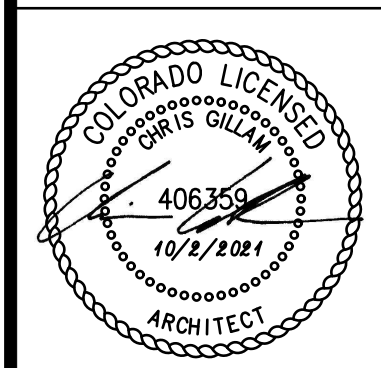
UNIT SUMMARY

UNIT LABEL	UNIT TYPE	TOTAL NO. of UNITS
A	1-BED, 1-BATH	48
B	2-BED, 2-BATH	96
C	3-BED, 2-BATH	48
TOTAL		192



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: *locke*
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

A SITE PLAN
1"=30'-0"



REVISION:
DATE: 12-5-2023
JOB: 22-3219
SHEET NO.:

A1.2

PROJECT SUMMARY

BUILDING LABEL	BUILDING TYPE	UNIT LABEL	BUILDING SQUARE FOOT	NO. of BUILDINGS	TOTAL PROJECT SF	GROSS PROJECT SF
CLUBHOUSE	CLUBHOUSE		HTD 4,980 sf	1	HTD 4,980 sf	4,980 SF
APT BLDG Type 1	3 FLOORS 12-2BR,12-3BR	B,C	HTD 27,408 sf UNH 4,982 sf	4	HTD 109,632 sf UNH 19,928 sf	129,560 sf
APT BLDG Type 4	3 FLOORS 12-1BR,12-2BR	A,B	HTD 22,656 sf UNH 5,318 sf	4	HTD 90,624 sf UNH 21,272 sf	111,896 sf
TOTAL				9		246,436 sf

UN-HEATED sf INCLUDES: MECHANICAL CLOSETS, EXTERIOR STORAGE, PATIOS, BALCONIES, & BREEZEWAYS

APARTMENT BUILDINGS TYPE 1 SUMMARY

FIRST FLOOR

UNIT LABEL	UNIT TYPE	HEATED SF PER UNIT	UNITS PER FLOOR	HEATED SF PER FLOOR
B	2-BED, 2-BATH	1,059 sf	4	4,236 sf
C	3-BED, 2-BATH	1,225 sf	4	4,900 sf
TOTAL			8	9,136 sf

UNIT LABEL	UNIT TYPE	UN-HTD SF PER UNIT	UNITS PER FLOOR	UN-HTD SF PER FLOOR
B	2-BED, 2-BATH	214 sf	3	642 sf
B	2-BED, 2-BATH	201 sf	1	228 sf
	MECHANICAL CLOSET	27 sf		
C	3-BED, 2-BATH	200 sf	4	800 sf
TOTAL			8	1,670 sf

SECOND FLOOR

UNIT LABEL	UNIT TYPE	HEATED SF PER UNIT	UNITS PER FLOOR	HEATED SF PER FLOOR
2B	2-BED, 2-BATH	1,059 sf	4	4,236 sf
3B	3-BED, 2-BATH	1,225 sf	4	4,900 sf
TOTAL			8	9,136 sf

UNIT LABEL	UNIT TYPE	UN-HTD SF PER UNIT	UNITS PER FLOOR	UN-HTD SF PER FLOOR
B	2-BED, 2-BATH	214 sf	4	856 sf
C	3-BED, 2-BATH	200 sf	4	800 sf
TOTAL			8	1,656 sf

THIRD FLOOR

UNIT LABEL	UNIT TYPE	HEATED SF PER UNIT	UNITS PER FLOOR	HEATED SF PER FLOOR
B	2-BED, 2-BATH	1,058 sf	4	4,236 sf
C	3-BED, 2-BATH	1,225 sf	4	4,900 sf
TOTAL			8	9,136 sf

UNIT LABEL	UNIT TYPE	UN-HTD SF PER UNIT	UNITS PER FLOOR	UN-HTD SF PER FLOOR
B	2-BED, 2-BATH	212 sf	4	856 sf
C	3-BED, 2-BATH	200 sf	4	800 sf
TOTAL			8	1,656 sf

SUMMARY

	HEATED SF PER FLOOR	UN-HTD SF PER FLOOR	TOTAL SF PER BUILDING
FIRST FLOOR	9,136 sf	1,670 sf	10,806 sf
SECOND FLOOR	9,136 sf	1,656 sf	10,792 sf
THIRD FLOOR	9,136 sf	1,656 sf	10,792 sf
TOTAL	27,408 sf	4,982 sf	32,390 sf

UN-HEATED sf INCLUDES: MECHANICAL CLOSETS, EXTERIOR STORAGE, PATIOS, BALCONIES, & BREEZEWAYS

APARTMENT BUILDINGS TYPE 4 SUMMARY

FIRST FLOOR

UNIT LABEL	UNIT TYPE	HEATED SF PER UNIT	UNITS PER FLOOR	HEATED SF PER FLOOR
A	1-BED, 1-BATH	829 sf	4	3,316 sf
B	2-BED, 2-BATH	1,059 sf	4	4,236 sf
TOTAL			8	7,552 sf

UNIT LABEL	UNIT TYPE	UN-HTD SF PER UNIT	UNITS PER FLOOR	UN-HTD SF PER FLOOR
A	1-BED, 1-BATH	231 sf	2	462 sf
A	1-BED, 1-BATH	218 sf	1	218 sf
A	1-BED, 1-BATH	195 sf	1	222 sf
	MECHANICAL CLOSET	27 sf		
B	2-BED, 2-BATH	214 sf	4	856 sf
TOTAL			8	1,758 sf

SECOND FLOOR

UNIT LABEL	UNIT TYPE	HEATED SF PER UNIT	UNITS PER FLOOR	HEATED SF PER FLOOR
A	1-BED, 1-BATH	829 sf	4	3,316 sf
B	2-BED, 2-BATH	1,059 sf	4	4,236 sf
TOTAL			8	7,552 sf

UNIT LABEL	UNIT TYPE	UN-HTD SF PER UNIT	UNITS PER FLOOR	UN-HTD SF PER FLOOR
A	1-BED, 1-BATH	231 sf	4	924 sf
B	2-BED, 2-BATH	214 sf	4	856 sf
TOTAL			8	1,780 sf

THIRD FLOOR

UNIT LABEL	UNIT TYPE	HEATED SF PER UNIT	UNITS PER FLOOR	HEATED SF PER FLOOR
A	1-BED, 1-BATH	829 sf	4	3,316 sf
B	2-BED, 2-BATH	1,059 sf	4	4,236 sf
TOTAL			8	7,552 sf

UNIT LABEL	UNIT TYPE	UN-HTD SF PER UNIT	UNITS PER FLOOR	UN-HTD SF PER FLOOR
A	1-BED, 1-BATH	231 sf	4	924 sf
B	2-BED, 2-BATH	214 sf	4	856 sf
TOTAL			8	1,780 sf

SUMMARY

	HEATED SF PER FLOOR	UN-HTD SF PER FLOOR	TOTAL SF PER BUILDING
FIRST FLOOR	7,552 sf	1,758 sf	9,310 sf
SECOND FLOOR	7,552 sf	1,780 sf	9,332 sf
THIRD FLOOR	7,552 sf	1,780 sf	9,332 sf
TOTAL	22,656 sf	5,318 sf	27,974 sf

UN-HEATED sf INCLUDES: MECHANICAL CLOSETS, EXTERIOR STORAGE, PATIOS, BALCONIES, & BREEZEWAYS

APARTMENT CHART

NOTE: UNIT NUMBERS SHOWN ARE FOR CONSTRUCTION PURPOSES ONLY & DO NOT REFLECT FINAL UNIT NUMBERING/LETTERING.

TYPE OF APARTMENT	BLDG A	BLDG B	BLDG C	BLDG D	BLDG E	BLDG F	BLDG G	BLDG H	TOTAL
ACCESSIBLE UNITS (w/ REMOVEABLE TUB SEAT)			C105	D101	E105	F101, F103	G103	H103, H107	8
ACCESSIBLE UNITS (ROLL-IN SHOWER)				D103		F105			2
HEARING/VISION IMPAIRED & ADAPTABLE UNITS	A107		C103		E107		G105		4
TYPE-A UNITS		B105, B107		D105			G101		4
TYPE-B UNITS	REMAINING FIRST FLOOR UNITS								46
STANDARD UNITS	ALL SECOND & THIRD FLOOR UNITS								128
TOTAL	24	24	24	24	24	24	24	24	192

C105 - 1BED ACCESSIBLE
F103 - 1BED ACCESSIBLE
F101 - 2BED ACCESSIBLE
E105 - 2BED ACCESSIBLE
G103 - 2BED ACCESSIBLE
H103 - 2BED ACCESSIBLE
D101 - 3BED ACCESSIBLE
H107 - 3BED ACCESSIBLE

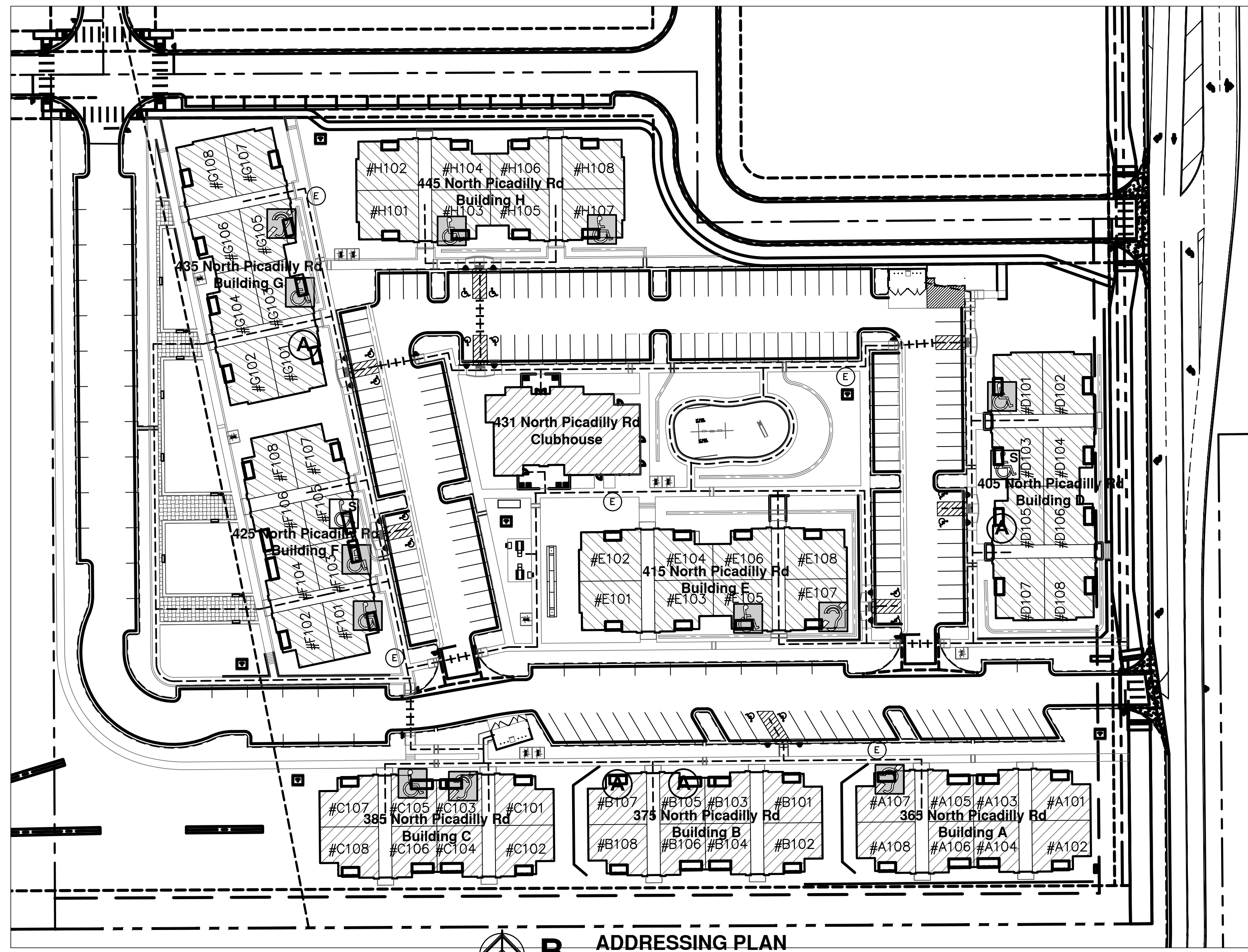
F105 - 1BED ACCESSIBLE (ROLL-IN)
D103 - 2BED ACCESSIBLE (ROLL-IN)

C103 - 1BED HEARING/VISION
A107 - 2BED HEARING/VISION
G105 - 2BED HEARING/VISION
E107 - 3BED HEARING/VISION

B105 - 1BED TYPE-A
B107 - 2BED TYPE-A
G101 - 2BED TYPE-A
G101 - 3BED TYPE-A

COLORADO HOUSE BILL 03-1221

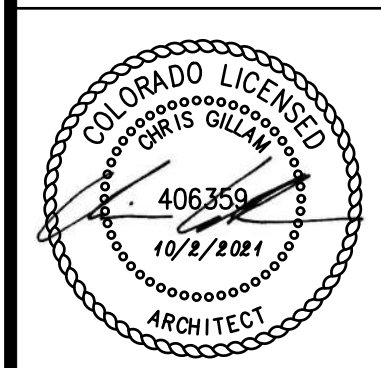
UNITS TYPES	UNITS #	POINTS
192 TOTAL UNITS = REQUIRED	84	
TYPE-A	14 (of points)	84
TYPE-B VISITABLE	50 (of points)	50
TOTAL POINTS PROVIDED		134



B ADDRESSING PLAN
1"=50'-0"



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: *locke*
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC



REVISION:

DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

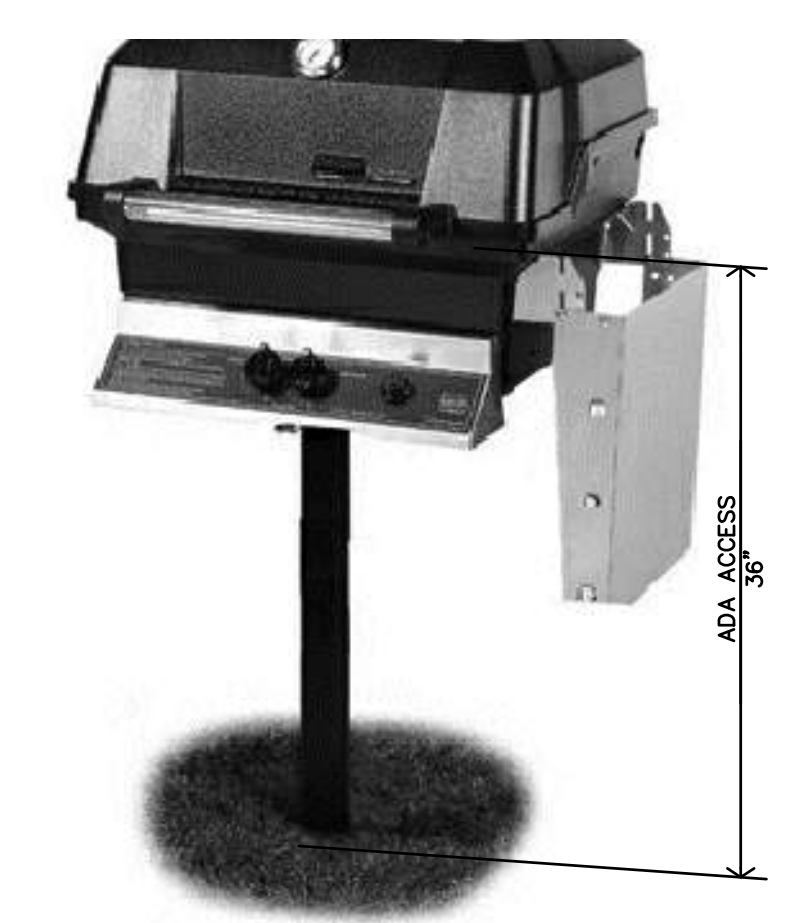
A1.3

6 Foot Bump Wave Slide



STATE OF PLAY 6' WAVE SLIDE

D (1) WAVE SLIDE
NO SCALE



MHP PROPANE GAS GRILL WITH STAINLESS STEEL SHELVES AND STAINLESS GRIDS ON IN-GROUND POST (www.bbqguys.com) (Item no.1516308 model no. JNR40D-P)

E BBQ GRILL
NO SCALE



(1) EVEREST SERIES 6'-0" HEAVY DUTY PICNIC TABLE (www.theparkcatalog.com) (Item no.595-6005) COLOR TO BE DETERMINED BY ARCHITECT/OWNER

G PICNIC TABLE
NO SCALE



(1) EVEREST SERIES 8'-0" HEAVY DUTY ADA SINGLE-SIDED PICNIC TABLE (www.theparkcatalog.com) (Item no.595-6007)

F ACCESSIBLE PICNIC TABLE
NO SCALE



STATE OF PLAY PRIMARY BI-POD 8' SWING

C (1) SWING SET
NO SCALE

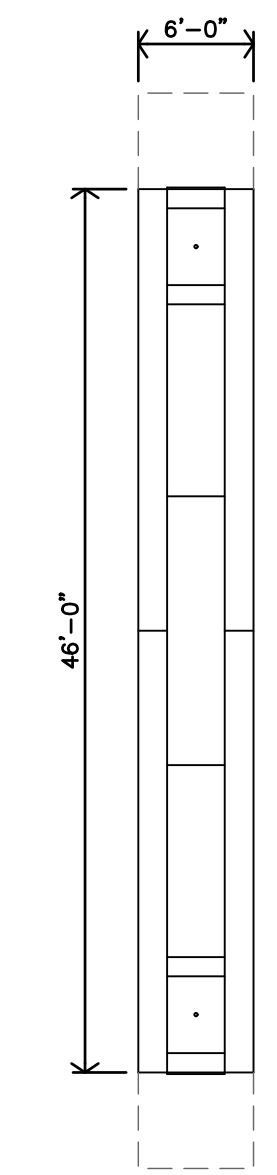


RENDEZVOUS 6' CONTOUR BENCH
COLOR: TEXTURED BLACK

J OUTDOOR BENCH
NO SCALE

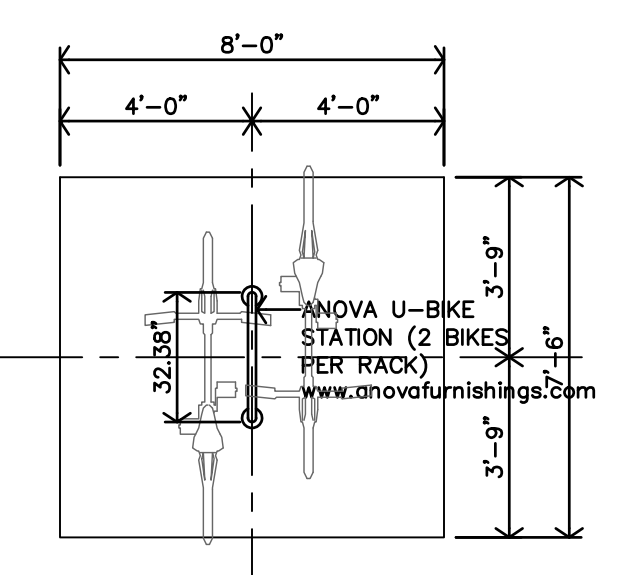


ANOVA U-BIKE STATION, STATION MOUNT
COLOR: TEXTURED BLACK

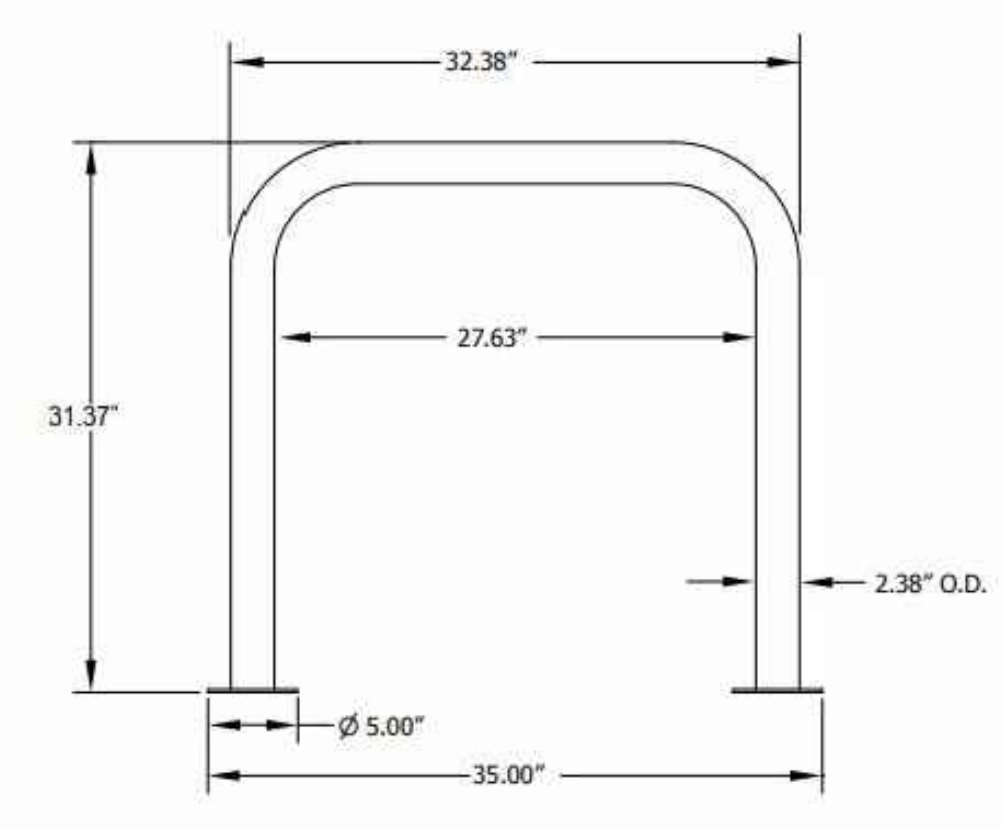


H HORSESHOE PLAN
1"-10'-0"

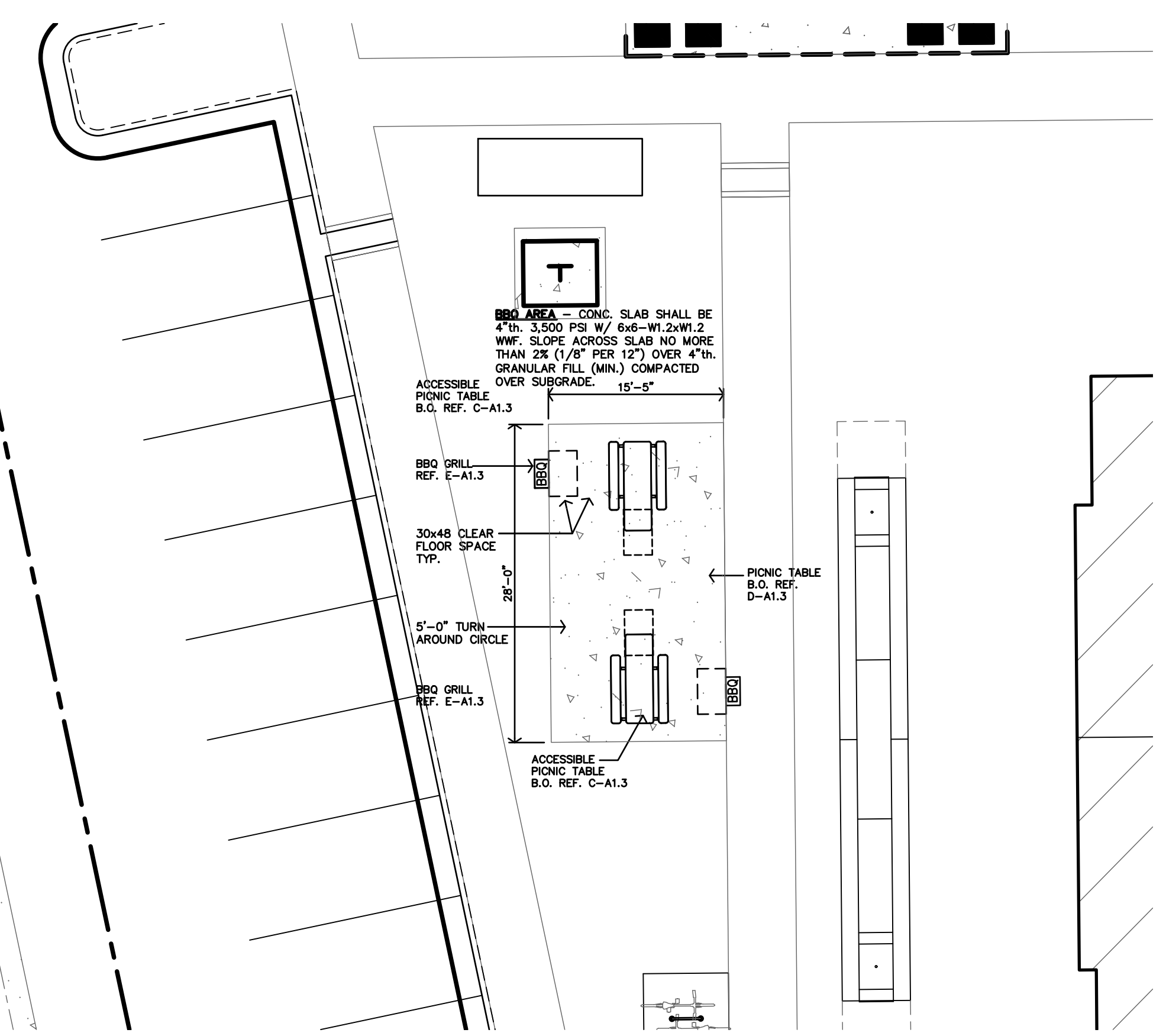
REF. J-A1.3 FOR HORSESHOE DETAILS



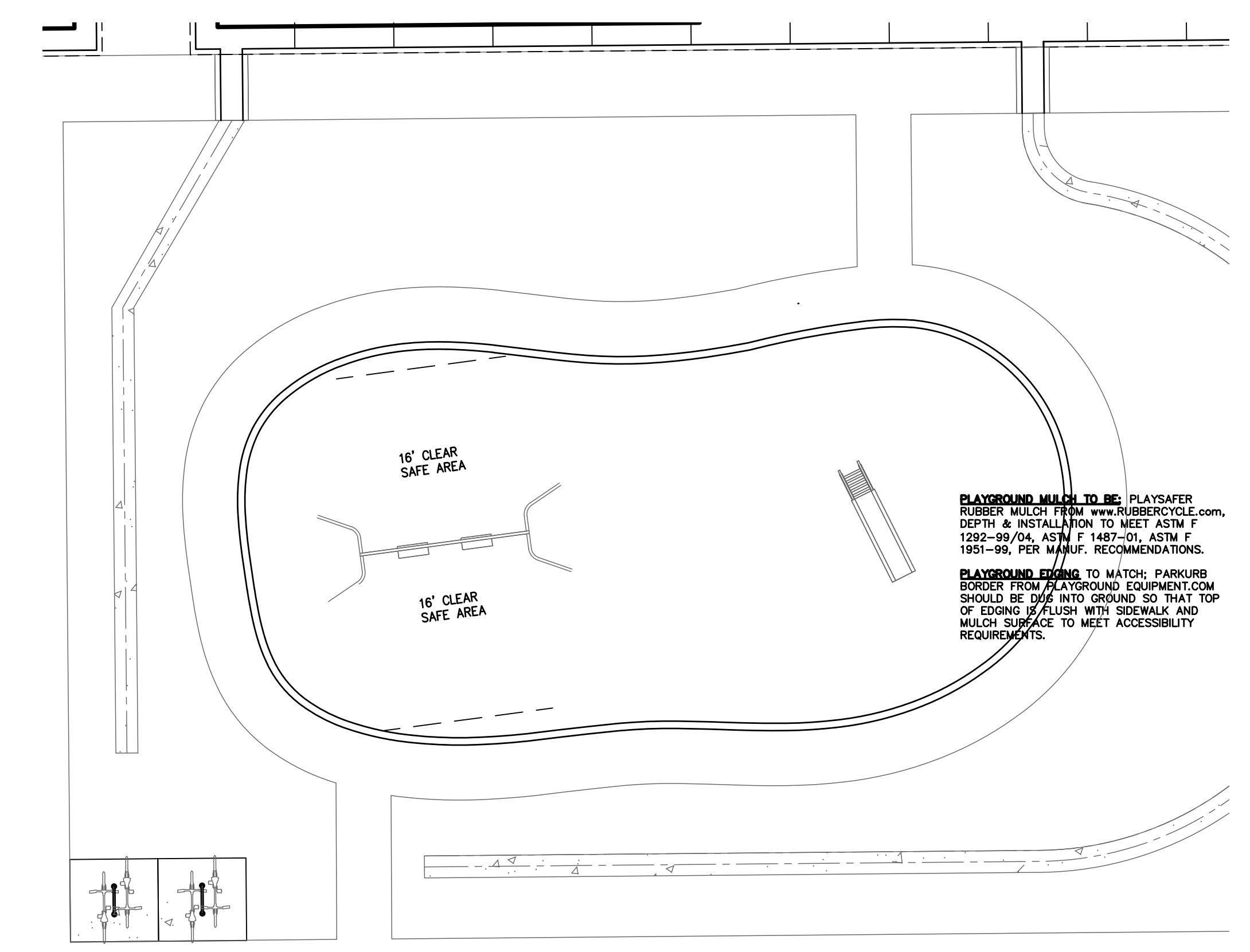
L BIKE RACK PLAN
1/4"=1'-0"



K BIKE RACK

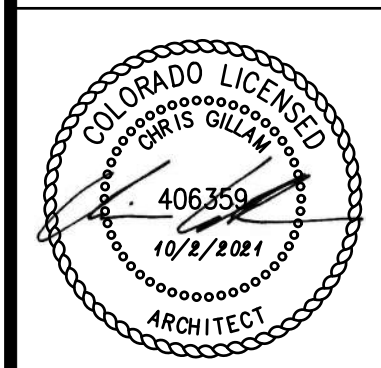


B ENLARGED BBQ
1"-10'-0"



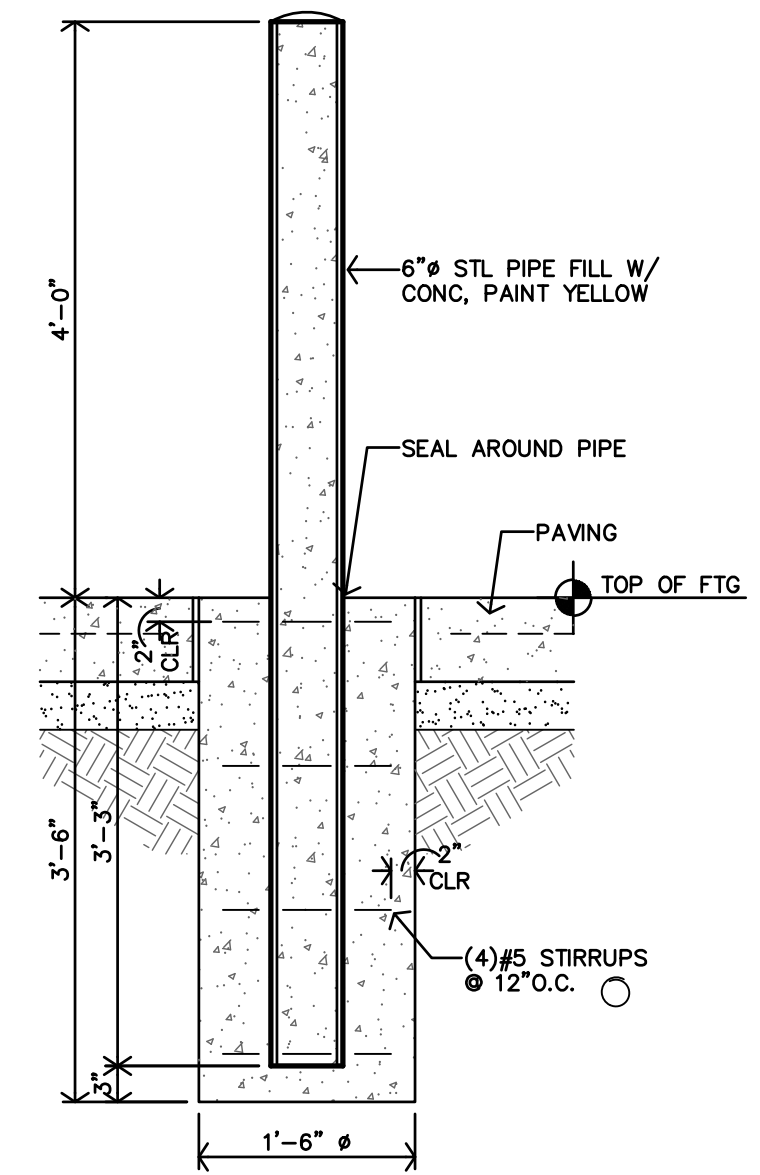
A ENLARGED PLAYGROUND
1"-10'-0"

This sheet of drawings has not been reviewed for code compliance.

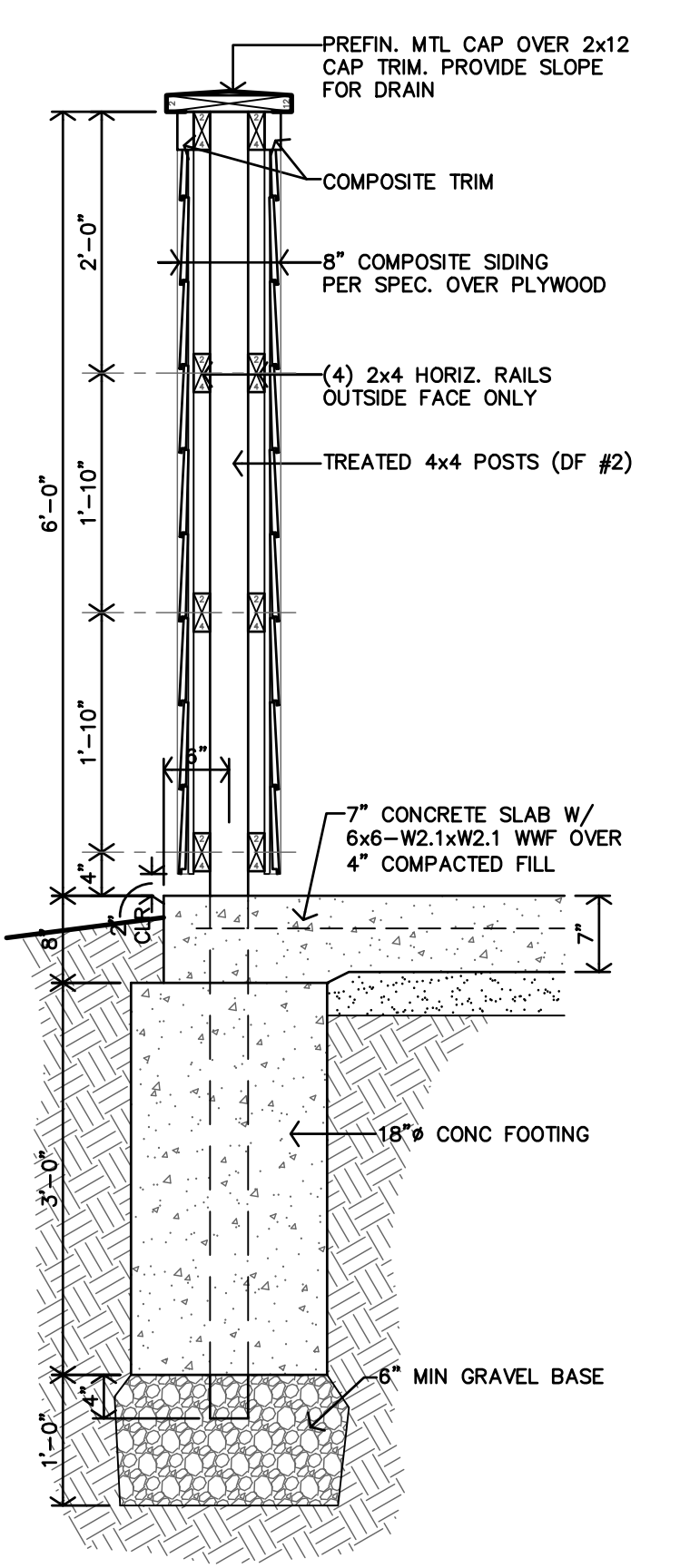


REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

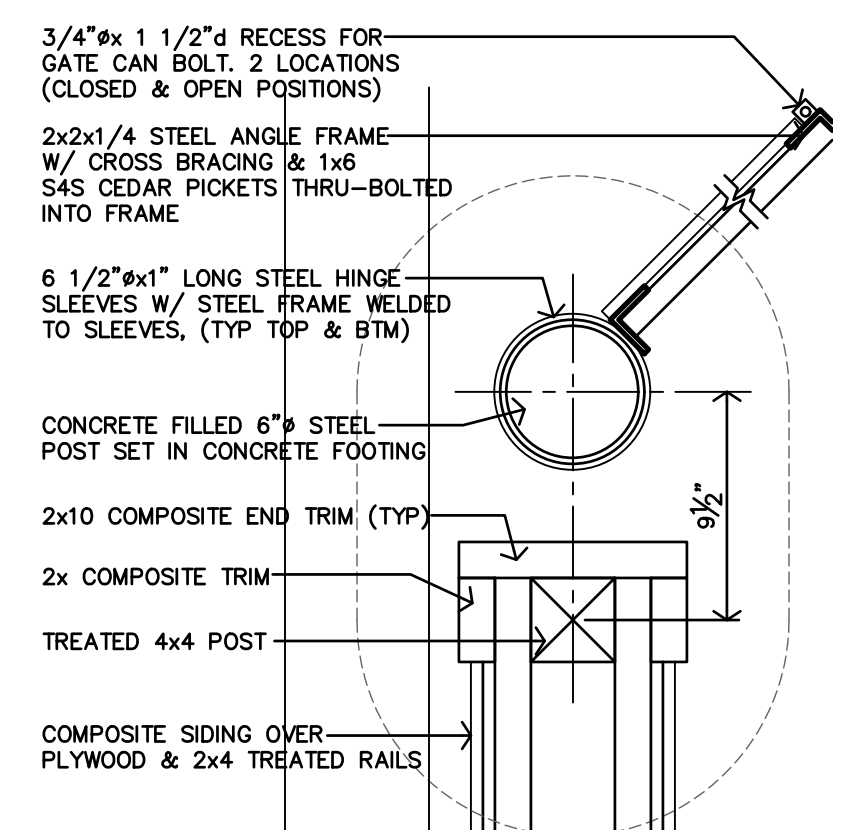
This sheet of drawings has not been reviewed for code compliance.



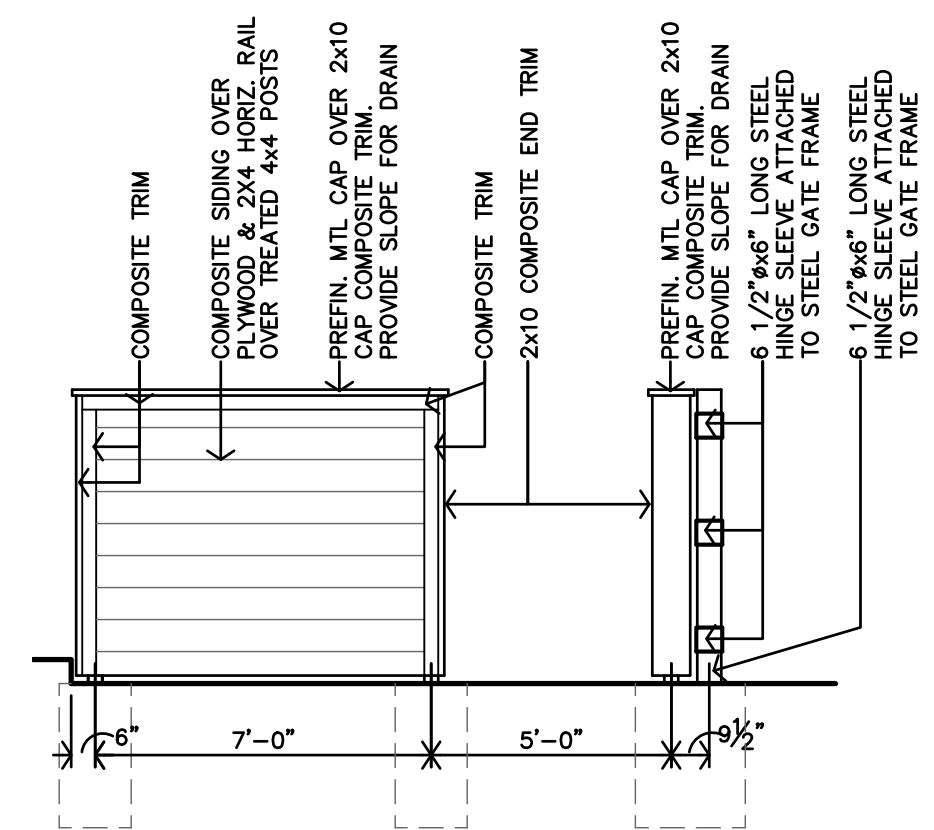
F TRASH ENCLOSURE BOLLARD SECTION
3/4"=1'-0"



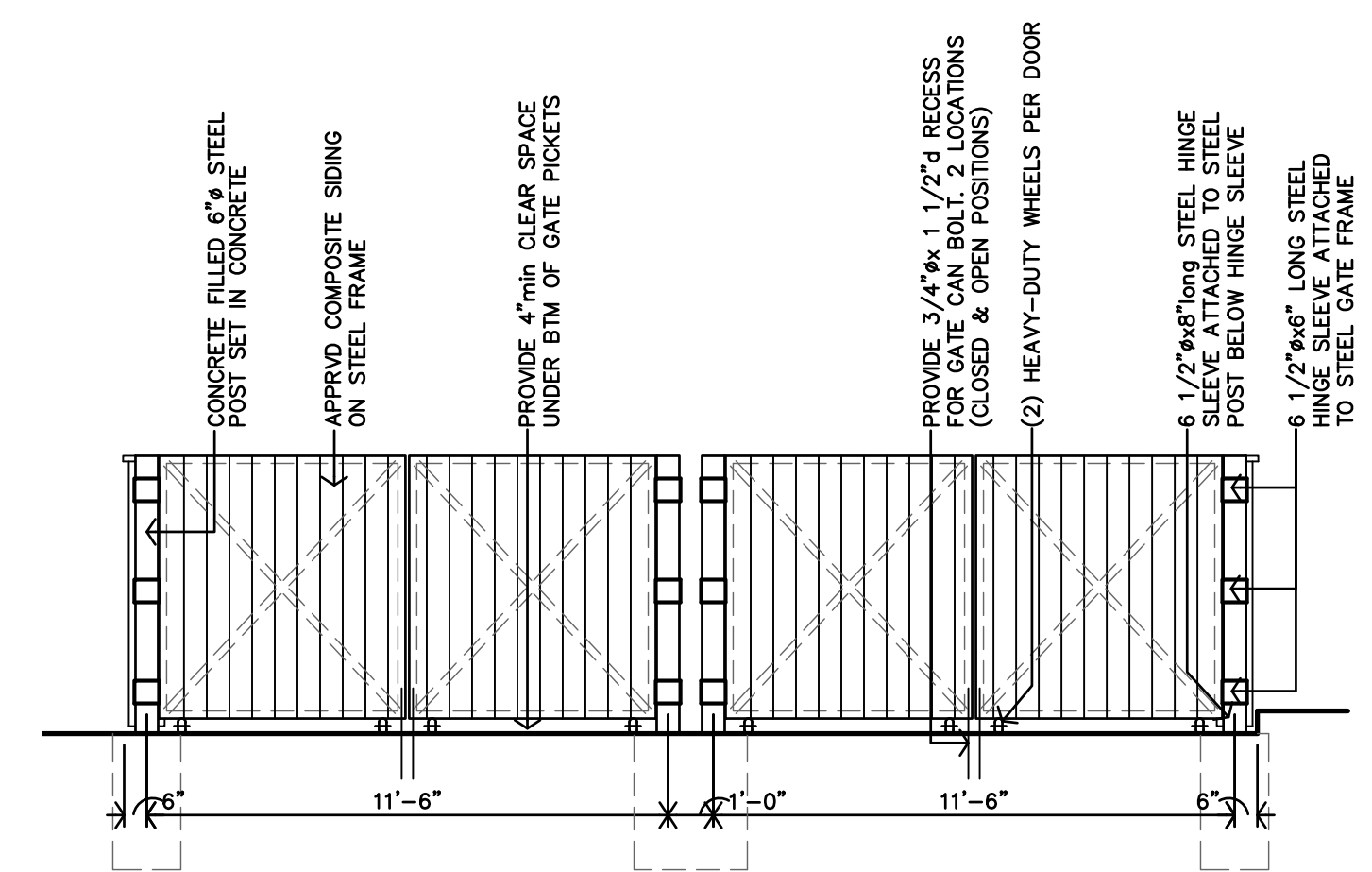
E TRASH ENCLOSURE SECTION
3/4"=1'-0"



D DETAIL
1 1/2"=1'-0"



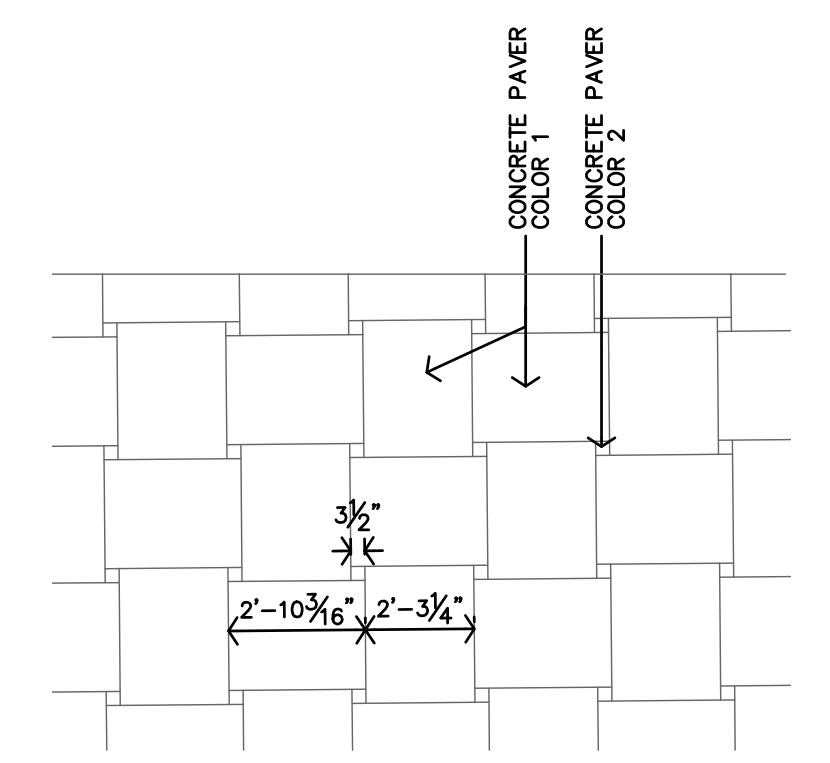
C TRASH ENCLOSURE SIDE ELEVATION
1 1/2"=1'-0"



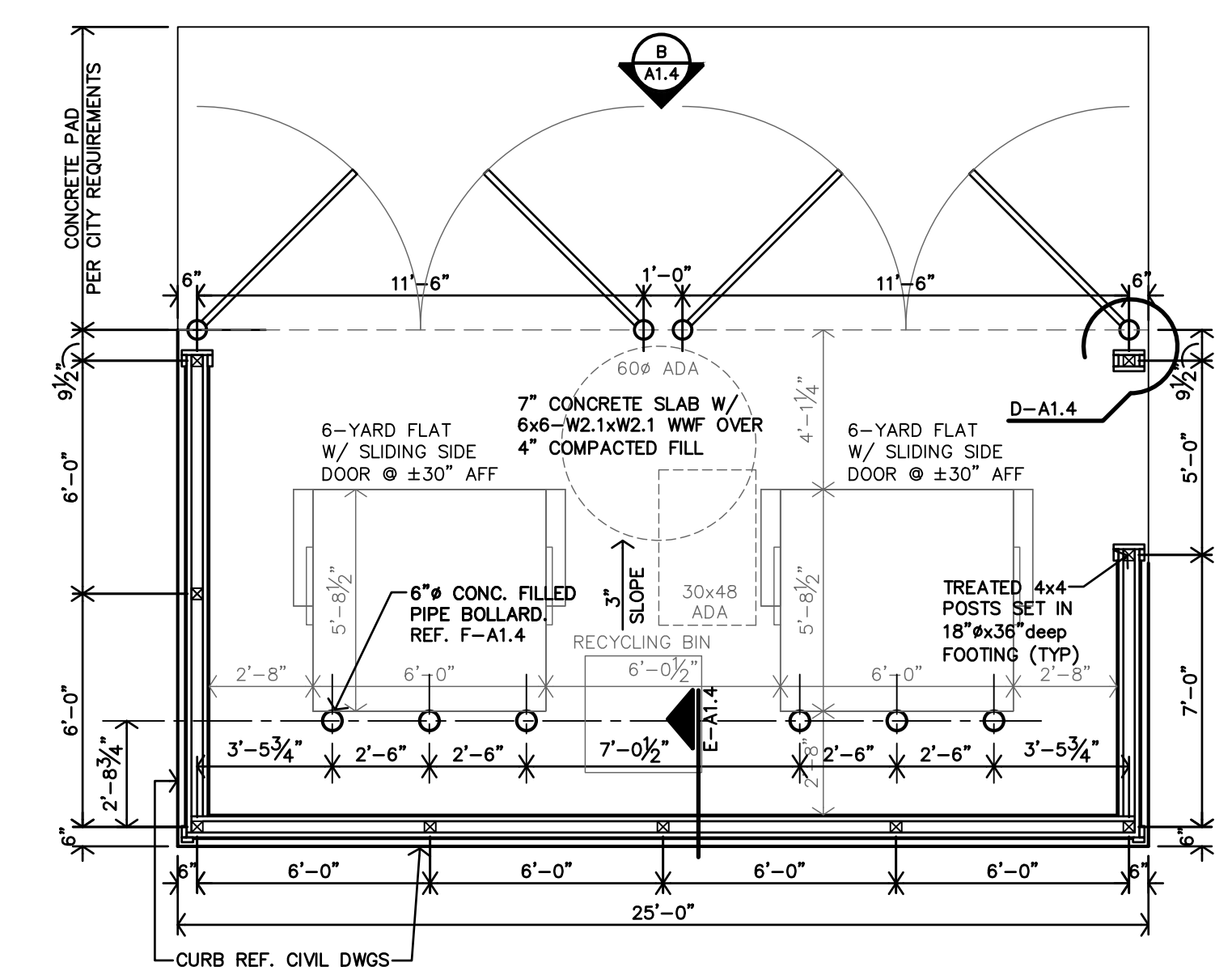
B TRASH ENCLOSURE FRONT ELEVATION
1/4"=1'-0"



H TYPICAL IMAGE OF 72" tall ALUM. PERIMETER FENCE
NO SCALE



G PAVER PLAZA ENLARGED PATTERN/PLAN
1/4"=1'-0"



A ENLARGED TRASH ENCLOSURE
1/4"=1'-0"

APARTMENT INTERIOR FINISH SCHEDULE

FINISHES & INSTRUCTIONS										
P1 - LATEX ENAMEL		C1 - CARPET #1		V - VINYL PLANK FLR'G TILE						
P2 - LATEX ENAMEL		C2 - CARPET #2		ST - SPRAY TEXTURE						
CT - CERAMIC TILE		SV - SHEET VINYL		S - SMOOTH		T - TEXTURED LIGHT KNOCKDOWN				
NO.	DESCRIPTION	FLOOR	BASE	N.WALL	E.WALL	S.WALL	W.WALL	CLG	HGT.	NOTES
101	LIVING ROOM	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	9'-0"	
102	DINING	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	9'-0"	
103	KITCHEN	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	8'-9"	NOTE 1,2,5
104	BATH	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	8'-9"	NOTE 1,2,3,5
106	LAUNDRY	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	8'-9"	NOTE 2,5
107	HALL	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	9'-0"	
108	CLOSET	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	8'-9"	NOTE 5
109	CLOSET	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	9'-0"	
111	BEDROOM	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	9'-0"	
112	MECHANICAL	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	9'-0"	NOTE 5
113	MASTER BATH	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	8'-9"	NOTE 1,2,3,5
114	CLOSET	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	8'-9"	NOTE 5
116	MASTER BEDROOM	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	8'-9"	NOTE 5
117	OUTSIDE STORAGE	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	±9'-0"	
118	BEDROOM	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	9'-0"	
119	CLOSET	V	P1	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	5/8" TYPE X G.B.	9'-0"	

NOTES:
 1. AT ALL REMOVABLE CABINET FRONTS: WALLS AND FLOORS ARE TO BE FINISHED.
 2. INSTALL 5/8" TYPE X M.R. G.B. @ ALL WET AREAS.
 3. 5/8" CEMENT BOARD @ TUB ENCLOSURE.
 4. REF. SHEET A2.10 FOR BUILDING FINISH SCHEDULE.
 5. REF. SHEET A2.9 CEILING PLANS, NOTE 2ND FLR CLGS 8'-0", 2ND & 3RD DOWORK

APARTMENT DOOR SCHEDULE

MARK	DOOR			FRAME		RATING	NOTES	LOCATION
	SIZE	MATERIAL	TYPE	FINISH	MAT'L			
1	3'-0" x 6'-8"	1 3/8"	A	PAINT	WOOD	45min	NOTES 1,2,3,4,6	ENTRY DOOR, LIVING ROOM #101
2	3'-0" x 6'-8"	1 3/8"	B	PAINT	WOOD		NOTE 6	BALCONY DOOR, LIVING ROOM #101
3	3'-0" x 6'-8"	1 3/8"	D	PAINT	WOOD		NOTES 7,8	BEDROOMS #111/116/118, BATHS #104/113, CLOSETS
4	PR3'-0" x 6'-8"	1 3/8"	C	PAINT	WOOD		REF. E-A2.1	CLOSET
6	2'-0" x 6'-8"	1 3/8"	C	PAINT	WOOD			CLOSET
7	NOT USED							
8	(2)1'-3" x 6'-8"	1 3/8"	F	PAINT	WOOD		REF. E-A2.1	MECHANICAL #12
9	(4)1'-3" x 6'-8"	1 3/4"	F	PAINT	WOOD		REF. E-A2.1	MECHANICAL #12
10	3'-0" x 6'-8"	1 3/4"	D	PAINT	WOOD			OUTDOOR STORAGE #117

GENERAL NOTES:
 A. ALL DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS, KEVED OUTSIDE & RELEASE INSIDE LOCKSET & DEADBOLT SETS UNLESS NOTED OTHERWISE PROVIDED & INSTALLED PER SPECIFICATIONS SECTION 8710.
 B. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS W/ OWNER.
 C. UNDERCUT DOORS PER MECH DWGS.
 D. REF. SHEET A4.5 FOR DOOR DETAILS.
 E. REF. SHEET A2.10 FOR BUILDING DOOR SCHEDULE (MECH CLOSET #122)

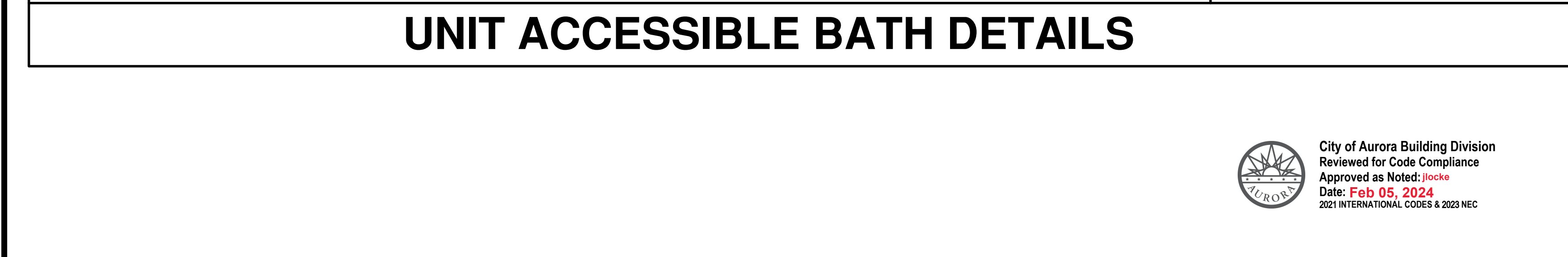
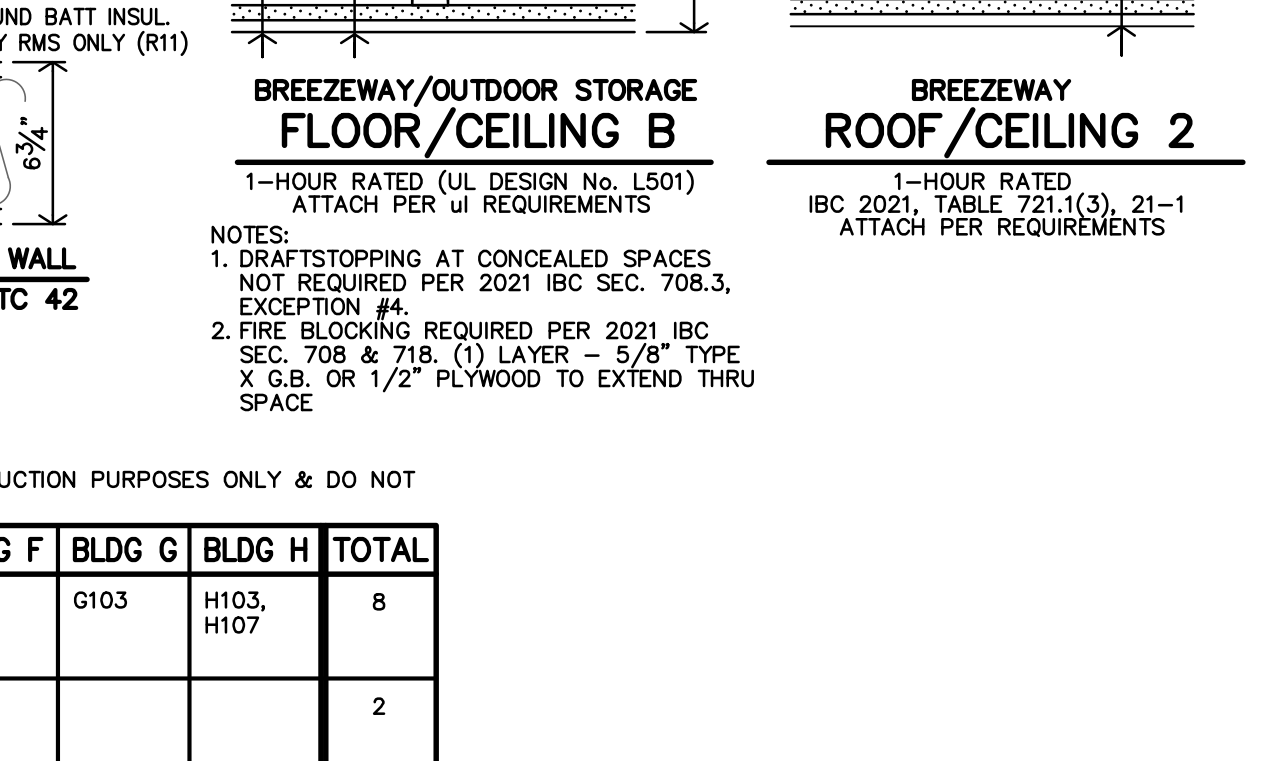
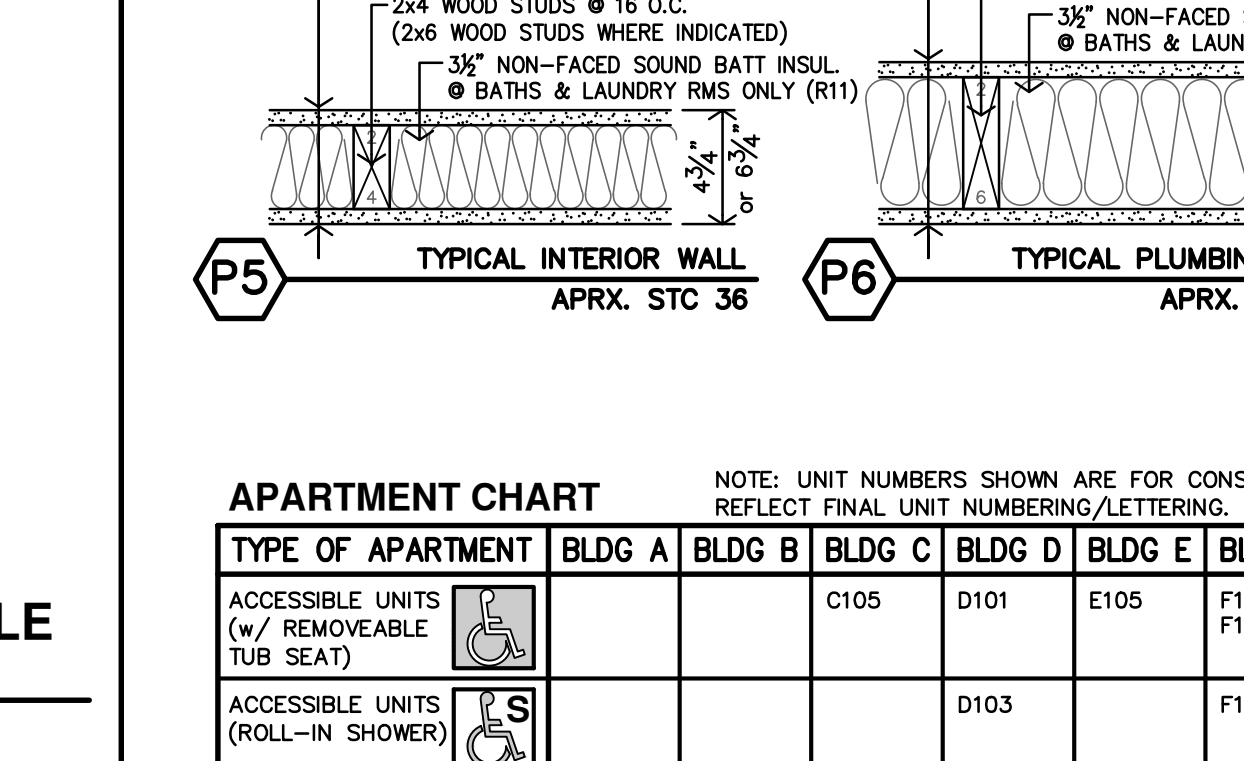
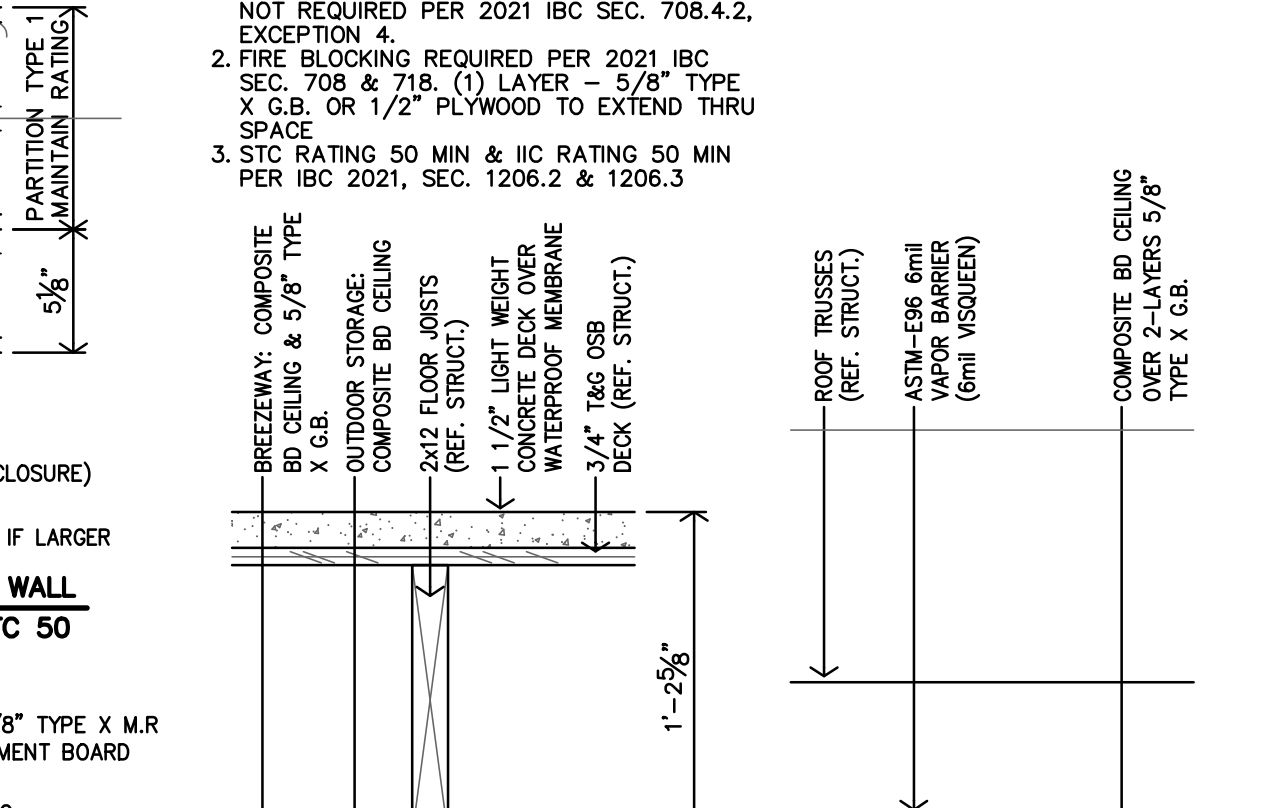
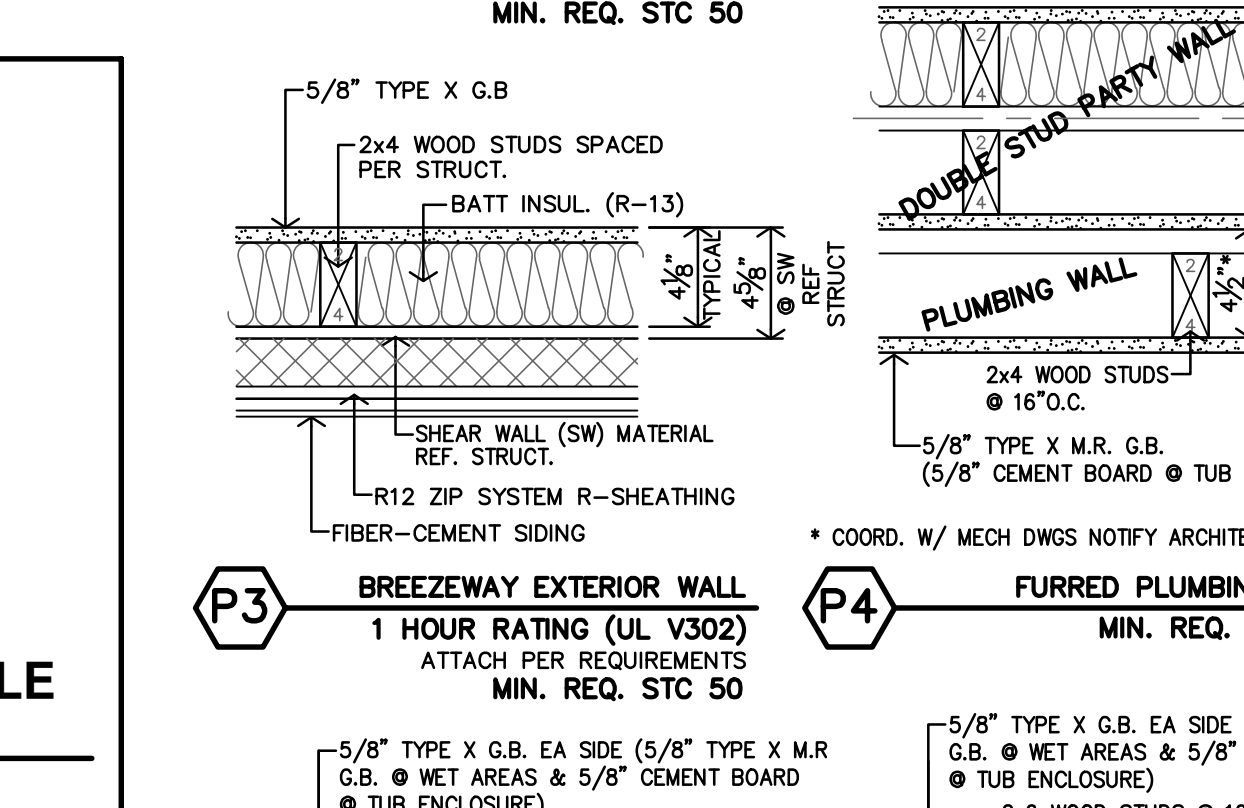
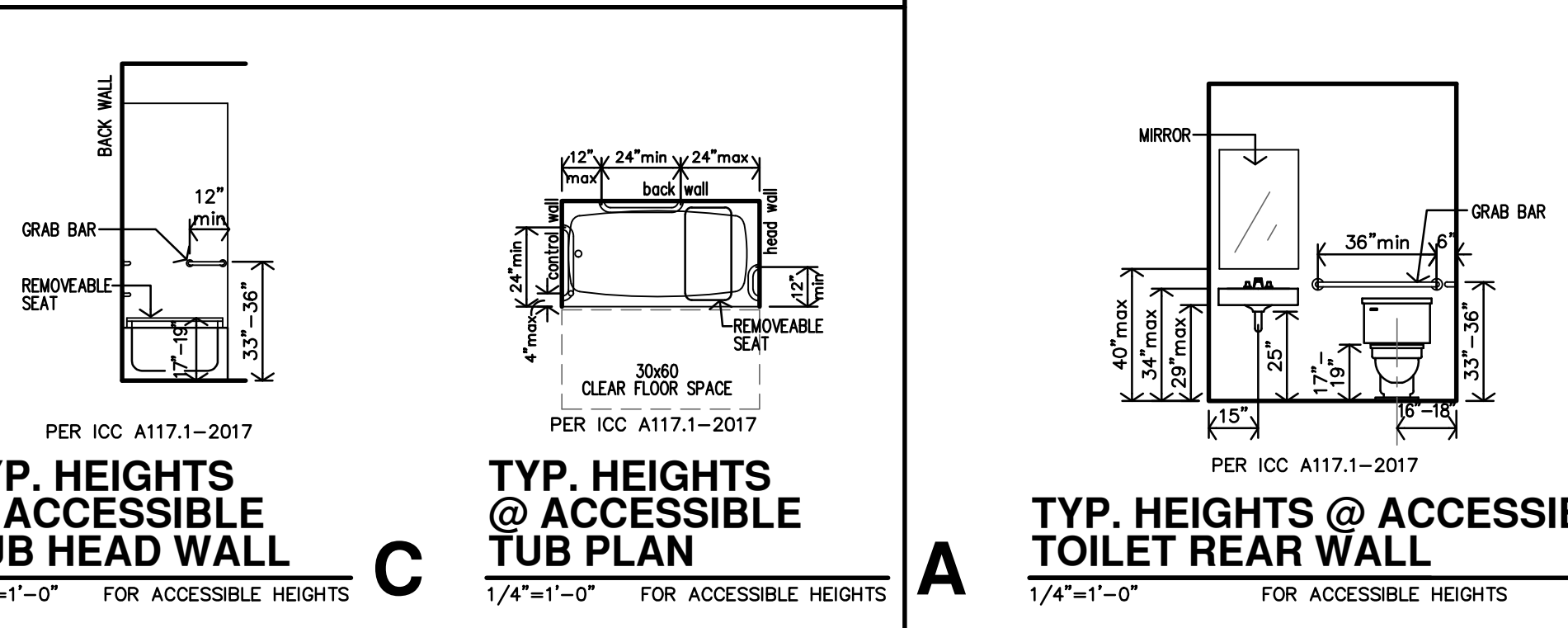
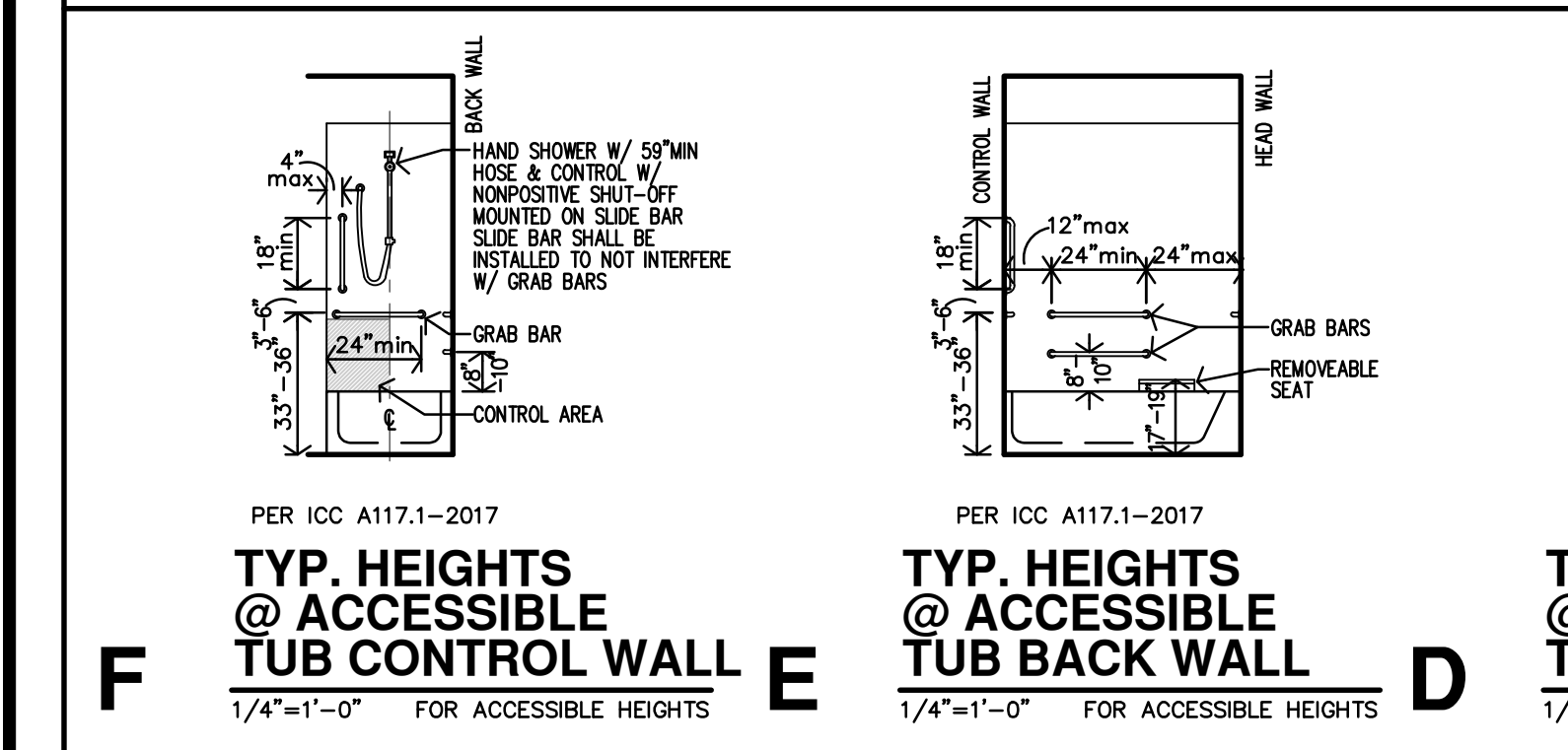
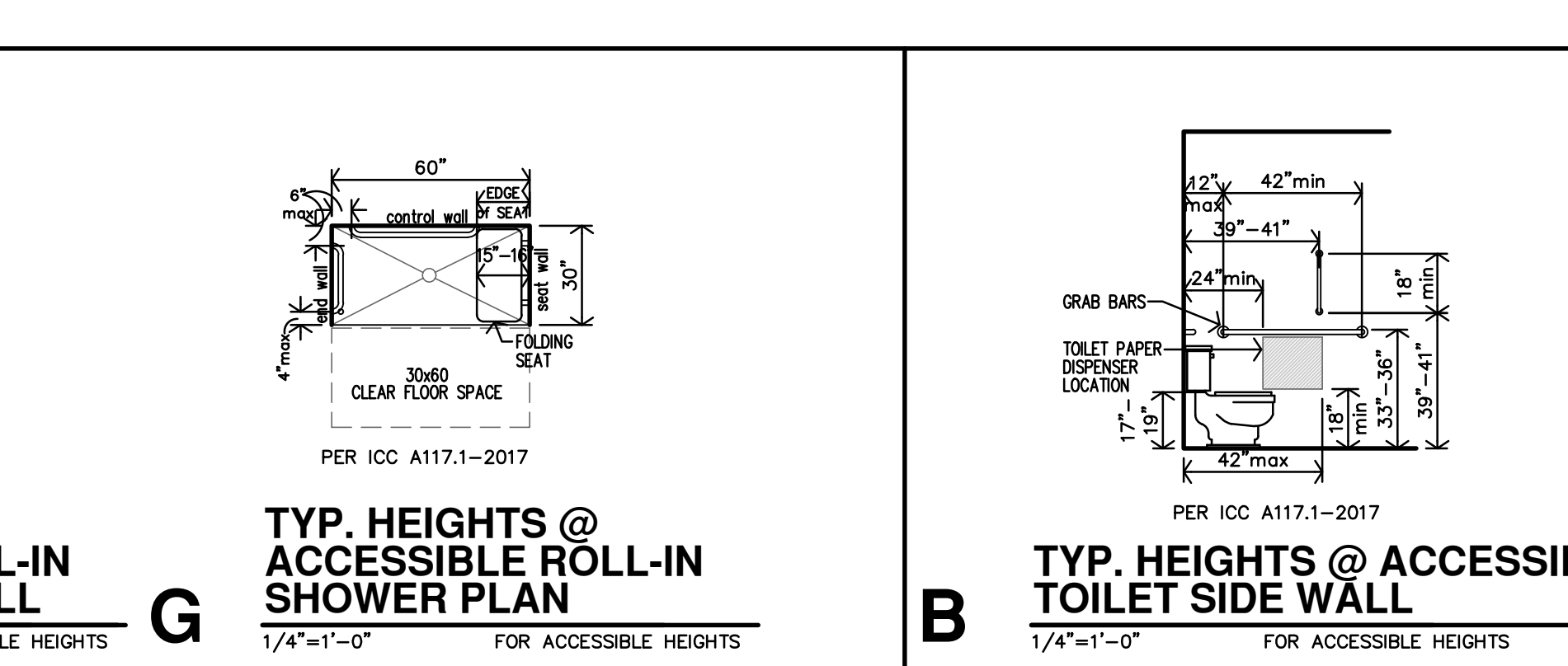
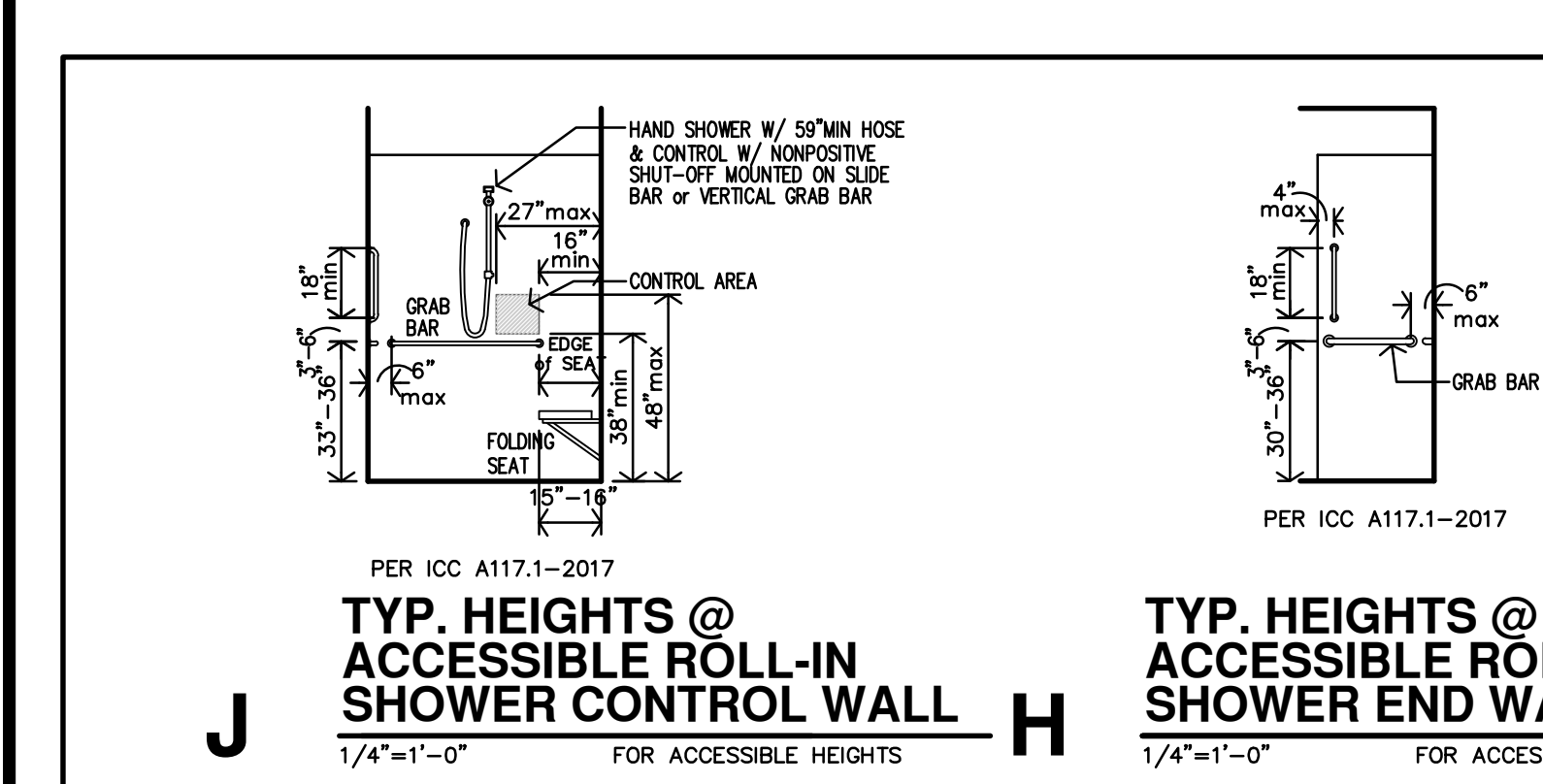
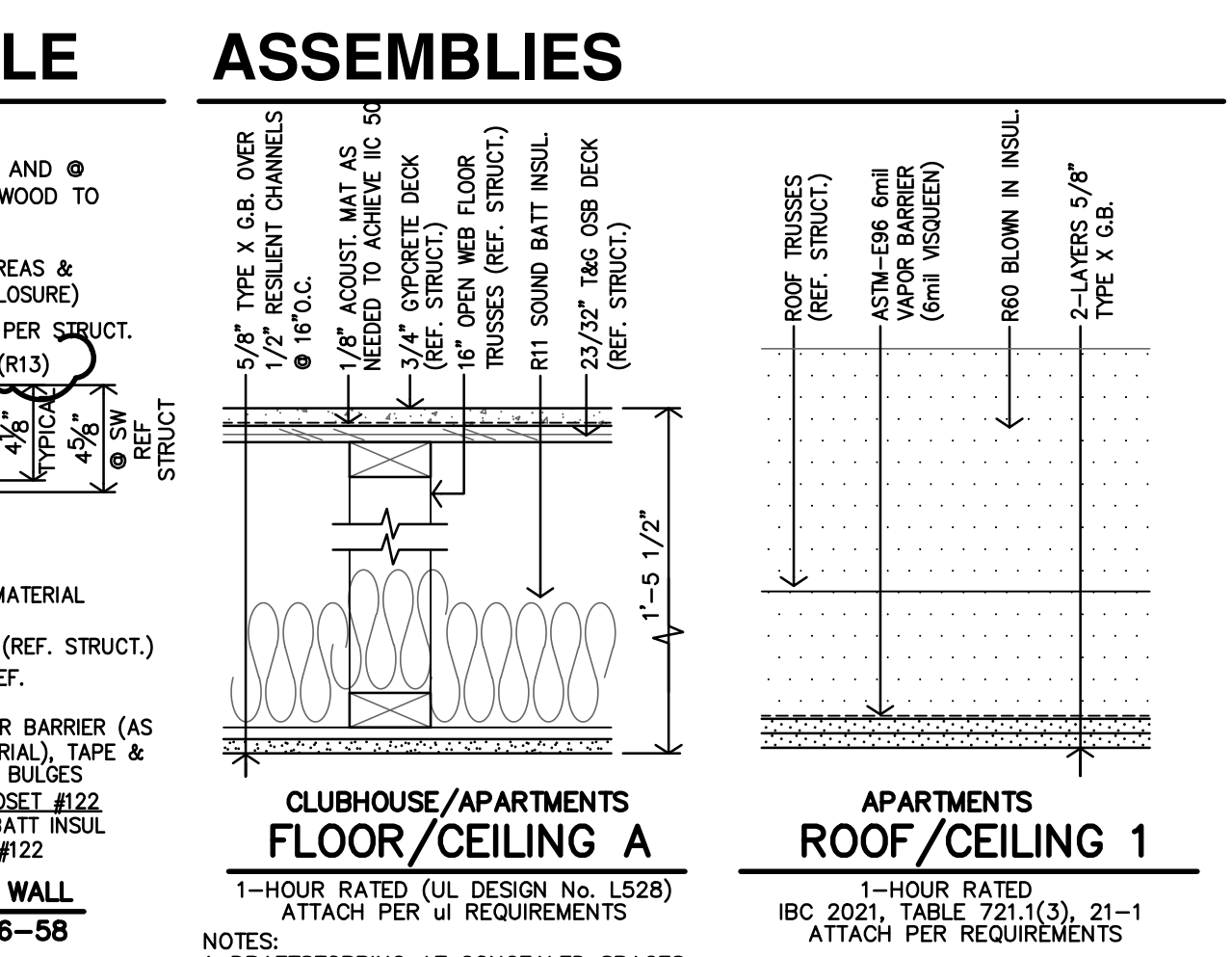
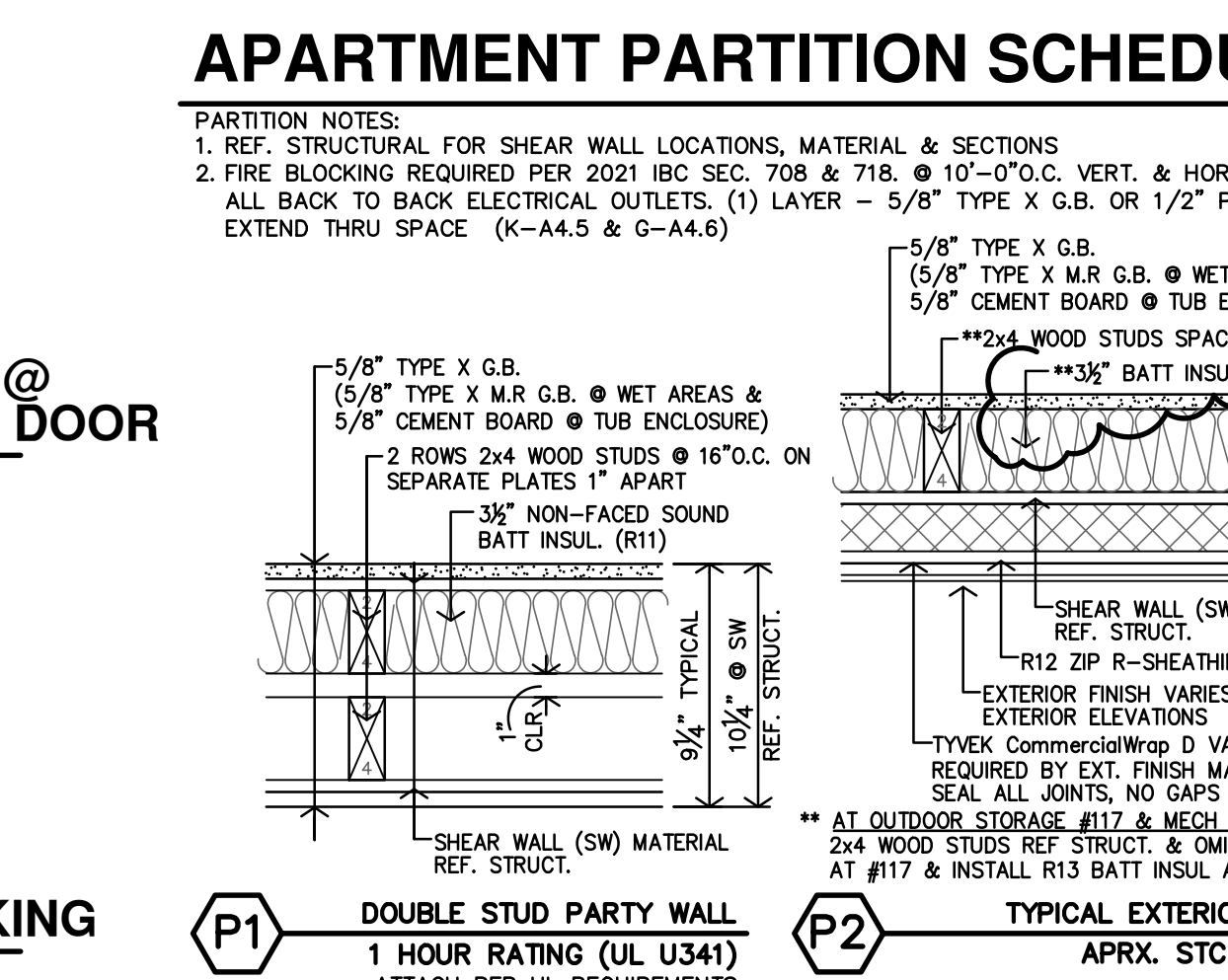
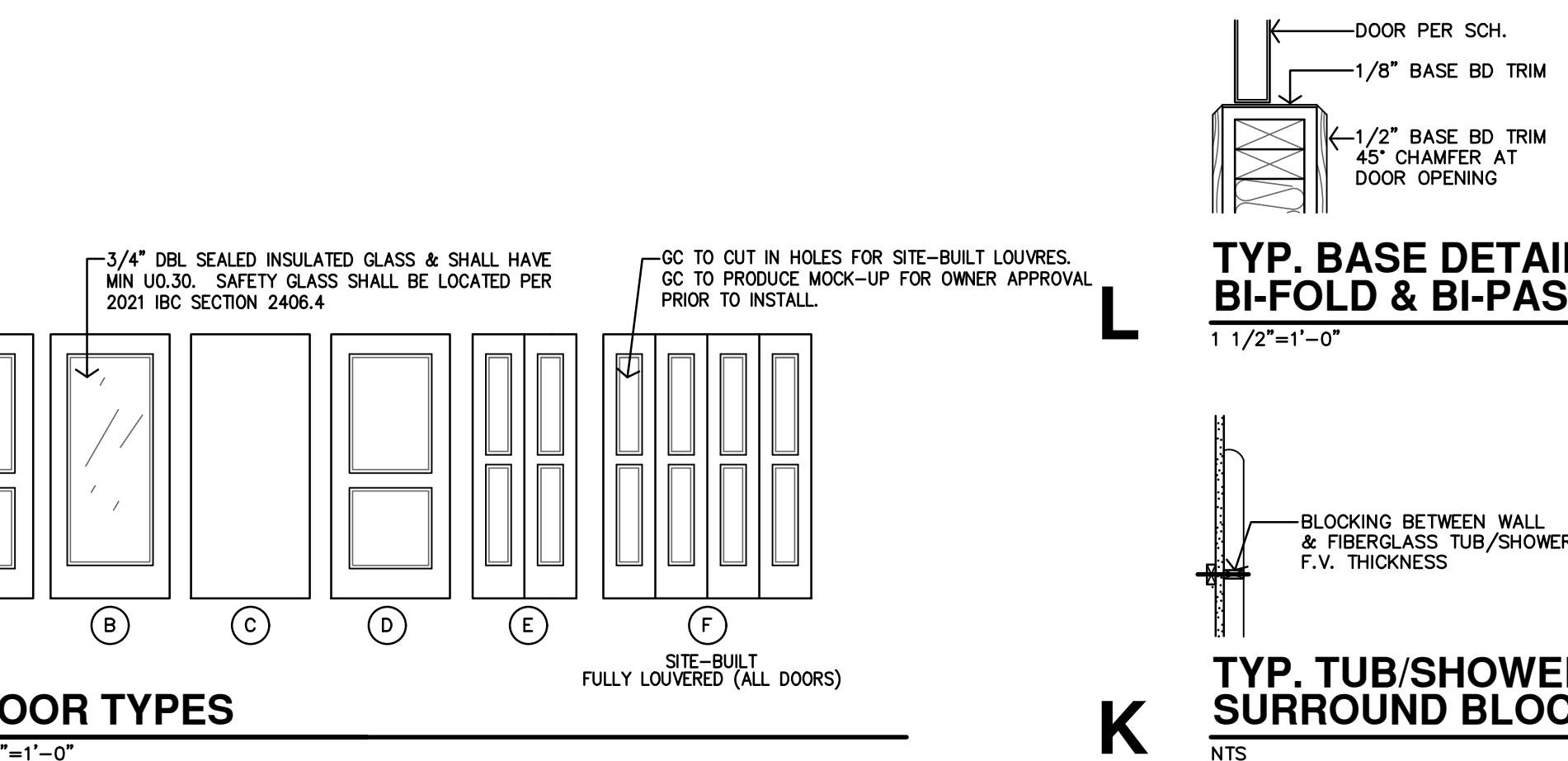
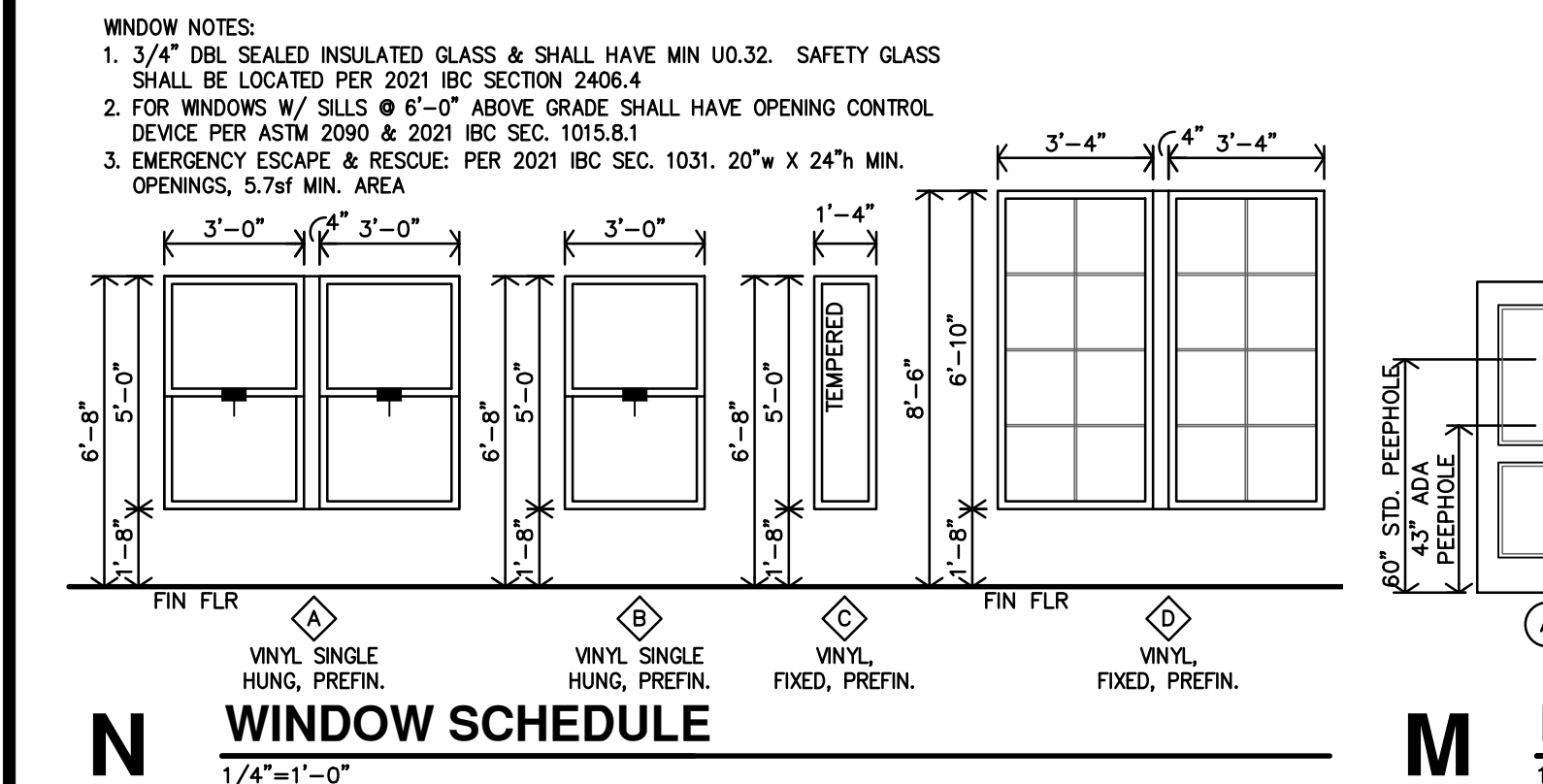
SPECIFIC NOTES:
 1. ENTRY DOOR - HARDWARE TO BE LEVER TYPE LATCH SETS, KEVED OUTSIDE & RELEASE INSIDE LOCKSET & DEADBOLT W/ THUMB TURN INSIDE & NO KEY OUTSIDE W/ 1" MIN THROW COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER. WEATHER STRIPPING TO BE INSTALLED.
 2. ENTRY DOOR - AUTOMATIC CLOSER TO BE INSTALLED.
 3. ENTRY DOOR - PEEP HOLES @ ACCESSIBLE UNITS: (1) 180° RANGE OF VIEW PEEP HOLE TO BE INSTALLED @ 60" AFF.
 4. ENTRY DOOR - PEEP HOLES @ ACCESSIBLE UNITS: (2) 180° RANGE OF VIEW PEEP HOLES TO BE INSTALLED @ 43" AFF & 60" AFF.
 5. ENTRY & BALCONY DOORS - WEATHER STRIPPING TO BE INSTALLED.
 6. BEDROOM & BATH DOORS - HARDWARE TO BE PRIVACY LEVER TYPE LATCH SET.
 7. BEDROOM & BATH DOORS - UNDERCUT DOORS PER MECH DWGS.
 8. POCKET DOOR - 32" MIN CLEAR OPENING, W/ ADA COMPLIANT HANDLE SIMILAR TO TRIMCO SERIES 1069. HANDLE TO EXTEND PAST TRIM (NOTH #2997).
 9. BL-PASS/BI-FOLD DOORS - VERIFY OPENING W/ SIZE OF DOOR HARDWARE.

- ### APARTMENT GENERAL NOTES
- REF STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
 - TYPICAL GROUND FLOOR FINISH FLOOR ELEVATION IS REFERENCED AS 100'-0". CONTRACTOR SHALL VERIFY BUILDING ELEVATION WITH SITE CIVIL DRAWINGS.
 - REFERENCE SITE PLAN SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDINGS.
 - CONTRACTOR SHALL PROVIDE PLASTIC COATED WIRE SHELVES & ROD AT ALL CLOSETS U.N.O.
 - CONTRACTOR SHALL PROVIDE BLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
 - CONTRACTOR TO PROVIDE & INSTALL FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C. VERT. & HORIZ. TYP. AND AT ALL BACK TO BACK ELECTRICAL OUTLETS PER 2021 IBC, SECTION 718.2.
 - CONTRACTOR TO PROVIDE & INSTALL DRAFTSTOPS AT CONCEALED FLOOR SPACES PER 2021 IBC, SECTION 718.3.
 - CONTRACTOR TO PROVIDE & INSTALL ATTIC DRAFTSTOPS PER 2021 IBC, SECTION 718.4. REF. ROOF PLANS FOR LOCATION IN ATTIC.
 - FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE WITH NFPA 10 & 2021 IBC, SECTION 906. LOCATED PER CFP SHEET. FINAL LOCATION AS DIRECTED BY FIRE MARSHALL.
 - ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED U.L. DESIGNS. REFERENCE SHEET A4.7 FOR FIRE PENETRATION ASSEMBLIES.
 - HOSE BIBS TO BE LOCATED 30" MIN ABV. FIN. FLOOR.
 - NOT USED
 - KITCHEN RECEPTACLES TO BE @ 44" MAX ABOVE FIN. FLR.
 - SUBMIT VERIFICATION THAT ALL CONSTRUCTION MATERIAL WILL MEET US EPA CRITERIA PARTICULARLY MATERIALS THAT WILL BE OBTAINED FROM INTERNATIONAL SOURCES. ALSO PROVIDE VERIFICATION THAT THE CONSTRUCTION WILL NOT RESULT IN OR CONTAIN HAZARDOUS MATERIALS.
 - ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
 - F.O.S. = FACE OF STUD
 - HEARING/VISION IMPAIRED UNIT (WHERE LISTED ON SHEET A1.1 AND INDICATED ON BUILDING PLANS):
 • CONTRACTOR SHALL PROVIDE & INSTALL EQUIPMENT REQUIRED PER 2010 ADA SEC. 809.5.
 • REF. ELECT. DWGS

- ### ACCESSIBLE UNITS NOTES
20. ACCESSIBLE UNITS (WHERE LISTED ON SHEET A1.1 AND INDICATED ON BUILDING PLANS):
- REFERENCE ENLARGED PLANS AND DETAILS FOR ADDITIONAL INFORMATION
 - 1-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL 2x8 BLOCKING IN WALLS FOR GRAB BARS @ TOILET & TUB/SHOWER, WALL MOUNTED SEAT @ MASTER BATH #113, ALL COUNTERTOPS & SHELVEING.
 - 2-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL 2x8 BLOCKING IN WALLS FOR GRAB BARS @ TOILET & TUB/SHOWER, WALL MOUNTED SEAT @ MASTER BATH #113, ALL COUNTERTOPS & ALL SHELVEING.
 - 3-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL 2x8 BLOCKING IN WALLS FOR GRAB BARS @ TOILET & TUB/SHOWER, WALL MOUNTED SEAT @ MASTER BATH #113, ALL COUNTERTOPS & ALL SHELVEING.
 - ALL UNITS, CONTRACTOR SHALL PROVIDE & INSTALL INSULATED COVERS @ ALL EXPOSED HOT WATER PIPES, DRAIN PIPES & DISPOSAL.
 - TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - 2x8 BLOCKING PER ICC/ANSI A117.1.-2017

- ### TYPE-A UNIT NOTES
21. TYPE-A UNITS (WHERE LISTED ON SHEET A1.1 AND INDICATED ON BUILDING PLANS):
- REFERENCE ENLARGED PLANS AND DETAILS FOR ADDITIONAL INFORMATION
 - 1-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL REMOVABLE CABINET & 2x8 BLOCKING IN WALLS FOR FUTURE GRAB BARS @ ALL TOILETS, TUB/SHOWERS, COUNTERTOPS & SHELVEING. CONTRACTOR TO PROVIDE & INSTALL REMOVABLE CABINETS AT MASTER BATH #113 & TUB/SHOWER AT BATH #113. ALL COUNTERTOP & SHELVEING.
 - 2-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL REMOVABLE CABINETS AT MASTER BATH #113 & TUB/SHOWER AT BATH #113. ALL COUNTERTOP & SHELVEING.
 - 3-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL REMOVABLE CABINETS AT MASTER BATH #113 & TUB/SHOWER AT BATH #113. ALL COUNTERTOP & SHELVEING.
 - ALL UNITS, AT ALL REMOVABLE CABINETS: FLOORS & WALLS SHALL BE FINISHED. NO PLUMBING MODIFICATIONS ALLOWED AFTER CABINET FRONT IS REMOVED. CONTRACTOR SHALL PROVIDE HOT WATER & DRAIN PIPES COVERS. OWNER SHALL INSTALL COVER AFTER CABINET FRONT IS REMOVED.
 - TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - 2x8 BLOCKING PER ICC/ANSI A117.1.-2017

- ### STANDARD/TYPE-B UNIT NOTES
19. STANDARD/TYPE-B UNITS (WHERE LISTED ON SHEET A1.1 AND INDICATED ON BUILDING PLANS):
- CONTRACTOR TO PROVIDE & INSTALL 2x8 BLOCKING IN WALLS FOR COUNTERTOP SUPPORTS & SHOWER SEATS.
 - NO REMOVABLE CABINET FRONTS.



APARTMENT CHART

NOTE: UNIT NUMBERS SHOWN ARE FOR CONSTRUCTION PURPOSES ONLY & DO NOT REFLECT FINAL UNIT NUMBERING/LETTERING.

TYPE OF APARTMENT	BLDG A	BLDG B	BLDG C	BLDG D	BLDG E	BLDG F	BLDG G	BLDG H	TOTAL
ACCESSIBLE UNITS (w/ REMOVABLE TUB SEAT)			C105	D101	E105	F101, F103	G103	H103, H107	8
ACCESSIBLE UNITS (ROLL-IN SHOWER)				D103		F105			2
HEARING/VISION IMPAIRED & ADAPTABLE UNITS	A107		C103		E107		G105		4
TYPE-A UNITS		B105, B107		D105			G101		4
TYPE-B UNITS	REMAINING FIRST FLOOR UNITS								
STANDARD UNITS	ALL SECOND & THIRD FLOOR UNITS								
TOTAL	24	24	24	24	24	24	24	24	192

C105 - 1BED ACCESSIBLE
 F101 - 1BED ACCESSIBLE
 F103 - 2BED ACCESSIBLE
 E105 - 2BED ACCESSIBLE
 C103 - 2BED ACCESSIBLE
 H103 - 2BED ACCESSIBLE
 D101 - 3BED ACCESSIBLE
 H107 - 3BED ACCESSIBLE

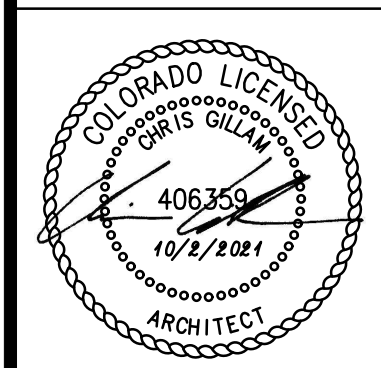
F105 - 1BED ACCESSIBLE (ROLL-IN)
 D103 - 2BED ACCESSIBLE (ROLL-IN)

C103 - 1BED HEARING/VISION
 A107 - 2BED HEARING/VISION
 G105 - 2BED HEARING/VISION
 E107 - 3BED HEARING/VISION

B105 - 1BED TYPE-A
 B107 - 2BED TYPE-A
 D105 - 2BED TYPE-A
 G101 - 3BED TYPE-A

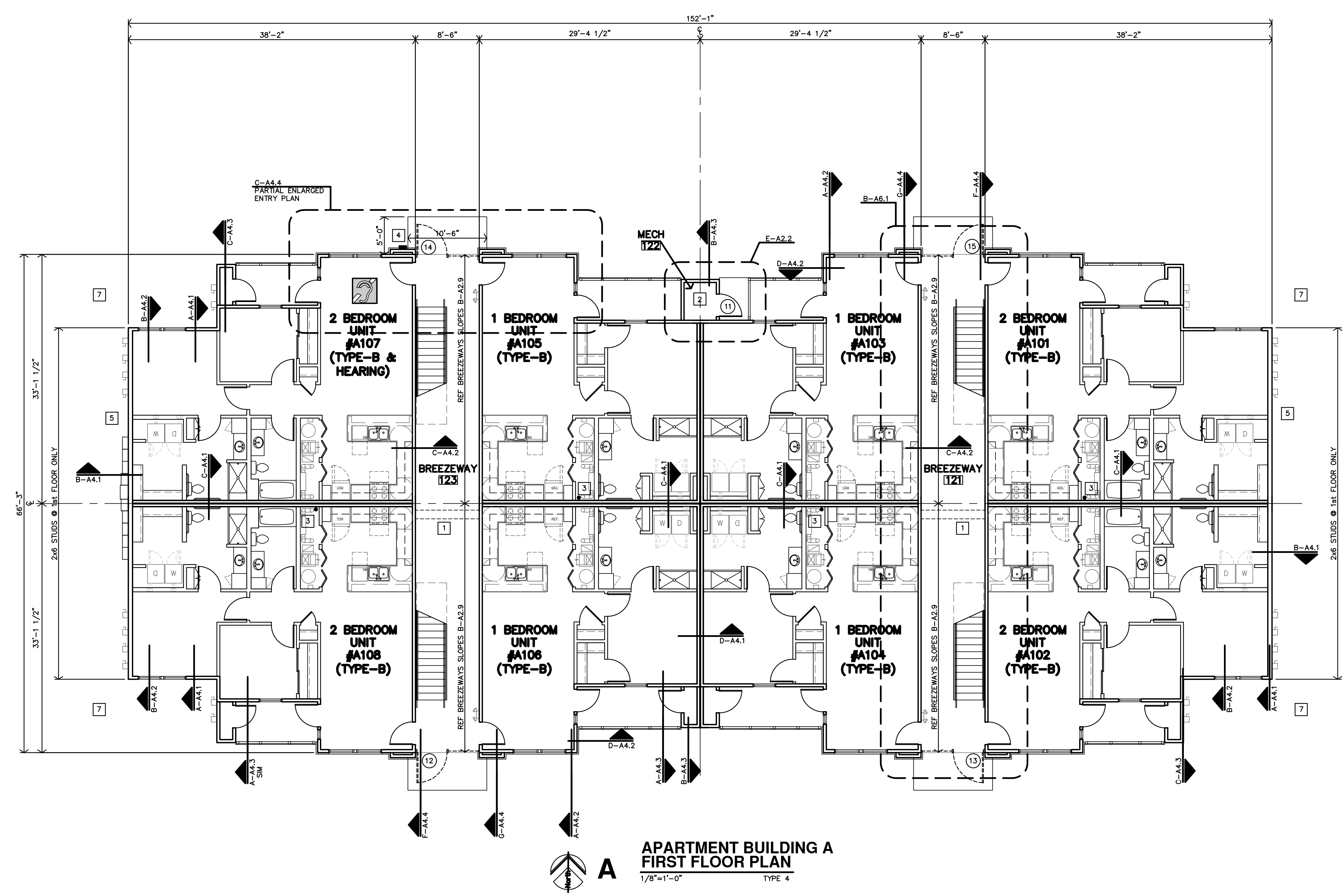
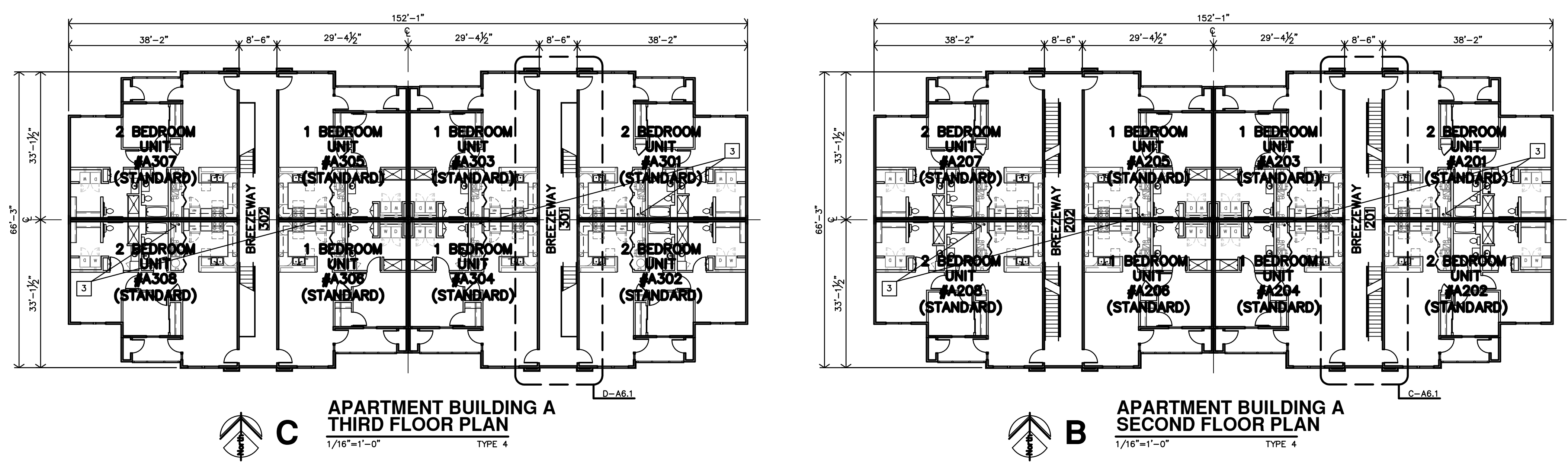


THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD
AURORA,
COLORADO



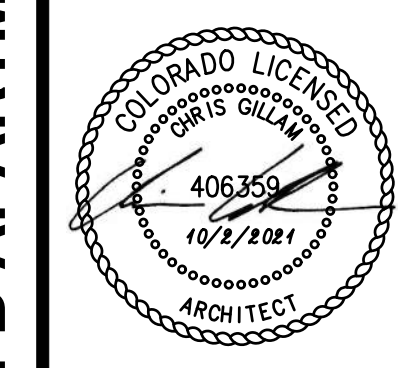
REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

A2.11

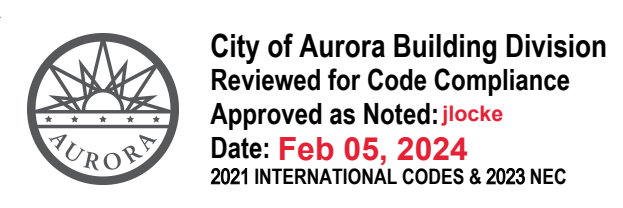


City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: jlocke
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

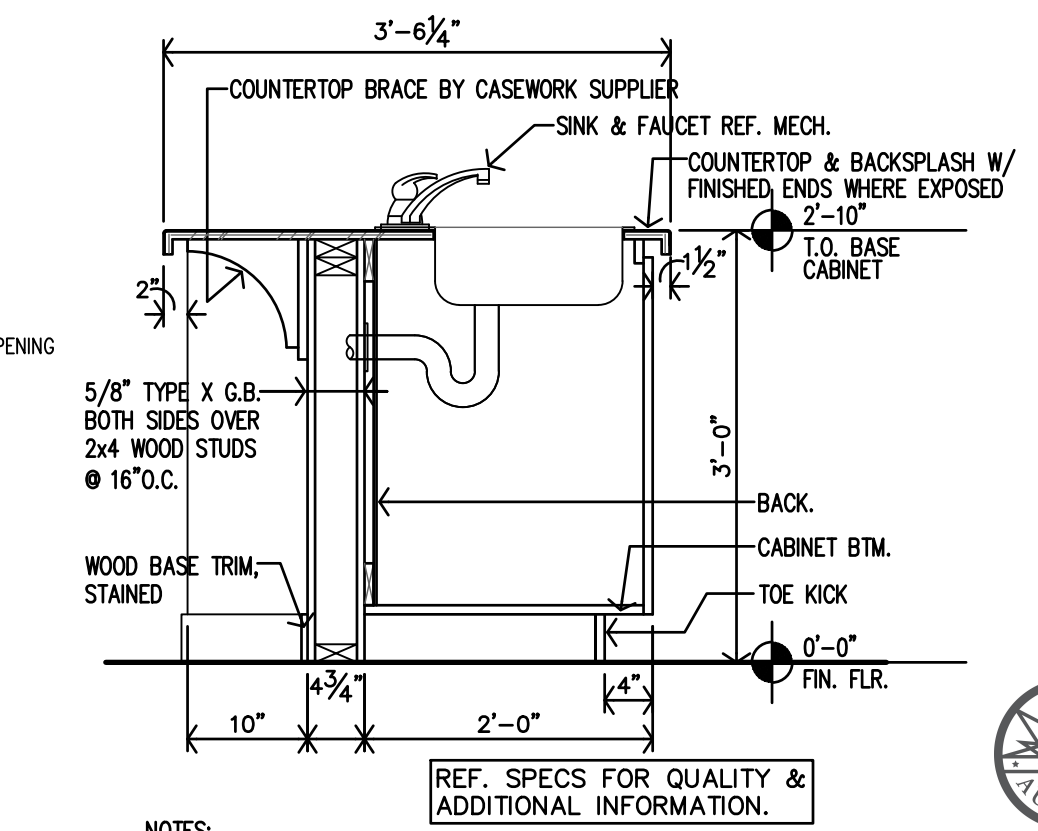
COPYRIGHTED



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

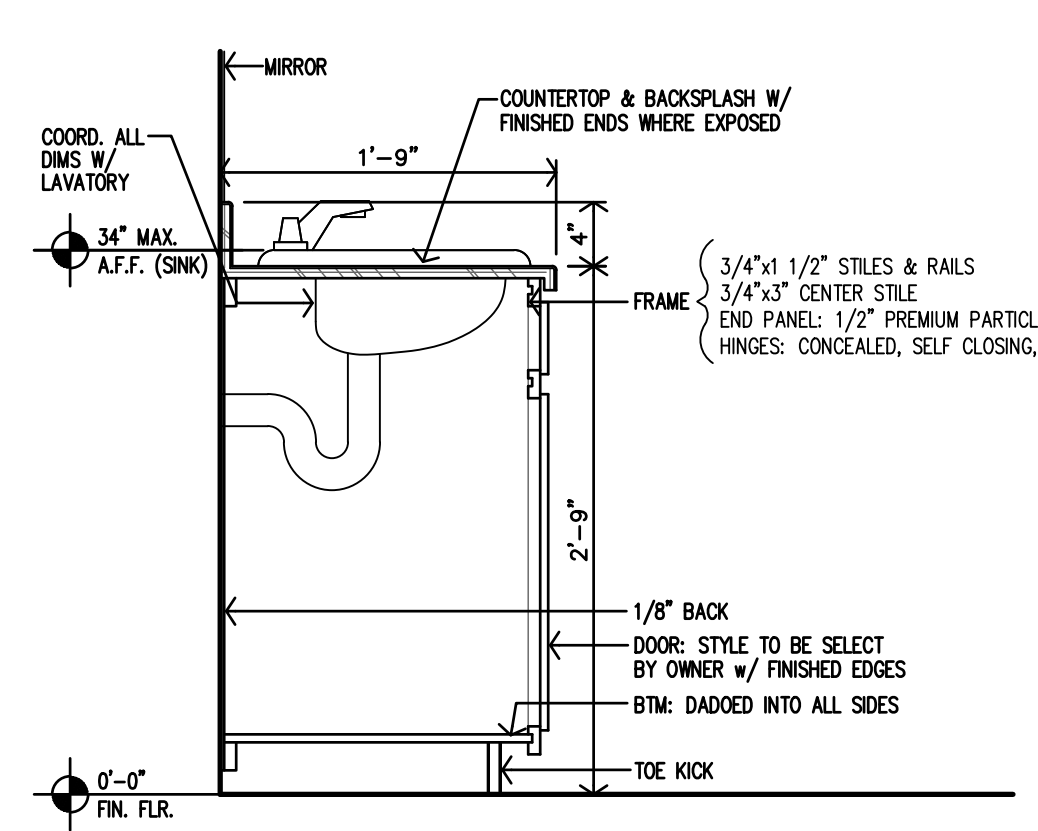


City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: JGK
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC



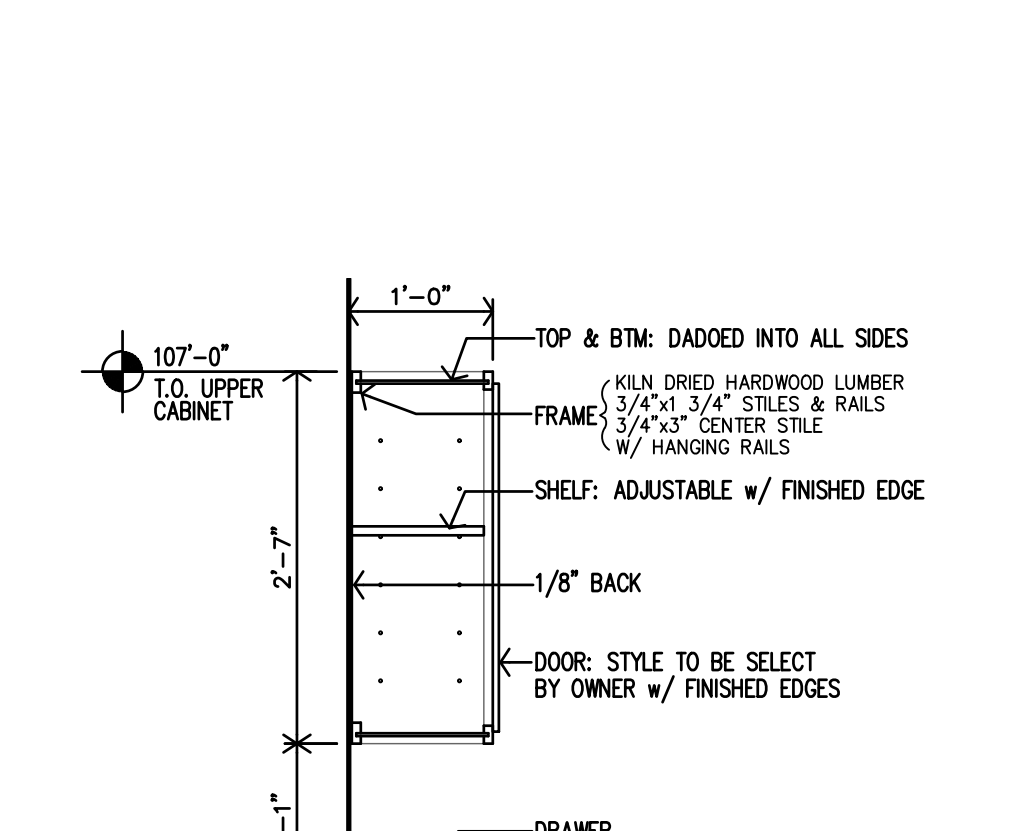
NOTES:
1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.

F STANDARD TYPE-B CASEWORK SECTION
3/4"=1'-0"



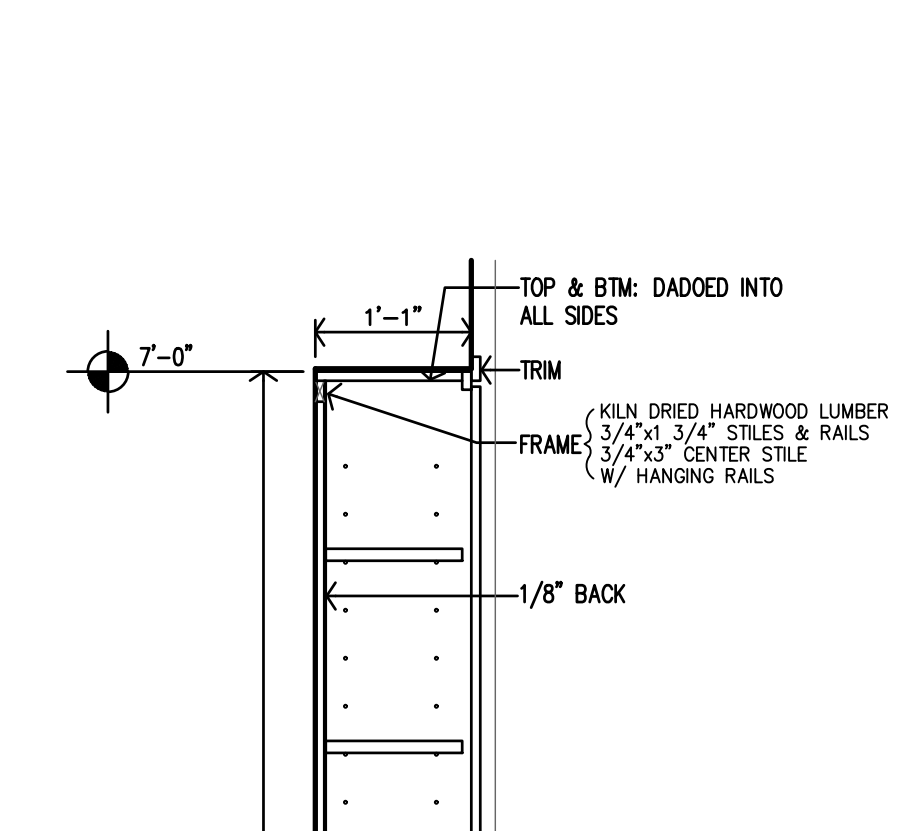
REF. SPECS FOR QUALITY & ADDITIONAL INFORMATION.

G STANDARD TYPE-B VANITY DETAIL
1"=1'-0"



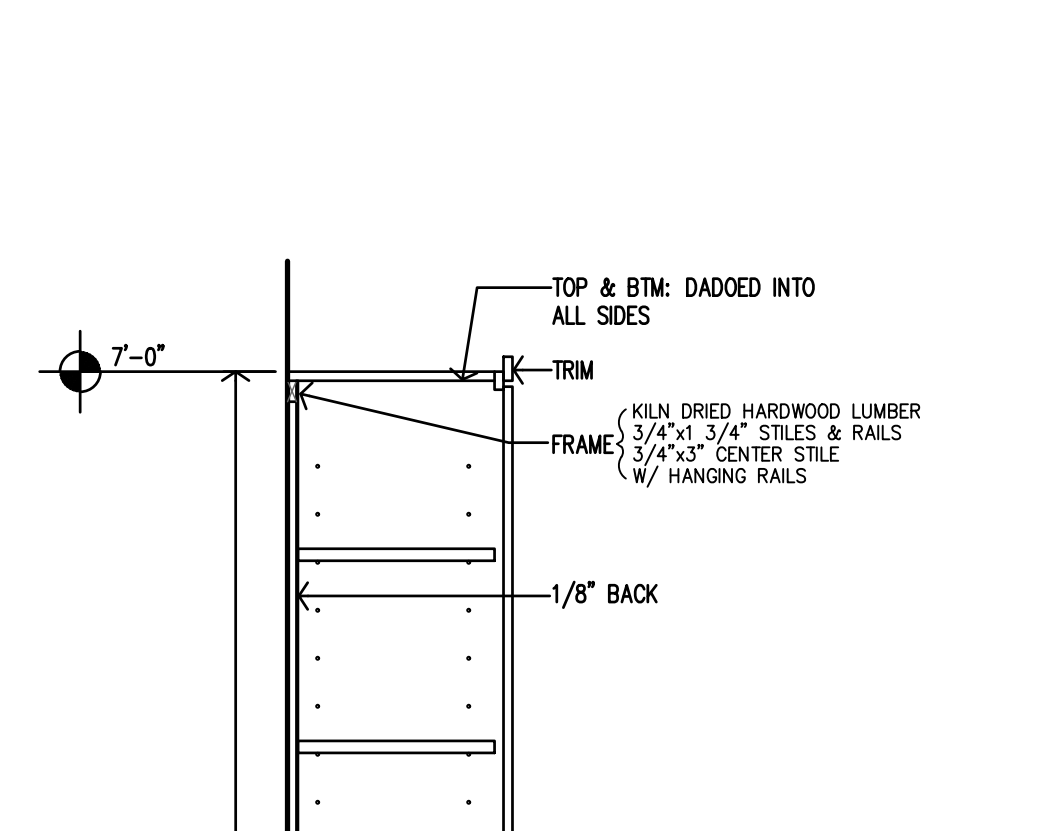
REF. SPECS FOR QUALITY & ADDITIONAL INFORMATION.

H STANDARD TYPE-B CASEWORK SECTION
3/4"=1'-0"



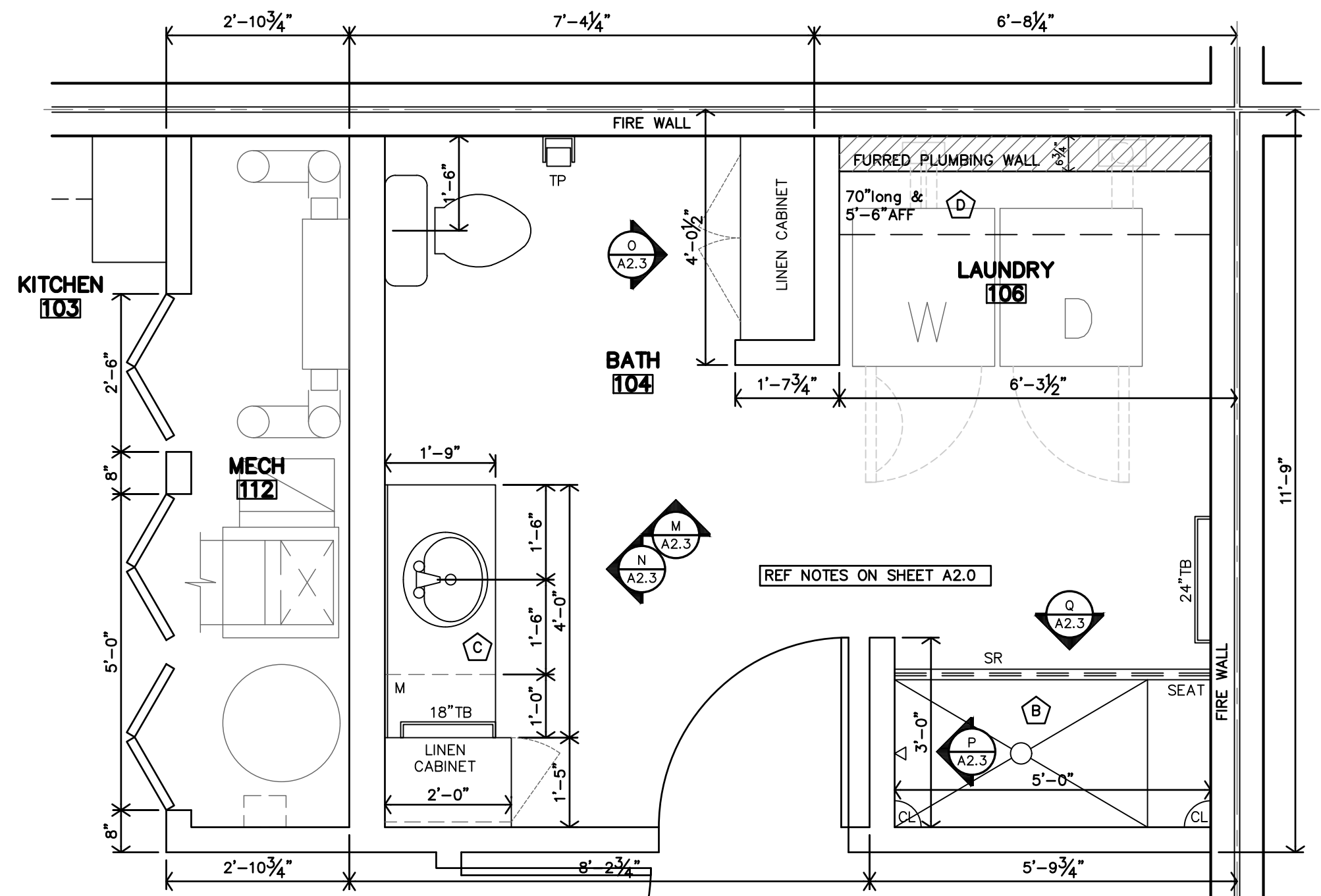
REF. SPECS FOR QUALITY & ADDITIONAL INFORMATION.

J ACCESSIBLE TYPE-A STANDARD TYPE-B PANTRY/LINEN CASEWORK SECTION
3/4"=1'-0"

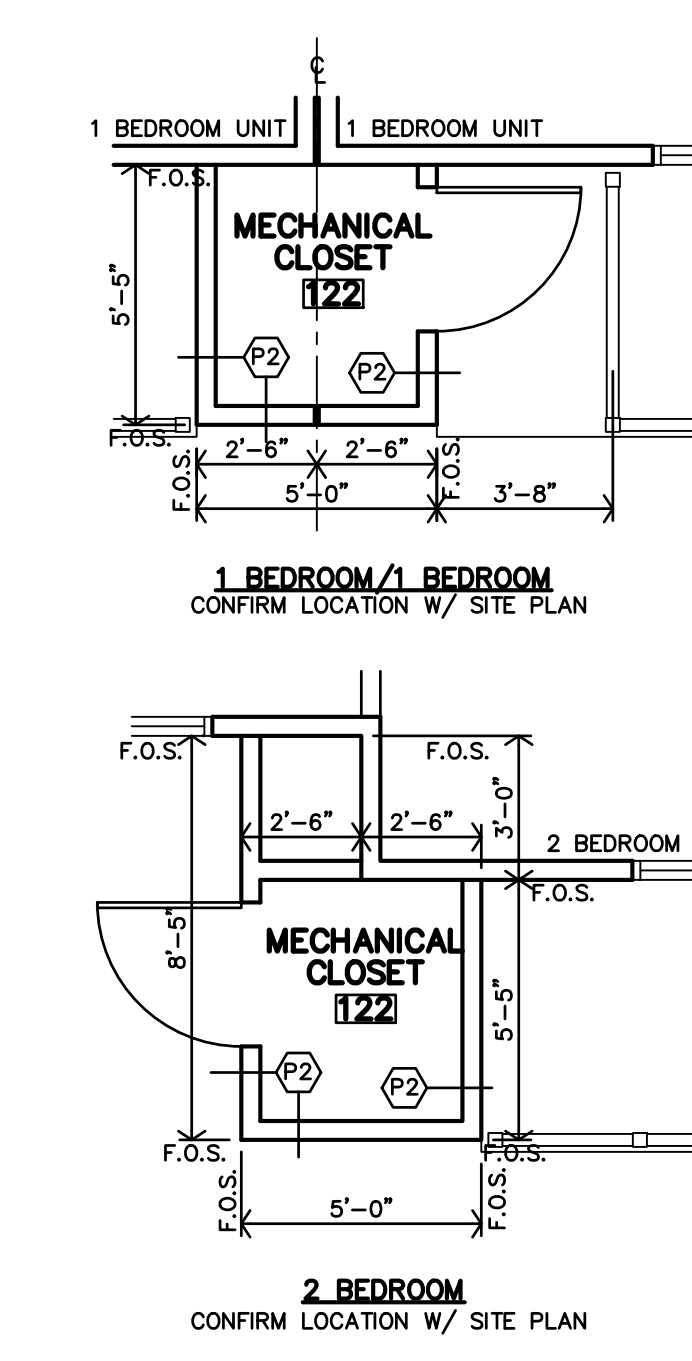


REF. SPECS FOR QUALITY & ADDITIONAL INFORMATION.

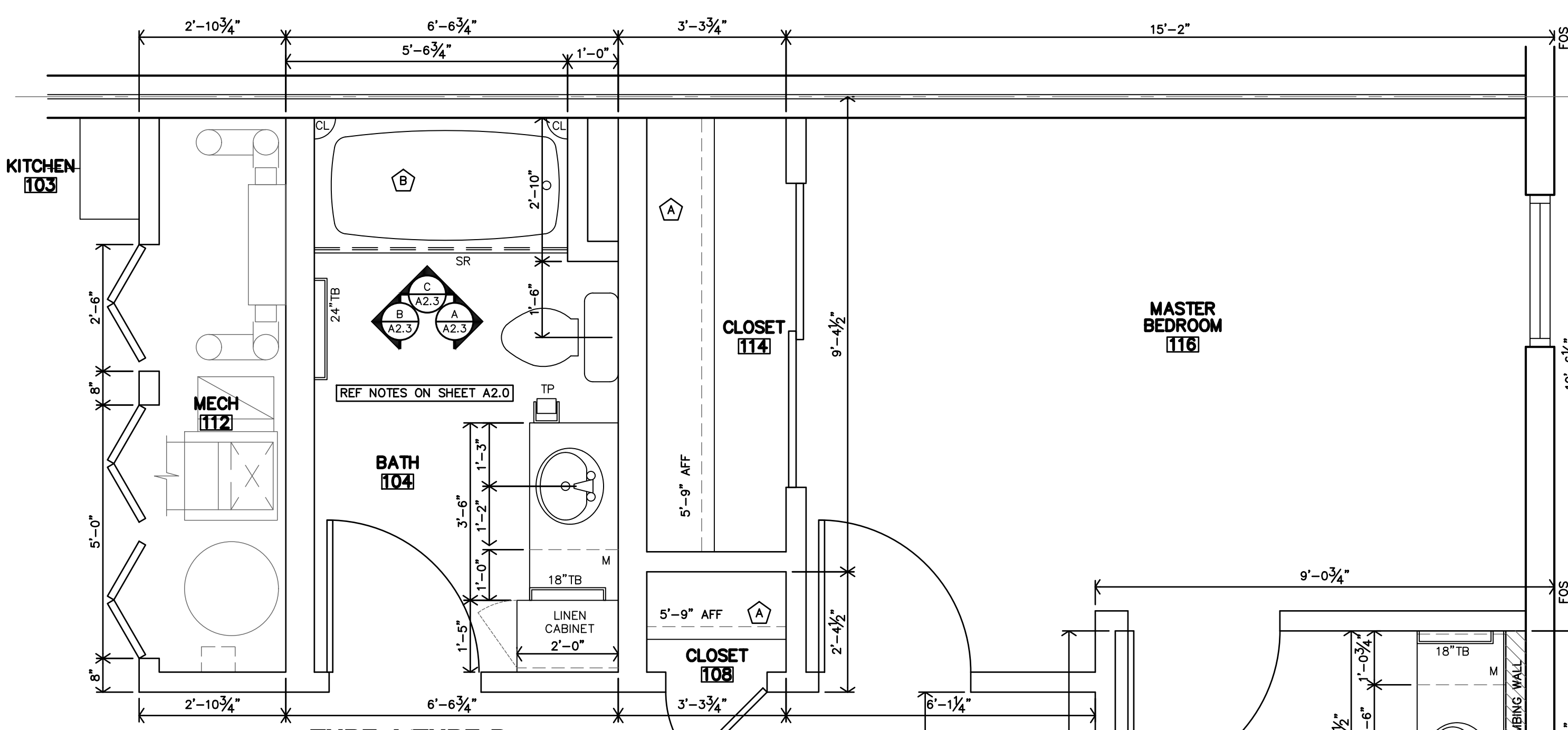
K ACCESSIBLE TYPE-A STANDARD TYPE-B PANTRY/LINEN CASEWORK SECTION
3/4"=1'-0"



D STANDARD TYPE-B 1 BDRM BATH #104 ENLARGED PLAN
1/2"=1'-0"



E MECHANICAL CLOSET #122 PLAN
1/4"=1'-0"

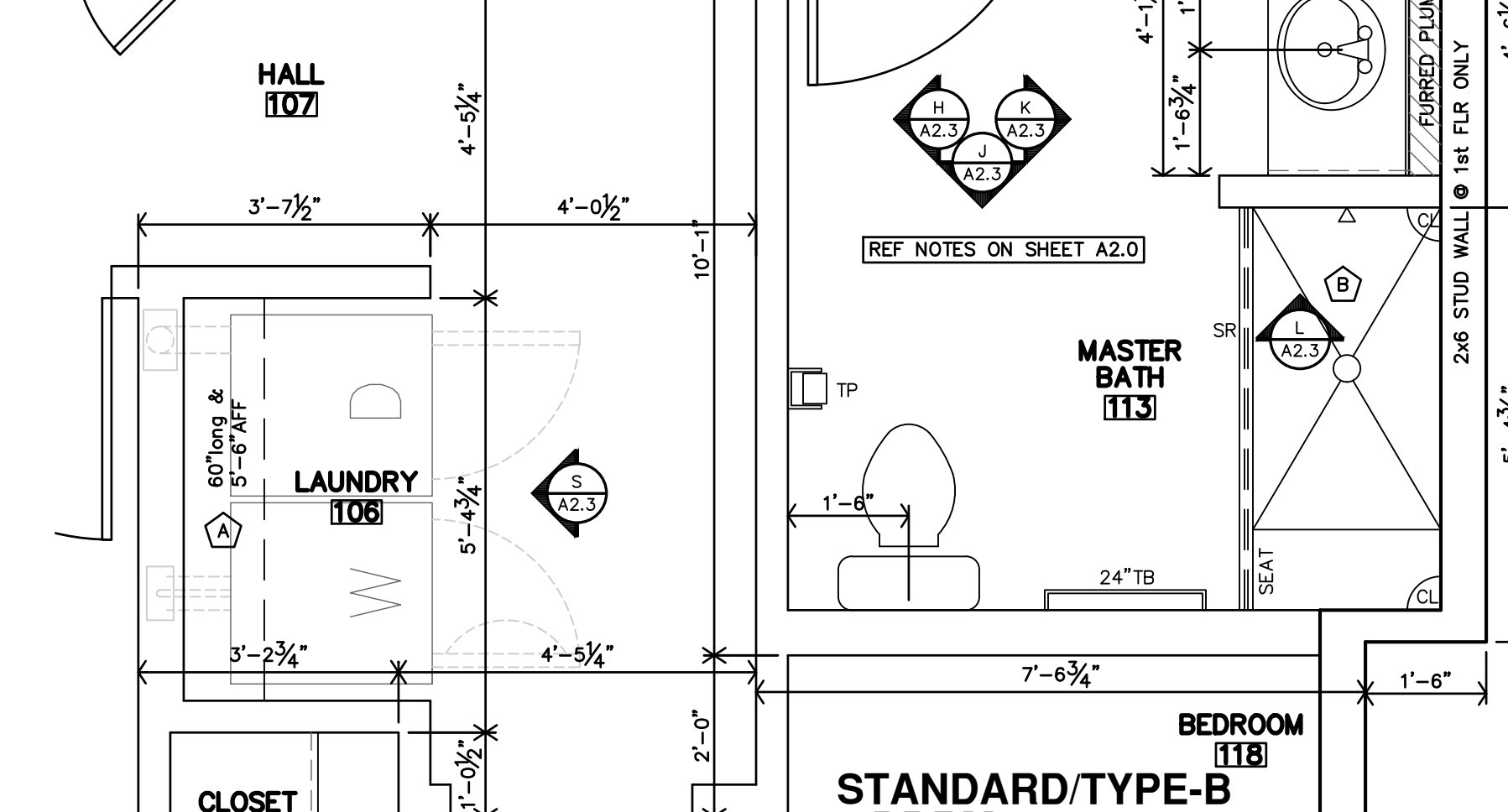


C TYPE-A/TYPE-B 3 BDRM BATH #104 ENLARGED PLAN
1/2"=1'-0"

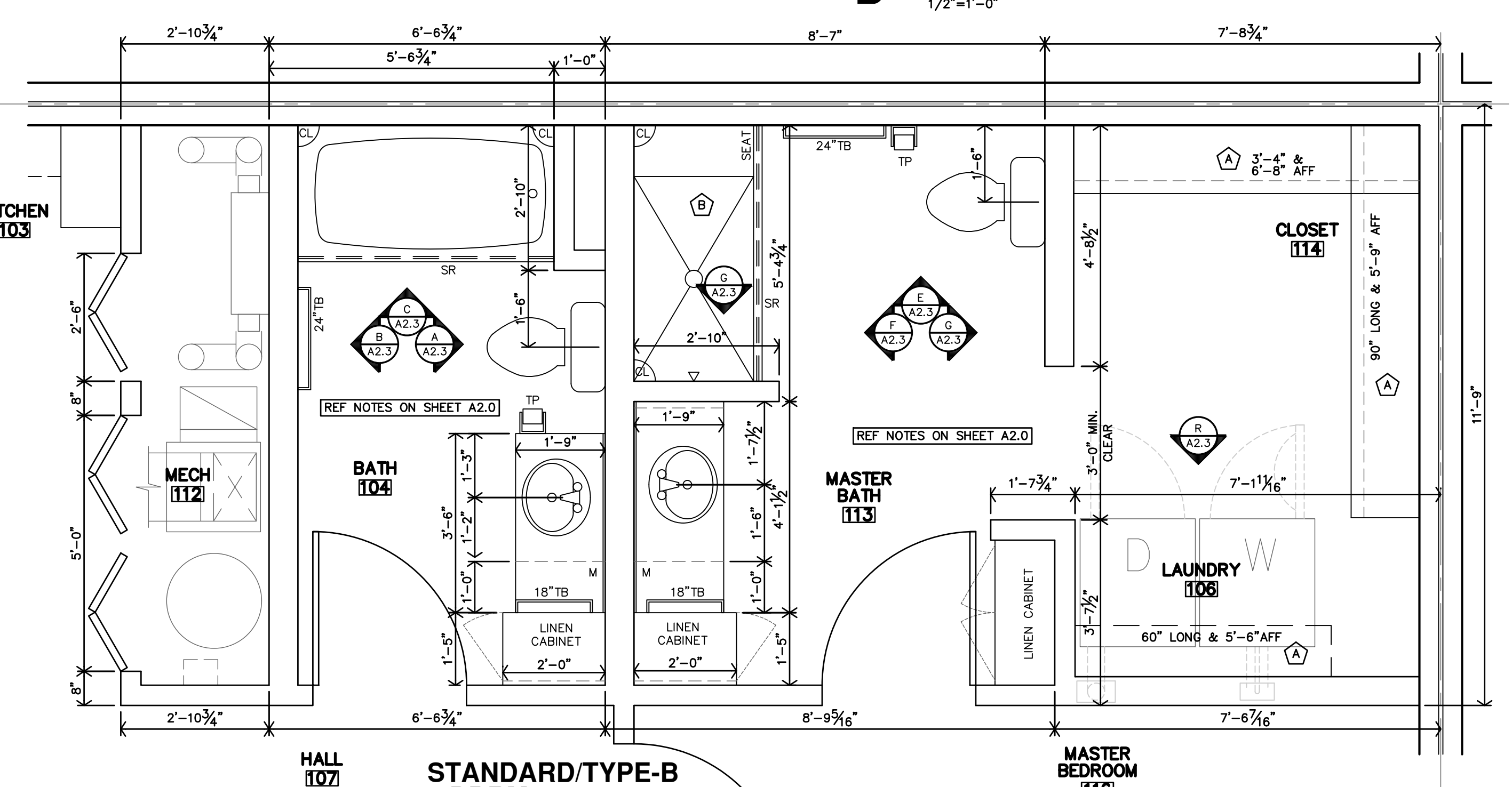
ENLARGED BATH NOTES
1. REF UNIT GENERAL NOTES FOR ADDITIONAL DIRECTION ON SHEET A2.0
2. ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE
3. CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, FUTURE GRABS BARS & FUTURE SHOWER SEAT, ETC. AS REQ'D. (REF. SHEET A2.0)
4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER ALWAYS WHEN FACING UNITS. THIS NEEDS TO BE COORDINATED ON SITE. UNITS MUST HAVE WASHER & DRYER 27" wide X 27" depth MAXIMUM.
5. ALL SECOND & THIRD FLOOR UNITS TO BE STANDARD UNITS.

LEGEND
M MIRROR
TP TOILET PAPER DISPENSER
TB TOWEL BAR
CL CORNER LEDGE
SR SHOWER ROD

BATH KEYNOTES:
A PLASTIC COATED WIRE CLOTHES SHELF & ROD. HEIGHT AS CALLED OUT ON PLAN.
B VERIFY SIZE OF FIBERGLASS SHOWER UNIT OR TUB/SHOWER COMBINATION UNIT

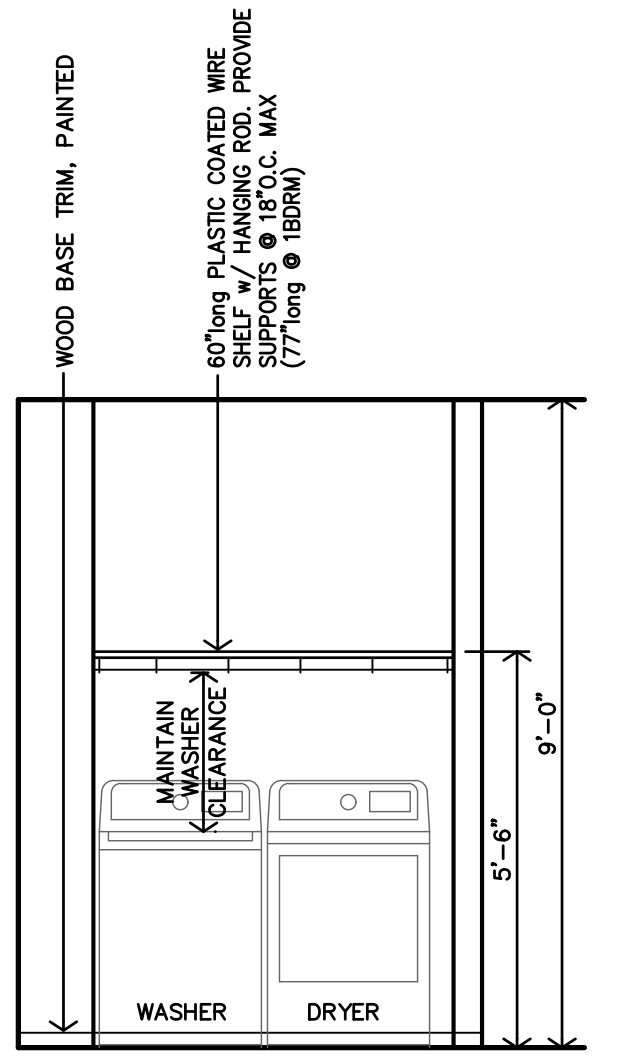


B STANDARD TYPE-B 3 BDRM MASTER BATH #113 ENLARGED PLAN
1/2"=1'-0"

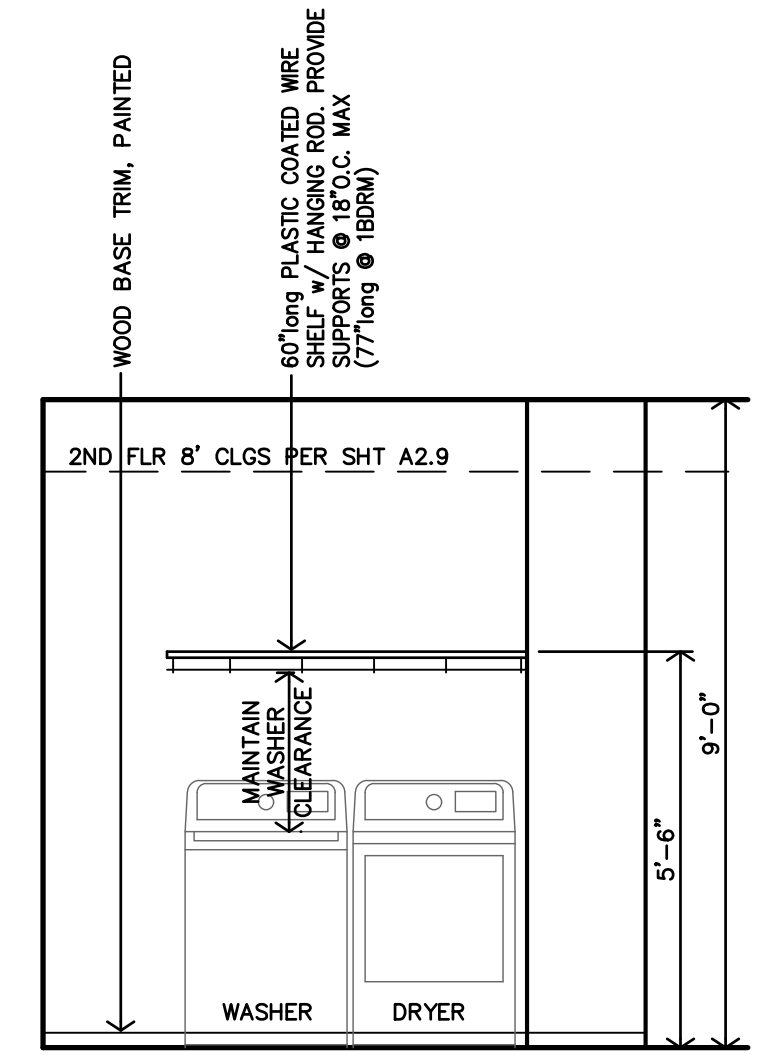


A STANDARD TYPE-B 2 BDRM BATH #104 & MASTER BATH #113 ENLARGED PLAN
1/2"=1'-0"

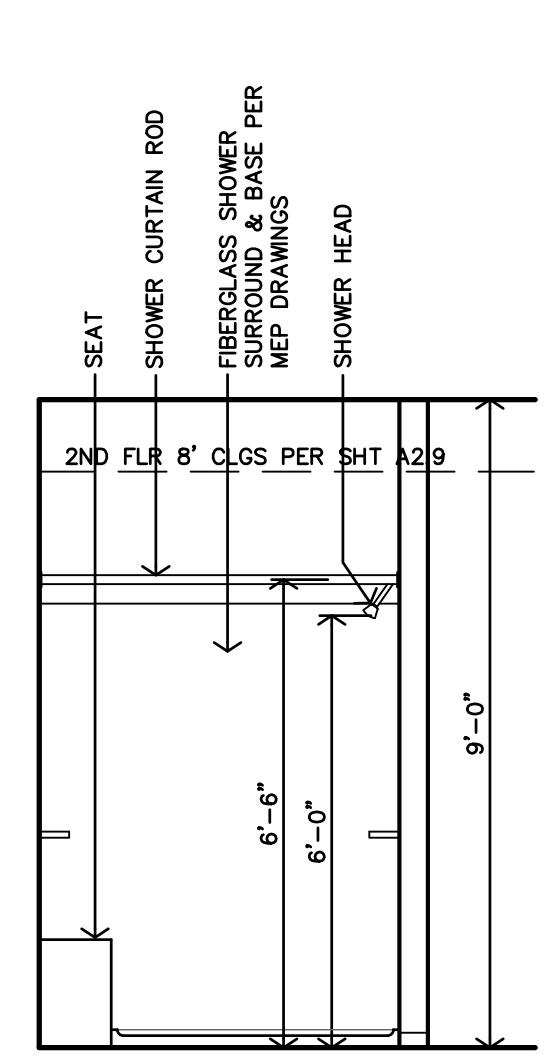
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: lock
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2022 NEC



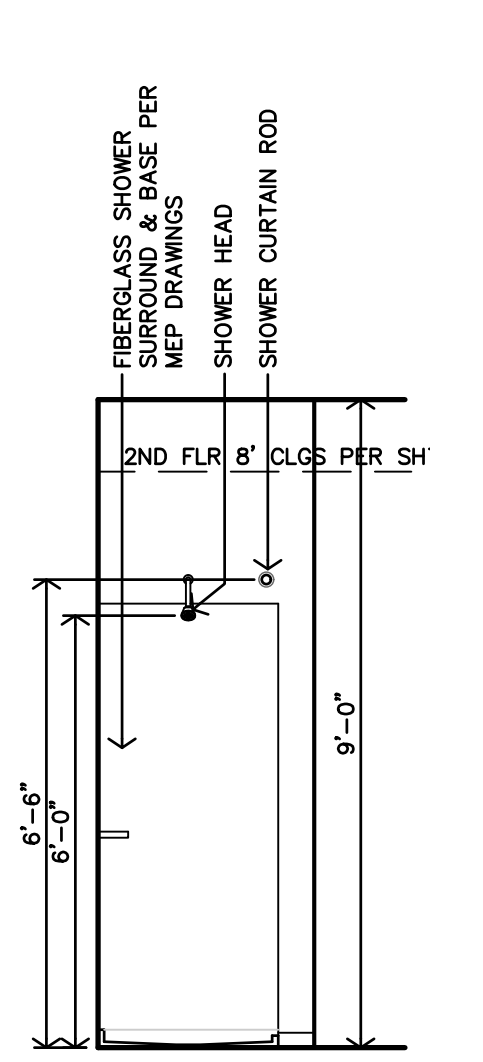
S STANDARD/TYPE-B
3BDRM
LAUNDRY #106
INTERIOR ELEVATION
3/8"=1'-0"



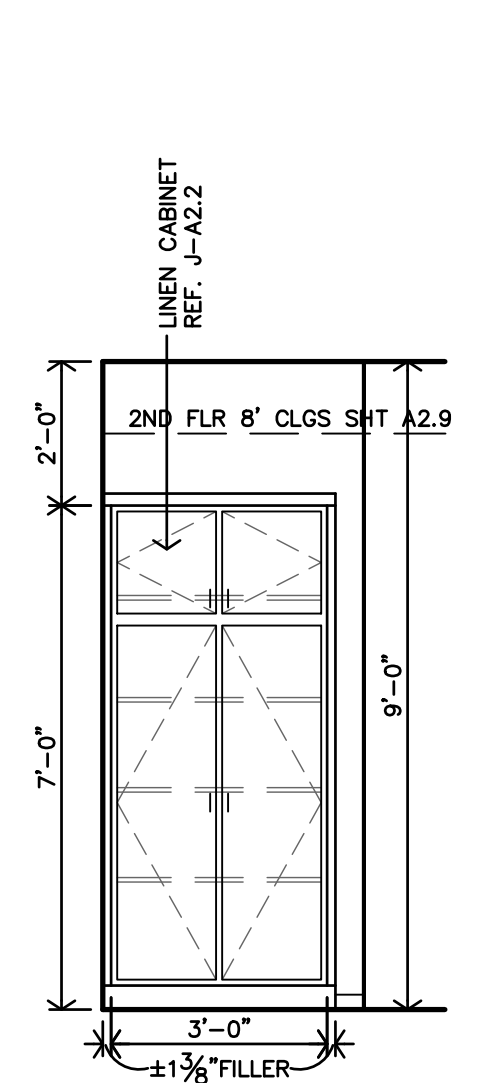
R STANDARD/TYPE-B
2BDRM
LAUNDRY #106
INTERIOR ELEVATION
3/8"=1'-0"



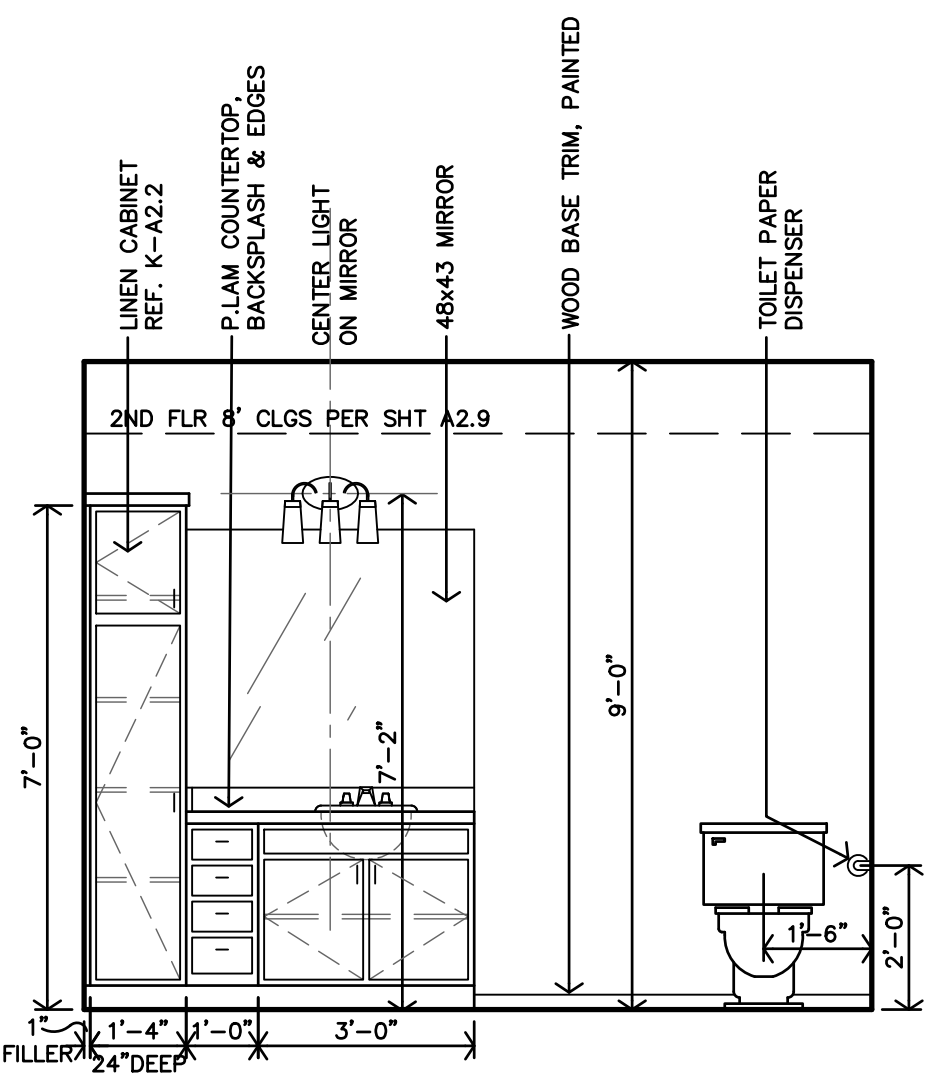
Q STANDARD/TYPE-B
1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



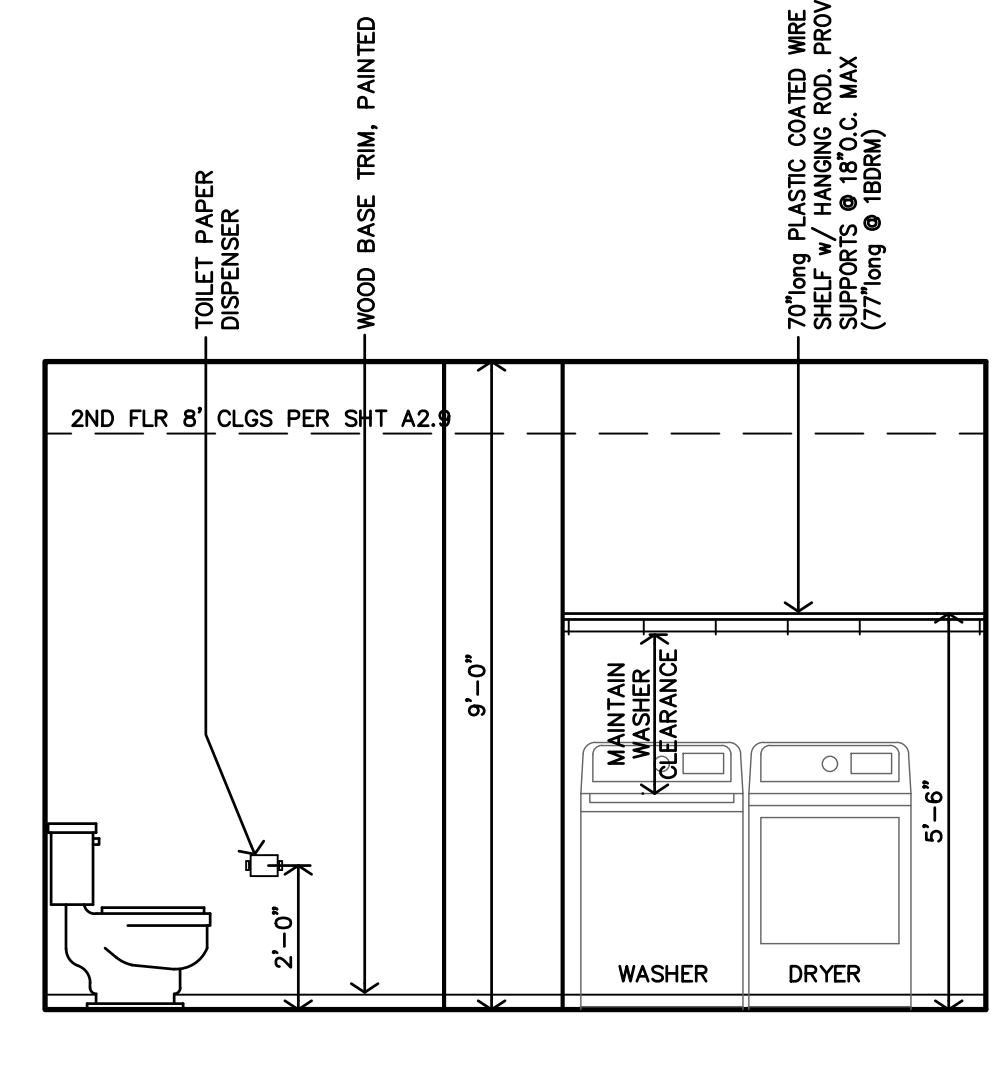
P STANDARD/TYPE-B
1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



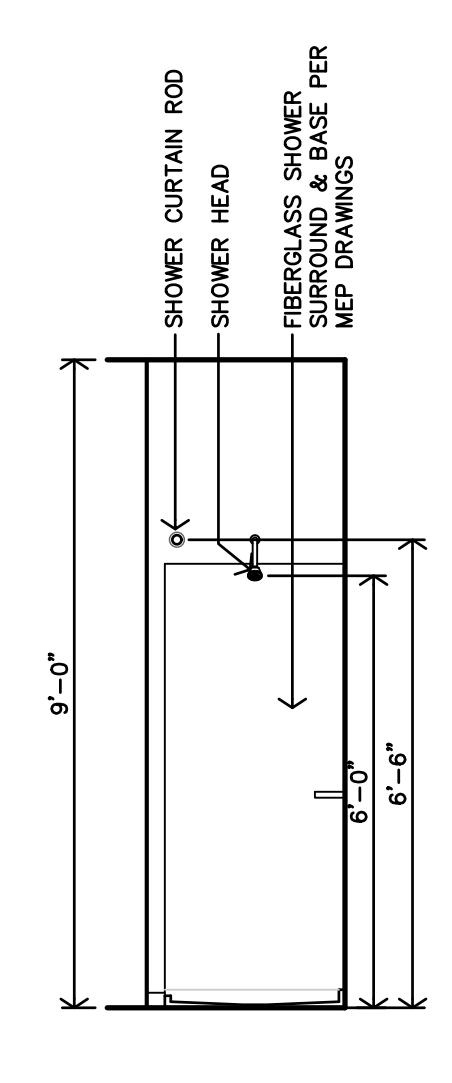
O STANDARD/TYPE-B
1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



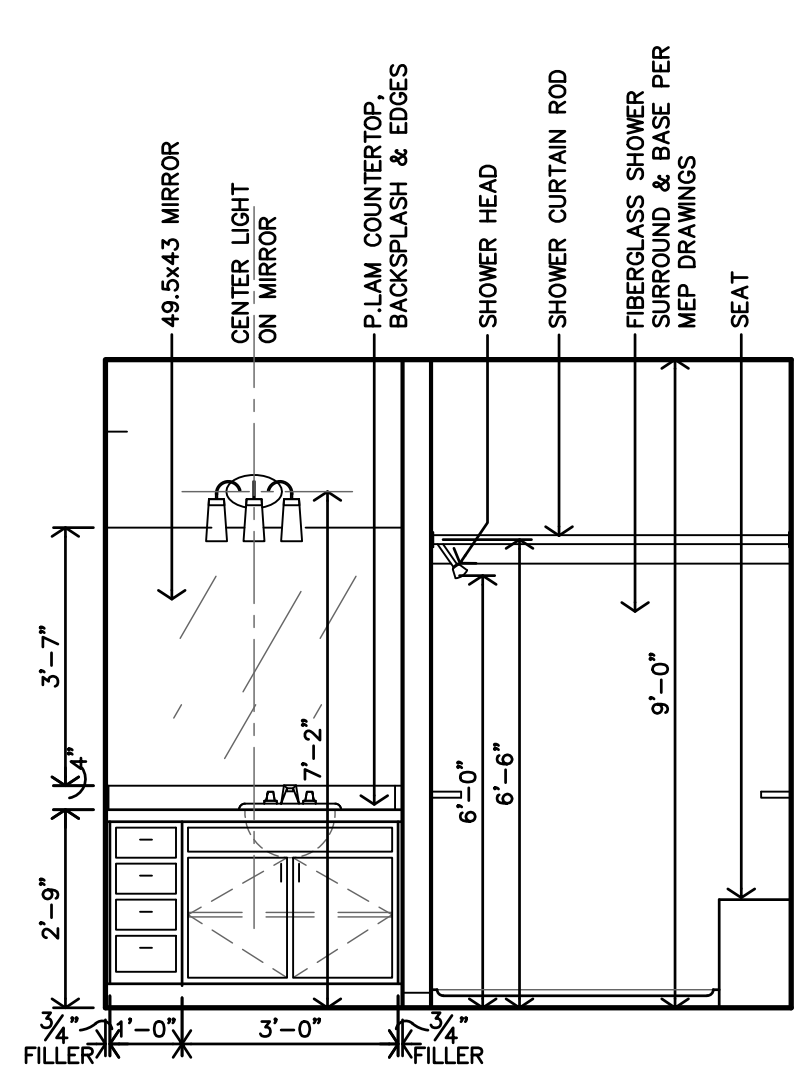
N STANDARD/TYPE-B
1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



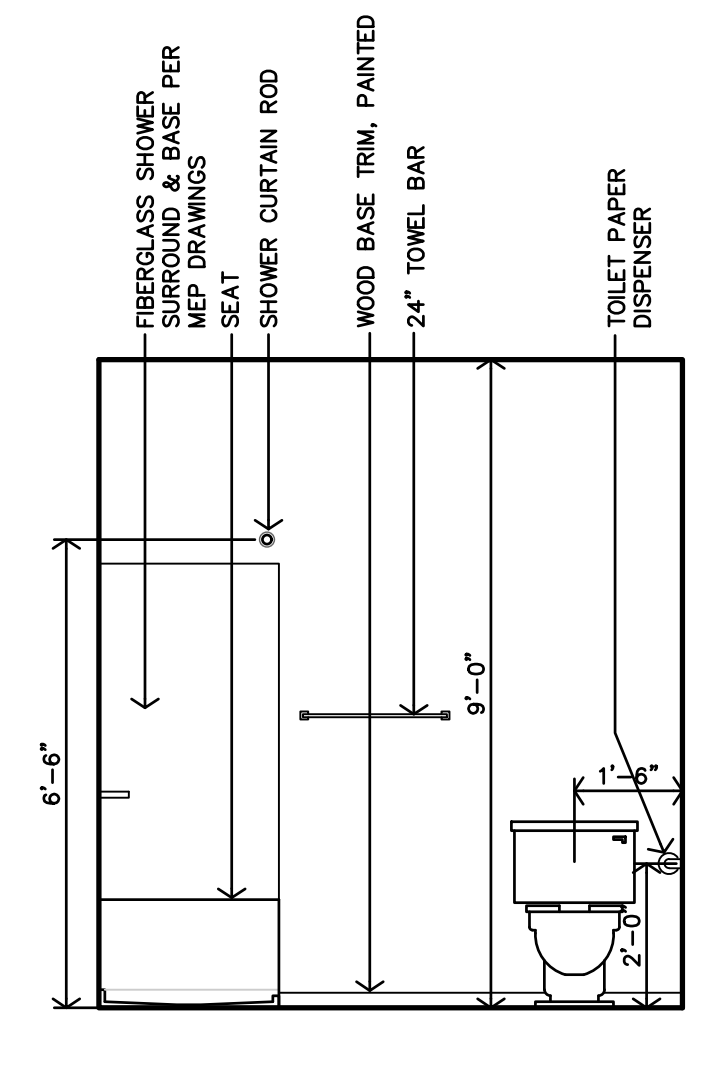
M STANDARD/TYPE-B
1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



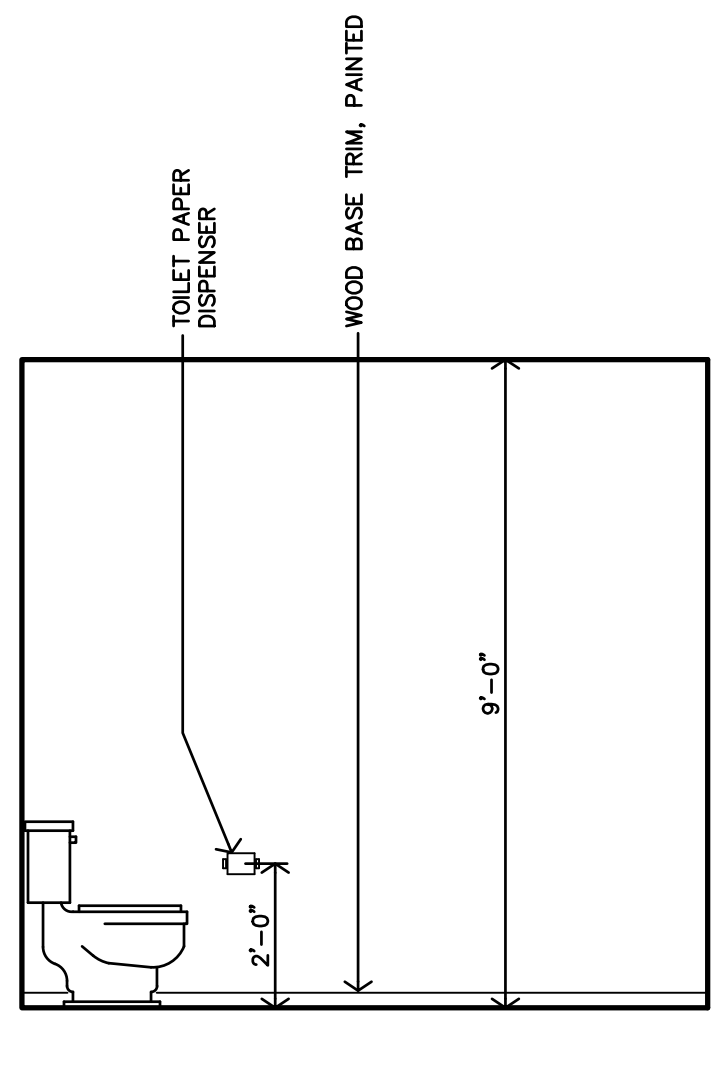
L STANDARD/TYPE-B
3BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



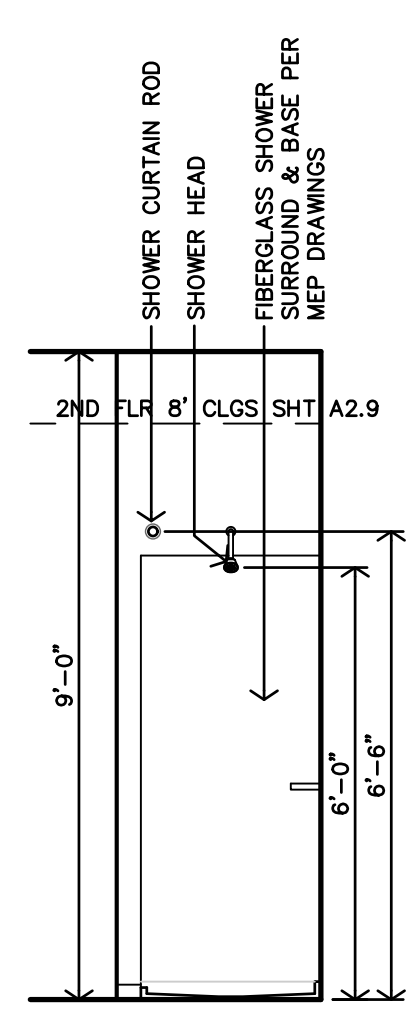
K STANDARD/TYPE-B
3BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



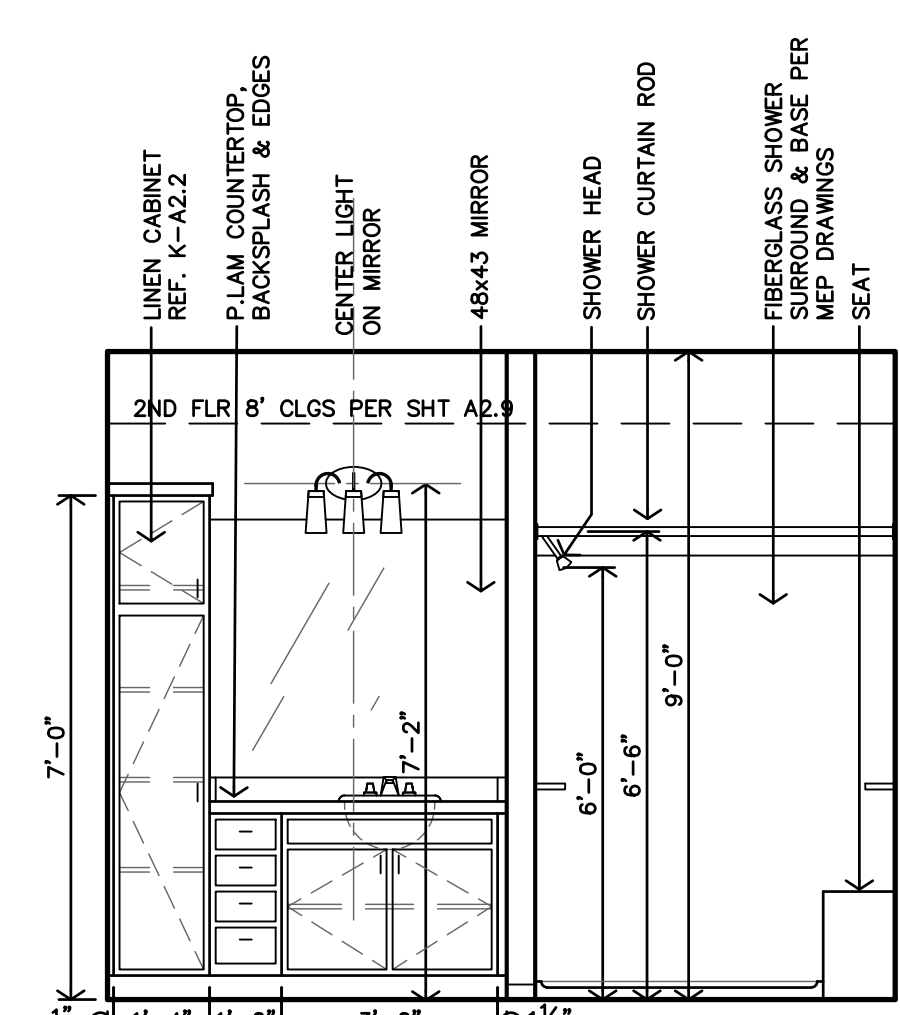
J STANDARD/TYPE-B
3BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



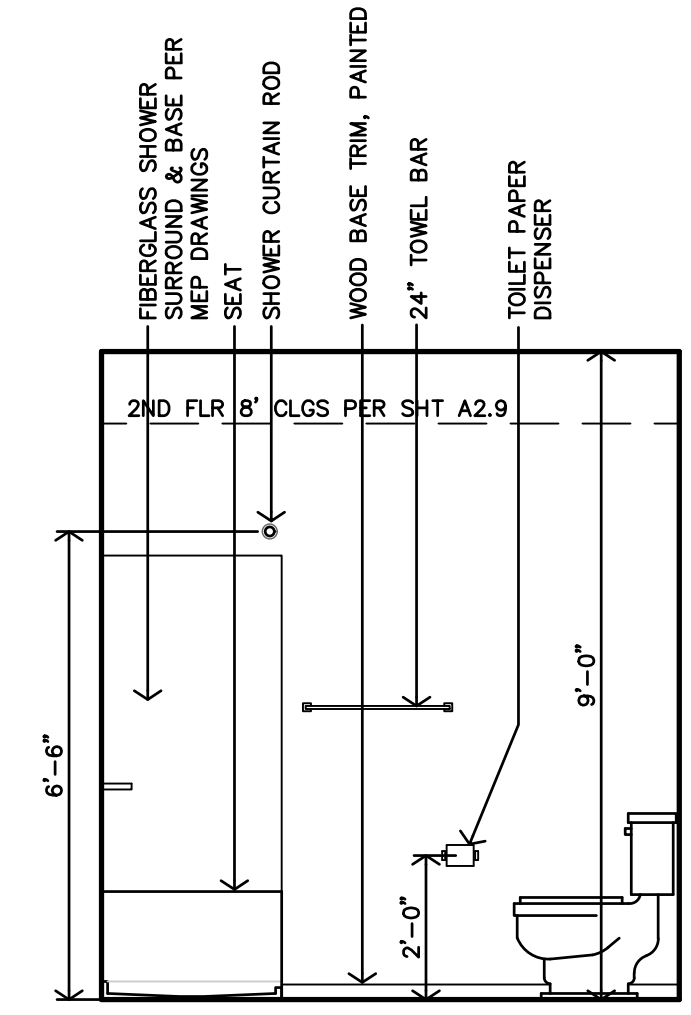
H STANDARD/TYPE-B
3BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



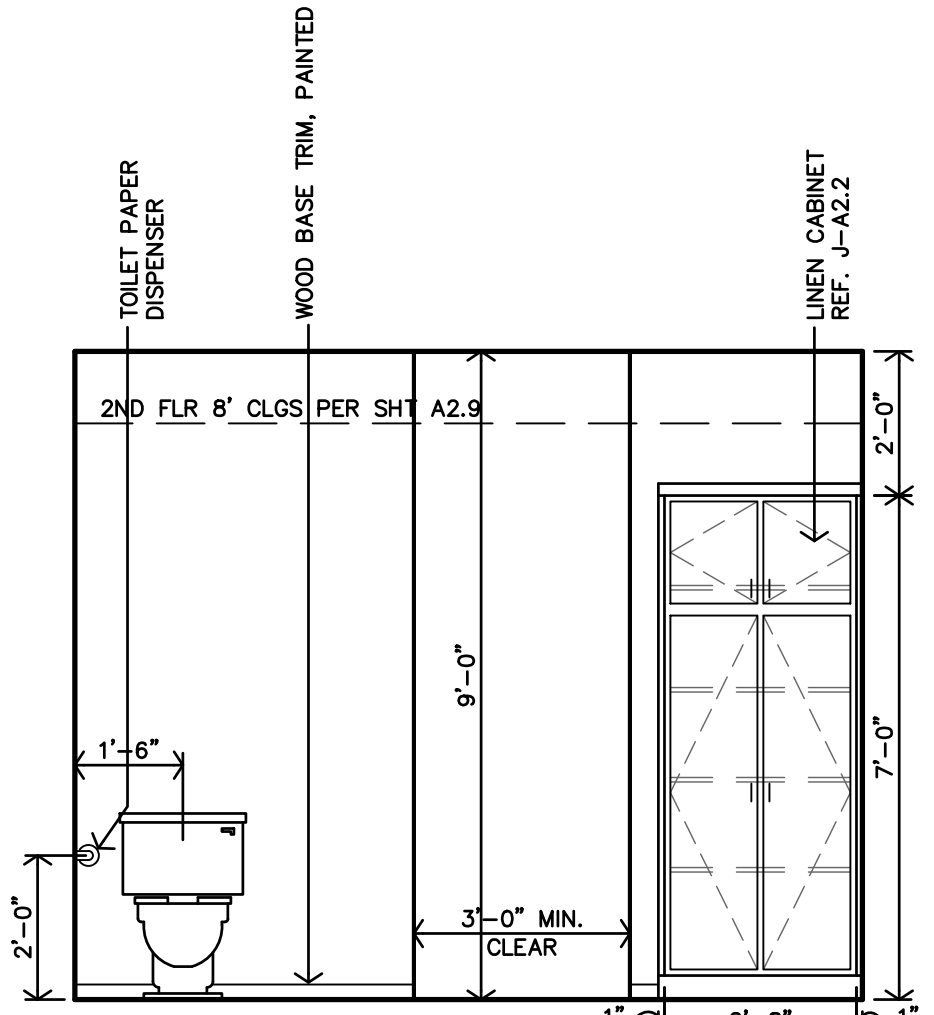
G STANDARD/TYPE-B
2BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



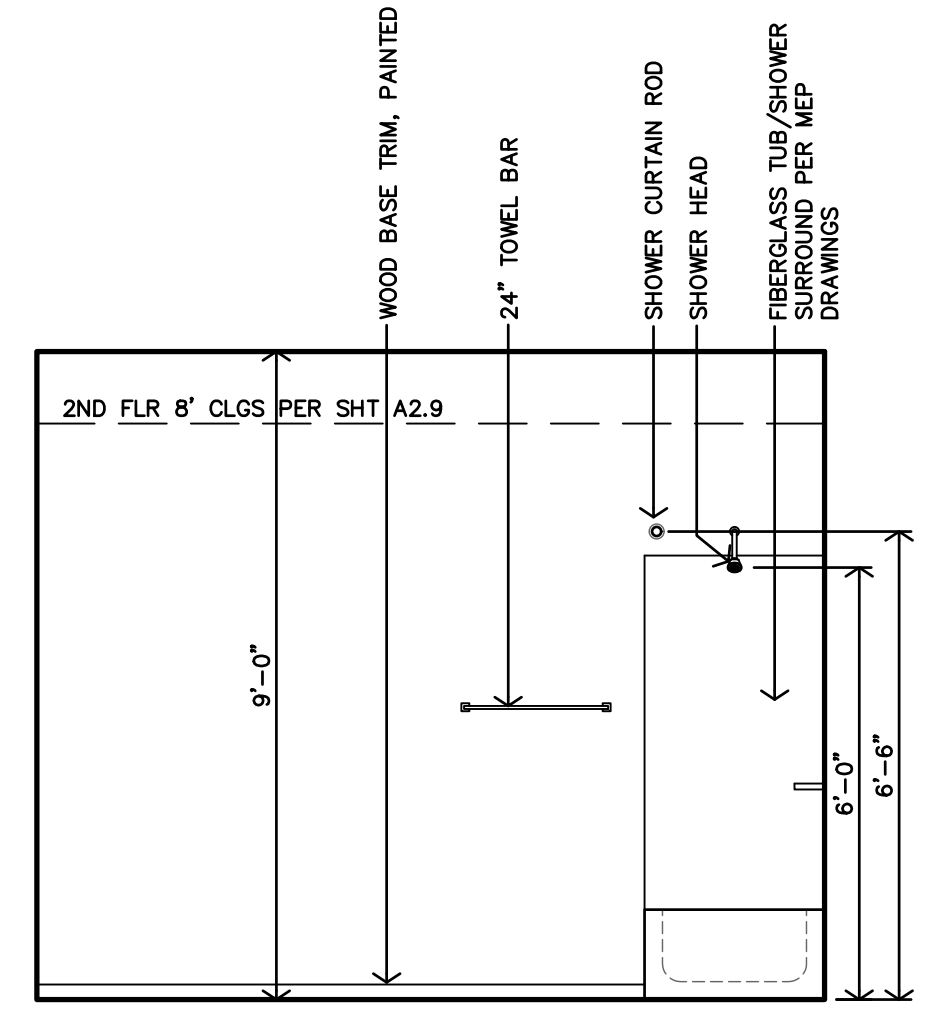
F STANDARD/TYPE-B
2BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



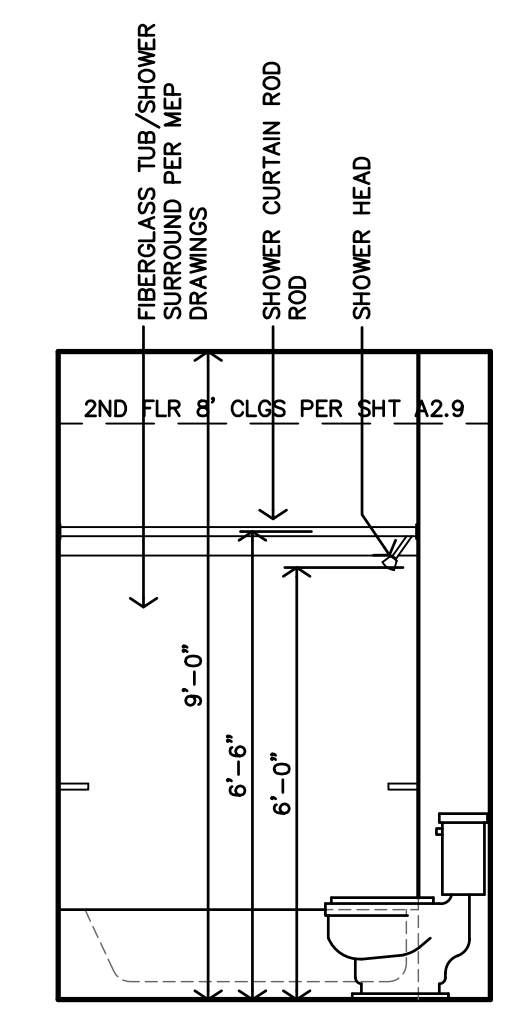
E STANDARD/TYPE-B
2BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



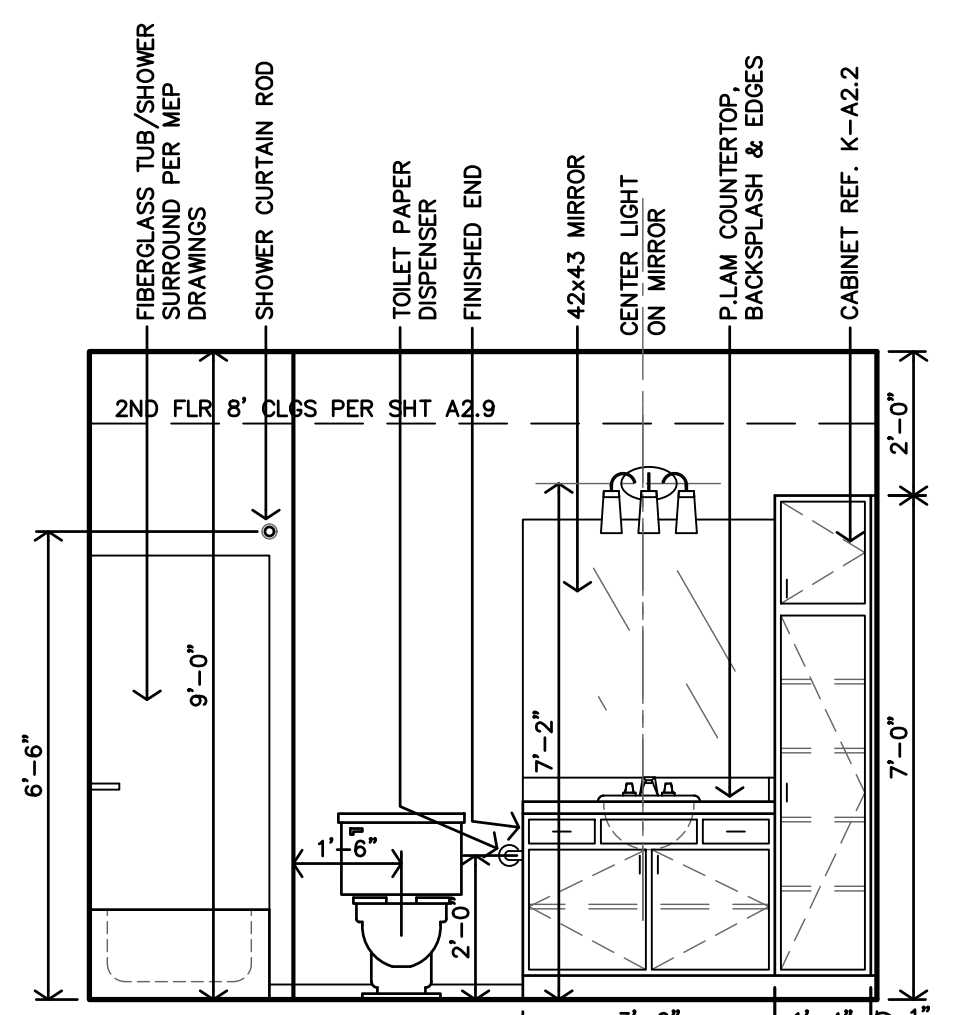
D STANDARD/TYPE-B
2BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



C STANDARD/TYPE-B
2BDRM/3BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"

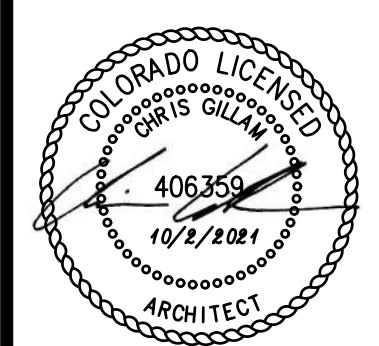


B STANDARD/TYPE-B
2BDRM/3BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



A STANDARD/TYPE-B
2BDRM/3BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"

STANDARD & TYPE-B APARTMENTS



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

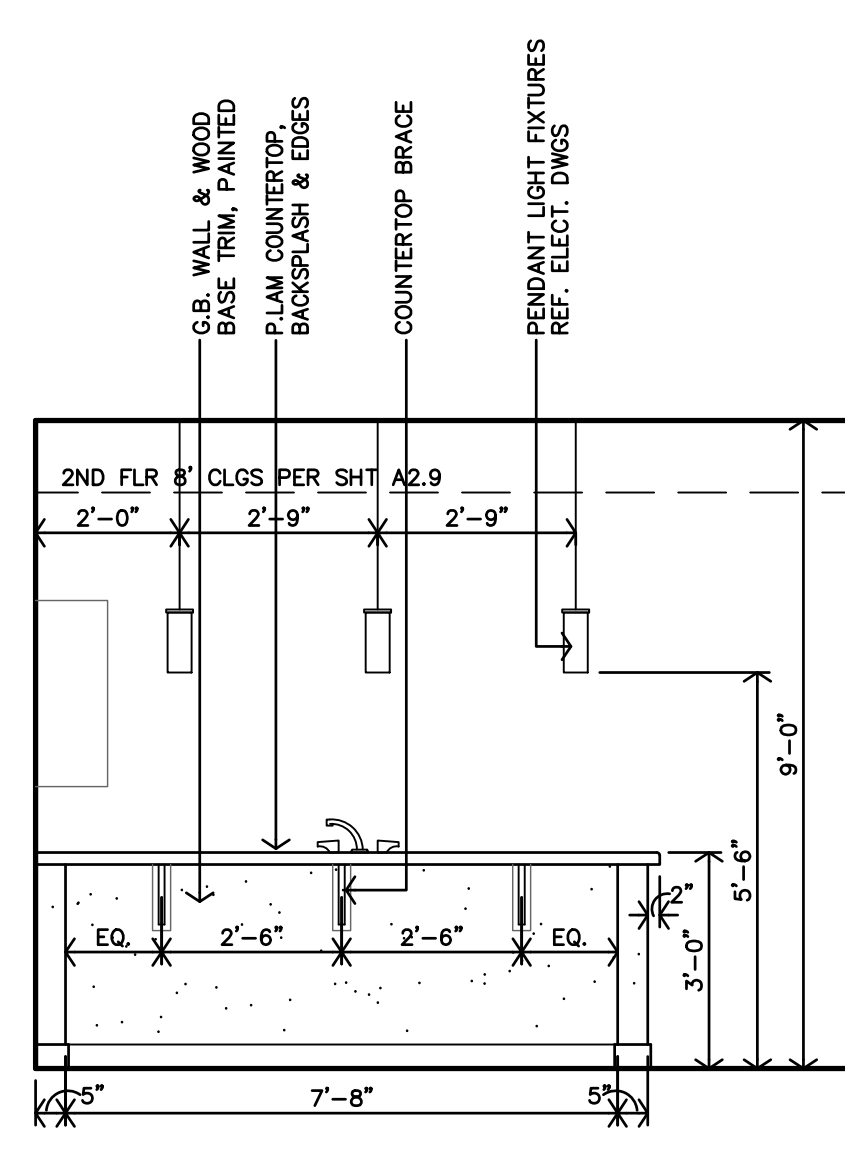
A2.3

RSN: 1762321
Permit#: 23-2396735-CM

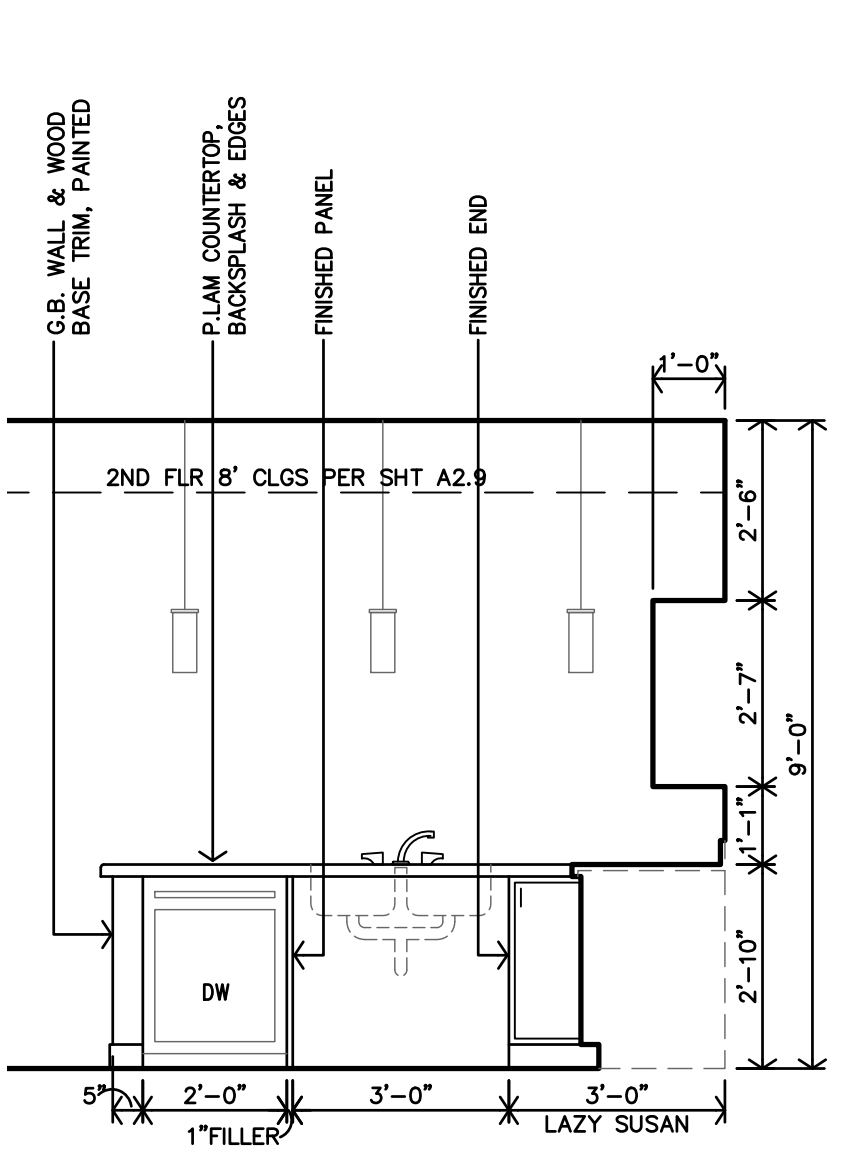
THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD
AURORA,
COLORADO

JGR JonesGillamRemen
730 N. Ninth
Salina, KS 67401
1881 Main Street, Suite 301
Kansas City, MO 64108
785.827.0386
jgr@jgarchitects.com

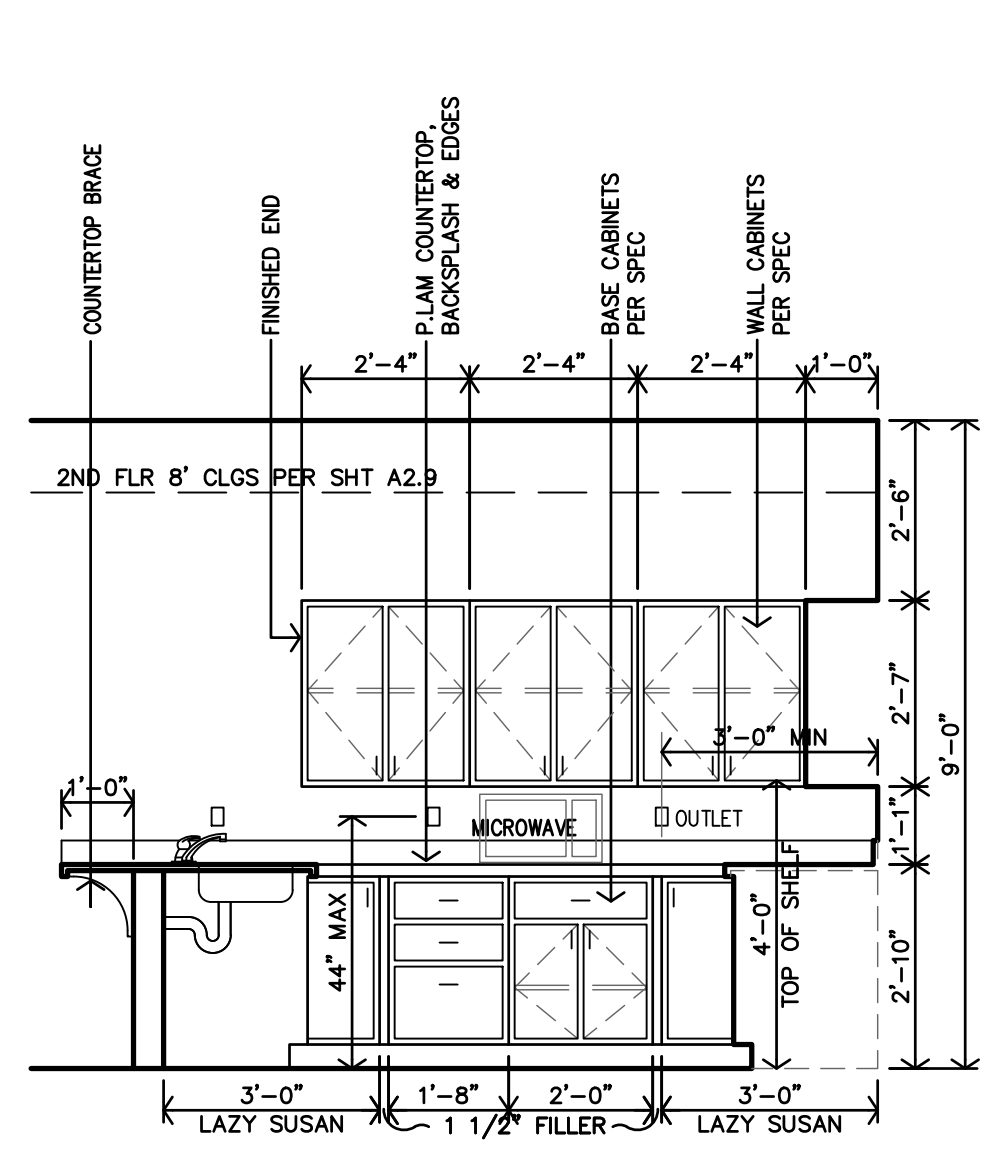
COPYRIGHTED



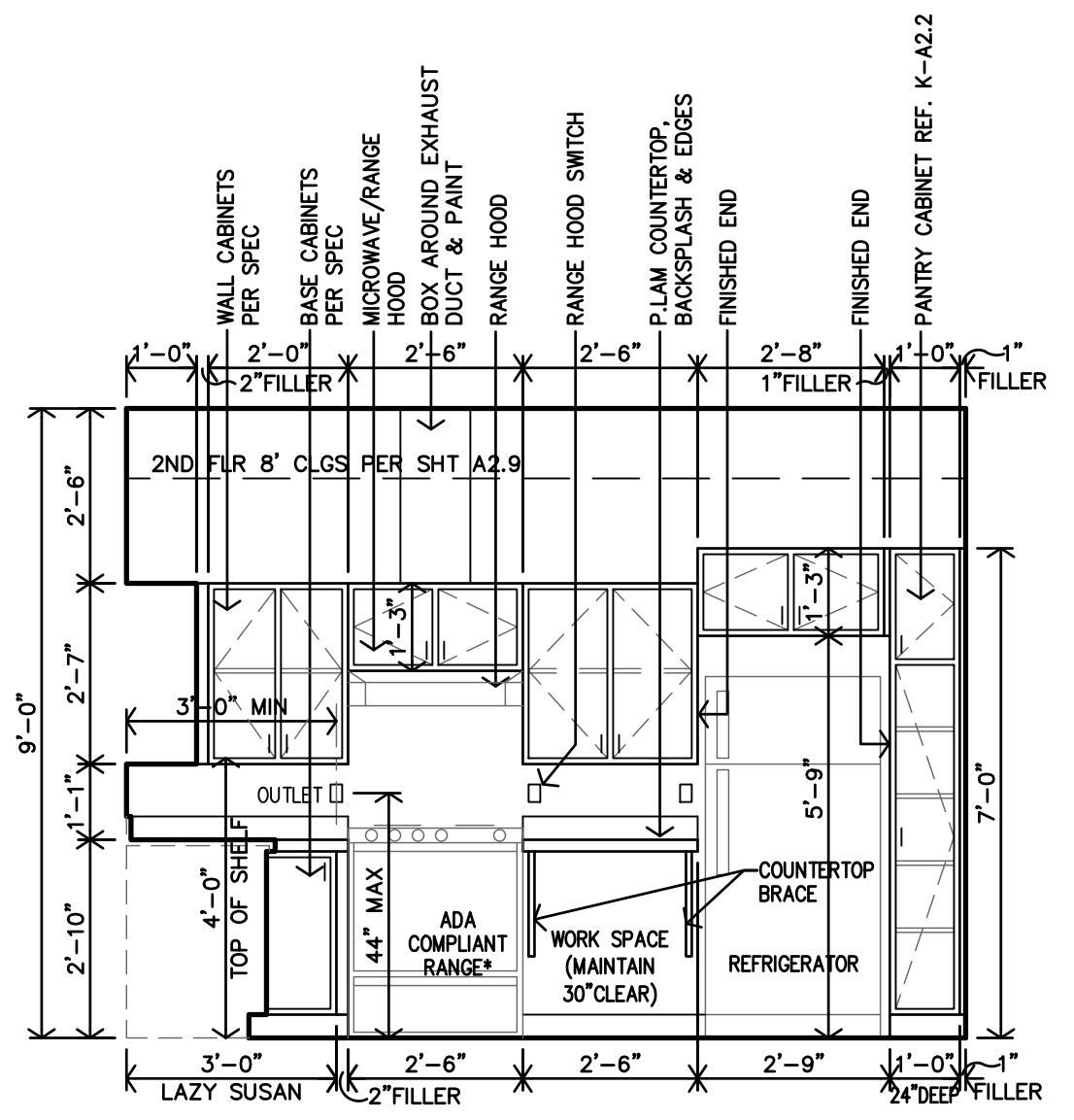
G ACCESSIBLE/TYPE-A
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



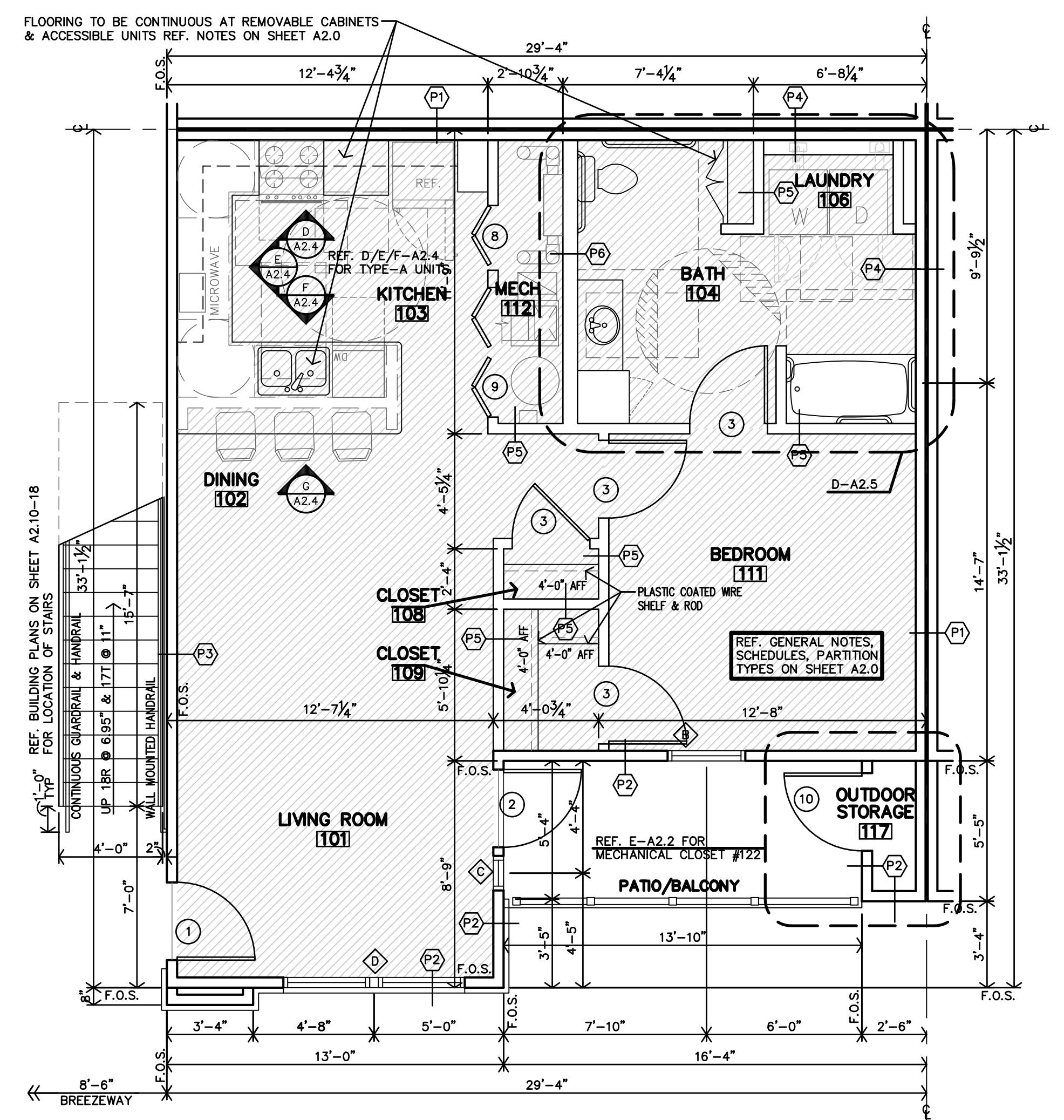
F ACCESSIBLE
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



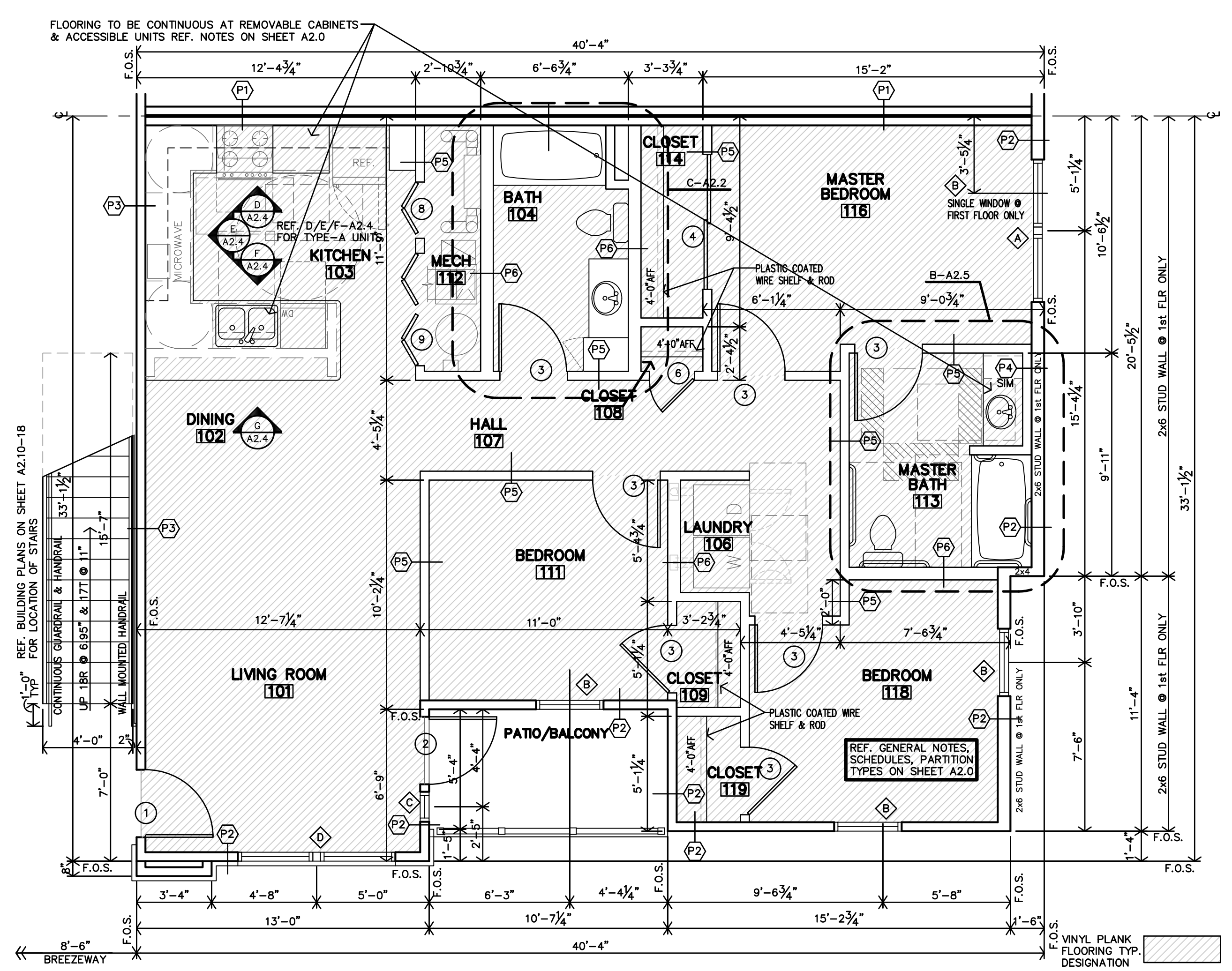
E ACCESSIBLE
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



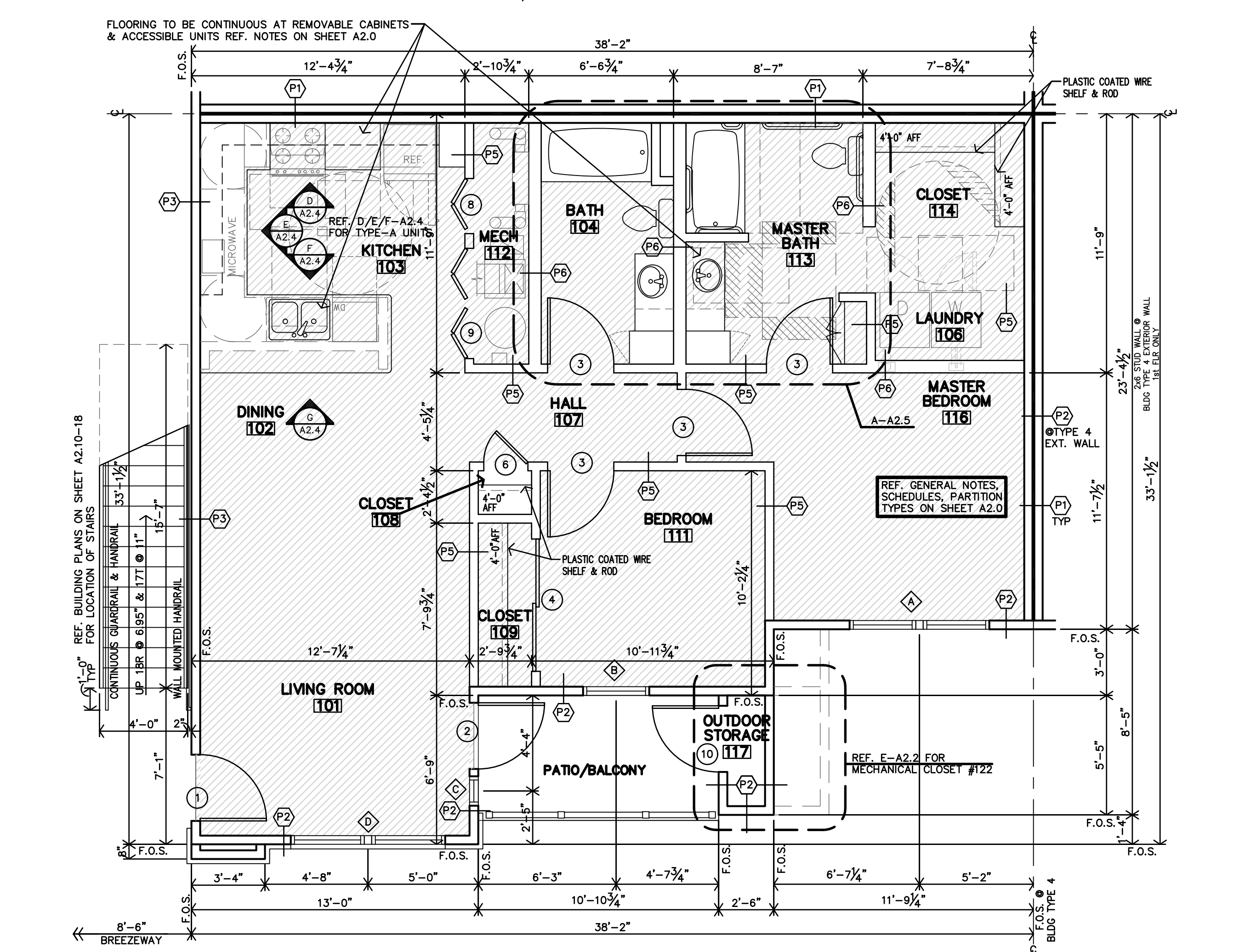
D ACCESSIBLE
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



C ACCESSIBLE/TYPE-A 1 BEDROOM FLOOR PLAN (w/ TUB)
1/4"=1'-0"
REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR ACCESSIBLE LOCATIONS



B ACCESSIBLE/TYPE-A 3 BEDROOM FLOOR PLAN (w/ TUB)
1/4"=1'-0"
REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR ACCESSIBLE LOCATIONS



A ACCESSIBLE/TYPE-A 2 BEDROOM FLOOR PLAN (w/ TUB)
1/4"=1'-0"
REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR ACCESSIBLE LOCATIONS

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: JRG/MSK
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

JonesGillamRenz
1881 Main Street, Suite 301
Kansas City, MO 64108
jgr@jgrarchitects.com



THE RESERVES at EAGLE POINT
COLORADO

365 NORTH PICADILLY RD
AURORA,

ACCESSIBLE/TYPE-A APARTMENTS

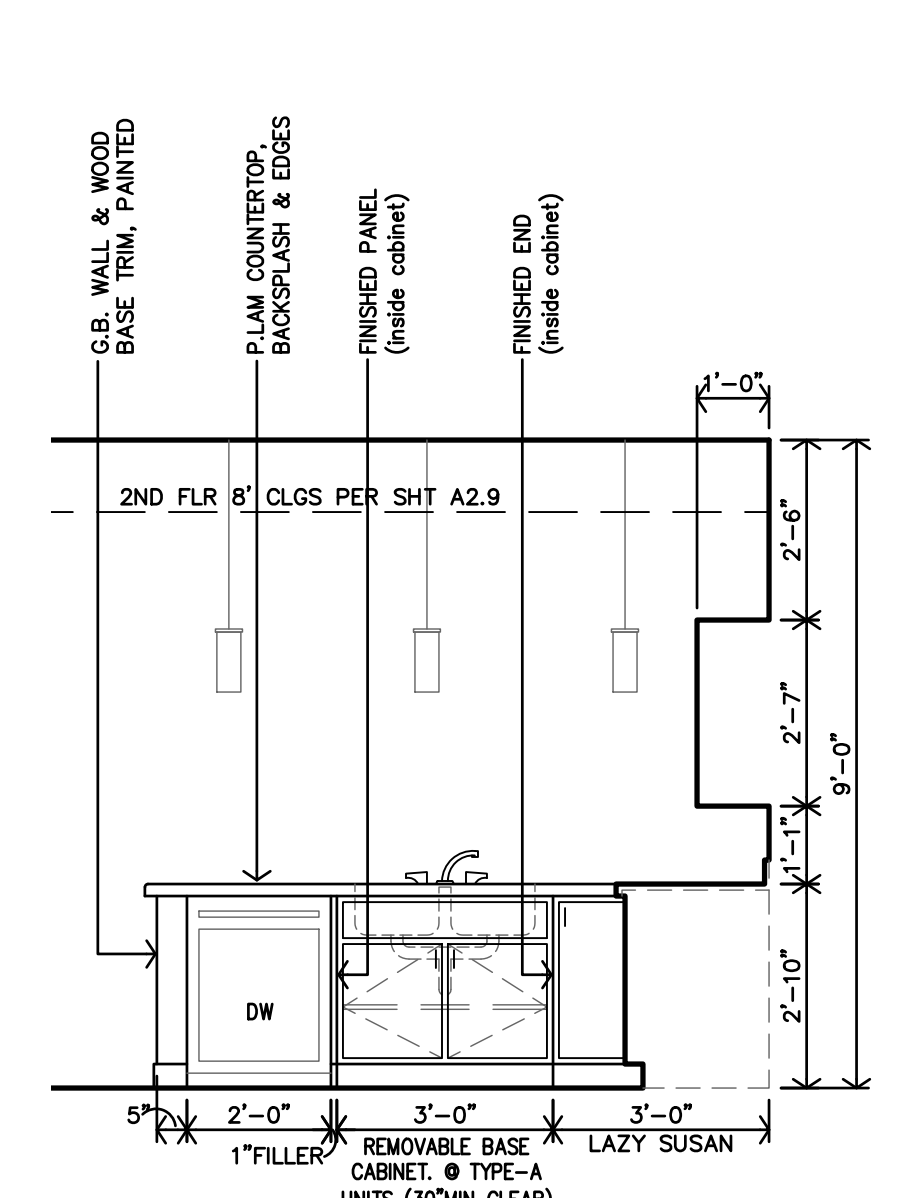


REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

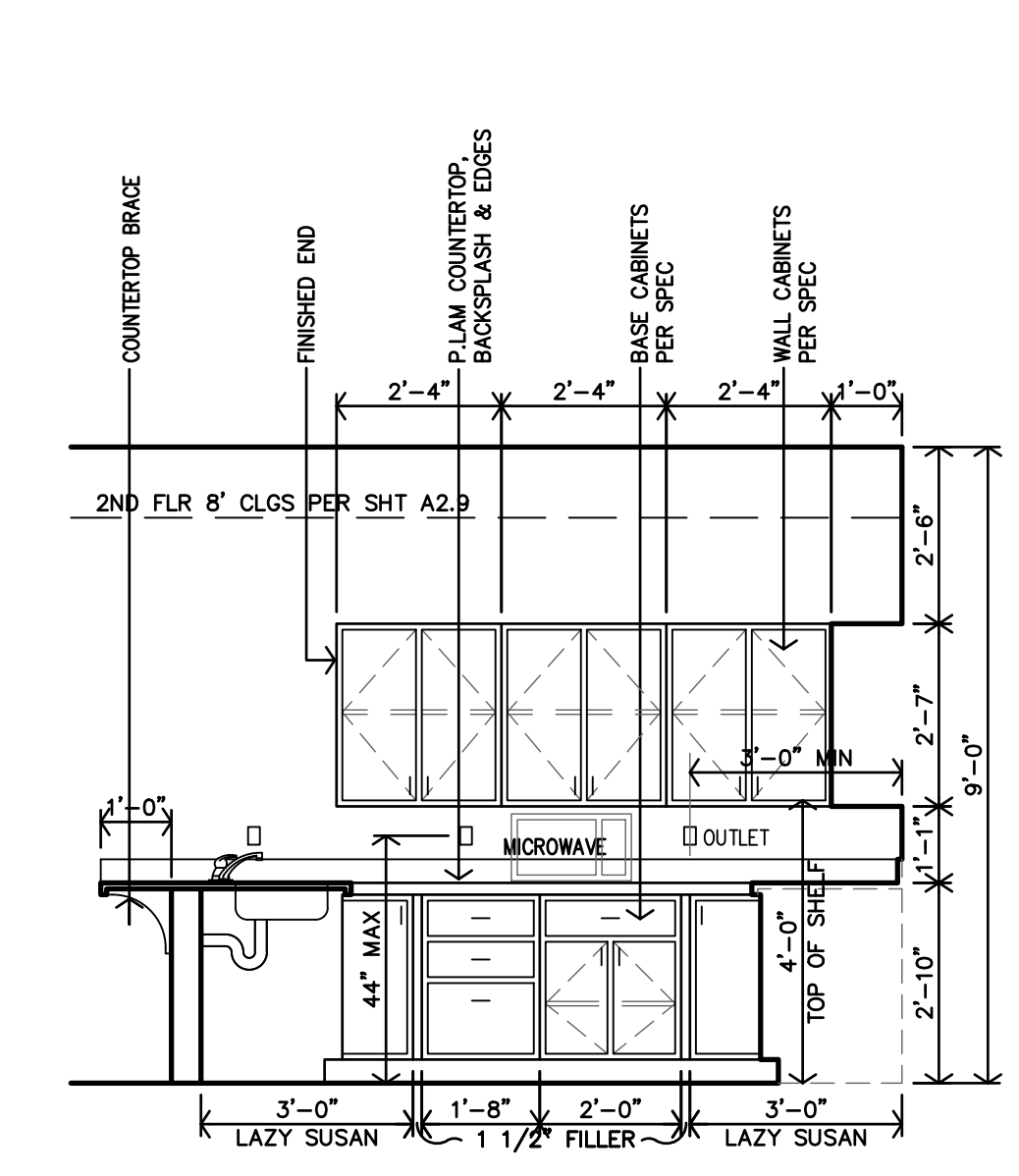
A2.4

RSN: 1762321
Permit#: 23-2396735-CM

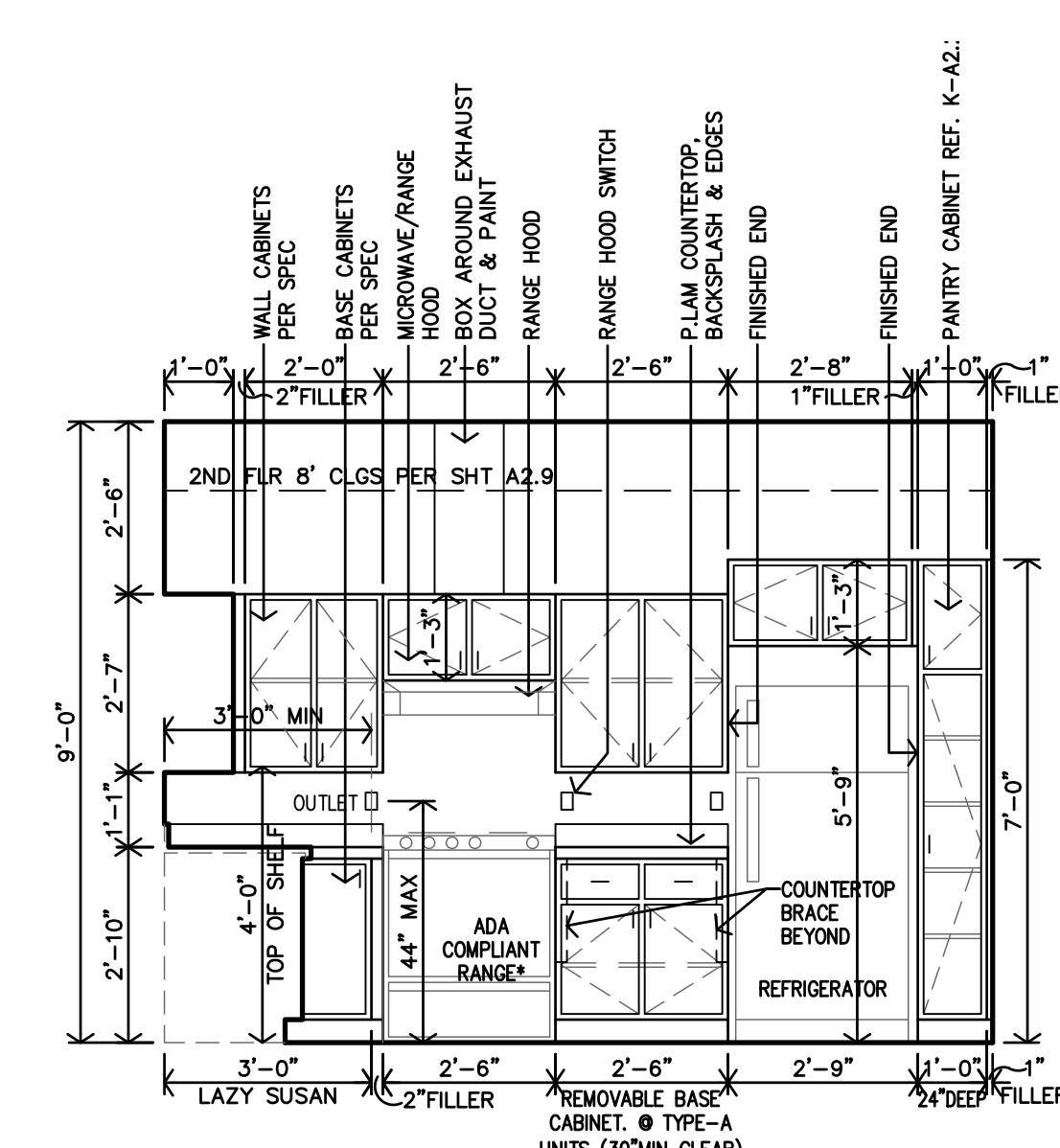
COPYRIGHTED ©



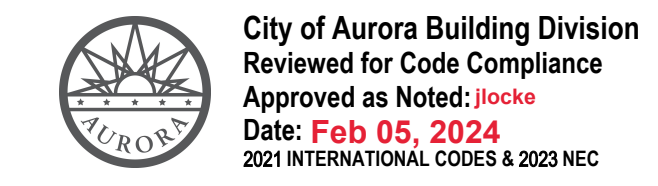
F
TYPE-A
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
 3/8"=1'-0"



E
ACCESSIBLE/TYPE-A
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
 3/8"=1'-0"



D
TYPE-A
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
 3/8"=1'-0"

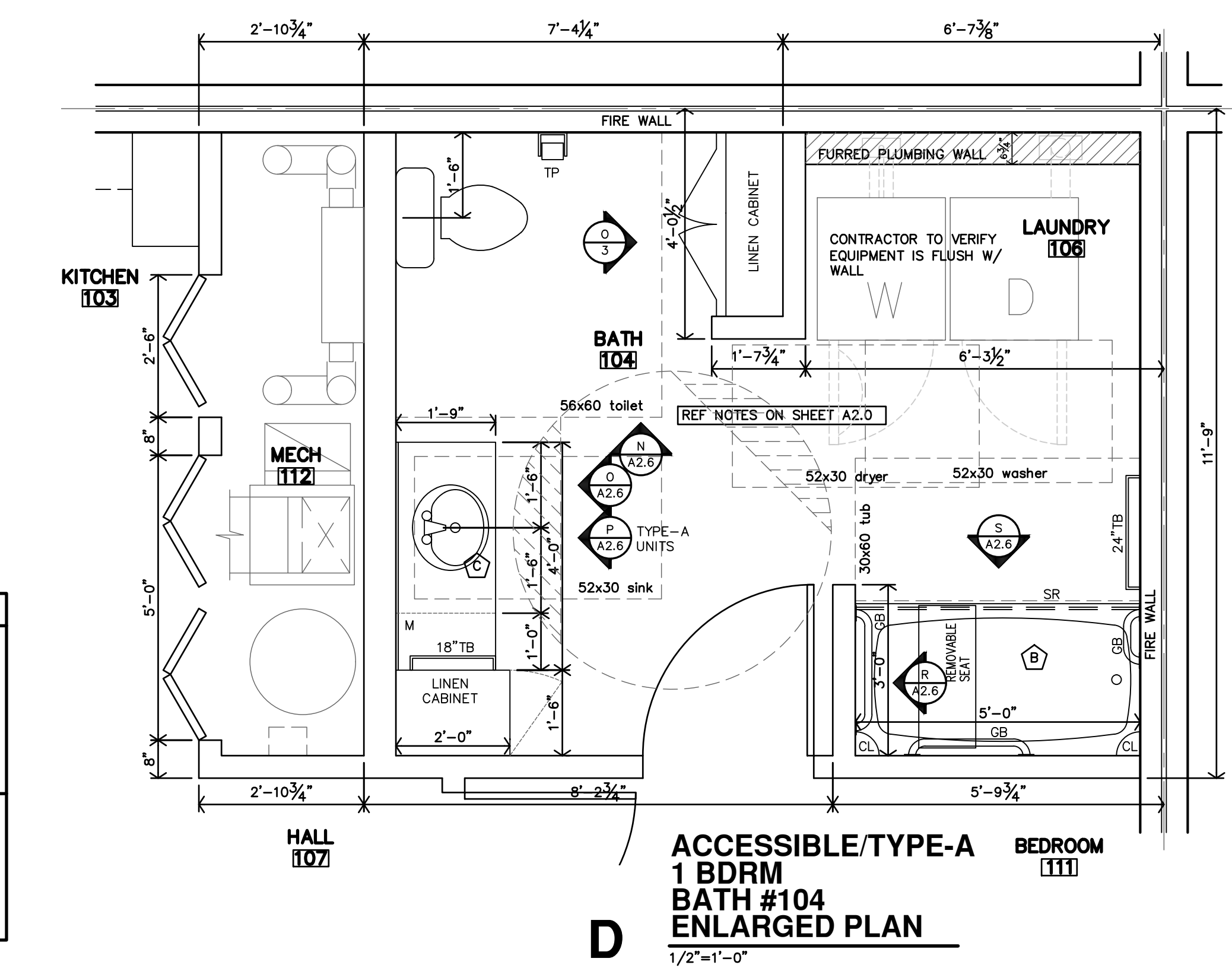


City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **locke**
 Date: **Feb 05, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC

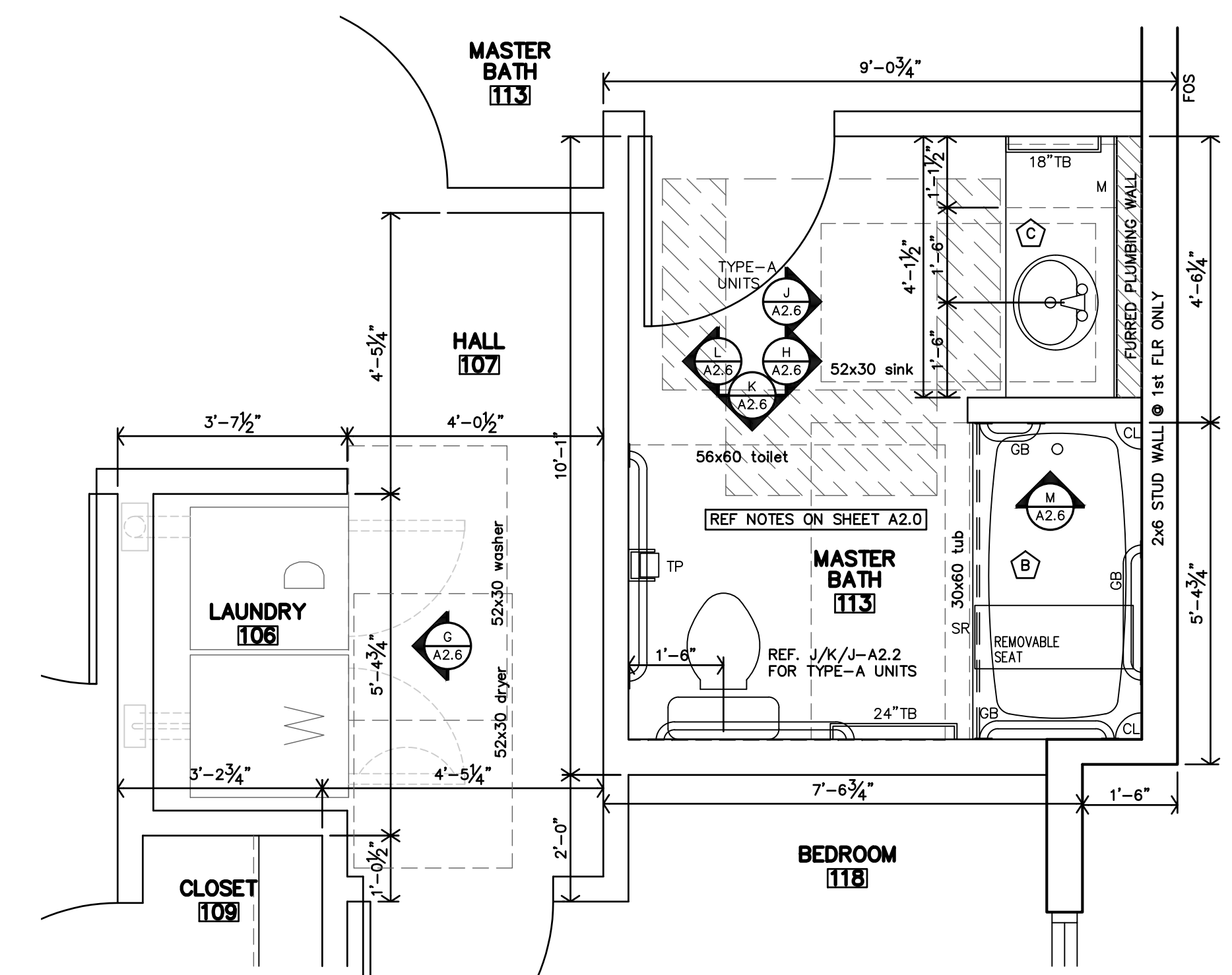
ENLARGED BATH NOTES

1. REF UNIT GENERAL NOTES FOR ADDITIONAL DIRECTION ON SHEET A2.0.
2. ALL DIMENSIONS ARE TO FACE OF C/P. BD. UNLESS NOTED OTHERWISE
3. CONTRACTOR TO INSTALL 2x6 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, GRABS BARS & SHOWER SEAT, ETC. AS REQ'D. (REF. SHEET A2.0)
4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER. ALWAYS WHEN FACING UNITS. THIS NEEDS TO BE COORDINATED ON SITE. ACCESSIBLE UNITS MUST HAVE WASHER & DRYER 27"wide X 30"depth MAX.

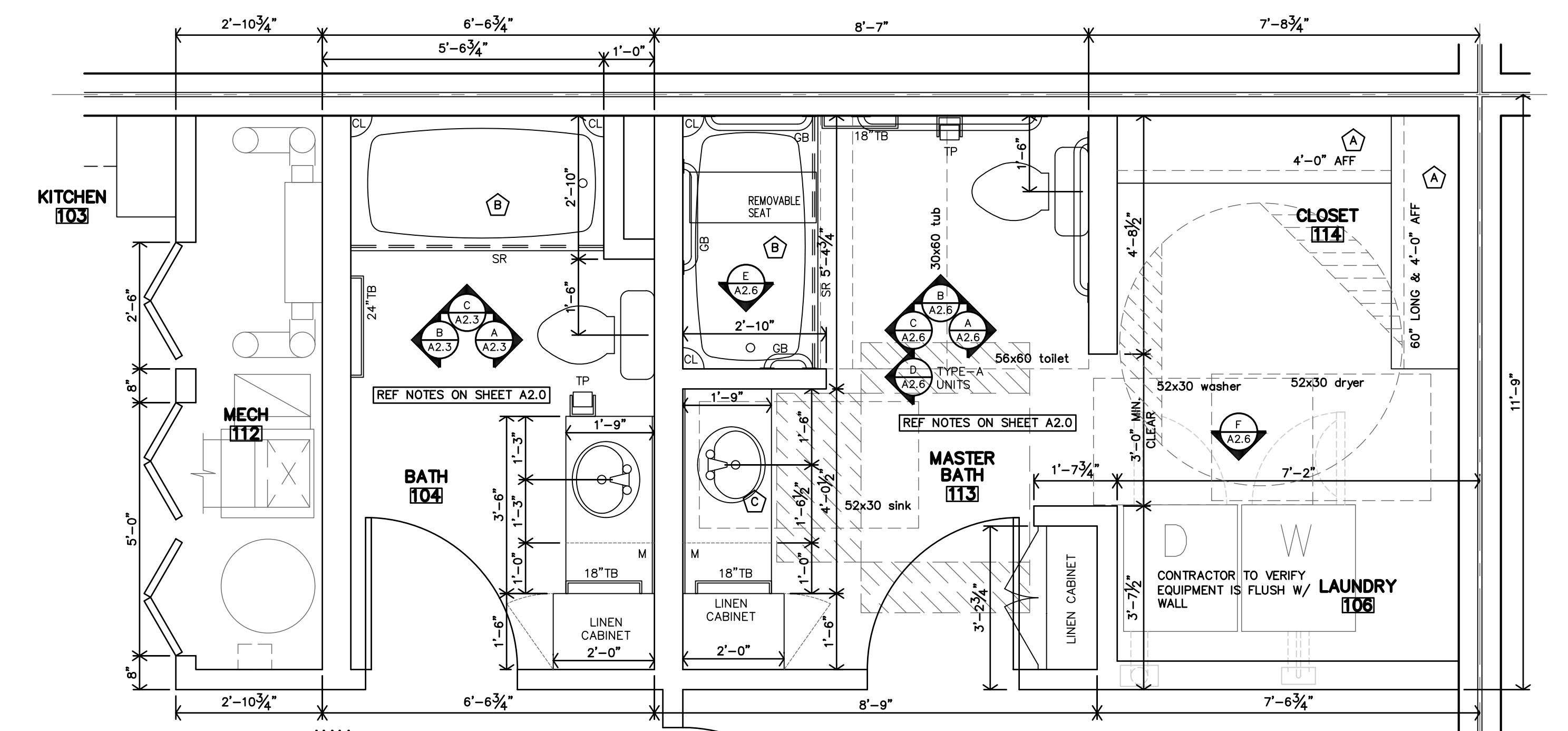
LEGEND	BATH KEYNOTES:
M MIRROR	(A) PLASTIC COATED WIRE CLOTHES SHELF & ROD. HEIGHT AS CALLED OUT ON PLAN.
TP TOILET PAPER DISPENSER	(B) VERIFY SIZE OF FIBERGLASS TUB/SHOWER COMBINATION UNIT
TB TOWEL BAR	(C) TYPE-A UNITS: FLOORING & WALL FINISH TO BE CONTINUOUS @ REMOVABLE CABINETS
CL CORNER LEDGE	
SR SHOWER ROD	



D
ACCESSIBLE/TYPE-A
1 BDRM
BATH #104
ENLARGED PLAN
 1/2"=1'-0"



B
ACCESSIBLE/TYPE-A
3 BDRM
MASTER BATH #113
ENLARGED PLAN
 1/2"=1'-0"



A
ACCESSIBLE/TYPE-A
2 BDRM
BATH #104 & MASTER BATH #113
ENLARGED PLAN
 1/2"=1'-0"

C NOT USED

ACCESSIBLE/TYPE-A APARTMENTS



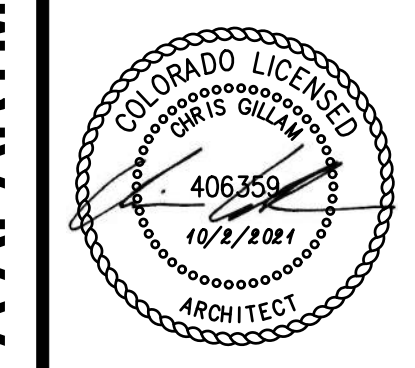
REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

A2.5

RSN: 1762321
 Permit#: 23-2396735-CM

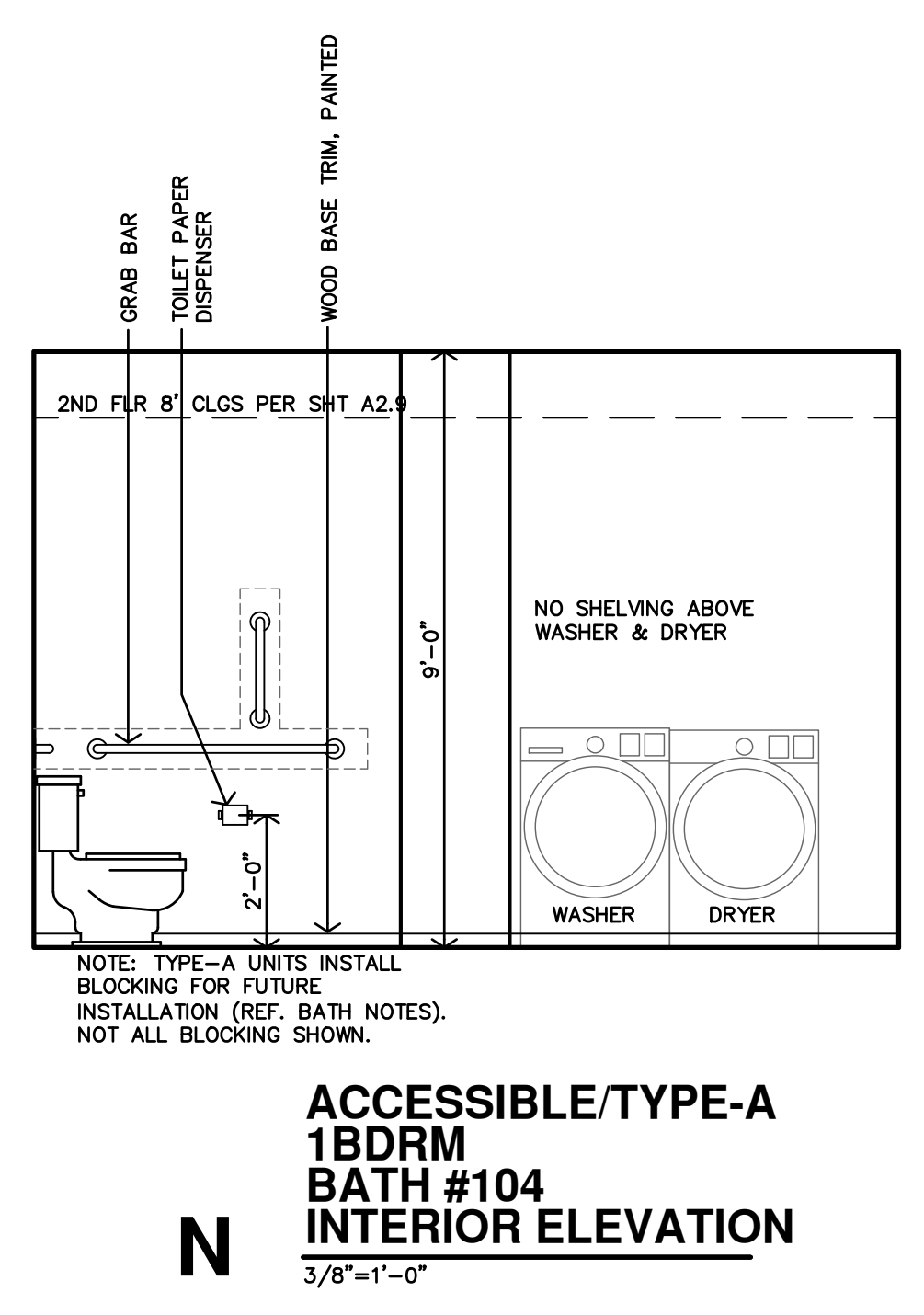
JGR
 JonesGillamRenz
 730 N. Ninth
 Salina, KS 67401
 785.827.0386
 jgr@jgrarchitects.com

THE RESERVES at EAGLE POINT
COLORDAO
 365 NORTH PICADILLY RD
AURORA,

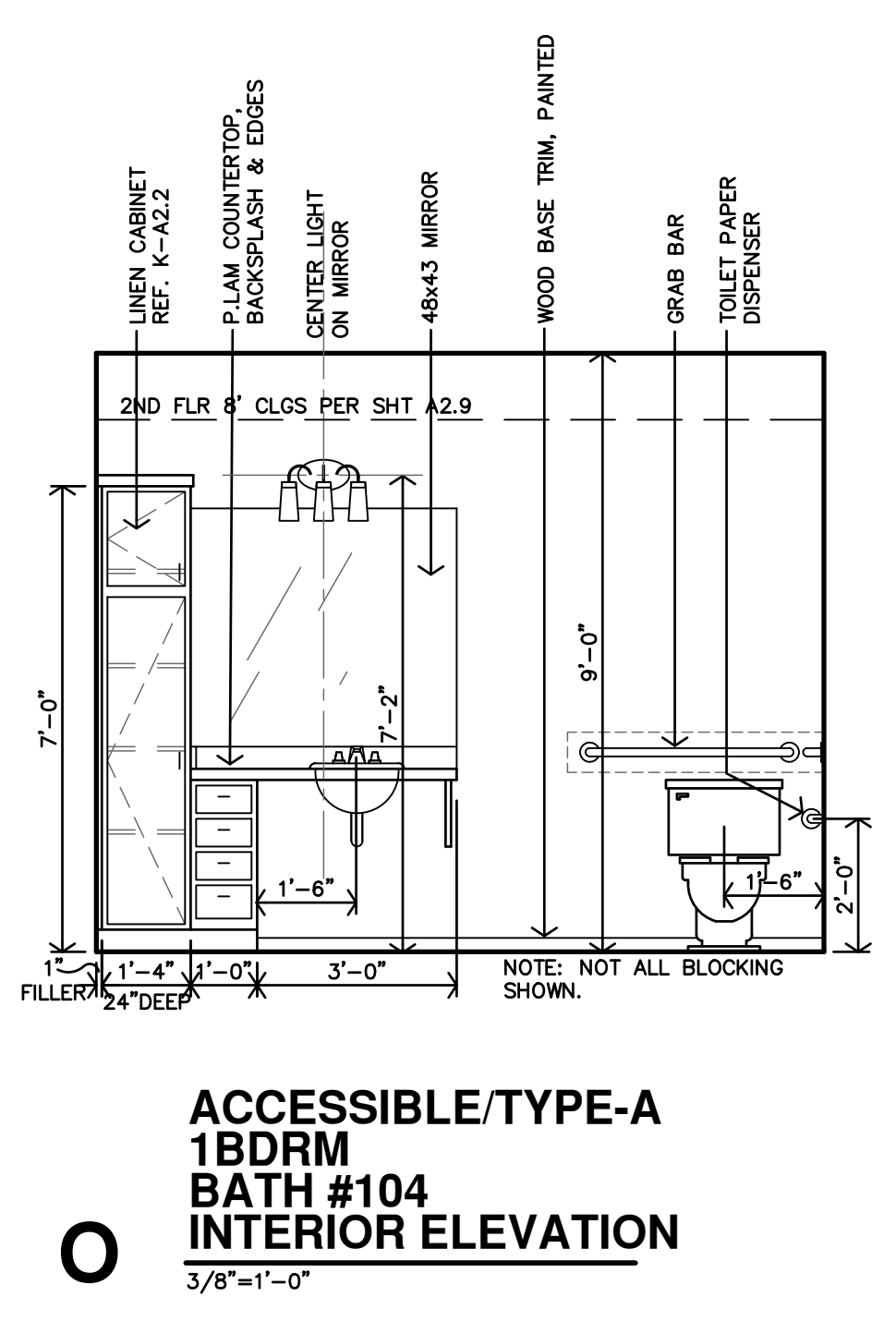


REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

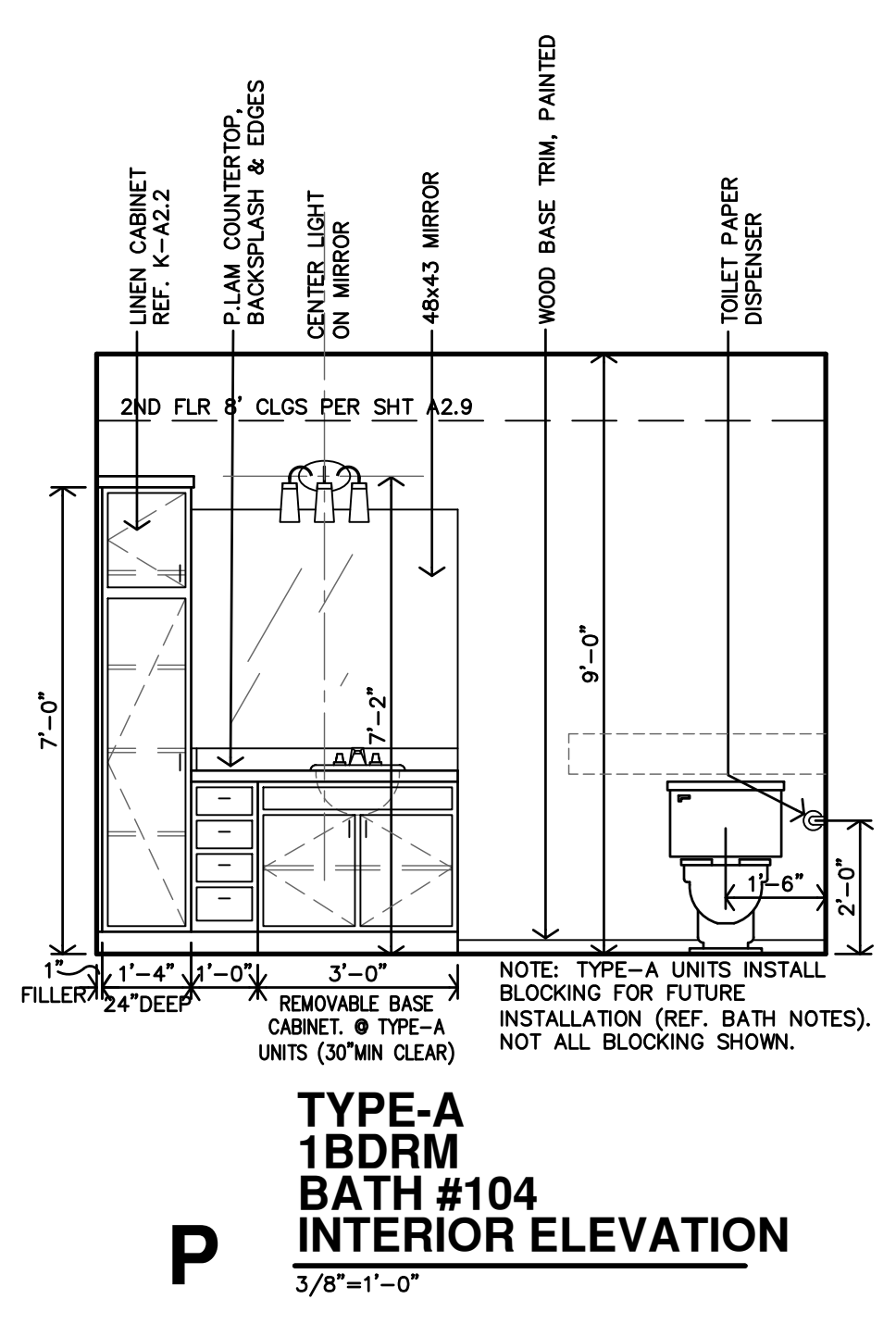
ACCESSIBLE/TYPE-A APARTMENTS



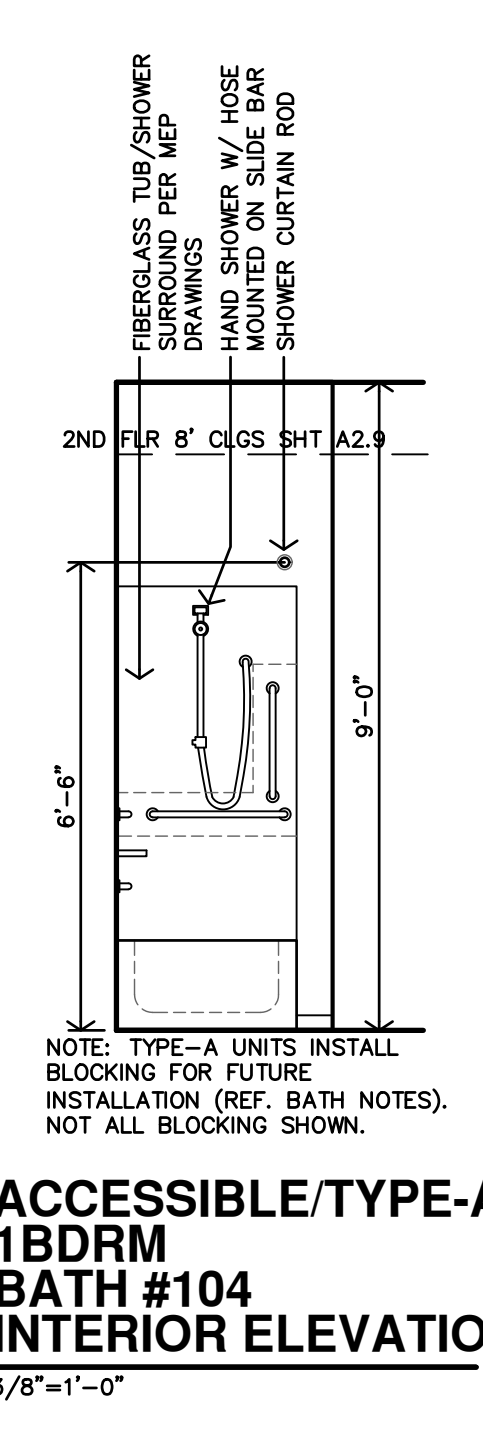
N ACCESSIBLE/TYPE-A 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



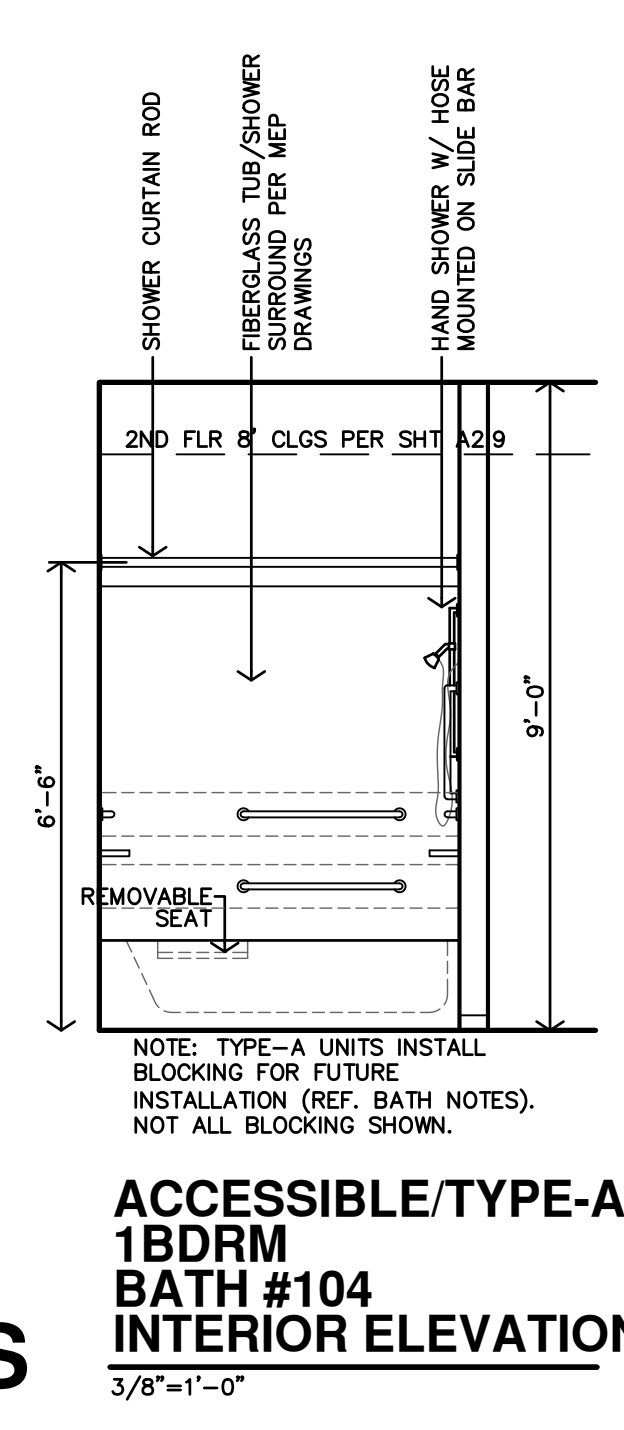
O ACCESSIBLE/TYPE-A 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



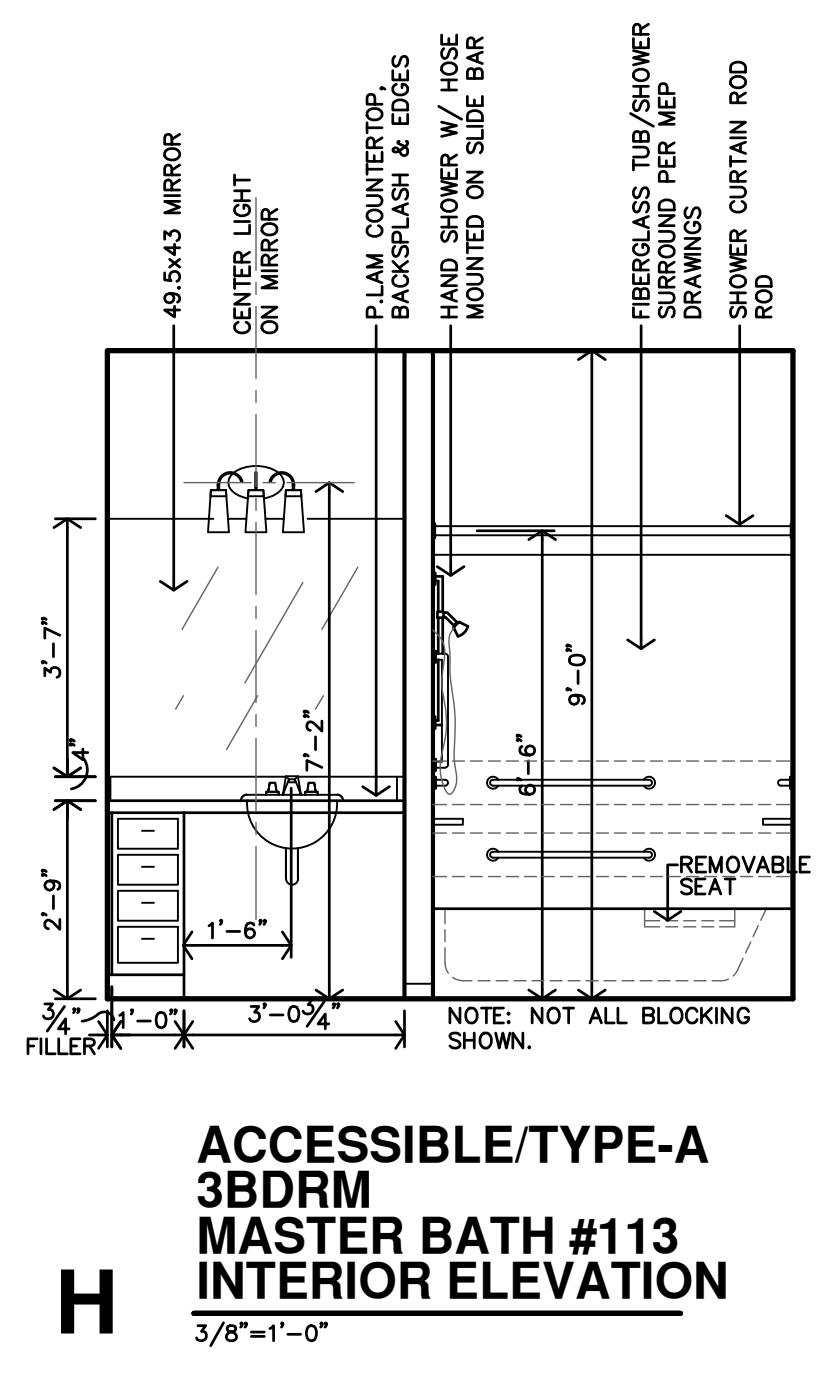
P TYPE-A 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



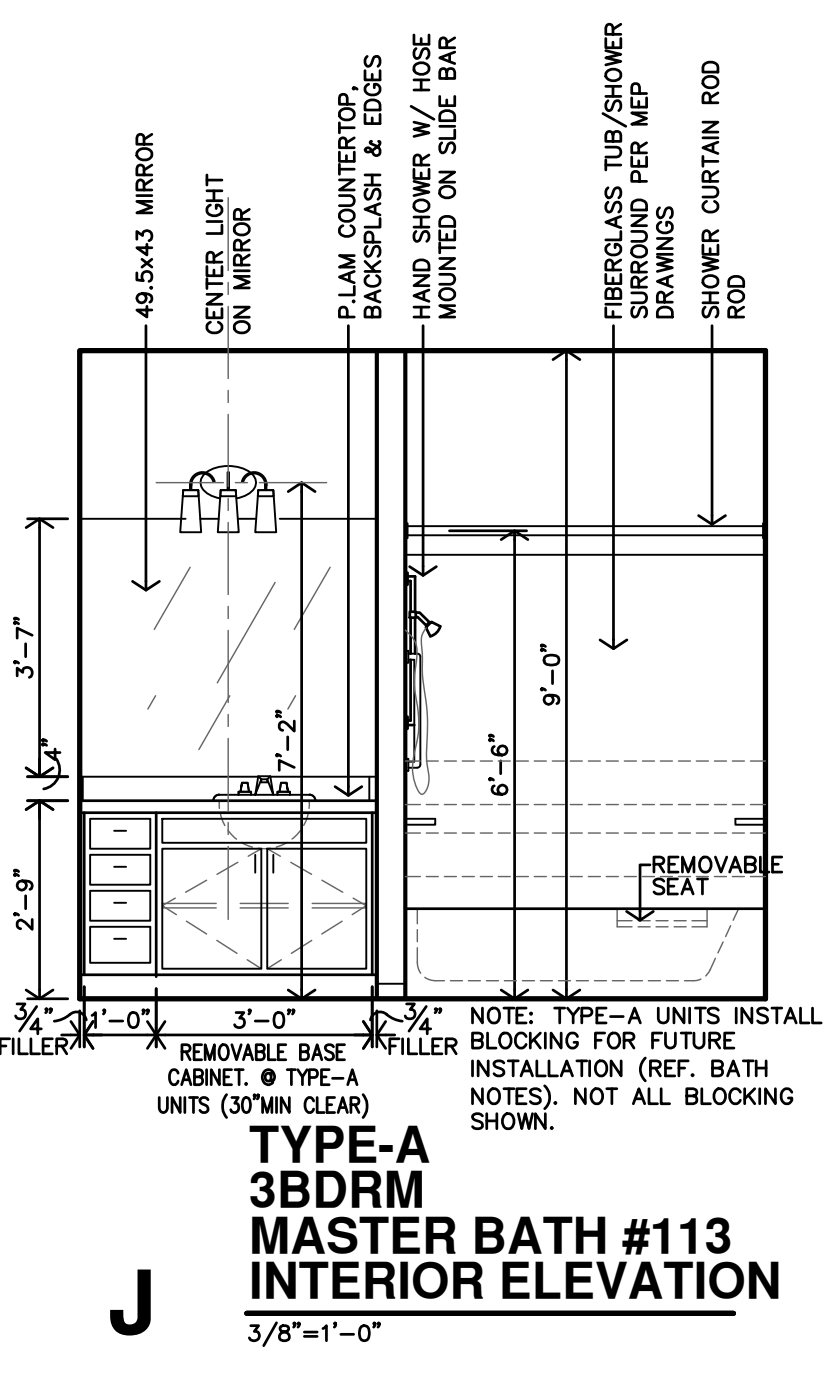
R ACCESSIBLE/TYPE-A 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



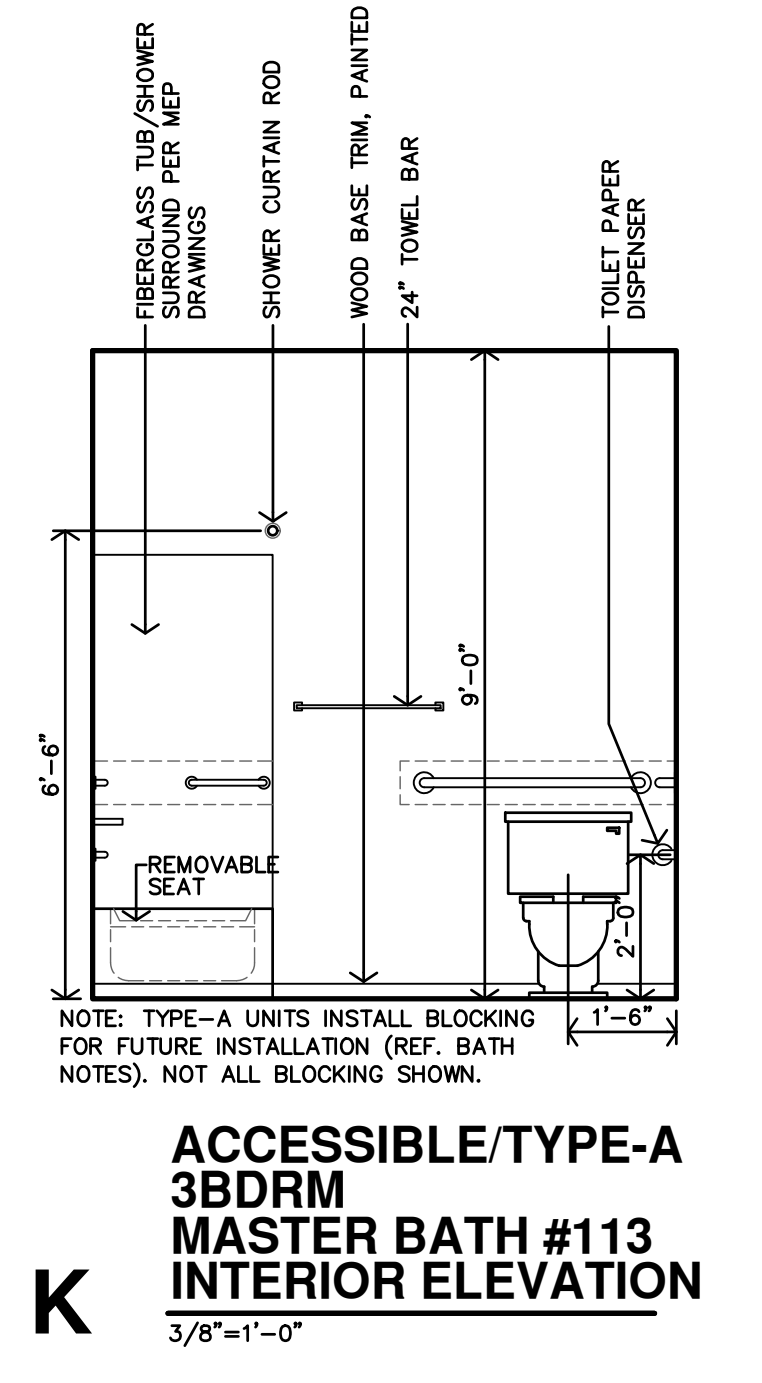
S ACCESSIBLE/TYPE-A 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



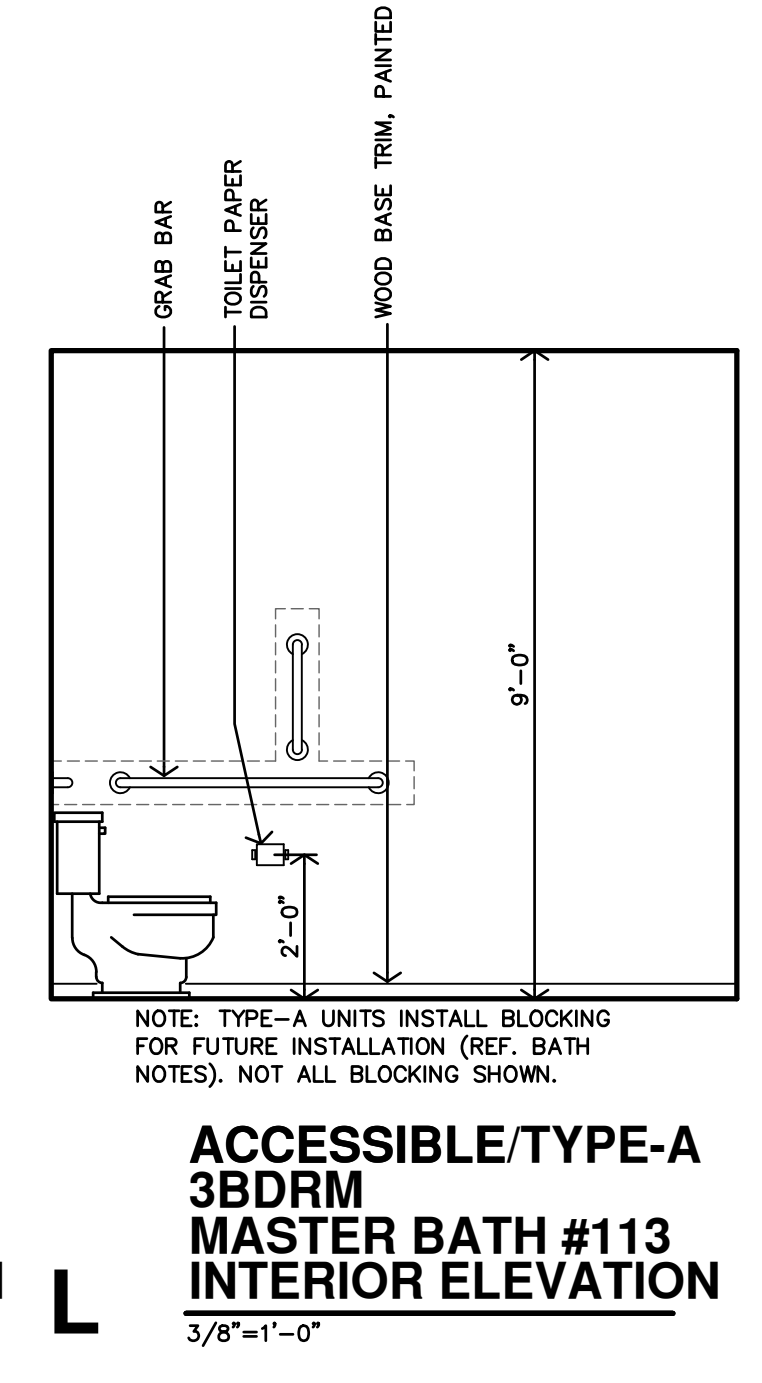
H ACCESSIBLE/TYPE-A 3BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



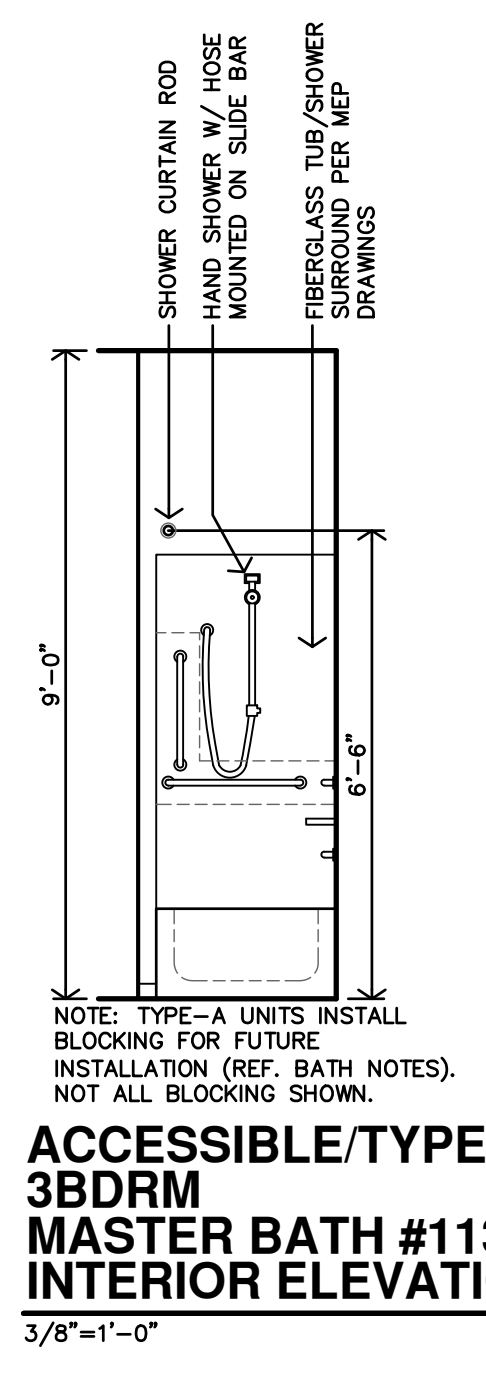
J TYPE-A 3BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



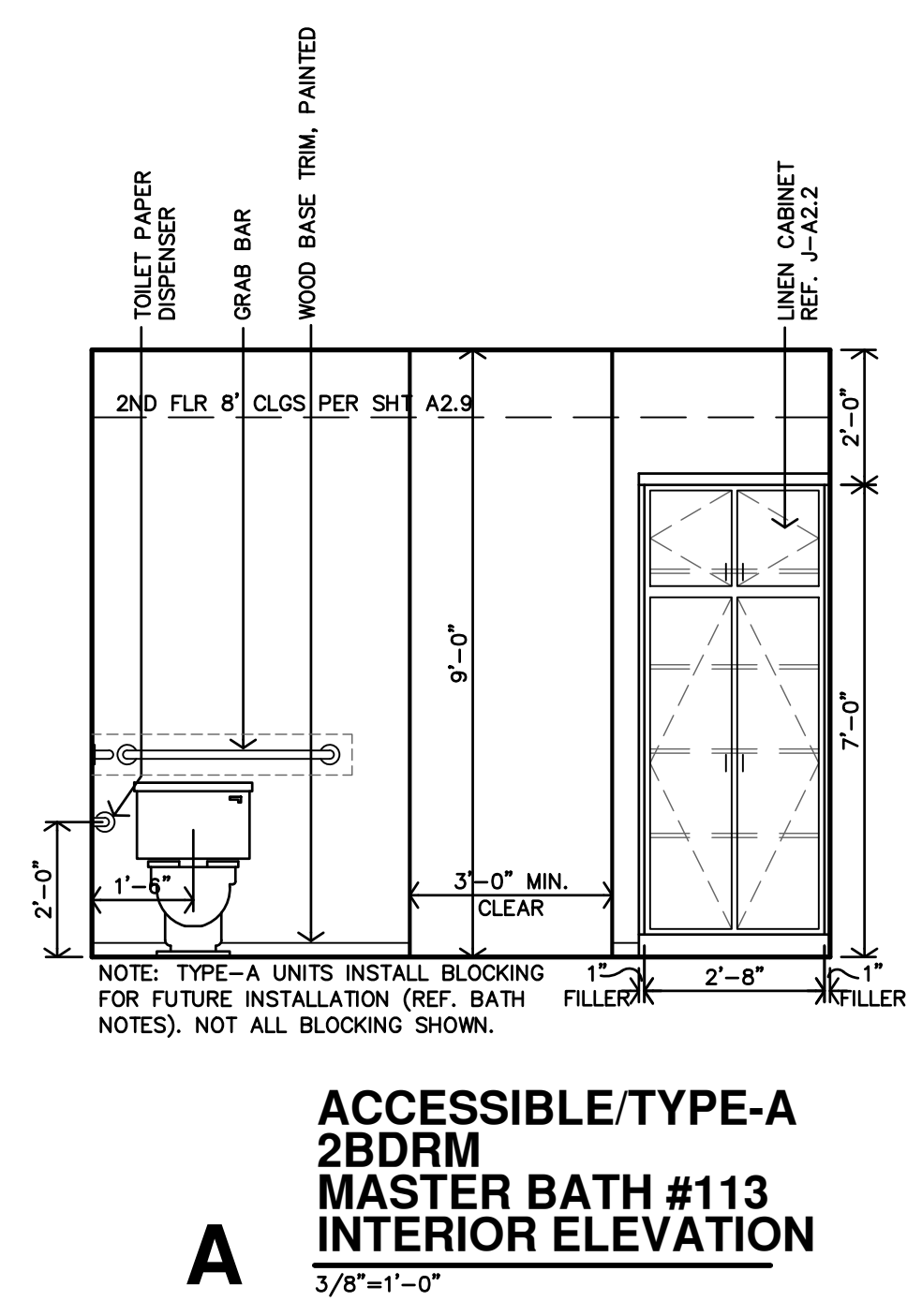
K ACCESSIBLE/TYPE-A 3BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



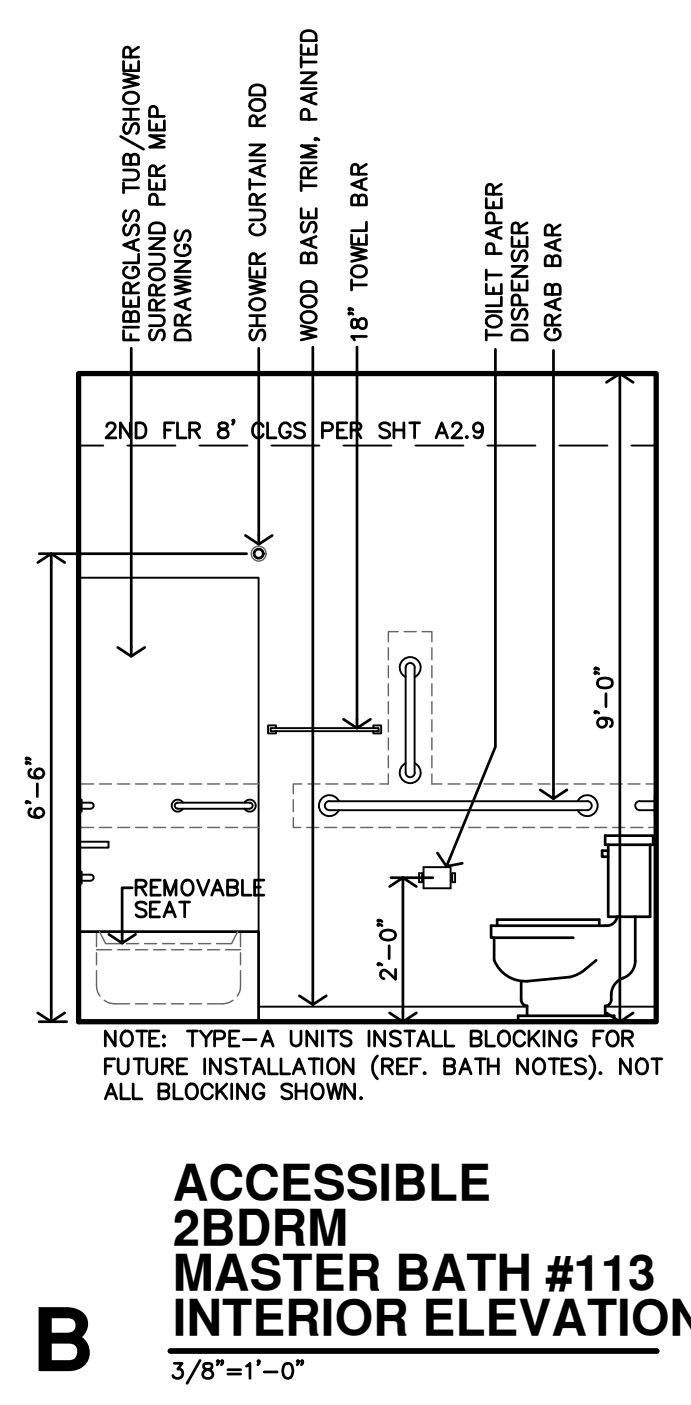
L ACCESSIBLE/TYPE-A 3BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



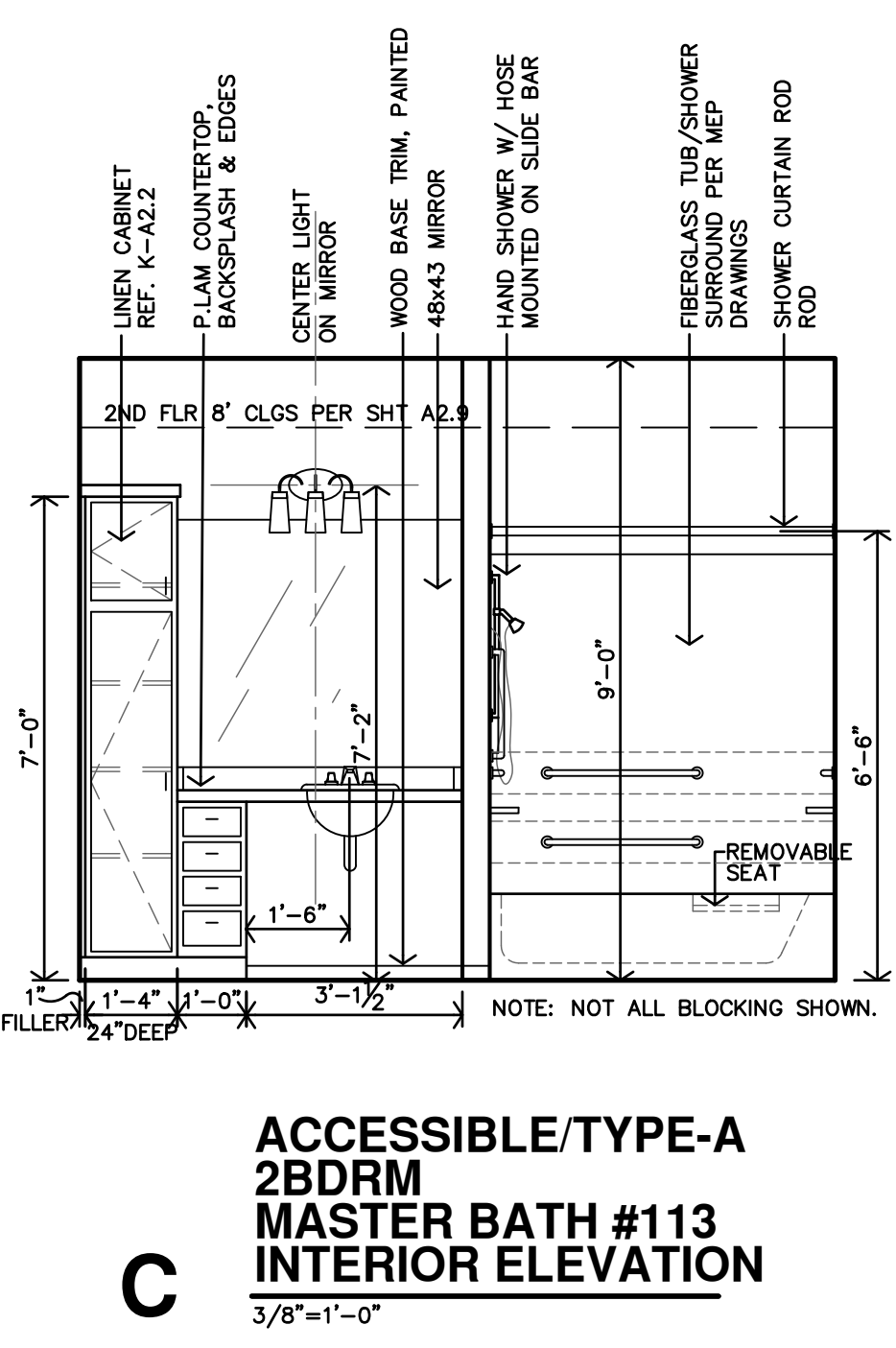
M ACCESSIBLE/TYPE-A 3BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



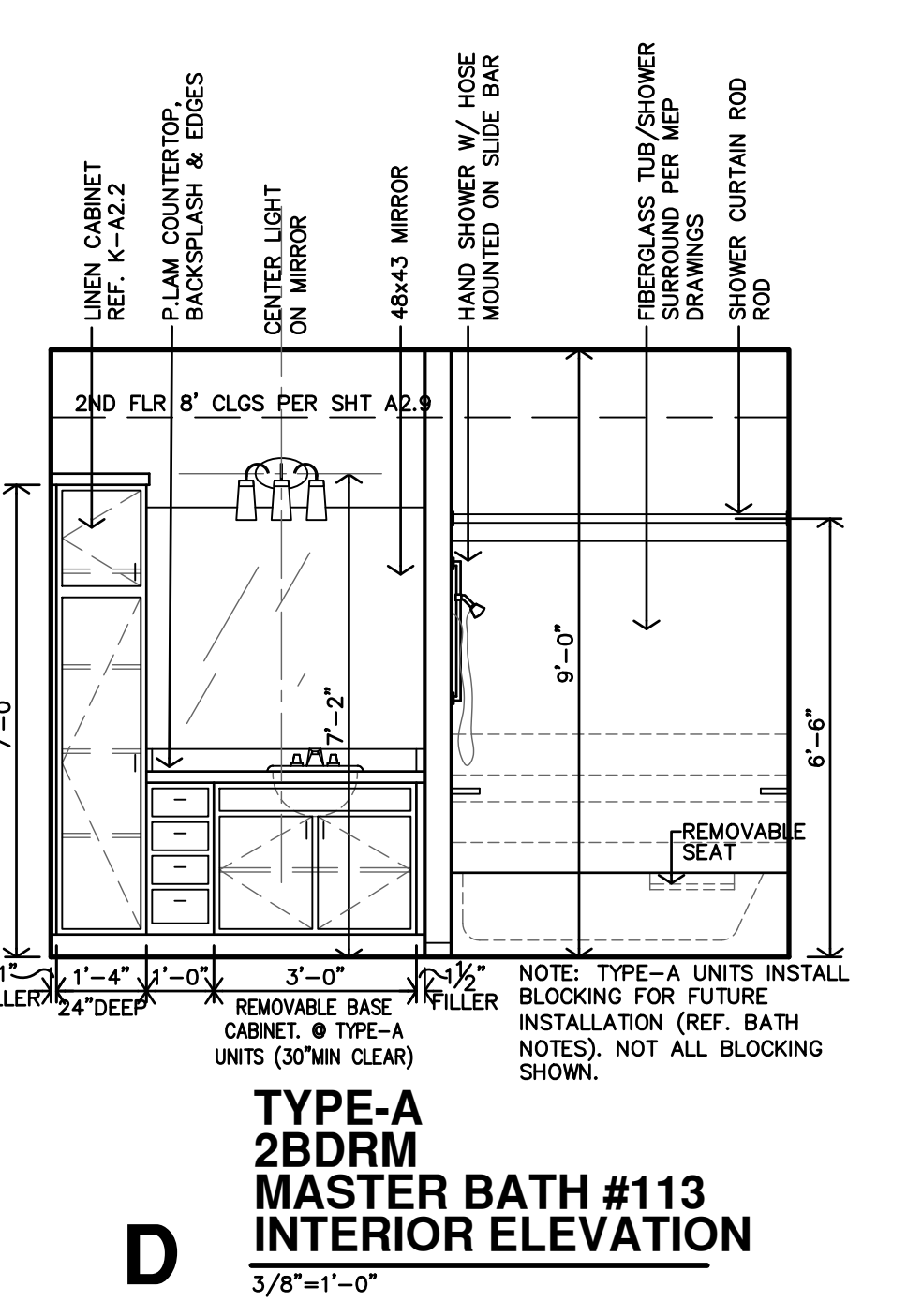
A ACCESSIBLE/TYPE-A 2BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



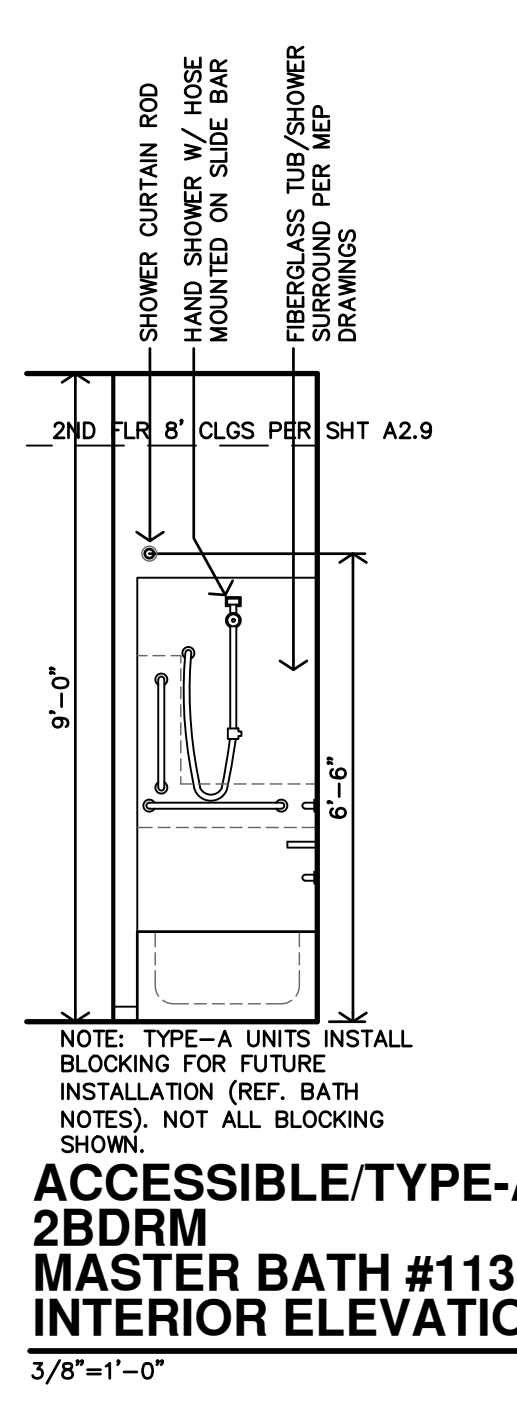
B ACCESSIBLE 2BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



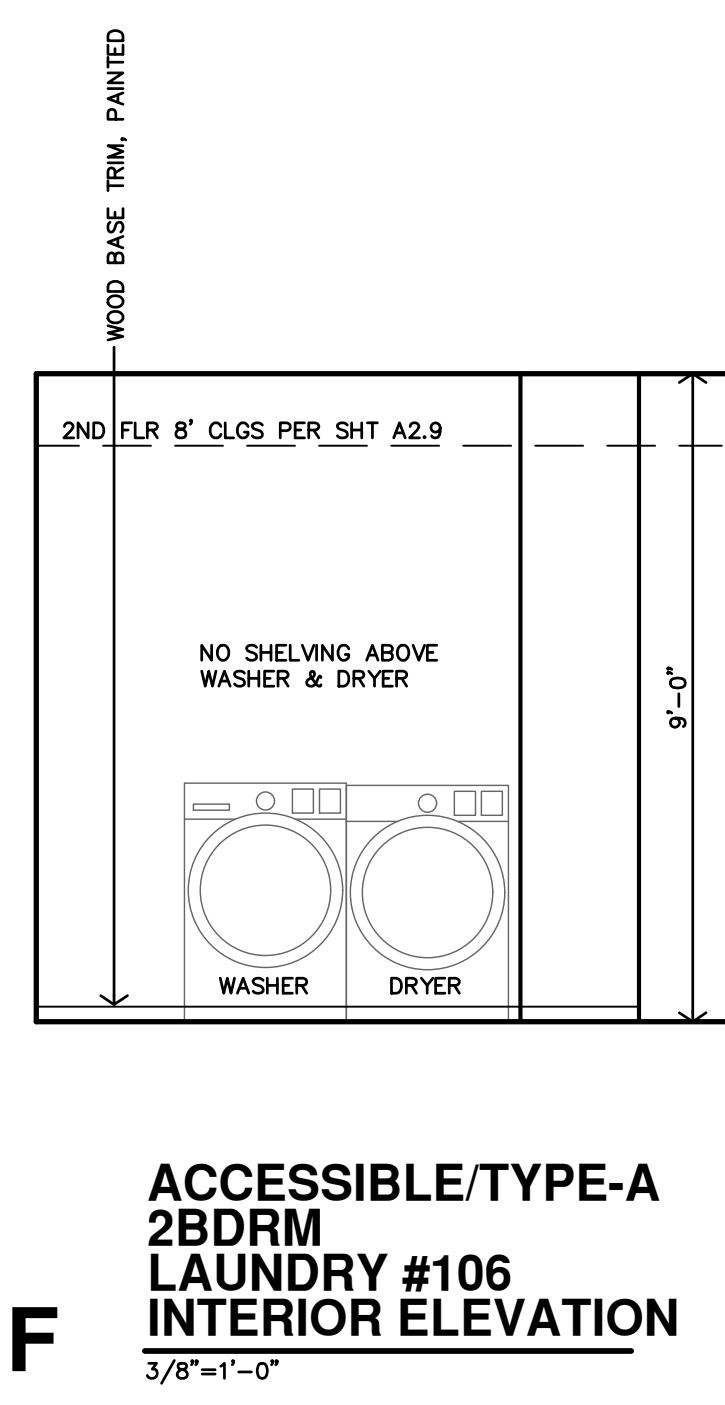
C ACCESSIBLE/TYPE-A 2BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



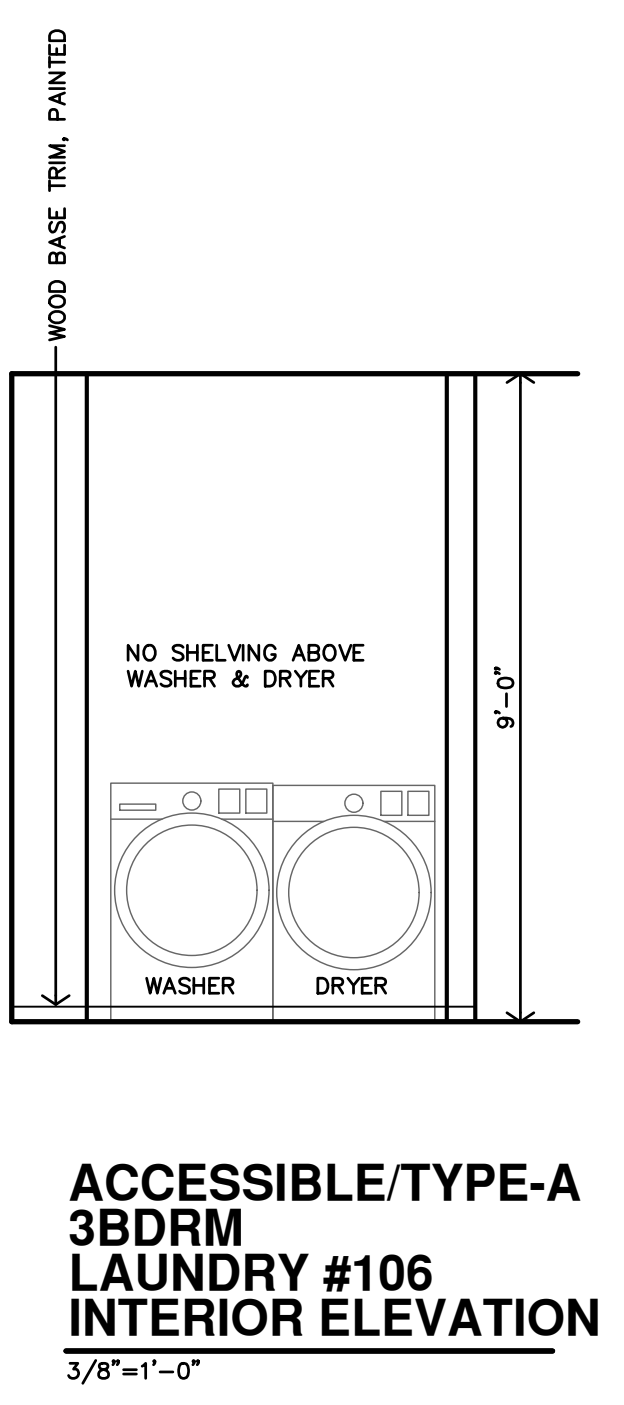
D TYPE-A 2BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



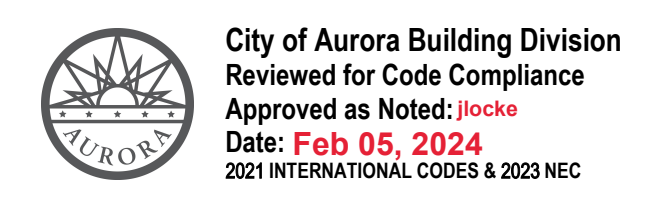
E ACCESSIBLE/TYPE-A 2BDRM MASTER BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



F ACCESSIBLE/TYPE-A 2BDRM LAUNDRY #106 INTERIOR ELEVATION
3/8"=1'-0"



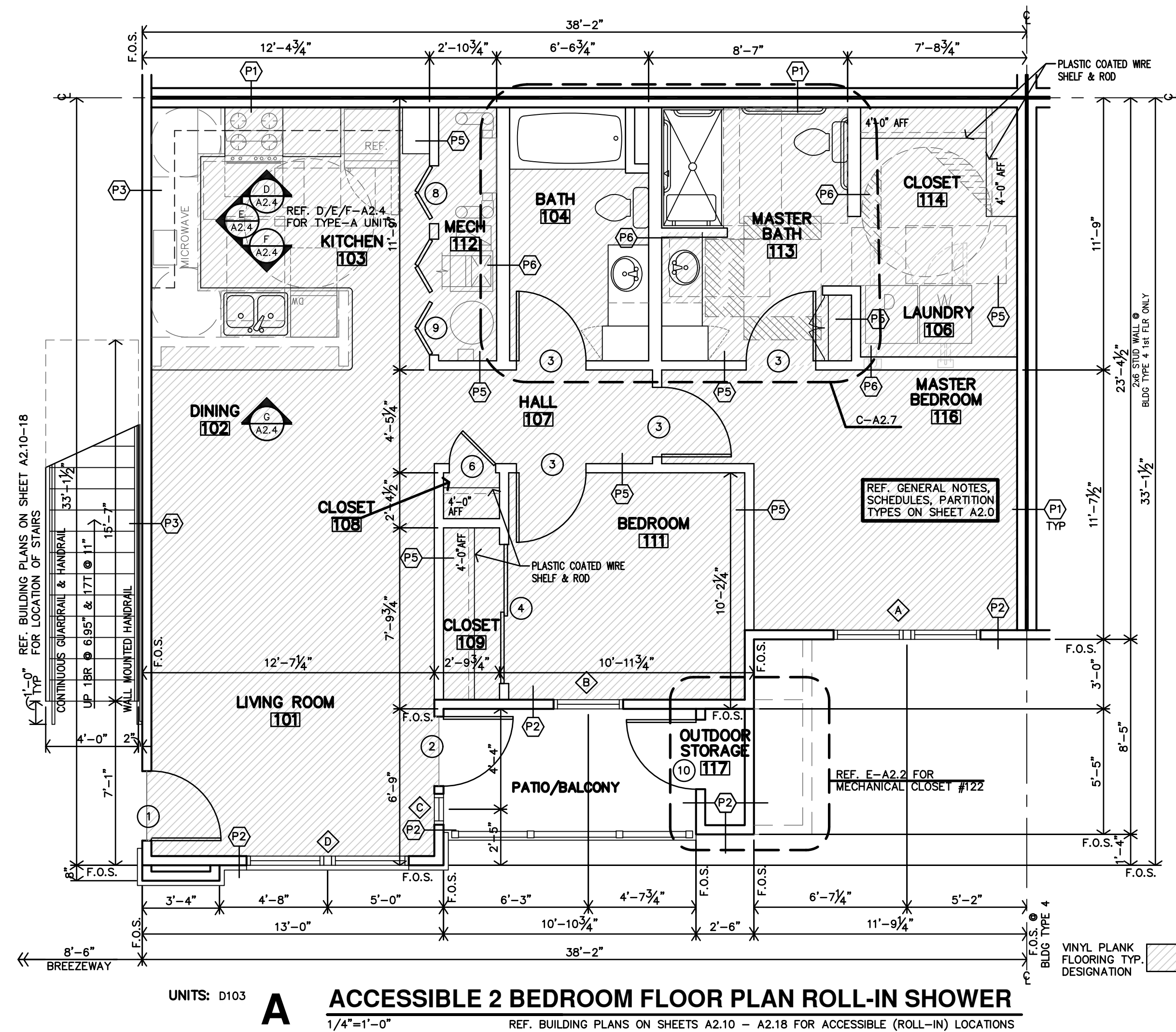
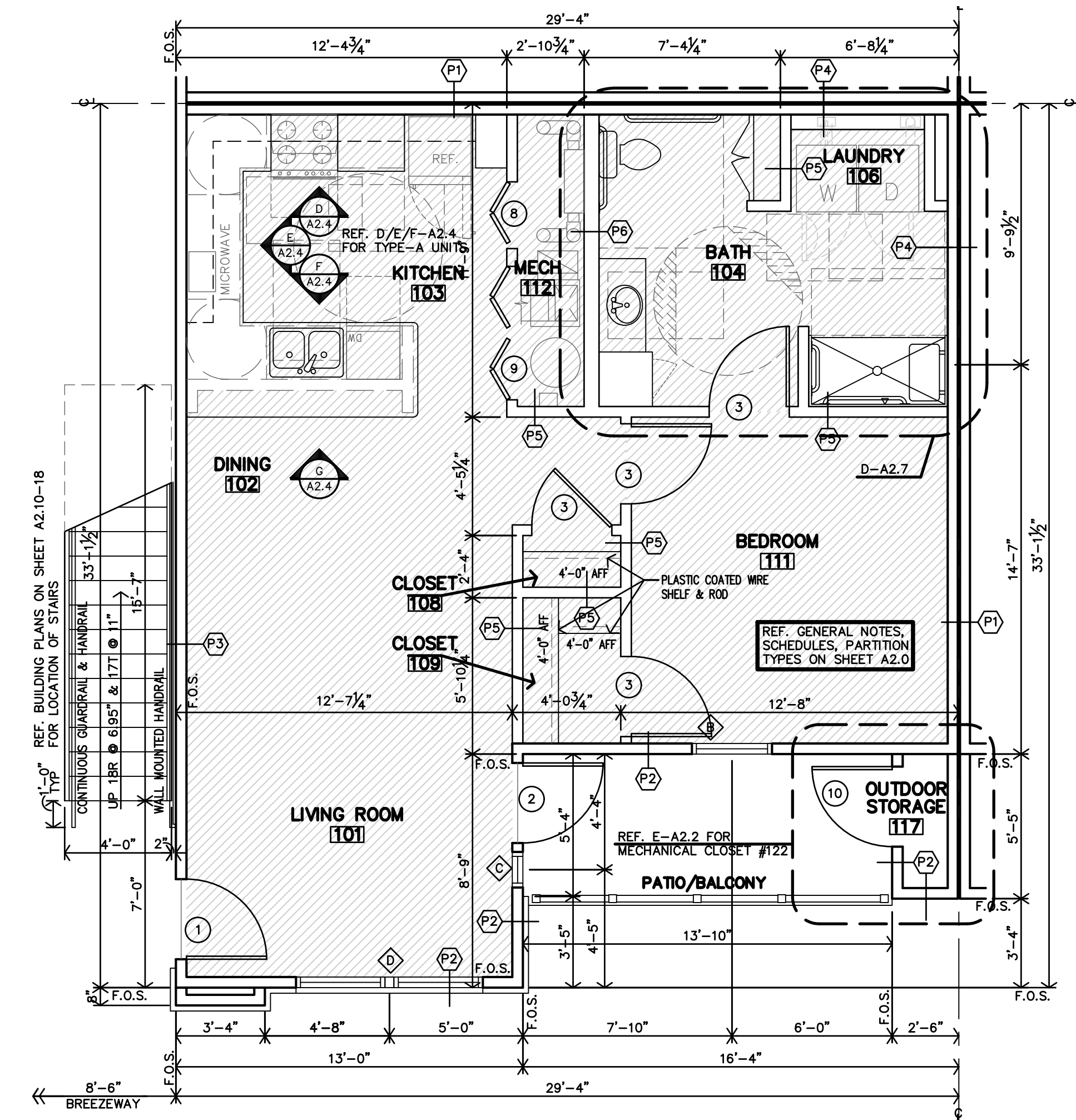
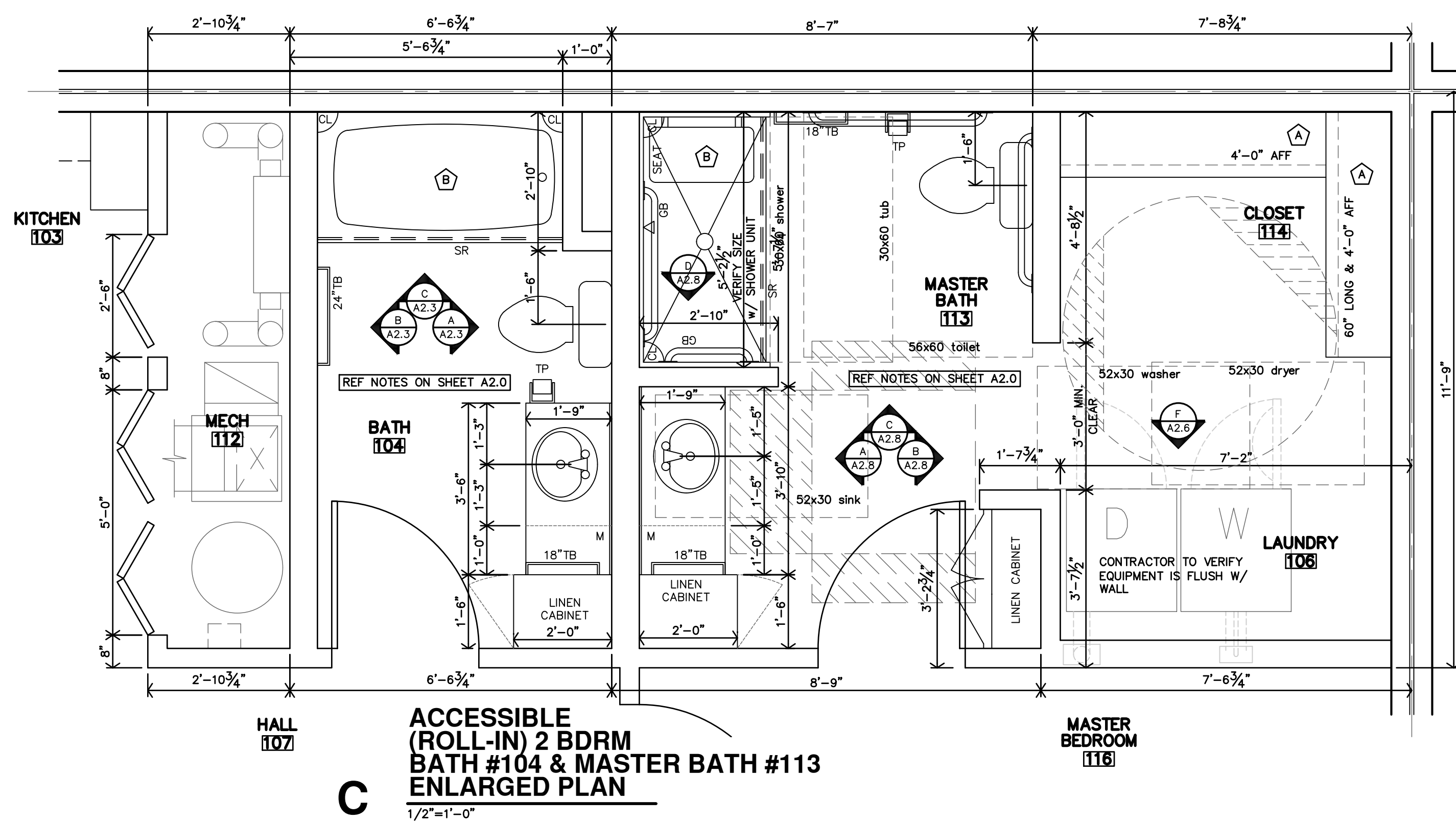
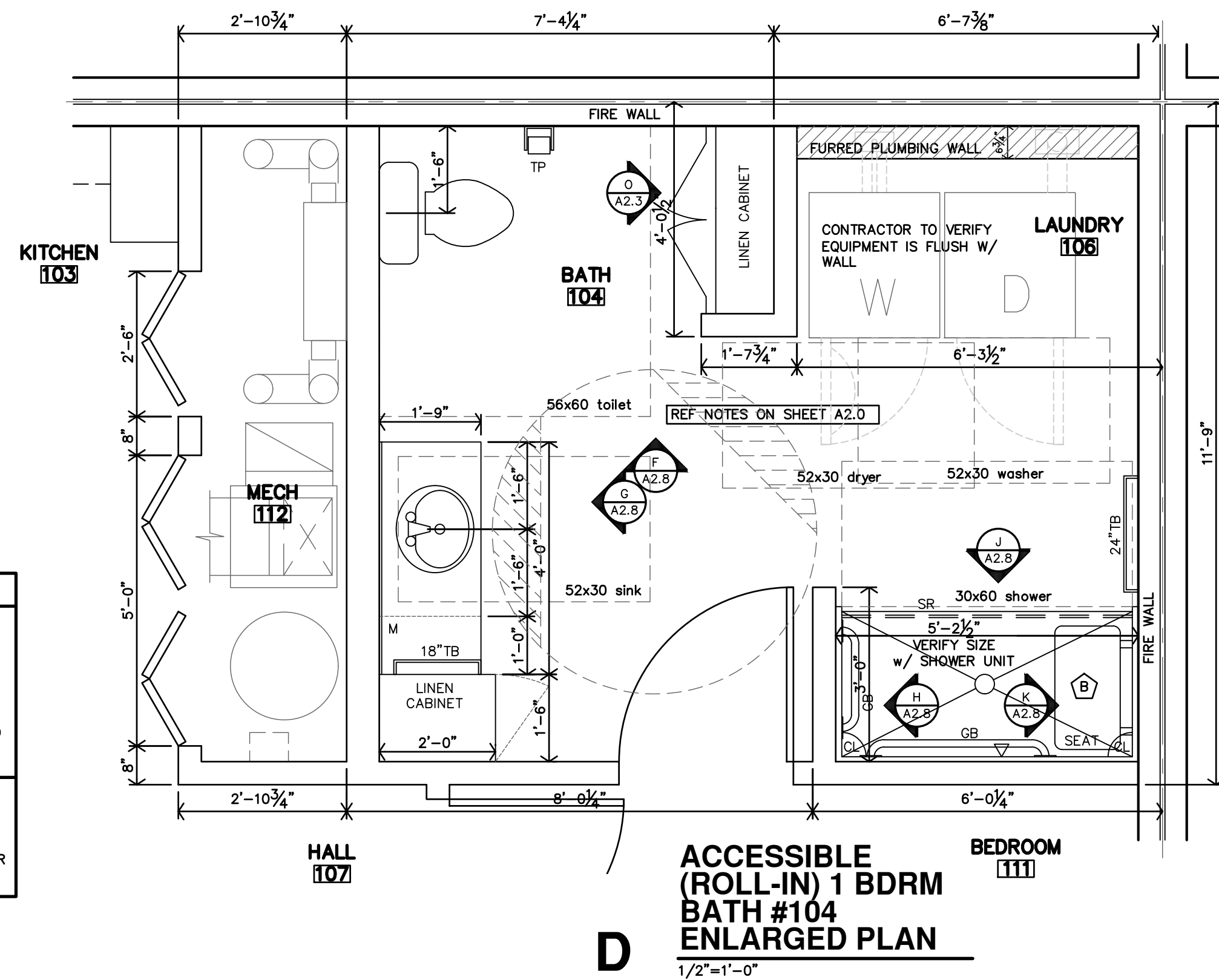
G ACCESSIBLE/TYPE-A 3BDRM LAUNDRY #106 INTERIOR ELEVATION
3/8"=1'-0"





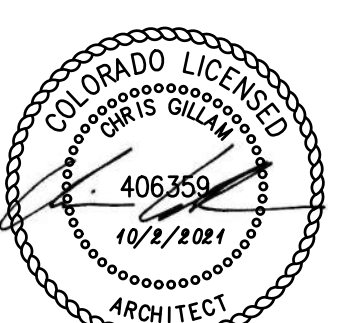
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: **locks**
Date: **Feb 05, 2024**
2021 INTERNATIONAL CODES & 2023 NEC

ENLARGED BATH NOTES	
1. REF UNIT GENERAL NOTES FOR ADDITIONAL DIRECTION ON SHEET A2.0.	
2. ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.	
3. CONTRACTOR TO INSTALL 2x6 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, GRABS BARS & SHOWER SEAT, ETC. AS REQ'D. (REF. SHEET A2.0)	
4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER ALWAYS WHEN FACING UNITS. THIS NEEDS TO BE COORDINATED ON SITE. ACCESSIBLE UNITS MUST HAVE WASHER & DRYER 27" wide X 30" deep MIN.	
LEGEND	BATH KEYNOTES:
M MIRROR	A PLASTIC COATED WIRE CLOTHES SHELF & ROD. HEIGHT AS CALLED OUT ON PLAN.
TP TOILET PAPER DISPENSER	B VERIFY SIZE W/ FIBERGLASS ROLL-IN SHOWER UNIT or TUB/SHOWER COMBINATION UNIT
TB TOWEL BAR	
CL CORNER LEDGE	
SR SHOWER ROD	



JGR
JonesGillamRenz
1881 Main Street, Suite 307
Kansas City, MO 64108
jgr@jgarchitects.com

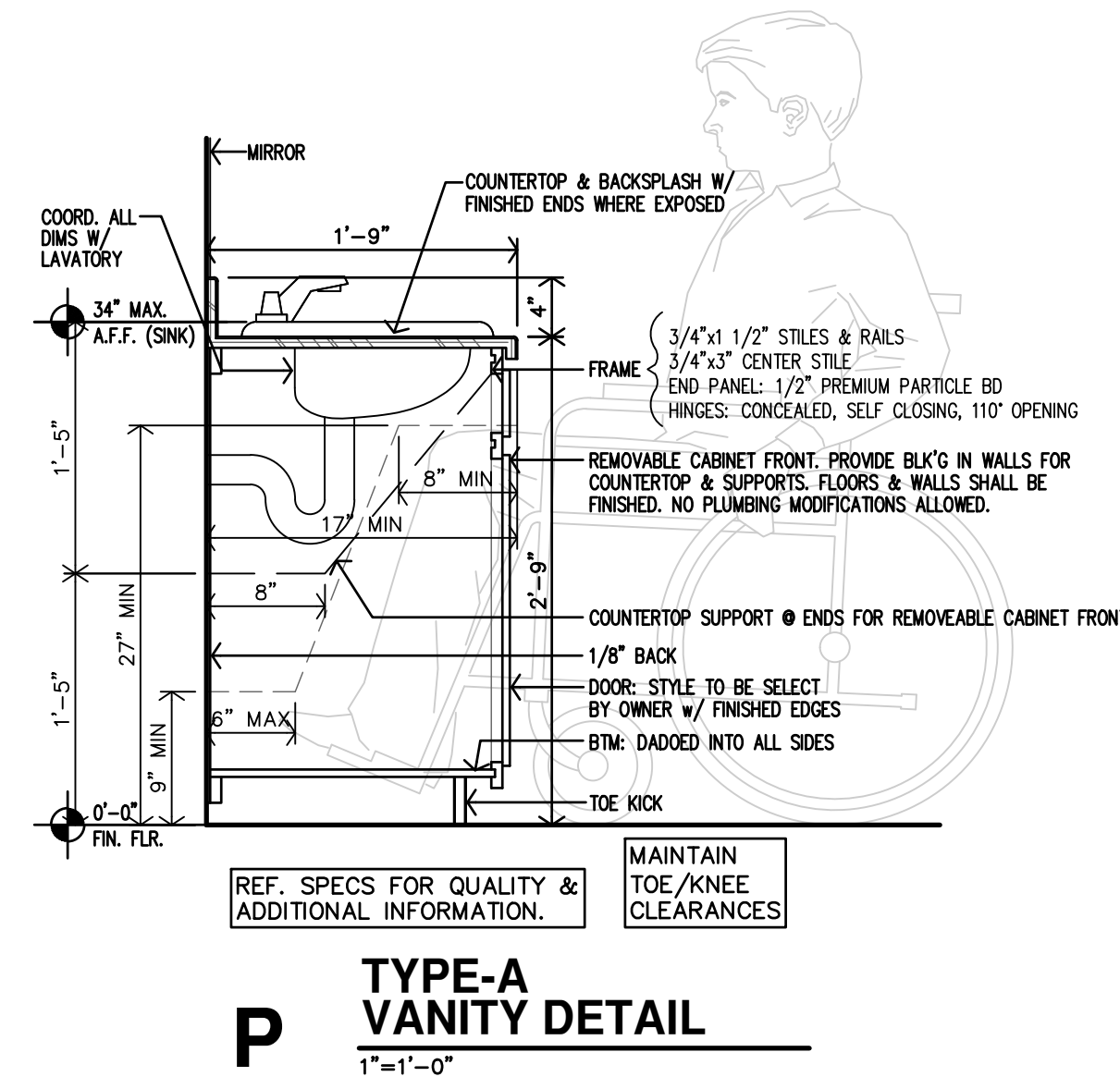
THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD
AURORA,
COLORADO



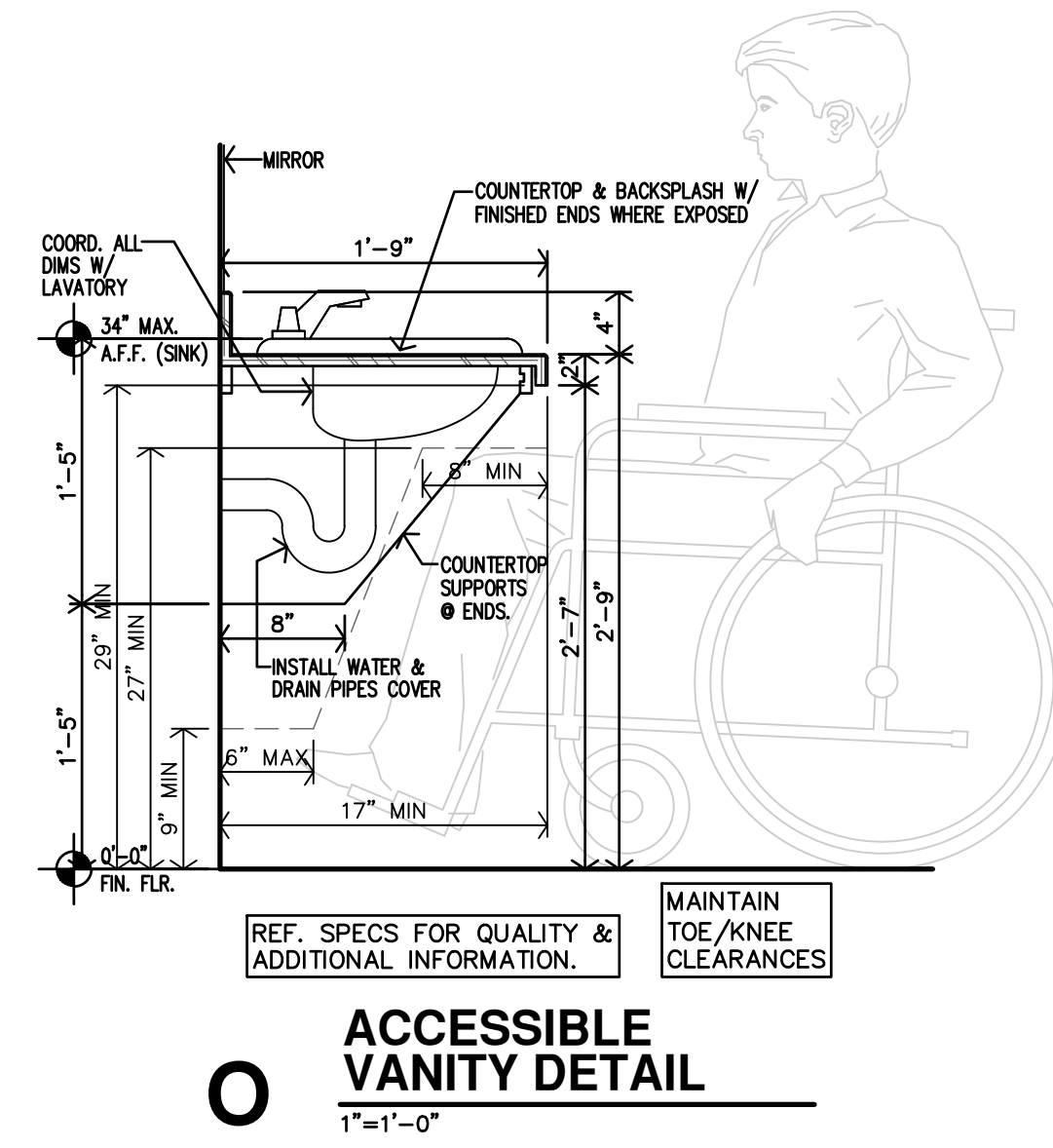
REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

A2.7

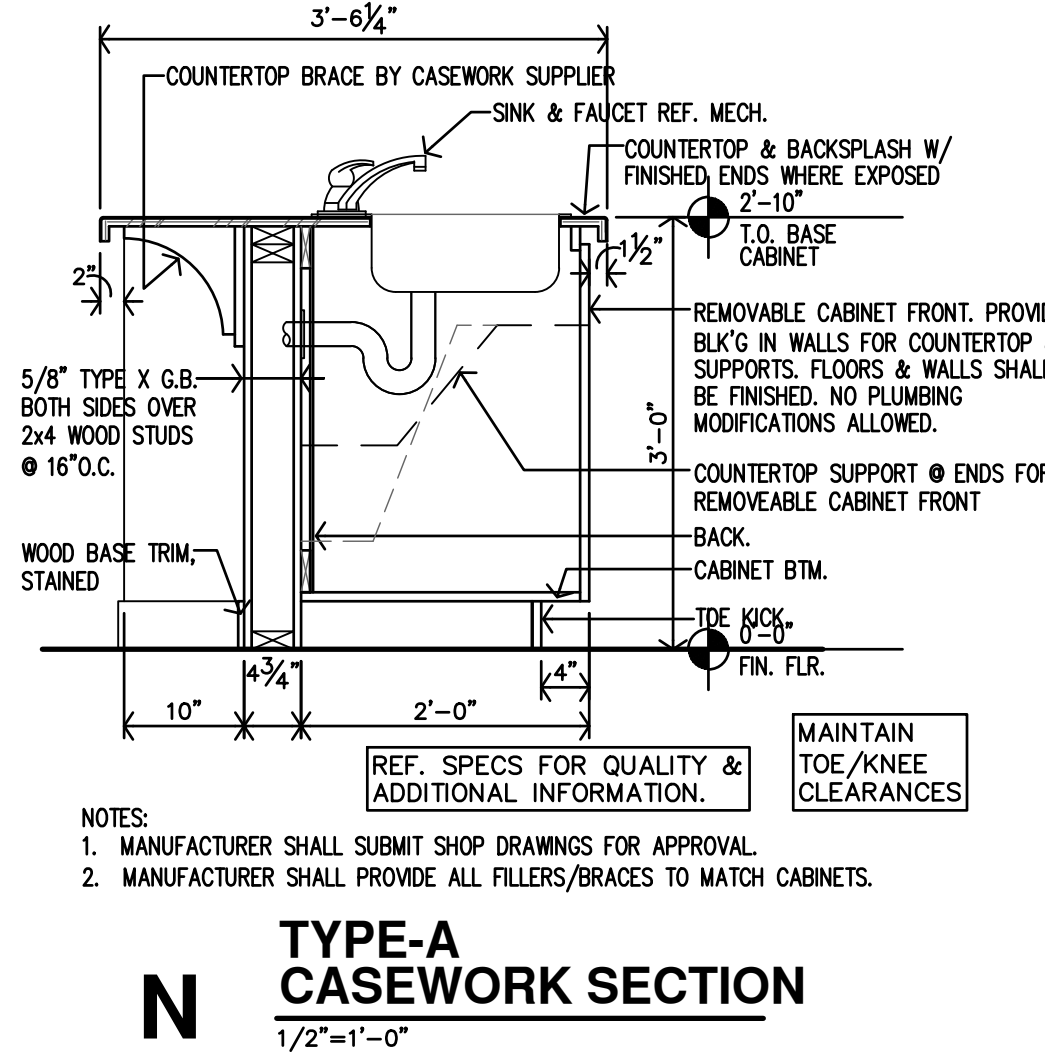
COPYRIGHTED ©



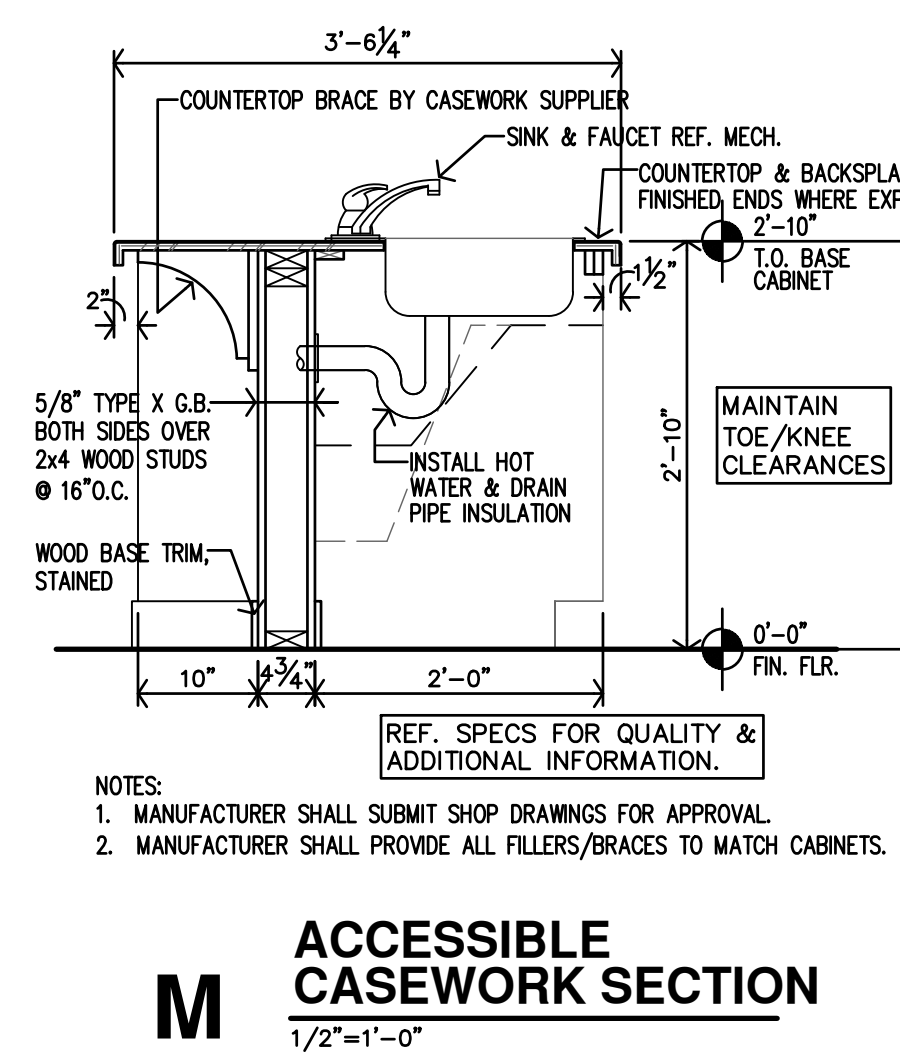
P TYPE-A VANITY DETAIL
1/2"=1'-0"



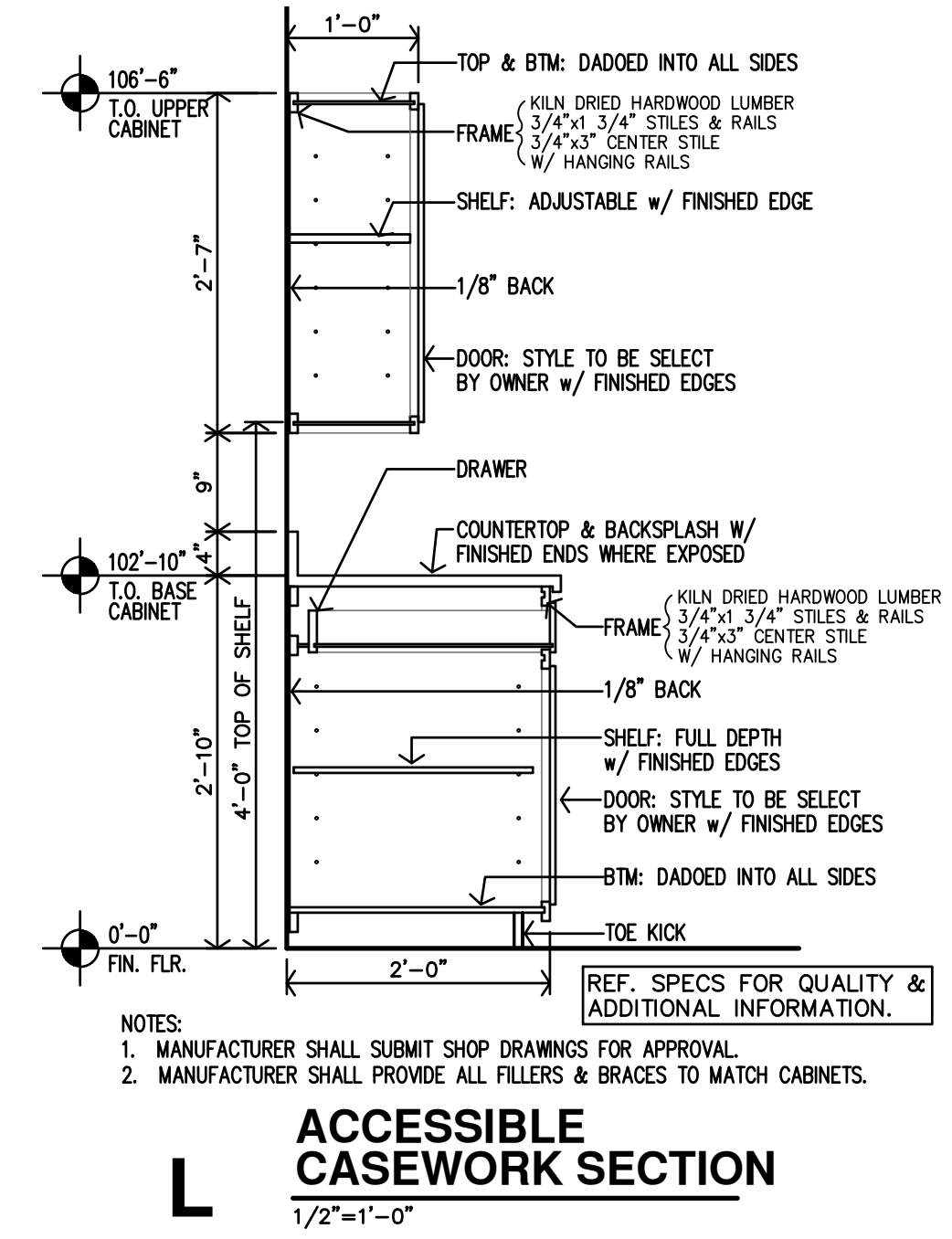
O ACCESSIBLE VANITY DETAIL
1/2"=1'-0"



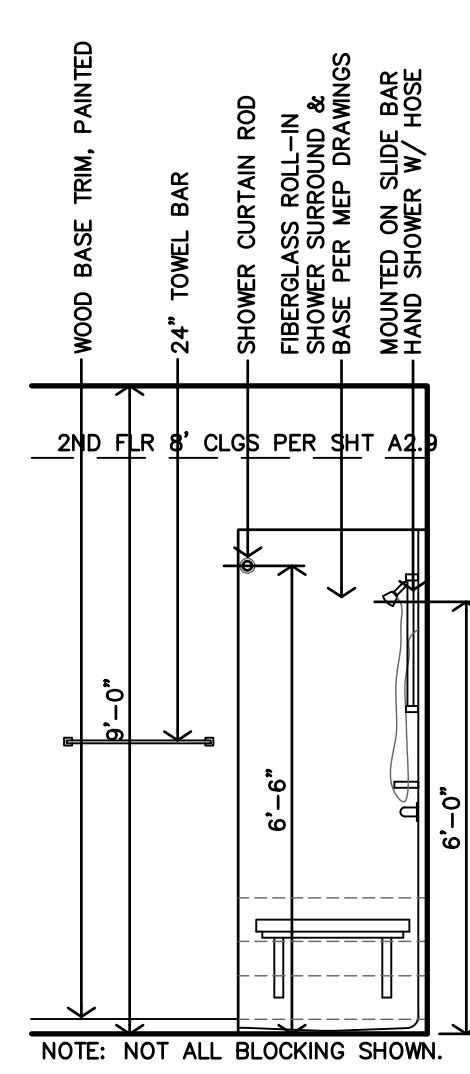
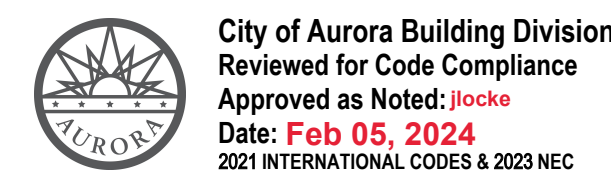
N TYPE-A CASEWORK SECTION
1/2"=1'-0"



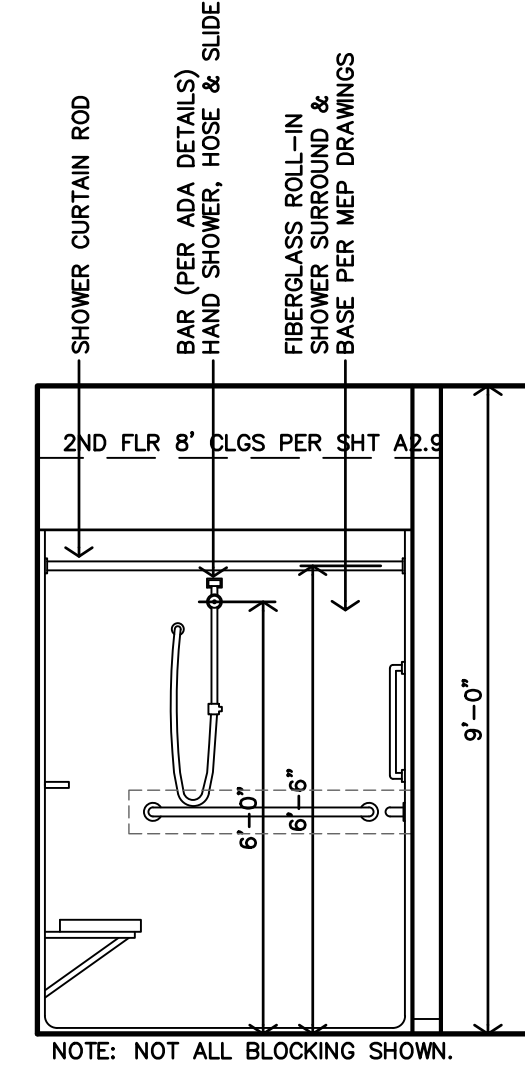
M ACCESSIBLE CASEWORK SECTION
1/2"=1'-0"



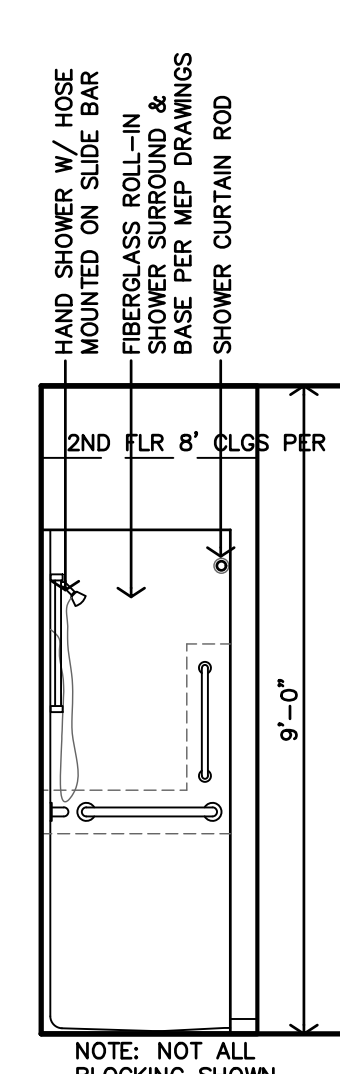
L ACCESSIBLE CASEWORK SECTION
1/2"=1'-0"



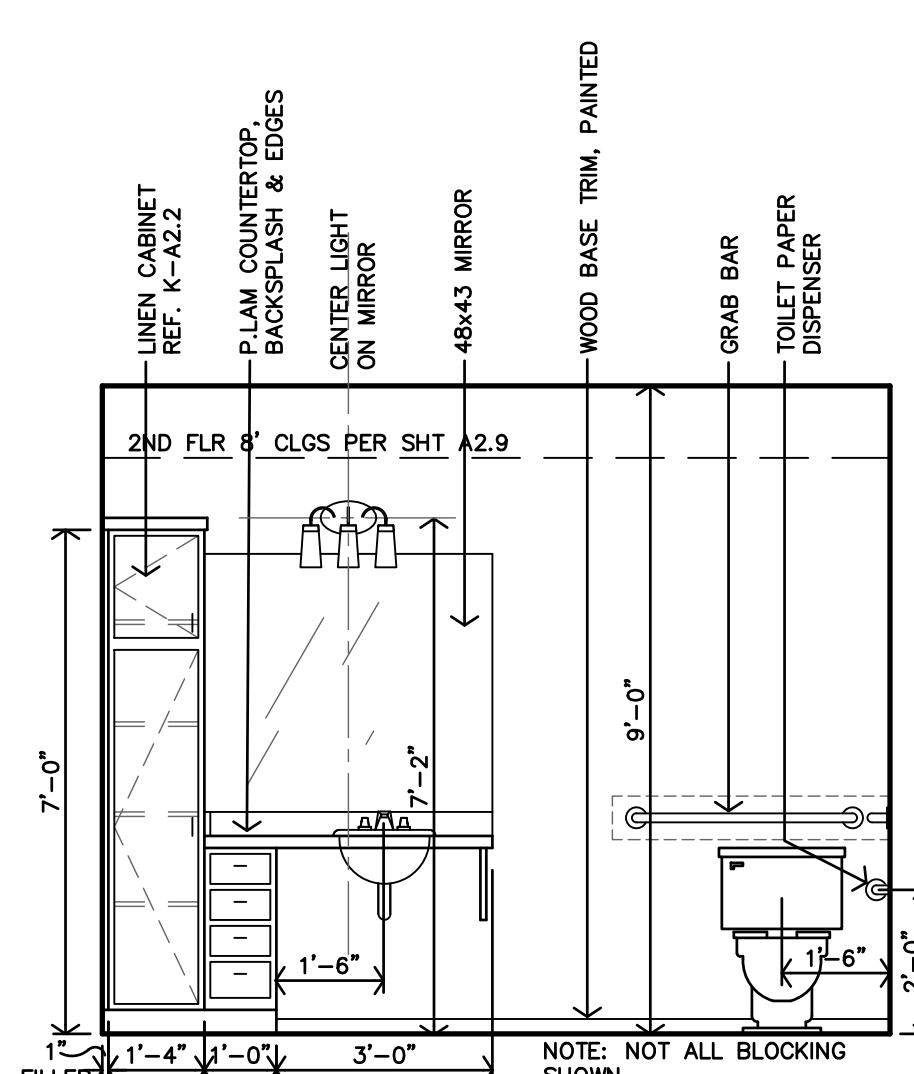
K ACCESSIBLE (ROLL-IN) 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



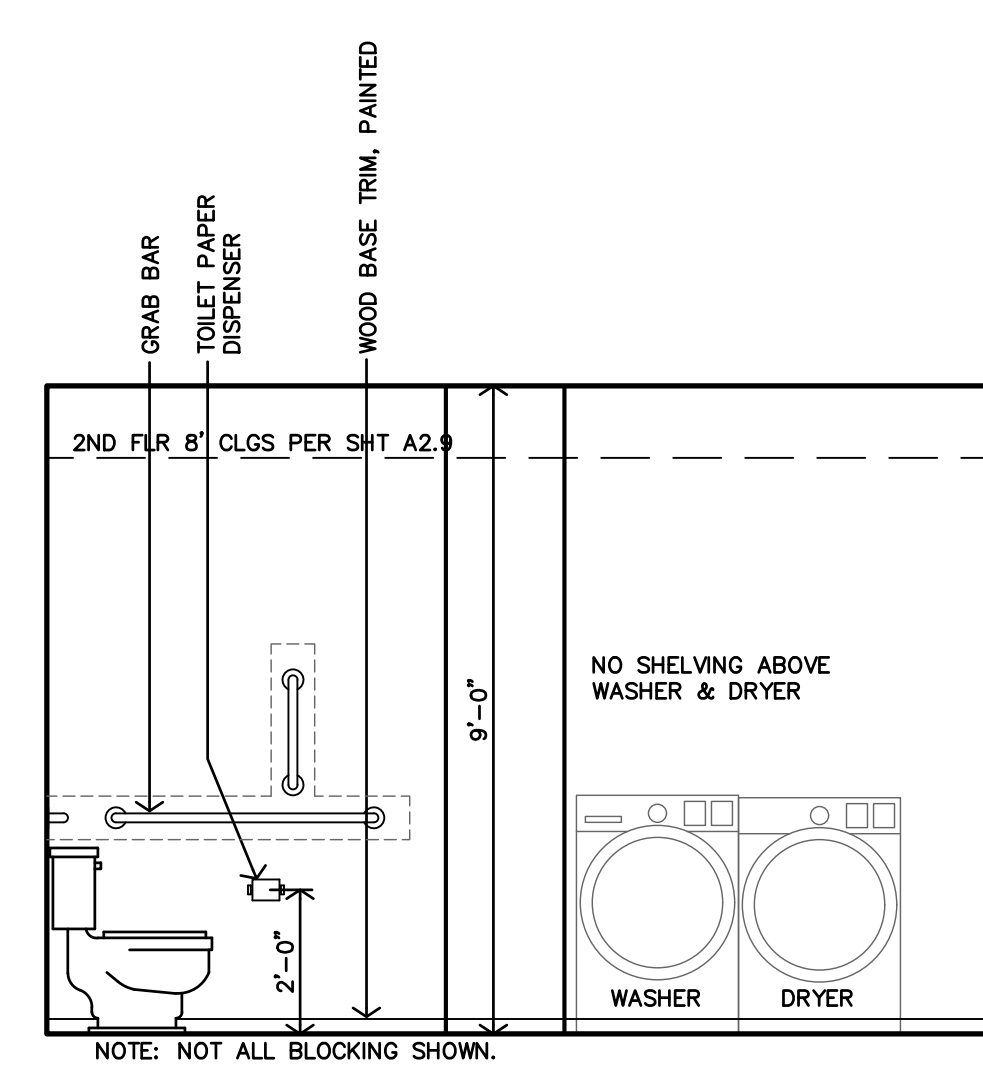
J ACCESSIBLE (ROLL-IN) 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



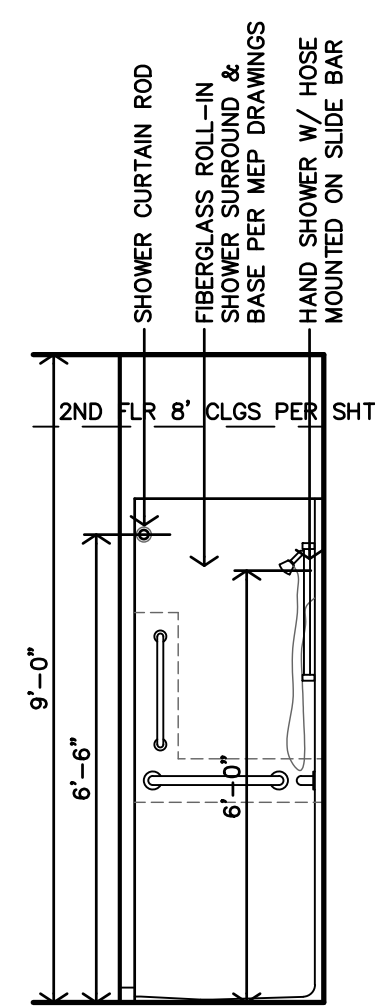
H ACCESSIBLE (ROLL-IN) 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



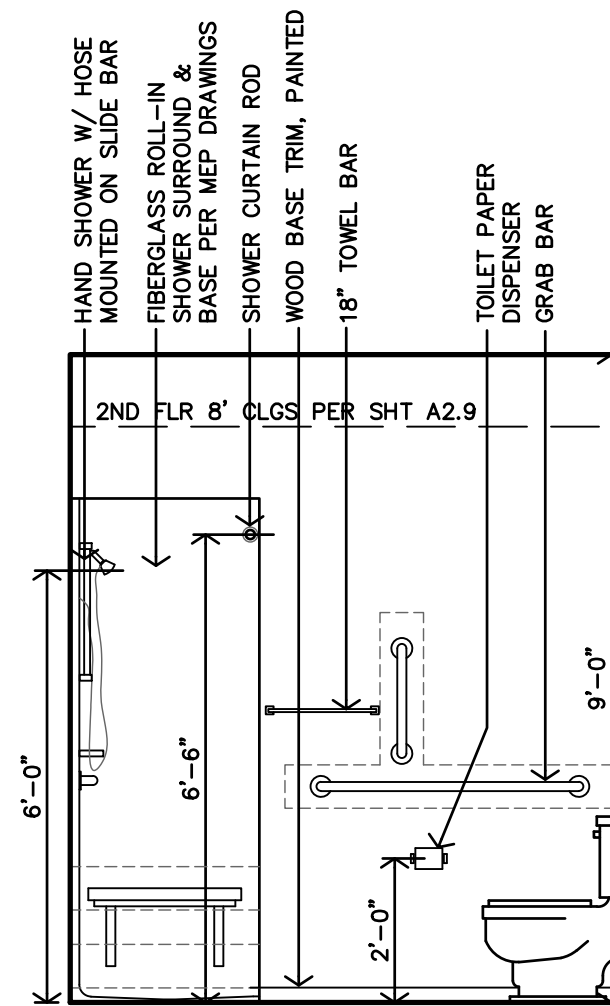
G ACCESSIBLE (ROLL-IN) 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



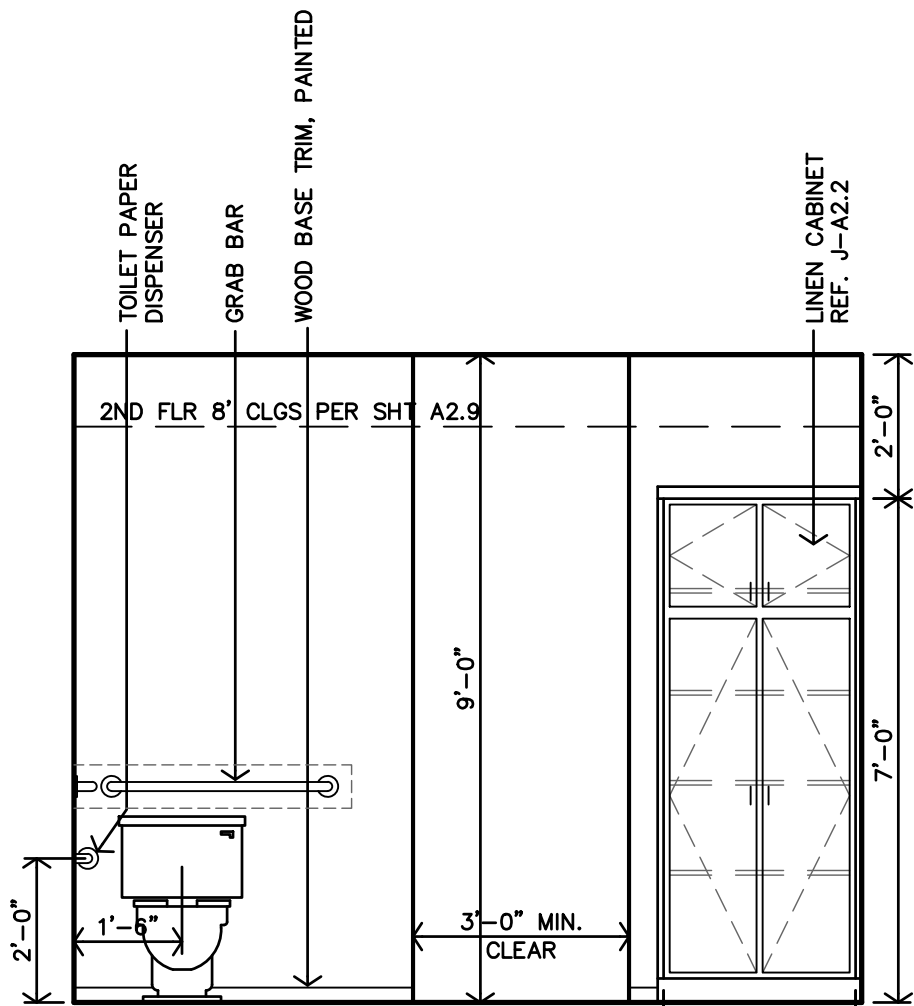
F ACCESSIBLE (ROLL-IN) 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



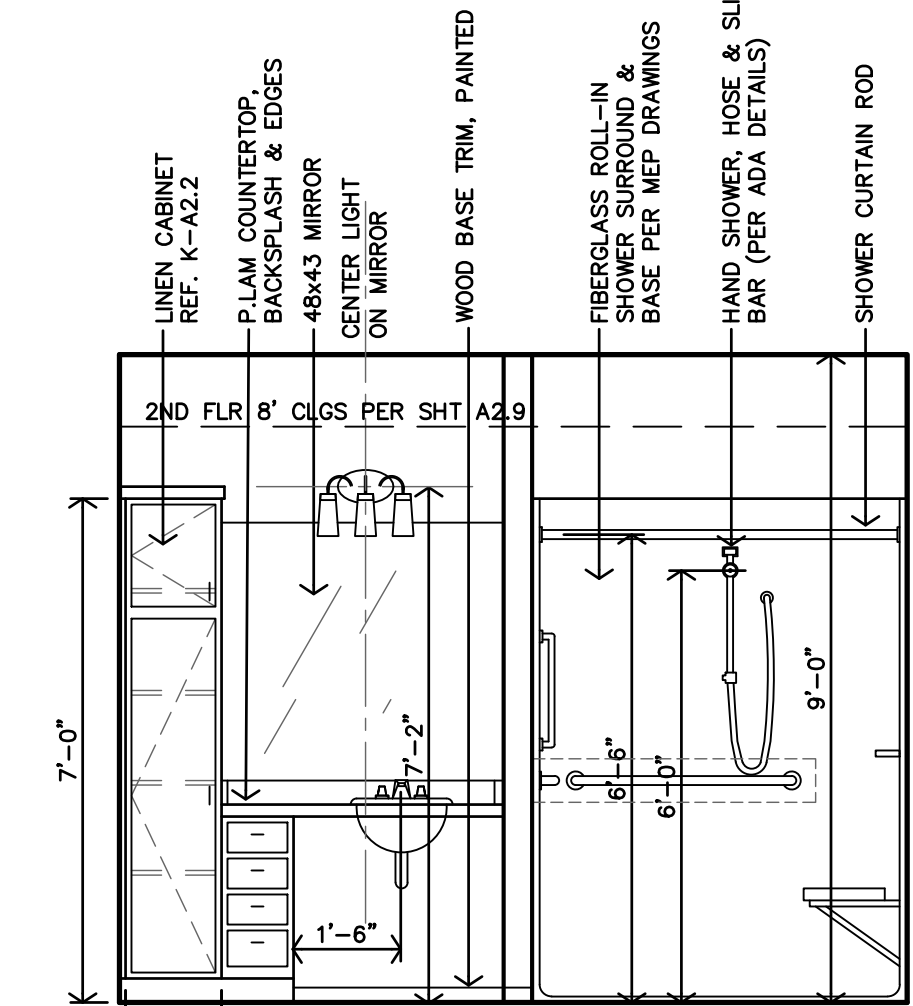
E NOT USED



D ACCESSIBLE (ROLL-IN) 2BDRM BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



C ACCESSIBLE (ROLL-IN) 2BDRM BATH #113 INTERIOR ELEVATION
3/8"=1'-0"

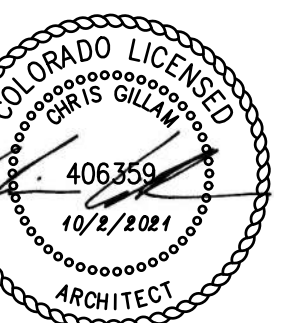


B ACCESSIBLE (ROLL-IN) 2BDRM BATH #113 INTERIOR ELEVATION
3/8"=1'-0"

ACCESSIBLE (ROLL-IN) APARTMENTS

JGR JonesGillamRenz
730 N. Ninth
Salina, KS 67401
785.827.0386
jgr@jgarchitects.com

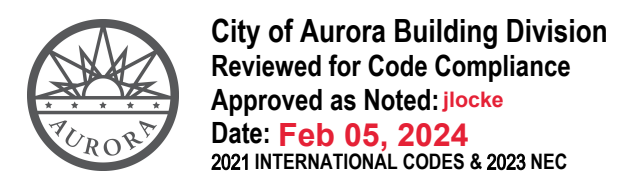
THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD
AURORA, COLORADO



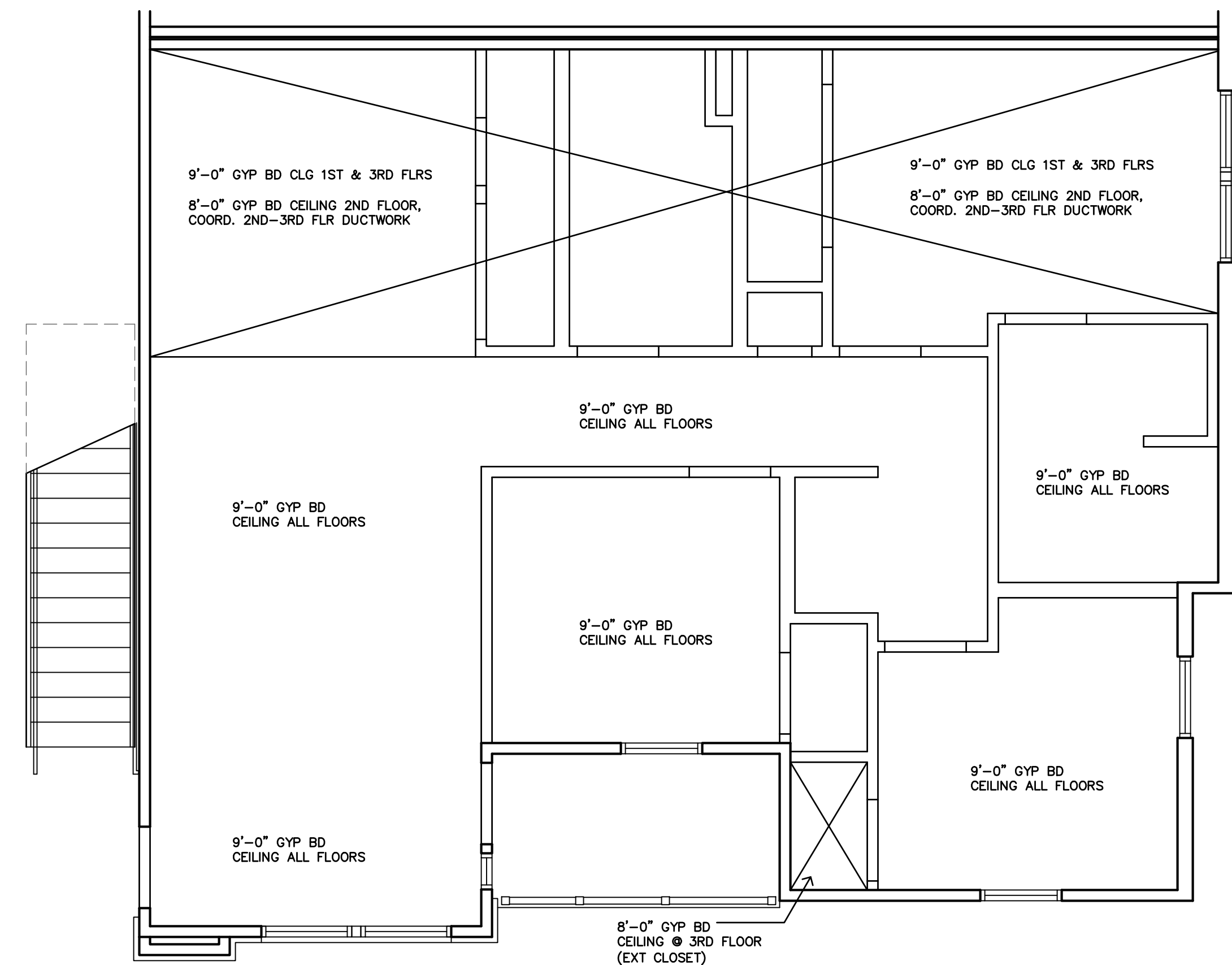
REVISION:

DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

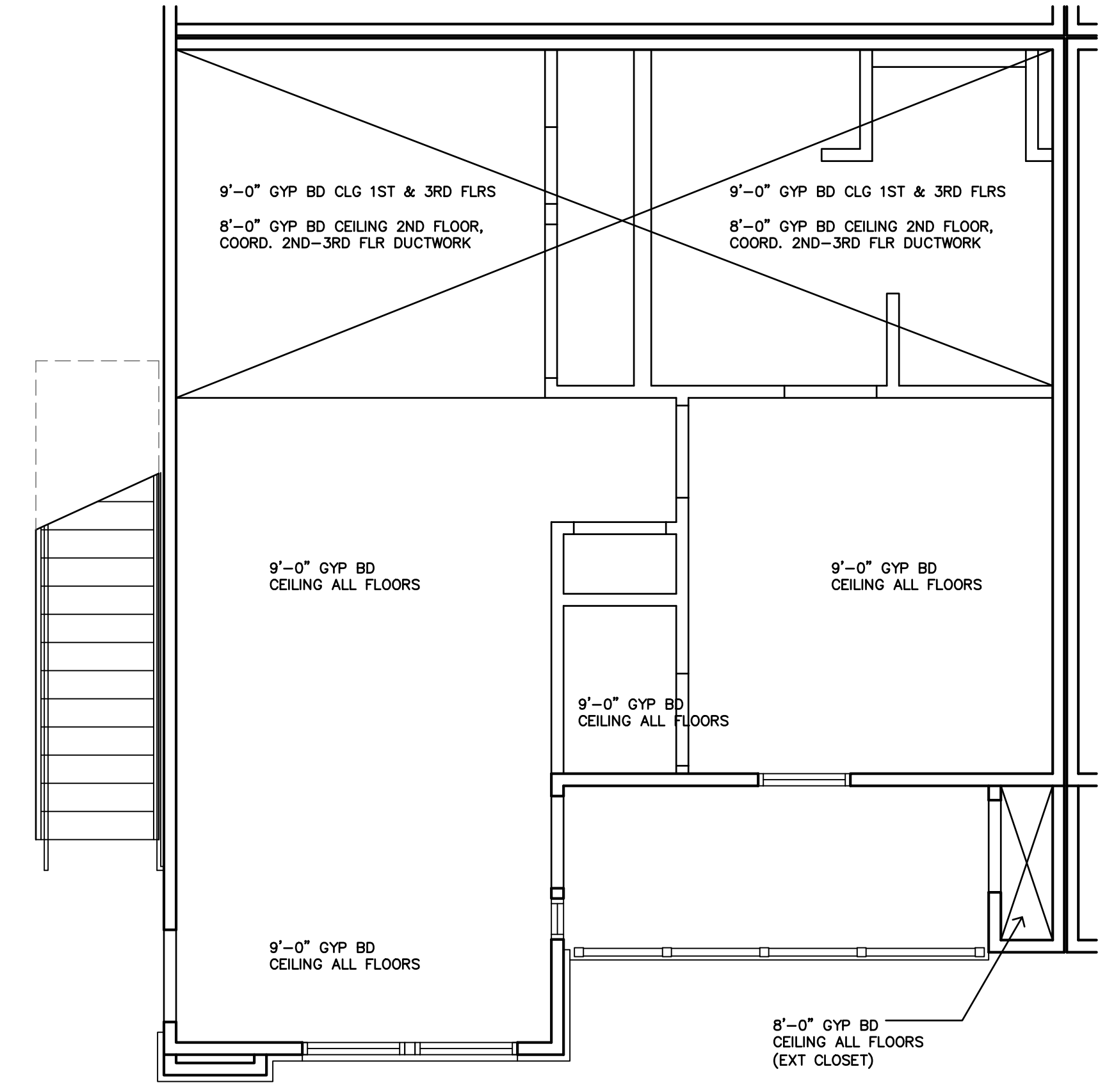
A2.8



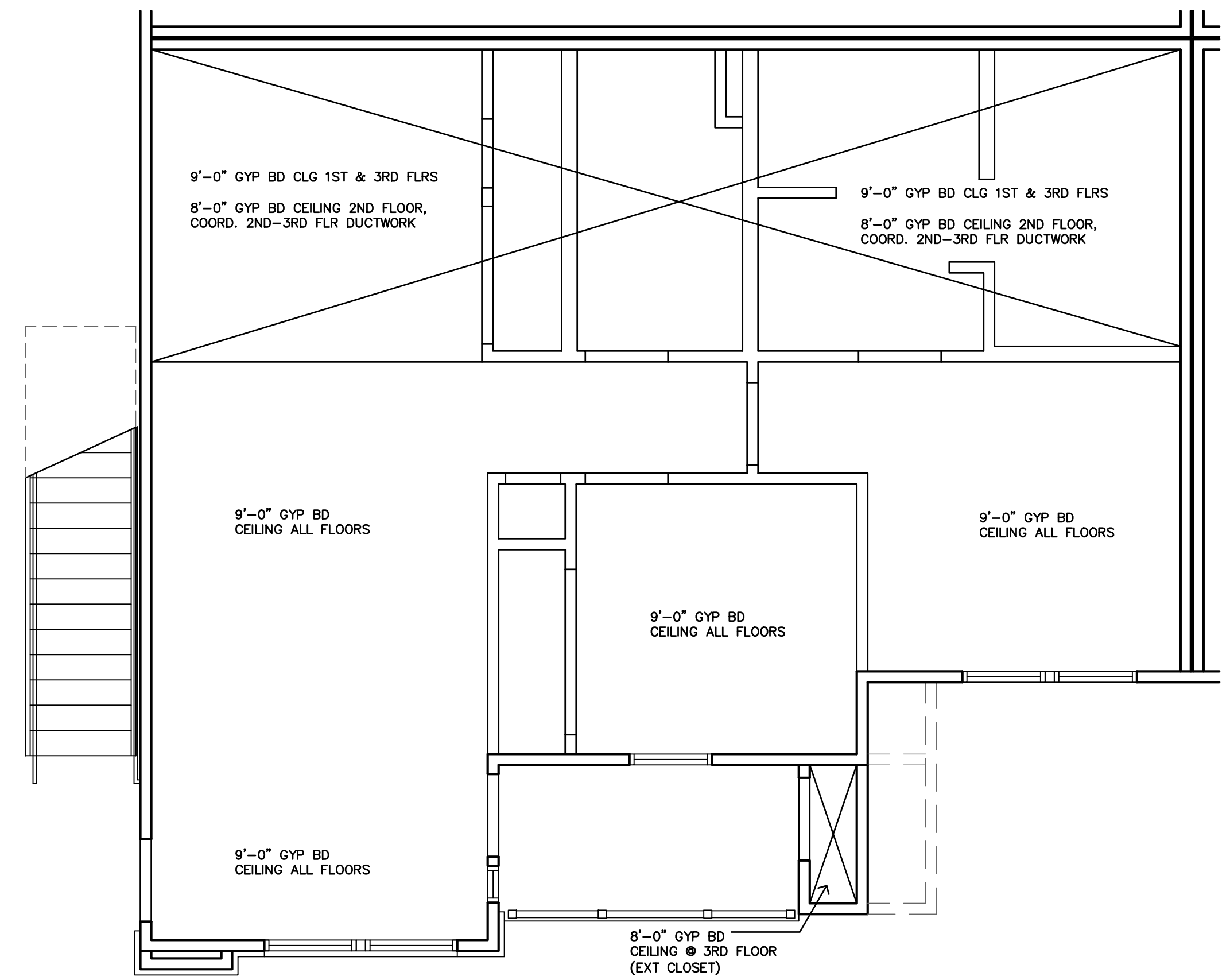
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: jlocke
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC



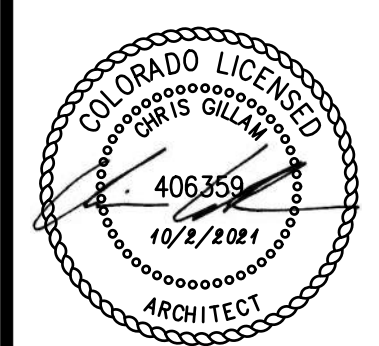
B 3 BEDROOM CEILING PLAN TYPICAL ALL UNITS
1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR STANDARD & TYPE-B LOCATIONS



C 1 BEDROOM CEILING PLAN TYPICAL ALL UNITS
1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR STANDARD & TYPE-B LOCATIONS

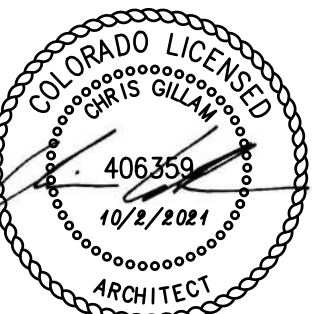


A 2 BEDROOM CEILING PLAN TYPICAL ALL UNITS
1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR STANDARD & TYPE-B LOCATIONS



REVISION:

DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	



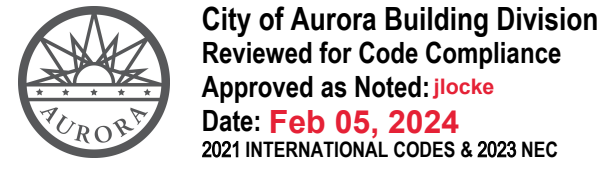
REVISION:

DATE: 10-2-2023

JOB: 22-3219

SHEET NO.:

A2.10



City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: jockie
 Date: Feb 05, 2024
 2021 INTERNATIONAL CODES & 2023 NEC

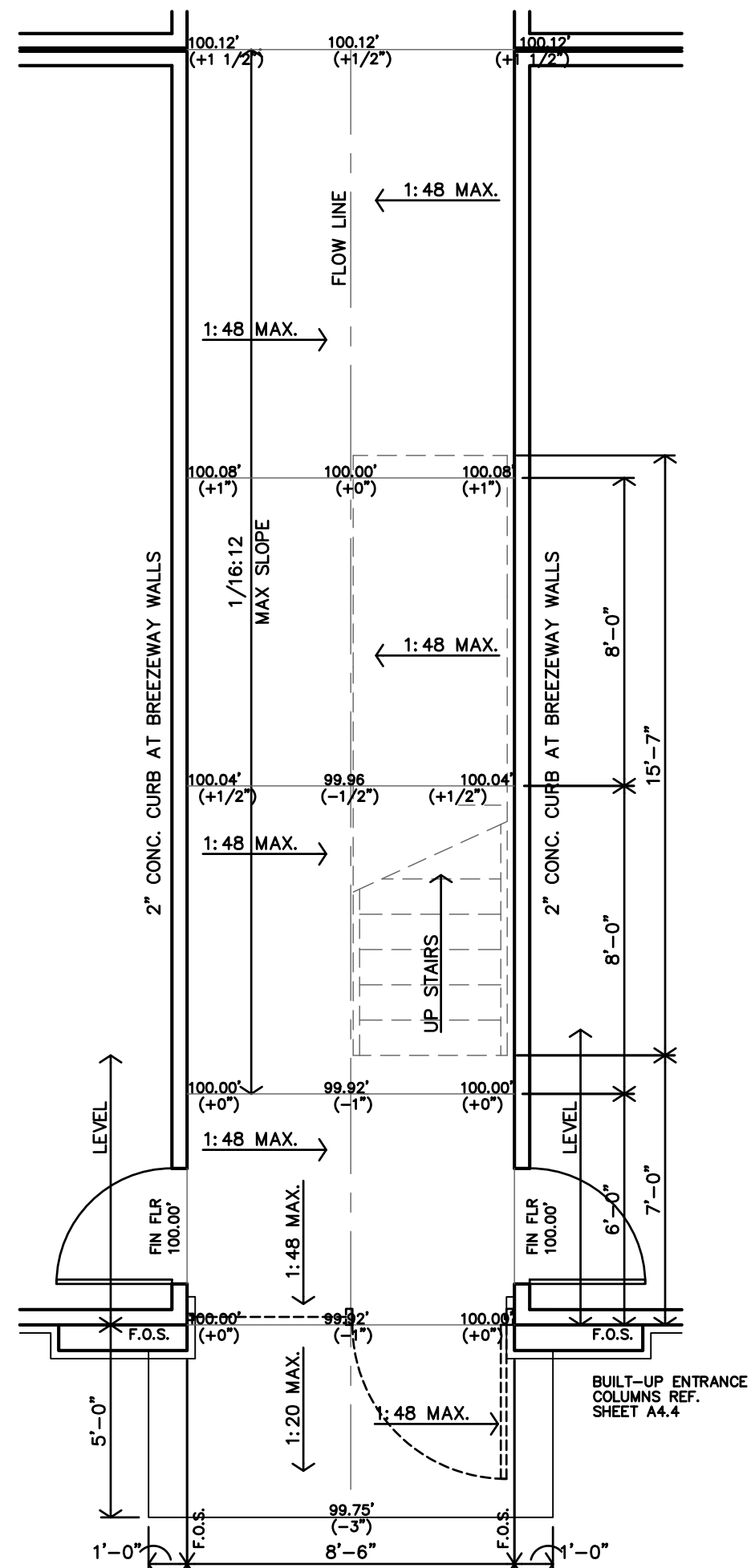
APARTMENT BUILDING TYPE 1 SUMMARY

	HEATED SF PER FLOOR	UN-HTD SF			GROSS SF PER BUILDING
		EXT. STOR.	PATIO/BALCONY	BREEZEWAY	
FIRST FLOOR	9,133 sf	52sf	532sf	1,126sf	10,843 sf
SECOND FLOOR	9,160 sf	52sf	484sf	1,126sf	10,822 sf
THIRD FLOOR	9,160 sf	52sf	484sf	1,126sf	10,822 sf
TOTAL	27,357 sf		5,034 sf		32,487 sf

APARTMENT BUILDING TYPE 4 SUMMARY

	HEATED SF PER FLOOR	UN-HTD SF			GROSS SF PER BUILDING
		EXT. STOR.	PATIO/BALCONY	BREEZEWAY	
FIRST FLOOR	7,581 sf	106sf	556sf	1,126sf	9,369 sf
SECOND FLOOR	7,585 sf	104sf	556sf	1,126sf	9,371 sf
THIRD FLOOR	7,585 sf	104sf	556sf	1,126sf	9,371 sf
TOTAL	22,751 sf		5,360 sf		28,111 sf

GENERAL NOTES	KEY NOTES
1. REF. SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDINGS.	1. FIRE LINE IN INSULATED BULKHEAD ADD'L WATER LINES TO BE UNDERGROUND REF. MECH DWGS & SHEET A6.1. COORDINATE LOCATION OF BULKHEAD
2. REF. SHEET A1.1 FOR LOCATION OF ACCESSIBLE UNITS W/ REMOVABLE STUB SEATS, TYPE-A ACCESSIBLE UNITS, HEARING/VISION IMPAIRED UNIT, TYPE-A AND TYPE-B UNITS.	2. MECH. CLOSET 1st FLOOR ONLY. REF. SITE PLAN & MECH DWGS. FULLY INSULATE WALLS & CEILING.
3. F.O.S. = FACE OF STUD	3. RADON PIPE THROUGH ROOF REF. B-A4.13 & MECH DWGS
4. REF STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.	4. KNOX BOX REF. SHEET A1.1 FOR LOCATION
5. TYPICAL GROUND FLOOR FINISH FLOOR ELEVATION IS REFERENCED AS 100'-0". CONTRACTOR SHALL VERIFY BUILDING ELEVATION WITH SITE CIVIL DRAWINGS.	5. ELECTRICAL METERS, REF. ELECT. DWGS
6. CONTRACTOR SHALL PROVIDE FIREBLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.	6. HEAT PUMP DISCONNECT SWITCHES, REF. MECH/ELECT DWGS
7. CONTRACTOR TO PROVIDE & INSTALL FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C. VERT. & HORIZ. TYP. & AT ALL BACK TO BACK ELECTRICAL OUTLETS PER 2021 IBC, SECTION 718.2.	7. CONDENSING UNITS, REF. ELECT. DWGS
8. CONTRACTOR TO PROVIDE & INSTALL ATTIC DRAFTSTOPS PER 2021 IBC, SECTION 718.4. REF. ROOF PLANS FOR LOCATIONS.	8. SINGLE WINDOW AS REQUIRED. REF. MECH/ELECT. DWGS
9. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE WITH NFPA 10 & 2021 IBC, SECTION 906. LOCATED PER CFP SHEET.	
10. ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED U.L. DESIGNS. REFERENCE SHEET A4.7 FOR FIRE PENETRATION ASSEMBLIES	



B BREEZEWAY SLOPES
 1/4"=1'-0"

A DOOR TYPES
 1/4"=1'-0"

BUILDING FINISH SCHEDULE										
FINISHES & INSTRUCTIONS										
P1 - LATEX ENAMEL					EP - EXTERIOR PAINT					
NO.	DESCRIPTION	FLOOR	BASE	N. WALL	E. WALL	S. WALL	W. WALL	CLG	HGT.	
FIRST FLOOR										
121	BREEZEWAY		SEALD CONC.							
122	MECHANICAL CLOSET		NONE	EP	EP	EP	EP	EP	EP	±9'-0"
123	BREEZEWAY		COMPOSITE TRIM/SIDING	P1	P1	P1	P1	P1	P1	±9'-0"
SECOND FLOOR										
201	BREEZEWAY		5/8" TYPE X G.B.	EP	EP	EP	EP	EP	EP	±9'-0"
202	BREEZEWAY		COMPOSITE TRIM/SIDING	EP	EP	EP	EP	EP	EP	±9'-0"
THIRD FLOOR										
301	BREEZEWAY		5/8" TYPE X G.B.	EP	EP	EP	EP	EP	EP	±9'-0"
302	BREEZEWAY		COMPOSITE TRIM/SIDING	EP	EP	EP	EP	EP	EP	±9'-0"

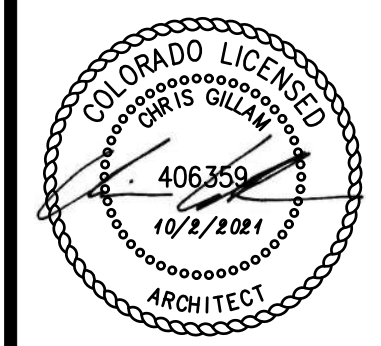
BUILDING DOOR SCHEDULE											
MARK	DOOR				FRAME				NOTES	LOCATION	
	SIZE	MATERIAL	TYPE	FINISH	MAT'L	FINISH					
	W	H	T	INSULATED PREFAB. MTL.	TYPE	PAINT PRE-PRIMED	MTL.	WOOD			PAINT PRE-PRIMED
11	3'-0"	6'-8"	1 3/4"		A					1.	MECH CLOSET #122
12	4'-0"	8'-4"			B					2.	BREEZEWAY ENTRY
13	4'-0"	8'-4"			B					2.	BREEZEWAY ENTRY
14	4'-0"	8'-4"			B					2.	BREEZEWAY ENTRY
15	4'-0"	8'-4"			B					2.	BREEZEWAY ENTRY

GENERAL NOTES:
 A. ALL DOOR HARDWARE TO BE LEVER TYPE LATCH SETS. PROVIDED & INSTALLED PER SPECIFICATIONS SEC. 8710B.

SPECIFIC NOTES:
 1. HEATHER STRIPPING TO BE INSTALLED.
 2. PROVIDE KEY CARD ACCESS (CONSULT OWNER)

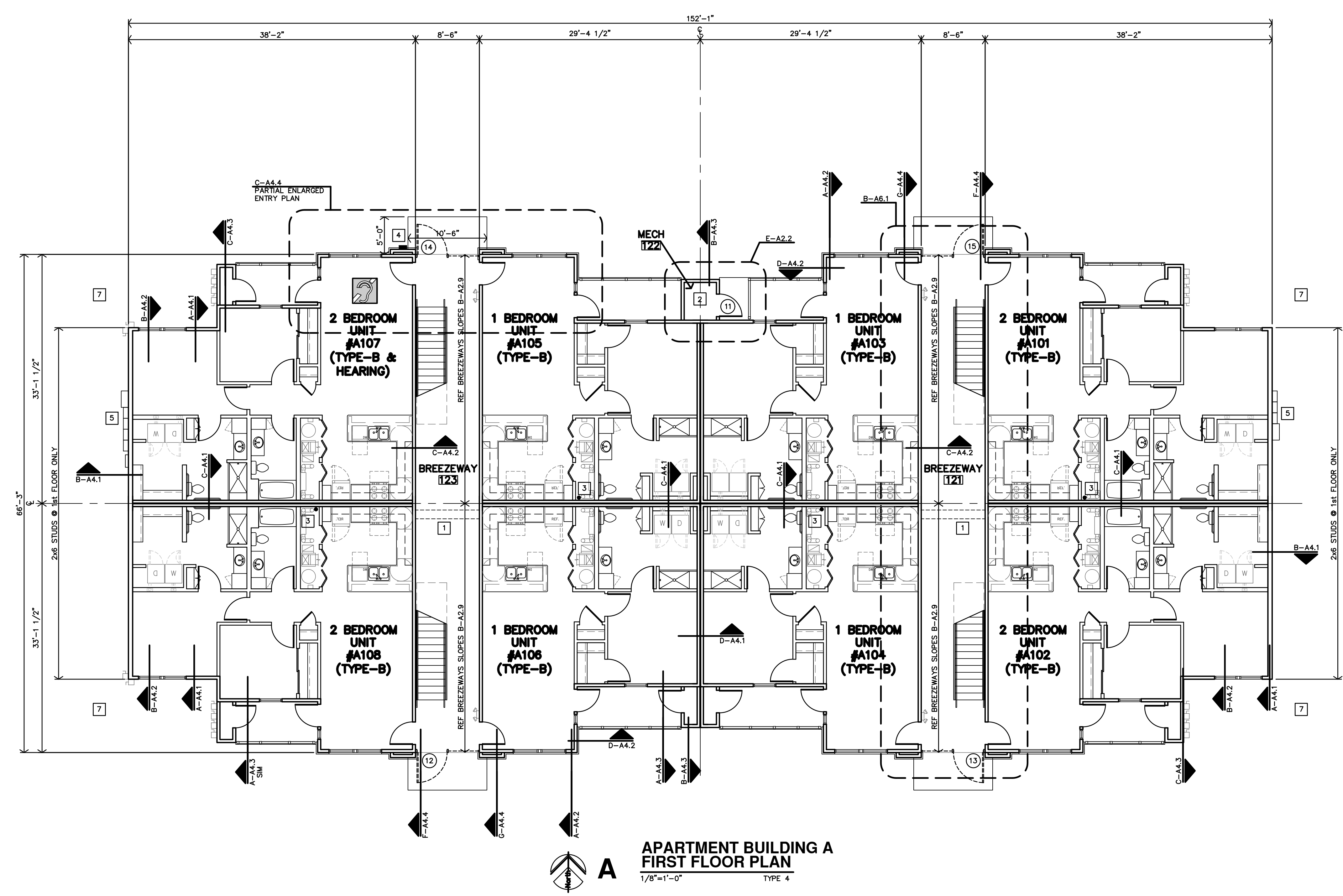
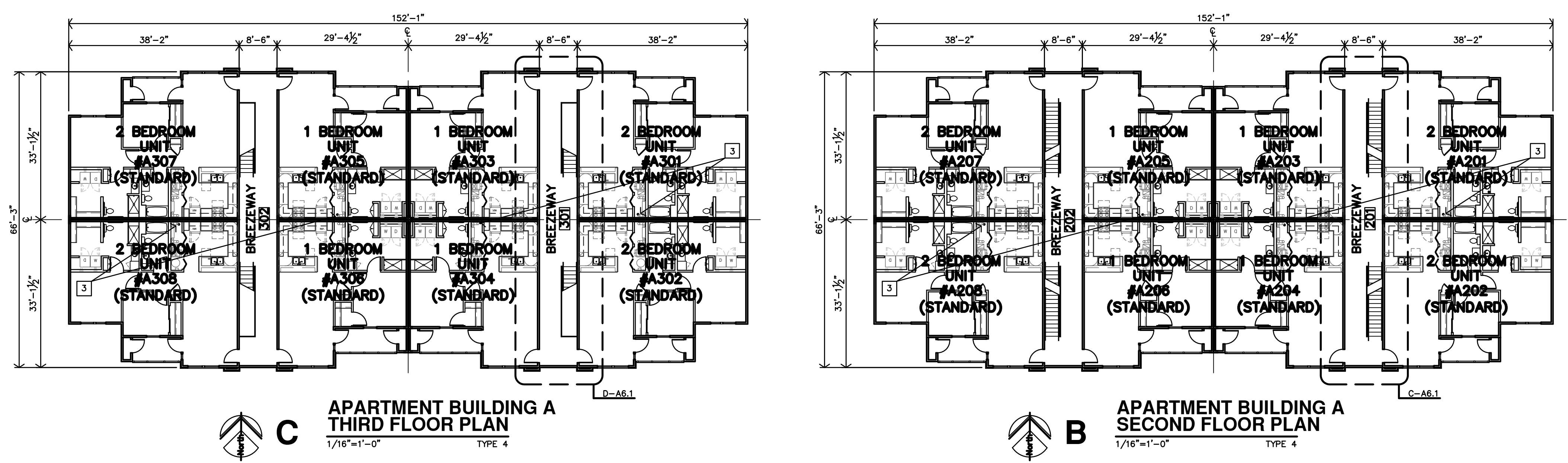


THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD
AURORA, COLORADO



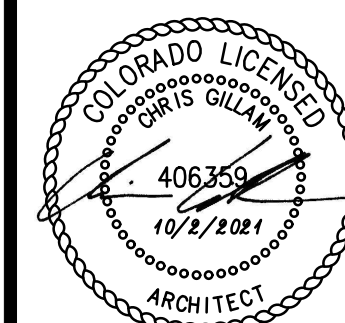
REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

A2.11



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: *Joche*
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

COPYRIGHTED



REVISION:

DATE: 10-2-2023

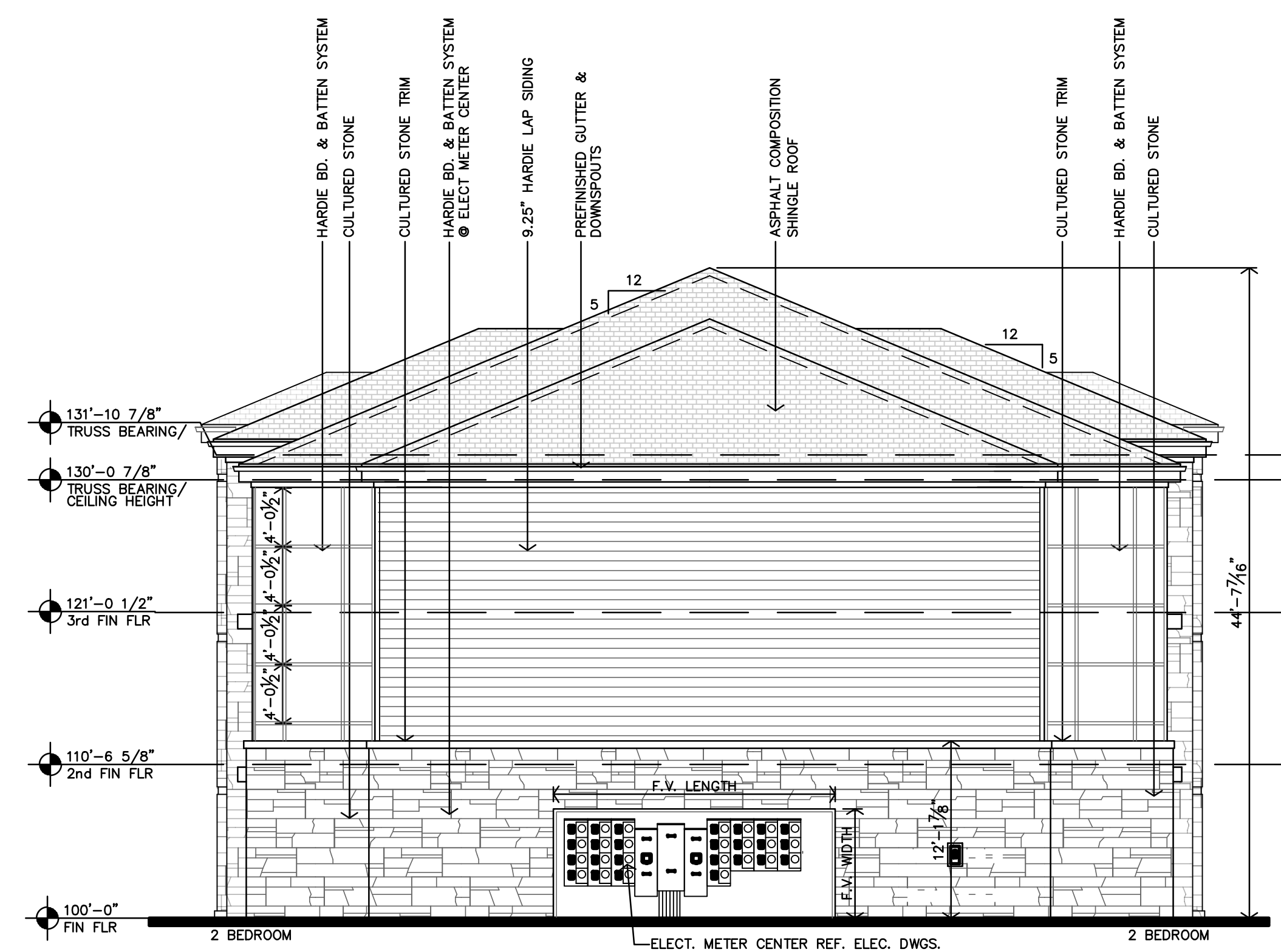
JOB: 22-3219

SHEET NO.:

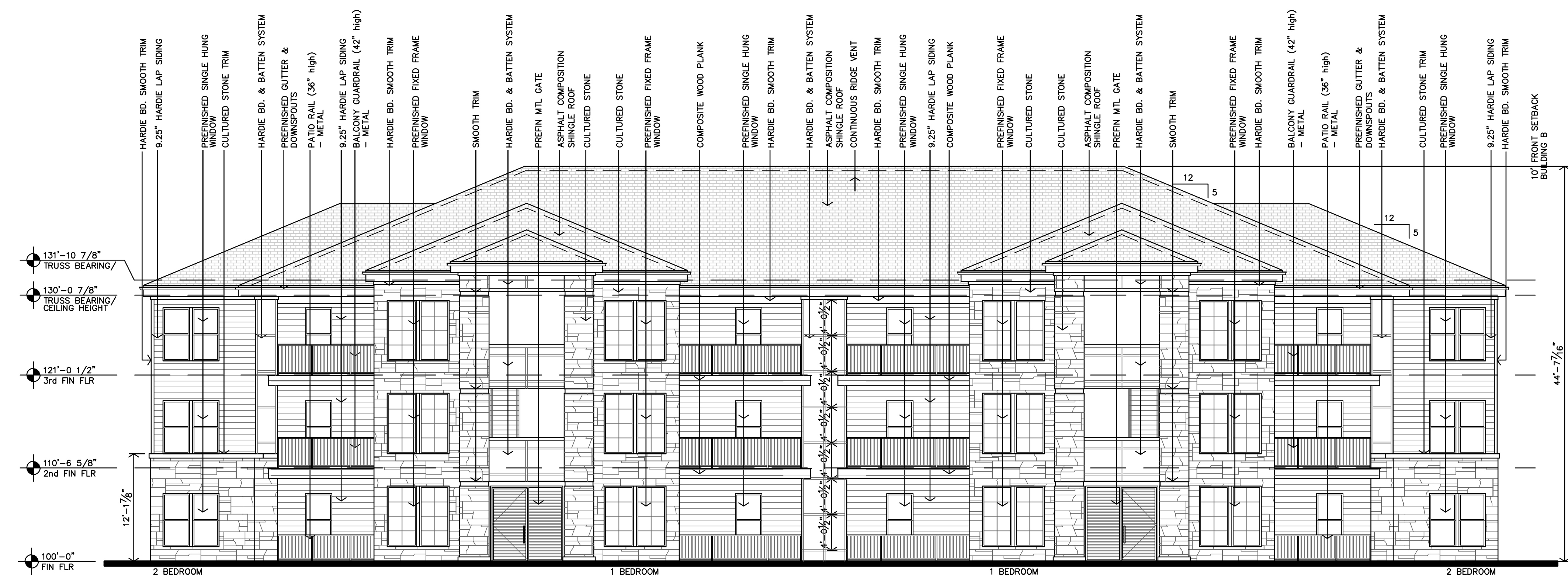
A3.2

COPYRIGHTED ©

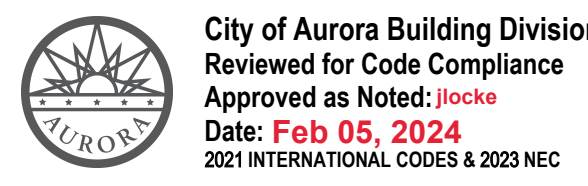
EXTERIOR MATERIALS		
DESCRIPTION	CULTURED STONE	HARDI BOARD SIDING & TRIM
APARTMENTS	44%	56%
CLUBHOUSE	38%	62%
TOTAL	44%	56%

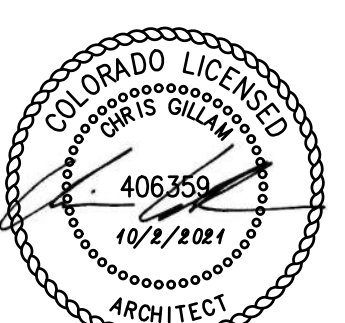


B APARTMENT BUILDINGS A/B/C/F (TYPE 4)
 SIDE ELEVATIONS
 1/8"=1'-0"

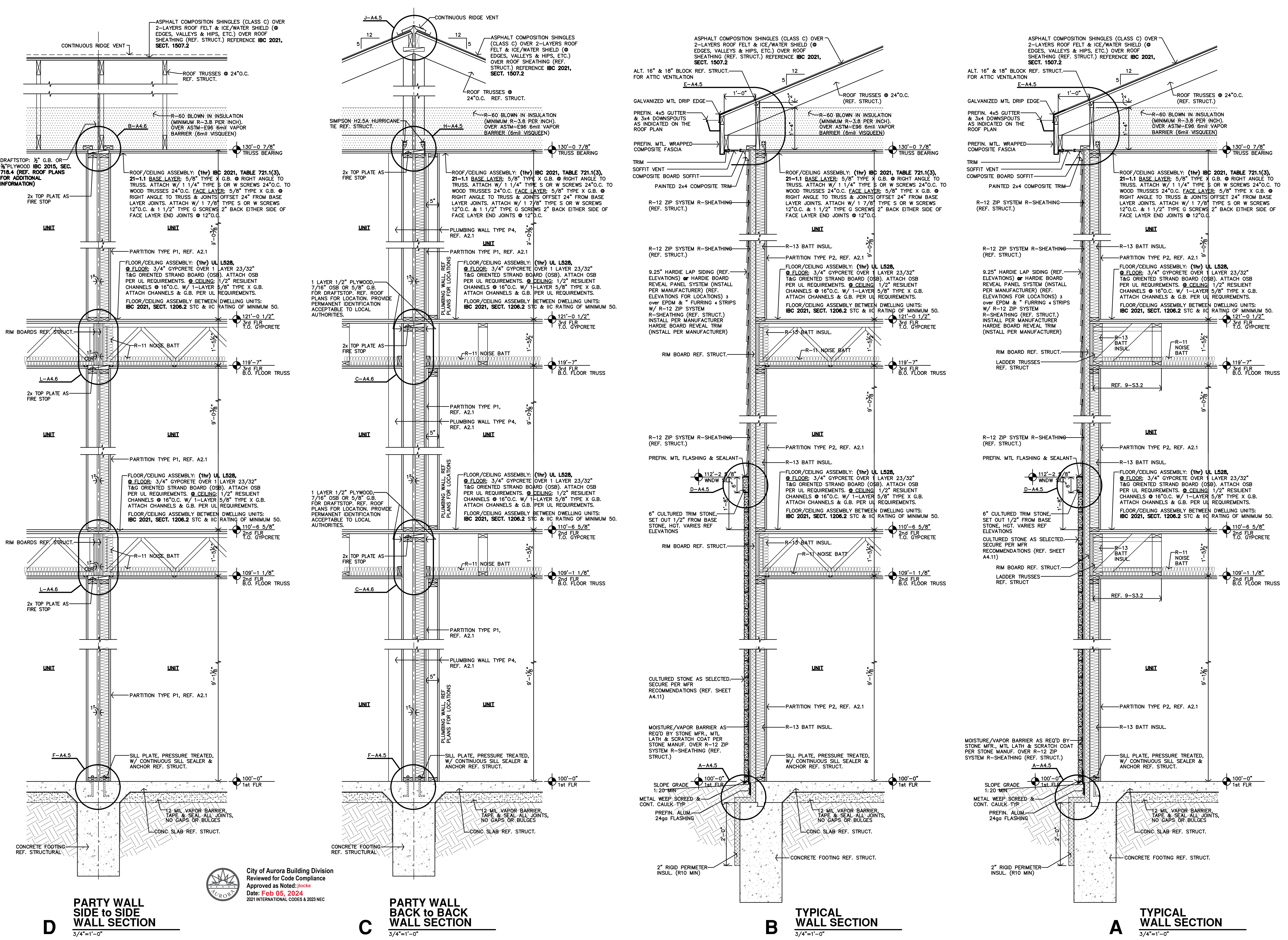


A APARTMENT BUILDINGS A/B/C/F (TYPE 4)
 FRONT & REAR ELEVATIONS
 1/8"=1'-0"





REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	



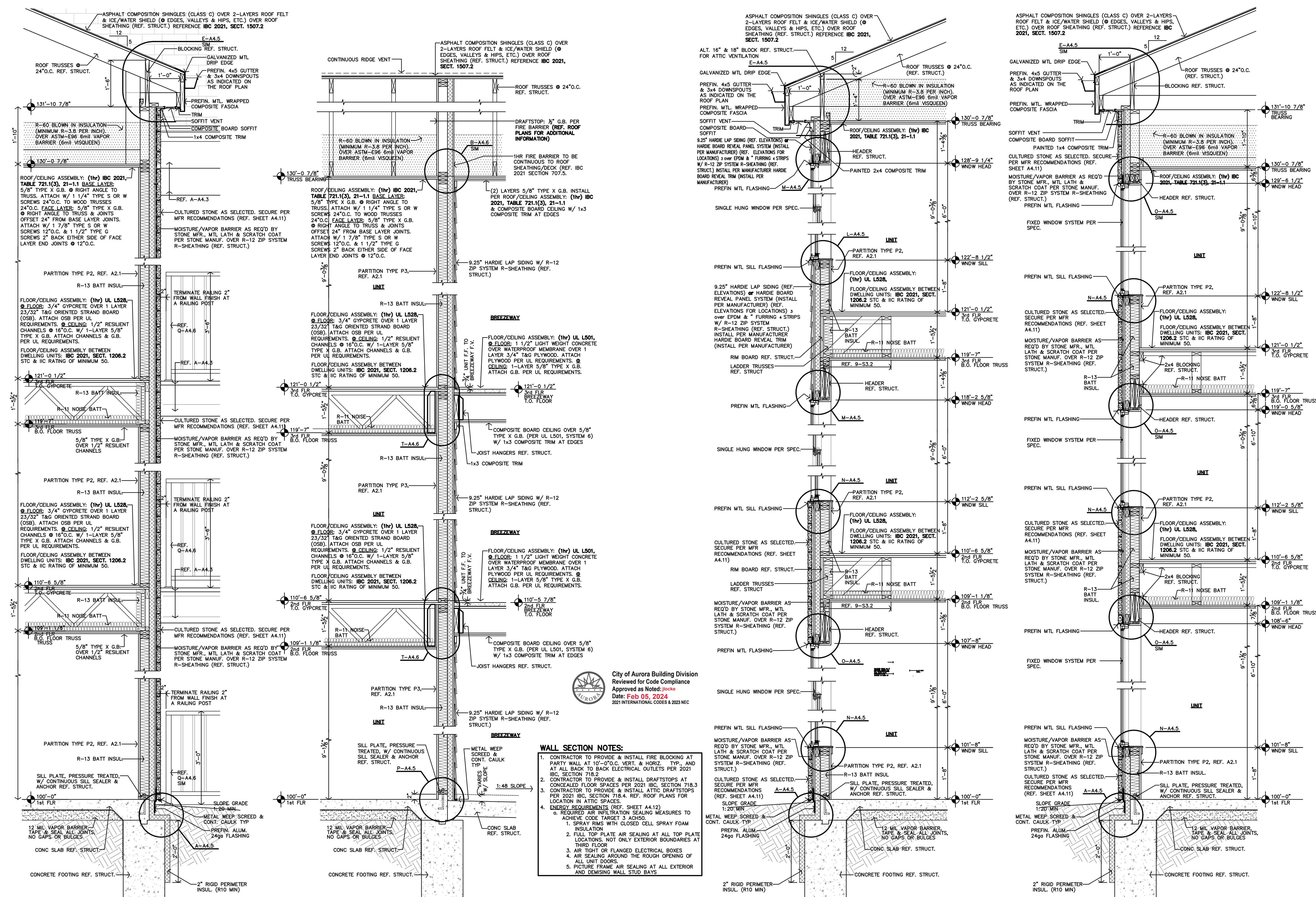
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: jlocke
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

D PARTY WALL
SIDE TO SIDE
WALL SECTION
3/4"=1'-0"

C PARTY WALL
BACK TO BACK
WALL SECTION
3/4"=1'-0"

B TYPICAL
WALL SECTION
3/4"=1'-0"

A TYPICAL
WALL SECTION
3/4"=1'-0"



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: *hocke*
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

JonesGillamRenz
1881 Main Street, Suite 301
Kansas City, MO 64108
jgr@jgarchitects.com

JGR

COLORDAO

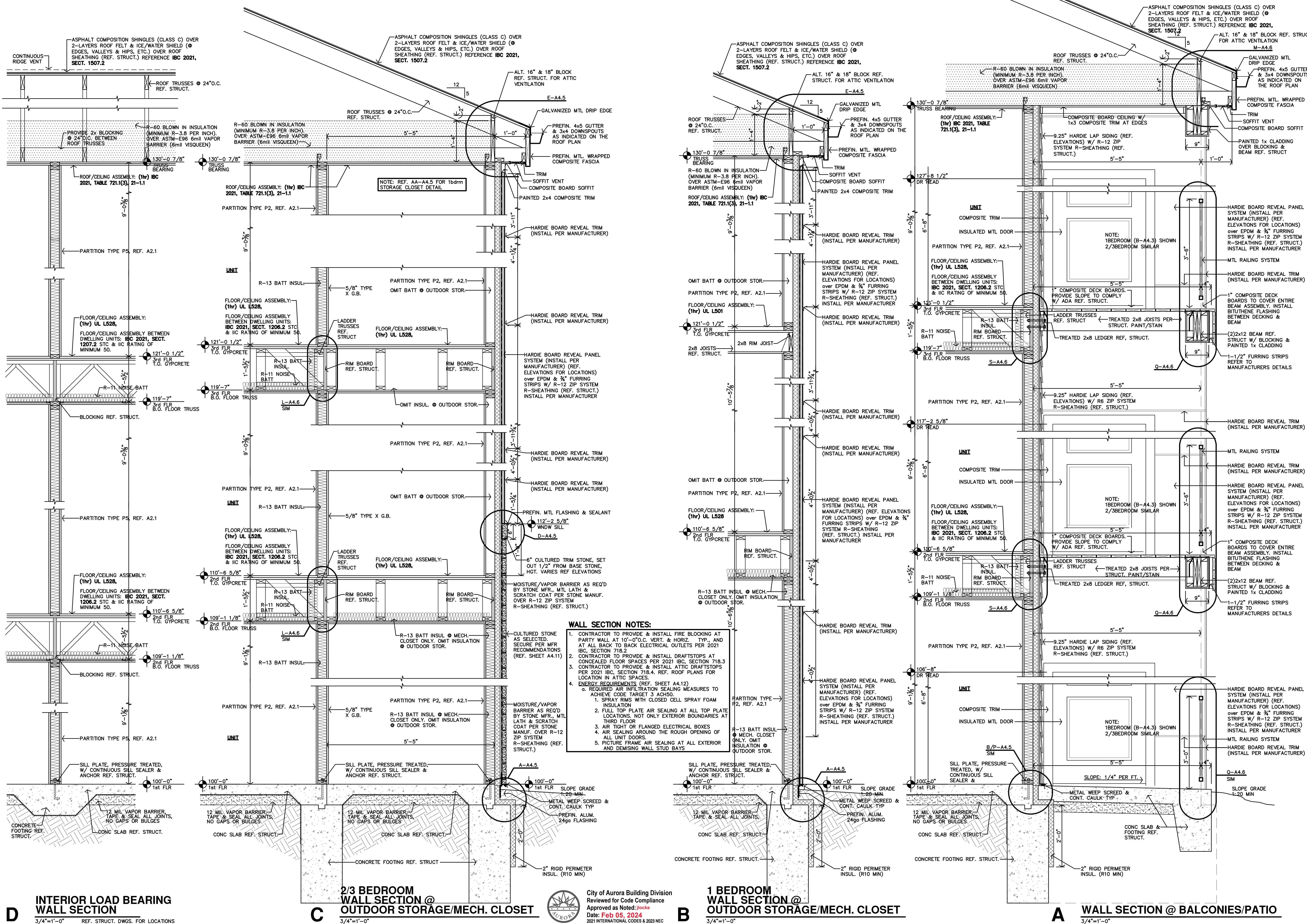
THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD

AURORA,



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

A4.2



D INTERIOR LOAD BEARING WALL SECTION
3/4"=1'-0" REF. STRUCT. DWGS. FOR LOCATIONS

C 2/3 BEDROOM WALL SECTION @ OUTDOOR STORAGE/MECH. CLOSET
3/4"=1'-0"

B 1 BEDROOM WALL SECTION @ OUTDOOR STORAGE/MECH. CLOSET
3/4"=1'-0"

A WALL SECTION @ BALCONIES/PATIO
3/4"=1'-0"

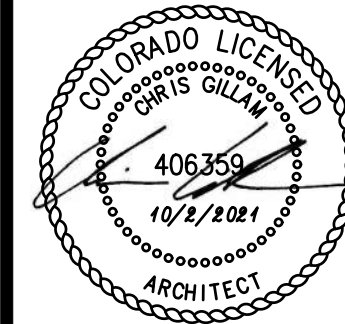
JonesGillamRemenz
1881 Main Street, Suite 307
Kansas City, MO 64108
jgr@jgarchitects.com

JGR
730 N. Ninth
Salina, KS 67401
785.827.0386

COLORDAO

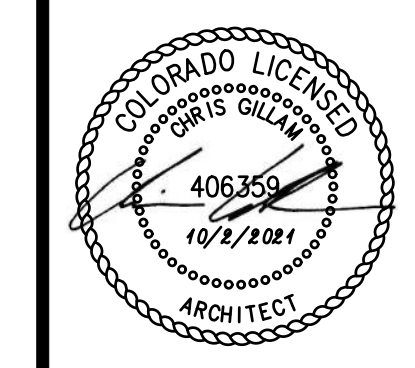
THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD

AURORA,



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

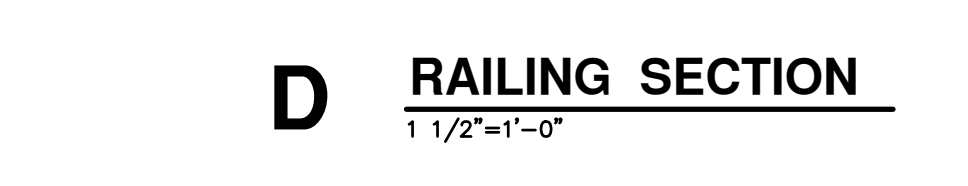
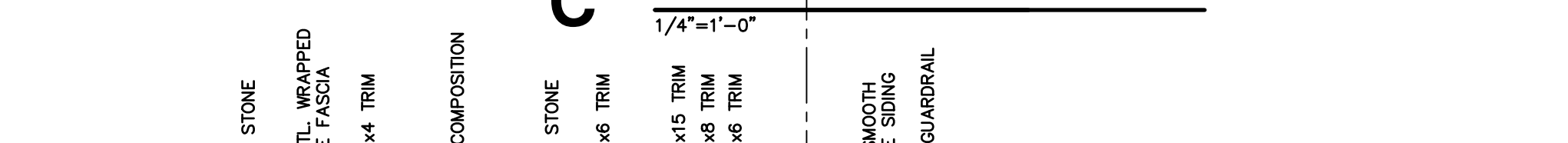
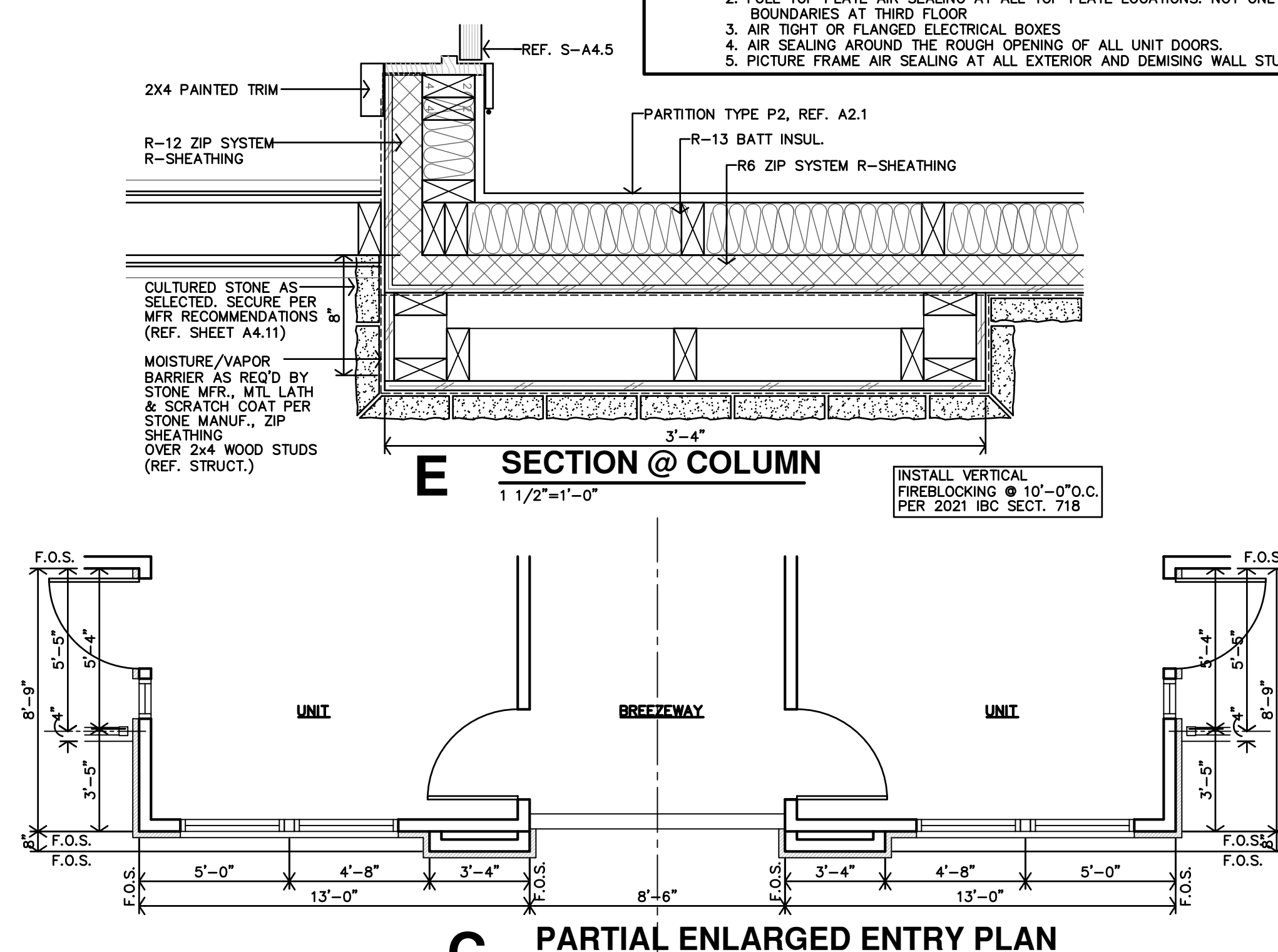
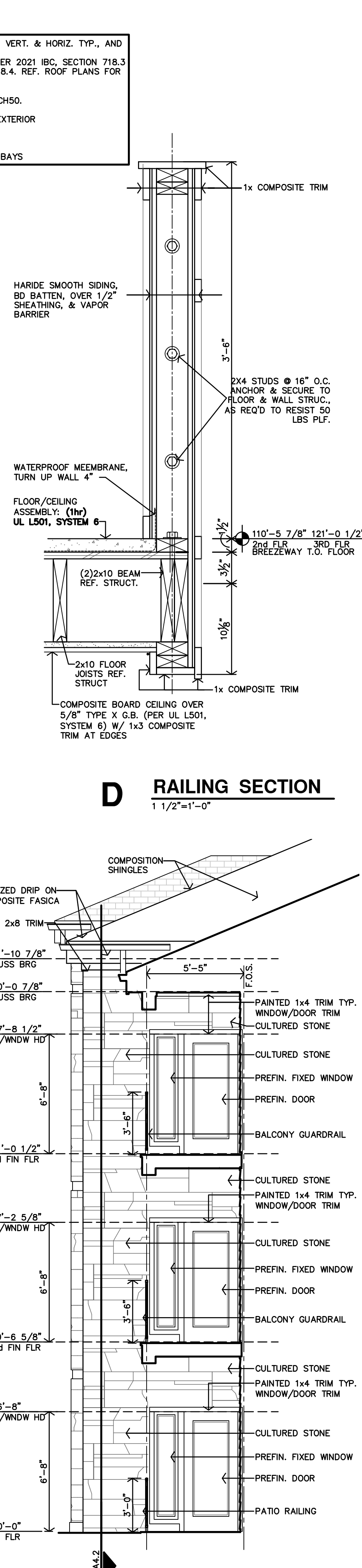
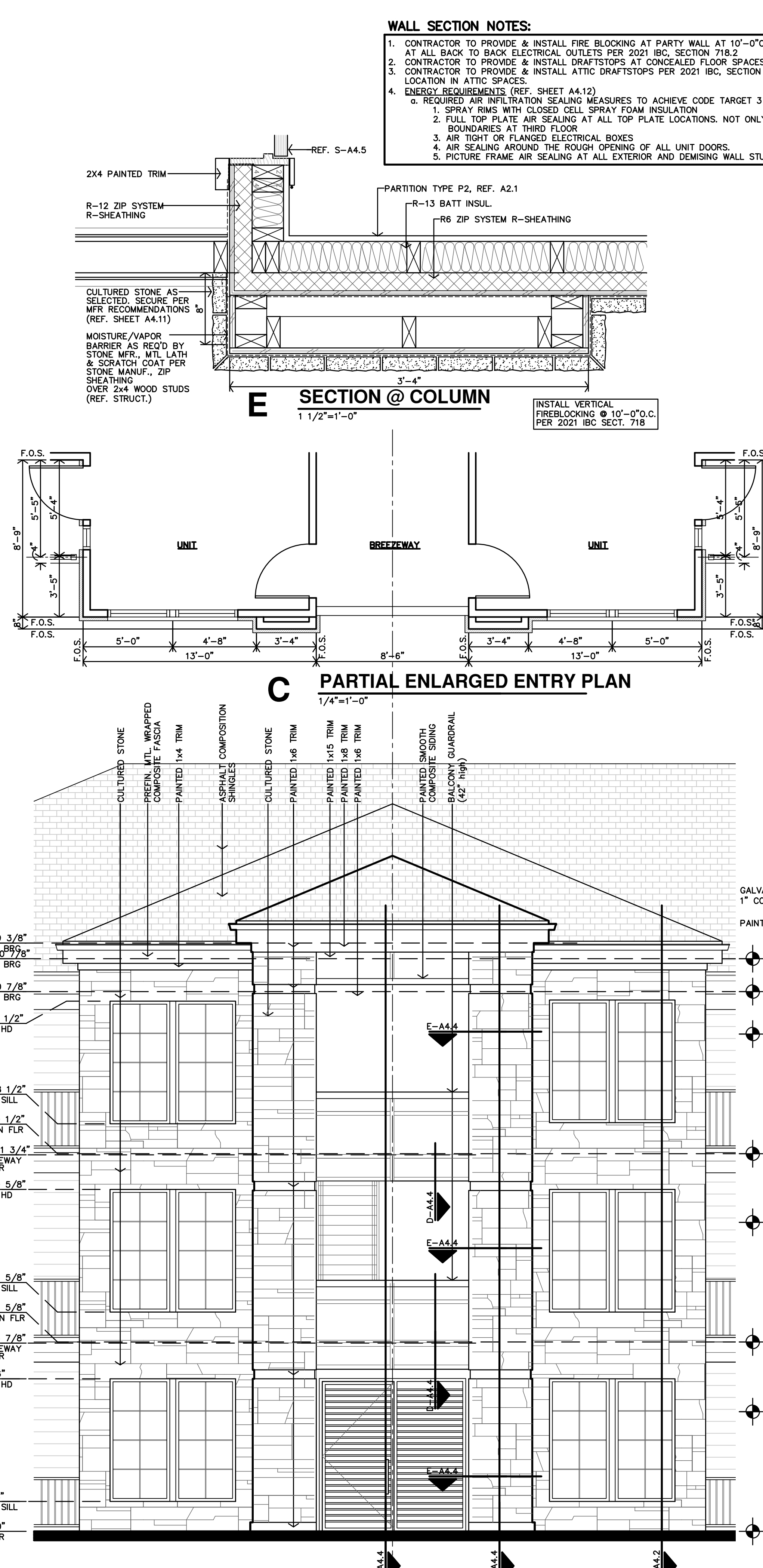
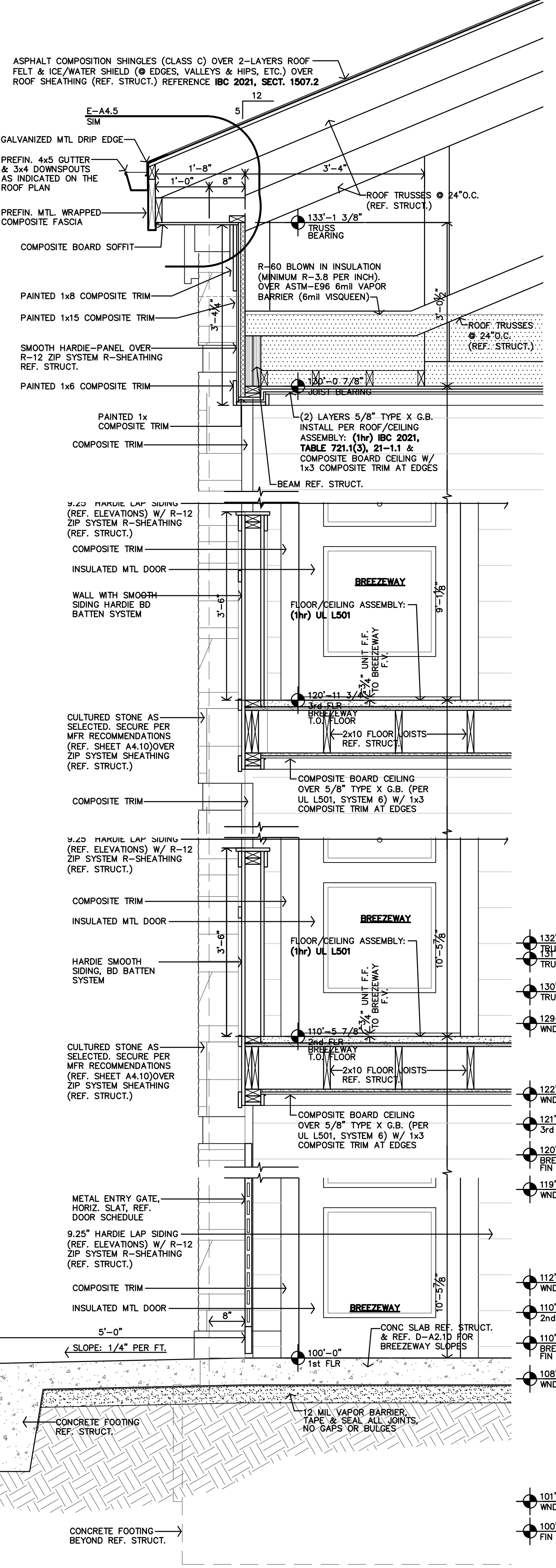
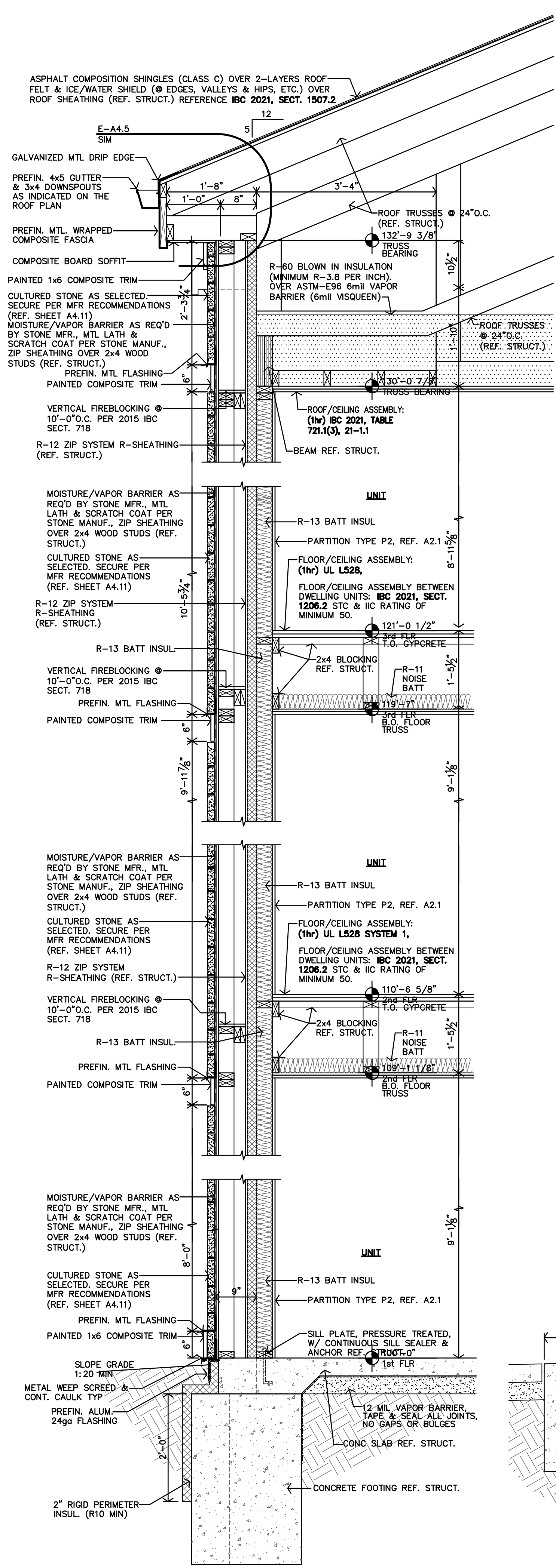
A4.3



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

WALL SECTION NOTES:

- CONTRACTOR TO PROVIDE & INSTALL FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C. VERT. & HORIZ. TYP., AND AT ALL BACK TO BACK ELECTRICAL OUTLETS PER 2021 IBC, SECTION 718.2
- CONTRACTOR TO PROVIDE & INSTALL DRAFTSTOPS AT CONCEALED FLOOR SPACES PER 2021 IBC, SECTION 718.3
- CONTRACTOR TO PROVIDE & INSTALL ATTIC DRAFTSTOPS PER 2021 IBC, SECTION 718.4. REF. ROOF PLANS FOR LOCATION IN ATTIC SPACES.
- ENERGY REQUIREMENTS (REF. SHEET A4.12)
 - REQUIRED AIR INFILTRATION SEALING MEASURES TO ACHIEVE CODE TARGET 3 ACH50.
 1. SPRAY RIMS WITH CLOSED CELL SPRAY FOAM INSULATION
 2. FULL TOP PLATE AIR SEALING AT ALL TOP PLATE LOCATIONS. NOT ONLY EXTERIOR BOUNDARIES AT THIRD FLOOR
 3. AIR TIGHT OR FLANGED ELECTRICAL BOXES
 4. AIR SEALING AROUND THE ROUGH OPENING OF ALL UNIT DOORS.
 5. PICTURE FRAME AIR SEALING AT ALL EXTERIOR AND DEMISING WALL STUD BAYS



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: *ilocke*
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

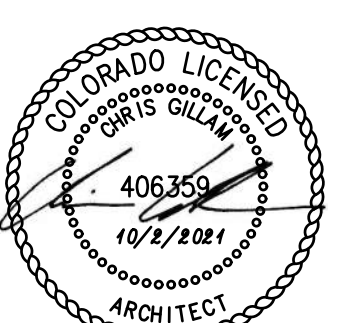
JonesGillamRenz
1881 Main Street, Suite 301
Kansas City, MO 64108
jgr@jgarchitects.com

JGR

COLORDAO

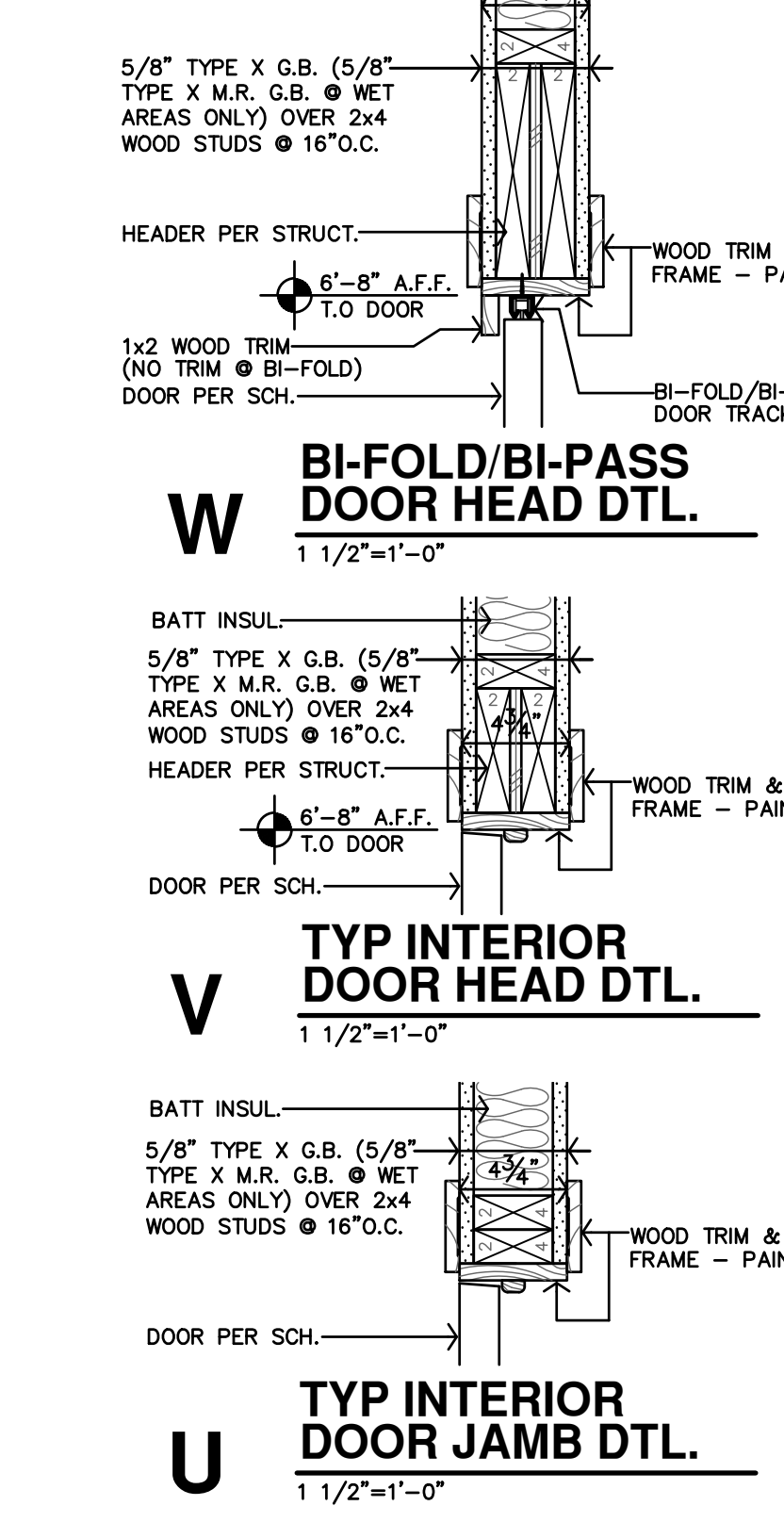
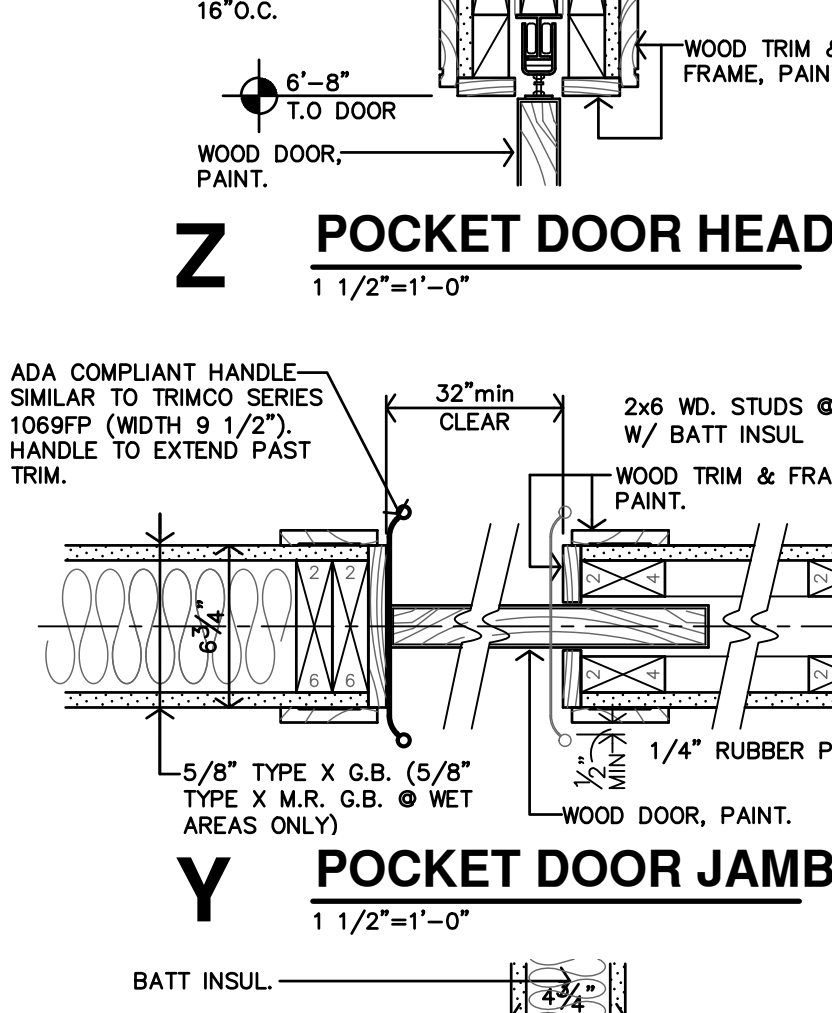
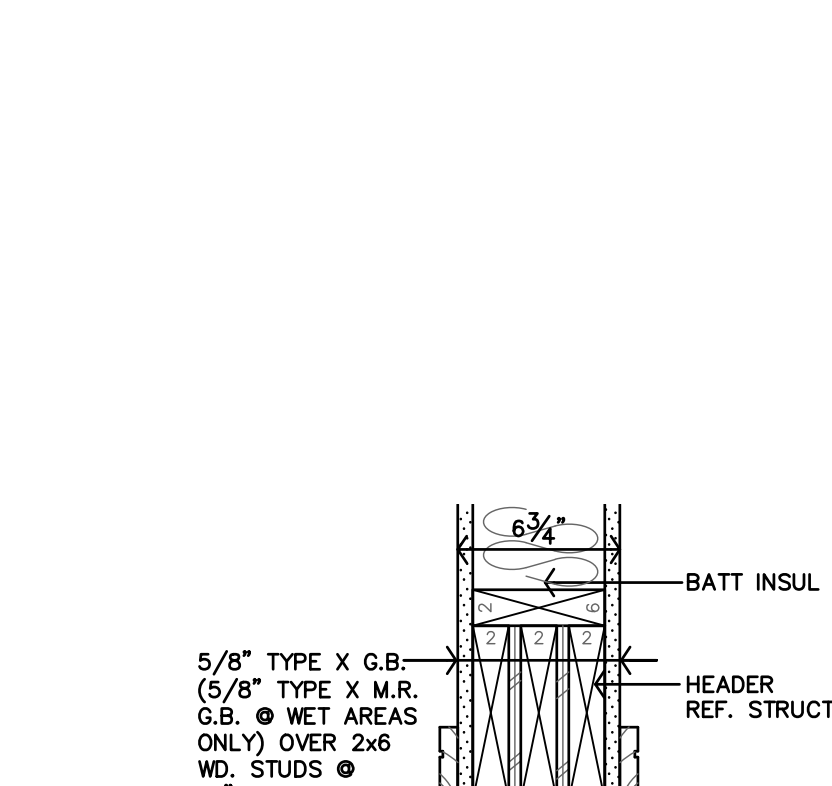
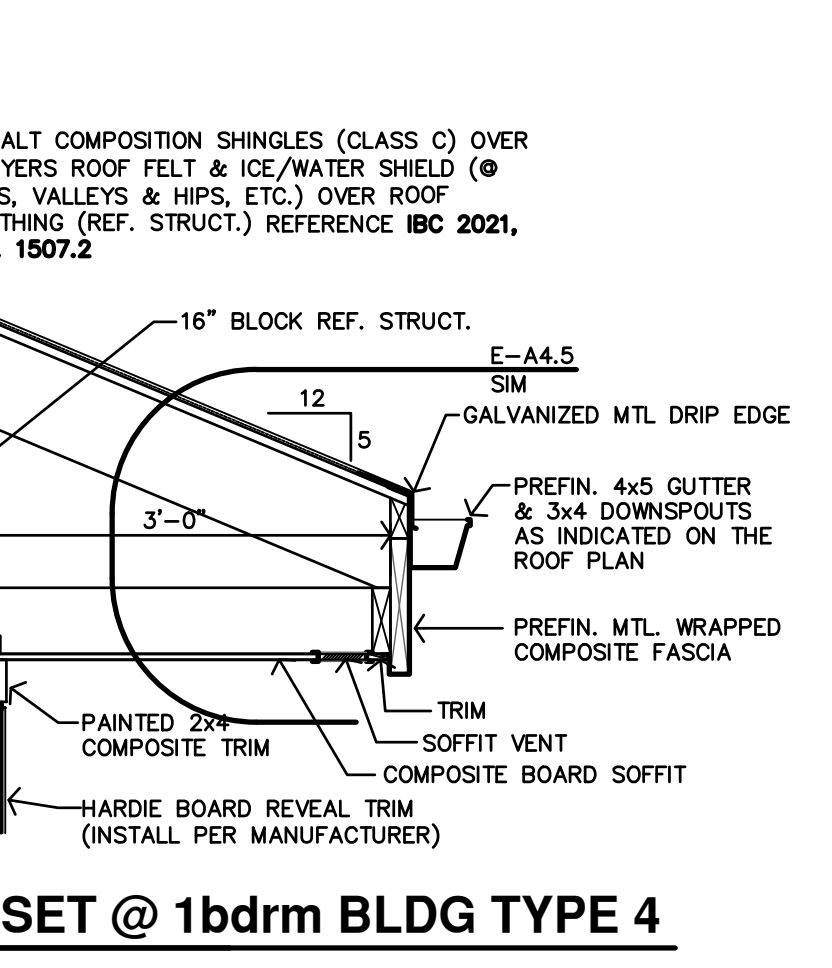
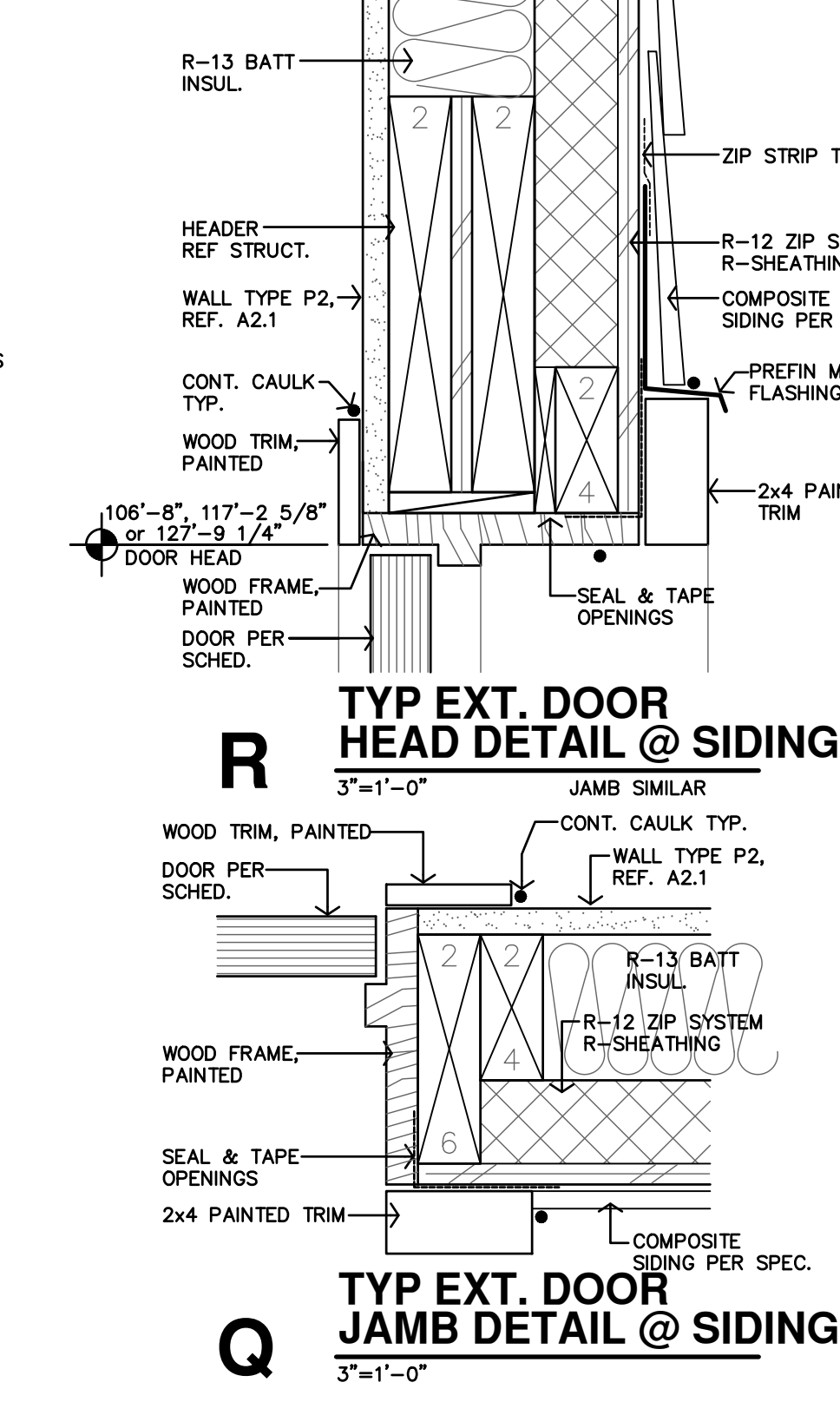
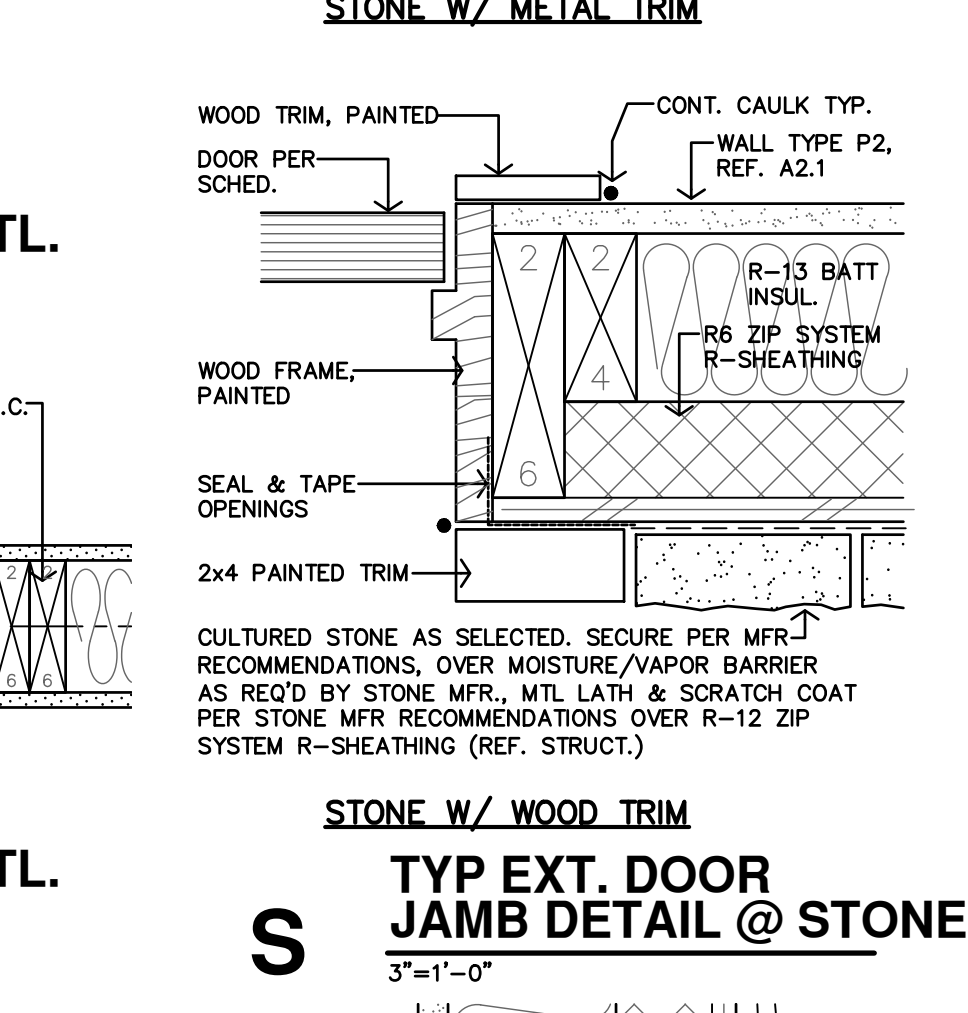
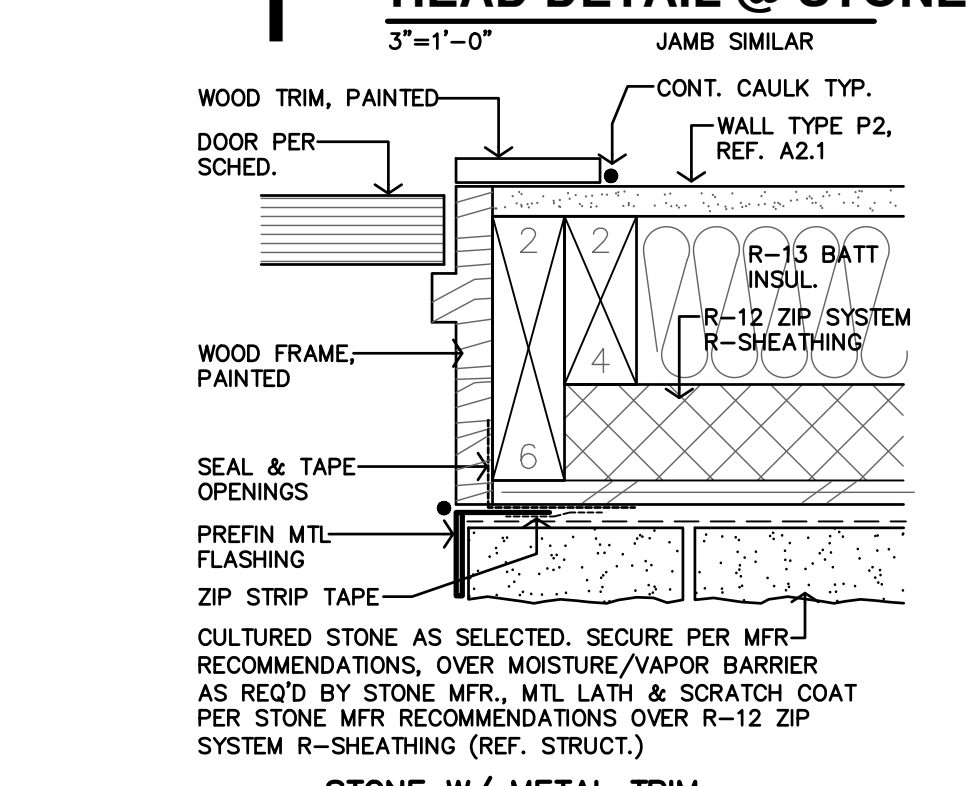
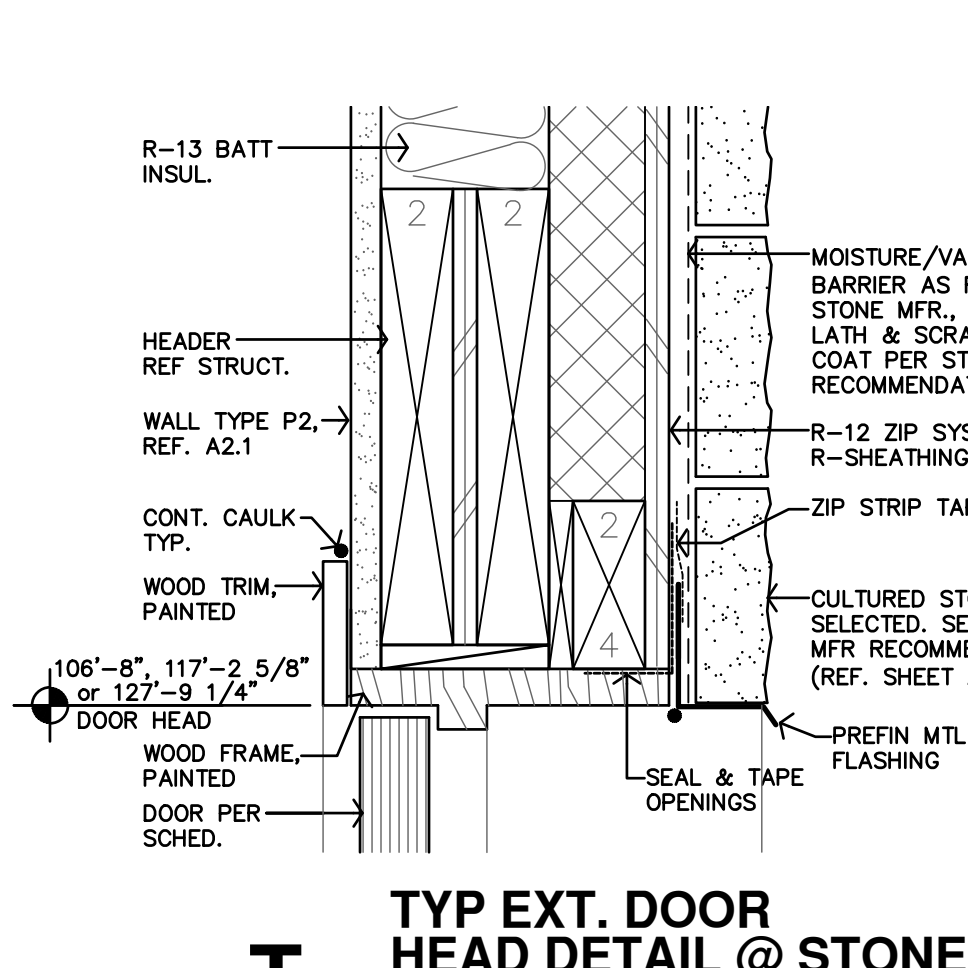
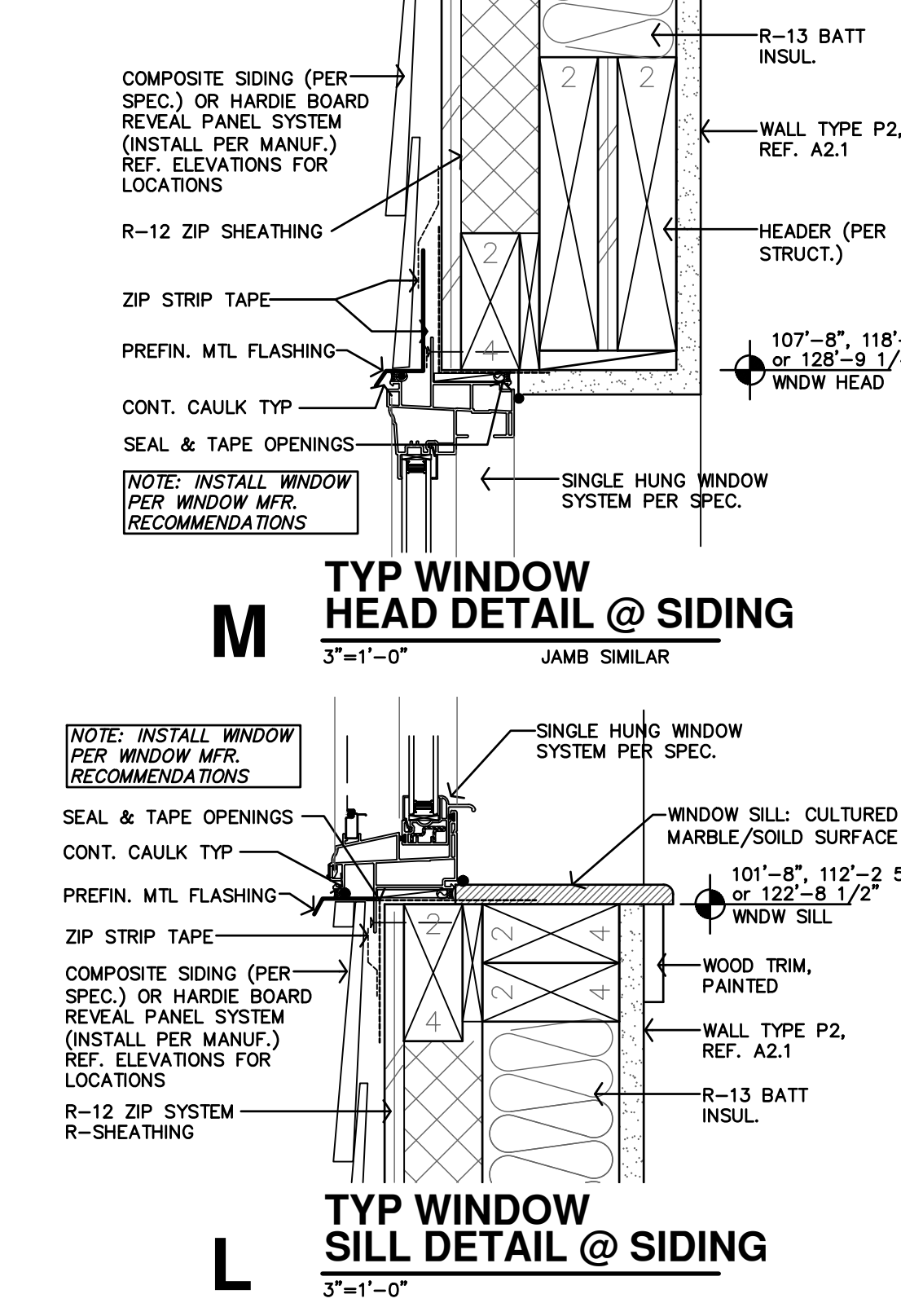
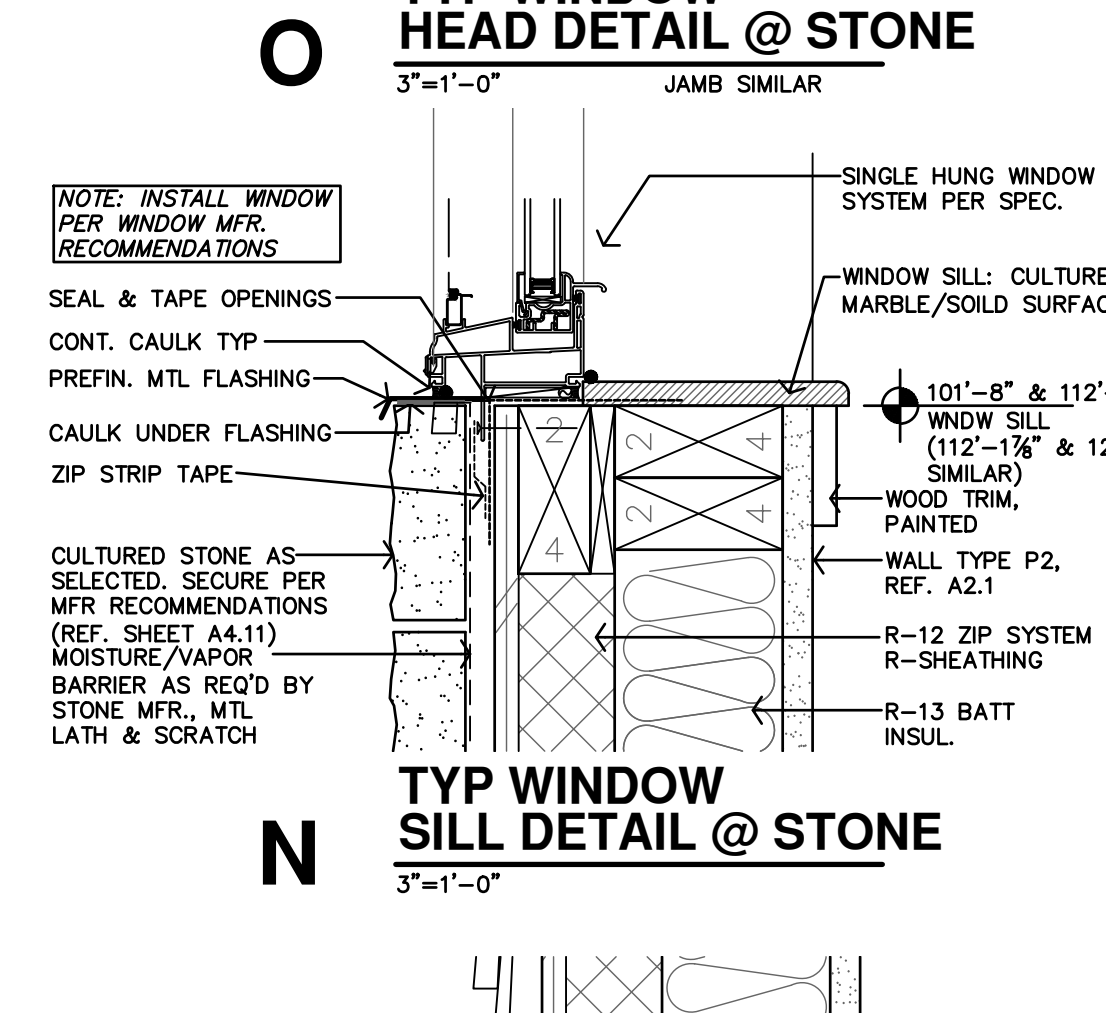
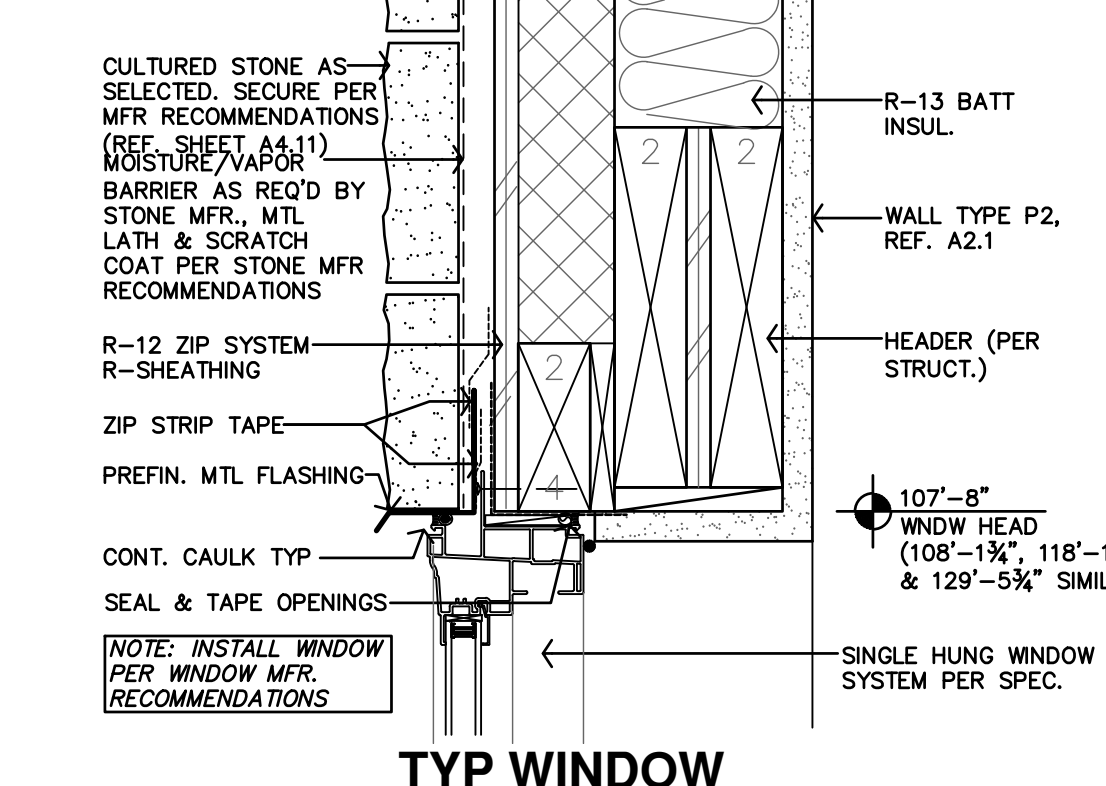
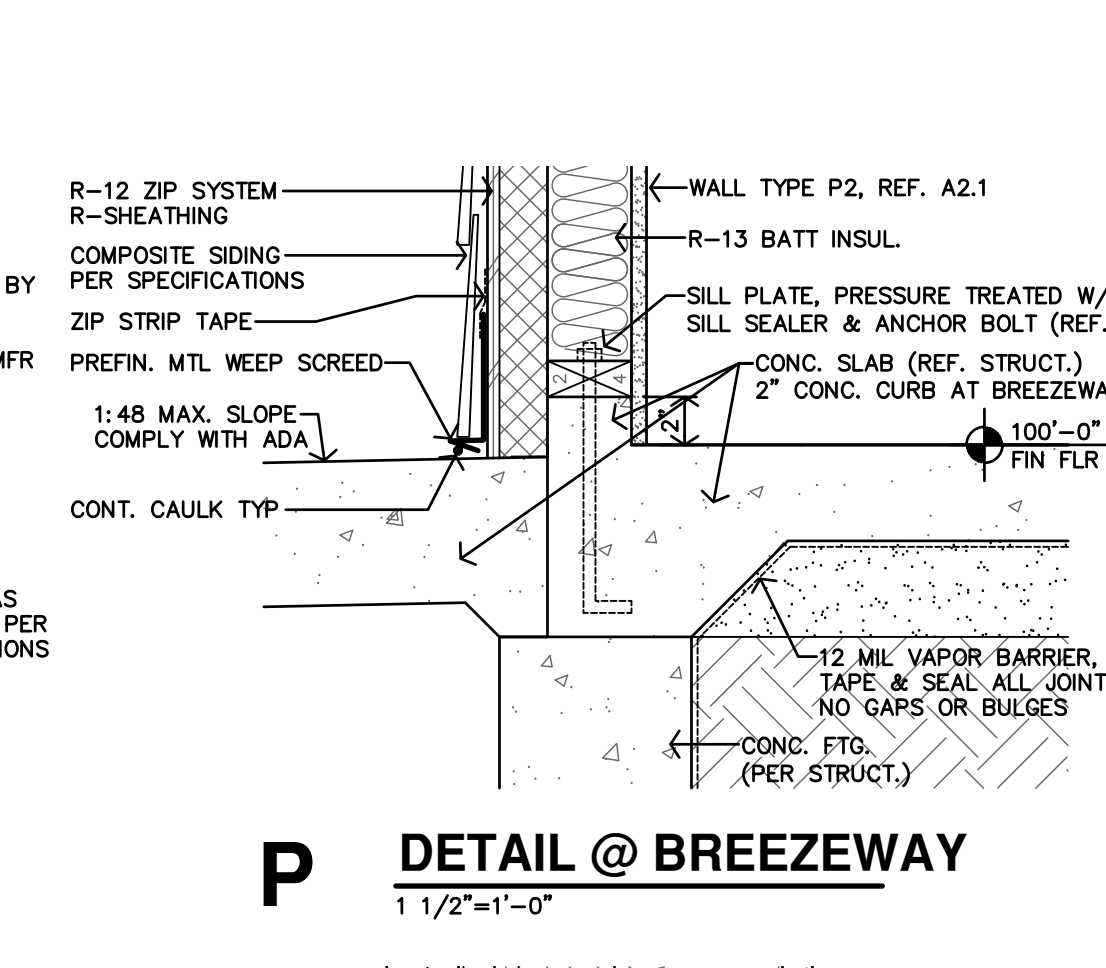
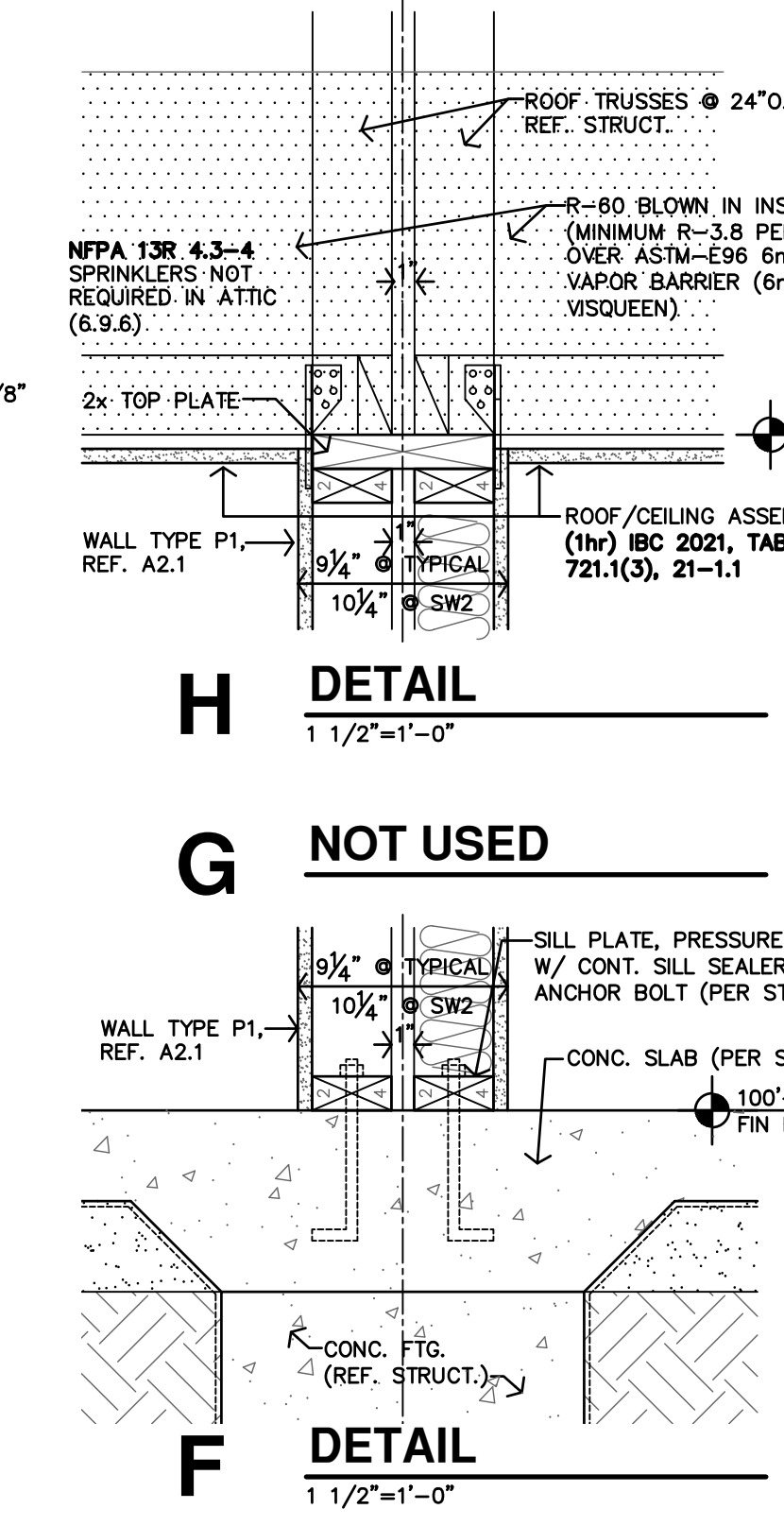
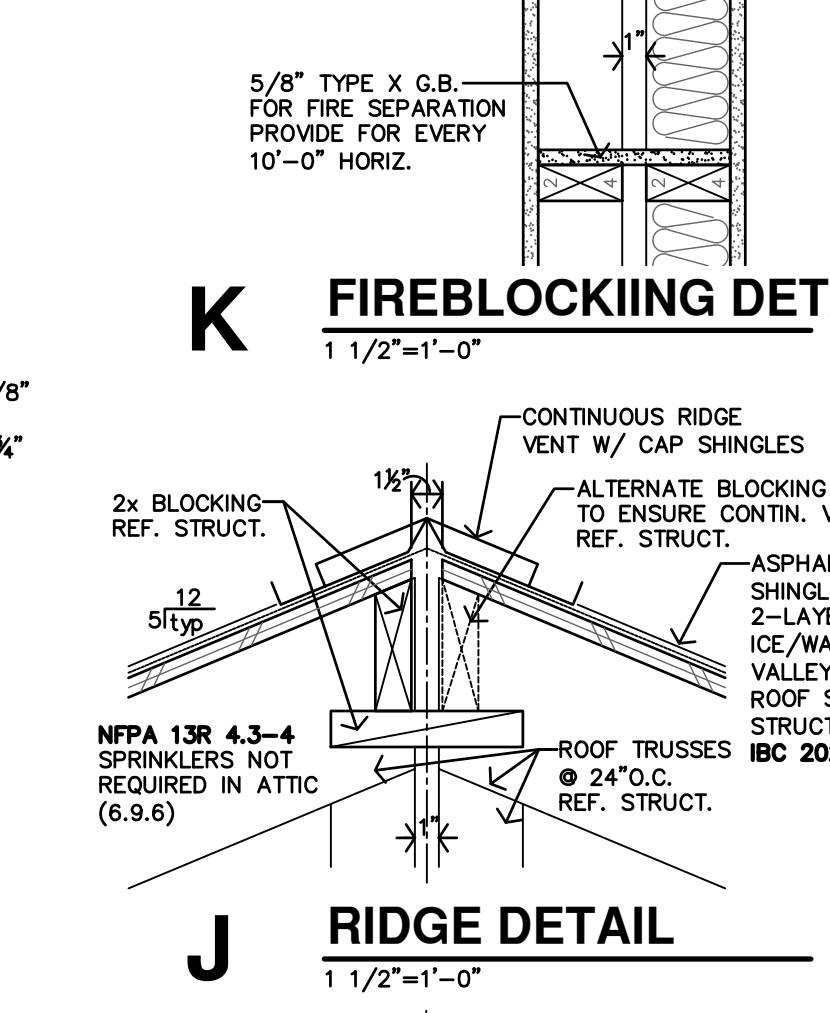
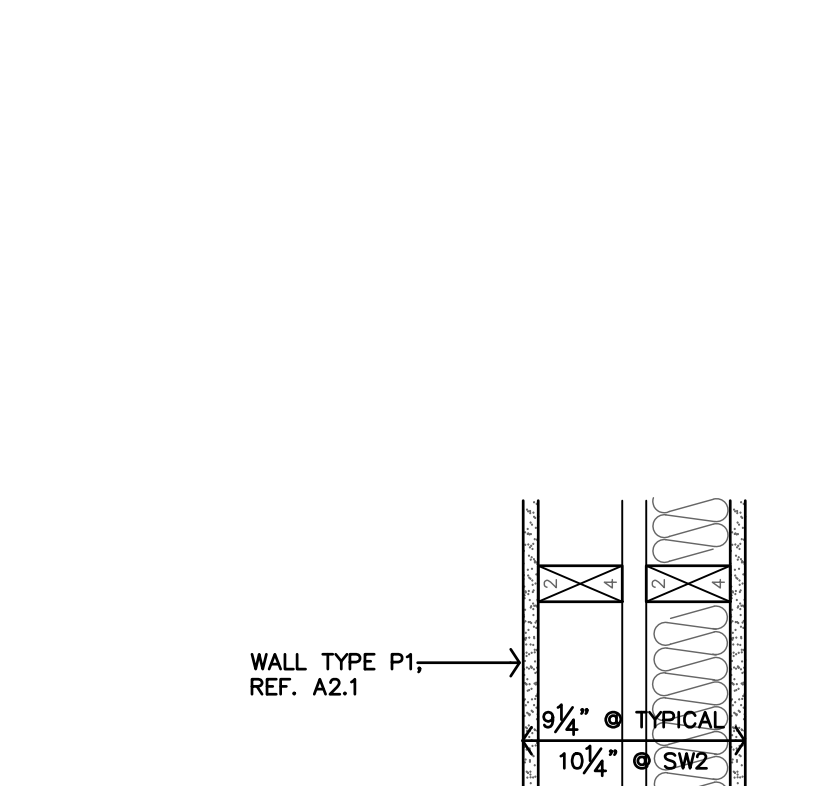
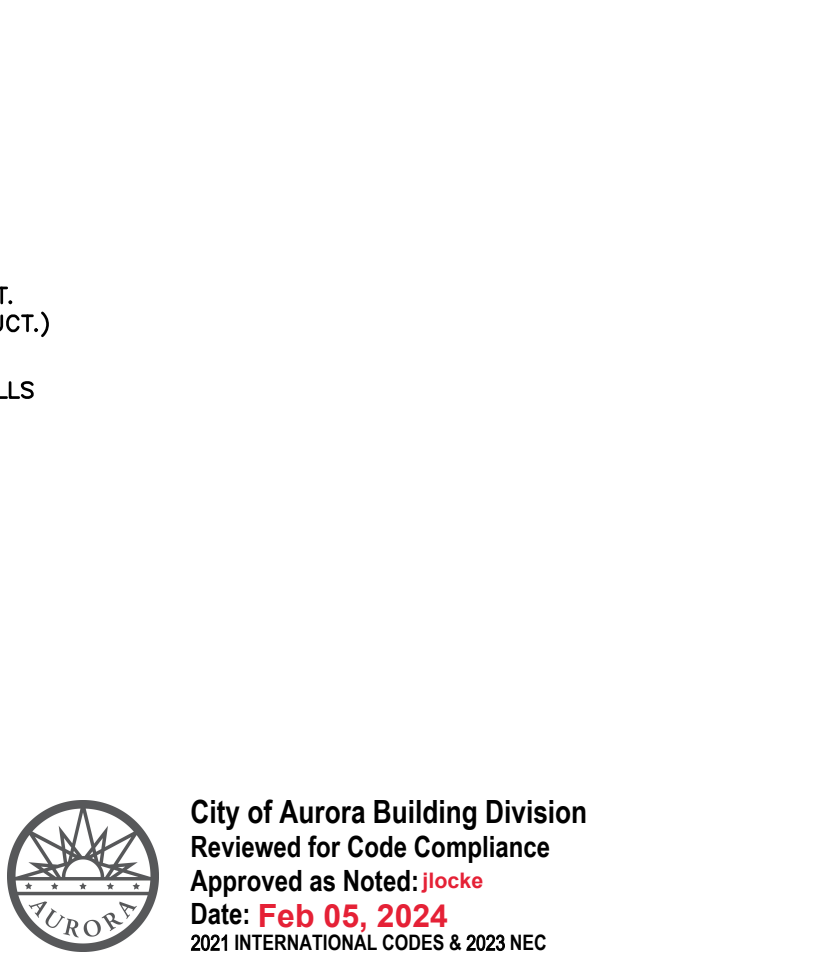
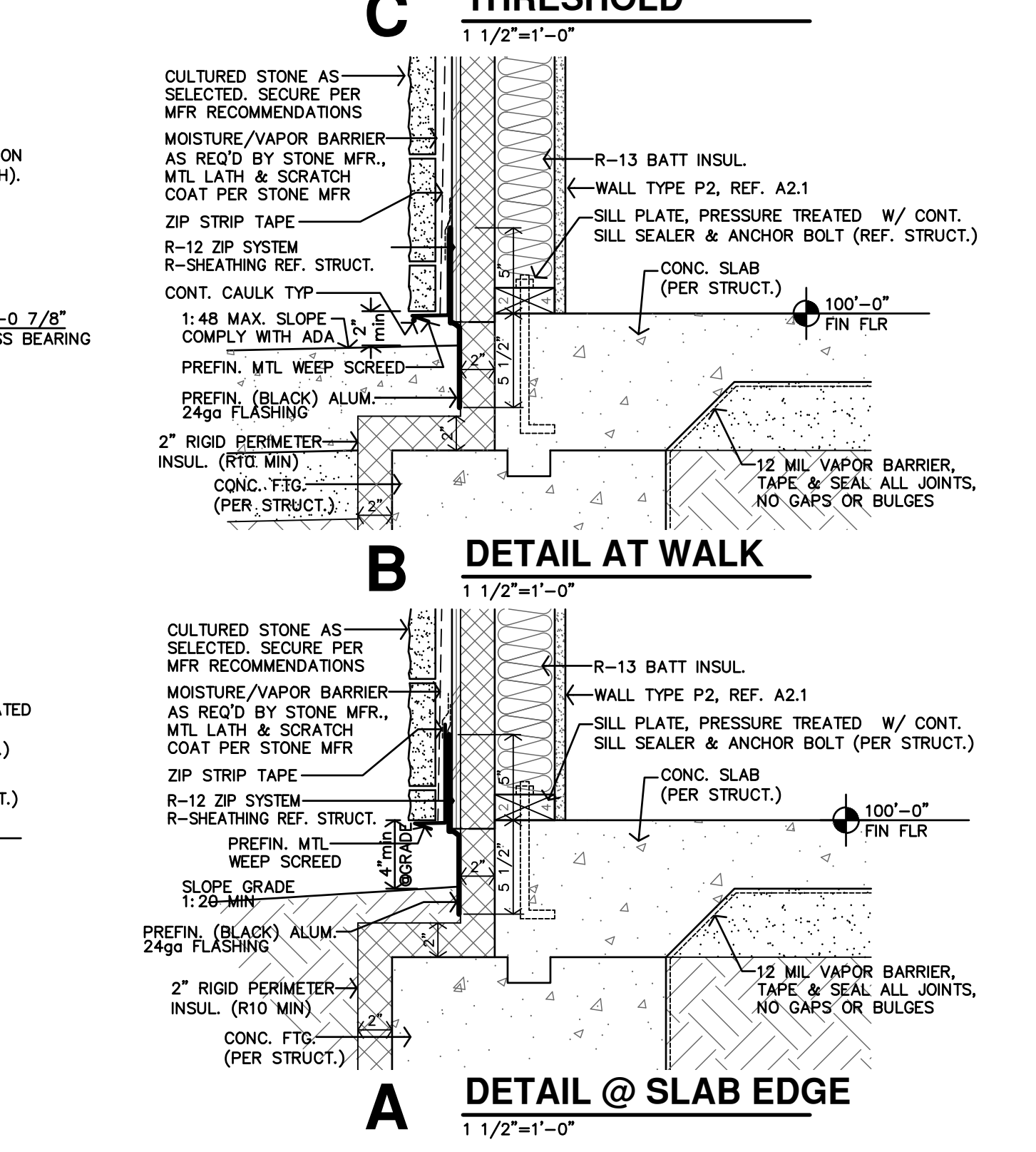
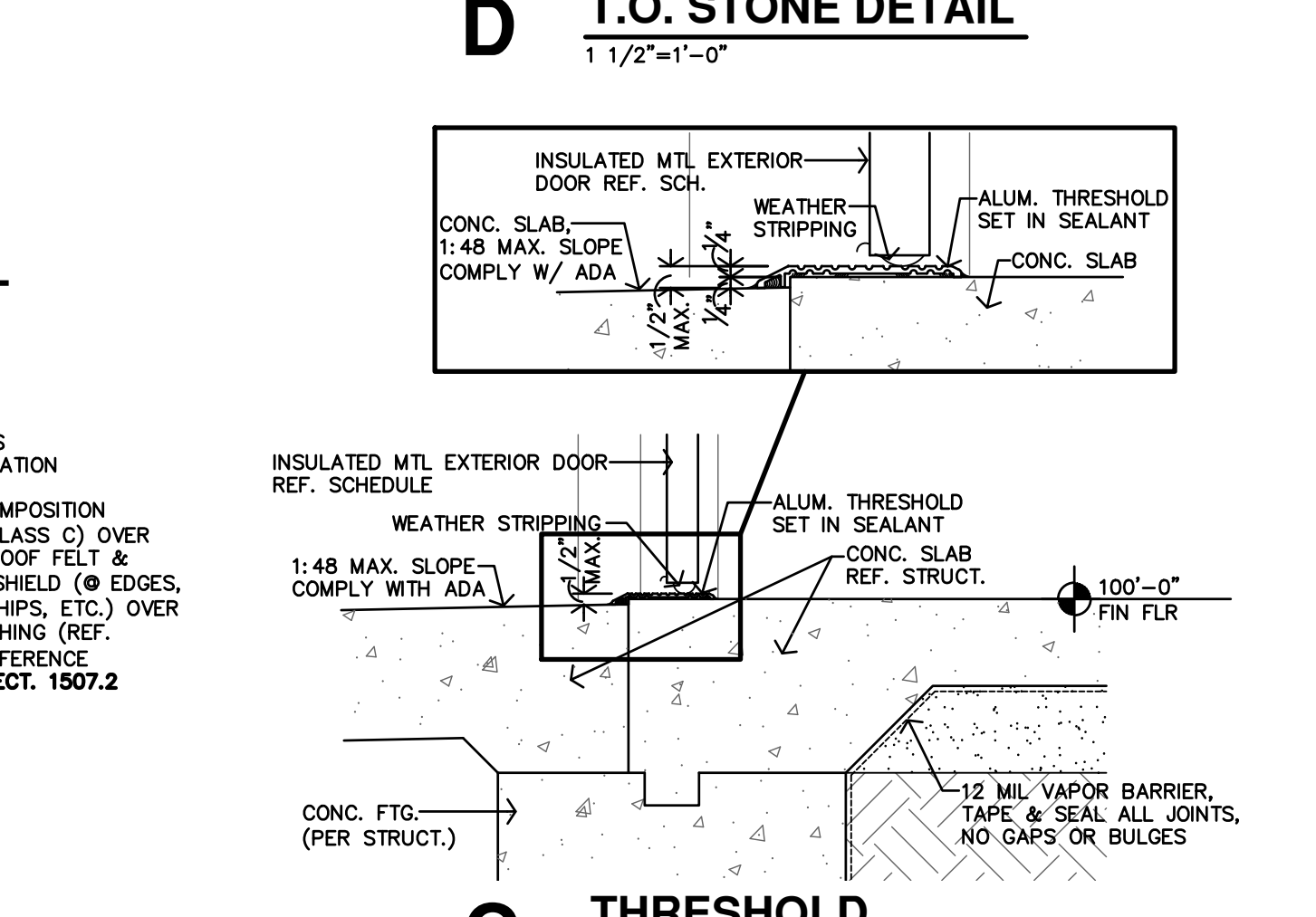
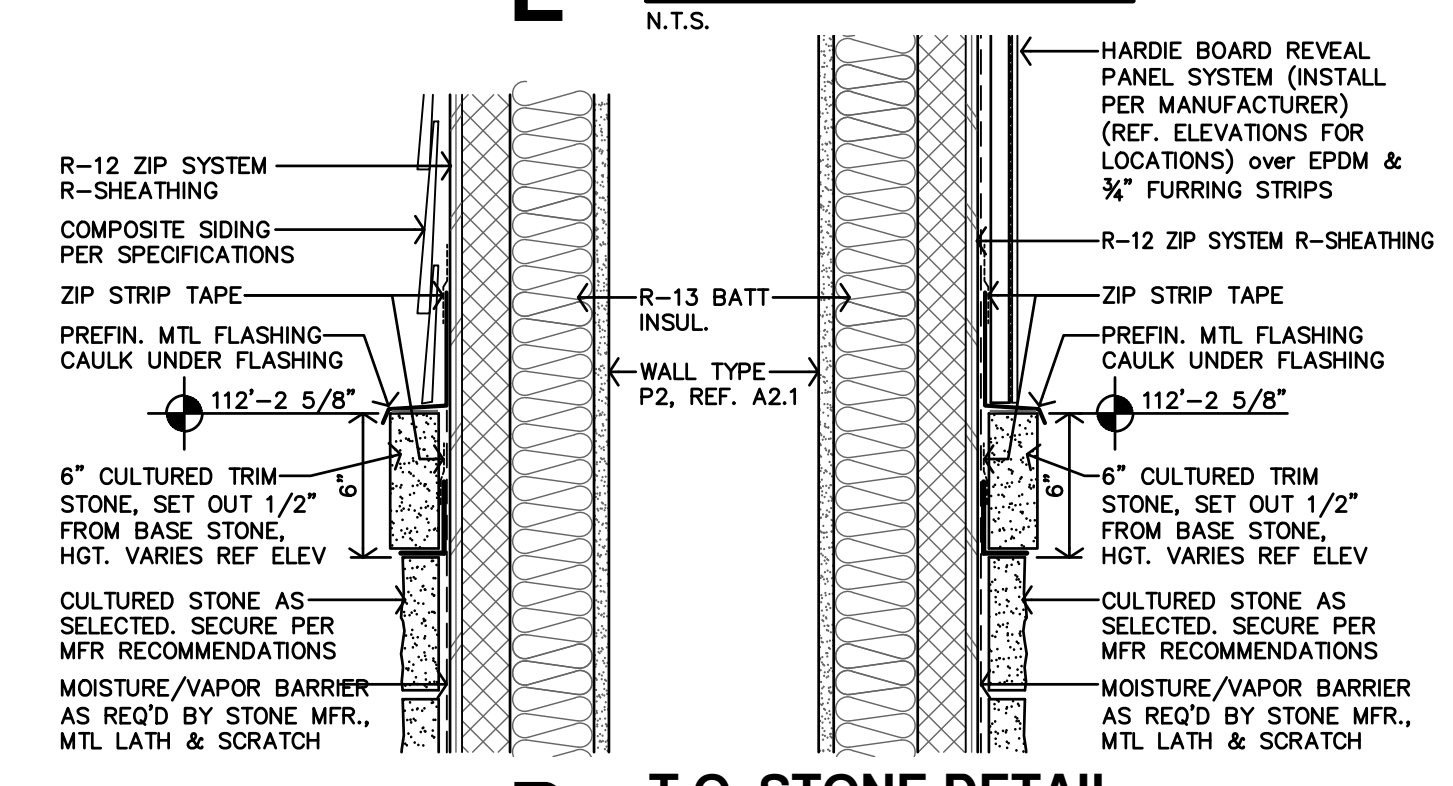
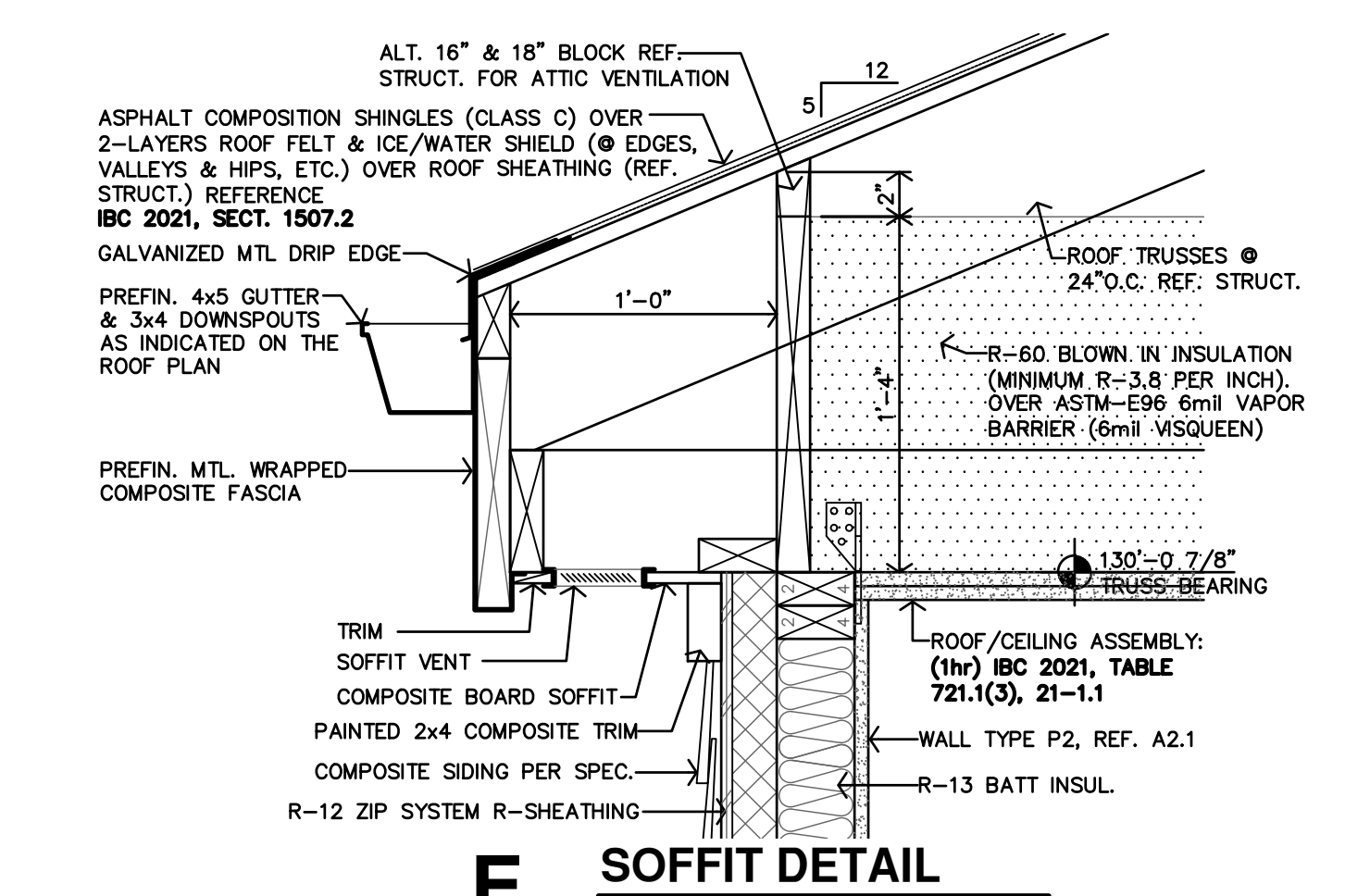
THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD

AURORA,



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

A4.5

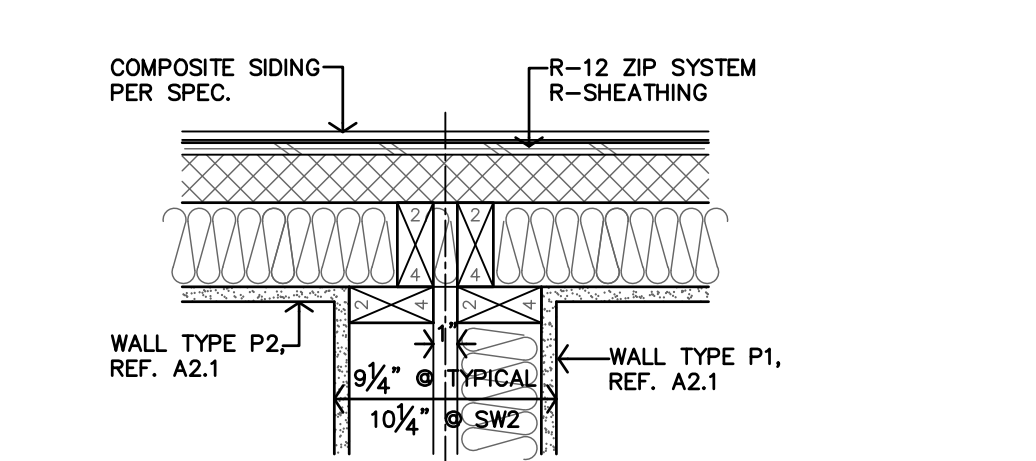


City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: jgk
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

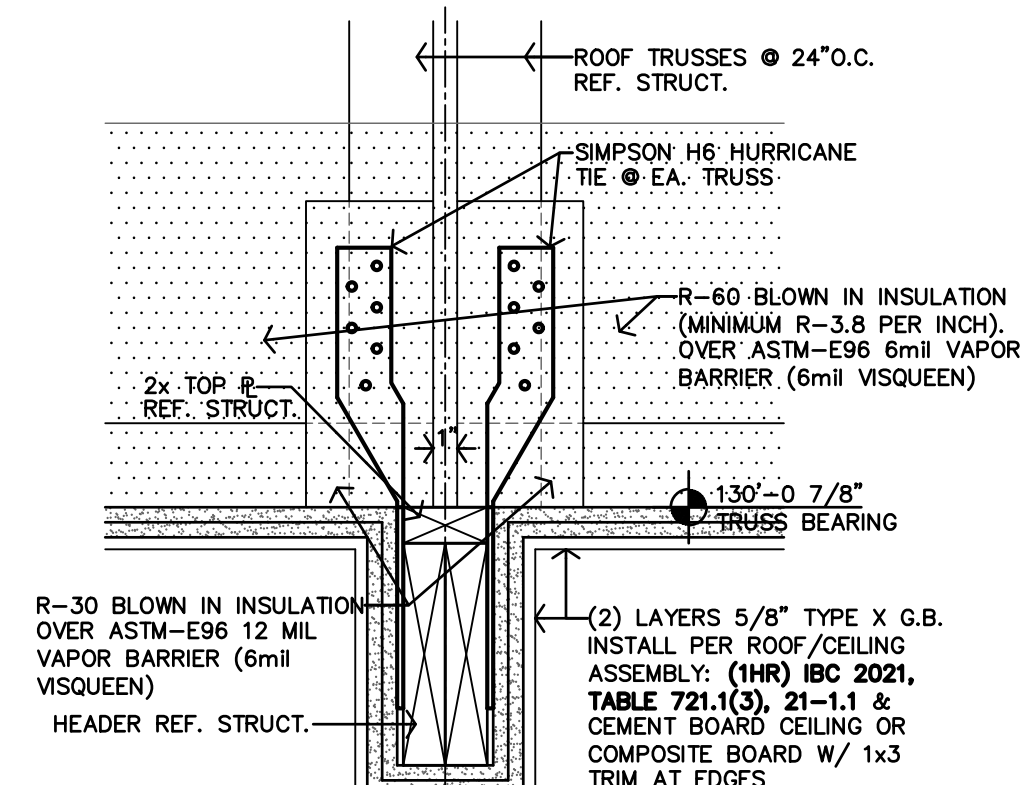
COPYRIGHTED



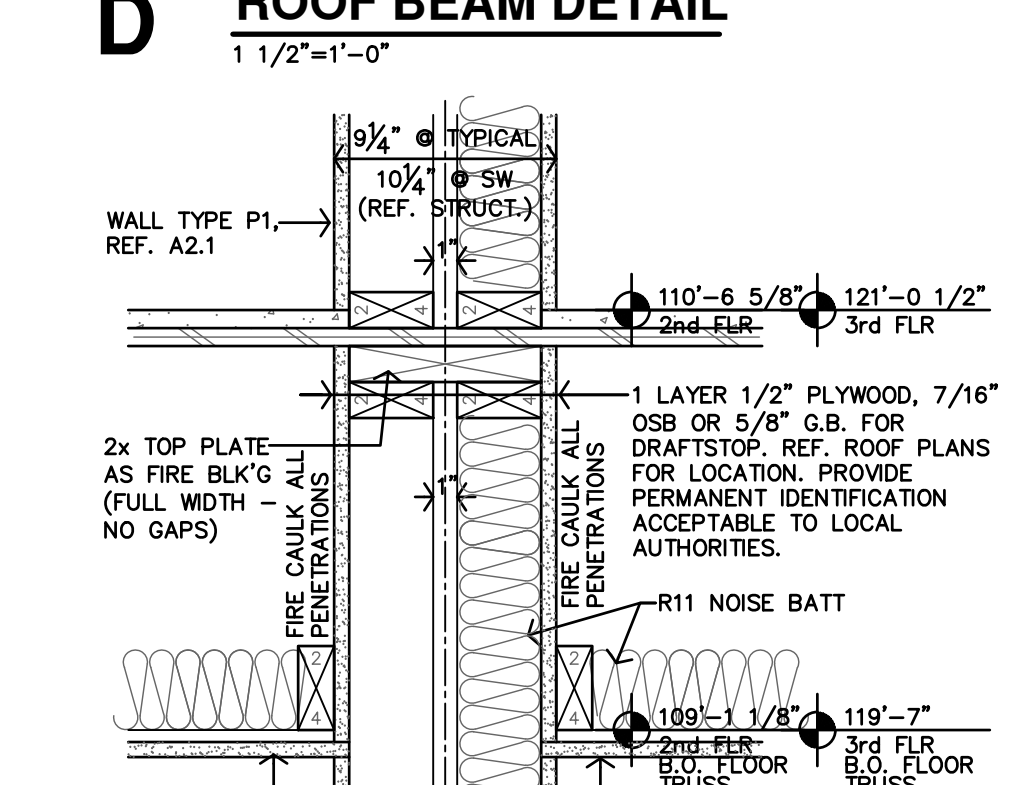
REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:



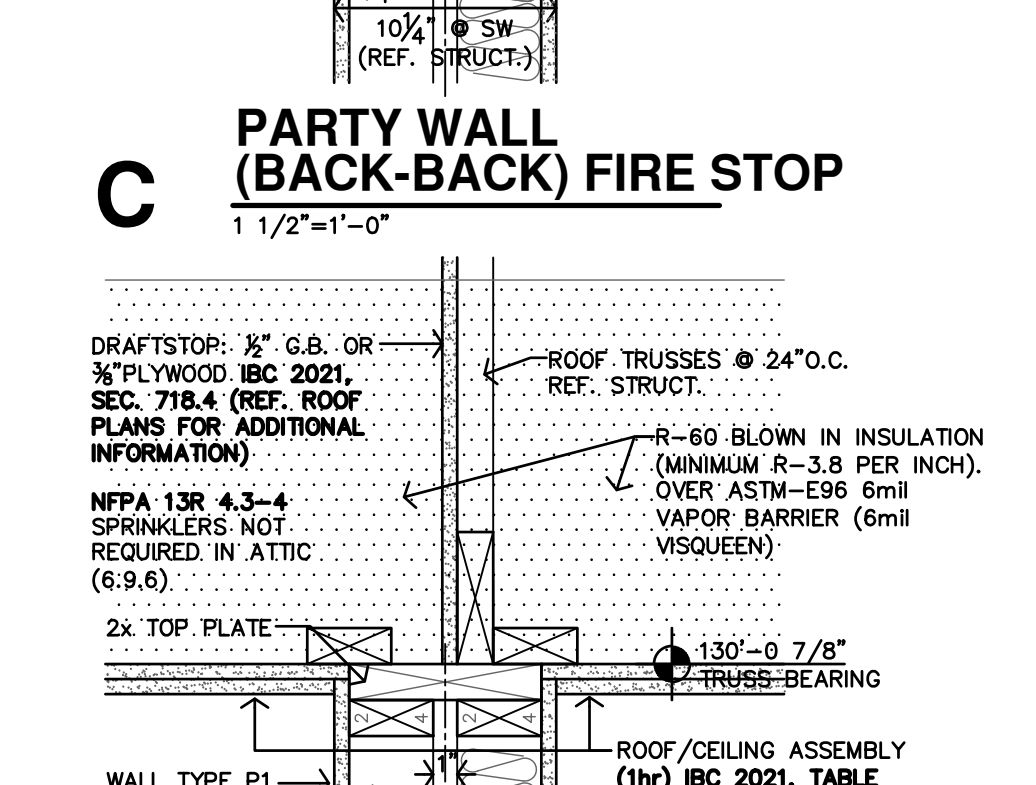
E WALL CAVITY PLAN DETAIL
1 1/2"=1'-0"



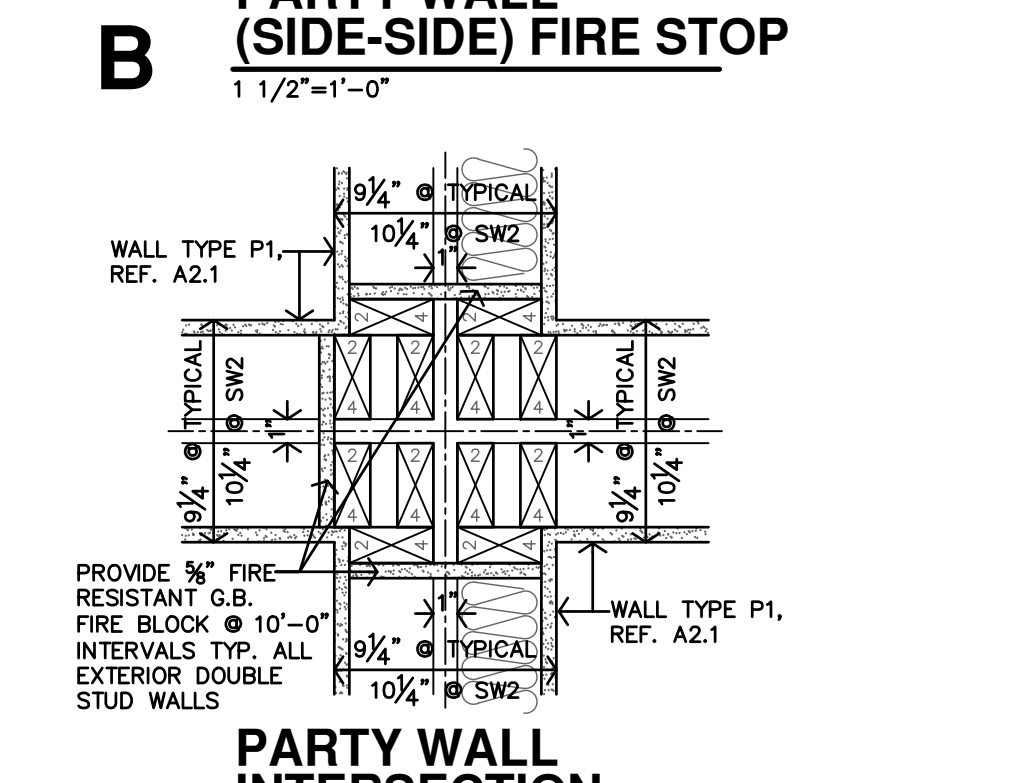
D BREEZEWAY ROOF BEAM DETAIL
1 1/2"=1'-0"



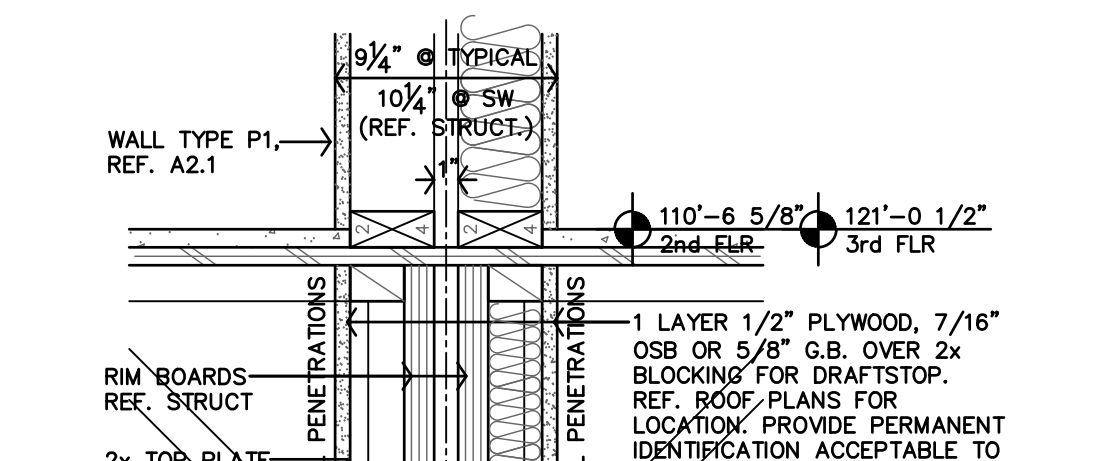
C PARTY WALL (BACK-BACK) FIRE STOP
1 1/2"=1'-0"



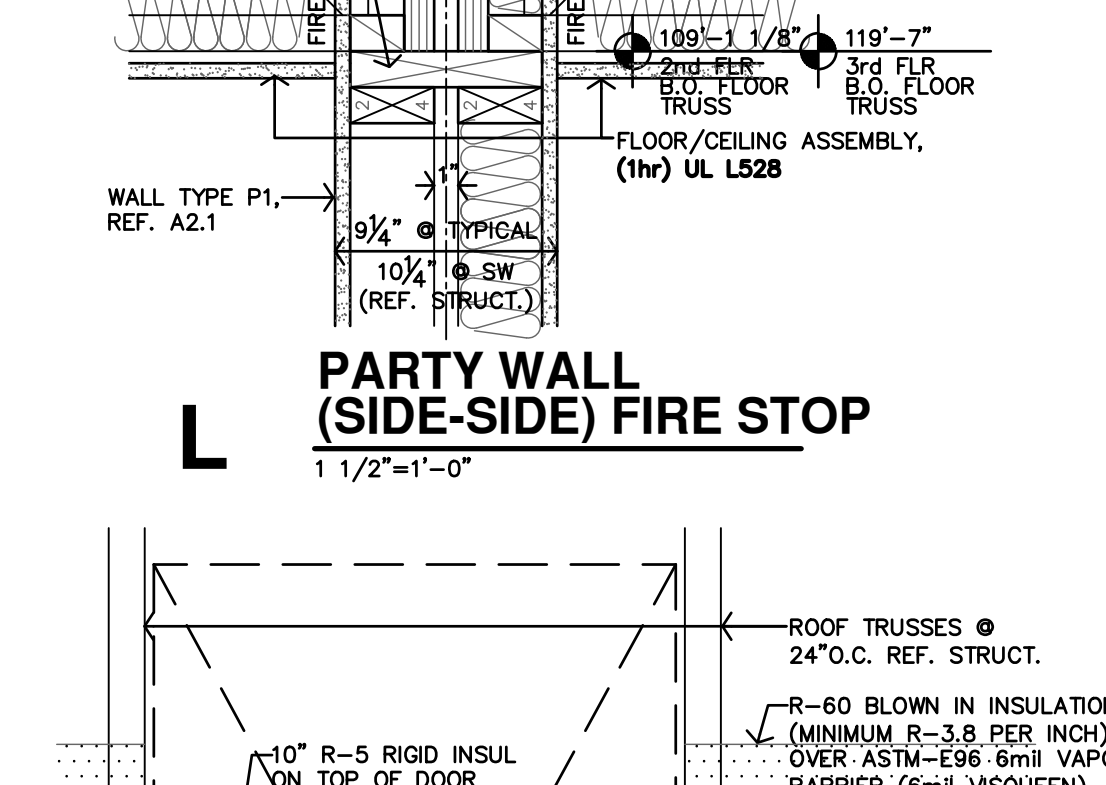
B PARTY WALL (SIDE-SIDE) FIRE STOP
1 1/2"=1'-0"



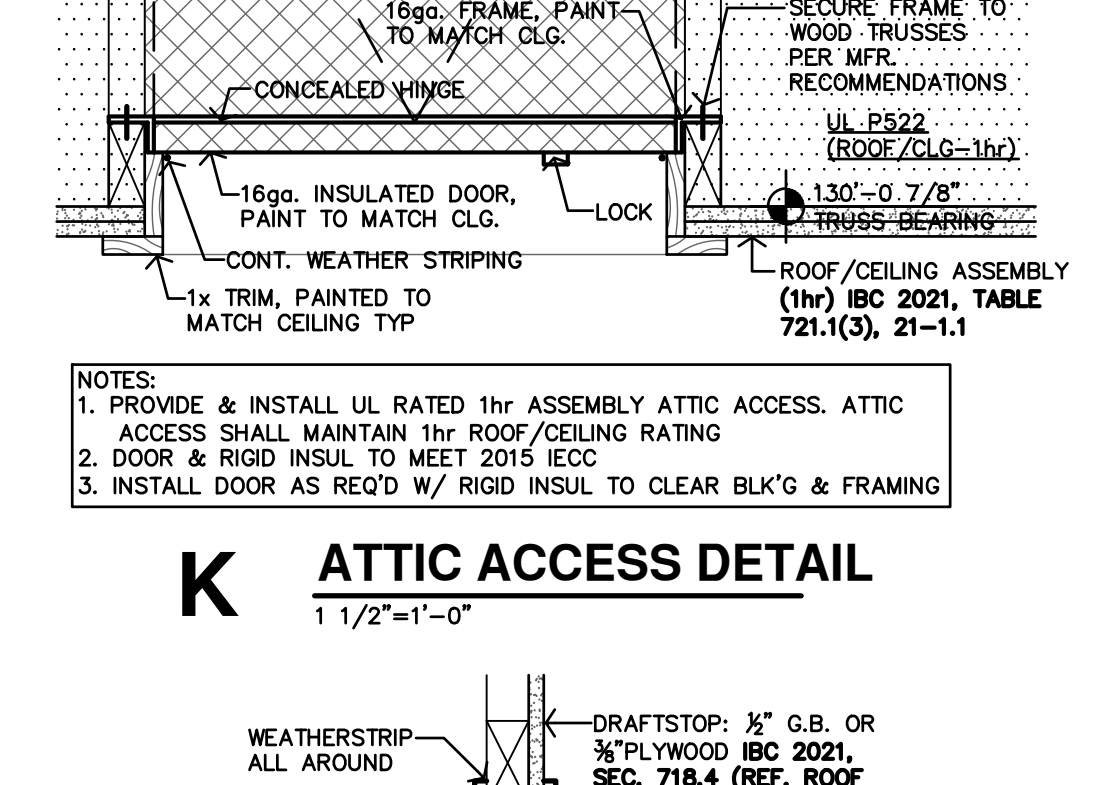
A PARTY WALL INTERSECTION FIRE BLOCKING DETAIL
1 1/2"=1'-0"



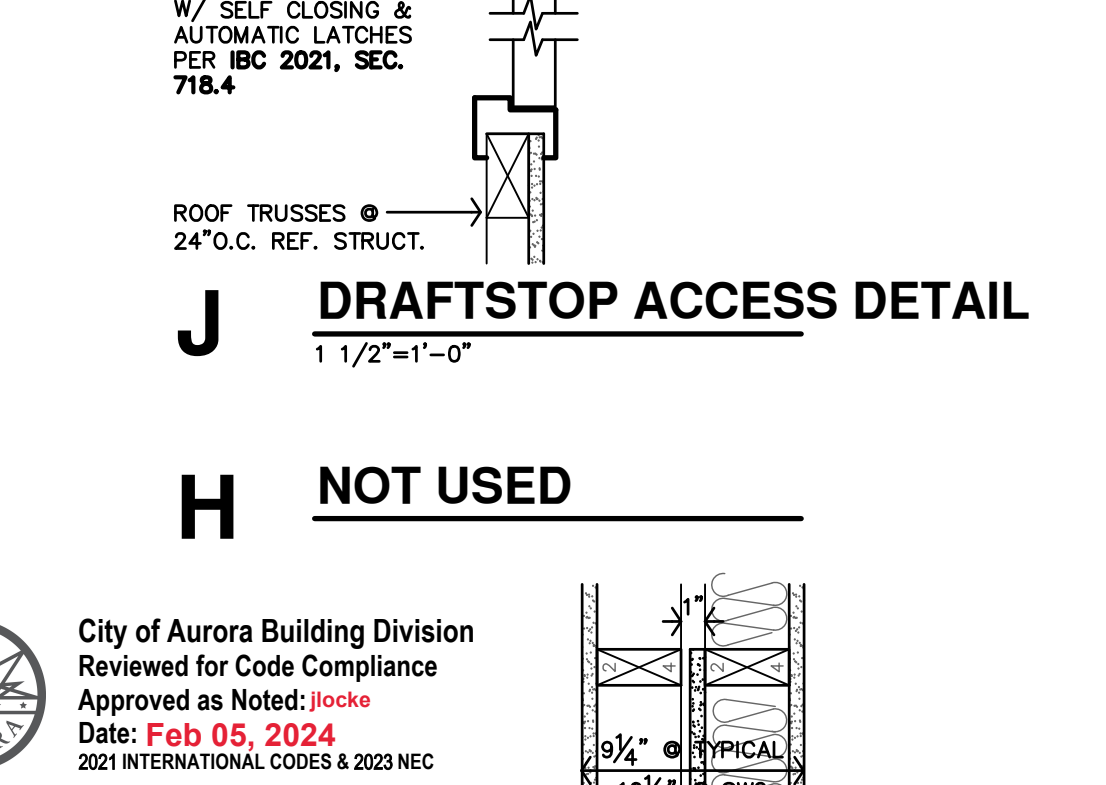
L PARTY WALL (SIDE-SIDE) FIRE STOP
1 1/2"=1'-0"



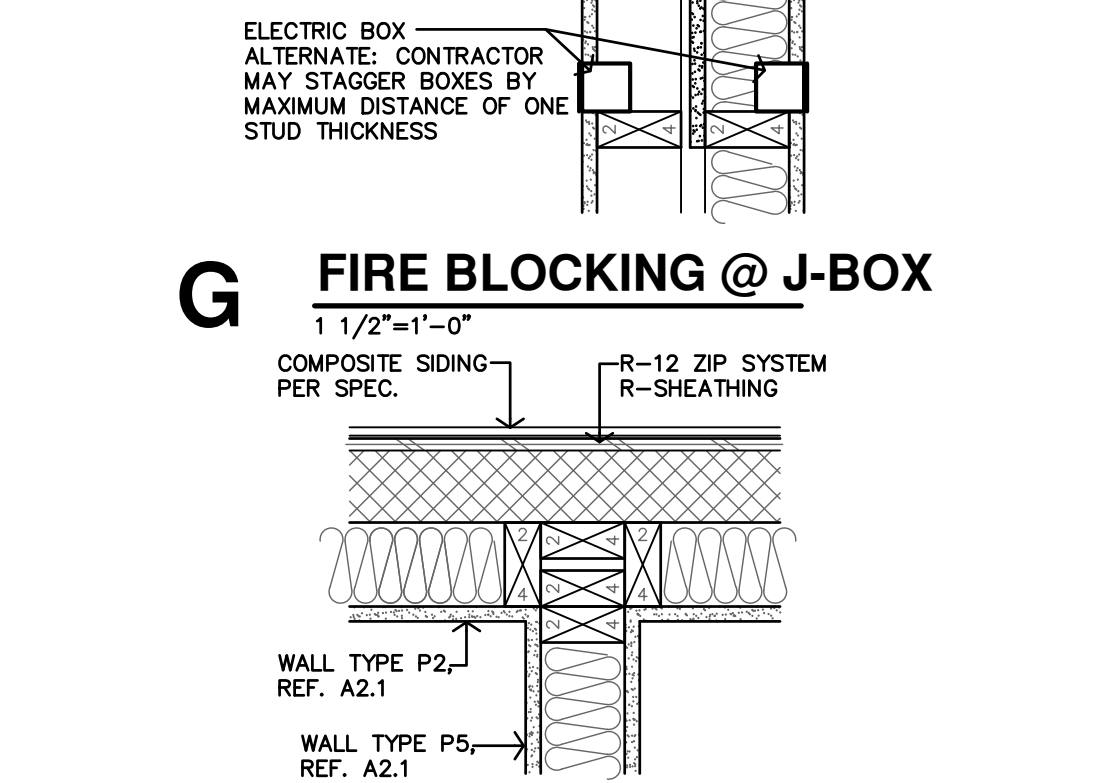
K ATTIC ACCESS DETAIL
1 1/2"=1'-0"



J DRAFTSTOP ACCESS DETAIL
1 1/2"=1'-0"



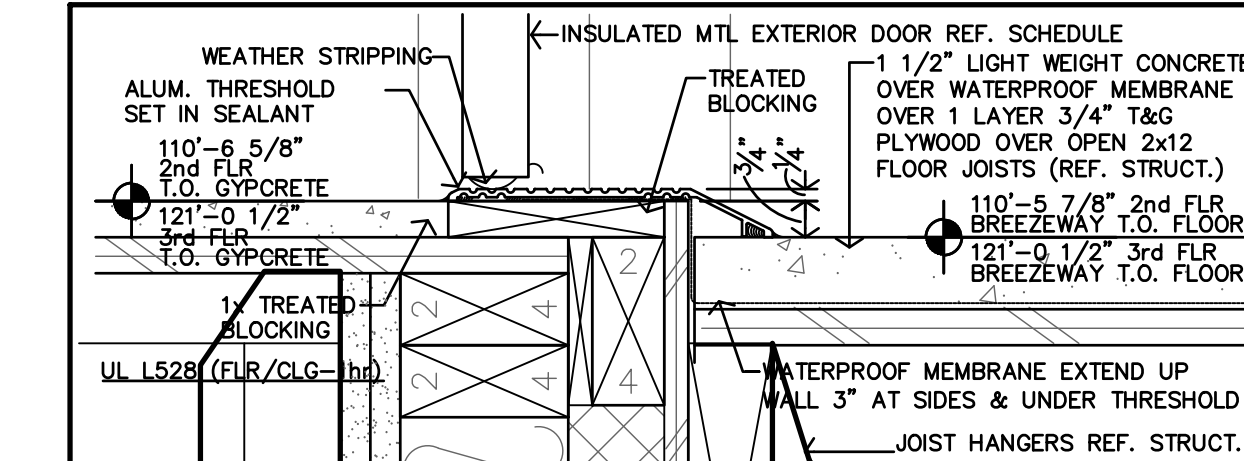
H NOT USED



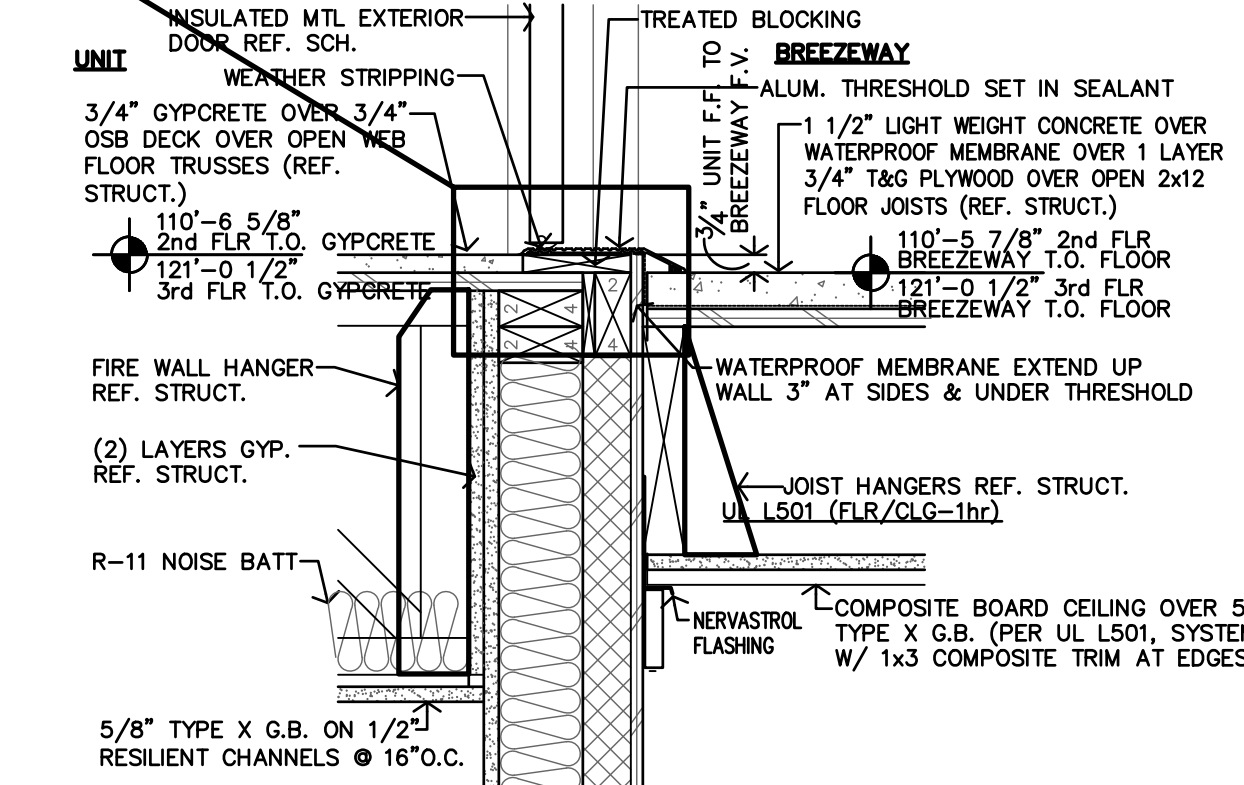
G FIRE BLOCKING @ J-BOX
1 1/2"=1'-0"



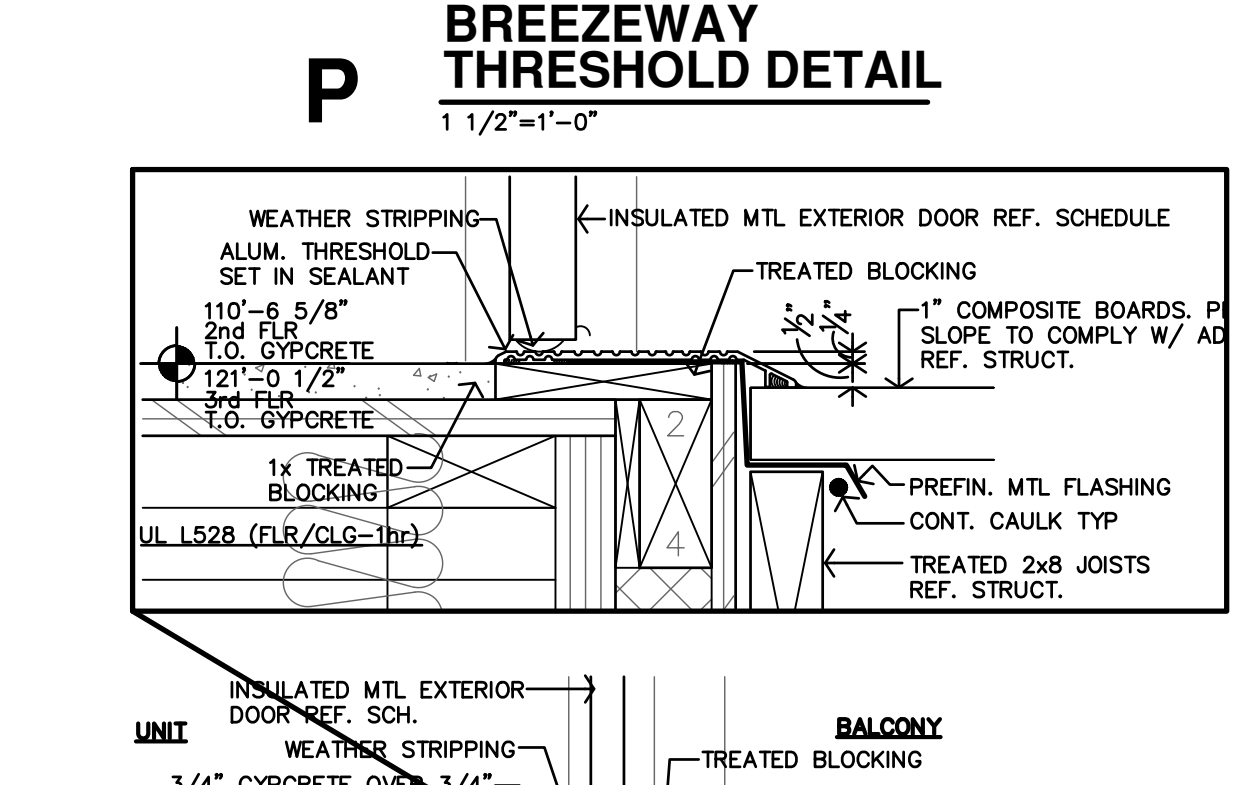
F EXT. WALL DETAIL
1 1/2"=1'-0"



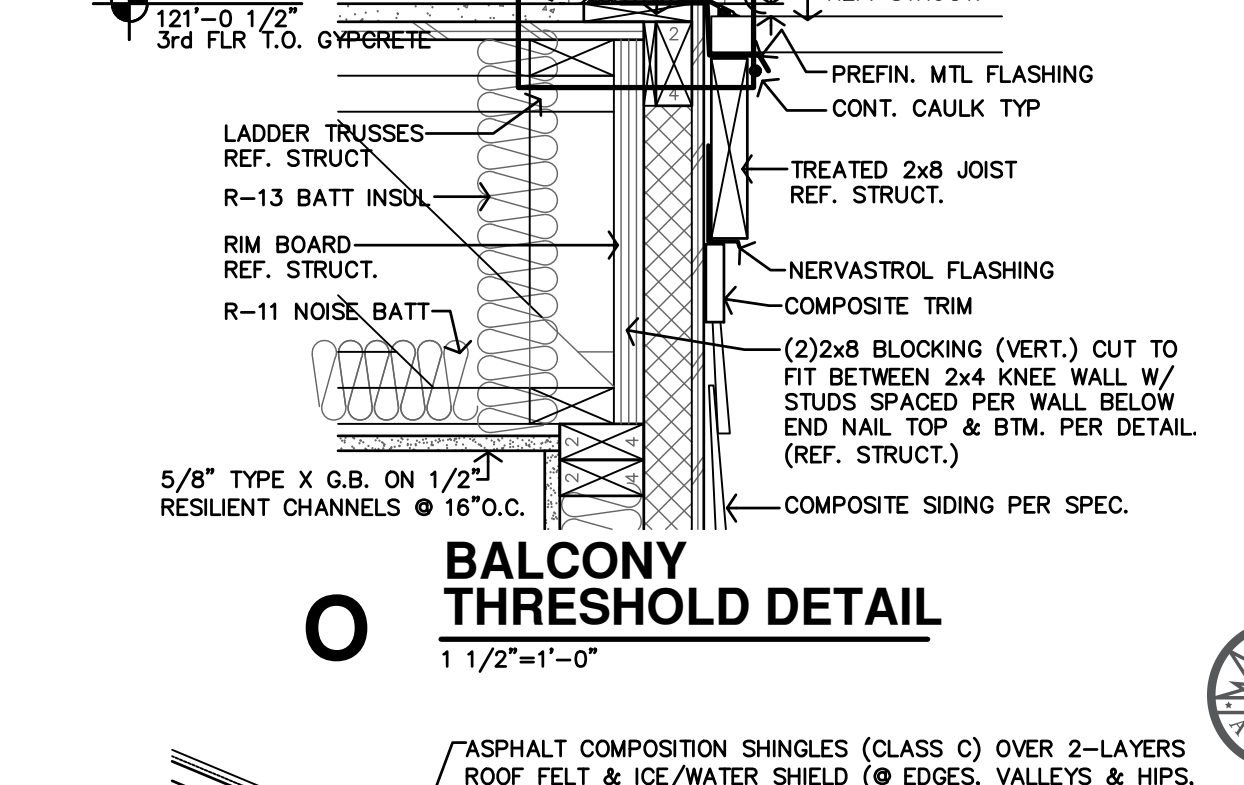
P BREEZEWAY THRESHOLD DETAIL
1 1/2"=1'-0"



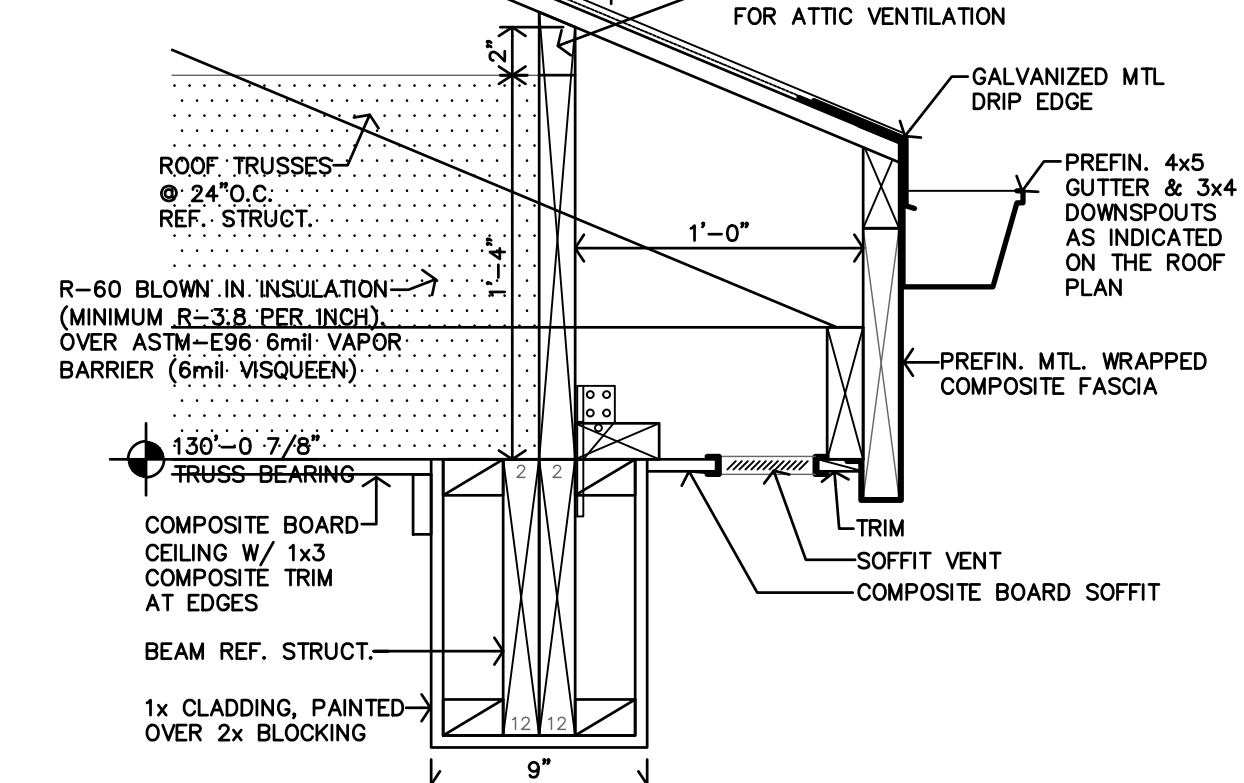
O BALCONY THRESHOLD DETAIL
1 1/2"=1'-0"



M SOFFIT DETAIL
1 1/2"=1'-0"



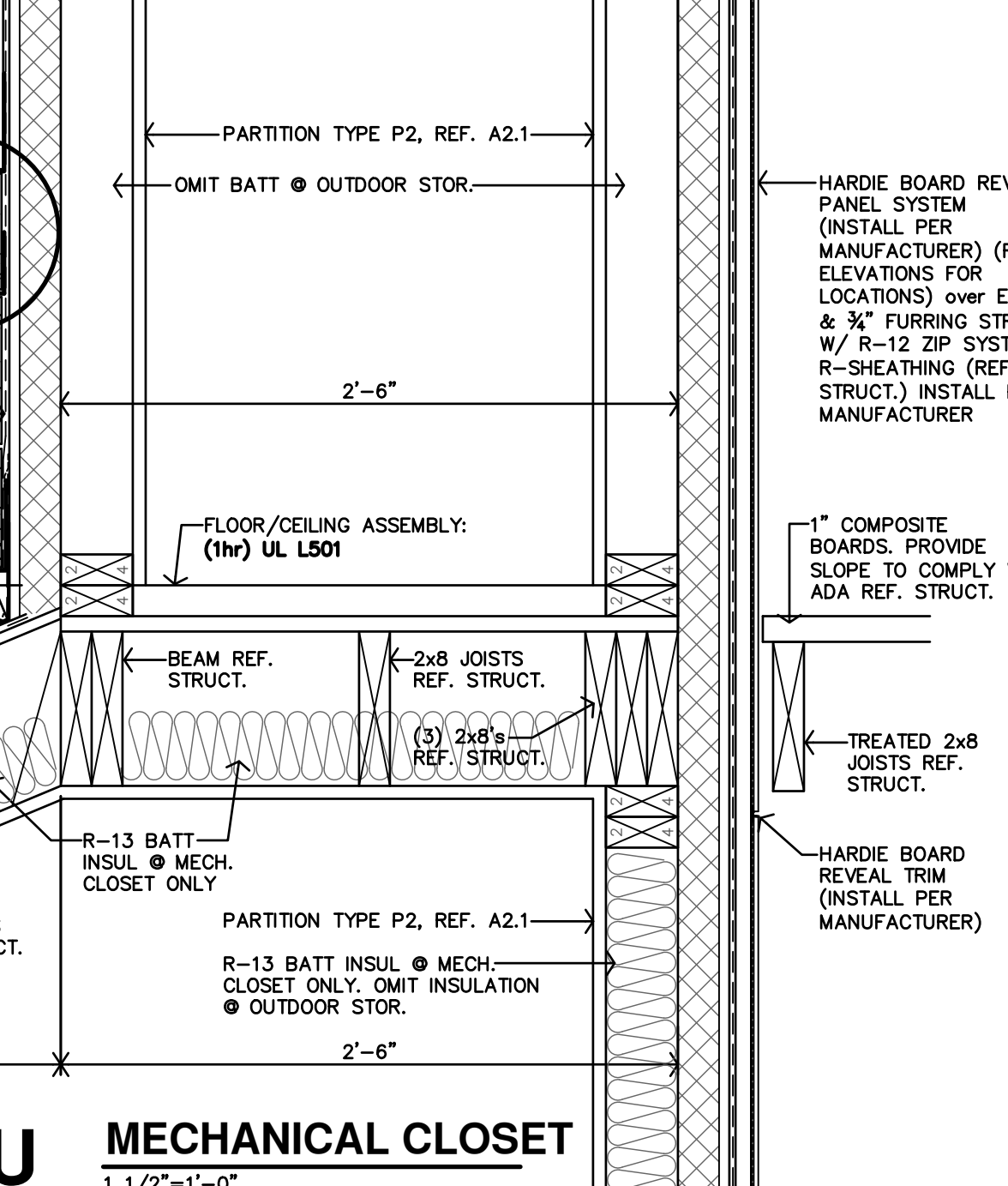
Q BALCONY RAIL DETAIL
1 1/2"=1'-0"



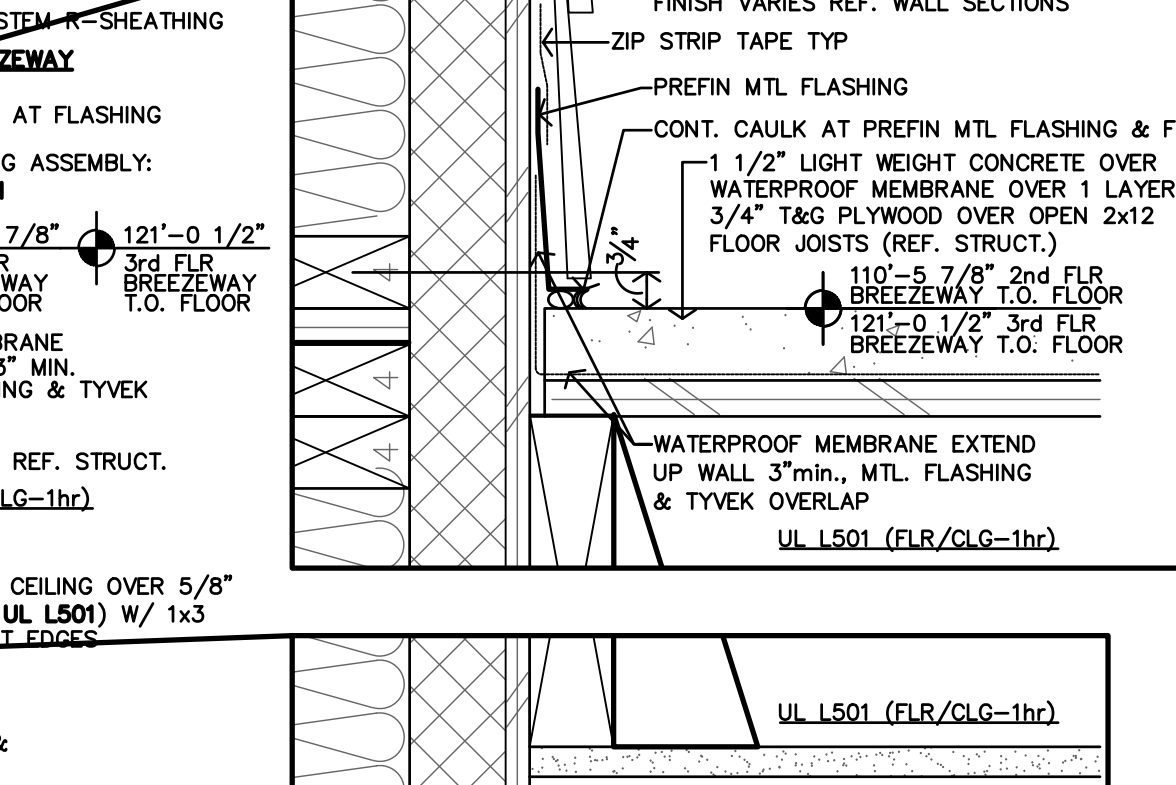
R BREEZEWAY DETAIL
1 1/2"=1'-0"



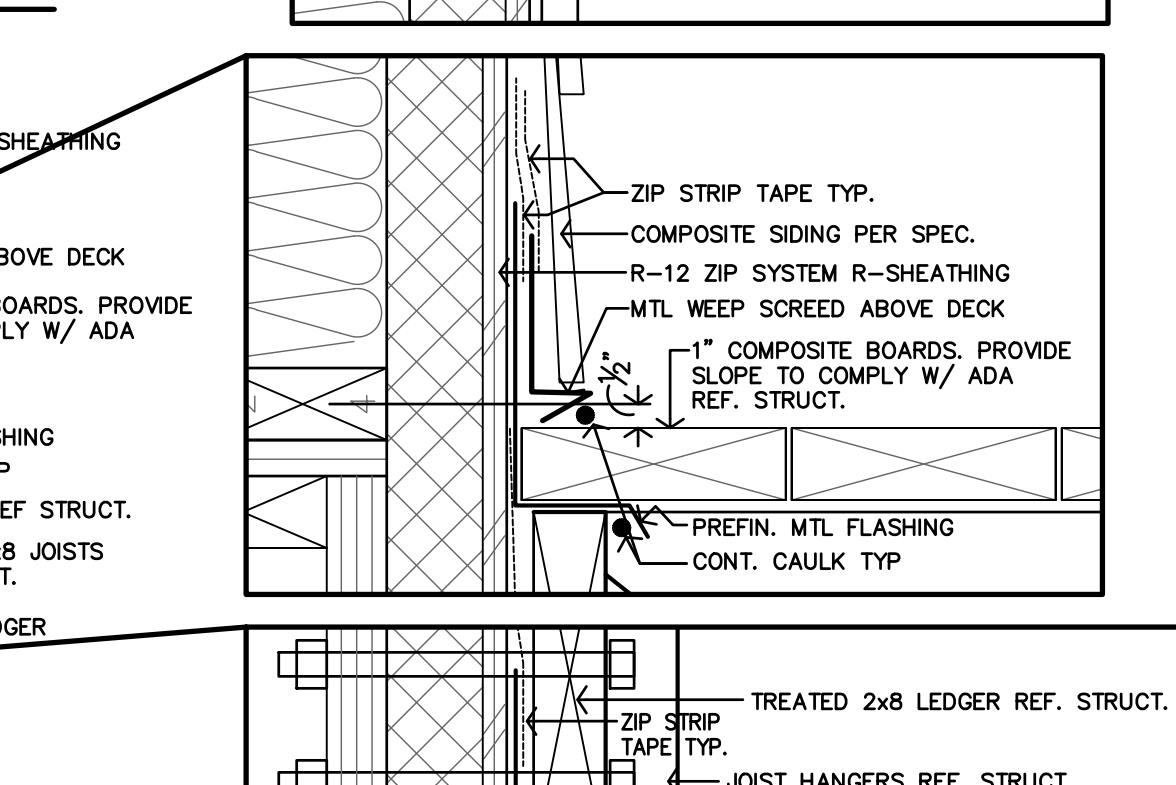
S BALCONY DETAIL
1 1/2"=1'-0"



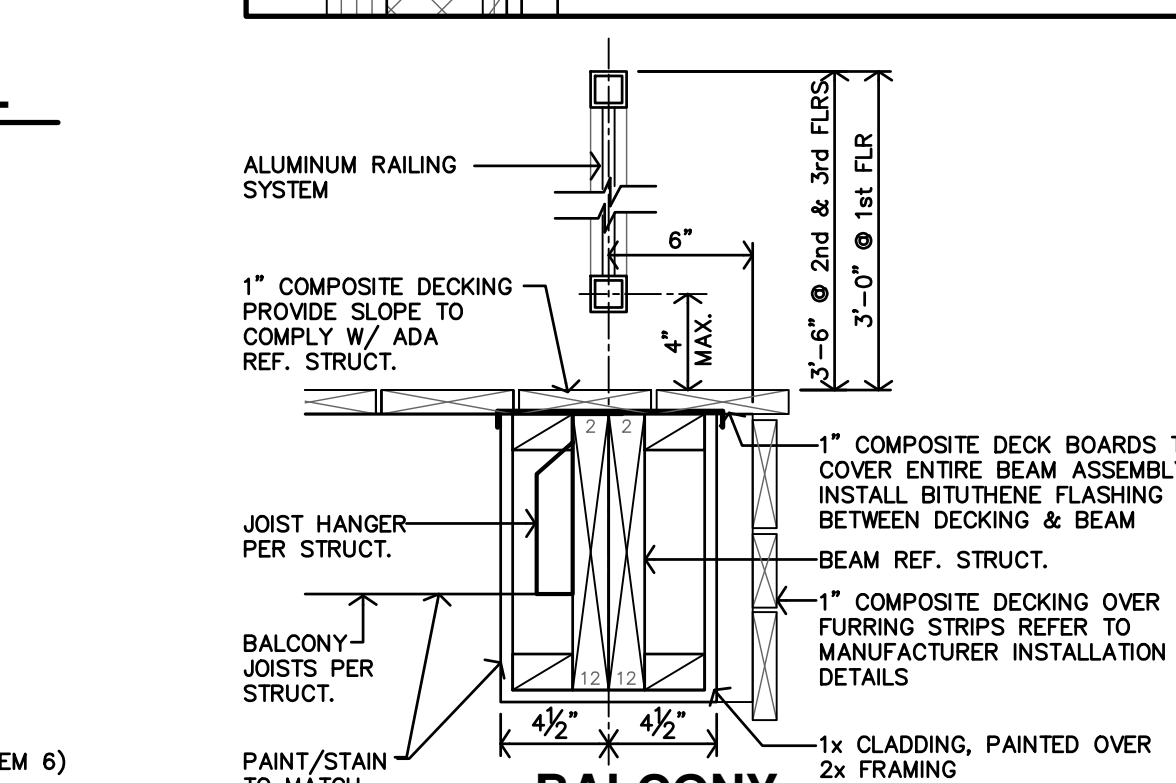
U MECHANICAL CLOSET
1 1/2"=1'-0"



T BREEZEWAY DETAIL
1 1/2"=1'-0"



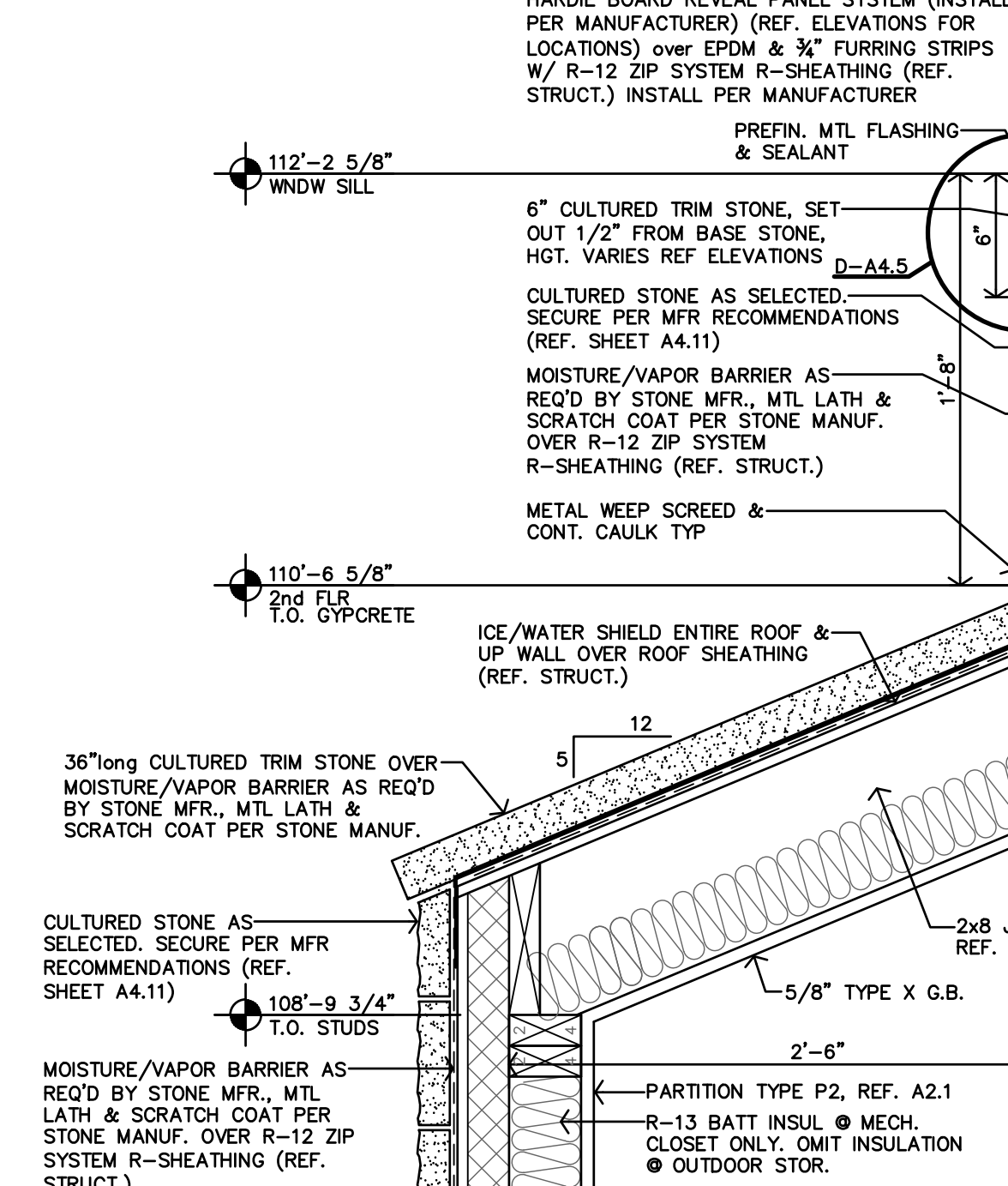
V BALCONY DETAIL
1 1/2"=1'-0"



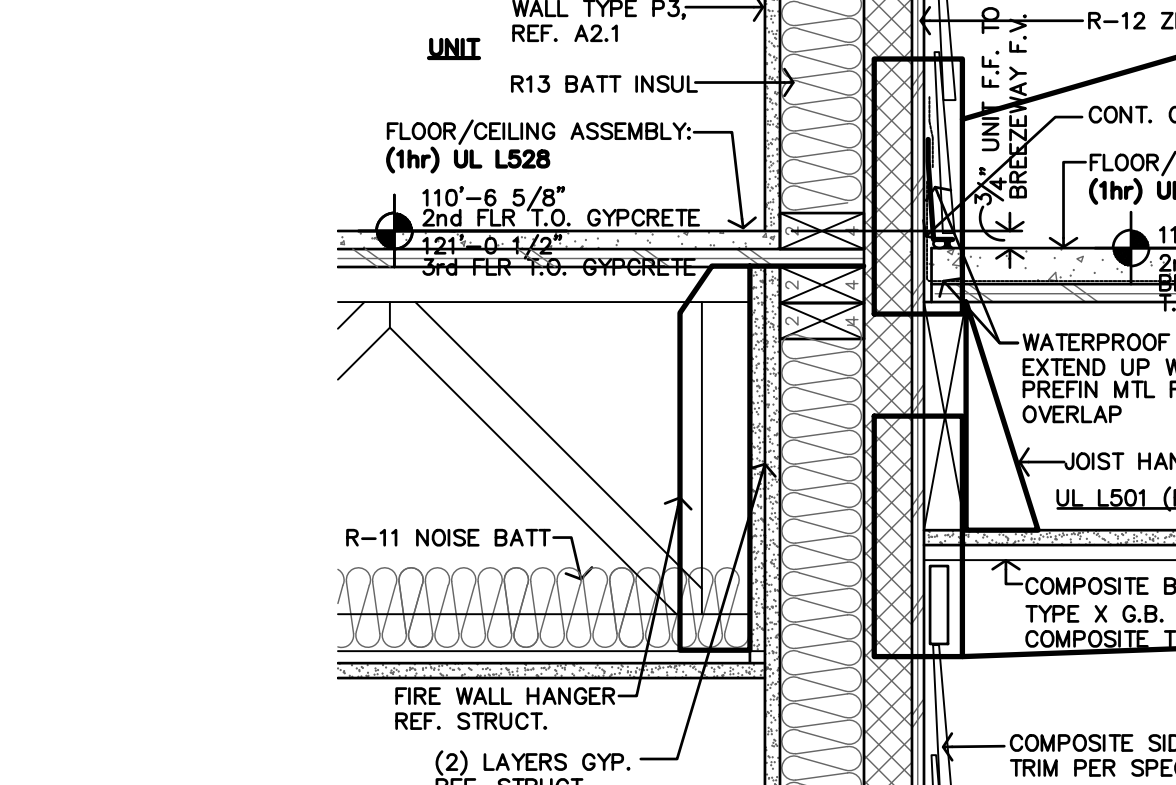
W BALCONY DETAIL
1 1/2"=1'-0"



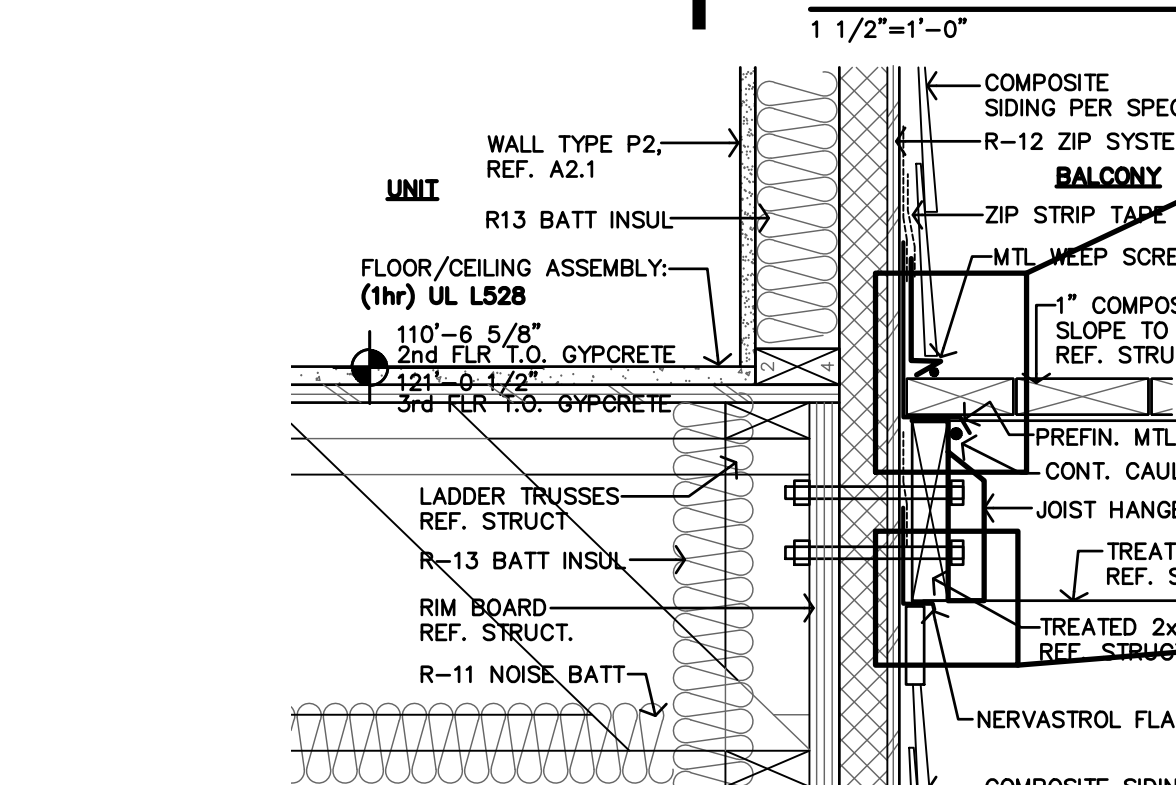
X BALCONY DETAIL
1 1/2"=1'-0"



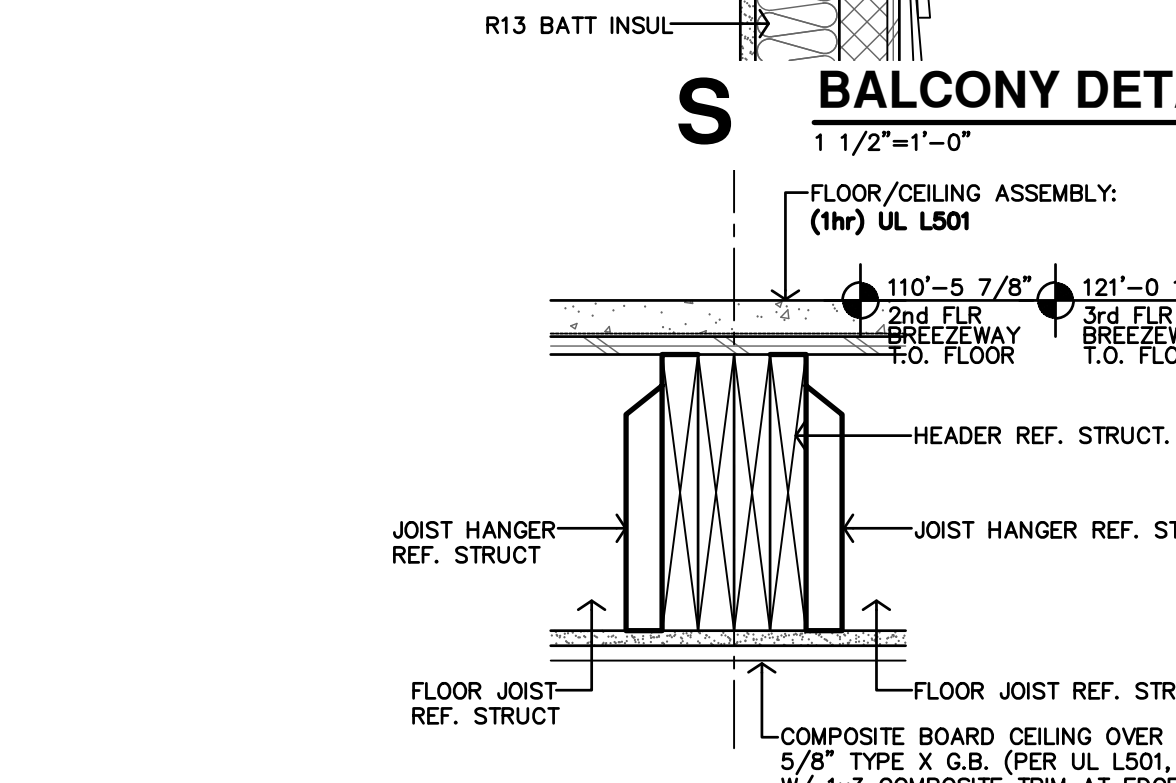
Y MECHANICAL CLOSET
1 1/2"=1'-0"



Z BREEZEWAY DETAIL
1 1/2"=1'-0"



AA BALCONY DETAIL
1 1/2"=1'-0"



AB BALCONY DETAIL
1 1/2"=1'-0"



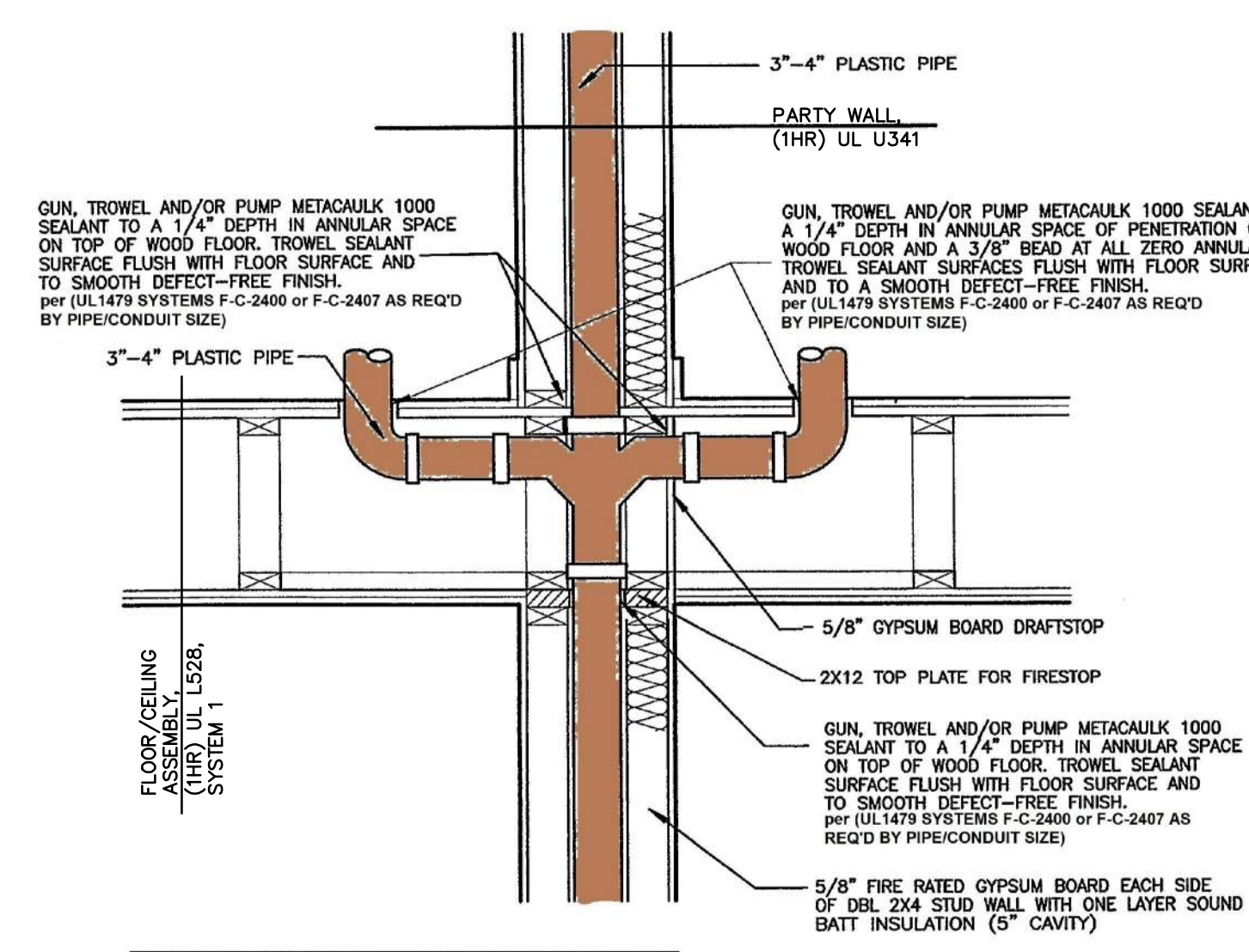
AC BALCONY DETAIL
1 1/2"=1'-0"

AD BALCONY DETAIL
1 1/2"=1'-0"

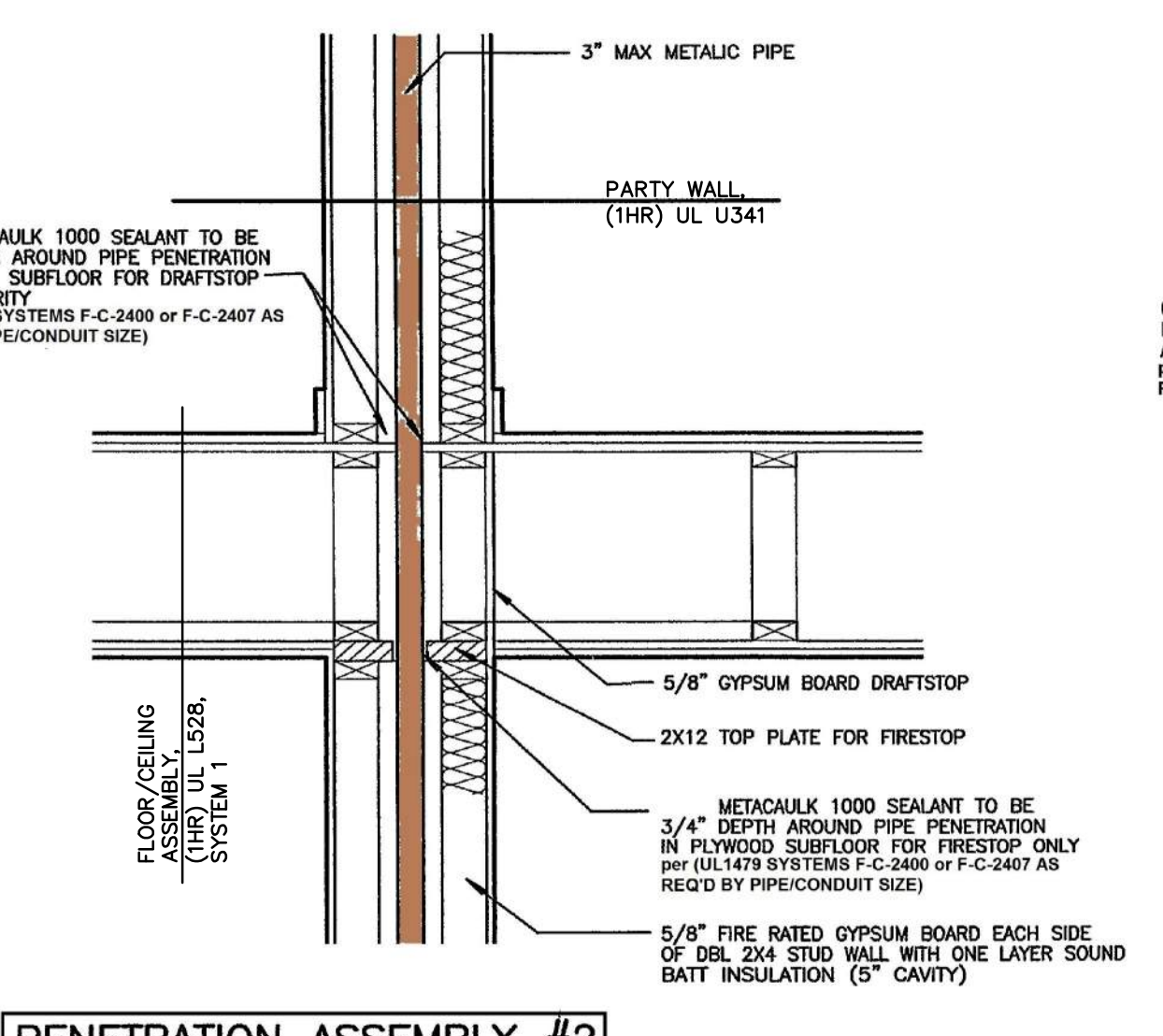


REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

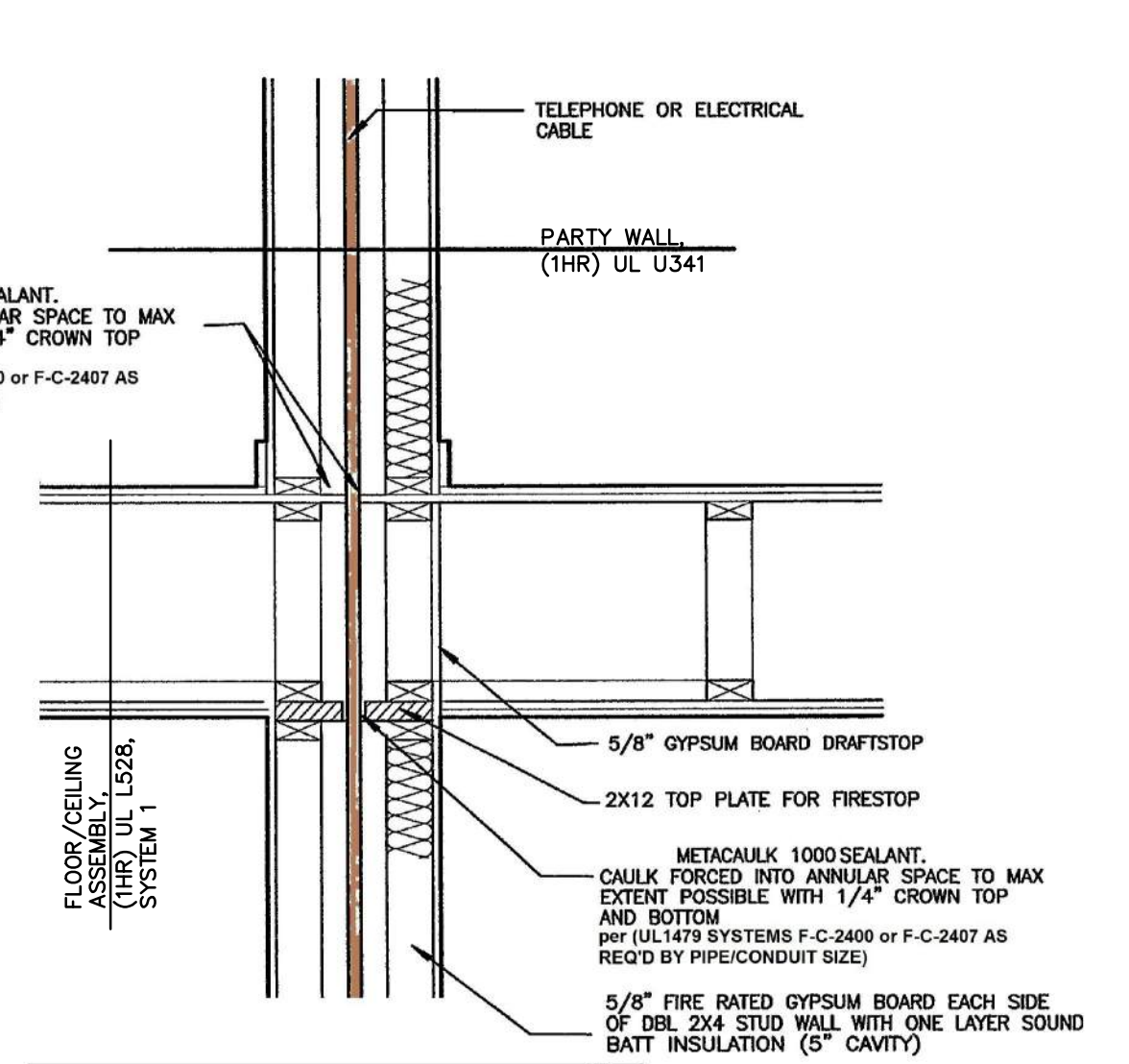
A4.7



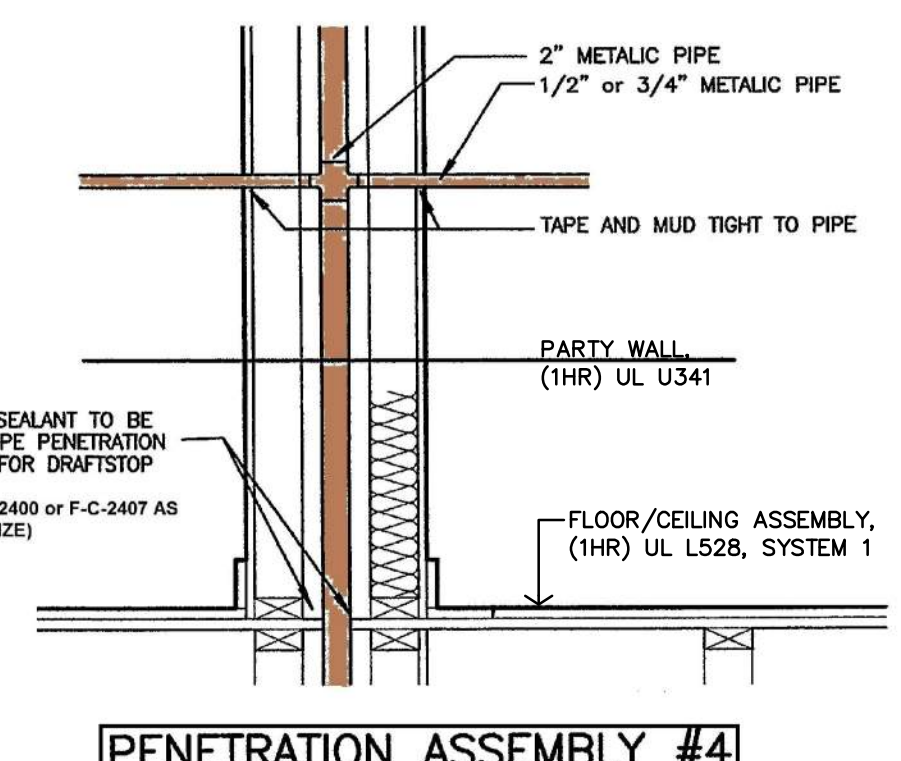
PENETRATION ASSEMBLY #1



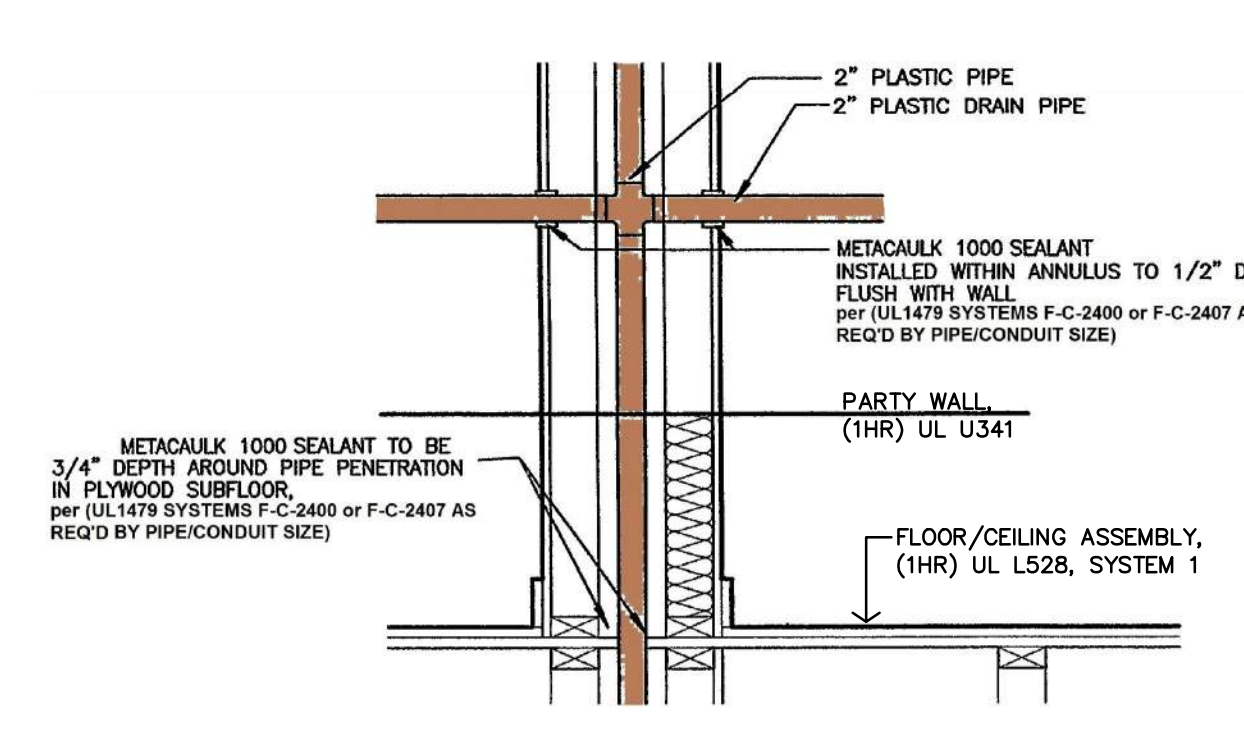
PENETRATION ASSEMBLY #2



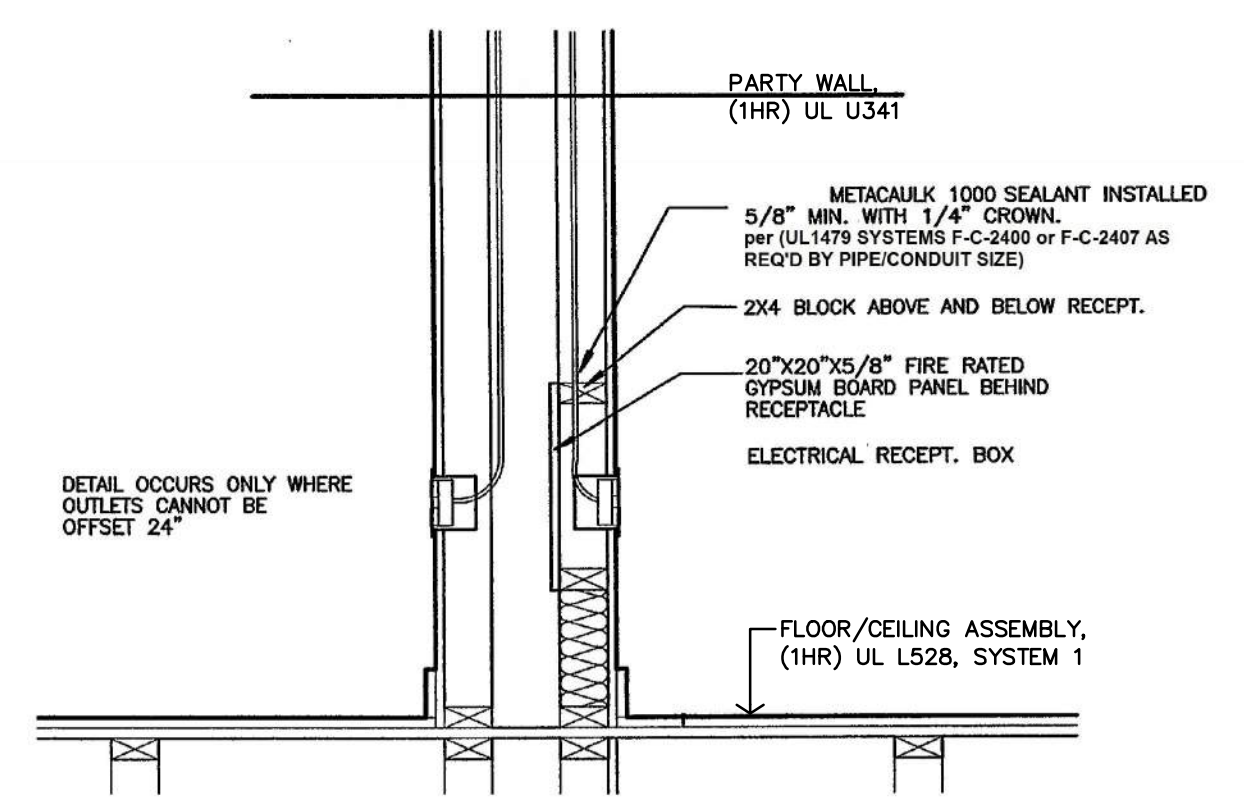
PENETRATION ASSEMBLY #3



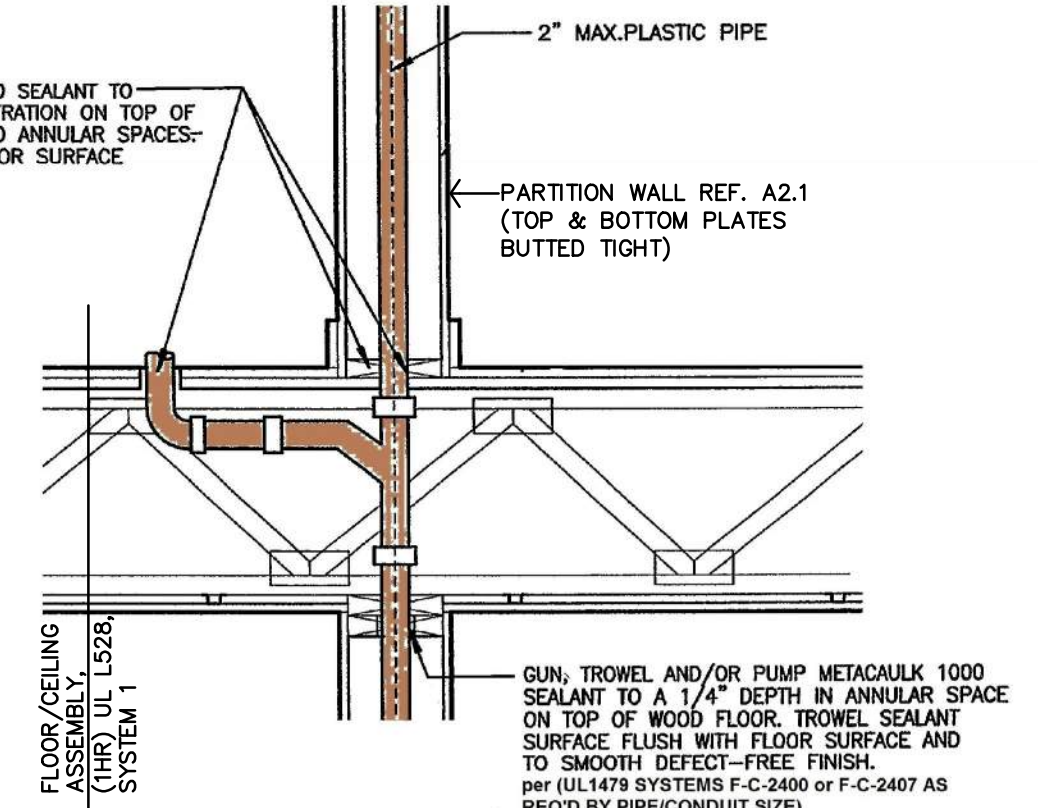
PENETRATION ASSEMBLY #4



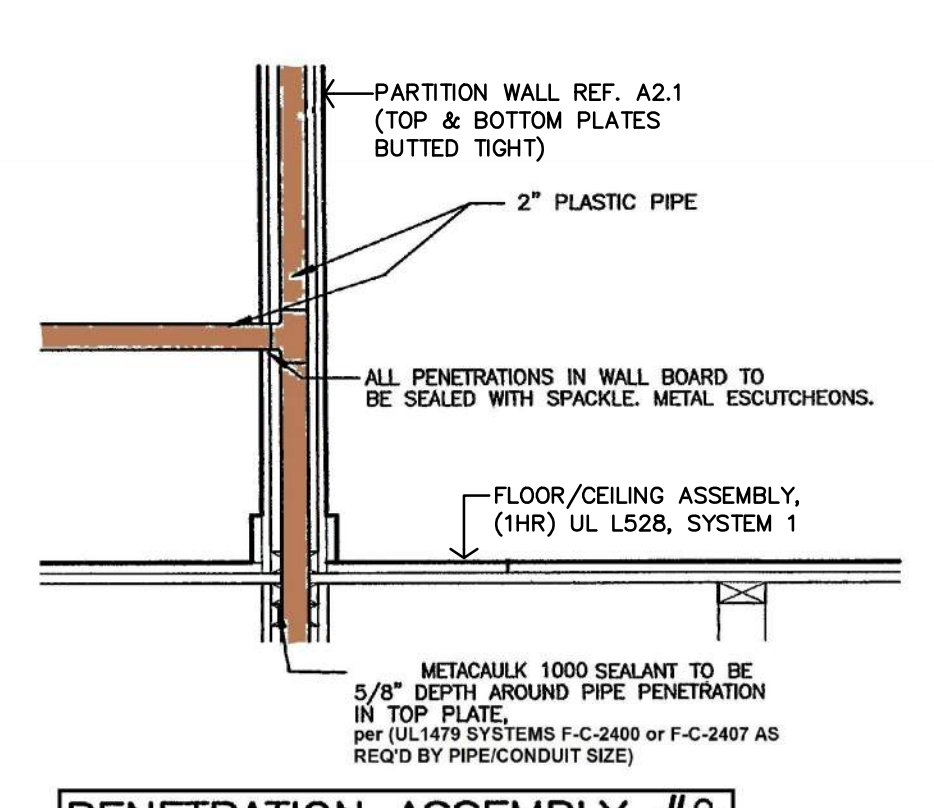
PENETRATION ASSEMBLY #5



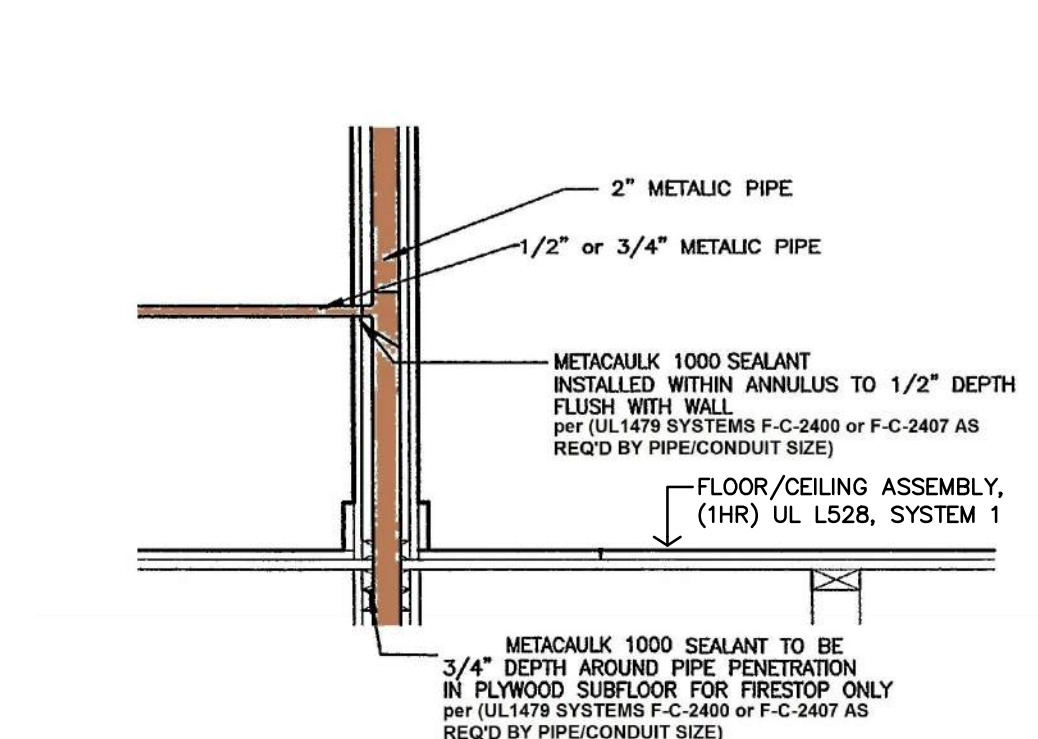
PENETRATION ASSEMBLY #6



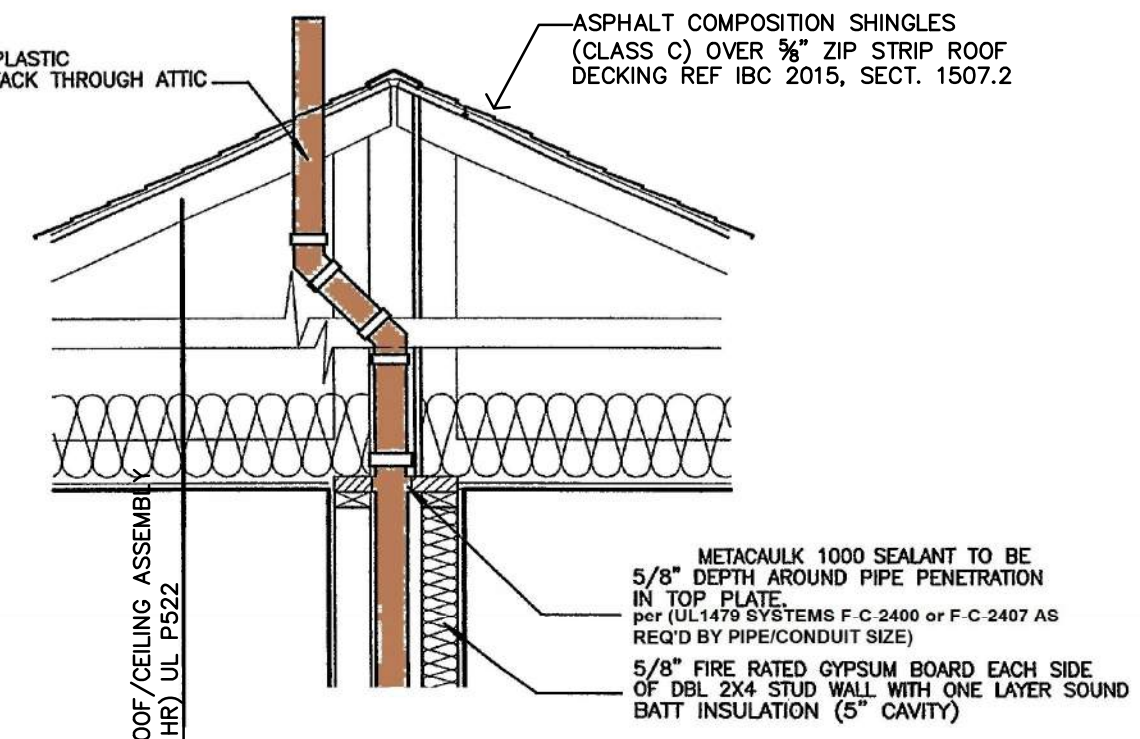
PENETRATION ASSEMBLY #7



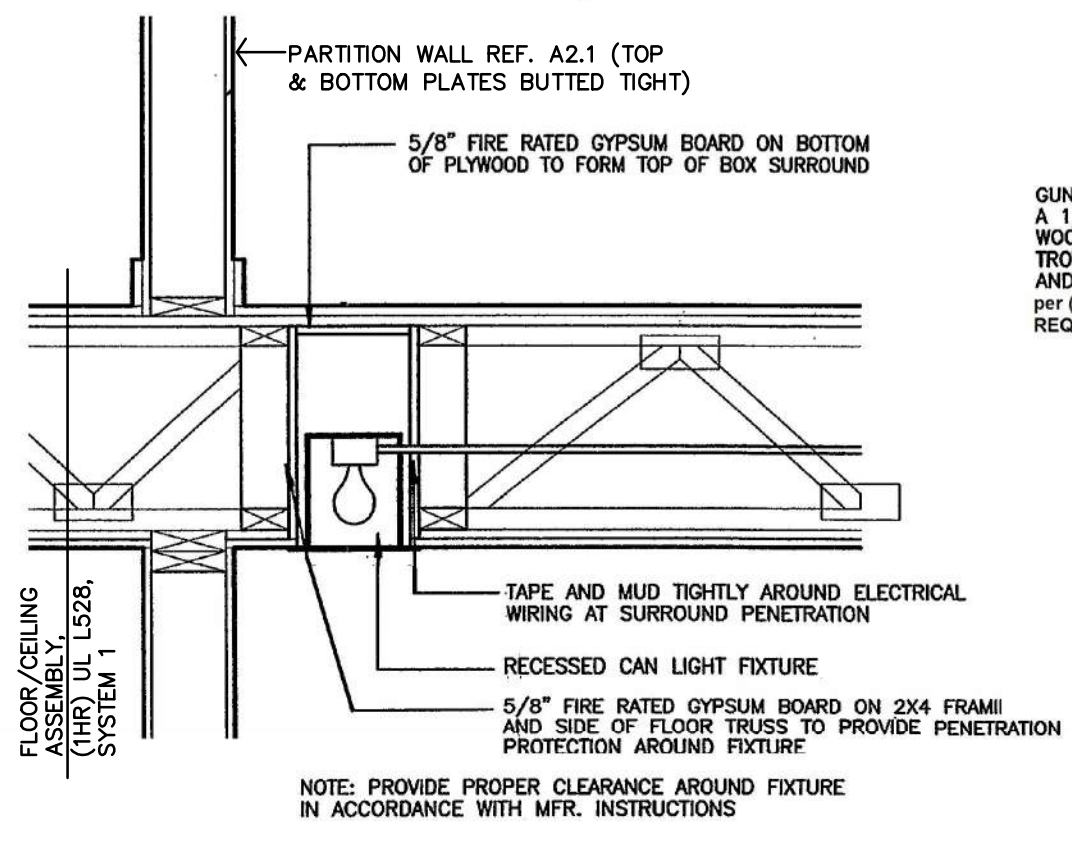
PENETRATION ASSEMBLY #8



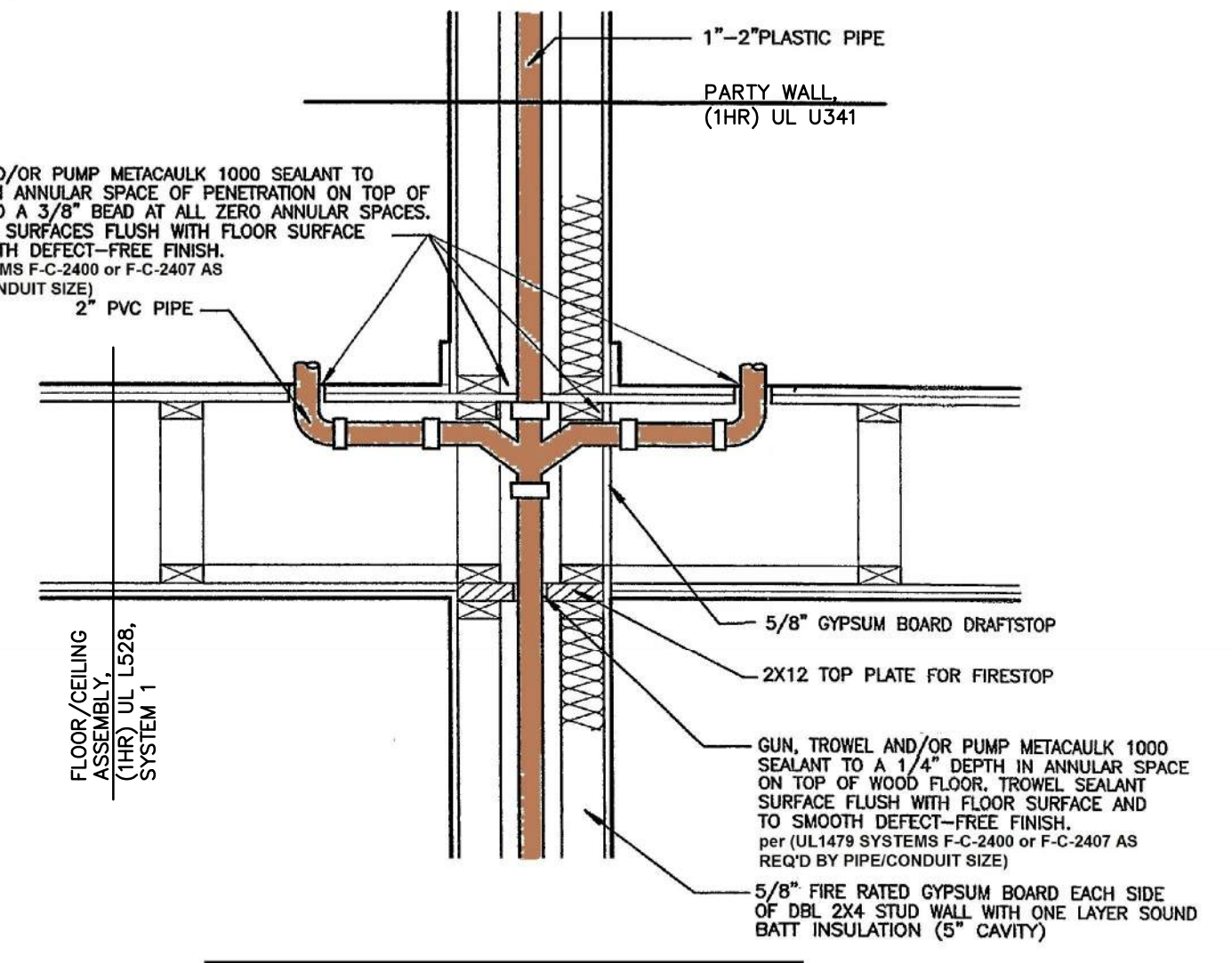
PENETRATION ASSEMBLY #9



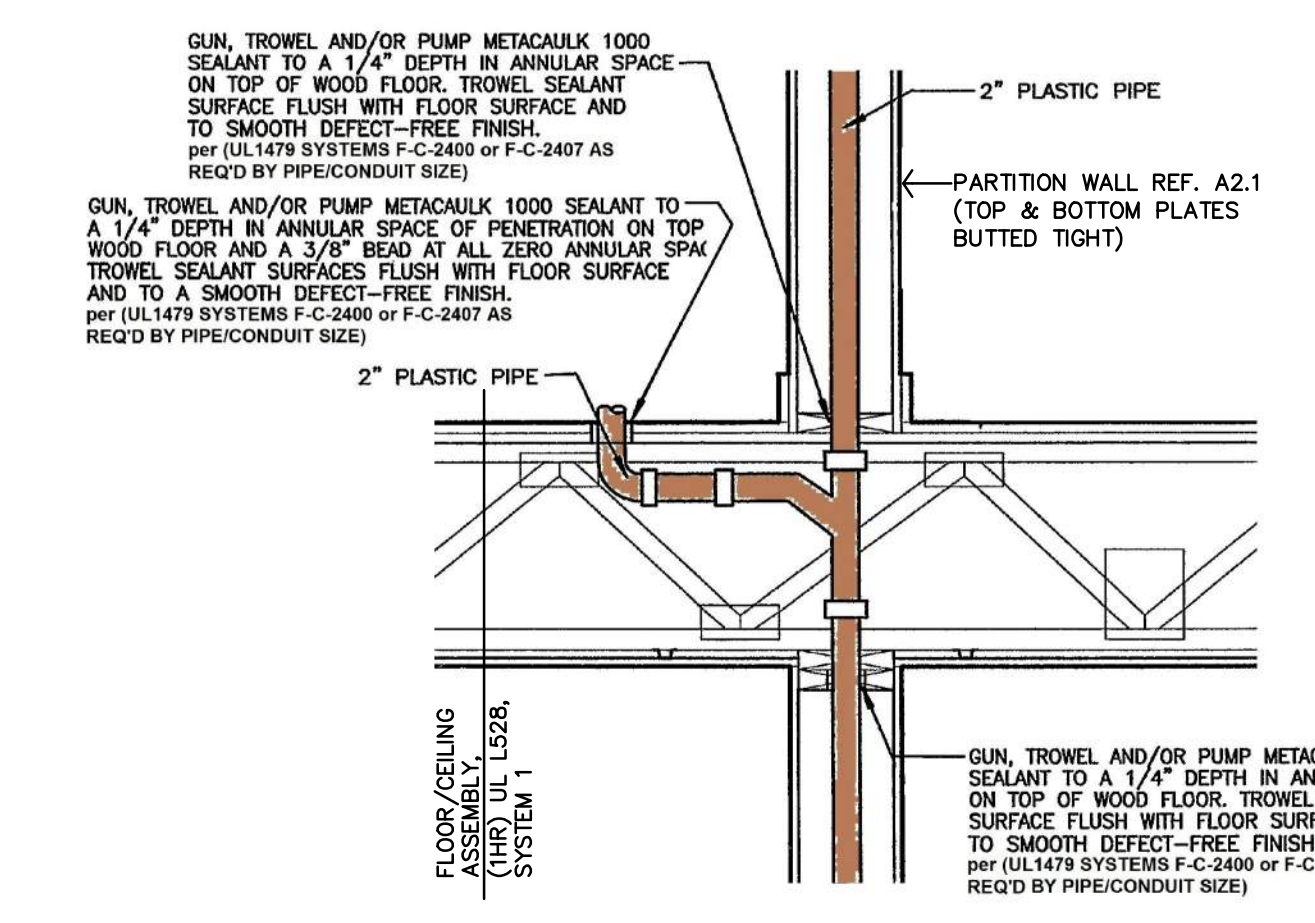
PENETRATION ASSEMBLY #10



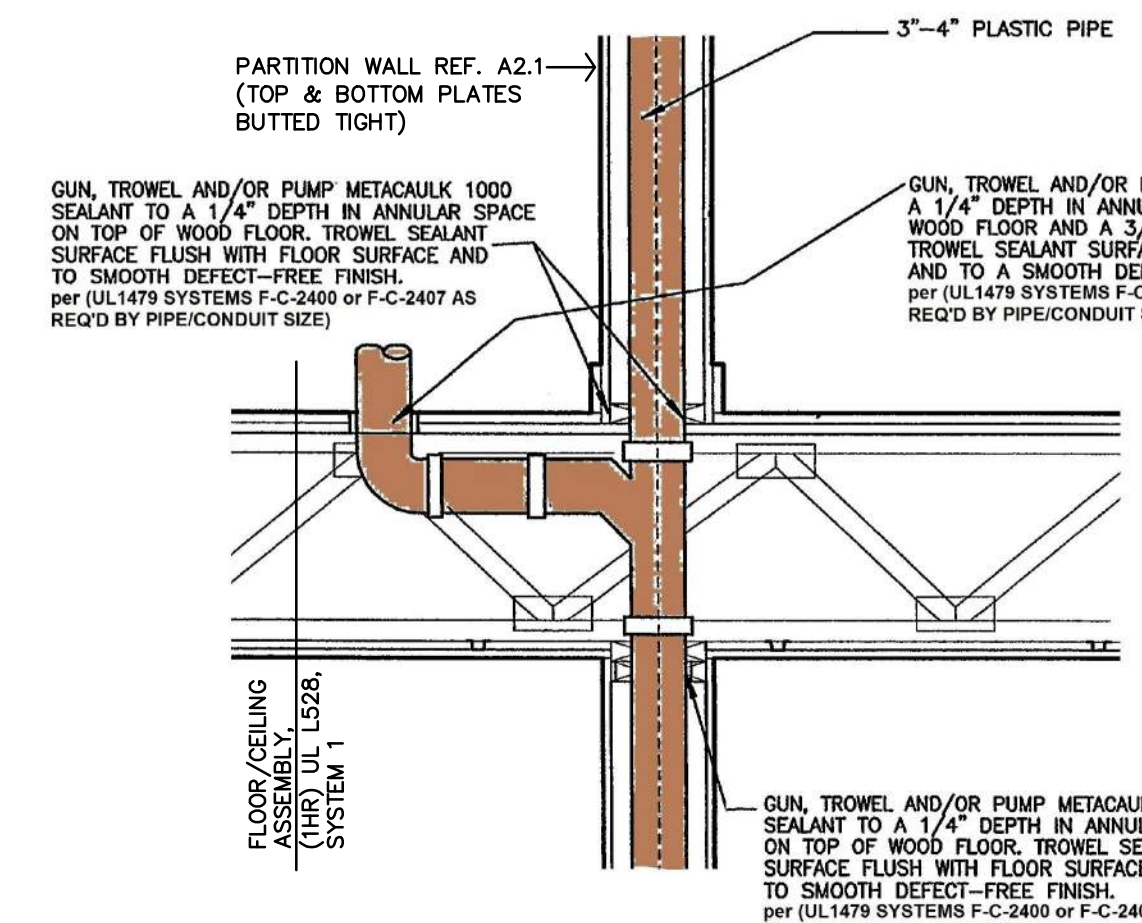
PENETRATION ASSEMBLY #11



PENETRATION ASSEMBLY #12



PENETRATION ASSEMBLY #13



PENETRATION ASSEMBLY #14

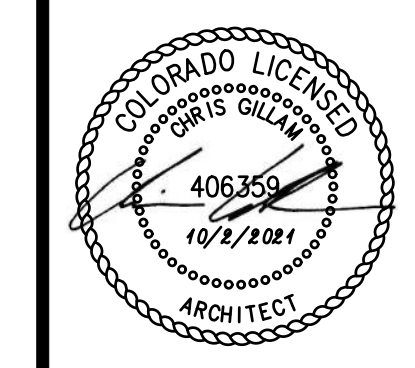
USE PLUMBING PLANS FOR LOCATIONS WITHIN WALLS

FIRE PENETRATION ASSEMBLIES FOR REFERENCE ONLY

NOT TO SCALE



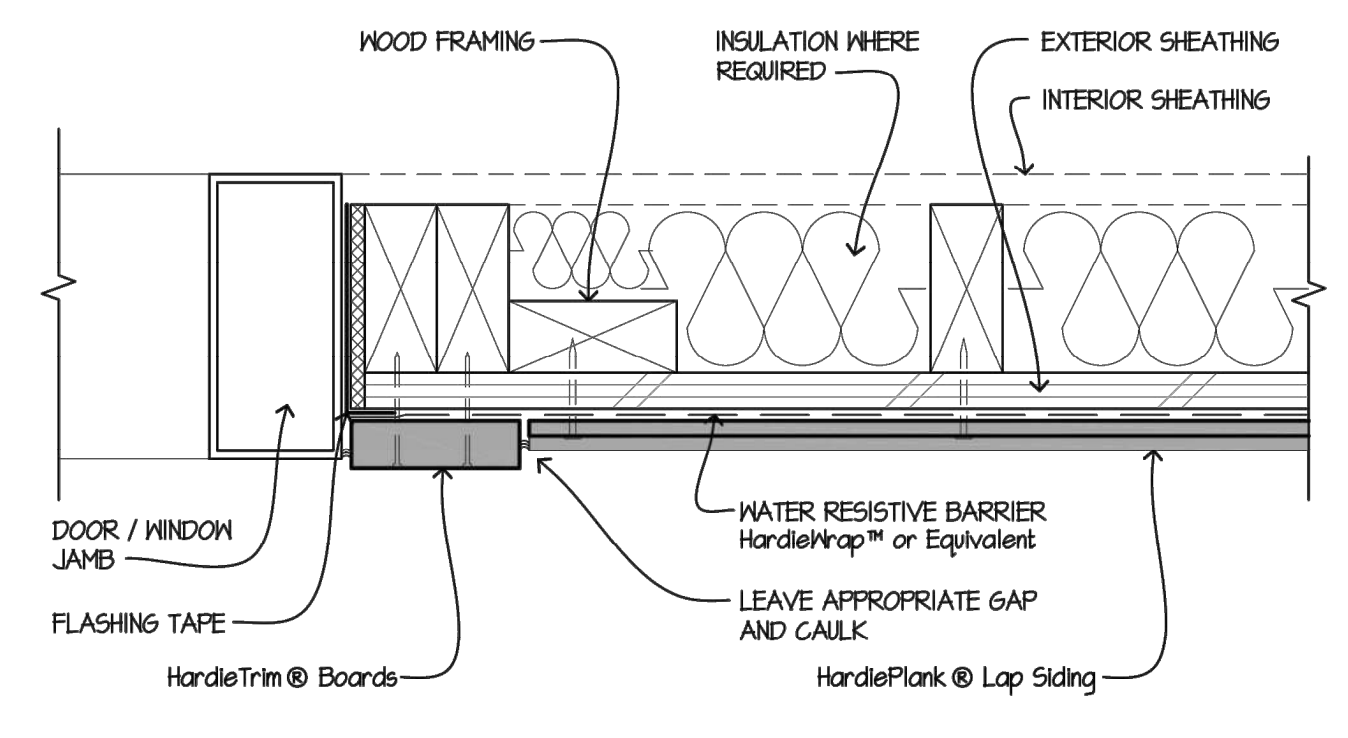
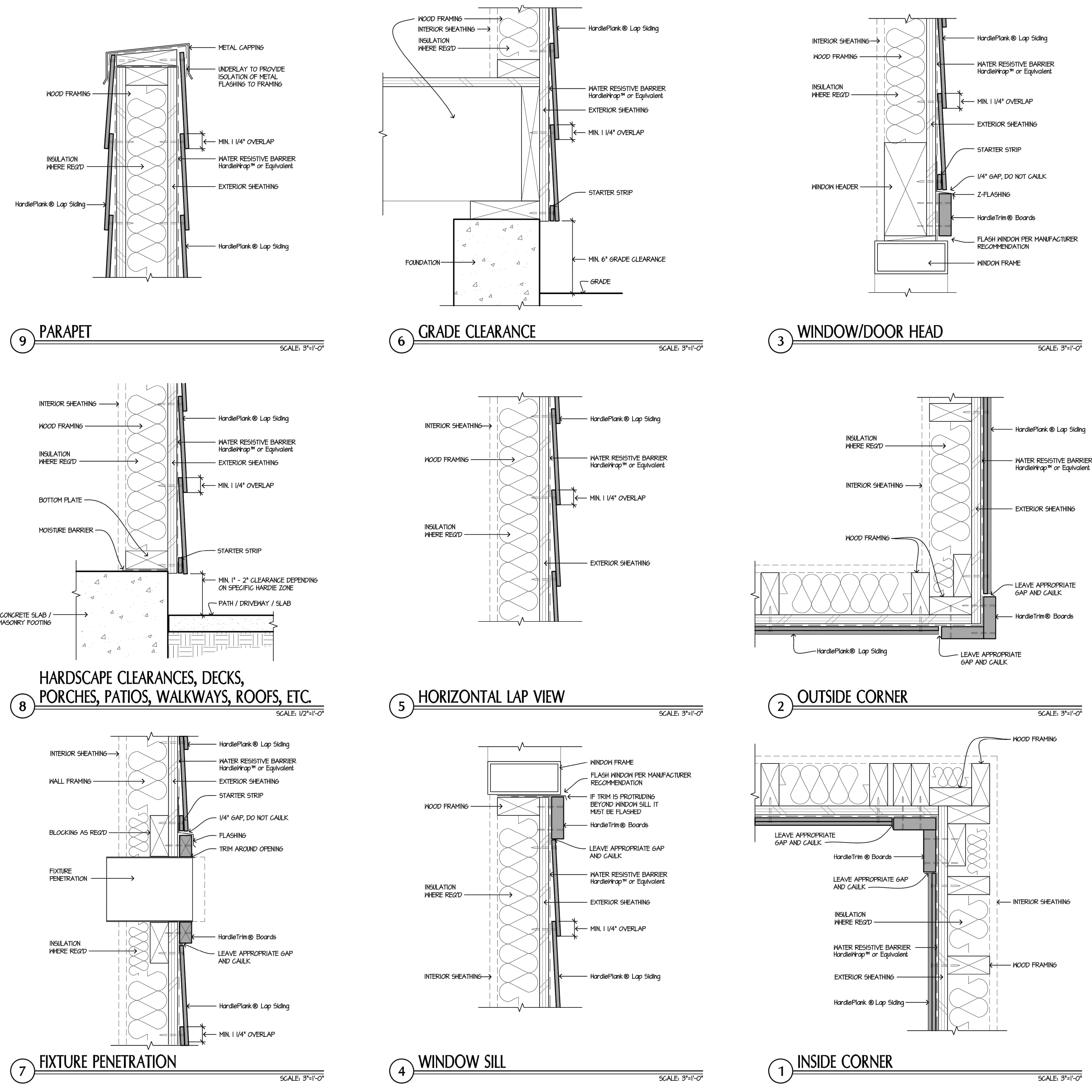
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: locke
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

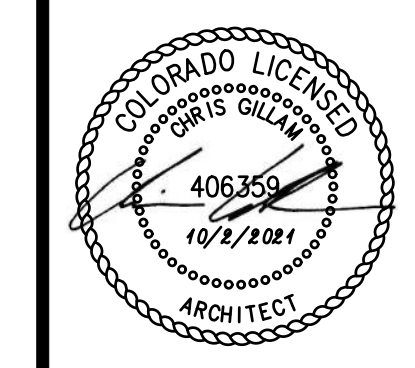


REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: jgk
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

HARDIE LAP SIDING Manufacturers Installation Details, Contractor to install as indicated Actual Conditions May Vary DETAILS ARE NOT TO SCALE



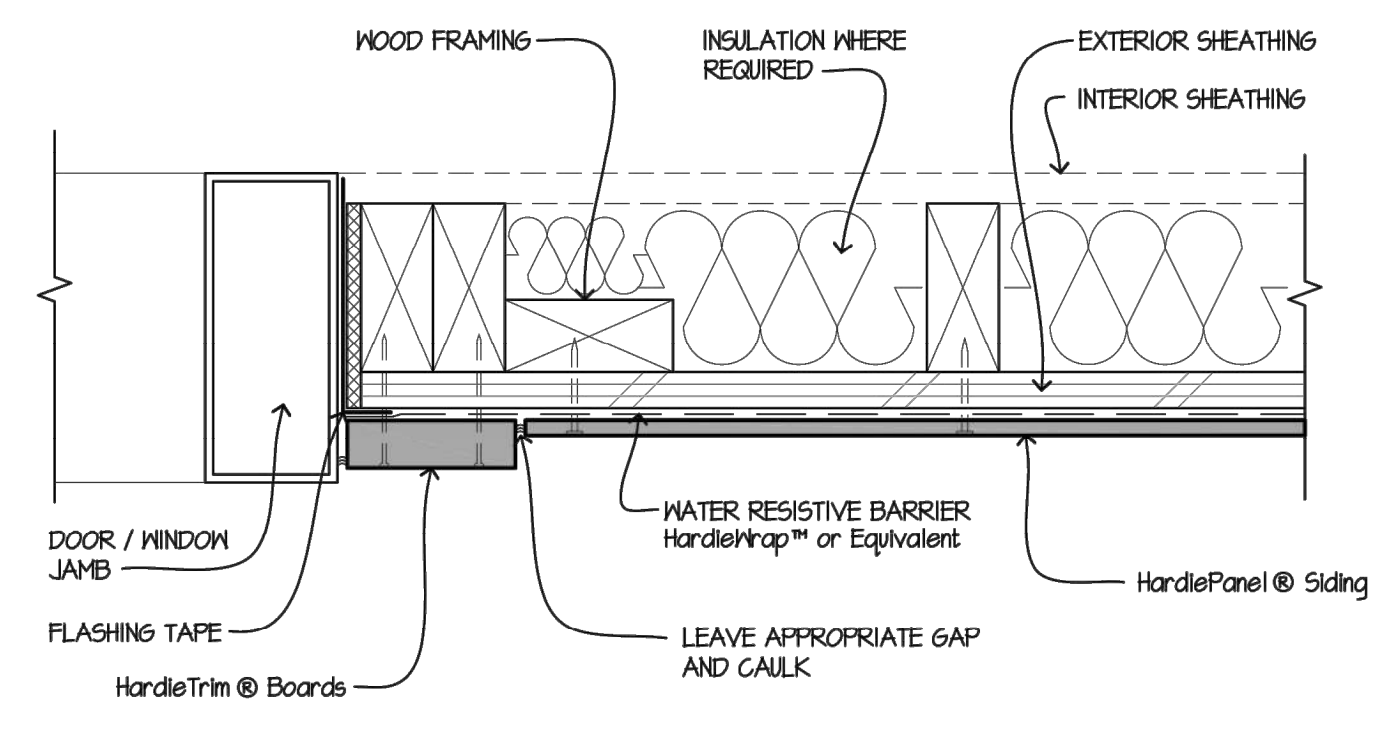


REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

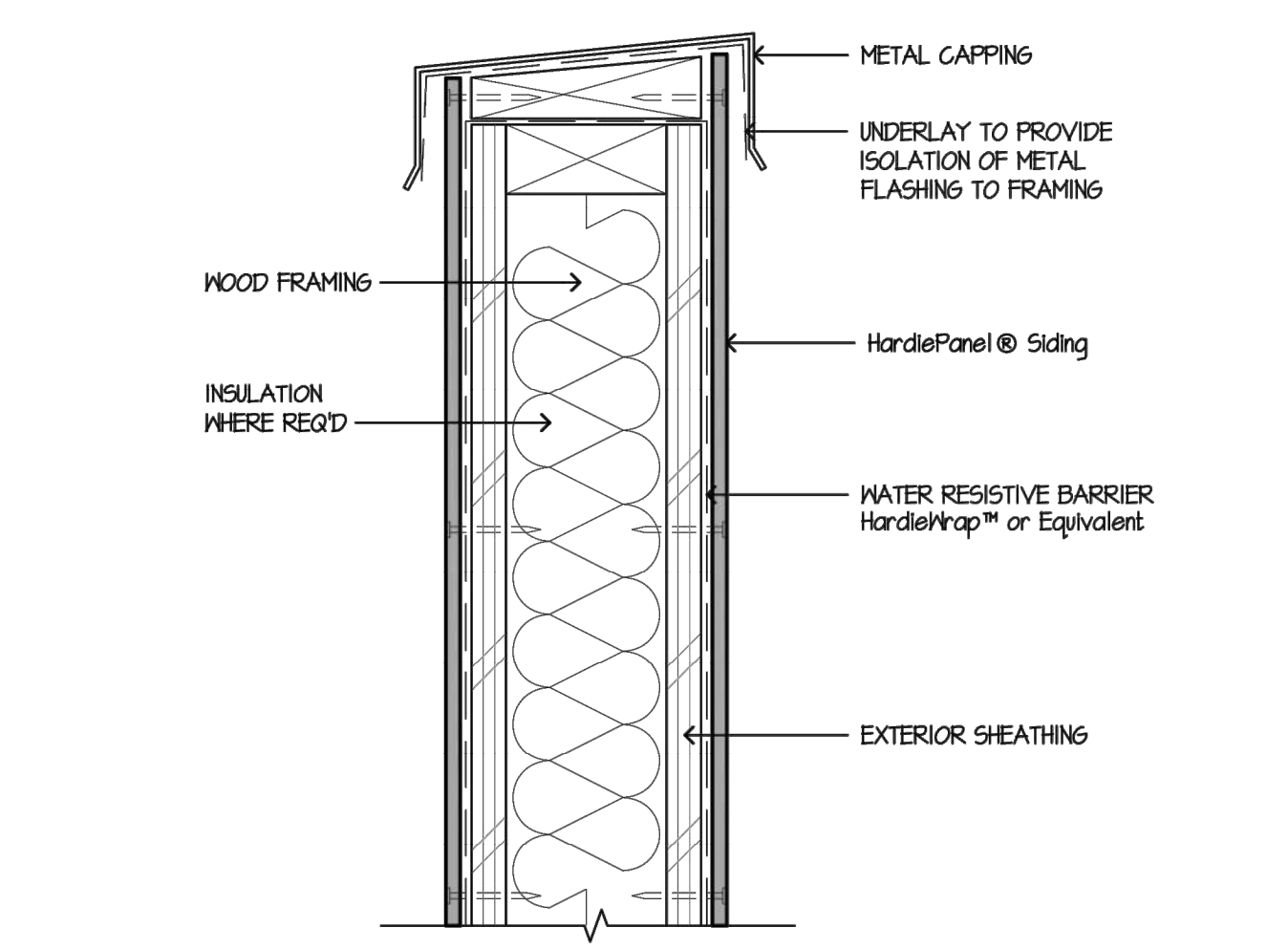
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: jgk
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

HARDIE PANEL SIDING

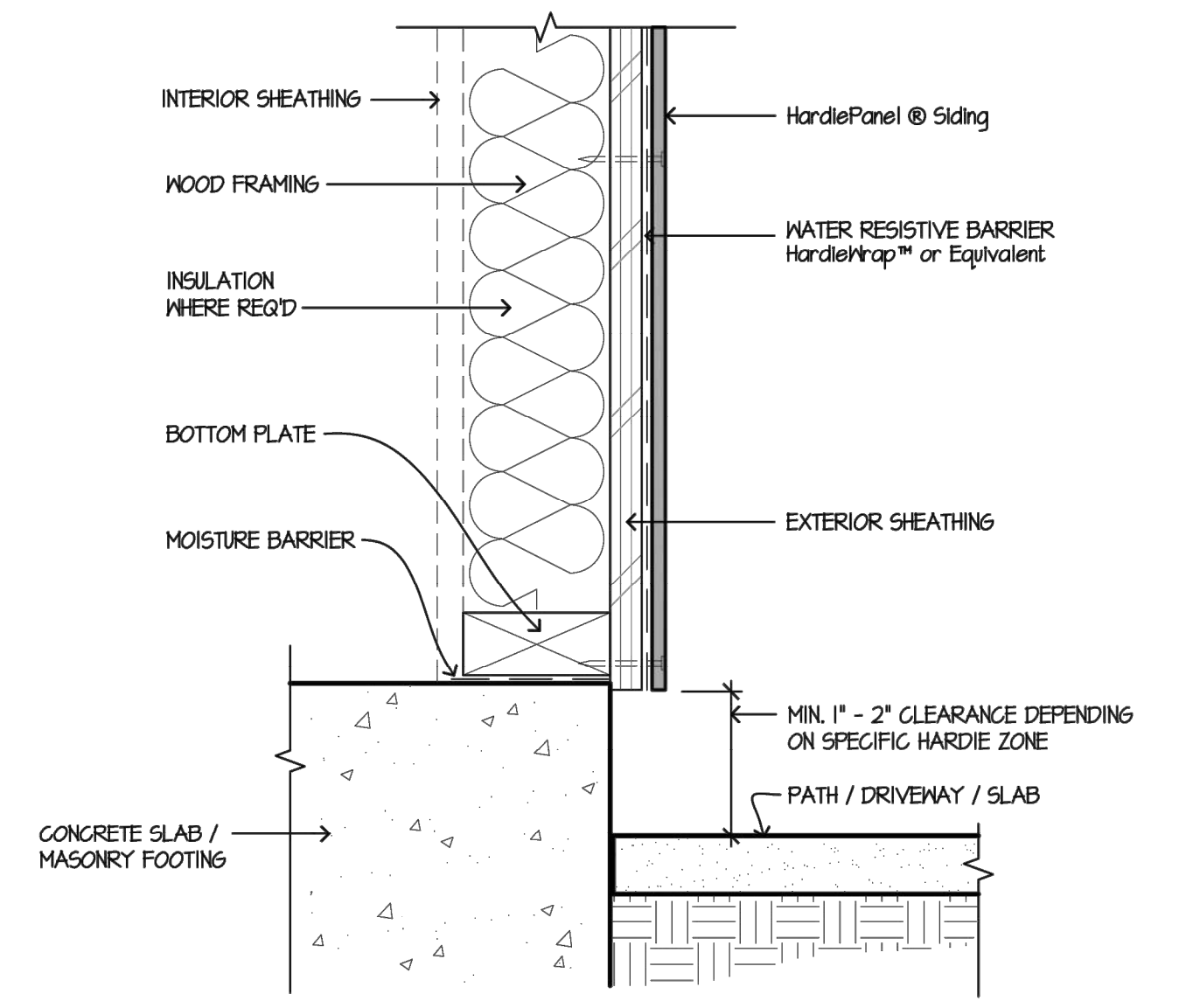
Manufacturers Installation Details,
Contractor to install as indicated
Actual Conditions May Vary
DETAILS ARE NOT TO SCALE



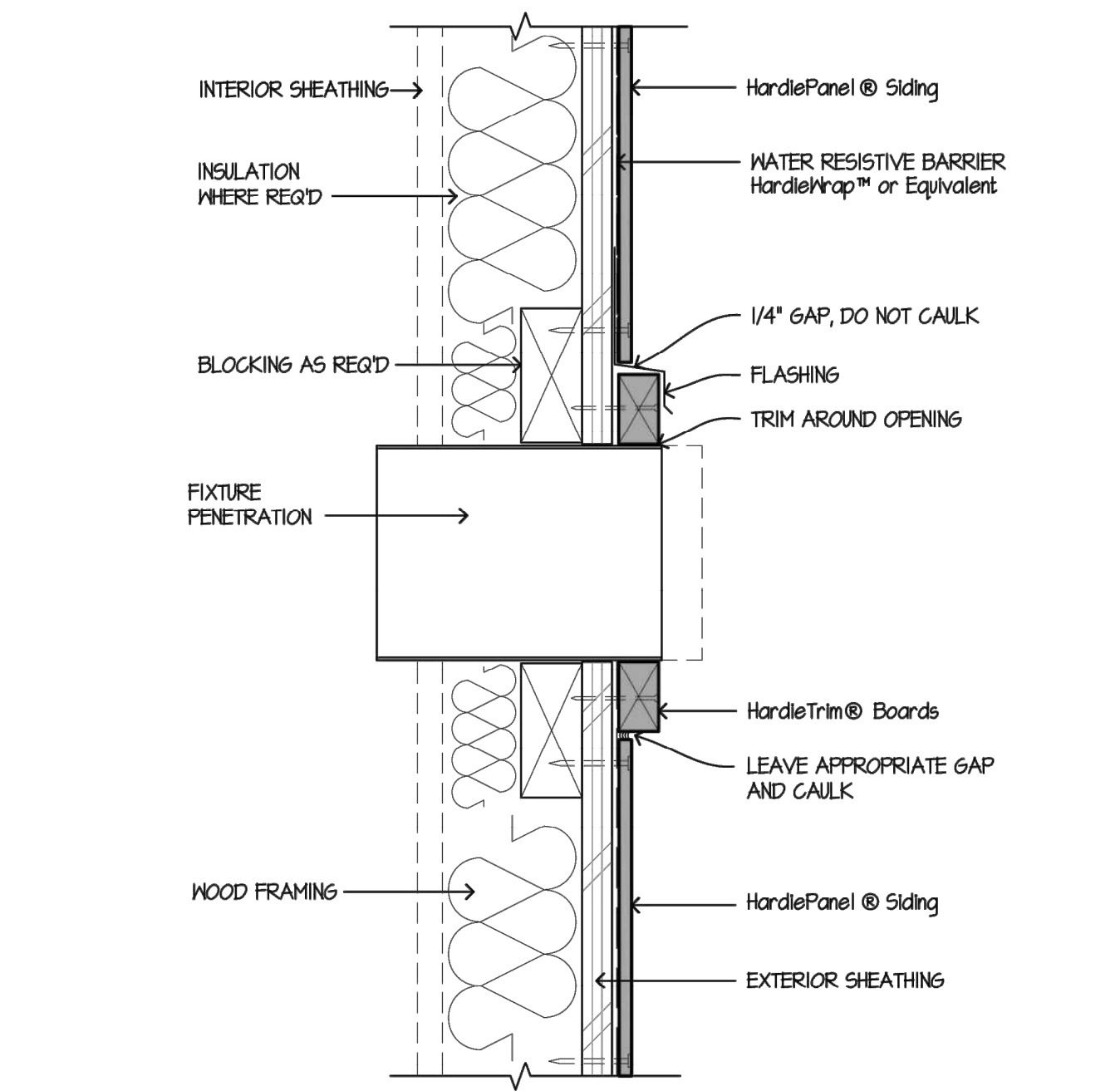
10 DOOR / WINDOW JAMB
SCALE: 3/4"=1'-0"



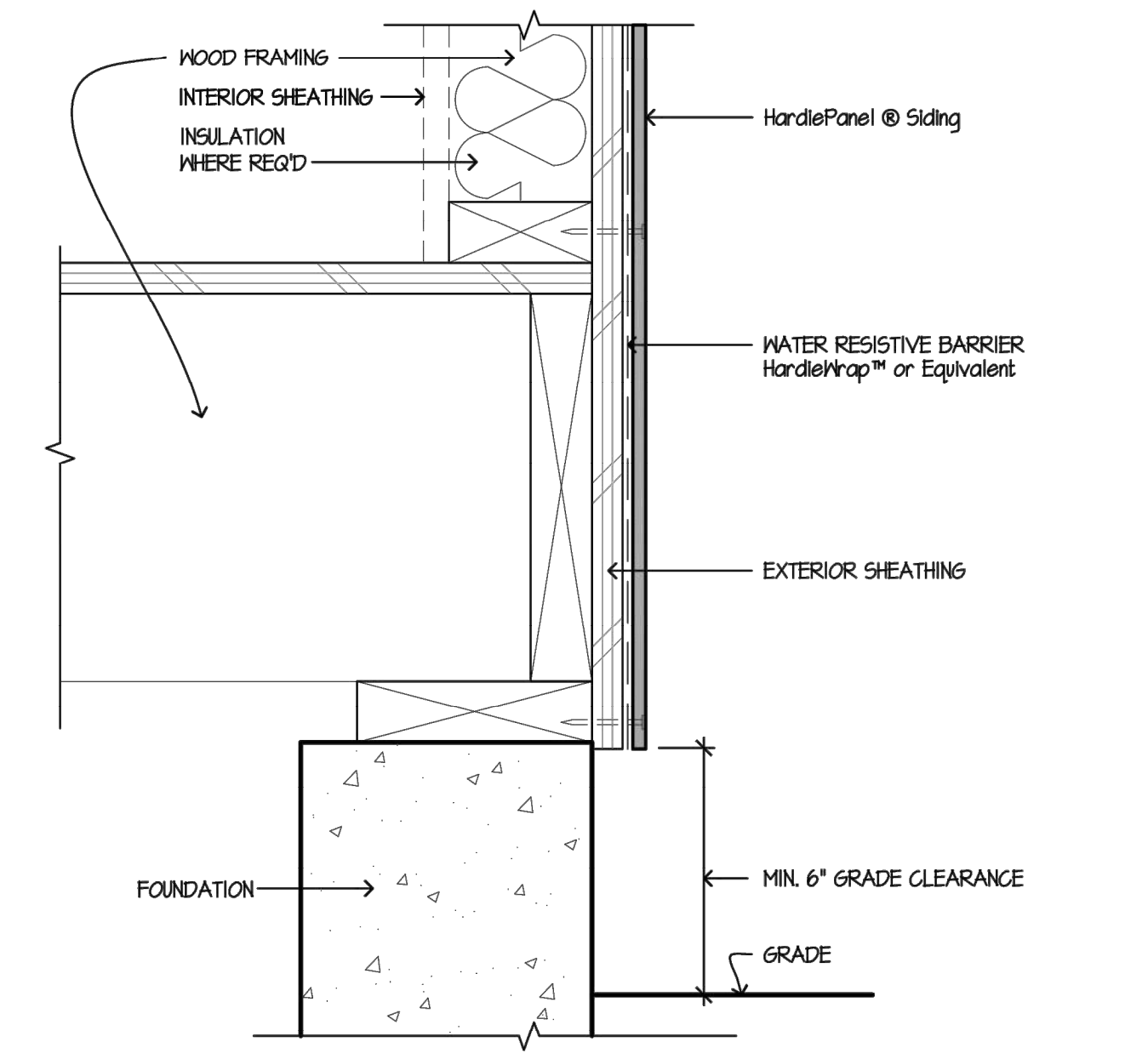
9 PARAPET
SCALE: 3/4"=1'-0"



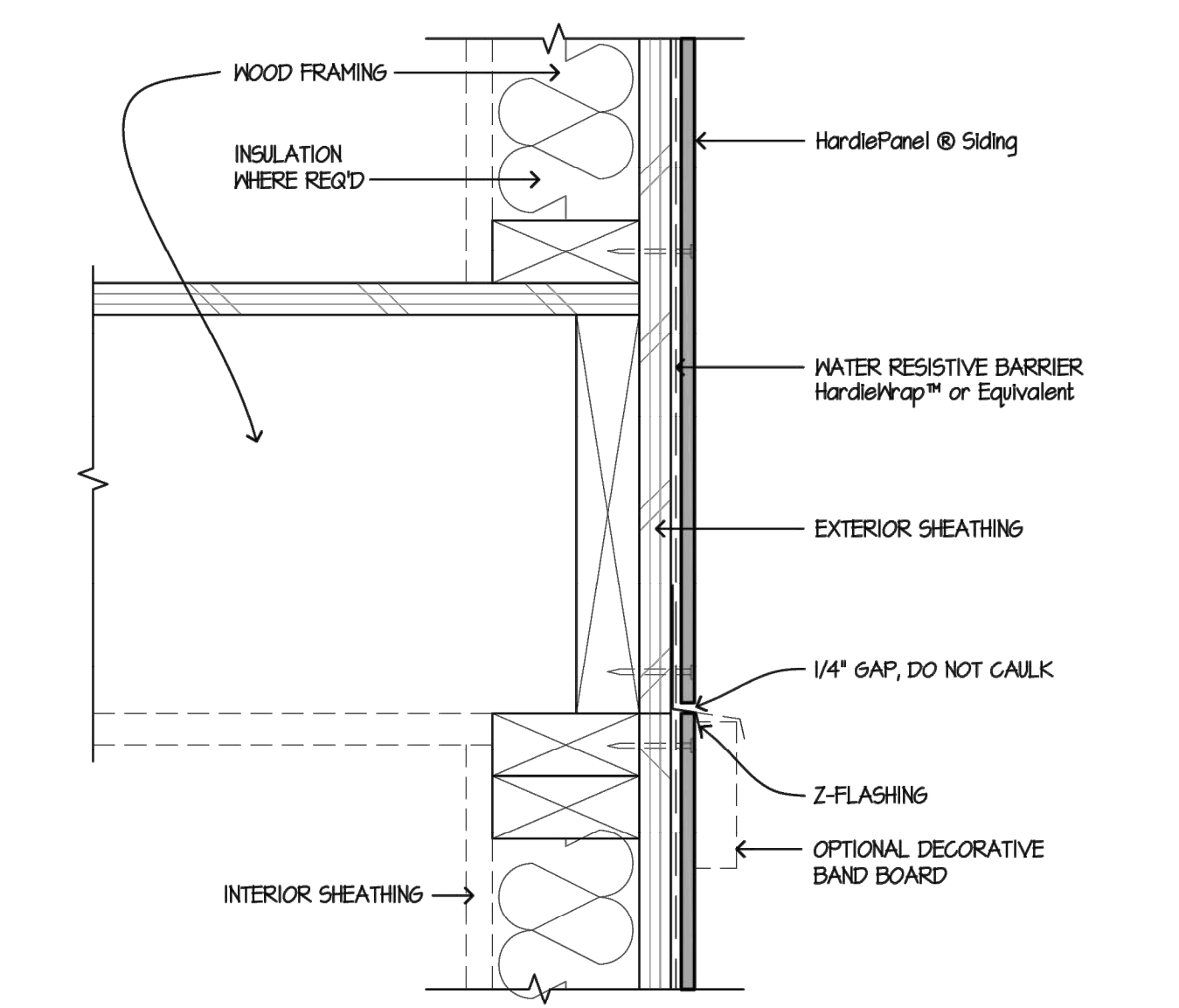
8 HARDSCAPE CLEARANCES, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.
SCALE: 1/2"=1'-0"



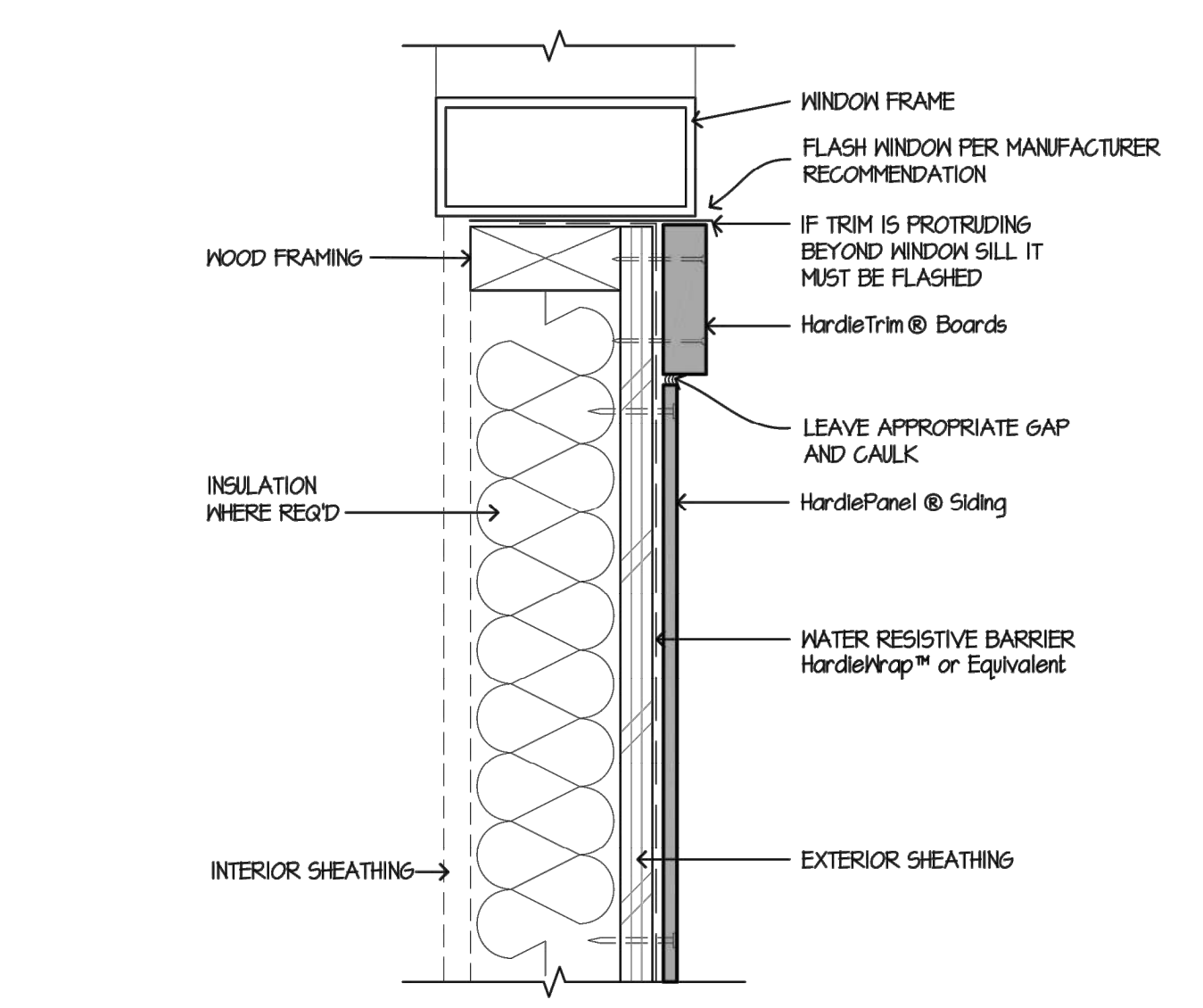
7 FIXTURE PENETRATION
SCALE: 3/4"=1'-0"



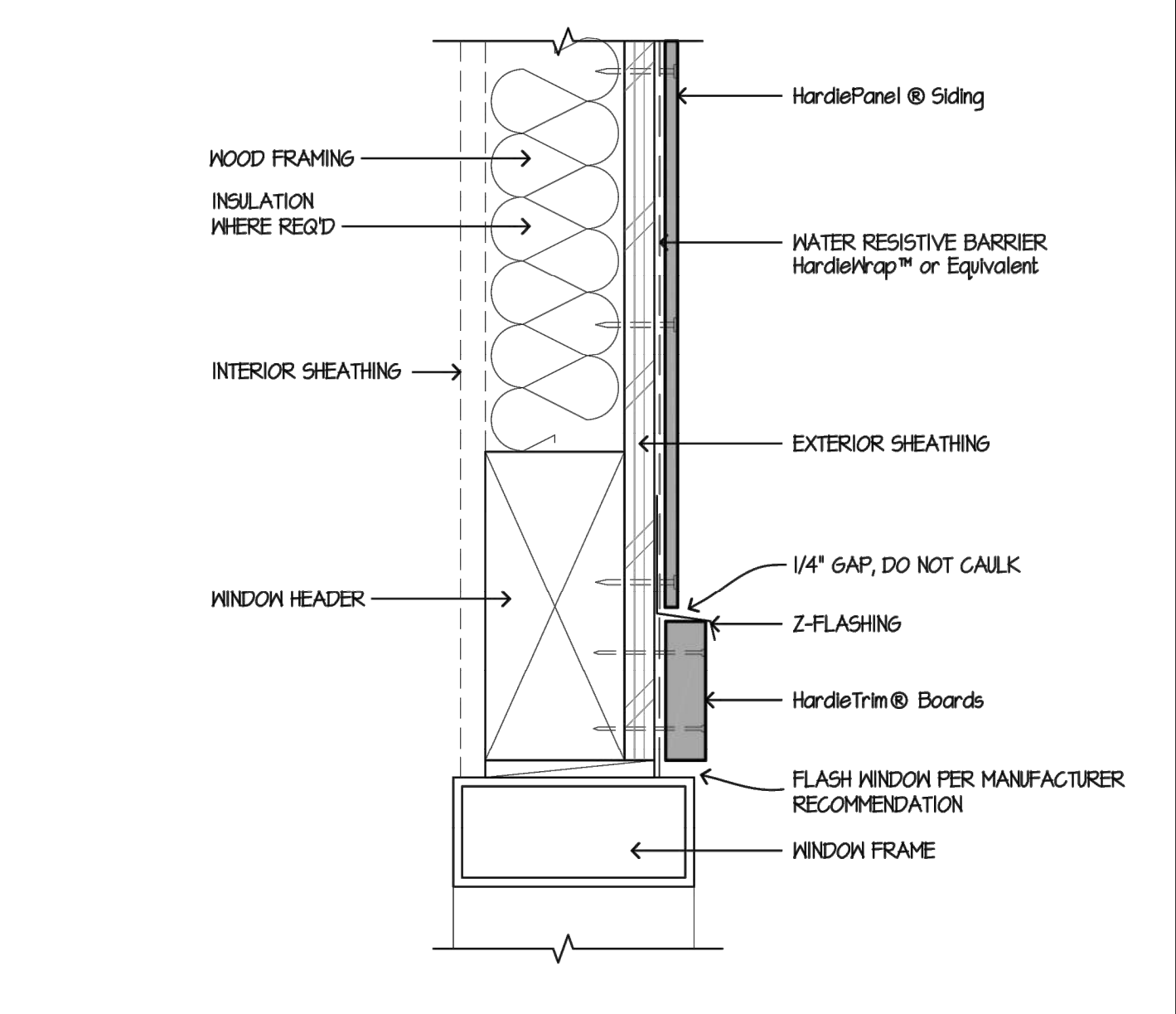
6 GRADE CLEARANCE
SCALE: 3/4"=1'-0"



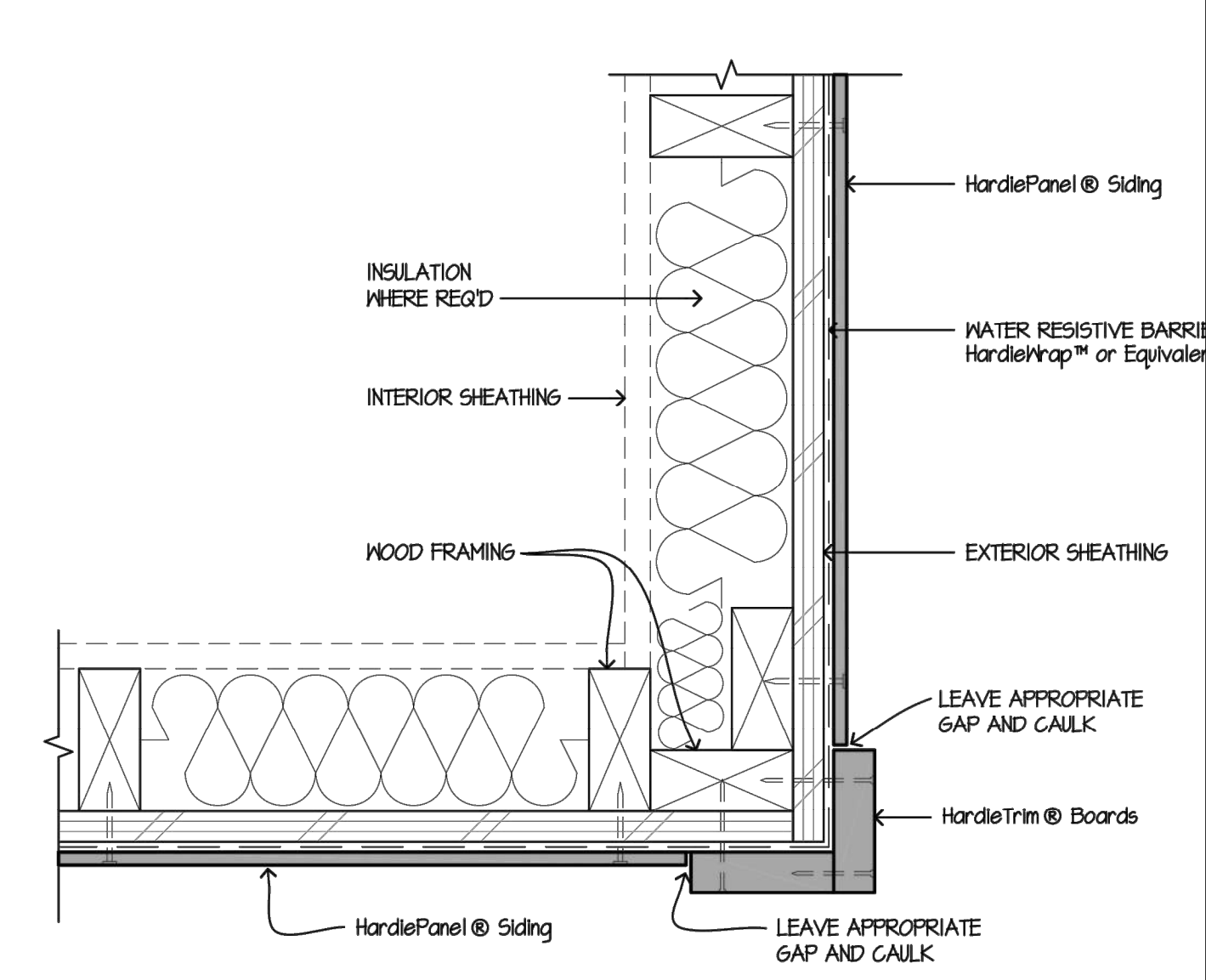
5 HORIZONTAL VIEW
SCALE: 3/4"=1'-0"



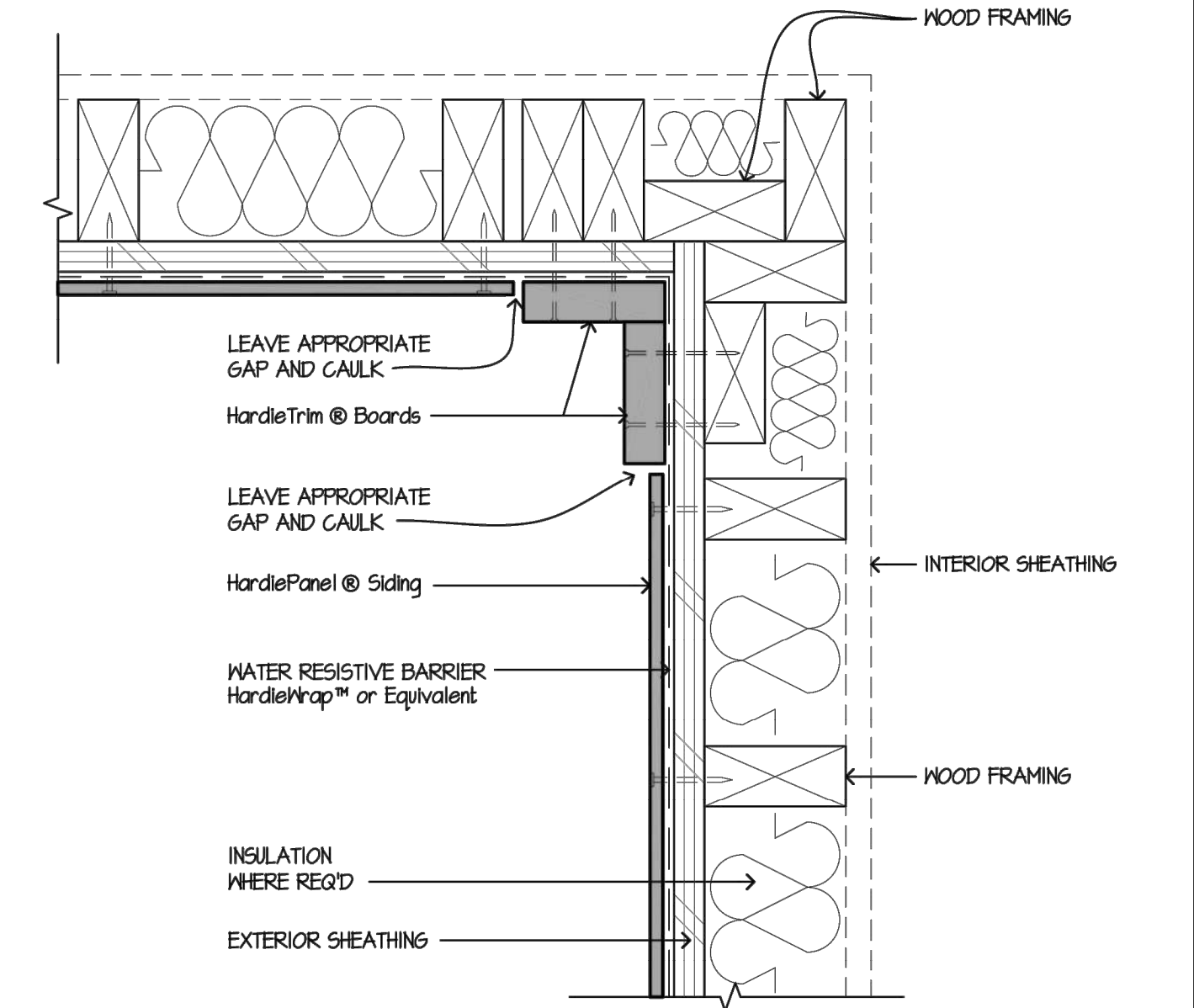
4 WINDOW SILL
SCALE: 3/4"=1'-0"



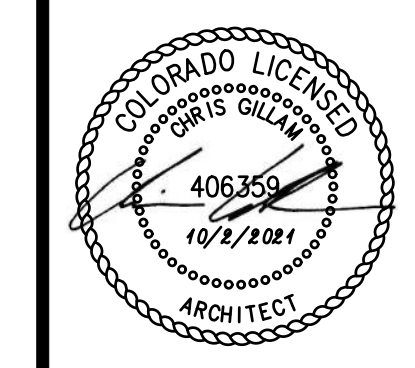
3 WINDOW/DOOR HEAD
SCALE: 3/4"=1'-0"



2 OUTSIDE CORNER
SCALE: 3/4"=1'-0"



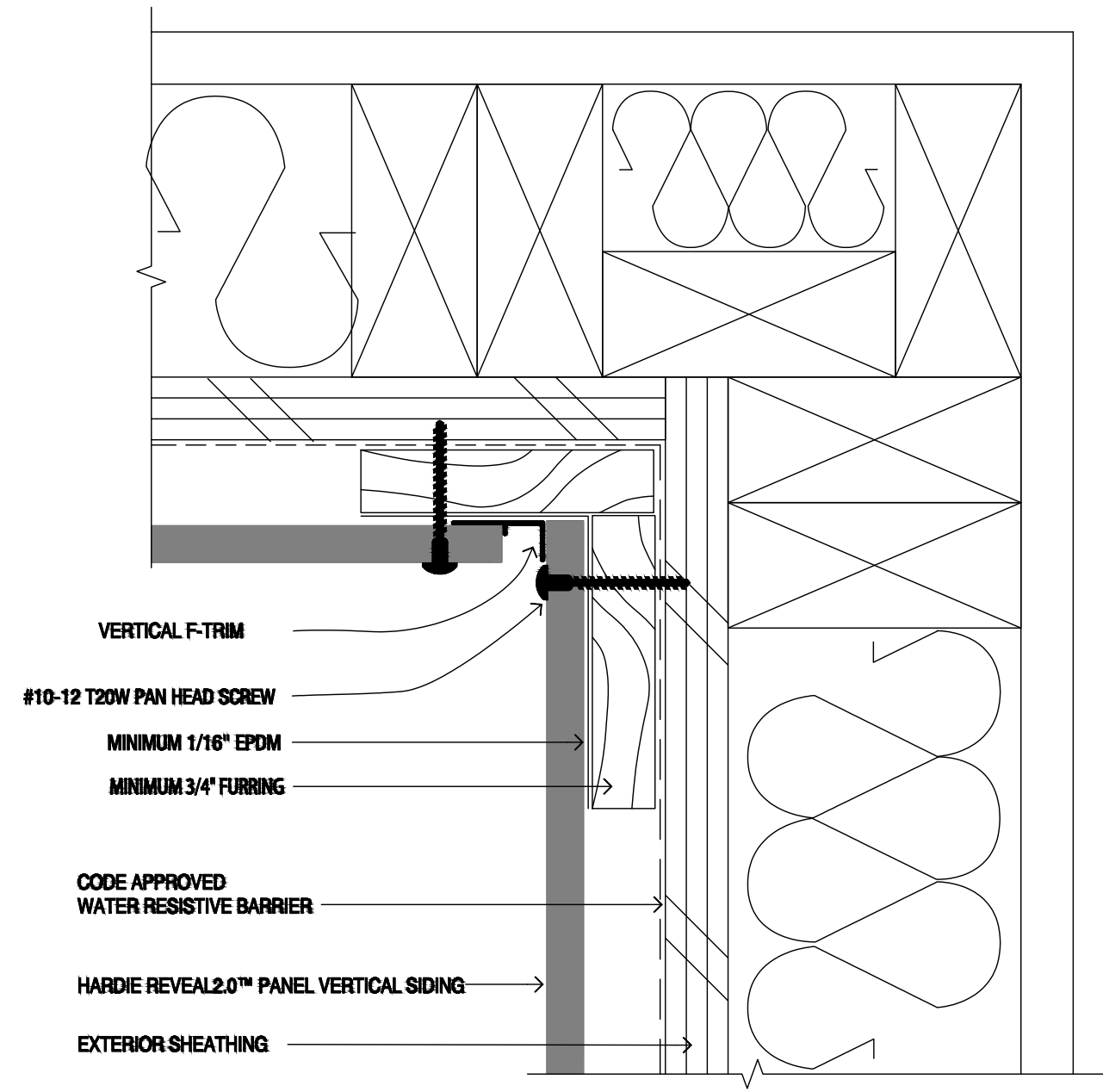
1 INSIDE CORNER
SCALE: 3/4"=1'-0"



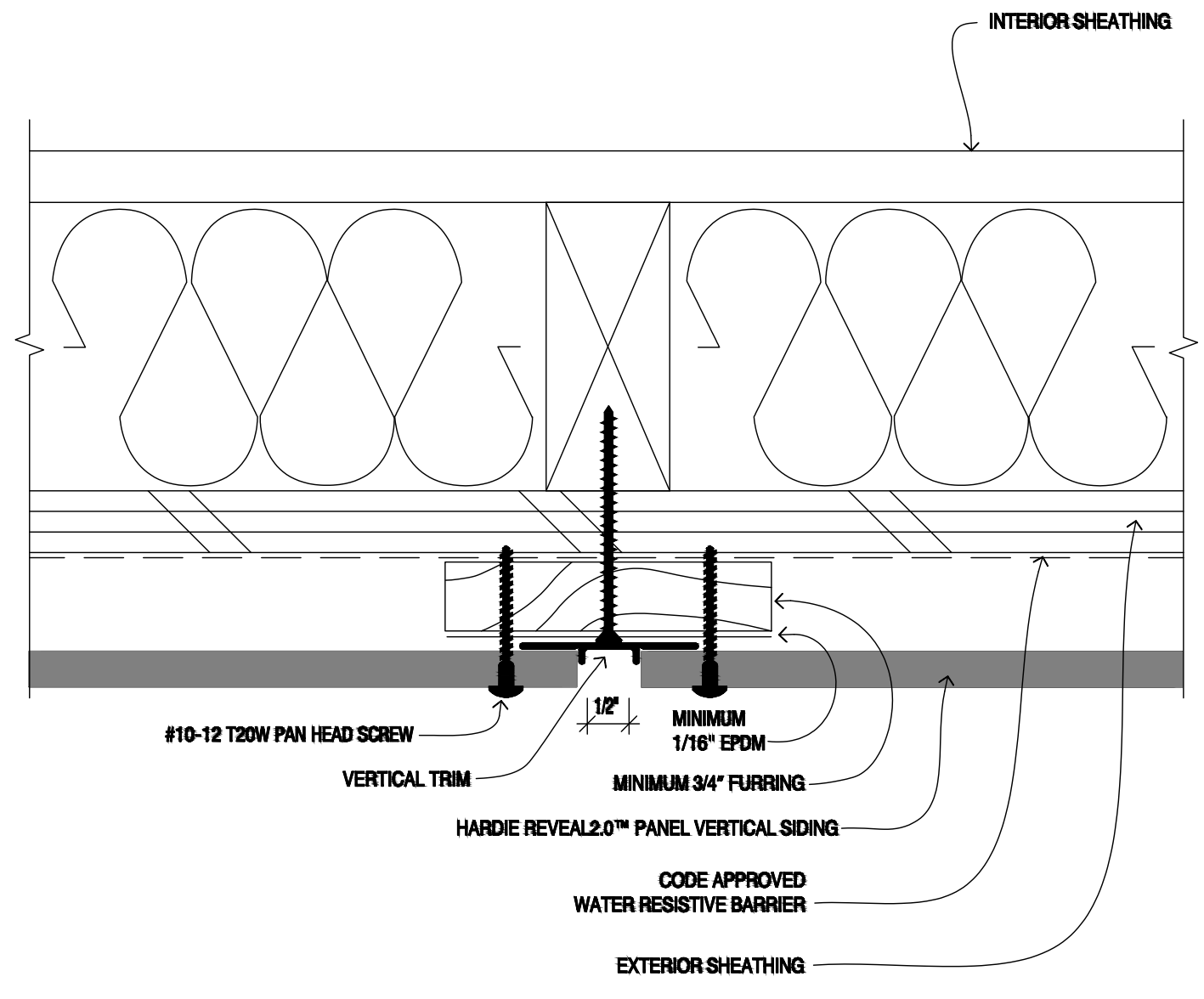
REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

COPYRIGHTED ©

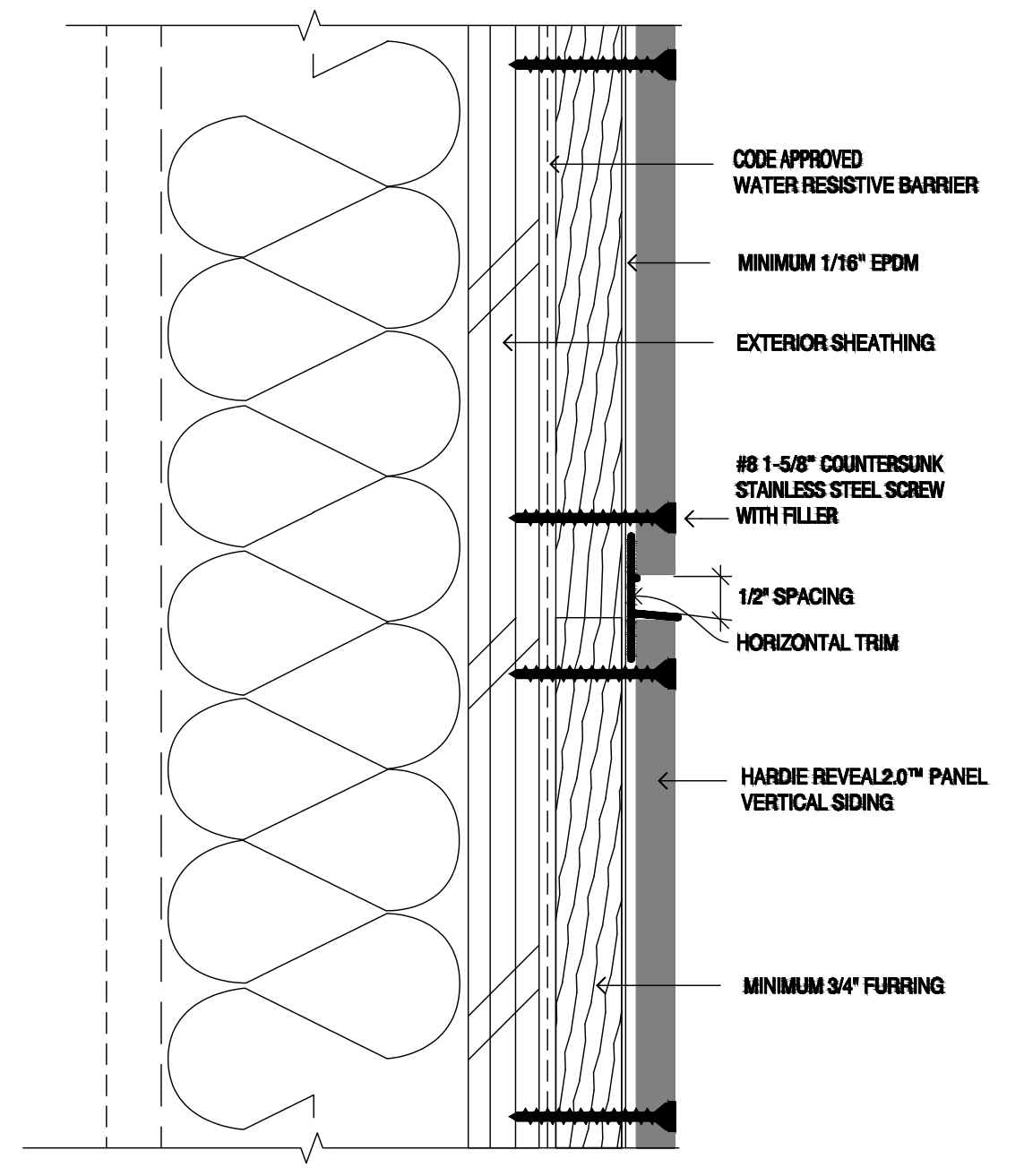
HARDIE REVEAL PANEL SYSTEM Manufacturers Installation Details, Contractor to install as indicated Actual Conditions May Vary DETAILS ARE NOT TO SCALE



6 INSIDE CORNER TRIM
NTS

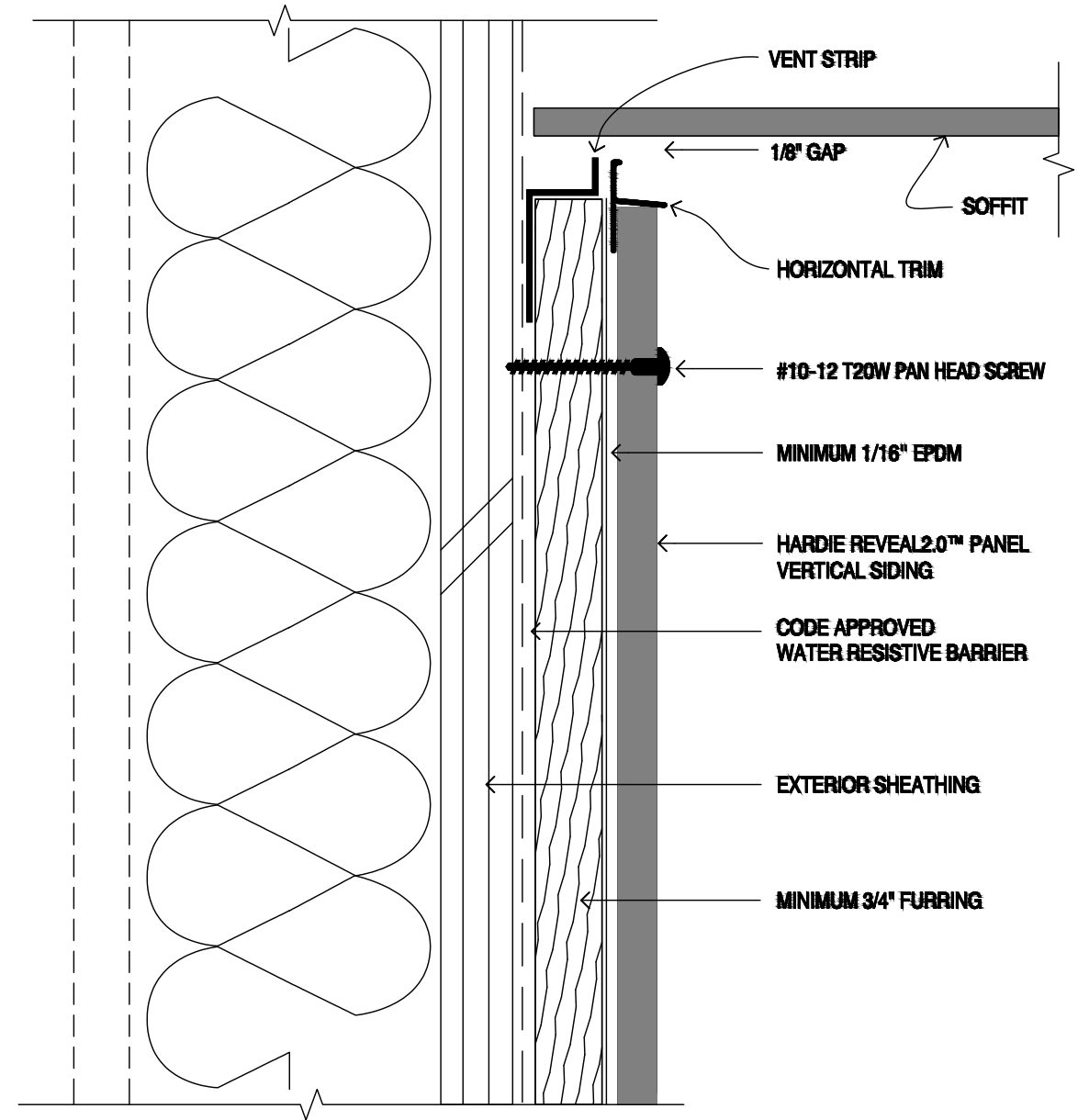


4 PANEL with VERTICAL TRIM
NTS

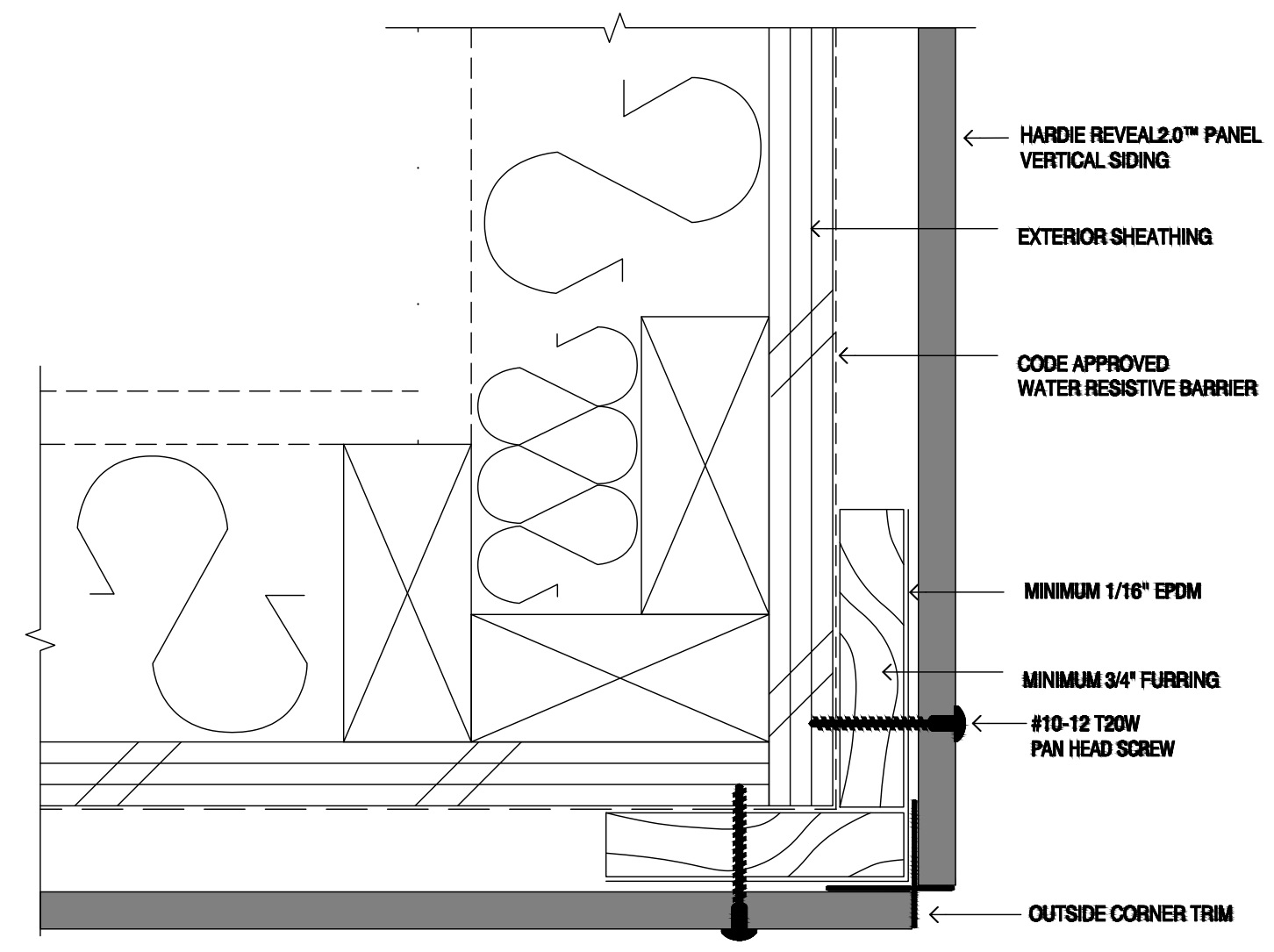


2 PANEL with HORIZONTAL TRIM
NTS

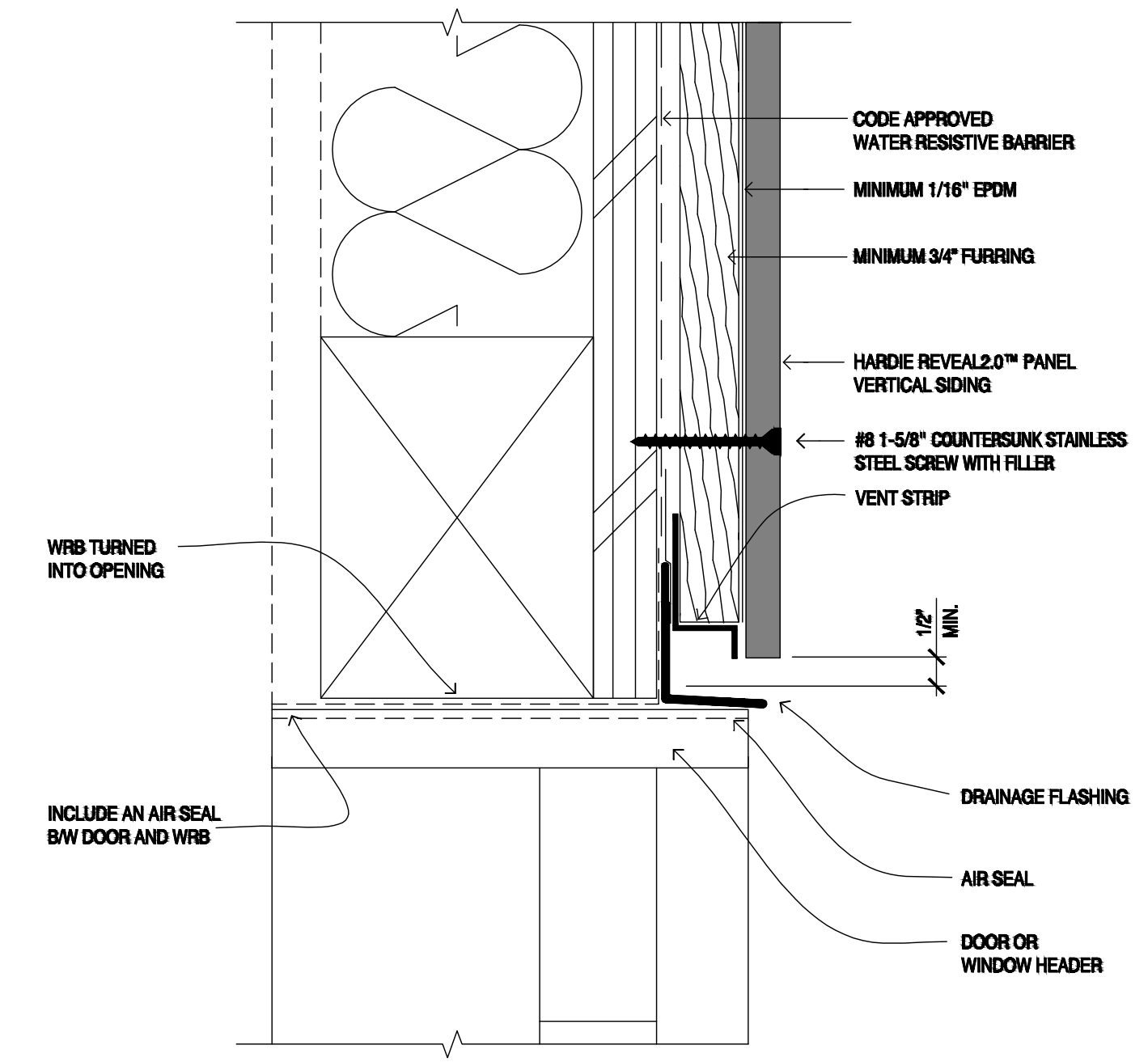
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: jg-cke
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC



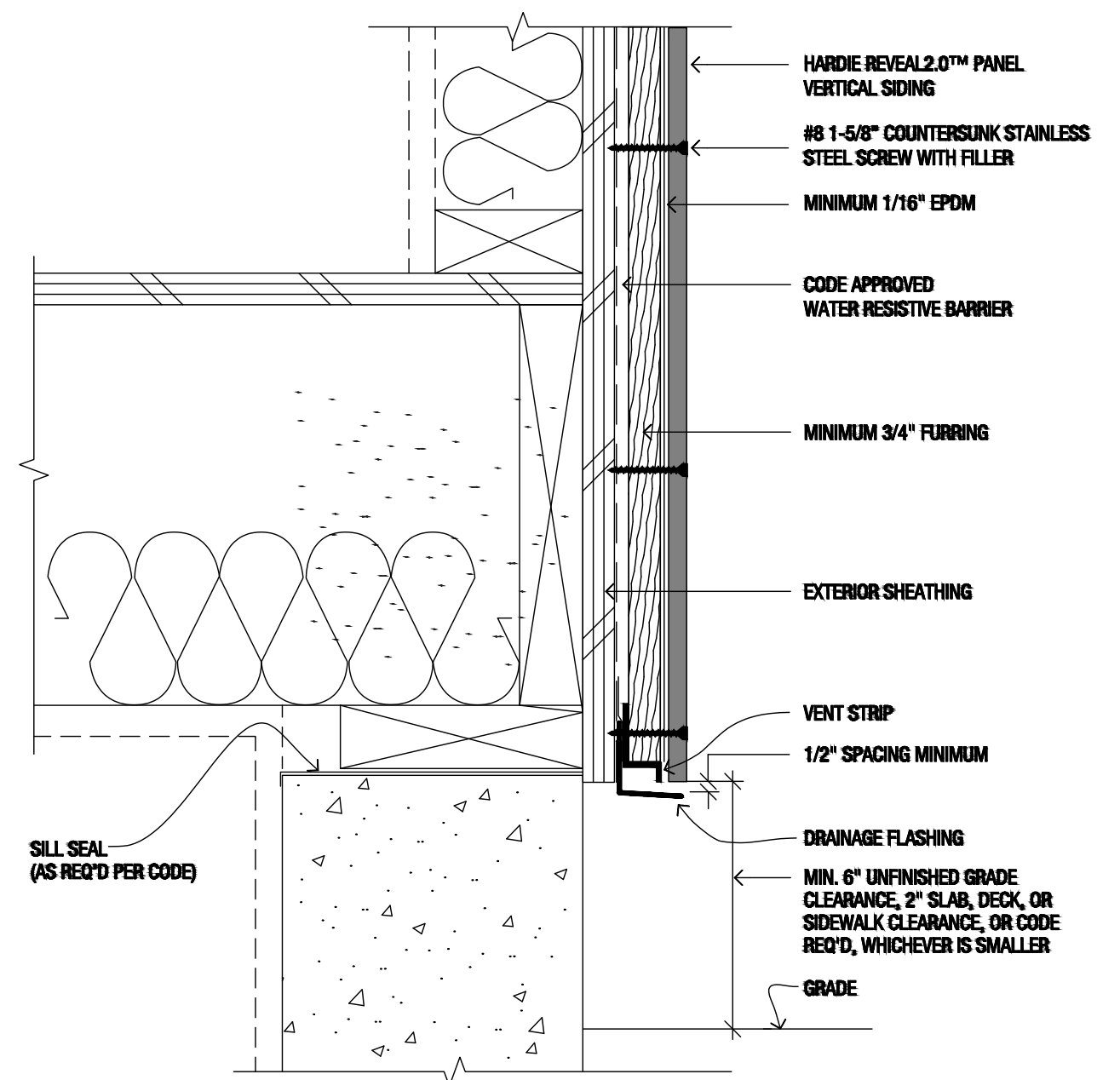
7 WALL & SOFFIT
for VENTED RAINSCREEN
NTS



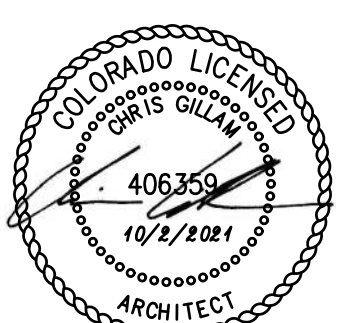
5 OUTSIDE CORNER TRIM
NTS



3 DOOR HEADER @ INTERSECTION
NTS

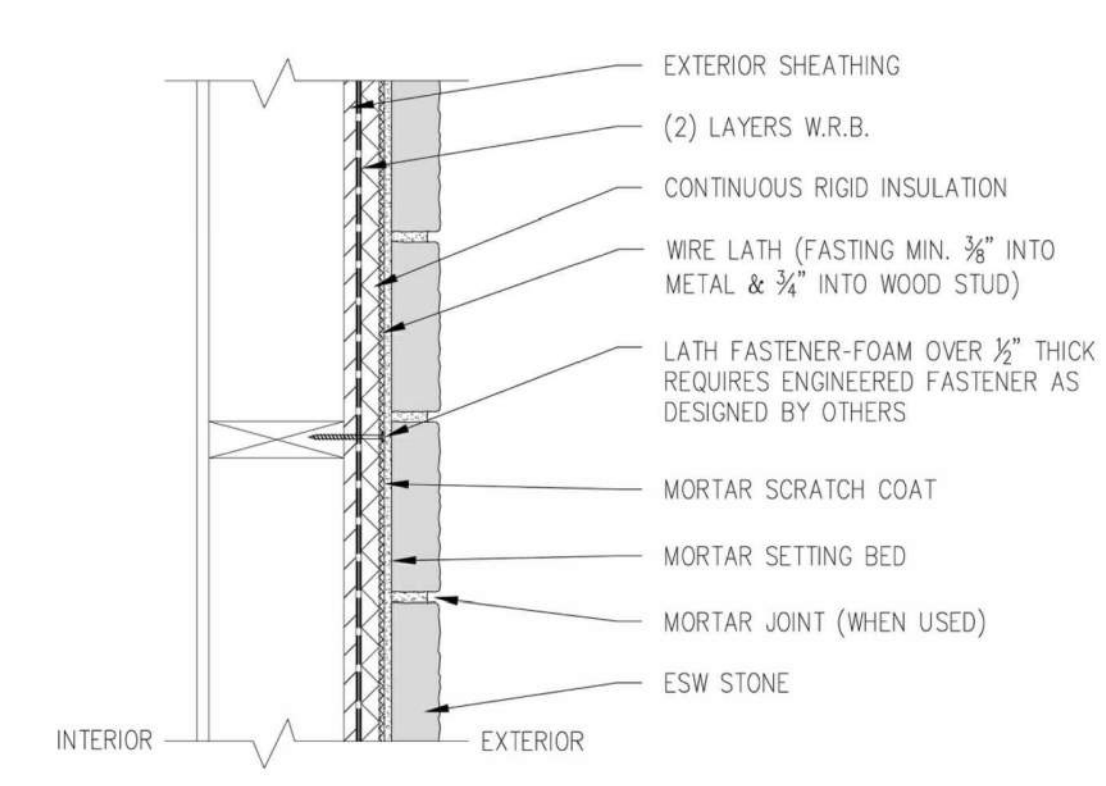


1 FOUNDATION @ GRADE
NTS

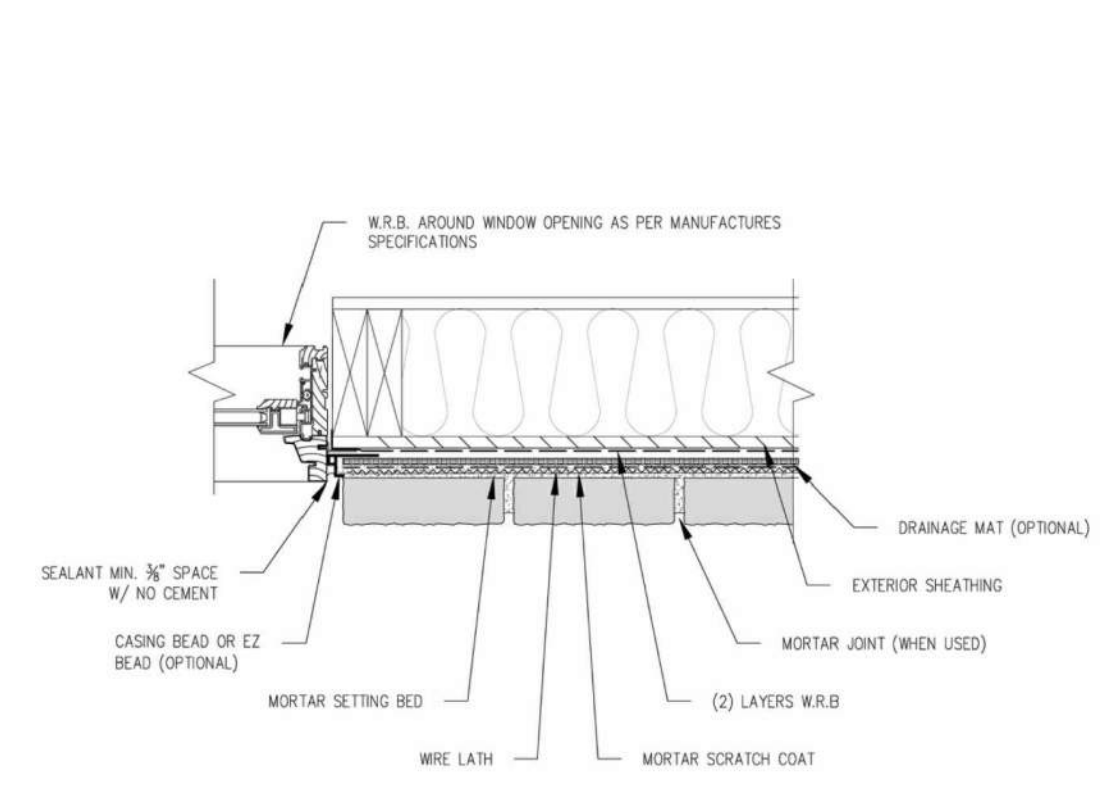


REVISION:

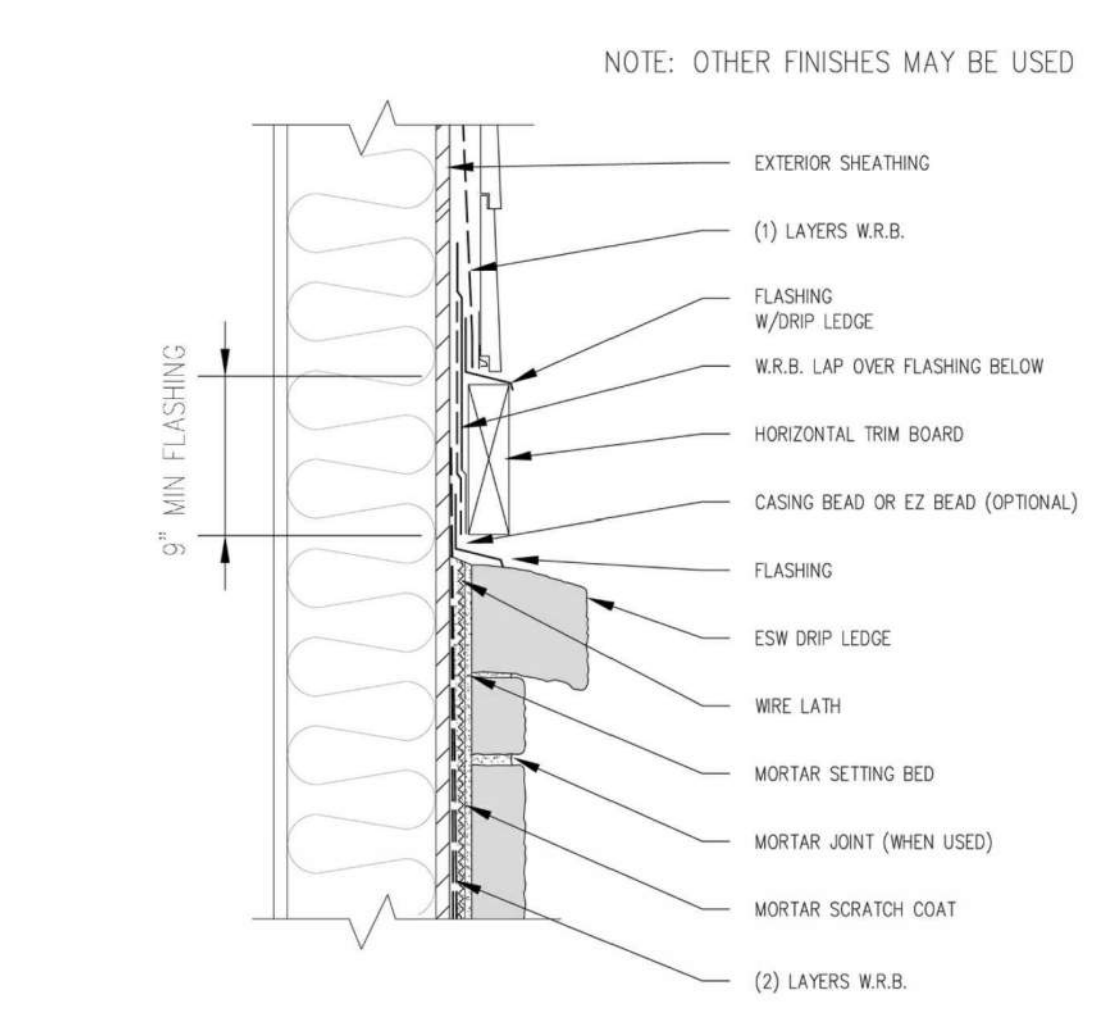
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	



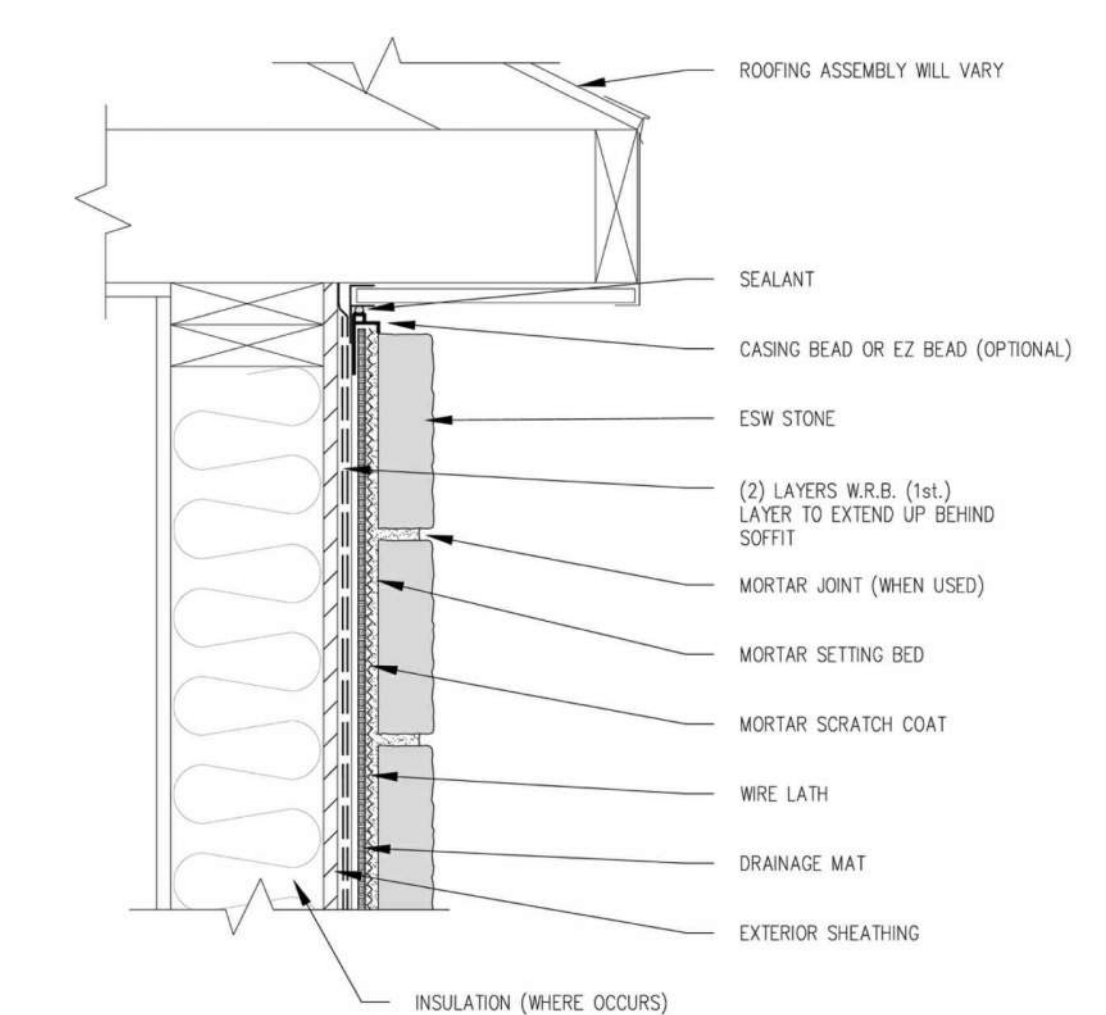
11 Wall over continuous rigid insulation
NO SCALE



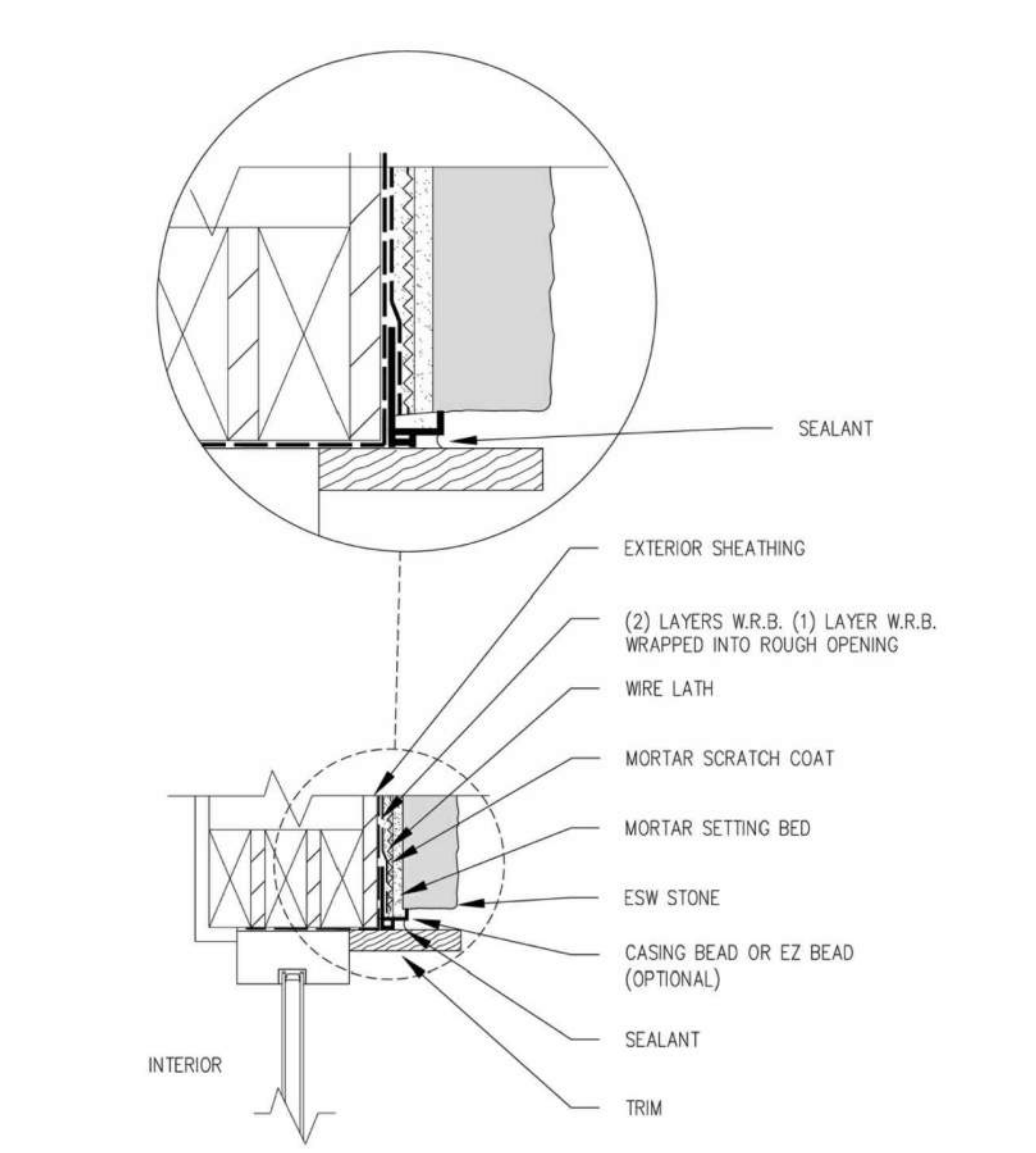
12 Window jamb optional drainage mat
NO SCALE



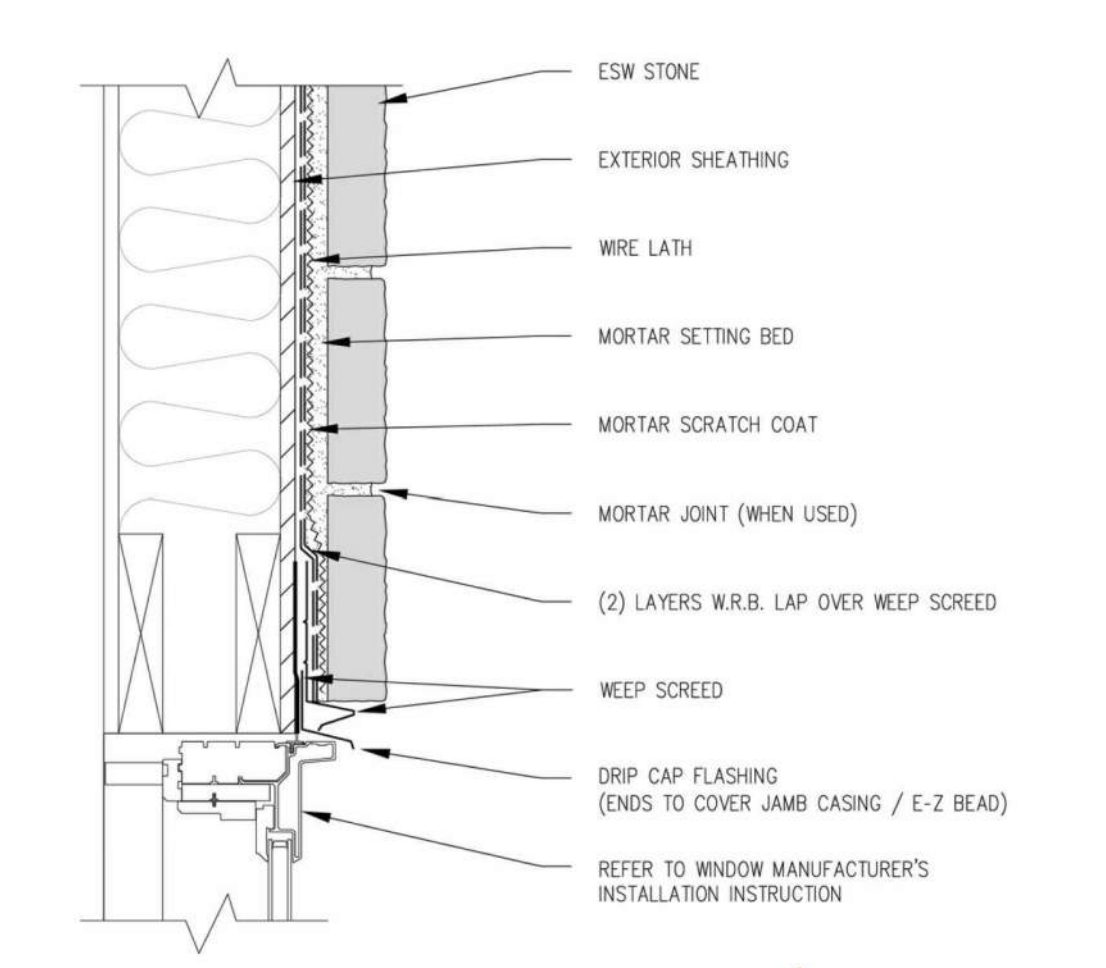
13 Horizontal transition with stone drip ledge
NO SCALE



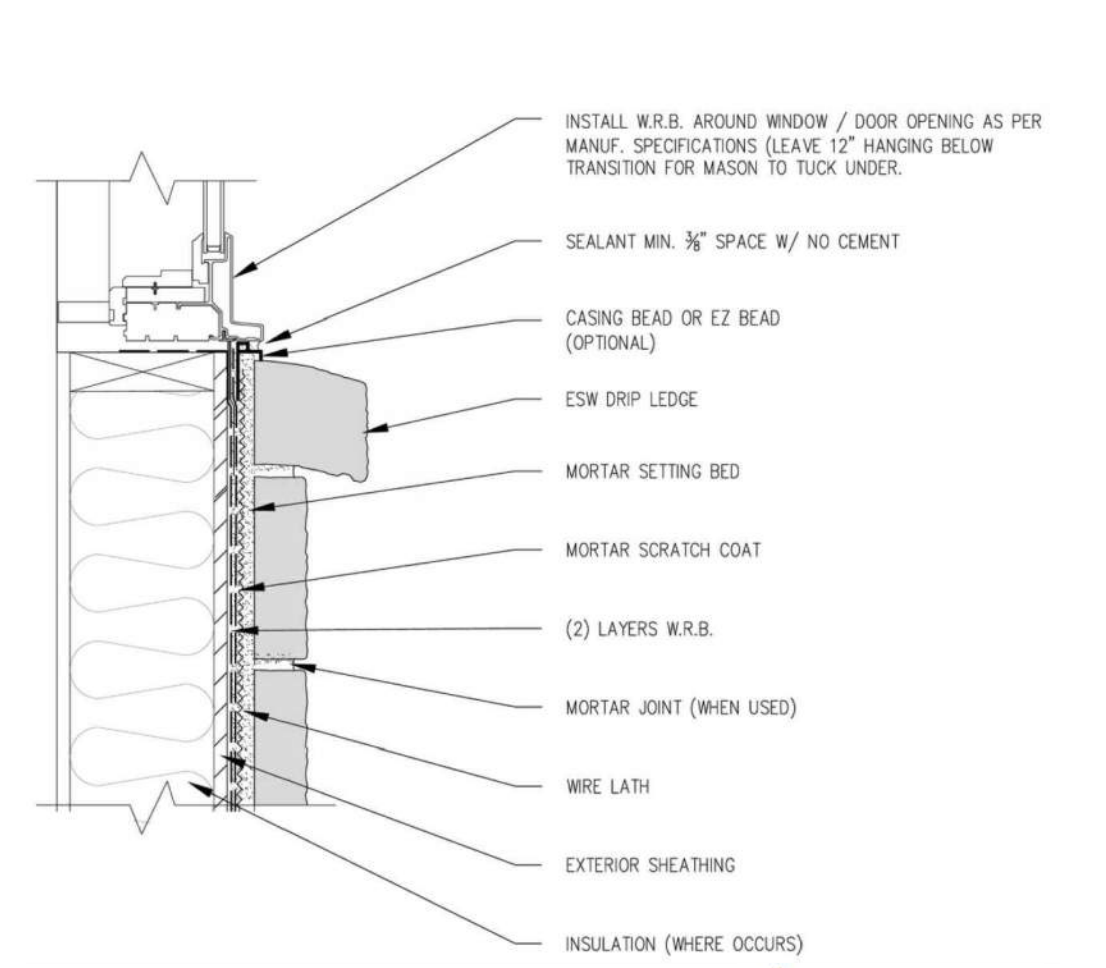
14 Top of wall with drainage mat
NO SCALE



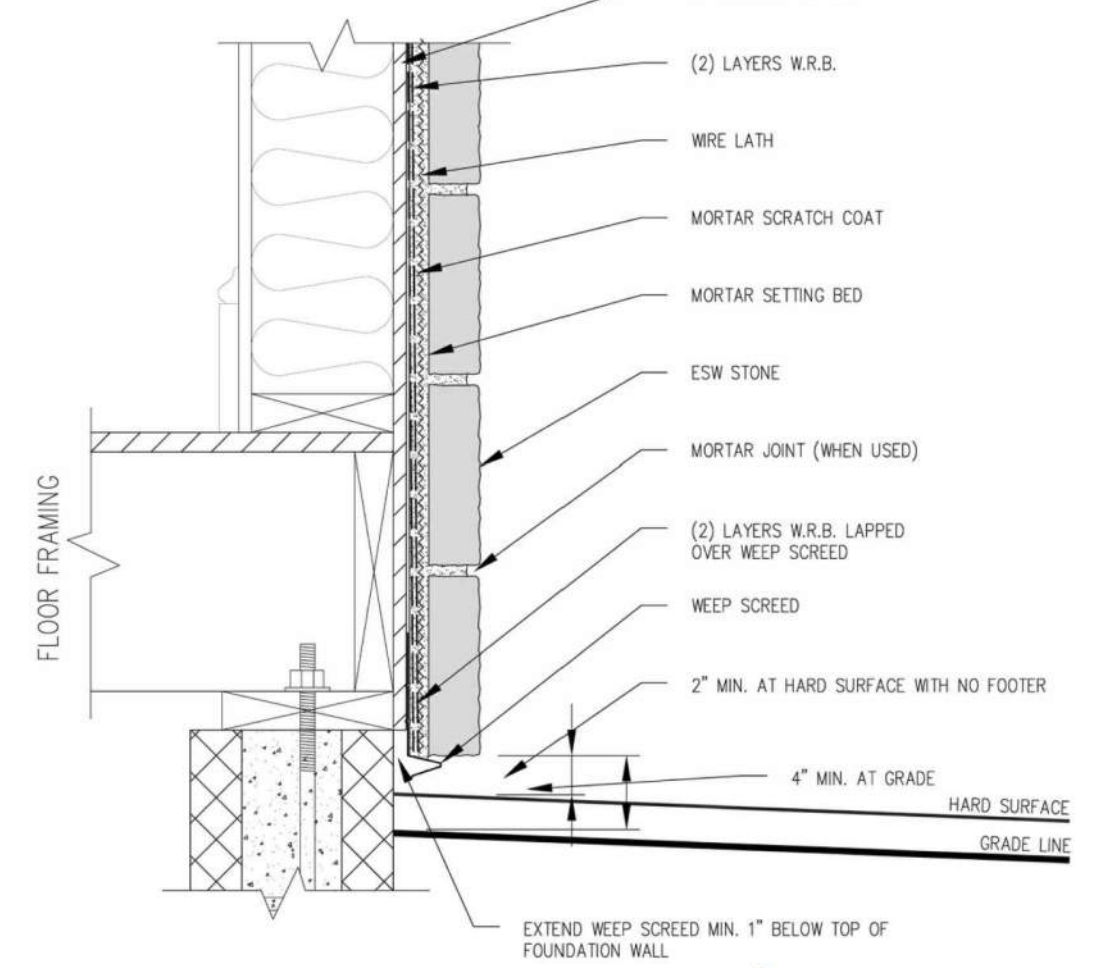
18 Commercial window jamb with trim
NO SCALE



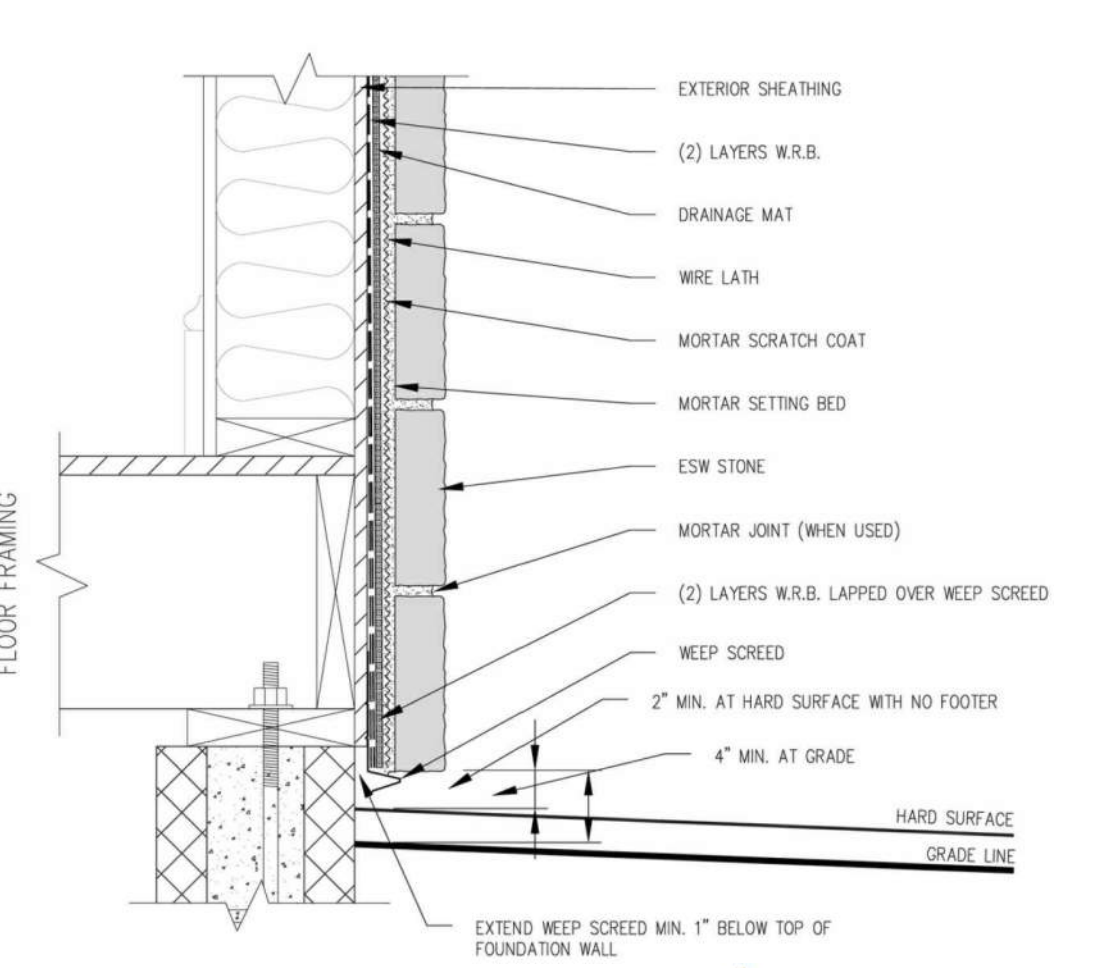
6 Window head
NO SCALE



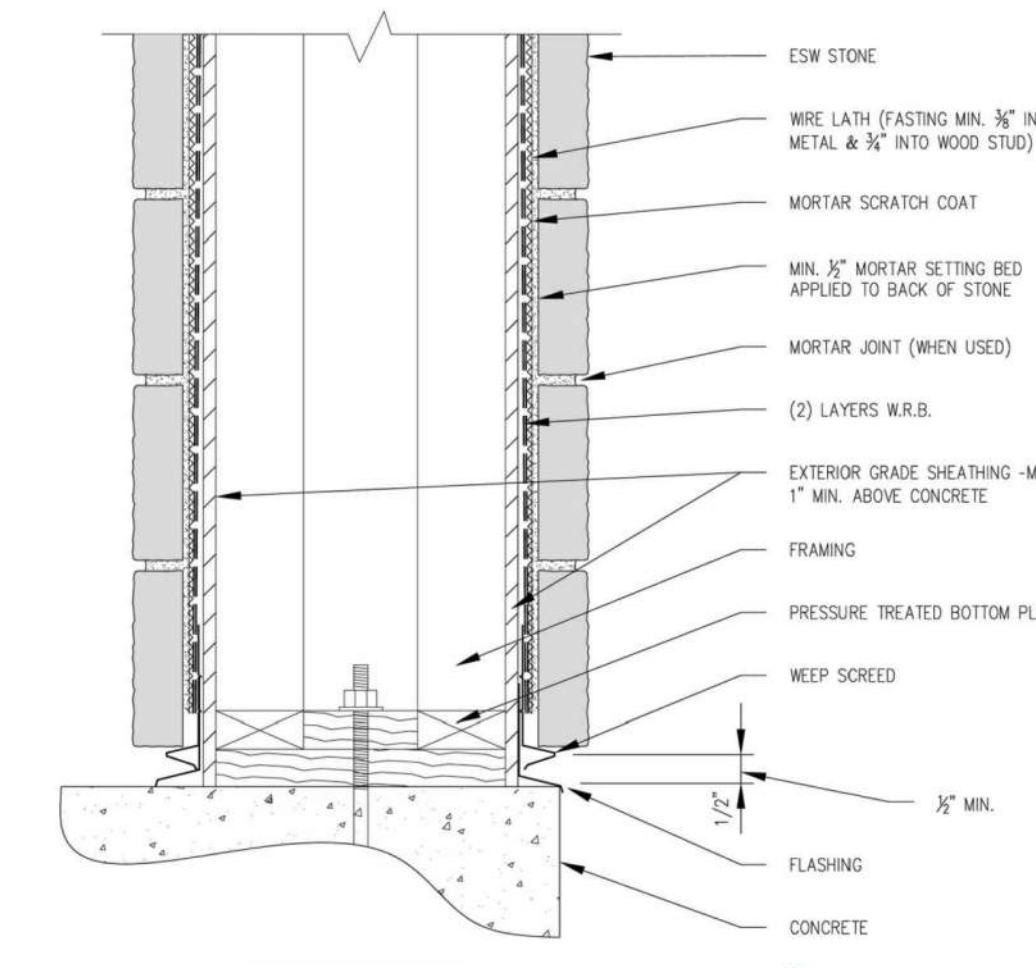
7 Window Sill with stone drip edge
NO SCALE



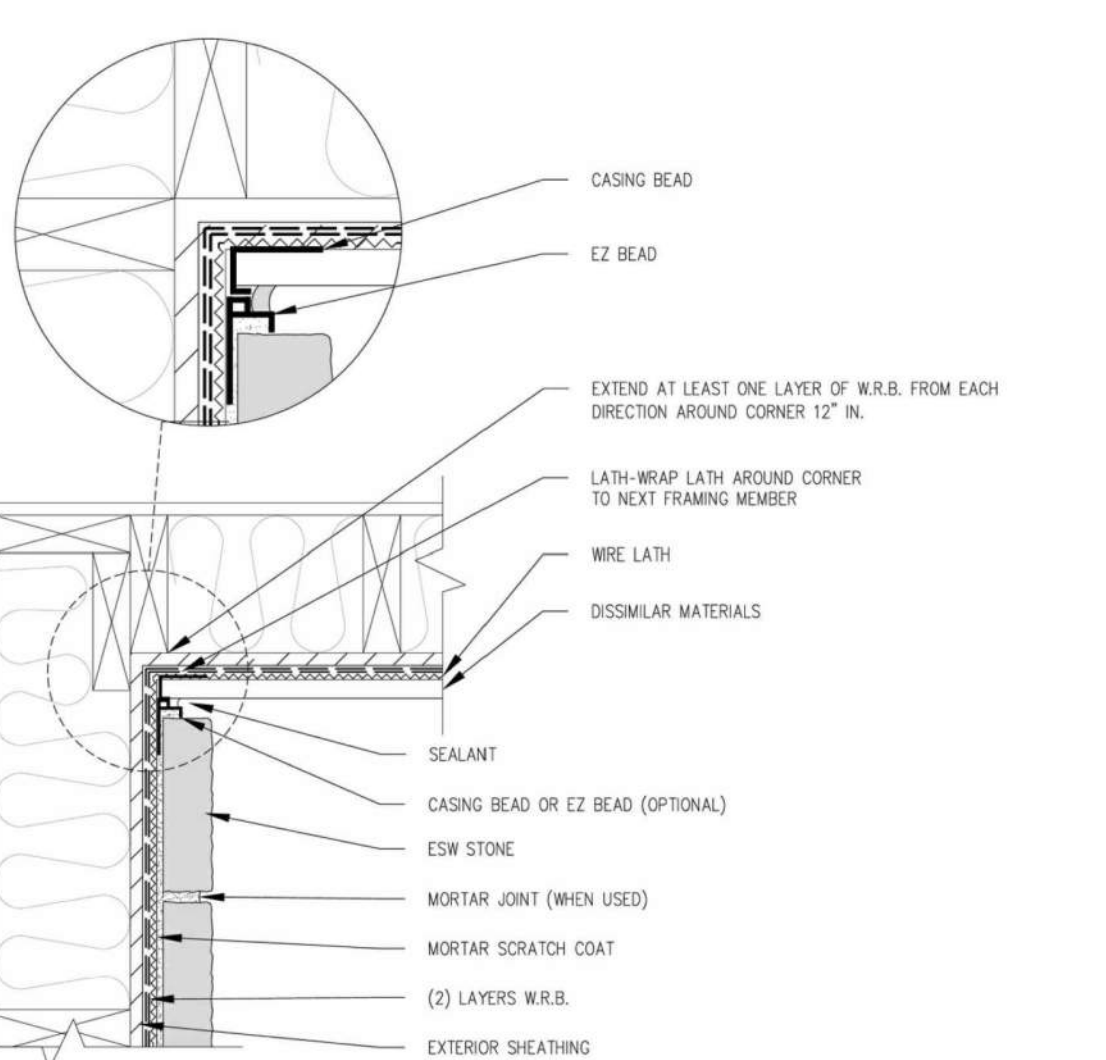
8 Foundation wall at base
NO SCALE



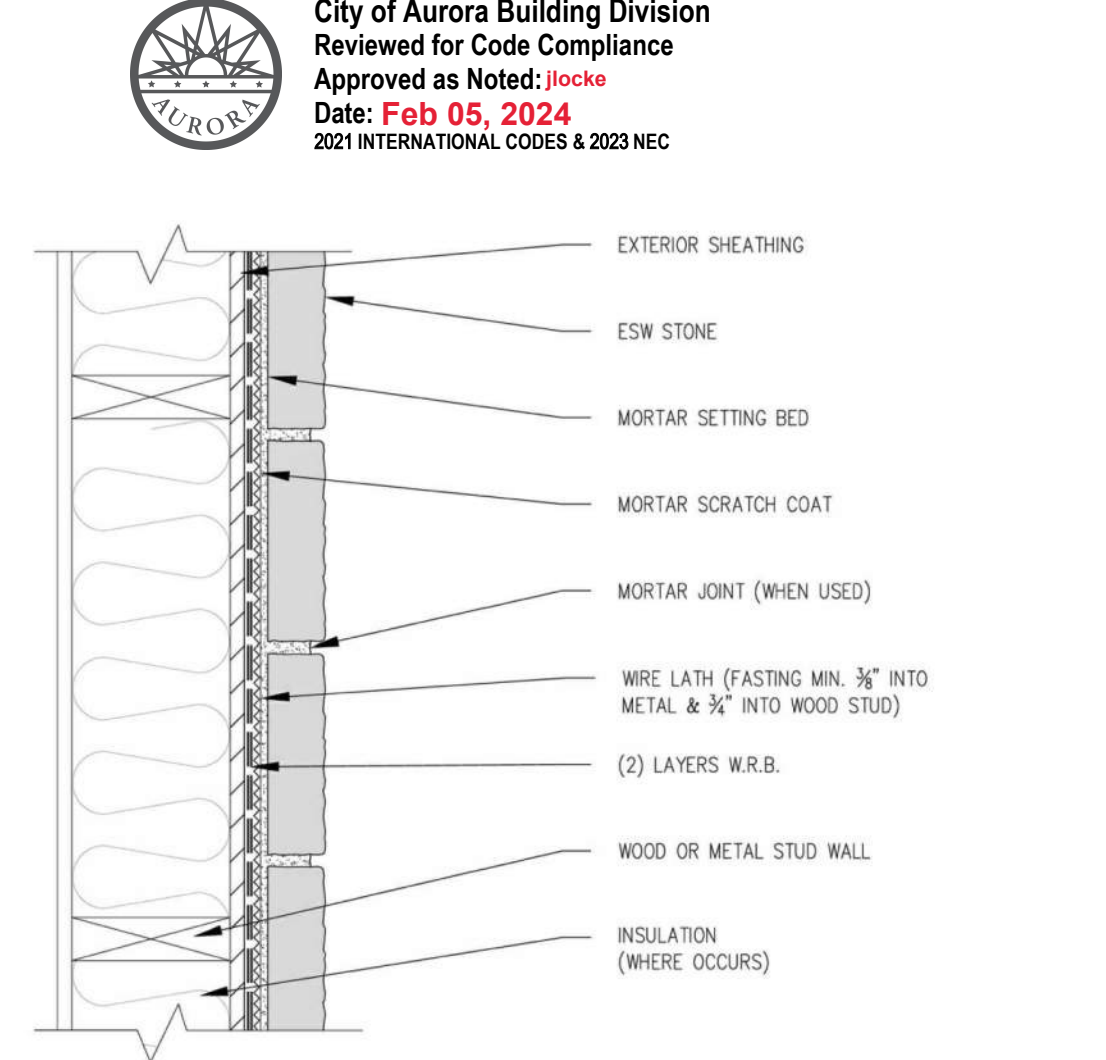
9 Foundation wall at base with (optional) drainage mat
NO SCALE



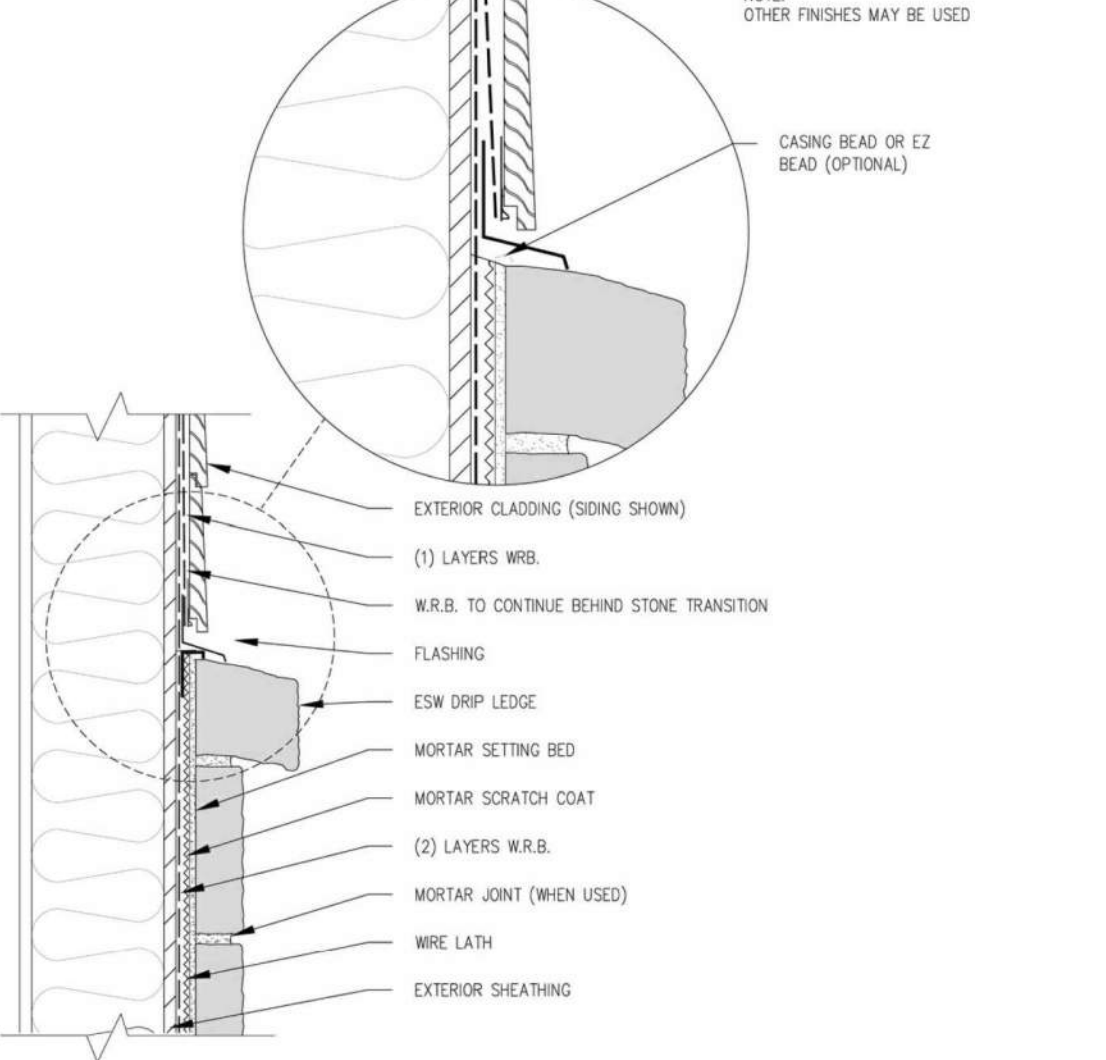
10 Wood column base
NO SCALE



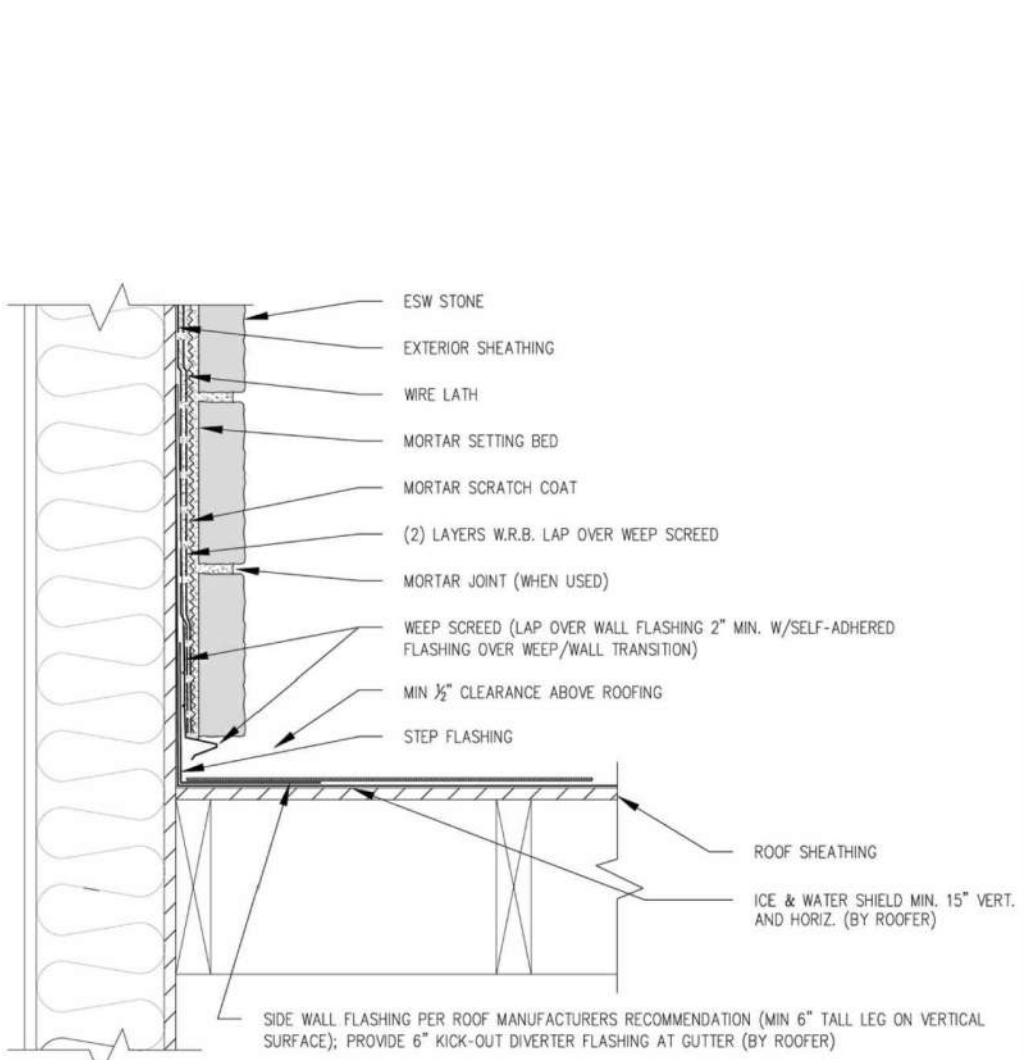
2 Wall-Section inside corner with stucco
NO SCALE



3 Typical wood or metal stud wall
NO SCALE



4 Stone below cladding
NO SCALE



5 Side wall flashing at roof
NO SCALE

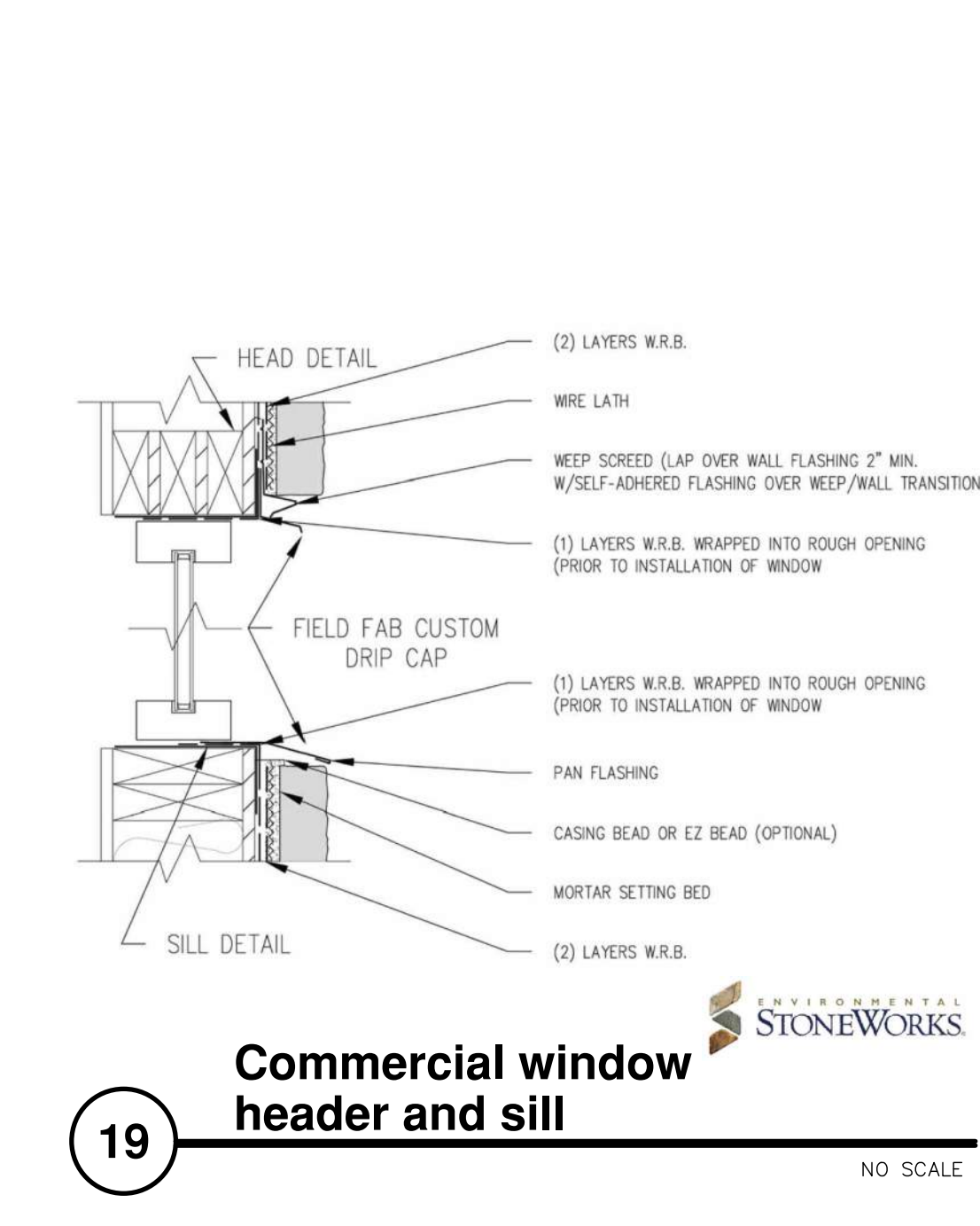
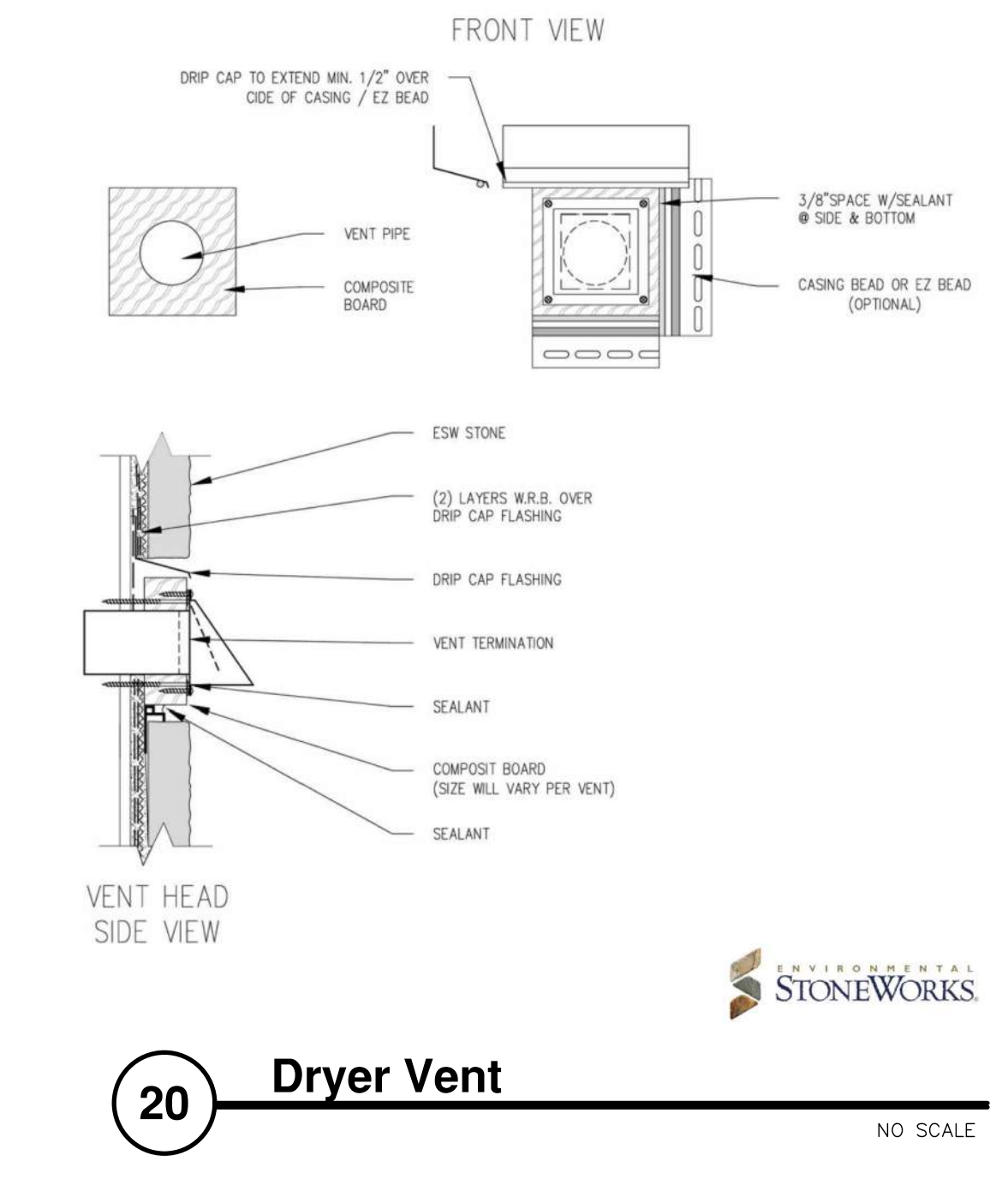
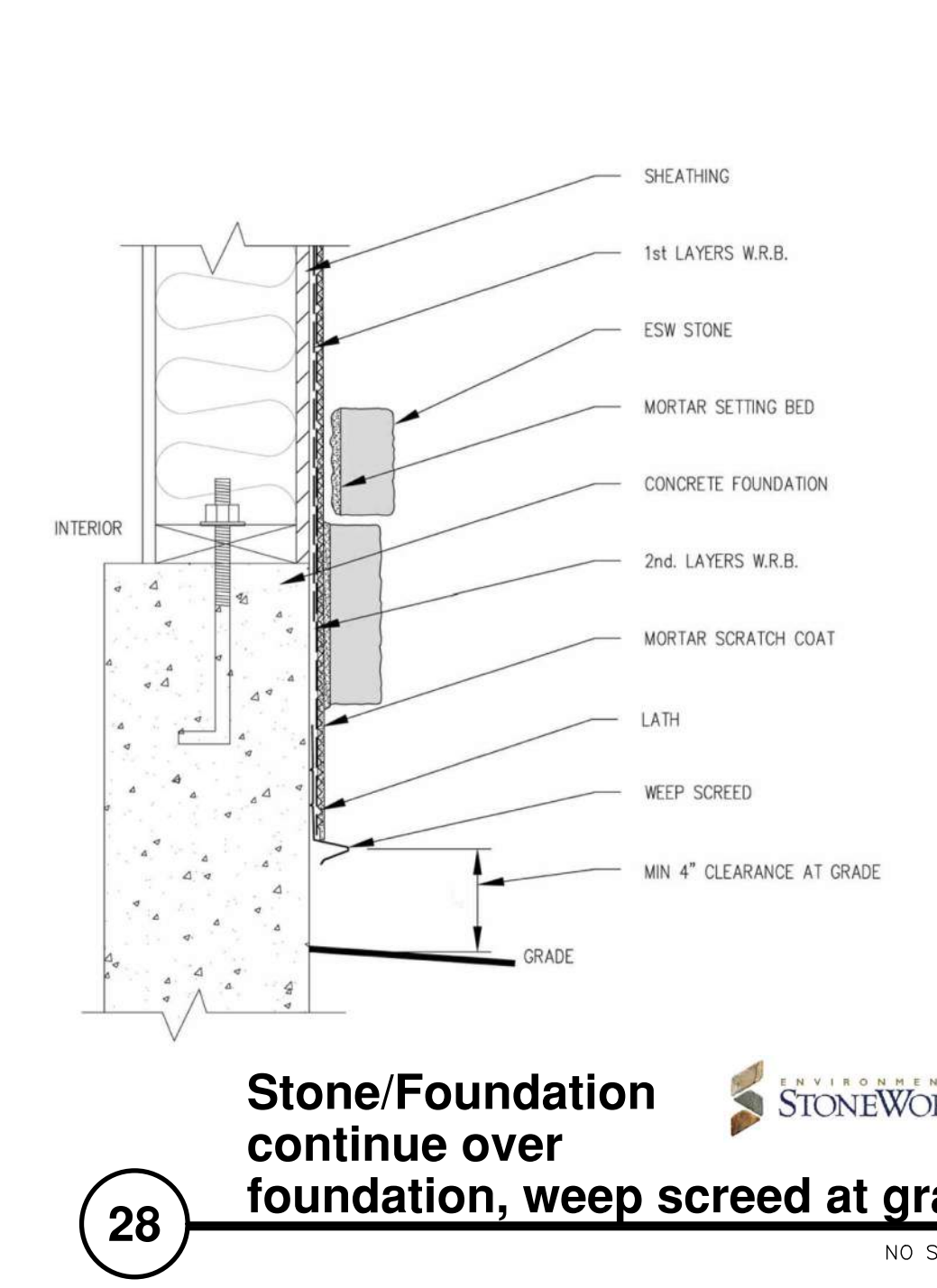
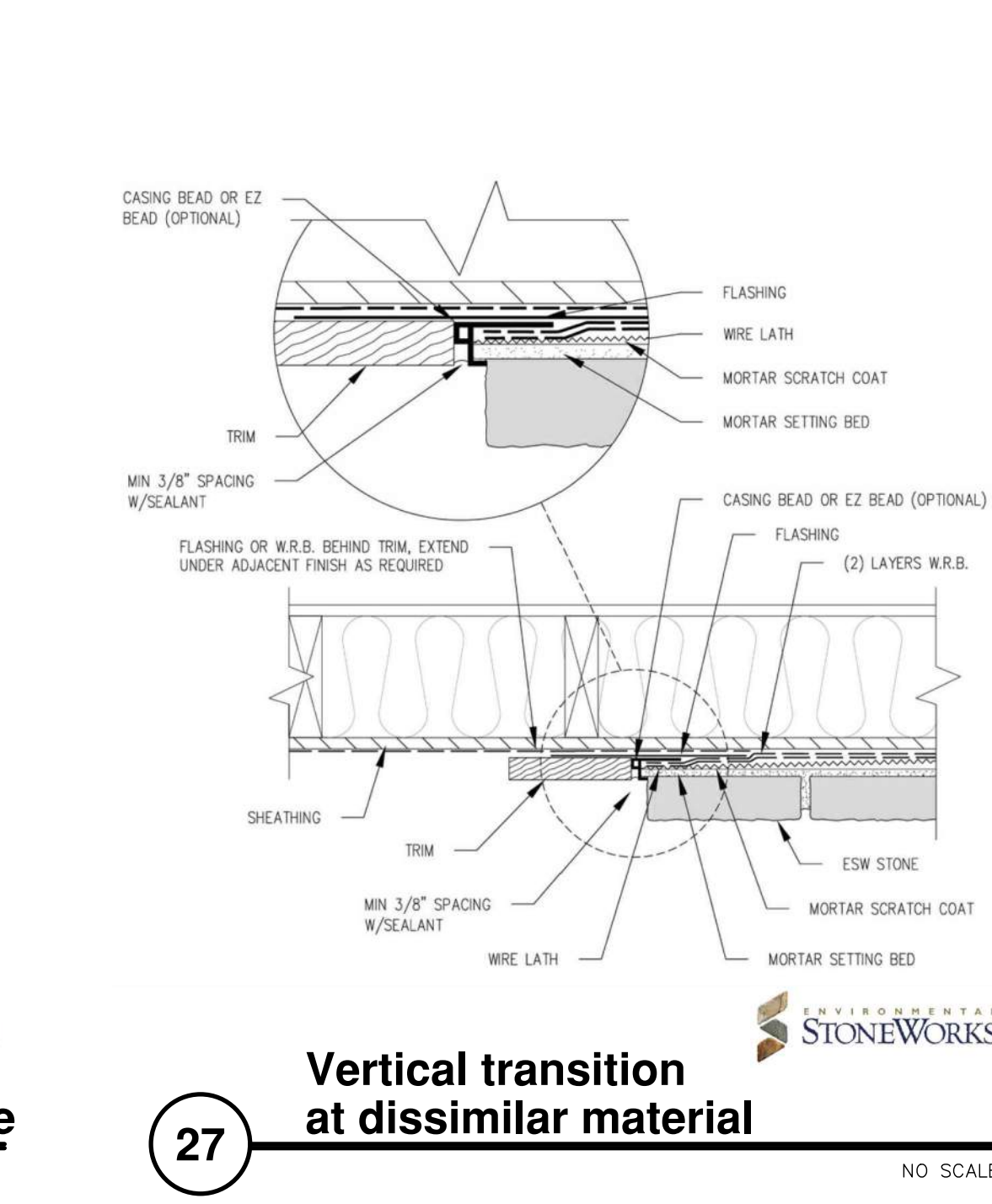
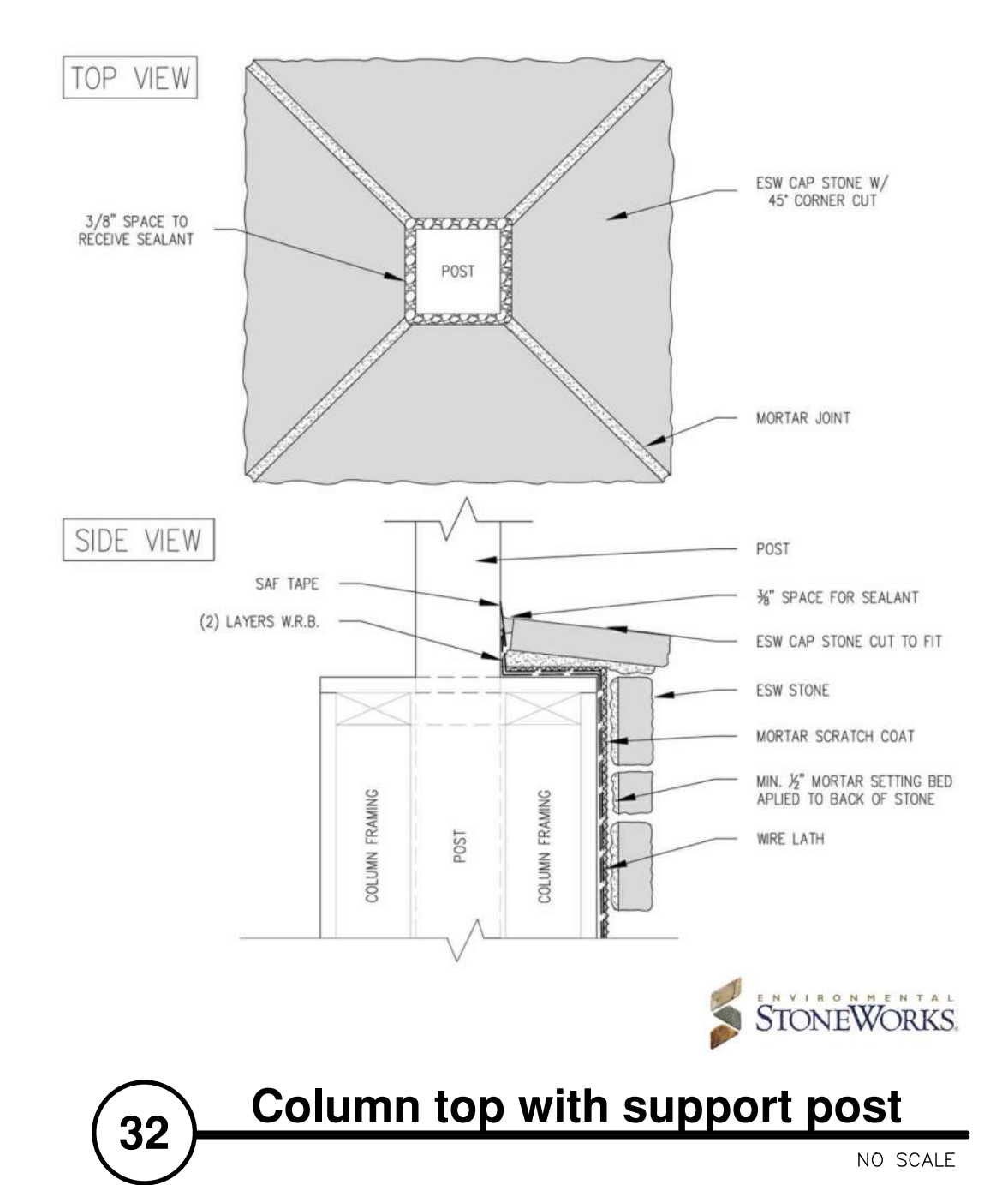
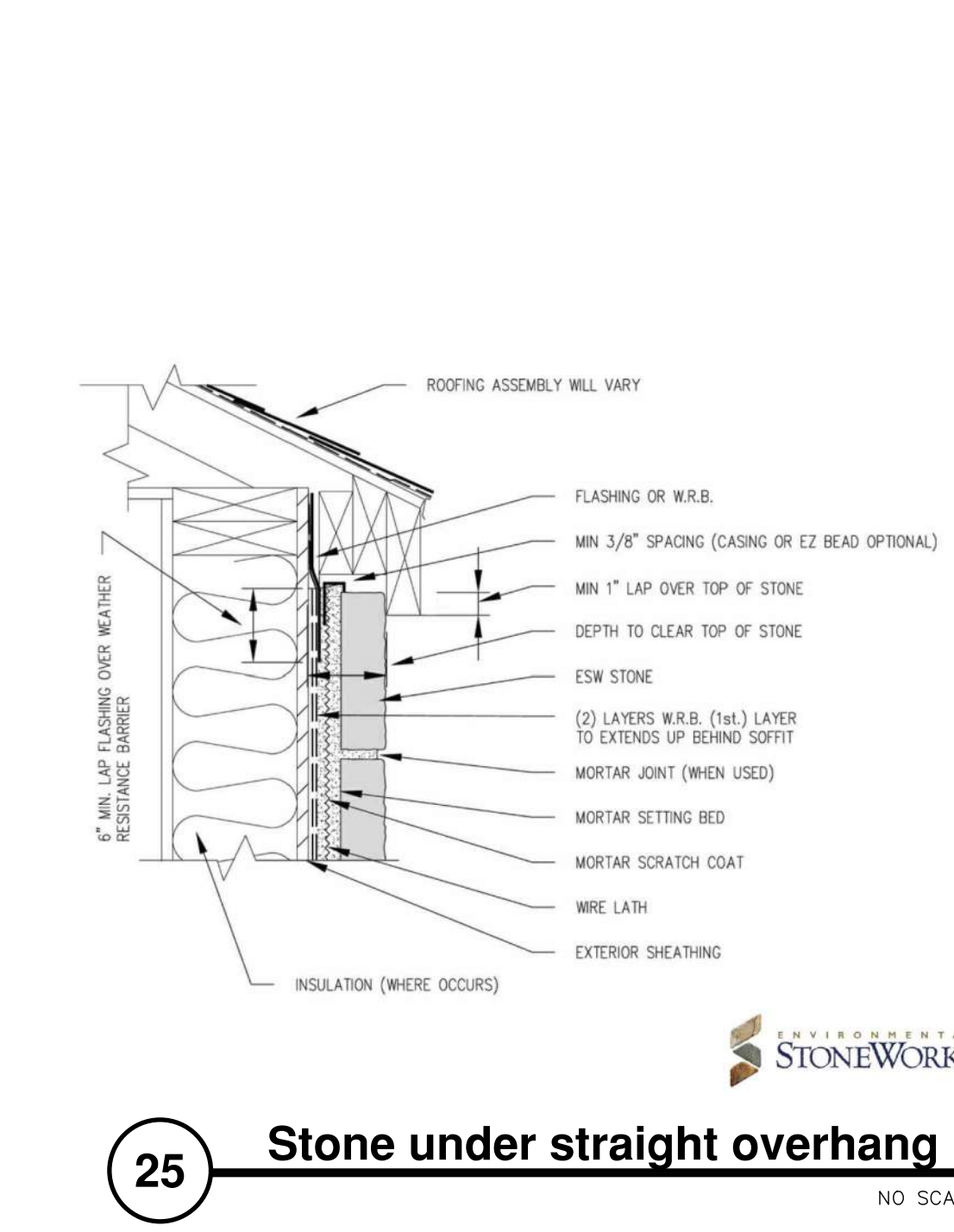
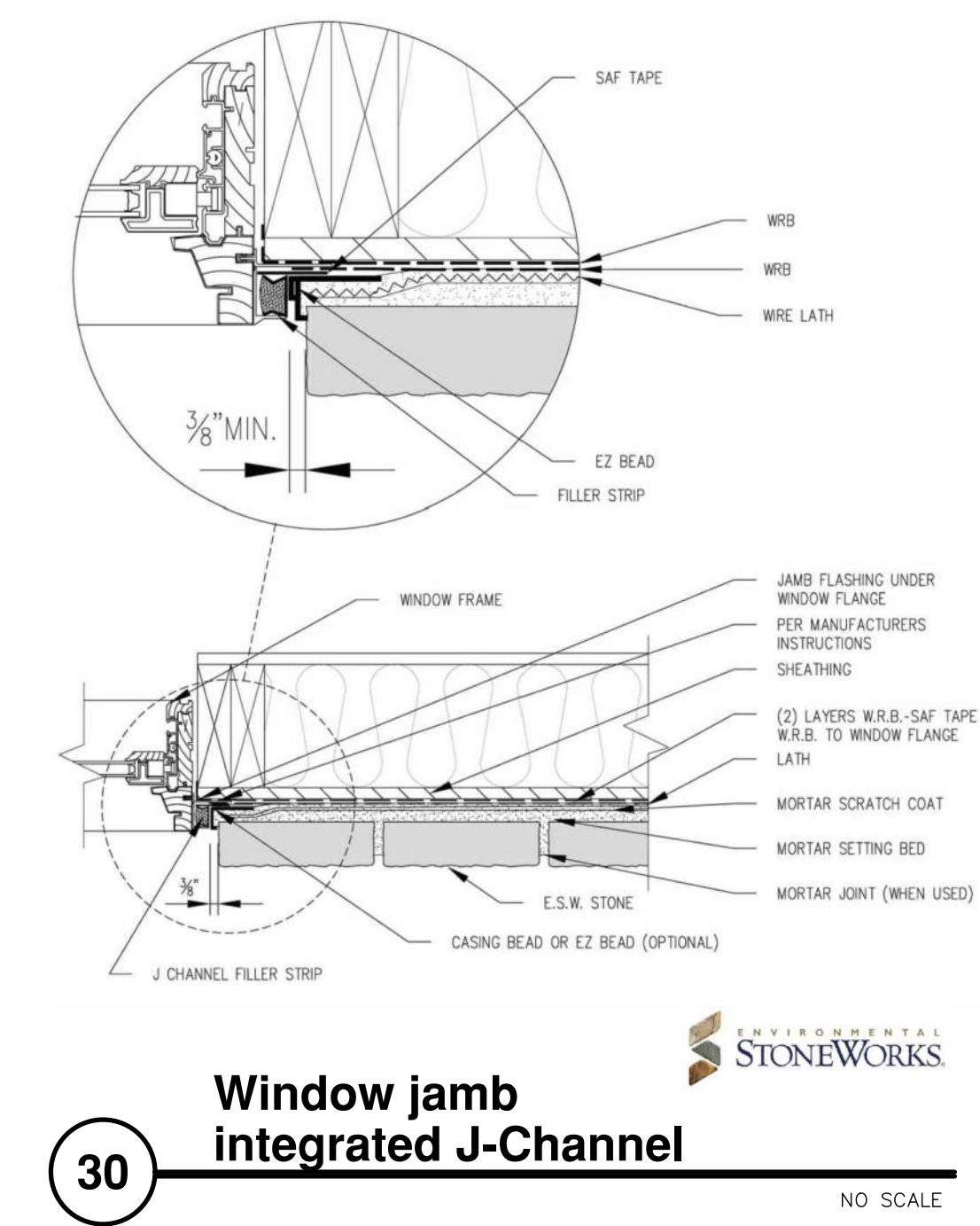
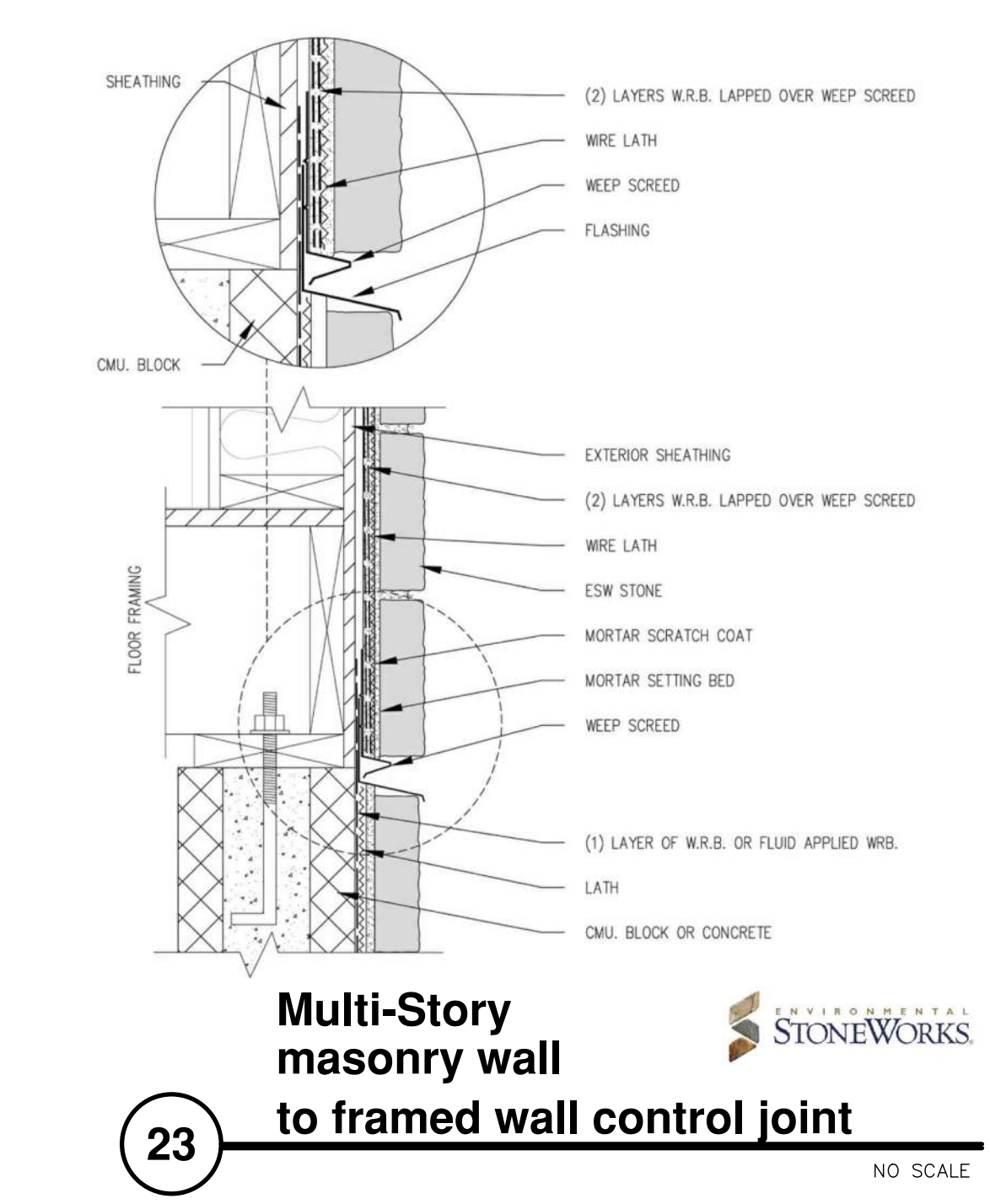
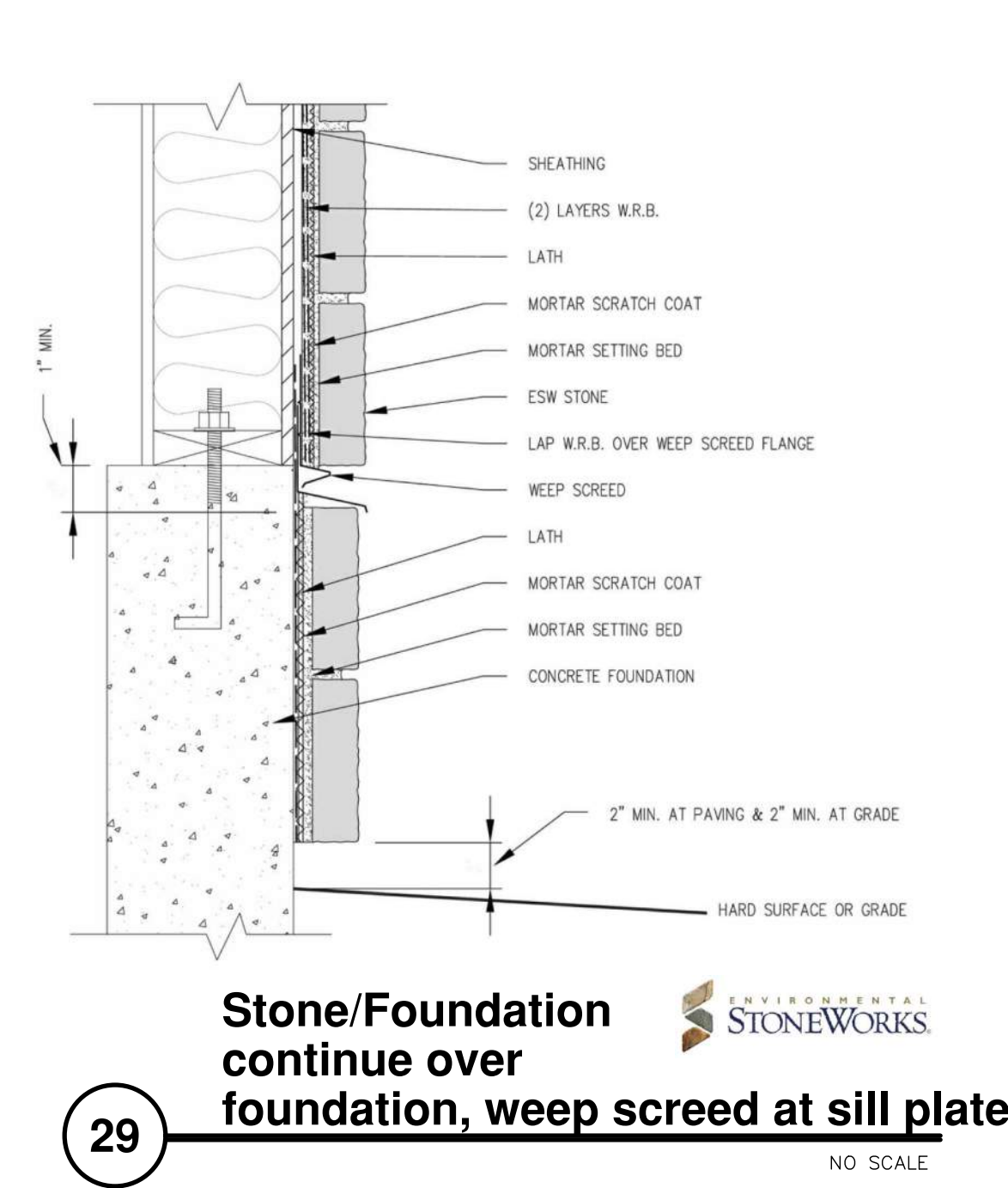
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: *iloch*
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

MANUFACTURED STONE
Manufacturers Installation Details,
Contractor to install as indicated
Actual Conditions May Vary
DETAILS ARE NOT TO SCALE



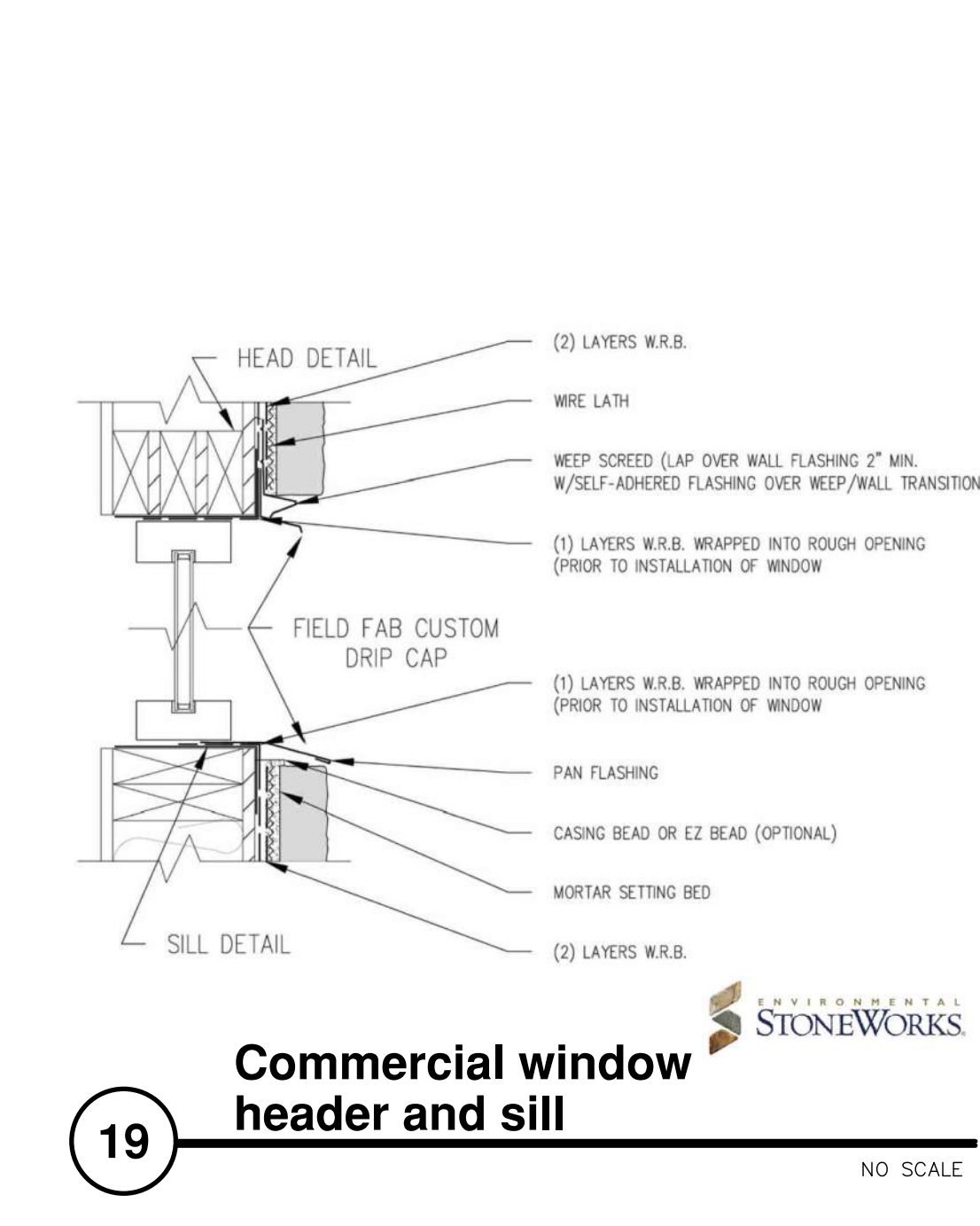
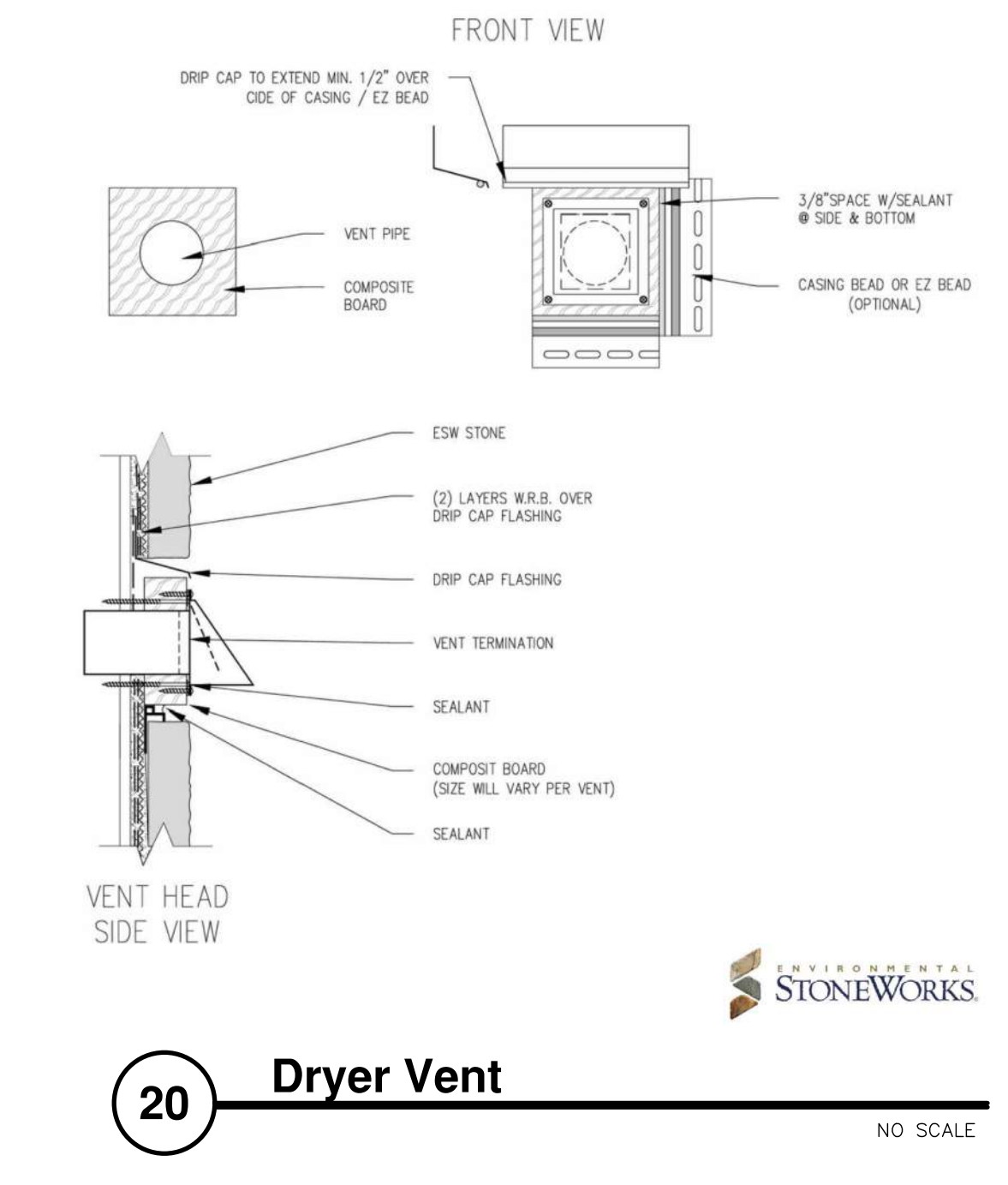
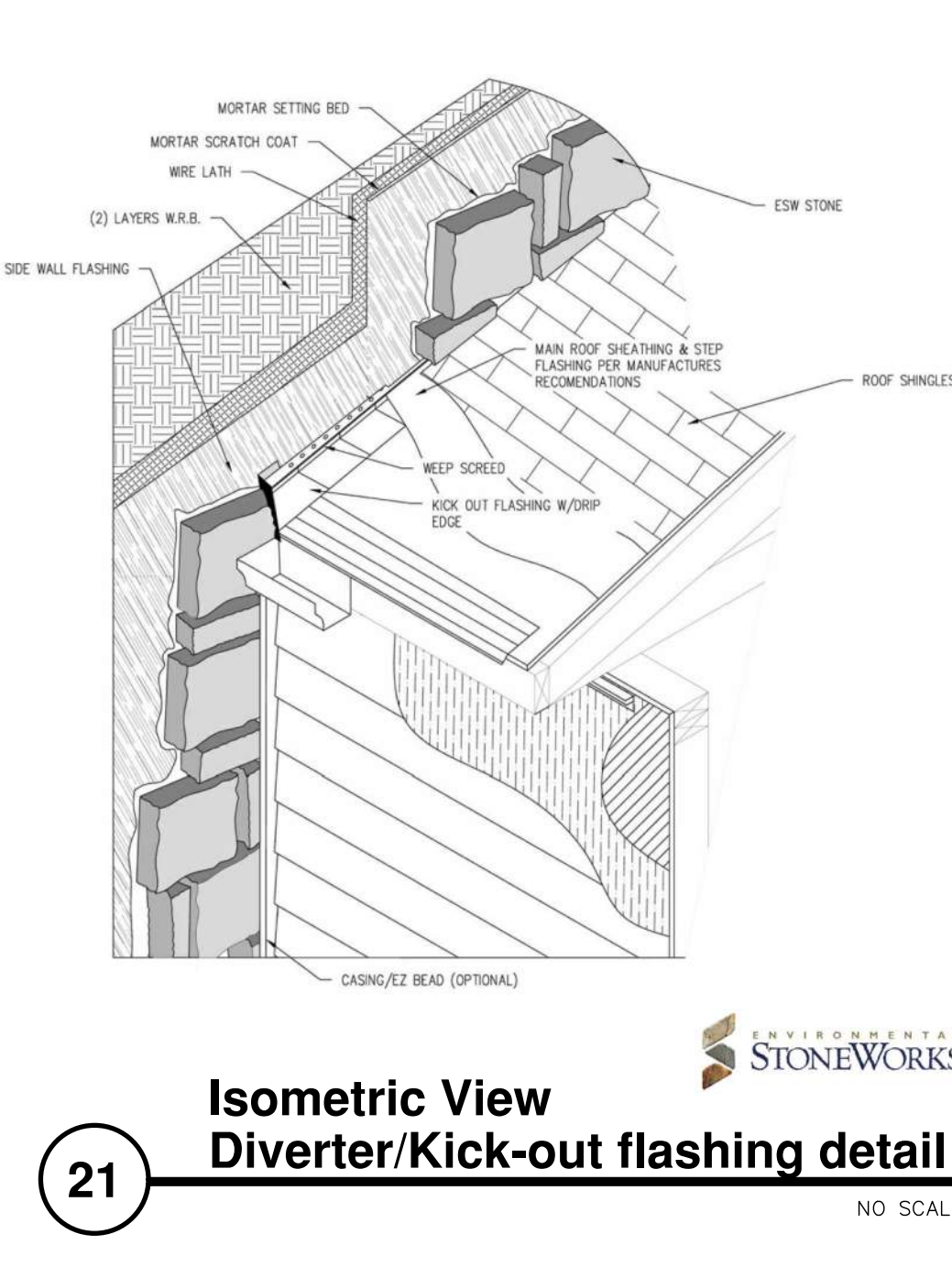
REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

A4.12



MANUFACTURED STONE
Manufacturers Installation Details,
Contractor to install as indicated
Actual Conditions May Vary
DETAILS ARE NOT TO SCALE

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted; jlocke
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC

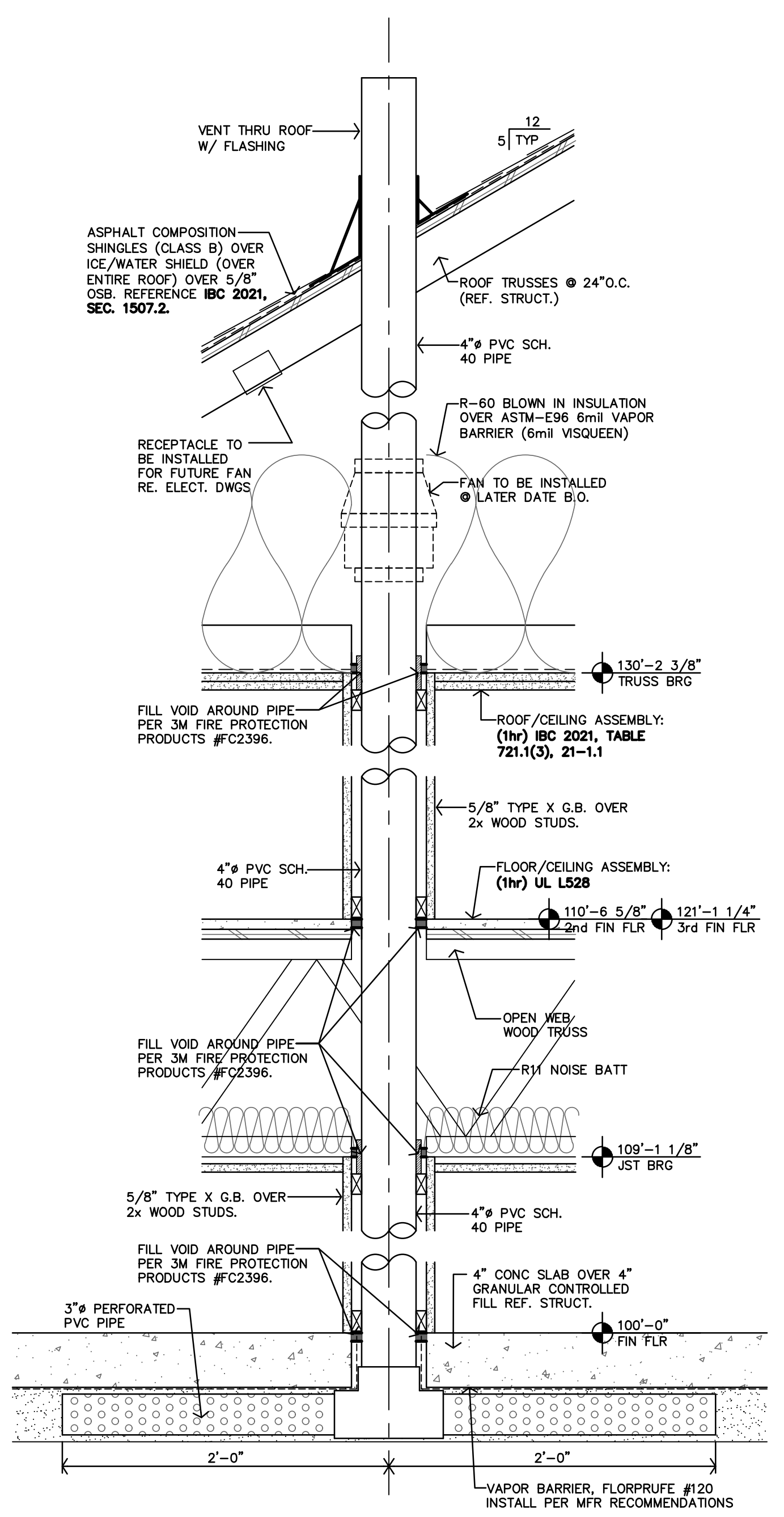


COPYRIGHTED ©

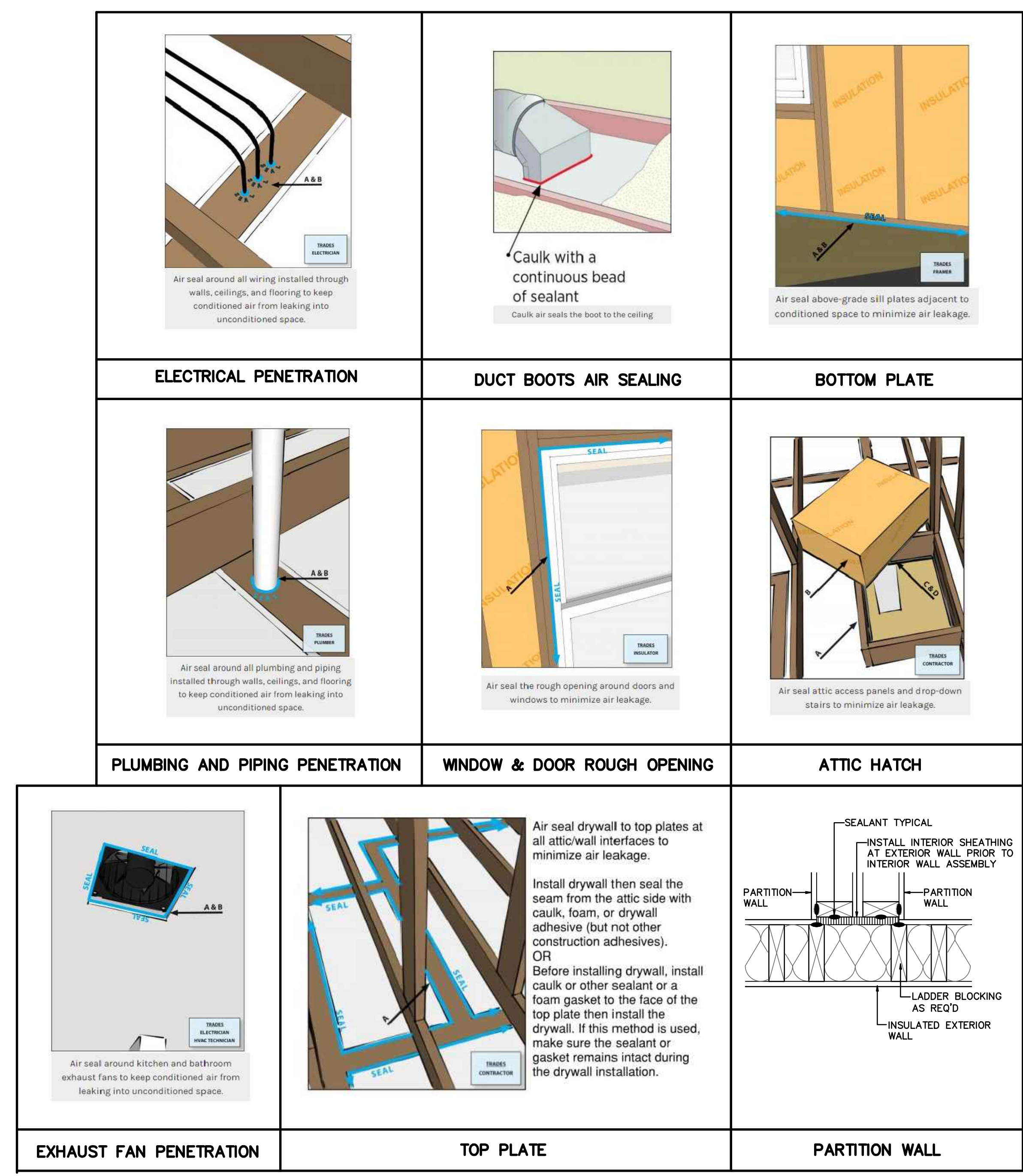
REQUIRED AIR INFILTRATION SEALING MEASURES TO ACHIEVE CODE TARGET 5 ACH50.

- SPRAY RIMS WITH CLOSED CELL SPRAY FOAM INSULATION
- FULL TOP PLATE AIR SEALING AT ALL TOP PLATE LOCATIONS. NOT ONLY EXTERIOR BOUNDARIES AT THIRD FLOOR
- AIR TIGHT OR FLANGED ELECTRICAL BOXES
- AIR SEALING AROUND THE ROUGH OPENING OF ALL UNIT DOORS.
- PICTURE FRAME AIR SEALING AT ALL EXTERIOR AND DEMISING WALL STUD BAYS

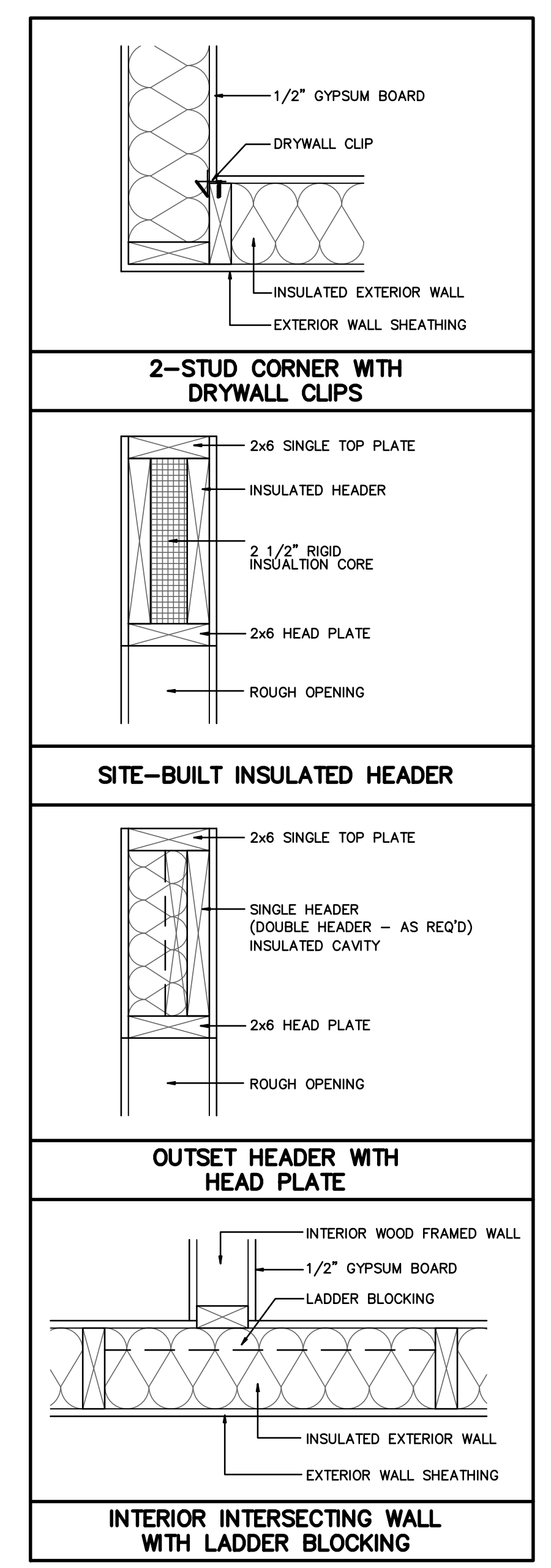
City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **ilocke**
 Date: **Feb 05, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC



B RADON PIPE DETAIL
 1 1/2"=1'-0"



A ENERGY FRAMING AND AIR INFILTRATION
 1 1/2"=1'-0"



DETAILS FROM GreenBuildingAdvisor.com

THE RESERVES at EAGLE POINT
 365 NORTH PICADILLY RD
 AURORA, COLORADO



REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

A4.13

ROOF GENERAL NOTES

1. REF STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
2. REFERENCE SITE PLAN SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDINGS.
3. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. VERIFY LOCATION WITH MECHANICAL & PLUMBING DRAWINGS. PAINT TO MATCH ROOF.
4. INSTALL ATTIC VENTILATION OF NOT LESS THAN 1/150 OF THE ATTIC AREA WITH 50% OF REQ'D VENTILATION LOCATED IN THE UPPER PORTION OF THE ROOF AREA, PER IBC 2021 SECT. 1202.2.1
5. INSTALL ATTIC ACCESS PER DETAIL K-AA.6. LOCATE PER ROOF PLAN
6. ds = INDICATES DOWNSPOUT LOCATIONS.
7. CONTRACTOR SHALL TIE-IN AND COORDINATE WITH UNDERGROUND DRAINAGE PIPE. AS INDICATED REFERENCE CIVIL DRAWINGS.
8. TYPICAL ROOF SLOPE IS 5:12 UNLESS NOTED OTHERWISE.
9. INSTALL 1 DRAFTSTOP DOOR IN EACH ATTIC COMPARTMENT AS INDICATED ON ROOF PLANS. DRAFTSTOP DOOR SHALL BE SELF CLOSING w/ AUTOMATIC LATCHES PER IBC 2021, SECTION 718.4.1.1 ALSO REF. DETAIL J-AA.6
10. INSTALL DRAFTSTOPS PER IBC 2021, SECTION 718.4. DRAFTSTOPPING SHALL BE INSTALLED ABOVE AND IN LINE WITH DWELLING UNITS AND SEPARATION WALLS.
11. INSTALL FIREBLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
12. INSTALL FLASHINGS & VALLEYS, THEN INSTALL ASPHALT COMPOSITION SHINGLES (CLASS C) OVER 2-LAYERS ROOF FELT & ICE/WATER SHIELD (Ø EDGES, VALLEYS & HIPS, ETC.) OVER ROOF SHEATHING OVER ENTIRE ROOF AREA.
13. CAULK & SEAL WATERTIGHT ALL JOINTS & TRANSITIONS.
14. ALL METAL MATERIALS (I.E. VALLEYS, FLASHINGS, ETC...) SHALL BE .0217" THICK (26 GA) PREFINISHED GALVANIZED OR ALUM. ZINC ALLOY. ALL FASTENERS MUST BE COMPATIBLE WITH ASSOCIATED METALS/MATERIALS. METALS MUST BE INSTALLED PER SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL".
15. CONTRACTOR TO USE NAILS FOR FASTENING NEW SHINGLES. STAPLES ARE NOT ALLOWED.
16. ROOFING INSTALLATION: DETAILS INDICATED ON SHEET A5.3 ARE GENERIC/GENERAL. CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS & RECOMMENDATIONS, BUT NOT LESS THAN THOSE RECOMMENDED BY NRCA'S "THE ROOFING & WATERPROOFING MANUAL" & "STEEP SLOPE ROOF SYSTEMS".
17. CONTRACTOR MUST COMPLY WITH ALL STATE & LOCAL CODES & REGULATIONS.
18. PROVIDE PERMANENT IDENTIFICATION ACCEPTABLE TO LOCAL AUTHORITIES AT ALL DRAFTSTOPS AND DRAFTSTOP ACCESS

TYPICAL SOFFIT MATERIAL

- CEMENT BOARD SOFFIT OR HARDI BOARD (TYP)
- COMPOSITE BOARD CEILING OVER (2) LAYERS 5/8" TYPE X G.B. INSTALL PER ROOF/CEILING ASSEMBLY: (1HR) IBC 2021, TABLE 721.1(3), 21-1.1 & COMPOSITE BOARD CEILING typ.
- COMPOSITE BOARD CEILING TYP

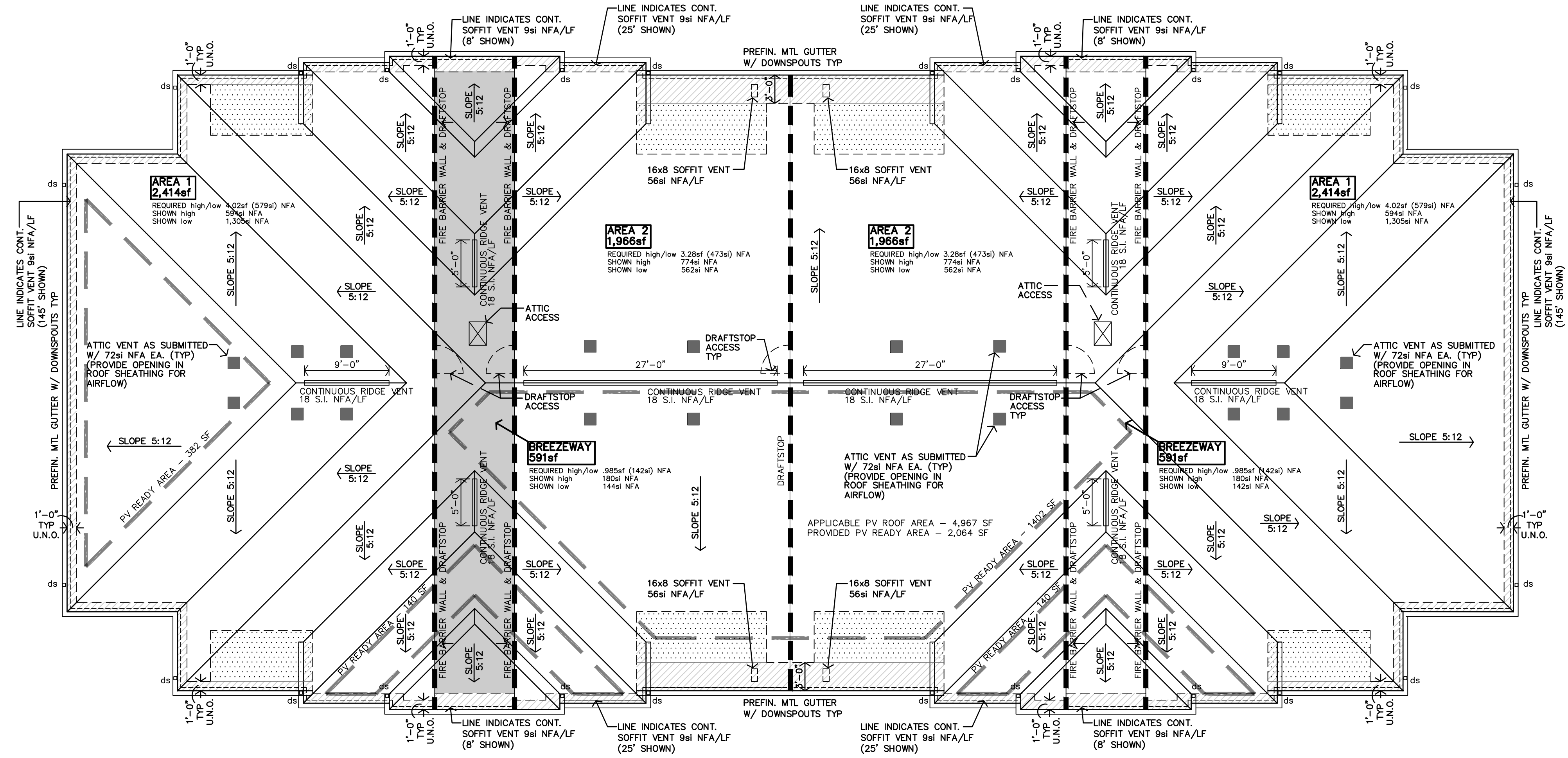
MINIMUM GUTTER & DOWNSPOUT

GUTTER - 4x5
DOWNSPOUT - 3x4 (CONNECT TO STORM DRAIN REF. L/A5.2)

APARTMENT BUILDINGS A/B/C/F (TYPE 4) ATTIC VENTILATION

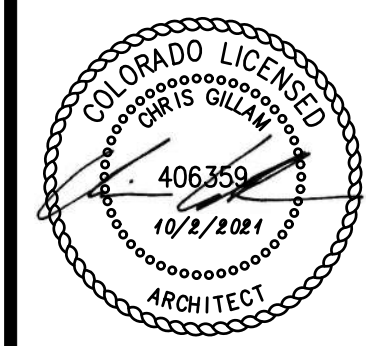
ATTIC VENTILATION PER IBC 2015, SECTION 102.2.1, 1/300 WITH ASTM 396 VAPOR BARRIER RIDGE VENT SHALL PROVIDE A MIN. OF 18 SQUARE INCHES OF NET FREE AREA, (NFA) OF VENTILATION PER LINEAR FOOT, OR ADDITIONAL AND OPTIONAL VENTS MUST BE INSTALLED.

- AREA 1 - (2) 2-BDRM UNITS (2 THUS)**
ATTIC AREA MUST PROVIDE
(2,414/300 = 8.05/2 = 4.02 HIGH & LOW)
4.02sf OF NET FREE AREA @ THE RIDGE & SOFFITS.
- AREA 2 - (2) 1-BDRM UNITS**
ATTIC AREA MUST PROVIDE
(1,966/300 = 6.55/2 = 3.28 HIGH & LOW)
3.28sf OF NET FREE AREA @ THE RIDGE & SOFFITS.
- BREEZEWAY (2 THUS)**
ATTIC AREA MUST PROVIDE
(591/300 = 1.97/2 = .985 HIGH & LOW)
.985sf OF NET FREE AREA @ THE RIDGE & SOFFITS.



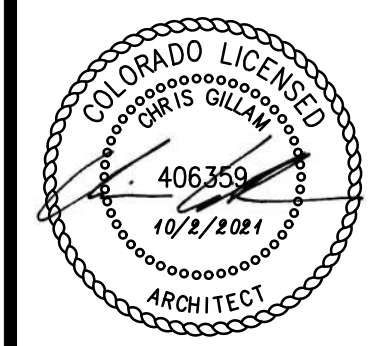
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: **locke**
Date: **Feb 05, 2024**
2021 INTERNATIONAL CODES & 2023 NEC

B APARTMENT BUILDINGS A/B/C/F (TYPE 4)
ROOF PLAN
1/8"=1'-0"

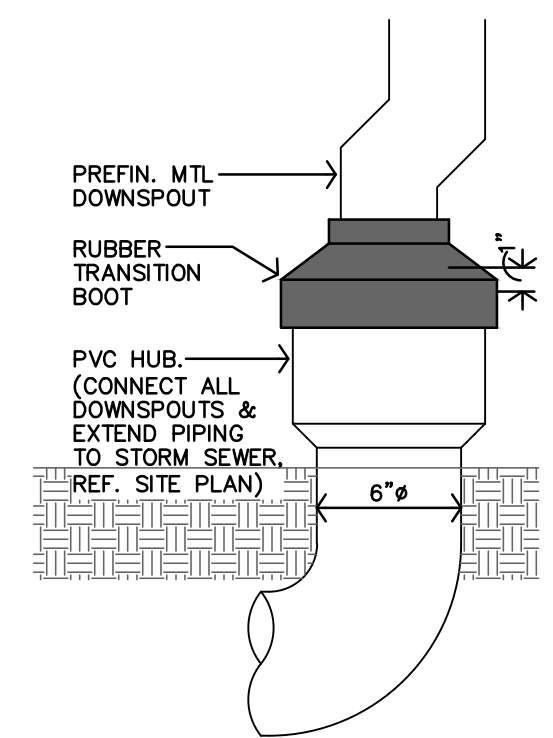


REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

A5.1



REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

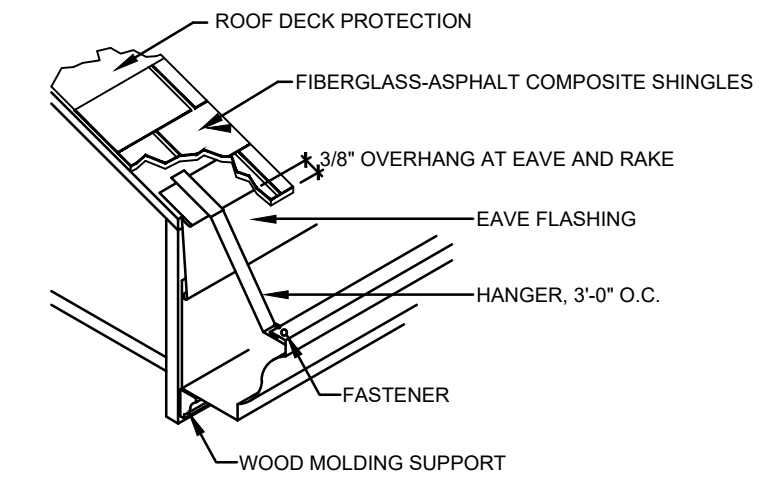


L DOWNSPOUT HUB DETAIL
1 1/2"=1'-0"

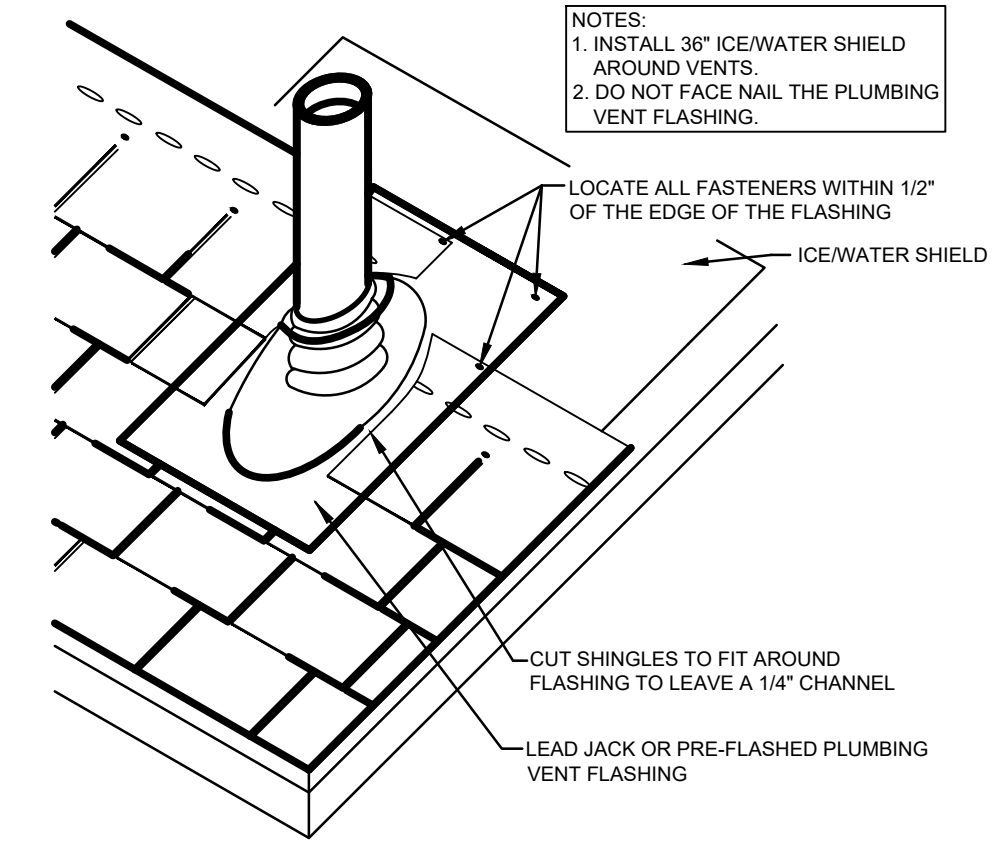
ROOFING DETAIL NOTES

1. TYPICAL MANUFACTURER'S DETAILS ACTUAL CONDITIONS MAY VARY. REFER AND COORDINATE W/ BUILDING DETAILS PROVIDING THE MANUFACTURER'S MOST STRINGENT REQUIREMENTS, RECOMMENDATIONS, NECESSARY TO ACHIEVE COMPLETE WATERTIGHT WARRANTY.
2. A WOOD NAILER IS REQUIRED WHEN INSULATION IS GREATER THAN 1" COORDINATE WITH MANUFACTURER'S REQUIREMENTS TOP OF WOOD ATTACH WOOD NAILERS SHALL BE SPACED NO GREATER THAN 18" O.C.

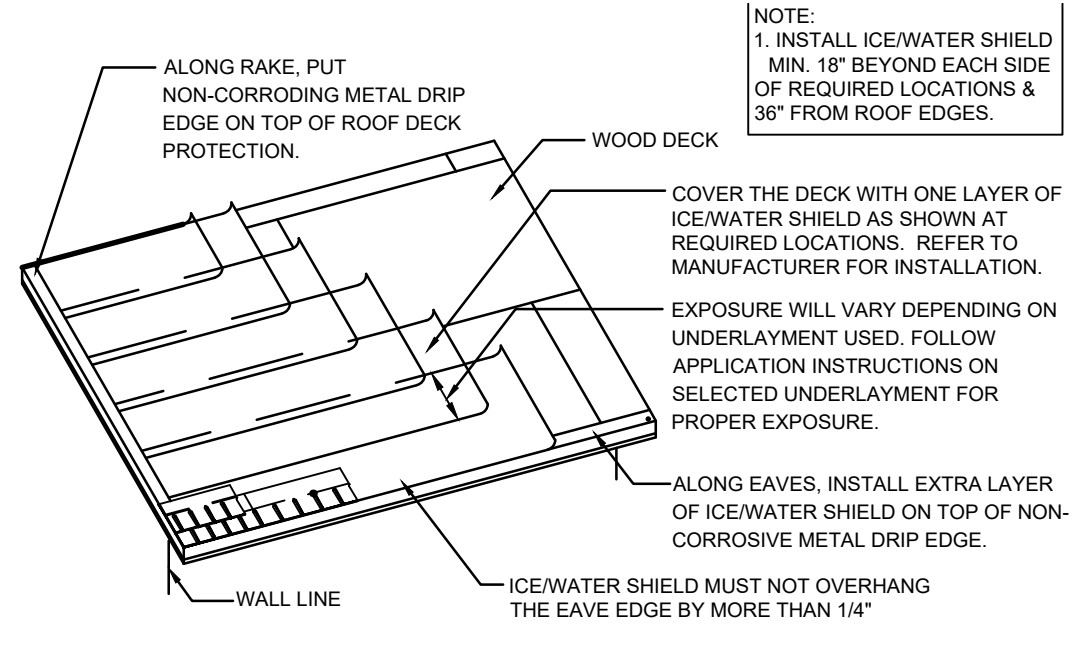
MANUFACTURER'S-ROOFING DETAILS, CONDITIONS VARY



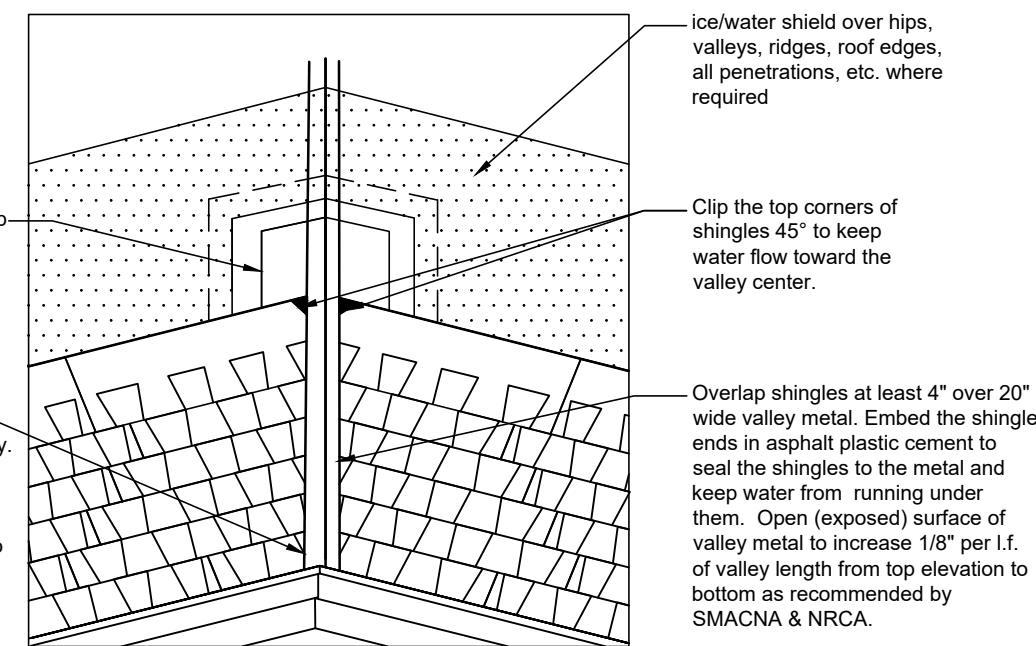
E GUTTER FASTENER DETAIL
NOT TO SCALE



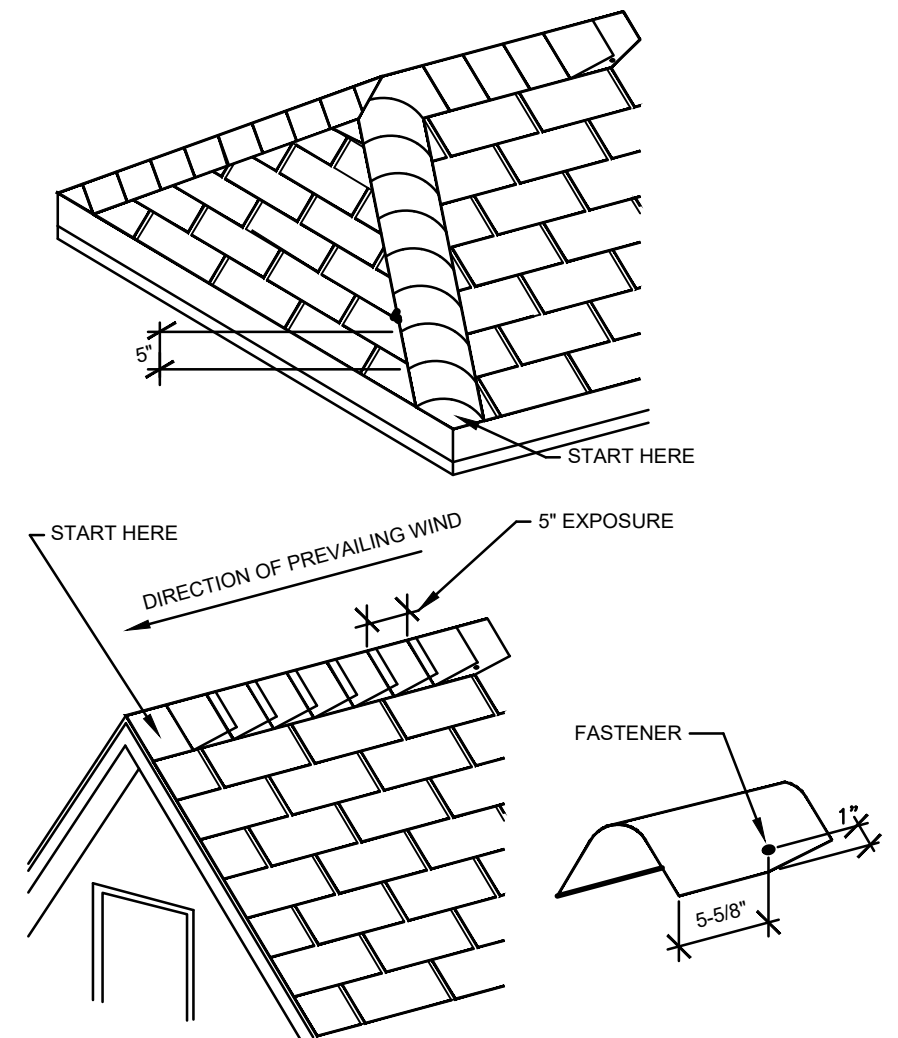
B VENT FLASHING DETAIL
NOT TO SCALE



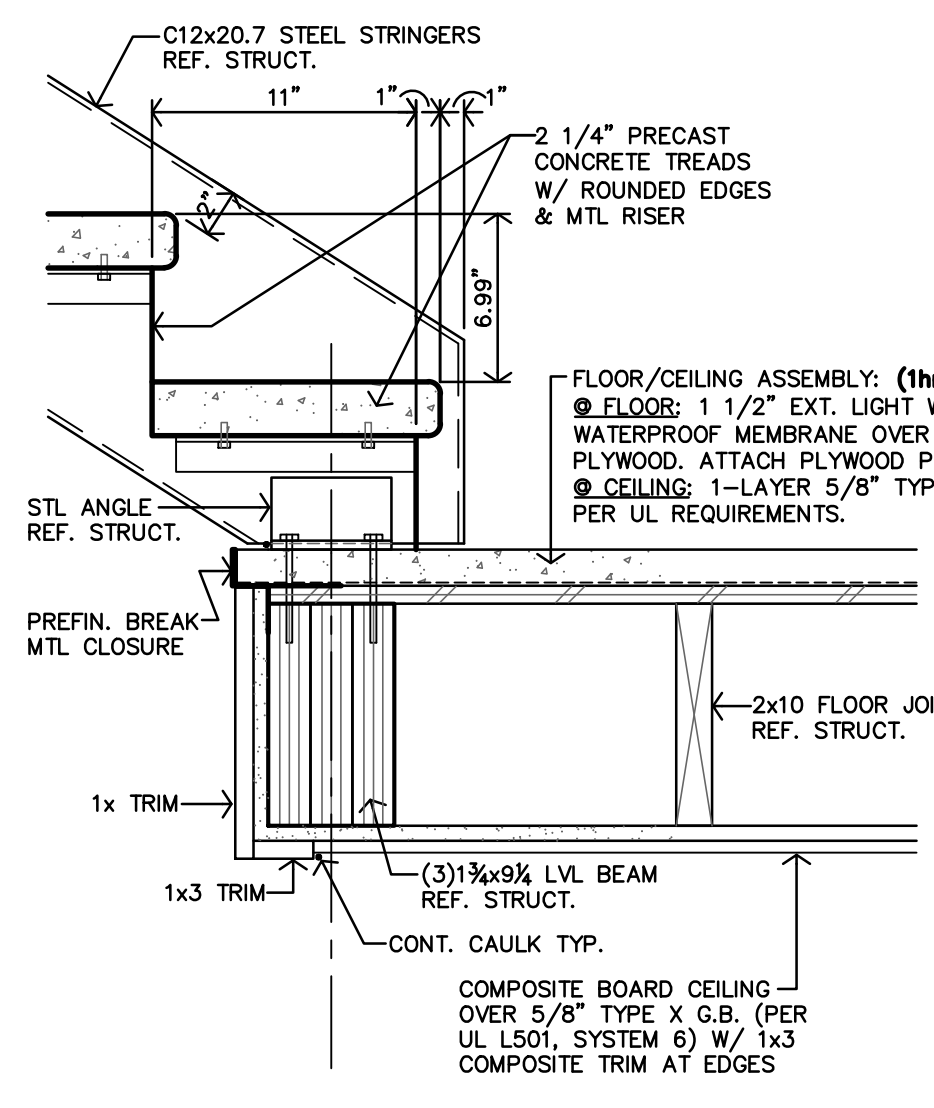
D UNDERLAYMENT LAYOUT DETAIL
NOT TO SCALE



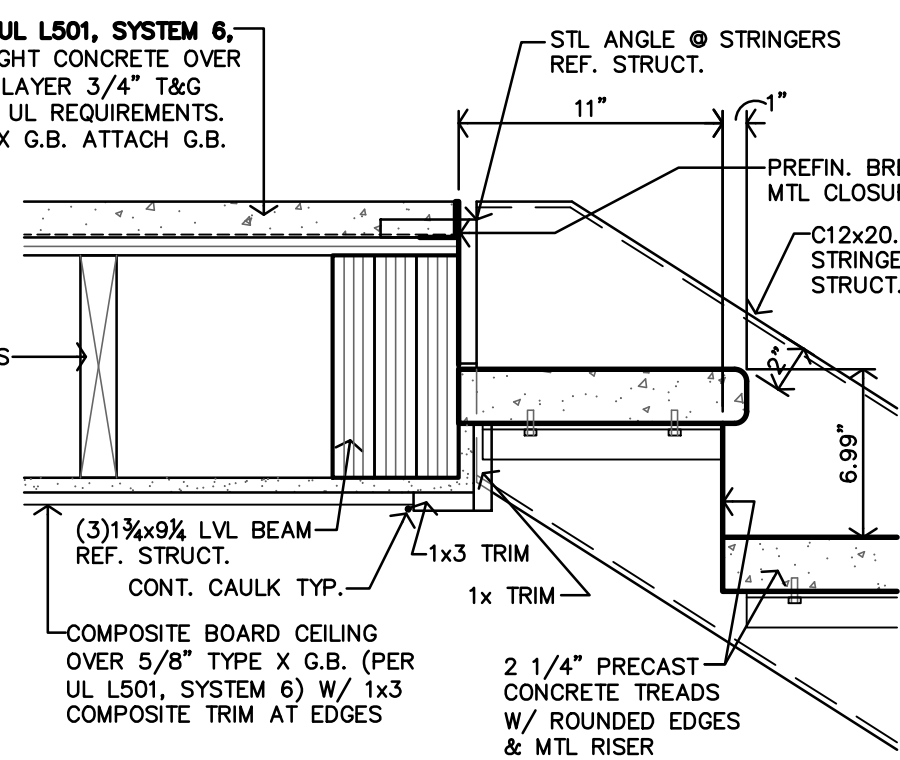
C OPEN VALLEY DETAIL
NOT TO SCALE



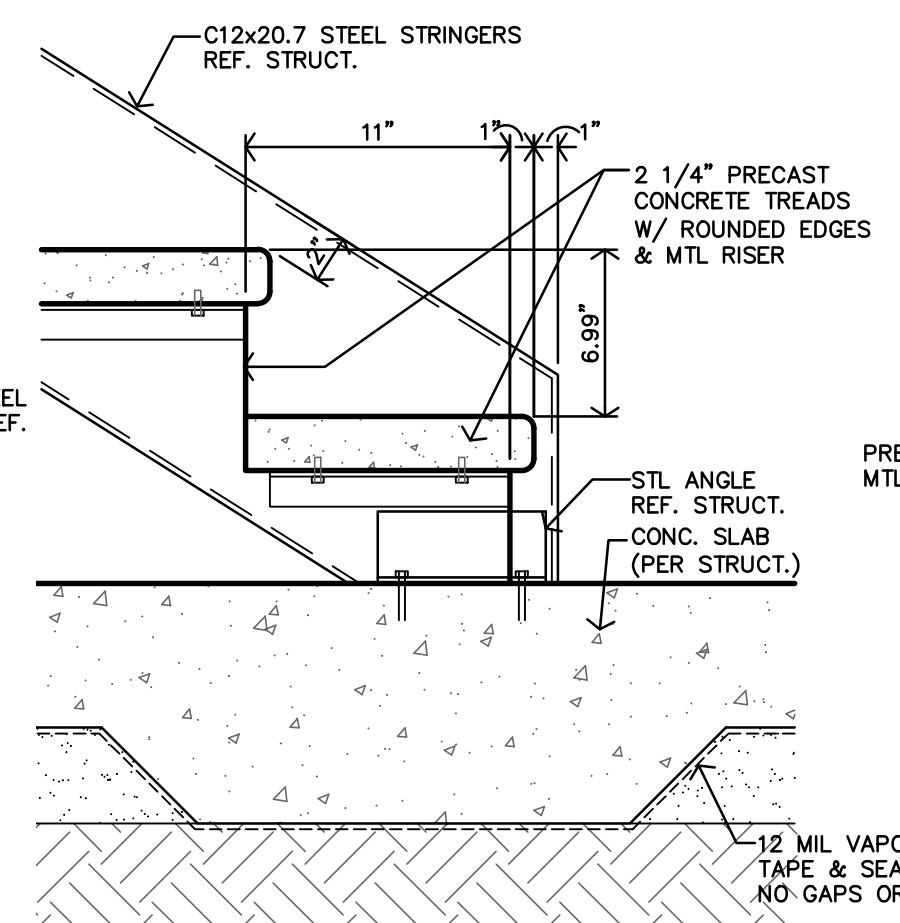
A HIP & RIDGE DETAILS
NOT TO SCALE



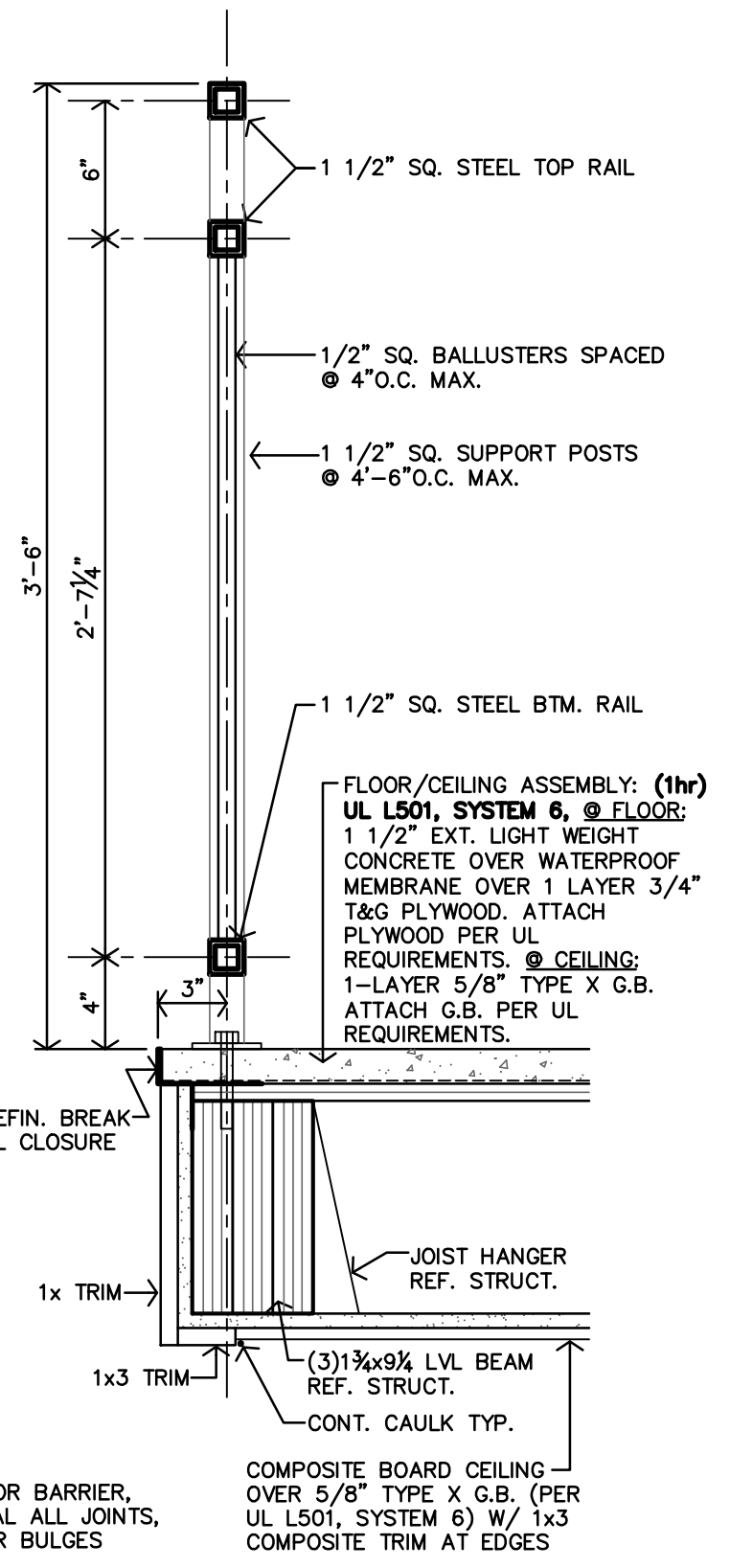
K DETAIL
1 1/2"=1'-0"



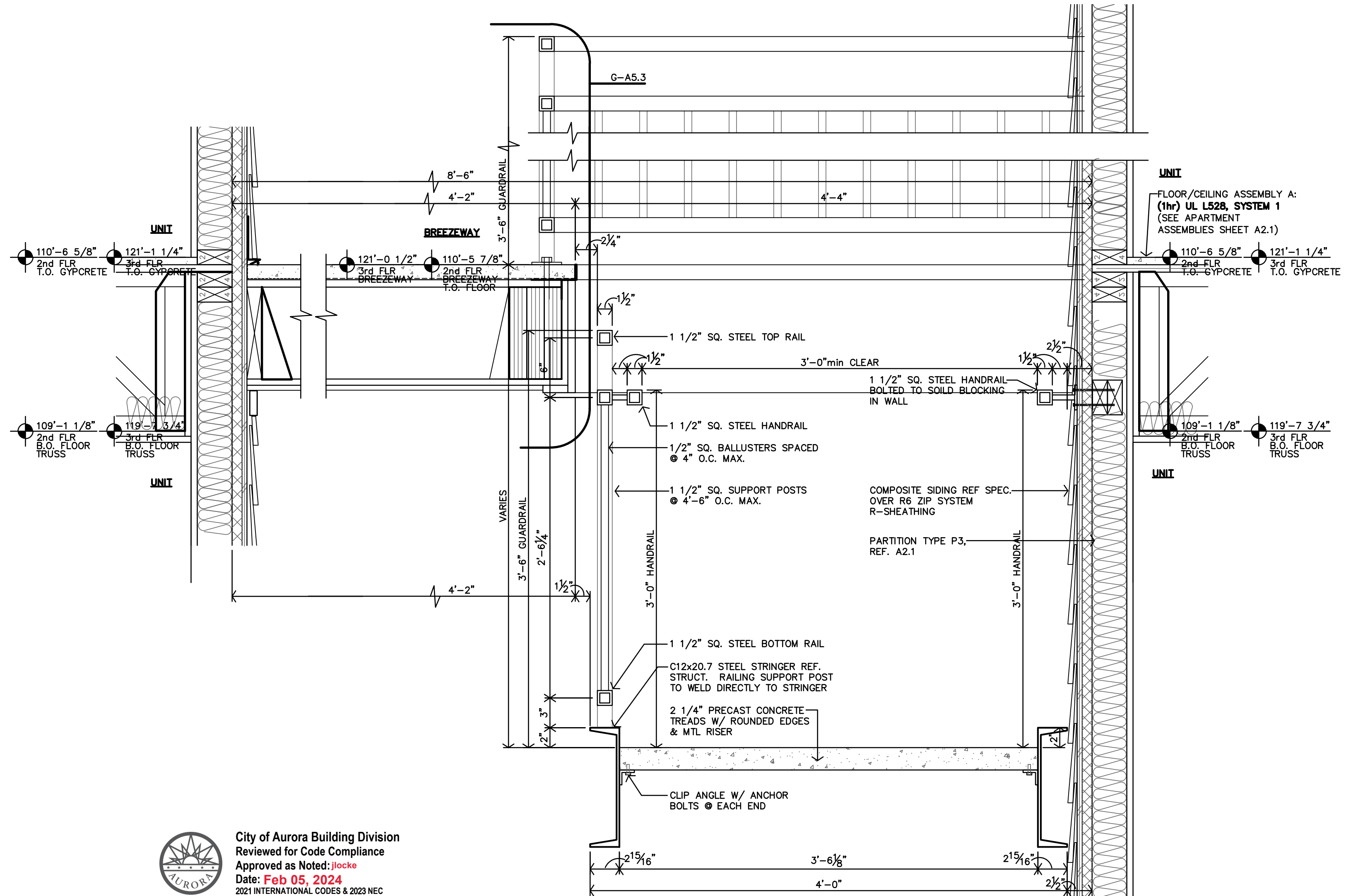
J DETAIL
1 1/2"=1'-0"



H DETAIL
1 1/2"=1'-0"



G DETAIL
1 1/2"=1'-0"

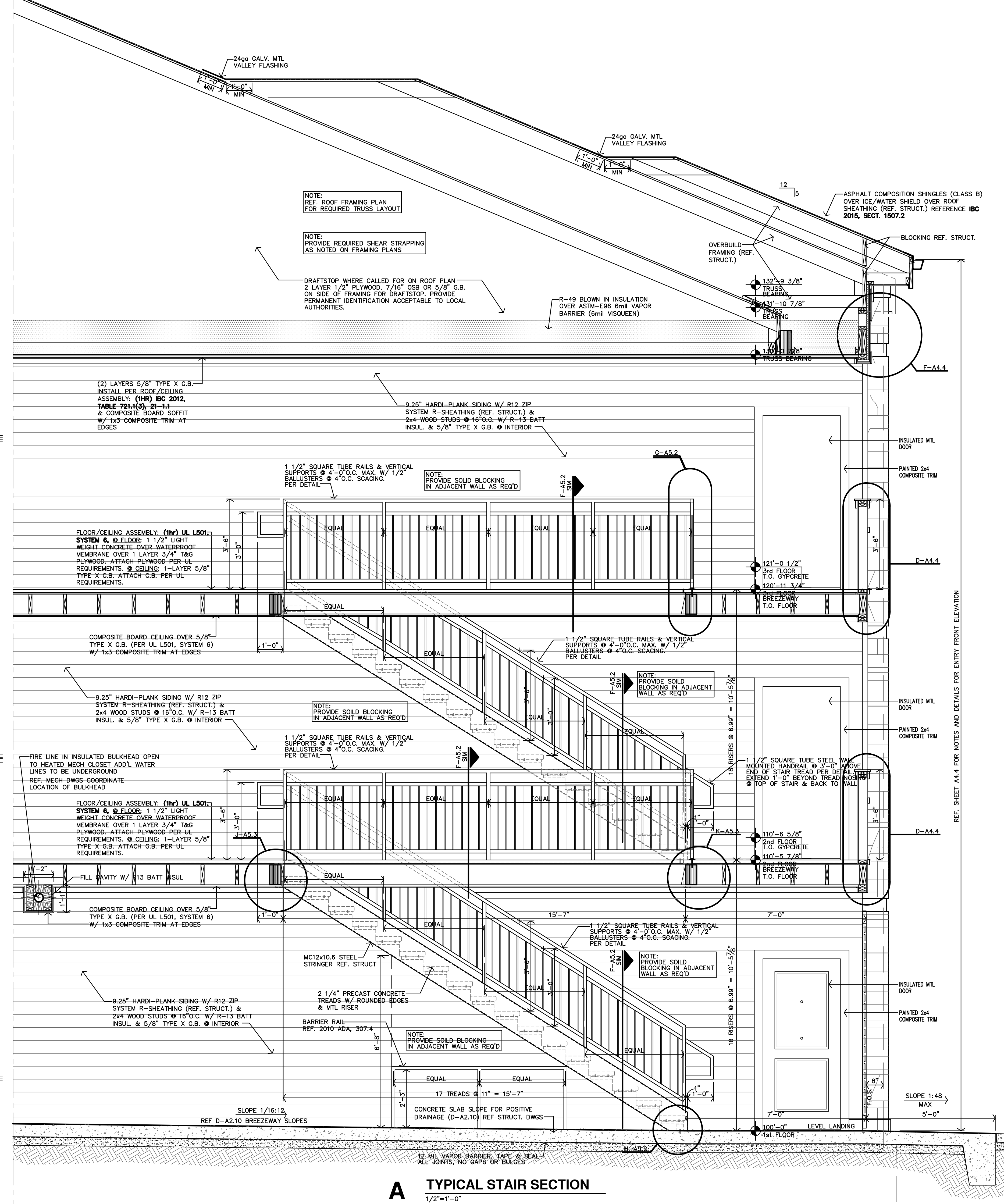
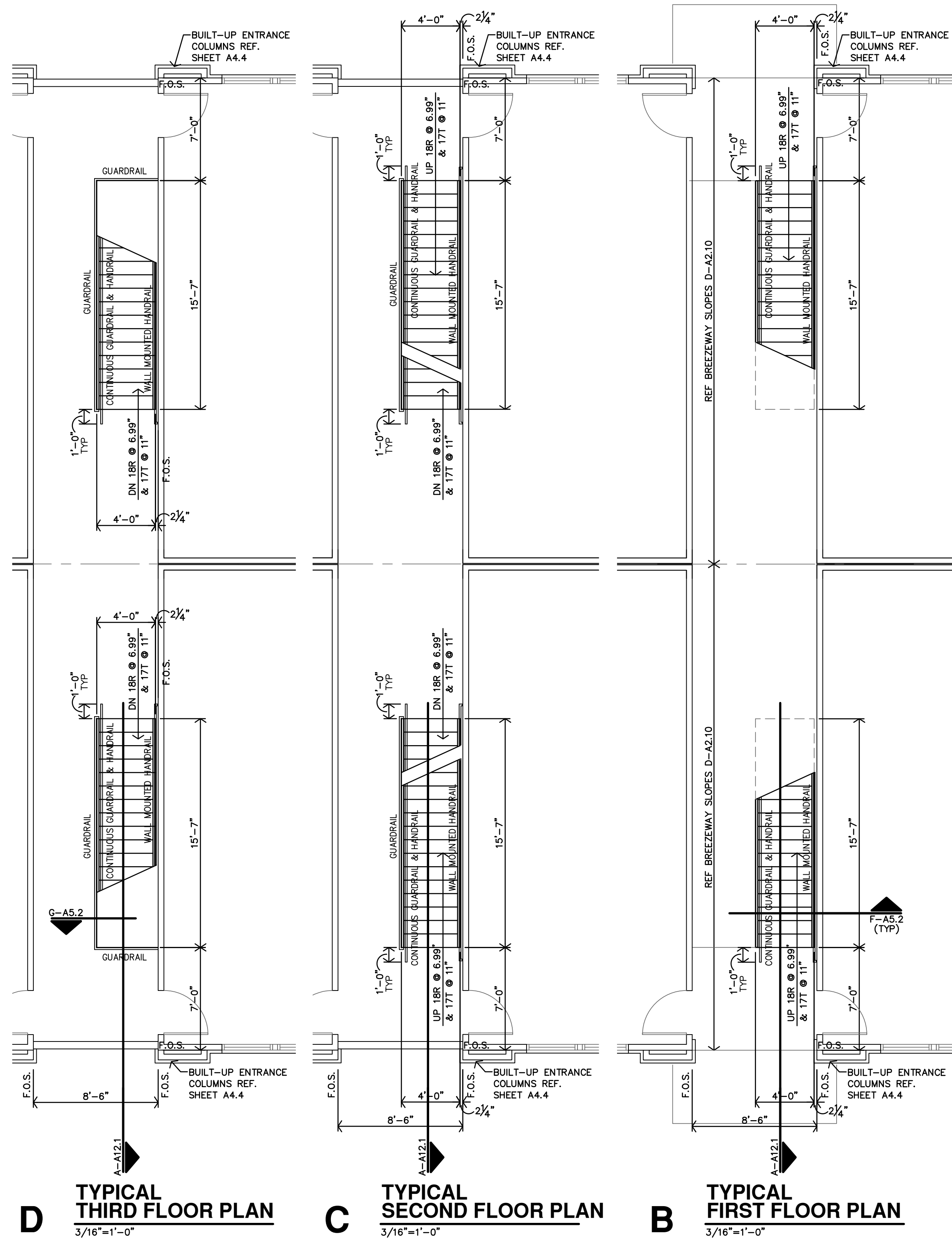


F DETAIL
1 1/2"=1'-0"

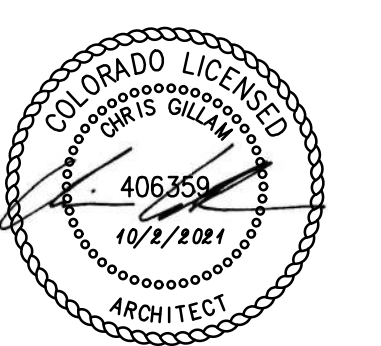
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: JGK
Date: Feb 05, 2024
2021 INTERNATIONAL CODES & 2023 NEC



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: **locke**
Date: **Feb 05, 2024**
2021 INTERNATIONAL CODES & 2023 NEC



THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD
AURORA,
COLORADO



REVISION:

DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

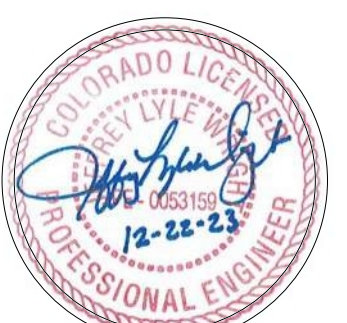


Table with 2 columns: Field (REVISION, DATE, JOB, SHEET NO.) and Value (1, 9-20-2023, 22-3219, S1.0)

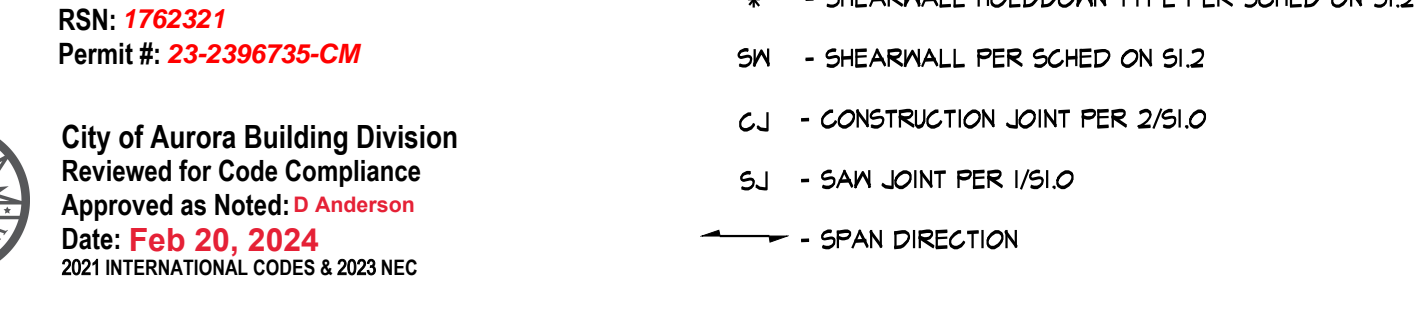
NAILING SCHEDULE (REFER TO NOTES #1 and #2) Table with 3 columns: CONNECTION, ATTACHMENTS (REF NOTE #3 and #4), and NAILING SCHEDULE.

NOTES: 1) ALL NAILS SHALL BE AS NOTED UNLESS OTHERWISE SPECIFIED ON STRUCTURAL DRAWINGS OR ALTERNATE PROVIDED BY ENGINEER IN WRITING. 2) CONDITIONS NOT SPECIFIED SHALL BE IN ACCORDANCE WITH CURRENT INTERNATIONAL BUILDING CODE. 3) NAILING DESIGNATION: 4-3" x 0.131" NAILS. 4) ALL NAILS NOTED AS 8d, 10d, 16d, ETC. SHALL BE COMMON NAILS UNLESS NOTED BOX. 5) REFER TO SHEARWALL SCHEDULE FOR ADPTL NAILING REQUIREMENTS



TYPICAL SYMBOL LEGEND: (A) - BEAM OR HEADER PER SCHED ON S1. (A-U) - UPSET BEAM OR HEADER PER SCHED ON S1. (F) - FOOTING TYPE PER SCHED ON S1. (S) - SHEARWALL HOLDDOWN TYPE PER SCHED ON S1.2. (SN) - SHEARWALL PER SCHED ON S1.2. (CJ) - CONSTRUCTION JOINT PER 2/51.0. (SJ) - SANM JOINT PER S1.0. (S) - SPAN DIRECTION.

RSN: 1762321 Permit #: 23-2396735-CM City of Aurora Building Division Reviewed for Code Compliance Approved as Noted: D Anderson Date: Feb 20, 2024 2021 INTERNATIONAL CODES & 2023 NEC



Provides EOR reviewed engineered truss drawings and details, in accordance with 2021 IBC 2303.4, to inspector at time of rough frame inspection.

SPECIAL INSPECTIONS REQUIREMENTS - 2021 IBC 1704 Prior to the start of construction, the owner or owner's authorized agent shall employ one or more approved agencies to provide special inspections and tests during construction as required by the structural engineer in their statement of special inspections. The special inspector's qualifications and written reports shall be reviewed by the engineer of record and made available to the building inspector on the jobsite. The building division will only issue a certificate of occupancy after all special inspection reports, and the final special inspection report, have been submitted and accepted.

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.

GENERAL NOTES - STRUCTURAL 1. The contractor shall verify dimensions and conditions before construction and notify the engineer of any discrepancies, inconsistencies, or difficulties affecting the work before proceeding. 2. The contractor shall coordinate all disciplines, verifying size and location of all openings, whether shown on structural drawings or not, as called for on architectural, mechanical, or electrical drawings. All conflicts, inconsistencies, or other difficulties affecting structural work shall be called to the architect or engineer's attention for direction before proceeding. 3. All design and construction work for this project shall conform to the requirements of the 2021 International Building Code, as amended by the City of Aurora, Colorado. 4. These drawings are for this specific project and no other use is authorized. 5. Structural Design Load Criteria: A. Dead Load: Roofs = 20 psf Live Loads: Roofs = 25 psf Floors = 40 psf Maintenance Platform = 40 psf C. Snow: Pg = 40 psf, Ce = 1.0 Ft = 20 psf, Ps = 25 psf, Pn = 20 psf Is = 1.0, Cs = 1.0, Cd = 1.0 D. Lateral Loads: 1) Wind V = 115 mph, exposure B, GcPt = +/- 1.0B Design wind pressures to be used for the design of exterior components and cladding materials on the designated zones of walls and roof structures shall be per Section 30.7.1 and Table 30.7-2 of ASCE/SEI 1-16. Tabulated pressures shall be multiplied by effective area reduction factors, exposure adjustment factors, and topographic factors where applicable. 2) Seismic = Sa = 0.188, Si = 0.054, IE = 1.0 Site Classification D Seismic Design Category B Basic Seismic Force-Resisting System: A1.7- Light-Framed Walls with Shear Panels of All Other Materials R=2, Omega = 2 1/2, Cd = 2, V = 0.100W 6. Concrete: A. All concrete for foundations (walls, grade beams, and footings) shall develop minimum ultimate compressive design strength of 3500 psi in 28 days, but not less than 500 pounds of cement shall be used per cubic yard of concrete regardless of strengths obtained, not over 6 gallons of water per 100 pounds of cement and not over 4 inches of slump. B. All concrete for interior flat work shall develop minimum ultimate compressive design strength of 4000 psi in 28 days, but not less than 500 pounds of cement shall be used per cubic yard of concrete regardless of strengths obtained, not over 5 gallons of water per 100 pounds of cement and not over 4 inches of slump. C. Concrete for exterior work shall have a minimum design compressive strength of 4500 psi in 28 days, with not less than 560 pounds of cement per cubic yard of concrete, not over 5 gallons of water per 100 pounds of cement, with 6% +/- 1% air entrainment, and a maximum of 4 inches of slump. D. The preceding minimum mix requirements may have water-reducing admixtures conforming to ASTM C494 added to the mix at manufacturer's dosage rates for improved workability. E. The preceding minimum mix requirements may have up to 15% maximum of the cement content replaced with an approved ASTM C618 Class C fly ash, provided the total minimum cementitious content is not reduced. F. All concrete is reinforced concrete unless specifically called out as unreinforced. Reinforce all concrete not otherwise shown with some steel as in similar sections or areas. Any details not shown shall be detailed per ACI 318 and meet requirements of ACI 318 current edition. 7. Reinforcing Steel: A. All reinforcing steel shall conform to the requirements of ASTM A63 or A706 grade 60 steel. Welded plain wire fabric shall be supplied in sheets and conform to the requirements of ASTM A185. B. Clear minimum coverage of concrete over reinforcing steel shall be as follows: Concrete placed against earth 3" Formed concrete against earth 2" Slabs 2" Other 2" All coverage shall be nominal bar diameter minimum. C. All dowels shall be the same size and spacing as adjoining main bars (splice top 4d bar diameters or 30" minimum unless noted otherwise). D. At corners of all walls, beams, and grade beams supply corner bars (minimum 2'-6" in each direction or 4d bar diameters) in outside face of wall, matching size and spacing of horizontal bars. Where there are no vertical bars in outside face of wall, supply 3 - #4 vertical support bars for corner bars. E. Bars marked continuous shall be lapped 4d bar diameters (3'-0" minimum) at splices and embedments, unless shown otherwise. Splice top bars near midspan and splice bottom bars over supports, unless noted otherwise. F. Accessories shall be as specified in latest edition of the ACI Detailing Handbook and the concrete Reinforcing Steel Institute Design Handbook. Maximum accessory spacing shall be 4'-0" on center, and all accessories on exposed surfaces are to have plastic coated feet. G. All slabs and stairs not shown otherwise shall be 6" thick with #4 bars at 12" on center each way. 8. Structural Steel: A. All structural steel beams and columns shall be ASTM A992, grade 50 steel and all miscellaneous steel shall be ASTM A36 grade steel. Hollow Structural Sections (HSS) shall be ASTM A500 grade B. Fabrication and erection shall be in accordance with AISC 305-05 'Code of Standard Practice for Steel Buildings and Bridges' in the 13th Edition of the AISC Steel Construction Manual. B. All welding shall conform to the recommendations of the AWS. C. All bolts not otherwise specified shall be 3/4" diameter high strength (ASTM A325-N). All bolts shall be fully pretensioned. All beam connections shall be designed per the AISC Manual of Steel Construction 'Frame Beam Connections' for 40 kip reactions, and shall account for eccentricity when the bolt line is more than 2" from the center of the support. All connections must be two bolt minimum. D. All anchor bolts shall be 3/4" diameter, ASTM F1554, Grade 36 unless noted otherwise. 9. Foundations: A. The soil investigation was prepared by Cole Garner Geotechnical, the report number is 25.22.006 and their telephone number is 303-946-2444. B. Spread footings and continuous wall footings are designed to bear on soil capable of safely sustaining 2500 psf. Contractor shall provide for denaturing at excavations from either surface water or seepage. C. All foundation excavations shall be inspected by a qualified soil engineer, approved by the architect and/or structural engineer, prior to placement of steel or concrete. This inspection shall be at the owner's expense. E. Moisture content in soils beneath building locations should not be allowed to change after footing excavations and after grading for slabs on grade are completed. If subgrade materials become desiccated or softened by water or other conditions, recompact materials to the density and water content specified for engineered fill. Do not place concrete on frozen ground. 10. Concrete Block Masonry: A. Concrete block used in exterior walls or load bearing walls shall meet the requirements of ASTM C90 and have a minimum net compressive strength of 2100 psi and laid up using type N mortar such that it equals 1800 psi. Mortar shall be proportion based cement lime mortar. Proportioning shall be completed by box measure. Any block in contact with earth shall be nominal weight units, laid using type 'S' mortar and grouted solid. B. The contractor shall provide adequate temporary bracing for all masonry walls during construction. C. All concrete block shall have #9 (or larger) horizontal joint reinforcing (ladder or truss) per architect drawings and specifications (6" maximum vertical spacing). D. Concrete block shall be reinforced as follows in 8" walls unless noted otherwise: 1) Vertical reinforcing shall be a minimum of 1 - #4 bar in 8" walls at 4'-0" on center at each corner, at each door and window jamb, each side of control joints and in the end void of each length of wall. Lap splices for masonry vertical reinforcing shall be 4d bar diameters or 24" minimum. 2) Horizontal reinforcing: A) Horizontal joint reinforcing as noted above. B) Continuous horizontal bars shall be included per section or detail in bond beam or optional running bond beam where noted. Where bond beams are continuous at corners of walls, supply corner bars matching size of horizontal bars (minimum 2'-0" or 40 bar diameters in each direction). E. Grout, where noted above, shall have a minimum design ultimate compressive strength of 3500 psi at 28 day test and 3/8" maximum aggregate size. F. Lintels over all openings in walls not otherwise covered shall be an 8" x 8" bond beam with 2 - #6 bars in the bottom of the bond beam. 11. Post-Installed Anchors: A. Post-installed anchors shall be used only where specified on the drawings unless approved in writing by the engineer of record. See drawings for anchor diameter, spacing and embedment. Performance values of the anchors shall be obtained for specified products using appropriate strength and/or standards as required by the governing building code. Anchors installed in concrete shall have an ICC-ES Evaluation Service Report. Special inspection is required for all post-installed anchors. B. Mechanical anchors used in cracked and uncracked concrete shall have been tested and qualified for use in accordance with ACI 308.2 and ICC-ES AC308. All anchors shall be installed per the anchor manufacturer's written instructions. C. Adhesive anchors used in cracked and uncracked concrete shall have been tested and qualified for use in accordance with ICC-ES AC308. All anchors shall be installed per the anchor manufacturer's written instructions. 12. Timber and Wood Framing: A. Quality and construction of wood framing members and their fasteners for load supporting purposes not otherwise indicated on the drawings shall be in accordance with the 2021 International Building Code. B. All studs and top and bottom plates shall be Douglas Fir No. 2 grade visually graded lumber, with an allowable fiber stress in bending of 4000 psi minimum and an elastic modulus of 1,600,000 psi unless noted otherwise. All joist, truss members and headers to be No. 2 grade (min.) unless noted otherwise. C. Bridging of stud bearing walls and shear walls shall be solid matching sheathing joints. D. Joist blocking and bridging shall be solid wood or cross bridging of either wood or metal strips. Spacing in any case, shall not exceed 8'-0". E. Wood members and sheathing shall be fastened with number and size of fasteners not less than that set forth in Table 2304.1 of the 2021 International Building Code. Floor sheathing shall be APA rated tongue and groove Sural-Floor, exposure 1, girded and nailed with 10d nails or #10 screws at 6" on center to supports at edges and 12" on center field. Sheathing of shear walls or roof diaphragms shall be edge nailed with 8d common nails at 6" on center and nailed to intermediate framing and/or blocking members with 8d common nails at 12" on center unless otherwise noted on the drawings. F. Sill plates shall be bolted to concrete slabs with 1/2" diameter bolts at 32" on center (N2, see shear wall sched). Provide plate washers at sill plate anchors for shearnails per shearnail sched. Plates in direct contact with concrete or masonry shall be treated lumber. G. All hangers, ties and connections shown are based on Simpson Strong Tie as the basis of design, provide Simpson Strong Tie or an approved equal. Joist hangers shall be equal to 'LUS' for wood application and 'LB' for steel weld-on application. Roof truss ties shall be equal to 'H25A' and tie the roof truss to the top plate (provide 2) 'H25A' Diagonally across from each other when uplift load shown in truss shop submittal exceeds 600lbs). Roof girder ties shall be equal to a 'L6T2', 'L6T3' or 'L6T4' tie (depends on number of piles) and tie the truss girder to the top plate. Provide 'H4' at the top of each stud to top track when the top track has roof truss attached. H. Service condition - dry with moisture content at or below 19% in service. I. Laminated strand lumber (LSL) shall have an allowable flexural stress (Fb) of 1,700 psi (reduced by size factor) and an elastic modulus (E) of 1,300,000 psi. J. Laminated veneer lumber (LVL) shall have an allowable flexural stress (Fb) of 2,600 psi (reduced by size factor) and an elastic modulus (E) of 1,900,000 psi. K. Parallel Strand Lumber (PSL) shall have an allowable flexural stress (Fb) of 2,400 psi (reduced by size factor) and an elastic modulus (E) of 2,000,000 psi. (E) = 2,200,000 psi for members > 18". L. Pre-engineered wood trusses shall be designed in accordance with the Truss Plate Institute's national design standard for metal-plate connected wood truss construction (ANSI/TPI-1 latest edition). Trusses shall be designed and manufactured by an authorized member of the Wood Truss Council of America (NTCA). Truss design shall conform to specified codes, allowable stress increases, deflection limitations and other applicable criteria of the governing code. M. Truss shop drawings showing complete erection and fabrication details and calculations (including connections) shall be submitted to the project architect / engineer for review prior to fabrication and/or erection. Calculations shall bear the seal of a professional engineer, registered in the state of the project location. Shop drawings shall also be submitted to the local government controlling agency when requested by that agency. N. All trusses shall be securely braced both during erection and permanently as indicated on the approved truss design drawings and in accordance with TPI's commentary and recommendations for handling, installing and bracing metal-plate connected wood trusses (HIB-4, booklet) and the latest edition of ANSI/TPI-1. O. The truss manufacturer shall supply all hardware and fasteners for joining truss members together and fastening truss members to their supports. Metal connector plates shall be manufactured by a member of the Wood Truss Council of America (NTCA) and shall be 20 gauge minimum. Connector plates shall meet or exceed ASTM A653, grade 33, with ASTM A624 galvanized coating designation G60. P. Provide truss space nailings above and centered over HVAC closets. Refer to Architectural and MEP drawings for exact locations. Q. Shipment, handling, and erection of trusses shall be by experienced, qualified persons and shall be performed in a manner so as not to endanger life or property. Apparent truss damage shall be reported to the truss manufacturer for evaluation prior to erection. Cutting or alteration of trusses is not permitted. R. Pre-Engineered Floor Trusses Design Criteria: Top Chord Dead Load = 30 psf Top Chord Live Load = Per General Note 5B Bottom Chord Dead Load = 10 psf Live Load Deflection = L/480; (1/2" max) Total Load Deflection = L/360 S. Roof Truss Design Criteria: Top Chord Dead Load = 10 psf Top Chord Live Load = 25 psf (Plus Rooftop Equipment) Bottom Chord Snow Load = 20 psf plus Drift Bottom Chord Dead Load = 10 psf Bottom Chord Live Load = 5 psf Live Load Deflection = L/360 Total Load Deflection = L/300 T. Roof trusses shall be designed per 19. 2021 for net uplift resulting from wind loading as calculated using components and cladding loading. U. Construction bracing shall be provided by the contractor as required to keep the building and studs plumb. V. Structural members shall not be cut for pipes, etc., unless specifically detailed. Notching and boring of studs and top of plates shall conform to the provisions of section 2308.4.10 and 2308.4.11 of the IBC. Where top plates or sole plates are cut for pipes, a metal tension tie with minimum 0.059 inches thick and 1/2" inches wide shall be fastened to each plate across and to each side of the opening with not less than (6) 16d nails, in accordance section 2308.4.8 of the IBC. W. All fasteners for wood to wood connections and wood connectors shall be as indicated in structural drawings or manufacturer literature to achieve full capacity of connector. Alternate fasteners may be submitted as a substitution request. Submittal must show that alternative fasteners will not reduce the capacity of the connection. 13. Shop Drawing Review: A. Bob D. Campbell and Company, Inc. will review the General Contractor's (GC) shop drawings and related submittals (as indicated below) with respect to the ability of the detailed work, when complete, to be a properly functioning integral element of the overall structural system designed by Bob D. Campbell and Company, Inc. B. Prior to submittal of a shop drawing or any related material to Bob D. Campbell and Company, Inc., the GC shall: 1) Review each submittal for conformance with the means, methods, techniques, sequences and operations of construction and safety precautions and programs incident thereto, all of which are the sole responsibility of the GC. 2) Review and approve each submittal as approved. C. Bob D. Campbell and Company, Inc. shall assume that no submission comprises a variation unless the GC advises Bob D. Campbell and Company, Inc. with written documentation. D. Shop drawings and related material (if any) required are indicated below. Should Bob D. Campbell and Company, Inc. require more than ten (10) working days to perform the review, Bob D. Campbell and Company, Inc. shall so notify the GC. 1) Concrete mix design and material certificates including admixtures and compounds applied to the concrete after placement. 2) Reinforcing steel shop drawings including erection drawings, wall elevations (include all mesh openings) and bending details. Bar list will not be reviewed for correct quantities. 3) Structural steel shop drawings including erection drawings and piece details. Include connection submittals and miscellaneous framing. 4) Miscellaneous anchors shown on the structural drawings. 5) Wood truss design calculations and detailed erection and fabrication drawings. Standard stick framing shop drawings need not be submitted. a) NOTE: Pre-engineered wood trusses to be deferred submittal. 6) Construction and control joint plans and/or elevations. E. Bob D. Campbell and Company, Inc. shall review shop drawings and related materials with comments provided that each submission has met the above requirements. Bob D. Campbell and Company, Inc. shall return without comment unrequired material or submittals without GC approval stamp. 14. Structural Special Inspection: A. The structural design for this project is based on completion of special inspections during construction in accordance with chapter 17 of the 2021 International Building Code. The owner shall employ one or more qualified special inspectors to provide the required special inspections. Special inspections shall be required for the items indicated below. The General Contractor shall provide notification to the inspector when items requiring inspection are ready to be inspected and provide access for those inspections. 1) Placement of Concrete 2) Testing of Concrete 3) Bolts in Concrete 4) Placement of Reinforcing Steel 5) Verification of Soil Bearing Capacities 6) High Strength Bolting 7) Drill & Epoxy Blots 8) Structural Welding 9) Shear wall installation 10) Post-installed Anchors 11) Wood shear walls and holdowns 12) Wood gravity framing and placement C. The special inspector shall furnish inspection reports to the building official, owner, architect and structural engineer, and any other designated person. D. All discrepancies shall be brought to the immediate attention of the contractor for correction then, if uncorrected, to the proper design authority, building official and structural engineer. E. The special inspector shall submit a final signed report stating that the work requiring special inspection was, to the best of the inspector's knowledge, in conformance with the approved plans and specifications and the applicable workmanship provisions of the building code. 15. Copyright and Disclaimer: A. All drawings in the structural set (5-series drawings) are the copyrighted work of Bob D. Campbell and company, Inc. These drawings may not be photocopied, traced, or copies in any manner without the written permission of Bob D. Campbell and Company, Inc. Exception: Original drawings may be printed for distribution to the owner, architect, and general contractor for coordination, bidding, and construction. Subcontractors may not reproduce these drawings for any purpose or in any manner. B. Jeff L. Wright, P.E., registered engineer and a representative of Bob D. Campbell and Company, Inc., do hereby accept professional responsibility as required by the professional registration laws of the state of the structural design drawings consisting of 5-series drawings. I hereby disclaim responsibility for all other drawings in the construction document package, they being the responsibility of other design professionals whose seals and signatures are present elsewhere in the construction document package.

BOB D. CAMPBELL & CO.
Structural Engineers Since 1957
4338 Bellevue Ave. 816.531.4144
Kansas City, MO 64111 www.bdc-engrs.com

JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Solingo, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgarchitects.com

THE RESERVES at EAGLE POINT
365 NORTH PICADILLY RD
AURORA, COLORADO



HEADER SCHEDULE			
MARK	HEADER	JAMB STUDS	NOTES
A	(2) 2x10 w/ 1/2" PLYWOOD SPACER P	2 JACK / 1 KING	
B	(2) 2x12 TREATED	2 JACK / 2 KING	
C	(2) 2x10 w/ 1/2" PLYWOOD SPACER P	1 JACK / 2 KING	
D	(2) 2x12 w/ 1/2" PLYWOOD SPACER P	1 JACK / 3 KING	
E	(2) 2x10	1 JACK / 2 KING	
F	(3) 1 3/4"x9/4" LVLs	8 JACK	RE: DETAIL 13/53.2
H	(2) 1 3/4"x9/4" LVLs	3 JACK / 3 KING	EXTEND JAMB STUDS TO FOUNDATION
J	(2) 2x12 w/ 1/2" PLYWOOD SPACER P	2 JACK / 2 KING	
K	(2) 1 3/4"x11/4" LVLs	3 JACK / 2 KING	
L	(2) 1 3/4"x11/4" LVLs (UPSET)	3 JACK / 1 KING	
M	(3) 1 3/4"x11/4" LVLs (UPSET)	6 JACK	EXTEND JAMB STUDS TO FOUNDATION

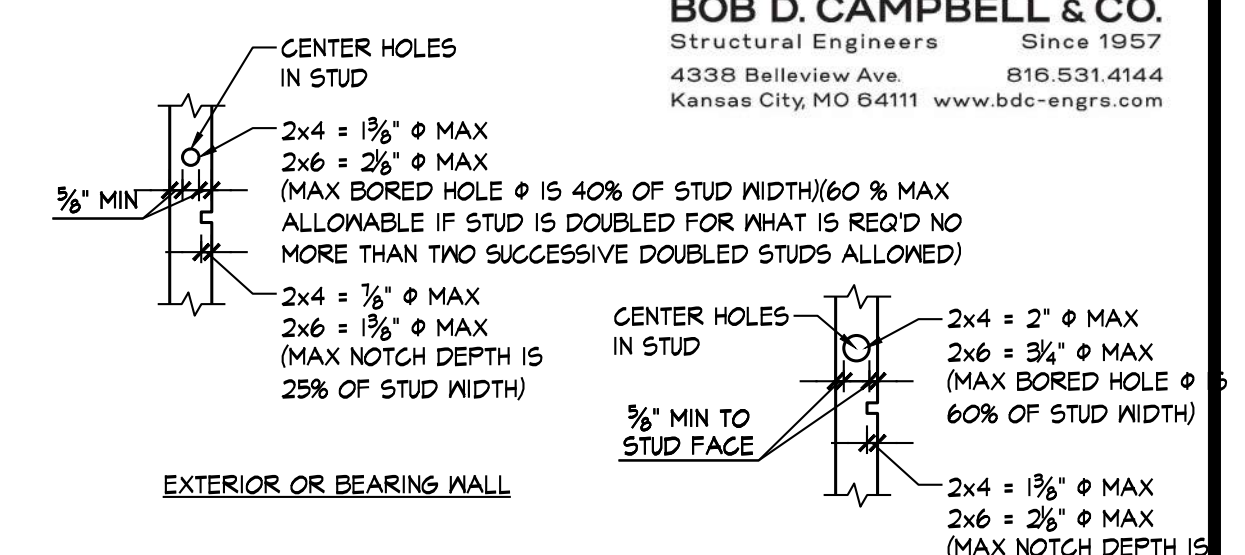
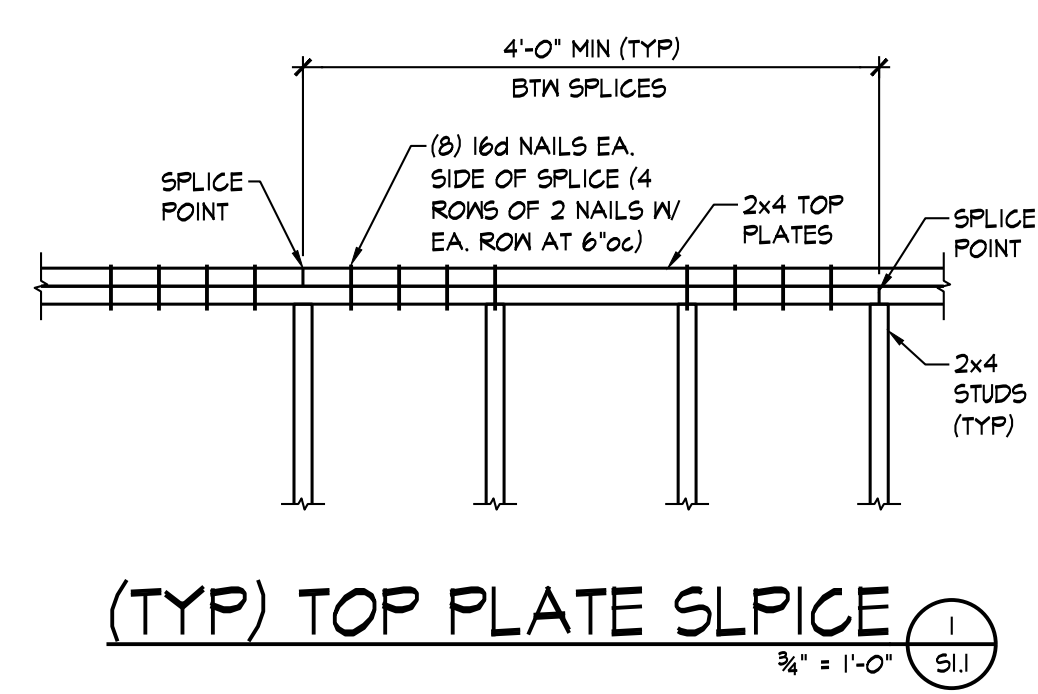
NOTES:
1. JAMB STUDS SHALL MATCH SIZE & GRADE OF WALL STUDS UNO.
2. WHERE BEAM IS NOTED "UPSET", ALL JAMB STUDS NOTED WILL EXTEND TO DOUBLE TOP PLATE.
3. ALL EXTERIOR WALLS TO BE TREATED.
4. PROVIDE SQUASH BLOCKS AT TRUSSES & BLOCKING FRAMING WHERE JAMBS OR STUD PACKS ARE DISCONT. QUANTITY TO MATCH JAMB OR STUD PACK ABOVE.
5. PROVIDE 1/2" PLYWOOD SPACER PLS AT HEADERS CONSTRUCTED WITH 2x LUMBER.
6. AT CONTRACTOR'S OPTION PROVIDE GLULAM IN LIEU OF PSLs.
7. REFER TO DTL 4/51.1 FOR MULTI-PLY MEMBER CONNECTION REQUIREMENTS
8. ATTACH JAMB AND KING STUDS TOGETHER PER CONNECTION TYPE 24 IN NAILING SCHEDULE ON SHEET S1.0.
9. REFER TO DETAILS 9/50.04 FOR TYPICAL HEADER CONDITIONS.

STUD BEARING WALL & SHEATHING SCHEDULE	
LOCATION	STUD SIZE AND SPACING
(TYP) EXT WALL	2x4 @ 16"oc DBL ALT STUDS (FIRST TO SECOND FLOOR) 2x4 @ 16"oc (SECOND FLOOR & ABOVE)
INT WALL (EXCEPT AT NON TRUSS BRG CORRIDORS)	2x4 @ 16"oc DBL ALT STUDS (FIRST TO SECOND FLOOR) 2x4 @ 16"oc (SECOND FLOOR & ABOVE)
INT WALL (AT NON TRUSS BRG WALLS)	2x4 @ 16"oc

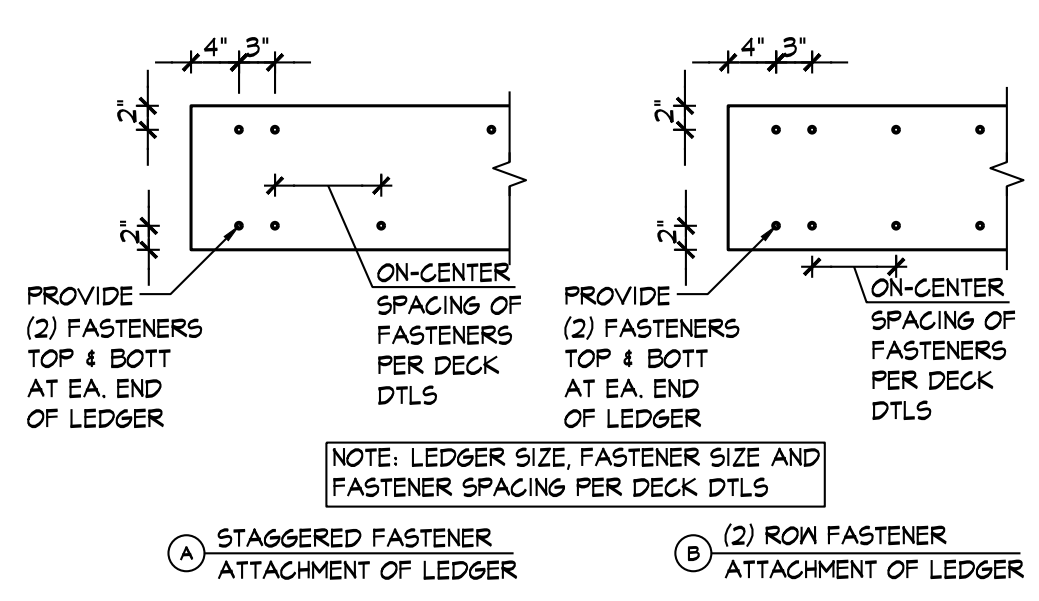
NOTES:
1. PROVIDE 2x BLOCKING @ MID HEIGHT (5'-0" MAX) @ ALL LOAD BEARING WALLS NOT SHEATHED ON BOTH SIDES AND ALL 2x8 WALLS.
2. ALL STUDS TO BE NO. 2 GRADE UNO.
3. RE: 6/51.1 FOR NAILING OF MULTIPLE STUDS.
4. REFER TO ARCHITECT DRAWINGS FOR LOCATIONS OF FURRED OUT WALLS TO ACCOMMODATE PLUMBING OR MEP ITEMS.

STRUCTURAL DECK & SLAB SCHEDULE	
MARK	DESCRIPTION
FD-1	3/4" PLYWOOD SHEATHING ATTACH w/ 8d NAILS @ 6"oc AT EDGES AND 12"oc AT FIELD.
FD-2	TREATED 2x6 DECKING
FD-3	3/4" MARINE-GRADE PLYWOOD SHEATHING
RD-1	5/8" ZIP STRIP ROOF SHEATHING ATTACH w/ 8d NAILS @ 6"oc AT EDGES AND 12"oc AT FIELD.
SOG-1	4" CONCRETE SLAB ATOP 15 MIL VAPOR BARRIER ATOP 4" GRAVEL ATOP 24" MOISTURE-CONDITIONED SUBGRADE PREPARED IN AGREEMENT WITH PROJECT SOILS REPORT, REINF. w/ 6x6-6/6 WWF. EL. T/C = 100'-0".
SOG-2	6" CONCRETE SLAB ATOP 4" GRAVEL ATOP 22" MOISTURE-CONDITIONED SUBGRADE PREPARED IN AGREEMENT WITH PROJECT SOILS REPORT, REINF. w/ #4 @ 12"oc, EACH WAY.

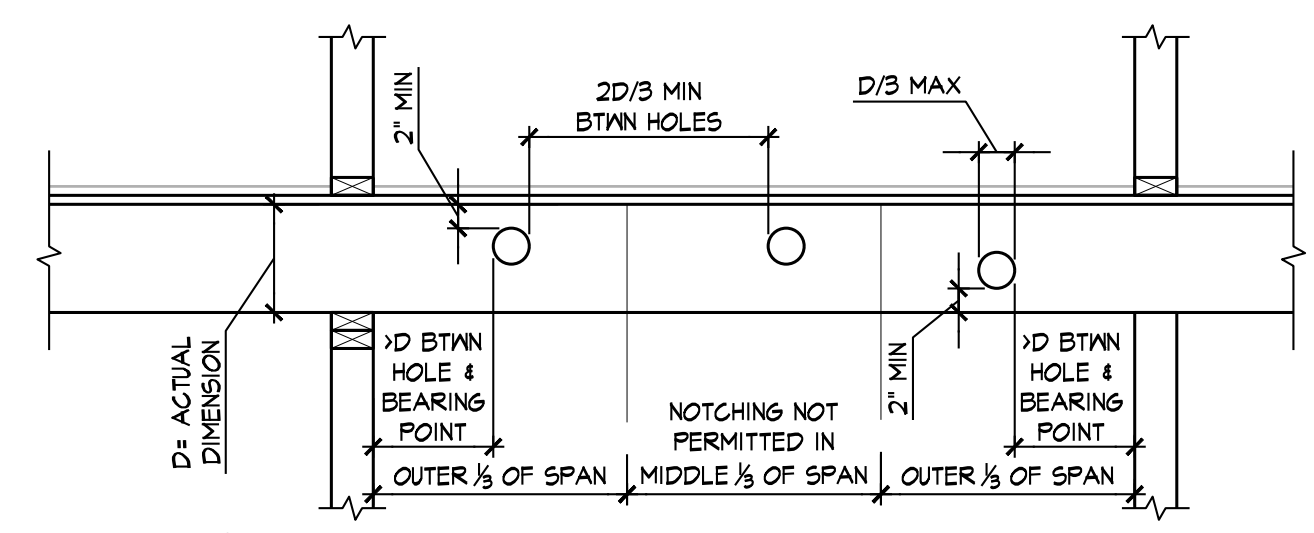
NOTES:
1. FD = FLOOR DECK TYPE
2. RD = ROOF DECK TYPE
3. SOG = SLAB ON GRADE TYPE



TYPICAL NOTES FOR BEARING WALLS
1. HOLES SHALL NOT BE LOCATED IN THE SAME STUD AS A CUT OR NOTCH.
2. CONTACT ENGINEER PRIOR TO CUTTING OR NOTCHING TO VERIFY SIZE AND LOCATION IF HOLES GREATER THAN 20% STUD WIDTH OR NOTCHES GREATER THAN 10% STUD WIDTH ARE REQUIRED IN TWO OR MORE CONSECUTIVE STUDS.
3. NOTCHES OR HOLES NOT PERMITTED IN JAMBS, STUD PACKS AND AT ENDS OF SHEARWALLS.



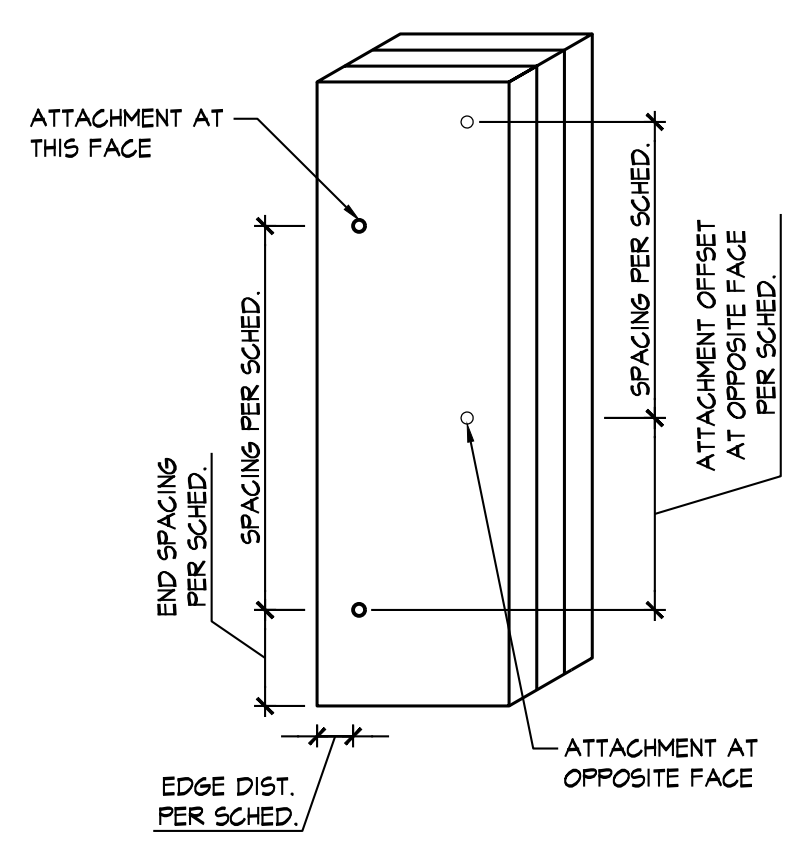
TYPICAL LEDGER CONNECTION
3/4" = 1'-0" S1.1



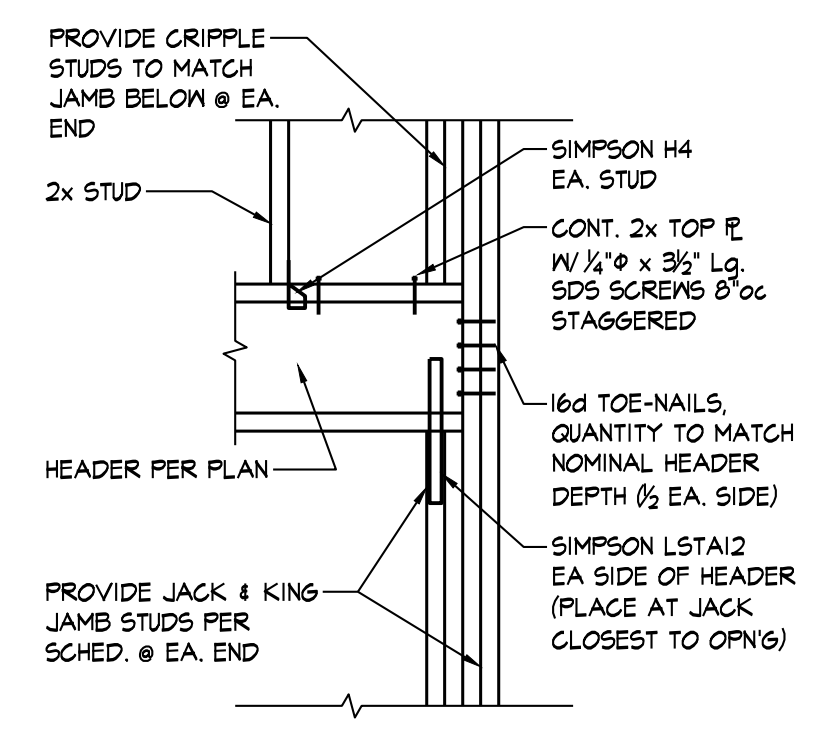
TYPICAL MULTI-PLY BEAM CONNECTION
3/4" = 1'-0" S1.1

BUILT-UP STUD PACK COLUMN ATTACHMENT SCHEDULE		
NUMBER OF PLIES	ATTACHMENT AT COLUMN STUD PACKS SUPPORTING BEAMS	ATTACHMENT AT WALL STUD PACKS SUPPORTING TRUSSES
2-PLY MEMBERS	8d NAILS AT 12"oc, 1" FROM EDGE, W/ OPPOSITE EDGE NAILED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST NAIL 2" FROM EA. END	8d NAILS AT 12"oc, 1" FROM EDGE, W/ OPPOSITE EDGE NAILED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST NAIL 2" FROM EA. END
3-PLY MEMBERS	20d NAILS AT 16"oc, 1 1/2" FROM EDGE W/ OPPOSITE EDGE NAILED FROM OPPOSITE SIDE OFFSET 6", @ 16"oc W/ FIRST NAIL 3" FROM EA. END	8d NAILS AT 12"oc, 1" FROM EDGE, W/ OPPOSITE EDGE NAILED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST NAIL 2" FROM EA. END
4-PLY MEMBERS	1/4"x5" SIMPSON SDS SCREWS AT 16"oc, 1 1/2" FROM EDGE W/ OPPOSITE EDGE SCREWED FROM OPPOSITE SIDE OFFSET 6", @ 16"oc W/ FIRST SCREW 4" FROM EA. END	3 PLIES ATTACHED PER 3-PLY ATTACHMENT WITH 4TH PLY ATTACHED WITH 8d NAILS AT 12"oc IN 2 ROWS, 1 1/2" FROM EDGE, OFFSET ROWS 6"
5-PLY MEMBERS	1/4"x6" SIMPSON SDS SCREWS AT 12"oc, 1 1/2" FROM EDGE W/ OPPOSITE EDGE SCREWED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST SCREW 4" FROM EA. END	3 PLIES ATTACHED PER 3-PLY ATTACHMENT WITH 4TH & 5TH PLY ATTACHED AT OPPOSITE SIDES WITH 8d NAILS AT 12"oc IN 2 ROWS, 1 1/2" FROM EDGE, OFFSET ROWS 6"
6-PLY MEMBERS	1/4"x8" SIMPSON SDS SCREWS AT 12"oc, 1 1/2" FROM EDGE W/ OPPOSITE EDGE SCREWED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST SCREW 4" FROM EA. END	3-PLIES ATTACHED PER 3-PLY ATTACHMENT WITH 4TH PLY ATTACHED WITH 8d NAILS AT 12"oc IN 2 ROWS, 1 1/2" FROM EDGE, OFFSET ROWS 6" AND 5TH AND 6TH PLIES ATTACHED WITH 1/4"x5" SIMPSON SDS SCREWS AT 12"oc IN 2 ROWS, 1 1/2" FROM EDGE, OFFSET ROWS 6"oc W/ FIRST SCREW 4" FROM EA. END

NOTES:
1. ALL BUILT-UP STUD PACKS MUST ALIGN FLOOR-TO-FLOOR WITH SOLID BLOCKING (SQUASH BLOCKS) AT FLOOR CAVITIES.
2. EXTEND ALL STUD PACKS TO COLUMNS UNLESS NOTED OTHERWISE.
3. ALL NAILS ARE COMMON NAILS UNLESS NOTED OTHERWISE.



TYPICAL MULTI-PLY STUD CONNECTION
1/2" = 1'-0" S1.1



SECTION 7
3/4" = 1'-0" S1.1

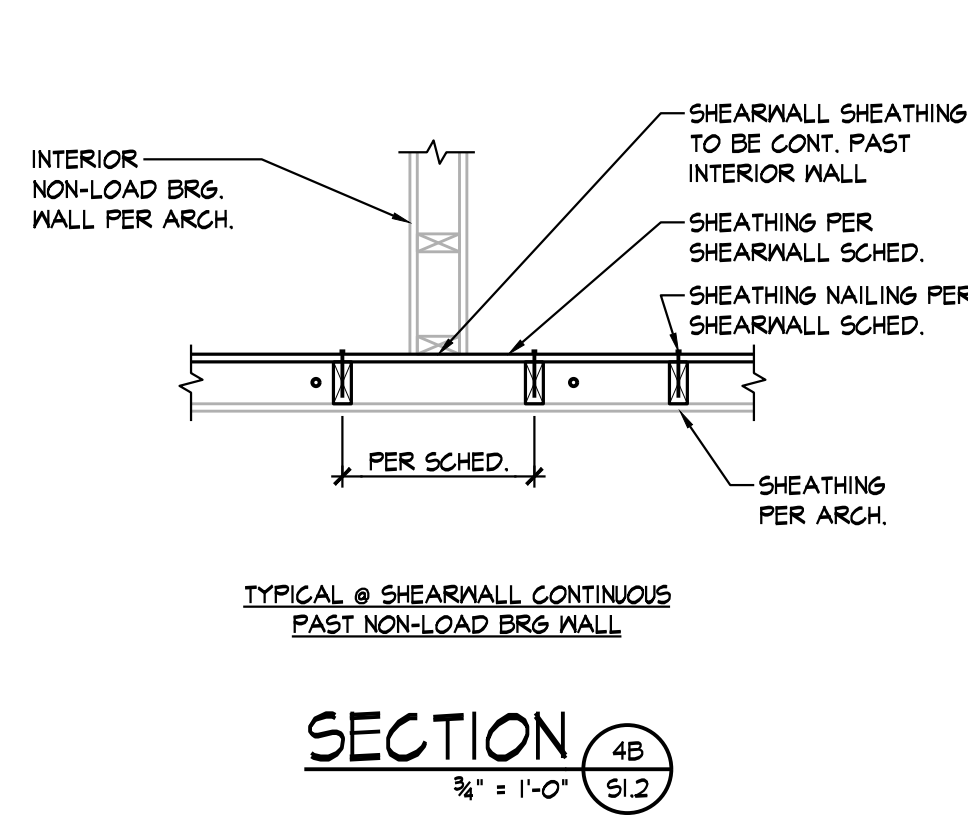
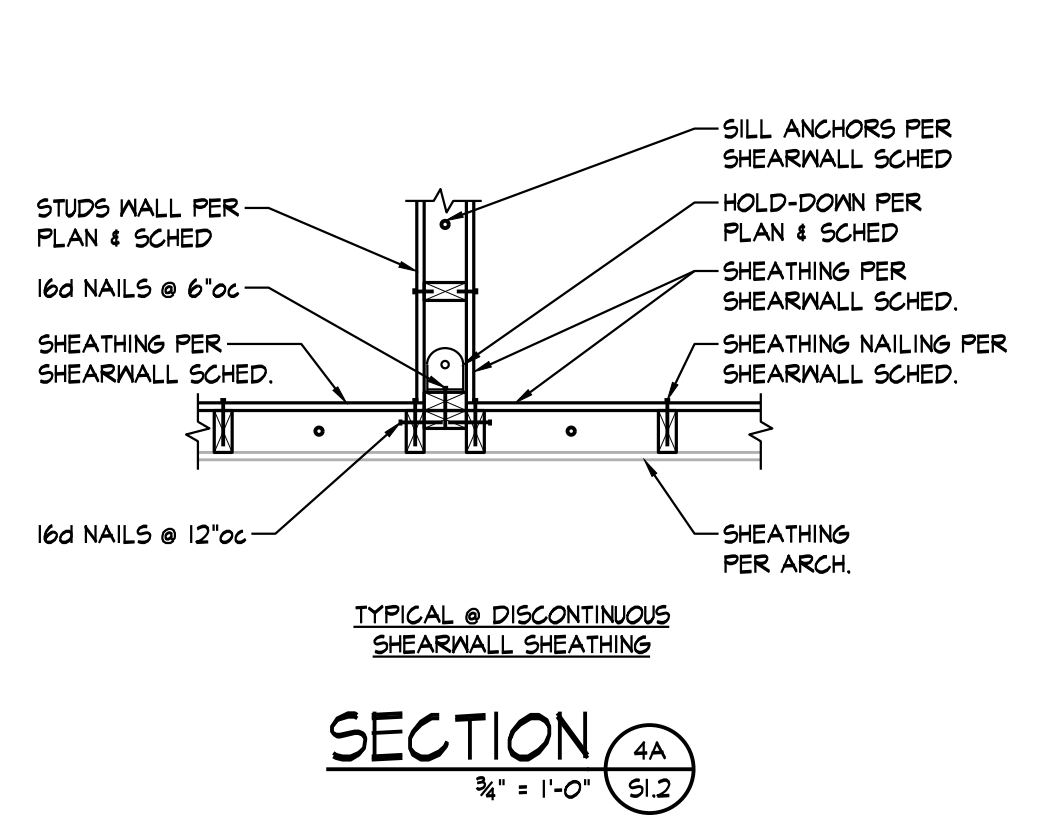
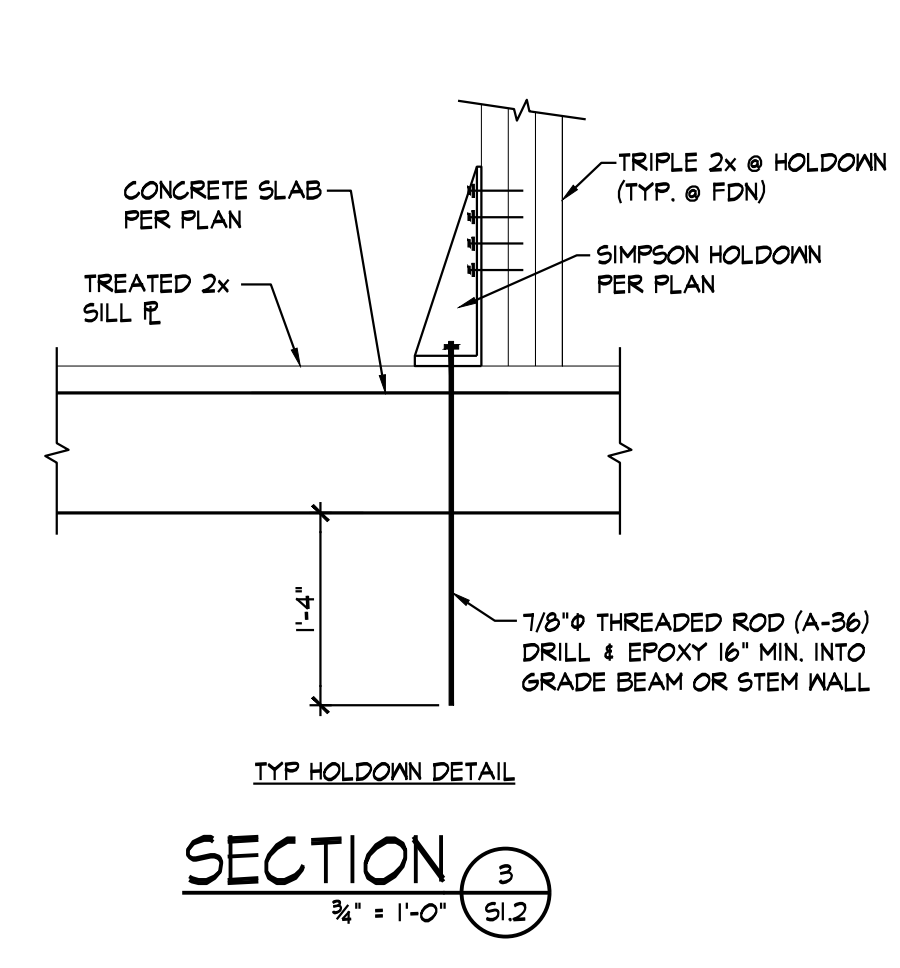
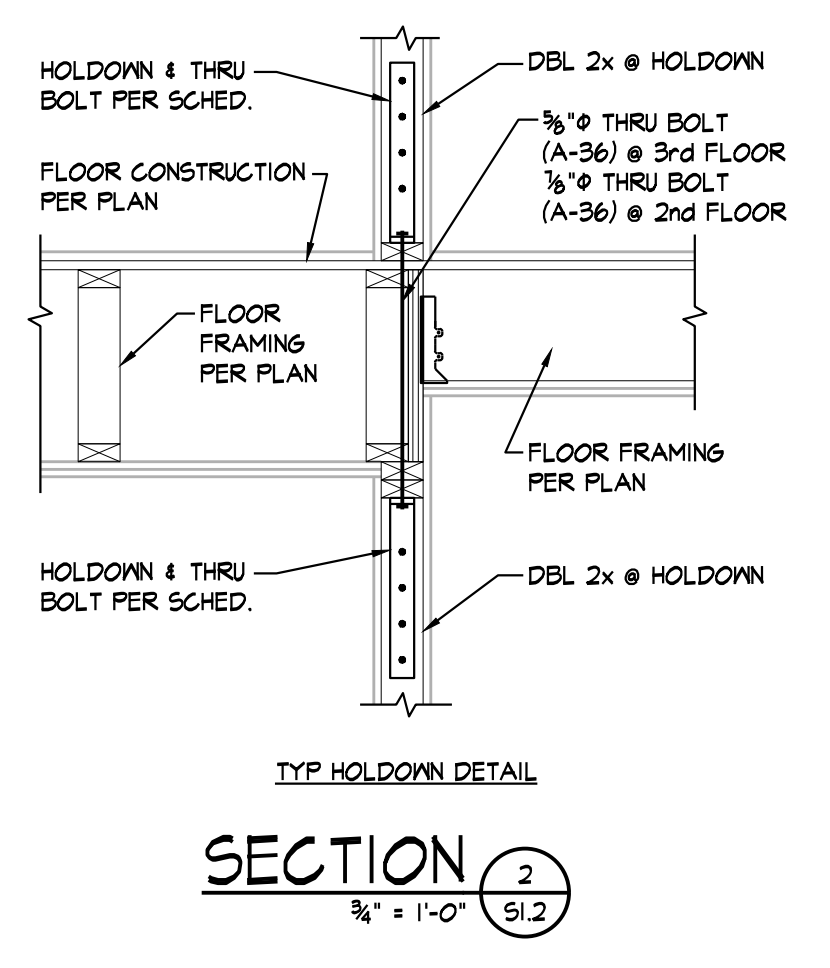
RSN: 1762321
Permit #: 23-2396735-CM

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: D Anderson
Date: Feb 20, 2024
2021 INTERNATIONAL CODES & 2023 NEC

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.

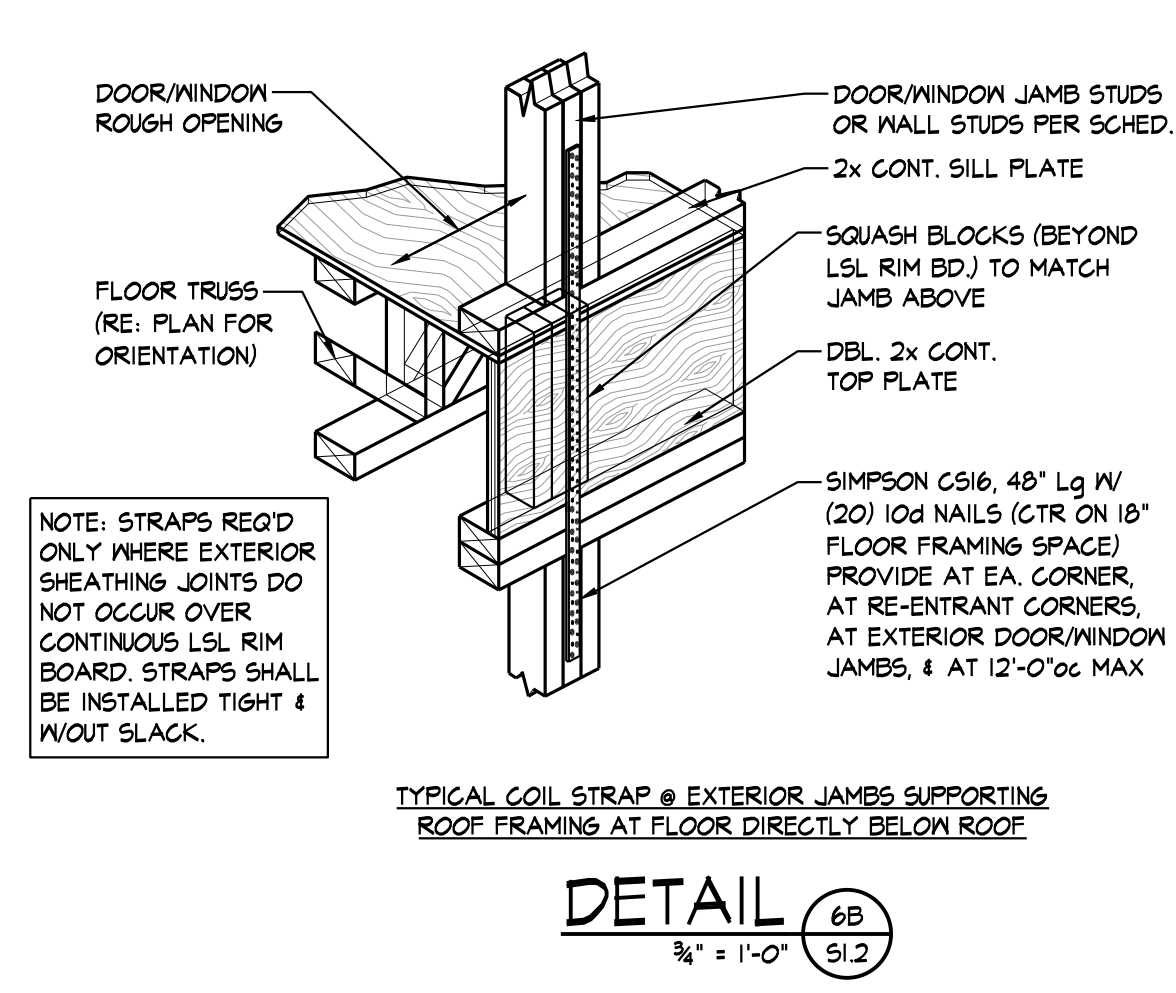
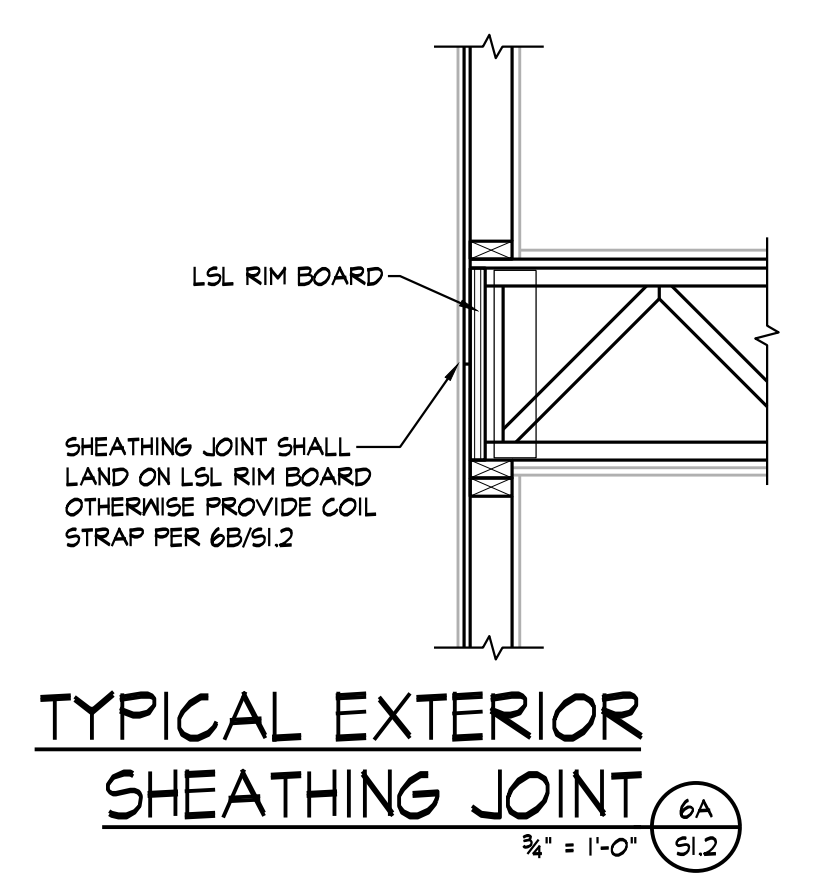
REVISION:	
DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	

S1.1



MARK	FLOOR LEVEL (W/ APPLICABLE HOLDOWN TYPE PER FLOOR)		
	1st FLOOR	2nd FLOOR	3rd FLOOR
*	HDUB-SDS2.5	HDUB-SDS2.5	HDUS-SDS2.5

- NOTES:
- HOLDOWN TYPES ARE BASED UPON MANUFACTURER SIMPSON STRONG-TIE.
 - REFER TO SECTION DETAILS ON S1.2 FOR TYPICAL HOLDOWN DETAILS.
 - WHERE THE ENDS OF PERPENDICULAR SHEAR WALLS INTERSECT AND ONLY ONE HOLDDOWN SHOWN ON PLAN, FASTEN ALL STUDS TOGETHER PER SCHEDULE AND USE LARGER OF THE TWO HOLDDOWNS SHOWN ON THE SHEAR WALL SCHEDULE.
 - ALL HOLDDOWN POSTS TO BE (2) 2"x (MIN) (UNO.) TO MATCH STUD SIZE & GRADE NOTED IN WALL SCHEDULE. PROVIDE ADDITIONAL STUDS AS REQ'D TO MEET QUANTITY NOTED IN SCHED.
 - REFER TO SECTIONS 2/S1.2, 3/S1.2, 4A/S1.2 & 4B/S1.2 FOR HOLDDOWN ANCHOR REQUIREMENTS.



SHEARWALL LOCATION	SHEARWALL TYPE	FLOOR		SILL PLATE CONNECTION (RE: NOTES 6 & 7)	NUMBER OF WALL STUDS AT HOLD-DOWN (RE: NOTE 4)
		1st FLOOR WALLS	2nd & 3rd FLOOR WALLS		
AT DEMISING WALLS	SM	MATERIAL & THICKNESS	1/2" PLYWOOD SHEATHING ONE SIDE, W/ EDGES BLOCKED	1/2" PLYWOOD SHEATHING ONE SIDE, W/ EDGES BLOCKED	
		NAIL SIZE & SPACING	8d NAILS 4/12	8d NAILS 6/12	
AT EXTERIOR WALLS	SM	MATERIAL & THICKNESS	2 1/2" ZIP R-12 SHEATHING ONE SIDE, W/ EDGES BLOCKED	2 1/2" ZIP R-12 SHEATHING ONE SIDE, W/ EDGES BLOCKED	
		NAIL SIZE & SPACING	0.131" SHANK NAILS w/ 1 1/2" MIN. PENETRATION INTO FRAMING, 3/12 SPACING	0.131" SHANK NAILS w/ 1 1/2" MIN. PENETRATION INTO FRAMING, 3/12 SPACING	

- NOTES:
- NAILING SHALL BE TO ALL STUDS, TOP & BOTTOM PLATES, AND BLOCKING WHERE INDICATED.
 - HOLDOWNS PER PLAN & SCHEDULE.
 - WHERE THE ENDS OF PERPENDICULAR SHEAR WALLS INTERSECT AND ONLY ONE HOLDDOWN SHOWN ON PLAN, FASTEN ALL STUDS TOGETHER PER SCHEDULE AND USE LARGER OF THE TWO HOLDDOWNS SHOWN IN THE SHEARWALL SCHEDULE. REFERENCE DETAILS 4A, 4B, 4C, AND 4D ON SHEET S1.2 FOR SHEATHING AND HOLDDOWN ATTACHMENT AT PERPENDICULAR WALLS AND STUD WALL SIZE TRANSITIONS.
 - PROVIDE 2 WALL STUDS AT EACH HOLDDOWN UNLESS NOTED OTHERWISE IN SCHEDULE. AT LOCATIONS WHERE A SHEARWALL TERMINATES AT A OPENING JAMB, PROVIDE NUMBER OF STUDS PER JAMB SCHEDULE PLUS AN ADDITIONAL STUD FOR THE SHEARWALL. ATTACH ALL STUDS TOGETHER PER 6/S1.1. REFER TO DETAILS 8A & 8B ON S1.2.
 - NAIL SPACING SHOWN AS (N/A) INDICATES FASTENERS SPACING IN INCHES AT THE EDGES/FIELD WHERE FIELD IS THE INTERMEDIATE MEMBERS.
 - TYPICAL SILL PLATE TO WOOD SHALL BE 20G COMMON NAILS (1.0x2x4") AT 12"oc UNLESS NOTED OTHERWISE IN SCHEDULE.
 - TYPICAL SILL PLATE TO CONCRETE SHALL BE 1/2" ANCHORS:
AT 2x4 WALLS SPACE AT 24"oc MAX WITH 1/4"x2 1/2"x2 1/2" PLATE WASHER OR SIMPSON BPS 1/2 - 3 @ CONTRACTORS OPTION
PLATE WASHERS TO MAINTAIN MAX OF 1/2" BETWEEN EDGE OF SILL PLATE AND EDGE OF PLATE WASHER
 - SHEARWALL SHEATHING CALLED OUT AT CORRIDOR WALLS SHALL BE LOCATED AT UNIT SIDE OF WALL
 - AT GYPSUM SHEARWALLS NO. 6 x 1 1/2" TYPE S OR W SCREWS CAN BE UTILIZED AS THE SAME SPACING AS SPECIFIED 6d NAILS.
 - NAILS @ WOOD STRUCTURE PANEL SHEAR WALLS SHALL BE GALVANIZED COMMON OF TYPE INDICATED IN SCHED.

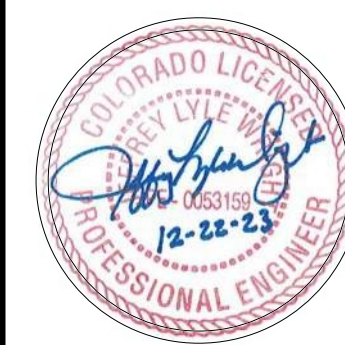
RSN: 1762321
Permit #: 23-2396735-CM

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: D Anderson
Date: Feb 20, 2024
2021 INTERNATIONAL CODES & 2023 NEC

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.

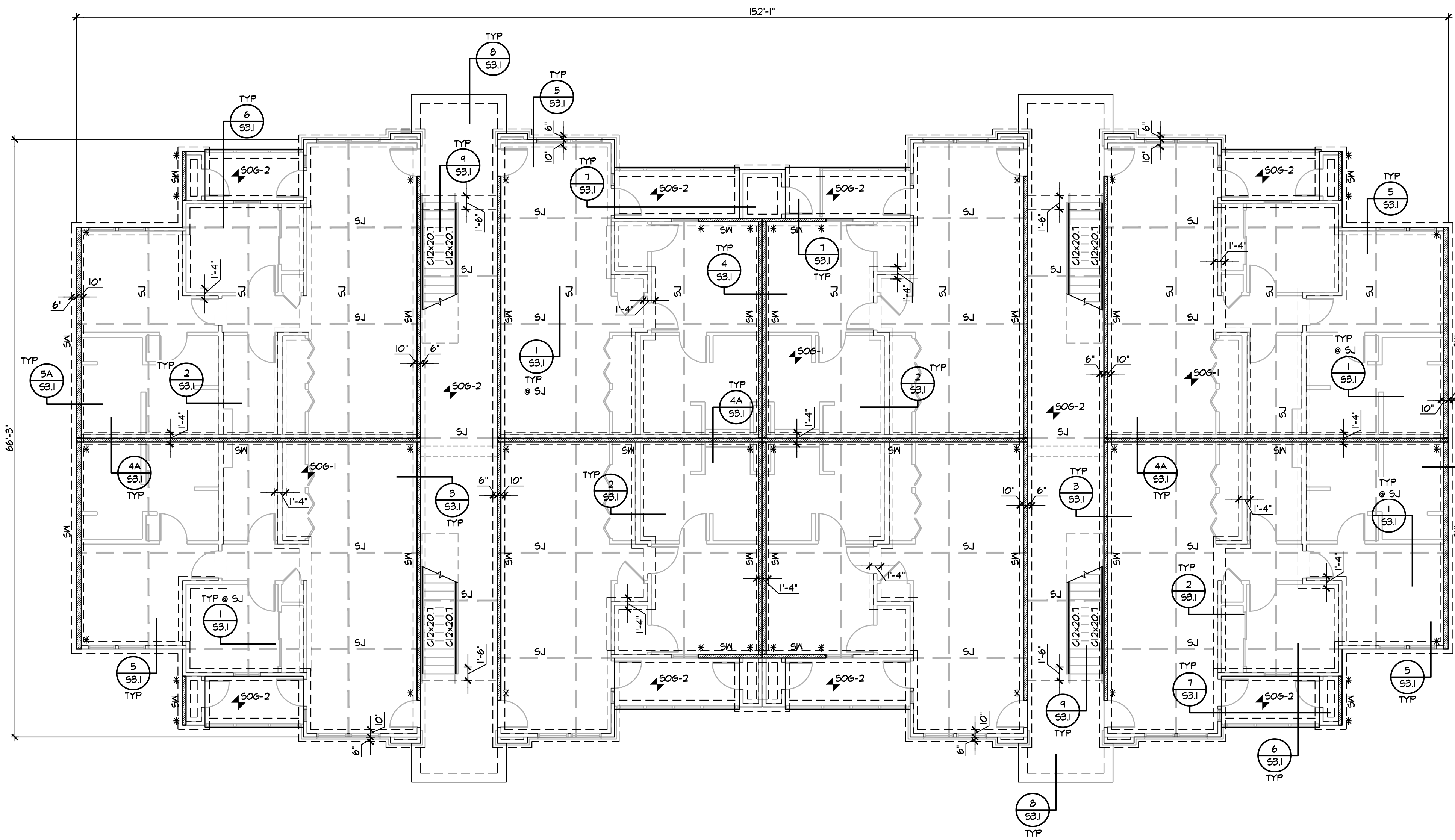


REVISION:	
DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	



REVISION:	
DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	

S2.0

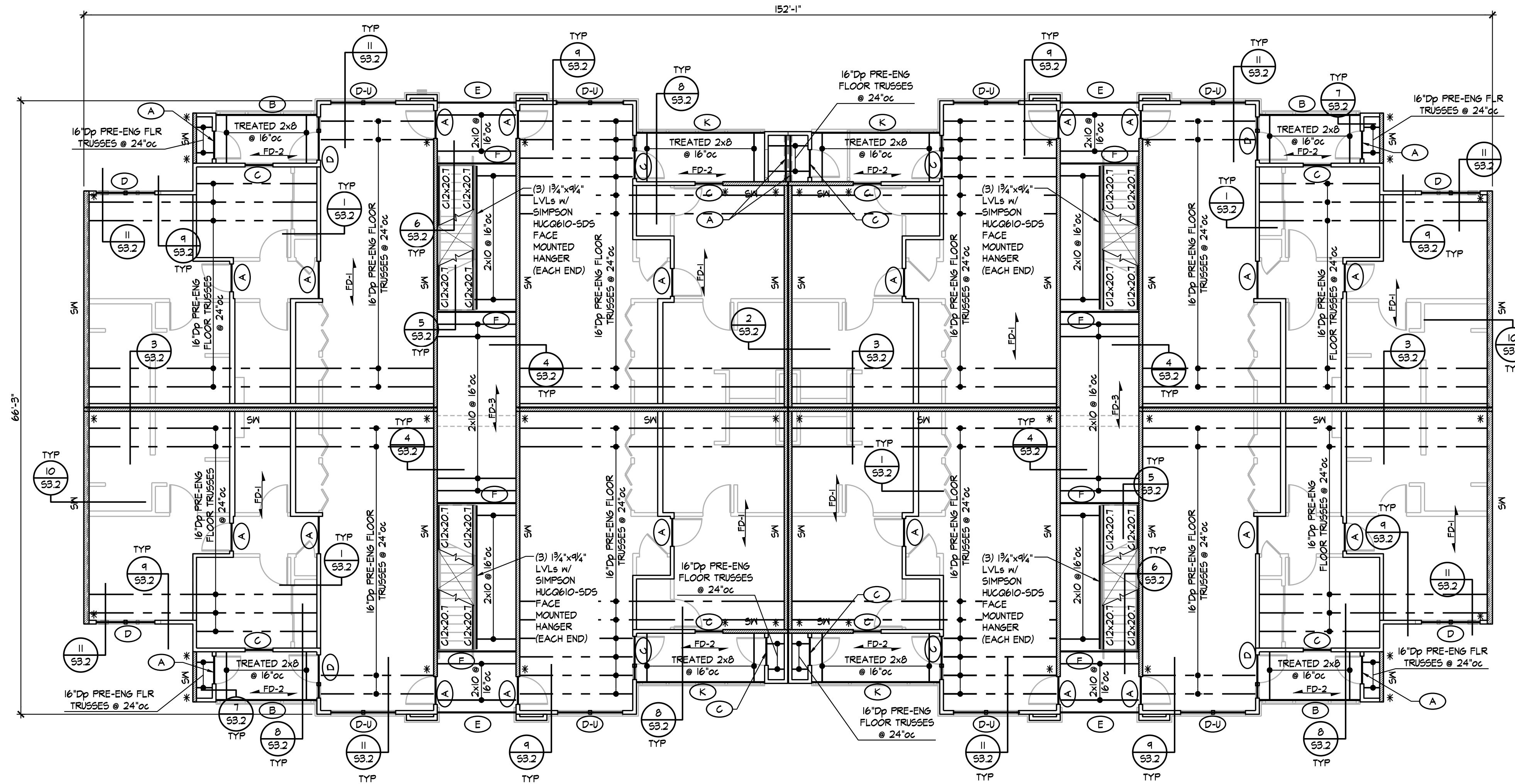


BUILDING A FOUNDATION FRAMING PLAN
1/8" = 1'-0"

- NOTES:
1. REFER TO GENERAL NOTES ON SHEET S1.0
 2. REFER TO COLUMN & FOOTING SCHEDULE ON SHEET S1.1
 3. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN
 4. REFER TO SHEET S2.4 FOR SHEARWALL AND HOLDOWN INFORMATION
 5. REFER TO SECTION 3 ON SHEET S1.2 FOR HOLDOWN DETAIL AT THE FIRST FLOOR

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: D Anderson
Date: Feb 20, 2024
2021 INTERNATIONAL CODES & 2023 NEC

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.



BUILDING A SECOND FLOOR FRAMING PLAN

1/8" = 1'-0"

NOTES:

1. REFER TO GENERAL NOTES ON SHEET S1.0
2. REFER TO HEADER SCHEDULE ON SHEET S1.1
3. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN
4. REFER TO SHEET S2.4 FOR SHEARNAIL AND HOLDOWN INFORMATION
5. REFER TO SECTIONS 2, 4A AND 4B ON SHEET S1.2 FOR HOLDOWN DETAILS AT THE SECOND FLOOR
6. REFER TO SHEETS S1.1 AND S1.2 FOR TYPICAL NAILING WOOD FRAMING DETAILS

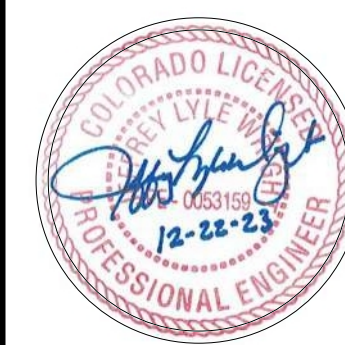
Provide EOR reviewed engineered truss drawings and details, in accordance with 2021 IBC 2303.4, to inspector at time of rough frame inspection.

RSN: 1762321
Permit #: 23-2396735-CM

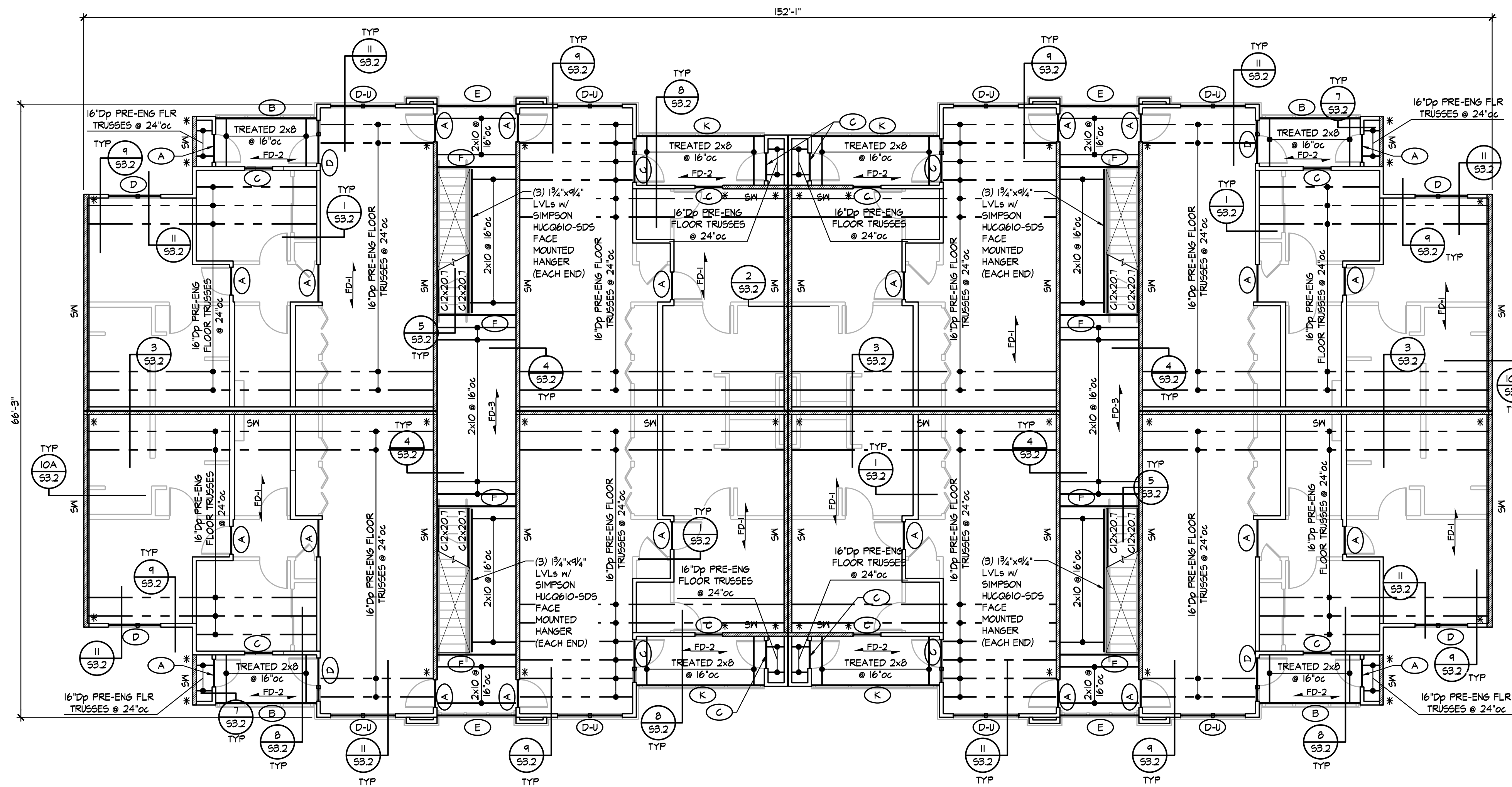


City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: D Anderson
Date: Feb 20, 2024
2021 INTERNATIONAL CODES & 2023 NEC

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.



REVISION:	
DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	

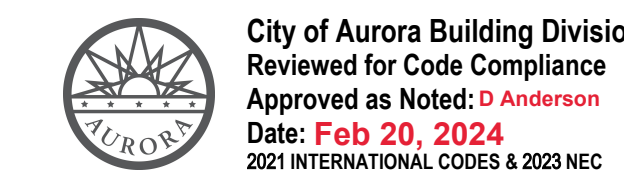


BUILDING A THIRD FLOOR FRAMING PLAN
1/8" = 1'-0"

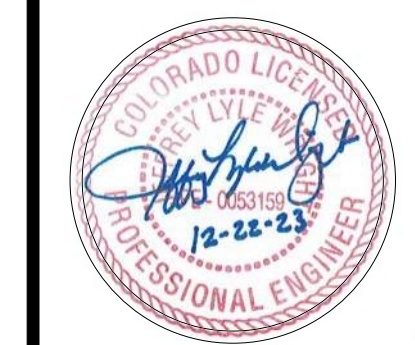
- NOTES:
1. REFER TO GENERAL NOTES ON SHEET S1.0
 2. REFER TO HEADER SCHEDULE ON SHEET S1.1
 3. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN
 4. REFER TO SHEET S2.4 FOR SHEARNAIL AND HOLDOWN INFORMATION
 5. REFER TO SECTIONS 2, 4A AND 4B ON SHEET S1.2 FOR HOLDOWN DETAILS AT THE THIRD FLOOR
 6. REFER TO SHEETS S1.1 AND S1.2 FOR TYPICAL NAILING WOOD FRAMING DETAILS

Provide EOR reviewed engineered truss drawings and details, in accordance with 2021 IBC 2303.4, to inspector at time of rough frame inspection.

RSN: 1762321
Permit #: 23-2396735-CM



Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.

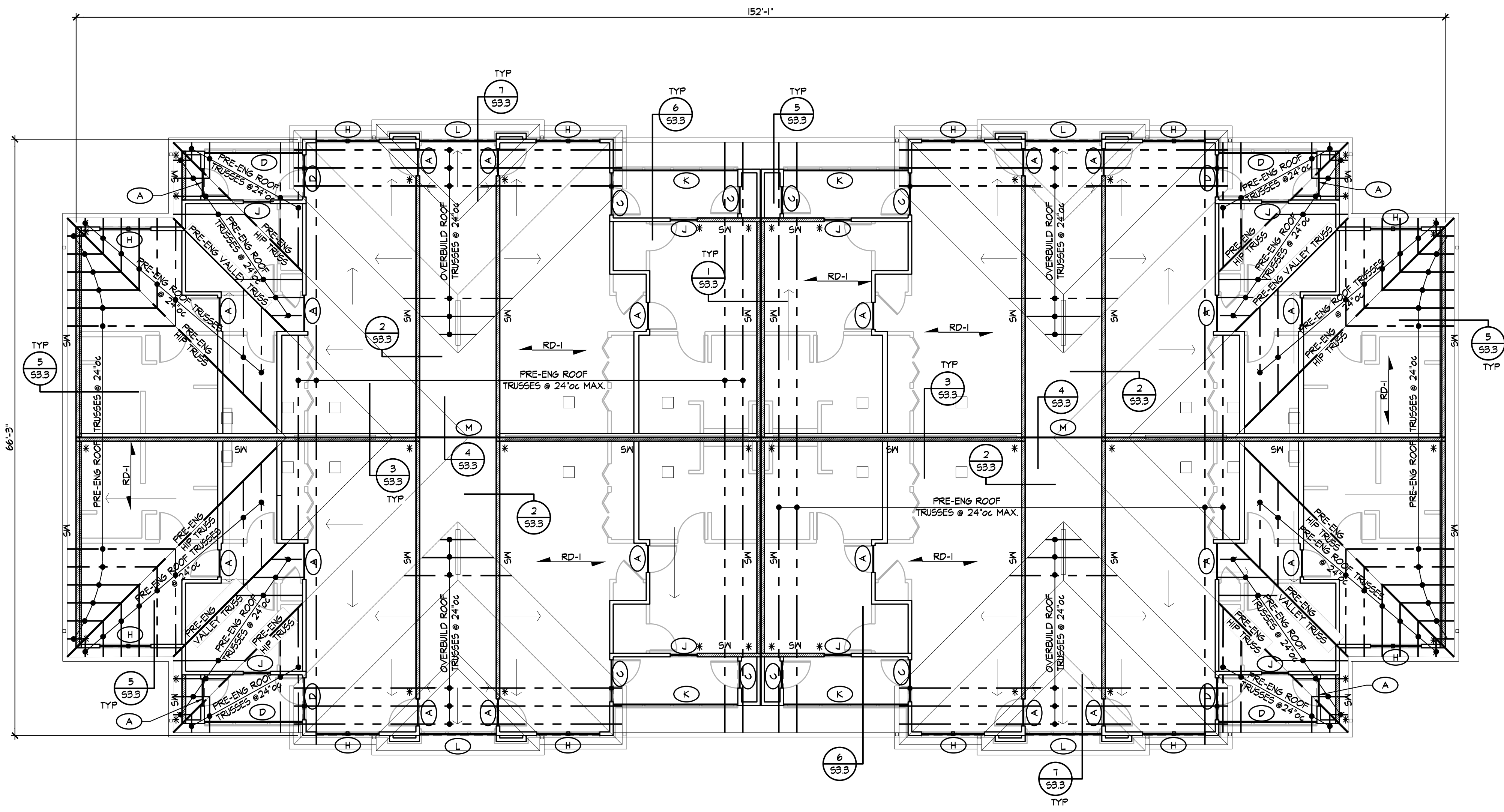


REVISION:	
DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	



REVISION:	
DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	

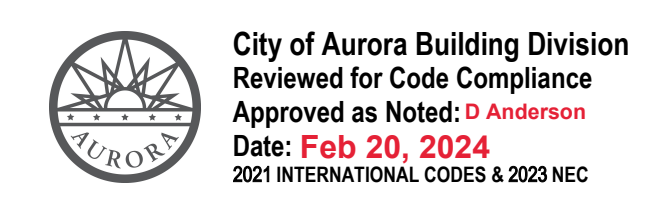
S2.3



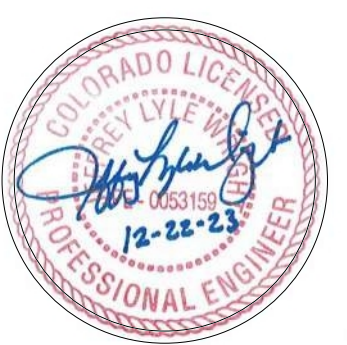
BUILDING A ROOF FRAMING PLAN
1/8" = 1'-0"

- NOTES:
1. REFER TO GENERAL NOTES ON SHEET S1.0
 2. REFER TO HEADER SCHEDULE ON SHEET S1.1
 3. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN
 4. PROVIDE TRIPLE STUDS AT ALL PRE-ENG. TRUSS GIRDERS AND HIP/VALLEY TRUSSES
 5. REFER TO SHEETS S1.1 AND S1.2 FOR TYPICAL NAILING WOOD FRAMING DETAILS

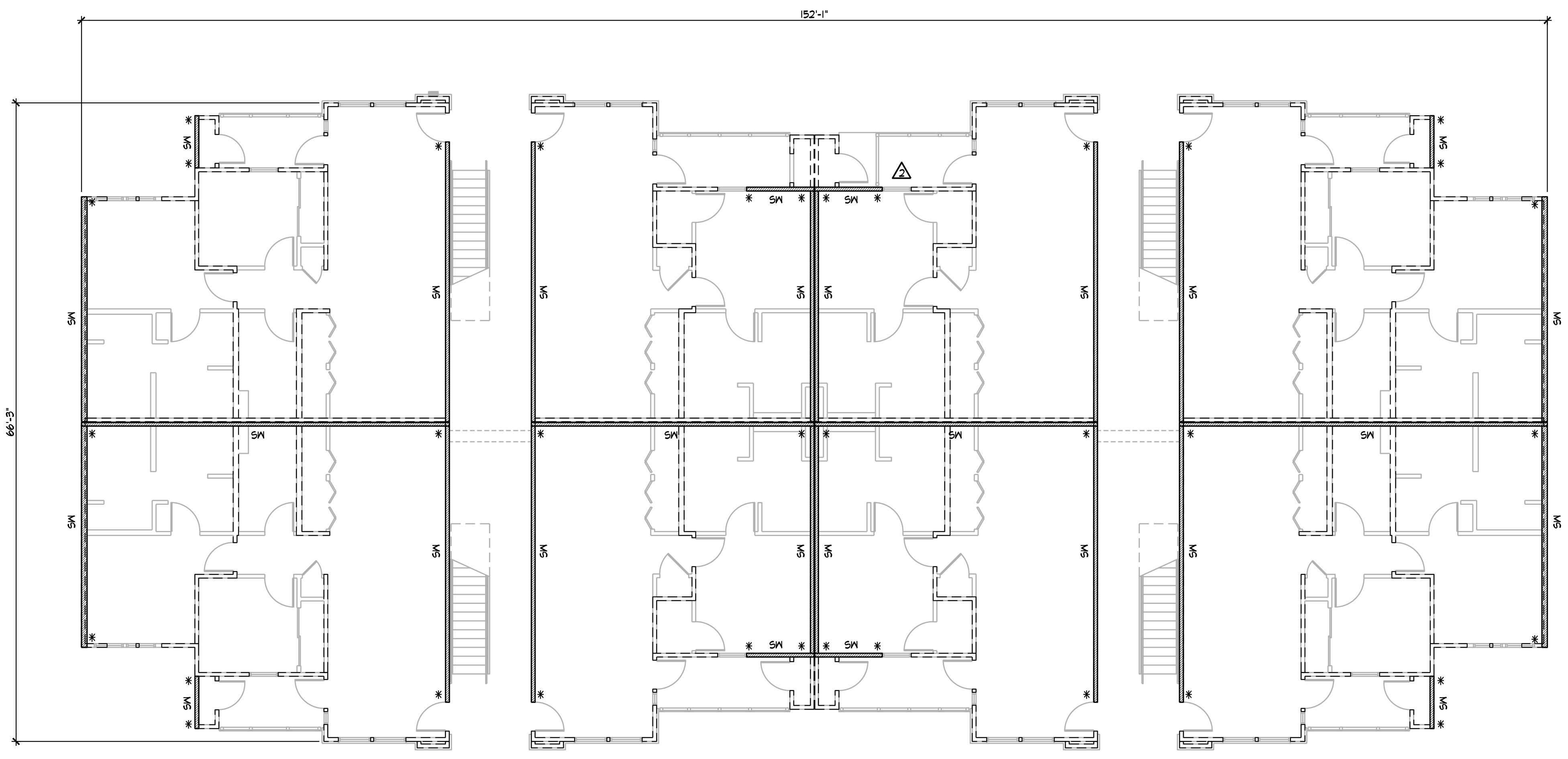
Provide EOR reviewed engineered truss drawings and details, in accordance with 2021 IBC 2303.4, to inspector at time of rough frame inspection.



Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.

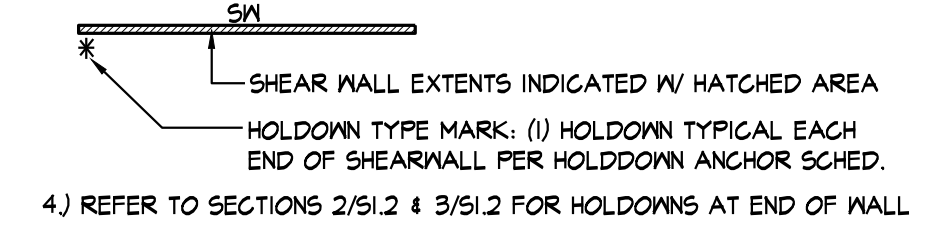


REVISION:	
DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	



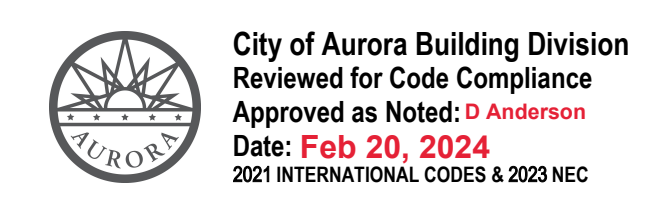
BUILDING A SHEARWALL PLAN
1/8" = 1'-0"

- NOTES:
- 1) REFER TO GENERAL NOTES ON SHEET S1.0
 - 2) REFER TO SHEARWALL & HOLD-DOWN SCHEDULES ON SHEET S1.2
 - 3) SHEARWALLS/HOLD-DOWNS DESIGNATED AS FOLLOWS:



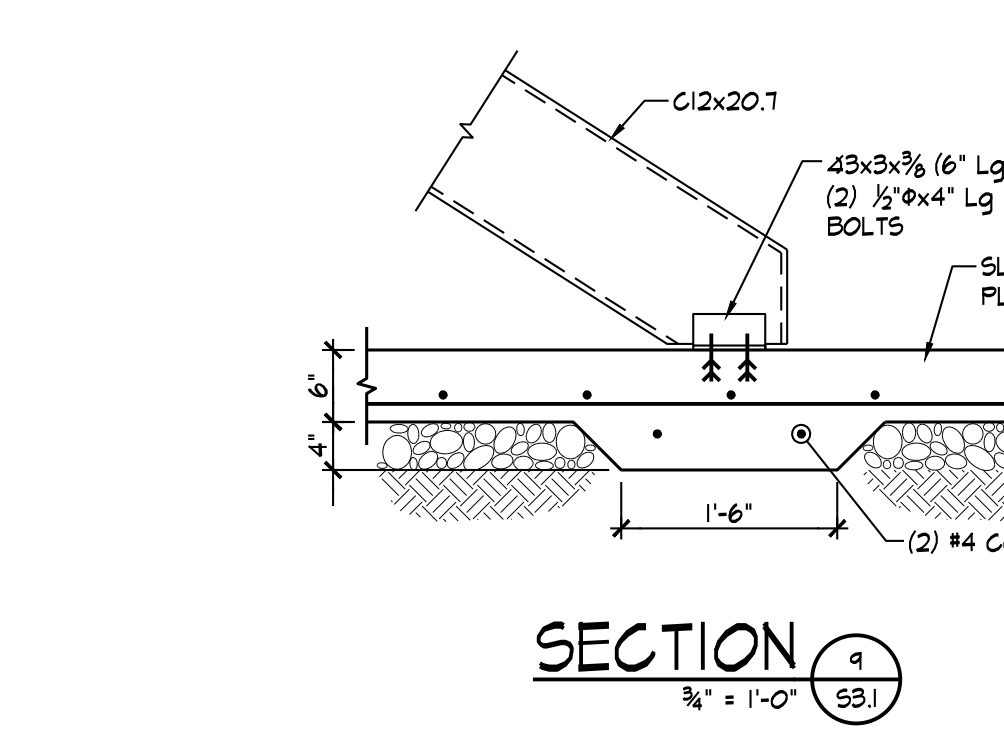
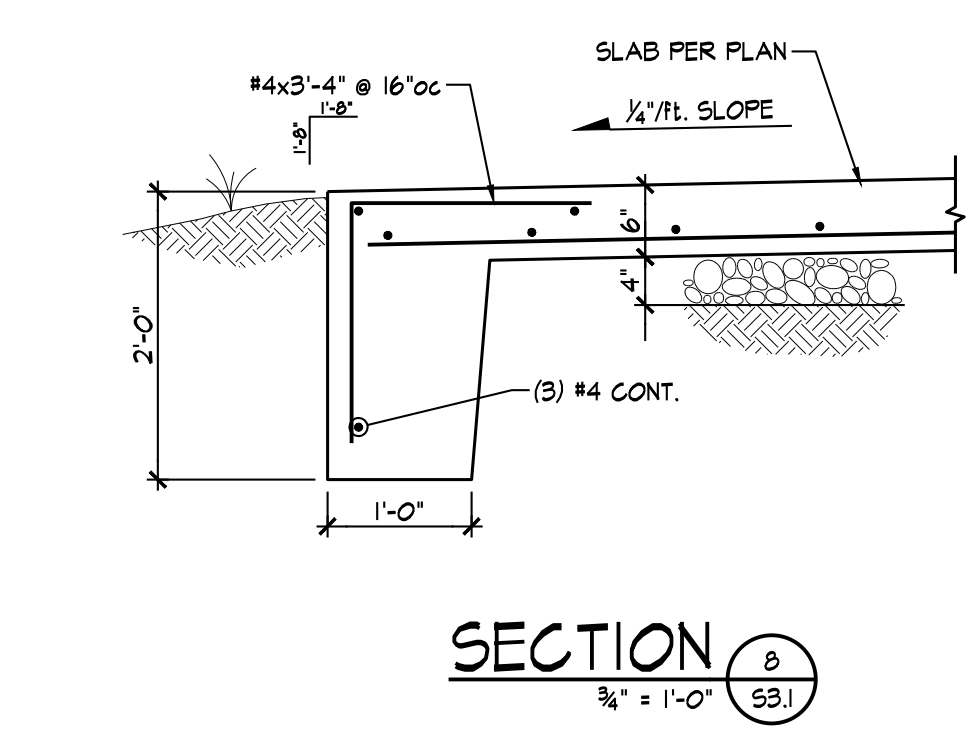
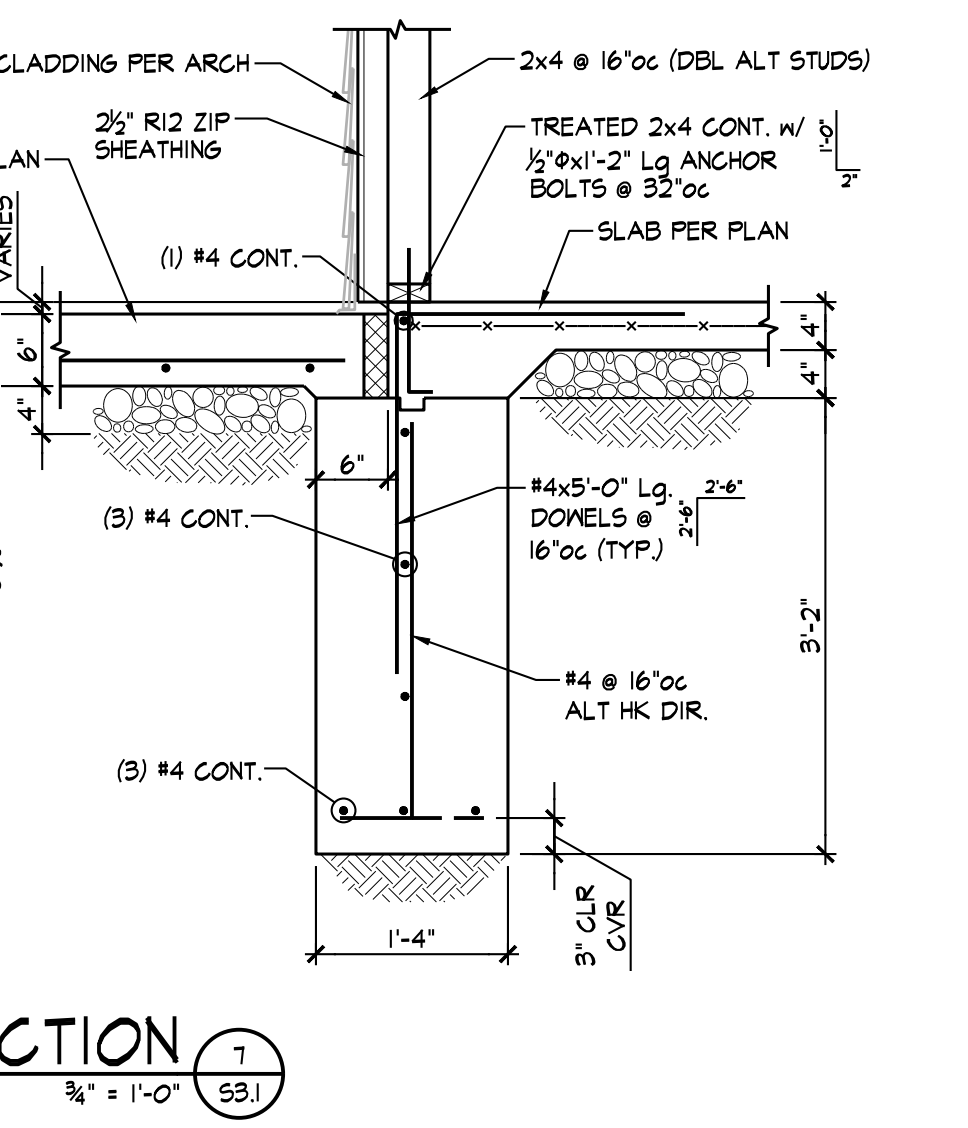
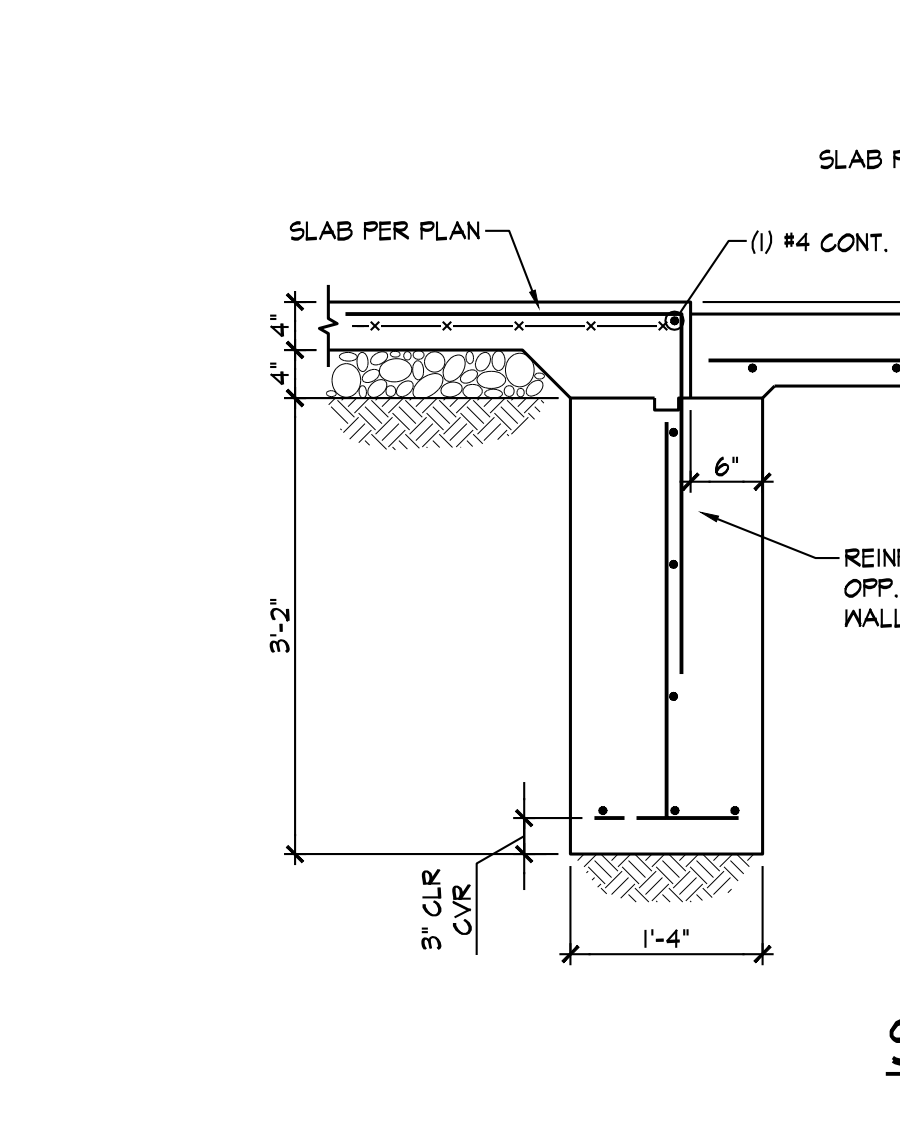
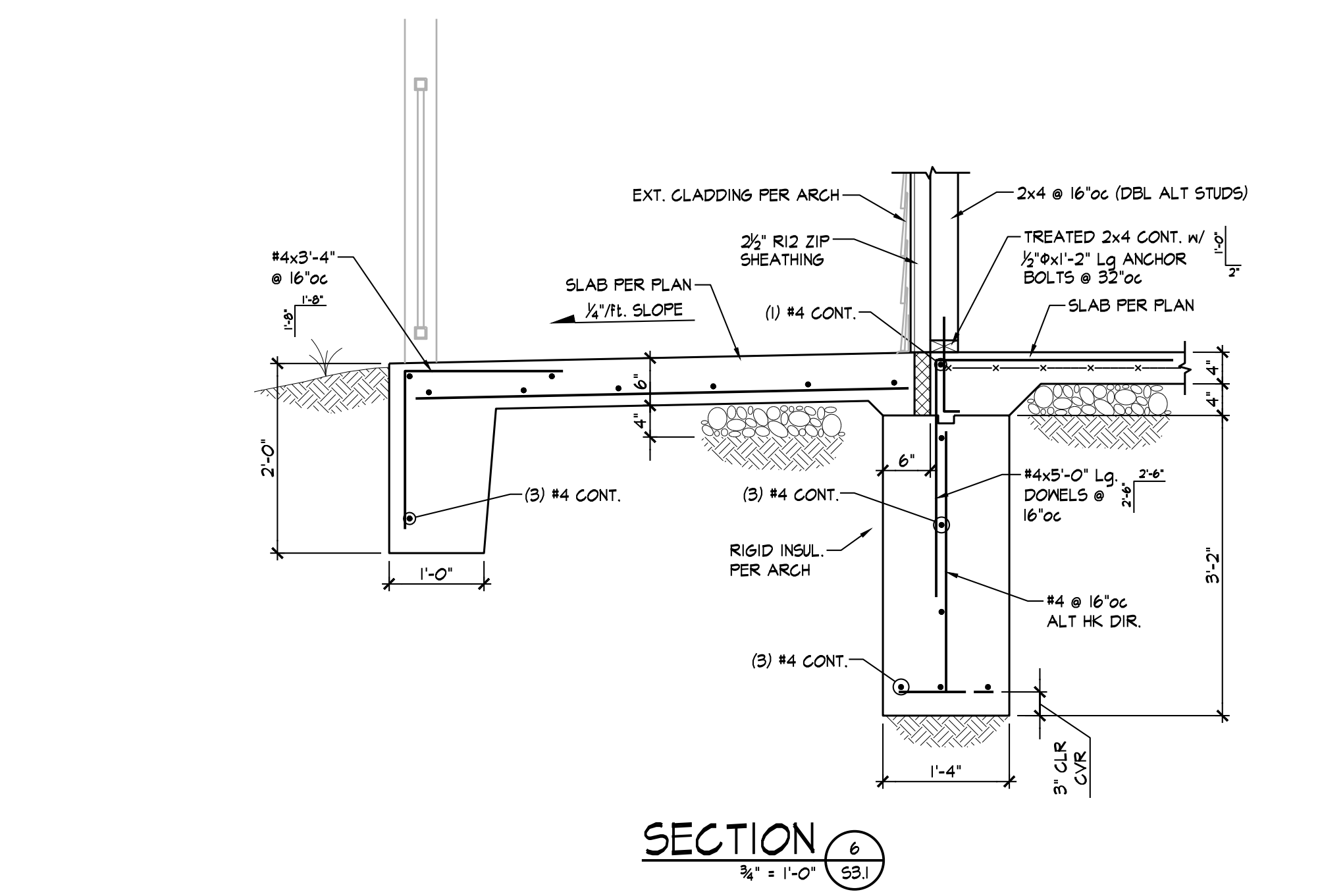
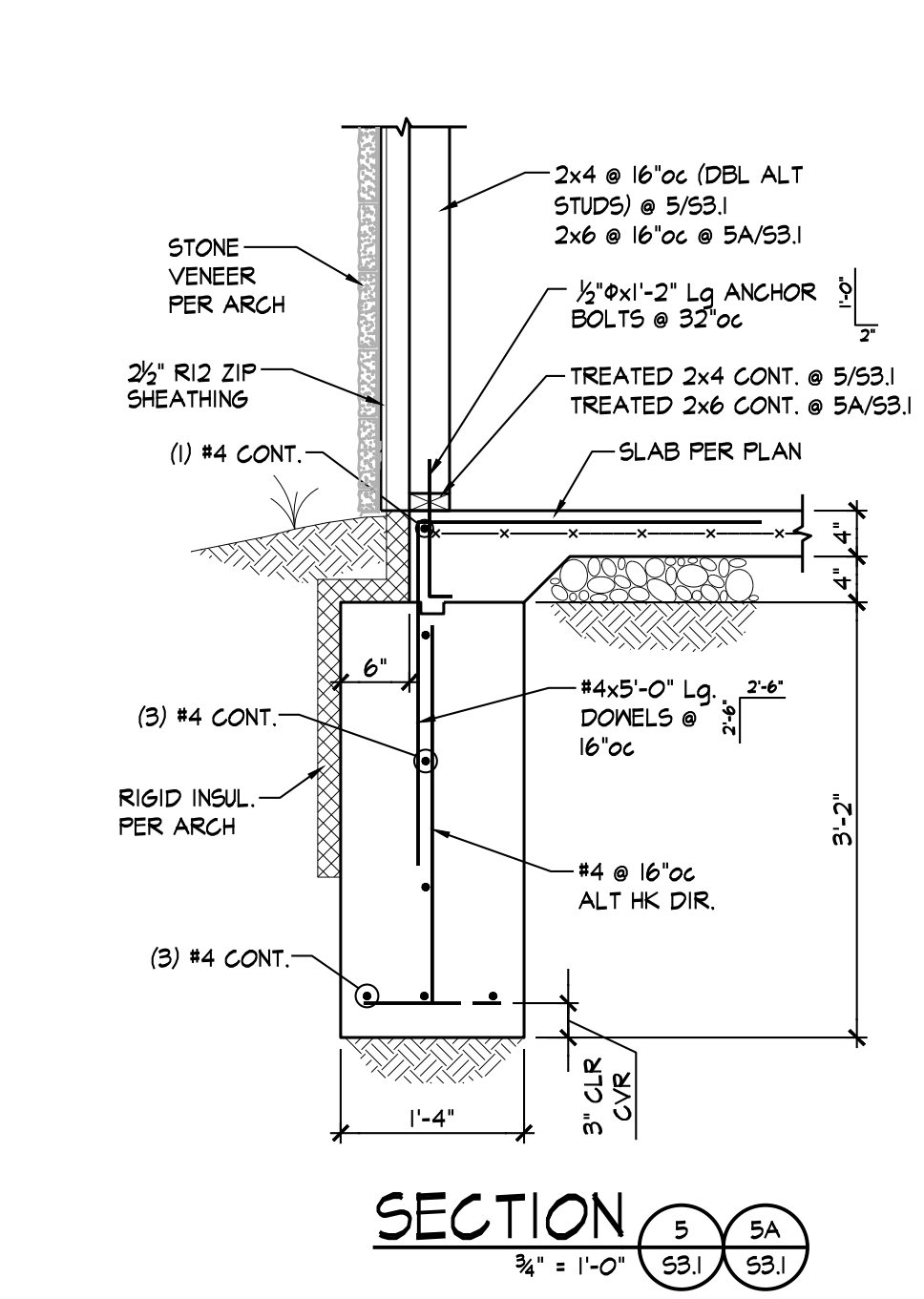
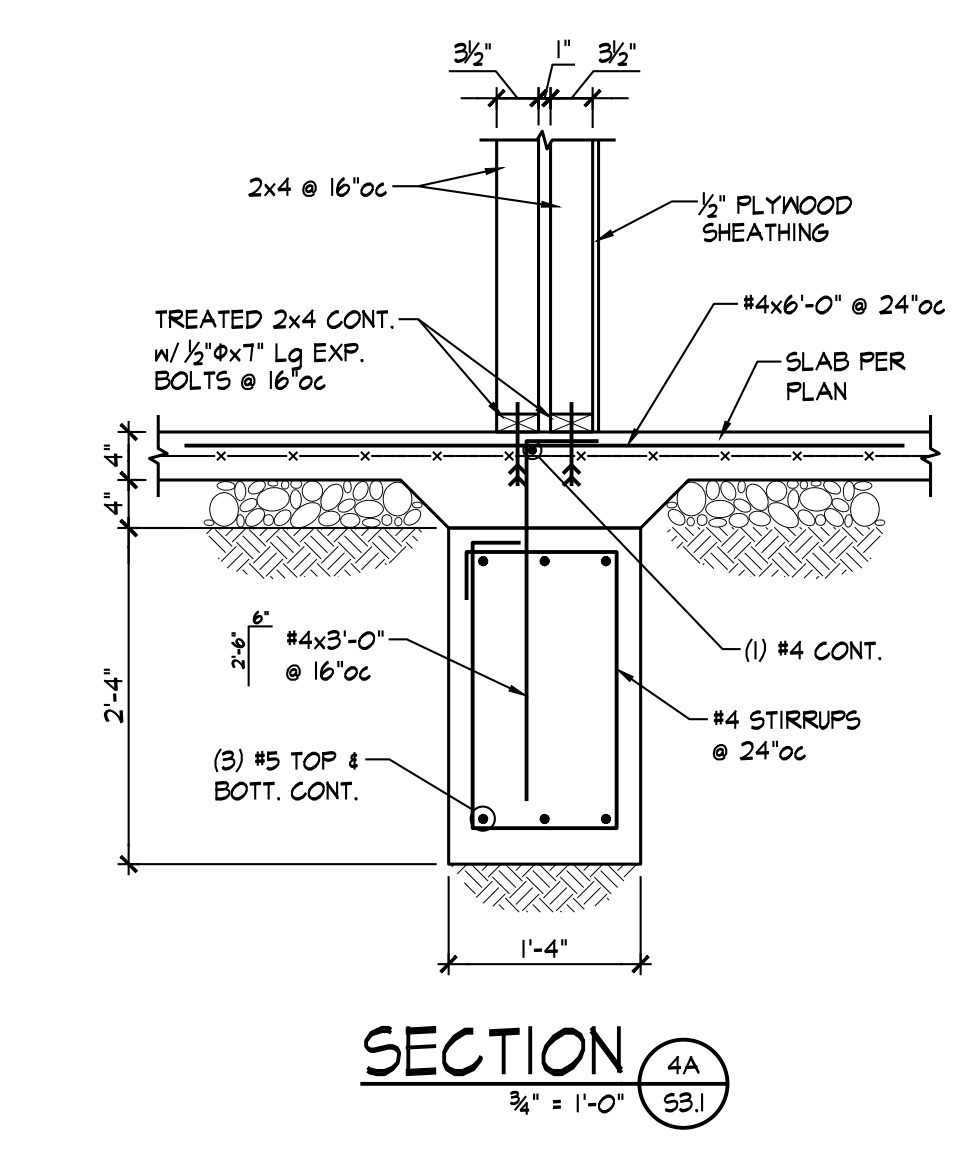
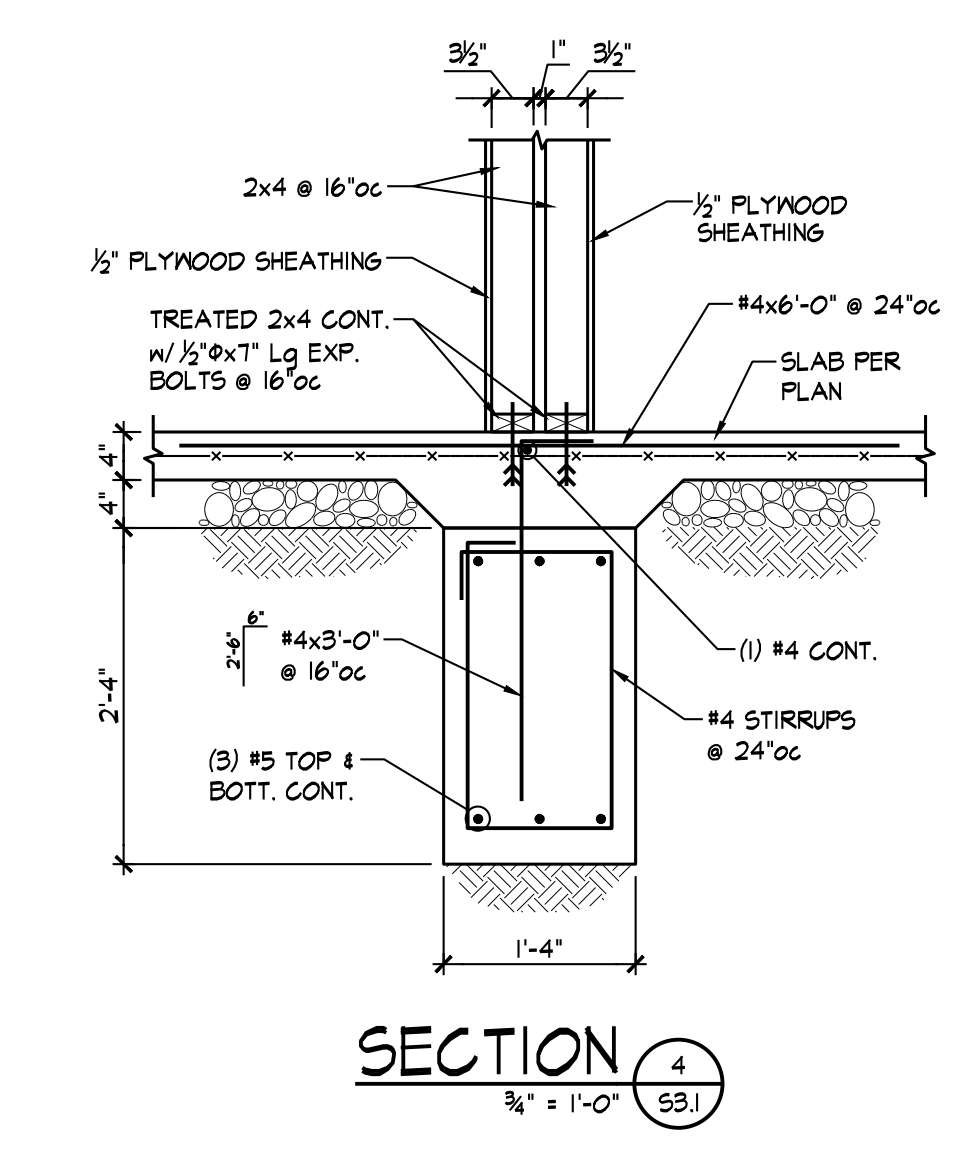
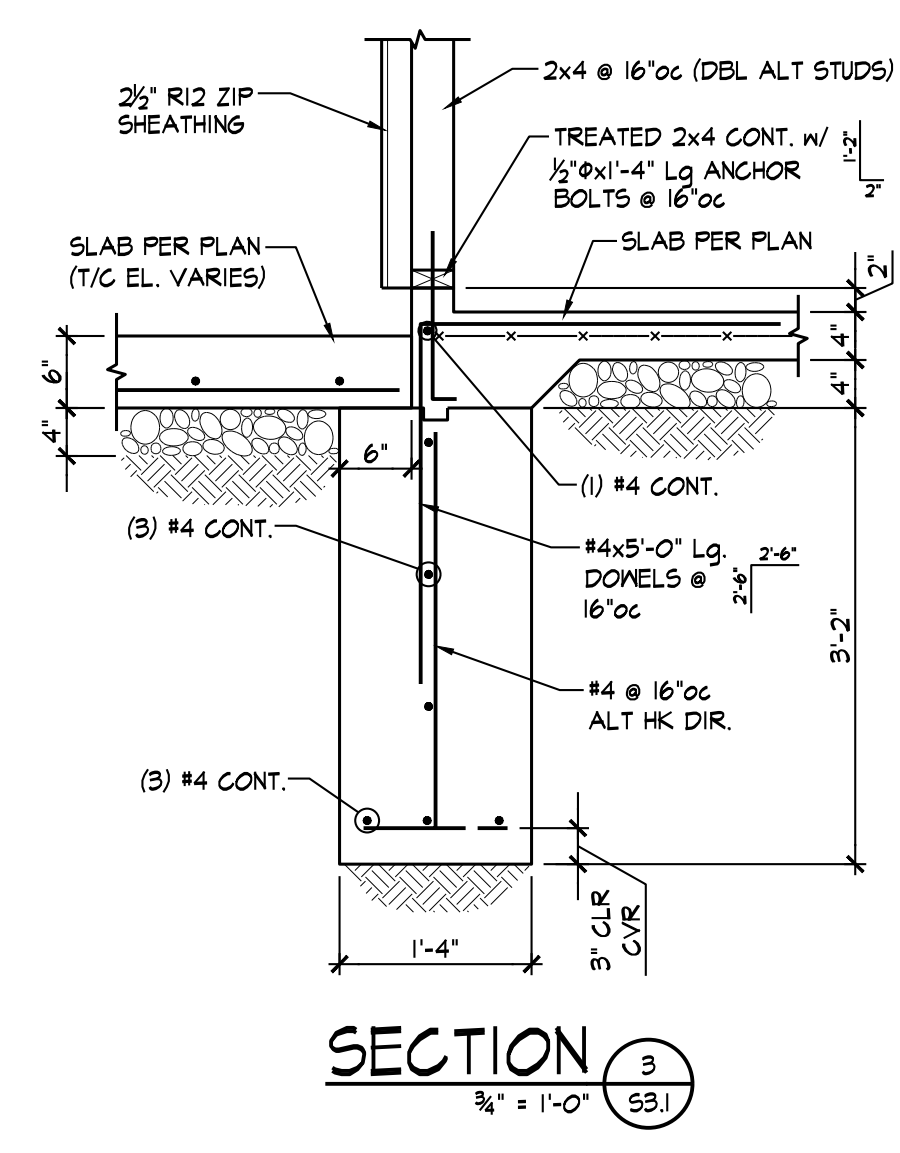
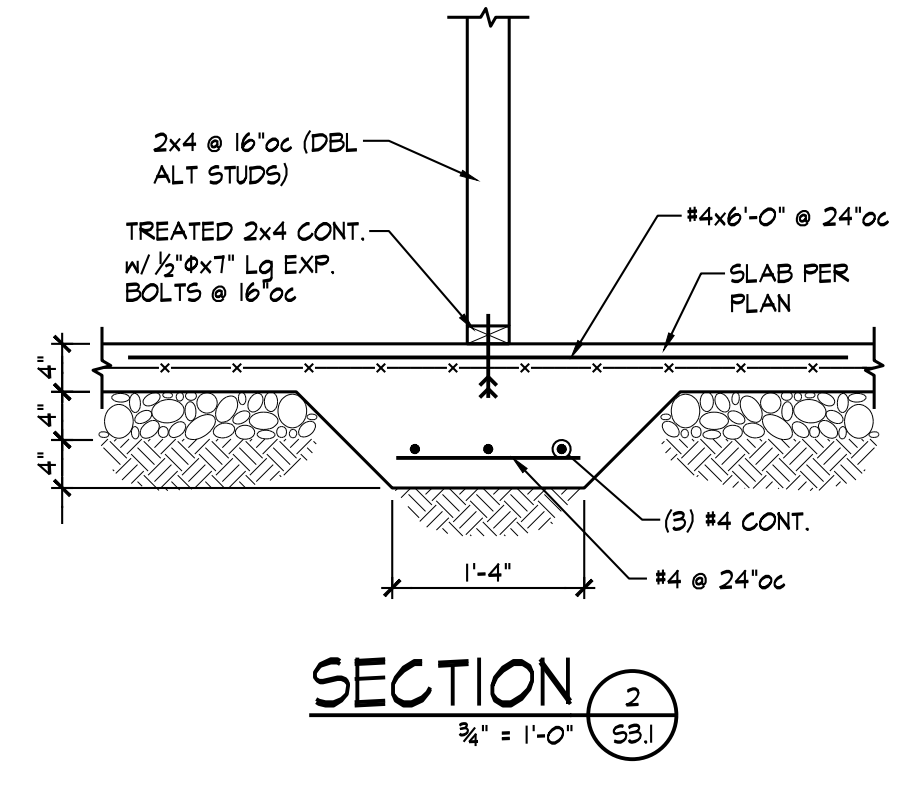
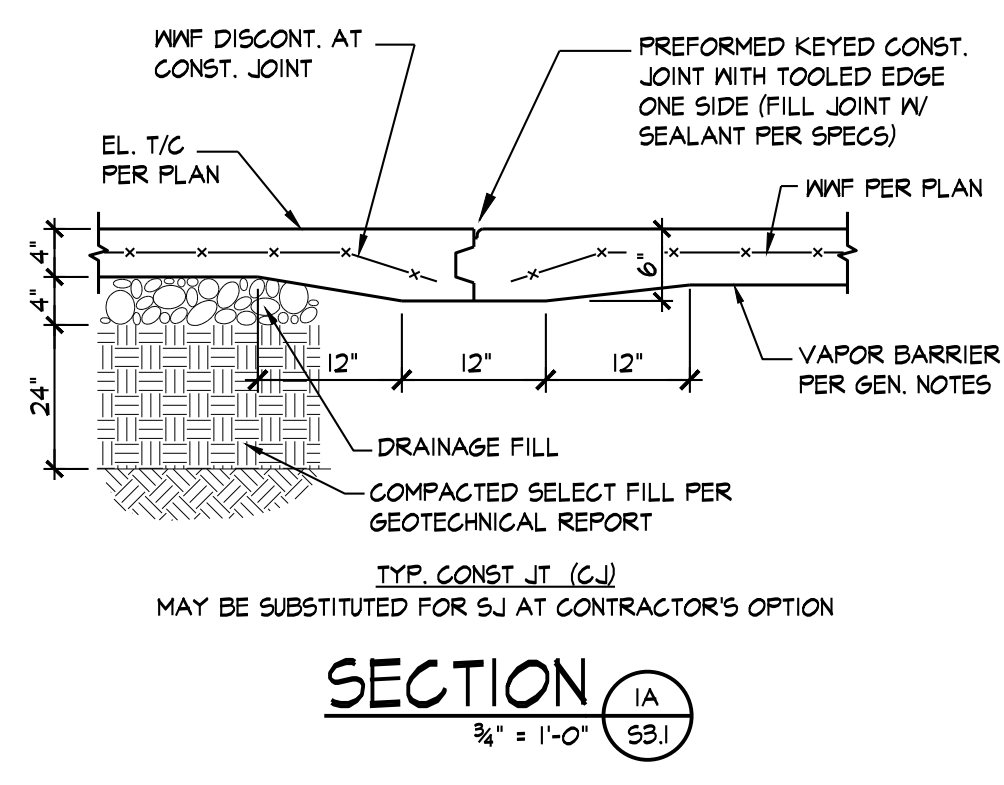
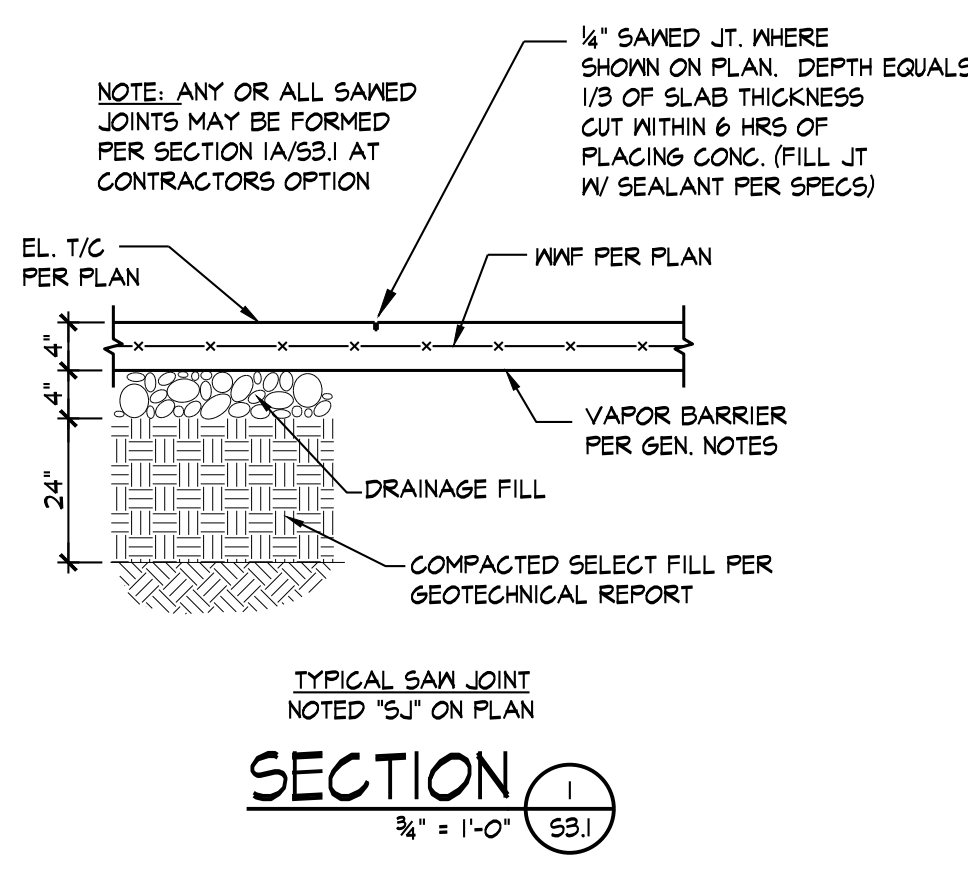
- 4) REFER TO SECTIONS 2/S1.2 & 3/S1.2 FOR HOLD-DOWN AT END OF WALL

RSN: 1762321
Permit #: 23-2396735-CM



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: D Anderson
Date: Feb 20, 2024
2021 INTERNATIONAL CODES & 2023 NEC

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.



RSN: 1762321
Permit #: 23-2396735-CM

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: D Anderson
Date: Feb 20, 2024
2021 INTERNATIONAL CODES & 2023 NEC

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.

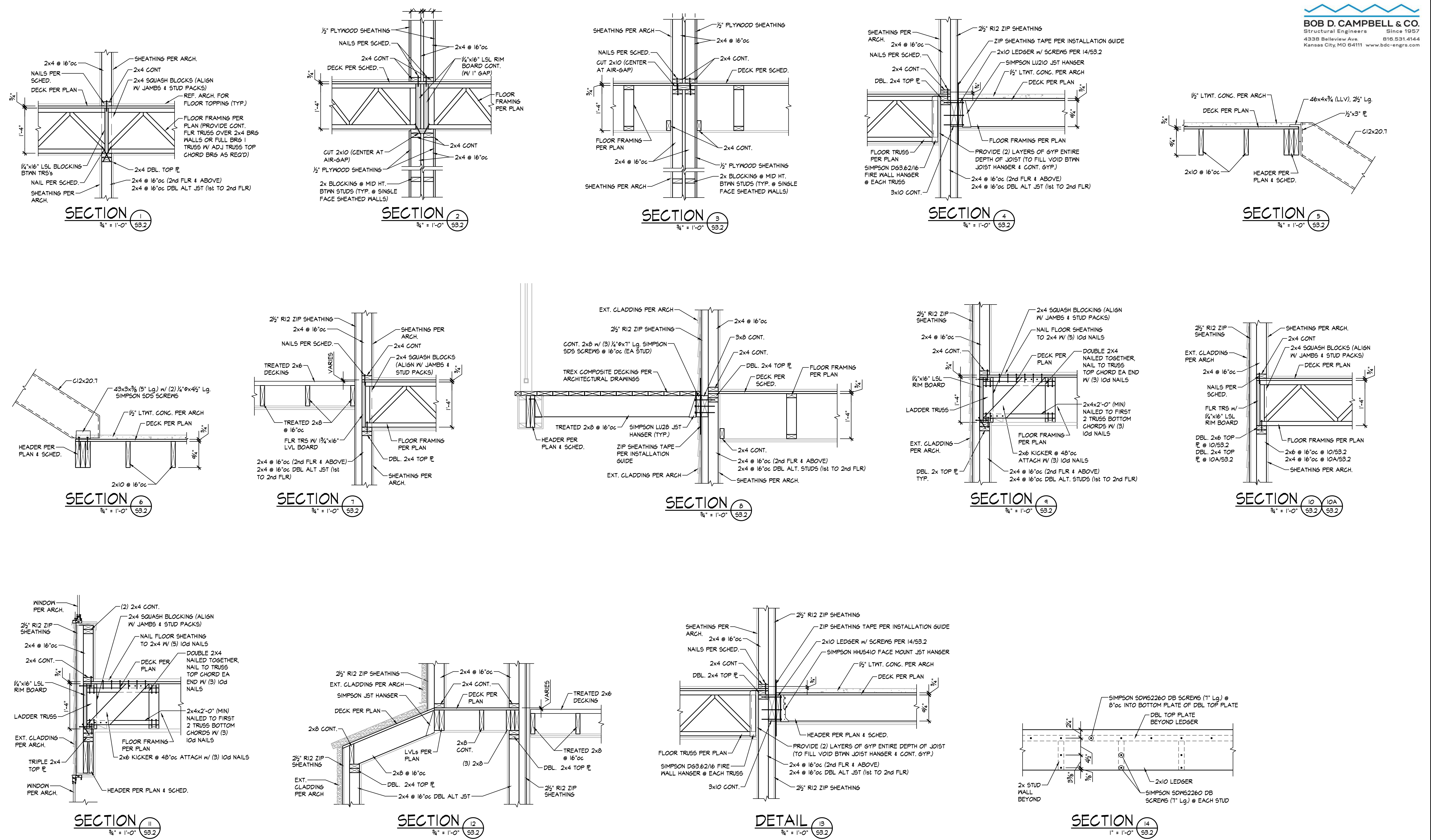
REVISION:

DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	



REVISION:	
DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	

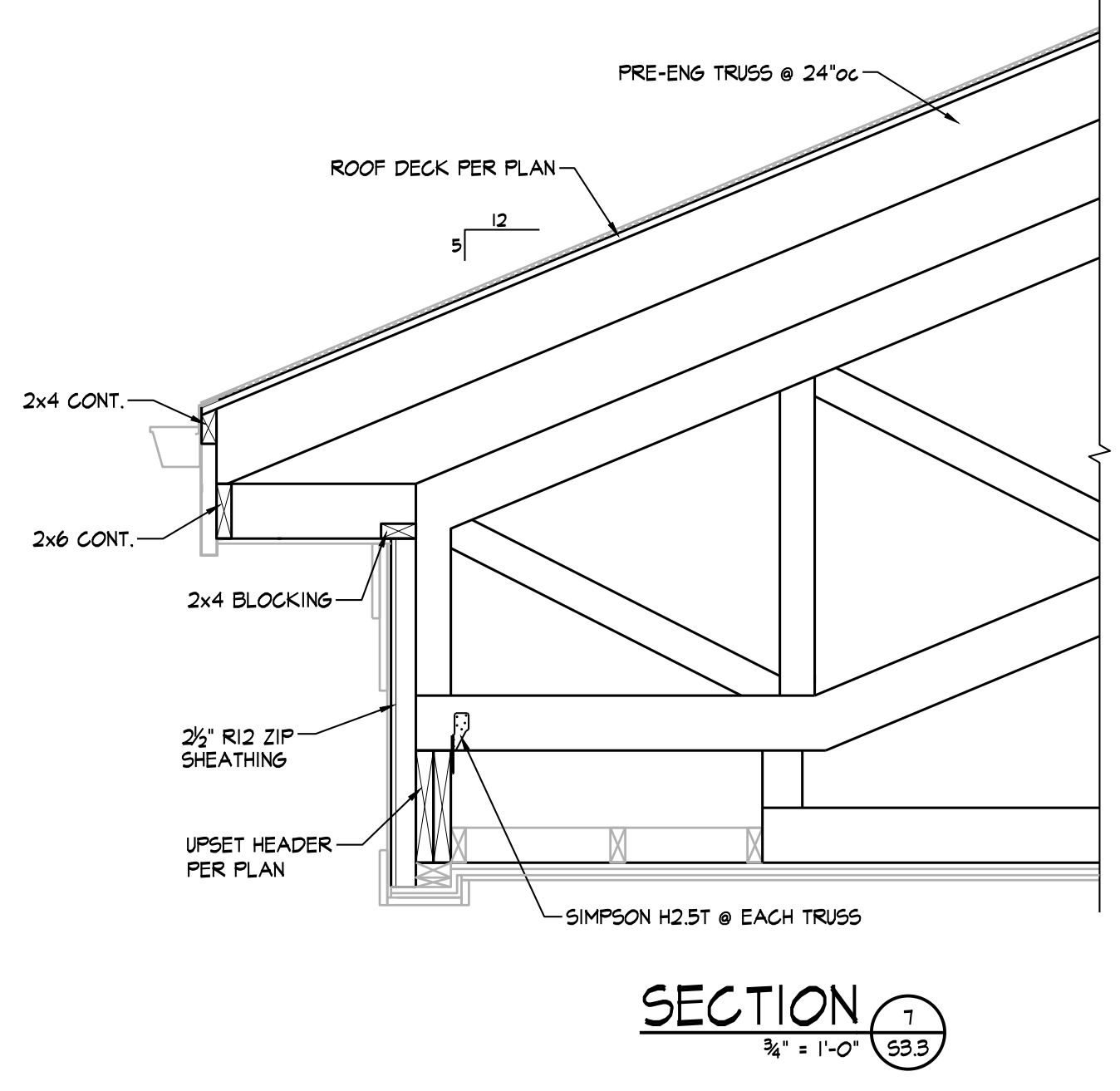
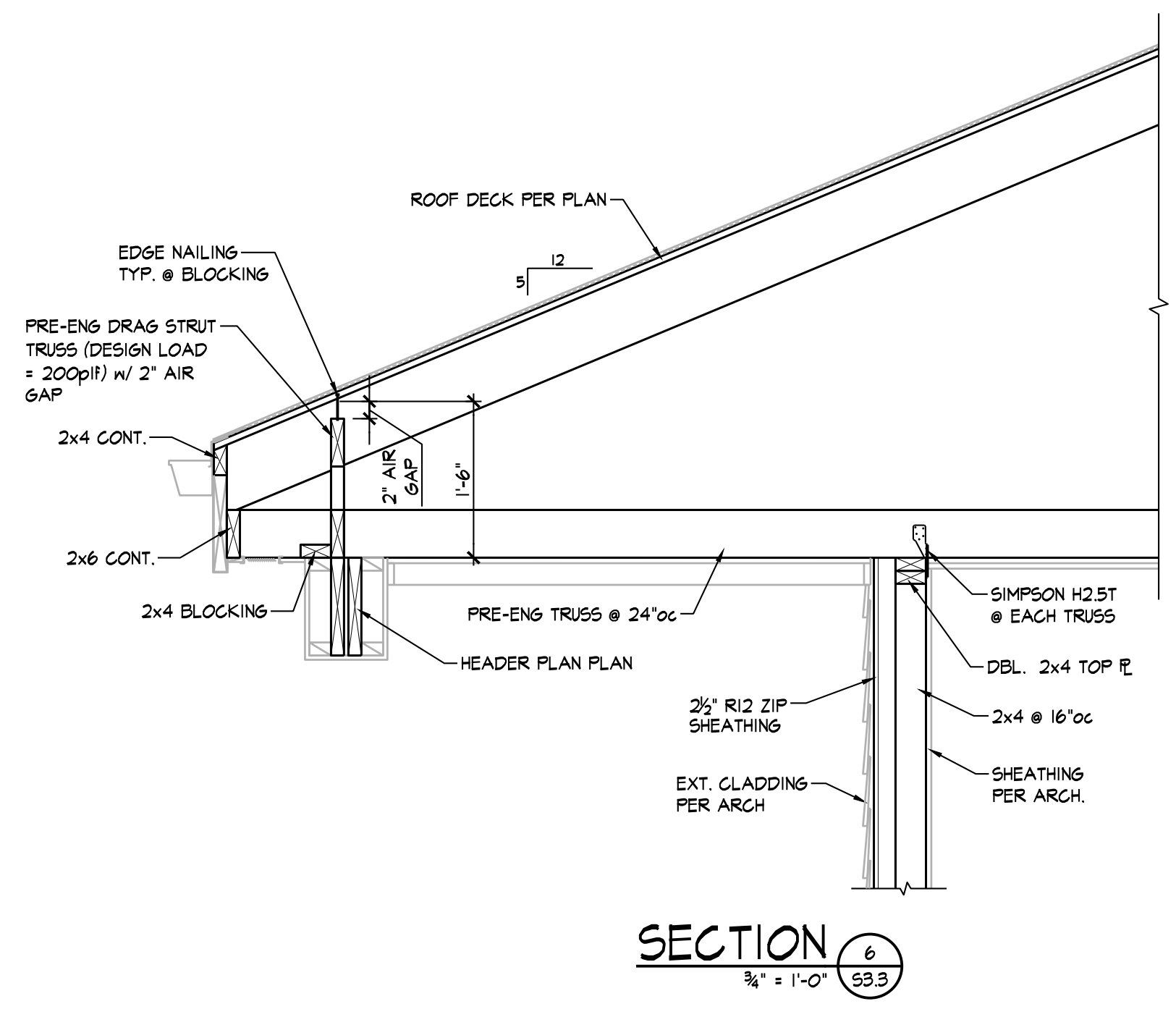
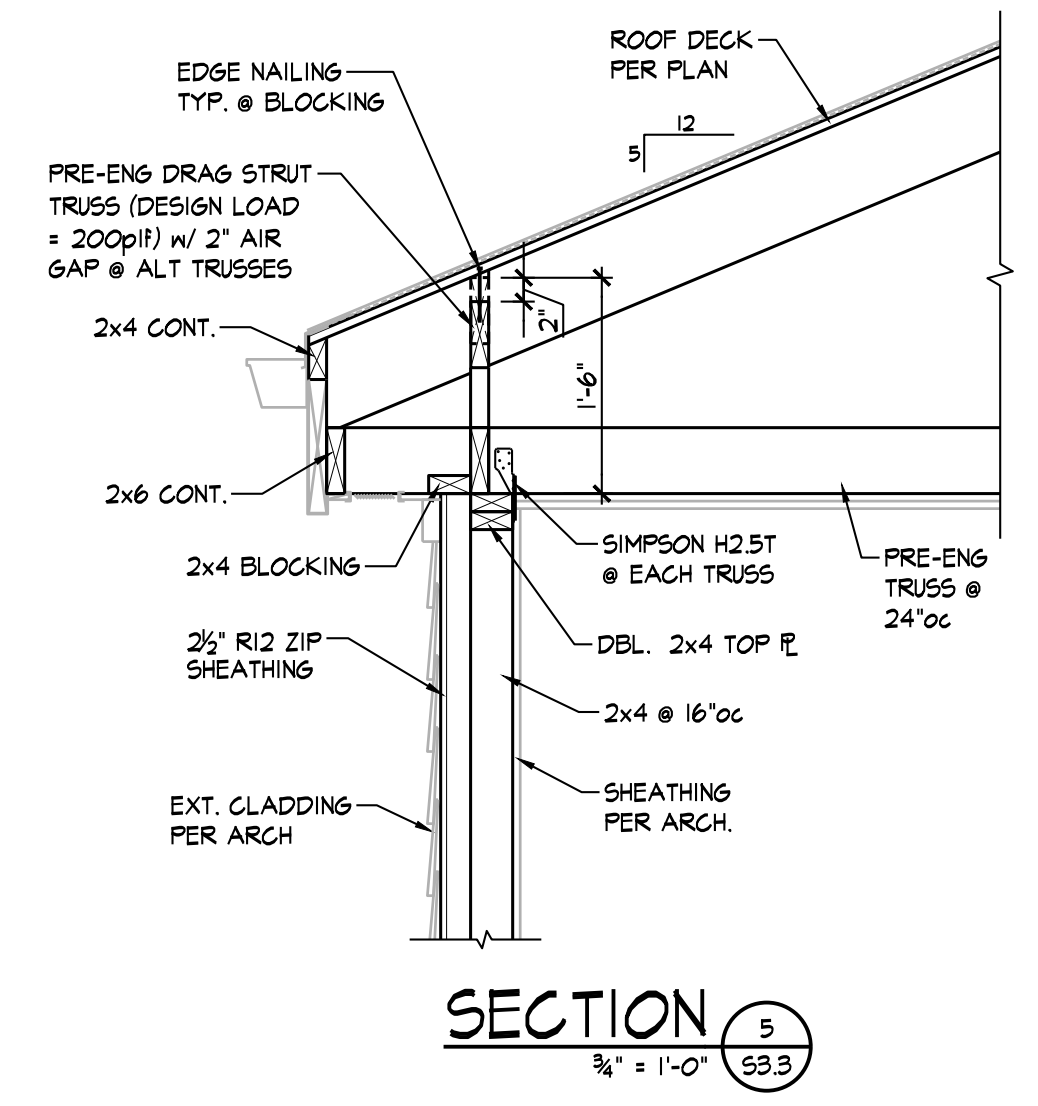
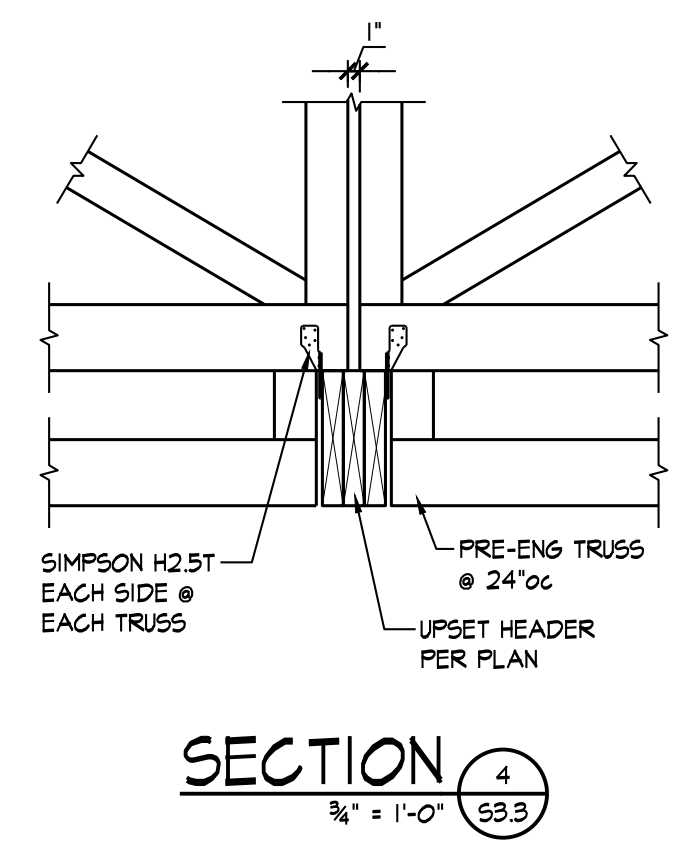
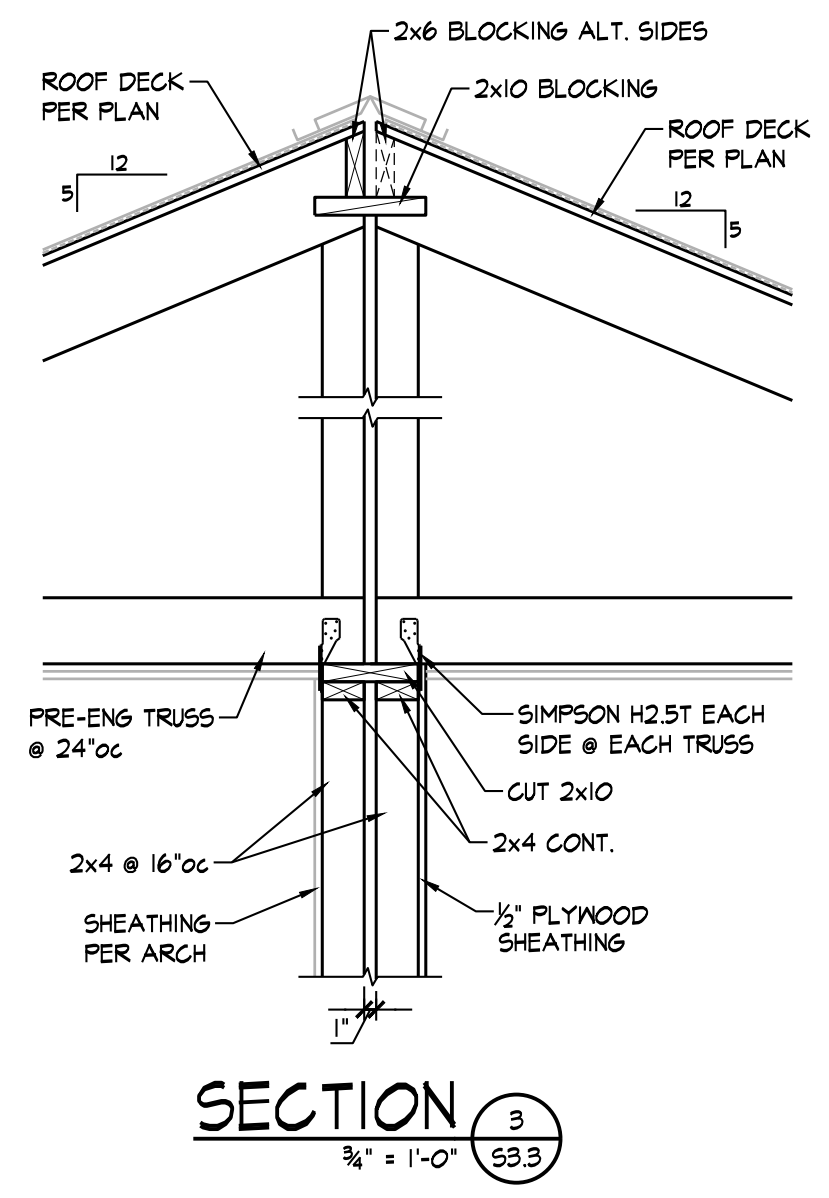
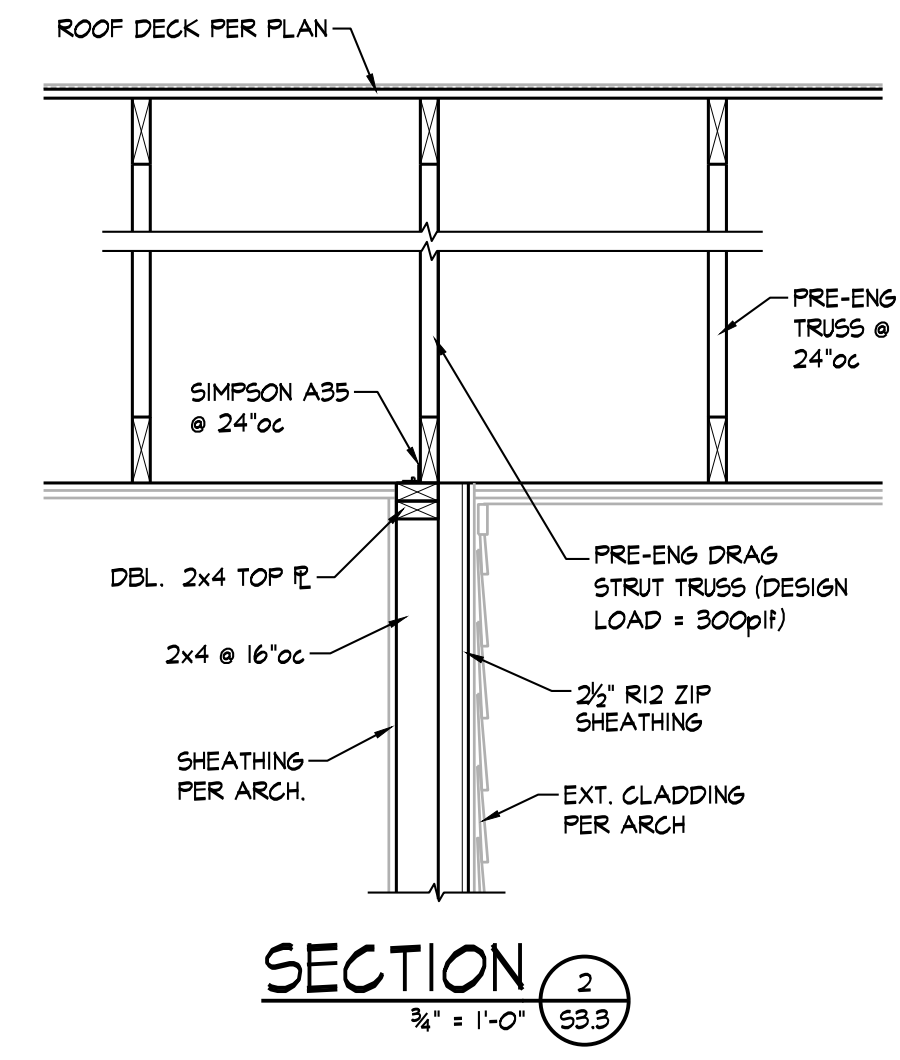
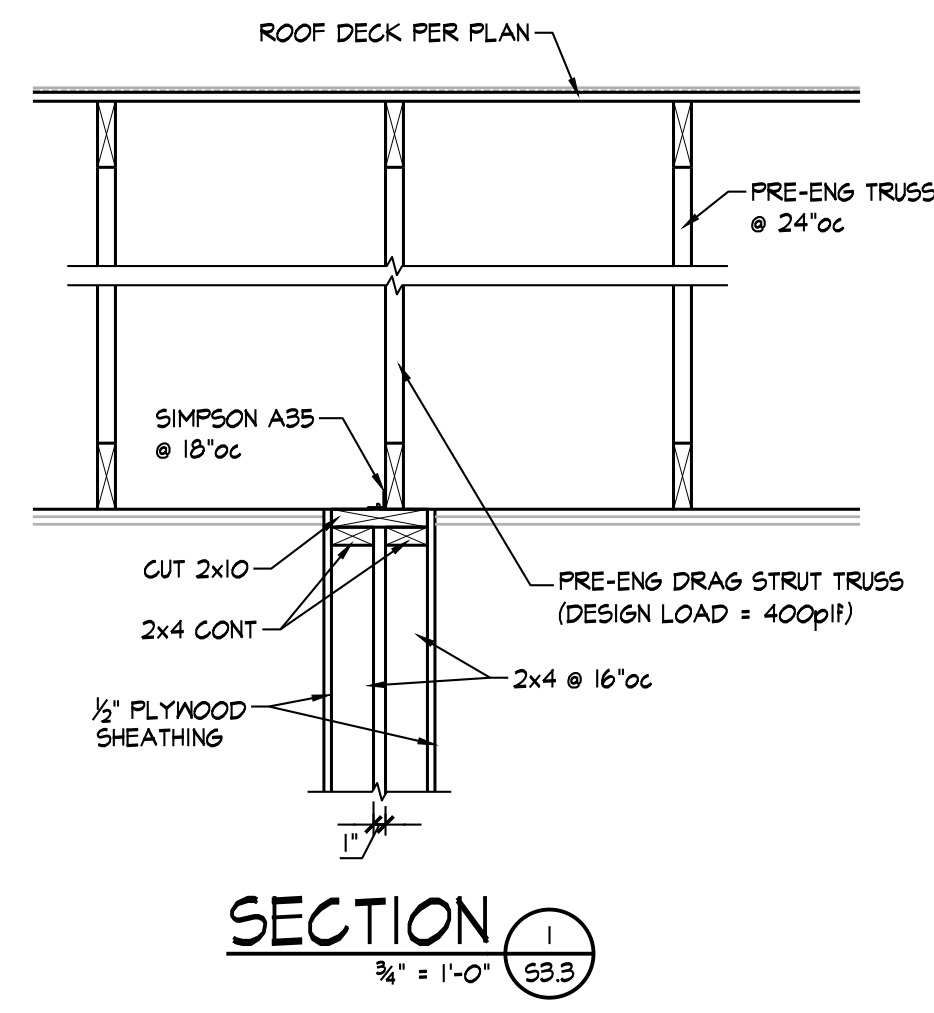
S3.2



RSN: 1762321
Permit #: 23-2396735-CM

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: D Anderson
Date: Feb 20, 2024
2021 INTERNATIONAL CODES & 2023 NEC

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.



RSN: 1762321
Permit #: 23-2396735-CM
City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: D Anderson
Date: Feb 20, 2024
2021 INTERNATIONAL CODES & 2023 NEC

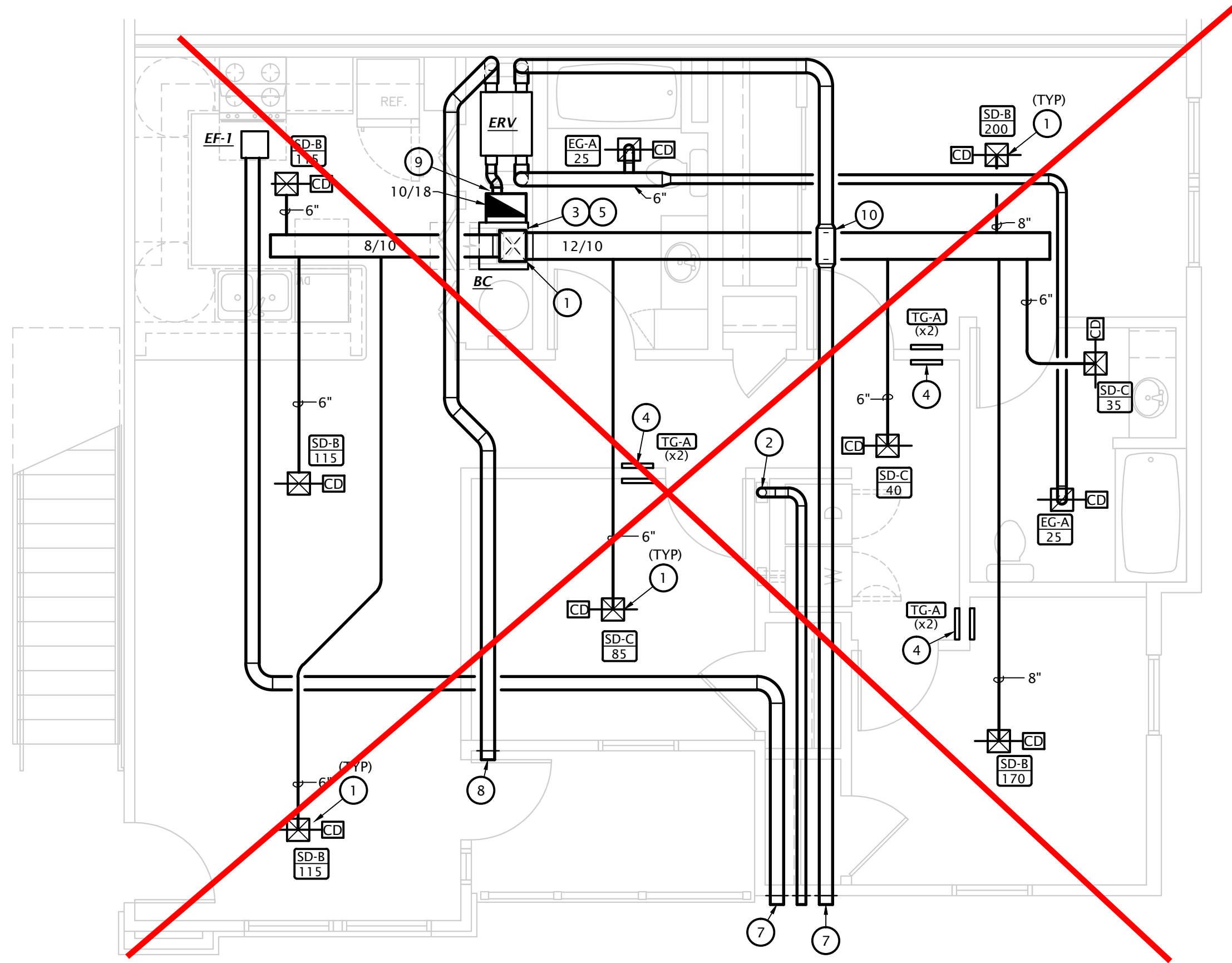
Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.



REVISION:

DATE:	9-20-2023
JOB:	22-3219
SHEET NO.:	

THE RESERVES at EAGLE POINT
AURORA, COLORADO
365 NORTH PICADILLY RD



3 FIRST FLOOR 3 BEDROOM HVAC PLAN
 1/4" = 1'-0"

Code violations that are found during inspection are required to be corrected. Permit issuance does not grant approval of a code violation.

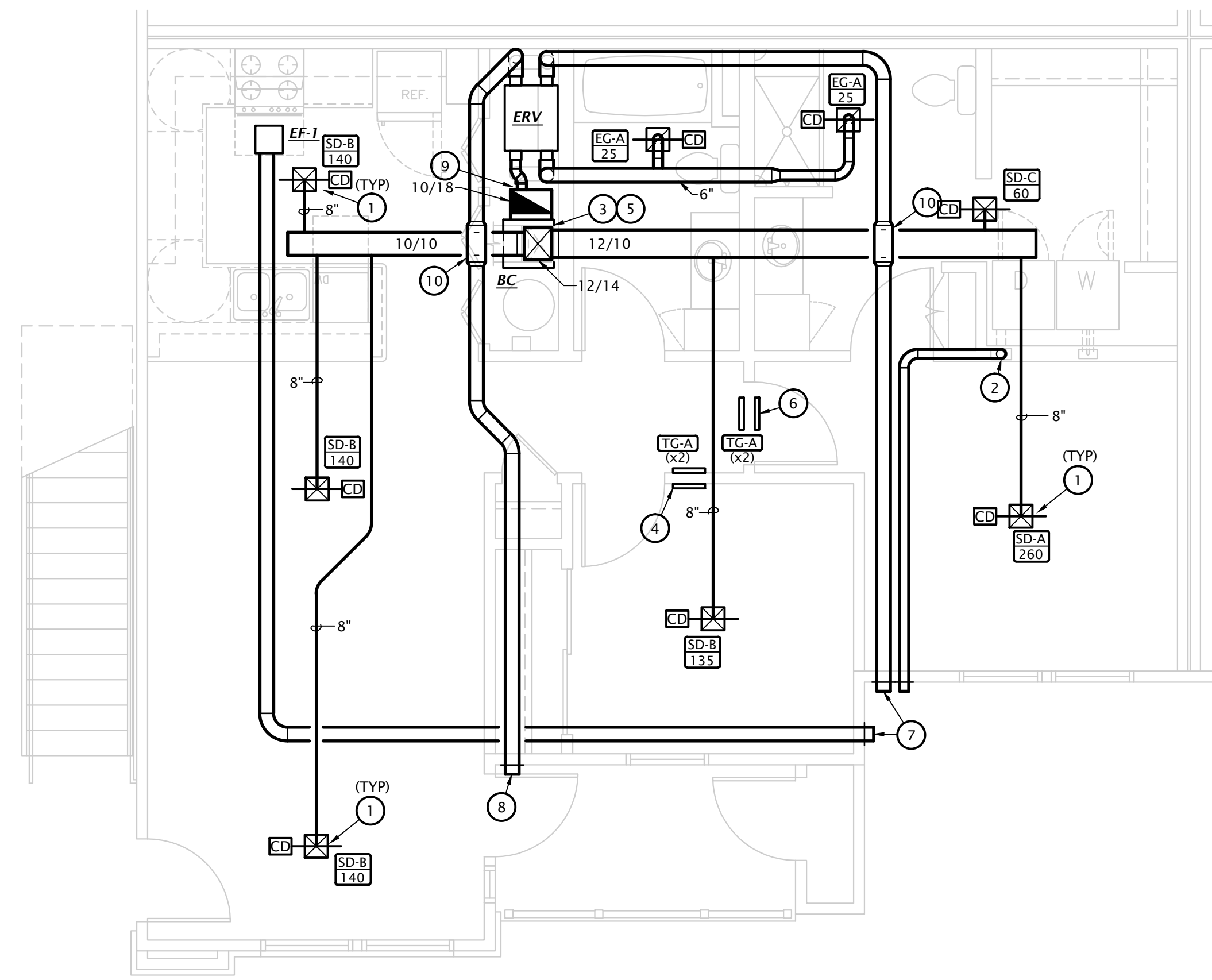
Heating system shall be capable of maintaining 68 degrees F at 3'-0" above the floor.
 2021 IMC R 309.1, IRC 303.10, IBC 1203.1

3-BEDROOM UNIT NOT APPROVED PER THIS PERMIT (TYPICAL).

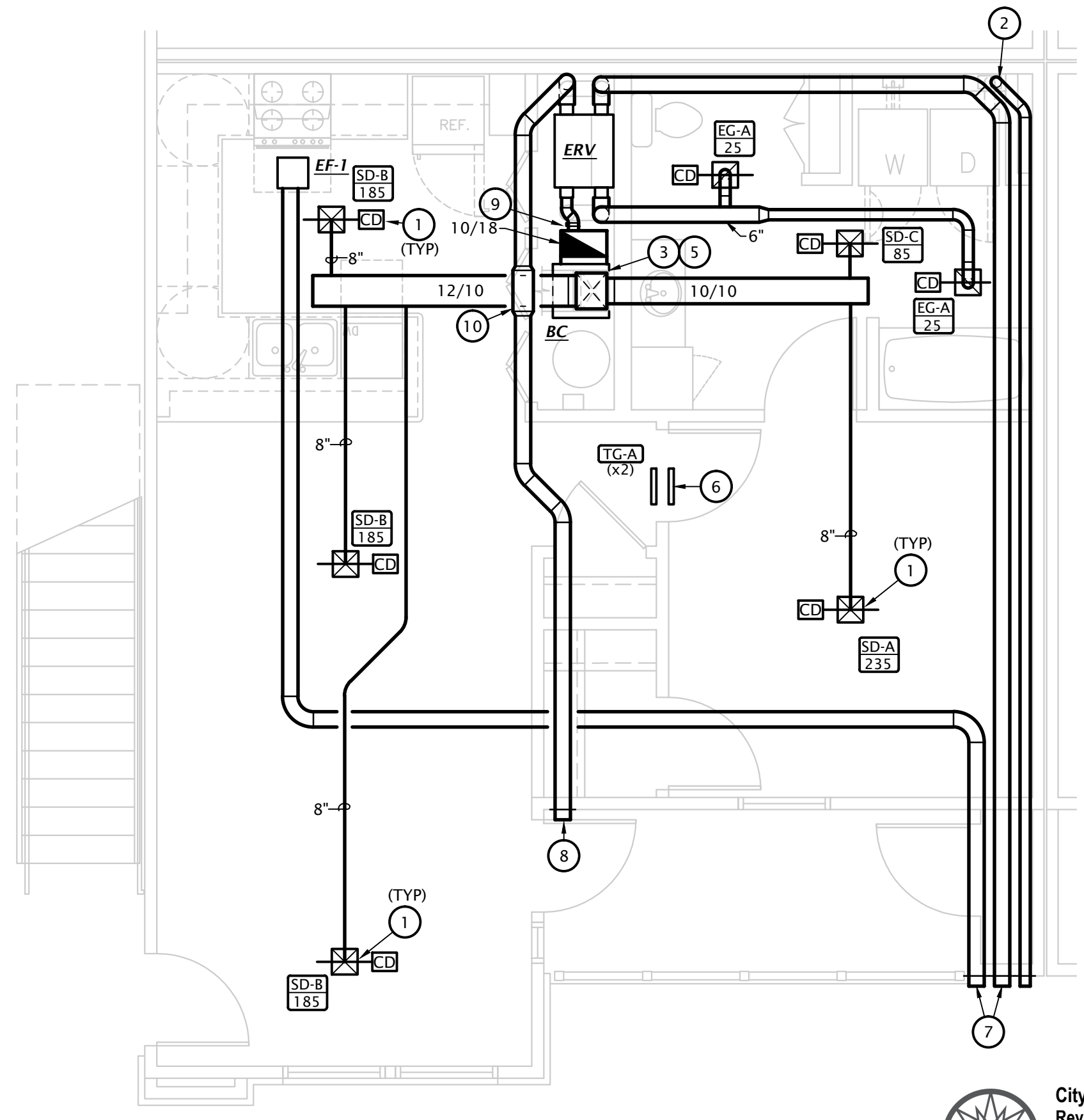
MECHANICAL NOTES BY SYMBOL

- NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.
- PROVIDE ALL SUPPLY AIR PENETRATIONS OF CEILING WITH U.L. LISTED RADIATION DAMPER, GREENHECK CRD OR EQUIVALENT.
 - PROVIDE UL LISTED DRYER BOX EQUAL TO IN-O-VATE TECHNOLOGIES IN WALL INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND ROUTE 4" DRYER EXHAUST DUCT TO WALL CAP WITH BACKDRAFT DAMPER. MANUFACTURER'S MAXIMUM ALLOWABLE DUCT LENGTH = 45' WITH TWO 90° ELBOW. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED. PROVIDE PERMANENT LABEL IDENTIFYING EQUIVALENT LENGTH OF DRYER DUCT INSTALLED PER IMC 504.
 NOTE: ANNUAL SPACE AROUND DUCT IS TO BE SEALED AT ALL PENETRATIONS OF FLOORS AND CEILINGS WITH U.L. LISTED FIRE STOPPING SYSTEM.
 - ROUTE REFRIGERANT PIPING FROM BLOWER COIL TO MATCHING HEAT PUMP CONCEALED ABOVE CEILINGS AND IN WALLS. SEE 'ME' SHEETS FOR HEAT PUMP LOCATIONS.
 - MOUNT TRANSFER GRILLE IN BEDROOM 6" BELOW CEILING AND MOUNT TRANSFER GRILLE ON OPPOSITE SIDE OF WALL 6" ABOVE FINISHED FLOOR. LINE STUD CAVITY WITH SHEET METAL.
 - PROVIDE AUXILIARY DRAIN PAN BELOW BLOWER COIL, AND PIPE OVERFLOW DRAIN TO FLOOR DRAIN.
 - MOUNT RETURN GRILLES ON BOTH SIDES OF WALL. CENTER RETURN GRILLE BETWEEN CEILING AND TOP OF DOOR. PROVIDE TRANSFER DUCT BETWEEN GRILLES.
 - ROUTE 6" EXHAUST DUCT TO WALL CAP WITH BIRD SCREEN AND BACKDRAFT DAMPER.
 - ROUTE 6" OUTDOOR AIR INTAKE TO WALL CAP WITH BIRD SCREEN. ENSURE OUTDOOR AIR INTAKE IS A MINIMUM OF 10'-0" FROM EXHAUST TERMINATIONS.
 - CONNECT 6" SUPPLY AIR FROM 'ERV' TO RETURN AIR DUCT. PROVIDE BALANCING DAMPERS AND BALANCE AS INDICATED ON PLANS, SEE DETAIL 1:M6.1 FOR MORE INFORMATION.
 - TRANSITION FROM 6" DUCT TO 8"x4" BACK TO 6" DUCT TO CROSS 10" DEEP DUCT.

- NOTES:
- ALL PENETRATIONS OF APARTMENT AIR BARRIERS SHALL BE SEALED TO MAINTAIN INTEGRITY OF AIR BARRIER. COORDINATE WITH G.C.
 - ALL DUCTWORK SHALL BE SEALED PER ENERGY STAR REQUIREMENTS. COORDINATE REQUIREMENTS WITH ENERGY RATER.
 - DUCTWORK AT SUPPLY, RETURN, AND TRANSFER AIR REGISTERS SHALL BE SEALED TO FLOOR, WALL, OR CEILING USING HVAC TAPE.

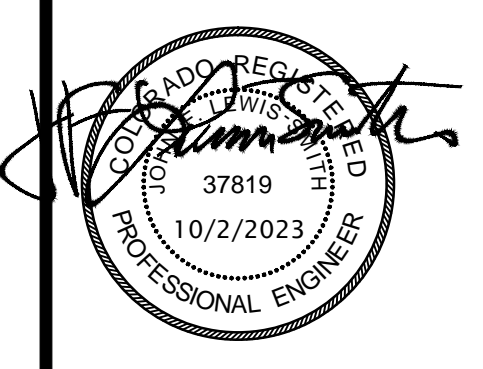


2 FIRST FLOOR 2 BEDROOM HVAC PLAN
 1/4" = 1'-0"



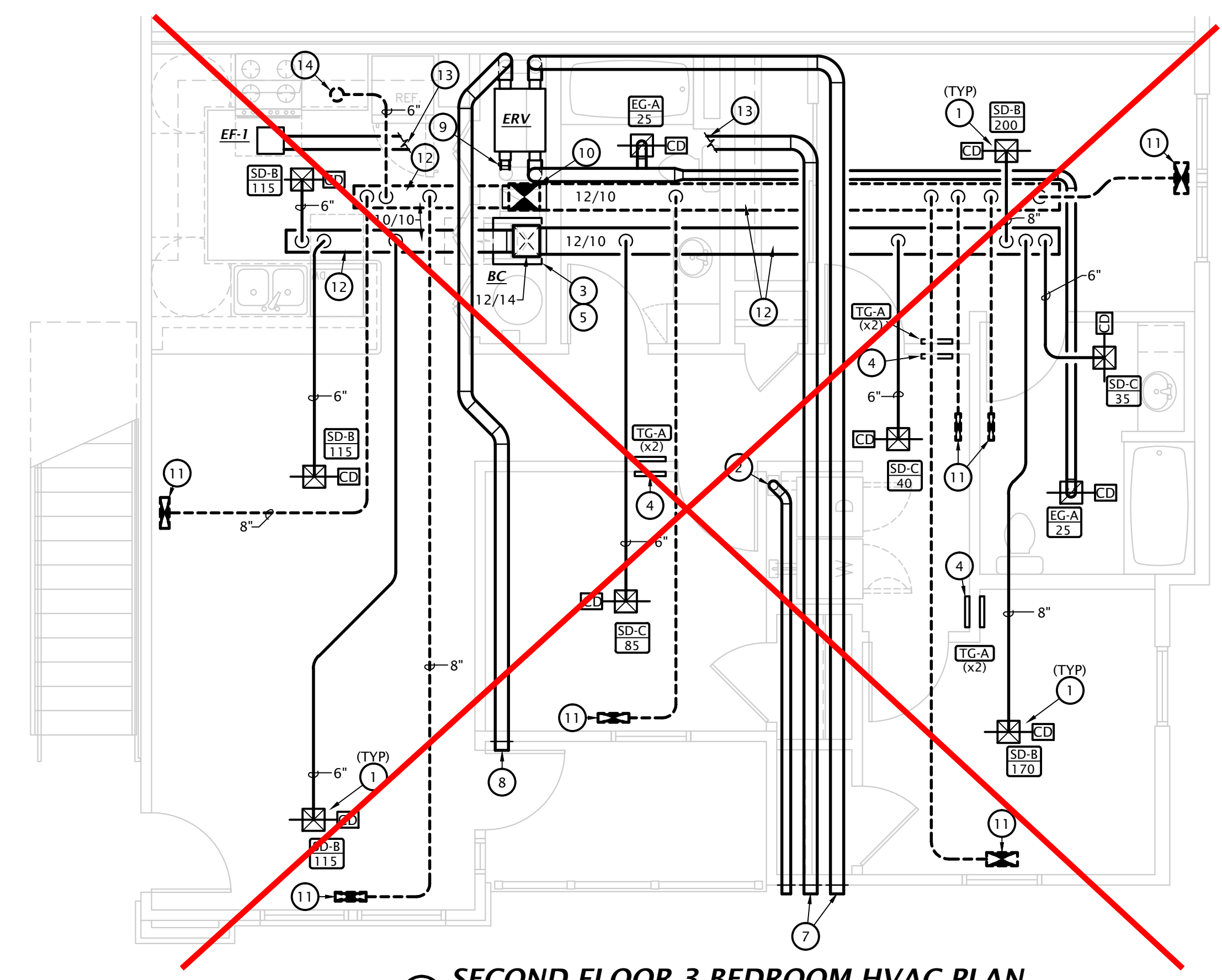
1 FIRST FLOOR 1 BEDROOM HVAC PLAN
 1/4" = 1'-0"

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Nov 17, 2023**
 2021 INTERNATIONAL CODES & 2023 NEC

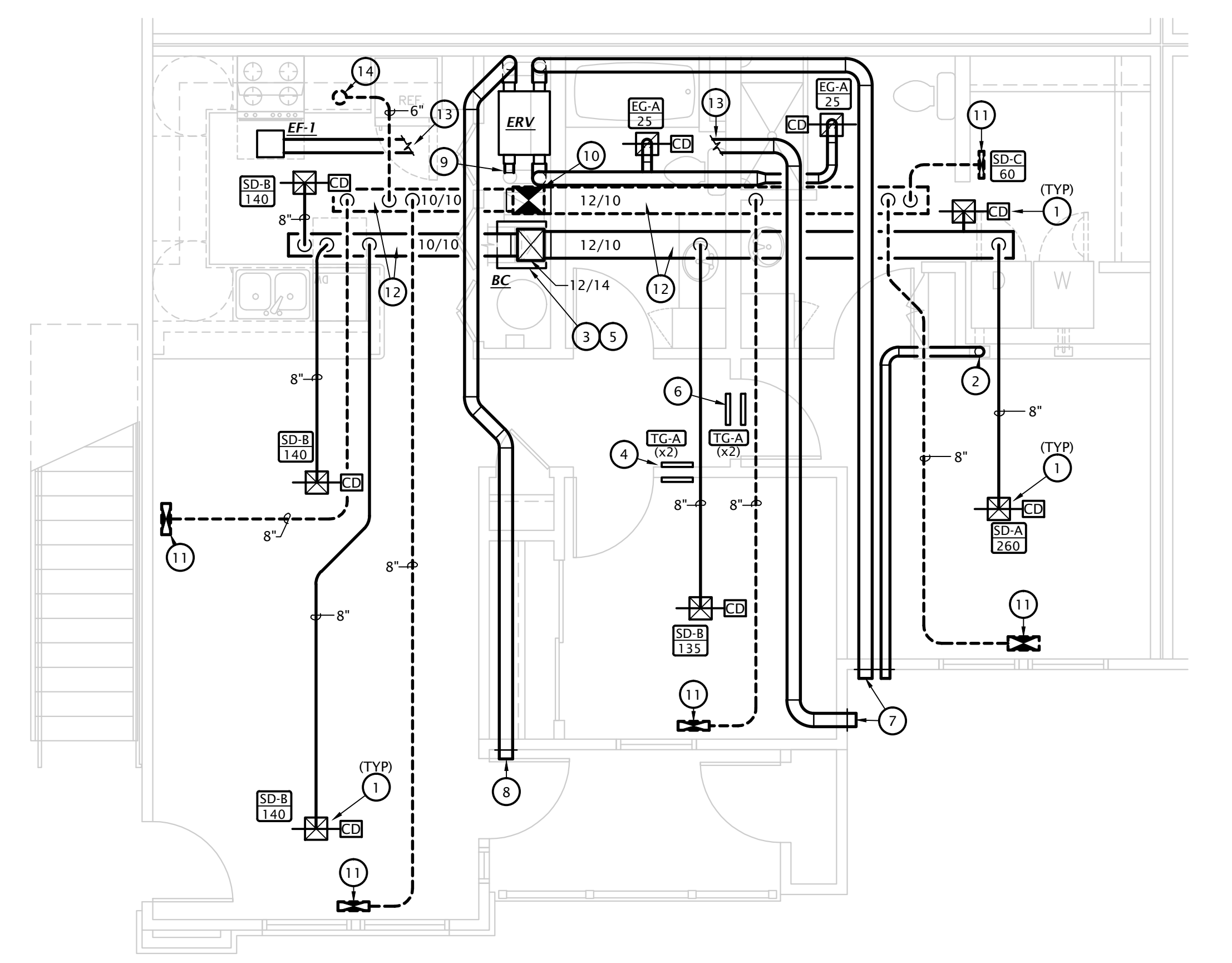


REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

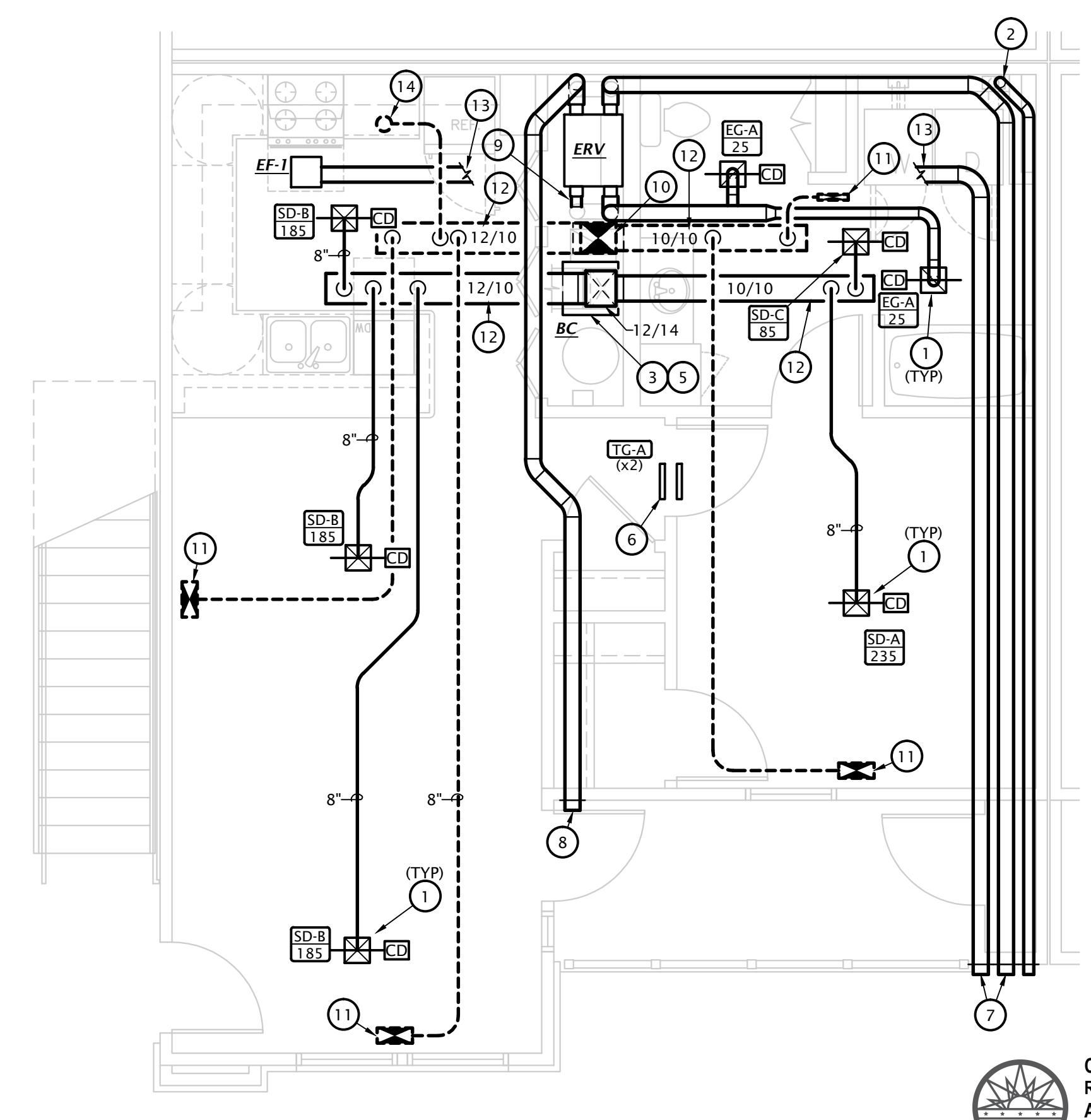
M4.1



3 SECOND FLOOR 3 BEDROOM HVAC PLAN
 1/4" = 1'-0"



2 SECOND FLOOR 2 BEDROOM HVAC PLAN
 1/4" = 1'-0"



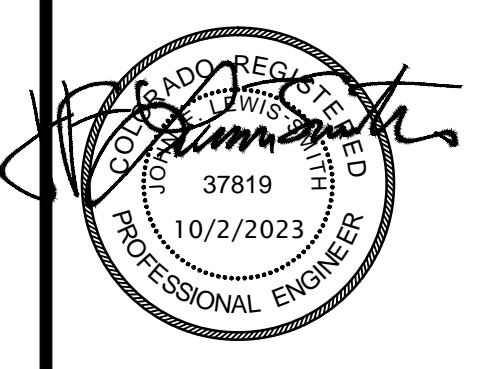
1 SECOND FLOOR 1 BEDROOM HVAC PLAN
 1/4" = 1'-0"

NOTES:

- ALL PENETRATIONS OF APARTMENT AIR BARRIERS SHALL BE SEALED TO MAINTAIN INTEGRITY OF AIR BARRIER. COORDINATE WITH G.C.
- ALL DUCTWORK SHALL BE SEALED PER ENERGY STAR REQUIREMENTS. COORDINATE REQUIREMENTS WITH ENERGY RATER.
- DUCTWORK AT SUPPLY, RETURN, AND TRANSFER AIR REGISTERS SHALL BE SEALED TO FLOOR, WALL, OR CEILING USING HVAC TAPE.
- ENSURE ACCESS POINTS ARE PROVIDED FOR MEASUREMENT OF OUTDOOR AIR QUANTITIES AND ACCESSIBLE TO ENERGY RATER. COORDINATE WITH G.C. AND ENERGY RATER.

- MECHANICAL NOTES BY SYMBOL**
- NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.
1. PROVIDE ALL SUPPLY AIR PENETRATIONS OF CEILING WITH U.L. LISTED RADIATION DAMPER, GREENHECK CRD OR EQUIVALENT.
 2. PROVIDE UL LISTED DRYER BOX EQUAL TO IN-O-VATE TECHNOLOGIES IN WALL INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND ROUTE 4"Ø DRYER EXHAUST DUCT TO WALL CAP WITH BACKDRAFT DAMPER. MANUFACTURER'S MAXIMUM ALLOWABLE DUCT LENGTH = 45' WITH TWO 90° ELBOW. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED. PROVIDE PERMANENT LABEL IDENTIFYING EQUIVALENT LENGTH OF DRYER DUCT INSTALLED PER IMC 504. PROVIDE APPLIANCE CUT SHEET TO ENGINEER FOR REVIEW.
 NOTE: ANNUAL SPACE AROUND DUCT IS TO BE SEALED AT ALL PENETRATIONS OF FLOORS AND CEILINGS WITH U.L. LISTED FIRE STOPPING SYSTEM.
 3. ROUTE REFRIGERANT PIPING FROM BLOWER COIL TO MATCHING HEAT PUMP CONCEALED ABOVE CEILINGS AND IN WALLS. SEE 'ME' SHEETS FOR HEAT PUMP LOCATIONS.
 4. MOUNT TRANSFER GRILLE IN BEDROOM 6" BELOW CEILING AND MOUNT TRANSFER GRILLE ON OPPOSITE SIDE OF WALL 6" ABOVE FINISHED FLOOR. LINE STUD CAVITY WITH SHEET METAL.
 5. PROVIDE AUXILIARY DRAIN PAN BELOW BLOWER COIL, AND PIPE OVERFLOW DRAIN TO FLOOR DRAIN.
 6. MOUNT RETURN GRILLES ON BOTH SIDES OF WALL. CENTER RETURN GRILLE BETWEEN CEILING AND TOP OF DOOR. PROVIDE TRANSFER DUCT BETWEEN GRILLES.
 7. ROUTE 6"Ø EXHAUST DUCT TO WALL CAP WITH BIRD SCREEN AND BACKDRAFT DAMPER.
 8. ROUTE 6"Ø OUTDOOR AIR INTAKE TO WALL CAP WITH BIRD SCREEN. ENSURE OUTDOOR AIR INTAKE IS A MINIMUM OF 10'-0" FROM EXHAUST TERMINATIONS.
 9. CONNECT 6"Ø SUPPLY AIR FROM 'ERV' TO RETURN AIR DUCT. PROVIDE BALANCING DAMPERS AND BALANCE AS INDICATED ON PLANS, SEE DETAIL 1-M6.1 FOR MORE INFORMATION.
 10. DUCTWORK FROM FLOOR ABOVE. SEE SHEET M4.3.
 11. DUCTWORK ROUTE UP TO SUPPLY GRILLE AT FLOOR ABOVE.
 12. DUCT TO BE ROUTED IN LOWERED CEILING. COORDINATE EXACT REQUIREMENTS WITH ARCHITECT.
 13. ROUTE KITCHEN EXHAUST DUCT THROUGH JOIST SPACE.
 14. UP TO FLOOR ABOVE, SEE THIRD FLOOR PLAN FOR CONTINUATION.

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Nov 17, 2023**
 2021 INTERNATIONAL CODES & 2023 NEC



REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

M4.2

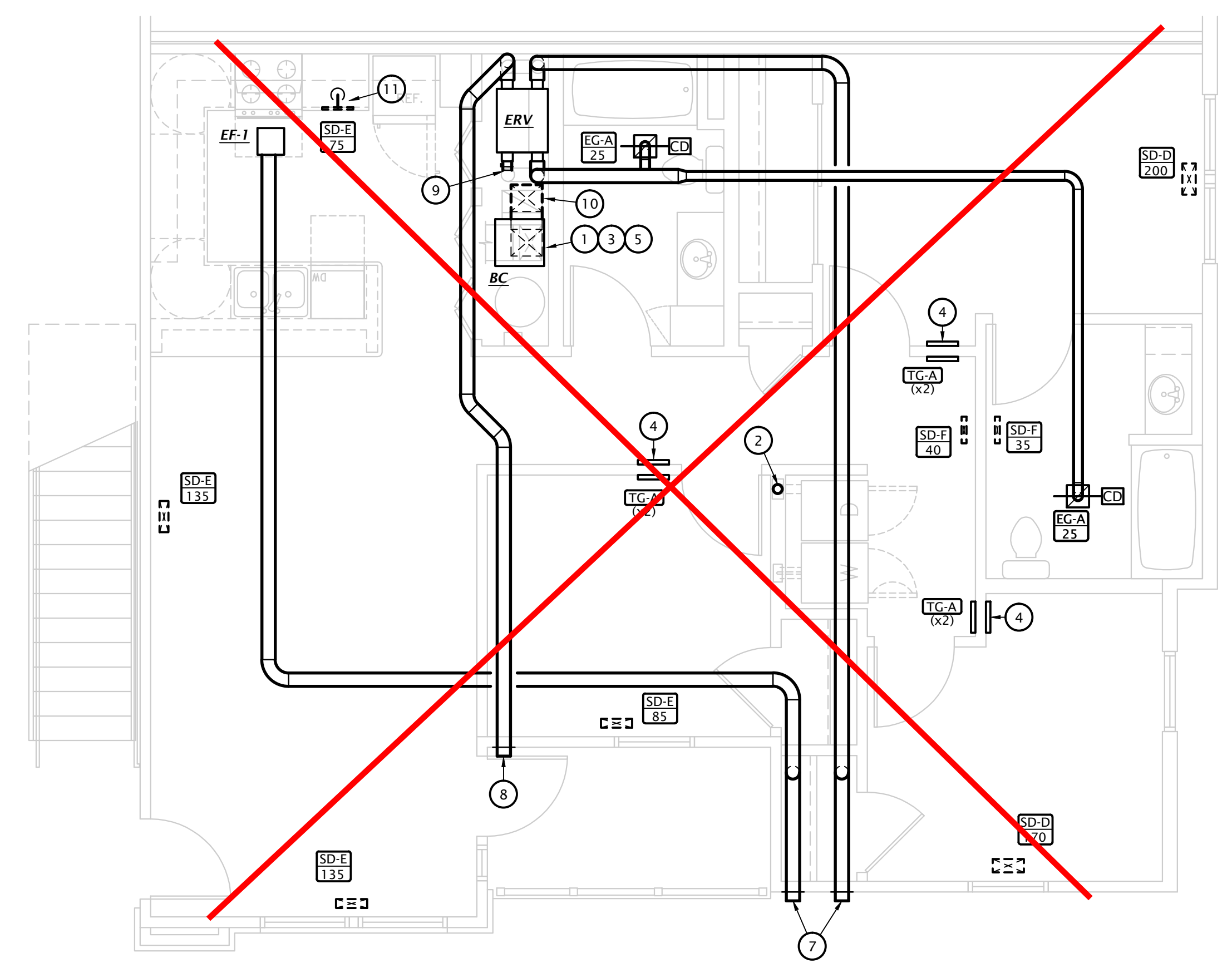


REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

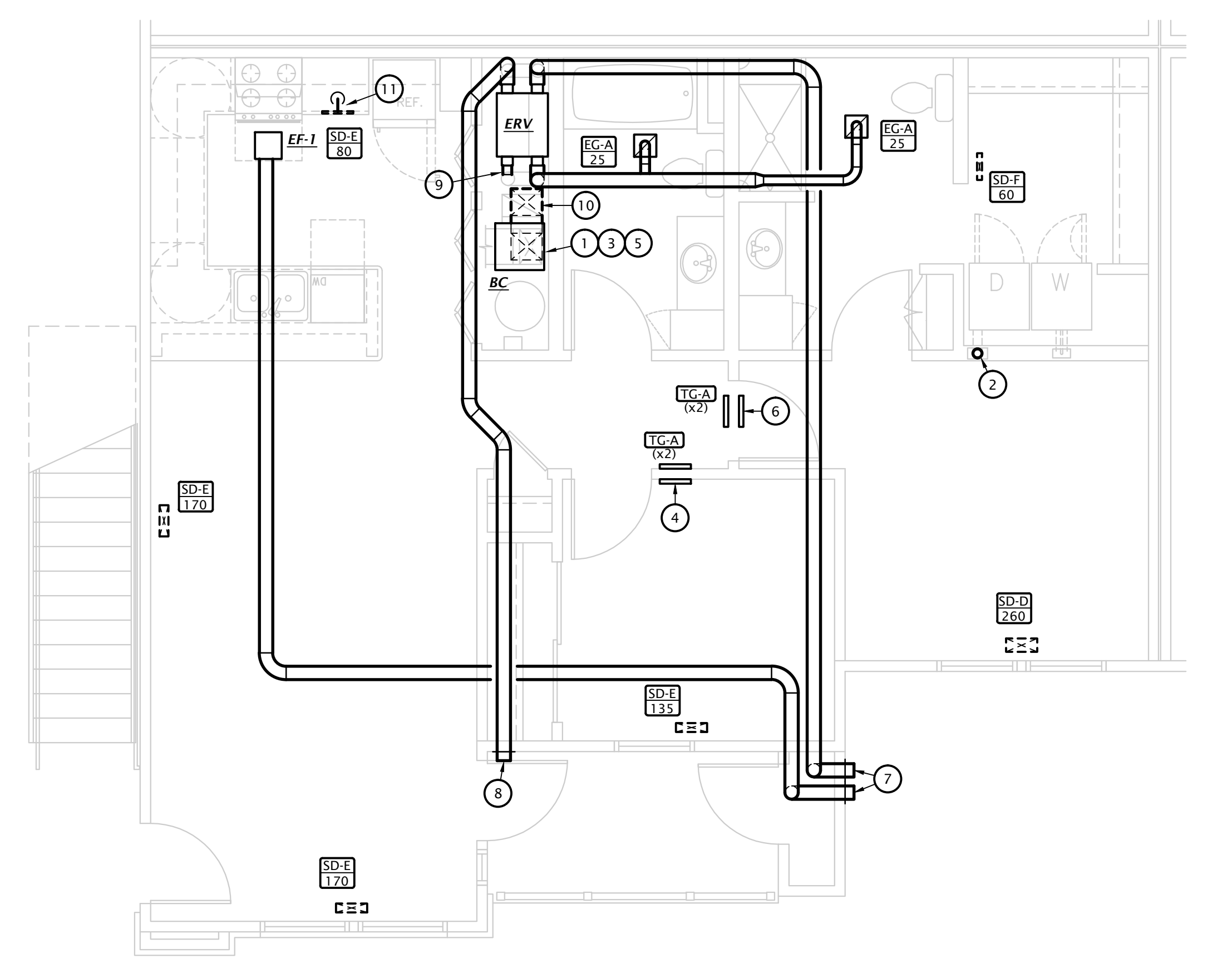
MECHANICAL NOTES BY SYMBOL

- NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.
- PROVIDE BLOWER COIL WITH CONDENSATE OVERFLOW SHUTDOWN SWITCH.
 - PROVIDE UL LISTED DRYER BOX EQUAL TO IN-O-VATE TECHNOLOGIES IN WALL INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND ROUTE 4" DRYER EXHAUST DUCT BELOW FLOOR TO WALL CAP WITH BACKDRAFT DAMPER. MANUFACTURER'S MAXIMUM ALLOWABLE DUCT LENGTH = 45' WITH TWO 90° ELBOW. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED. PROVIDE PERMANENT LABEL IDENTIFYING EQUIVALENT LENGTH OF DRYER DUCT INSTALLED PER IMC 504.
 - NOTE: ANNULAR SPACE AROUND DUCT IS TO BE SEALED AT ALL PENETRATIONS OF FLOORS AND CEILINGS WITH U.L. LISTED FIRE STOPPING SYSTEM.
 - ROUTE REFRIGERANT PIPING FROM BLOWER COIL TO MATCHING HEAT PUMP CONCEALED ABOVE CEILINGS AND IN WALLS. SEE 'ME' SHEETS FOR HEAT PUMP LOCATIONS.
 - MOUNT TRANSFER GRILLE IN BEDROOM 6" BELOW CEILING AND MOUNT TRANSFER GRILLE ON OPPOSITE SIDE OF WALL 6" ABOVE FINISHED FLOOR. LINE STUD CAVITY WITH SHEET METAL.
 - BLOWER COIL TO BE DOWNFLOW TYPE. SEE M4.2 FOR SUPPLY DUCT ROUTING.
 - MOUNT RETURN GRILLES ON BOTH SIDES OF WALL. CENTER RETURN GRILLE BETWEEN CEILING AND TOP OF DOOR. PROVIDE TRANSFER DUCT BETWEEN GRILLES.
 - ROUTE 6" EXHAUST DUCT TO WALL CAP WITH BIRD SCREEN AND BACKDRAFT DAMPER.
 - ROUTE 6" OUTDOOR AIR INTAKE TO SOFFIT VENT WITH BIRD SCREEN. ENSURE OUTDOOR AIR INTAKE IS A MINIMUM OF 10'-0" FROM EXHAUST TERMINATIONS.
 - CONNECT 6" SUPPLY AIR FROM 'ERV' TO RETURN AIR DUCT. PROVIDE BALANCING DAMPERS AND BALANCE AS INDICATED ON PLANS. SEE DETAIL 1.M6.1 FOR MORE INFORMATION.
 - DUCT TO FLOOR BELOW. SEE SECOND FLOOR PLANS FOR CONTINUATION.
 - MAKE TRANSITION FROM 6" DUCT FROM BELOW TO 14"x2" SUPPLY GRILLE IN TOE KICK.

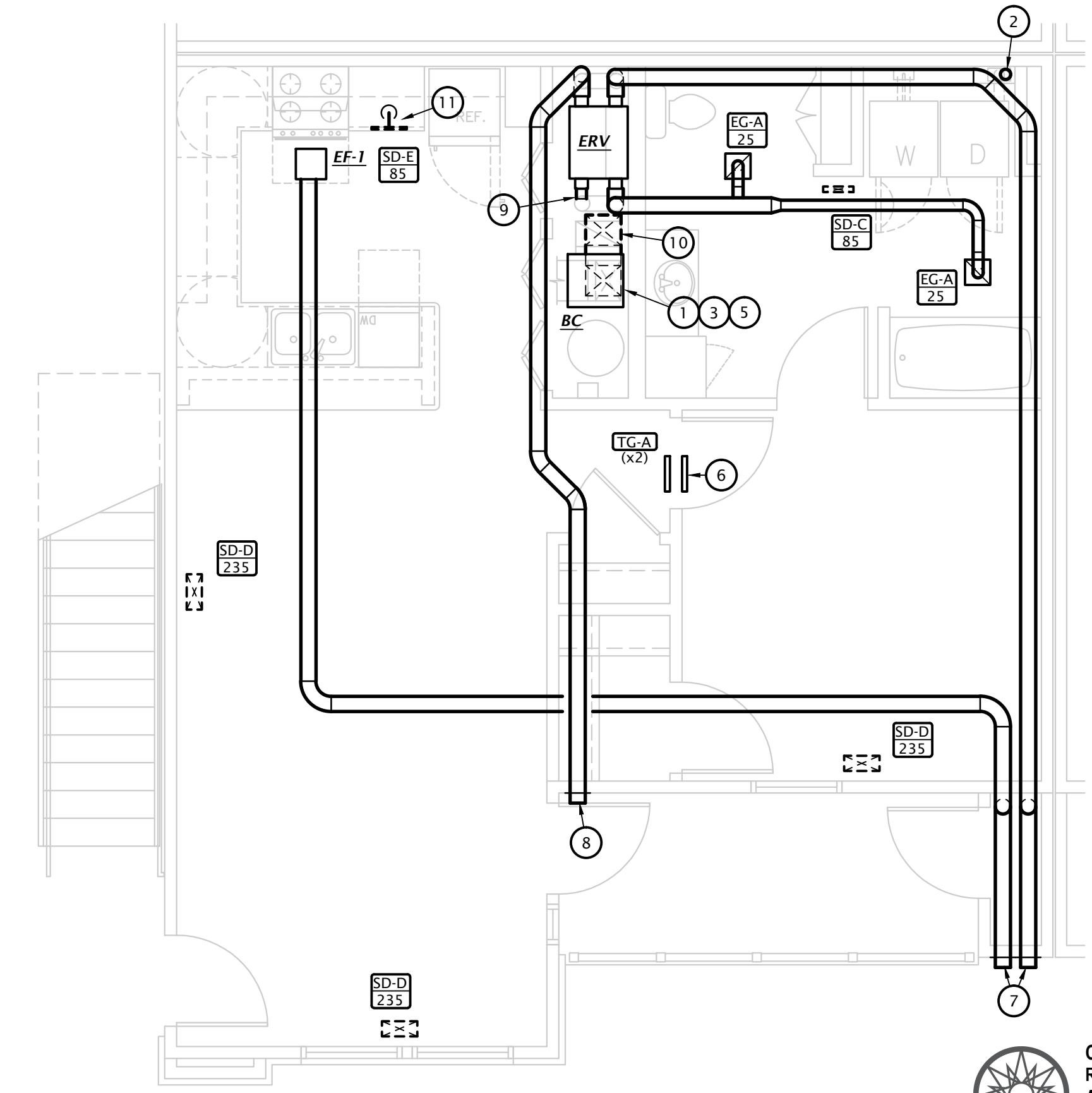
- NOTES:
- ALL PENETRATIONS OF APARTMENT AIR BARRIERS SHALL BE SEALED TO MAINTAIN INTEGRITY OF AIR BARRIER. COORDINATE WITH G.C.
 - ALL DUCTWORK SHALL BE SEALED PER ENERGY STAR REQUIREMENTS. COORDINATE REQUIREMENTS WITH ENERGY RATER.
 - DUCTWORK AT SUPPLY, RETURN, AND TRANSFER AIR REGISTERS SHALL BE SEALED TO FLOOR, WALL, OR CEILING USING HVAC TAPE.



3 THIRD FLOOR 3 BEDROOM HVAC PLAN
 1/4" = 1'-0"

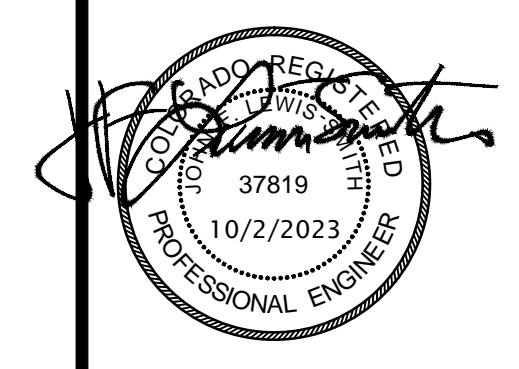


2 THIRD FLOOR 2 BEDROOM HVAC PLAN
 1/4" = 1'-0"



1 THIRD FLOOR 1 BEDROOM HVAC PLAN
 1/4" = 1'-0"

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Nov 17, 2023**
 2021 INTERNATIONAL CODES & 2023 NEC



EXHAUST FAN SCHEDULE

MARK	MANUFACTURER	MODEL	CFM	ESP (\"wg)	POWER	VOLTS/PHASE	NOTES
EF-1	BROAN	QTXE1100150DC	110	0.45"	21 W	120 / 1	1,2,3,4,5,6

- NOTES:
1. Fixture shall be Energy Star listed.
 2. Fixture shall operate at 1 SONE
 3. Provide with integral disconnect.
 4. Provide manufacturer's wall cap or roof rack, see plans.
 5. Provide integral backdraft damper.
 6. Provide with manufacturer's ceiling radiation damper. Omit radiation dampers where rated ceilings are not present, coordinate with Arch.

MECHANICAL SYMBOLS

	THERMOSTAT
	SQUARE SUPPLY DIFFUSER - TYPE AND AIRFLOW INDICATED
	SQUARE RETURN GRILLE - TYPE INDICATED
	MANUAL BALANCING DAMPER
	FLEXIBLE DUCTWORK - MAX. 5'
	DIFFUSER DESIGNATION AIRFLOW INDICATED
	RECTANGULAR RETURN OR RELIEF AIR DUCT UP
	RECTANGULAR SUPPLY AIR DUCT UP
	RECTANGULAR SUPPLY AIR DUCT DOWN
	RECTANGULAR RETURN OR EXHAUST AIR DUCT DOWN
	WALL DIFFUSER
	ROUND DUCT UP
	PIPE TURNING UP
	PIPE TURNING DOWN
	REFRIGERANT LIQUID
	REFRIGERANT SUCTION
	CEILING RADIATION DAMPER
	CONTROL CABLE, VERIFY TYPE WITH EQUIPMENT MANUFACTURER

AIR DEVICE SCHEDULE

MARK	MANUFACTURER	MODEL	FACE SIZE	NECK SIZE
SD-A	HART □ COOLEY	621	12"x12"	SEE PLANS
SD-B	HART □ COOLEY	621	10"x10"	SEE PLANS
SD-C	HART □ COOLEY	621	8"x8"	SEE PLANS
SD-D	HART □ COOLEY	411	14"x6"	SEE PLANS
SD-E	HART □ COOLEY	411	14"x4"	SEE PLANS
SD-F	HART □ COOLEY	411	14"x2-1/4"	SEE PLANS
SD-G	HART □ COOLEY	420	14"x2"	SEE PLANS
EG-A	HART □ COOLEY	650	8"x8"	SEE PLANS
TG-A	HART □ COOLEY	650	14"x12"	SEE PLANS

HEAT PUMP SCHEDULE

MARK	MANUF.	MODEL	NOMINAL TONS	COOLING CAPACITY				HEATING CAPACITY			MIN HSPF	ELECTRICAL			
				OA DB	ENT AIR DB/WB	SENS MBH	TOT MBH	MIN SEER	OA DB	ENT AIR DB		TOT MBH	MCA	MOCP	V/PH
HP	MITSUBISHI	TRUZH0241HA10NA	2	93	75/62	17.14	17.86	16	43	70	18.62	9.5	17	25	208/1

- Notes:
1. Refrigerant lines shall be field fabricated. Coordinate line sizing requirements with equipment manufacturer for length of run for each apartment. Provide suction accumulators, etc. as required.
 2. Verify minimum energy rating requirements with local AHJ.
 3. Provide 7-day programmable thermostat.
 4. Provide with R140a refrigerant.
 5. Provide 2 sets of MERV-7 filters.

BLOWER COIL SCHEDULE

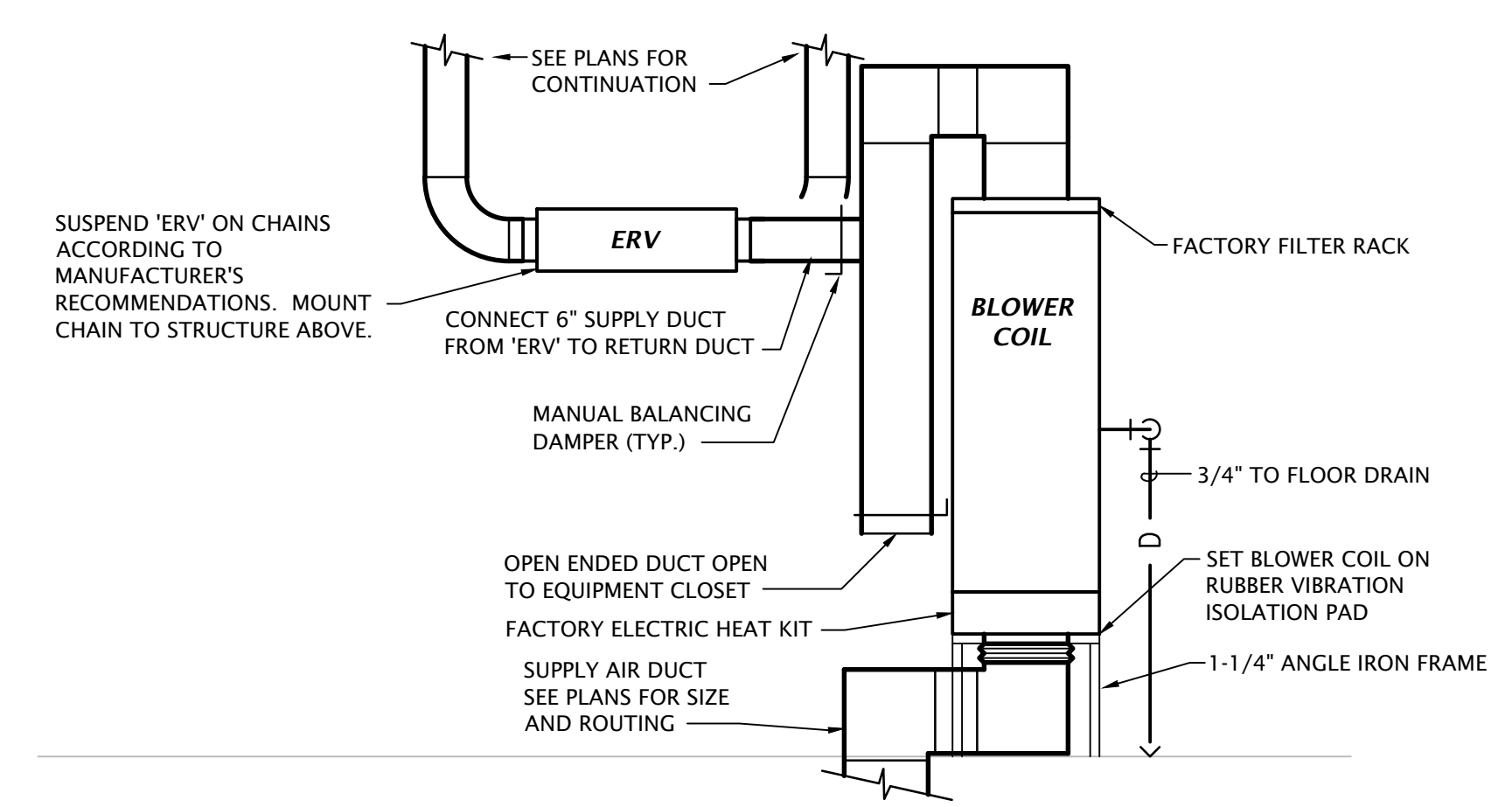
MARK	MANUF.	MODEL	CFM	ESP	SPEED	HEATING KW	V/Ph	MOTOR FLA	MCA	MOCP

- General Notes:
- Single point connection required, coordinate the exact electrical requirements of equipment provided with E.C., UNO
 - Electric heater shall not operate simultaneously with heat pump. Electric heater shall be used as back-up heat only.
 - Blower coil shall be powered from Electric Heat Kit, provide Seperate Power Kit. Coordinate exact requirements with equipment manufacturer.

ENERGY RECOVERY VENTILATOR SCHEDULE

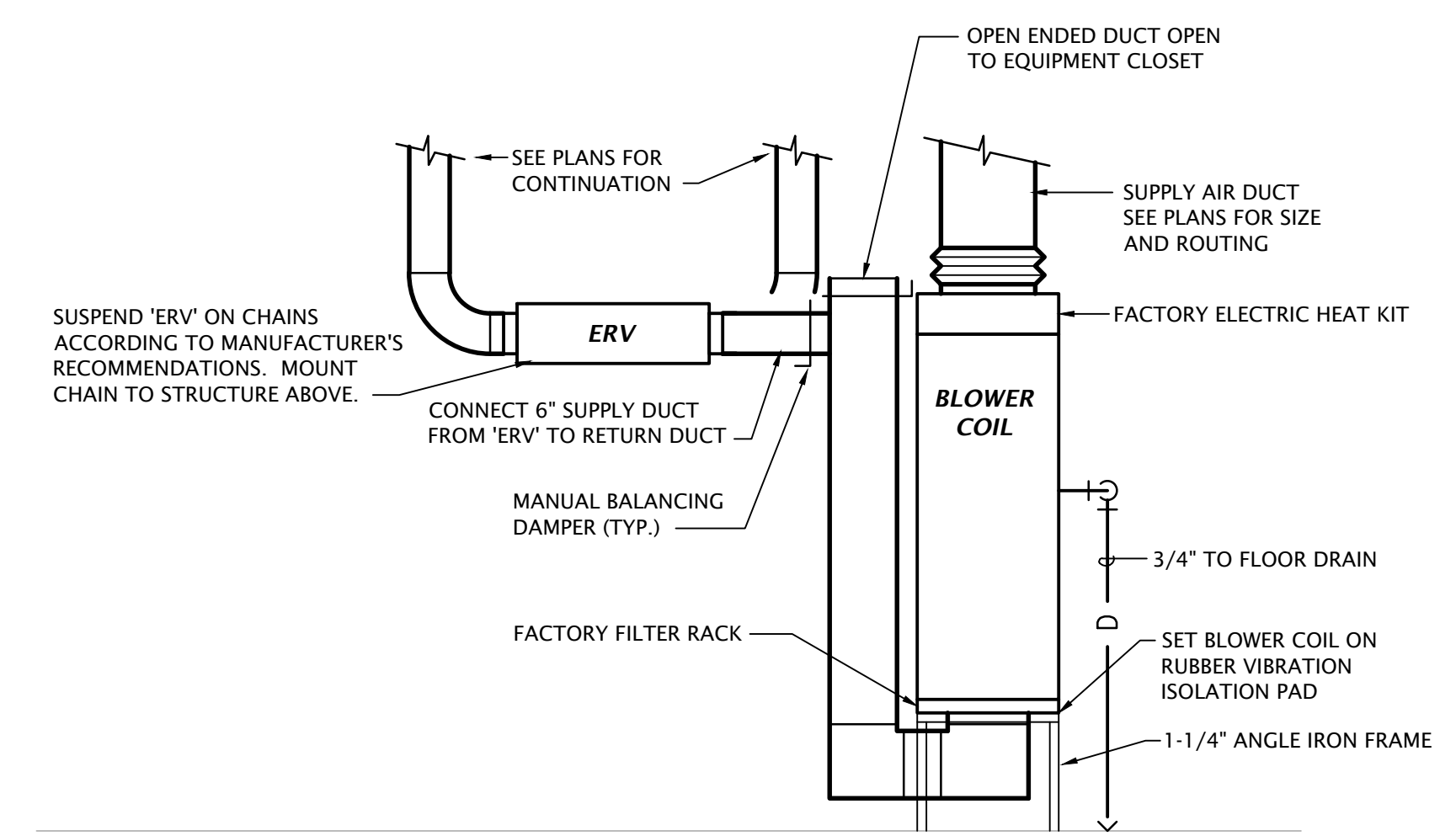
MARK	MANUFACTURER	MODEL NUMBER	TYPE	AIRFLOW		E.S.P. (\"W.C.)	MOTOR (W)		FILTERS	MCA	MOCP	VOLTAGE/PHASE	WEIGHT (LBS.)
				SUPPLY	EXHAUST		SUPPLY	EXHAUST					
ERV	PANASONIC	FV-10VEC2	ENTHALPY STATIC PLATE	50	50	0.4	29	N/A	SA: MERV 8 EA: MERV 8	0.75	15	120V/1 PH	57

- NOTES:
1. ERV FANS TO HAVE A MINIMUM EFFICACY OF 1.2 CFM/WATT PER 2021 IECC.



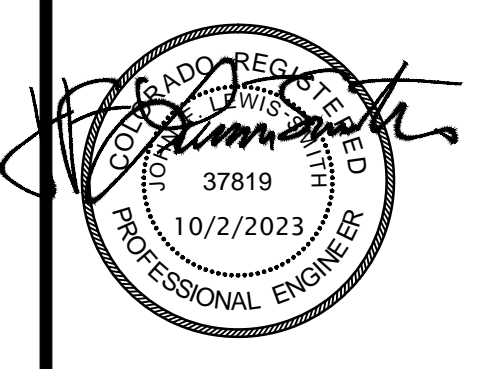
2 APARTMENT BLOWER COIL DETAIL (3RD FLOOR)

NO SCALE



1 APARTMENT BLOWER COIL DETAIL (1ST AND 2ND FLOORS)

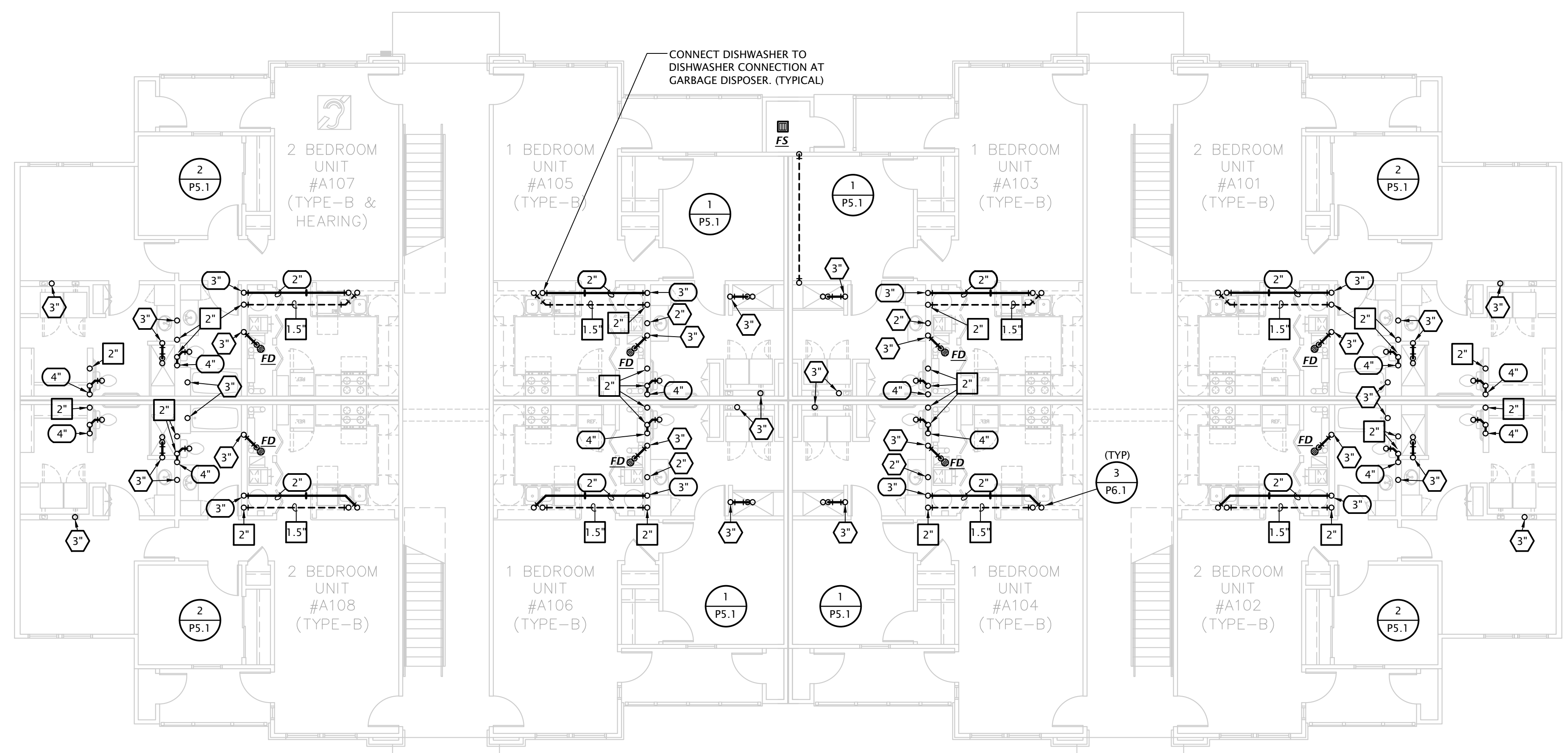
NO SCALE



REVISION:

DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

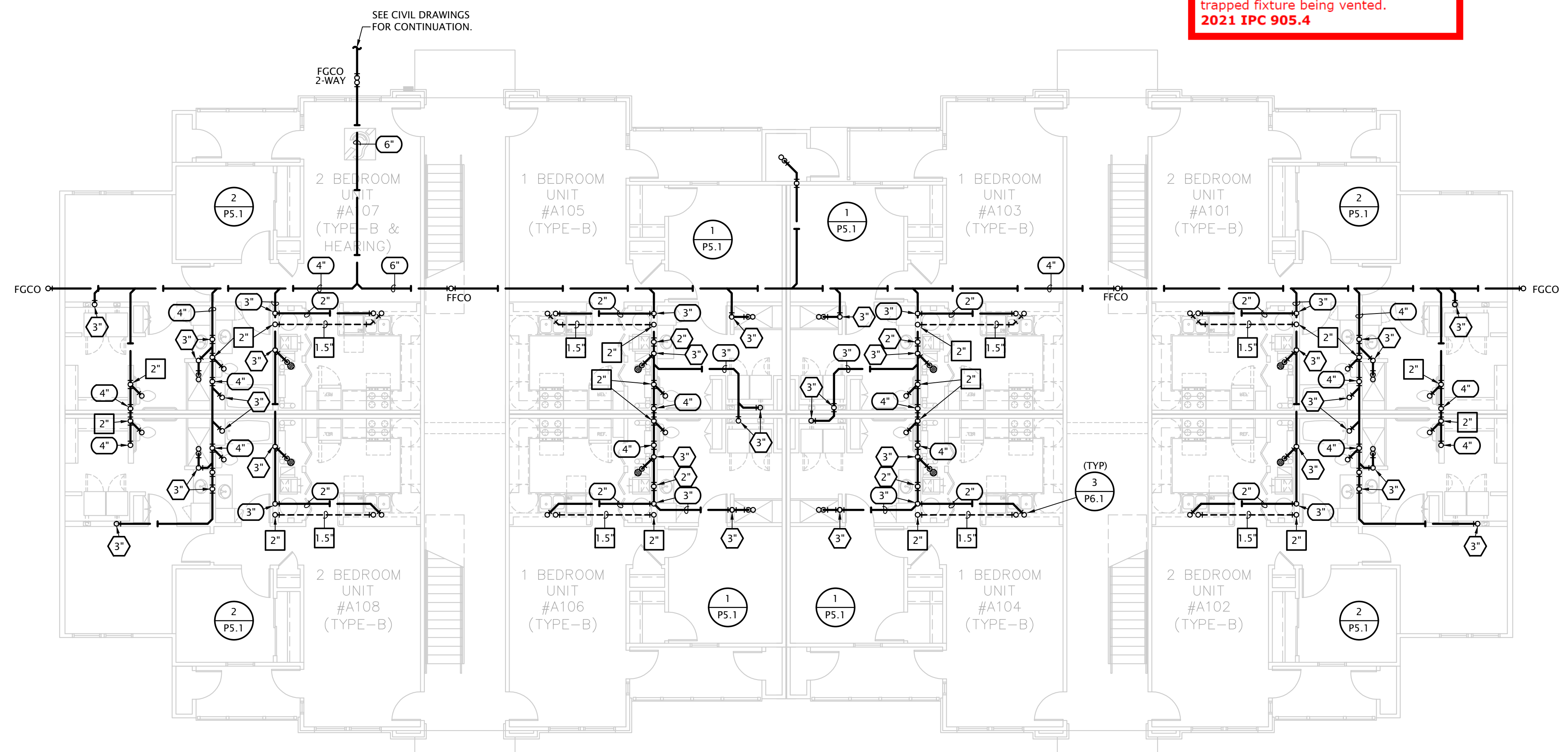
P1.1



APARTMENT BUILDING A
FIRST FLOOR WASTE AND VENT PLAN
 1/8" = 1'-0"

Provide drains no smaller than allowed by 2021 IPC 709.1 and 710.1(1)

The dry vent must rise 6" vertically above the flood level rim of the highest trapped fixture being vented. 2021 IPC 905.4



APARTMENT BUILDING A
UNDER FLOOR WASTE AND VENT PLAN
 1/8" = 1'-0"

- NOTES:**
- SEE ROUGH-IN REQUIREMENTS IN PLUMBING SCHEDULE ON SHEET P6.1 FOR ADDITIONAL INFORMATION.
 - SEE SHEET P4.1-P4.2 FOR FIXTURE TYPES.
 - SEE WASTE AND VENT ISOMETRICS ON SHEET P5.1 FOR ADDITIONAL INFORMATION.
 - PIPING SHALL NOT BE ROUTED VERTICALLY IN FIREWALLS SEPARATING UNITS. ALL PIPING SHALL BE FIRED WELDED VERTICALLY IN FURRED OUT WALL AS INDICATED ON PLANS.
 - WHERE PIPING PENETRATES FIRE RATED ASSEMBLIES, INSTALL PER DETAILS ON A4.7.

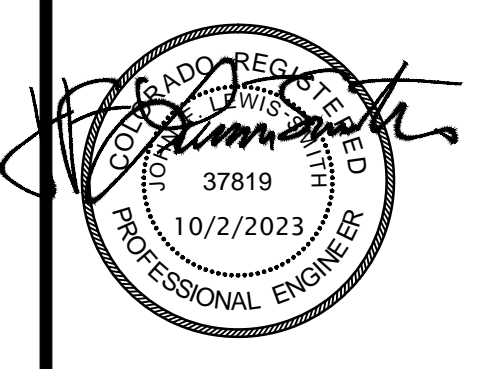
PLUMBING SIZING SYMBOLS

	DRAIN (X = SIZE)
	VENT (X = SIZE)
	WASTE STACK VENT (X = SIZE)

WASTE STACK VENT NOTE:
 ALL OFFSETS ARE PROHIBITED BETWEEN LOWEST AND HIGHEST FIXTURE DRAIN CONNECTION TO WASTE STACK VENT (IPC 913.2)

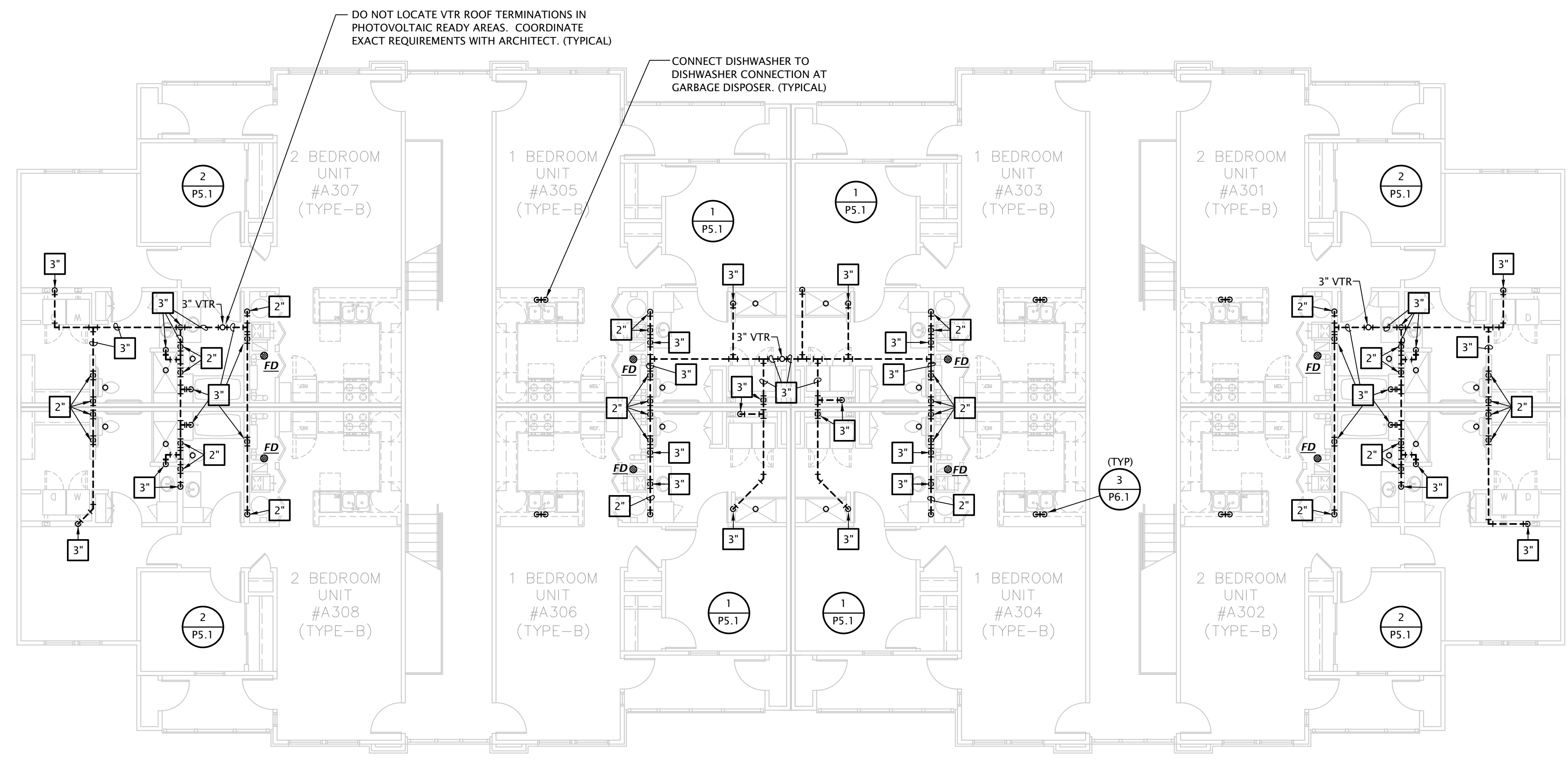
Code violations that are found during inspection are required to be corrected. Permit issuance does not grant approval of a code violation.

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: Y. Munoz
 Date: Nov 17, 2023
 2021 INTERNATIONAL CODES & 2023 NEC

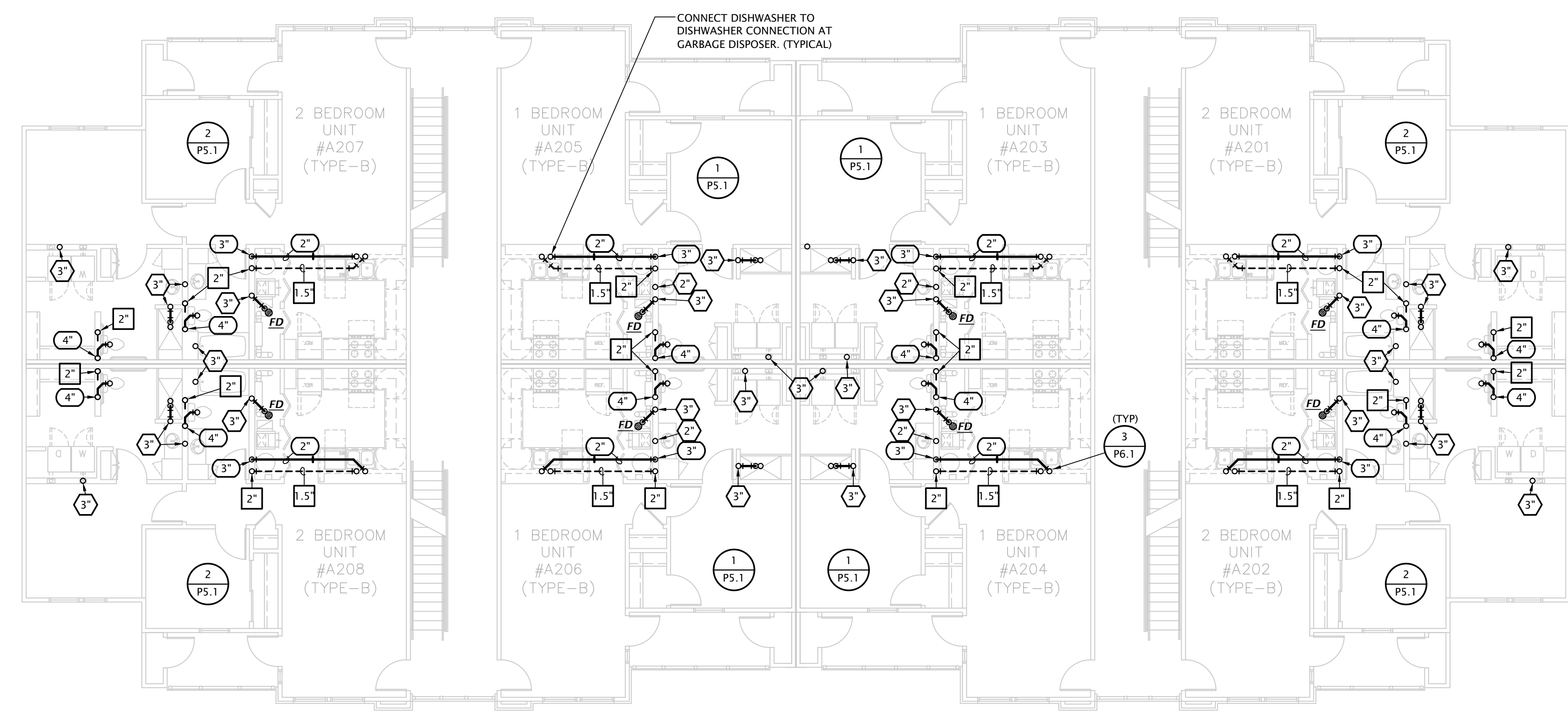


REVISION:

DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	



APARTMENT BUILDING A
THIRD FLOOR WASTE AND VENT PLAN
 1/8" = 1'-0"



APARTMENT BUILDING A
SECOND FLOOR WASTE AND VENT PLAN
 1/8" = 1'-0"

- NOTES:**
- SEE ROUGH-IN REQUIREMENTS IN PLUMBING SCHEDULE ON SHEET P6.1 FOR ADDITIONAL INFORMATION.
 - SEE SHEET P4.1-P4.2 FOR FIXTURE TYPES
 - SEE WASTE AND VENT ISOMETRICS ON SHEET P5.1 FOR ADDITIONAL INFORMATION.
 - PIPING SHALL NOT BE ROUTED VERTICALLY IN FIREWALLS SEPARATING UNITS. ALL PIPING SHALL BE ROUTED VERTICALLY IN FURRED OUT WALL AS INDICATED ON PLANS.
 - WHERE PIPING PENETRATES FIRE RATED ASSEMBLIES, INSTALL PER DETAILS ON A4.7.

PLUMBING SIZING SYMBOLS

$\text{X}^{\text{---}}$	DRAIN (X = SIZE)
$\text{X}^{\text{---}}$	VENT (X = SIZE)
$\text{X}^{\text{---}}$	WASTE STACK VENT (X = SIZE)

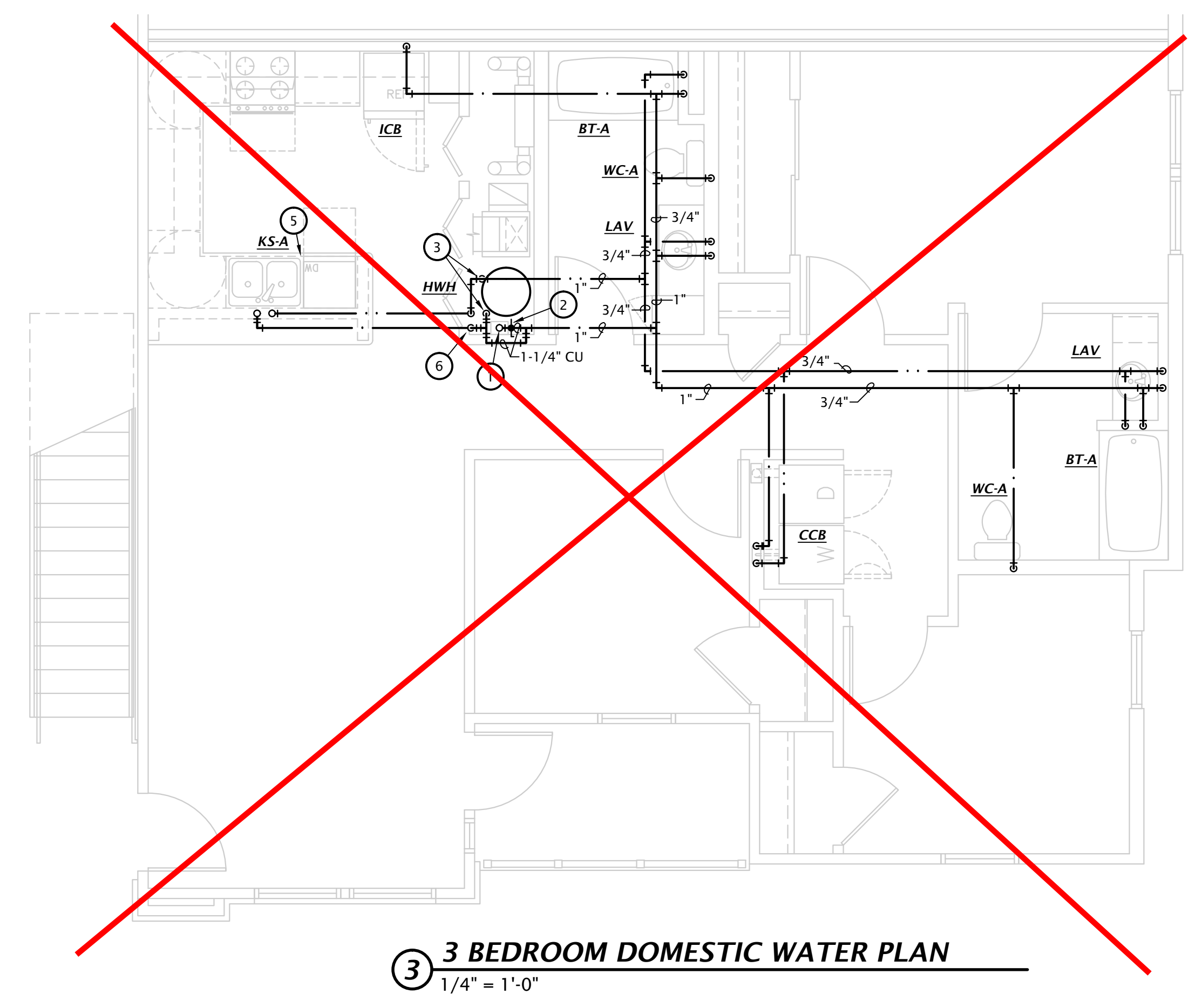
WASTE STACK VENT NOTE:
 ALL OFFSETS ARE PROHIBITED BETWEEN LOWEST AND HIGHEST FIXTURE DRAIN CONNECTION TO WASTE STACK VENT (IPC 913.2)

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Nov 17, 2023**
 2021 INTERNATIONAL CODES & 2023 NEC

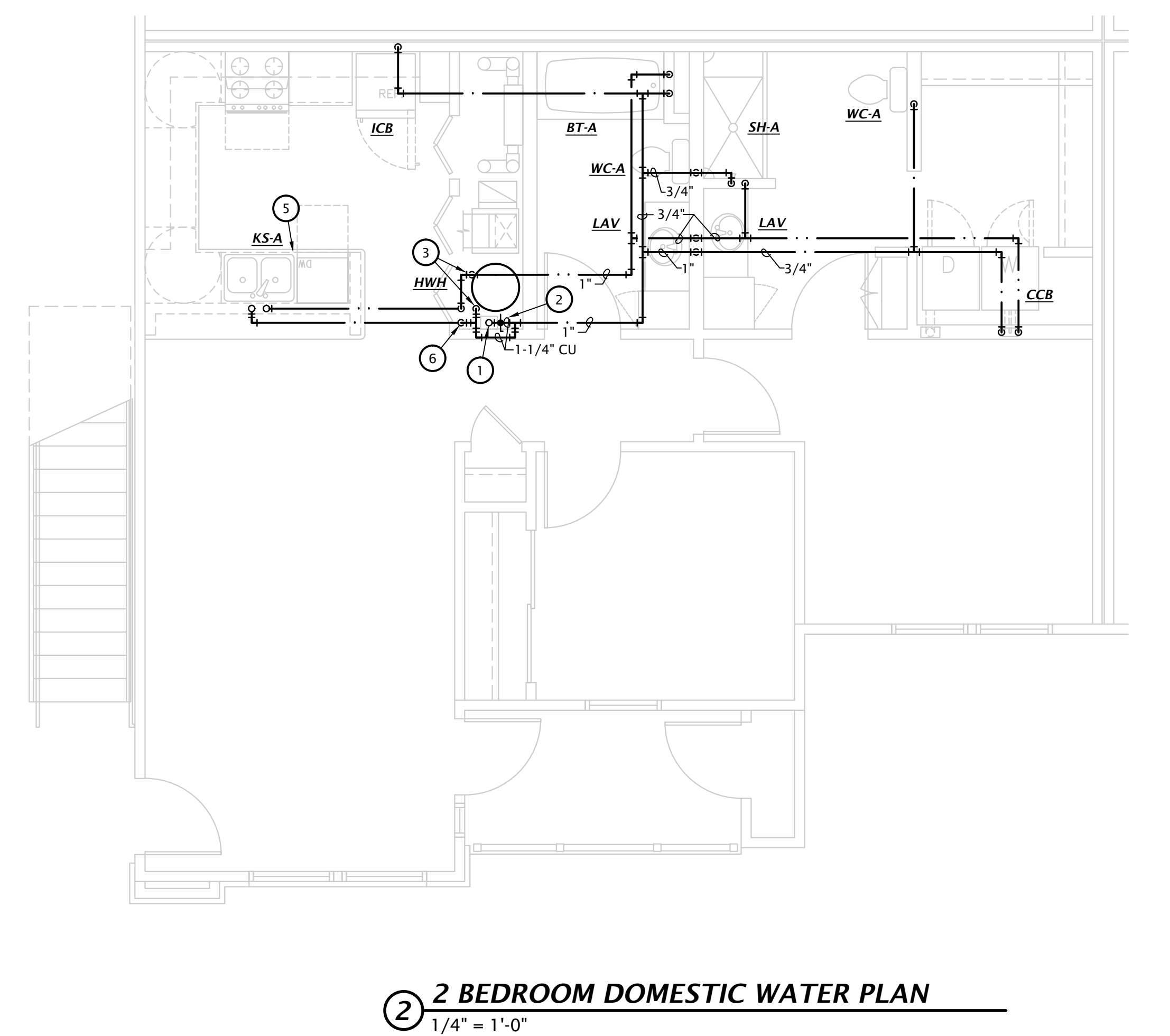
NOTE: PIPE SIZING AND ROUTING IS DESIGNED TO MEET MINIMUM HOT WATER VOLUME REQUIREMENTS. PIPE SIZES ARE BASED ON PEX PIPING UNLESS NOTED OTHERWISE. ROUTE PIPING DIRECT AS POSSIBLE TO MINIMIZE LENGTH OF HOT WATER PIPING.

- NOTES:**
- PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS.
 - COORDINATE INSTALLATION OF PIPING IN MECHANICAL CLOSET W/ M.C. □ E.C.
 - SEE PLUMBING FIXTURE SCHEDULE ON SHEET P6.1 FOR FIXTURE ROUGH-IN INFORMATION.
 - ROUTE PIPING BELOW FLOOR FOR 3RD FLOOR APARTMENTS AND WHERE NOTED ON OVERALL PLAN. DO NOT ROUTE PIPING ABOVE CEILING IN UNCONDITIONED ATTIC/ PLENUM SPACES EXPOSED TO EXTERIOR.
 - INSULATE ALL HW PIPING PER SPECIFICATIONS.
 - ALL PENETRATIONS OF APARTMENT AIR BARRIERS SHALL BE SEALED TO MAINTAIN INTEGRITY OF AIR BARRIER. COORDINATE WITH G.C.

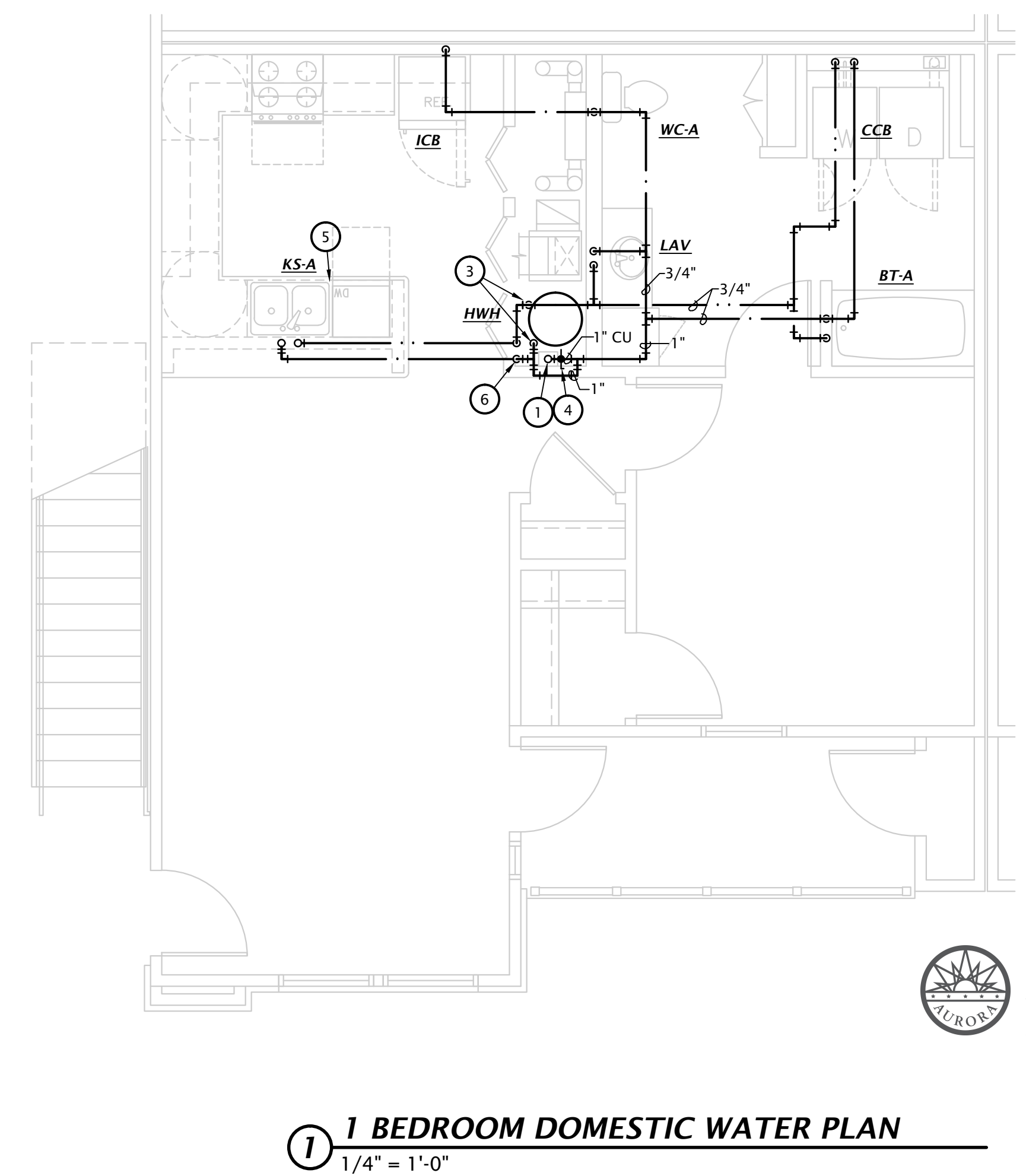
- # ENLARGED PLAN NOTES BY SYMBOL**
1. SEE OVERALL DOMESTIC WATER PLANS FOR CONTINUATION.
 2. PROVIDE 1-1/4" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE DOMESTIC WATER RISER DIAGRAMS ON SHEET P5.2 FOR ADDITIONAL INFO.
 3. CONNECT 1" CW AND HW TO WATER HEATER. SEE DETAIL 2-P6.1
 4. PROVIDE 1" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE DOMESTIC WATER RISER DIAGRAMS ON SHEET P5.2 FOR ADDITIONAL INFO.
 5. PROVIDE 1/2" VALVED BRANCH BELOW SINK AND CONNECT DISHWASHER. ROUTE PIPING ALONG BACK OF CABINETS. COORDINATE EXACT ROUTING WITH G.C. COORDINATE EXACT REQUIREMENTS WITH DISHWASHER PROVIDED.
 6. ROUTE 1/2" HOT AND COLD WATER DOWN WALL AND BELOW FLOOR TO 'KS-A/KS-B'. PROVIDE SHUT-OFF VALVES ACCESSIBLE FROM MECHANICAL CLOSET.



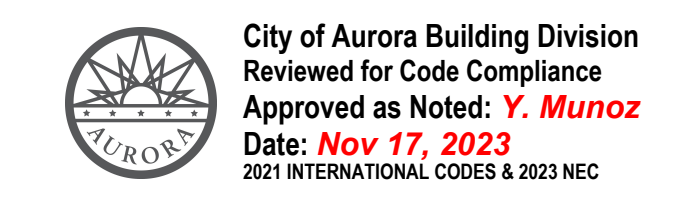
3 3 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



2 2 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



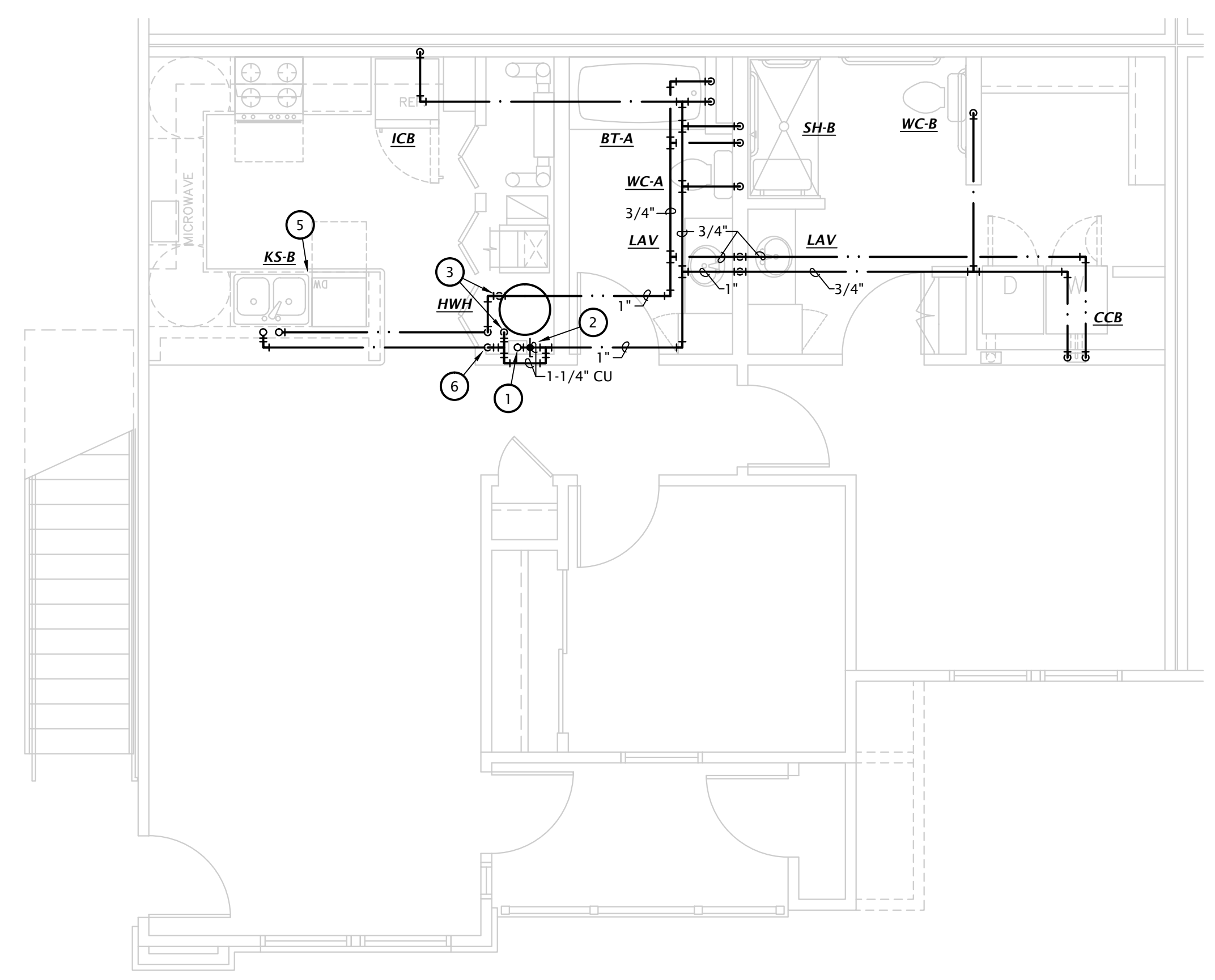
1 1 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



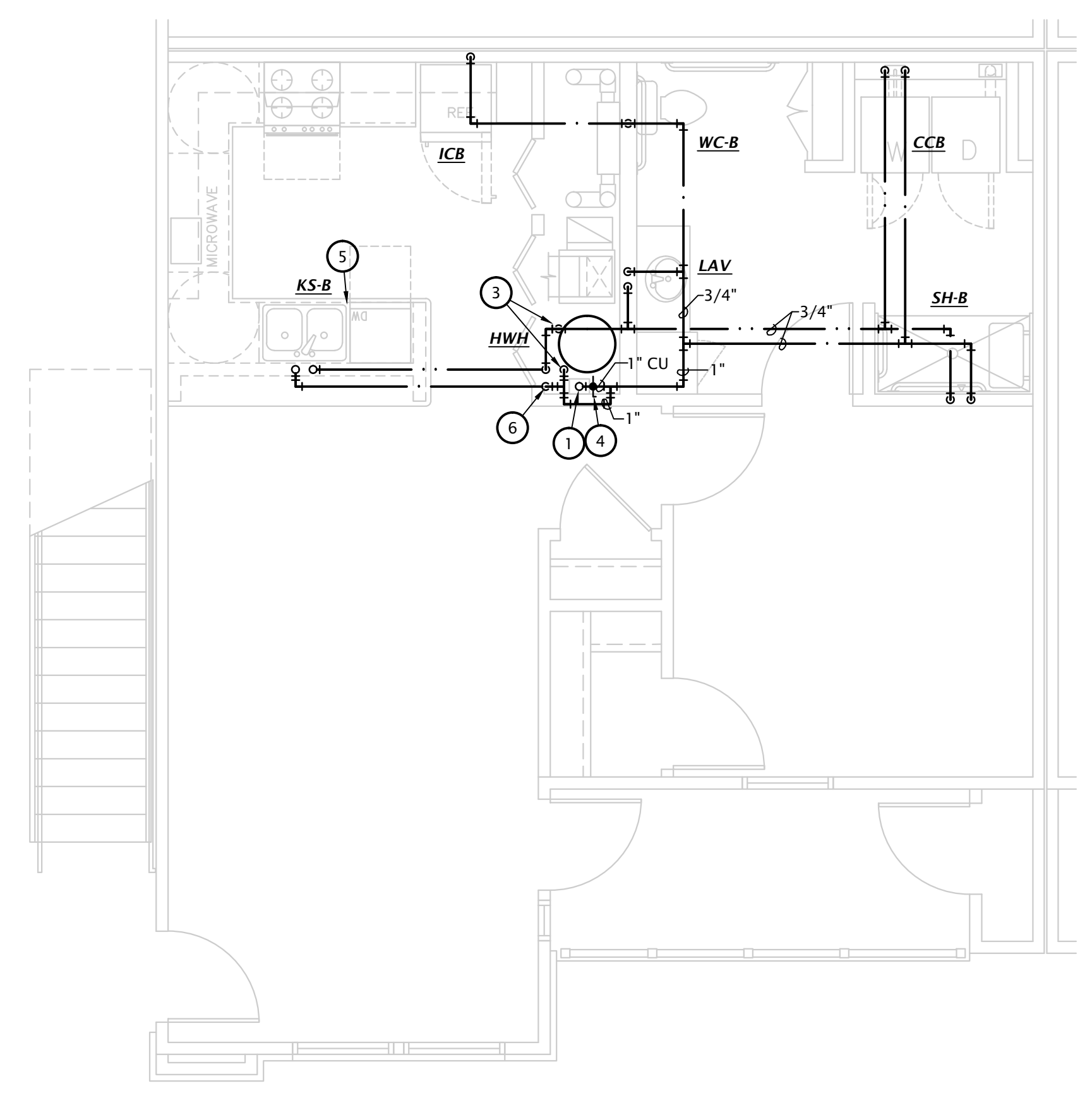
REVISION:

DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

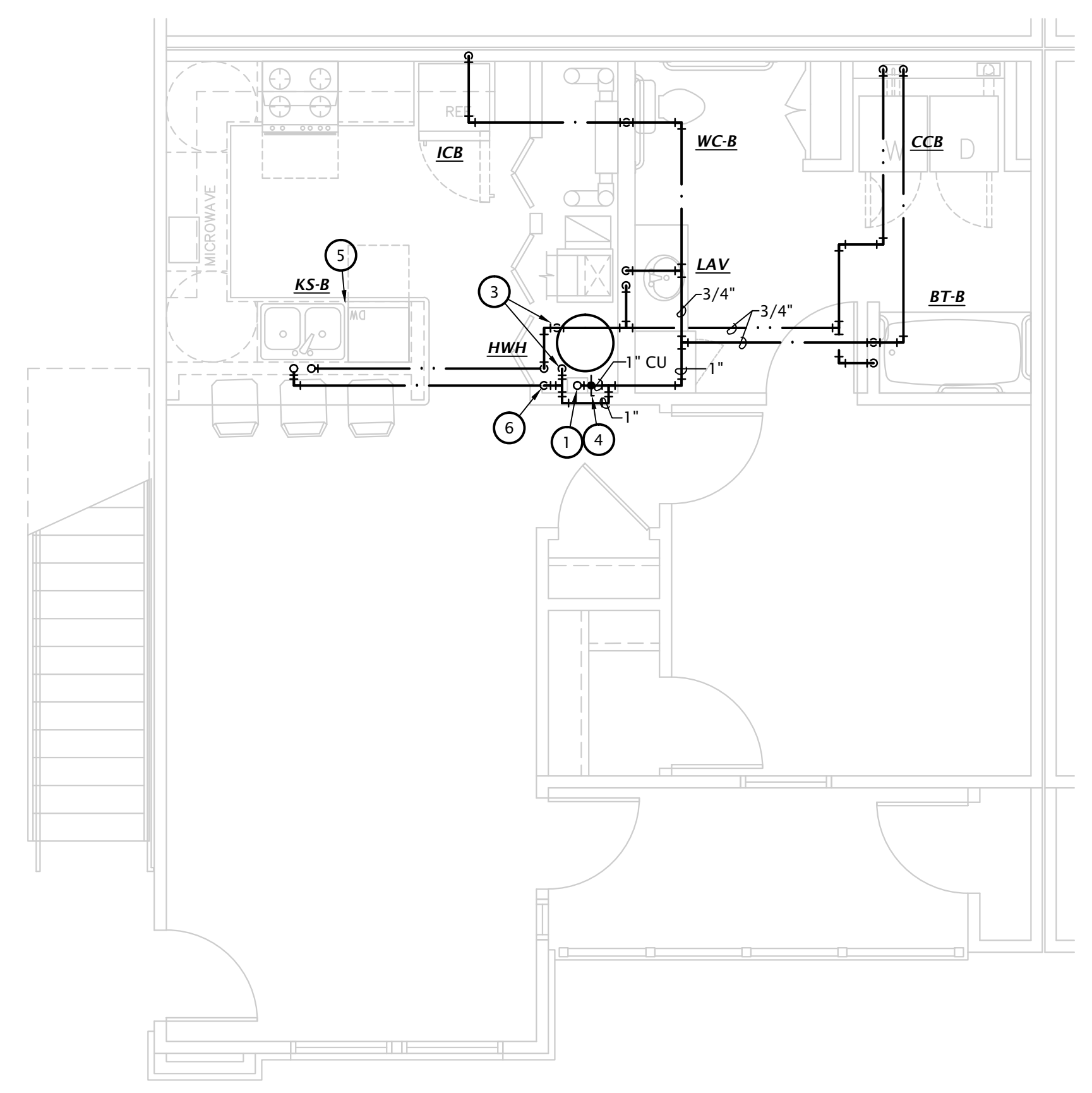
P4.1



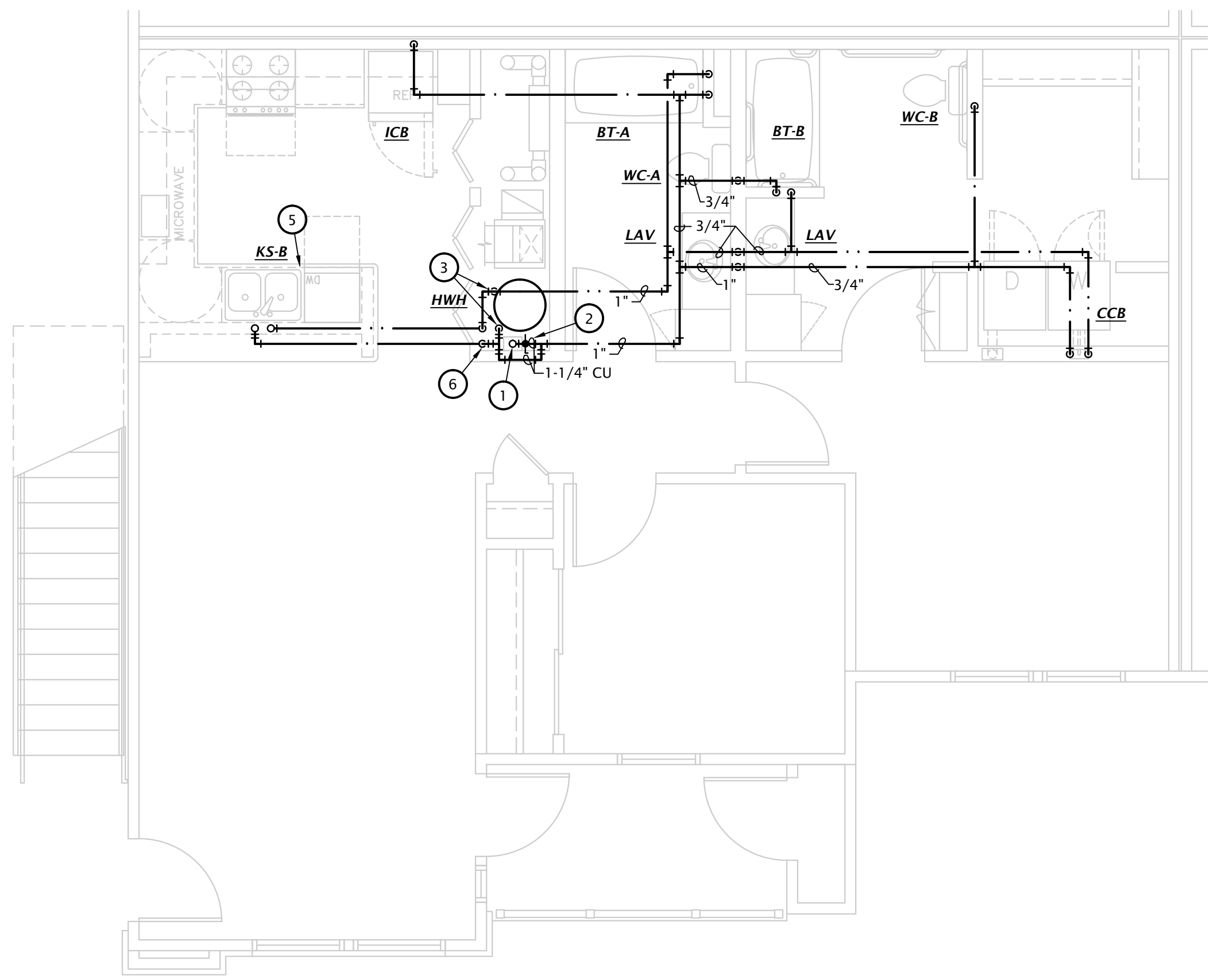
5 ACCESSIBLE (ROLL-IN) 2 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



4 ACCESSIBLE (ROLL-IN) 1 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



3 ACCESSIBLE 1 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



2 ACCESSIBLE 2 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



1 ACCESSIBLE 3 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"

NOTE: PIPE SIZING AND ROUTING IS DESIGNED TO MEET MINIMUM HOT WATER VOLUME REQUIREMENTS. PIPE SIZES ARE BASED ON PEX PIPING UNLESS NOTED OTHERWISE. ROUTE PIPING DIRECT AS POSSIBLE TO MINIMIZE LENGTH OF HOT WATER PIPING.

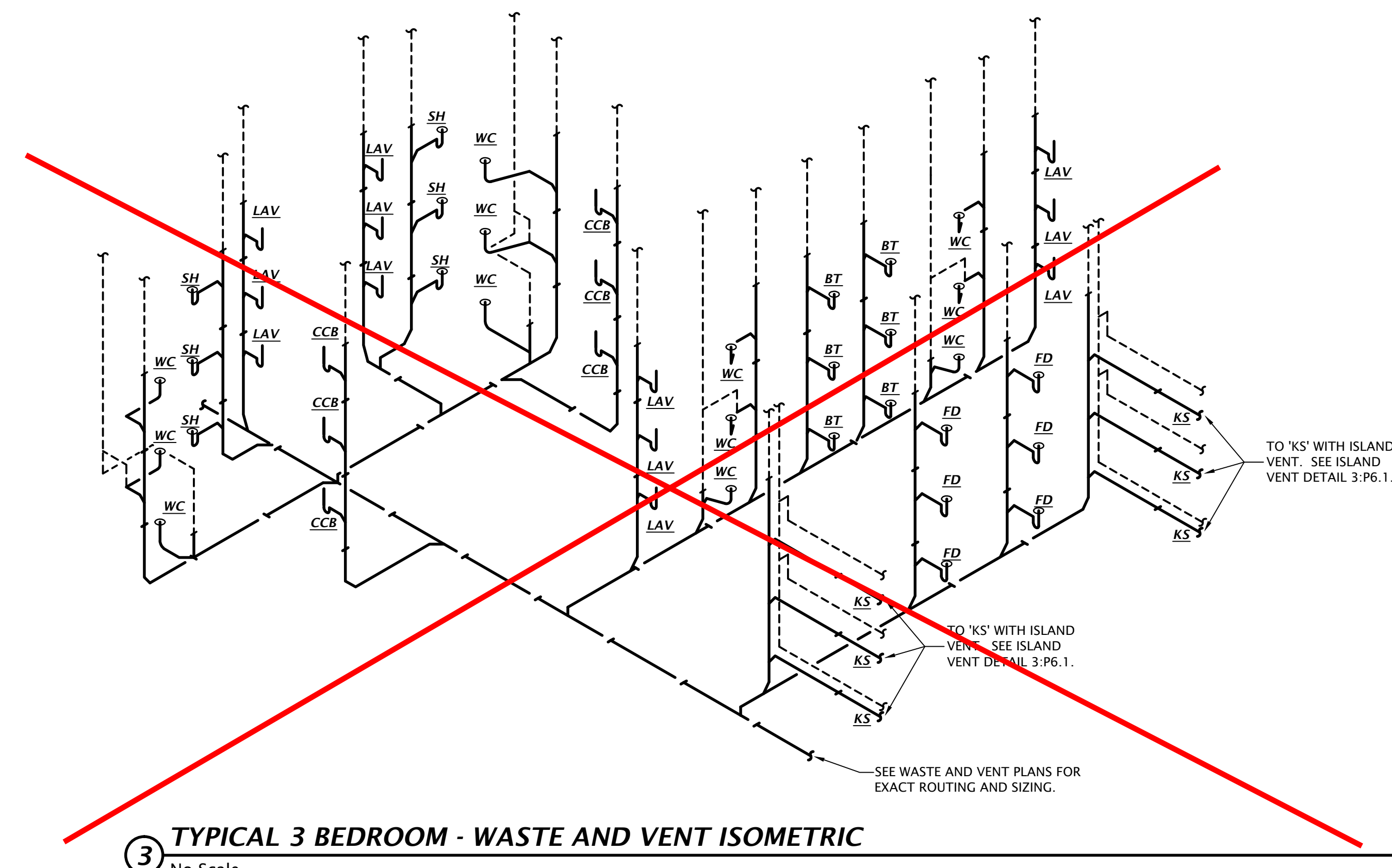
- NOTES:**
- PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS.
 - COORDINATE INSTALLATION OF PIPING IN MECHANICAL CLOSET W/ M.C. □ E.C.
 - SEE PLUMBING FIXTURE SCHEDULE ON SHEET P6.1 FOR FIXTURE ROUGH-IN INFORMATION.
 - ROUTE PIPING BELOW FLOOR FOR 3RD FLOOR APARTMENTS AND WHERE NOTED ON OVERALL PLAN. DO NOT ROUTE PIPING ABOVE CEILING IN UNCONDITIONED ATTIC/ PLENUM SPACES EXPOSED TO EXTERIOR.
 - INSULATE ALL HW PIPING PER SPECIFICATIONS.
 - ALL PENETRATIONS OF APARTMENT AIR BARRIERS SHALL BE SEALED TO MAINTAIN INTEGRITY OF AIR BARRIER. COORDINATE WITH G.C.

- # ENLARGED PLAN NOTES BY SYMBOL**
1. SEE OVERALL DOMESTIC WATER PLANS FOR CONTINUATION.
 2. PROVIDE 1-1/4" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE DOMESTIC WATER RISER DIAGRAMS ON SHEET P5.2 FOR ADDITIONAL INFO.
 3. CONNECT 1" CW AND HW TO WATER HEATER. SEE DETAIL 2:PG.1
 4. PROVIDE 1" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE DOMESTIC WATER RISER DIAGRAMS ON SHEET P5.2 FOR ADDITIONAL INFO.
 5. PROVIDE 1/2" VALVED BRANCH BELOW SINK AND CONNECT DISHWASHER. ROUTE PIPING ALONG BACK OF CABINETRY, COORDINATE EXACT ROUTING WITH G.C. COORDINATE EXACT REQUIREMENTS WITH DISHWASHER PROVIDED.
 6. ROUTE 1/2" HOT AND COLD WATER DOWN WALL AND BELOW FLOOR TO 'KS-A/KS-B'. PROVIDE SHUT-OFF VALVES ACCESSIBLE FROM MECHANICAL CLOSET.

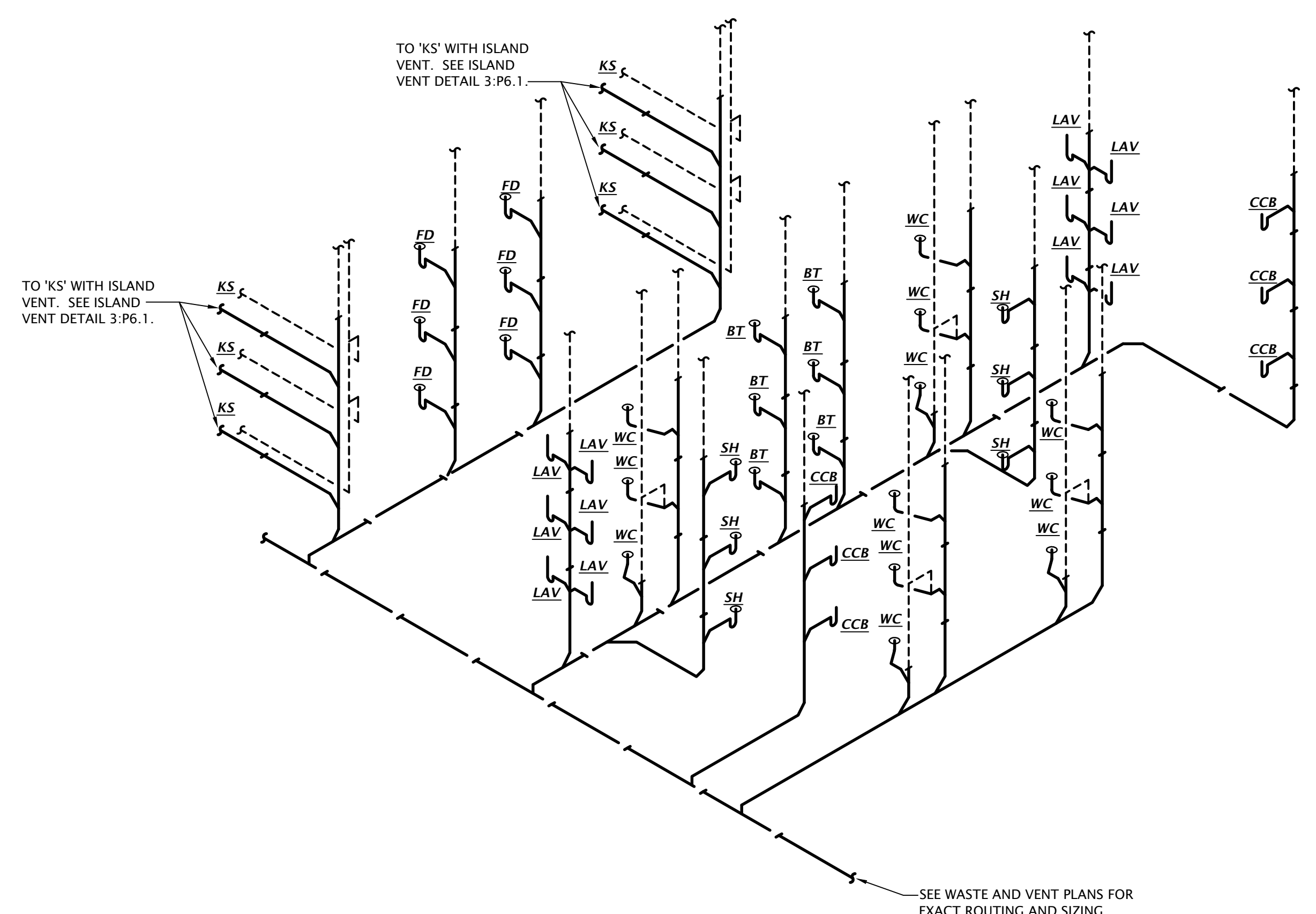


City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Nov 17, 2023**
 2021 INTERNATIONAL CODES & 2023 NEC

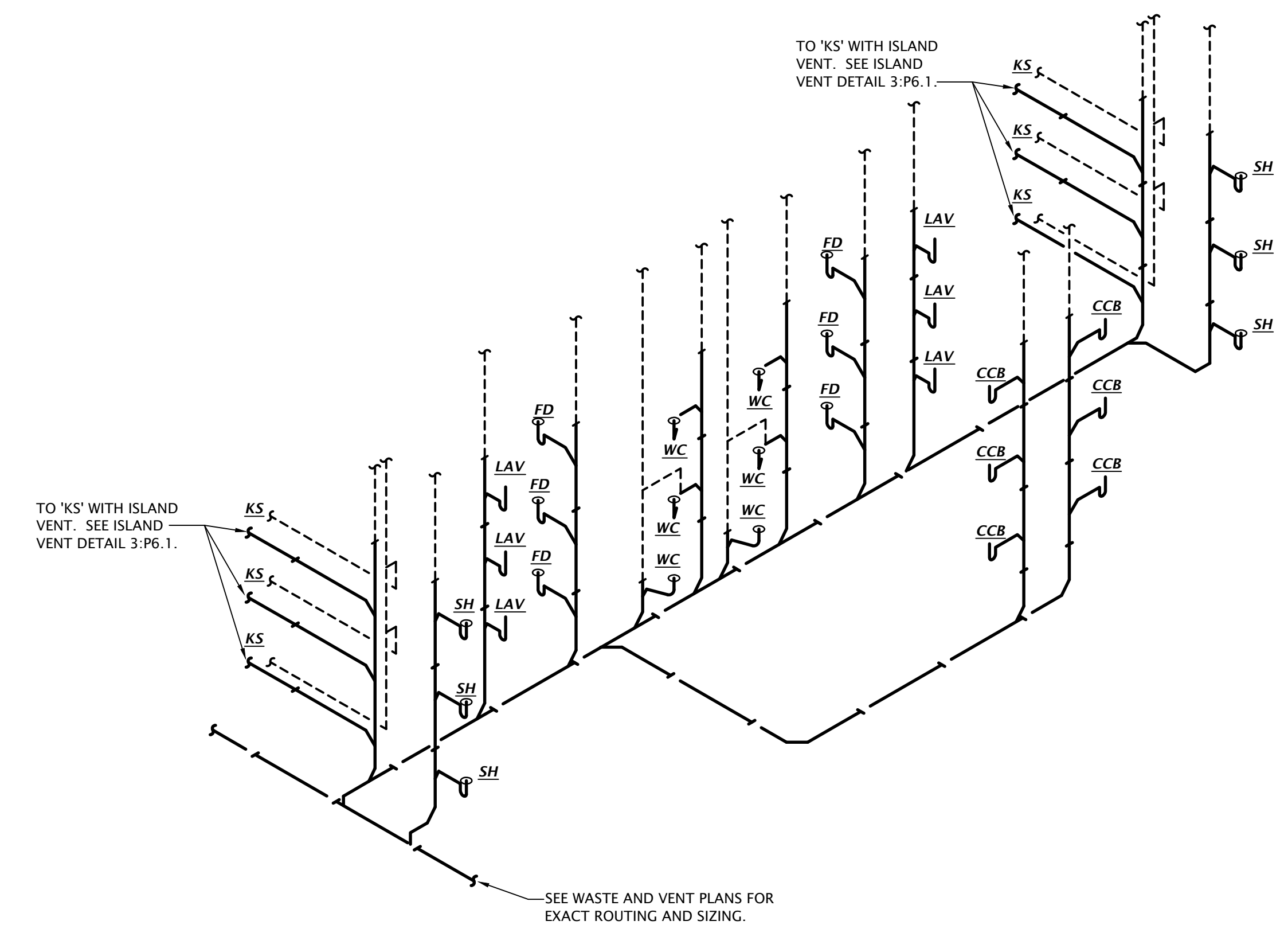
REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	



3 TYPICAL 3 BEDROOM - WASTE AND VENT ISOMETRIC
 No Scale

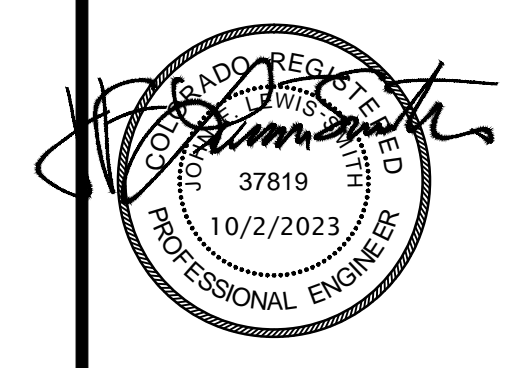


2 TYPICAL 2 BEDROOM - WASTE AND VENT ISOMETRIC
 No Scale



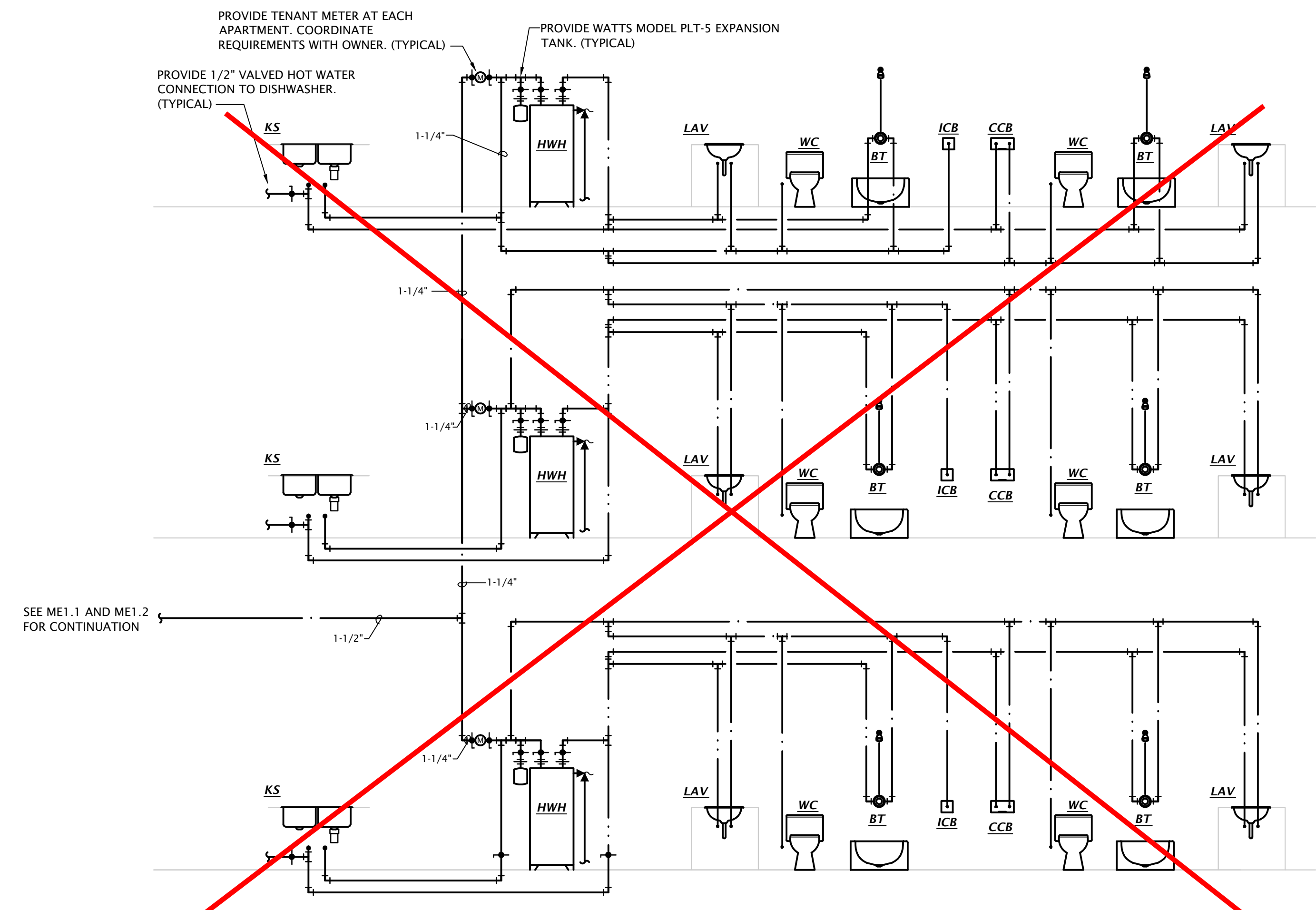
1 TYPICAL 1 BEDROOM - WASTE AND VENT ISOMETRIC
 No Scale


 City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Nov 17, 2023**
 2021 INTERNATIONAL CODES & 2023 NEC

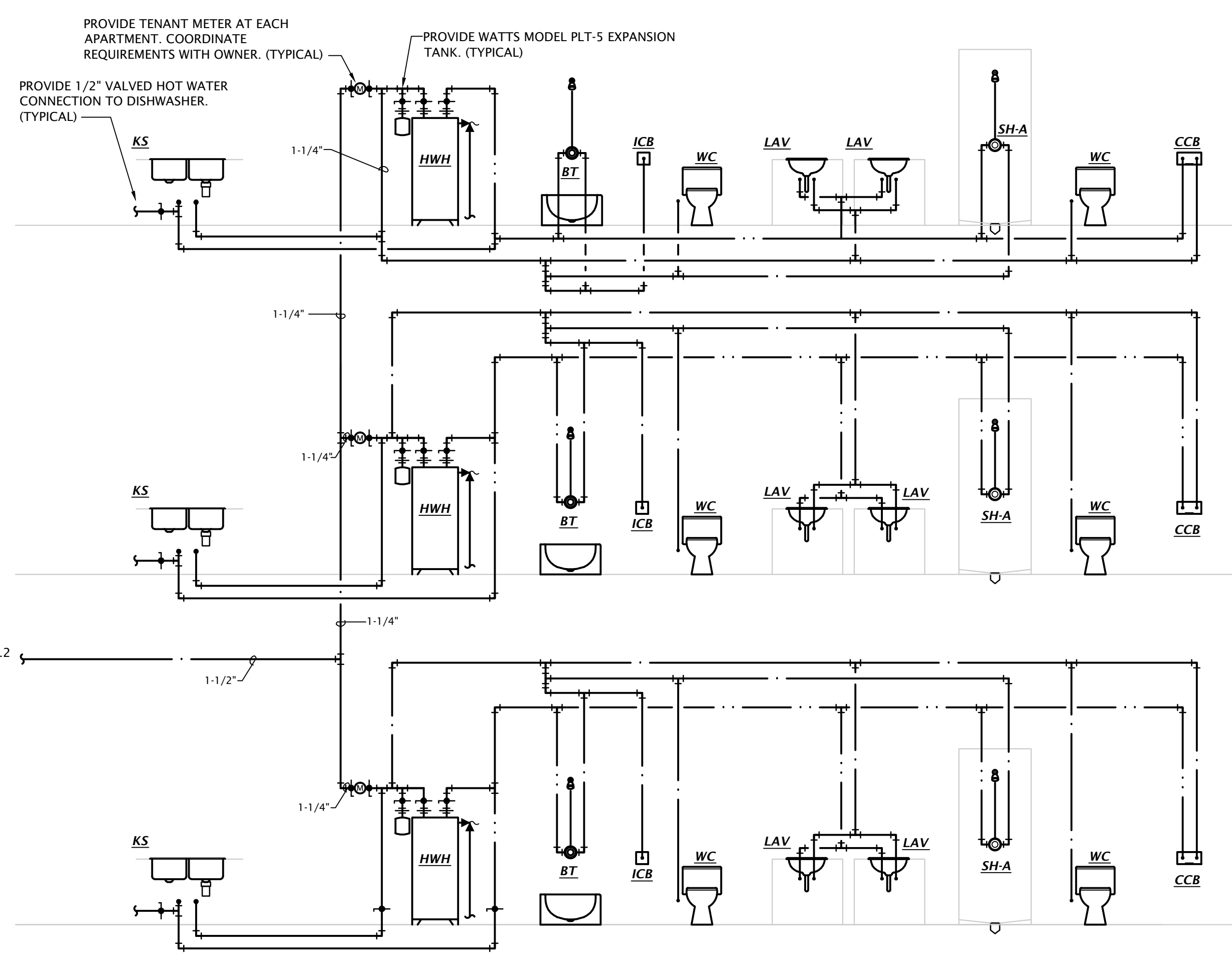

 PROFESSIONAL ENGINEER
 10/2/2023

REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

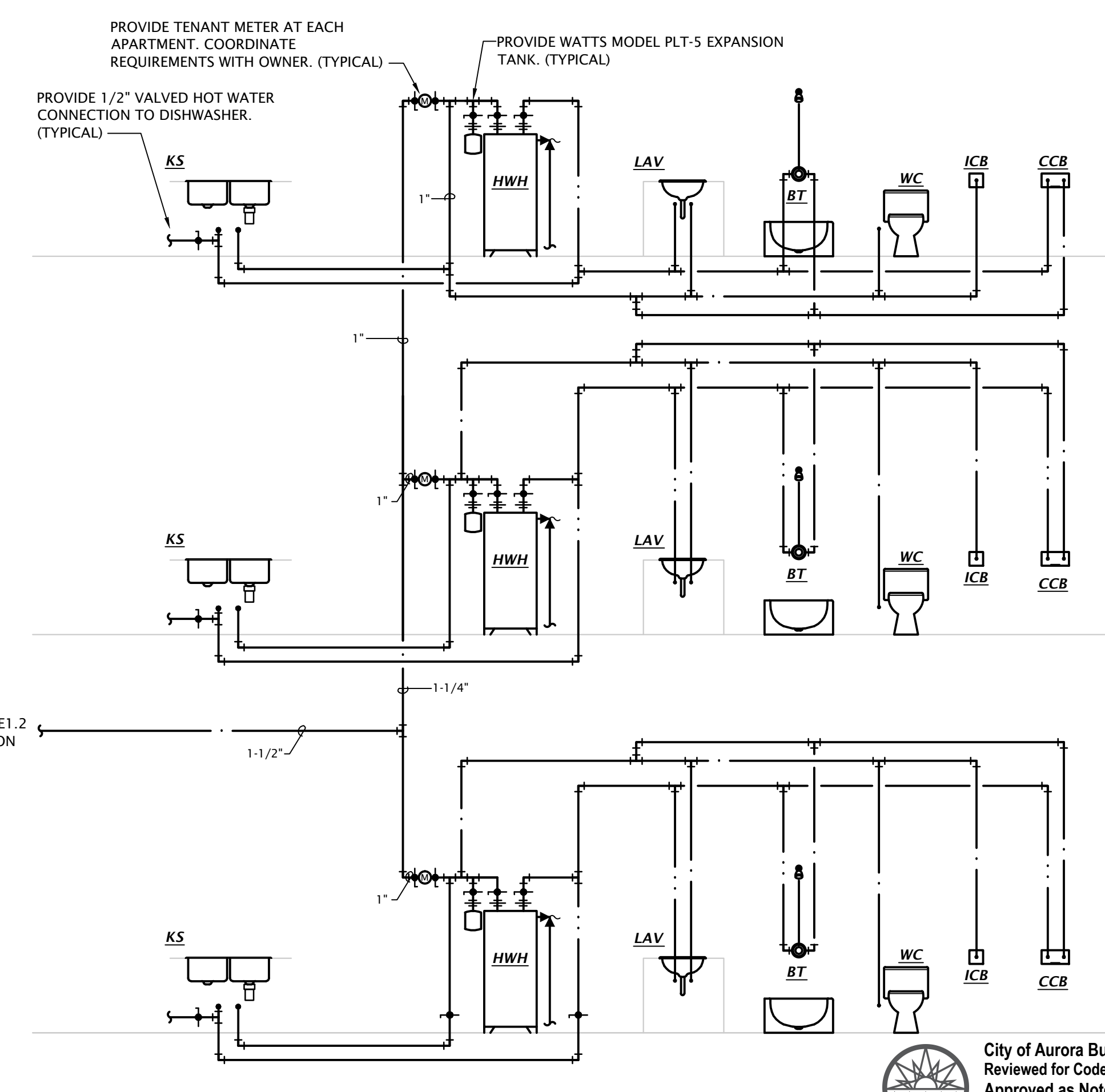
P5.1



3 3 BEDROOM DOMESTIC WATER RISER DIAGRAM
 Not to Scale



2 2 BEDROOM DOMESTIC WATER RISER DIAGRAM
 Not to Scale



1 1 BEDROOM DOMESTIC WATER RISER DIAGRAM
 Not to Scale

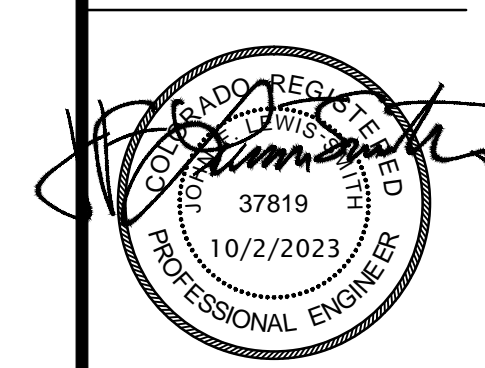
THE RESERVES at EAGLE POINT
 365 NORTH PICADILLY RD
 AURORA, COLORADO



REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Nov 17, 2023**
 2021 INTERNATIONAL CODES & 2023 NEC

P5.2



REVISION:

DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	



PLUMBING SYMBOLS

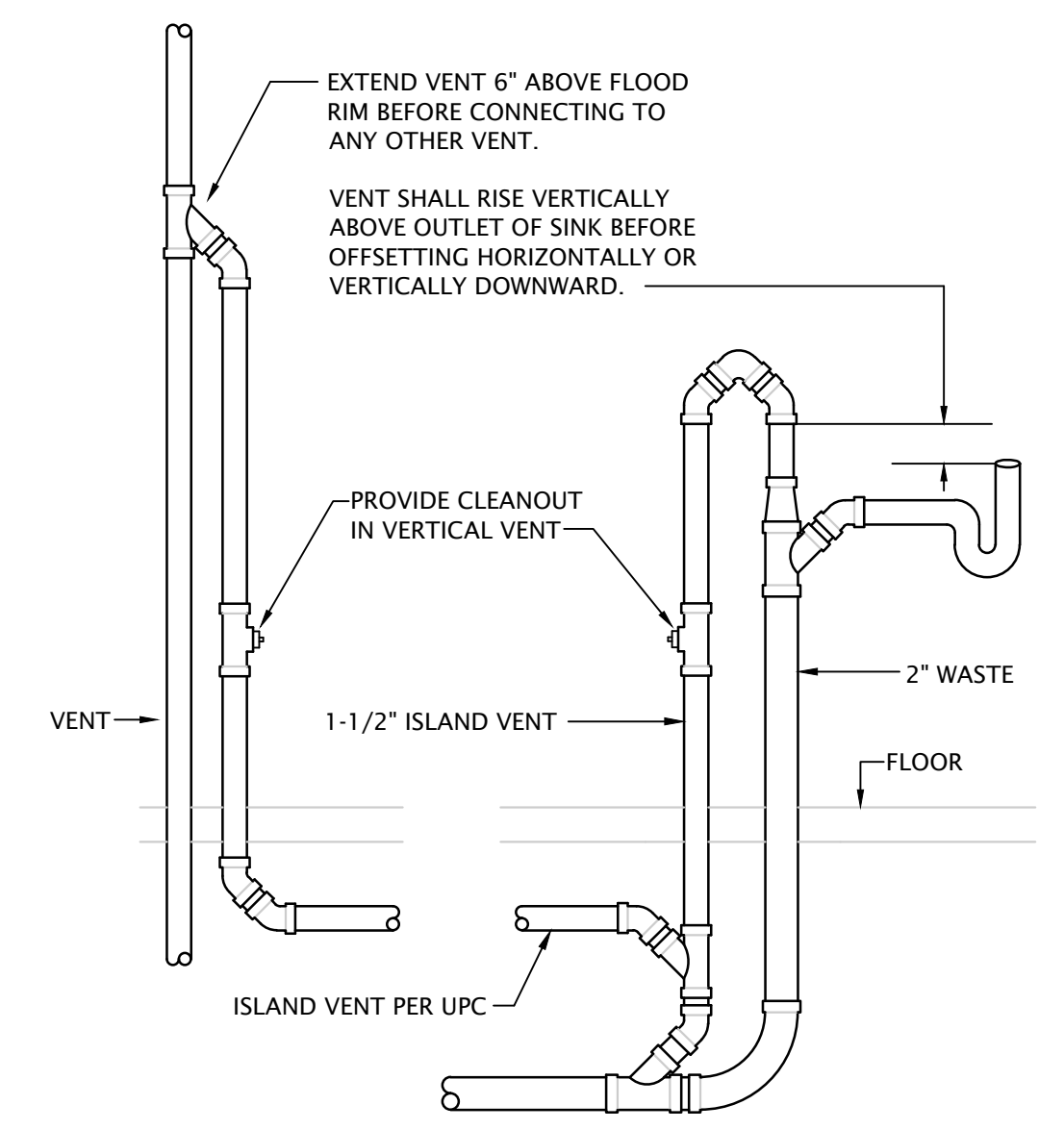
—○—	PIPE TURNING UP
—○—	PIPE TURNING DOWN
—	COLD WATER PIPING
—●—	HOT WATER PIPING
—W—	WATER SERVICE PIPING
—FP—	FIRE PROTECTION SERVICE PIPING
—	WASTE PIPING BELOW GRADE
—	WASTE PIPING ABOVE GRADE
—V—	VENT PIPING
—G—	NATURAL GAS PIPING
—N—	CHECK VALVE
—C—	GATE VALVE
—B—	BALL VALVE
—U—	UNION
—T—	T/P RELIEF VALVE

PLUMBING FIXTURE SCHEDULE

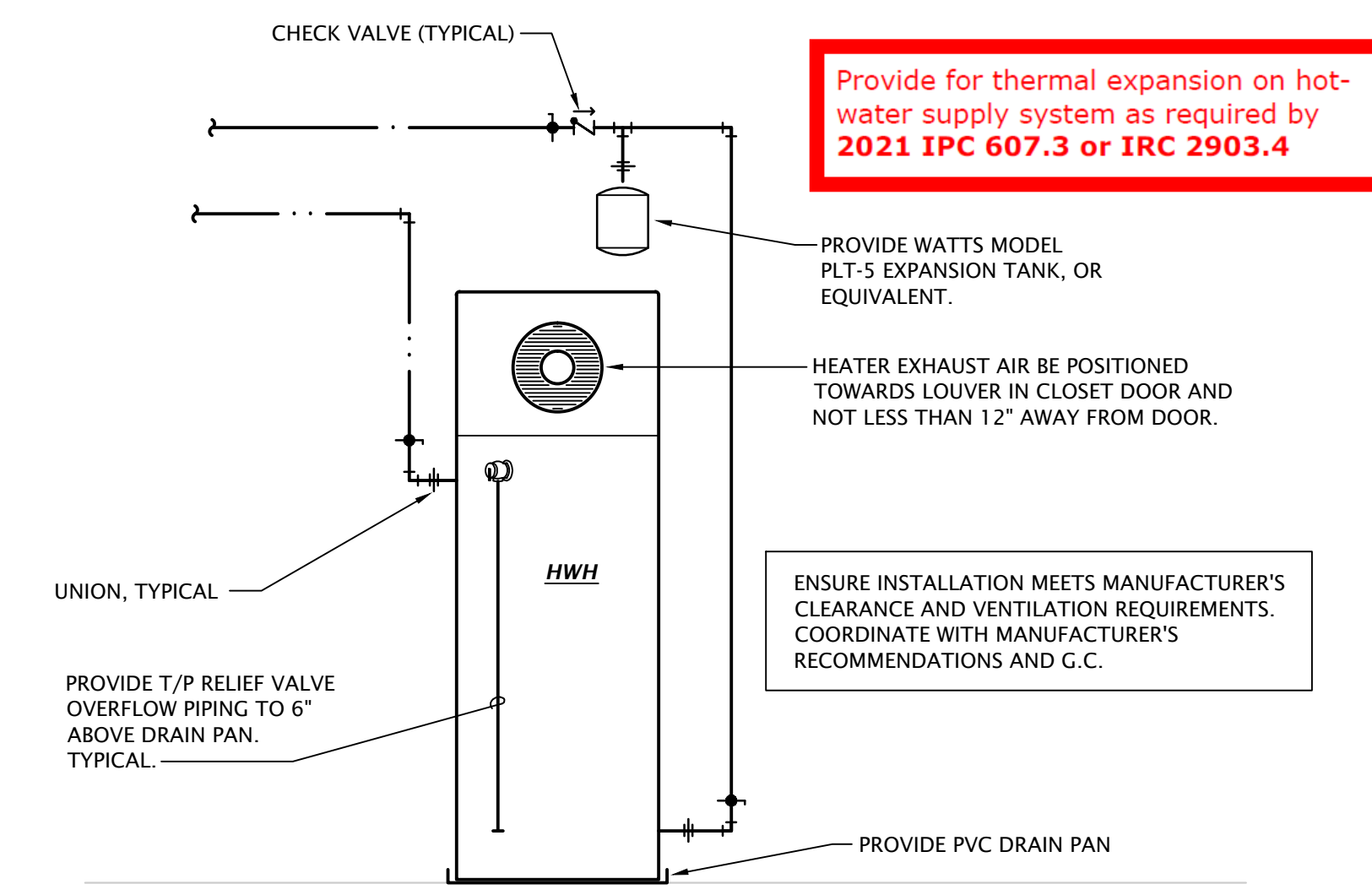
MARK	MANUFACTURER	DESCRIPTION	TRIM		ROUGH-IN SIZES				NOTES
			MANUFACTURER	DESCRIPTION	WASTE	VENT	CW	HW	
WC-A	KOHLER	Model 5296 "Highline" ADA compliant flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, siphon jet flushing action, 1.28 GPF, polished chrome actuator located on open side of room.	KOHLER	K-5588 Purefresh white, elongated closed front seat and cover	4"	2"	1/2"	---	
WC-B	KOHLER	Model 5296 "Highline" ADA compliant flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, siphon jet flushing action, 1.28 GPF, polished chrome actuator located on open side of room.	KOHLER	K-5588 Purefresh white, elongated closed front seat and cover	4"	2"	1/2"	---	1
LAV	KOHLER	Model 2196-4-0 self-rimming lavatory, white vitreous china, 20"W x 17", faucet holes on 4" centers.	KOHLER	Model 15199-4NDRA, 0.5 GPM, single handle faucet. Provide grid drain. Provide point of use tempering valve.	2"	1-1/2"	1/2"	1/2"	2,4,5
KS-A	JUST	Model DL-2233-A-GR two compartment 18 GA stainless steel sink, self rimming, 14"x16"x8"D inside, fully undercoated, faucet holes as req.	KOHLER	Model K-10412, 1.5 GPM, single handle kitchen sink faucet with hose spray attachment. Chrome finish. Provide basket strainer.	2"	1-1/2"	1/2"	1/2"	2,4
KS-B	JUST	Model DL-ADA-2233-A-GR two compartment 18 GA stainless steel sink, self rimming, 14"x16"x5"D inside, fully undercoated, faucet holes as req., and drain holes center rear.	KOHLER	Model K-10412, 1.5 GPM, single handle kitchen sink faucet with hose spray attachment. Chrome finish. Provide basket strainer.	2"	1-1/2"	1/2"	1/2"	1,3,2,4
BT-A	AQUARIUS	Model G 6063 TS reinforced fiberglass tub/shower, 60"W x35-3/4"D x76-1/2"H, with integral soap/toiletry shelves, right or left hand rough-in as required, white finish.	DELTA	Model R10000-UNWS/T13H232 single handle pressure-balancing valve with metal tub filler with pull diverter, 1.5 GPM push-clean showerhead and pop-up drain with overflow.	2"	1-1/2"	1/2"	1/2"	2,4,5
BT-B	AQUARIUS	Model S 6000 TS OT reinforced fiberglass ADA tub/shower, 60"W x33"D x82"H, with integral soap/toiletry shelves and grab bars in accordance with ADA requirements, seat at end of tub, right or left hand rough-in as required, white finish.	DELTA	Model R10000-UNWS/T13H252 pressure balancing tub/shower valve with non-positive shut-off control and temperature control to ensure maximum 120° water with single metal lever handle, 1.5 GPM handshower with double check valves, flexible hose, 24" stainless steel slide bar, metal lever handshower, diverter valve, and shower head with arm.	2"	1-1/2"	1/2"	1/2"	1,2,4,5
SH-A	AQUARIUS	Model G-3260-SH-4PJS reinforced fiberglass shower, 60"W x32"D x77-1/2"H, with integral soap/toiletry shelves, integral seat, right or left hand rough-in as required, white finish.	DELTA	Model R10000-UNWS/T13H132 single handle pressure-balancing valve, 1.5 GPM push-clean showerhead.	2"	1-1/2"	1/2"	1/2"	1,5
SH-B	AQUARIUS	Model G-6233-8F-.75 reinforced fiberglass ADA roll-in shower, 60"W x33"D x73-3/4"H, with integral soap/toiletry shelves and grab bars in accordance with ADA requirements, fold-up seat, collapsible water dam, right or left hand rough-in as required, white finish.	DELTA	Model R10000-UNWS/T13220-H2OT pressure balancing shower valve with integral temperature limits, single metal lever handle, 1.5 GPM handshower with double check valves, flexible hose, and 24" stainless steel slide bar.	2"	1-1/2"	1/2"	1/2"	1,5
WH	WOODFORD	Model 25 frost proof wall hydrant with anti-siphon vacuum breaker, metal handle.			---	---	3/4"	---	
CCB	IPS CORP.	Model W4700 recessed washing machine box with 2"PVC/ABS drain coupling and knockout test cap. Two, 1/4 turn adaptor ball valves, sweat connection.			2"	2"	1/2"	1/2"	
ICB	IPS CORP.	Model FRIB12 ice maker connection box with 1/4 turn ball valve and 1/2" sweat copper connection.			---	---	1/2"	---	
FD	SIoux CHIEF	Series 833 adjustable floor drain with nickel bronze strainer. Provide Proset Trapguard trap protection device.			2"	---	---	---	
FS	SIoux CHIEF	Series 861 PVC floor sink with PVC strainer. Provide Proset Trapguard trap protection device.			4"	---	---	---	
HHW	RHEEM	Model PROPH40, 40 gallon hybrid water heater, 4,200 BTUH heat pump compressor, 4500 watts, 208 volts heating element, 26 GPH recovery @ 90°F temp rise, EnergyStar rated. Supplied with temperature pressure relief valve and brass drain valve.							

GENERAL:
 Provide fixtures with all trim necessary for complete installation

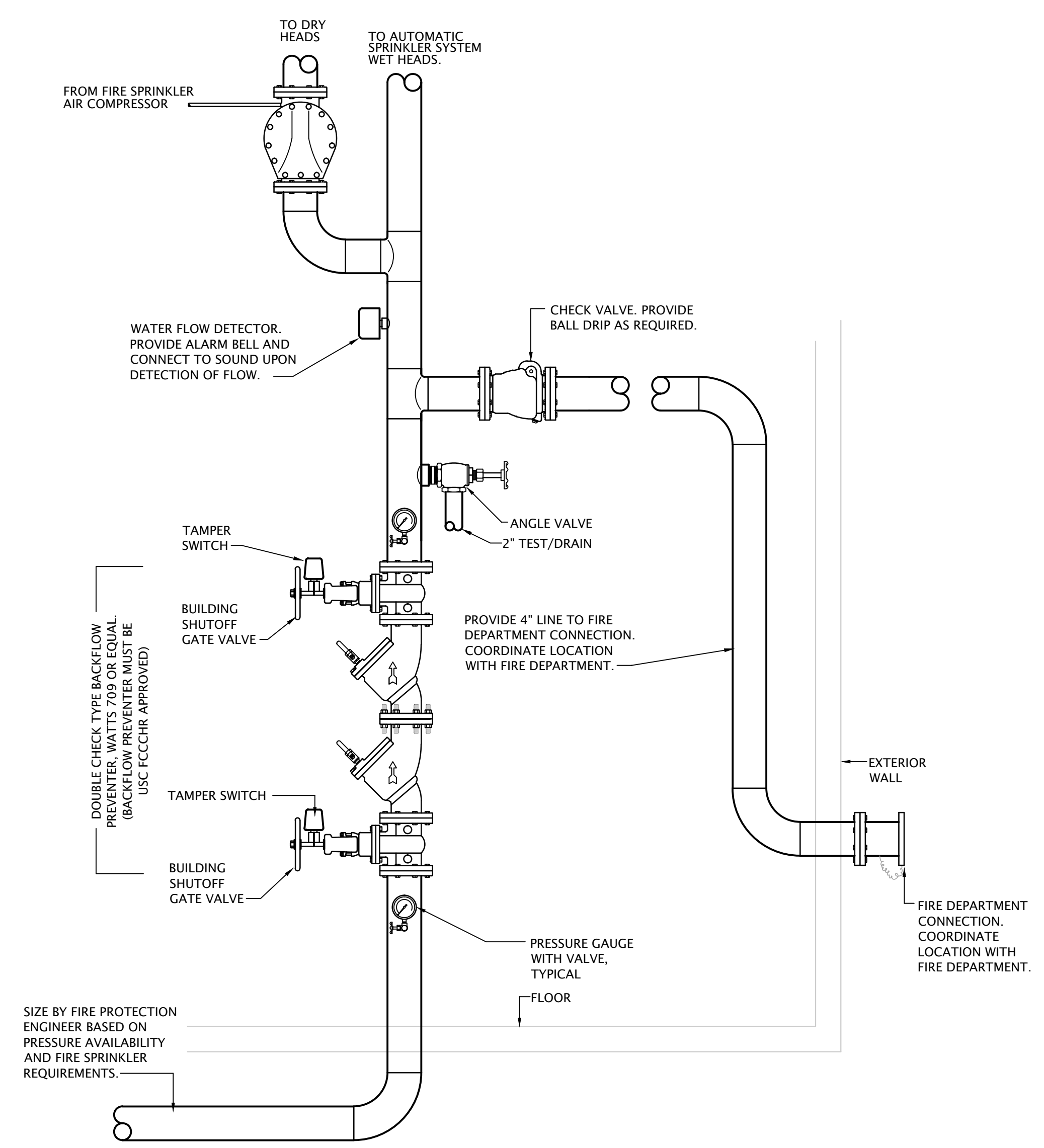
NOTES:
 1. Fixture and installation to meet requirements of the Fair Housing Act.
 2. Provide Dearborn supplies with stops and escutcheon plate, 1-1/4" cast brass p-trap.
 3. Insulate water and waste piping below lavatory. Utilize insulation kit equivalent to LavGuard by Truebro.
 4. Trim shall be provided with polished chrome finish.
 5. Fixture shall be WaterSense labeled.



3 ISLAND VENT DETAIL
 NO SCALE



2 APARTMENT WATER HEATER DIAGRAM
 SCALE: NOT TO SCALE



1 FIRE PROTECTION RISER DIAGRAM
 NO SCALE

Provide for thermal expansion on hot-water supply system as required by 2021 IPC 607.3 or IRC 2903.4

PANEL SCHEDULE NOTES BY SYMBOL

- ARC FAULT CIRCUIT INTERRUPTING (AFCI) TYPE BREAKER.
- CLASS 'A', 5mA RATED GROUND FAULT CIRCUIT INTERRUPTING (GFCI) TYPE BREAKER.
- COMBINATION AFCI/GFCI TYPE BREAKER.

Panel Designation: 3BR APT #
Location: 3 Bedroom Apartment
Voltage: 208/120V-1Ph-3W
Enclosure: NEMA 1

Mounting: Flush
Bus Amps: 125
MCB Amps: MLO
Other: 10 KAIC, unless noted otherwise
 Panel is typical for 3BR units

Circuit #	Load Description	Conductors	C/B Size	C/B Size	Conductors	Load Description	Circuit #
3	1	—	—	20 / 1	2#12, #12G, 1/2" C	KITCHEN/LIVING/HALL LTS	2
3	3	2#12, #12G, 1/2" C	20 / 1	20 / 1	2#12, #12G, 1/2" C	CLOTHES WASHER RCPT	4
3	5	2#12, #12G, 1/2" C	20 / 1	30 / 2	3#10, #10G, 3/4" C	CLOTHES DRYER	6
3	7	2#12, #12G, 1/2" C	20 / 1	—	—	—	8
3	9	2#12, #12G, 1/2" C	20 / 1	40 / 2	3#8, #10G, 1" C	RANGE	10
3	11	2#12, #12G, 1/2" C	20 / 1	—	—	—	12
1	13	2#12, #12G, 1/2" C	20 / 1	25 / 2	2#10, #10G, 3/4" C	HEAT PUMP 'HP'	14
1	15	2#12, #12G, 1/2" C	20 / 1	—	—	—	16
1	17	2#12, #12G, 1/2" C	20 / 1	45 / 2	2#6, #10G, 3/4" C	BLOWER COIL 'BC'	18
1	19	2#12, #12G, 1/2" C	20 / 1	—	—	—	20
1	21	2#12, #12G, 1/2" C	20 / 1	20 / 1	2#12, #12G, 1/2" C	MASTER BATHROOM	22
1	23	2#12, #12G, 1/2" C	20 / 1	30 / 2	2#10, #10G, 3/4" C	WATER HEATER 'HW'	24
1	25	2#12, #12G, 1/2" C	20 / 1	—	—	—	26
1	27	—	—	—	—	—	28
1	29	—	—	—	—	—	30

NOTE: PANELS 'D108', 'D208', 'E102', 'E202', 'E302', 'G108', 'G208', 'H102', 'H202', AND 'H302' SHALL BE 22 KAIC RATED.

Panel Designation: 2BR APT #
Location: 2 Bedroom Apartment
Voltage: 208/120V-1Ph-3W
Enclosure: NEMA 1

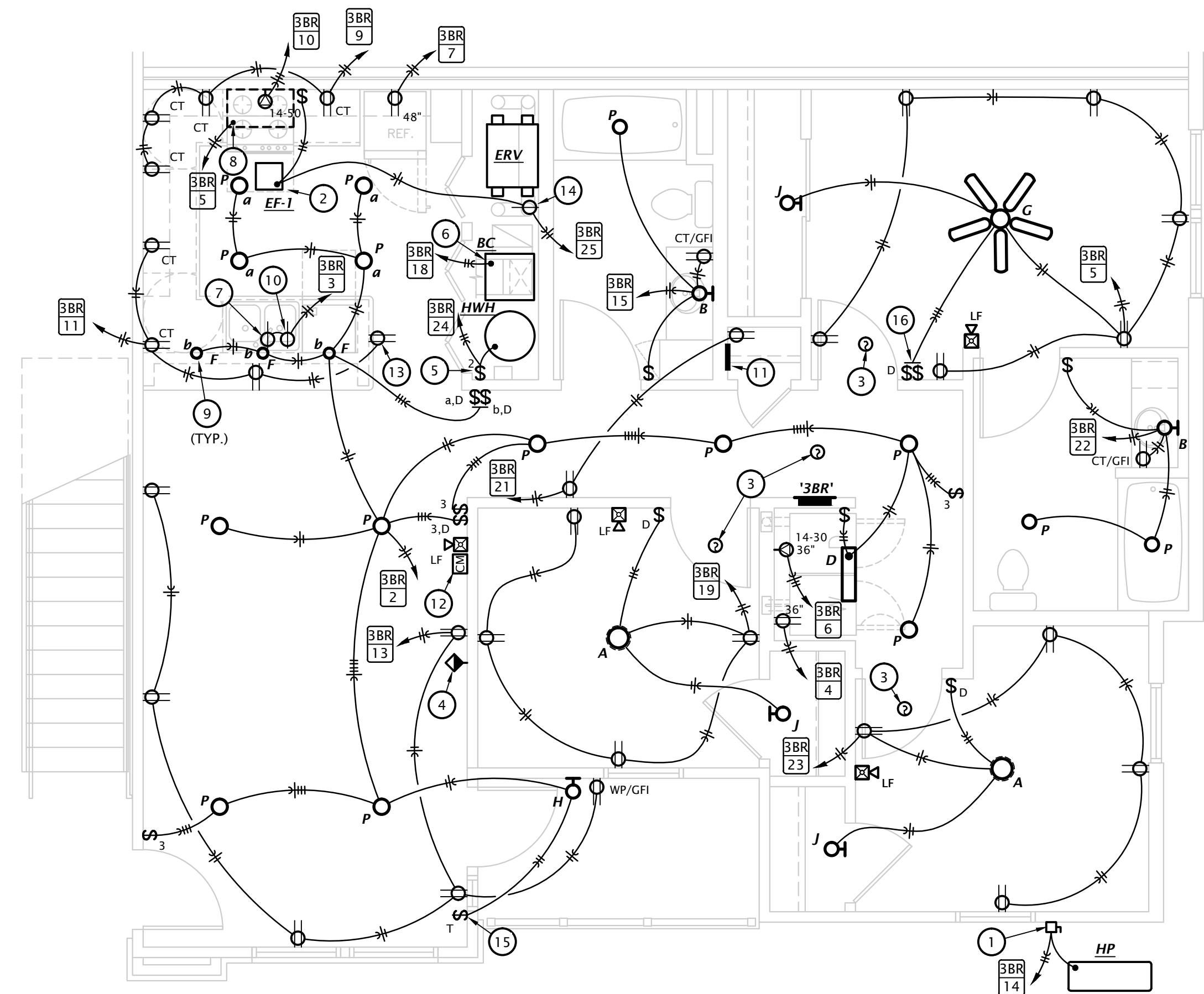
Mounting: Flush
Bus Amps: 125
MCB Amps: MLO
Other: 10 KAIC
 Panel is typical for 2BR units

Circuit #	Load Description	Conductors	C/B Size	C/B Size	Conductors	Load Description	Circuit #
3	1	—	—	20 / 1	2#12, #12G, 1/2" C	KITCHEN/LIVING/HALL LTS	2
3	3	2#12, #12G, 1/2" C	20 / 1	20 / 1	2#12, #12G, 1/2" C	CLOTHES WASHER RCPT	4
3	5	2#12, #12G, 1/2" C	20 / 1	30 / 2	3#10, #10G, 3/4" C	CLOTHES DRYER	6
3	7	2#12, #12G, 1/2" C	20 / 1	—	—	—	8
3	9	2#12, #12G, 1/2" C	20 / 1	40 / 2	3#8, #10G, 1" C	RANGE	10
3	11	2#12, #12G, 1/2" C	20 / 1	—	—	—	12
1	13	2#12, #12G, 1/2" C	20 / 1	25 / 2	2#10, #10G, 3/4" C	HEAT PUMP 'HP'	14
1	15	2#12, #12G, 1/2" C	20 / 1	—	—	—	16
1	17	2#12, #12G, 1/2" C	20 / 1	45 / 2	2#6, #10G, 3/4" C	BLOWER COIL 'BC'	18
1	19	2#12, #12G, 1/2" C	20 / 1	—	—	—	20
1	21	2#12, #12G, 1/2" C	20 / 1	20 / 1	2#12, #12G, 1/2" C	MASTER BATHROOM	22
1	23	2#12, #12G, 1/2" C	20 / 1	30 / 2	2#10, #10G, 3/4" C	WATER HEATER 'HW'	24
1	25	—	—	—	—	—	26
1	27	—	—	—	—	—	28
1	29	—	—	—	—	—	30

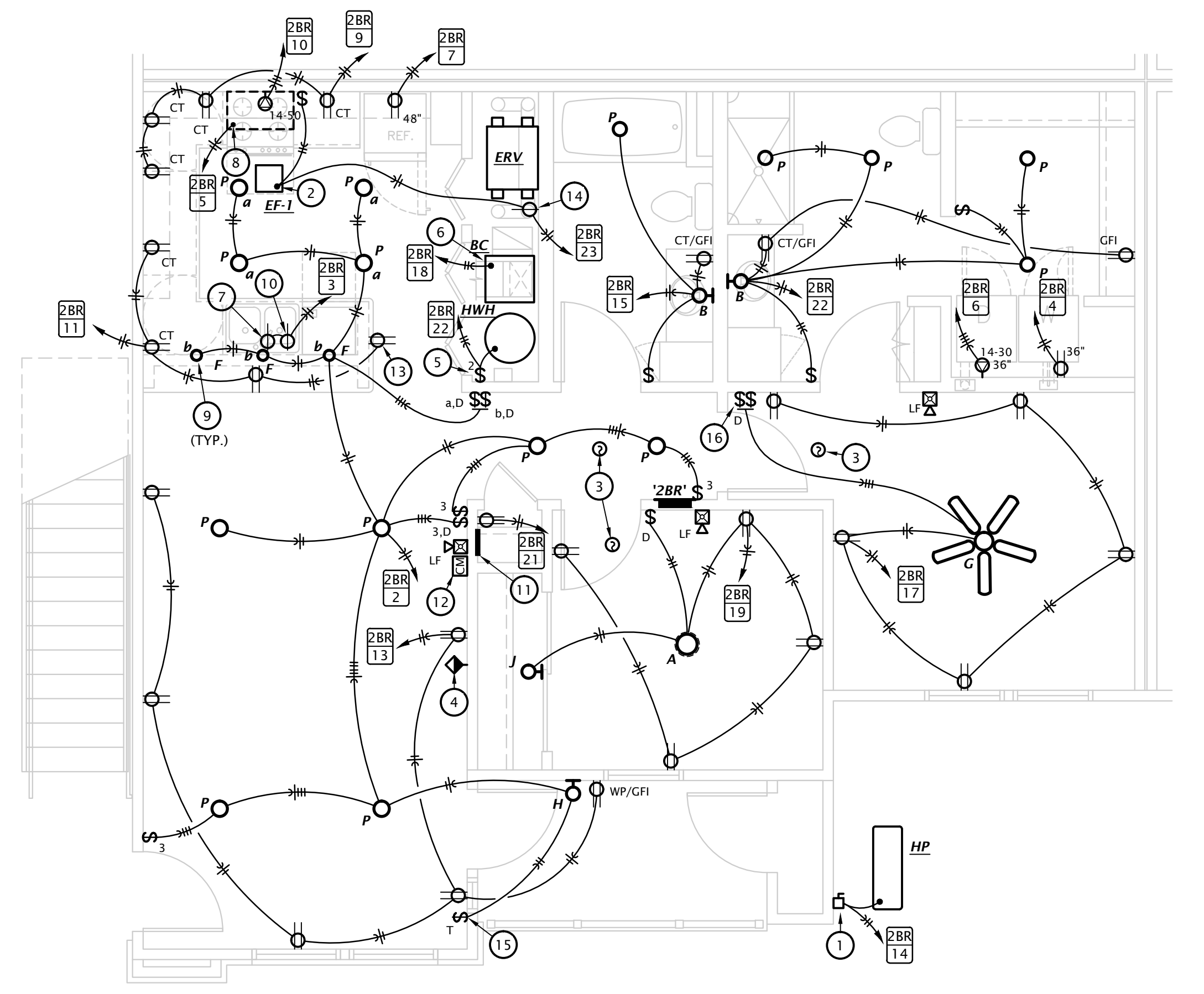
Panel Designation: 1BR APT #
Location: 1 Bedroom Apartment
Voltage: 208/120V-1Ph-3W
Enclosure: NEMA 1

Mounting: Flush
Bus Amps: 125
MCB Amps: MLO
Other: 10 KAIC
 Panel is typical for 1BR units

Circuit #	Load Description	Conductors	C/B Size	C/B Size	Conductors	Load Description	Circuit #
3	1	—	—	20 / 1	2#12, #12G, 1/2" C	KITCHEN/LIVING/HALL LTS	2
3	3	2#12, #12G, 1/2" C	20 / 1	20 / 1	2#12, #12G, 1/2" C	CLOTHES WASHER RCPT	4
3	5	2#12, #12G, 1/2" C	20 / 1	30 / 2	3#10, #10G, 3/4" C	CLOTHES DRYER	6
3	7	2#12, #12G, 1/2" C	20 / 1	—	—	—	8
3	9	2#12, #12G, 1/2" C	20 / 1	40 / 2	3#8, #10G, 1" C	RANGE	10
3	11	2#12, #12G, 1/2" C	20 / 1	—	—	—	12
1	13	2#12, #12G, 1/2" C	20 / 1	25 / 2	2#10, #10G, 3/4" C	HEAT PUMP 'HP'	14
1	15	2#12, #12G, 1/2" C	20 / 1	—	—	—	16
1	17	2#12, #12G, 1/2" C	20 / 1	45 / 2	2#6, #10G, 3/4" C	BLOWER COIL 'BC'	18
1	19	2#12, #12G, 1/2" C	20 / 1	—	—	—	20
1	21	2#12, #12G, 1/2" C	20 / 1	30 / 2	2#10, #10G, 3/4" C	WATER HEATER 'HW'	22
1	23	—	—	—	—	—	24



3 3 BEDROOM POWER PLAN
 1/4" = 1'-0"



2 2 BEDROOM POWER PLAN
 1/4" = 1'-0"

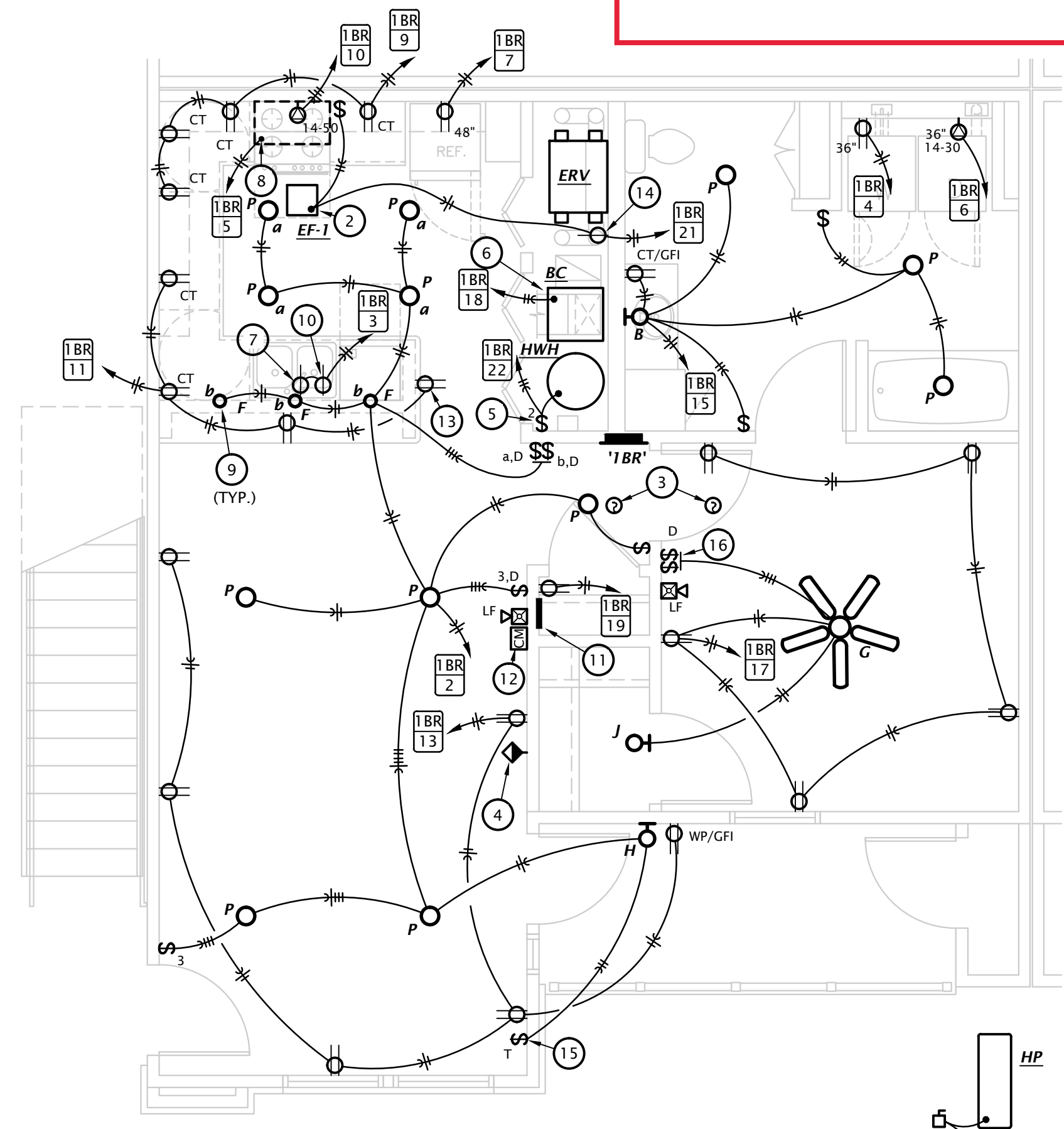
ELECTRICAL NOTES BY SYMBOL

- NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.
- VERIFY EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PROVIDED OR SELECTED BY OWNER.
 - PROVIDE TAMPER PROOF RECEPTACLES IN DWELLING UNITS PER NEC REQUIREMENTS.
 - PROVIDE 30A/2P/240V NEMA 3R DISCONNECT SWITCH AND CONNECT HEAT PUMP. UTILIZE LIQUID TIGHT FLEXIBLE METAL CONDUIT BETWEEN DISCONNECT AND HEAT PUMP. SEE SHEETS ME.1 AND ME.1.2 FOR LOCATIONS. COORDINATE EXACT REQUIREMENTS AND LOCATION WITH M.C.
 - CONNECT EXHAUST FAN PROVIDED BY MECHANICAL CONTRACTOR.
 - FIRE ALARM SYSTEM SMOKE DETECTOR.
 - COORDINATE FINAL LOCATIONS OF ALL CATV AND PHONE OUTLETS WITH OWNER. SEE 3.E6.1 FOR MORE INFORMATION.
 - PROVIDE 30A/2P SNAP SWITCH AND CONNECT WATER HEATER.
 - MAKE CONNECTION TO BLOWER COIL. EQUIPMENT TO BE PROVIDED WITH INTEGRAL DISCONNECT SWITCH. SEE EQUIPMENT SCHEDULE FOR MORE INFORMATION. COORDINATE REQUIREMENTS WITH M.C.
 - PROVIDE SWITCHED SIMPLEX RECEPTACLE BELOW COUNTER FOR DISPOSAL OPERATION. SWITCH SHALL BE COUNTERTOP MOUNTED. AIR ACTIVATED PUSH BUTTON TYPE, FINISH TO MATCH SINK. COORDINATE EXACT LOCATION OF PUSH BUTTON WITH ARCHITECT.
 - PROVIDE 120V CONNECTION TO MICROWAVE. COORDINATE EXACT ELECTRICAL ROUGH-IN REQUIREMENTS WITH EQUIPMENT PROVIDED. IF EQUIPMENT IS CORD AND PLUG, PROVIDE RECEPTACLE INSIDE CABINET ABOVE RANGE.
 - INSTALL PENDANTS DIRECTLY ABOVE KNEE WALL BELOW. REFERENCE ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT FIXTURE SPACING.
 - PROVIDE SIMPLEX RECEPTACLE BELOW COUNTER FOR CORD AND PLUG CONNECTION OF DISHWASHER. PROVIDE CORD AND GROUNDING PLUG AS REQUIRED. RECEPTACLE SHALL BE LOCATED IN BASE CABINET ADJACENT TO DISHWASHER TO ALLOW ACCESS TO PLUG.
 - TELECOM DISTRIBUTION DEVICE. SEE DETAIL 3, SHEET E6.1. COORDINATE EXACT REQUIREMENTS WITH UTILITY PROVIDER SELECTED BY OWNER.
 - FIRE ALARM ADDRESSABLE CONTROL MODULE FOR CONTROL OF APARTMENT UNIT'S NOTIFICATION APPLIANCE CIRCUIT. MODULE SHALL BE PROGRAMMED TO ACTIVATE APARTMENT UNIT'S NOTIFICATION APPLIANCES UPON GENERAL BUILDING FIRE ALARM AND UPON ACTIVATION OF ANY SMOKE DETECTOR WITHIN APARTMENT UNIT. MOUNT FLUSH IN WALL AT 8"0".
 - MOUNT RECEPTACLE 6" BELOW COUNTER TOP.
 - PROVIDE SIMPLEX RECEPTACLE FOR CORD AND PLUG CONNECTION OF ENERGY RECOVERY VENTILATOR 'ERV'.
 - PROVIDE DIGITAL WALL TIMER FOR DUSK TO DAWN OPERATION WITH MANUAL OVERRIDE FOR CONTROL OF EXTERIOR LIGHT.
 - SWITCH CEILING FAN AND LIGHT SEPARATELY.

Provide Ground-Fault-Interrupter Protection per 210.8(A) through (F) 2023 NEC

Electrical receptacle spacing and locations shall comply with 210.52(A) (1-4) 2023 NEC

A receptacle installed outdoors in a location protected from the weather or in other damp locations shall comply with 406.9(A) 2023 NEC



1 1 BEDROOM POWER PLAN
 1/4" = 1'-0"

Install required lighting outlets for dwelling units per 2023 NEC 210.70(A)(B)(C).

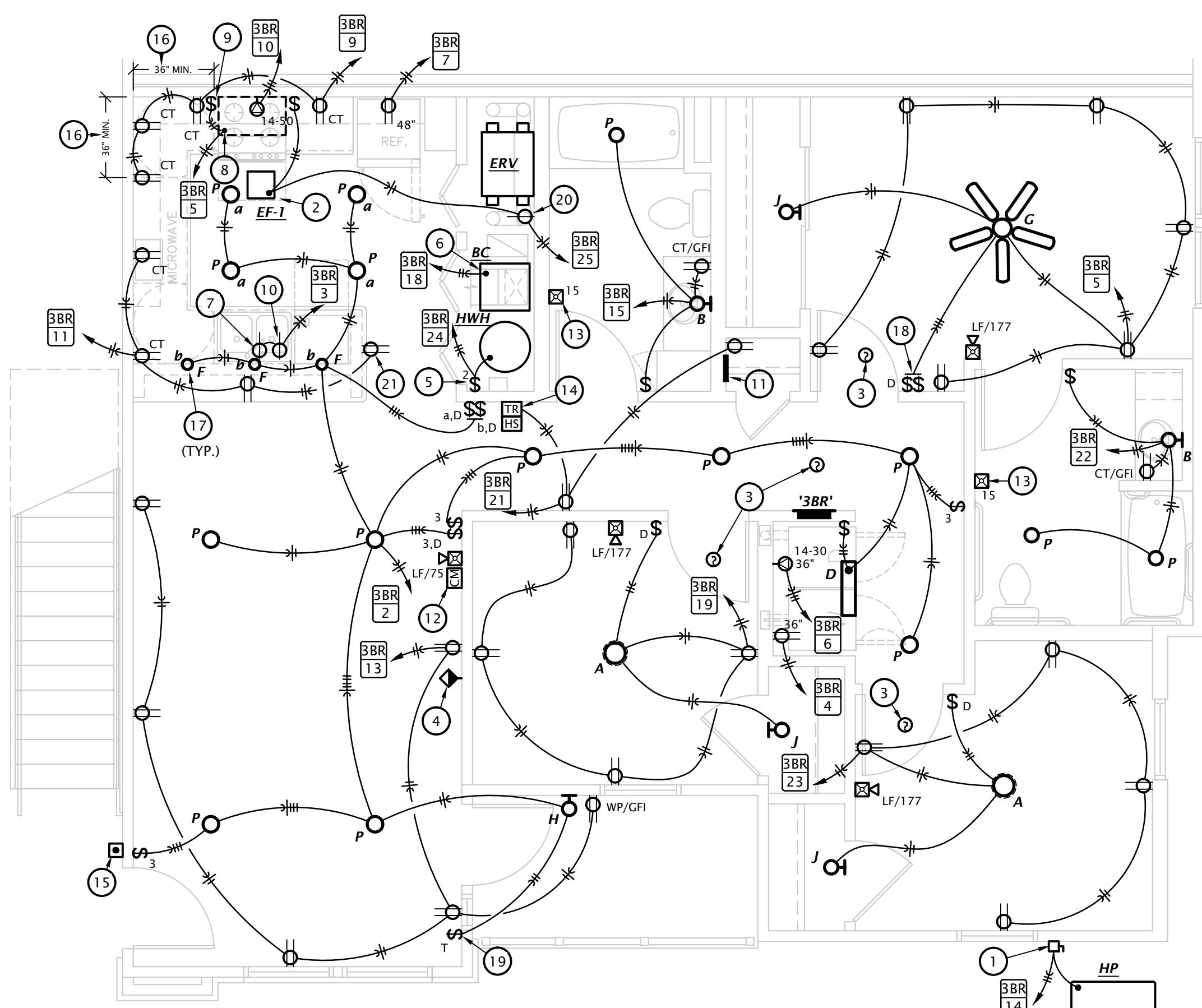
Electrical receptacle spacing and locations shall comply with 210.52(A)(1-4) 2023 NEC

A receptacle installed outdoors in a location protected from the weather or in other damp locations shall comply with 406.9(A) 2023 NEC

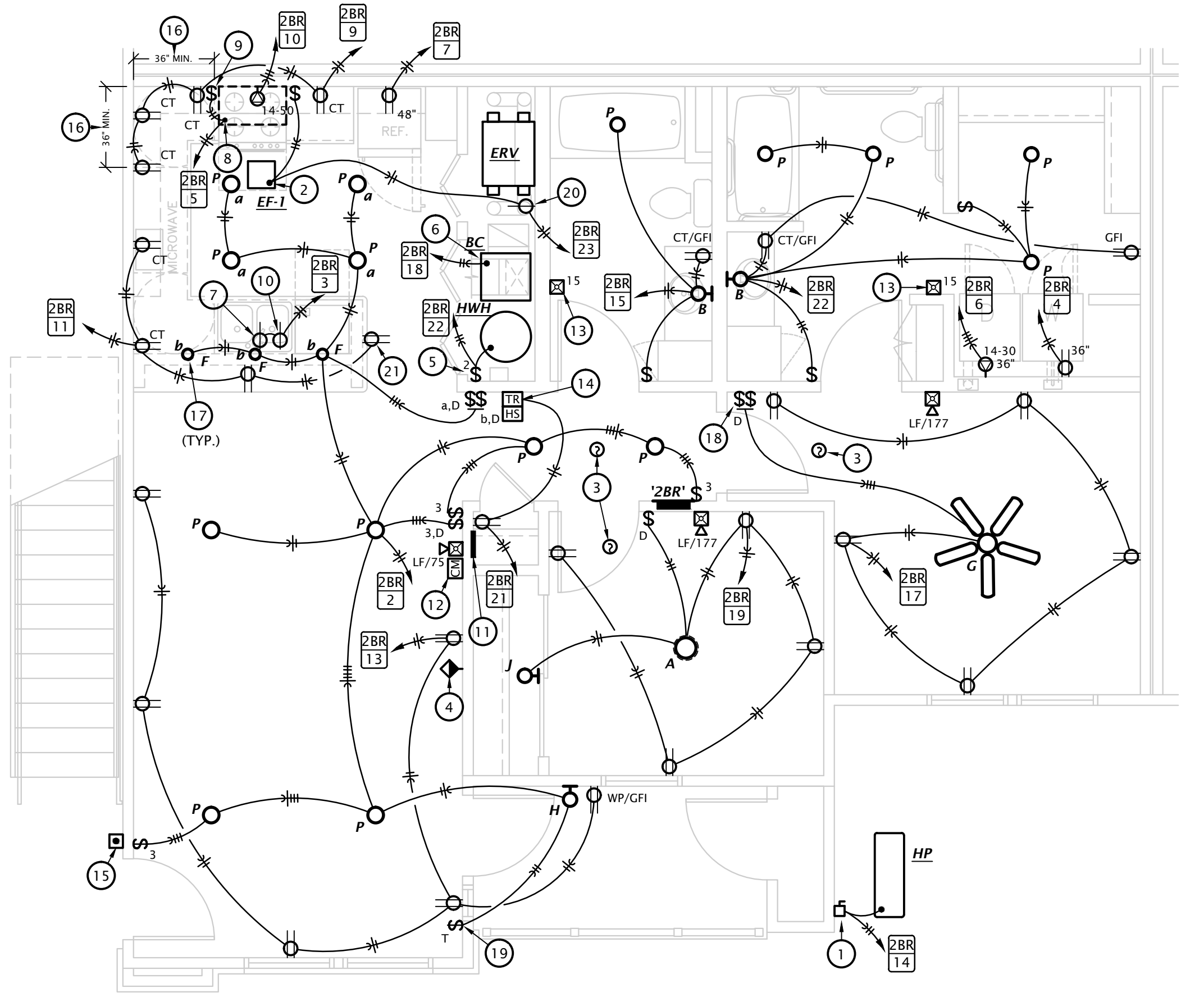
Provide Ground-Fault-Circuit-Interrupter Protection per 210.8(A) through (F) 2023 NEC

ELECTRICAL NOTES BY SYMBOL

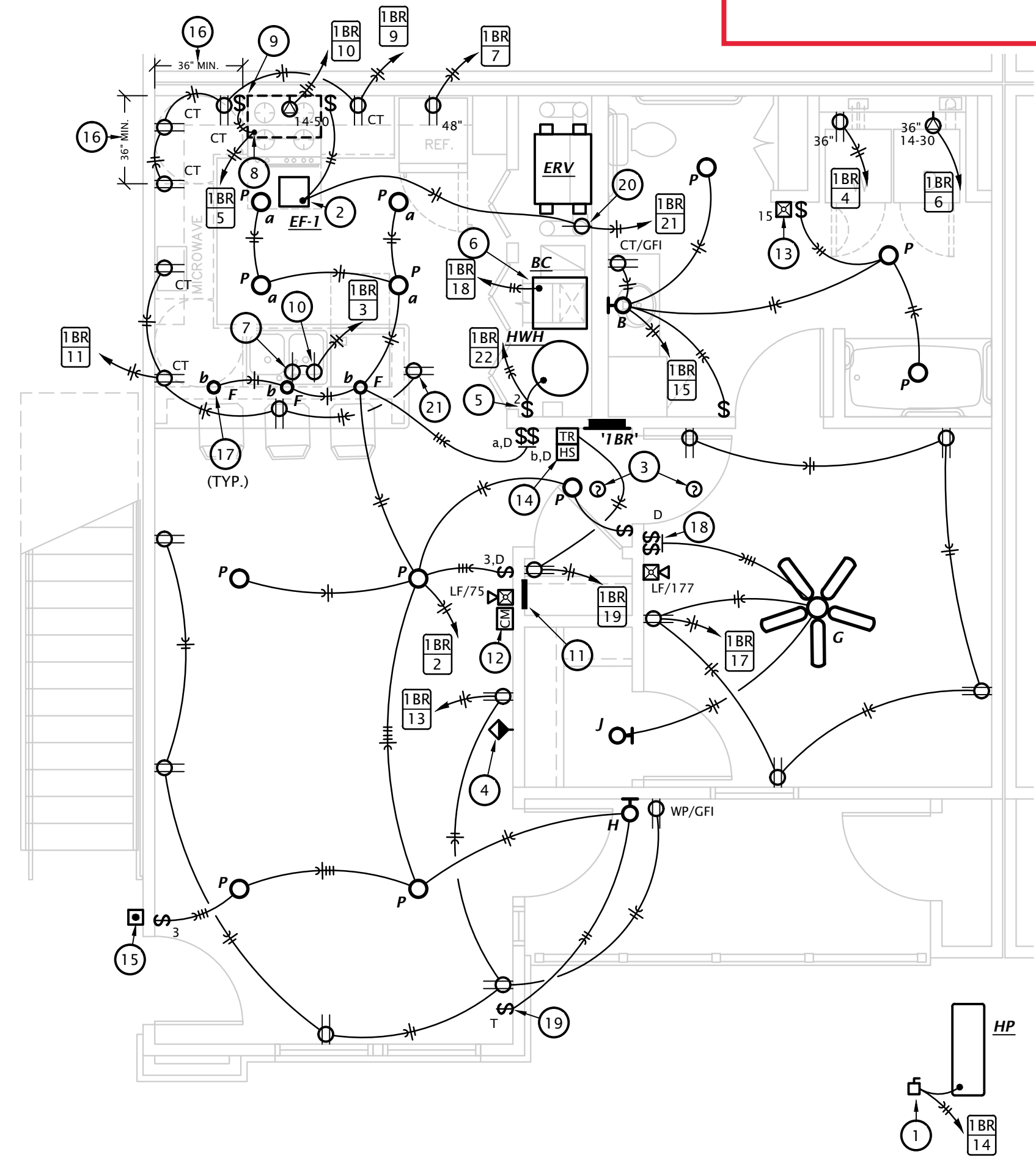
- NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.
- VERIFY EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PROVIDED OR SELECTED BY OWNER.
 - PROVIDE TAMPER PROOF RECEPTACLES IN DWELLING UNITS PER NEC REQUIREMENTS.
 - PROVIDE 30A/2P/240V NEMA 3R DISCONNECT SWITCH AND CONNECT HEAT PUMP. UTILIZE LIQUID TIGHT FLEXIBLE METAL CONDUIT BETWEEN DISCONNECT AND HEAT PUMP. SEE SHEETS ME1.1 AND ME1.2 FOR LOCATIONS.
 - CONNECT EXHAUST FAN PROVIDED BY MECHANICAL CONTRACTOR.
 - FIRE ALARM SYSTEM SMOKE DETECTOR.
 - COORDINATE FINAL LOCATIONS OF ALL CATV AND PHONE OUTLETS WITH OWNER. SEE 3.E6.1 FOR MORE INFORMATION.
 - PROVIDE 30A/2P SNAP SWITCH AND CONNECT WATER HEATER.
 - MAKE CONNECTION TO BLOWER COIL. EQUIPMENT TO BE PROVIDED WITH INTEGRAL DISCONNECT SWITCH. SEE EQUIPMENT SCHEDULE FOR MORE INFORMATION. COORDINATE REQUIREMENTS WITH M.C.
 - PROVIDE SWITCHED SIMPLEX RECEPTACLE BELOW COUNTER FOR DISPOSAL OPERATION. SWITCH SHALL BE COUNTERTOP MOUNTED, AIR ACTIVATED PUSH BUTTON TYPE, FINISH TO MATCH SINK. COORDINATE EXACT LOCATION OF PUSH BUTTON WITH ARCHITECT.
 - PROVIDE 120V CONNECTION TO RANGE HOOD. ACCESSIBLE UNITS WILL HAVE RANGE HOOD. COORDINATE EXACT ELECTRICAL ROUGH-IN REQUIREMENTS WITH EQUIPMENT PROVIDED. IF EQUIPMENT IS CORD AND PLUG, PROVIDE RECEPTACLE INSIDE CABINET ABOVE RANGE.
 - PROVIDE SWITCH IN ACCESSIBLE UNITS FOR CONTROL OF RANGE HOOD.
 - PROVIDE SIMPLEX RECEPTACLE BELOW COUNTER FOR CORD AND PLUG CONNECTION OF DISHWASHER. PROVIDE CORD AND GROUNDING PLUG AS REQUIRED. RECEPTACLE SHALL BE LOCATED IN BASE CABINET ADJACENT TO DISHWASHER TO ALLOW ACCESS TO PLUG.
 - TELECOM DISTRIBUTION DEVICE. SEE DETAIL 3, SHEET E6.1. COORDINATE EXACT REQUIREMENTS WITH UTILITY PROVIDER SELECTED BY OWNER.
 - FIRE ALARM ADDRESSABLE CONTROL MODULE FOR CONTROL OF APARTMENT UNIT'S NOTIFICATION APPLIANCE CIRCUIT. MODULE SHALL BE PROGRAMMED TO ACTIVATE APARTMENT UNIT'S NOTIFICATION APPLIANCES UPON GENERAL BUILDING FIRE ALARM AND UPON ACTIVATION OF ANY SMOKE DETECTOR OR CO DETECTOR WITHIN APARTMENT UNIT. MOUNT FLUSH IN WALL AT 8'-0" AFF.
 - IN HEARING IMPAIRED APARTMENT BATHROOMS, PROVIDE AUXILIARY STROBE AT 80" AFF.
 - PROVIDE DOOR ANNUNCIATOR SYSTEM A/V HORN/STROBE DEVICE AND LOW VOLTAGE TRANSFORMER AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED HEARING-IMPAIRED. INSTALL HORN/STROBE APPLIANCE AT 80" AFF. INSTALL TRANSFORMER IN DOUBLE GANG JUNCTION BOX ABOVE HORN/STROBE WITH BLANK COVER PLATE AND PROVIDE LOW VOLTAGE CONTROL WIRING. REFER TO DETAIL 4, SHEET E6.1. PROVIDE ENGRAVED SIGN AT THE HORN/STROBE DEVICE TO READ "DOOR".
 - PROVIDE PUSH BUTTON AT 48" AFF FOR ANNUNCIATOR SYSTEM AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED FOR HEARING-IMPAIRED. REFER TO ARCH DRAWINGS FOR APPLICABLE ROOMS. REFER TO DETAIL 4, SHEET E6.1.
 - IN ACCESSIBLE UNITS, INSTALL COUNTERTOP RECEPTACLES A MINIMUM 36" AWAY FROM CORNER PER FAIR HOUSING ACT DESIGN MANUAL CHAPTER 5 'SIDE REACH OVER AN OBSTRUCTION' REQUIREMENTS. WHERE AN OBSTRUCTION PREVENTS 36" DISTANCE REQUIREMENT, INSTALL RECEPTACLE AS FAR FROM CORNER AS POSSIBLE. PROVIDE ADDITIONAL OUTLETS WITHIN 36" OF CORNER TO ENSURE COMPLIANCE WITH NEC SPACING REQUIREMENTS.
 - INSTALL PENDANTS DIRECTLY ABOVE KNEE WALL BELOW. REFERENCE ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT FIXTURE SPACING.
 - SWITCH CEILING FAN AND LIGHT SEPARATELY.
 - PROVIDE DIGITAL WALL TIMER FOR DUSK TO DAWN OPERATION WITH MANUAL OVERRIDE FOR CONTROL OF EXTERIOR LIGHT.
 - PROVIDE SIMPLEX RECEPTACLE FOR CORD AND PLUG CONNECTION OF ENERGY RECOVERY VENTILATOR 'ERV'.
 - MOUNT RECEPTACLE 6" BELOW COUNTER TOP.



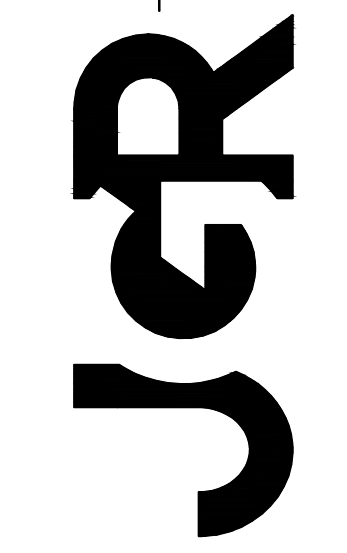
3 ACCESSIBLE 3 BEDROOM POWER PLAN
 1/4" = 1'-0"



2 ACCESSIBLE 2 BEDROOM POWER PLAN
 1/4" = 1'-0"



1 ACCESSIBLE 1 BEDROOM POWER PLAN
 1/4" = 1'-0"



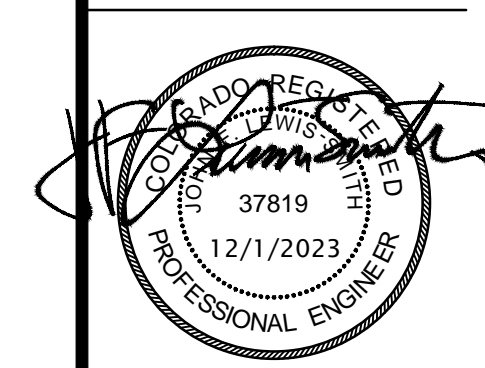
REVISION:	
DATE:	10-2-2023
JOB:	22-3219
SHEET NO.:	



City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: A. Sharpley
 Date: Feb 22, 2024
 2021 INTERNATIONAL CODES & 2023 NEC

JGR JonesGillamRenz
 1881 Main Street, Suite #301
 Kansas City, MO 64108
 jgr@jgarchitects.com
 730 N. Ninth
 Salina, KS 67401
 785.827.0386

THE RESERVES at EAGLE POINT
 365 NORTH PICADILLY RD
 AURORA, COLORADO



REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

E6.1

COPYRIGHTED

APARTMENT LIGHT FIXTURE SCHEDULE

MARK	MANUF.	MODEL NUMBER	#	LAMP DATA	BALLAST/LED DRIVER	MOUNTING	FINISH	DESCRIPTION	NOTES
				TYPE					
A	LITHONIA	FMML-13-8-30	---	1900 LUMEN 28W LED	STANDARD	SURFACE	WHITE	13" ROUND LED FLUSH MOUNT	
B	SEAGULL	4423003EN3-710	3	9.5W LED	STANDARD	WALL	BURNT SIENNA	3 LAMP VANITY LIGHT	
D	SEAGULL	5913691S-15	---	26W LED	STANDARD	SURFACE	WHITE	2 FOOT LINEAR LED WITH ACRYLIC LENS	
E	LITHONIA	EU2-LED-M12	2	1W LED	STANDARD	WALL	WHITE	LED EMERGENCY LIGHT	6
F	N/A	SELECTED BY OWNER	---	200 LUMEN	STANDARD	PENDANT AT 6'6" AFF TO BOTTOM	OLD BRONZE	3'Ø x 12" HIGH DECORATIVE MINI-PENDANT	
G	SEAGULL	15030EN-829	2	10W LED	STANDARD	SURFACE	BRONZE	52" DIAMETER CEILING FAN WITH LED LIGHT KIT	
H	SEAGULL	89029EN3-12	1	20W LED	STANDARD	WALL AT 6'8" AFF TO CENTER MOUNT	BLACK	OUTDOOR WALL LANTERN WITH GLASS LENS	4,5
J	LITHONIA	FMML-13-8-40-PIR	---	1225 LUMEN 17W LED	STANDARD	WALL	WHITE	24" WALL MOUNTED LED CLOSET LIGHT	
K	LITHONIA	FMML-13-8-40-WL	---	1985 LUMEN 28W LED	STANDARD	SURFACE	WHITE	13" ROUND LED FLUSH MOUNT	4
P	HALO	SMD6R-6-930-WH	---	600 LUMEN 10W LED	STANDARD	SURFACE	WHITE	6" ROUND SURFACE MOUNT DOWNLIGHT	3
R1	MCGRAW-EDISON	GLEON-SA2D-740-U-T2-HSS	---	15580 LUMEN 129W LED	STANDARD	POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE II DISTRIBUTION	1,4
R2	MCGRAW-EDISON	GLEON-SA2D-740-U-T3-HSS	---	15879 LUMEN 129W LED	STANDARD	POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE III DISTRIBUTION	1,4
R3	MCGRAW-EDISON	GLEON-SA1D-740-U-SL4-HSS	---	7719 LUMEN 67W LED	STANDARD	POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE IV DISTRIBUTION	7,4
R4	MCGRAW-EDISON	GLEON-SA1D-740-U-5WQ	---	8556 LUMEN 67W LED	STANDARD	POLE	BLACK	LED AREA LIGHT, SINGLE HEAD WITH IES TYPE V DISTRIBUTION	7,4
R5	MCGRAW-EDISON	GLEON-SA1D-740-U-T2-HSS	---	7972 LUMEN 67W LED	STANDARD	POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE II DISTRIBUTION	7,4
R6	MCGRAW-EDISON	GLEON-SA2D-740-U-5WQ	---	16723 LUMEN 129W LED	STANDARD	POLE	BLACK	LED AREA LIGHT, SINGLE HEAD FULL IES TYPE IV DISTRIBUTION	1,4
R7	MCGRAW-EDISON	GLEON-SA2D-740-U-T2-HSS GLEON-SA2D-740-U-T3-HSS	---	15580 LUMEN 129W LED 15879 LUMEN 129W LED	STANDARD	POLE	BLACK	LED AREA LIGHT, DUAL 90° HEAD FULL CUT-OFF WITH IES (1) TYPE II AND (1) TYPE III DISTRIBUTION	1,4
R8	MCGRAW-EDISON	GLEON-SA2D-740-U-T2-HSS GLEON-SA2D-740-U-T3-HSS	---	15580 LUMEN 129W LED 15879 LUMEN 129W LED	STANDARD	POLE	BLACK	LED AREA LIGHT, DUAL 180° HEAD WITH IES (1) TYPE II AND (1) TYPE III DISTRIBUTION	1,4
V	BULLARD BOLLARDS	CDD2	---	600 LUMEN SW LED	STANDARD	SURFACE WALL	BLACK	DECORATIVE LED WALL SCONCE	4
W	GOTHAM	ICO4-0/20/AR/LSS/20D	---	1900 LUMEN 21.5W LED	STANDARD	SURFACE	WHITE	4" DIAMETER LED WALL WASH DOWNLIGHT WITH 10° BEAM ANGLE	8

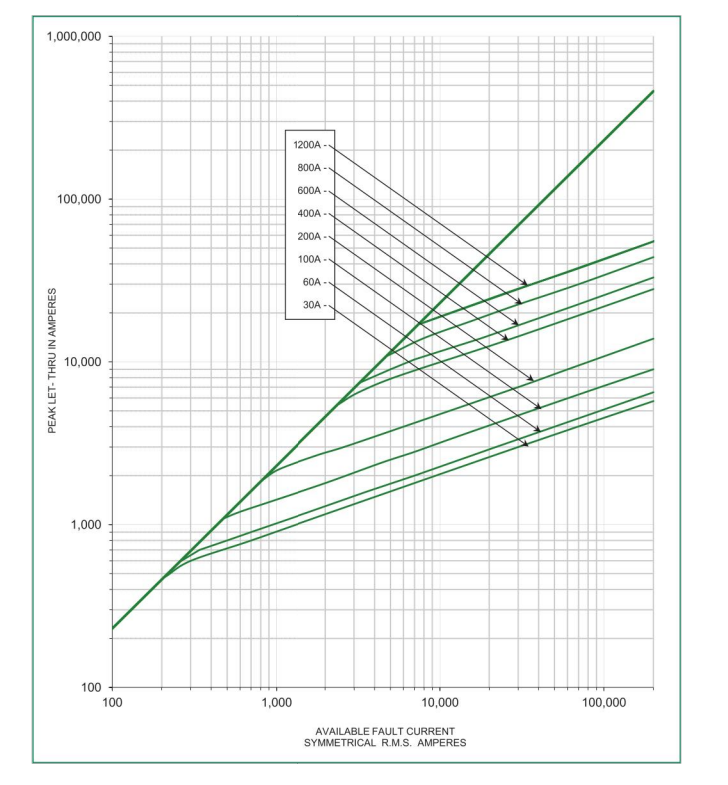
- GENERAL:**
- Fixture/pole assemblies shall be rated for 100mph wind loads. Provide wind dampeners when recommended by the manufacturer.
 - All fixtures shall be provided with multi-volt driver capable of operating between 120V-277V
 - All exterior fixtures shall be 4000K color temperature
 - All interior fixtures shall be 3000K color temperature
 - All apartment light fixtures and ceiling fans shall be Energy Star rated
- NOTES:**
1. Provide fixture/pole assembly with 22" round straight steel pole, bronze to match fixture. Fixture height shall not exceed 25'-0" AFG.
 2. Provide wall or ceiling mounted as required
 3. Where installed above showers and tubs fixture shall be wet location listed.
 4. Fixture shall be U.L. listed for wet locations.
 5. Provide fixture dusk to dawn control in accordance with Green Community requirements. See note 16 on sheet E1.1 for more information.
 6. Provide with test switch, status indicator and rechargeable nickel-cadmium battery for 90 minutes of emergency power.
 7. Provide fixture/pole assembly with 10" round straight steel pole, bronze to match fixture. Fixture height shall not exceed 12'-0" AFG.
 8. Fixture shall be U.L. listed for damp locations.

POWR-GARD® Fuse Datasheet



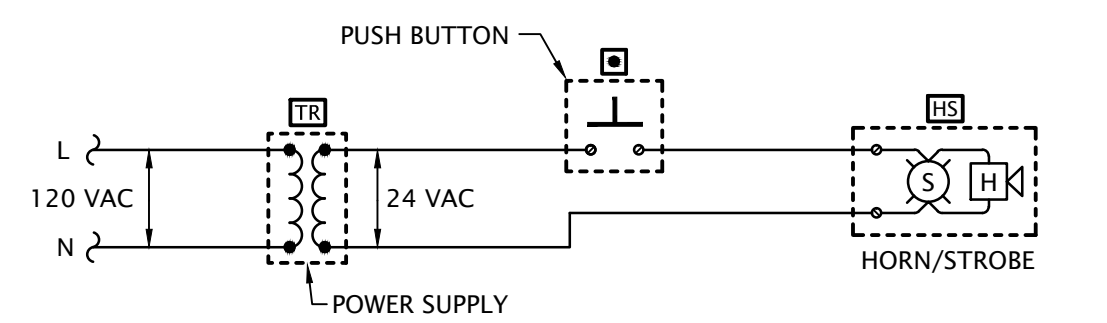
CLASS T - JLLN / JLLS SERIES FUSES

Peak Let-Thru Curve and Current-Limiting Effects of JLLN (300V) Fuses



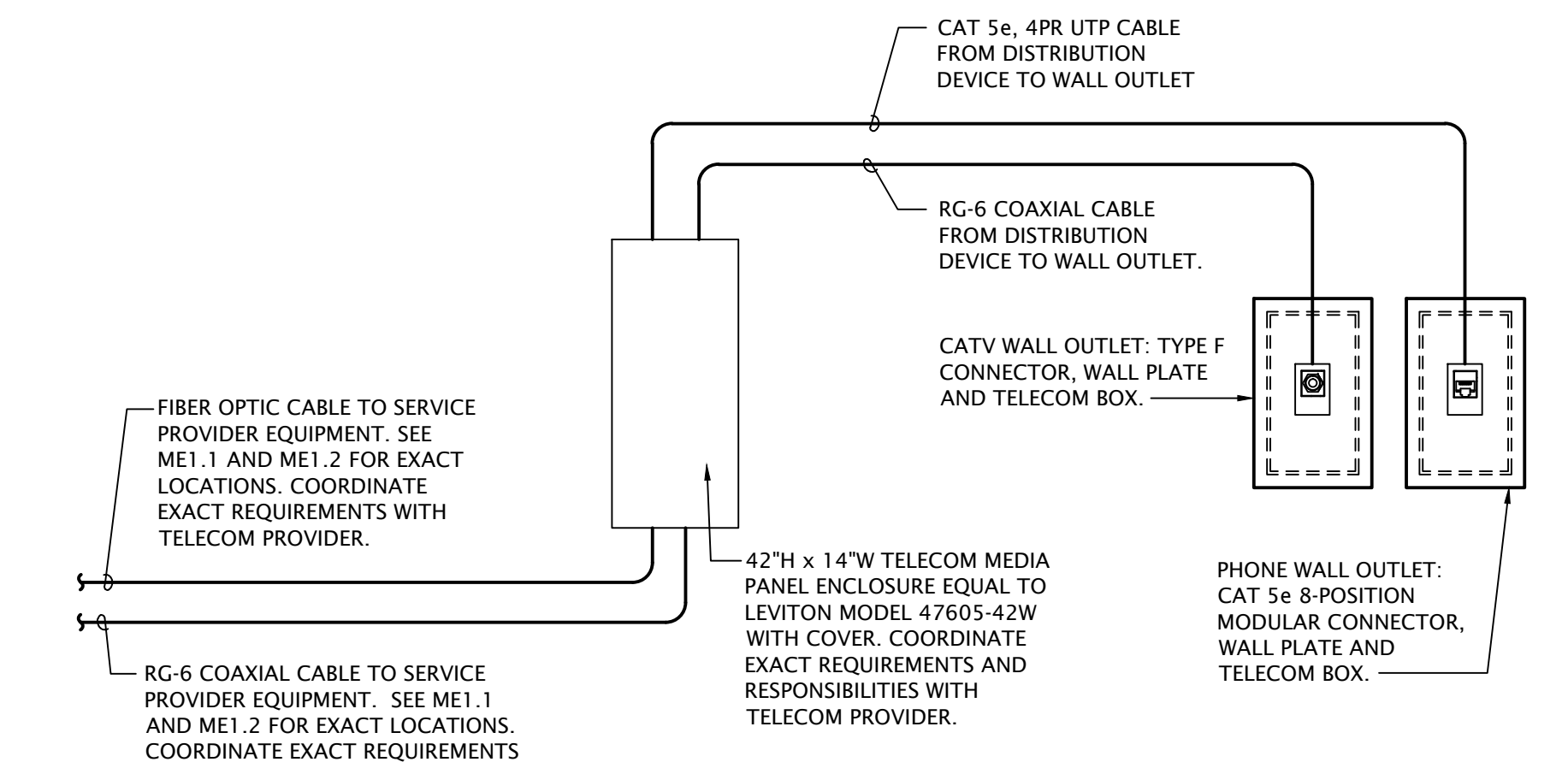
SHORT CIRCUIT CURRENT*	30 A	60 A	100 A	200 A	400 A	600 A	800 A	1200 A
5,000	700	775	1,100	1,650	3,500	4,000	5,000	5,000
10,000	800	1,000	1,400	2,100	4,400	5,100	6,750	8,250
15,000	1,000	1,100	1,600	2,400	5,000	5,900	7,750	10,000
20,000	1,100	1,250	1,800	2,700	5,500	6,500	8,750	11,000
25,000	1,200	1,300	1,950	2,900	6,000	7,000	9,500	12,000
30,000	1,300	1,475	2,050	3,100	6,400	7,500	10,000	12,500
35,000	1,330	1,575	2,150	3,300	6,750	7,750	10,500	13,500
40,000	1,430	1,600	2,300	3,500	7,000	8,000	11,000	14,000
50,000	1,500	1,750	2,400	3,700	7,500	8,750	12,000	15,000
60,000	1,700	1,900	2,700	4,000	8,000	9,500	12,500	16,000
80,000	1,850	2,100	2,900	4,400	9,000	10,500	14,000	17,500
100,000	2,000	2,250	3,100	4,800	9,750	11,500	15,000	18,500
150,000	2,200	2,600	3,600	5,500	11,000	13,000	17,500	22,000
200,000	2,600	2,900	3,900	6,000	12,000	14,500	19,500	24,000

*Prospective RMS Symmetrical Amperes Short-Circuit Current
 Note: Data Derived from Peak Let-Thru Curves
PER XCEL ENERGY STANDARDS, CURRENT LIMITING FUSES SHALL BE SELECTED TO LIMIT FAULTS TO 10,000 SYMMETRICAL RMS AMPS AT THE METER.

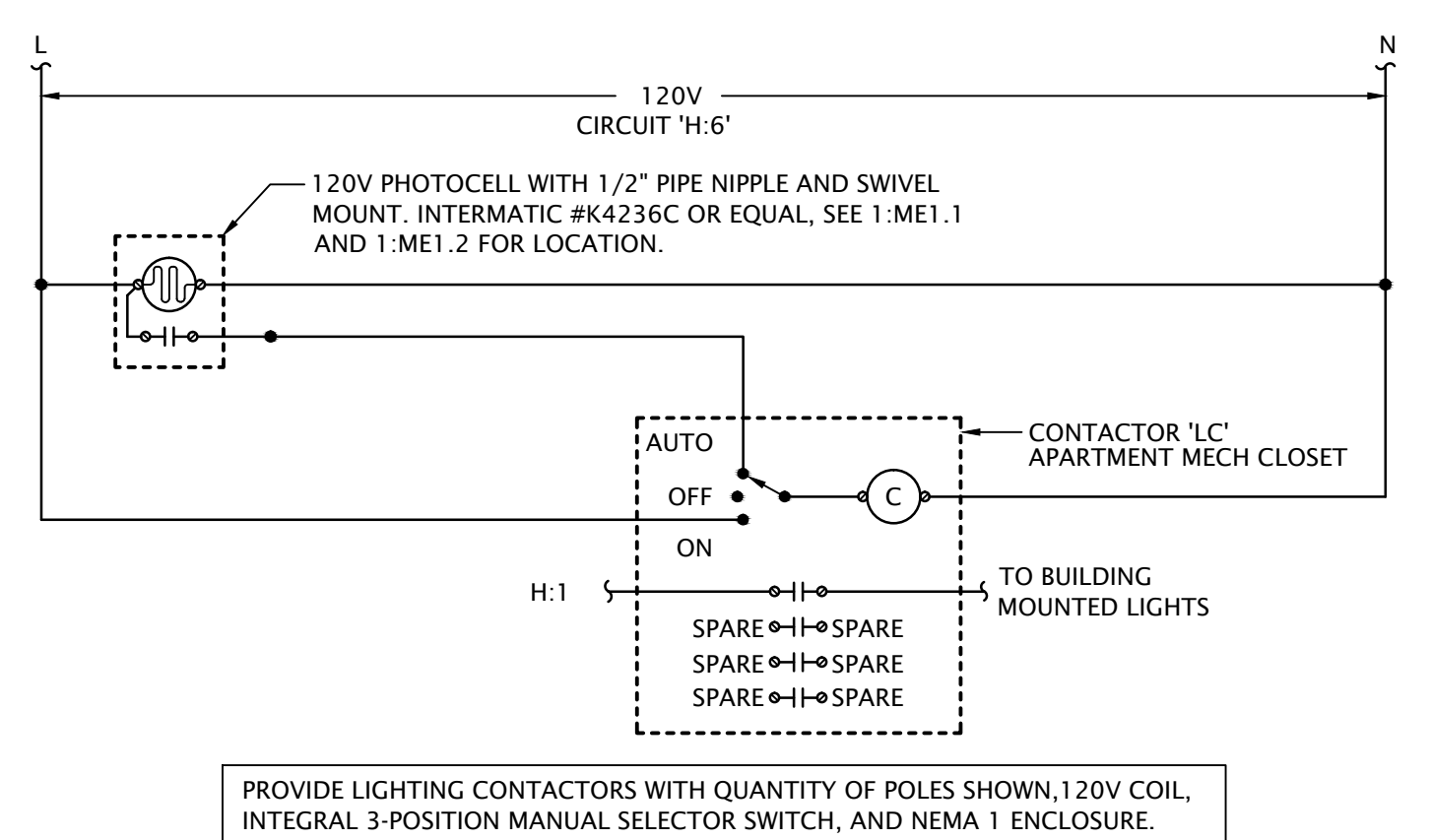


- DOOR ALARM BUZZER SYSTEM NOTES:**
1. PROVIDE DOOR ANNUNCIATOR SYSTEM COMPLETE WITH PUSH BUTTON, HORN/STROBE(S), POWER SUPPLIES AND ALL WIRING REQUIRED. HORN/STROBE SHALL ACTIVATE WHEN PUSH BUTTON IS DEPRESSED.
 2. HORN/STROBE SHALL OPERATE AT 24VAC. HAVE A CLEAR LENS WITH 50cd STROBE AND HORN WITH 82db AT 10', UL 1638 LISTED, EDWARDS #6536-G5. FLUSH MOUNT IN WALL AT 6'-8" AFF.
 3. PUSH BUTTON SHALL BE WHITE WITH CHROME RIM, NON-ILLUMINATED, WITH N.O. MOMENTARY CONTACTS, RATED FOR 0.67 AMPS AT 24VAC, EDWARDS #620. PROVIDE WITH STAINLESS STEEL COVER PLATE, EDWARDS #147-10. MOUNT AT 48" AFF.
 4. POWER SUPPLY SHALL BE A LOW VOLTAGE CLASS 2 TRANSFORMER WITH 120VAC PRIMARY AND 24VAC SECONDARY, 20VA, EDWARDS #598. FLUSH MOUNT IN 2-GANG WALL BOX WITH BLANK COVER PLATE, DIRECTLY ABOVE HORN/STROBE.
 5. LOW VOLTAGE CLASS 2 CABLING SHALL BE MINIMUM 18 AWG UNSHIELDED.

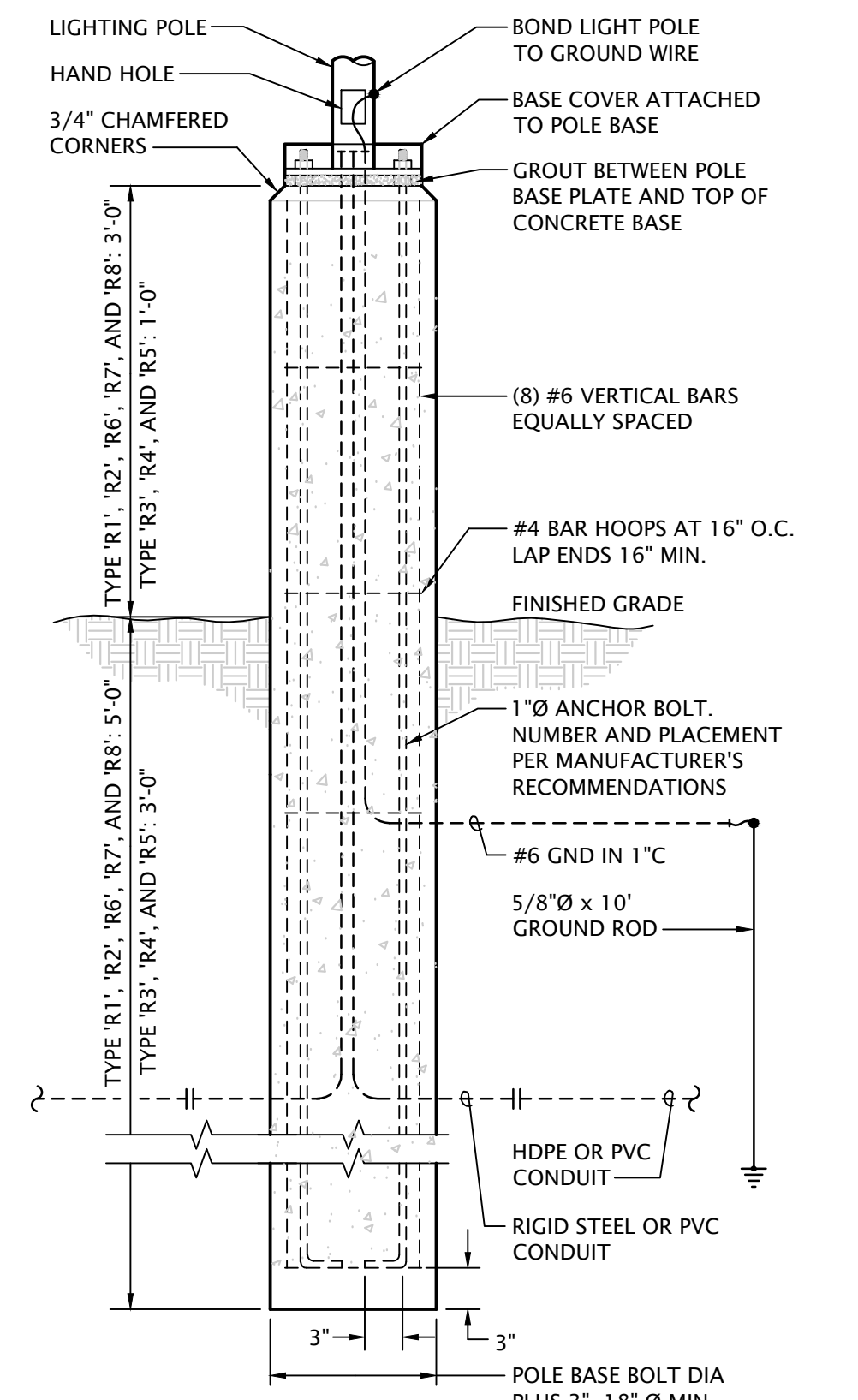
4 APARTMENT DOOR ANNUNCIATOR DIAGRAM
 No Scale



3 APARTMENT TELECOM WIRING SCHEMATIC
 No Scale



2 EXTERIOR LIGHTING CONTROL DIAGRAM
 No Scale



1 CONCRETE POLE BASE DETAIL
 No Scale

110.14. Identify disconnects per 2023 NEC 110.22 and provide working space and egress to and around electrical equipment per 2023 NEC 110.26

Every circuit and circuit modification shall be provided with a legible and permanent description that complies with all of the following conditions as applicable (see 1-6). 2023 NEC 408.4

IST Consulting Engineers, PA
 MANHATTAN 4809 Van Dine Plaza, Suite 201, Manhattan, KS 66503, 785.587.8042
 WICHITA 1225 S. Washington, Suite 150, Wichita, Kansas 67202, 316.285.0696
 www.ISTengineers.com, mail@ISTengineers.com

Project 23050 October 2023

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: A. Sharpley
 Date: Feb 22, 2024
 2021 INTERNATIONAL CODES & 2023 NEC

JonesGillamRenz
 730 N. Ninth
 Salina, KS 67401
 785.827.0386
 jgr@jgarchitects.com

THE RESERVES at EAGLE POINT
 365 NORTH PICADILLY RD
 AURORA, CO

PROFESSIONAL ENGINEER
 12/1/2023
 37819

SERVICE LATERAL SCHEDULE			
SERVICE LOCATION	FEEDER SIZE (ALUMINUM)	SERVICE EQUIPMENT RATING	GROUNDING ELECTRODE (ALUM. OR COPPER-CLAD)
BUILDING A	3 SETS: (4) #500 KCMIL AL. IN 3" C. EACH	42 KAIC	4/0
BUILDING B	4 SETS: (4) #300 KCMIL CU. IN 3" C. EACH	42 KAIC	250 KCMIL
BUILDING C	3 SETS: (4) #500 KCMIL AL. IN 4" C. EACH	42 KAIC	4/0
BUILDING D	4 SETS: (4) #400 KCMIL AL. IN 4" C. EACH	42 KAIC	4/0
BUILDING E	3 SETS: (4) #500 KCMIL AL. IN 4" C. EACH	42 KAIC	4/0
BUILDING F	3 SETS: (4) #500 KCMIL AL. IN 4" C. EACH	22 KAIC	4/0
BUILDING G	3 SETS: (4) #500 KCMIL AL. IN 4" C. EACH	42 KAIC	4/0
BUILDING H	3 SETS: (4) #500 KCMIL AL. IN 4" C. EACH	42 KAIC	4/0
CLUBHOUSE	2 SETS: (4) #250 KCM AL. IN 3" C. EACH	22 KAIC	3/0
EV	2 SETS: (4) #350 KCM AL. IN 3" C. EACH	22 KAIC	3/0

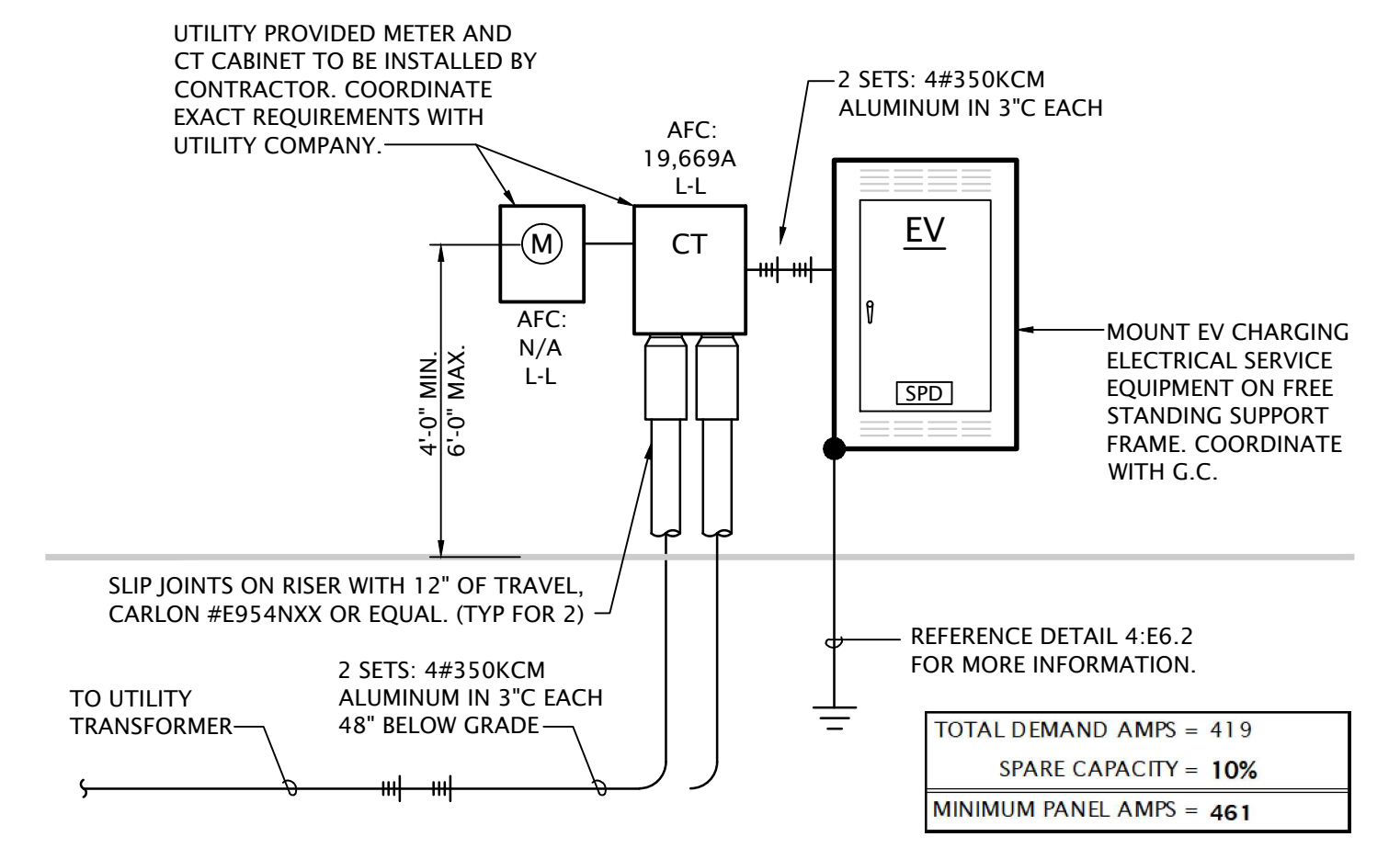
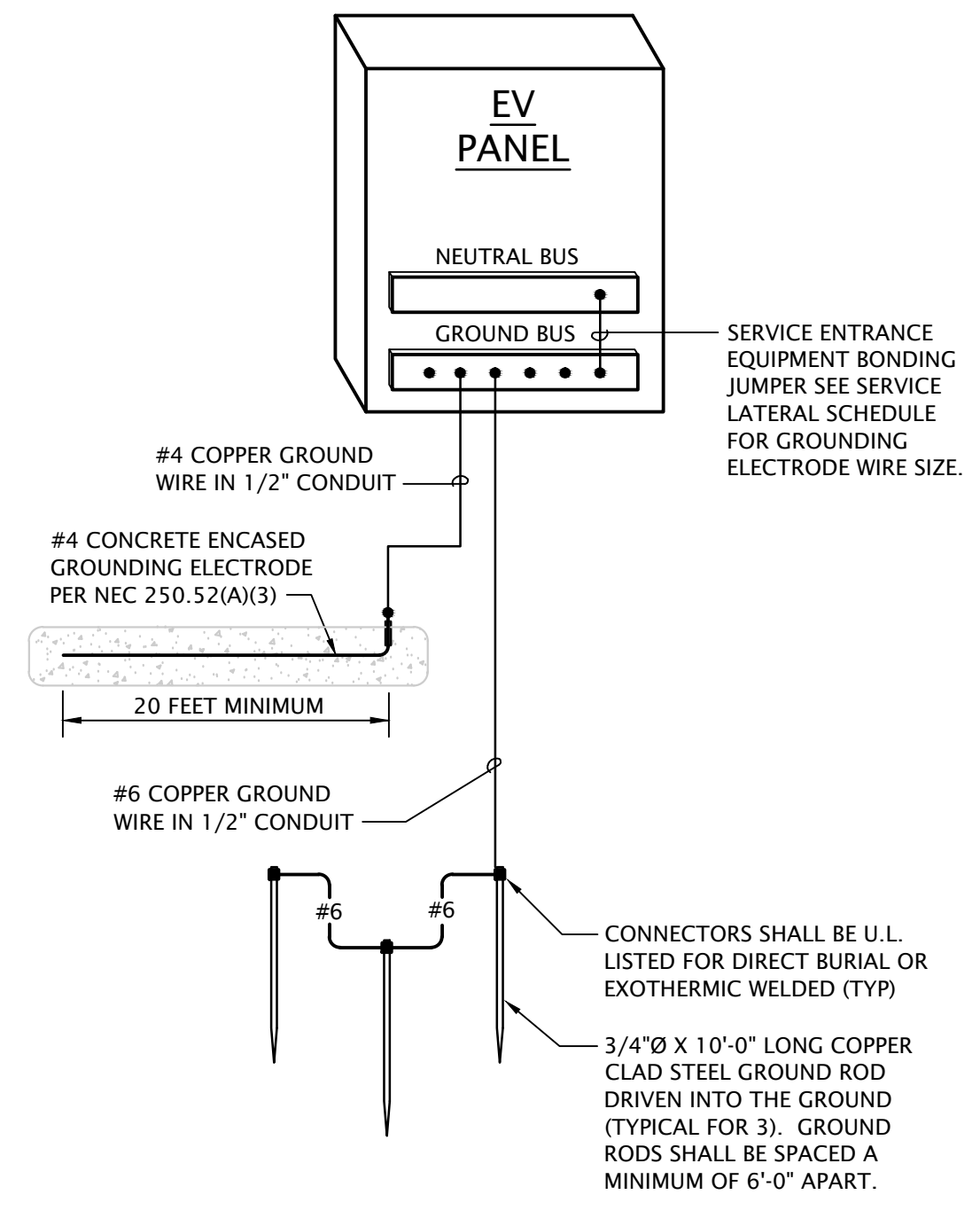
NOTES:
 1. VOLTAGE DROP HAS BEEN ACCOUNTED FOR IN SIZES INDICATED, FURTHER UP-SIZING IS NOT NECESSARY.

APARTMENT FEEDER SCHEDULE															
BUILDING A		BUILDING B		BUILDING C		BUILDING D		BUILDING E		BUILDING F		BUILDING G		BUILDING H	
APARTMENT #	FEEDER SIZE	APARTMENT #	FEEDER SIZE	APARTMENT #	FEEDER SIZE	APARTMENT #	FEEDER SIZE	APARTMENT #	FEEDER SIZE	APARTMENT #	FEEDER SIZE	APARTMENT #	FEEDER SIZE	APARTMENT #	FEEDER SIZE
A101	NOTE #3	B101	NOTE #3	C101	NOTE #1	D101	NOTE #3	E101	NOTE #1	F101	NOTE #1	G101	NOTE #3	H101	NOTE #1
A102	NOTE #3	B102	NOTE #3	C102	NOTE #1	D102	NOTE #4	E102	NOTE #1	F102	NOTE #1	G102	NOTE #4	H102	NOTE #1
A103	NOTE #2	B103	NOTE #2	C103	NOTE #1	D103	NOTE #2	E103	NOTE #2	F103	NOTE #1	G103	NOTE #2	H103	NOTE #2
A104	NOTE #2	B104	NOTE #2	C104	NOTE #1	D104	NOTE #3	E104	NOTE #1	F104	NOTE #1	G104	NOTE #3	H104	NOTE #1
A105	NOTE #1	B105	NOTE #1	C105	NOTE #2	D105	NOTE #1	E105	NOTE #3	F105	NOTE #2	G105	NOTE #1	H105	NOTE #3
A106	NOTE #1	B106	NOTE #1	C106	NOTE #2	D106	NOTE #1	E106	NOTE #2	F106	NOTE #2	G106	NOTE #2	H106	NOTE #2
A107	NOTE #1	B107	NOTE #1	C107	NOTE #3	D107	NOTE #1	E107	NOTE #4	F107	NOTE #3	G107	NOTE #1	H107	NOTE #4
A108	NOTE #1	B108	NOTE #1	C108	NOTE #3	D108	NOTE #1	E108	NOTE #3	F108	NOTE #3	G108	NOTE #1	H108	NOTE #3
A201	NOTE #3	B201	NOTE #3	C201	NOTE #1	D201	NOTE #3	E201	NOTE #1	F201	NOTE #1	G201	NOTE #3	H201	NOTE #1
A202	NOTE #3	B202	NOTE #3	C202	NOTE #1	D202	NOTE #4	E202	NOTE #1	F202	NOTE #1	G202	NOTE #4	H202	NOTE #1
A203	NOTE #2	B203	NOTE #2	C203	NOTE #1	D203	NOTE #2	E203	NOTE #2	F203	NOTE #1	G203	NOTE #2	H203	NOTE #2
A204	NOTE #2	B204	NOTE #2	C204	NOTE #1	D204	NOTE #3	E204	NOTE #1	F204	NOTE #1	G204	NOTE #3	H204	NOTE #1
A205	NOTE #1	B205	NOTE #1	C205	NOTE #2	D205	NOTE #1	E205	NOTE #3	F205	NOTE #2	G205	NOTE #1	H205	NOTE #3
A206	NOTE #1	B206	NOTE #1	C206	NOTE #2	D206	NOTE #2	E206	NOTE #2	F206	NOTE #2	G206	NOTE #2	H206	NOTE #2
A207	NOTE #1	B207	NOTE #1	C207	NOTE #3	D207	NOTE #1	E207	NOTE #4	F207	NOTE #3	G207	NOTE #1	H207	NOTE #4
A208	NOTE #1	B208	NOTE #1	C208	NOTE #3	D208	NOTE #1	E208	NOTE #3	F208	NOTE #3	G208	NOTE #1	H208	NOTE #3
A301	NOTE #3	B301	NOTE #3	C301	NOTE #1	D301	NOTE #3	E301	NOTE #1	F301	NOTE #1	G301	NOTE #3	H301	NOTE #1
A302	NOTE #3	B302	NOTE #3	C302	NOTE #1	D302	NOTE #4	E302	NOTE #1	F302	NOTE #1	G302	NOTE #4	H302	NOTE #1
A303	NOTE #2	B303	NOTE #2	C303	NOTE #1	D303	NOTE #3	E303	NOTE #2	F303	NOTE #1	G303	NOTE #3	H303	NOTE #2
A304	NOTE #2	B304	NOTE #2	C304	NOTE #1	D304	NOTE #3	E304	NOTE #1	F304	NOTE #1	G304	NOTE #3	H304	NOTE #1
A305	NOTE #1	B305	NOTE #1	C305	NOTE #2	D305	NOTE #1	E305	NOTE #3	F305	NOTE #2	G305	NOTE #1	H305	NOTE #3
A306	NOTE #1	B306	NOTE #1	C306	NOTE #2	D306	NOTE #2	E306	NOTE #3	F306	NOTE #2	G306	NOTE #2	H306	NOTE #3
A307	NOTE #1	B307	NOTE #1	C307	NOTE #3	D307	NOTE #1	E307	NOTE #4	F307	NOTE #3	G307	NOTE #1	H307	NOTE #4
A308	NOTE #1	B308	NOTE #1	C308	NOTE #3	D308	NOTE #1	E308	NOTE #3	F308	NOTE #3	G308	NOTE #1	H308	NOTE #3

FEEDER SIZING NOTES:
 1. BASE BID (COPPER): 3#2, #6G, 1-1/4" OR MC CABLE
 ALTERNATE BID (ALUMINUM): 3#1/0, #2G, 1-1/2" OR MC CABLE
 2. BASE BID (COPPER): 3#1, #4G, 1-1/4" OR MC CABLE
 ALTERNATE BID (ALUMINUM): 3#2/0, #1G, 2" OR MC CABLE
 3. BASE BID (COPPER): 3#2/0, #2G, 2" OR MC CABLE
 ALTERNATE BID (ALUMINUM): 3#4/0, #1/0G, 2" OR MC CABLE
 4. BASE BID (COPPER): 3#3/0, #2G, 2" OR MC CABLE
 ALTERNATE BID (ALUMINUM): 3#250, #2/0G, 2-1/2" OR MC CABLE

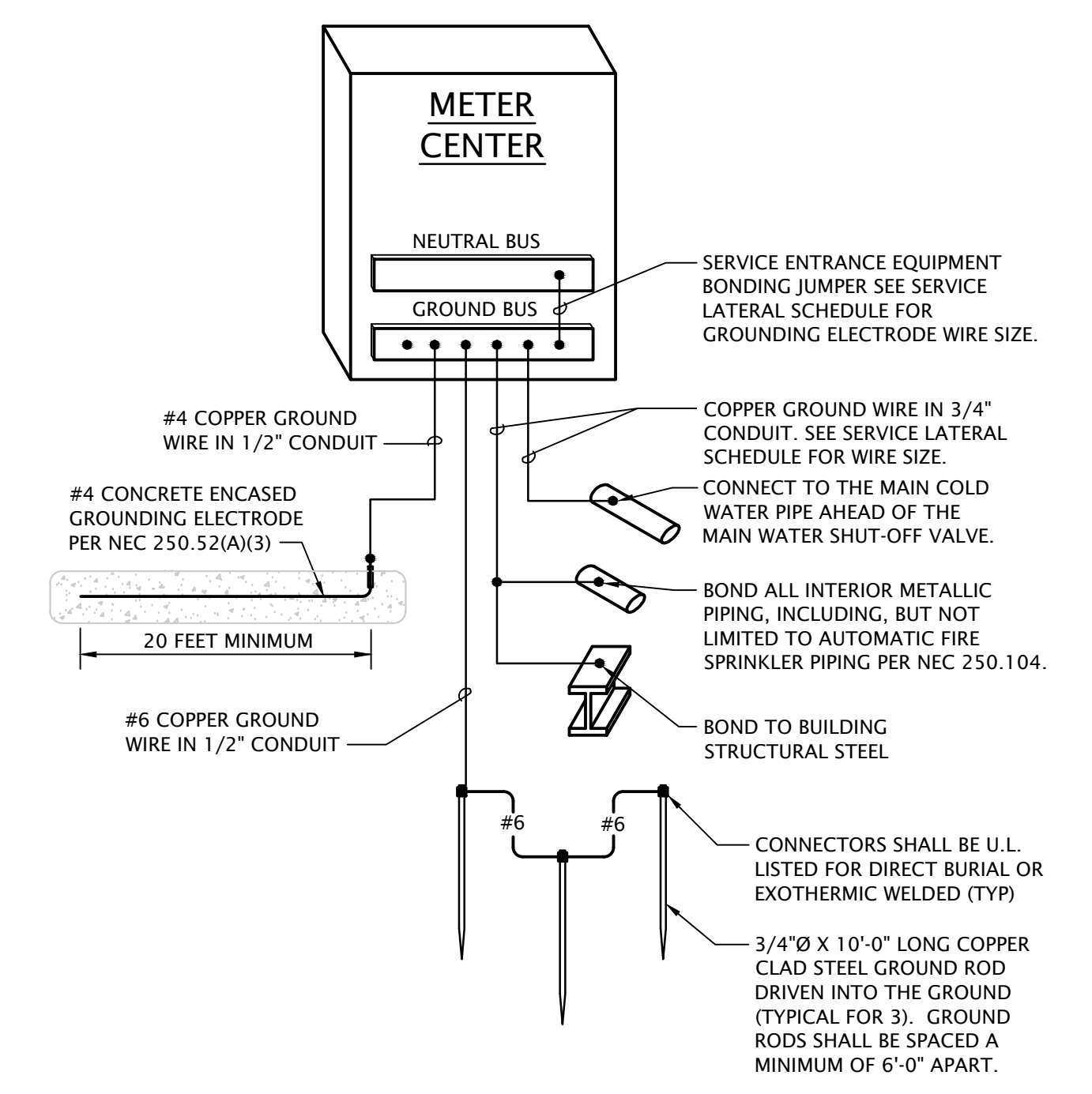
GENERAL NOTES:
 - Voltage drop has been accounted for in sizes indicated, further up-sizing of feeders is not necessary.
 - Ensure panel lugs are adequately sized to handle up-sized feeders.

TOTAL DEMAND AMPS = 419
SPARE CAPACITY = 10%
MINIMUM PANEL AMPS = 461

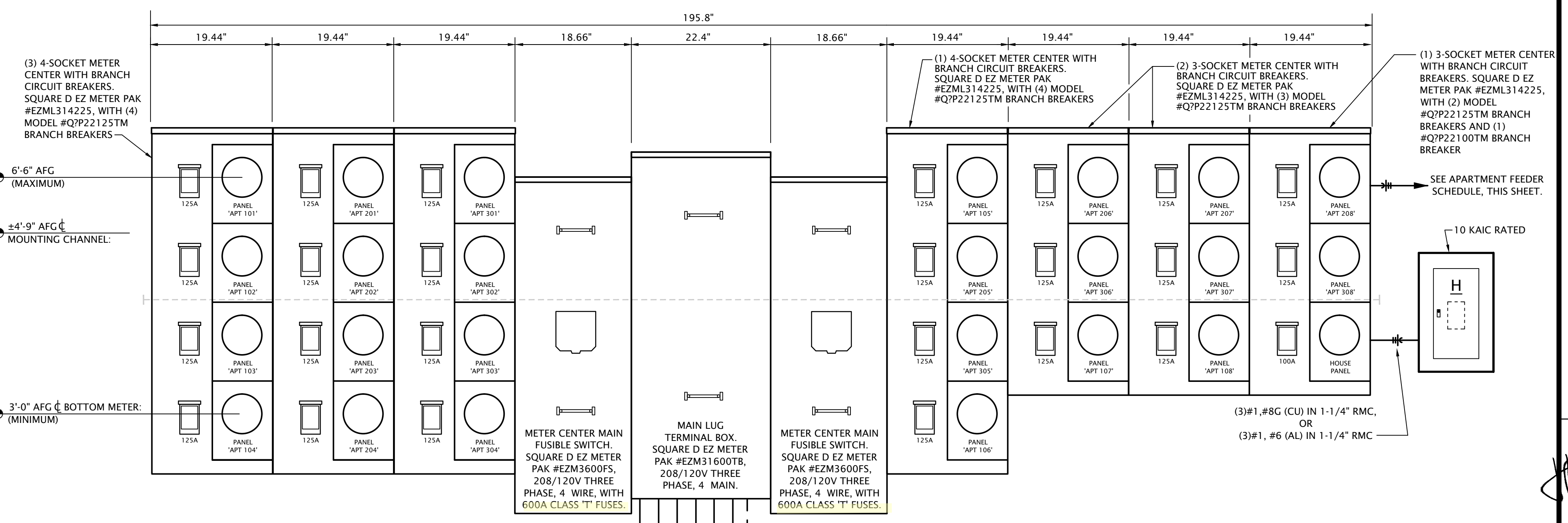


EV CHARGING PANEL SERVICE GROUNDING ELECTRODE SYSTEM
 No Scale

ELECTRICAL RISER DIAGRAM - EV CHARGING PANEL
 No Scale



NOTES:
 - See sheets ME1.0 - ME1.2 for meter center locations.
 - Main disconnect section shall be rated for maximum 10,000A peak let through.
 - All conductor sizes are based on copper, U.N.O.
 - Entire installation shall comply with NEC.
 - Coordinate all responsibilities and requirements with utility company and pay associated fees. Contact Information: Christopher Jackson Xcel Energy
 Christopher.M.Corbin@xcelenergy.com 720.762.3757
 Coordinate final location of meter assemblies with utility company. Provide shop drawings of substitute equipment whether as specified or substituted to utility company for approval.
 - All meter center components shall be NEMA 3R
 - All dimensions based on Square D equipment, it is the contractor's responsibility to verify the dimensions of substitute equipment and receive approval from utility for substitution.
 - For each meter, provide a permanent brass, copper or aluminum tag identifying the apartment served. Tags shall be securely fastened to the meter base and be stamped with 1/8" letters, minimum.



Provide a Grounding Electrode System bonded to the service equipment enclosure, grounded conductors, and grounded electrode conductors Per 2023 NEC 250.50 and 250.104

APARTMENT BUILDING SERVICE GROUNDING ELECTRODE SYSTEM
 No Scale

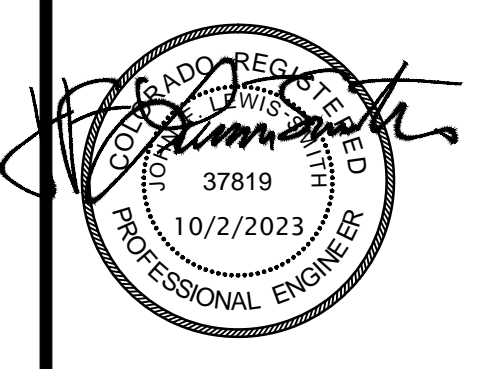
ELECTRICAL RISER DIAGRAM - TYPICAL
 No Scale

SEE 1-ME1.0 FOR CONTINUATION.
 GROUNDING ELECTRODE CONDUCTOR TO CONCRETE ENCASED ELECTRODE, UNDERGROUND METAL WATER PIPE, AND DRIVEN GROUND ROD. BOND ALL ITEMS IN ACCORDANCE WITH NEC ARTICLE 250. SEE SERVICE LATERAL SCHEDULE, THIS SHEET, FOR GEC SIZING.
 PROVIDE SERVICE LATERAL FROM METER ASSEMBLY BELOW GRADE TO UTILITY CO. TRANSFORMER. PROVIDE ALL TRENCHING AND BACKFILL. VERIFY EXTENT OF WORK AND RESPONSIBILITIES WITH UTILITY CO. PROVIDE APPROVED SLIP FITTINGS AT SERVICE ENTRANCE CONDUIT CONNECTIONS.
 SEE SERVICE LATERAL SCHEDULE, THIS SHEET FOR MORE INFORMATION.

REVISION:

DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

E6.2



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

E6.3

PANEL SCHEDULE NOTES BY SYMBOL

- 1. HEAT TRACE CIRCUITS SHALL HAVE GFCI TYPE BREAKERS.
- 2. DESIGNATED CIRCUIT ONLY REQUIRED FOR HOUSE PANEL 'D'.

Panel Designation: H* **Mounting:** Surface
Location: Exterior Wall **Bus Amps:** 100
Voltage: 208/120V-1Ph-3W **MCB Amps:** MLO
Enclosure: NEMA 3R **Other:** 42 KAIC, unless noted otherwise

*Label panel with 'H' followed by building designation letter.

Circuit #	Load Description	Conductors	C/B Size	C/B Size	Conductors	Load Description	Circuit #
1	BUILDING MOUNTED LIGHTS	(2)# 12, # 12G, 1/2"	20 / 1	20 / 1	(2)# 12, # 12G, 1/2"	FACP	2
3	WALL HEATER	(2)# 12, # 12G, 1/2"	20 / 1	20 / 1	(2)# 12, # 12G, 1/2"	RCPT	4
5	LTG - SITE	(2)# 10, # 10G, 3/4"	20 / 2	20 / 1	(2)# 12, # 12G, 1/2"	EXTERIOR LIGHTING CONTROLS	6
7				20 / 1	(2)# 10, # 10G, 3/4"	FUTURE RADON FANS	8
9	HEAT TRACE	(2)# 12, # 12G, 1/2"	20 / 1	20 / 1	(2)# 12, # 12G, 1/2"	AIR COMPRESSOR	10
11	HEAT TRACE	(2)# 12, # 12G, 1/2"	20 / 1	20 / 1	(2)# 10, # 10G, 3/4"	MONUMENT SIGN	12
13	SPACE	--	--	--	--	SPACE	14
15	SPACE	--	--	--	--	SPACE	16
17	SPACE	--	--	--	--	SPACE	18
19	SPACE	--	--	--	--	SPACE	20
21	SPACE	--	--	--	--	SPACE	22
23	SPACE	--	--	--	--	SPACE	24

NOTE: PANELS 'HD', 'HE', 'HG', AND 'HH' MAY BE 22 KAIC RATED.

Panel Designation: EV **Mounting:** Surface
Location: Site **Bus Amps:** 600
Voltage: 208Y/120V-3Ph-4W **MCB Amps:** MLO
Enclosure: NEMA 3R **Other:** 42 KAIC, Equipment Ground Bar

Circuit #	Load Description	Conductors	C/B Size	C/B Size	Conductors	Load Description	Circuit #
1	EV CHARGING STATION EV1 - PORT A	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV2 - PORT A	4
3							
5	EV CHARGING STATION EV1 - PORT B	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV2-PORT B	6
7							
9	EV CHARGING STATION EV3 - PORT A	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV4 - PORT A	10
11							
13	EV CHARGING STATION EV3 - PORT B	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV4 - PORT B	14
15							
17	EV CHARGING STATION EV5 - PORT A	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV6 - PORT A	18
19							
21	EV CHARGING STATION EV5 - PORT B	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV6 - PORT B	20
23							
25	EV CHARGING STATION EV7 - PORT A	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV8 - PORT A	24
27							
29	EV CHARGING STATION EV7 - PORT B	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV8 - PORT B	26
31							
33	EV CHARGING STATION EV9 - PORT A	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV10 - PORT A	28
35							
37	EV CHARGING STATION EV9 - PORT B	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV10 - PORT B	30
39							
41	EV CHARGING STATION EV11 - PORT A	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV12 - PORT A	32
43							
45	EV CHARGING STATION EV11 - PORT B	SEE SHEET ME1.0 NOTE #1	40 / 2	40 / 2	SEE SHEET ME1.0 NOTE #1	EV CHARGING STATION EV12 - PORT B	34
47							
49	SPACE	--	--	--	--	SPACE	36
51	SPACE	--	--	--	--	SPACE	38
53	MAINTENANCE RECEPTACLE	(2)# 10, 10G, 3/4"	20 / 1	--	--	SPACE	40

3 Bed / 2 Bath Unit - Feeder Calculation

Area: 1216 SF

Feeder & Service Loads per NEC 220.82 Part IV	Connected Demand Load (VA)	Load (VA)
B1 General Loads (220.82 (B)(1))		
a Lighting & Receptacles	3 VA/SF	1216 SF 3,648
B2 Required Circuits (220.82 (B)(2))		
a Laundry Circuit	1,500 VA/Circuit	1 Circuit 1,500
b Kitchen Circuits	1,500 VA/Circuit	2 Circuit 3,000
B3 Nameplate Ratings of Equipment (220.82 (B)(3))		
a Electric Clothes Dryer	5,000 VA/Circuit	1 ea 5,000
b Electric Range	8,000 VA/Circuit	1 ea 8,000
c Dishwasher	840 VA/Circuit	1 ea 840
d Microwave	1,000 VA/Circuit	1 ea 1,000
e Disposal	1,175 VA/Circuit	1 ea 1,175
f Water Heater	5,000 VA/Circuit	1 ea 5,000
f Refrigerator	1,200 VA/Circuit	1 ea 1,200
B4 Nameplate Ratings of Motors (220.82 (B)(4))		
Motor (ERV Fan)	72 VA/Circuit	1 ea 72
Motor (Blower Coil Fan)	687 VA/Circuit	1 ea 687
Part (B) Connected Load Total		31,122
Part (B) Demand Load Total (100% of 1st 10KVA + 40% of remainder)		18,449
C3 65% Nameplate Rating of electric space heating (220.82 (C)(3))		
Blower Coil Electric Heat	6,000 VA/Circuit	1 ea 3,900
Part (C.) Connected Load Total		3,900
Part (C.) Demand Load		3,900
Total Dwelling Unit Demand Load		22,349
Total NEC Demand VA		22,349
Total Amps @ 120/208V-1Ph-3W		107

Provide 125A Load Center & Feed with 110A/2P Breaker

2 Bed / 2 Bath Unit - Feeder Calculation

Area: 1037 SF

Feeder & Service Loads per NEC 220.82 Part IV	Connected Demand Load (VA)	Load (VA)
B1 General Loads (220.82 (B)(1))		
a Lighting & Receptacles	3 VA/SF	1037 SF 3,111
B2 Required Circuits (220.82 (B)(2))		
a Laundry Circuit	1,500 VA/Circuit	1 Circuit 1,500
b Kitchen Circuits	1,500 VA/Circuit	2 Circuit 3,000
B3 Nameplate Ratings of Equipment (220.82 (B)(3))		
a Electric Clothes Dryer	5,000 VA/Circuit	1 ea 5,000
b Electric Range	8,000 VA/Circuit	1 ea 8,000
c Dishwasher	840 VA/Circuit	1 ea 840
d Microwave	1,000 VA/Circuit	1 ea 1,000
e Disposal	1,175 VA/Circuit	1 ea 1,175
f Water Heater	5,000 VA/Circuit	1 ea 5,000
f Refrigerator	1,200 VA/Circuit	1 ea 1,200
B4 Nameplate Ratings of Motors (220.82 (B)(4))		
Motor (ERV Fan)	72 VA/Circuit	1 ea 72
Motor (Blower Coil Fan)	687 VA/Circuit	1 ea 687
Part (B) Connected Load Total		30,585
Part (B) Demand Load Total (100% of 1st 10KVA + 40% of remainder)		18,234
C3 65% Nameplate Rating of electric space heating (220.82 (C)(3))		
Blower Coil Electric Heat	6,000 VA/Circuit	1 ea 3,900
Part (C.) Connected Load Total		3,900
Part (C.) Demand Load		3,900
Total Dwelling Unit Demand Load		22,134
Total NEC Demand VA		22,134
Total Amps @ 120/208V-1Ph-3W		106

Provide 125A Load Center & Feed with 110A/2P Breaker

1 Bed / 1 Bath Unit - Feeder Calculation

Area: 829 SF

Feeder & Service Loads per NEC 220.82 Part IV	Connected Demand Load (VA)	Load (VA)
B1 General Loads (220.82 (B)(1))		
a Lighting & Receptacles	3 VA/SF	829 SF 2,487
B2 Required Circuits (220.82 (B)(2))		
a Laundry Circuit	1,500 VA/Circuit	1 Circuit 1,500
b Kitchen Circuits	1,500 VA/Circuit	2 Circuit 3,000
B3 Nameplate Ratings of Equipment (220.82 (B)(3))		
a Electric Clothes Dryer	5,000 VA/Circuit	1 ea 5,000
b Electric Range	8,000 VA/Circuit	1 ea 8,000
c Dishwasher	840 VA/Circuit	1 ea 840
d Microwave	1,000 VA/Circuit	1 ea 1,000
e Disposal	1,175 VA/Circuit	1 ea 1,175
f Water Heater	5,000 VA/Circuit	1 ea 5,000
f Refrigerator	1,200 VA/Circuit	1 ea 1,200
B4 Nameplate Ratings of Motors (220.82 (B)(4))		
Motor (ERV Fan)	72 VA/Circuit	1 ea 72
Motor (Blower Coil Fan)	687 VA/Circuit	1 ea 687
Part (B) Connected Load Total		29,961
Part (B) Demand Load Total (100% of 1st 10KVA + 40% of remainder)		17,984
C3 65% Nameplate Rating of electric space heating (220.82 (C)(3))		
Blower Coil Electric Heat	6,000 VA/Circuit	1 ea 3,900
Part (C.) Connected Load Total		3,900
Part (C.) Demand Load		3,900
Total Dwelling Unit Demand Load		21,884
Total NEC Demand VA		21,884
Total Amps @ 120/208V-1Ph-3W		105

Provide 125A Load Center & Feed with 110A/2P Breaker

Type 4 - Buildings A,B,C,F Electrical Service Calculation (24 total units)

The Reserves at Eagle Point

Area: 22,380 SF (Dwelling Units Only)

Feeder & Service Loads per NEC 220.84 Part IV	Connected Demand Load (VA)	Load (VA)
C1 General Loads (220.84 (C)(1))		
a Lighting & Receptacles	3 VA/SF	22380 SF 67,140
C2 Required Circuits (220.84 (C)(2))		
a Laundry Circuits	1,500 VA/Circuit	24 Circuits 36,000
b Kitchen Circuits	1,500 VA/Circuit	48 Circuits 72,000
C3 Nameplate Ratings of Equipment (220.84 (C)(3))		
a1 Microwave	1,000 VA/Circuit	24 Circuits 24,000
a2 Dishwasher	840 VA/Circuit	24 Circuits 20,160
a3 Disposal	1,175 VA/Circuit	24 Circuits 28,200
a4 Refrigerator	1,200 VA/Circuit	24 Circuits 28,800
b Electric Range	8,000 VA/Circuit	24 Circuits 192,000
c Electric Clothes Dryer	5,000 VA/Circuit	24 Circuits 120,000
d Water Heater	5,000 VA/Circuit	24 ea 120,000
C4 Nameplate Ratings of Motors (220.84 (C)(4))		
1BR Motor	687 VA/Circuit	12 Circuits 8,244
2BR Motor	687 VA/Circuit	12 Circuits 8,244
ERV Fan Motor	72 VA/Circuit	24 Circuits 1,728
C5 Electric Space Heat load (220.84 (C)(5)) (Heat Pump with Electric Heat)		
1BR Electric Heat	6,000 VA/Circuit	12 Circuits 72,000
2BR Electric Heat	6,000 VA/Circuit	12 Circuits 72,000
Connected Load Total		870,516
Dwelling Unit Demand Load from Table 220.84: 35%		304,681
Dwelling Unit NEC Demand Load (VA) Sub-Total		304,681
House Panel NEC Demand Load (VA) Sub-Total		25,000
Total Building Service Demand Load (VA)		329,681
Total Building Service Demand Load (Amperes) @ 208V-3Ph, 4W		916

Provide 1000A Meter Center

Type 1 - Buildings D,E,G,H Electrical Service Calculation (24 total units)

The Reserves at Eagle Point

Area: 27,036 SF (Dwelling Units Only)

Feeder & Service Loads per NEC 220.84 Part IV	Connected Demand Load (VA)	Load (VA)
C1 General Loads (220.84 (C)(1))		
a Lighting & Receptacles	3 VA/SF	27036 SF 81,108
C2 Required Circuits (220.84 (C)(2))		
a Laundry Circuits	1,500 VA/Circuit	24 Circuits 36,000
b Kitchen Circuits	1,500 VA/Circuit	48 Circuits 72,000
C3 Nameplate Ratings of Equipment (220.84 (C)(3))		
a1 Microwave	1,000 VA/Circuit	24 Circuits 24,000
a2 Dishwasher	840 VA/Circuit	24 Circuits 20,160
a3 Disposal	1,175 VA/Circuit	24 Circuits 28,200
a4 Refrigerator	1,200 VA/Circuit	24 Circuits 28,800
b Electric Range	8,000 VA/Circuit	24 Circuits 192,000
c Electric Clothes Dryer	5,000 VA/Circuit	24 Circuits 120,000
d Water Heater	5,000 VA/Circuit	24 ea 120,000
C4 Nameplate Ratings of Motors (220.84 (C)(4))		
2BR Motor	687 VA/Circuit	12 Circuits 8,244
3BR Motor	687 VA/Circuit	12 Circuits 8,244
ERV Fan Motor	72 VA/Circuit	24 Circuits 1,728
C5 Electric Space Heat load (220.84 (C)(5)) (Heat Pump with Electric Heat)		
2BR Electric Heat	6,000 VA/Circuit	12 Circuits 72,000
3BR Electric Heat	6,000 VA/Circuit	12 Circuits 72,000
Connected Load Total		884,484
Dwelling Unit Demand Load from Table 220.84: 35%		309,569
Dwelling Unit NEC Demand Load (VA) Sub-Total		309,569
House Panel NEC Demand Load (VA) Sub-Total		25,000
Total Building Service Demand Load (VA)		334,569
Total Building Service Demand Load (Amperes) @ 208V-3Ph, 4W		929

Provide 1000A Meter Center

SHORT CIRCUIT CALCULATIONS - BUILDING G

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 23207
 Length Units = Feet
 Motor Load = 84.9 KW
 Motor SCA = 208
 Motor SCA Treatment = Motor SCA Added to Main Bus
 System Voltage = 208
 System Phase = 1 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\SCC BLDG G.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 9/19/2023 4:28:50 PM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

F21	0304	None	NULCU	20	1	102	6.307
F21	0305	None <td>NULCU <td>20 <td>1 <td>104 <td>6.290</td> </td></td></td></td>	NULCU <td>20 <td>1 <td>104 <td>6.290</td> </td></td></td>	20 <td>1 <td>104 <td>6.290</td> </td></td>	1 <td>104 <td>6.290</td> </td>	104 <td>6.290</td>	6.290
F22	0306	None <td>NULCU <td>1 <td>1 <td>119 <td>5.453</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>119 <td>5.453</td> </td></td></td>	1 <td>1 <td>119 <td>5.453</td> </td></td>	1 <td>119 <td>5.453</td> </td>	119 <td>5.453</td>	5.453
F23	0307	None <td>NULCU <td>2 <td>1 <td>43 <td>10.228</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>43 <td>10.228</td> </td></td></td>	2 <td>1 <td>43 <td>10.228</td> </td></td>	1 <td>43 <td>10.228</td> </td>	43 <td>10.228</td>	10.228
F24	0308	None <td>NULCU <td>2 <td>1 <td>46 <td>7.944</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>46 <td>7.944</td> </td></td></td>	2 <td>1 <td>46 <td>7.944</td> </td></td>	1 <td>46 <td>7.944</td> </td>	46 <td>7.944</td>	7.944
F25	PANEL HD	PVC <td>NULCU <td>1 <td>1 <td>25 <td>16.875</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>25 <td>16.875</td> </td></td></td>	1 <td>1 <td>25 <td>16.875</td> </td></td>	1 <td>25 <td>16.875</td> </td>	25 <td>16.875</td>	16.875

SHORT CIRCUIT CALCULATIONS - BUILDING D

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 27711
 Length Units = Feet
 Motor Load = 84.9 KW
 Motor SCA = 208
 Motor SCA Treatment = Motor SCA Added to Main Bus
 System Voltage = 208
 System Phase = 1 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\SCC BLDG D.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 9/19/2023 4:28:48 PM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

F21	0304	None	NULCU	20	1	102	6.307
F21	0305	None <td>NULCU <td>20 <td>1 <td>104 <td>6.196</td> </td></td></td></td>	NULCU <td>20 <td>1 <td>104 <td>6.196</td> </td></td></td>	20 <td>1 <td>104 <td>6.196</td> </td></td>	1 <td>104 <td>6.196</td> </td>	104 <td>6.196</td>	6.196
F22	0306	None <td>NULCU <td>1 <td>1 <td>119 <td>5.368</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>119 <td>5.368</td> </td></td></td>	1 <td>1 <td>119 <td>5.368</td> </td></td>	1 <td>119 <td>5.368</td> </td>	119 <td>5.368</td>	5.368
F23	0307	None <td>NULCU <td>2 <td>1 <td>43 <td>8.943</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>43 <td>8.943</td> </td></td></td>	2 <td>1 <td>43 <td>8.943</td> </td></td>	1 <td>43 <td>8.943</td> </td>	43 <td>8.943</td>	8.943
F24	0308	None <td>NULCU <td>2 <td>1 <td>46 <td>7.264</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>46 <td>7.264</td> </td></td></td>	2 <td>1 <td>46 <td>7.264</td> </td></td>	1 <td>46 <td>7.264</td> </td>	46 <td>7.264</td>	7.264
F25	PANEL HD	PVC <td>NULCU <td>1 <td>1 <td>25 <td>16.867</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>25 <td>16.867</td> </td></td></td>	1 <td>1 <td>25 <td>16.867</td> </td></td>	1 <td>25 <td>16.867</td> </td>	25 <td>16.867</td>	16.867

SHORT CIRCUIT CALCULATIONS - BUILDING A

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 23207
 Length Units = Feet
 Motor Load = 84.9 KW
 Motor SCA = 208
 Motor SCA Treatment = Motor SCA Added to Main Bus
 System Voltage = 208
 System Phase = 1 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\SCC BLDG A.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 9/19/2023 4:28:48 PM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

F21	0304	None	NULCU	1	1	104	6.319
F21	0305	None <td>NULCU <td>1 <td>1 <td>104 <td>6.319</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>104 <td>6.319</td> </td></td></td>	1 <td>1 <td>104 <td>6.319</td> </td></td>	1 <td>104 <td>6.319</td> </td>	104 <td>6.319</td>	6.319
F22	0306	None <td>NULCU <td>2 <td>1 <td>97 <td>5.462</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>97 <td>5.462</td> </td></td></td>	2 <td>1 <td>97 <td>5.462</td> </td></td>	1 <td>97 <td>5.462</td> </td>	97 <td>5.462</td>	5.462
F23	0307	None <td>NULCU <td>2 <td>1 <td>97 <td>5.452</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>97 <td>5.452</td> </td></td></td>	2 <td>1 <td>97 <td>5.452</td> </td></td>	1 <td>97 <td>5.452</td> </td>	97 <td>5.452</td>	5.452
F24	0308	None <td>NULCU <td>2 <td>1 <td>96 <td>6.485</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>96 <td>6.485</td> </td></td></td>	2 <td>1 <td>96 <td>6.485</td> </td></td>	1 <td>96 <td>6.485</td> </td>	96 <td>6.485</td>	6.485
F25	PANEL HD	PVC <td>NULCU <td>1 <td>1 <td>9</td> <td>24.145</td> </td></td></td>	NULCU <td>1 <td>1 <td>9</td> <td>24.145</td> </td></td>	1 <td>1 <td>9</td> <td>24.145</td> </td>	1 <td>9</td> <td>24.145</td>	9	24.145

SHORT CIRCUIT CALCULATIONS - BUILDING H

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 34548
 Length Units = Feet
 Motor Load = 84.9 KW
 Motor SCA = 208
 Motor SCA Treatment = Motor SCA Added to Main Bus
 System Voltage = 208
 System Phase = 1 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\SCC BLDG H.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 9/19/2023 4:28:47 PM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

F21	0304	None	NULCU	1	1	116	5.206
F21	0305	None <td>NULCU <td>2 <td>1 <td>97 <td>6.027</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>97 <td>6.027</td> </td></td></td>	2 <td>1 <td>97 <td>6.027</td> </td></td>	1 <td>97 <td>6.027</td> </td>	97 <td>6.027</td>	6.027
F22	0306	None <td>NULCU <td>20 <td>1 <td>104 <td>6.400</td> </td></td></td></td>	NULCU <td>20 <td>1 <td>104 <td>6.400</td> </td></td></td>	20 <td>1 <td>104 <td>6.400</td> </td></td>	1 <td>104 <td>6.400</td> </td>	104 <td>6.400</td>	6.400
F23	0307	None <td>NULCU <td>20 <td>1 <td>102 <td>7.200</td> </td></td></td></td>	NULCU <td>20 <td>1 <td>102 <td>7.200</td> </td></td></td>	20 <td>1 <td>102 <td>7.200</td> </td></td>	1 <td>102 <td>7.200</td> </td>	102 <td>7.200</td>	7.200
F24	0308	None <td>NULCU <td>30 <td>1 <td>208 <td>5.873</td> </td></td></td></td>	NULCU <td>30 <td>1 <td>208 <td>5.873</td> </td></td></td>	30 <td>1 <td>208 <td>5.873</td> </td></td>	1 <td>208 <td>5.873</td> </td>	208 <td>5.873</td>	5.873
F25	PANEL HD	PVC <td>NULCU <td>1 <td>1 <td>25 <td>15.230</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>25 <td>15.230</td> </td></td></td>	1 <td>1 <td>25 <td>15.230</td> </td></td>	1 <td>25 <td>15.230</td> </td>	25 <td>15.230</td>	15.230

SHORT CIRCUIT CALCULATIONS - BUILDING E

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 34548
 Length Units = Feet
 Motor Load = 84.9 KW
 Motor SCA = 208
 Motor SCA Treatment = Motor SCA Added to Main Bus
 System Voltage = 208
 System Phase = 1 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\SCC BLDG E.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 9/19/2023 4:28:46 PM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

F21	0304	None	NULCU	1	1	116	5.206
F21	0305	None <td>NULCU <td>2 <td>1 <td>97 <td>6.027</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>97 <td>6.027</td> </td></td></td>	2 <td>1 <td>97 <td>6.027</td> </td></td>	1 <td>97 <td>6.027</td> </td>	97 <td>6.027</td>	6.027
F22	0306	None <td>NULCU <td>20 <td>1 <td>104 <td>6.400</td> </td></td></td></td>	NULCU <td>20 <td>1 <td>104 <td>6.400</td> </td></td></td>	20 <td>1 <td>104 <td>6.400</td> </td></td>	1 <td>104 <td>6.400</td> </td>	104 <td>6.400</td>	6.400
F23	0307	None <td>NULCU <td>20 <td>1 <td>102 <td>7.200</td> </td></td></td></td>	NULCU <td>20 <td>1 <td>102 <td>7.200</td> </td></td></td>	20 <td>1 <td>102 <td>7.200</td> </td></td>	1 <td>102 <td>7.200</td> </td>	102 <td>7.200</td>	7.200
F24	0308	None <td>NULCU <td>30 <td>1 <td>208 <td>5.873</td> </td></td></td></td>	NULCU <td>30 <td>1 <td>208 <td>5.873</td> </td></td></td>	30 <td>1 <td>208 <td>5.873</td> </td></td>	1 <td>208 <td>5.873</td> </td>	208 <td>5.873</td>	5.873
F25	PANEL HD	PVC <td>NULCU <td>1 <td>1 <td>25 <td>15.230</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>25 <td>15.230</td> </td></td></td>	1 <td>1 <td>25 <td>15.230</td> </td></td>	1 <td>25 <td>15.230</td> </td>	25 <td>15.230</td>	15.230

SHORT CIRCUIT CALCULATIONS - BUILDING B

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 34548
 Length Units = Feet
 Motor Load = 84.9 KW
 Motor SCA = 208
 Motor SCA Treatment = Motor SCA Added to Main Bus
 System Voltage = 208
 System Phase = 1 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\SCC BLDG B.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 9/19/2023 4:28:47 PM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

F21	0304	None	NULCU	1	1	104	6.400
F21	0305	None <td>NULCU <td>2 <td>1 <td>97 <td>5.569</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>97 <td>5.569</td> </td></td></td>	2 <td>1 <td>97 <td>5.569</td> </td></td>	1 <td>97 <td>5.569</td> </td>	97 <td>5.569</td>	5.569
F22	0306	None <td>NULCU <td>2 <td>1 <td>97 <td>5.569</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>97 <td>5.569</td> </td></td></td>	2 <td>1 <td>97 <td>5.569</td> </td></td>	1 <td>97 <td>5.569</td> </td>	97 <td>5.569</td>	5.569
F23	0307	None <td>NULCU <td>2 <td>1 <td>96 <td>6.685</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>96 <td>6.685</td> </td></td></td>	2 <td>1 <td>96 <td>6.685</td> </td></td>	1 <td>96 <td>6.685</td> </td>	96 <td>6.685</td>	6.685
F24	0308	None <td>NULCU <td>2 <td>1 <td>96 <td>6.685</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>96 <td>6.685</td> </td></td></td>	2 <td>1 <td>96 <td>6.685</td> </td></td>	1 <td>96 <td>6.685</td> </td>	96 <td>6.685</td>	6.685
F25	PANEL HD	PVC <td>NULCU <td>1 <td>1 <td>9</td> <td>24.803</td> </td></td></td>	NULCU <td>1 <td>1 <td>9</td> <td>24.803</td> </td></td>	1 <td>1 <td>9</td> <td>24.803</td> </td>	1 <td>9</td> <td>24.803</td>	9	24.803

SHORT CIRCUIT CALCULATIONS - CLUBHOUSE

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 55591
 Length Units = Feet
 Motor Load = 23.4 FLA
 Motor SCA = 36
 Motor SCA Treatment = Motor SCA Added to Main Bus
 System Voltage = 208
 System Phase = 1 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\SCC BLDG CLUBHOUSE.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 9/19/2023 4:28:46 PM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

SHORT CIRCUIT CALCULATIONS - SERVICES

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 55591
 Length Units = Feet
 Motor Load = None
 Motor SCA = None
 Motor SCA Treatment = Motor SCA Not Included
 System Voltage = 208
 System Phase = 3 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\Short Circuit Calculations.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 8/20/2023 4:43:44 AM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

SHORT CIRCUIT CALCULATIONS - BUILDING F

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 52026
 Length Units = Feet
 Motor Load = 84.9 KW
 Motor SCA = 208
 Motor SCA Treatment = Motor SCA Added to Main Bus
 System Voltage = 208
 System Phase = 1 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\SCC BLDG F.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 9/19/2023 4:28:27 PM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

F21	F306	None	NULCU	1	1	104	6.201
F21	F304	None <td>NULCU <td>1 <td>1 <td>97 <td>5.387</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>97 <td>5.387</td> </td></td></td>	1 <td>1 <td>97 <td>5.387</td> </td></td>	1 <td>97 <td>5.387</td> </td>	97 <td>5.387</td>	5.387
F22	F305	None <td>NULCU <td>2 <td>1 <td>97 <td>5.387</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>97 <td>5.387</td> </td></td></td>	2 <td>1 <td>97 <td>5.387</td> </td></td>	1 <td>97 <td>5.387</td> </td>	97 <td>5.387</td>	5.387
F23	F302	None <td>NULCU <td>2 <td>1 <td>97 <td>5.387</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>97 <td>5.387</td> </td></td></td>	2 <td>1 <td>97 <td>5.387</td> </td></td>	1 <td>97 <td>5.387</td> </td>	97 <td>5.387</td>	5.387
F24	F301	None <td>NULCU <td>2 <td>1 <td>96 <td>6.329</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>96 <td>6.329</td> </td></td></td>	2 <td>1 <td>96 <td>6.329</td> </td></td>	1 <td>96 <td>6.329</td> </td>	96 <td>6.329</td>	6.329
F25	PANEL HF	PVC <td>NULCU <td>1 <td>1 <td>5 <td>26.744</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>5 <td>26.744</td> </td></td></td>	1 <td>1 <td>5 <td>26.744</td> </td></td>	1 <td>5 <td>26.744</td> </td>	5 <td>26.744</td>	26.744

SHORT CIRCUIT CALCULATIONS - BUILDING C

Fault Current

Project Name: Reserves at Eagle Point
 Project Number: 23050
 Designer: JGR
 Date: 10/2/2023

Calculation of Fault Current
 Fault SCA Source = Main Bus
 SCA Available = 34548
 Length Units = Feet
 Motor Load = 84.9 KW
 Motor SCA = 208
 Motor SCA Treatment = Motor SCA Added to Main Bus
 System Voltage = 208
 System Phase = 1 Phase
 Transformers

TA	Member	PH	Size	PVIV	SeV	NZ	SCA LL
1.04	208						

File Name: Z:\23050 Reserves at Eagle Point\Design\Power\SCC BLDG C.cad
 Date Created: 8/20/2023 2:43:11 PM
 Date Modified: 9/19/2023 4:28:50 PM
 Source: EDR Electrical Design's Reference Software Version: 11.1 (Build 17). Based on the 2011 NEC. Copyright © 2000-2013 CEC Electronic Publishing, Inc. All Rights Reserved.

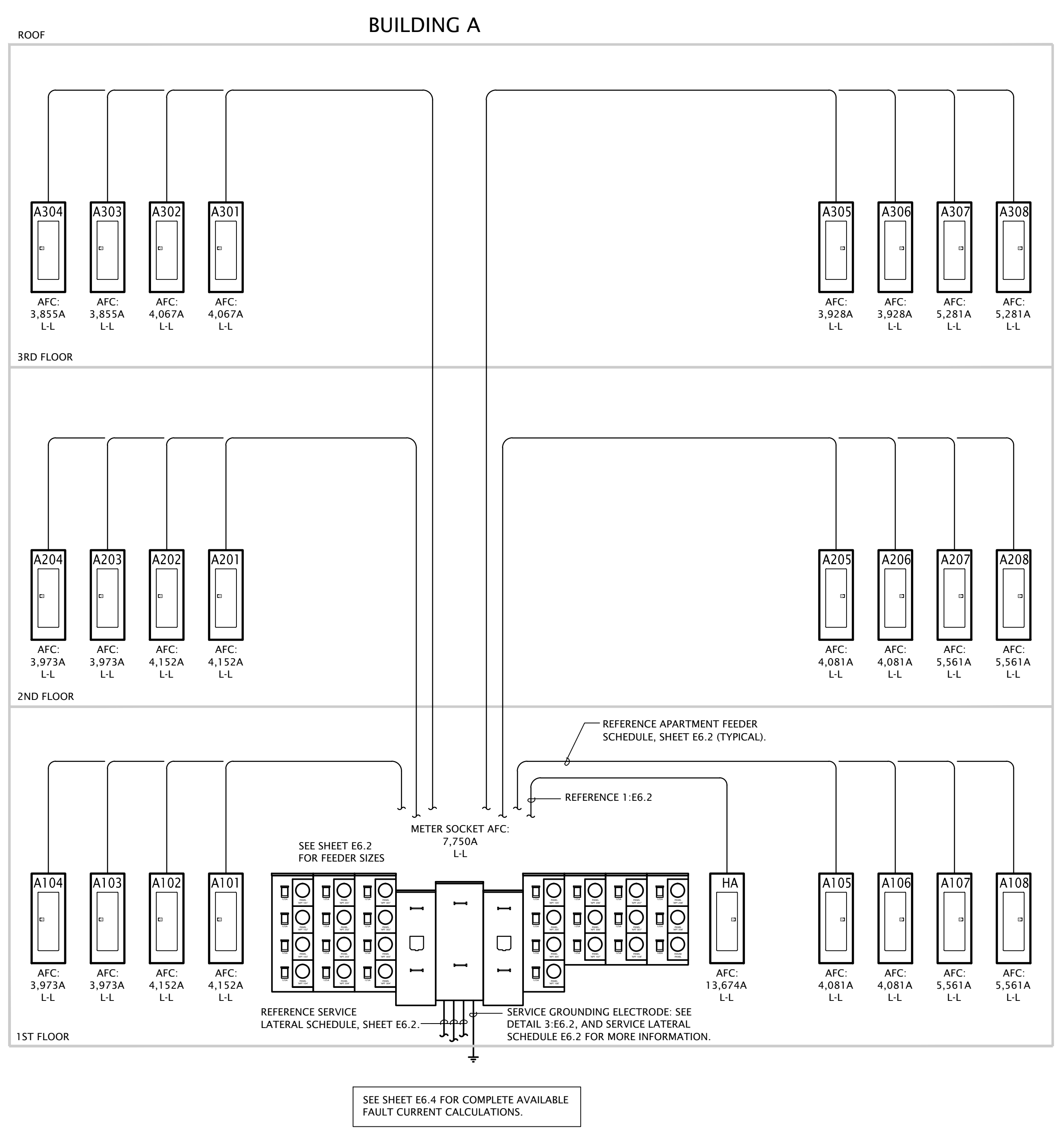
F21	C304	None	NULCU	2	1	97	6.027
F21	C305	None <td>NULCU <td>1 <td>1 <td>104 <td>6.394</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>104 <td>6.394</td> </td></td></td>	1 <td>1 <td>104 <td>6.394</td> </td></td>	1 <td>104 <td>6.394</td> </td>	104 <td>6.394</td>	6.394
F22	C306	None <td>NULCU <td>1 <td>1 <td>104 <td>6.394</td> </td></td></td></td>	NULCU <td>1 <td>1 <td>104 <td>6.394</td> </td></td></td>	1 <td>1 <td>104 <td>6.394</td> </td></td>	1 <td>104 <td>6.394</td> </td>	104 <td>6.394</td>	6.394
F23	C307	None <td>NULCU <td>2 <td>1 <td>104 <td>5.984</td> </td></td></td></td>	NULCU <td>2 <td>1 <td>104 <td>5.984</td> </td></td></td>	2 <td>1 <td>104 <td>5.984</td> </td></td>	1 <td>104 <td>5.984</td> </td>	104 <td>5.984</td>	5.984
F24	C308	None <td>NULCU <td>20 <td>1 <td>113</td> <td>5.684</td> </td></td></td>	NULCU <td>20 <td>1 <td>113</td> <td>5.684</td> </td></td>	20 <td>1 <td>113</td> <td>5.684</td> </td>	1 <td>113</td> <td>5.684</td>	113	5.684
F25	HC	PVC <td>NULCU <td>1 <td>1 <td>5</td> <td>26.744</td> </td></td></td>	NULCU <td>1 <td>1 <td>5</td> <td>26.744</td> </td></td>	1 <td>1 <td>5</td> <td>26.744</td> </td>	1 <td>5</td> <td>26.744</td>	5	26.744



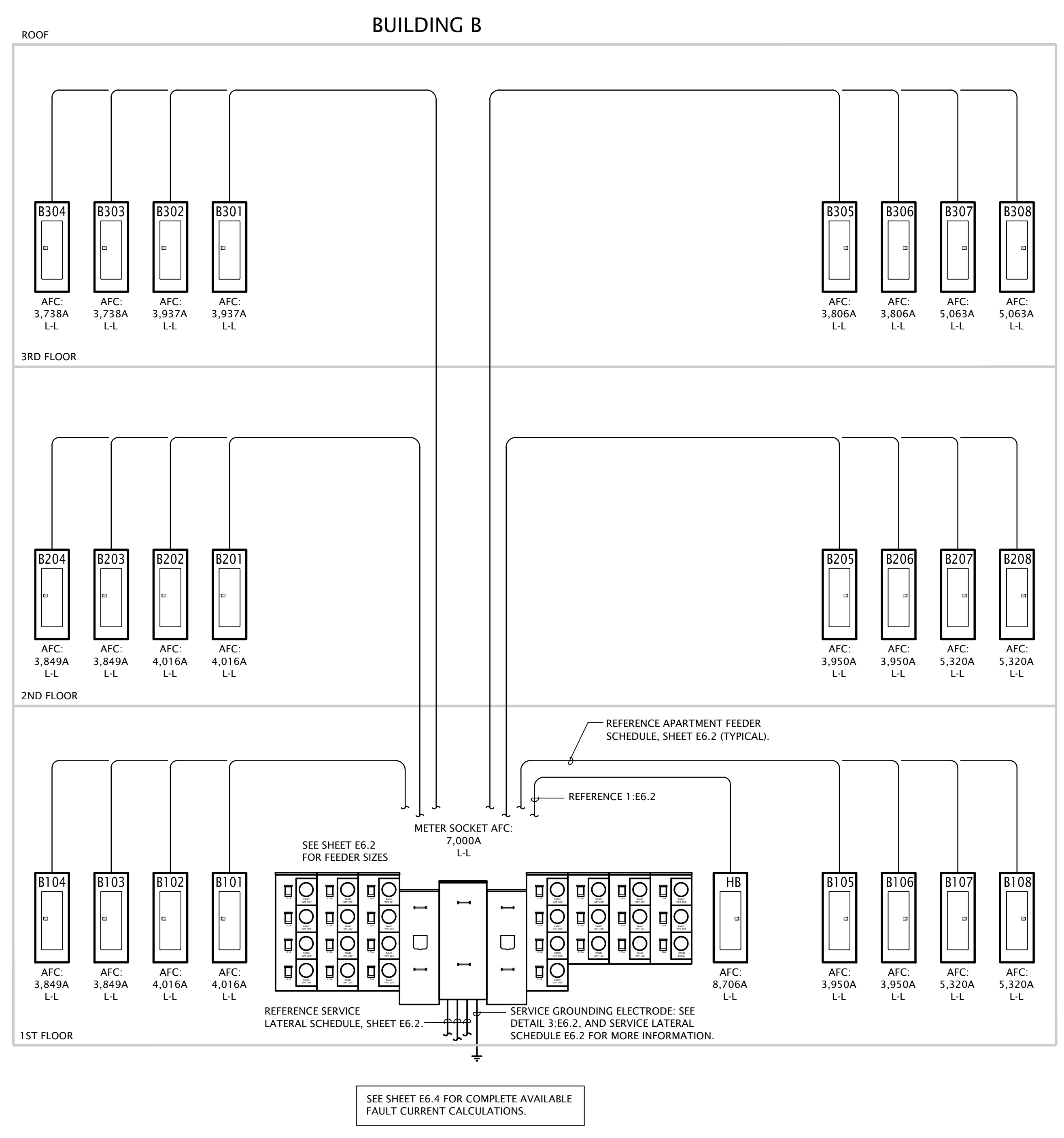
REVISION:

DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

E6.5



1 BUILDING A ELECTRICAL RISER DIAGRAM
 No Scale



2 BUILDING B ELECTRICAL RISER DIAGRAM
 No Scale