

THE RESERVES at EAGLE POINT

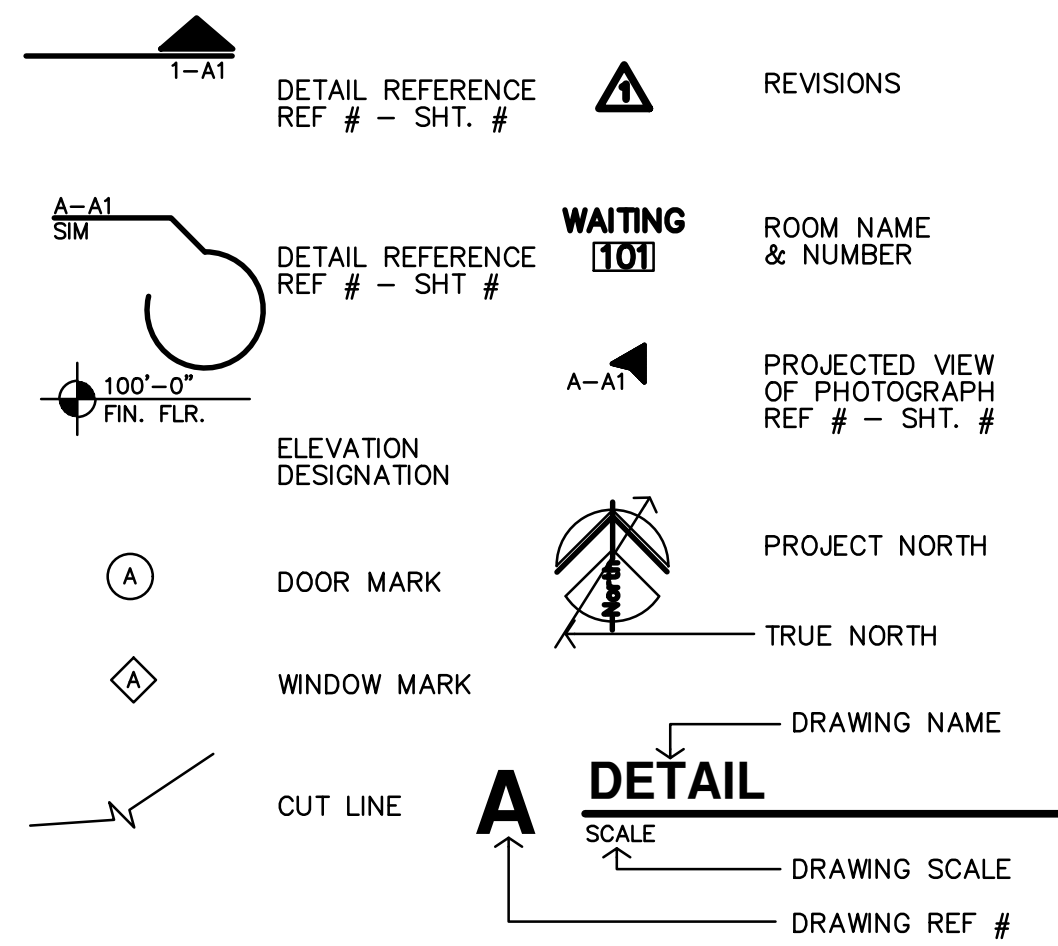
415 NORTH PICADILLY RD - BUILDING E

AURORA,

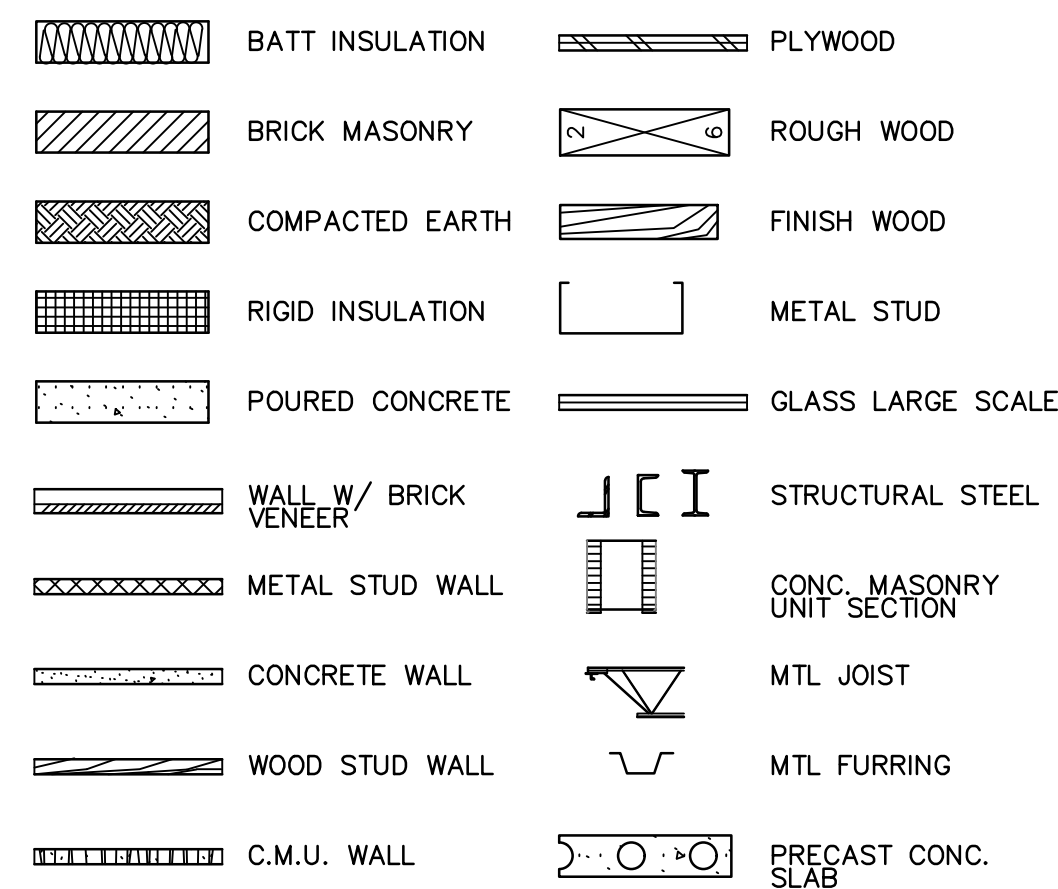
22-3219

COLORADO

REFERENCE LEGEND



MATERIAL LEGEND



ABBREVIATIONS

| | | | | | | | | | | | | | |
|---------------|----------------------------|-------|-----------------------|--------|-------------------|--------|------------------|----------|------------------------|--------|------------------------|--------|------------------------|
| & | AND | Cntr. | Center | Exp. | Expansion | Hr. | Hour | N. | North | Reinf. | Reinforced | Temp. | Tempered |
| ∠ | Angle | Col. | Column | Ext. | Exterior | Hgt. | Height | N.I.C. | Not In Contract | Req'd | Required | T.&G. | Tongue & Groove |
| @ | At | Conc. | Concrete | F.A. | Fire Alarm | I.D. | Inside Diameter | No. or # | Number | Resil. | Resilient | Thk. | Thick. |
| ⊕ | Centerline | C.T. | Ceramic Tile | F.D. | Fire Alarm | Insul. | Insulation | Nom. | Nominal | Rm. | Room | T.O.M. | Top Of Masonry |
| ⊙ | Diameter or Round | CMU | Concrete Masonry Unit | Fdn. | Foundation | Int. | Interior | N.T.S. | Not To Scale | R.O. | Rough Opening | T.O.S. | Top Of Steel |
| # | Pound or Number | Ctr. | Center | F.E. | Fire Extinguisher | Lab. | Laboratory | O/ | On or Over | S. | South | T.P.D. | Toilet Paper Dispenser |
| Acous. | Acoustical | Dbl. | Double | F.E.C. | Finish Cabinet | Jan | Janitor | Obs. | Obscure | S.B. | South Block | T.V. | Television |
| Adj. | Adjustable | Det. | Detail | Fl. | Finish | Jt. | Joint | O.C. | On Center | S.C. | Solid Core | T.W. | Tackwall |
| A.F.F. | Above Finished Floor | D.F. | Drinking Fountain | Fl. | Finish | Kit. | Kitchen | O.D. | Outside Diameter | Sched. | Schedule | Typ. | Typical |
| Aggr. | Aggregate | Dia. | Diameter | Fl. | Finish | Lab. | Laboratory | Off. | Office | S.D. | Soap Dispenser | Trd. | Tread |
| Al. | Aluminum | Dim. | Dimension | Fl. | Finish | Lam. | Laminated | Ong. | Opposite | Sh. | Sheet | U.O.N. | Unless Otherwise Noted |
| Arch. | Architect or Architectural | Dr. | Down | Fl. | Finish | Lav. | Lavatory | Opp. | Opposite | Sht. | Sheet | Ur. | Urinal |
| Asb. | Asbestos | Dw. | Downspout | Fl. | Finish | Lckr. | Locker | P. | Plate | Sim. | Similar | V.C.T. | Vinyl Composition Tile |
| Asph. | Asphalt | Dwg. | Drawing | Fl. | Finish | Lt. | Light | Pi. | Plate | S.N.D. | Sanitary Napkin Disp. | V.T. | Vinyl Tile |
| A.V. | Audio Visual | Dwr. | Drawer | Fl. | Finish | Mas. | Masonry | P.Lam. | Plastic Laminated | S.N.R. | Sanitary Napkin Recep. | V.B. | Vapor Barrier |
| Bd. | Board | (E) | Existing | Galv. | Gauge | Max. | Maximum | Plas. | Plaster | Spec. | Specification | Vert. | Vertical |
| Bitum. | Bituminous | G.B. | Grab Bar | G.C. | Glass | M.C. | Medicine Cabinet | Plywd. | Plywood | Sq. | Square | Vest. | Vestibule |
| Bldg. | Building | Gr. | Grade | G. | Gypsum | Mech. | Mechanical | P. | Point | S.S. | Stainless Steel | Vv. | Vinyl |
| Bk. | Block | H. | Hose Bibb | H.C. | Hollow Core | Met. | Metal | P.T.D. | Paper Towel Dispenser | Std. | Standard | W. | West |
| Bk'g. | Blocking | Hdwr. | Hardware | H.W. | Hardwood | Mfr. | Manufacturer | P.T.R. | Paper Towel Receptacle | Str. | Structural | W/o | Without |
| Bm. | Beam | Exst. | Existing | H.W.C. | Hot Water Cooler | Mir. | Mirror | Q.T. | Quarry Tile | Susp. | Suspended | W.C. | Wall Covering |
| Bot. | Bottom | Exp. | Exposed | H.M. | Horizontal Metal | Misc. | Miscellaneous | R. | Riser | S.V. | Sheet Vinyl | Wd. | Wood |
| Bot. BY OWNER | Bottom BY OWNER | | | Horiz. | Horizontal | M.O. | Masonry Opening | Rad. | Radius | Sym. | Symmetrical | Wp. | Waterproof |
| Brg. | Bearing | | | | | | | R.D. | Roof Drain | Tex. | Texture | Wst. | Wainscot |
| Brk. | Brick | | | | | | | Ref. | Reference | T.B. | Towel Bar | Wt. | Weight |
| Cab. | Cabinet | | | | | | | | | T.Bd. | Tack Board | | |
| Cg. | Ceiling | | | | | | | | | | | | |
| Cf. | Clear | | | | | | | | | | | | |



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Structural Engineer ;

4338 Belleview Kansas City, MO 64111 816.531.4144; FAX 816.531.8572 info@bdc-engrs.com

SHEET INDEX

GENERAL

- COVER & SHEET INDEX
- CFPI CODE FOOTPRINT
- ADA ADA DIAGRAMS
- ICC 1 ICC A117.1-2017 DETAILS AND SECTIONS
- ICC 2 ICC A117.1-2017 DETAILS AND SECTIONS
- ICC 3 ICC A117.1-2017 DETAILS AND SECTIONS
- FH1 FAIR HOUSING
- FH2 FAIR HOUSING
- FH3 FAIR HOUSING
- EN1 RESCHECK REPORTS
- EN2 RESCHECK REPORTS
- EN3 COMCHECK REPORTS
- EN4 COMCHECK REPORTS

SEPARATE FIRE ALARM PERMIT REQUIRED:
Due to the proposed work the general contractor is required to obtain the services of a fire alarm contractor to determine if a separate alarm permit is required. If it is determined that the spacing of the fire alarm devices is not in compliance, then a separate fire alarm permit is required. Approval of the documents is required prior to system installation or any request for inspection. A Certificate of Occupancy or final approval cannot be issued by the Building Division without this fire protection system. 2021 IFC, Section 105.6.6.

A "Knox"-type rapid entry system key box shall be installed at the main entrance to this building. Call 303-739-7420 and ask for a Life Safety Plans Examiner for information.

SEPARATE FIRE SPRINKLER PERMIT REQUIRED:
Due to the proposed work the general contractor is required to obtain the services of a fire sprinkler contractor to determine if a separate sprinkler permit is required. If it is determined that the spacing of the fire sprinkler heads is not in compliance, then a separate fire sprinkler permit is required. Approval of the documents is required prior to system installation or any request for inspection. A Certificate of Occupancy or final approval cannot be issued by the Building Division without this fire protection system. 2021 IFC, Section 105.6.1

Emergency Responder Radio Coverage:
All New Commercial Buildings that exceed 5,000 sq. ft. and any additions to Existing Buildings (when structural changes occur including additions or remodels that could materially change the original fire performance); shall have approved radio coverage for emergency responders within the building. This building must be assessed to determine adequate in-building radio coverage at the time of final frame and electrical inspection by a qualified 3rd party inspection service at the owner/developers' expense. Lack of adequate in-building radio coverage may delay the issuance of a Certificate of Occupancy. Where the structure is found deficient a separate permit is required to install, repair or modify any Emergency Response Radio Coverage system. Per 2021 IFC, Section 510.

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- A1.3 ENLARGED SITE PLANS AND DETAILS
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- A2.9 REFLECTED CEILING PLANS, TYPICAL ALL UNITS
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- A4.8 MANUFACTURER HARDIE LAP SIDING INSTALLATION DETAILS
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- S3.2 DETAILS
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- M4.1 FIRST FLOOR UNIT HVAC PLANS
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- P4.1 UNIT DOMESTIC WATER PLANS
- P4.2 UNIT DOMESTIC WATER PLANS
- P5.1 WASTE & VENT ISOMETRIC DIAGRAMS
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- ES.3 SCHEDULES
- E6.4 SCHEDULES & CALCULATIONS

Reviewed for Certificate of Occupancy. These documents DO provide sufficient information for Final Inspections to be requested from all required city departments. ALL Final city inspections must be completed and approved.



City of Aurora Building Division
Project: THE RESERVES AT EAGLE POINT A
Address: 415 N PICADILLY RD
Occupancy Group: IBC R-2
Construction Type: IBC VB-SPK
RSN: 1762346
Permit: 23-2396760-CM



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: Y. Munoz
Date: Feb 06, 2024
2021 INTERNATIONAL CODES & 2023 NEC

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.

Code violations that are found during inspection are required to be corrected. Permit issuance does not grant approval of a code violation.

PROVIDE A FULL-SIZE SET OF LEGIBLE APPROVED CONSTRUCTION DOCUMENTS PRINTED IN COLOR FOR REVIEW BY INSPECTOR

PERMIT SET 10-2-2023

PROJECT INFORMATION

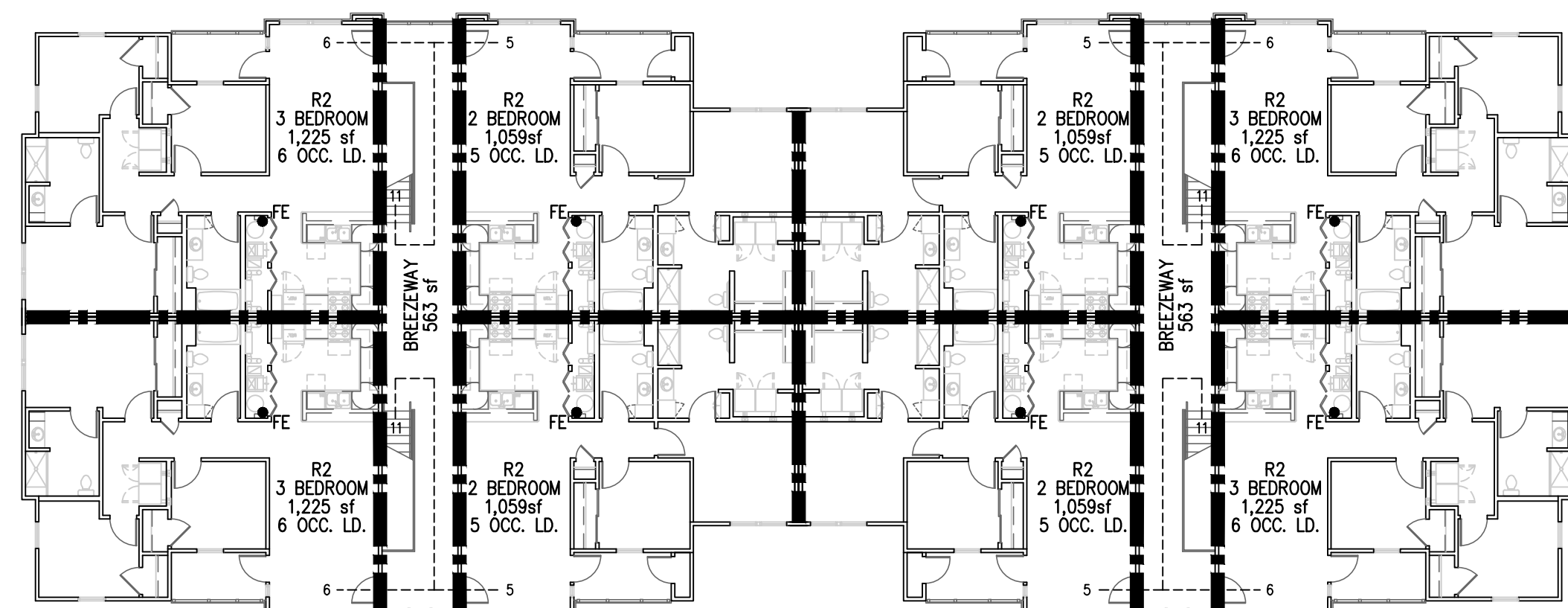
| | |
|--------------------------------------|--|
| TYPE OF CONSTRUCTION | NEW CONSTRUCTION |
| FACILITY NAME | THE RESERVES at EAGLE POINT |
| FACILITY ADDRESS | AURORA, COLORADO |
| COUNTY | DOUGLAS |
| LOCAL FIRE DEPARTMENT | CITY OF AURORA |
| WATER SUPPLY | CITY OF AURORA |
| LOCAL BUILDING INSPECTION DEPARTMENT | CITY OF AURORA |
| ARCHITECT | JONES GILLAM RENZ ARCHITECTS 730 N. NINTH ST., SALINA, KS 67401 |
| CODES/REGULATIONS | 2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2020 NATIONAL ELECTRICAL CODE 2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE 2017 ICC/ANSI A117.1 2010 ADA STANDARDS for ACCESSIBLE DESIGN |

LEGEND

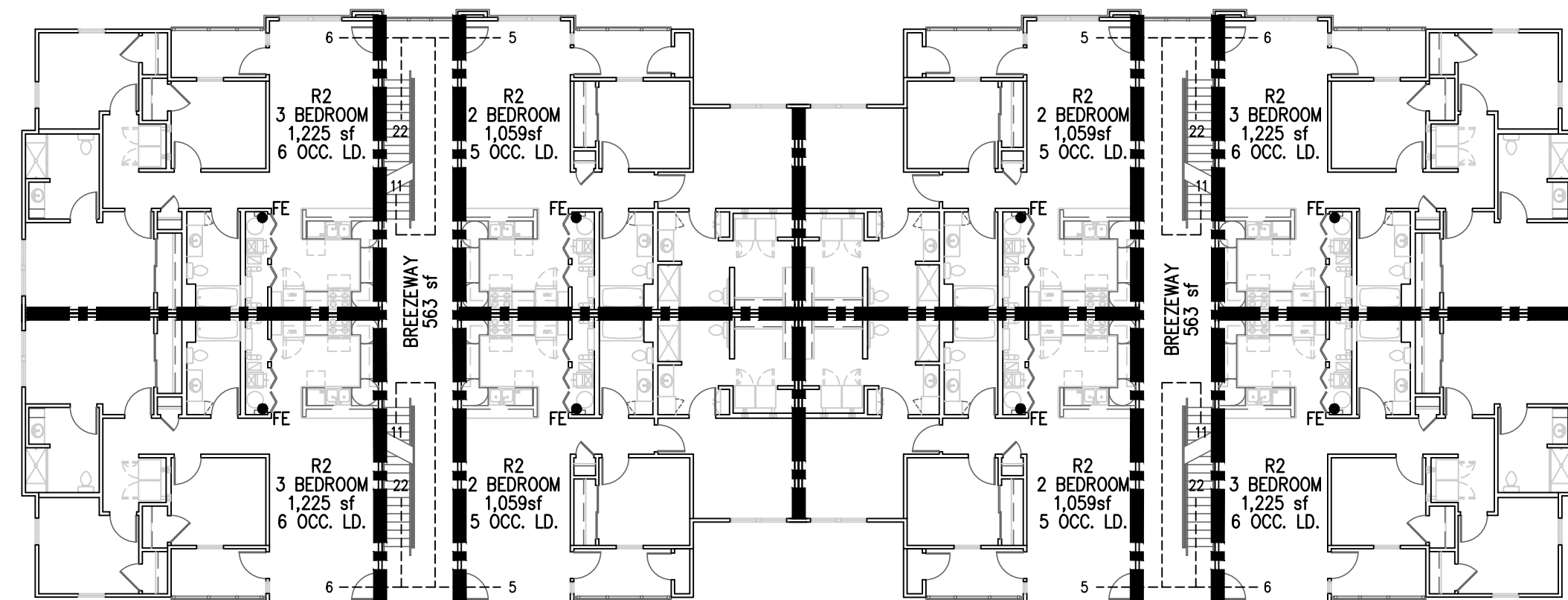
| | | |
|---------------------------------|--|---|
| DESIGNATED EMERGENCY EXIT | | 68/74.4' — EXIT WIDTH (ACTUAL/REQUIRED) 122/240 — OCCUPANT LOAD (ACTUAL/ALLOWED) |
| 0 HOUR CONSTRUCTION | | |
| FIRE PARTITION/UNIT SEPARATION: | | 1 HOUR CONSTRUCTION W/ 45 MIN PROTECTED OPENINGS |
| EMERGENCY LIGHT | | |
| FIRE EXTINGUISHER | | |
| FIRE HYDRANT | | |

APARTMENT BUILDINGS CODE INFORMATION

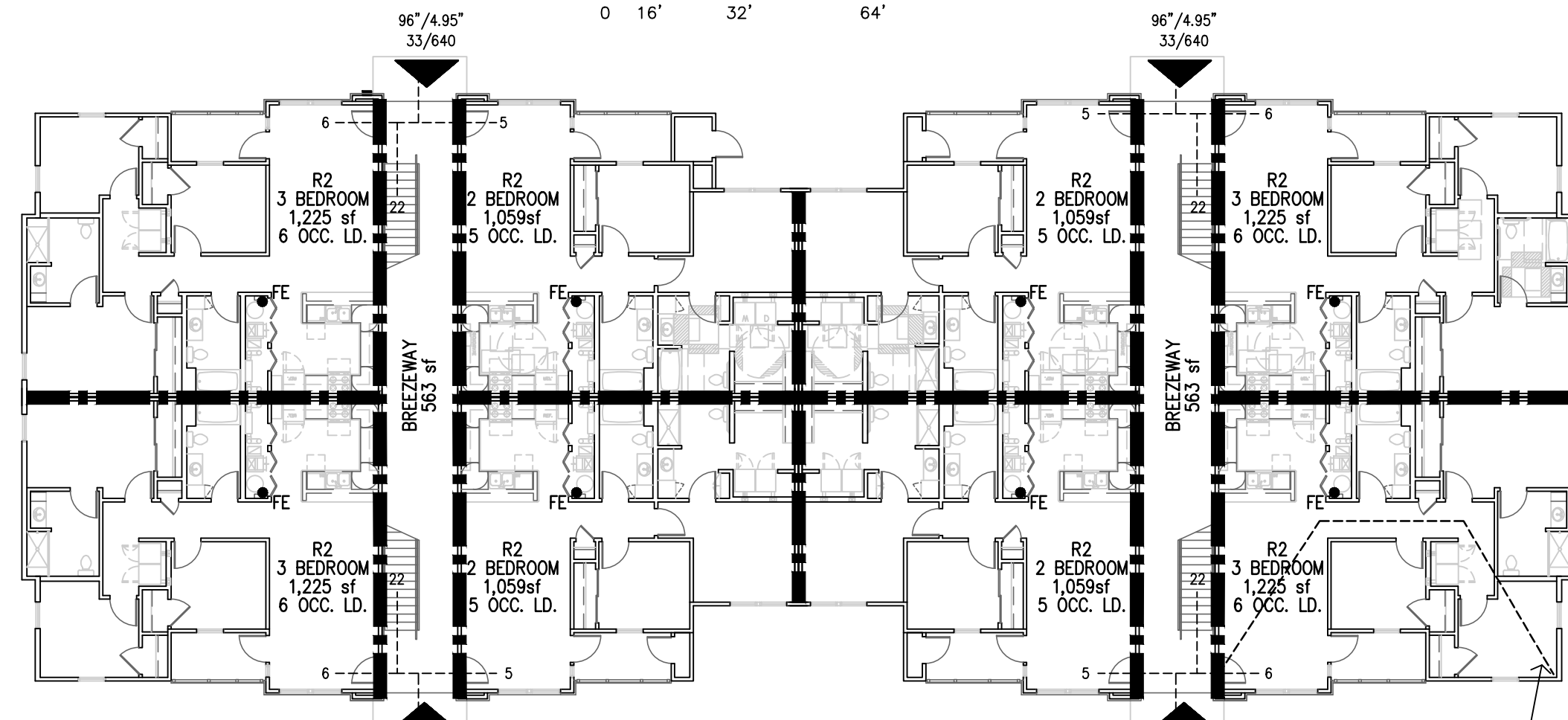
| | | | |
|------------------------------|-----------------|---|-----------------|
| OCCUPANCY GROUPS: | R2 APARTMENTS | FIRE RESISTANCE RATING FOR BUILDING ELEMENTS | V-B |
| BUILDINGS: | A/B/C/D/E/F/G/H | STRUCTURAL FRAME: | 0 HOUR |
| CONSTRUCTION TYPE: | V-B | INTERIOR BEARING WALLS: | 0 HOUR |
| BASIC ALLOWABLE AREA: | R2 7,000 SF | INTERIOR NON-BEARING WALLS: | 0 HOUR |
| BUILDINGS D/E/G/H Type 1 | | EXTERIOR BEARING WALLS: | 0 HOUR |
| ALLOWABLE AREA INCREASE: | | EXTERIOR NON-BEARING WALLS: | 0 HOUR |
| BASIC ALLOWABLE | 7,000 SF | FLOOR/CEILING: | 1 HOUR |
| FRONTAGE AREA INCREASE (63%) | 4,410 SF | CEILING/ROOF: | 1 HOUR |
| ALLOWABLE AREA (PER FLOOR) | 11,410 SF | SHAFT ENCLOSURES: | 1 HOUR |
| ALLOWABLE AREA (PER BLDG) | 34,230 SF | SPECIAL CONDITIONS: | |
| ACTUAL BUILDING AREA: | | EXIT & EMERGENCY LIGHTING | |
| FIRST FLOOR | 10,338 SF | PORTABLE FIRE EXTINGUISHERS | |
| SECOND FLOOR | 10,338 SF | FIRE ALARM REQUIREMENTS: | |
| THIRD FLOOR | 10,338 SF | SPRINKLER MONITOR (REF ELECTRICAL SHEETS) | |
| TOTAL ACTUAL BUILDING AREA | 31,014 SF | AUTOMATIC FIRE SUPPRESSION SYSTEM: | |
| | | REQUIRED PER NFPA 13R | |
| | | EMERGENCY POWER SOURCE: | |
| | | NOT REQUIRED | |
| BASIC ALLOWABLE STORIES: | 2 | HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1)) | |
| SPRINKLER INCREASE | 1 | NONE | |
| ALLOWABLE STORIES | 3 | SMOKE PARTITIONS: | SMOKE CONTROL: |
| ACTUAL STORIES: | 3 | NOT REQUIRED | NOT REQUIRED |
| BASIC ALLOWABLE HEIGHT: | 40' | STANDPIPES: | NOT REQUIRED |
| SPRINKLER INCREASE | 20' | TOTAL OCCUPANT LOAD: | 132 (TYPE 1) |
| ALLOWABLE HEIGHT | 60' | EXITING: | REFERENCE PLANS |
| ACTUAL HEIGHT: | 45' | OCCUPANT LOAD FACTORS: | |
| | | OCCUPANCY USE | LOAD FACTOR |
| | | R2 APARTMENTS | 200 sf/OCCUPANT |
| | | OCCS= | 2-EXITS |
| | | | 10 |



C
APARTMENT BUILDINGS D/E/G/H (TYPE 1)
THIRD FLOOR PLAN

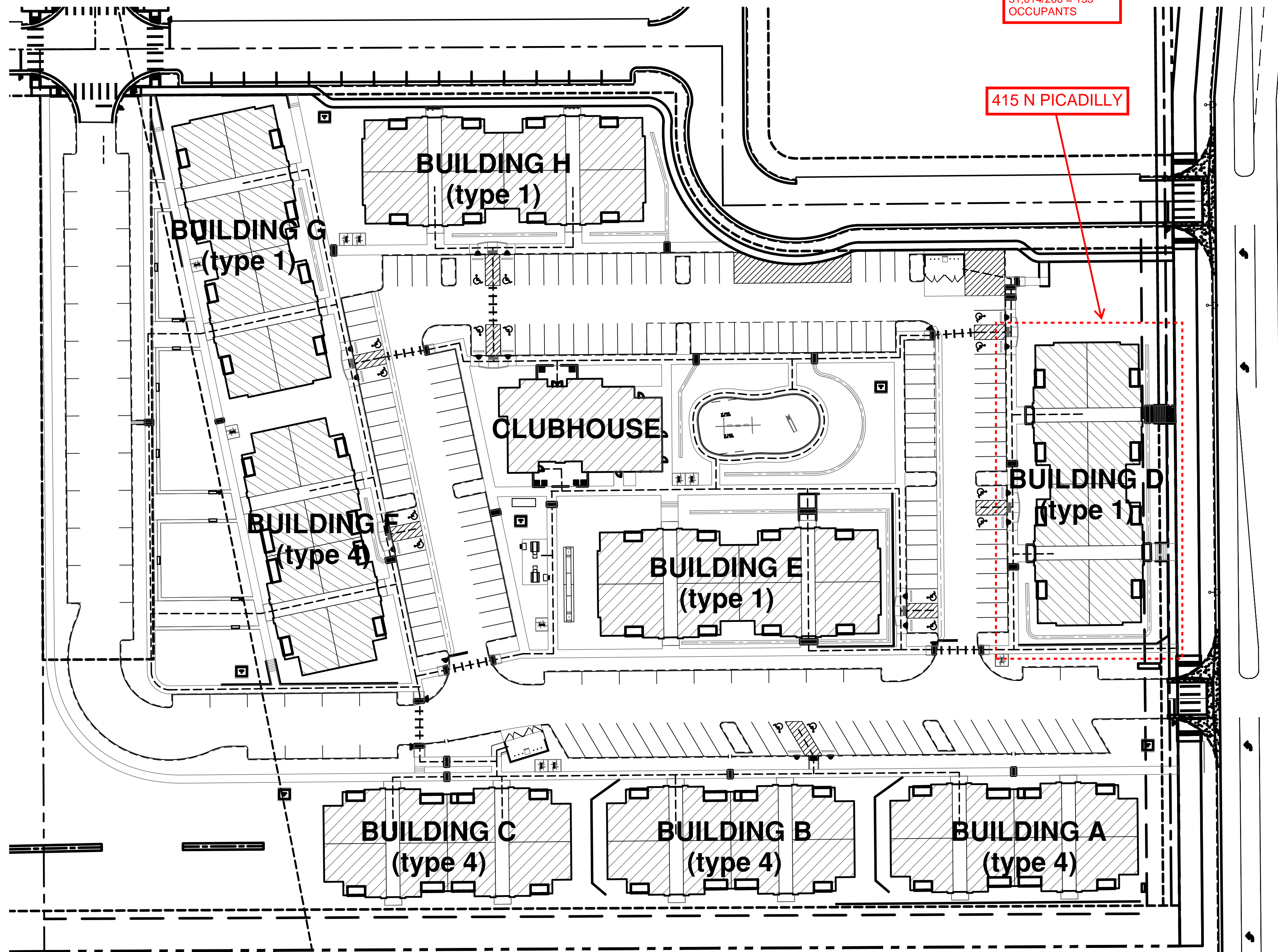


B
APARTMENT BUILDINGS D/E/G/H (TYPE 1)
SECOND FLOOR PLAN



A
APARTMENT BUILDINGS D/E/G/H (TYPE 1)
FIRST FLOOR PLAN

APARTMENT TRAVEL DISTANCE 57'-0" (ALLOWED 125'-0")

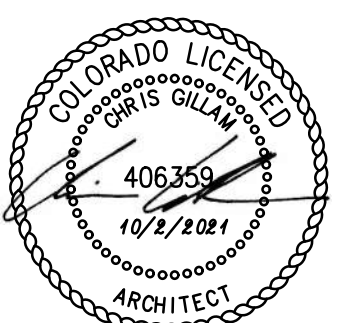


A SITE PLAN

This sheet of drawings has not been reviewed for code compliance.

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785.827.0386
jgr@jgrarchitects.com

THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA, COLORADO

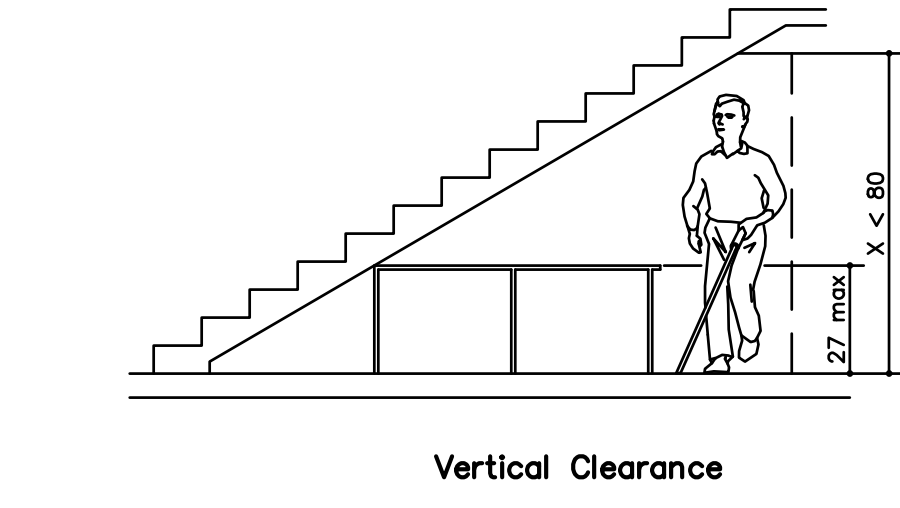


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| REVISION: | |
| DATE: | 10-2-2023 |
| JOB: | 22-3219 |
| SHEET NO.: | |

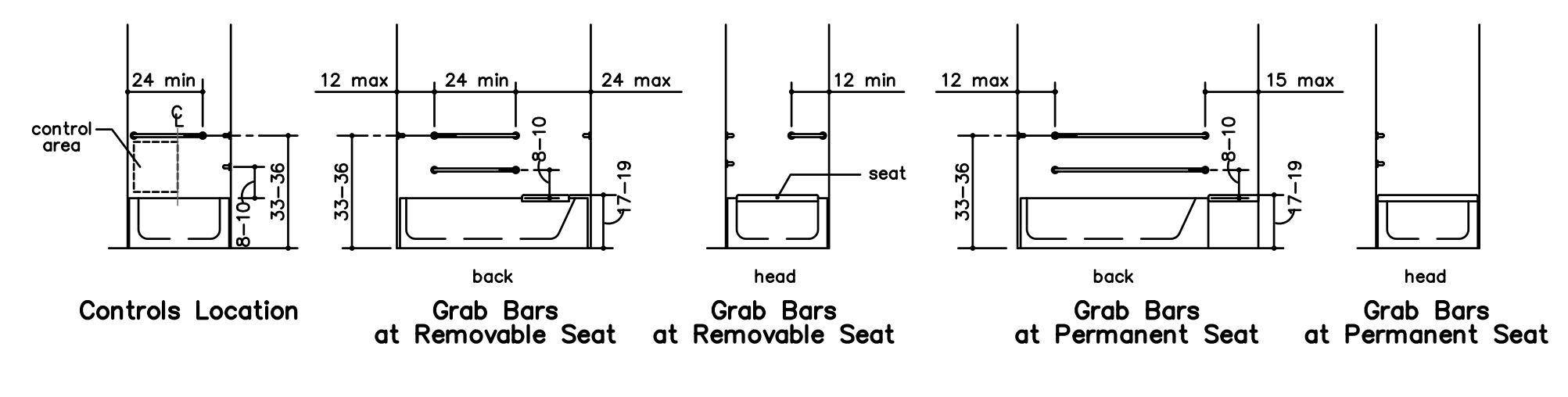
CFP



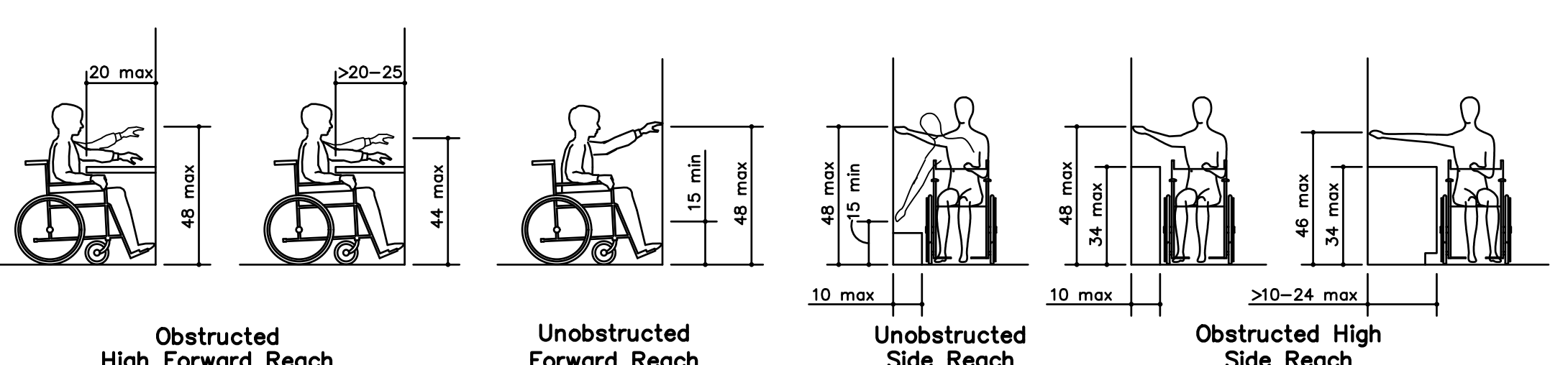
REVISION:
DATE: 10-2-2023
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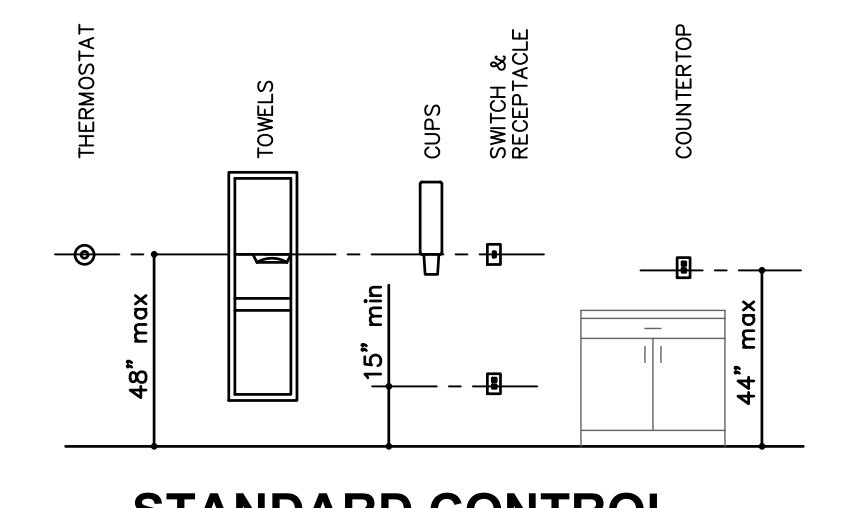
Vertical Clearance



Controls Location
Grab Bars at Removable Seat
Grab Bars at Permanent Seat

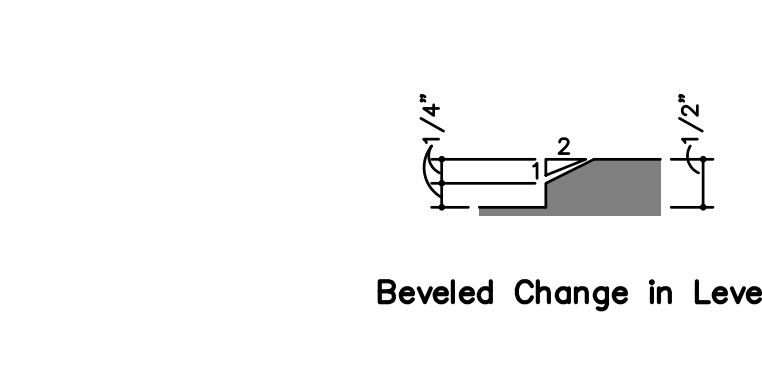


Obstructed High Forward Reach
Unobstructed Forward Reach
Unobstructed Side Reach
Obstructed High Side Reach



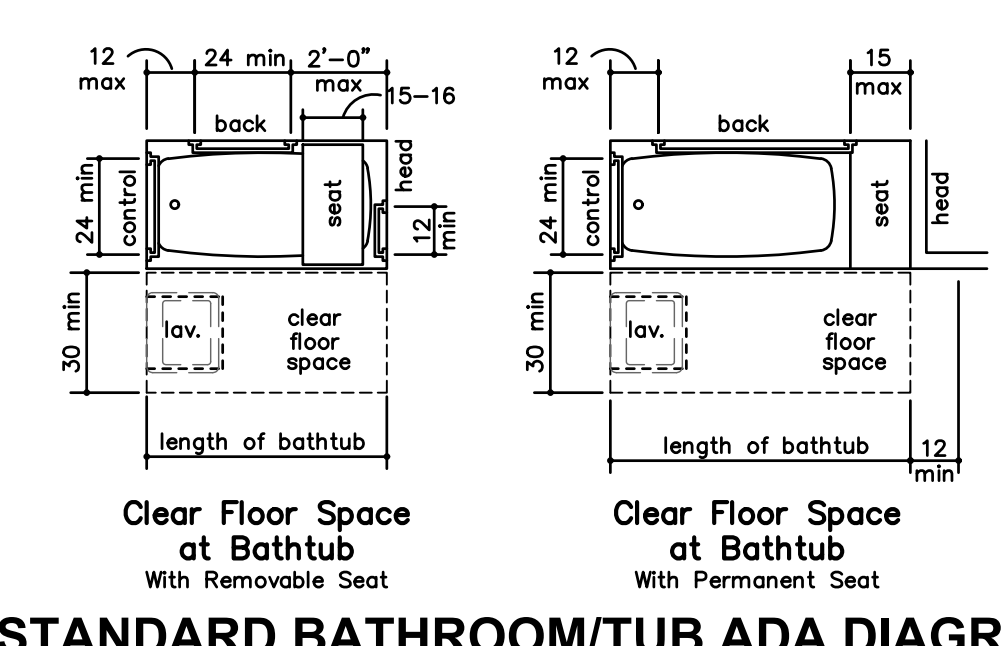
STANDARD CONTROL REACH LIMITATIONS DETAILS

S STANDARD VERTICAL CLEARANCE



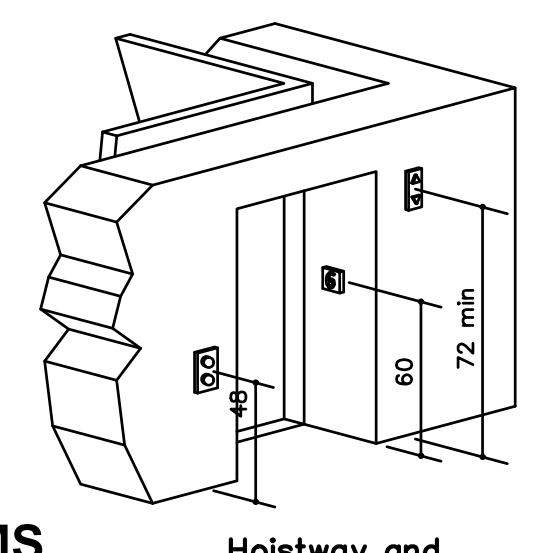
Beveled Change in Level

P THRESHOLD ADA DIAGRAMS

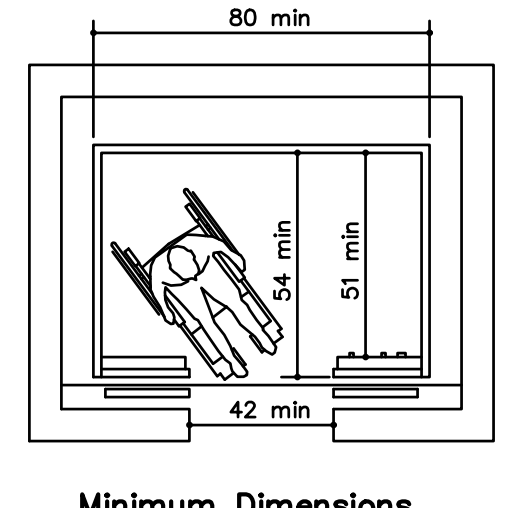


Clear Floor Space at Bathtub With Removable Seat
Clear Floor Space at Bathtub With Permanent Seat

O STANDARD BATHROOM/TUB ADA DIAGRAMS

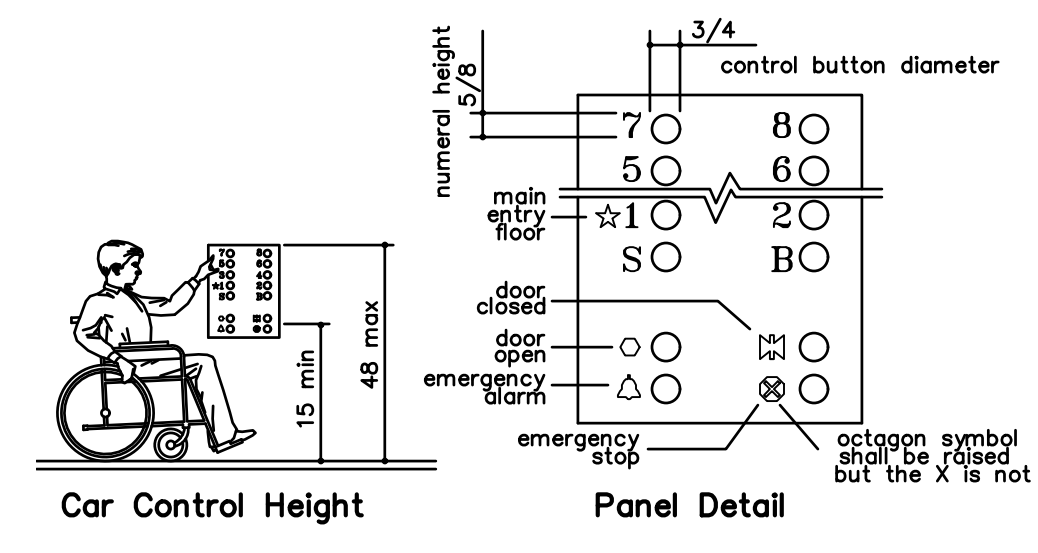


Hoistway and Elevator Entrances

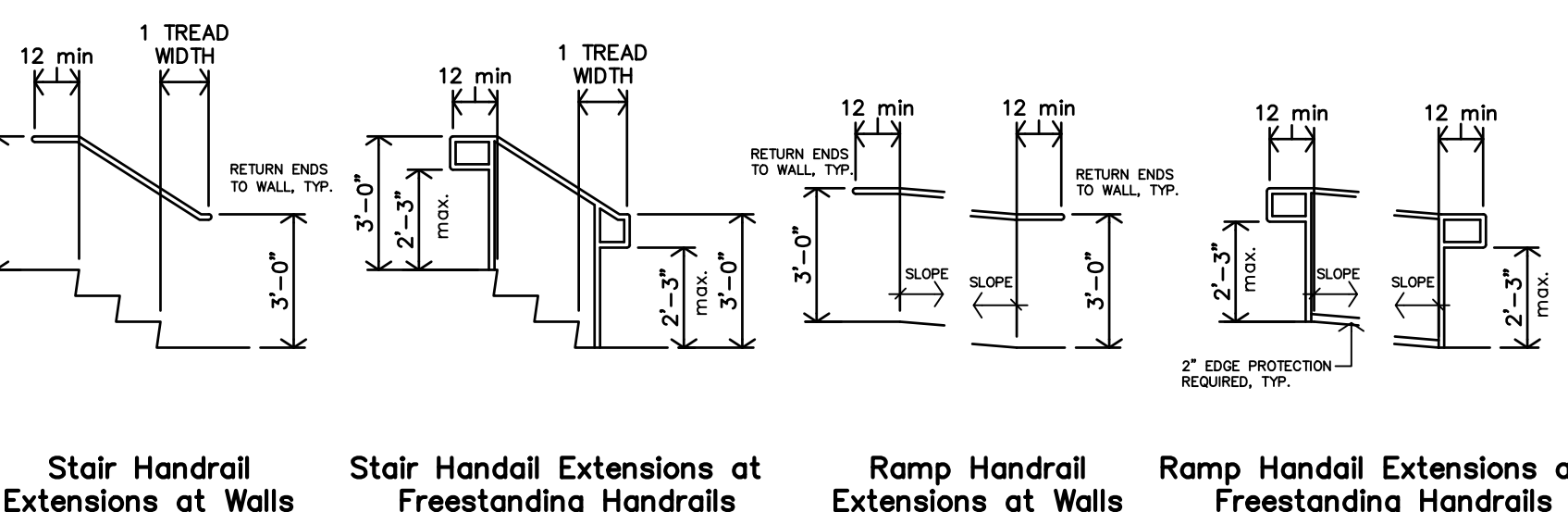


Minimum Dimensions for Elevator Car

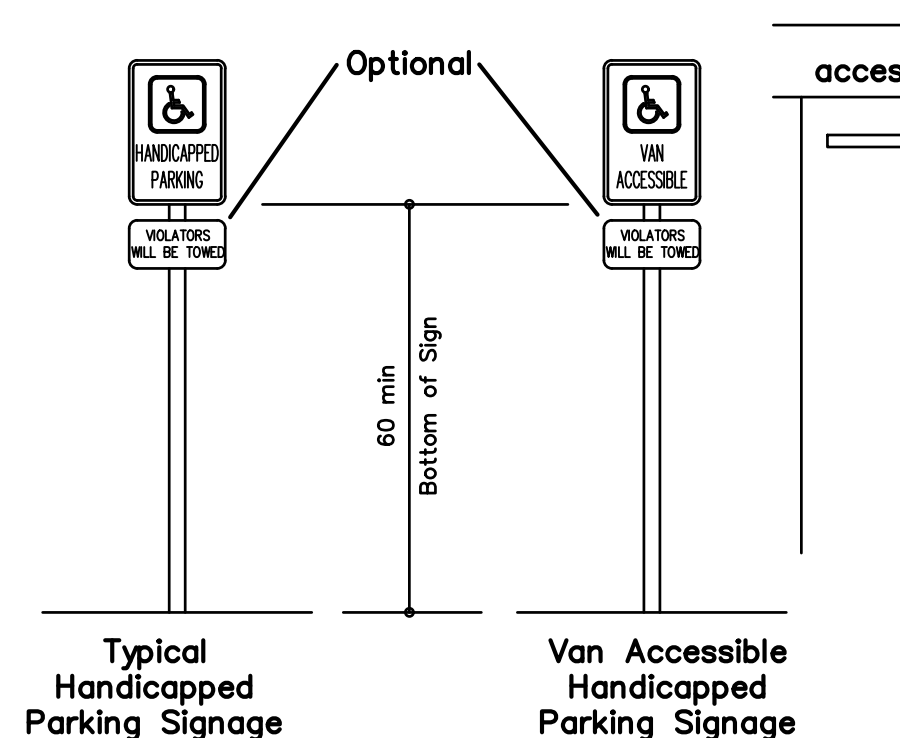
R STANDARD REACH ADA DIAGRAMS



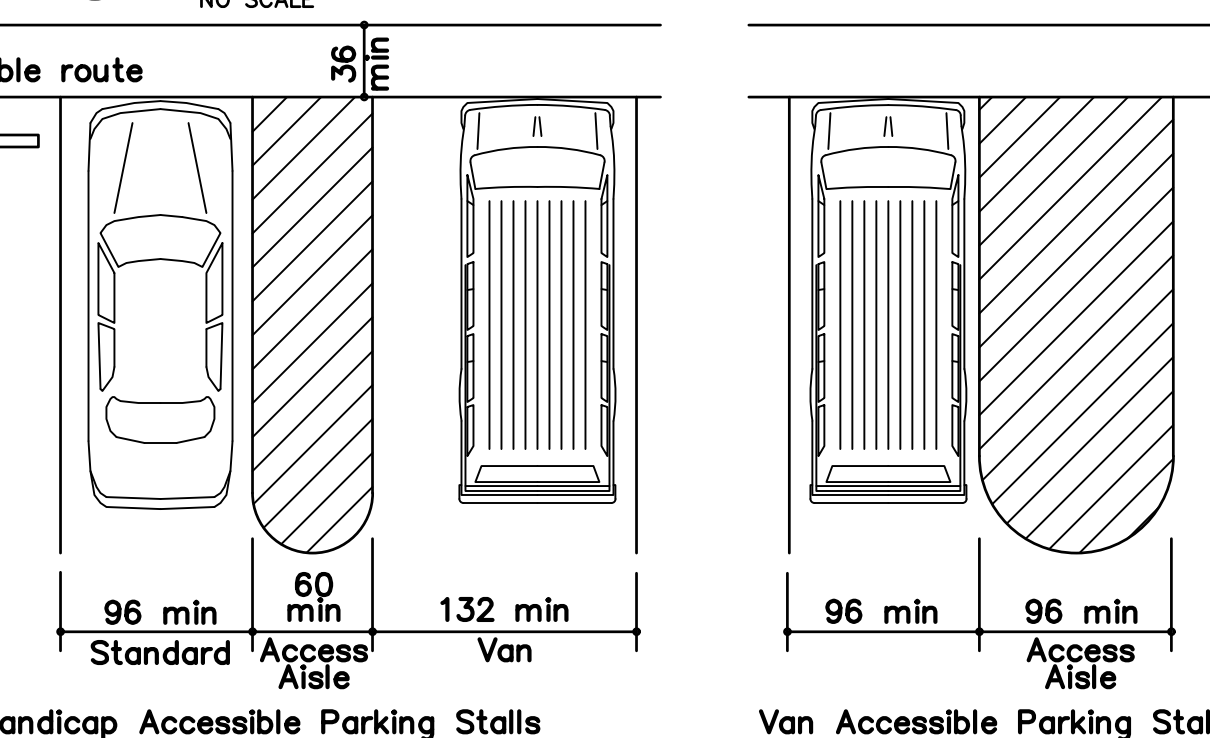
Car Control Height
Panel Detail



Stair Handrail Extensions at Walls
Stair Handrail Extensions at Freestanding Handrails
Ramp Handrail Extensions at Walls
Ramp Handrail Extensions at Freestanding Handrails

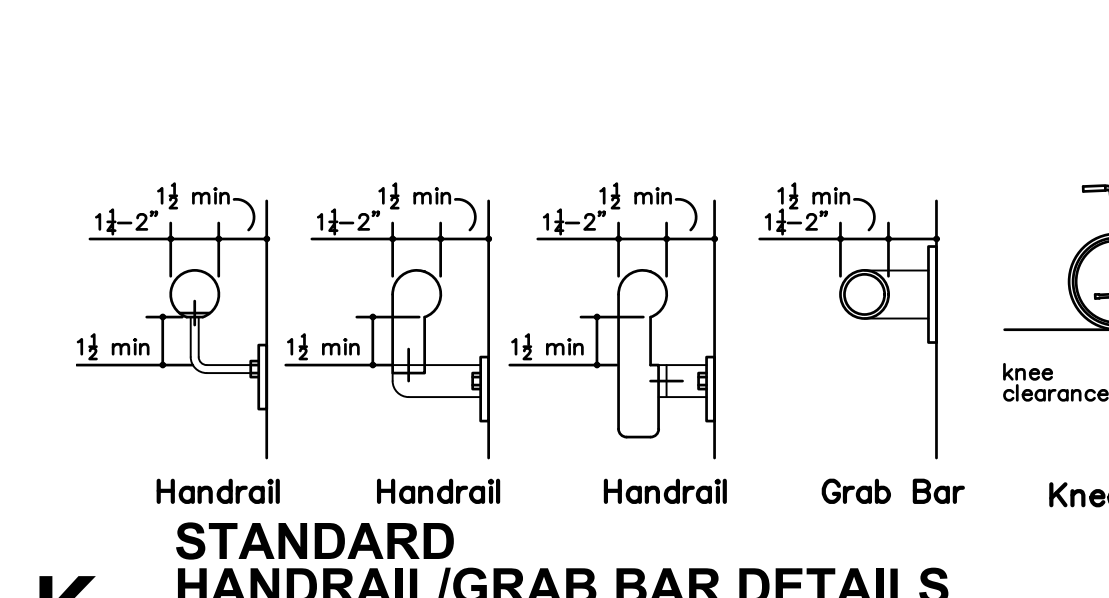


Typical Handicapped Parking Signage
Van Accessible Handicapped Parking Signage

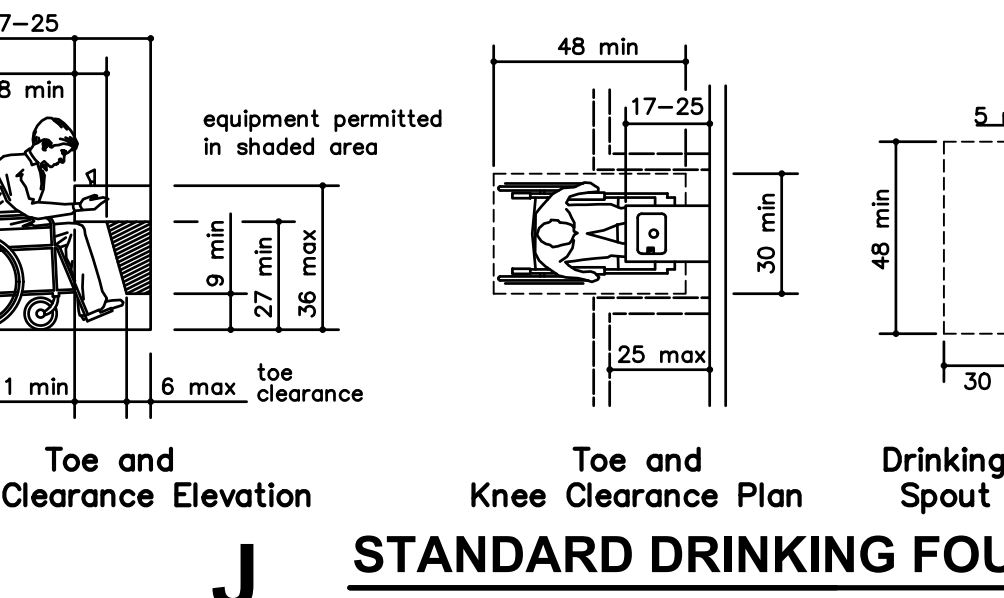


Handicap Accessible Parking Stalls
Van Accessible Parking Stall (per 502.2 exception)

N STANDARD ELEVATOR ADA DIAGRAMS

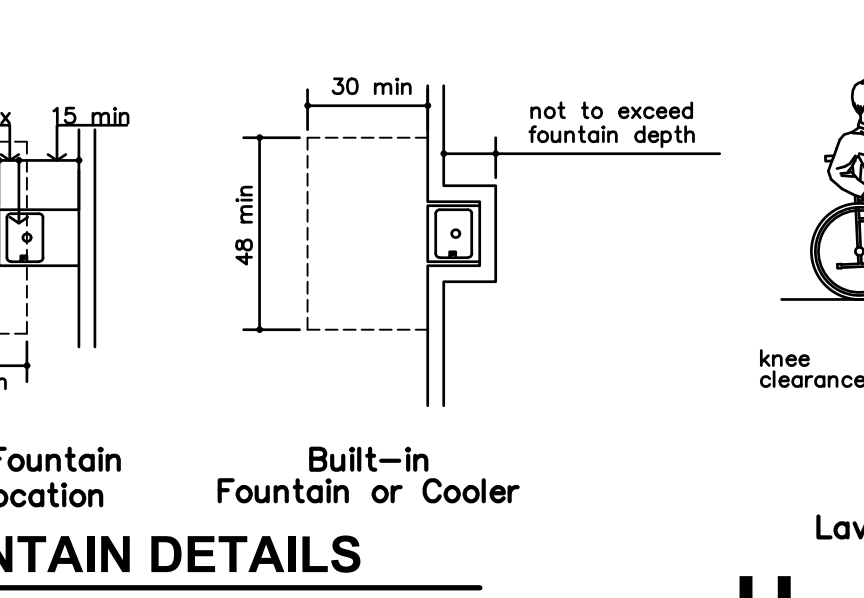


Handrail
Grab Bar

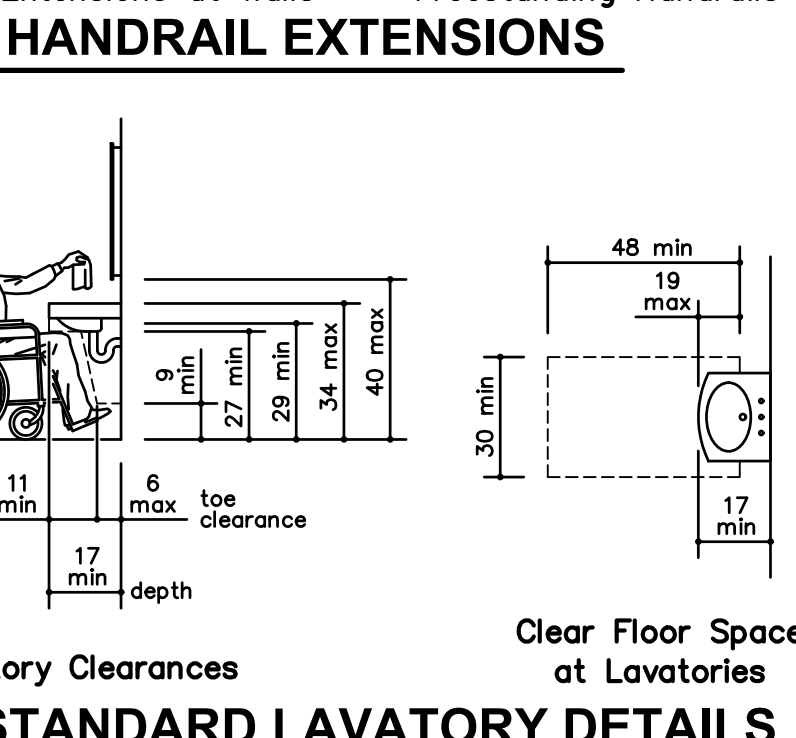


Toe and Knee Clearance Elevation

M STANDARD RAMP/STAIR HANDRAIL EXTENSIONS

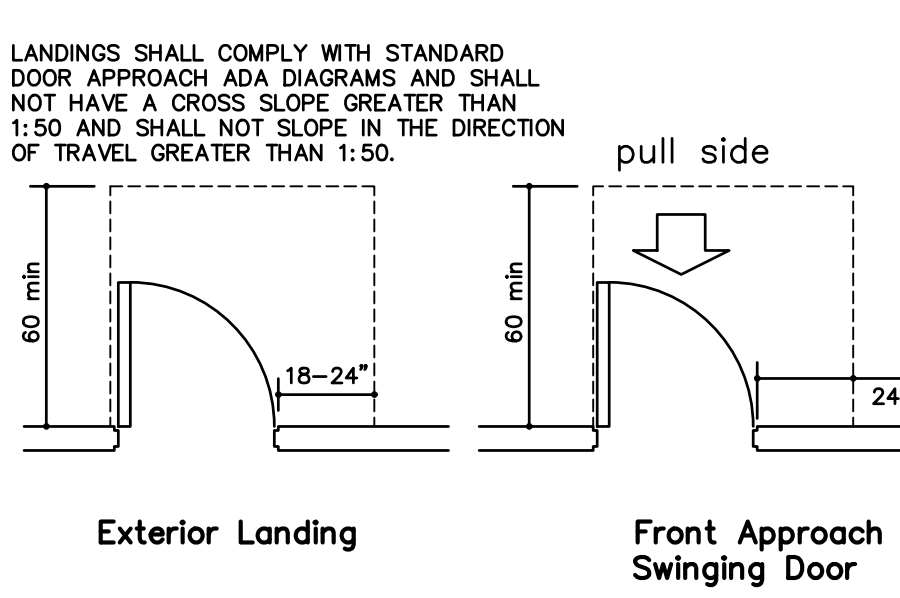


Drinking Fountain Spout Location
Built-in Fountain or Cooler

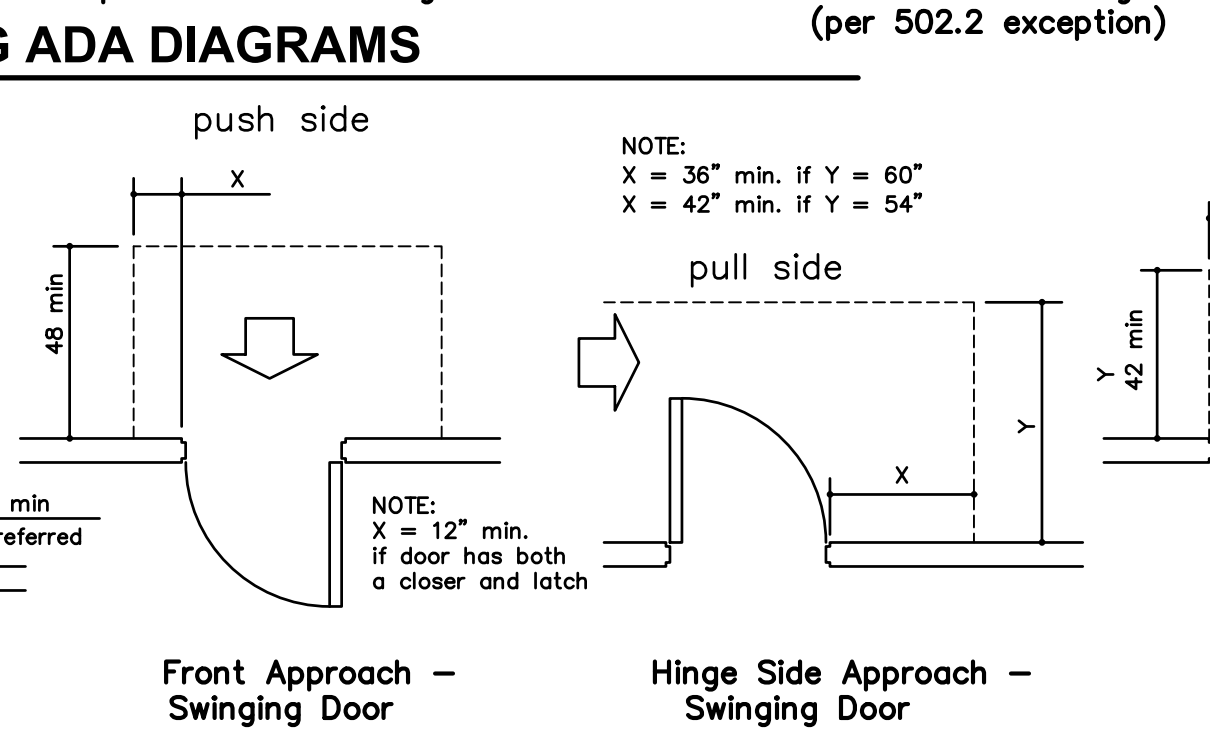


Lavatory Clearances at Lavatories

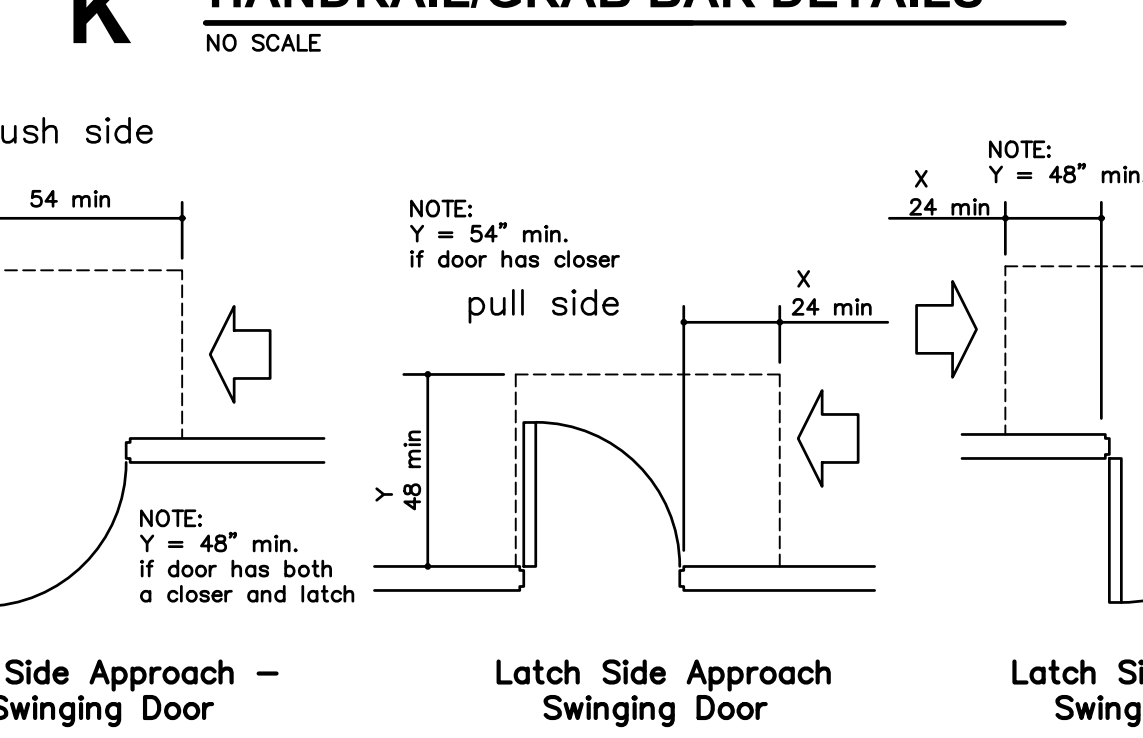
L STANDARD PARKING ADA DIAGRAMS



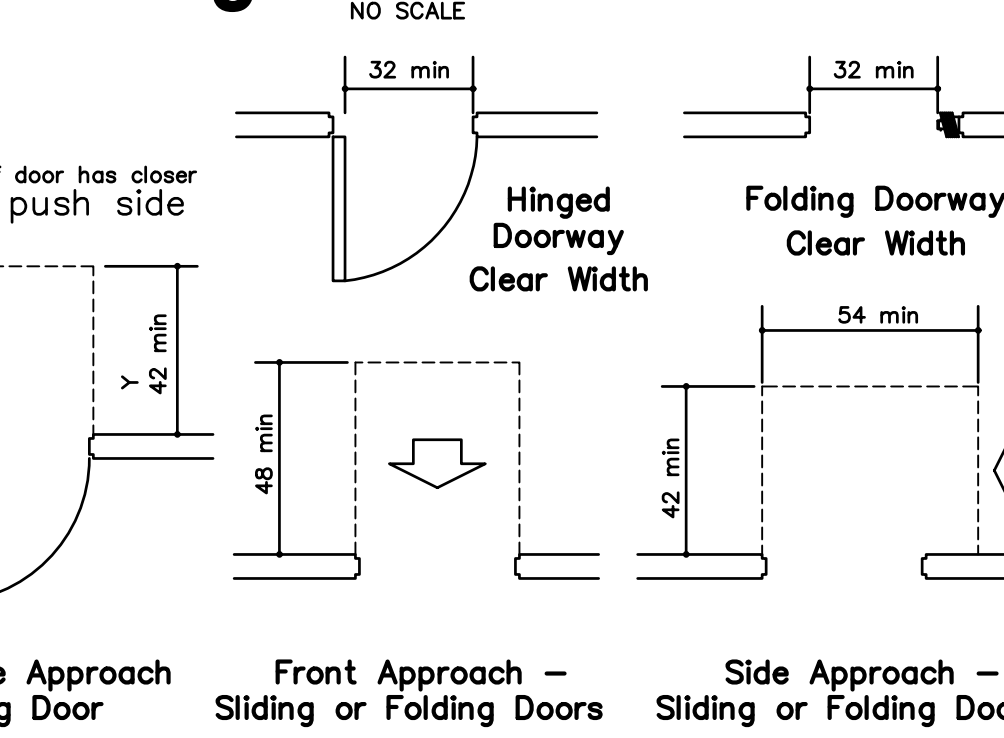
Exterior Landing
Front Approach - Swinging Door



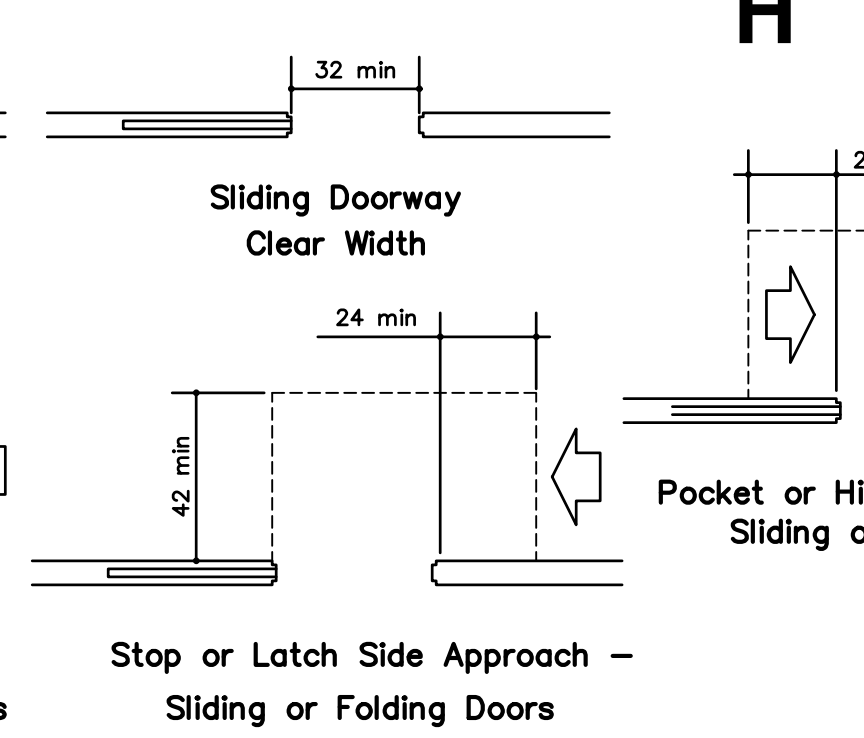
Front Approach - Swinging Door
Hinge Side Approach - Swinging Door



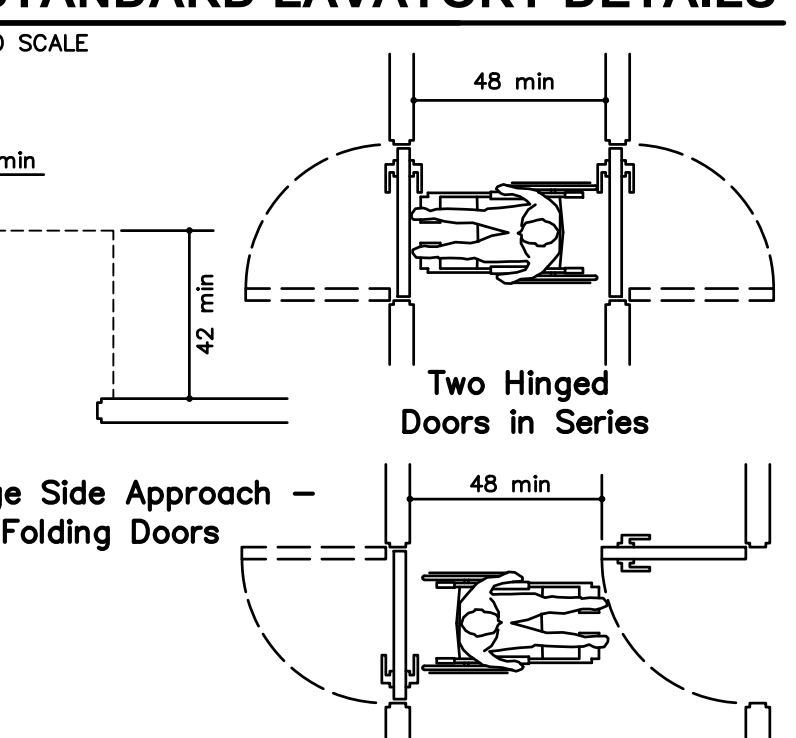
Side Approach - Swinging Door
Latch Side Approach - Swinging Door



Front Approach - Sliding or Folding Doors
Side Approach - Sliding or Folding Doors

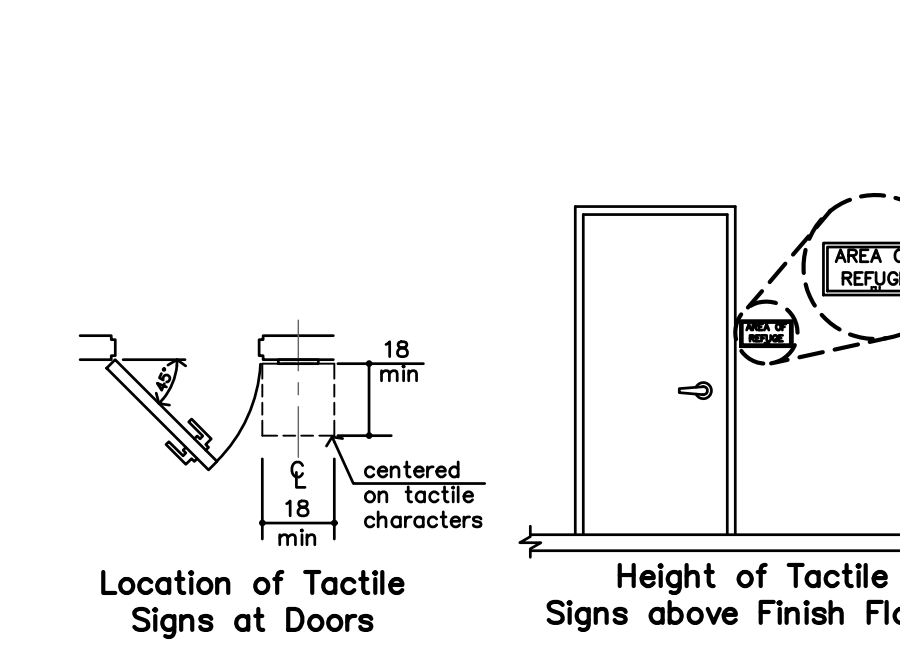


Stop or Latch Side Approach - Sliding or Folding Doors

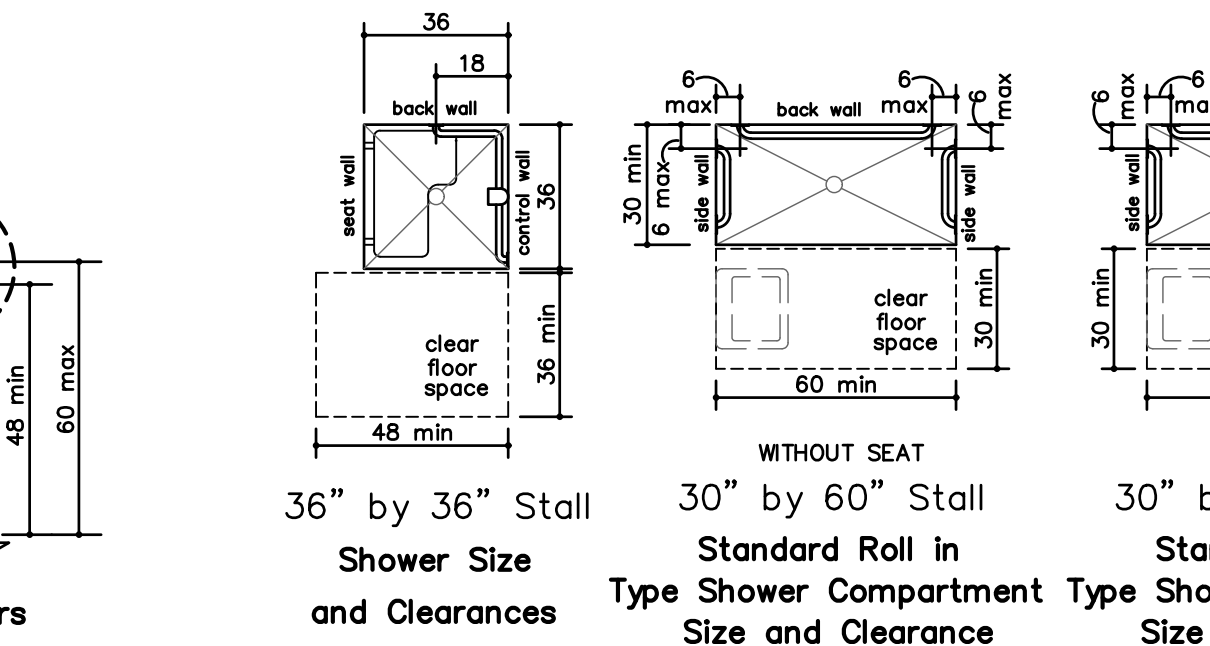


Two Hinged Doors in Series

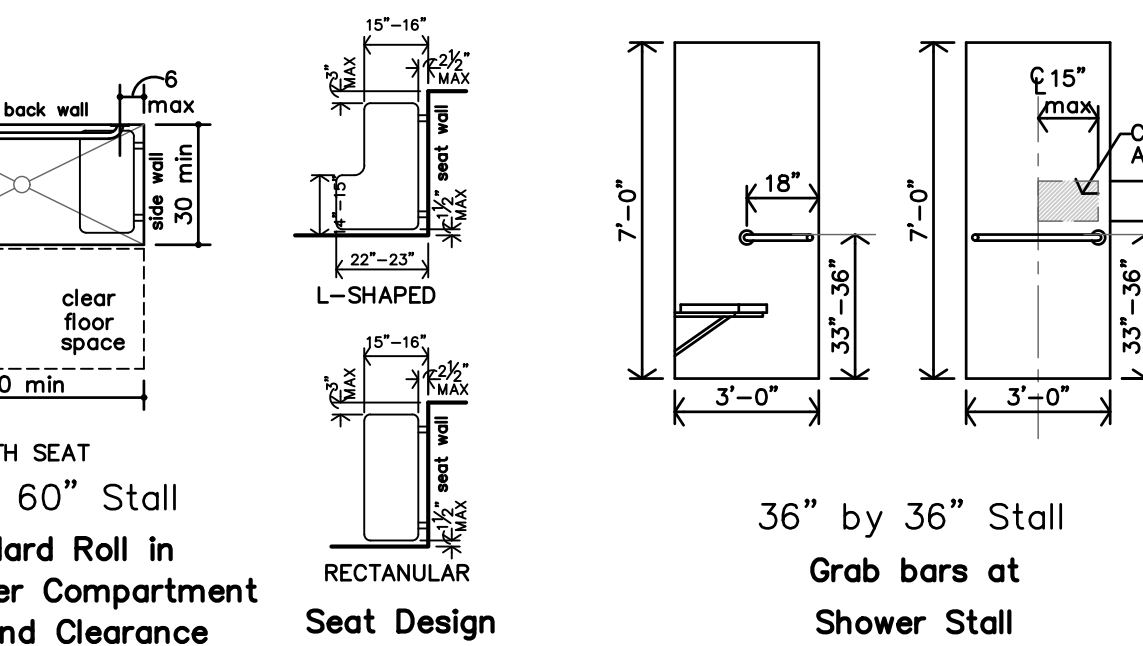
G STANDARD DOOR APPROACH ADA DIAGRAMS



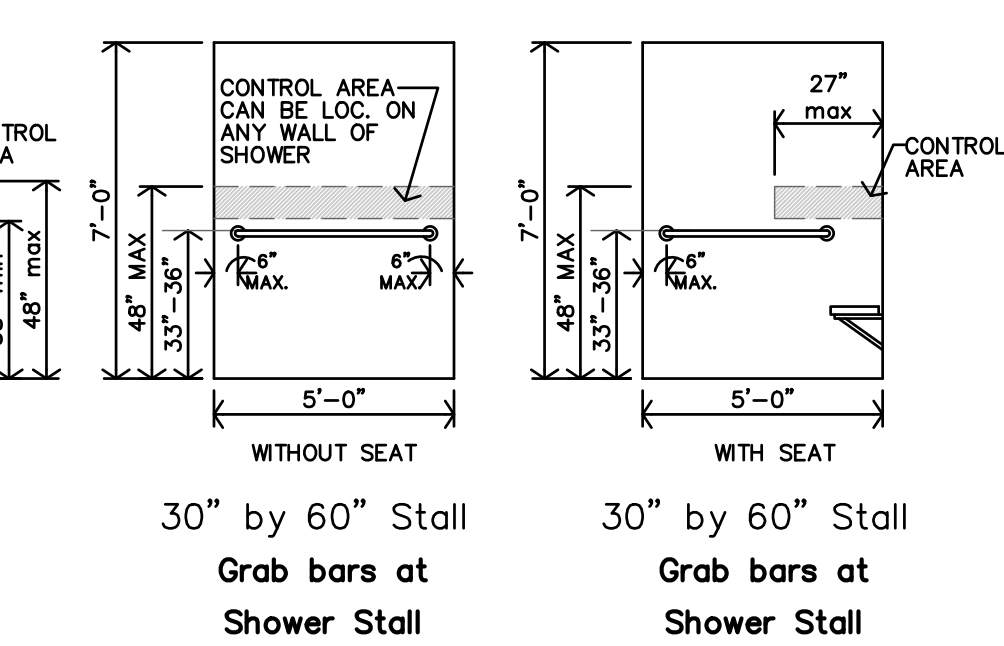
Location of Tactile Signs at Doors
Height of Tactile Signs above Finish Floors



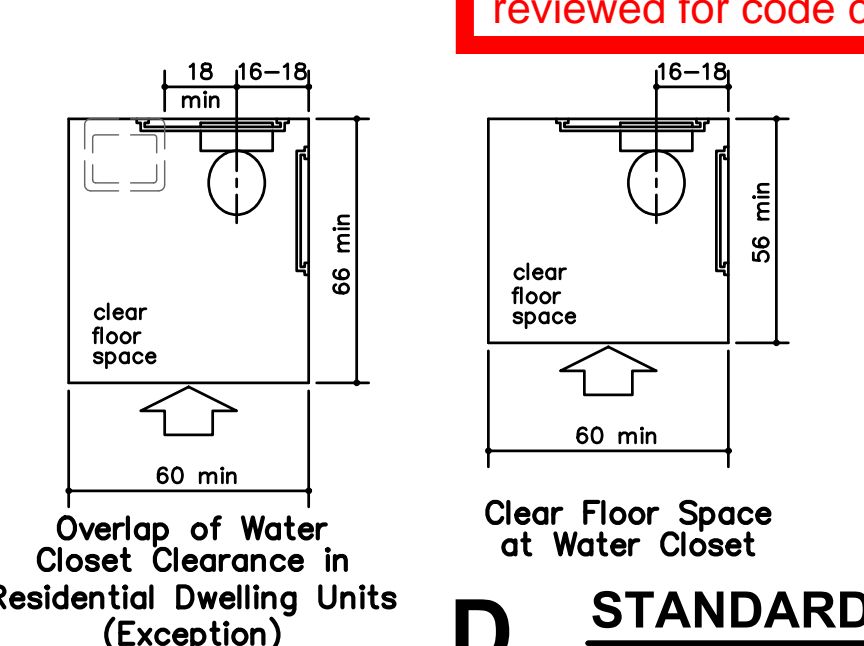
Shower Size and Clearances
Type Shower Compartment Size and Clearance



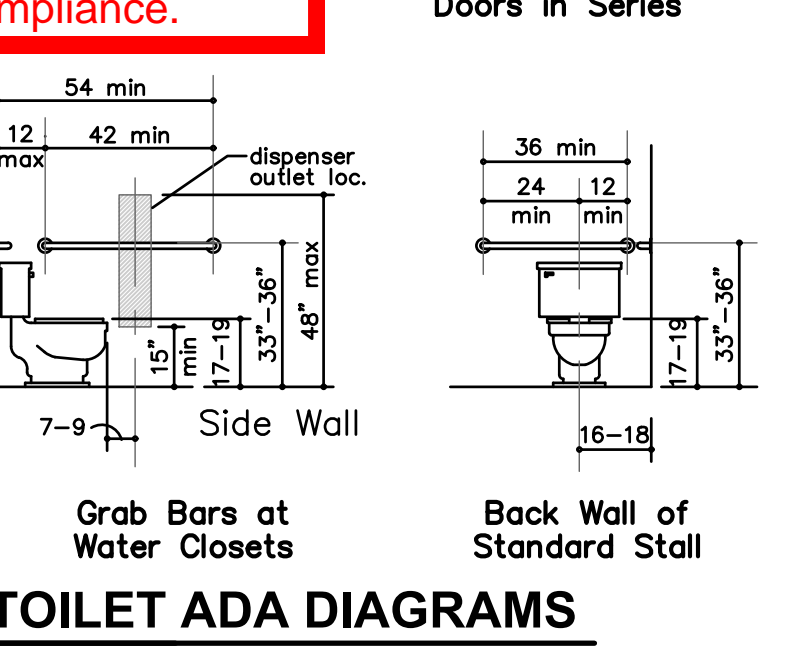
RECTANGULAR
L-SHAPED
Seat Design



Grab bars at Shower Stall

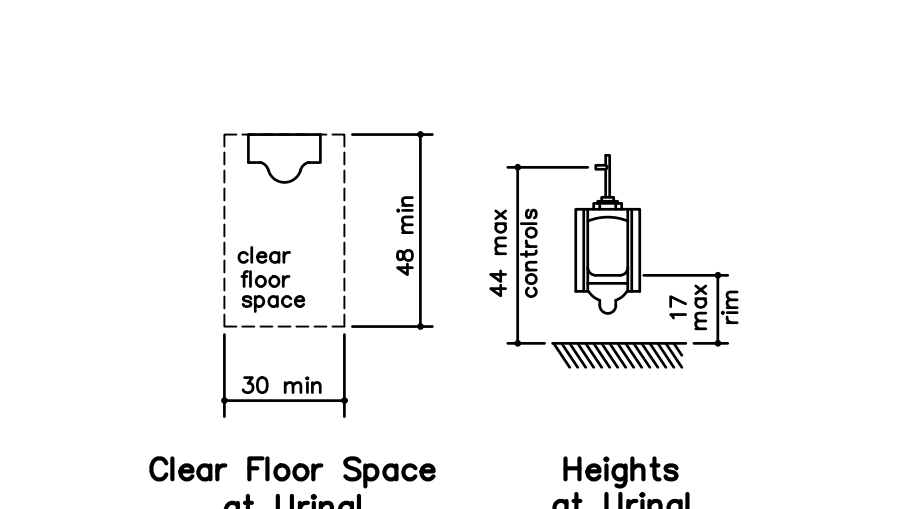


Overlap of Water Closet Clearance in Residential Dwelling Units (Exception)

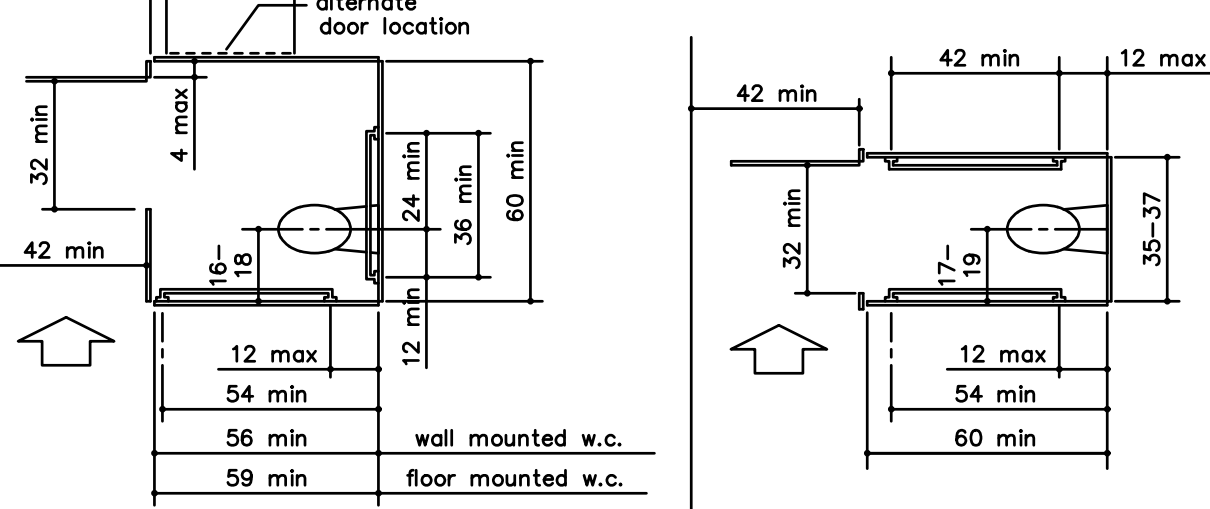


Clear Floor Space at Water Closet
Grab Bars at Water Closets

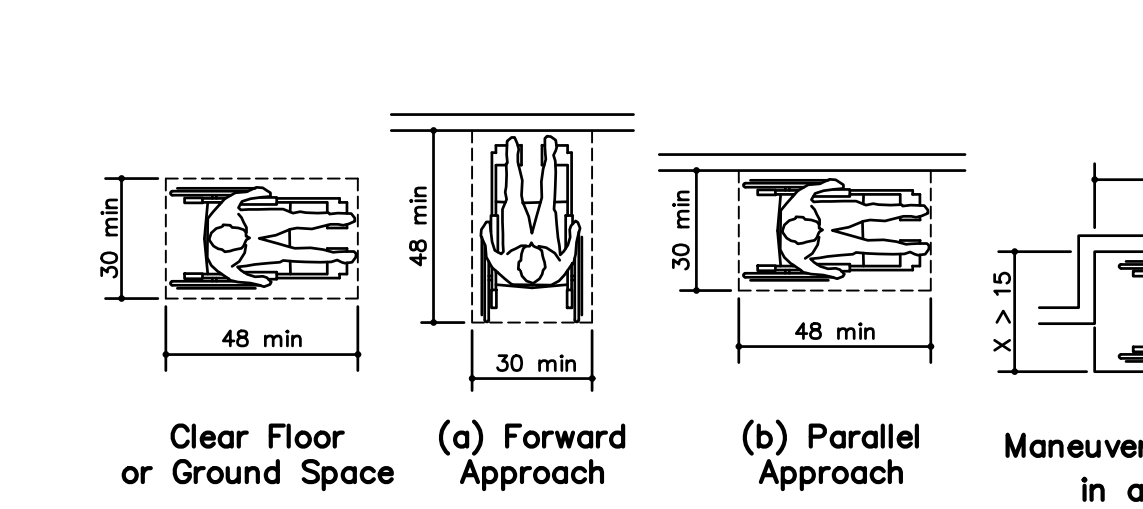
F TACTILE SIGN DIAGRAM



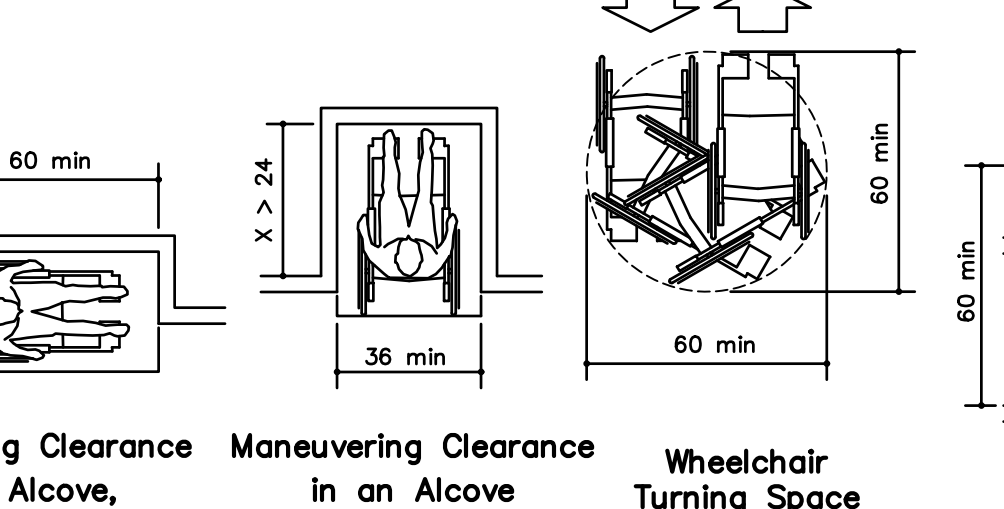
Clear Floor Space at Urinal
Heights at Urinal



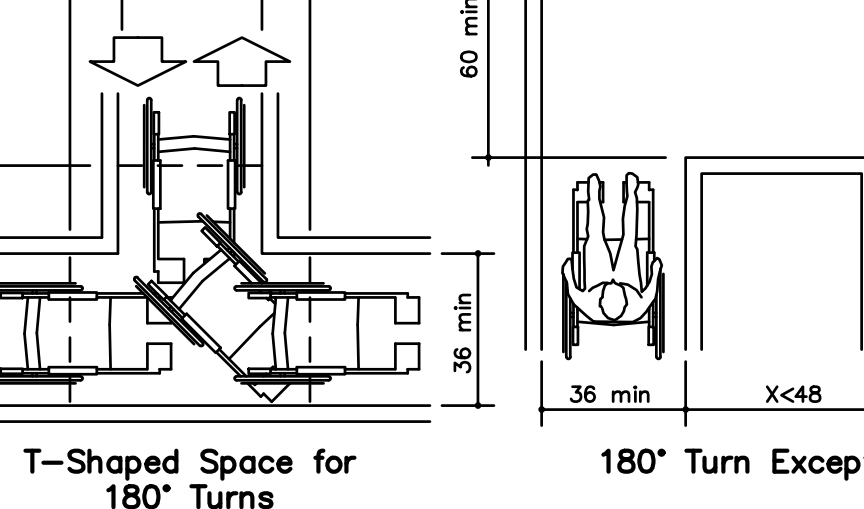
Wheelchair Accessible Toilet Compartment
Ambulatory Accessible Toilet Compartment



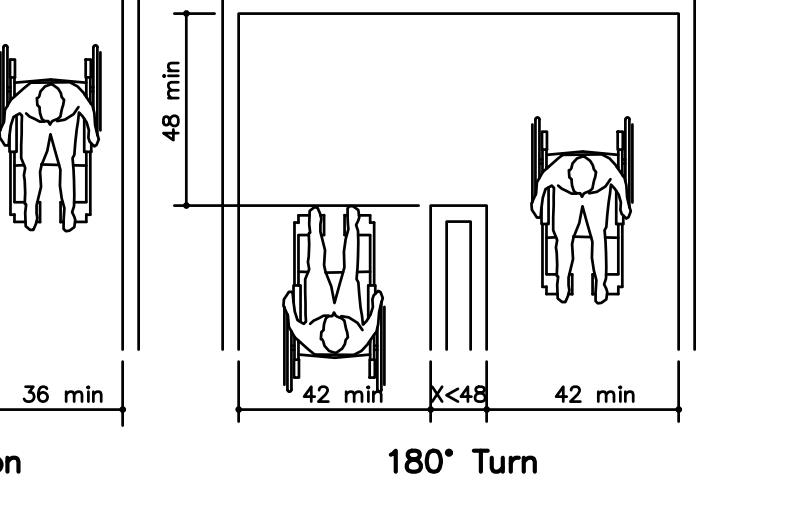
Clear Floor or Ground Space



Maneuvering Clearance in an Alcove, Parallel Approach
Maneuvering Clearance in an Alcove, Forward Approach



Wheelchair Turning Space
T-Shaped Space for 180° Turns



180° Turn Exception
180° Turn

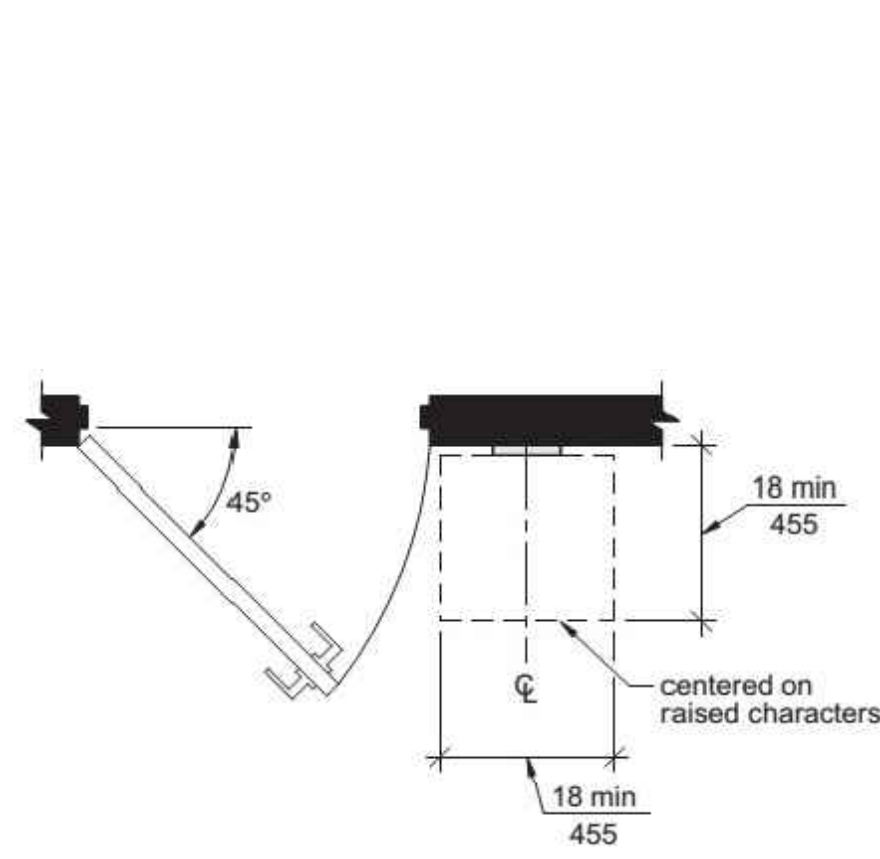
C STANDARD URINAL ADA DIAGRAMS

B STANDARD TOILET STALL ADA DIAGRAMS

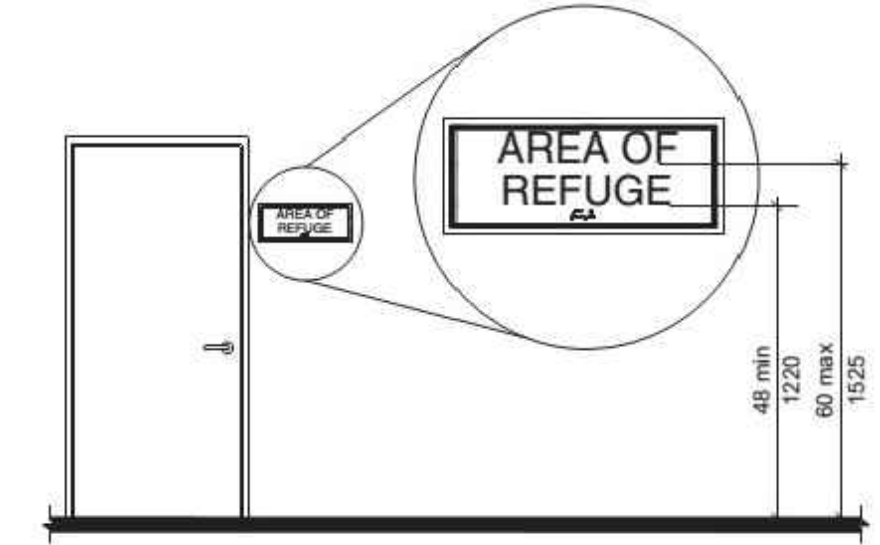
A STANDARD ADA DIAGRAMS

FOR REFERENCE ONLY

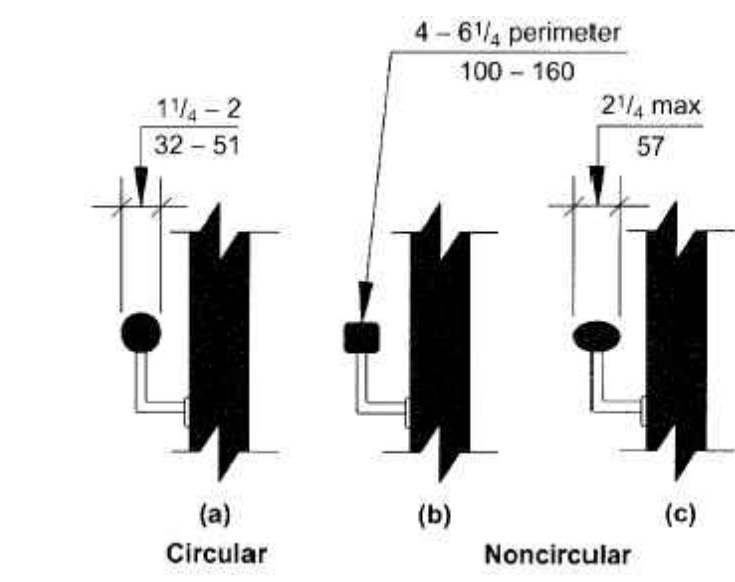
ADA



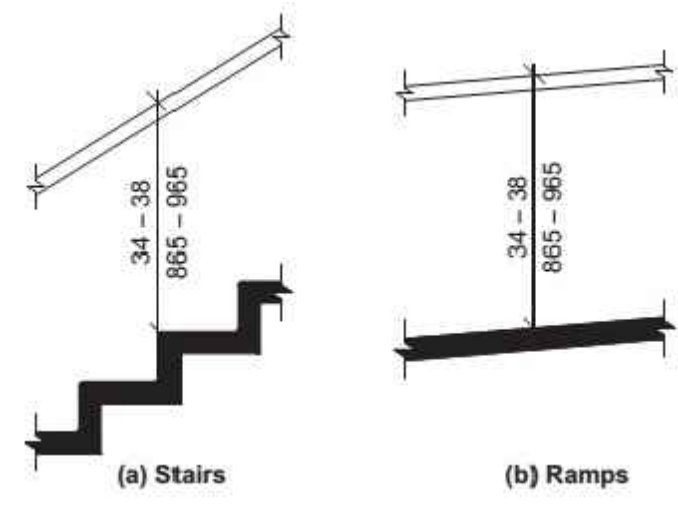
V SIGNAGE (Section 703)
NO SCALE



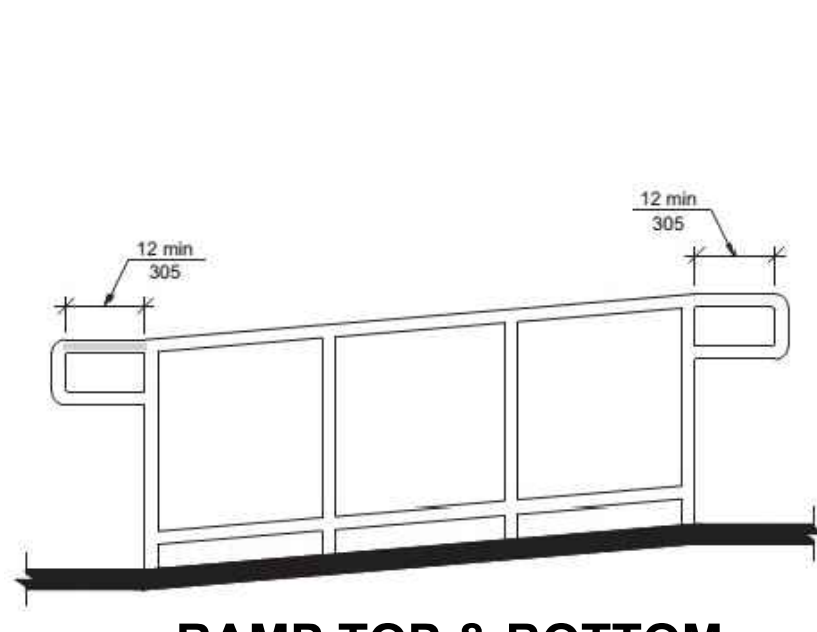
Note: For braille character mounting height see Section 703.4.5



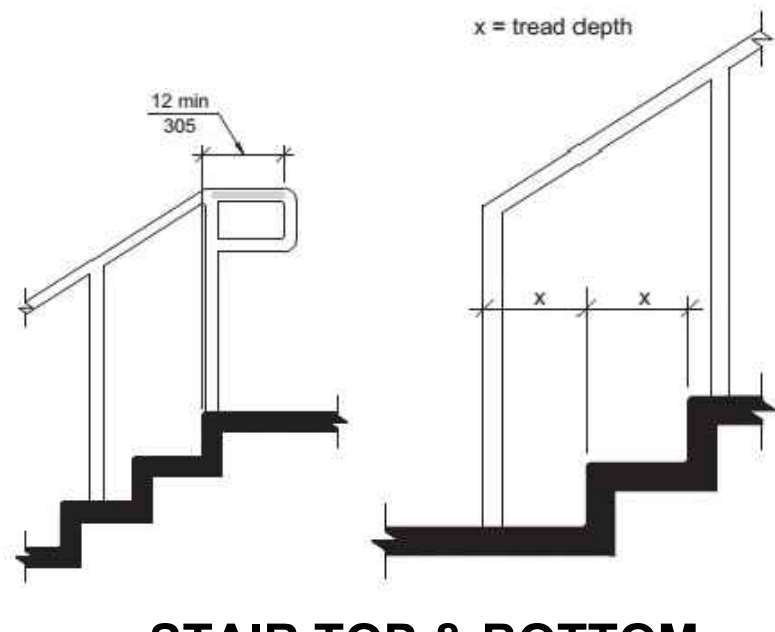
U HANDRAIL CROSS SECTION (Section 505)
NO SCALE



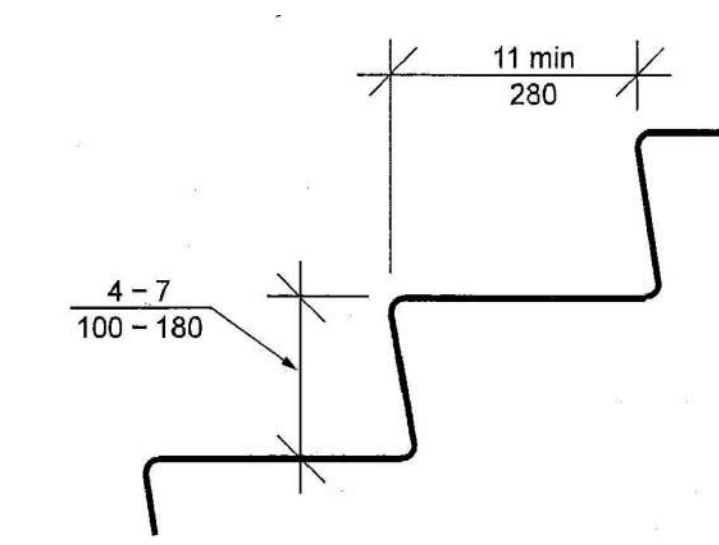
S HANDRAIL HEIGHT (Section 505)
NO SCALE



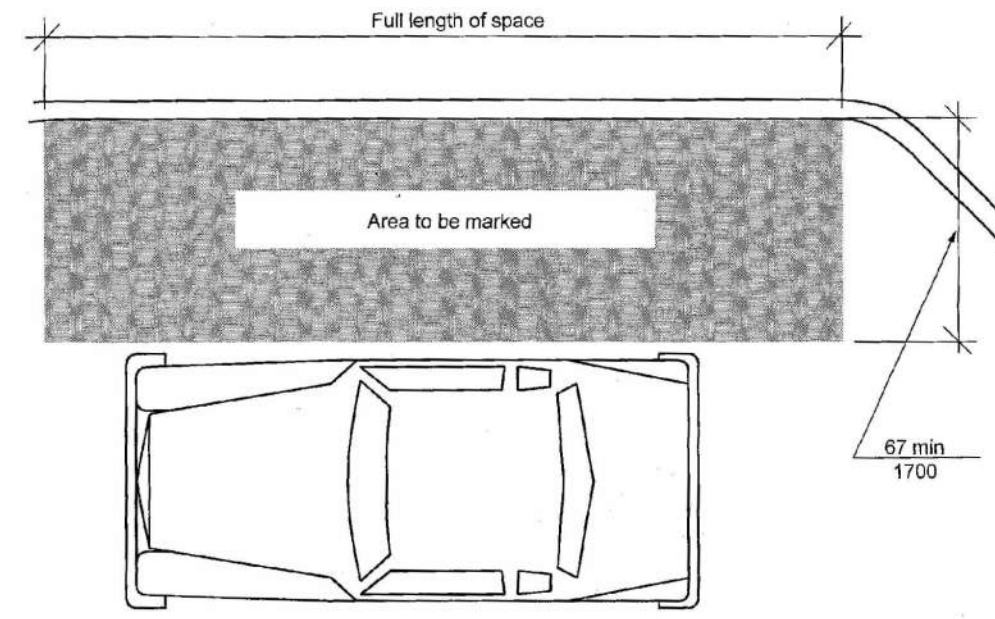
T RAMP TOP & BOTTOM HANDRAIL EXTENSION (Section 505)
NO SCALE



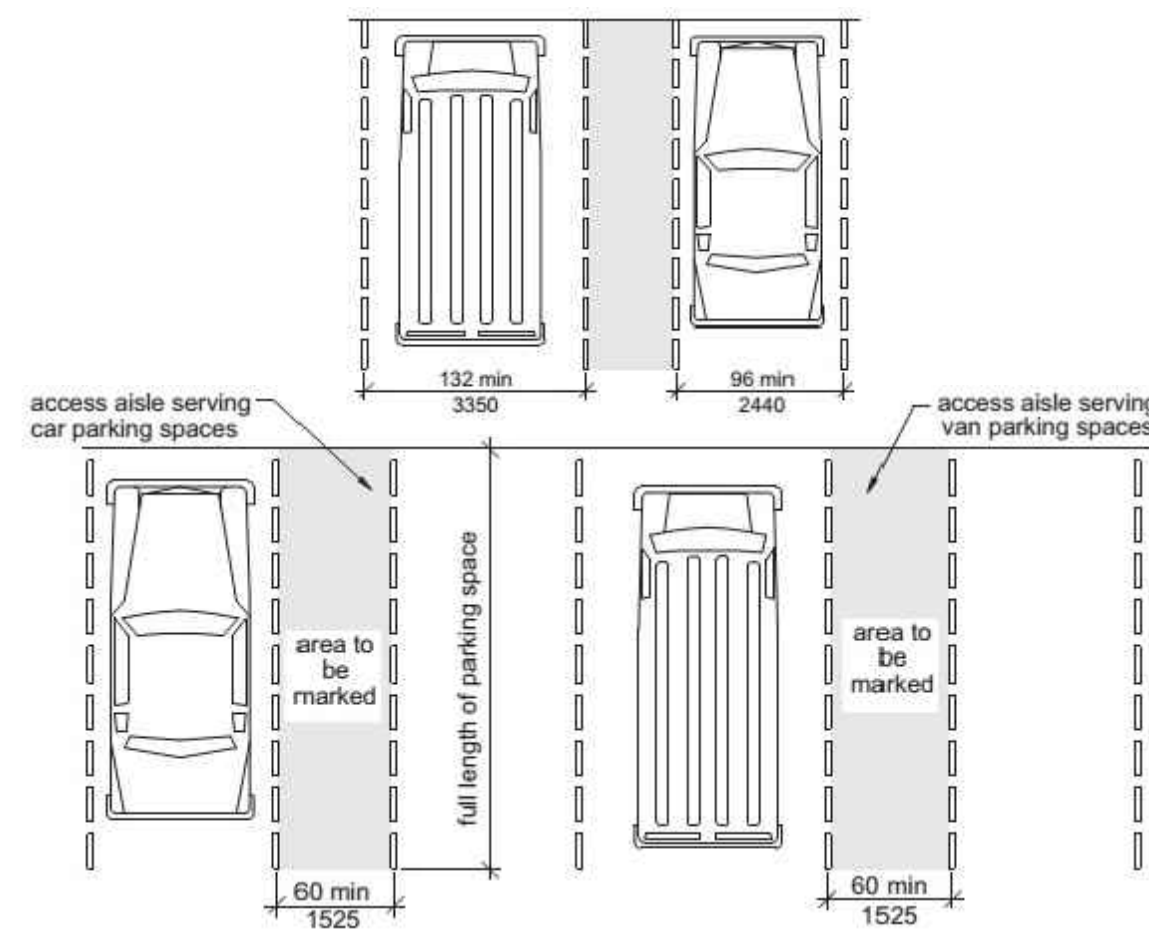
R STAIR TOP & BOTTOM HANDRAIL EXTENSION (Section 505)
NO SCALE



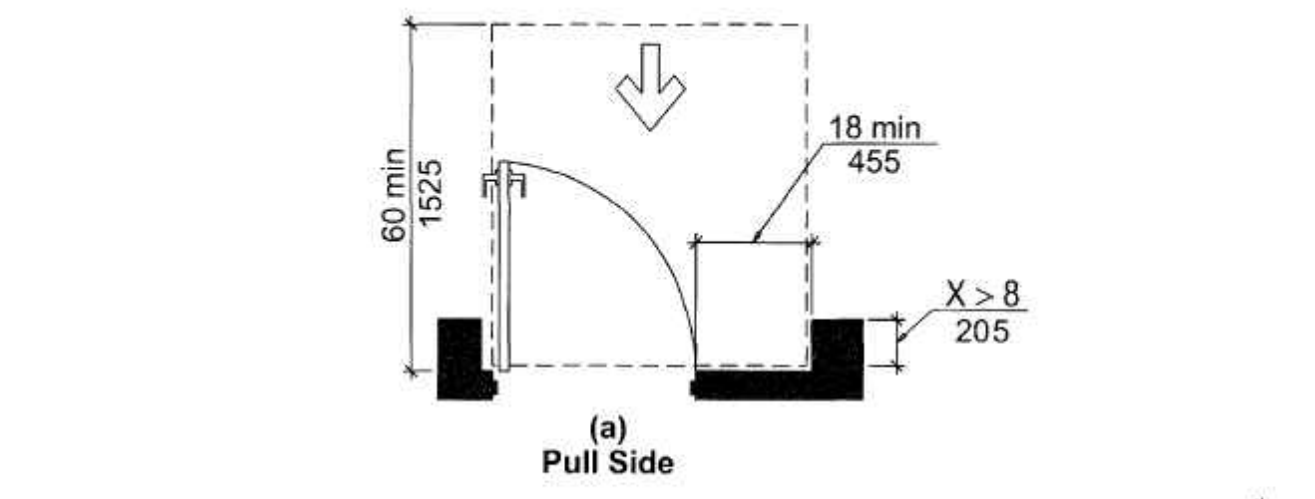
Q STAIR TREAD & RISER (Section 504)
NO SCALE



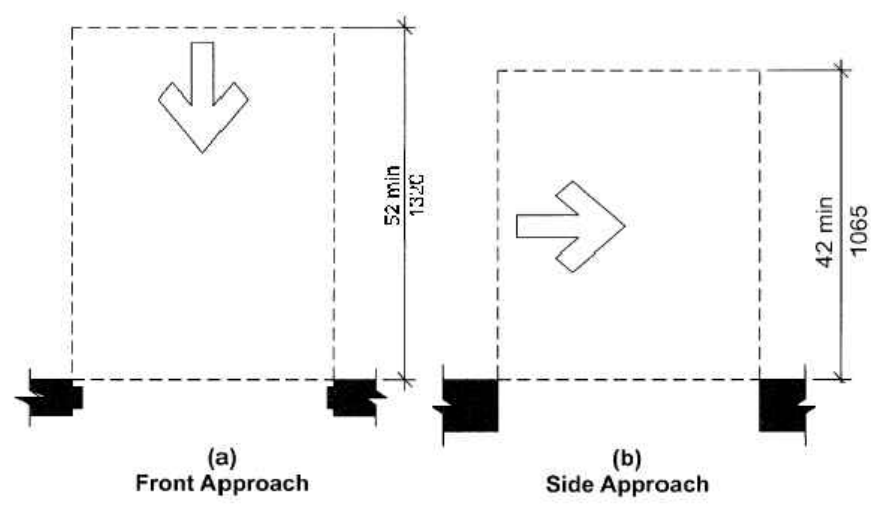
P PASSENGER LOADING ZONE ACCESSIBLE - NEW BUILDINGS (Section 503)
NO SCALE



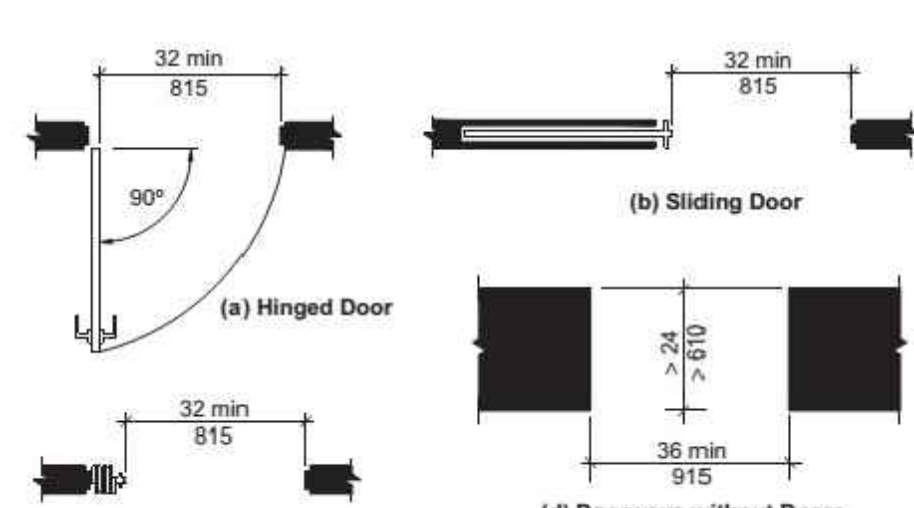
O ACCESSIBLE PARKING SPACES (Section 502)
NO SCALE



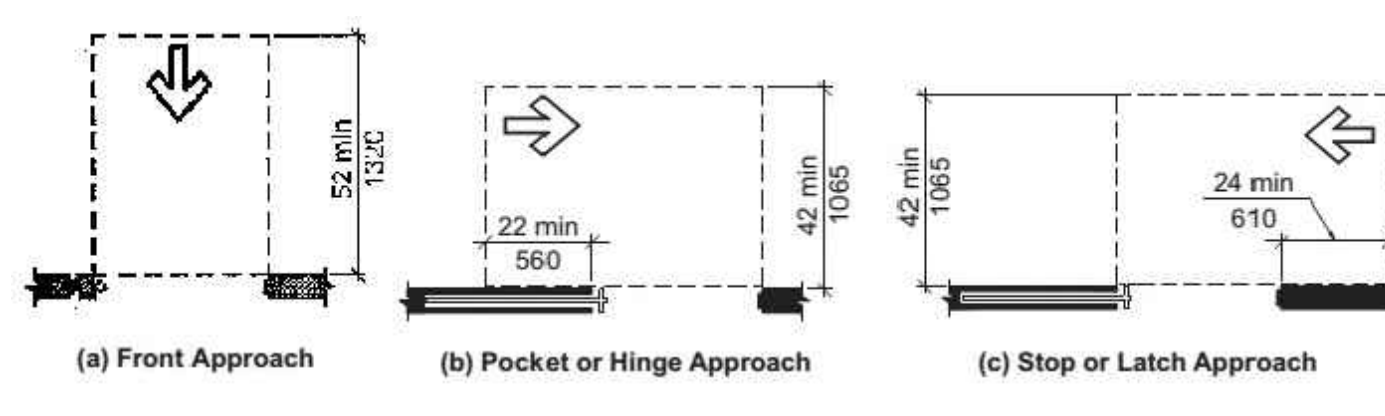
N MANEUVERING CLEARANCES AT RECESSED DOORS (Section 404)
NO SCALE



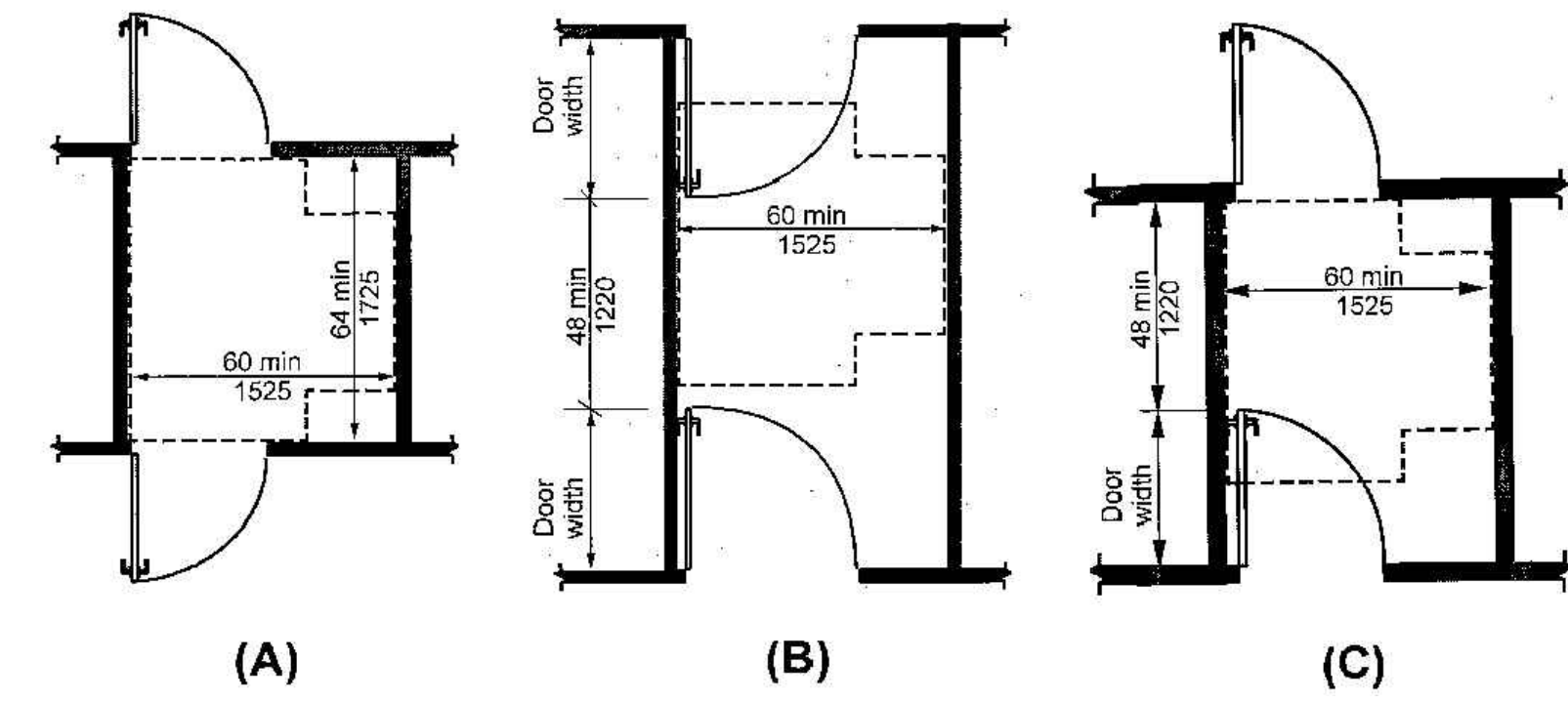
M MANEUVERING CLEARANCES AT DOORWAYS without DOORS (Section 404)
NO SCALE



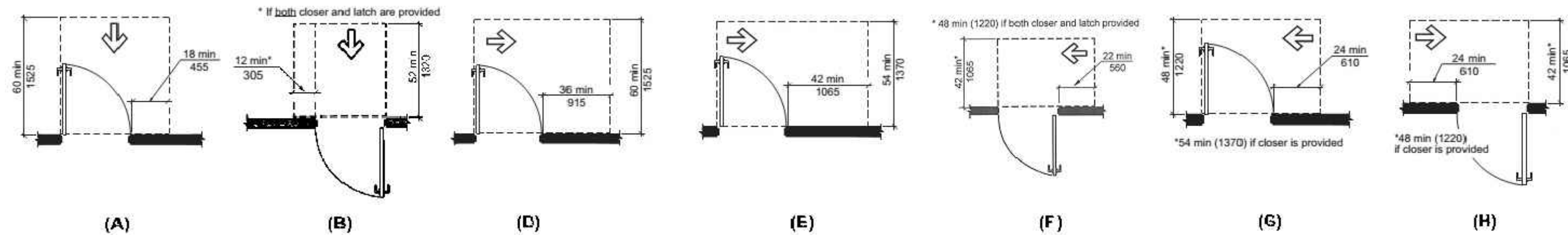
L CLEAR WIDTH OF DOORWAYS (Section 404)
NO SCALE



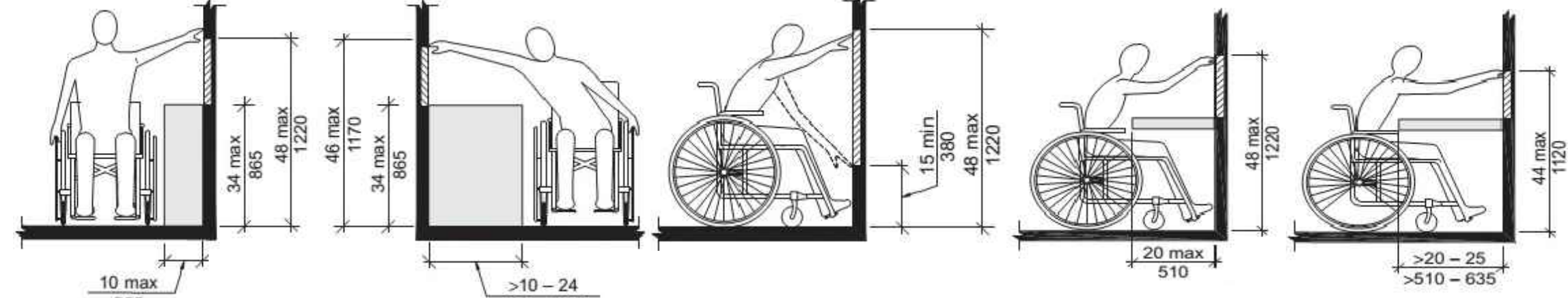
K MANEUVERING CLEARANCES AT SLIDING & FOLDING DOORS (Section 404)
NO SCALE



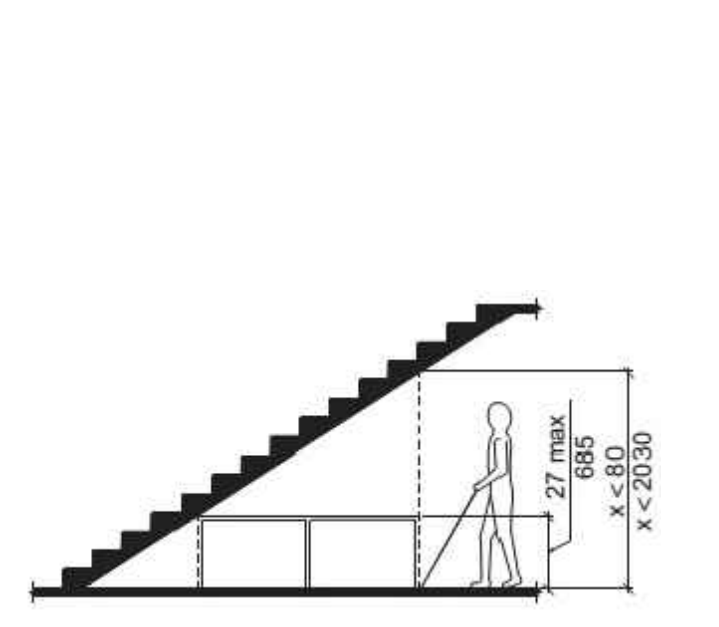
J TWO DOORS IN SERIES (Section 404)
NO SCALE



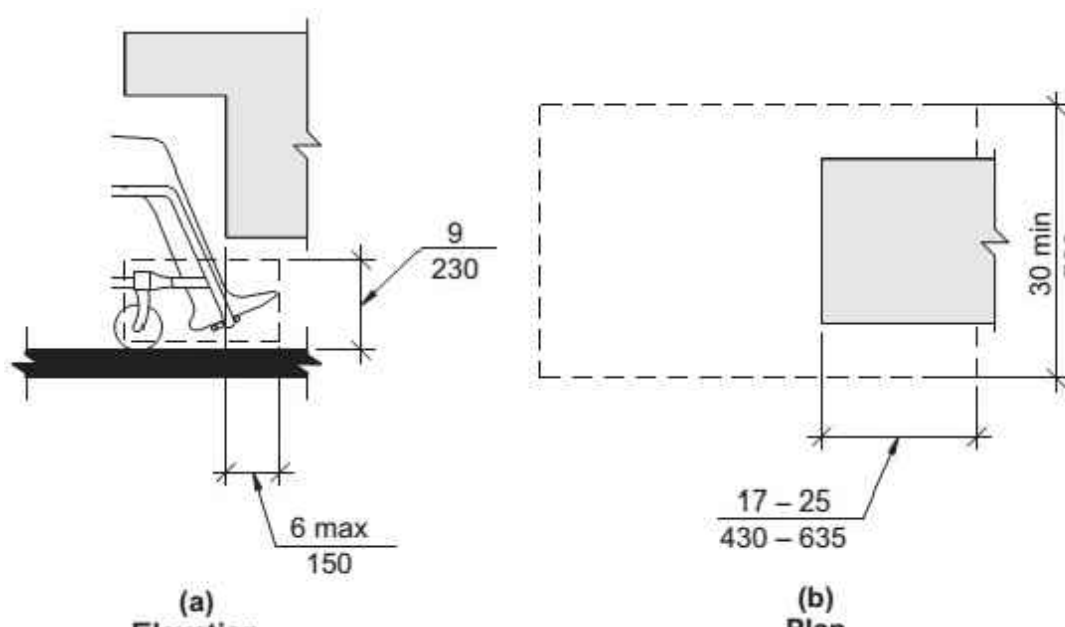
H MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS (Section 404)
NO SCALE



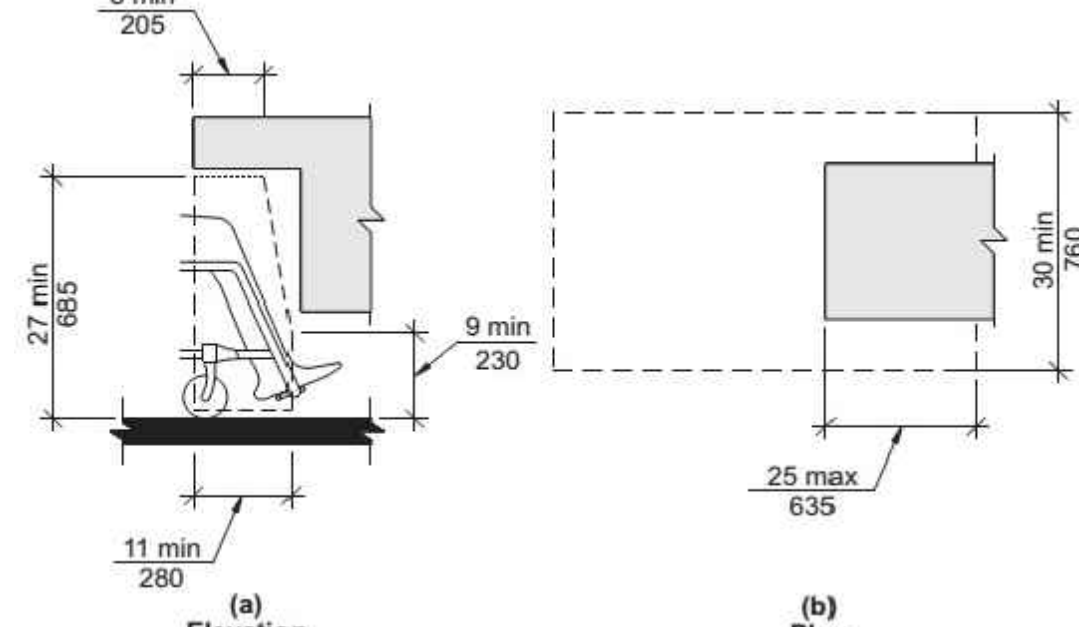
G REACH CLEARANCES (Section 308)
NO SCALE



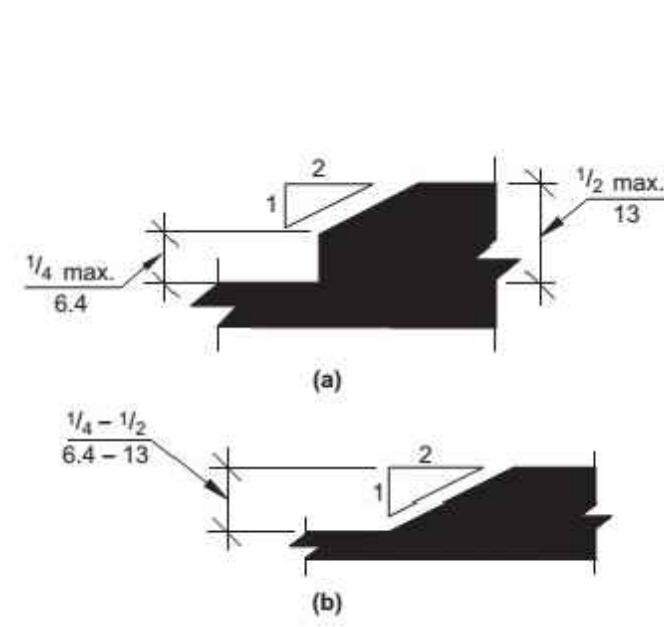
F VERTICAL CLEARANCE (Section 307)
NO SCALE



E TOE CLEARANCE (Section 306)
NO SCALE

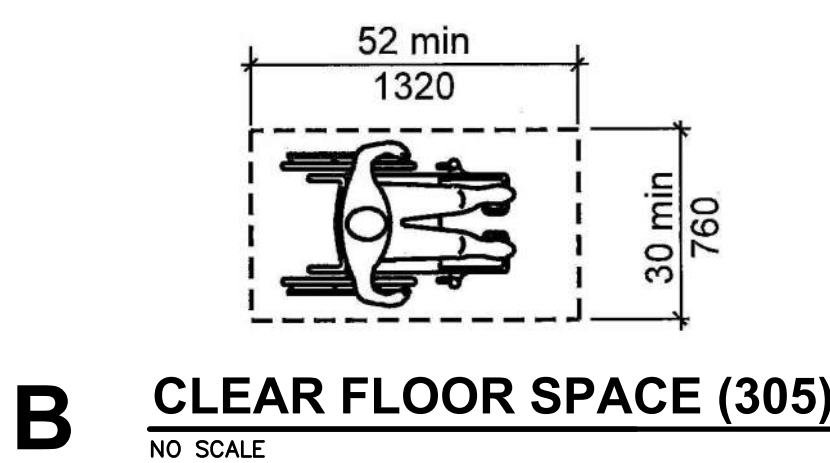


D KNEE CLEARANCE (Section 306)
NO SCALE

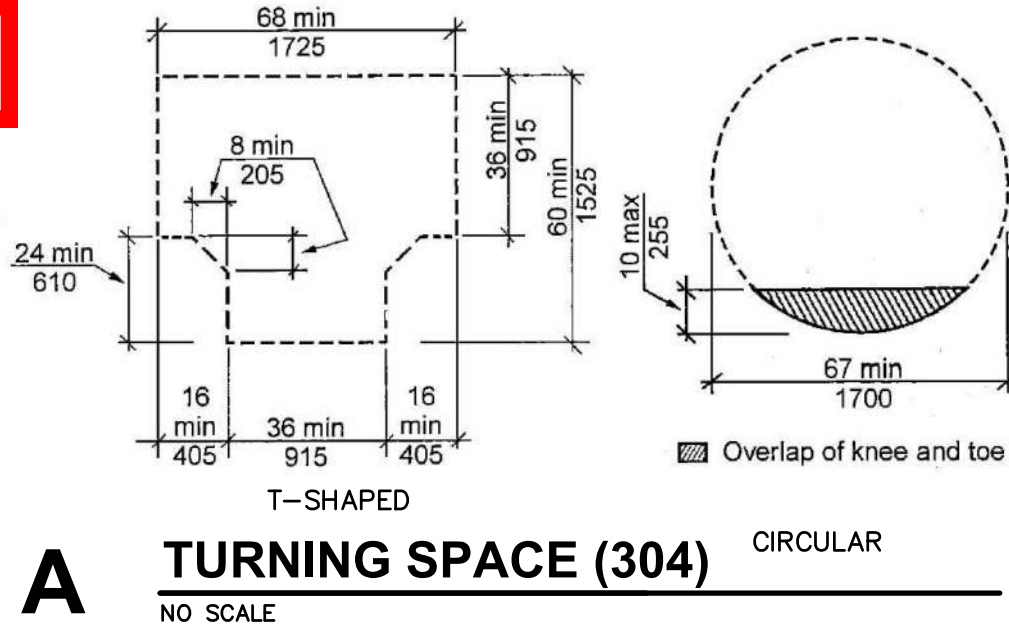


C CHANGES IN LEVEL (Section 303)
NO SCALE

This sheet of drawings has not been reviewed for code compliance.

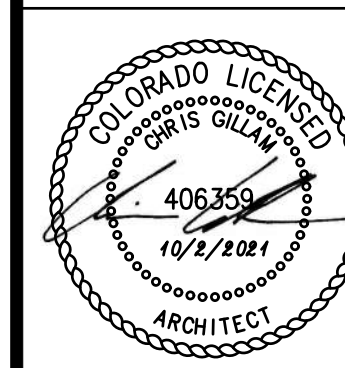


B CLEAR FLOOR SPACE (305)
NO SCALE

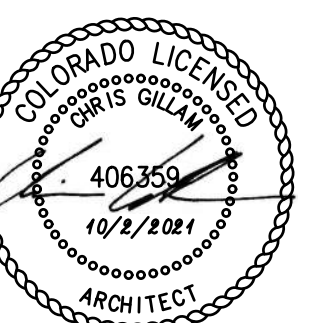


A TURNING SPACE (304)
NO SCALE

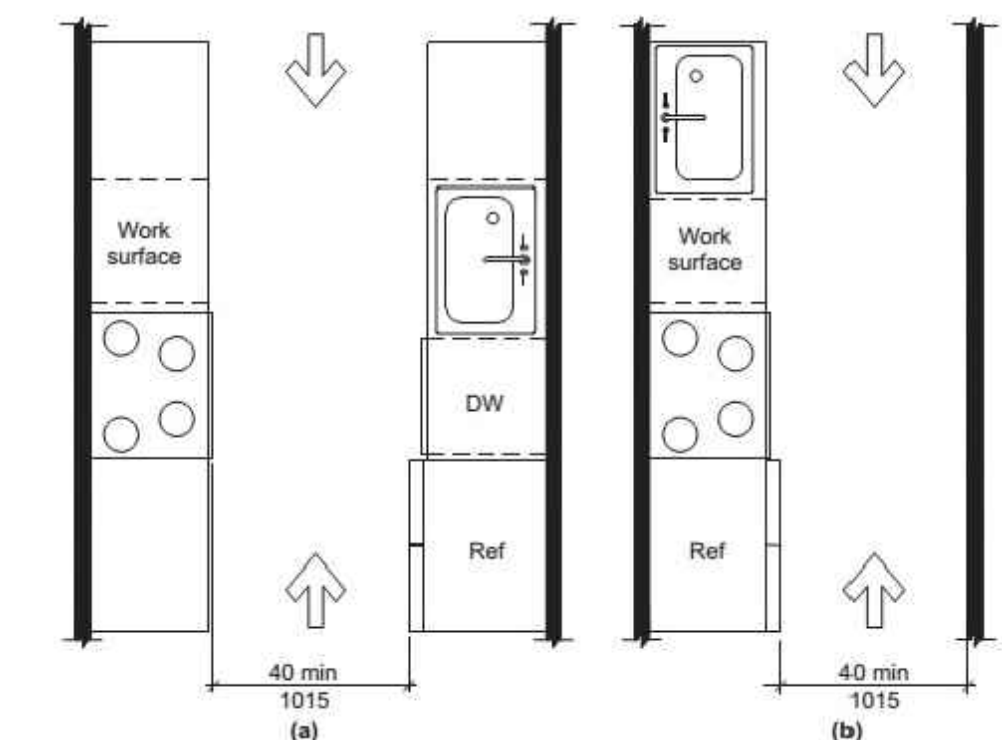
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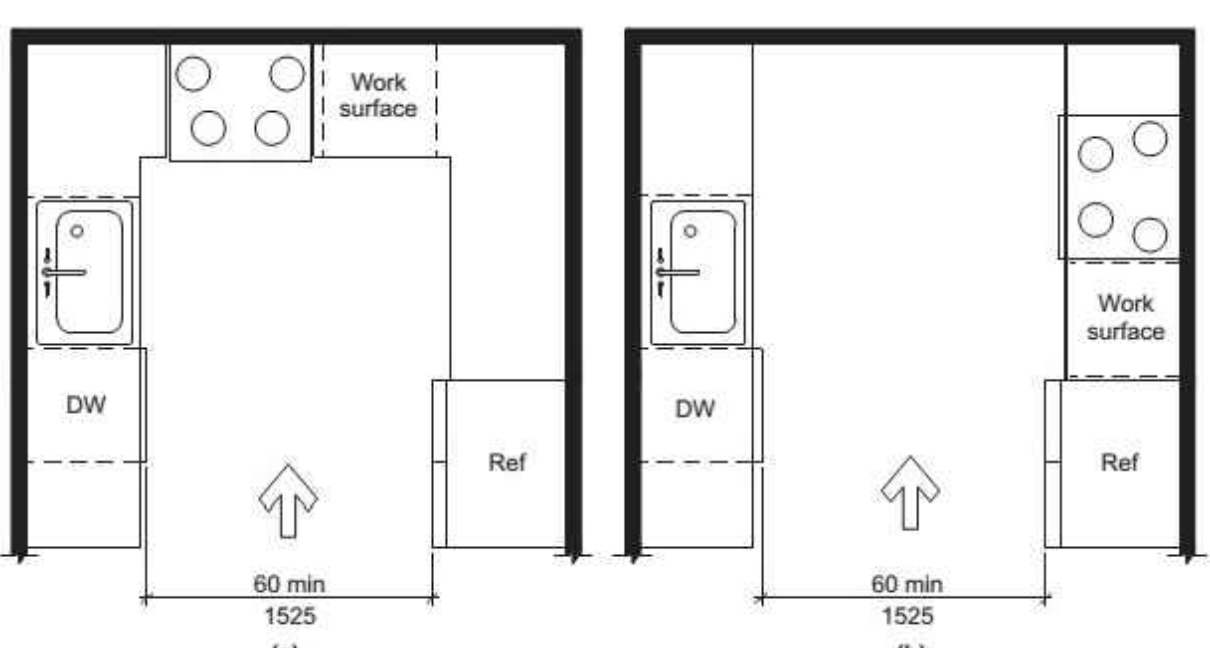
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DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:



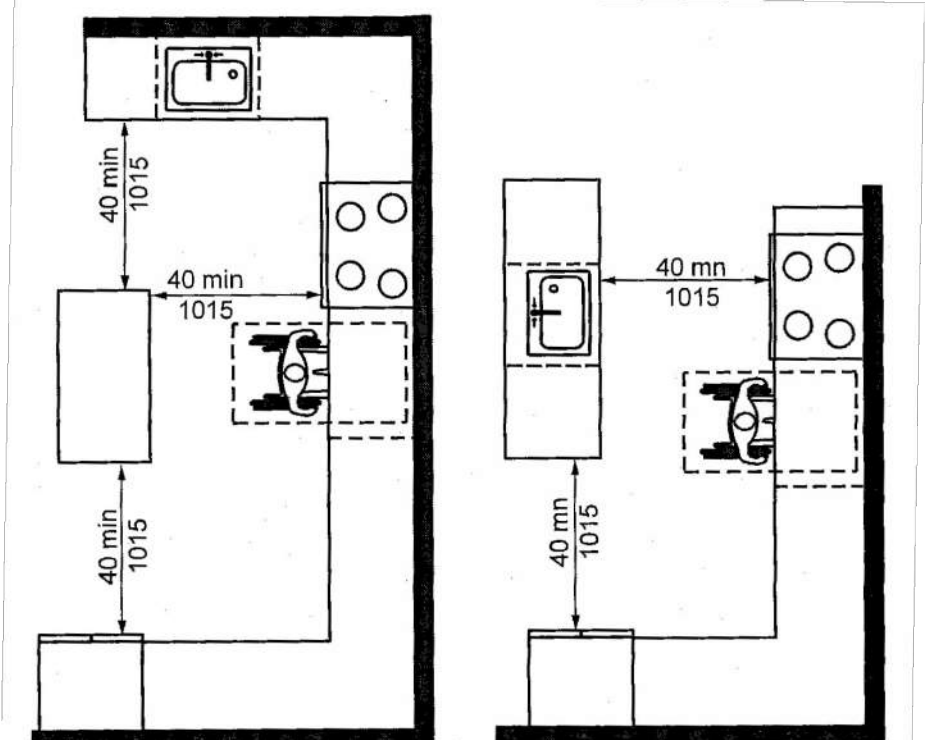
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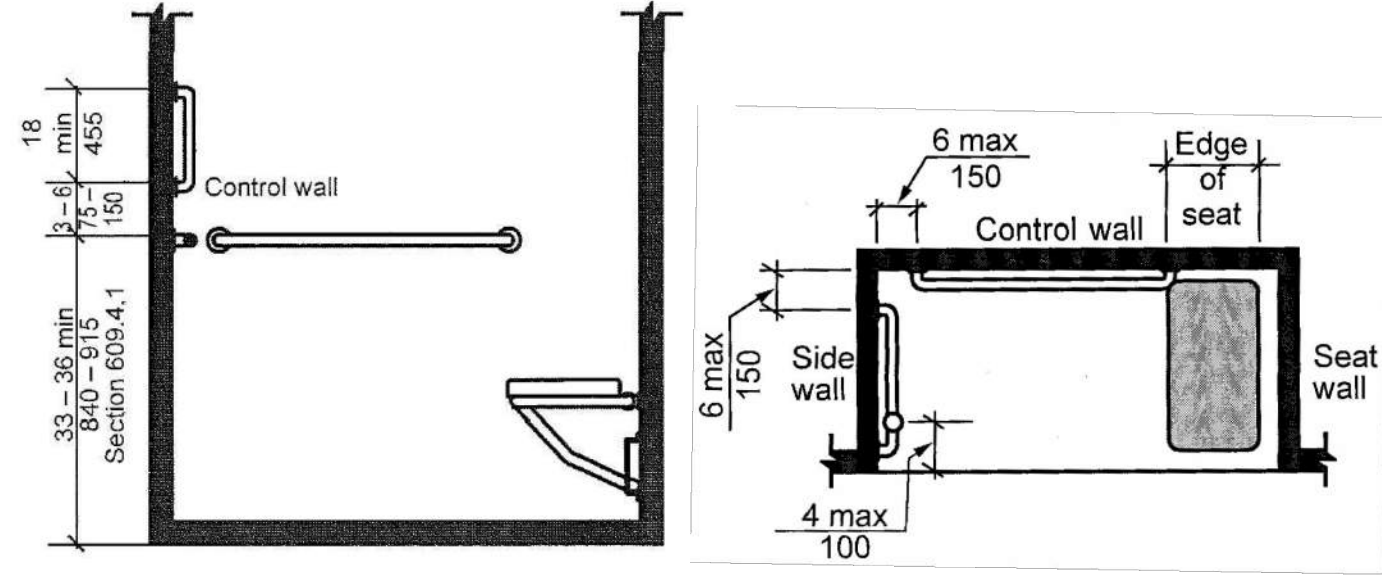
V PASS-THRU KITCHEN CLEARANCE (Section 804)
 NO SCALE



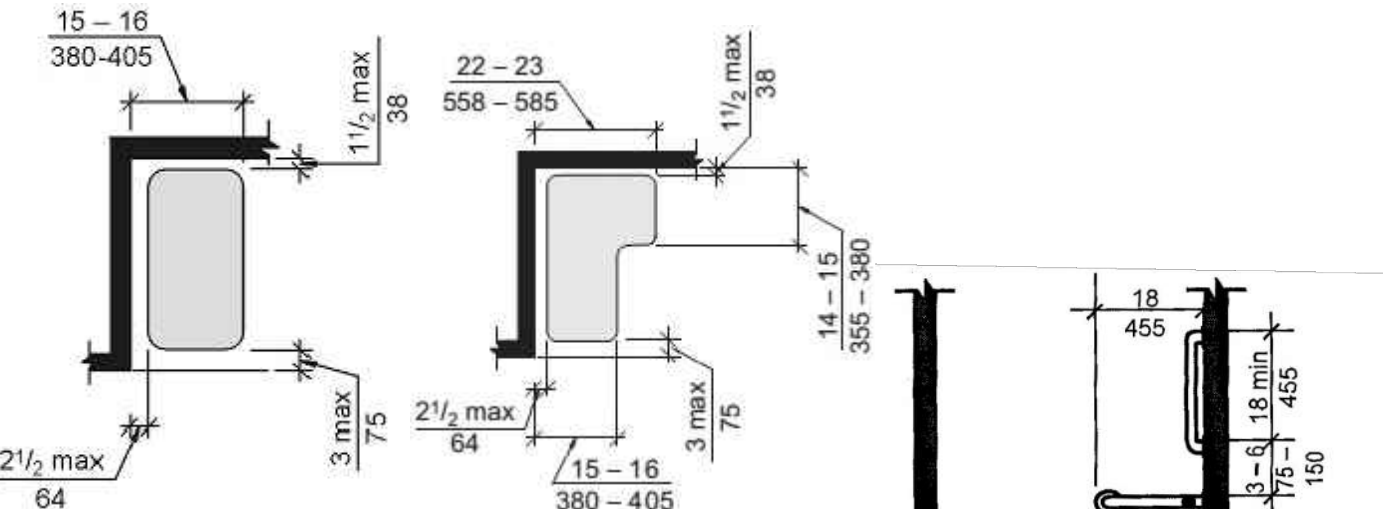
U U-SHAPED KITCHEN CLEARANCE (Section 804)
 NO SCALE



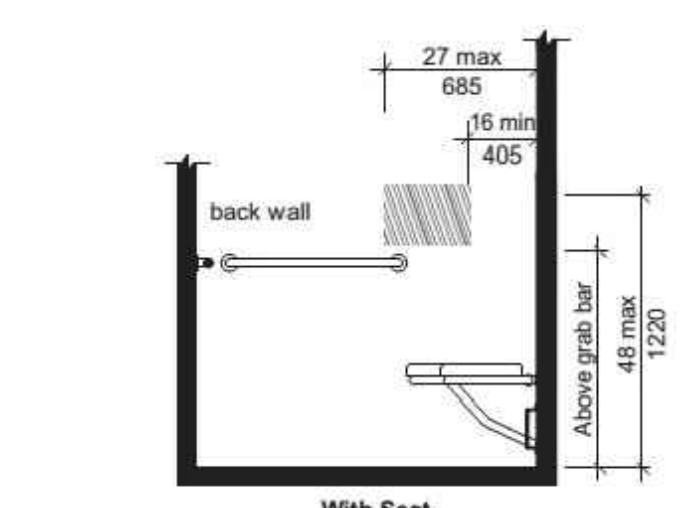
T U-SHAPED KITCHEN CLEARANCE EXCEPTION (Section 804)
 NO SCALE



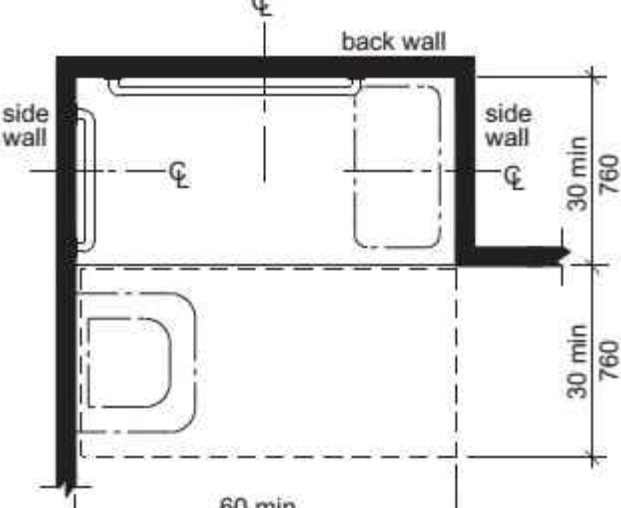
S ROLL-IN SHOWER GRAB BARS (Section 608)
 NO SCALE



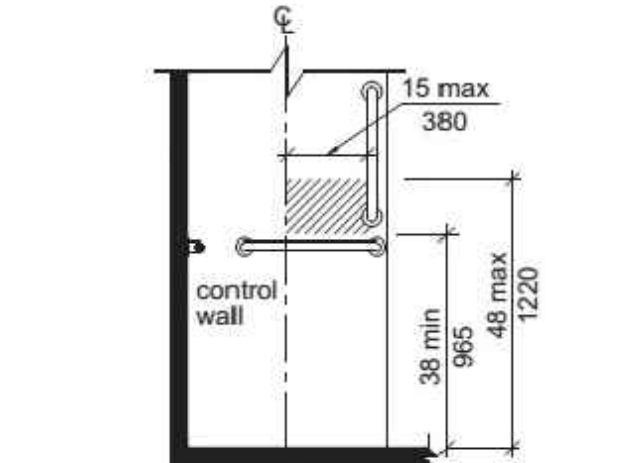
O SHOWER SEATS (Section 610)
 NO SCALE



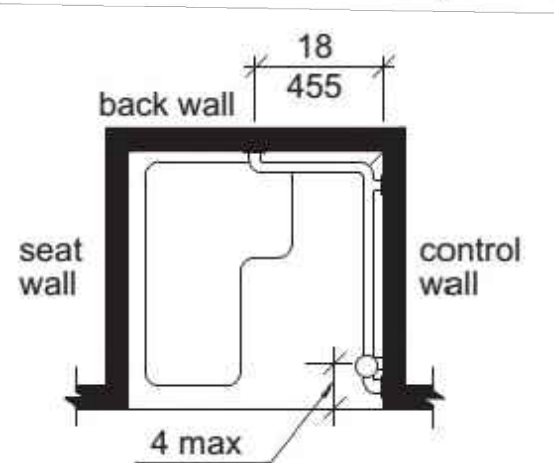
R ROLL-IN SHOWER CONTROLS LOCATION (Section 608)
 NO SCALE



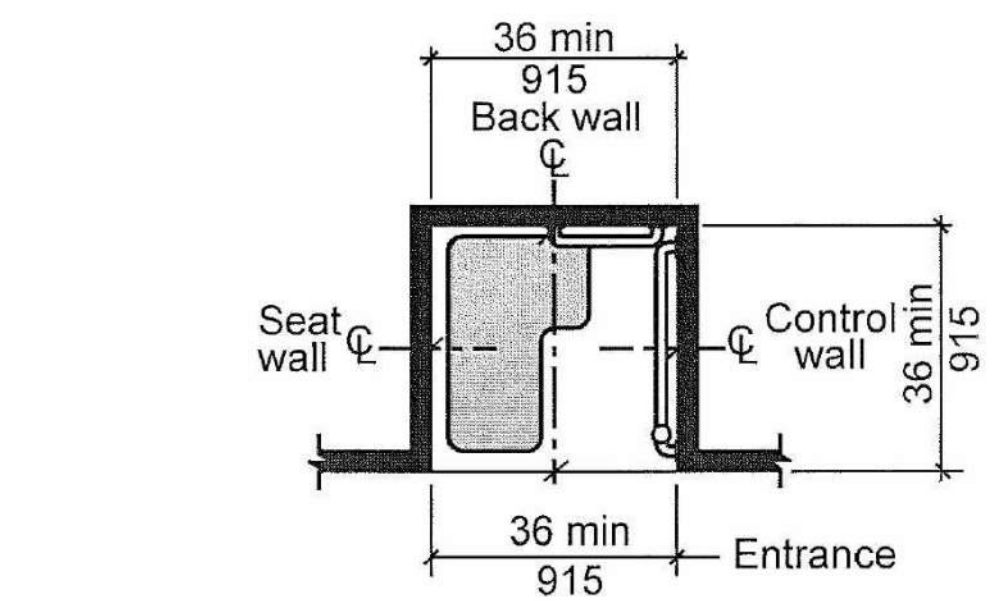
Q ROLL-IN SHOWER SIZE & CLEARANCE (Section 608)
 NO SCALE



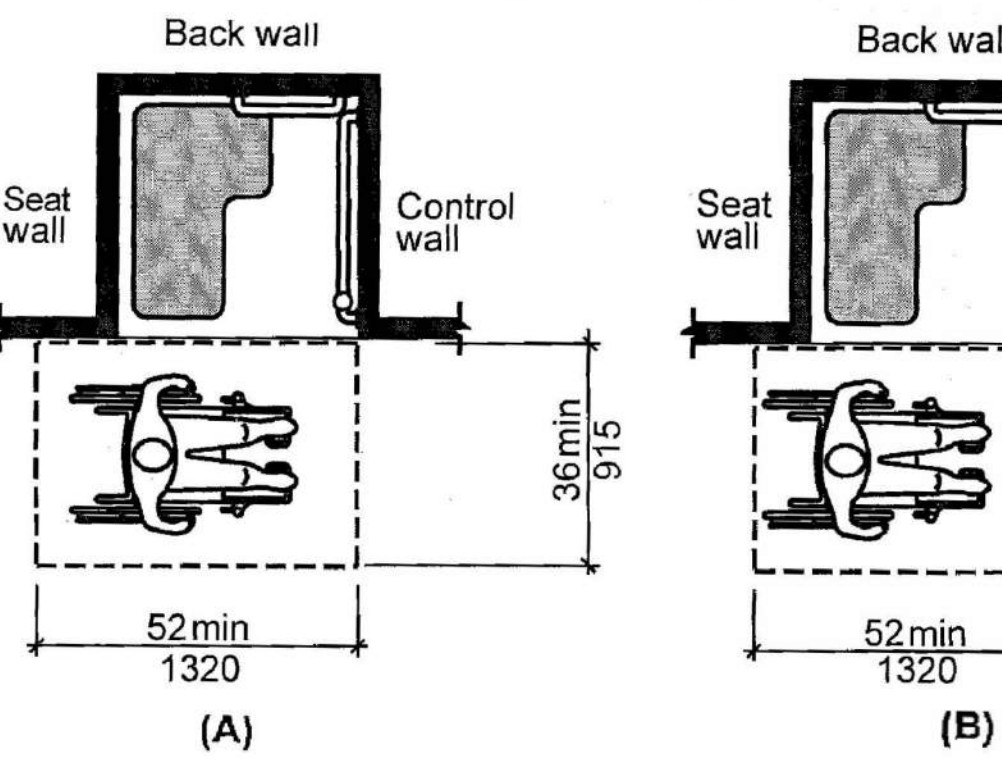
O TRANSFER SHOWER CONTROLS LOCATION (Section 608)
 NO SCALE



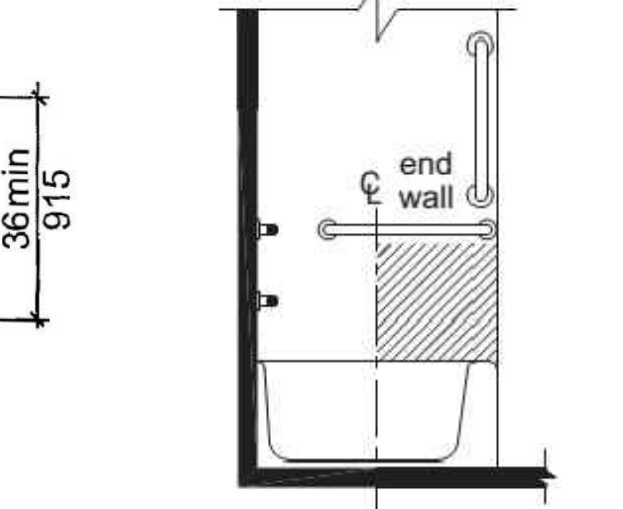
N TRANSFER SHOWER GRAB BARS (Section 608)
 NO SCALE



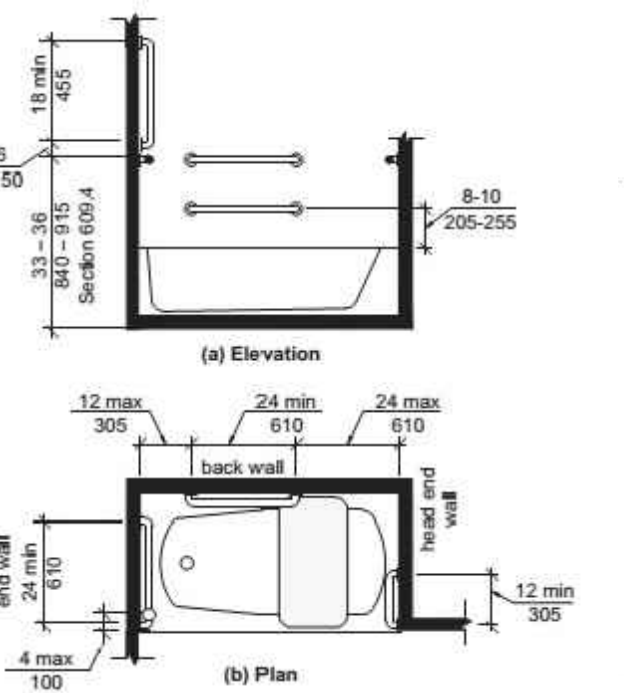
L GRAB BARS FOR BATHTUBS (Section 607)
 NO SCALE



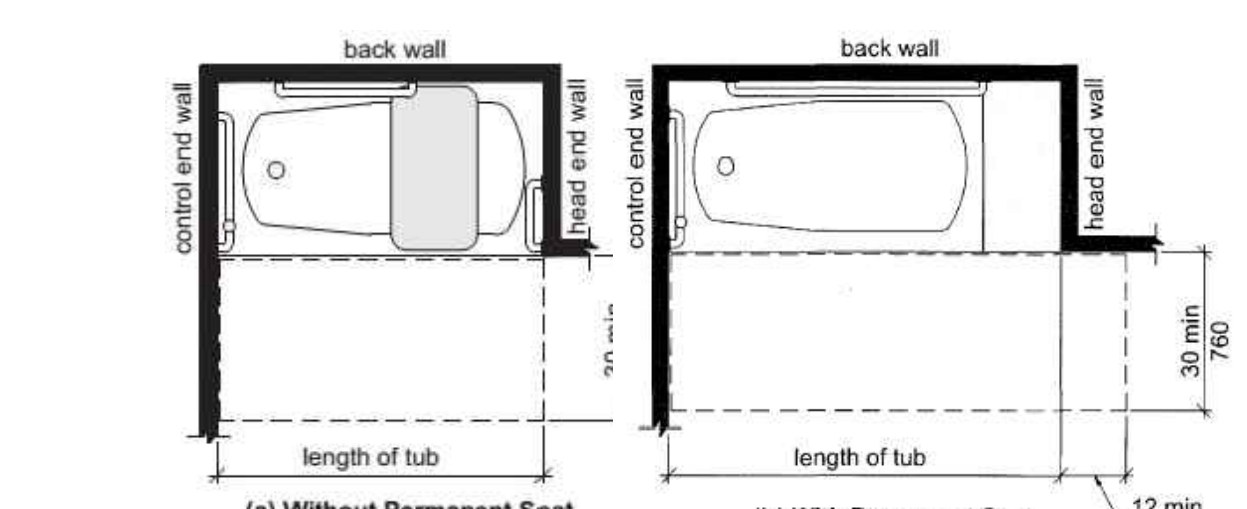
M TRANSFER SHOWER SIZE & CLEARANCE (Section 608)
 NO SCALE



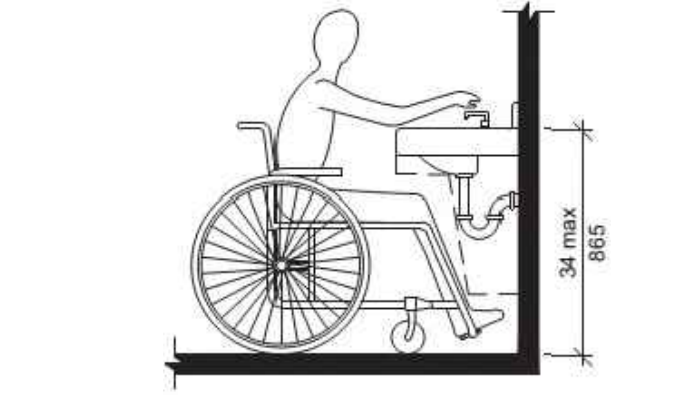
J BATHTUB CONTROLS (Section 607)
 NO SCALE



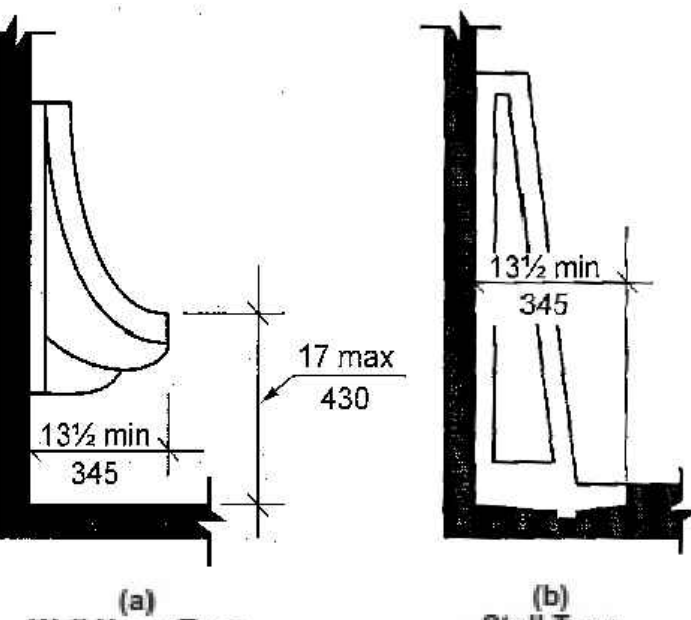
K BATHTUB SEAT (Section 610)
 NO SCALE



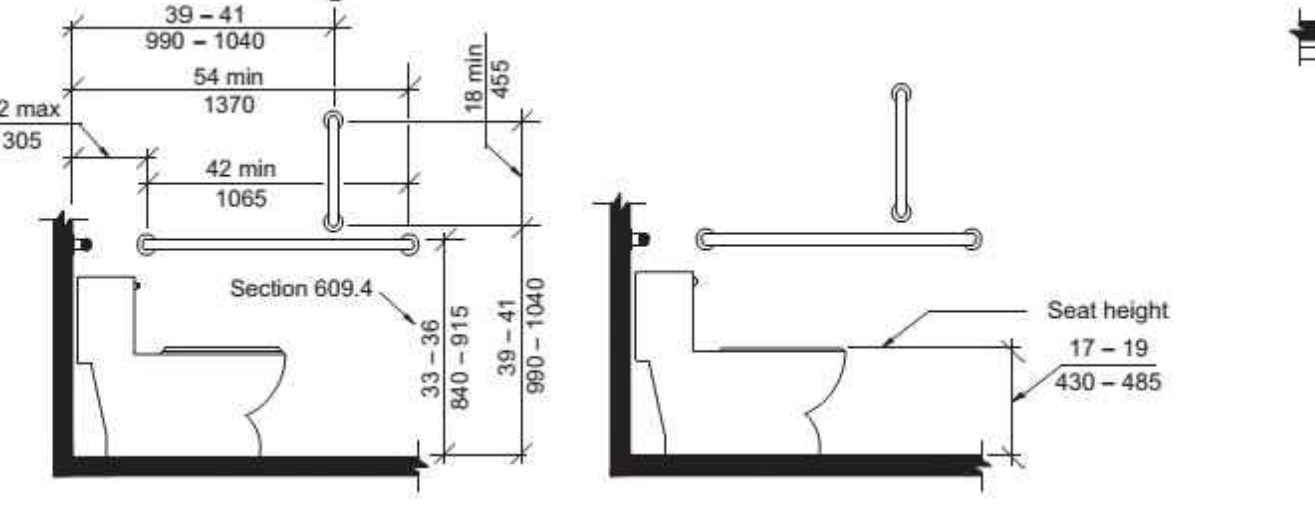
H CLEARANCES FOR BATHTUBS (Section 607)
 NO SCALE



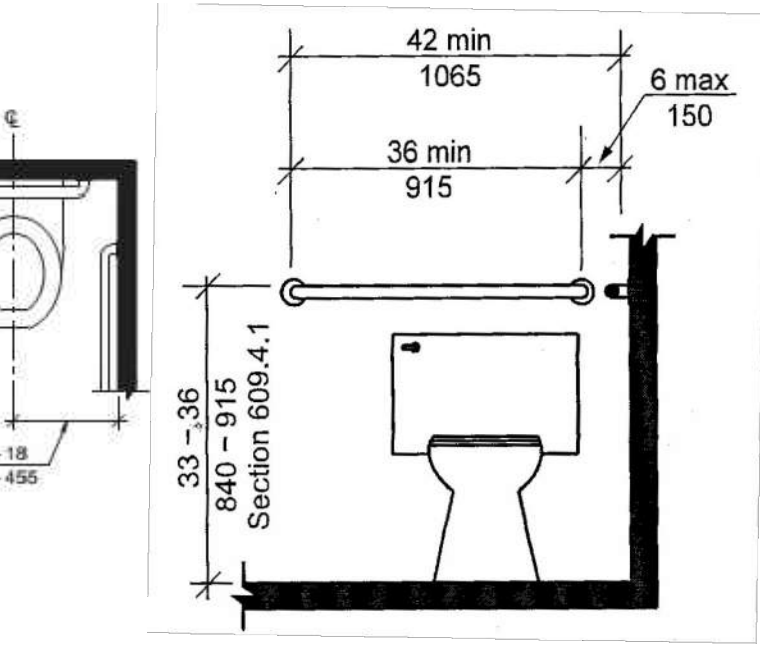
G HEIGHT OF LAVATORIES & SINKS (Section 606)
 NO SCALE



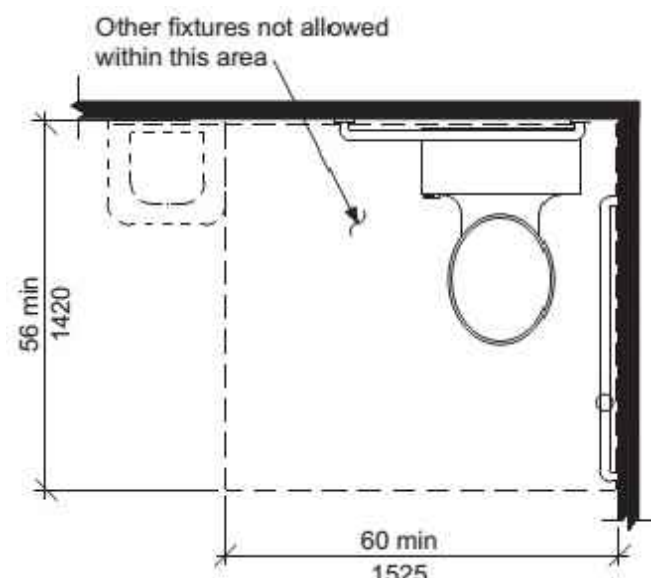
F HEIGHT OF URINALS (Section 605)
 NO SCALE



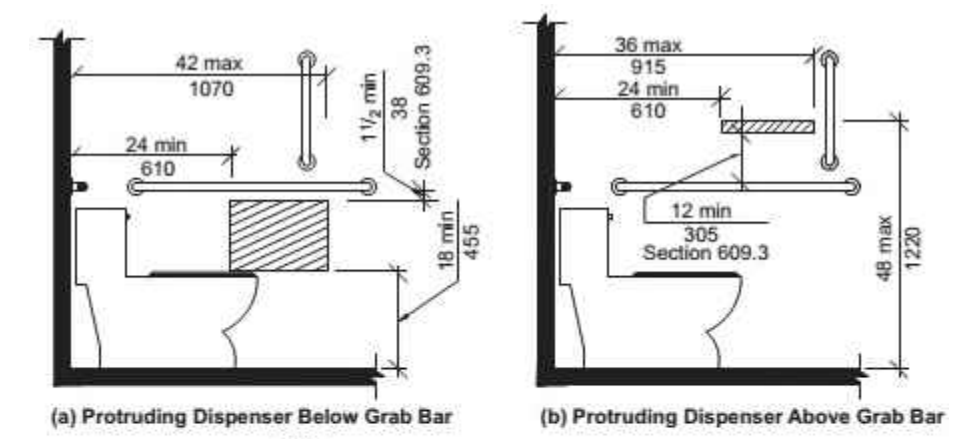
E WATER CLOSET HEIGHT & SIDE WALL GRAB BAR (Section 604)
 NO SCALE



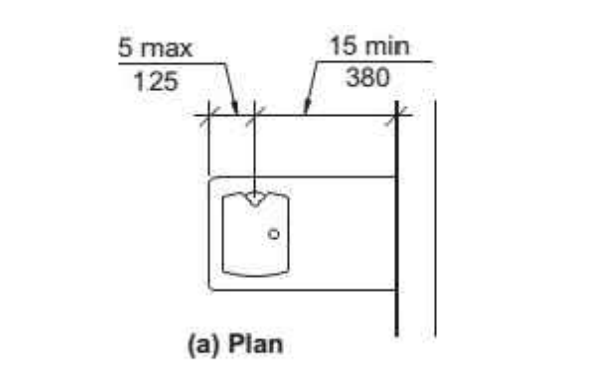
D WATER CLOSET LOCATION & REAR WALL GRAB BAR (Section 604)
 NO SCALE



C CLEARANCES AT WATER CLOSET (Section 604)
 NO SCALE



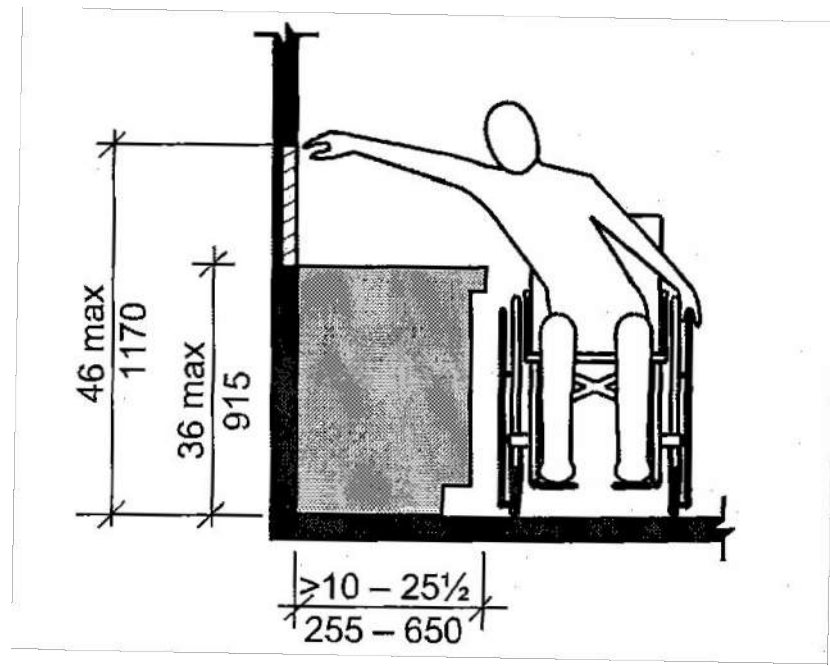
B DISPENSER OUTLET LOCATION (Section 604)
 NO SCALE



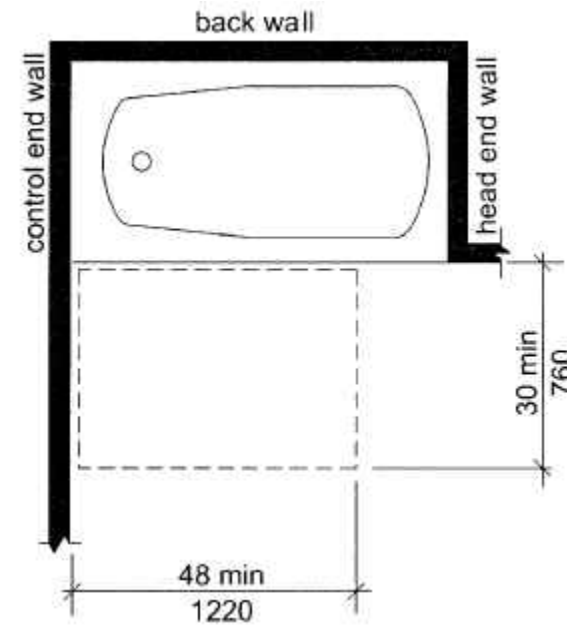
A DRINKING FOUNTAIN (Section 602)
 NO SCALE

This sheet of drawings has not been reviewed for code compliance.

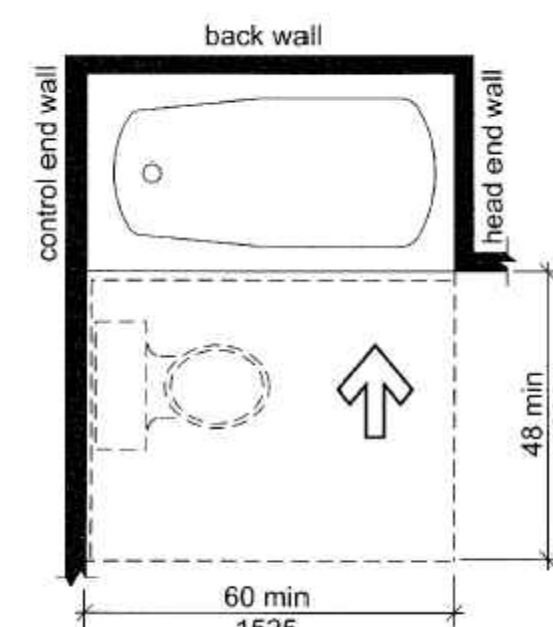
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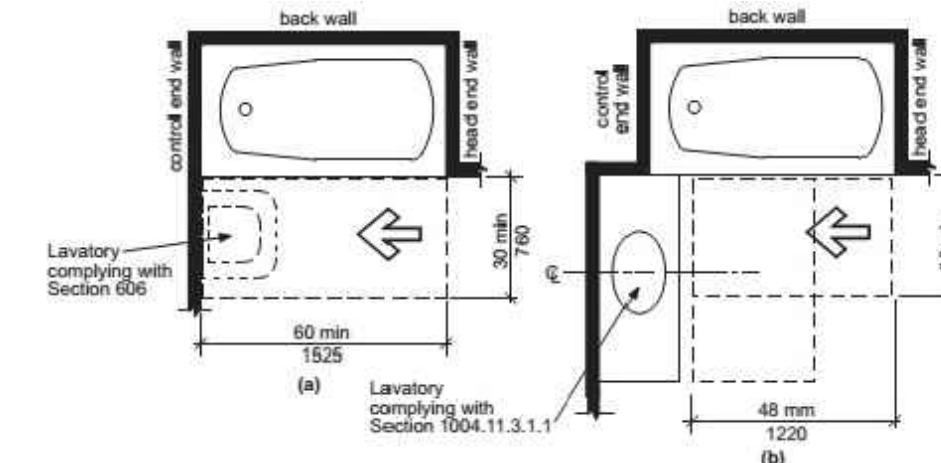
P REACH RANGE OVER KITCHEN or BATH CABINET - TYPE B UNITS (Section 1104)
NO SCALE



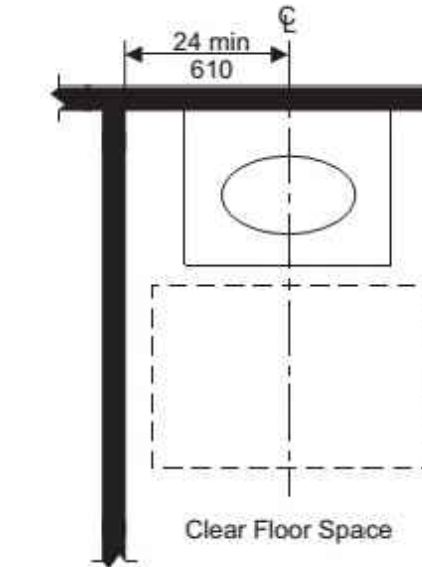
O BATHTUB CLEARANCES AT TYPE B UNITS - OPT B BATH (Section 1104)
NO SCALE



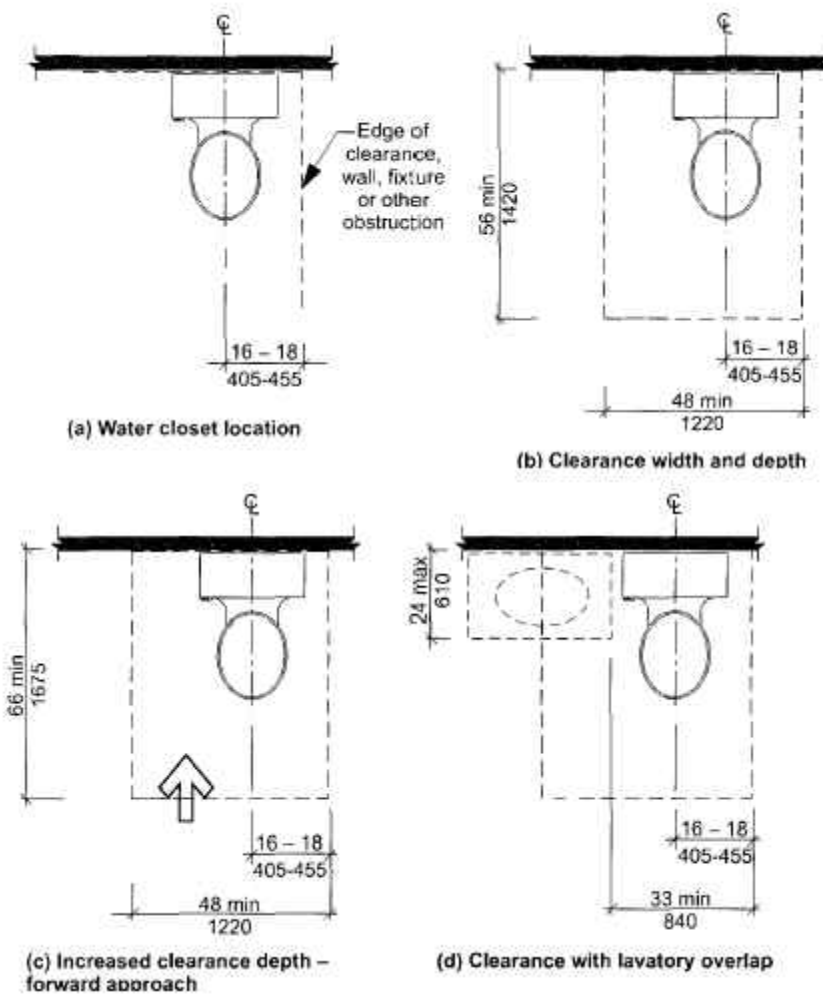
N BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



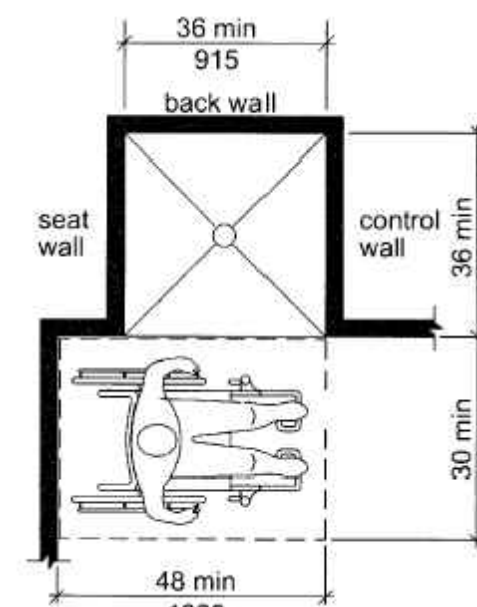
M BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



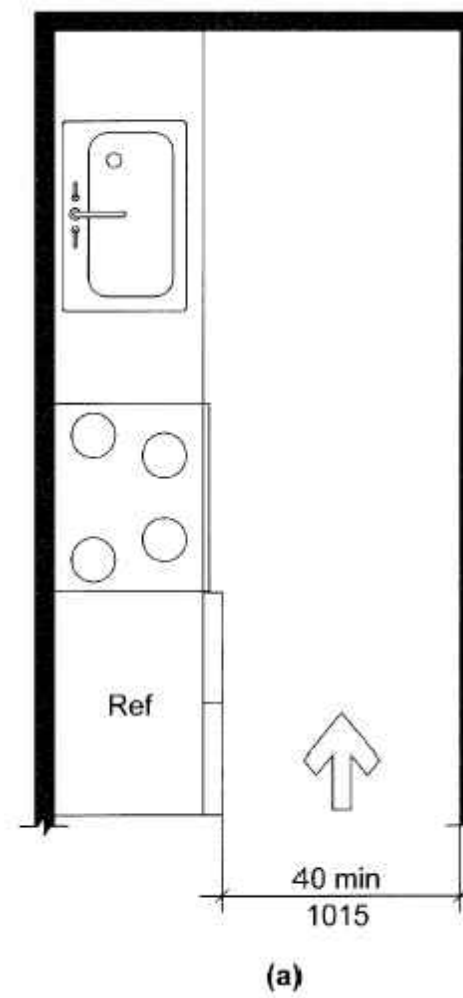
L LAVATORY AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



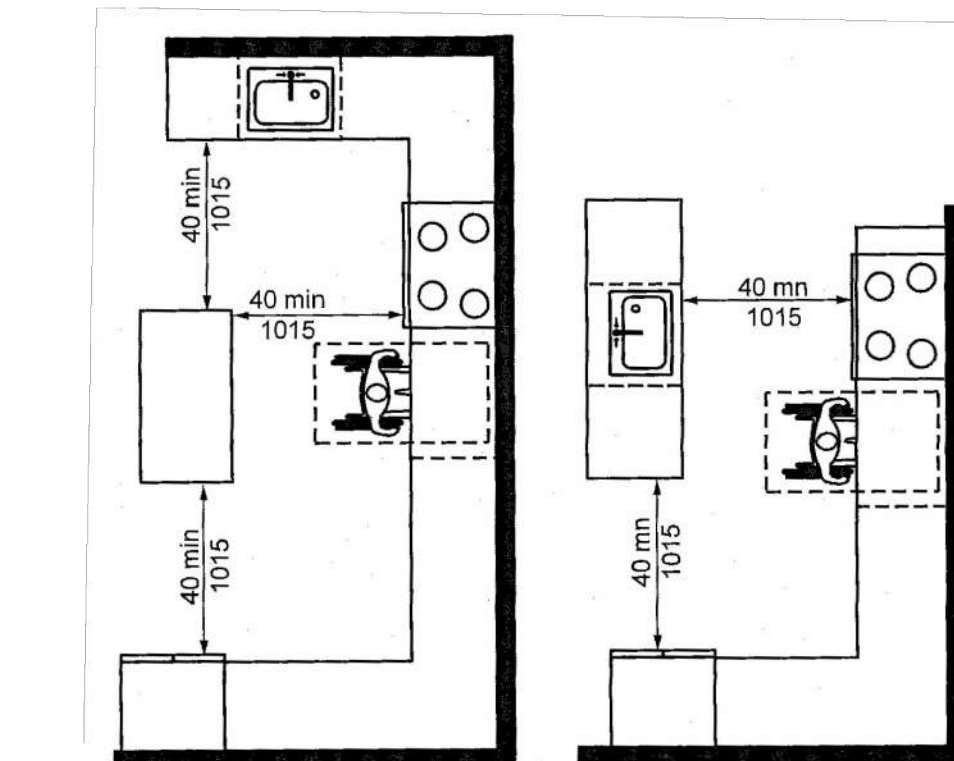
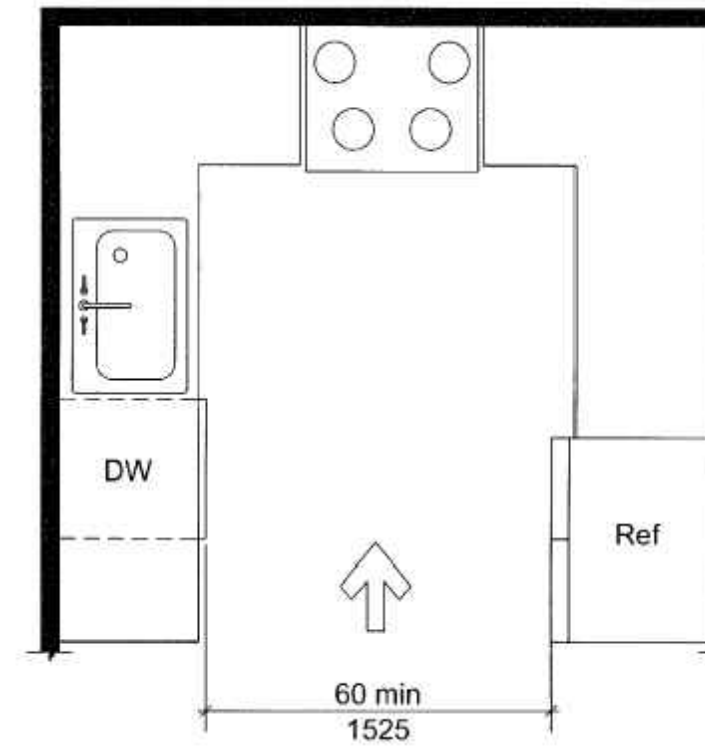
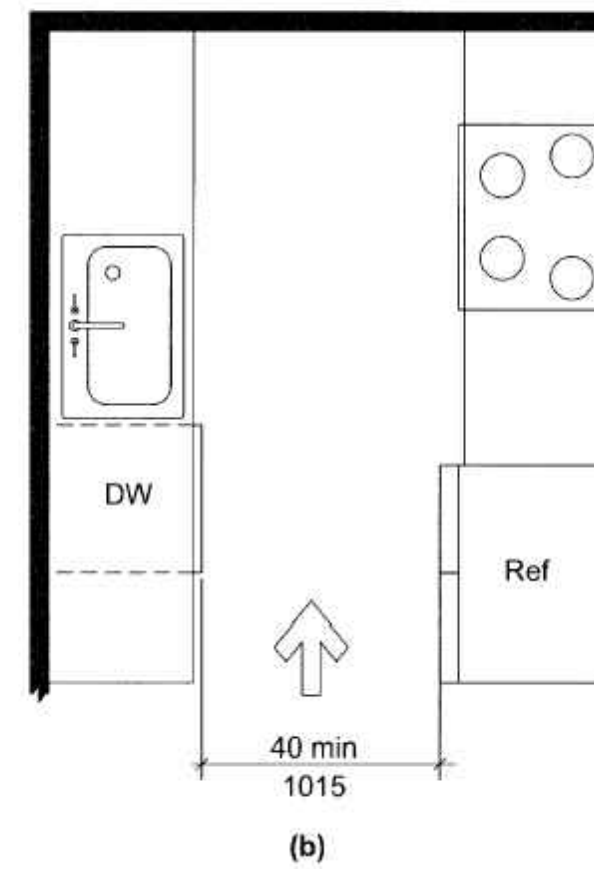
K WATER CLOSET CLEARANCES TYPE B UNITS (Section 1104)
NO SCALE



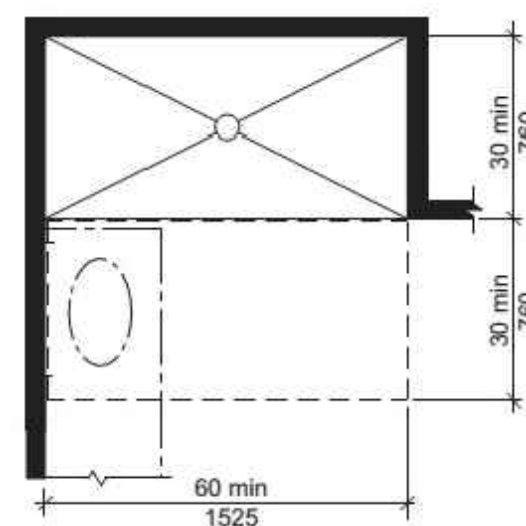
J TRANSFER SHOWER AT TYPE B UNITS (Section 1104)
NO SCALE



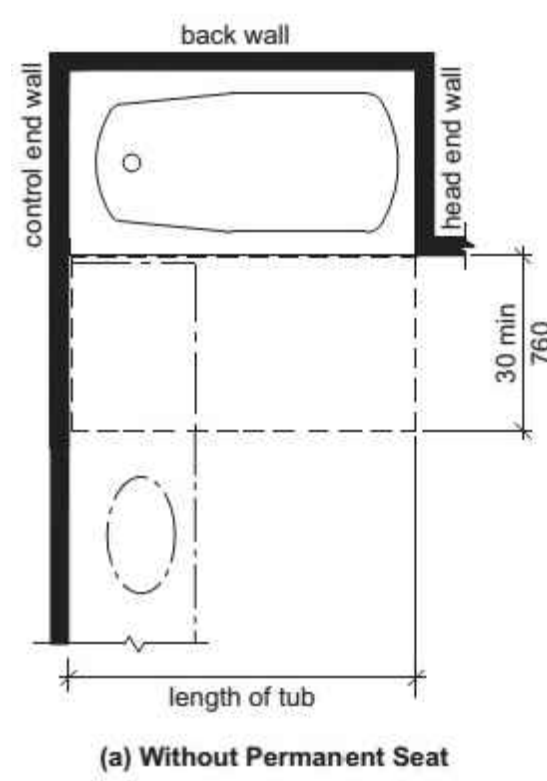
H MIN KITCHEN CLEARANCE - TYPE B UNITS (Section 1104)
NO SCALE



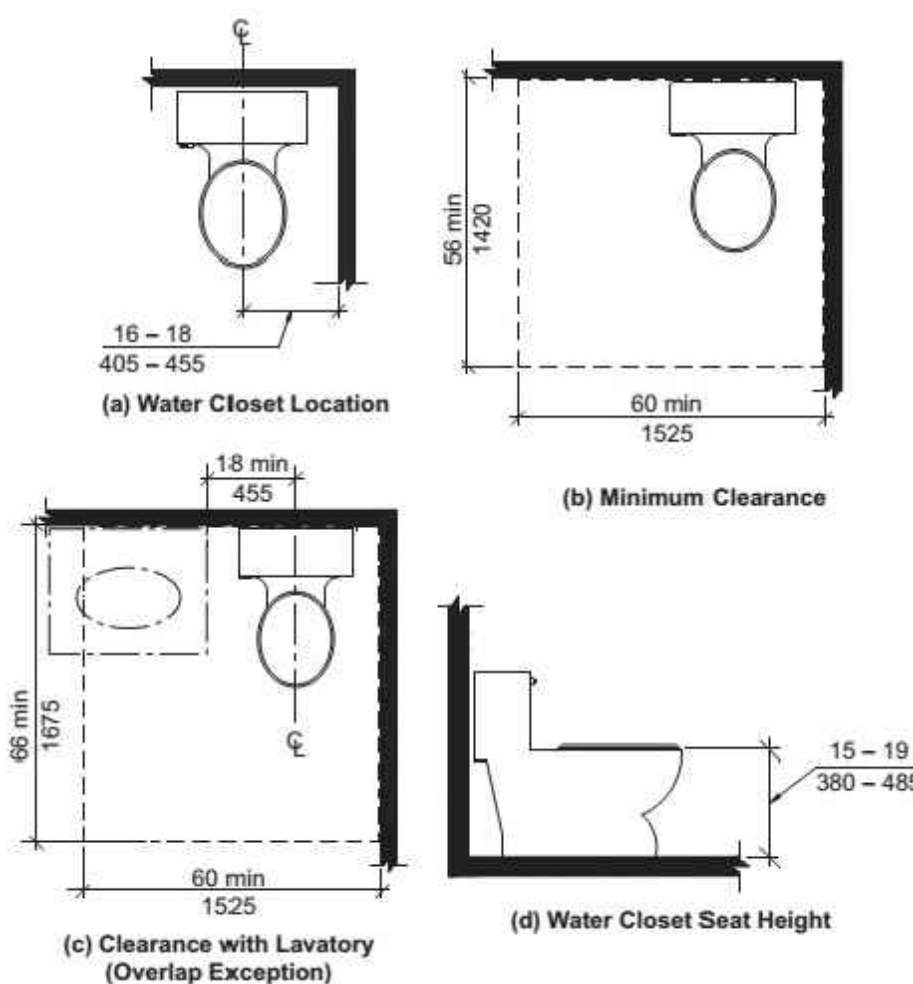
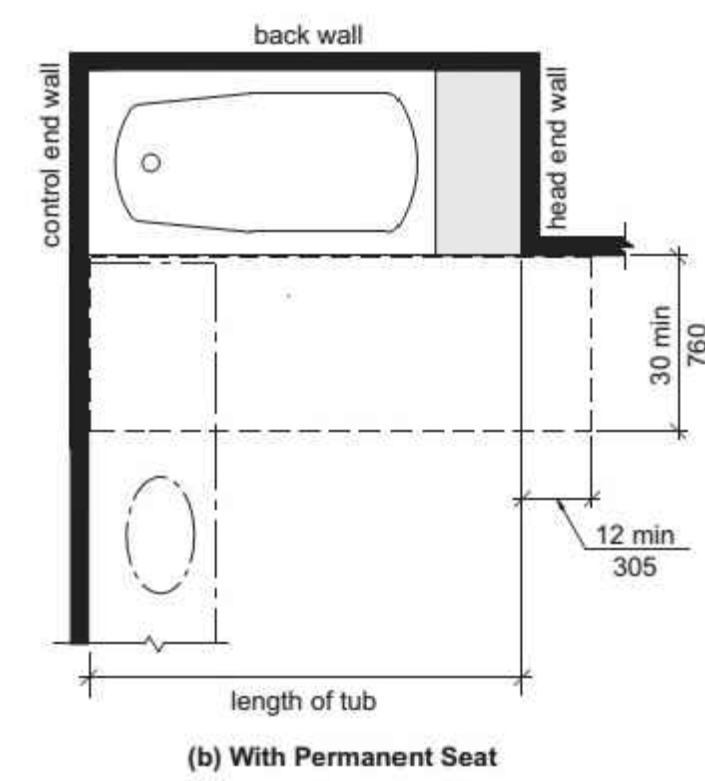
G U-SHAPED KITCHEN CLEARANCE -TYPE B UNITS - EXCEPTION (Section 1104)
NO SCALE



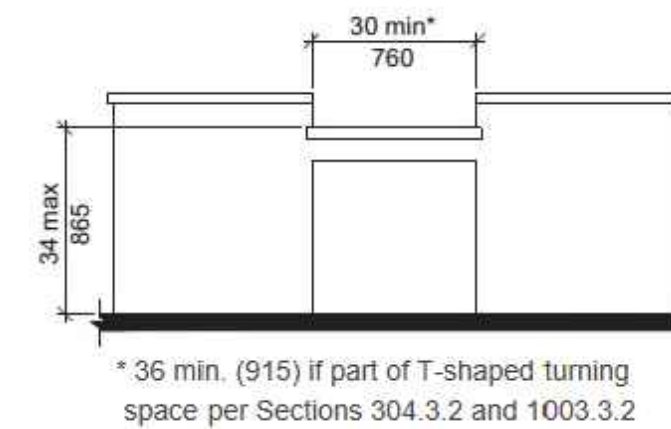
F ROLL-IN SHOWER CLEARANCES TYPE A UNITS (Section 1103)
NO SCALE



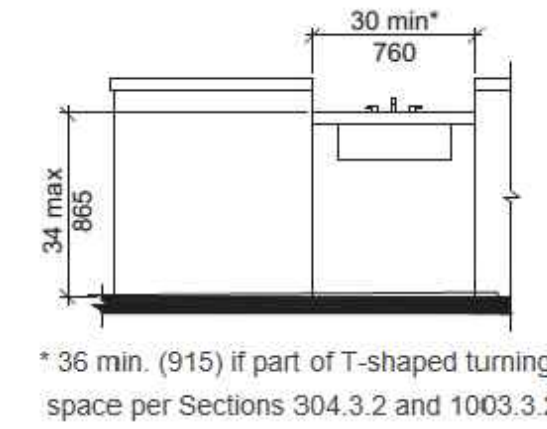
E BATHTUB CLEARANCES TYPE A UNITS (Section 1003)
NO SCALE



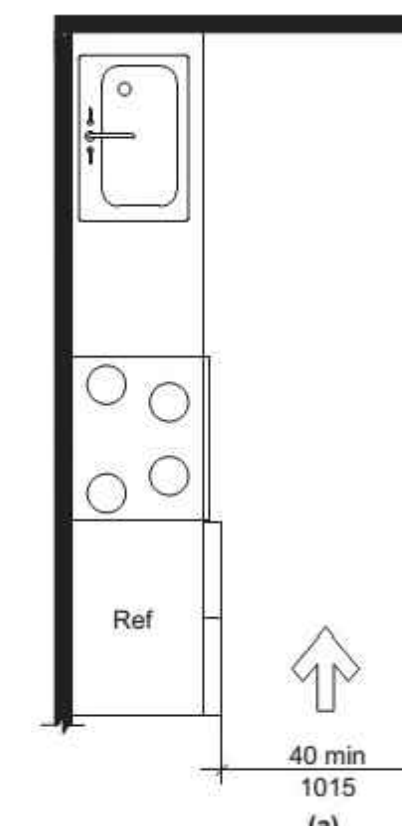
D WATER CLOSET CLEARANCES TYPE A UNITS (Section 1103)
NO SCALE



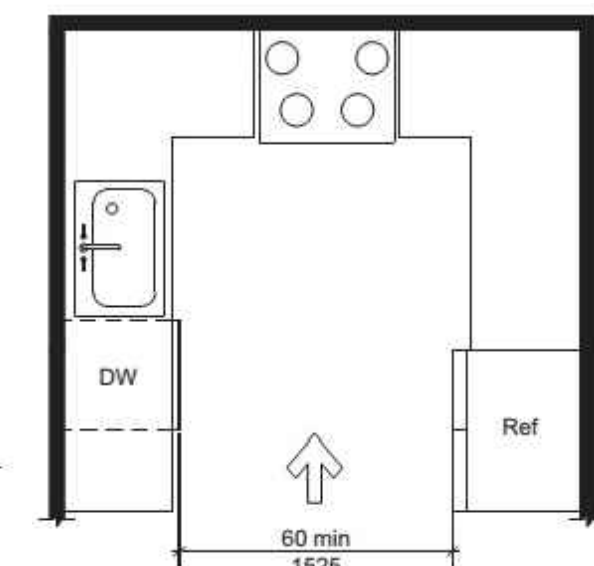
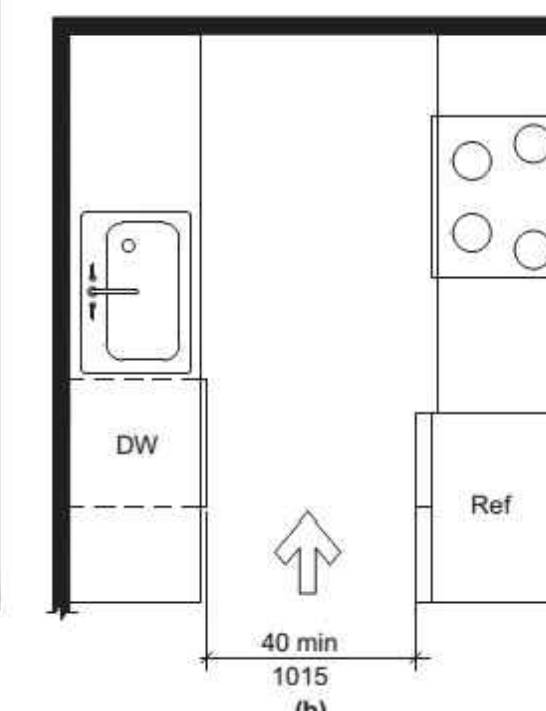
C WORK SURFACE - TYPE A UNITS (Section 1103)
NO SCALE



B KITCHEN SINK - TYPE A UNITS (Section 1103)
NO SCALE

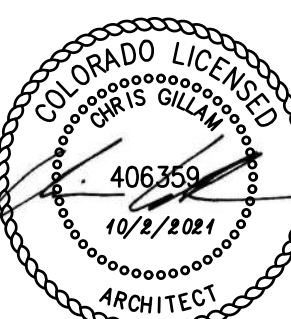


A MIN KITCHEN CLEARANCE - TYPE A UNITS (Section 1103)
NO SCALE



This sheet of drawings has not been reviewed for code compliance.

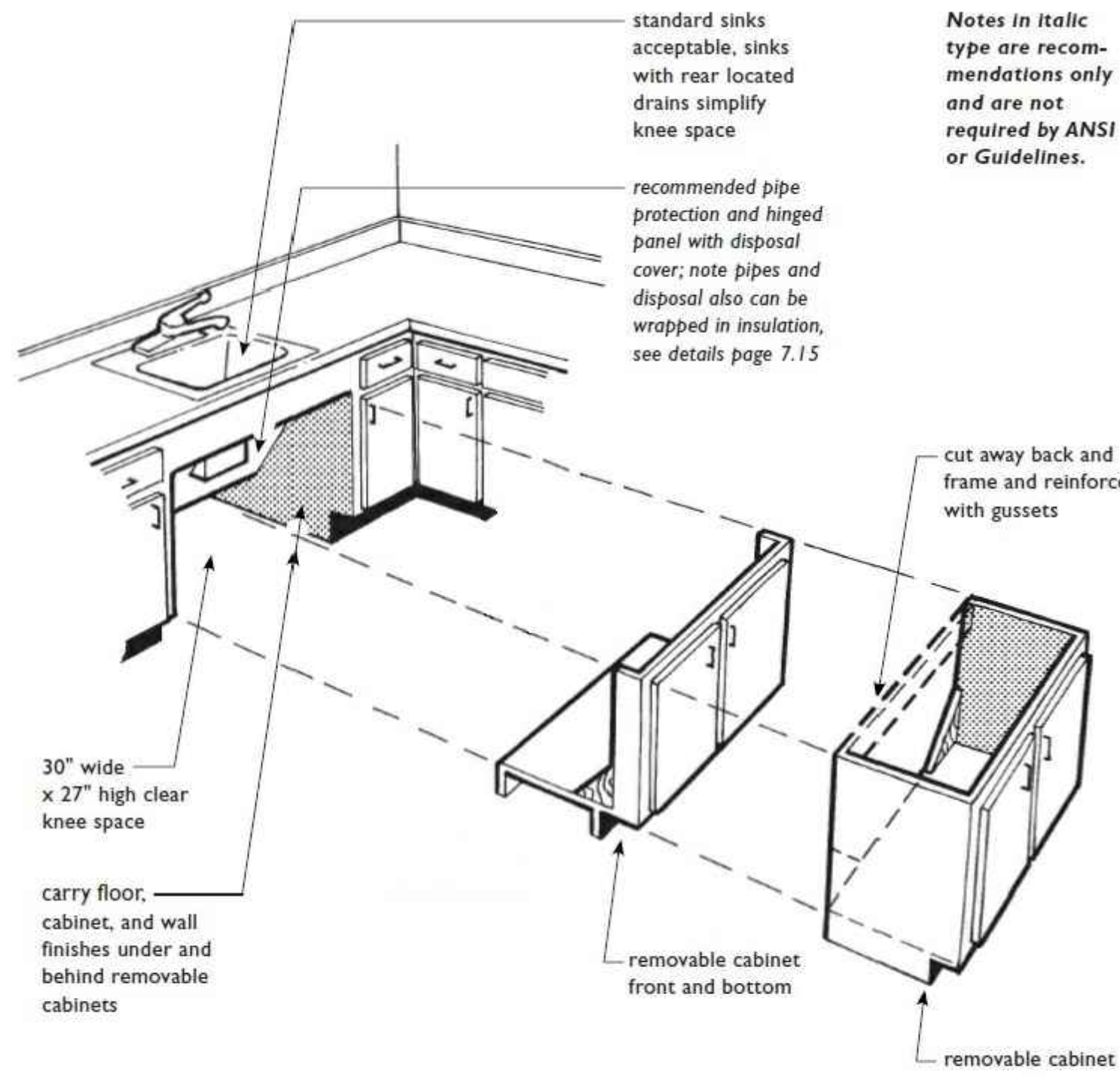
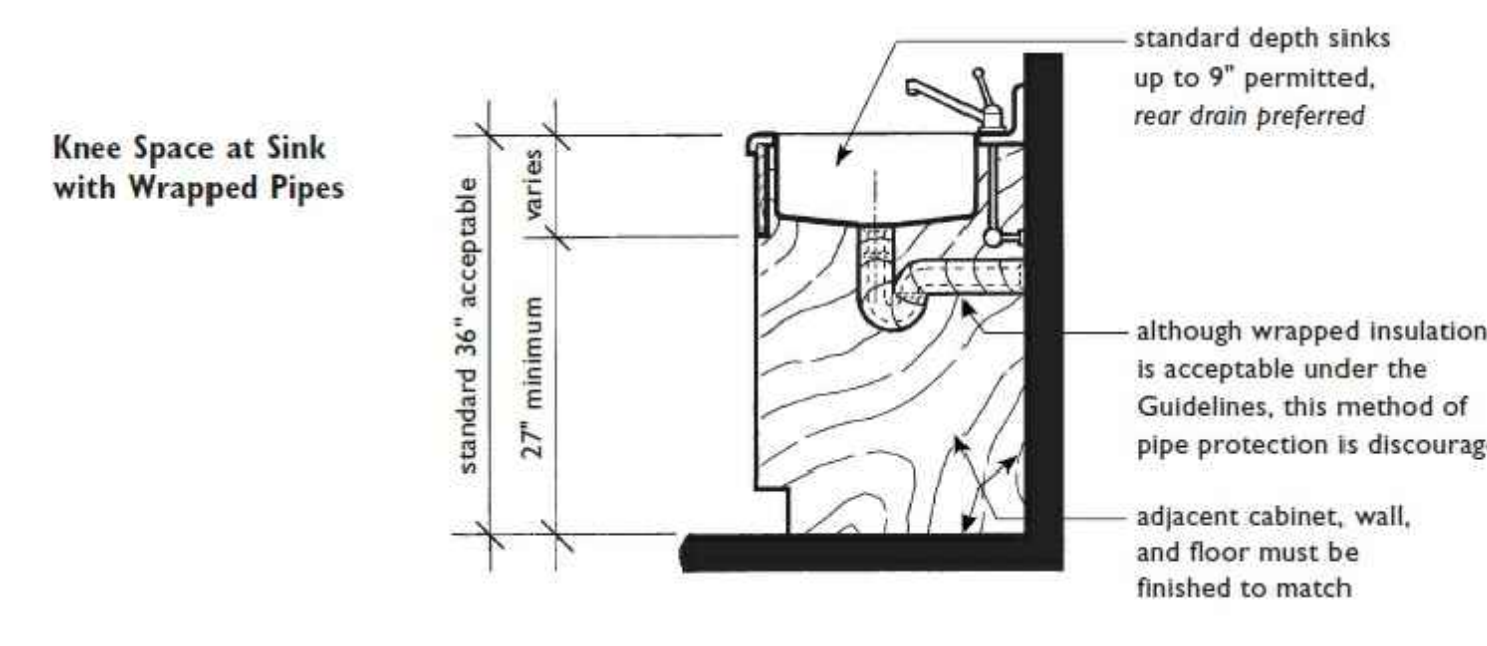
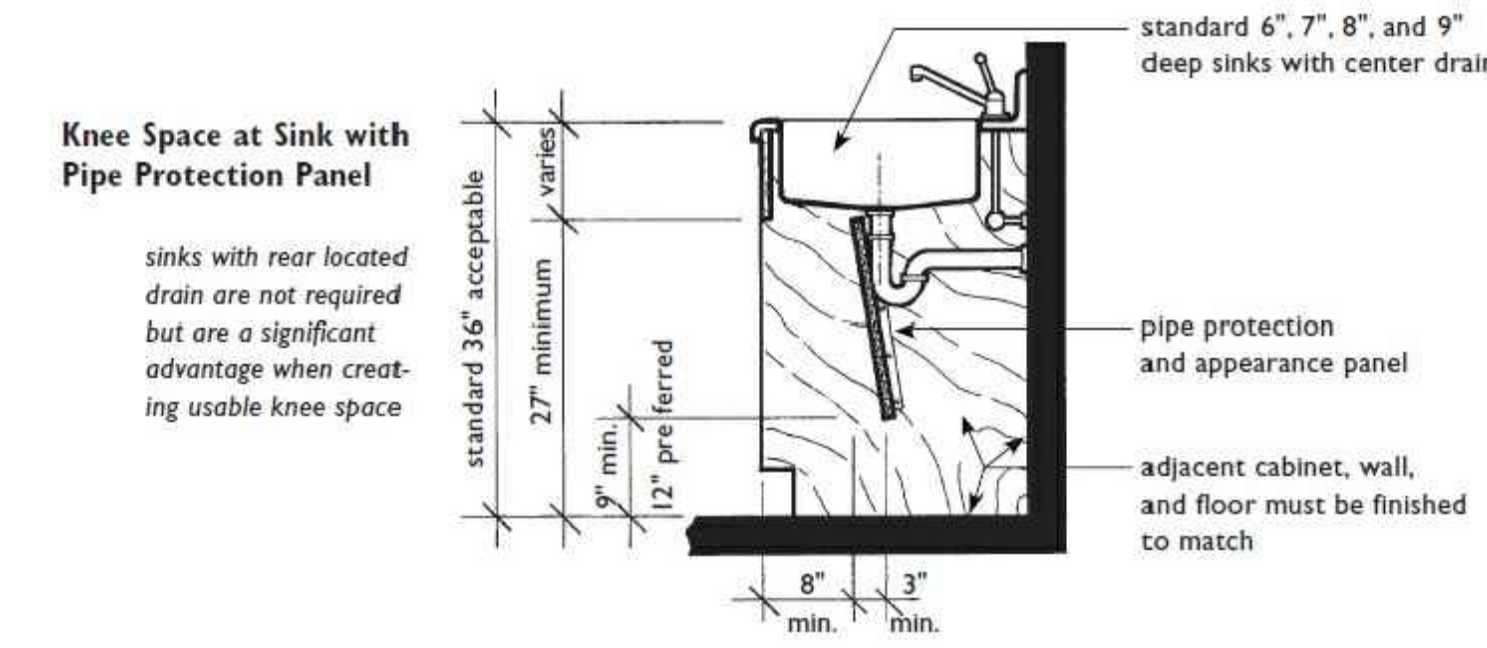
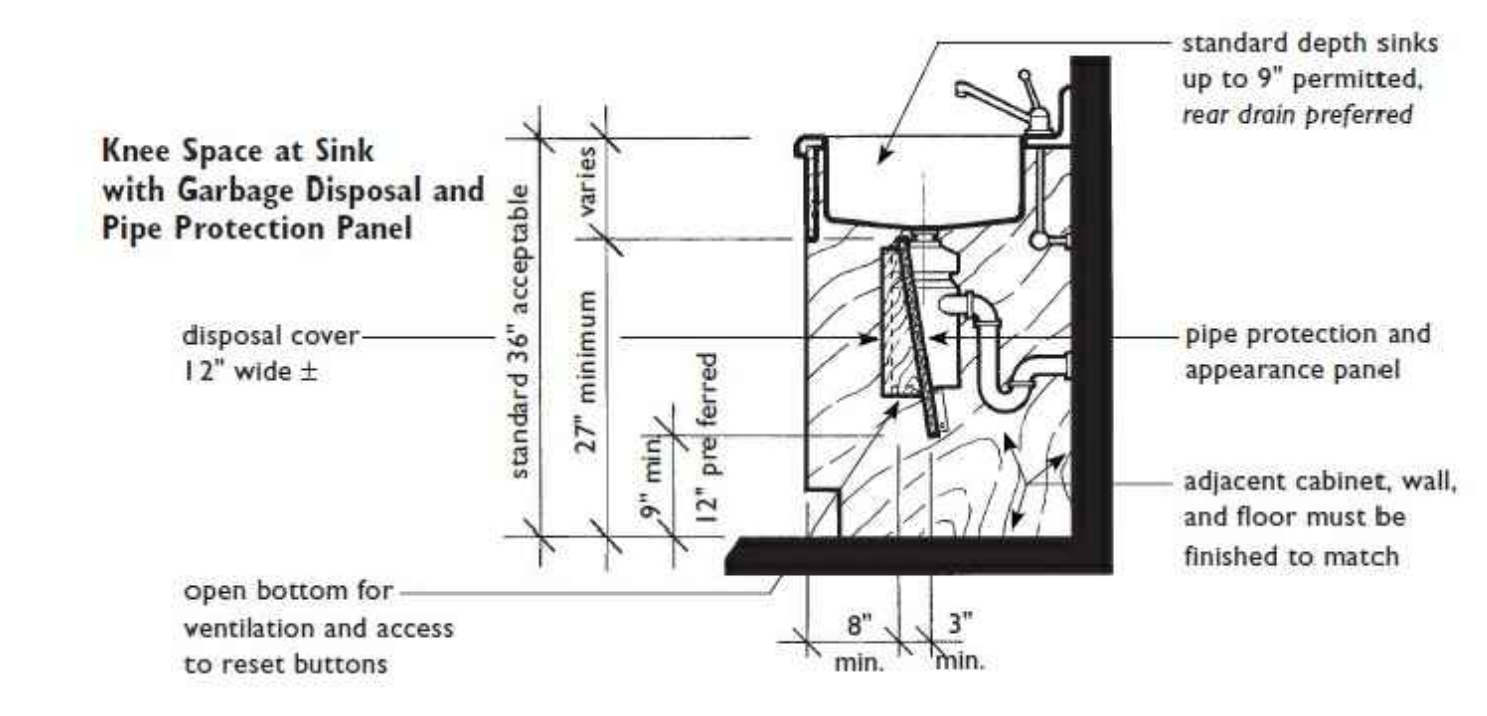
THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY & CONTAINS KEY ILLUSTRATIONS OF ICC A117.1-2017, ACCESSIBLE and USEABLE BUILDINGS and FACILITIES, FOR MORE INFORMATION REFERENCE ENTIRE REQUIREMENTS.



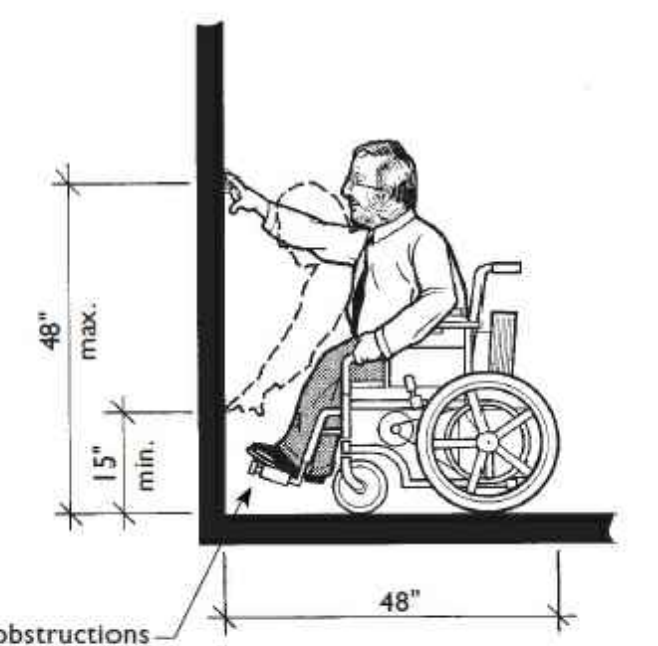
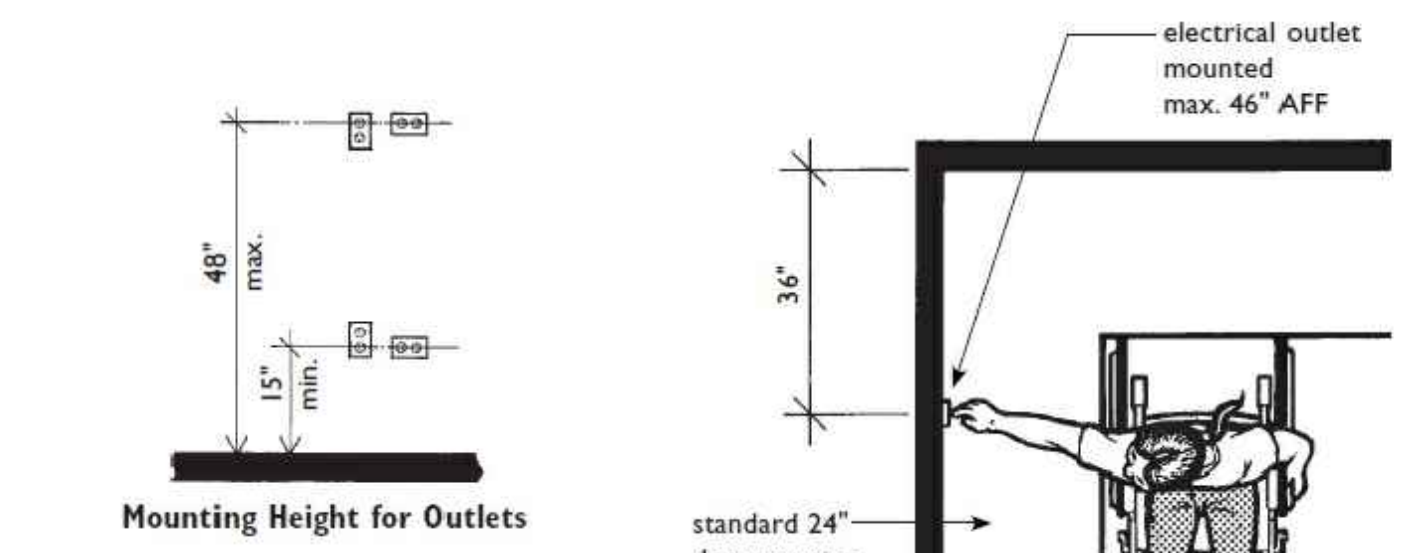
REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:



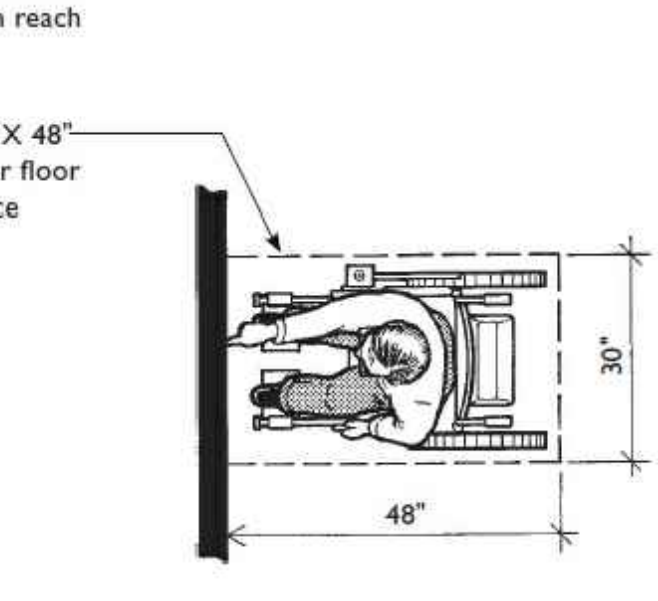
REVISION: _____
 DATE: 10-2-2023
 JOB: 22-3219
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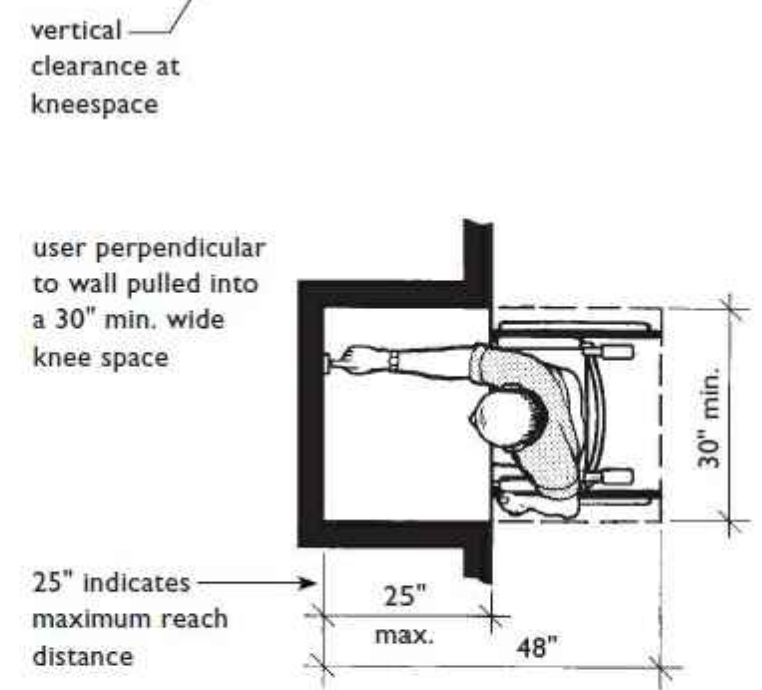
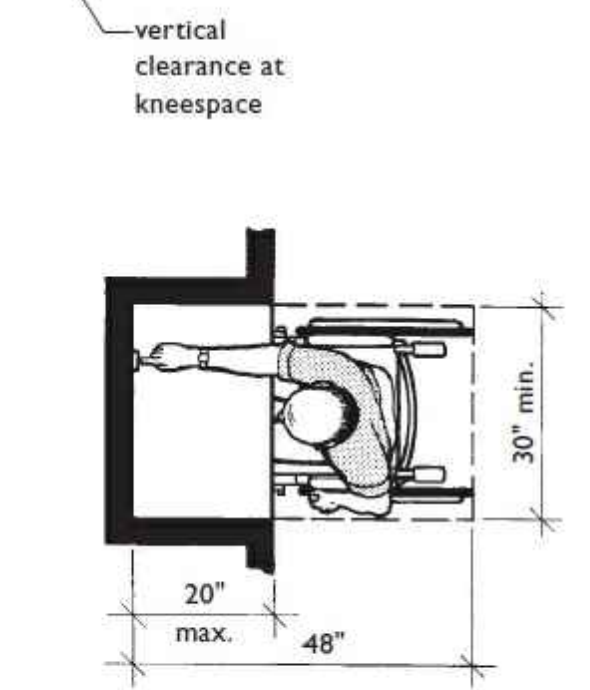
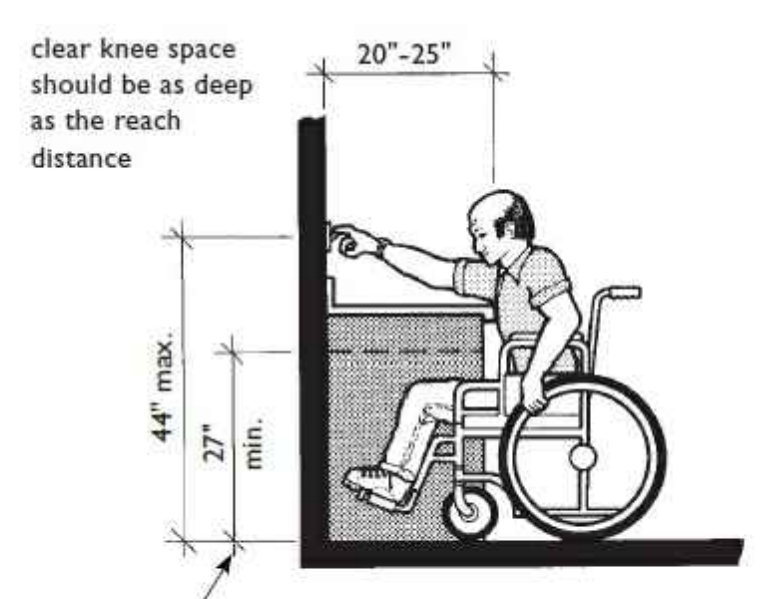
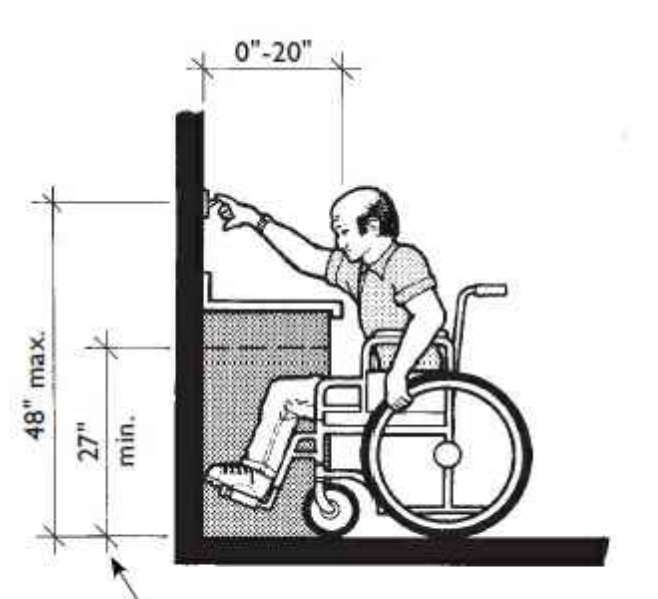
Possible Removable Cabinet Options for Required Knee Spaces at Sinks or Cooktops in Narrow (Less Than 60" Wide) U-Shaped Kitchens



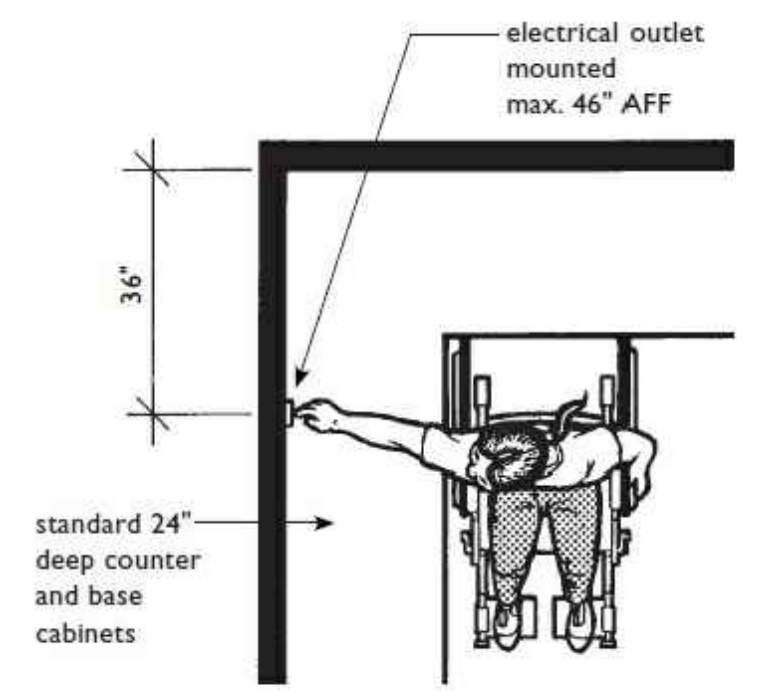
Electrical Outlets on Walls Over Cabinets Must Be a Minimum of 36" from a Corner



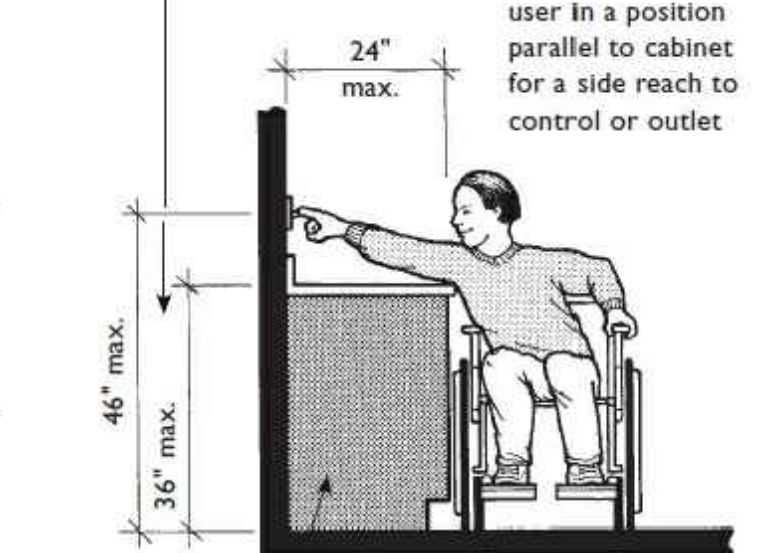
High and Low Forward Reach Limits From a Perpendicular Approach



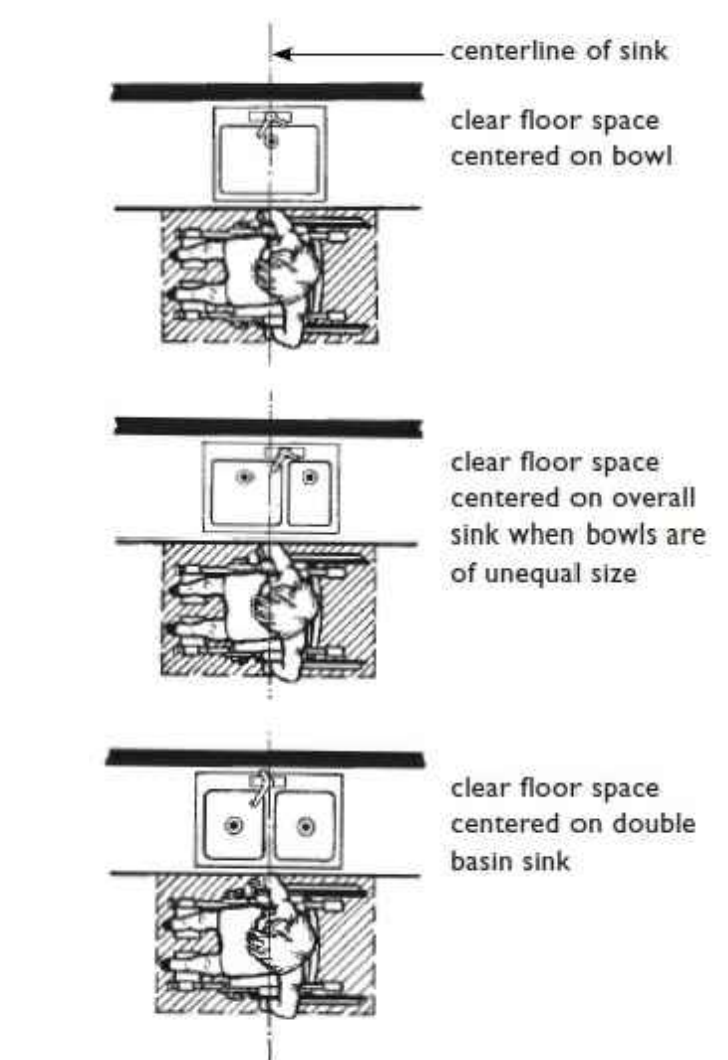
Maximum Forward Reach (From a Perpendicular Approach) over an Obstruction



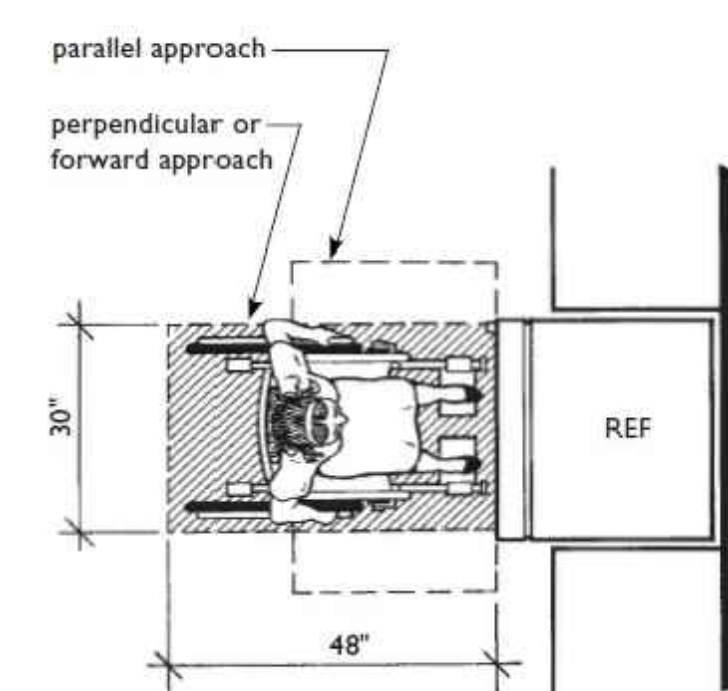
Countertop is shown at the typical kitchen height of 36". The drawing in the Guidelines (taken from ANSI Figure 6(c)), on which this drawing is based, gives this dimension as 34". The 34" dimension shown in the Guidelines is in no way intended to dictate counter heights in covered dwelling units.



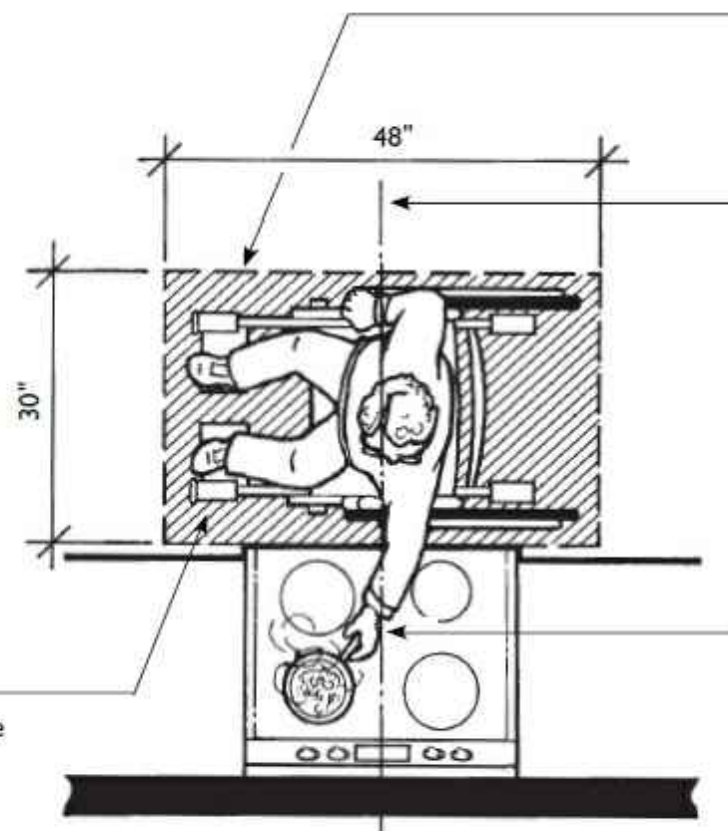
Maximum Side Reach (From a Parallel Approach) Over an Obstruction



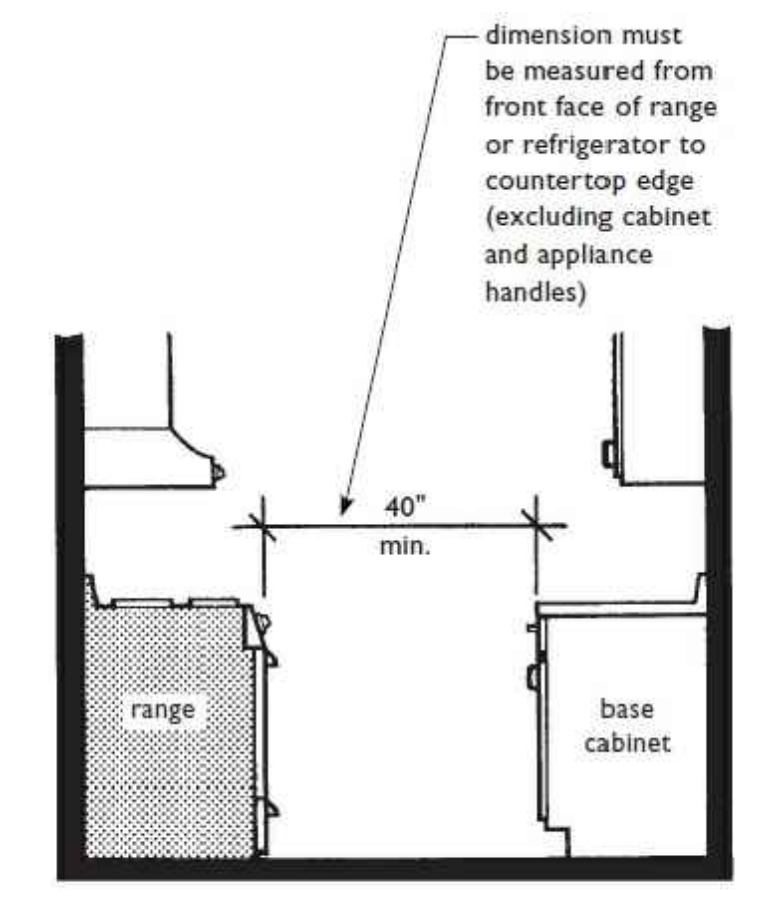
clear floor space for at least one type of approach (forward or parallel) must be centered on the refrigerator; this applies to side-by-side as well as over/under models



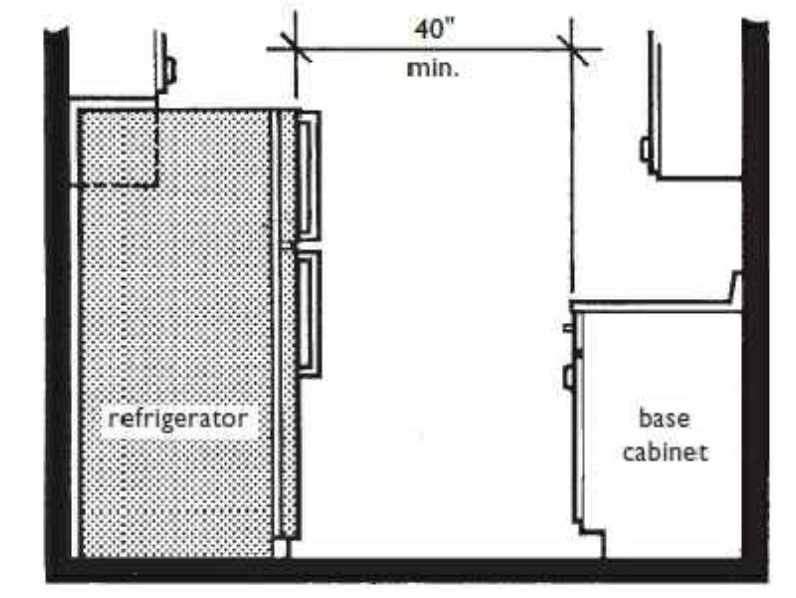
Space for Either a Forward or Parallel Approach Must be Provided



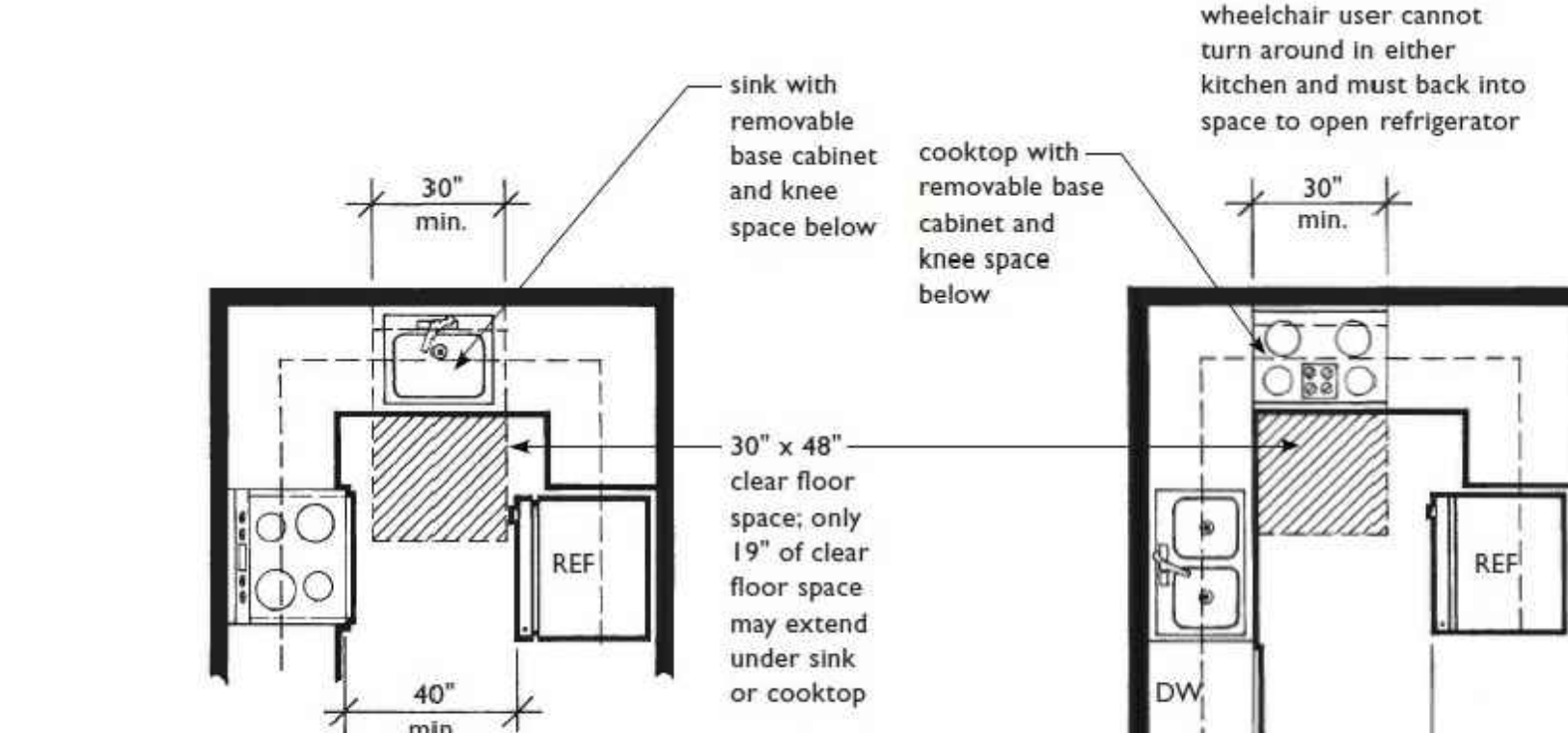
Space for Parallel Approach Required at Range and Cooktop



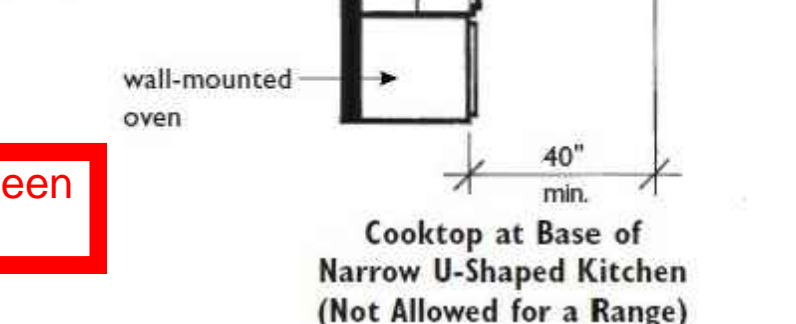
Minimum Clearance between Range and Opposing Base Cabinet



Minimum Clearance between Refrigerator and Opposing Base Cabinet



Sink at Base of Narrow U-Shaped Kitchen



Cooktop at Base of Narrow U-Shaped Kitchen (Not Allowed for a Range)

This sheet of drawings has not been reviewed for code compliance.

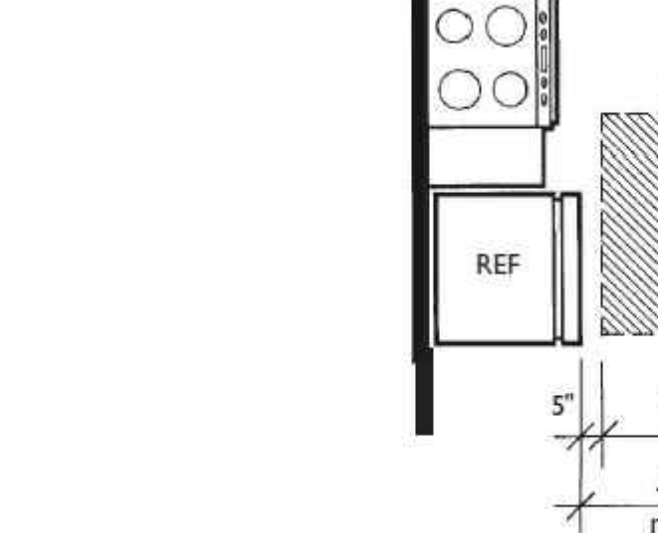
refrigerator must be selected and positioned so it does not encroach upon the 60" diameter turning circle or the clear floor space at the sink

60" diameter turning circle this dimension may need to be increased slightly for a double basin sink if wider than 30"

Sink and Dishwasher at Bottom of U-Shaped Kitchen Increases Room Width

clear floor space for a parallel approach must be centered on fixture

wheelchair user must leave kitchen to turn around



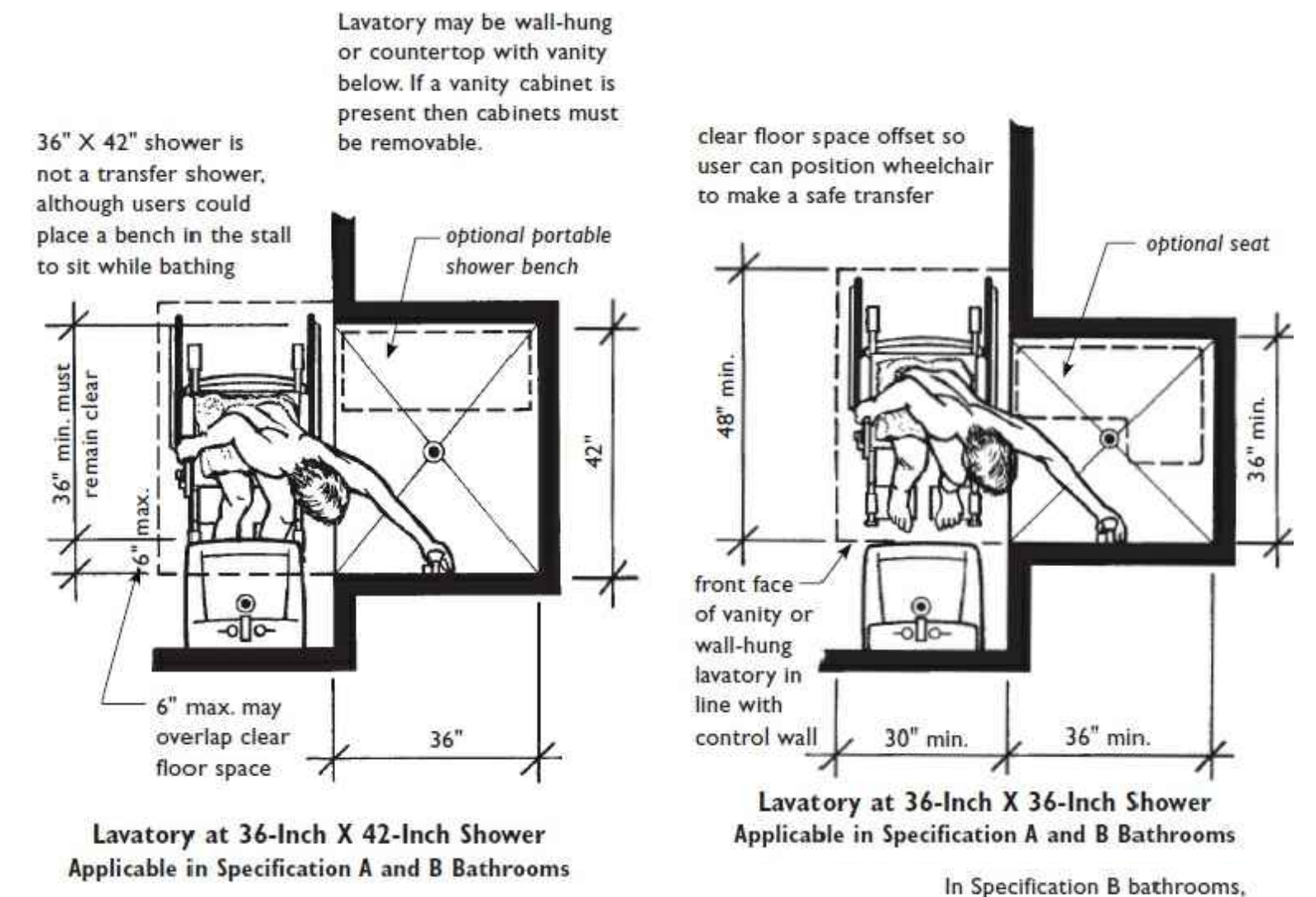
40" Minimum Clearance Between all Counters, Base Cabinets, Appliances, and Walls

FOR REFERENCE ONLY

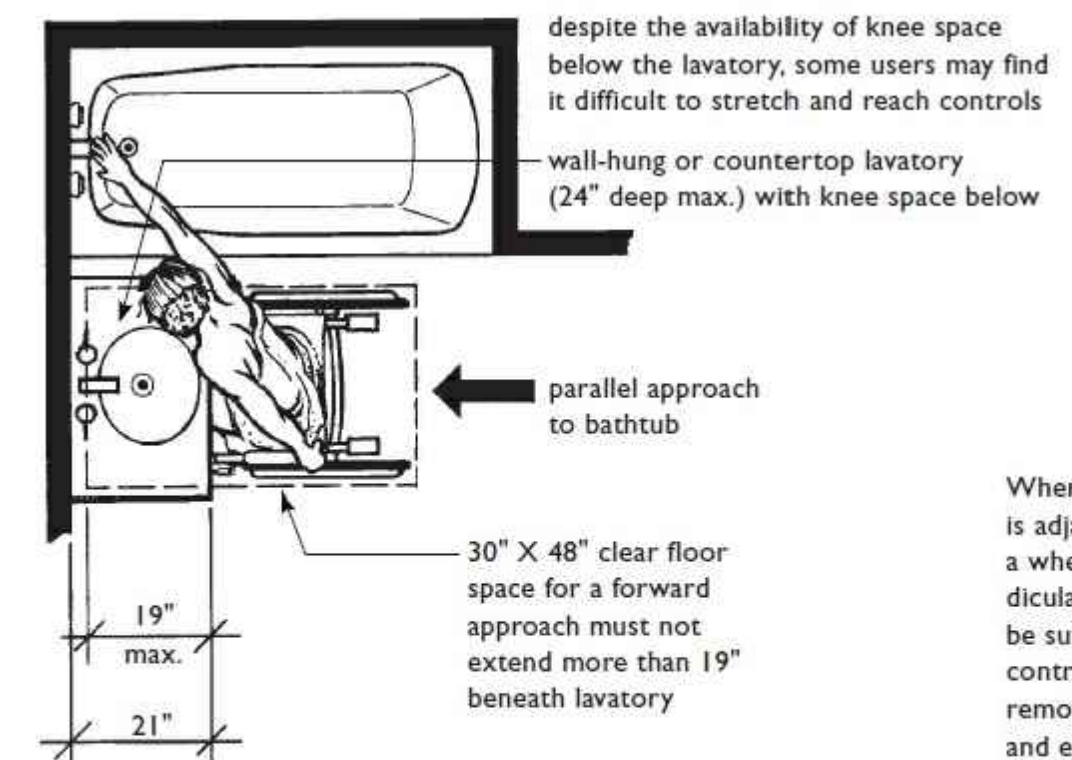
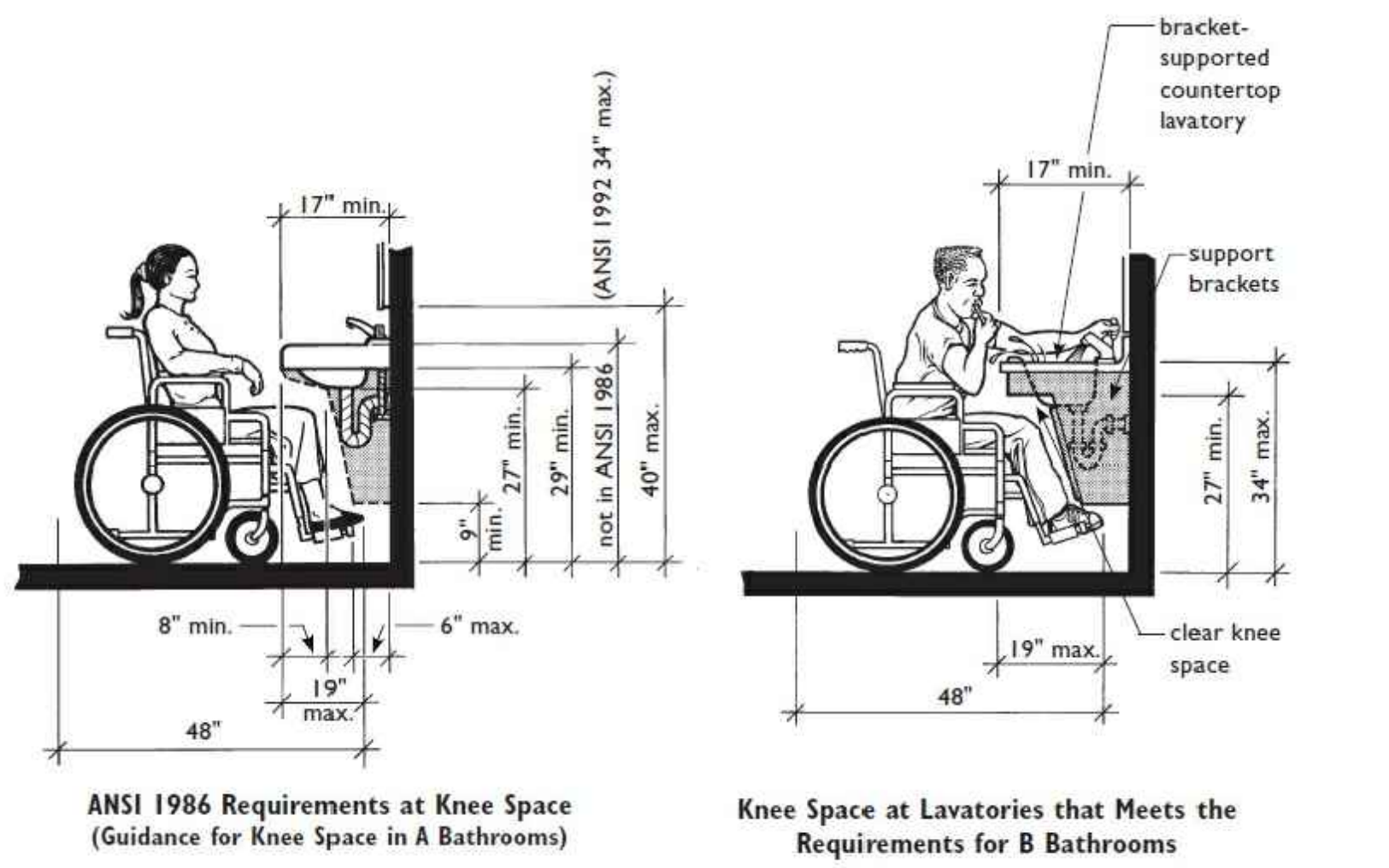
FH1



REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

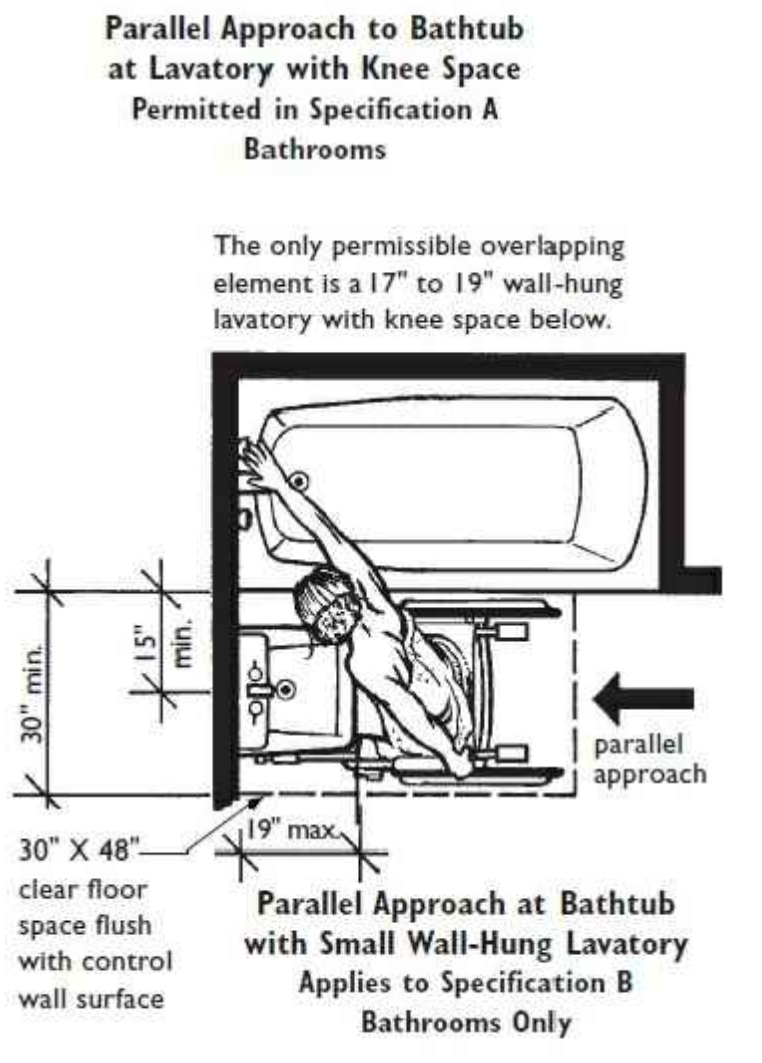
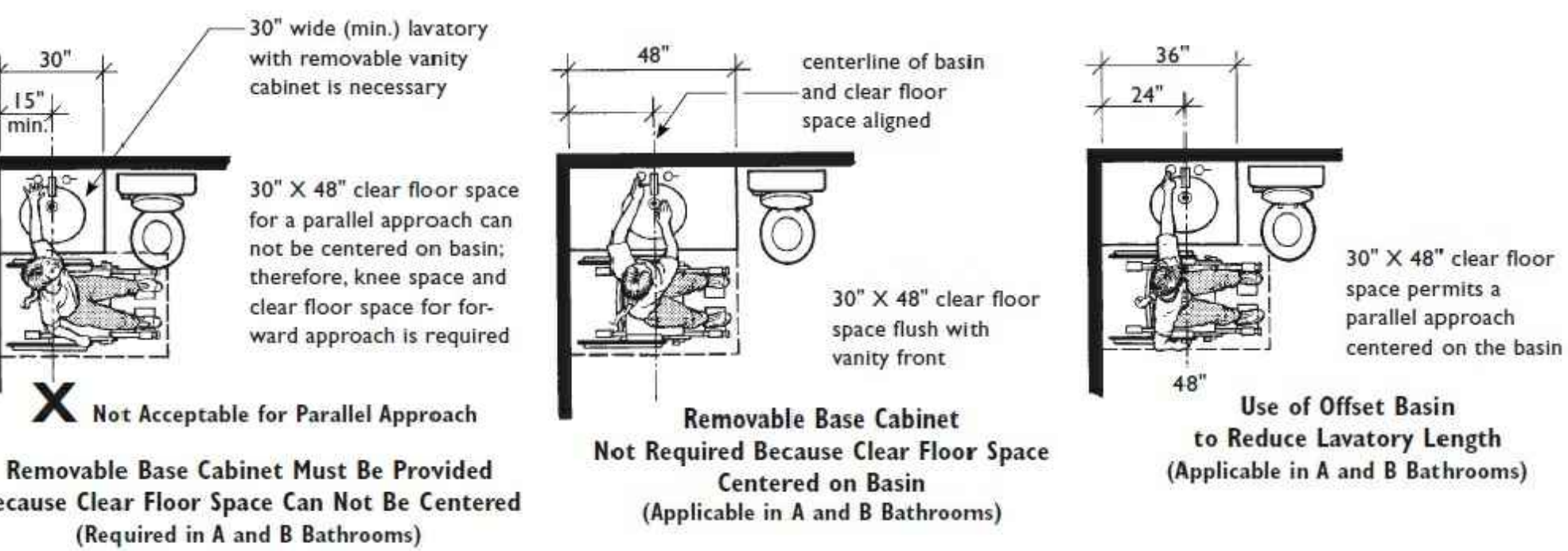


This sheet of drawings has not been reviewed for code compliance.

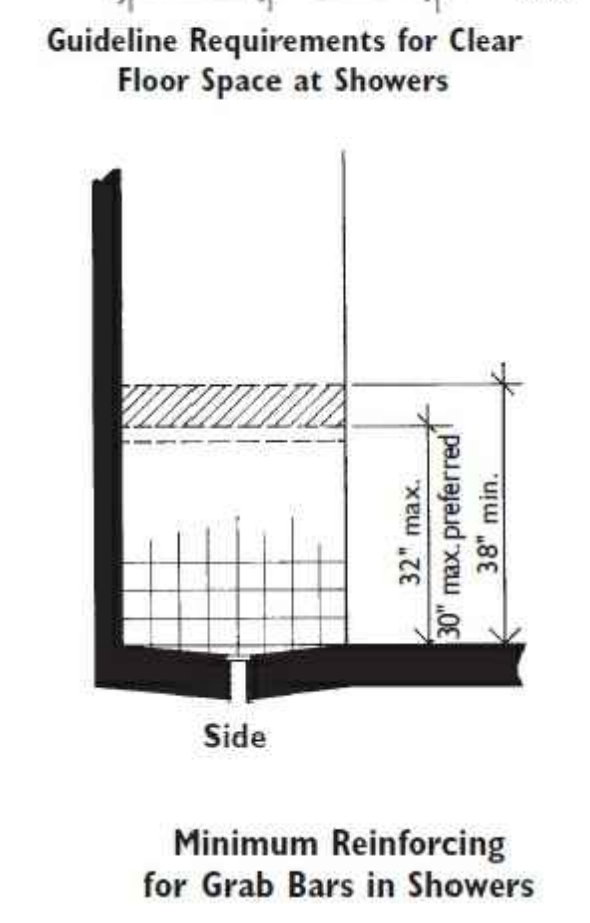
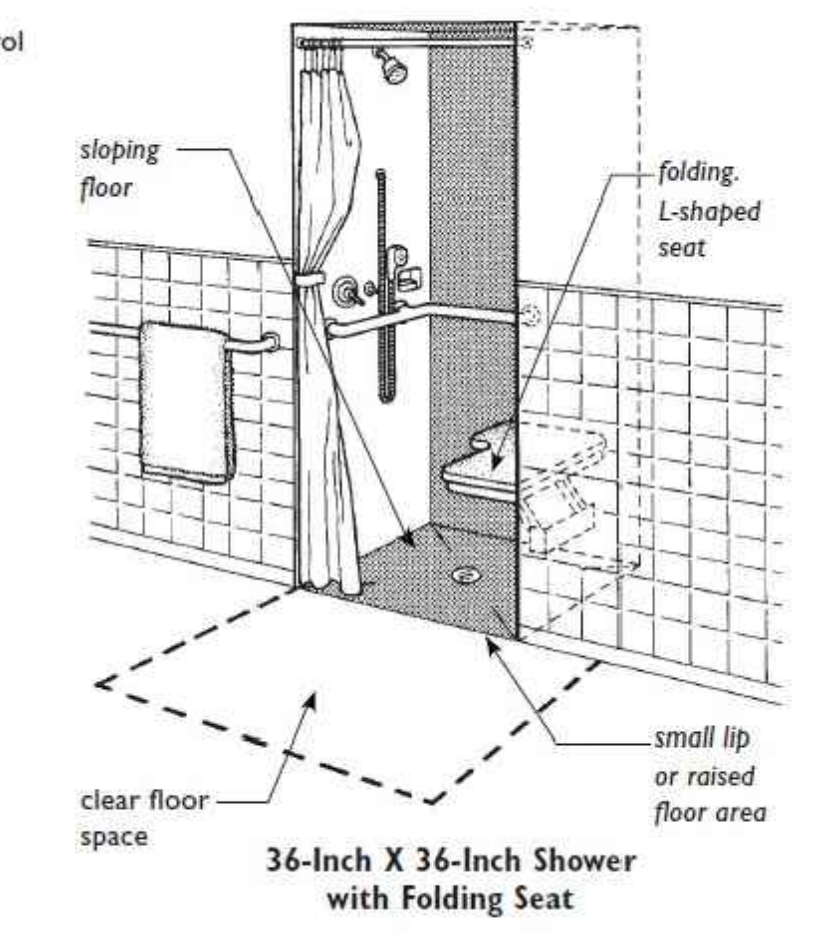
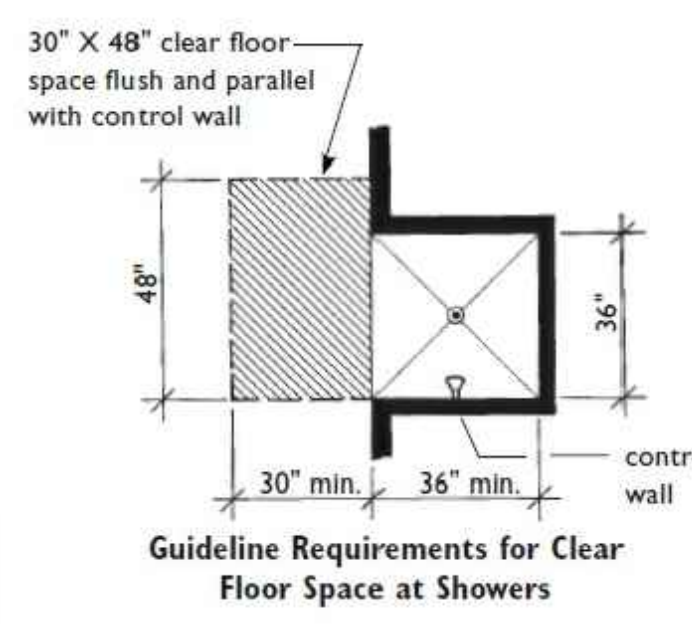
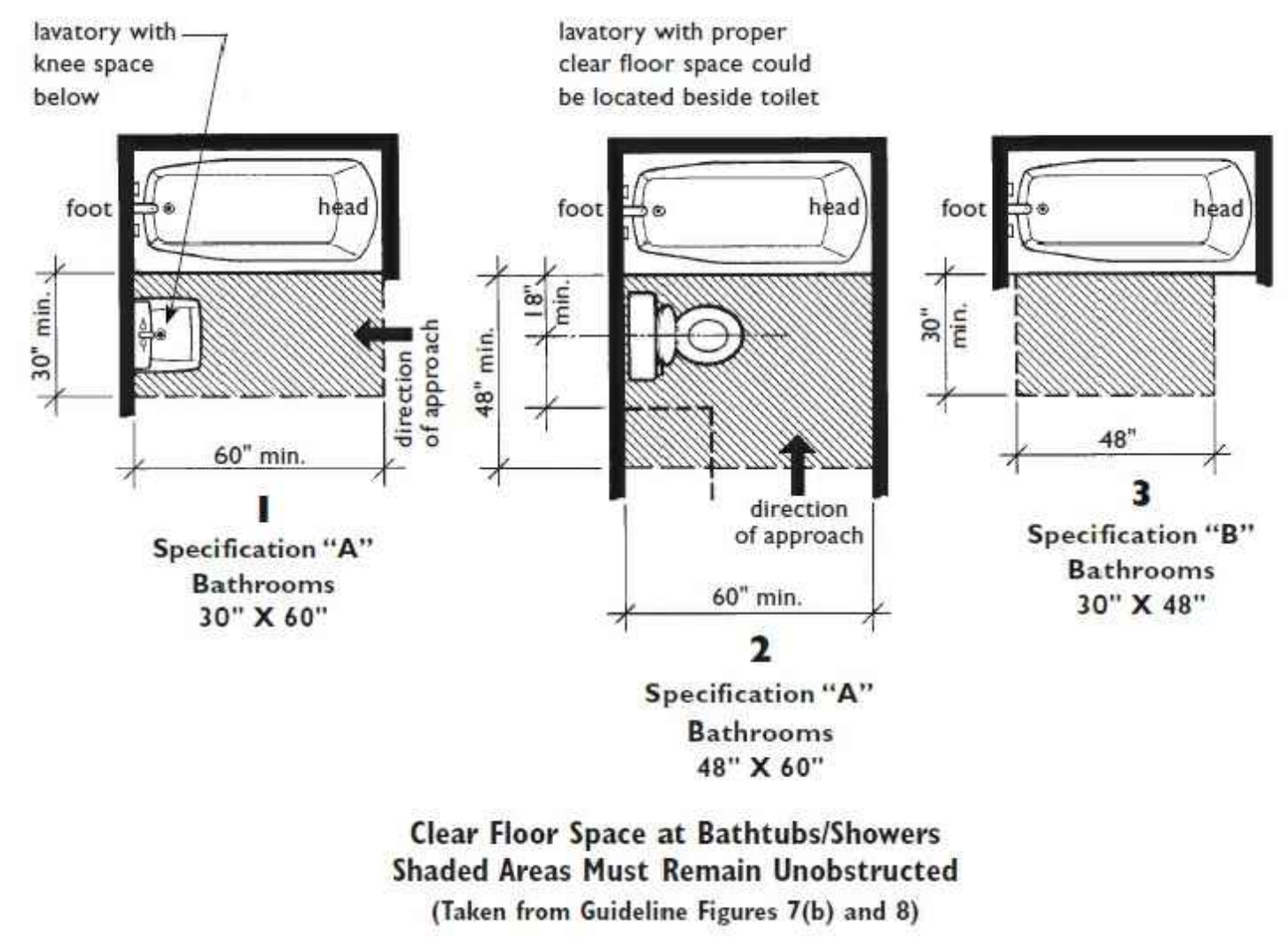
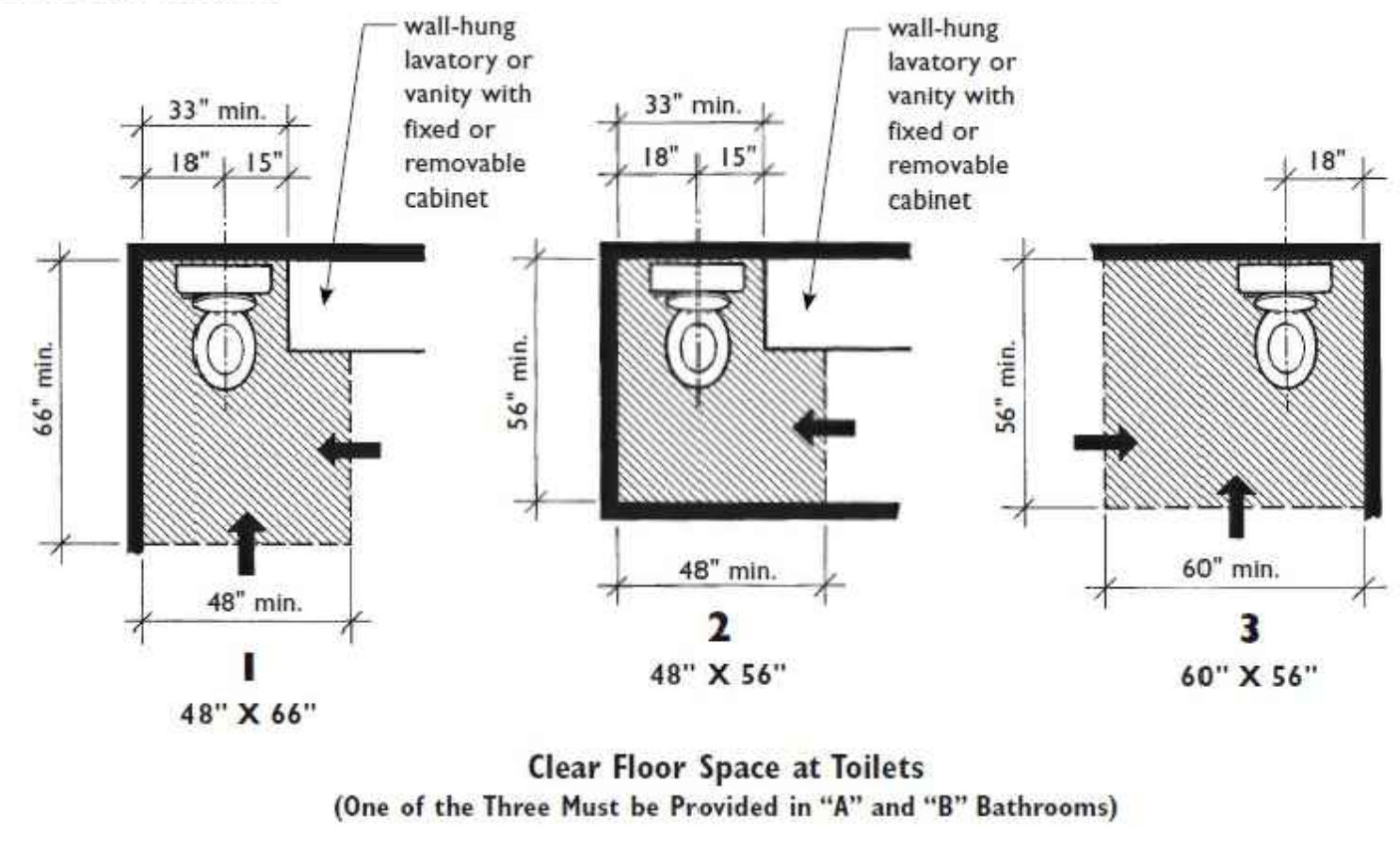
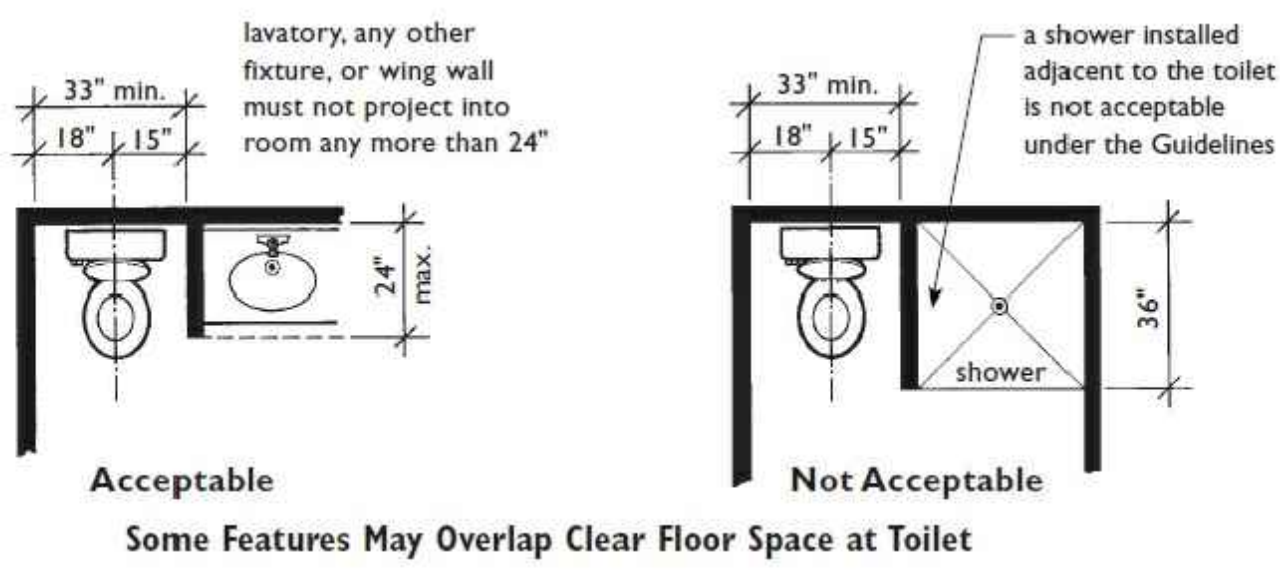
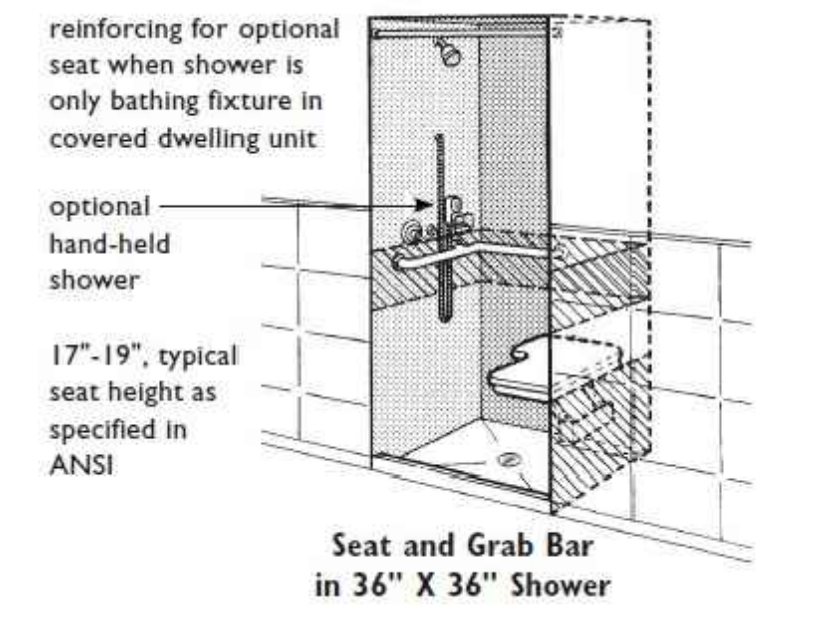
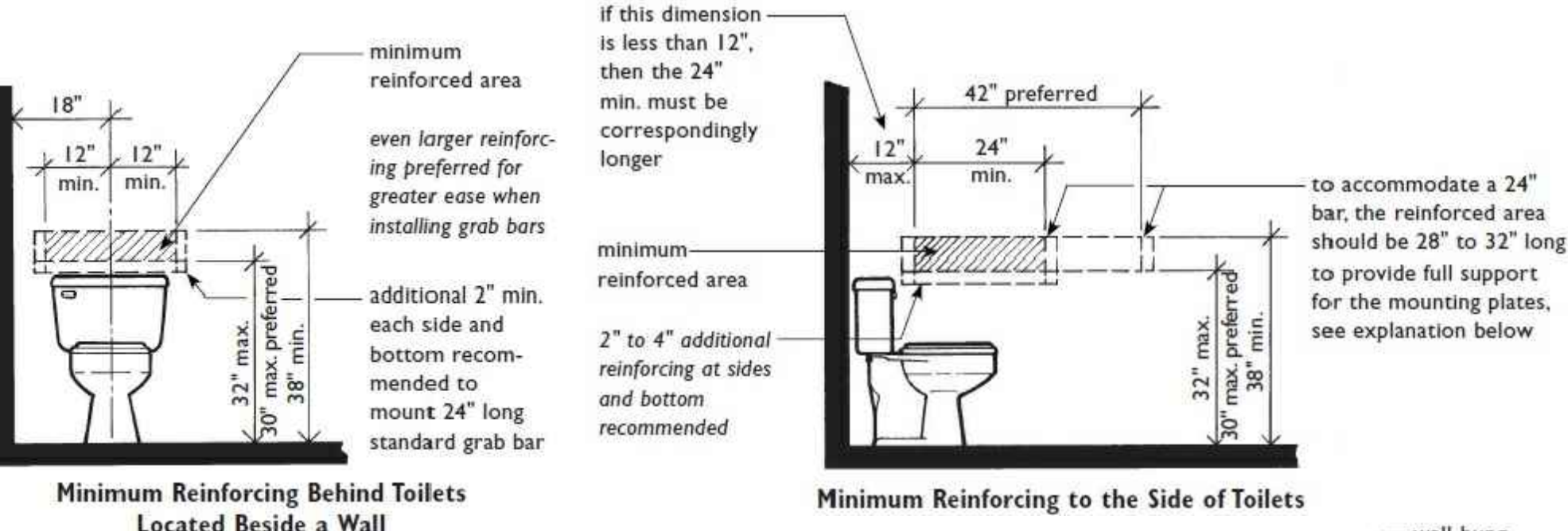
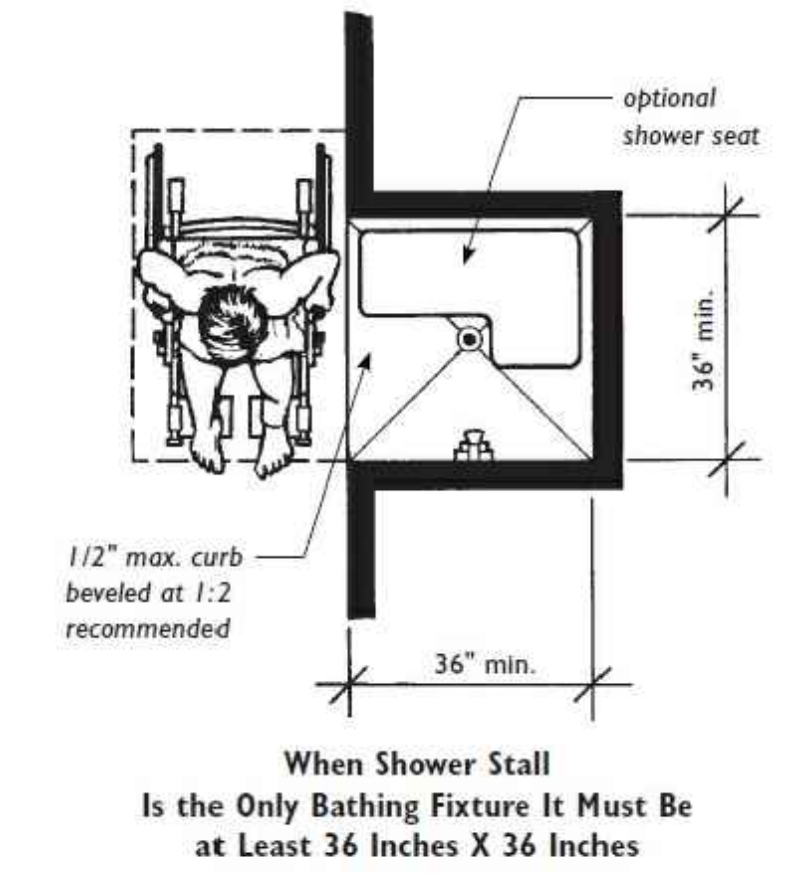
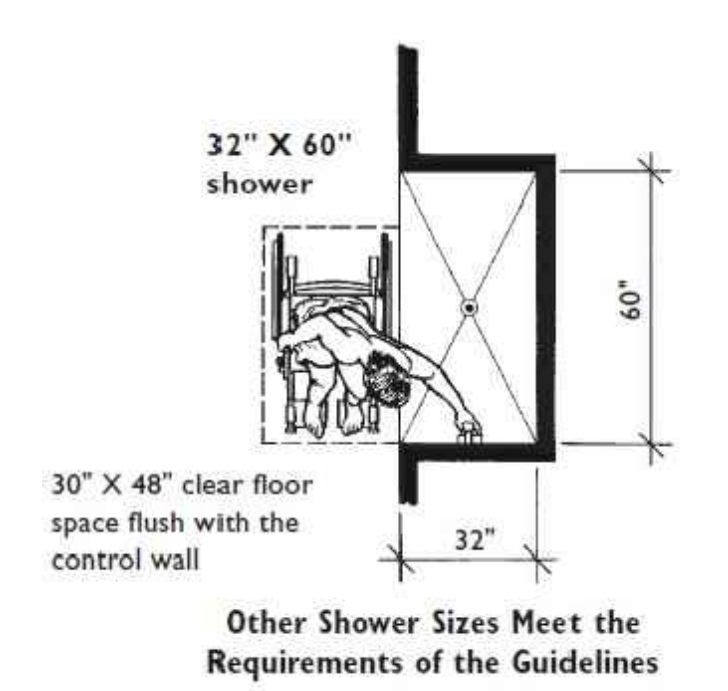
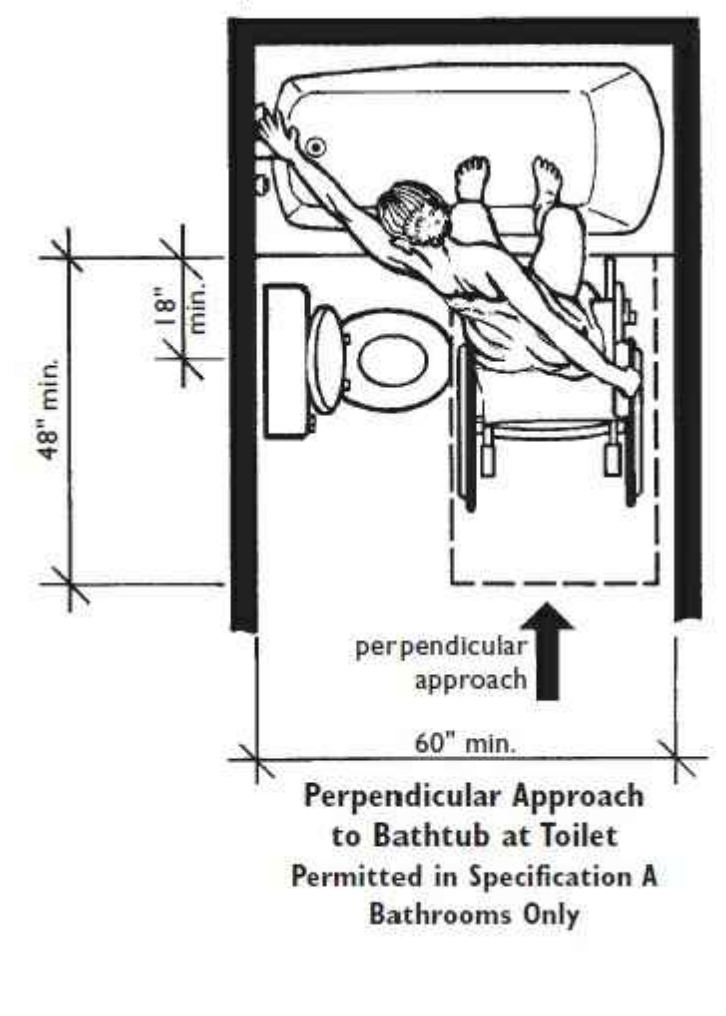
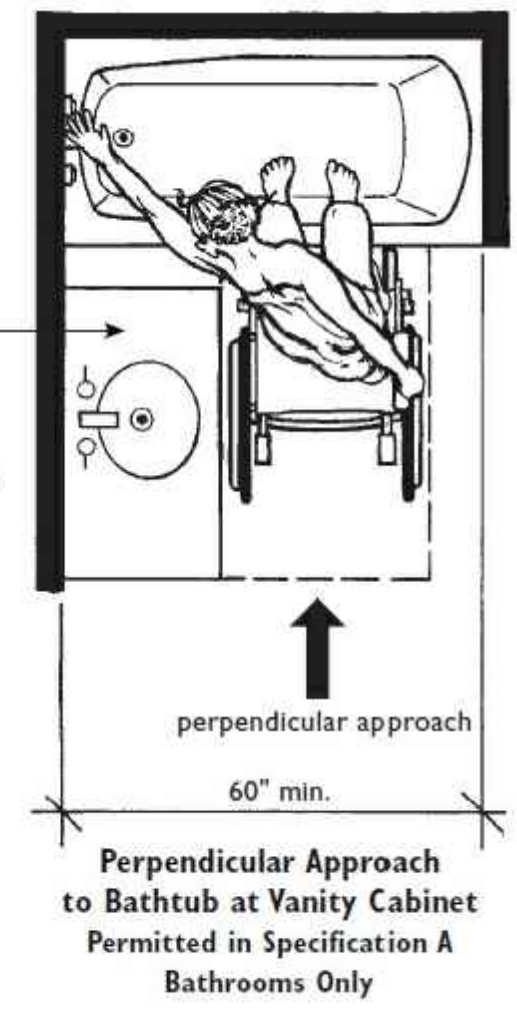


When a lavatory with vanity cabinet is adjacent to tub, a person using in a wheelchair must make a perpendicular approach to the tub rim to be sufficiently close to operate the controls. The user will have to remove footrests, place feet in tub, and execute a stretch which may be difficult for some people.

Toilets typically protrude into the room farther than vanity cabinets, making it necessary for a person using a wheelchair to perform, what may be for some people, a difficult stretch to operate tub controls.

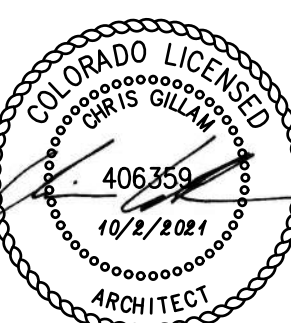


typical 21" deep lavatory with vanity cabinet below in this location must permit clear floor space to be centered on lavatory basin



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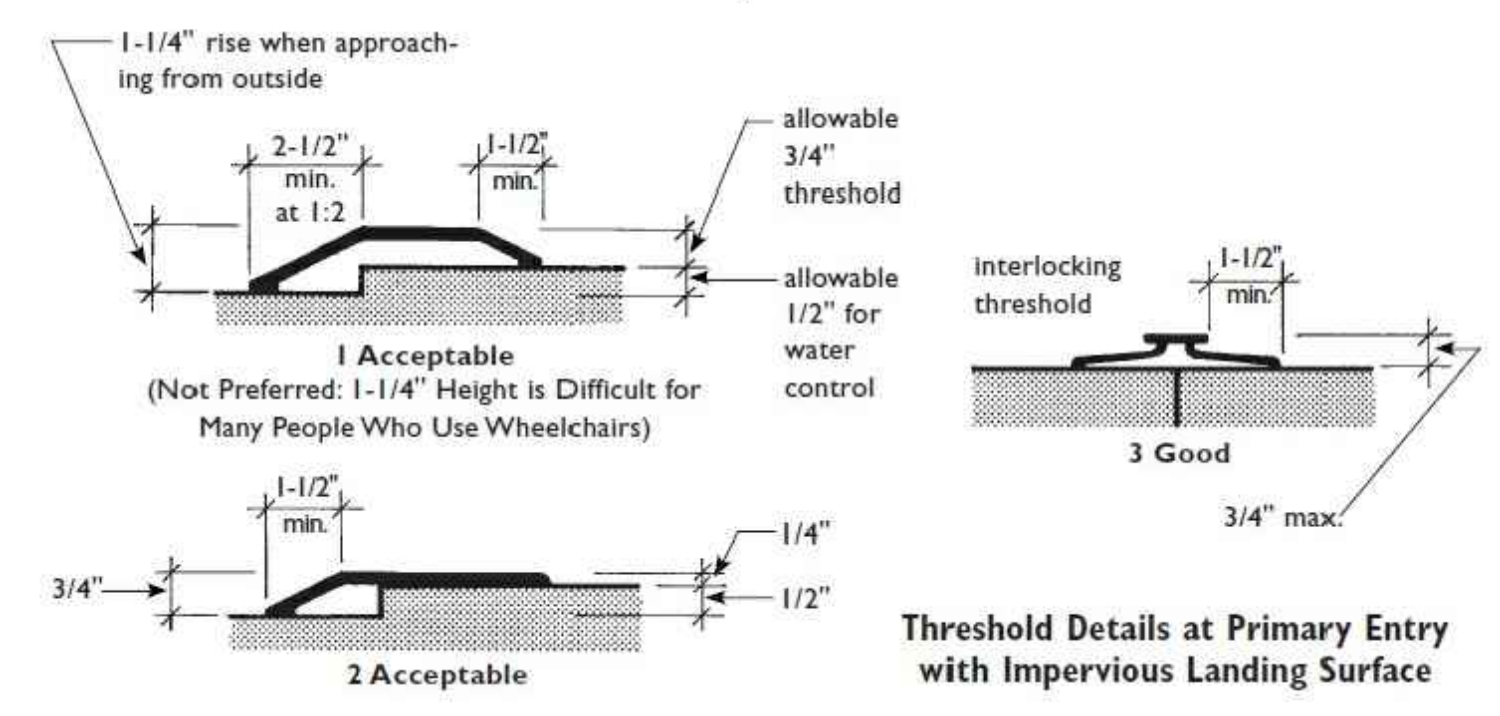
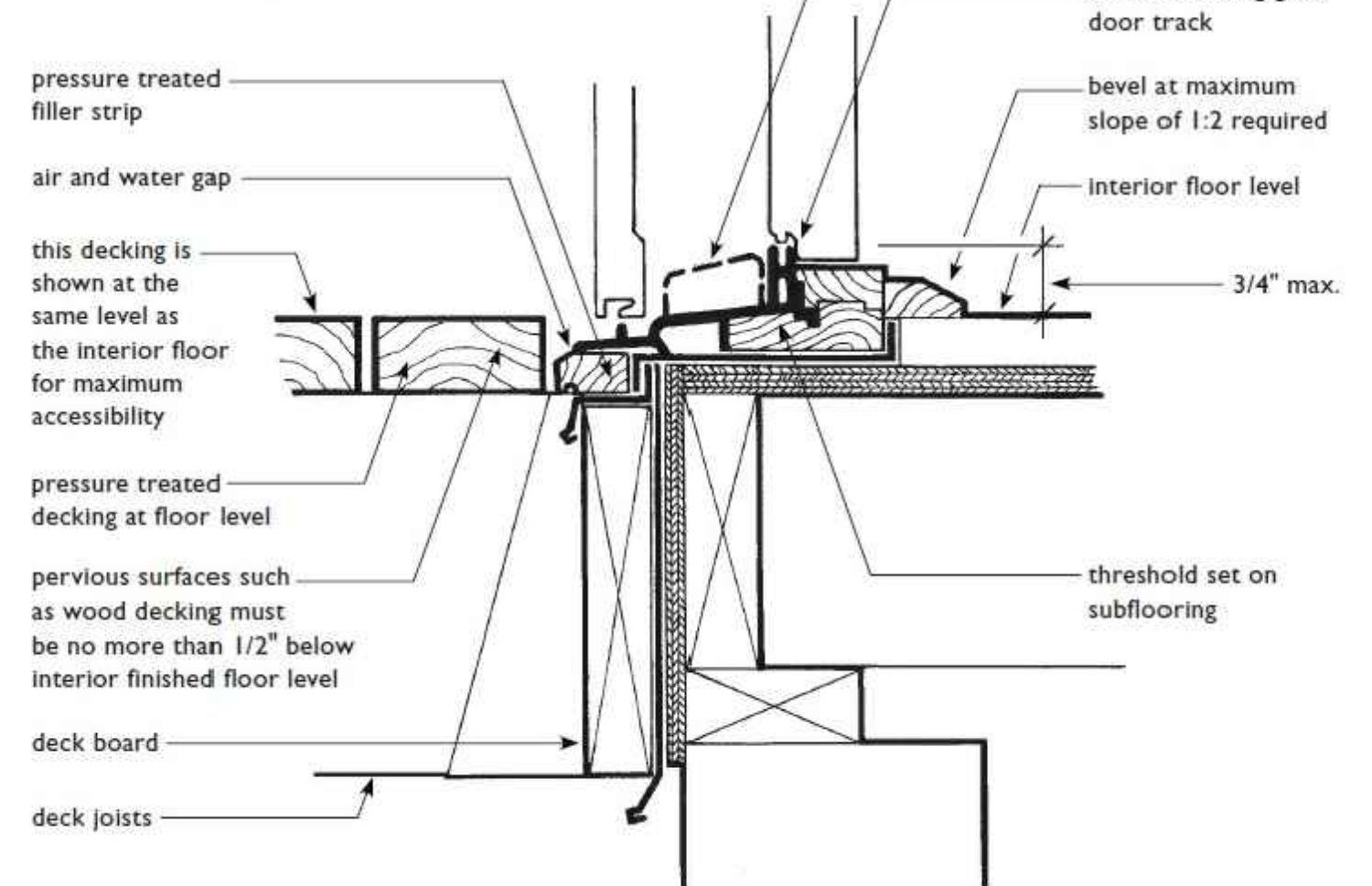
FH2



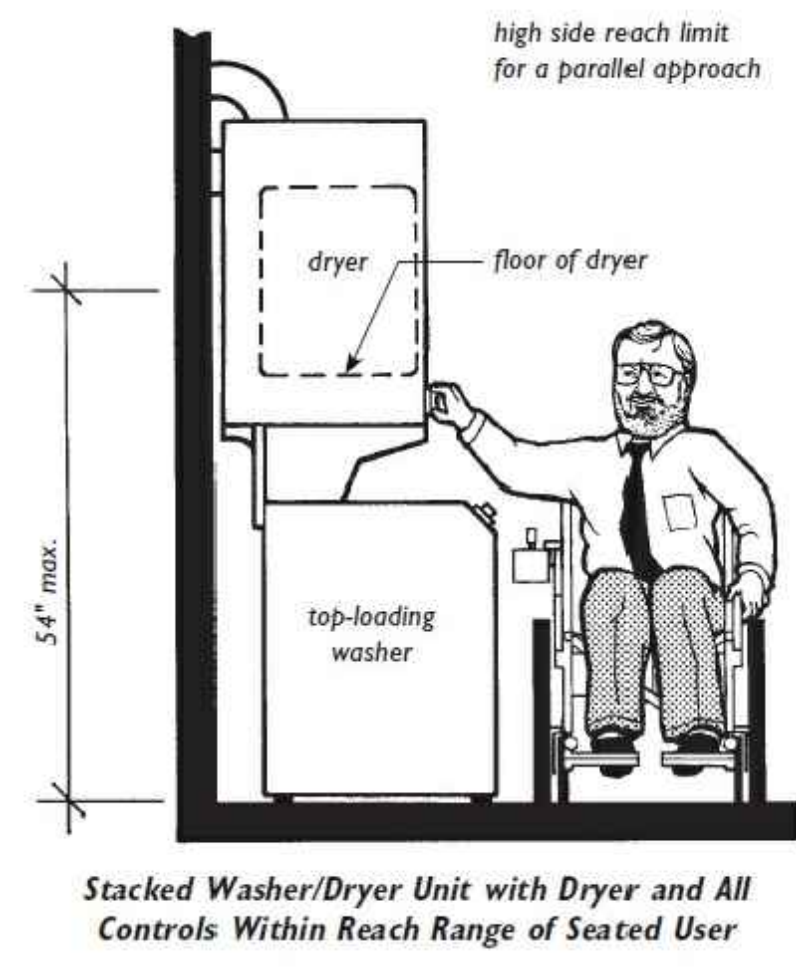
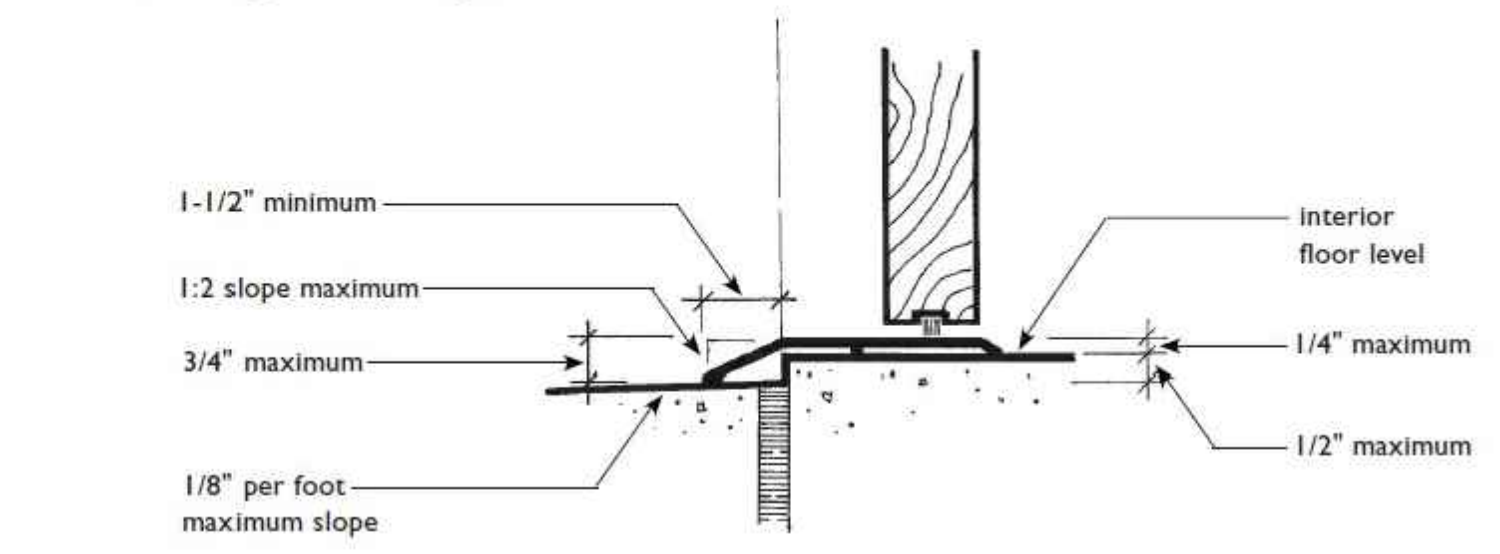
REVISION:

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|------------|-----------|
| DATE: | 10-2-2023 |
| JOB: | 22-3219 |
| SHEET NO.: | |

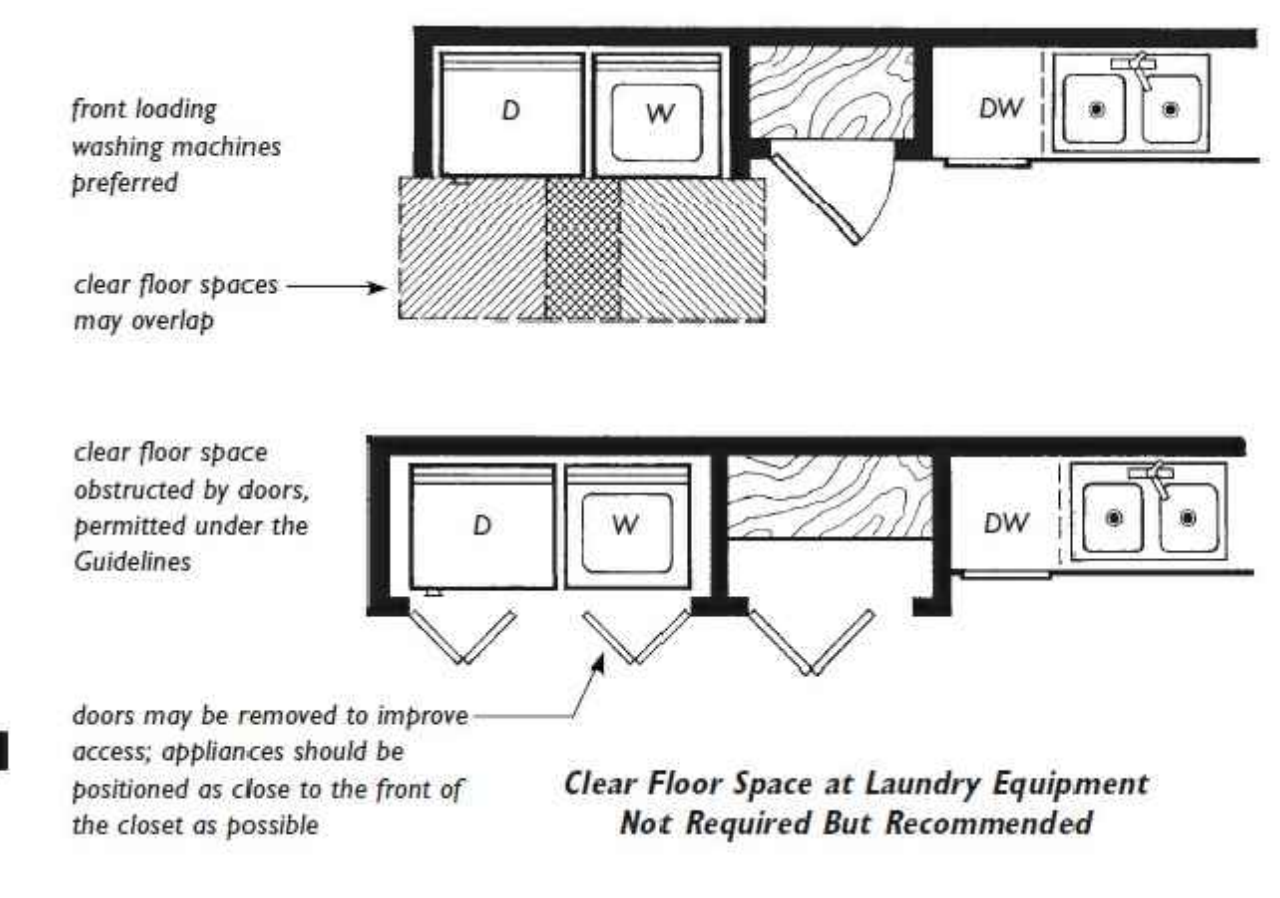
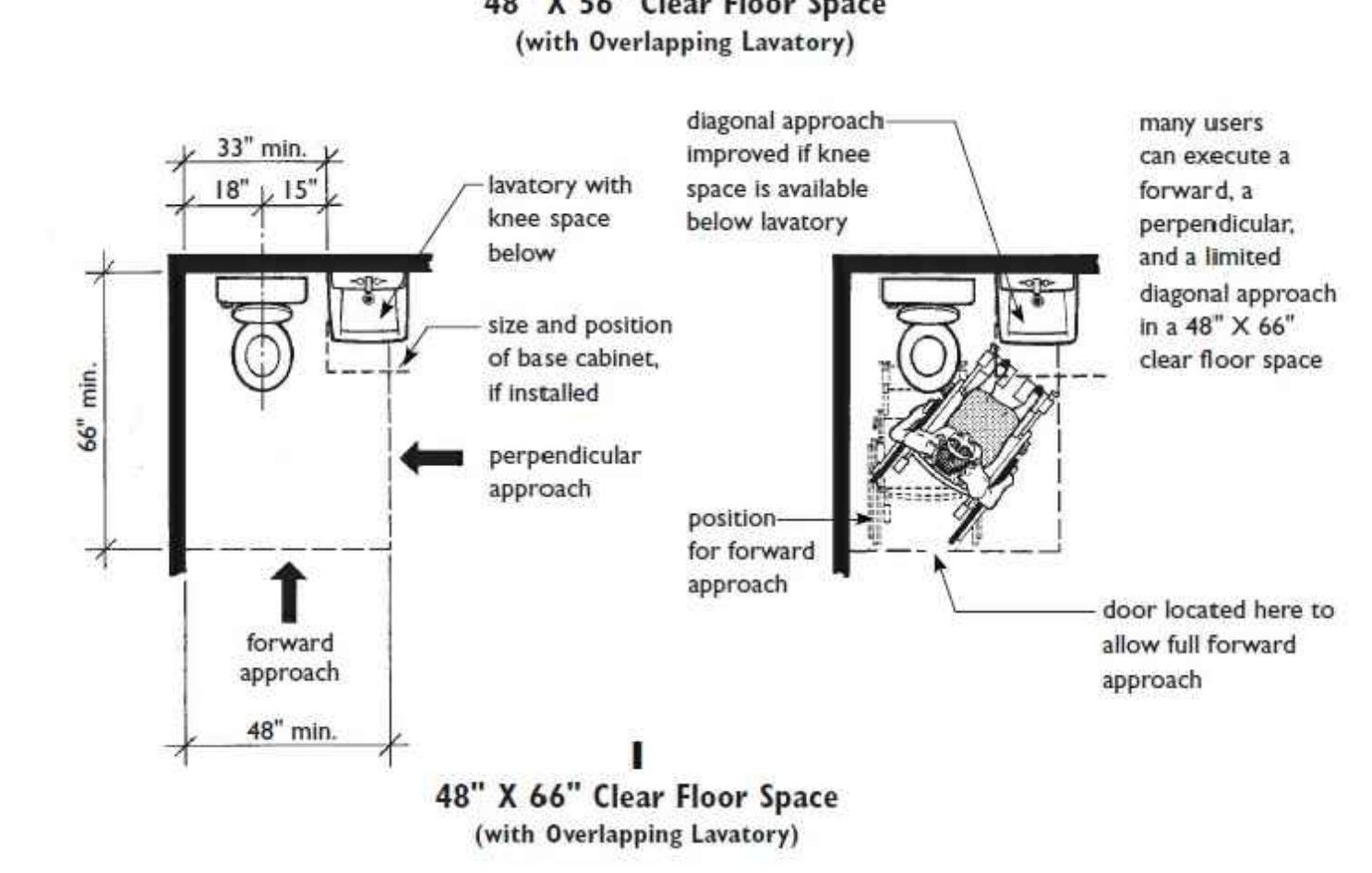
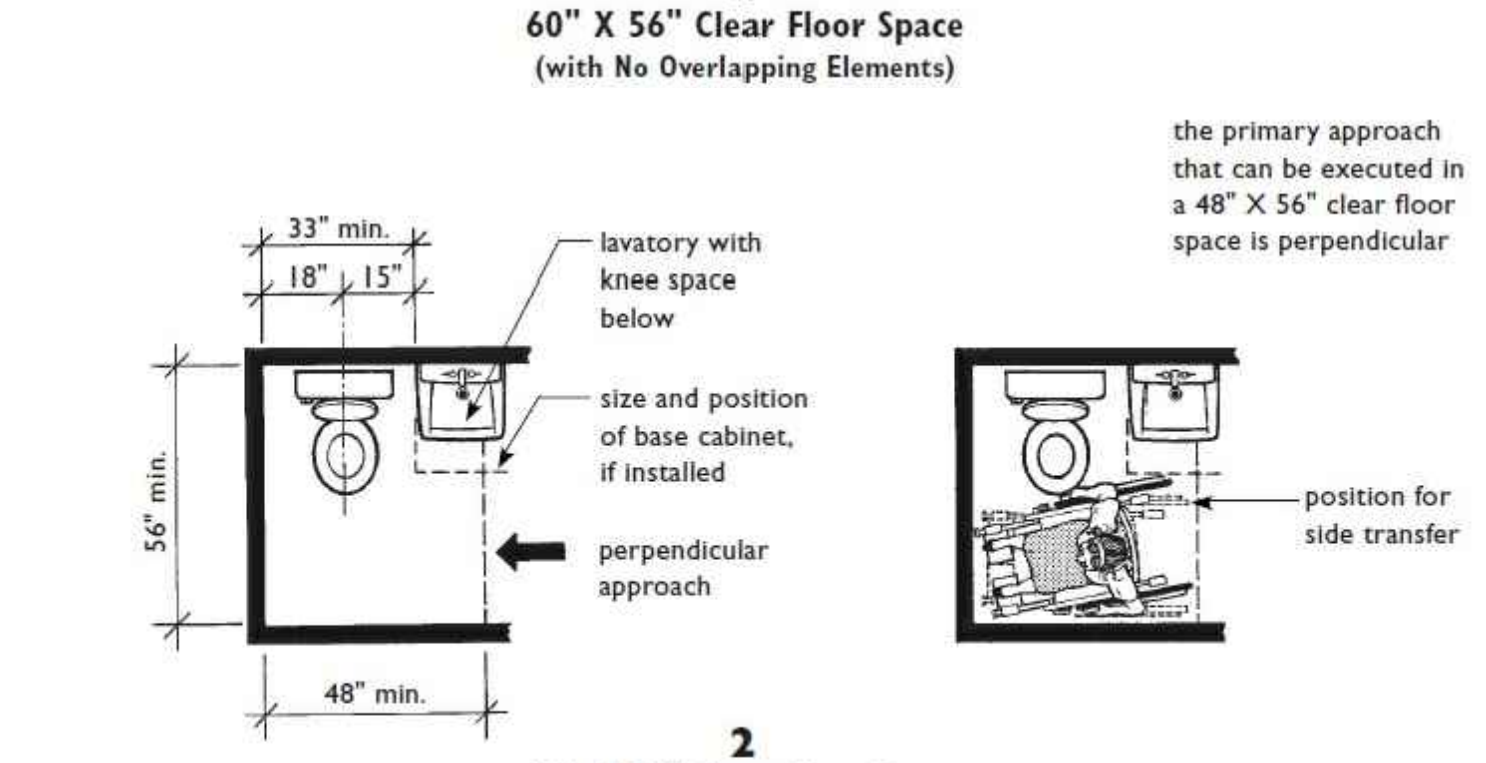
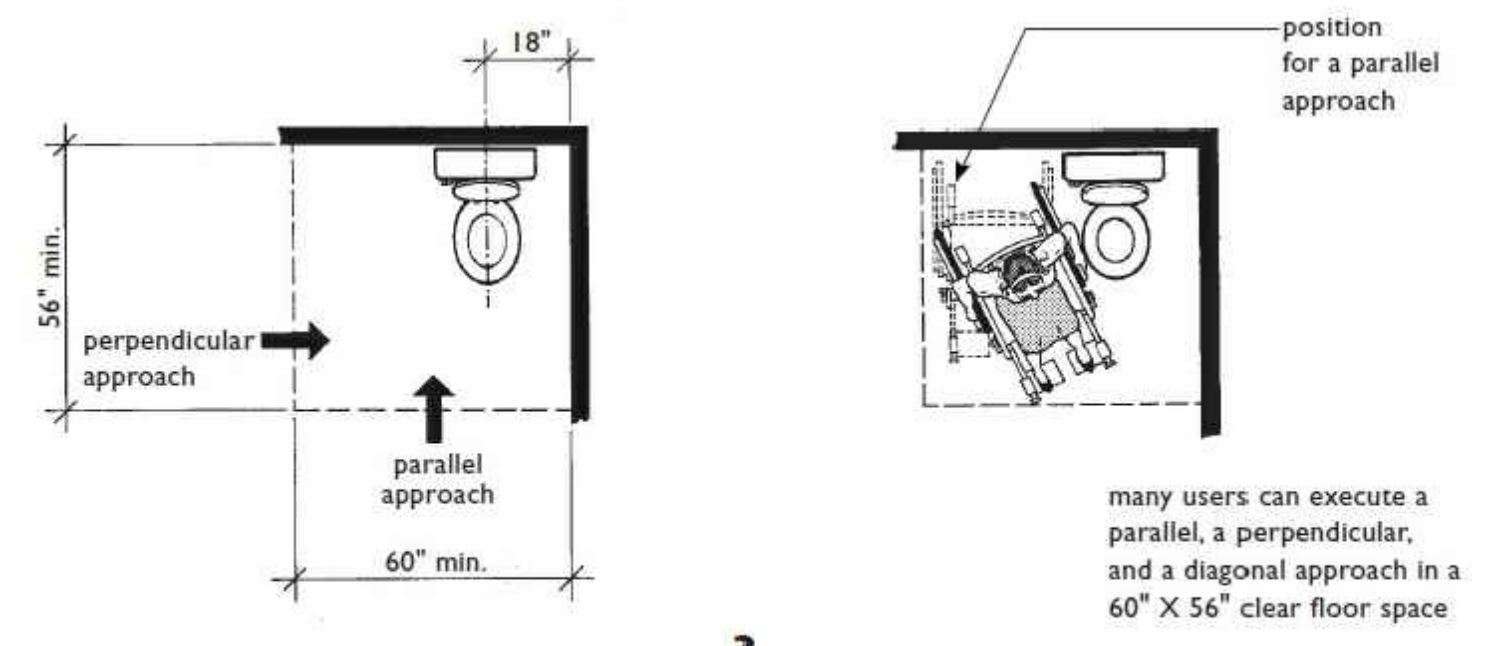
Sliding Secondary Door at Wood Deck
 showing allowable changes in level at exterior sliding glass doors to balcony or patio where 1/2-inch maximum changes in level are permitted.



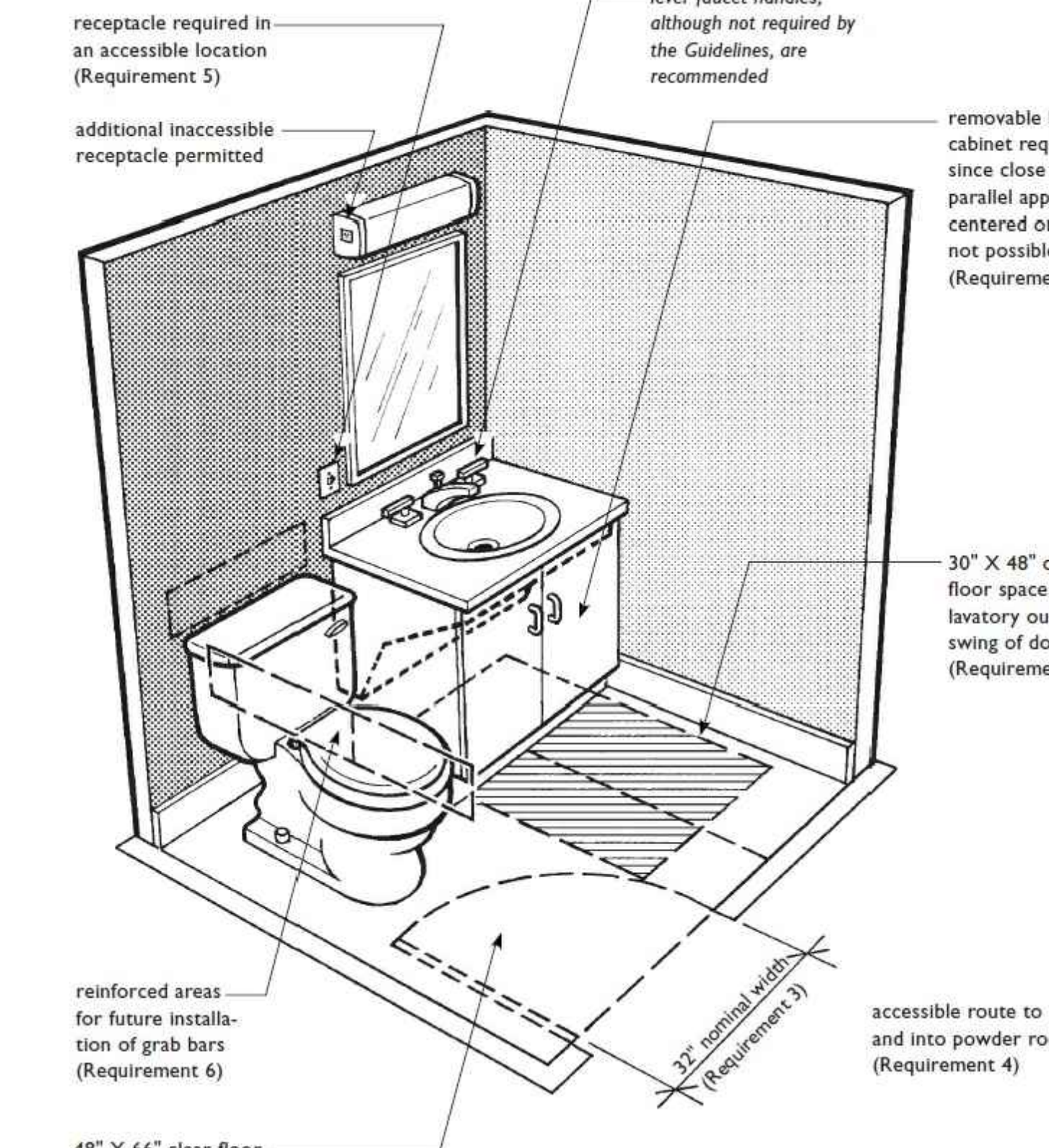
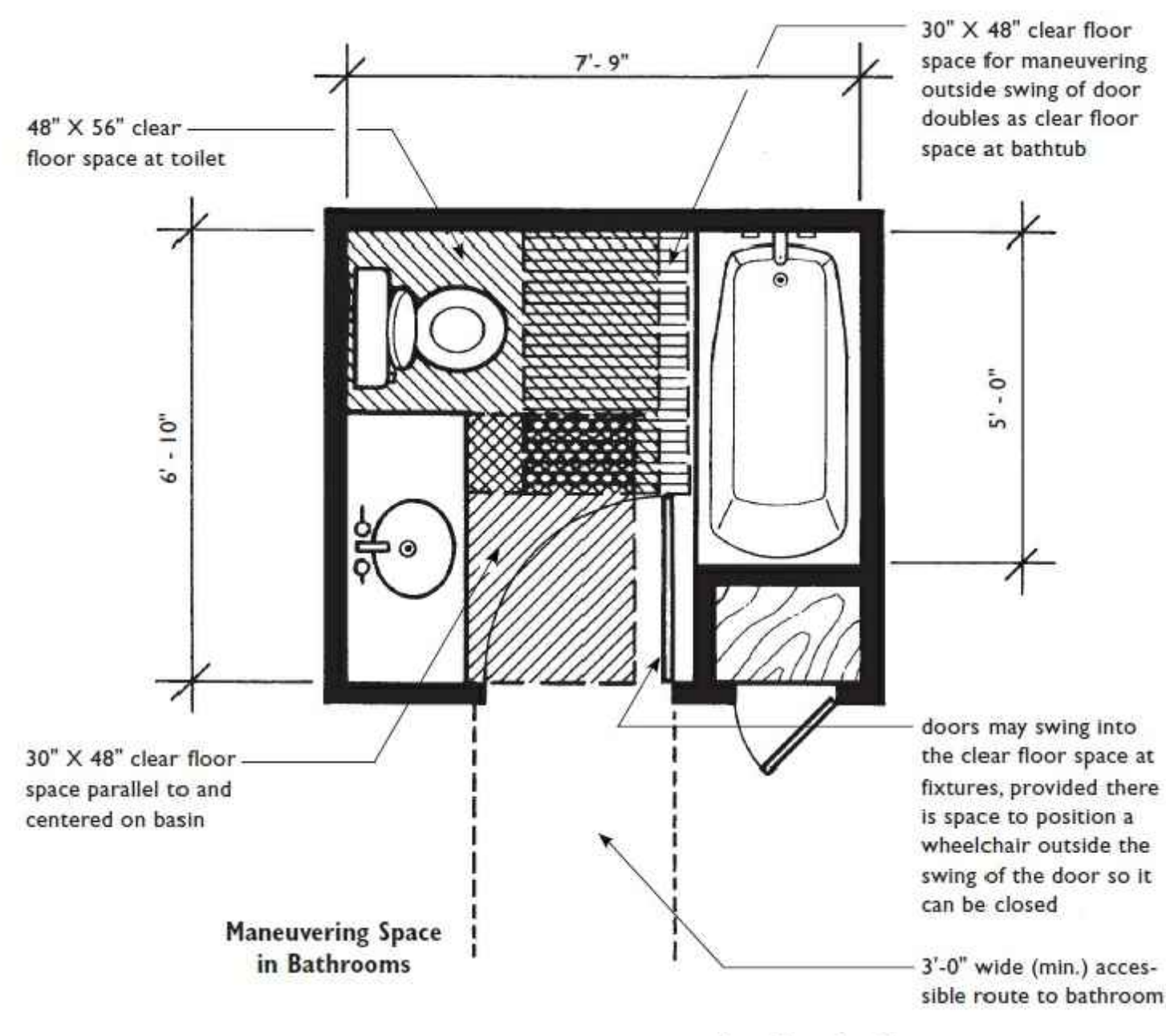
Swinging Primary Entry Door at Concrete Landing
 showing allowable changes in level at primary entry doors with direct exterior access onto concrete or other impervious landing surface where 1/2-inch maximum changes in level are permitted.



Stacked Washer/Dryer Unit with Dryer and All Controls Within Reach Range of Seated User

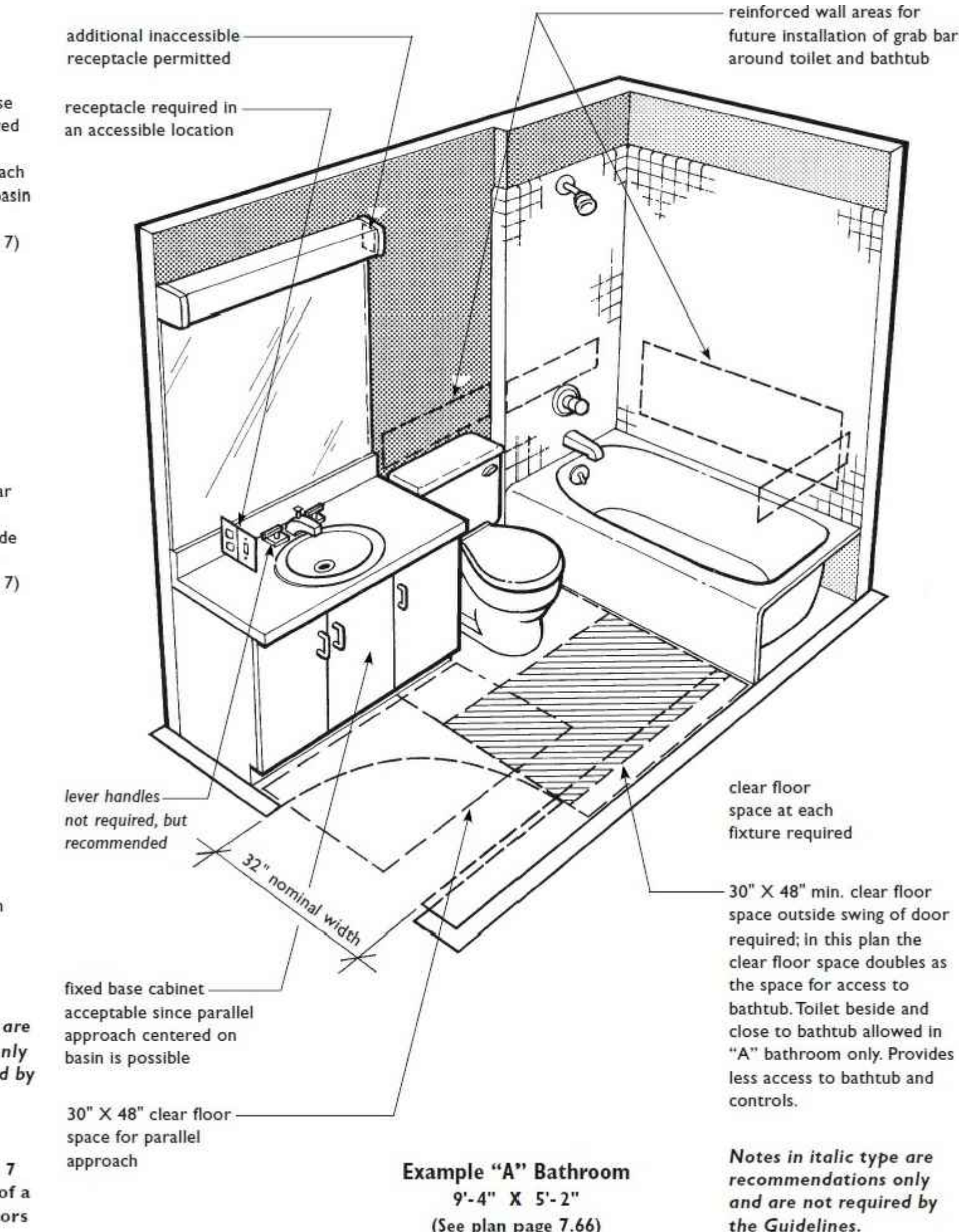
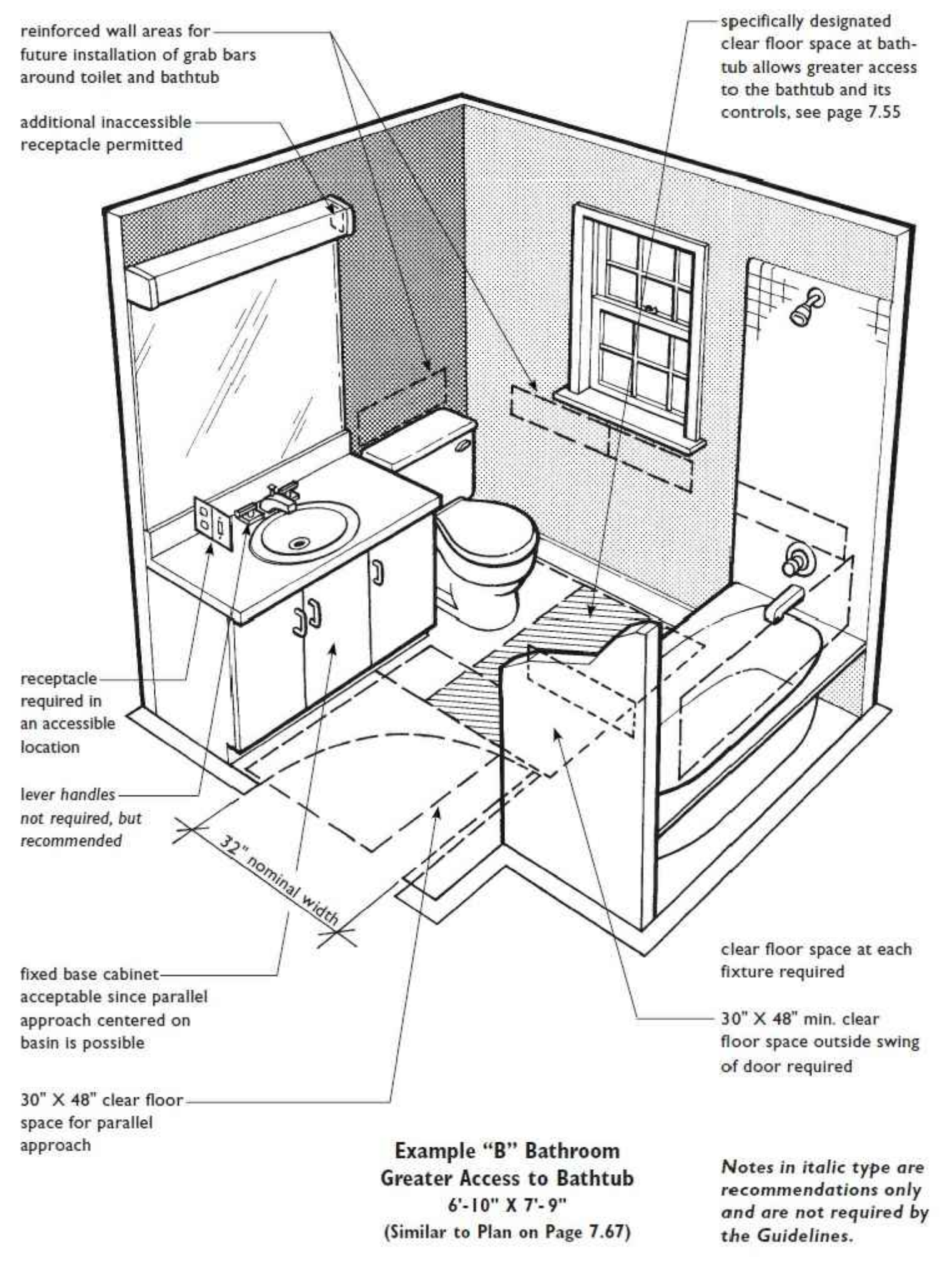


This sheet of drawings has not been reviewed for code compliance.



Powder Room in Single-Story Dwelling Unit Must Meet Only Requirements 3, 4, and 5

Powder Room Must Meet Requirements 3, 4, 5, 6, and 7 When It Is the Only Toilet Facility on the Entry Level of a Multistory Unit in a Building with One or More Elevators



FOR REFERENCE ONLY



Project: Eagle Point_Aurora CO (Type 1)
 Energy Code: 2021 IECC
 Location: Aurora, Colorado
 Construction Type: Multi-Family
 Project Type: New Construction
 Construction Area: 36,406 sq ft
 Cooling Area: 376
 Heating Area: 5 (1600 HBD)
 Permit Number: [Redacted]
 Construction Site: [Redacted] Owner/Agent: [Redacted] Designer/Contractor: [Redacted]

415 N PICADILLY RD

Compliance: Passes using IA Trade-off
 Compliance: All Better Than Code. Report ID: 09/28/23
 Sub-grade indicators are no longer considered in this compliance check path in REScheck. Each disk-grade assembly in the specified climate area must meet the minimum energy code insulation R-value and depth requirements.

| Assembly | Insulation Thickness | Cost | U-Value | R-Value | Req. U-Value | Req. R-Value | Prog. % |
|--------------------------------------|----------------------|-------|---------|---------|--------------|--------------|---------|
| Ceiling Flat Ceiling or Sloped Truss | 3.25 | 80.0 | 0.04 | 0.024 | 0.024 | 174 | 174 |
| Wall Wood Frame, 2 1/2" x 4" | 20.970 | 150 | 0.040 | 0.040 | 0.040 | 708 | 853 |
| Door Glass Door (over 50% glazing) | 480 | 0.300 | 0.330 | 144 | 154 | | |
| Window Vinyl Frame | 1,080 | 0.300 | 0.330 | 324 | 346 | | |
| Window 3-Way Frame | 1,080 | 0.300 | 0.330 | 324 | 348 | | |
| Window 3-Way Frame | 136 | 0.300 | 0.330 | 41 | 44 | | |
| Floor 2x8x16 Joists (insulated) | 606 | 10.0 | 0.480 | 0.480 | 0 | | |

Additional Efficiency Packages!
 Required: 1 Proposed: 1
 Efficient Air Sealing and Ventilation Performance: 10

Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 1 of 10

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other information submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements as REScheck Version 1. REScheck Web was used to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: Title Signature Date

REScheck Software Version 1: REScheck-Web Inspection Checklist

Requirements: 100.0% were addressed directly in the REScheck software. There are no "Comments/Assumptions" columns provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is furnished in a separate table, a reference to that table is provided.

| Section # | Requirement/Provision | Plans Verified | Field Verified | Compliant? | Comments/Assumptions |
|-----------|-------------------------------|----------------|----------------|------------|---|
| 402.1.1 | Ceiling insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.2 | Wall insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.3 | Window and door U-values... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.4 | Floor insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |

Additional Comments/Assumptions:
 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
 Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 2 of 10

| Section # | Requirement/Provision | Plans Verified | Field Verified | Compliant? | Comments/Assumptions |
|-----------|-------------------------------|----------------|----------------|------------|---|
| 402.1.1 | Ceiling insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.2 | Wall insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.3 | Window and door U-values... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.4 | Floor insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |

Additional Comments/Assumptions:
 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
 Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 3 of 10

| Section # | Requirement/Provision | Plans Verified | Field Verified | Compliant? | Comments/Assumptions |
|-----------|-------------------------------|----------------|----------------|------------|---|
| 402.1.1 | Ceiling insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.2 | Wall insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.3 | Window and door U-values... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.4 | Floor insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |

Additional Comments/Assumptions:
 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
 Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 4 of 10

| Section # | Requirement/Provision | Plans Verified | Field Verified | Compliant? | Comments/Assumptions |
|-----------|-------------------------------|----------------|----------------|------------|---|
| 402.1.1 | Ceiling insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.2 | Wall insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.3 | Window and door U-values... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.4 | Floor insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |

Additional Comments/Assumptions:
 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
 Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 5 of 10

| Section # | Requirement/Provision | Plans Verified | Field Verified | Compliant? | Comments/Assumptions |
|-----------|-------------------------------|----------------|----------------|------------|---|
| 402.1.1 | Ceiling insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.2 | Wall insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.3 | Window and door U-values... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.4 | Floor insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |

Additional Comments/Assumptions:
 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
 Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 7 of 10

| Section # | Requirement/Provision | Plans Verified | Field Verified | Compliant? | Comments/Assumptions |
|-----------|-------------------------------|----------------|----------------|------------|---|
| 402.1.1 | Ceiling insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.2 | Wall insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.3 | Window and door U-values... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.4 | Floor insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |

Additional Comments/Assumptions:
 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
 Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 8 of 10

| Section # | Requirement/Provision | Plans Verified | Field Verified | Compliant? | Comments/Assumptions |
|-----------|-------------------------------|----------------|----------------|------------|---|
| 402.1.1 | Ceiling insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.2 | Wall insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.3 | Window and door U-values... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.4 | Floor insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |

Additional Comments/Assumptions:
 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
 Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 9 of 10

| Section # | Requirement/Provision | Plans Verified | Field Verified | Compliant? | Comments/Assumptions |
|-----------|-------------------------------|----------------|----------------|------------|---|
| 402.1.1 | Ceiling insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.2 | Wall insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.3 | Window and door U-values... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |
| 402.1.4 | Floor insulation R-value... | Pass | Pass | Compliant | See the previous Assumptions table for notes. |

Additional Comments/Assumptions:
 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
 Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 10 of 10

2021 IECC Energy Efficiency Certificate

| | |
|--------------------------------|------------|
| Minimum Energy | 5.00 |
| Below-Grade Walls | 0.00 |
| Roof | 60.00 |
| Ceiling / Raft | 60.00 |
| Outdoor (unconditioned spaces) | 0.00 |
| Windows (Floor Slab) | 0.30 |
| Door | 0.30 |
| Heating System | Efficiency |
| Cooling System | Efficiency |
| Water Heating | Efficiency |
| Notes: | None |
| Comments: | None |

Additional Comments/Assumptions:
 1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)
 Project Title: Eagle Point_Aurora CO (Type 1) Report date: 09/28/23
 Date Recheck: [Redacted] Page 10 of 10

A BUILDING TYPE 1 APARTMENT RESCHECK SHEETS

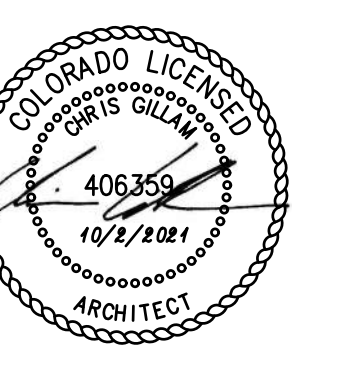
JonesGillamRenZ
 1881 Main Street, Suite 301
 Kansas City, MO 64108
 jgr@jgrarchitects.com

730 N. Ninth
 Salina, KS 67401
 785.827.0386



THE RESERVES at EAGLE POINT
 415 NORTH PICADILLY RD
 COLORADO

AURORA,
 415 NORTH PICADILLY RD



REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

EN1

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: Y. Munoz
 Date: Feb 15, 2024
 2021 INTERNATIONAL CODES & 2023 NEC

Generated by REScheck-Web Software Compliance Certificate

Project: Eagle Point_Aurora CO (Type 4)
Energy Code: 2021 IECC
Location: Aurora, Colorado
Contractor: Multi-Family Home Construction
Insulation R-Value: 13.76 R-Value
Glazing Area: 5 (6000 WOOD)
Additional Efficiency Packages: Resorption 1, Proposed 2

Project Title: Eagle Point_Aurora CO (Type 4)
Data Source:
Report date: 09/26/23
Page 1 of 10

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other information submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements in REScheck Version 1. REScheck Web will not comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: Title: Signature: Date:

REScheck Software Version: REScheck-Web Inspection Checklist Energy Code: 2021 IECC

Table with 5 columns: Section #, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Comments/Assumptions. Includes sections 402.1.1 through 402.1.10.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 4)
Data Source:
Report date: 09/26/23
Page 1 of 10

Table with 5 columns: Section #, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Comments/Assumptions. Includes sections 402.1.11 through 402.1.14.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 4)
Data Source:
Report date: 09/26/23
Page 4 of 10

Table with 5 columns: Section #, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Comments/Assumptions. Includes sections 402.1.15 through 402.1.20.

Project Title: Eagle Point_Aurora CO (Type 4)
Data Source:
Report date: 09/26/23
Page 5 of 10

Table with 5 columns: Section #, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Comments/Assumptions. Includes sections 402.1.21 through 402.1.24.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 4)
Data Source:
Report date: 09/26/23
Page 6 of 10

Table with 5 columns: Section #, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Comments/Assumptions. Includes sections 402.1.25 through 402.1.28.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 4)
Data Source:
Report date: 09/26/23
Page 7 of 10

Table with 5 columns: Section #, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Comments/Assumptions. Includes sections 402.1.29 through 402.1.34.

Project Title: Eagle Point_Aurora CO (Type 4)
Data Source:
Report date: 09/26/23
Page 8 of 10

Table with 5 columns: Section #, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Comments/Assumptions. Includes sections 402.1.35 through 402.1.40.

Project Title: Eagle Point_Aurora CO (Type 4)
Data Source:
Report date: 09/26/23
Page 9 of 10

Table with 5 columns: Section #, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Comments/Assumptions. Includes sections 402.1.41 through 402.1.46.

Additional Comments/Assumptions:

Project Title: Eagle Point_Aurora CO (Type 4)
Data Source:
Report date: 09/26/23
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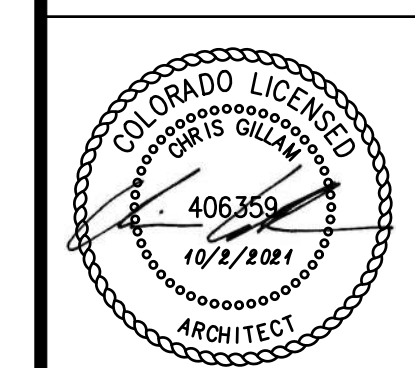
2021 IECC Energy Efficiency Certificate

Table with 2 columns: Item, Value. Includes items like Above-Grade Wall, Below-Grade Wall, Floor, Ceiling & Roof, Windows, Door, Heating & Cooling Equipment, Water Heating, and Comments.

A BUILDING TYPE 4 APARTMENT RESCHECK SHEETS

JonesGillamRenZ JGR 730 N. Ninth Salina, KS 67401 785.927.0386 jgr@jgarchitects.com

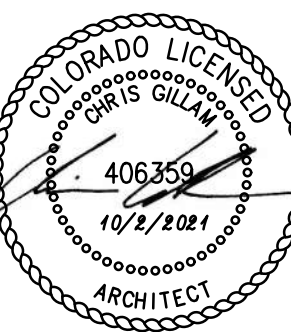
THE RESERVES at EAGLE POINT 415 NORTH PICADILLY RD AURORA, COLORADO



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

This sheet of drawings has not been reviewed for code compliance.

EN2



REVISION:

DATE: 10-2-2023

JOB: 22-3219

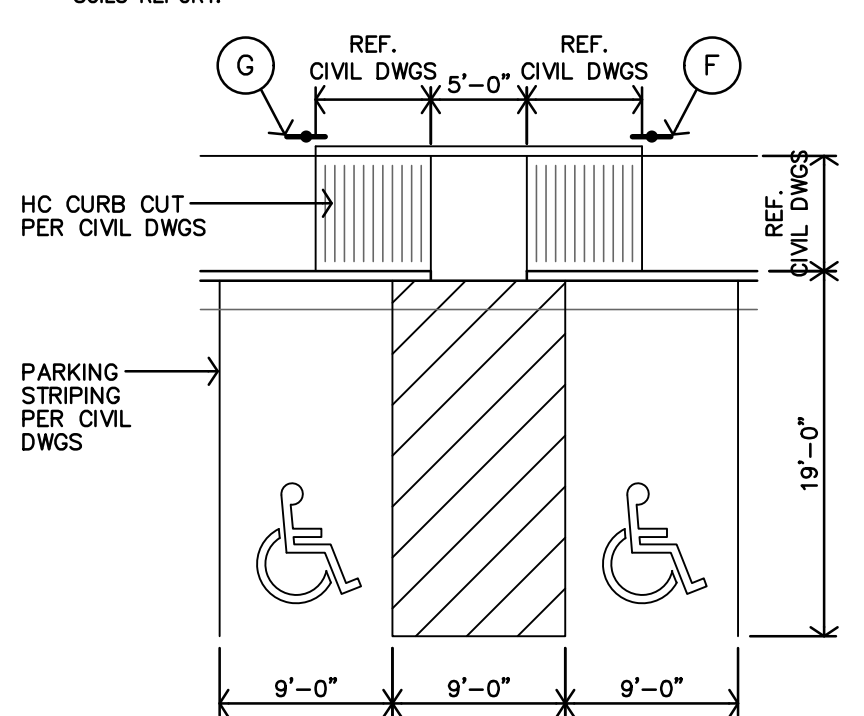
SHEET NO.:

A1.1

SITE PLAN KEY NOTES

| | |
|---|--|
| A | MONUMENT SIGN REF. SHEET A1.3 |
| B | KNOX BOX COORD. W/ FIRE DEPT. (TYP) |
| C | MECH. CLOSET REF. & COORDINATE W/ W/E DRAWINGS (TYP) |
| D | HC TRASH ENCLOSURE REF. SHEET A1.4 |
| E | DASHED LINE INDICATES ACCESSIBLE PATH |
| F | NEW POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60'A.F.F. (TYP) |
| G | NEW POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60'A.F.F. (TYP) |
| H | PAINTED STRIPPING @ ACCESSIBLE ROUTE |
| J | BIKE RACK - 2 BIKES PER RACK. REF. SPEC. & DETAILS K.L/A1.3 |
| K | 72" HEIGHT BLACK SECURITY FENCE ALONG FULL LENGTH OF SOUTHERN PROPERTY LINE. REF. H/A1.4 |
| L | PLAYGROUND - (1) BUMP SLIDE & (1) SWING SET. REF. ENLARGED PLAN ON SHEET A1.3 |
| M | CONCRETE PAVER PLAZA. REF. EAGLE RIDGE DEVELOPMENT GUIDELINES & G/A1.4 |
| N | BENCH - (10) PARK BENCHES REF. J/A1.3 |
| P | TRASH RECEPT. - (3) TRASH RECEPTACLE PER MASTER PLAN GUIDELINES REF. A1.3 |
| Q | MONUMENT SIGN - DESIGN PER EAGLE RIDGE MASTER PLAN |

NOTE:
 CONC. SLOPE ACROSS SLABS NO MORE THAN 2% (1/8" PER 12") OVER 4" THICK GRANULAR FILL (MIN.) COMPACTED OVER SUBGRADE, PREP PER SOILS REPORT.



B HANDICAPPED PARKING
 1"=10'-0"

PARKING SUMMARY

| CODE REQUIRED | |
|-------------------|-----|
| TOTAL STALLS | 203 |
| STALLS PER ZONING | 164 |
| GUEST STALLS | 39 |
| HANDICAP STALLS | 14 |

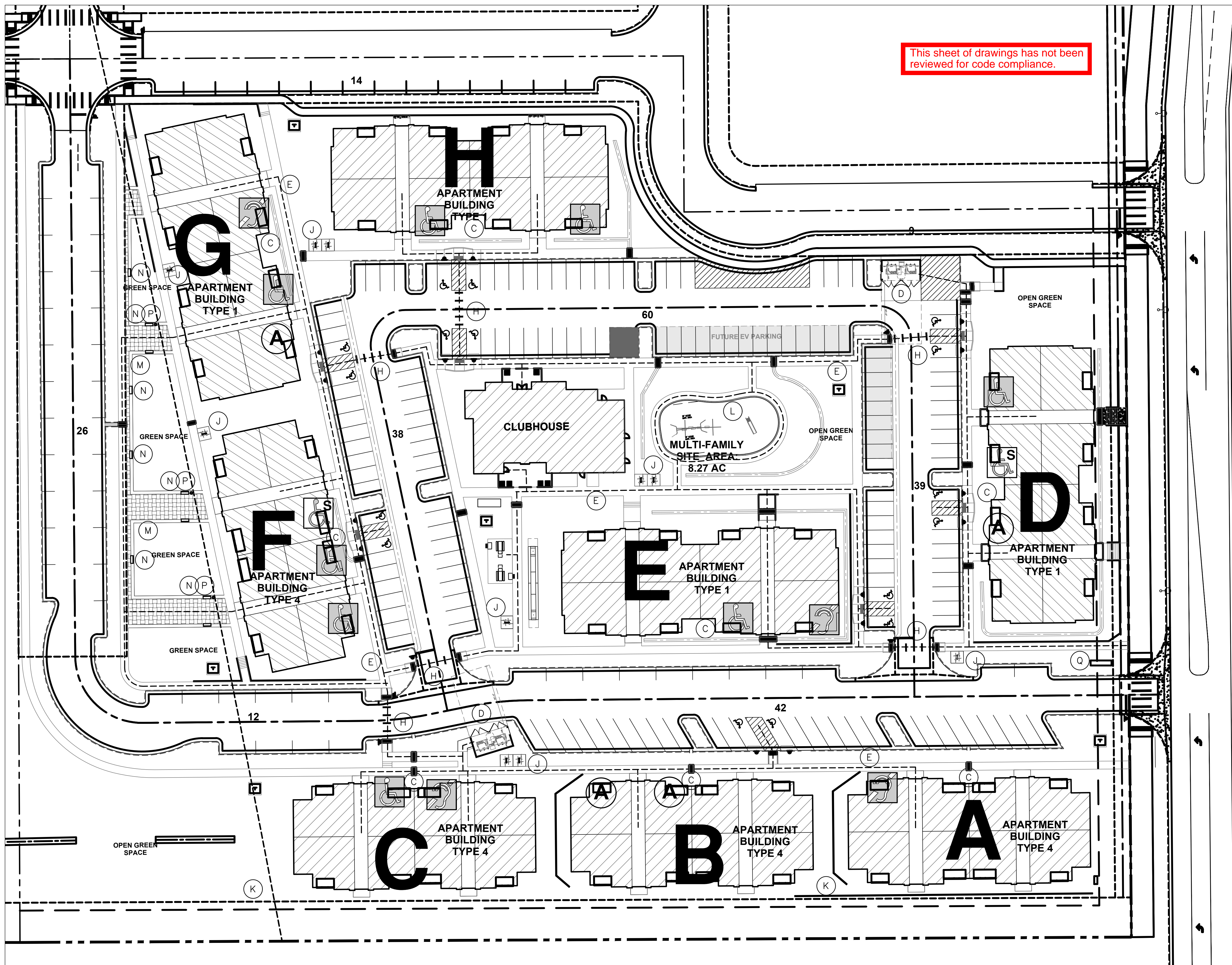
| PROVIDED | |
|------------------------------|------|
| TOTAL STALLS | 220 |
| STANDARD STALLS | 167 |
| GUEST STALLS | 39 |
| HANDICAP STALLS | 14 |
| PARKING RATIO (STALLS/UNITS) | 1.15 |
| BICYCLE PARKING SPACES | 20 |

LOT COVERAGE

| SITE ACRES | SITE SQUARE FOOT | BLDG COVERAGE (GSF FOOTPRINT) | LOT COVERAGE |
|------------|------------------|-------------------------------|--------------|
| 8.26 ACRES | 360,083 sf | 80,848 sf | 22.40% |

UNIT SUMMARY

| UNIT LABEL | UNIT TYPE | TOTAL NO. of UNITS |
|------------|---------------|--------------------|
| A | 1-BED, 1-BATH | 48 |
| B | 2-BED, 2-BATH | 96 |
| C | 3-BED, 2-BATH | 48 |
| TOTAL | | 192 |



A SITE PLAN
 1"=30'-0"

PROJECT SUMMARY

| BUILDING LABEL | BUILDING TYPE | UNIT LABEL | BUILDING SQUARE FOOT | NO. of BUILDINGS | TOTAL PROJECT SF | GROSS PROJECT SF |
|-----------------|---------------------------|------------|-------------------------------|------------------|---------------------------------|-------------------|
| CLUBHOUSE | CLUBHOUSE | | HTD 4,980 sf UNH | 1 | HTD 4,980 sf UNH | 4,980 SF |
| APT BLDG Type 1 | 3 FLOORS 12-2BR,12-3BR | B,C | HTD 27,408 sf UNH 4,982 sf | 4 | HTD 109,632 sf UNH 19,928 sf | 129,560 sf |
| APT BLDG Type 4 | 3 FLOORS 12-1BR,12-2BR | A,B | HTD 22,656 sf UNH 5,318 sf | 4 | HTD 90,624 sf UNH 21,272 sf | 111,896 sf |
| TOTAL | | | | 9 | | 246,436 sf |

UN-HEATED sf INCLUDES: MECHANICAL CLOSETS, EXTERIOR STORAGE, PATIOS, BALCONIES, & BREEZEWAYS

APARTMENT BUILDINGS TYPE 1 SUMMARY

FIRST FLOOR

| UNIT LABEL | UNIT TYPE | HEATED SF PER UNIT | UNITS PER FLOOR | HEATED SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| B | 2-BED, 2-BATH | 1,059 sf | 4 | 4,236 sf |
| C | 3-BED, 2-BATH | 1,225 sf | 4 | 4,900 sf |
| TOTAL | | | 8 | 9,136 sf |

| UNIT LABEL | UNIT TYPE | UN-HTD SF PER UNIT | UNITS PER FLOOR | UN-HTD SF PER FLOOR |
|--------------|-------------------|--------------------|-----------------|---------------------|
| B | 2-BED, 2-BATH | 214 sf | 3 | 642 sf |
| B | 2-BED, 2-BATH | 201 sf | 1 | 228 sf |
| | MECHANICAL CLOSET | 27 sf | | |
| C | 3-BED, 2-BATH | 200 sf | 4 | 800 sf |
| TOTAL | | | 8 | 1,670 sf |

SECOND FLOOR

| UNIT LABEL | UNIT TYPE | HEATED SF PER UNIT | UNITS PER FLOOR | HEATED SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| 2B | 2-BED, 2-BATH | 1,059 sf | 4 | 4,236 sf |
| 3B | 3-BED, 2-BATH | 1,225 sf | 4 | 4,900 sf |
| TOTAL | | | 8 | 9,136 sf |

| UNIT LABEL | UNIT TYPE | UN-HTD SF PER UNIT | UNITS PER FLOOR | UN-HTD SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| B | 2-BED, 2-BATH | 214 sf | 4 | 856 sf |
| C | 3-BED, 2-BATH | 200 sf | 4 | 800 sf |
| TOTAL | | | 8 | 1,656 sf |

THIRD FLOOR

| UNIT LABEL | UNIT TYPE | HEATED SF PER UNIT | UNITS PER FLOOR | HEATED SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| B | 2-BED, 2-BATH | 1,058 sf | 4 | 4,236 sf |
| C | 3-BED, 2-BATH | 1,225 sf | 4 | 4,900 sf |
| TOTAL | | | 8 | 9,136 sf |

| UNIT LABEL | UNIT TYPE | UN-HTD SF PER UNIT | UNITS PER FLOOR | UN-HTD SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| B | 2-BED, 2-BATH | 212 sf | 4 | 856 sf |
| C | 3-BED, 2-BATH | 200 sf | 4 | 800 sf |
| TOTAL | | | 8 | 1,656 sf |

SUMMARY

| | HEATED SF PER FLOOR | UN-HTD SF PER FLOOR | TOTAL SF PER BUILDING |
|--------------|---------------------|---------------------|-----------------------|
| FIRST FLOOR | 9,136 sf | 1,670 sf | 10,806 sf |
| SECOND FLOOR | 9,136 sf | 1,656 sf | 10,792 sf |
| THIRD FLOOR | 9,136 sf | 1,656 sf | 10,792 sf |
| TOTAL | 27,408 sf | 4,982 sf | 32,390 sf |

UN-HEATED sf INCLUDES: MECHANICAL CLOSETS, EXTERIOR STORAGE, PATIOS, BALCONIES, & BREEZEWAYS

APARTMENT BUILDINGS TYPE 4 SUMMARY

FIRST FLOOR

| UNIT LABEL | UNIT TYPE | HEATED SF PER UNIT | UNITS PER FLOOR | HEATED SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| A | 1-BED, 1-BATH | 829 sf | 4 | 3,316 sf |
| B | 2-BED, 2-BATH | 1,059 sf | 4 | 4,236 sf |
| TOTAL | | | 8 | 7,552 sf |

| UNIT LABEL | UNIT TYPE | UN-HTD SF PER UNIT | UNITS PER FLOOR | UN-HTD SF PER FLOOR |
|--------------|-------------------|--------------------|-----------------|---------------------|
| A | 1-BED, 1-BATH | 231 sf | 2 | 462 sf |
| A | 1-BED, 1-BATH | 218 sf | 1 | 218 sf |
| A | 1-BED, 1-BATH | 195 sf | 1 | 222 sf |
| | MECHANICAL CLOSET | 27 sf | | |
| B | 2-BED, 2-BATH | 214 sf | 4 | 856 sf |
| TOTAL | | | 8 | 1,758 sf |

SECOND FLOOR

| UNIT LABEL | UNIT TYPE | HEATED SF PER UNIT | UNITS PER FLOOR | HEATED SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| A | 1-BED, 1-BATH | 829 sf | 4 | 3,316 sf |
| B | 2-BED, 2-BATH | 1,059 sf | 4 | 4,236 sf |
| TOTAL | | | 8 | 7,552 sf |

| UNIT LABEL | UNIT TYPE | UN-HTD SF PER UNIT | UNITS PER FLOOR | UN-HTD SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| A | 1-BED, 1-BATH | 231 sf | 4 | 924 sf |
| B | 2-BED, 2-BATH | 214 sf | 4 | 856 sf |
| TOTAL | | | 8 | 1,780 sf |

THIRD FLOOR

| UNIT LABEL | UNIT TYPE | HEATED SF PER UNIT | UNITS PER FLOOR | HEATED SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| A | 1-BED, 1-BATH | 829 sf | 4 | 3,316 sf |
| B | 2-BED, 2-BATH | 1,059 sf | 4 | 4,236 sf |
| TOTAL | | | 8 | 7,552 sf |

| UNIT LABEL | UNIT TYPE | UN-HTD SF PER UNIT | UNITS PER FLOOR | UN-HTD SF PER FLOOR |
|--------------|---------------|--------------------|-----------------|---------------------|
| A | 1-BED, 1-BATH | 231 sf | 4 | 924 sf |
| B | 2-BED, 2-BATH | 214 sf | 4 | 856 sf |
| TOTAL | | | 8 | 1,780 sf |

SUMMARY

| | HEATED SF PER FLOOR | UN-HTD SF PER FLOOR | TOTAL SF PER BUILDING |
|--------------|---------------------|---------------------|-----------------------|
| FIRST FLOOR | 7,552 sf | 1,758 sf | 9,310 sf |
| SECOND FLOOR | 7,552 sf | 1,780 sf | 9,332 sf |
| THIRD FLOOR | 7,552 sf | 1,780 sf | 9,332 sf |
| TOTAL | 22,656 sf | 5,318 sf | 27,974 sf |

UN-HEATED sf INCLUDES: MECHANICAL CLOSETS, EXTERIOR STORAGE, PATIOS, BALCONIES, & BREEZEWAYS

APARTMENT CHART

NOTE: UNIT NUMBERS SHOWN ARE FOR CONSTRUCTION PURPOSES ONLY & DO NOT REFLECT FINAL UNIT NUMBERING/LETTERING.

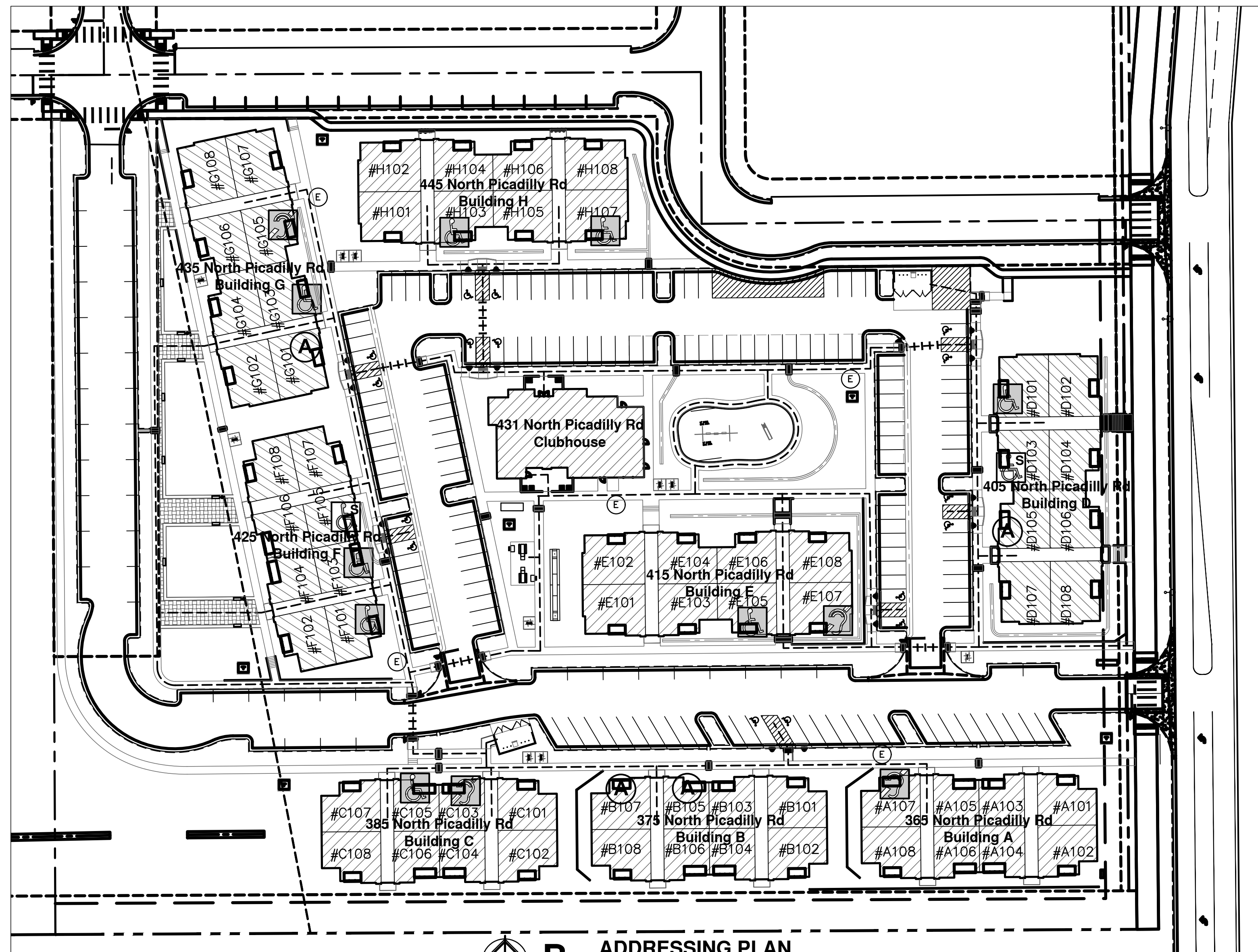
| TYPE OF APARTMENT | BLDG A | BLDG B | BLDG C | BLDG D | BLDG E | BLDG F | BLDG G | BLDG H | TOTAL |
|---|--------------------------------|------------|-----------|-----------|-----------|------------|-----------|------------|------------|
| ACCESSIBLE UNITS (w/ REMOVEABLE TUB SEAT) | | | C105 | D101 | E105 | F101, F103 | G103 | H103, H107 | 8 |
| ACCESSIBLE UNITS (ROLL-IN SHOWER) | | | | D103 | | F105 | | | 2 |
| HEARING/VISION IMPAIRED & ADAPTABLE UNITS | A107 | | C103 | | E107 | | G105 | | 4 |
| TYPE-A UNITS | | B105, B107 | | D105 | | | G101 | | 4 |
| TYPE-B UNITS | REMAINING FIRST FLOOR UNITS | | | | | | | | 46 |
| STANDARD UNITS | ALL SECOND & THIRD FLOOR UNITS | | | | | | | | 128 |
| TOTAL | 24 | 24 | 24 | 24 | 24 | 24 | 24 | 24 | 192 |

C105 - 1BED ACCESSIBLE
F103 - 1BED ACCESSIBLE
F101 - 2BED ACCESSIBLE
E105 - 2BED ACCESSIBLE
G103 - 2BED ACCESSIBLE
H103 - 2BED ACCESSIBLE
D101 - 3BED ACCESSIBLE
H107 - 3BED ACCESSIBLE

F105 - 1BED ACCESSIBLE (ROLL-IN)
D103 - 2BED ACCESSIBLE (ROLL-IN)

C103 - 1BED HEARING/VISION
A107 - 2BED HEARING/VISION
G105 - 2BED HEARING/VISION
E107 - 3BED HEARING/VISION

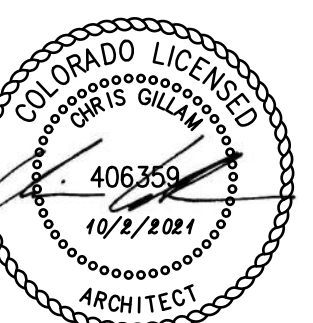
B105 - 1BED TYPE-A
B107 - 2BED TYPE-A
G101 - 2BED TYPE-A
G101 - 3BED TYPE-A



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785.827.0386
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JGR

THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA, COLORADO

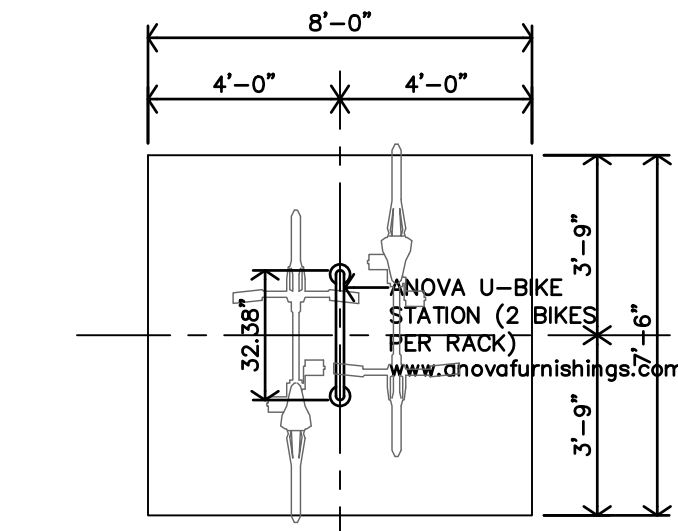


REVISION:

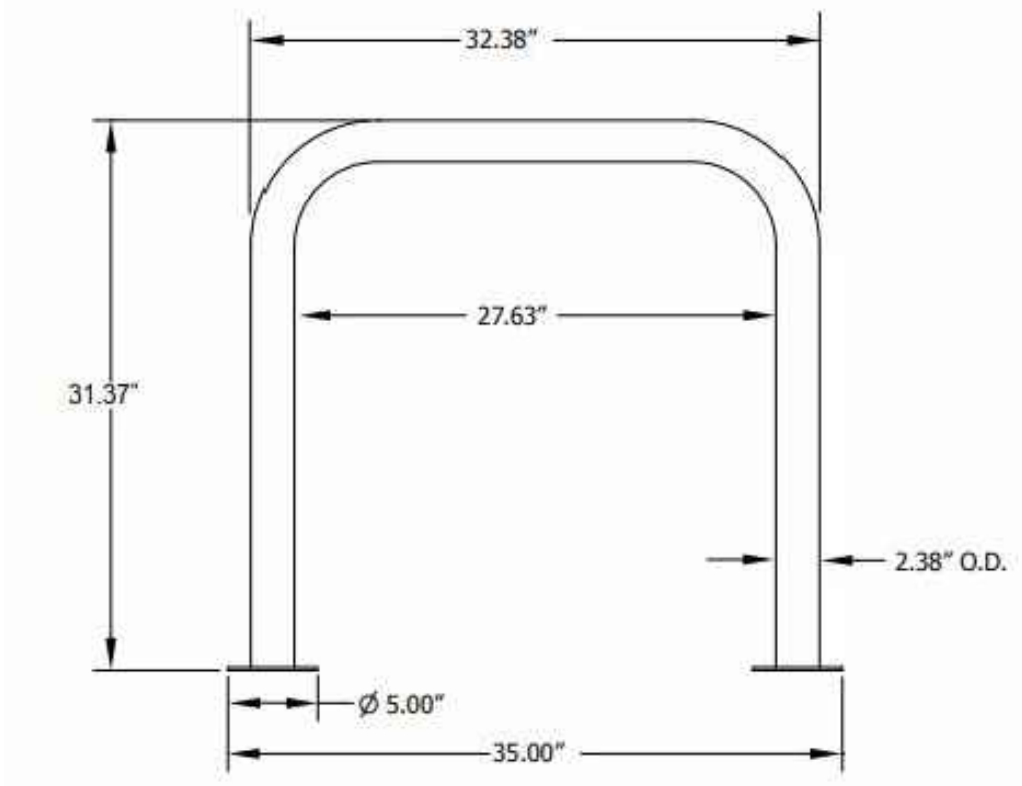
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

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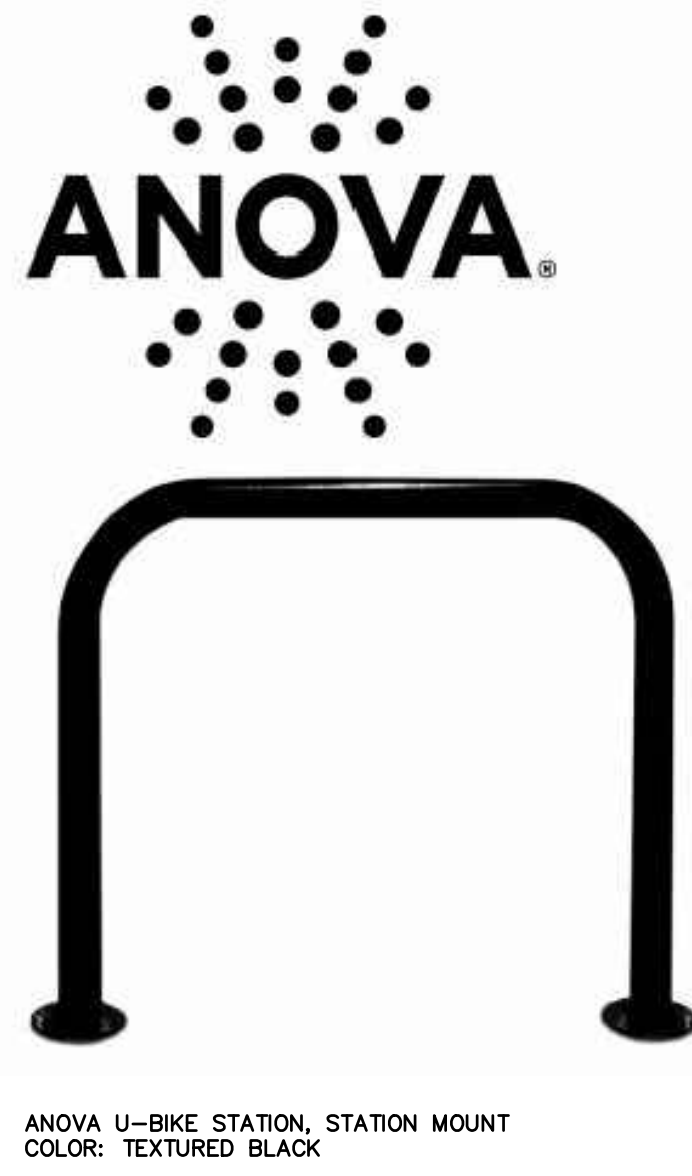
A1.2



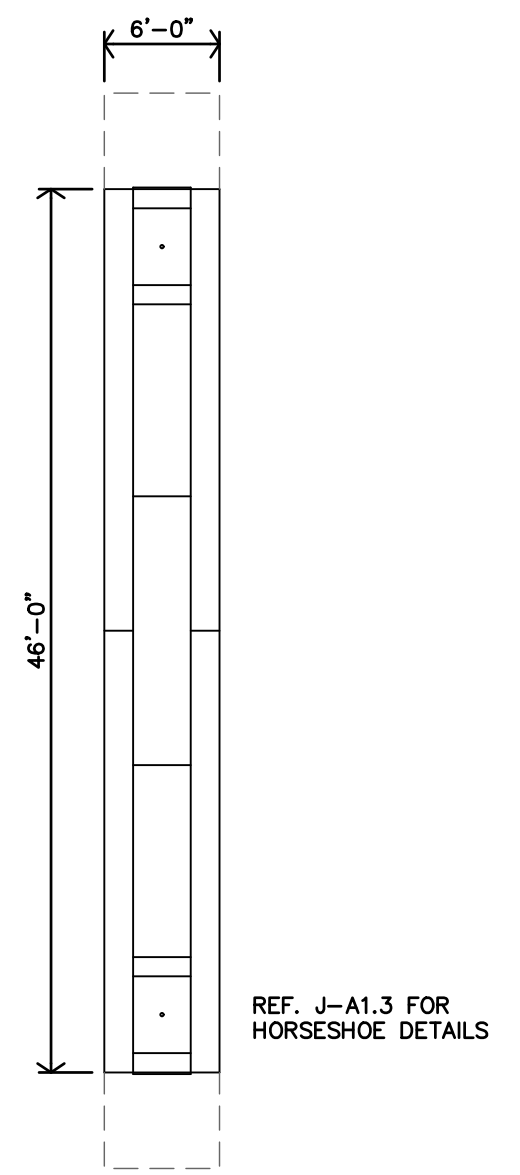
L BIKE RACK PLAN
1/4"=1'-0"



K BIKE RACK



J OUTDOOR BENCH
NO SCALE
RENDEZVOUS 6' CONTOUR BENCH
COLOR: TEXTURED BLACK



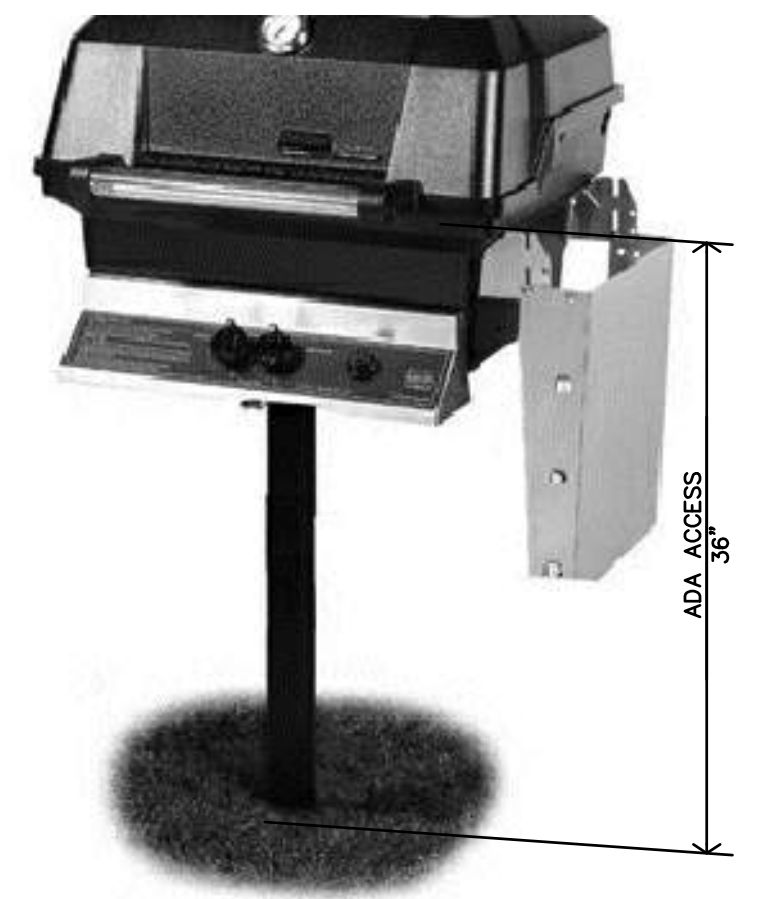
H HORSESHOE PLAN
1"=10'-0"



G PICNIC TABLE
NO SCALE
(1) EVEREST SERIES 6'-0" HEAVY DUTY PICNIC TABLE
(www.theparkcatalog.com) (item no.595-6005)
COLOR TO BE DETERMINED BY ARCHITECT/OWNER



F ACCESSIBLE PICNIC TABLE
NO SCALE
(1) EVEREST SERIES 8'-0" HEAVY DUTY ADA SINGLE SIDED PICNIC TABLE
(www.theparkcatalog.com) (item no.595-6007)



E BBQ GRILL
NO SCALE
MHP PROPANE GAS GRILL WITH STAINLESS STEEL SHELVES AND STAINLESS GRIDS ON IN-GROUND POST
(www.bbqguys.com) (Item no.1516308 model no. JNR40D-P)

6 Foot Bump Wave Slide

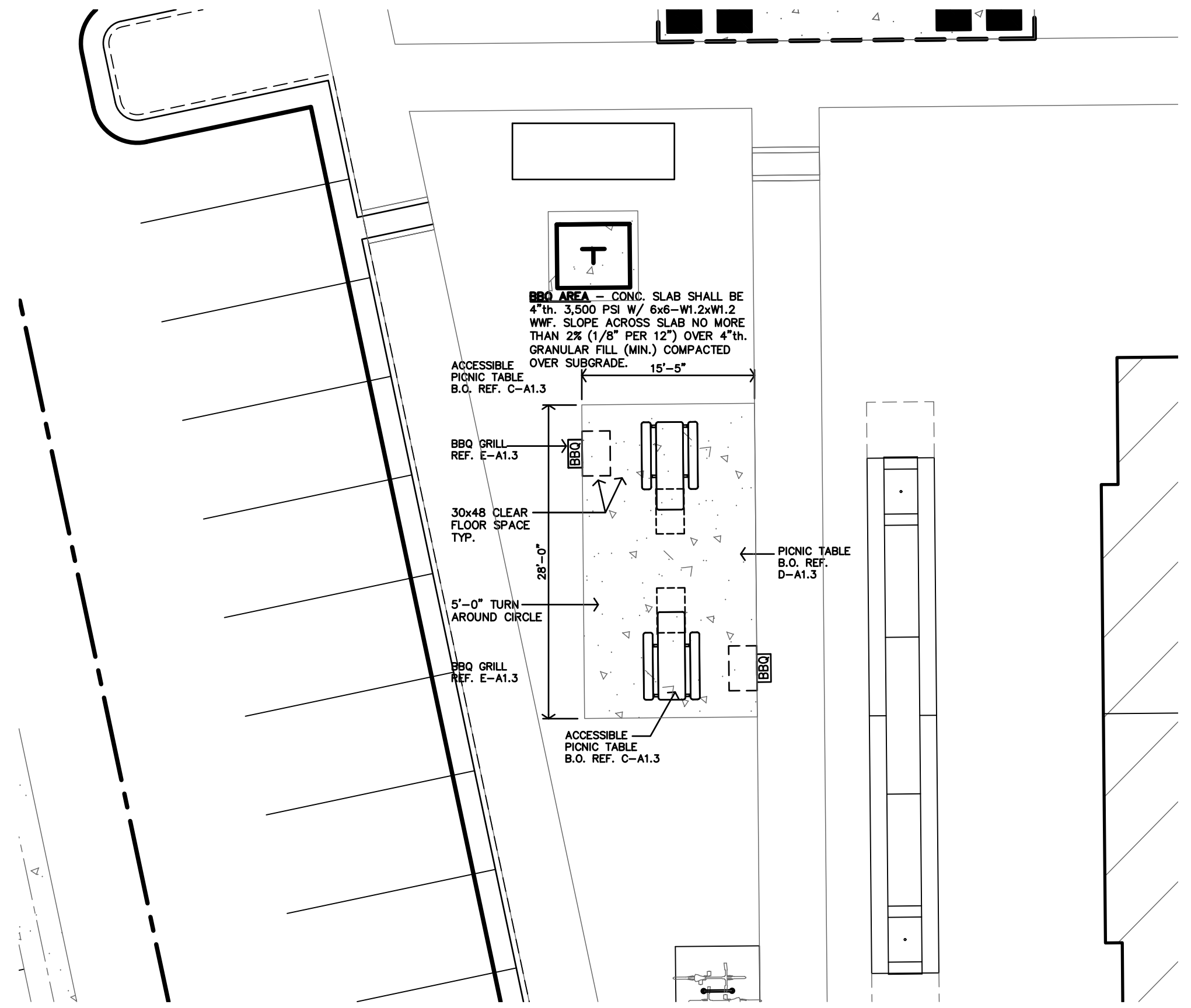


D (1) WAVE SLIDE
NO SCALE
STATE OF PLAY 6' WAVE SLIDE

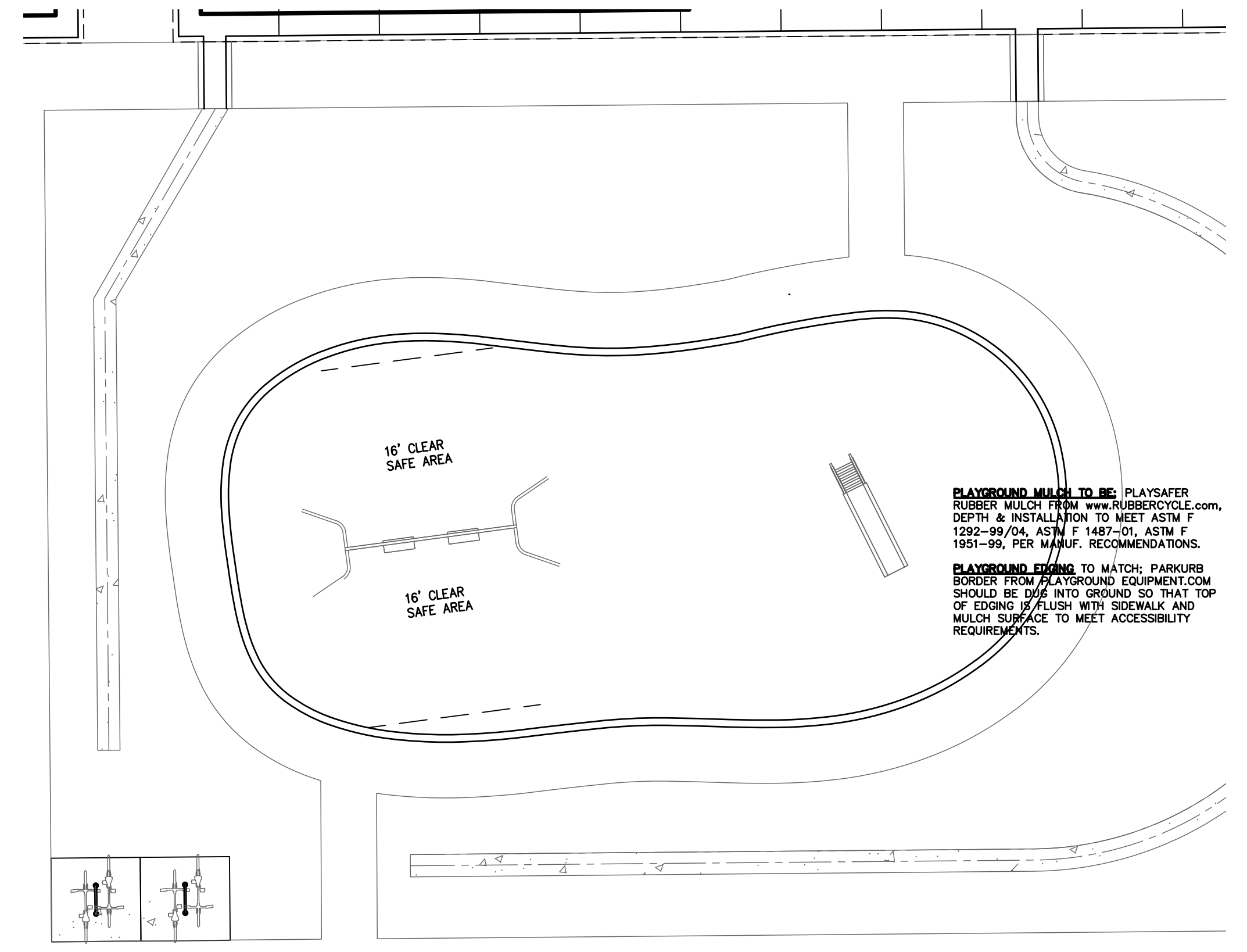


C (1) SWING SET
NO SCALE
STATE OF PLAY PRIMARY BI-POD 8' SWING

This sheet of drawings has not been reviewed for code compliance.



B ENLARGED BBQ
1"=10'-0"

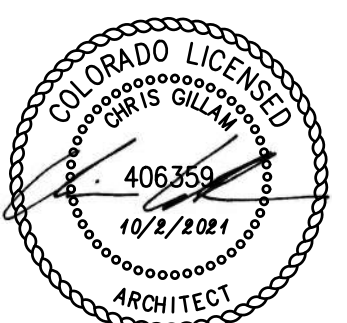


A ENLARGED PLAYGROUND
1"=10'-0"



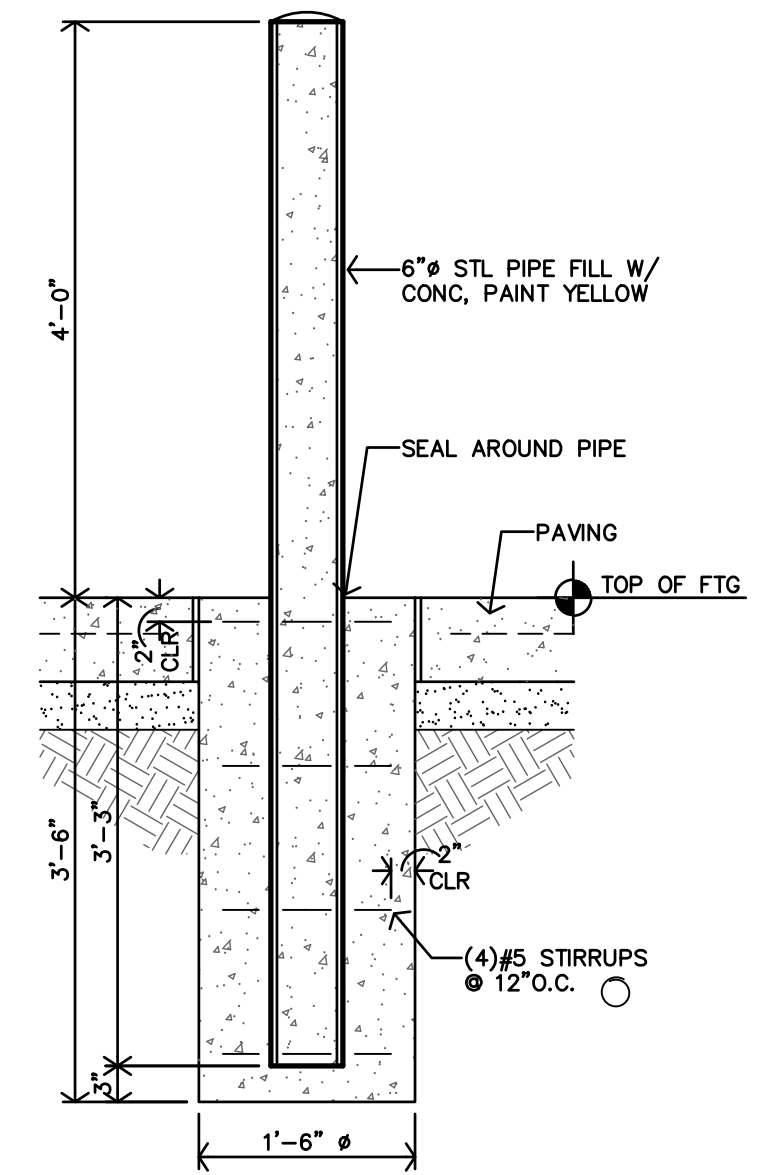
REVISION:

DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

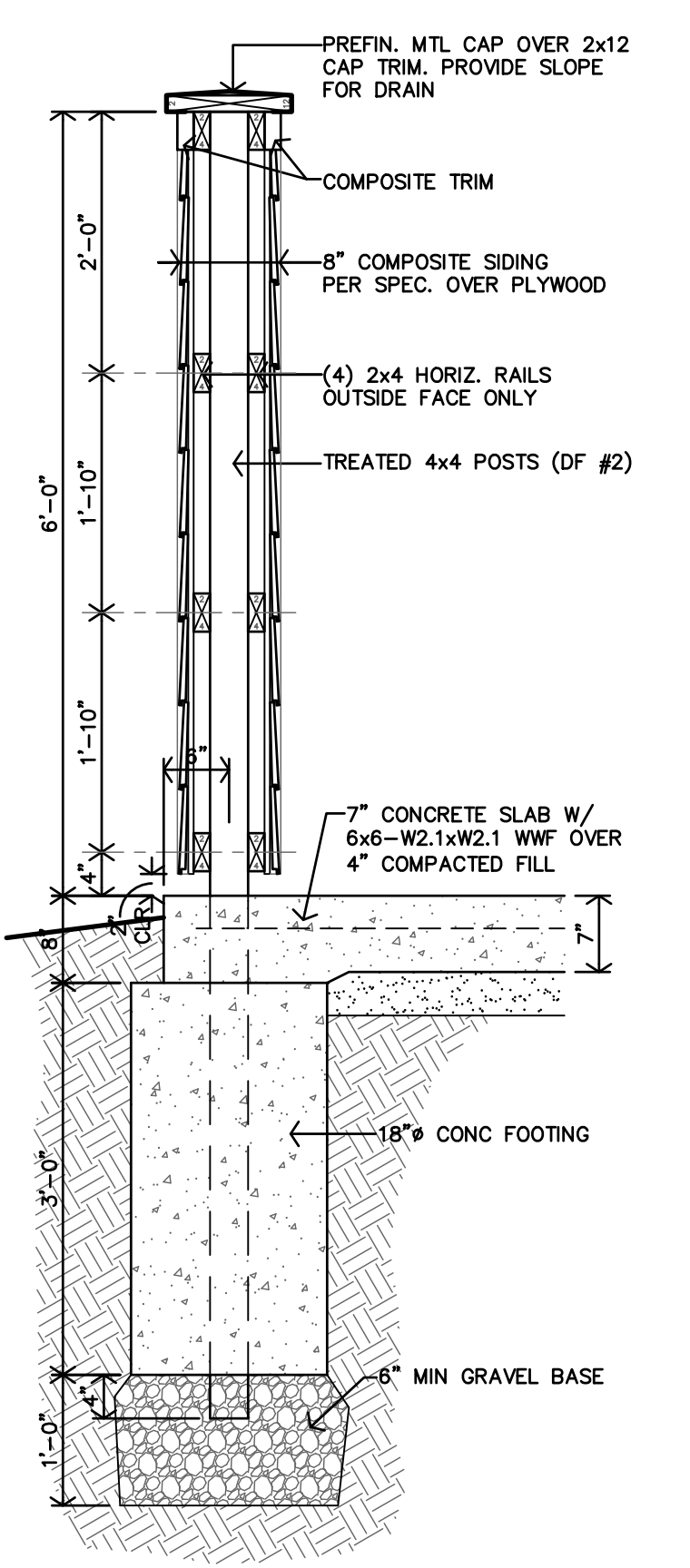


REVISION:

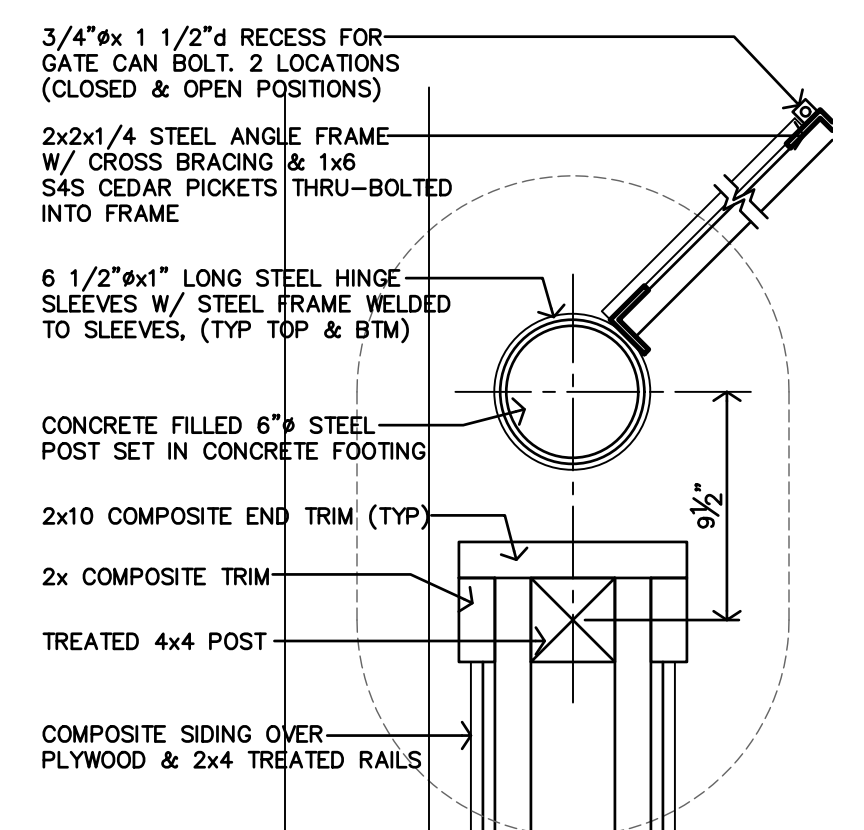
| | |
|------------|-----------|
| DATE: | 10-2-2023 |
| JOB: | 22-3219 |
| SHEET NO.: | |



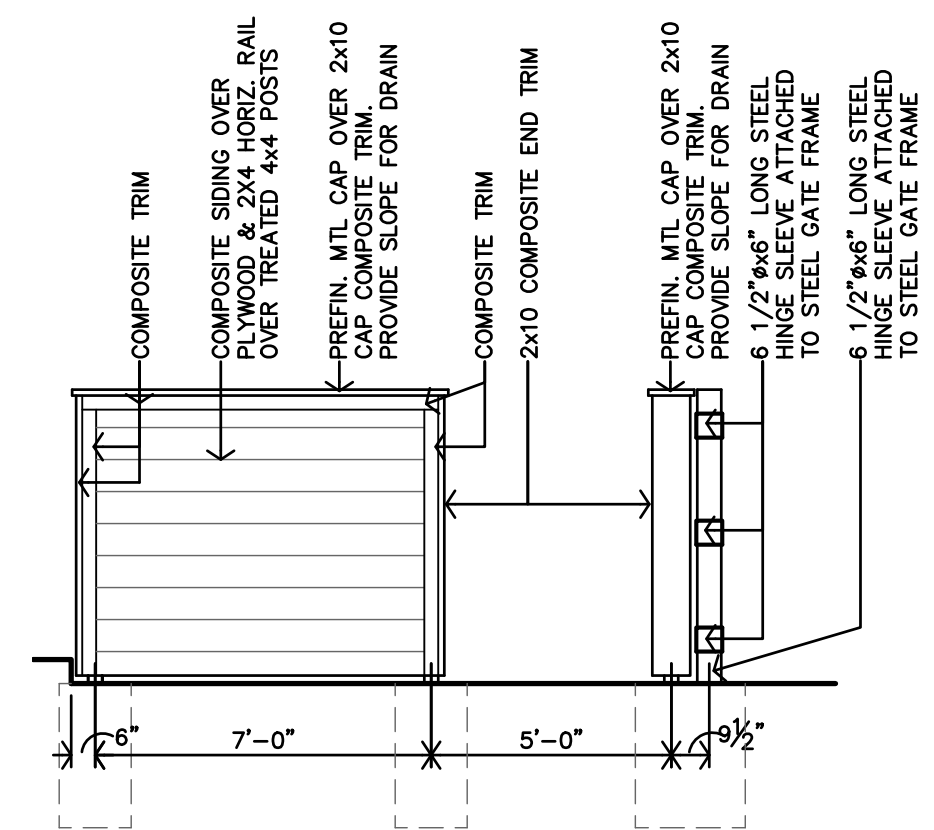
F TRASH ENCLOSURE BOLLARD SECTION
 3/4"=1'-0"



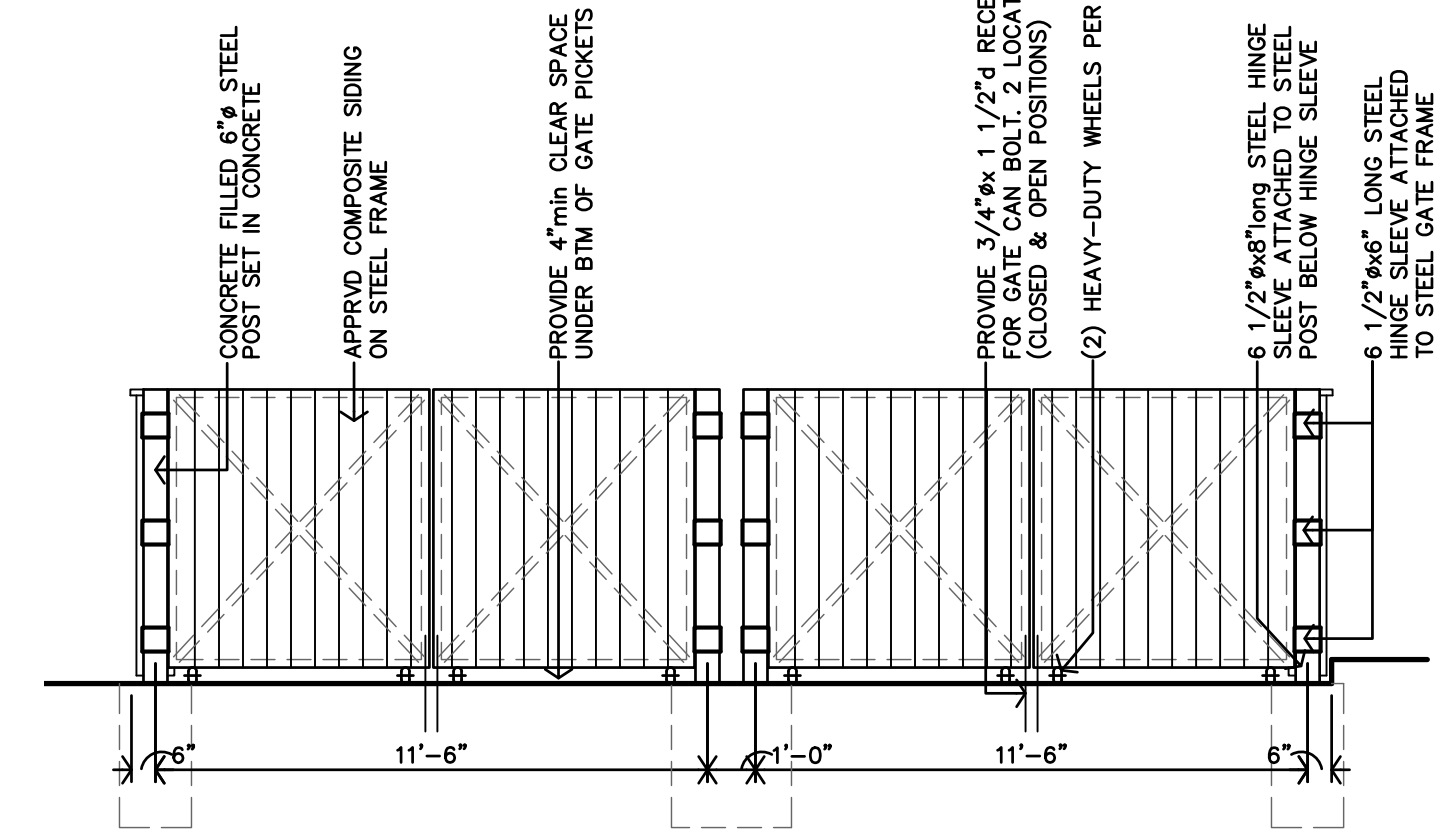
E TRASH ENCLOSURE SECTION
 3/4"=1'-0"



D DETAIL
 1 1/2"=1'-0"



C TRASH ENCLOSURE SIDE ELEVATION
 1/4"=1'-0"

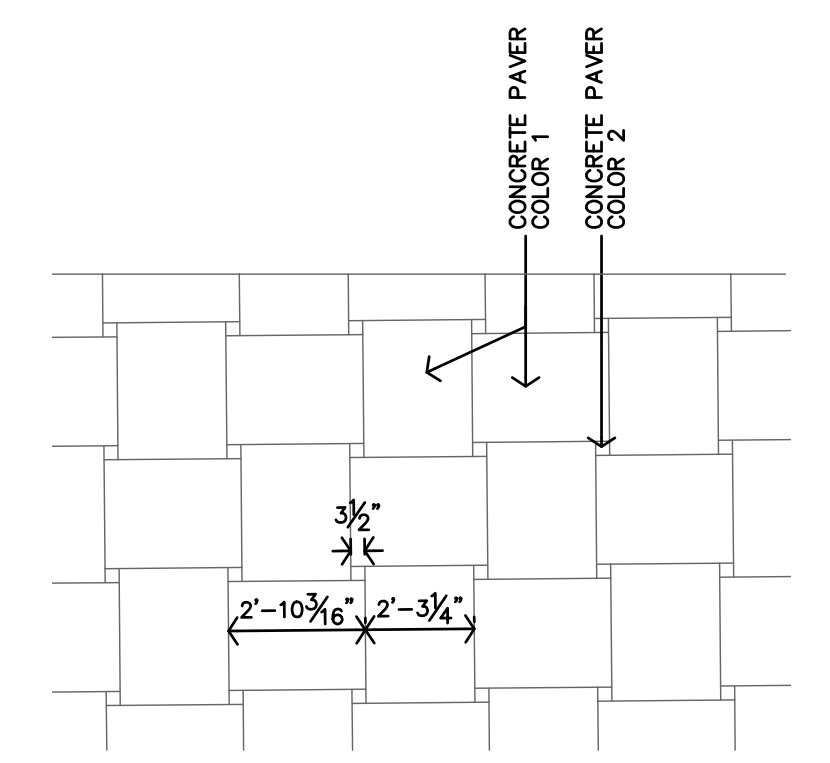


B TRASH ENCLOSURE FRONT ELEVATION
 1/4"=1'-0"

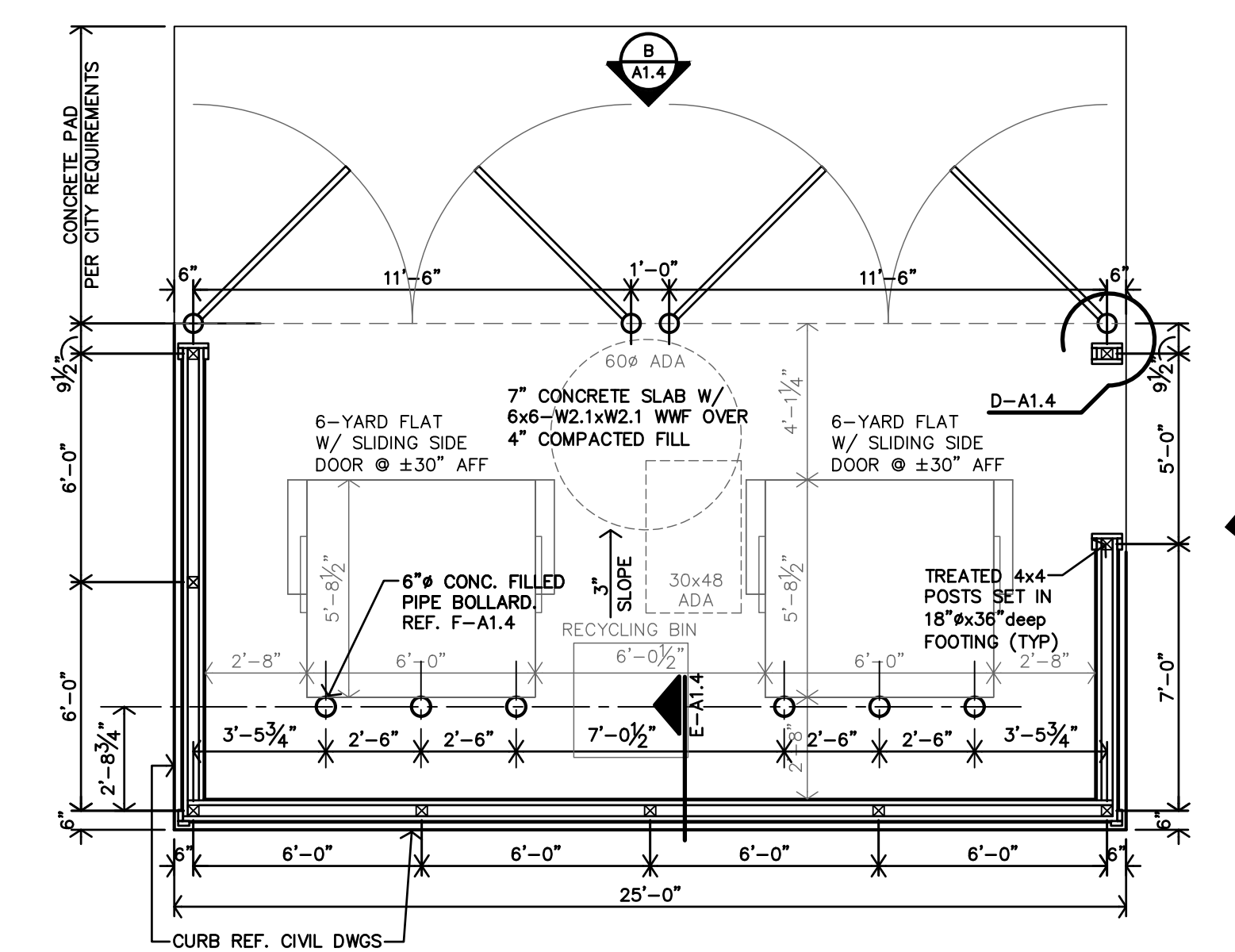


H TYPICAL IMAGE OF 72" tall ALUM. PERIMETER FENCE
 NO SCALE

This sheet of drawings has not been reviewed for code compliance.



G PAVER PLAZA ENLARGED PATTERN/PLAN
 1/4"=1'-0"



A ENLARGED TRASH ENCLOSURE
 1/4"=1'-0"

APARTMENT INTERIOR FINISH SCHEDULE

| FINISHES & INSTRUCTIONS | | | | | | | | | | |
|-------------------------|-----------------|------------------|------|---------------------------|------------------|------------------------------|------------------|------------------|-------|--------------|
| P1 - LATEX ENAMEL | | C1 - CARPET #1 | | V - VINYL PLANK FLRG TILE | | | | | | |
| P2 - LATEX ENAMEL | | C2 - CARPET #2 | | ST - SPRAY TEXTURE | | | | | | |
| CT - CERAMIC TILE | | SV - SHEET VINYL | | S - SMOOTH | | T - TEXTURED LIGHT KNOCKDOWN | | | | |
| NO. | DESCRIPTION | FLOOR | BASE | N.WALL | E.WALL | S.WALL | W.WALL | CLG | HGT. | NOTES |
| 101 | LIVING ROOM | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | |
| 102 | DINING | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | |
| 103 | KITCHEN | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | NOTE 1,2,5 |
| 104 | BATH | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | NOTE 1,2,3,5 |
| 106 | LAUNDRY | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | NOTE 2,5 |
| 107 | HALL | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | |
| 108 | CLOSET | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | NOTE 5 |
| 109 | CLOSET | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | |
| 111 | BEDROOM | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | NOTE 5 |
| 112 | MECHANICAL | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | NOTE 5 |
| 113 | MASTER BATH | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | NOTE 1,2,3,5 |
| 114 | CLOSET | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | NOTE 5 |
| 116 | MASTER BEDROOM | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | NOTE 5 |
| 117 | OUTSIDE STORAGE | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | |
| 118 | BEDROOM | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | |
| 119 | CLOSET | V | P1 | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 5/8" TYPE X G.B. | 9'-0" | |

NOTES:
 1. AT ALL REMOVABLE CABINET FRONTS: WALLS AND FLOORS ARE TO BE FINISHED.
 2. INSTALL 5/8" TYPE X M.R. G.B. @ ALL WET AREAS.
 3. 5/8" CEMENT BOARD @ TUB ENCLOSURE.
 4. REF. SHEET A2.9 FOR BUILDING FINISH SCHEDULE.
 5. REF. SHEET A2.9 CEILING PLANS, NOTE 2ND FLOOR CLGS 8'-0", 2ND & 3RD DOWNTOWN

APARTMENT DOOR SCHEDULE

| MARK | DOOR | | | FRAME | | RATING | NOTES | LOCATION |
|------|----------|----------|--------|--------|-------|--------|-----------------|--|
| | SIZE | MATERIAL | TYPE | FINISH | MAT'L | | | |
| 1 | 3'-0" | 6'-8" | 1 3/8" | ● | A | 45min | NOTES 1,2,3,4,6 | ENTRY DOOR, LIVING ROOM #101 |
| 2 | 3'-0" | 6'-8" | 1 3/4" | ● | B | | NOTE 6 | BALCONY DOOR, LIVING ROOM #101 |
| 3 | 3'-0" | 6'-8" | 1 3/8" | ● | D | | NOTES 7,8 | BEDROOMS #111/116/118, BATHS #104/113, CLOSETS |
| 4 | PR3'-0" | 6'-8" | 1 3/8" | ● | C | | REF. E-A2.1 | CLOSET |
| 6 | 2'-0" | 6'-8" | 1 3/8" | ● | C | | | CLOSET |
| 7 | NOT USED | | | | | | | |
| 8 | (2)1'-3" | 6'-8" | 1 3/8" | ● | F | | REF. E-A2.1 | MECHANICAL #12 |
| 9 | (4)1'-3" | 6'-8" | 1 3/4" | ● | F | | REF. E-A2.1 | MECHANICAL #12 |
| 10 | 3'-0" | 6'-8" | 1 3/4" | ● | D | | | OUTDOOR STORAGE #117 |

GENERAL NOTES:
 A. ALL DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS, KEVED OUTSIDE & RELEASE INSIDE LOCKSET & DEADBOLT SETS UNLESS NOTED OTHERWISE PROVIDED & INSTALLED PER SPECIFICATIONS SECTION 9710.
 B. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS W/ OWNER.
 C. UNDERCUT DOORS PER MECH DWGS.
 D. REF. SHEET A4.5 FOR DOOR DETAILS.
 E. REF. SHEET A2.10 FOR BUILDING DOOR SCHEDULE (MECH CLOSET #122)

SPECIFIC NOTES:
 1. ENTRY DOOR - HARDWARE TO BE LEVER TYPE LATCH SETS, KEVED OUTSIDE & RELEASE INSIDE LOCKSET & DEADBOLT W/ THUMB TURN INSIDE & NO KEY OUTSIDE W/ 1" MIN THROW. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER. WEATHER STRIPPING TO BE INSTALLED.
 2. ENTRY DOOR - AUTOMATIC CLOSER TO BE INSTALLED.
 3. ENTRY DOOR - PEEP HOLES @ TYPE-A/TYP-B UNITS: (1) 180° RANGE OF VIEW PEEP HOLE TO BE INSTALLED @ 60" AFF.
 4. ENTRY DOOR - PEEP HOLES @ ACCESSIBLE UNITS: (2) 180° RANGE OF VIEW PEEP HOLES TO BE INSTALLED @ 43" AFF & 60" AFF.
 5. ENTRY & BALCONY DOORS - WEATHER STRIPPING TO BE INSTALLED.
 6. BEDROOM & BATH DOORS - HARDWARE TO BE PRIVACY LEVER TYPE LATCH SET.
 7. BEDROOM & BATH DOORS - UNDERCUT DOORS PER MECH DWGS.
 8. POCKET DOOR - 32" MIN CLEAR OPENING, W/ ADA COMPLIANT HANDLE SIMILAR TO TRIMCO SERIES 1069. HANDLE TO EXTEND PAST TRIM (NOTE #397).
 9. BL-PASS/BI-FOLD DOORS - VERIFY OPENING W/ SIZE OF DOOR HARDWARE.

APARTMENT GENERAL NOTES

- REF STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
- TYPICAL GROUND FLOOR FINISH FLOOR ELEVATION IS REFERENCED AS 100'-0". CONTRACTOR SHALL VERIFY BUILDING ELEVATION WITH SITE CIVIL DRAWINGS.
- REFERENCE SITE PLAN SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDINGS.
- CONTRACTOR SHALL PROVIDE PLASTIC COATED WIRE SHELVES & ROD AT ALL CLOSETS U.N.O.
- CONTRACTOR SHALL PROVIDE BLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
- CONTRACTOR TO PROVIDE & INSTALL FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C. VERT. & HORIZ. TYP. AND AT ALL BACK TO BACK ELECTRICAL OUTLETS PER 2021 IBC, SECTION 718.2
- CONTRACTOR TO PROVIDE & INSTALL DRAFTSTOPS AT CONCEALED FLOOR SPACES PER 2021 IBC, SECTION 718.3
- CONTRACTOR TO PROVIDE & INSTALL ATTIC DRAFTSTOPS PER 2021 IBC, SECTION 718.4. REF. ROOF PLANS FOR LOCATION IN ATTIC.
- FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE WITH NFPA 10 & 2021 IBC, SECTION 906. LOCATED PER CFP SHEET. FINAL LOCATION AS DIRECTED BY FIRE MARSHALL.
- ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED U.L. DESIGNS. REFERENCE SHEET A4.7 FOR FIRE PENETRATION ASSEMBLIES
- HOSE BIBS TO BE LOCATED 30" MIN ABV. FIN. FLOOR.
- NOT USED
- KITCHEN RECEPTACLES TO BE @ 44" MAX ABOVE FIN. FLR.
- SUBMIT VERIFICATION THAT ALL CONSTRUCTION MATERIAL WILL MEET US EPA CRITERIA PARTICULARLY MATERIALS THAT WILL BE OBTAINED FROM INTERNATIONAL SOURCES. ALSO PROVIDE VERIFICATION THAT THE CONSTRUCTION WILL NOT RESULT IN OR CONTAIN HAZARDOUS MATERIALS.
- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
- F.O.S. = FACE OF STUD
17. F.O.B. = FACE OF BRICK
- HEARING/VISION IMPAIRED UNIT (WHERE LISTED ON SHEET A1.1 AND INDICATED ON BUILDING PLANS):
 ● CONTRACTOR SHALL PROVIDE & INSTALL EQUIPMENT REQUIRED PER 2010 ADA SEC. 809.5.
 ● REF. ELECT. DWGS

ACCESSIBLE UNITS NOTES

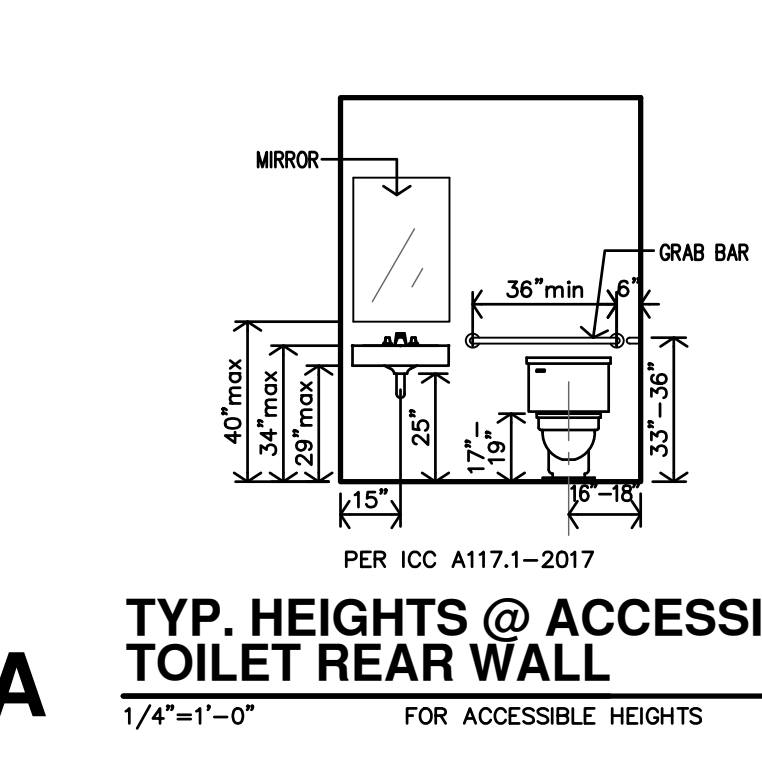
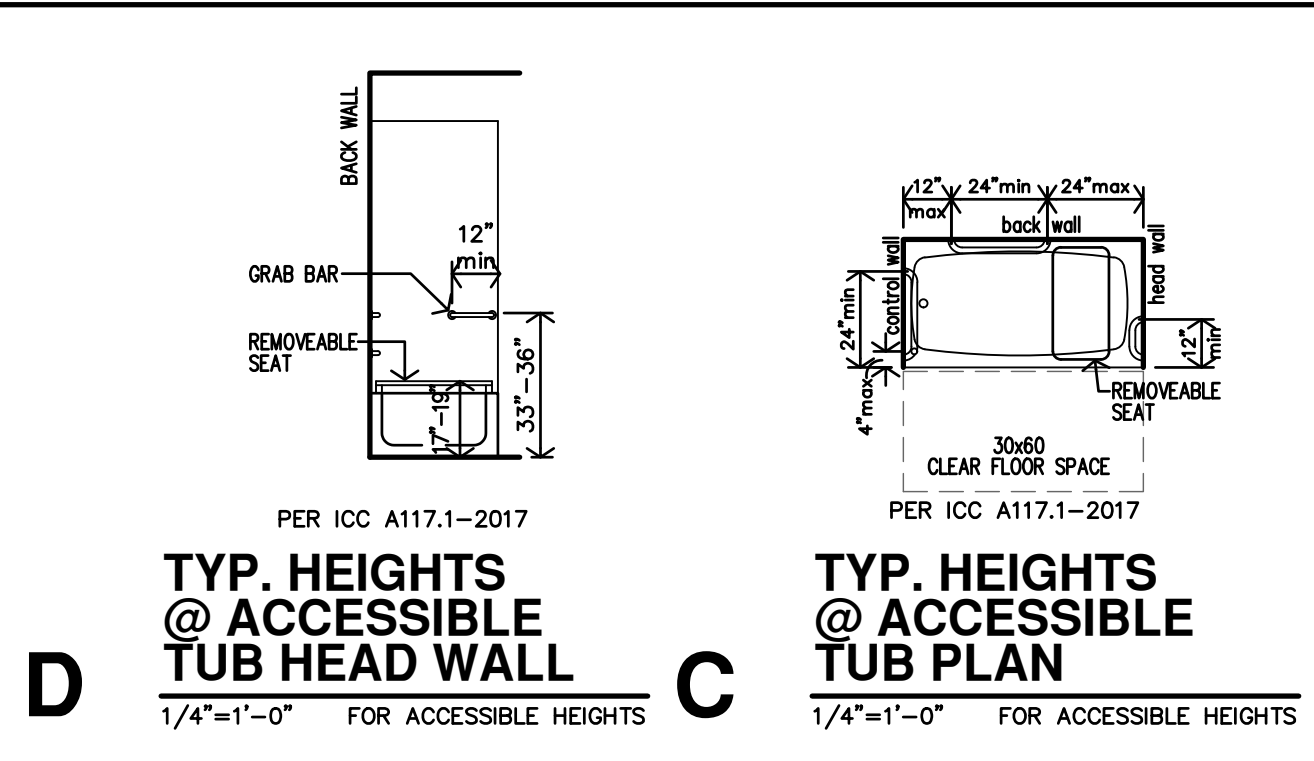
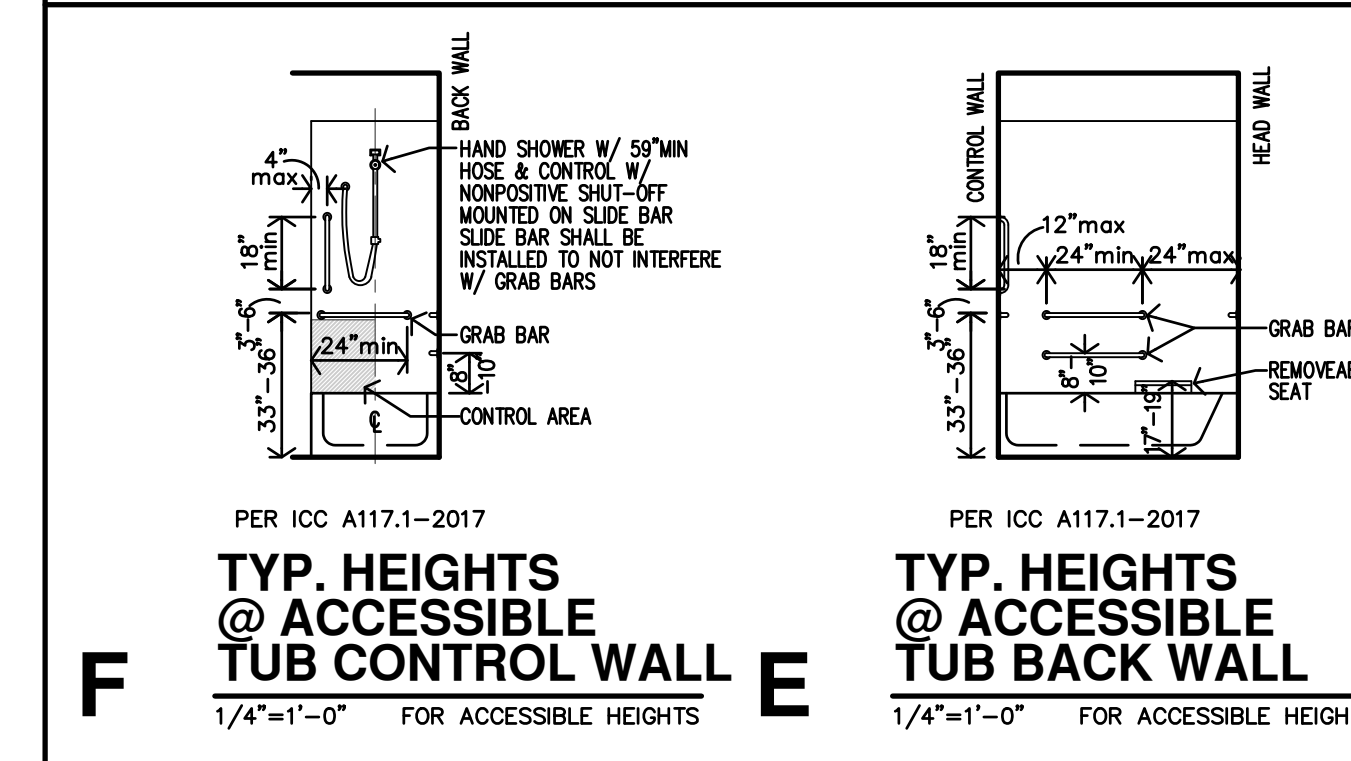
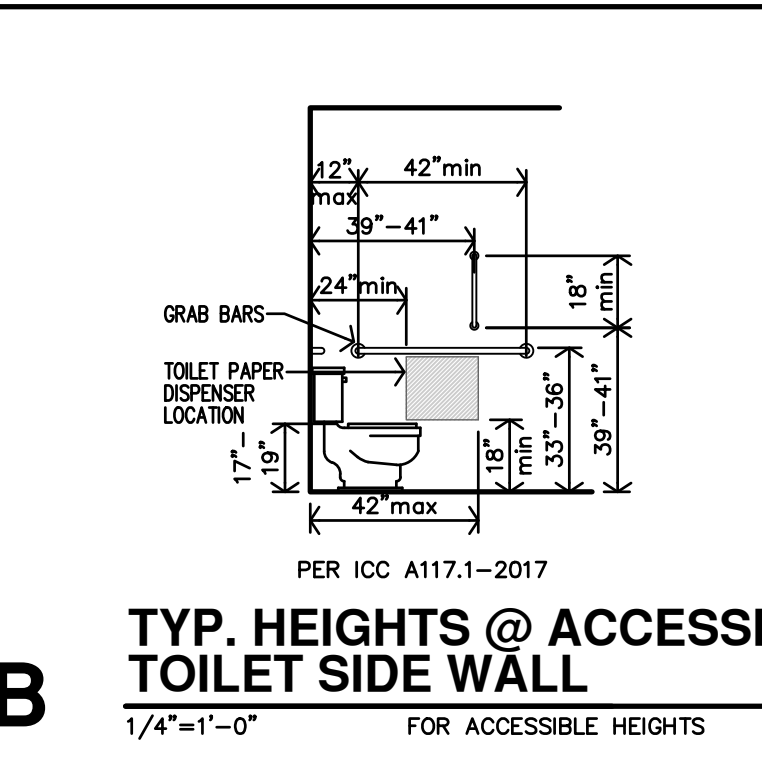
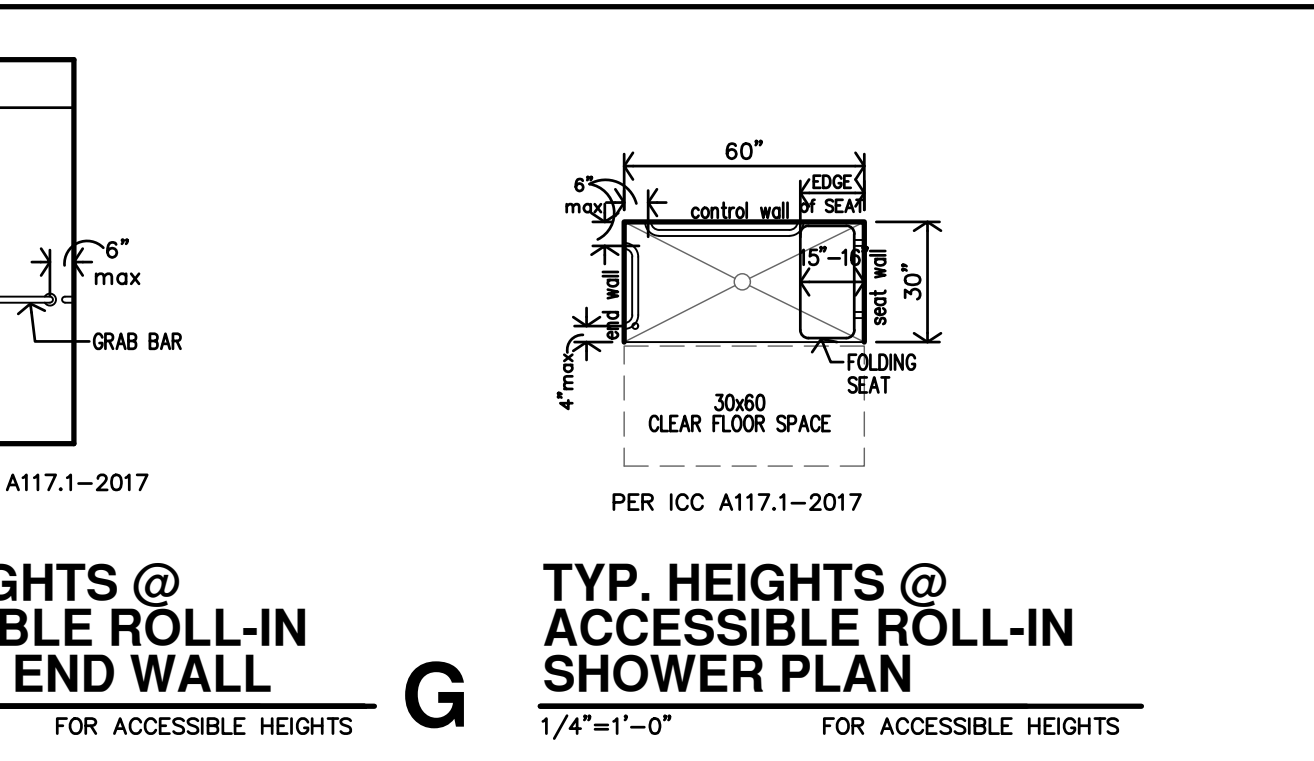
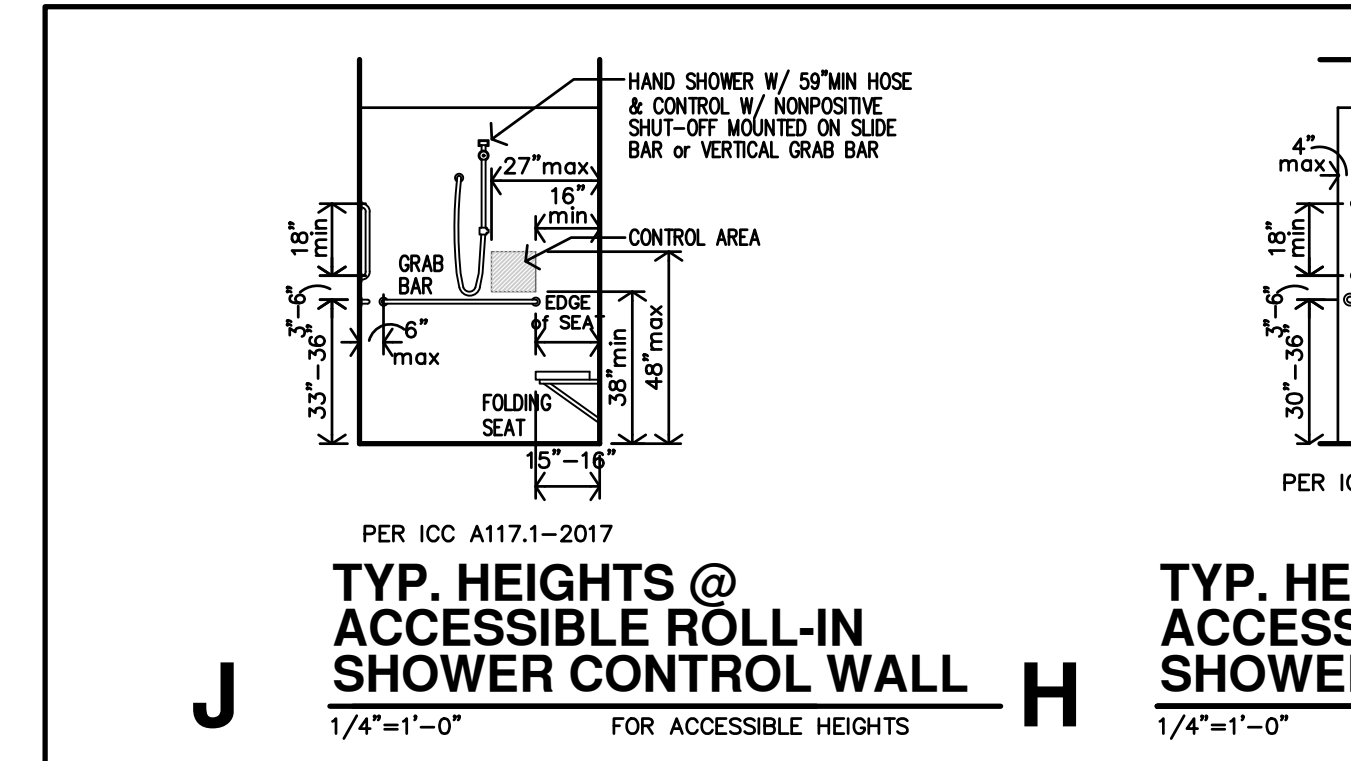
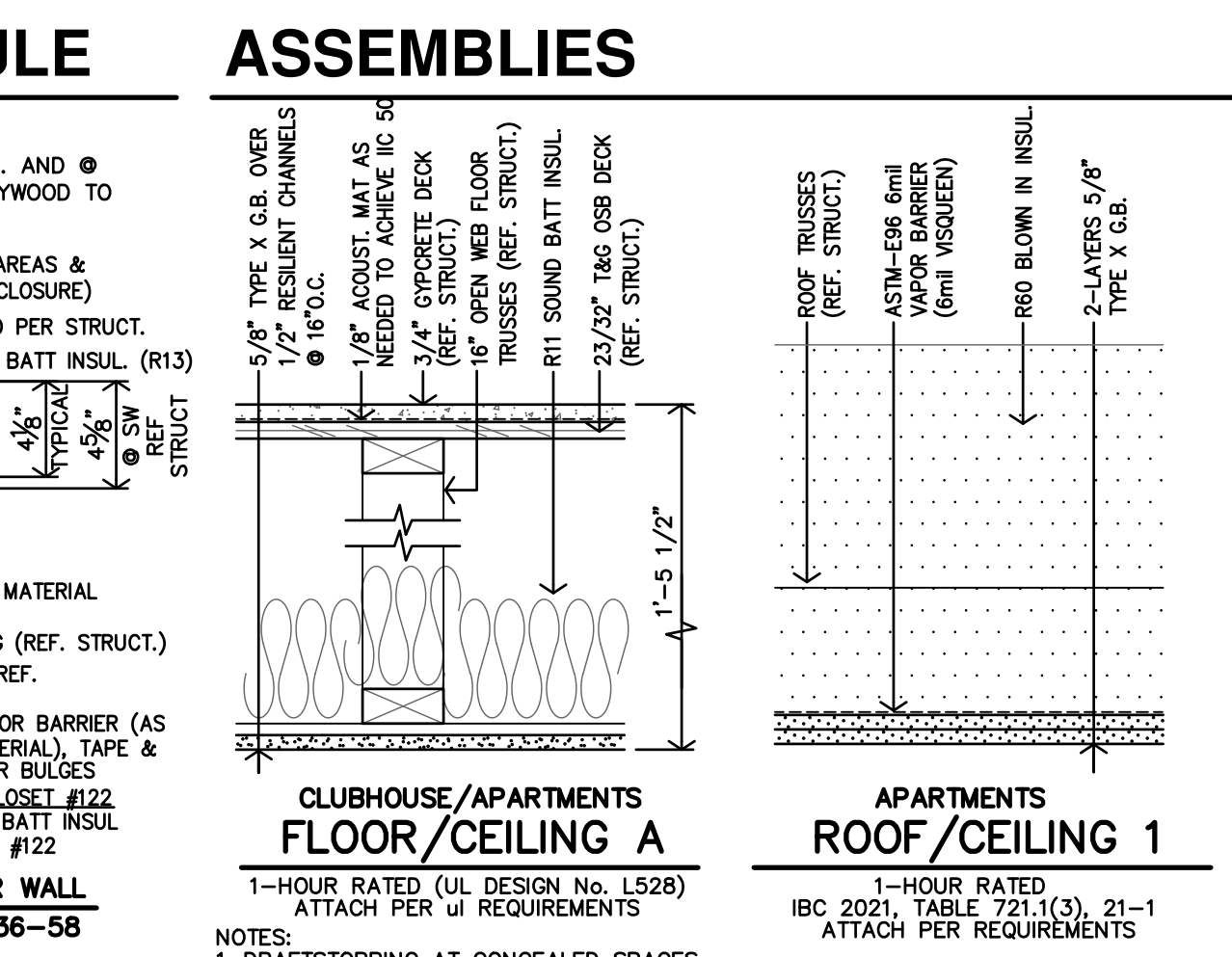
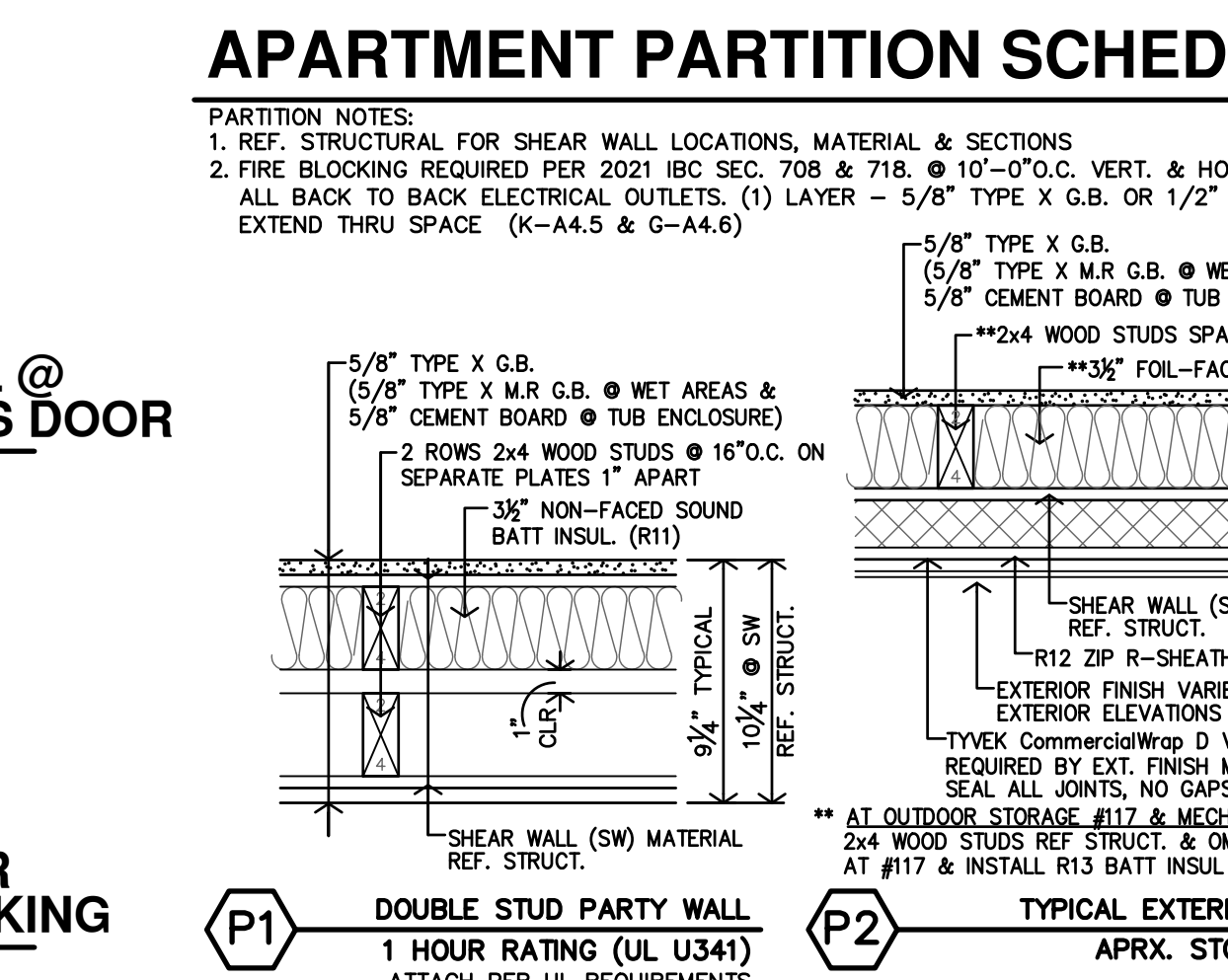
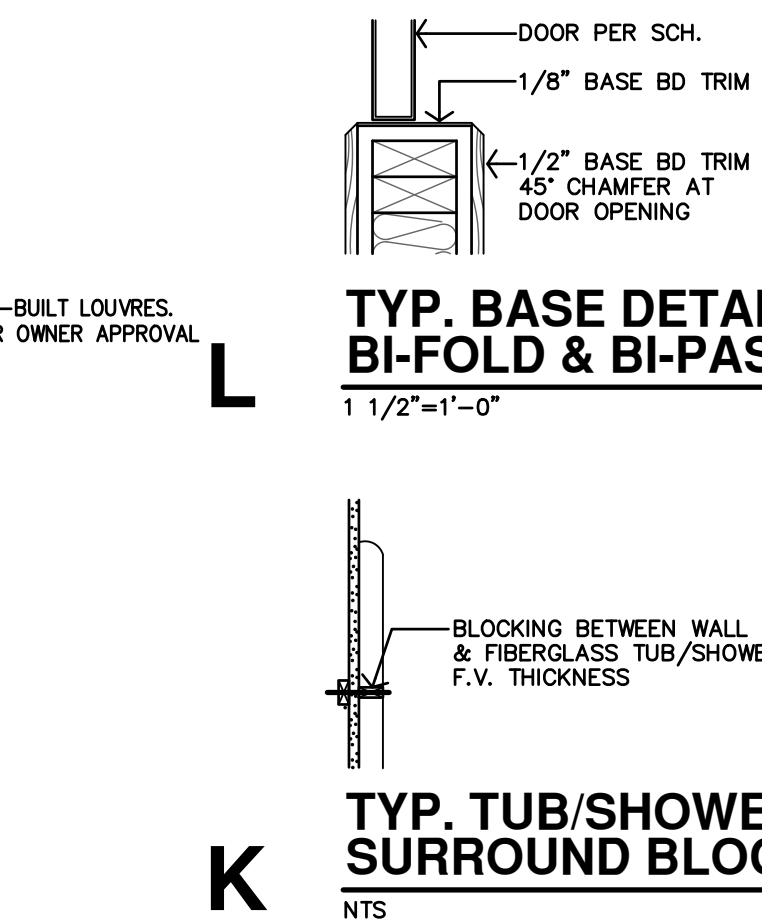
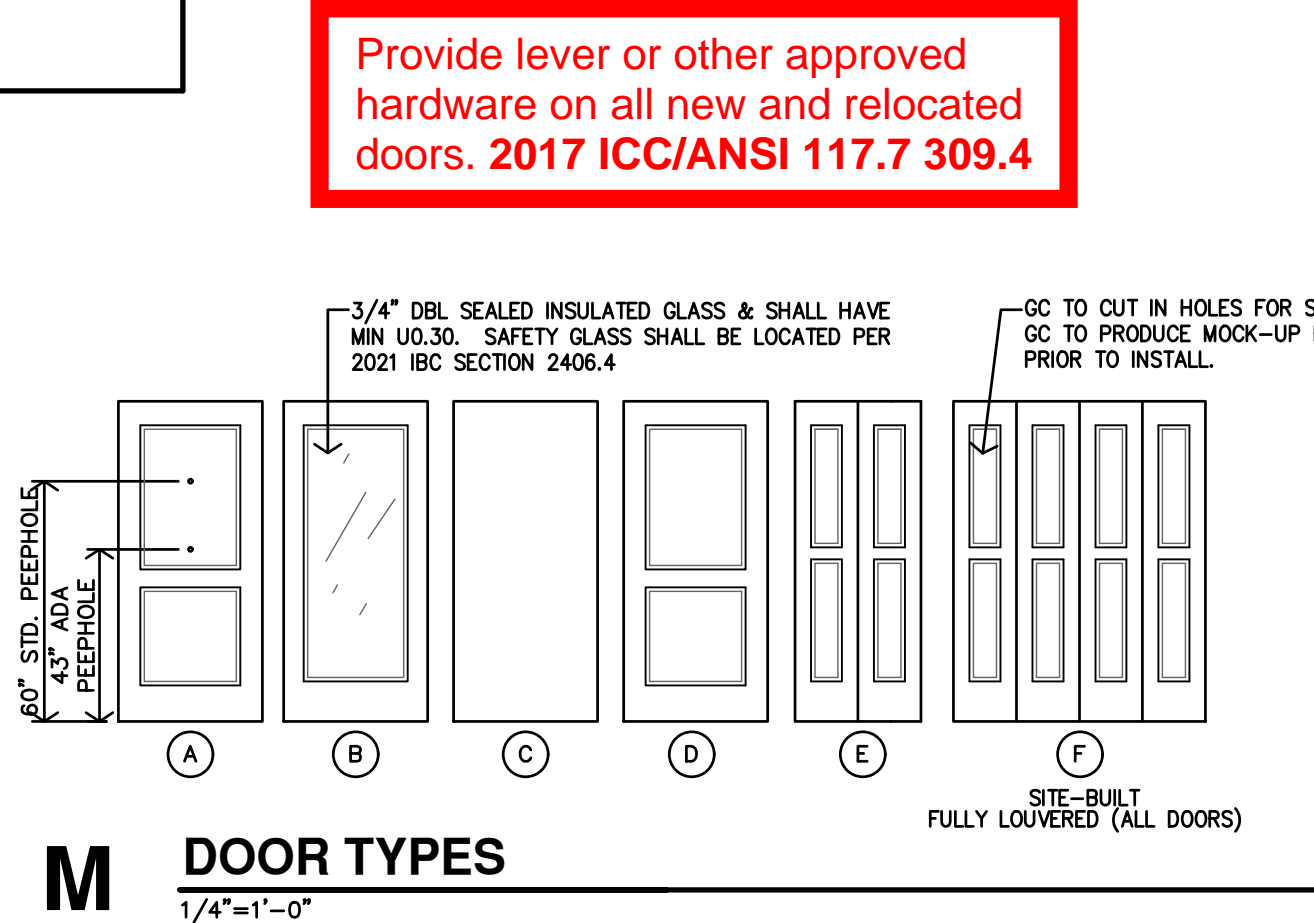
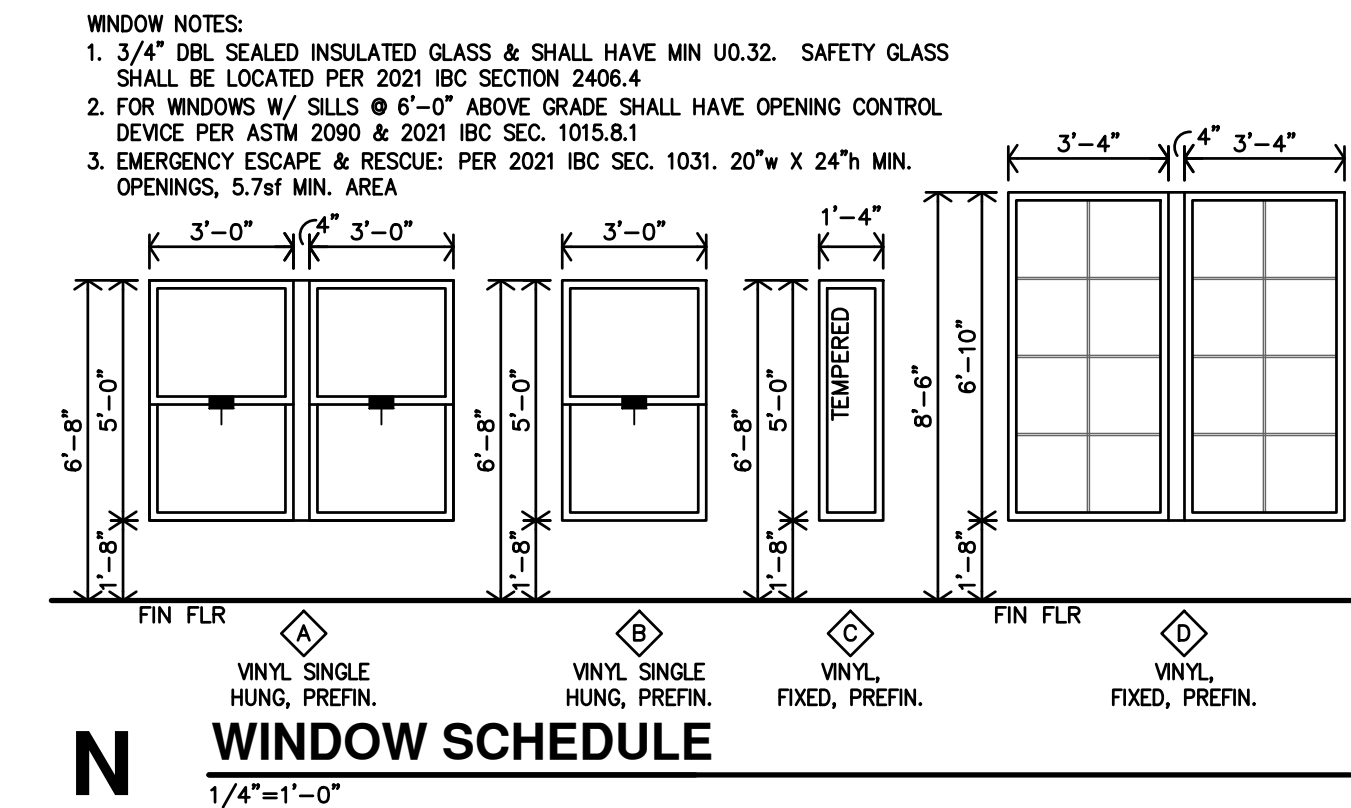
20. ACCESSIBLE UNITS (WHERE LISTED ON SHEET A1.1 AND INDICATED ON BUILDING PLANS):
 ● REFERENCE ENLARGED PLANS AND DETAILS FOR ADDITIONAL INFORMATION
 ● 1-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL 2x8 BLOCKING IN WALLS FOR GRAB BARS @ TOILET & TUB/SHOWER, WALL MOUNTED SEAT, ALL COUNTERTOPS & SHELVING.
 ● 2-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL 2x8 BLOCKING IN WALLS FOR GRAB BARS @ TOILET & TUB/SHOWER, WALL MOUNTED SEAT @ MASTER BATH #113, ALL COUNTERTOPS & ALL SHELVING.
 ● 3-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL 2x8 BLOCKING IN WALLS FOR GRAB BARS @ TOILET & TUB/SHOWER, WALL MOUNTED SEAT @ MASTER BATH #113, ALL COUNTERTOPS & ALL SHELVING.
 ● ALL UNITS, CONTRACTOR SHALL PROVIDE & INSTALL INSULATED COVERS @ ALL EXPOSED HOT WATER PIPES, DRAIN PIPES & DISPOSAL.
 ● TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 ● 2x8 BLOCKING PER ICC/ANSI A117.1-2017

TYPE-A UNIT NOTES

21. TYPE-A UNITS (WHERE LISTED ON SHEET A1.1 AND INDICATED ON BUILDING PLANS):
 ● REFERENCE ENLARGED PLANS AND DETAILS FOR ADDITIONAL INFORMATION
 ● 1-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL REMOVABLE CABINET & 2x8 BLOCKING IN WALLS FOR FUTURE GRAB BARS @ ALL TOILETS, TUB/SHOWERS, COUNTERTOPS & SHELVING.
 ● 2-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL REMOVABLE CABINETS AT MASTER BATH #113 & TUB/SHOWER AT BATH #113, ALL COUNTERTOP & SHELVING.
 ● 3-BEDROOM, CONTRACTOR TO PROVIDE & INSTALL REMOVABLE CABINETS AT MASTER BATH #113 & TUB/SHOWER AT BATH #113, ALL COUNTERTOP & SHELVING.
 ● ALL UNITS, AT ALL REMOVABLE CABINETS: FLOORS & WALLS SHALL BE FINISHED. NO PLUMBING MODIFICATIONS ALLOWED AFTER CABINET FRONT IS REMOVED. CONTRACTOR SHALL PROVIDE HOT WATER & DRAIN PIPES COVERS. OWNER SHALL INSTALL COVER AFTER CABINET FRONT IS REMOVED.
 ● TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 ● 2x8 BLOCKING PER ICC/ANSI A117.1-2017

STANDARD/TYPE-B UNIT NOTES

19. STANDARD/TYPE-B UNITS (WHERE LISTED ON SHEET A1.1 AND INDICATED ON BUILDING PLANS):
 ● CONTRACTOR TO PROVIDE & INSTALL 2x8 BLOCKING IN WALLS FOR COUNTERTOP SUPPORTS & SHOWER SEATS.
 ● NO REMOVABLE CABINET FRONTS.



UNIT ACCESSIBLE BATH DETAILS

This plan was reviewed for adopted codes and NOT for compliance with ADA or FHA accessibility requirements. Contact 800-949-4232 (ADA) and 303-894-7822 x 325 (FHA) for federal accessibility requirements that apply to your project.

APARTMENT CHART

NOTE: UNIT NUMBERS SHOWN ARE FOR CONSTRUCTION PURPOSES ONLY & DO NOT REFLECT FINAL UNIT NUMBERING/LETTERING.

| TYPE OF APARTMENT | BLDG A | BLDG B | BLDG C | BLDG D | BLDG E | BLDG F | BLDG G | BLDG H | TOTAL |
|---|--------------------------------|------------|--------|--------|--------|------------|--------|------------|-------|
| ACCESSIBLE UNITS (w/ REMOVABLE TUB SEAT) | | | C105 | D101 | E105 | F103, F103 | G103 | H103, H107 | 8 |
| ACCESSIBLE UNITS (ROLL-IN SHOWER) | | | | D103 | | F105 | | | 2 |
| HEARING/VISION IMPAIRED & ADAPTABLE UNITS | A107 | | C103 | | E107 | | G105 | | 4 |
| TYPE-A UNITS | | B105, B107 | | D105 | | | G101 | | 4 |
| TYPE-B UNITS | REMAINING FIRST FLOOR UNITS | | | | | | | | 46 |
| STANDARD UNITS | ALL SECOND & THIRD FLOOR UNITS | | | | | | | | 128 |
| TOTAL | 24 | 24 | 24 | 24 | 24 | 24 | 24 | 24 | 192 |

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Feb 15, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC

THE RESERVES at EAGLE POINT

415 NORTH PICADILLY RD

AURORA, COLORADO

JonesGillamRemenz

1881 Main Street, Suite 301
 Kansas City, MO 64108
 jgr@jgrarchitects.com

DATE: 10-2-2023

JOB: 22-3219

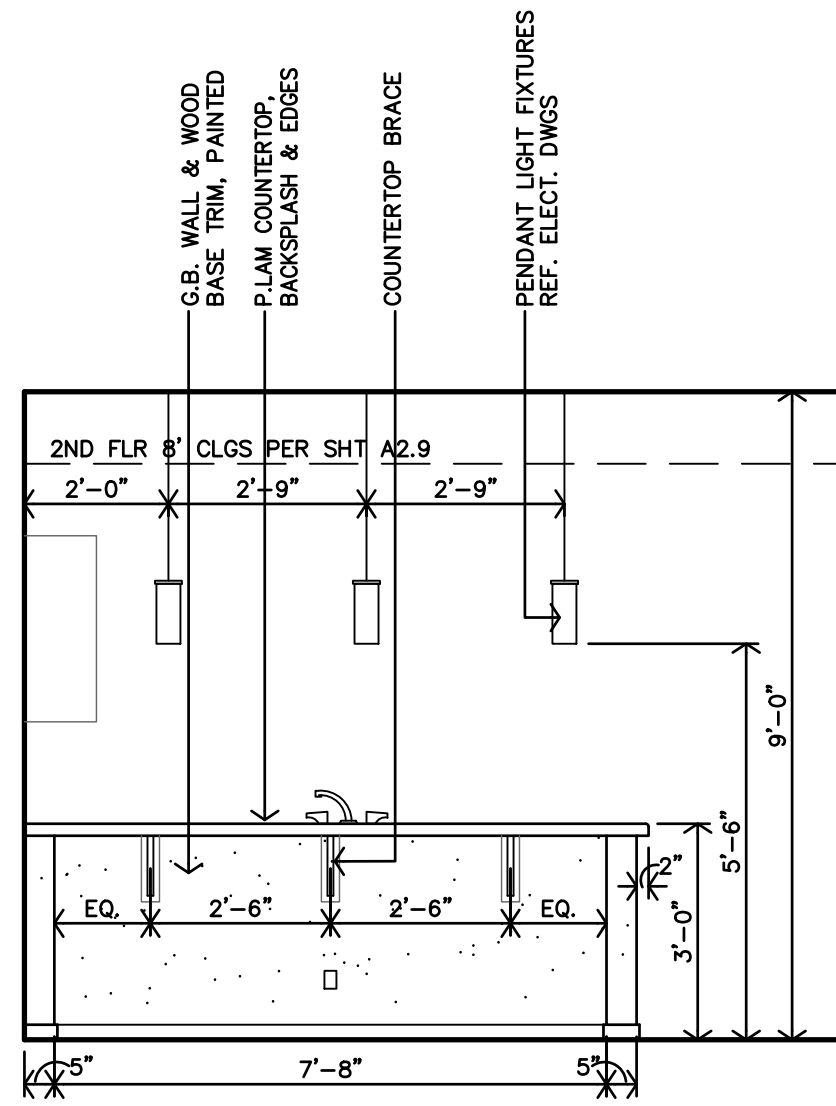
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REVISION:

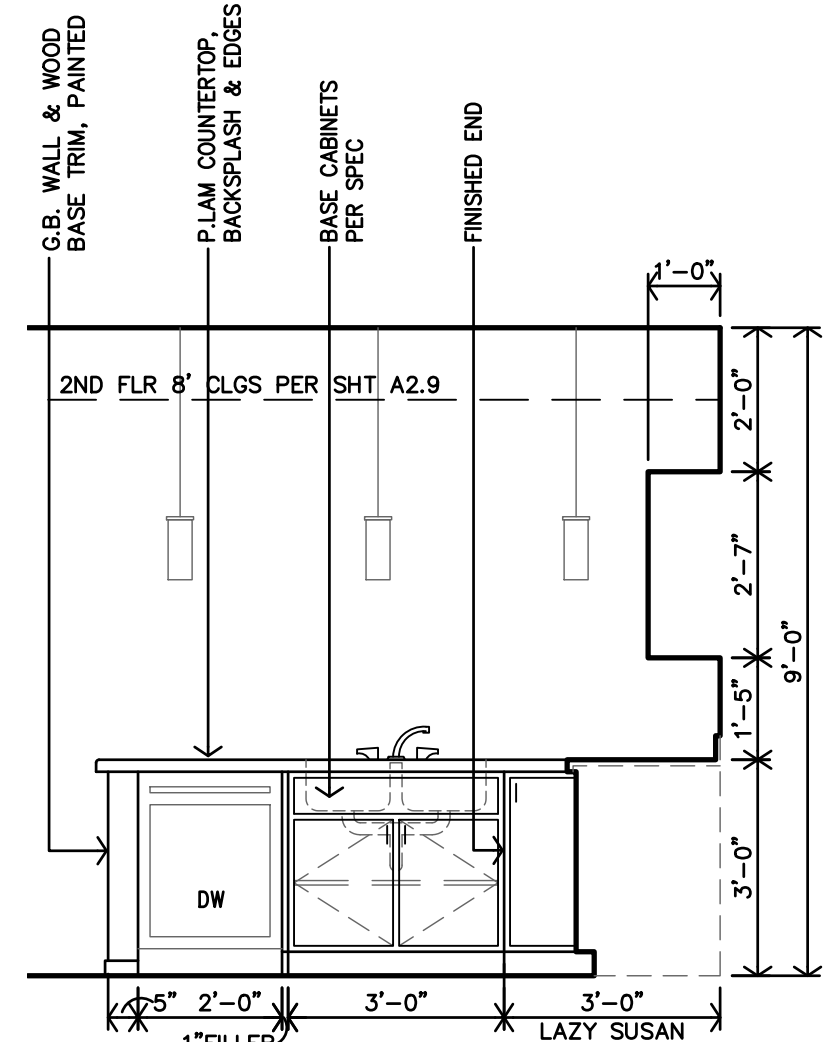
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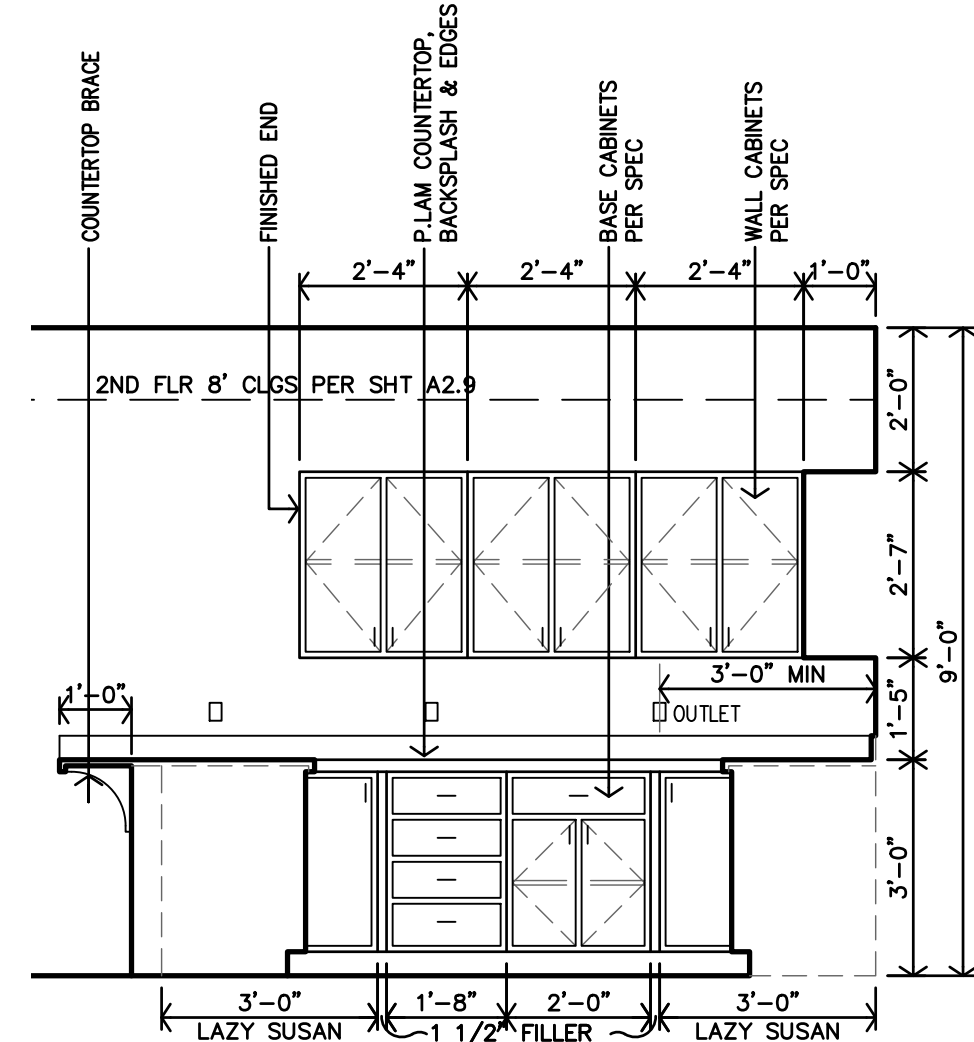
Page 18 of 77



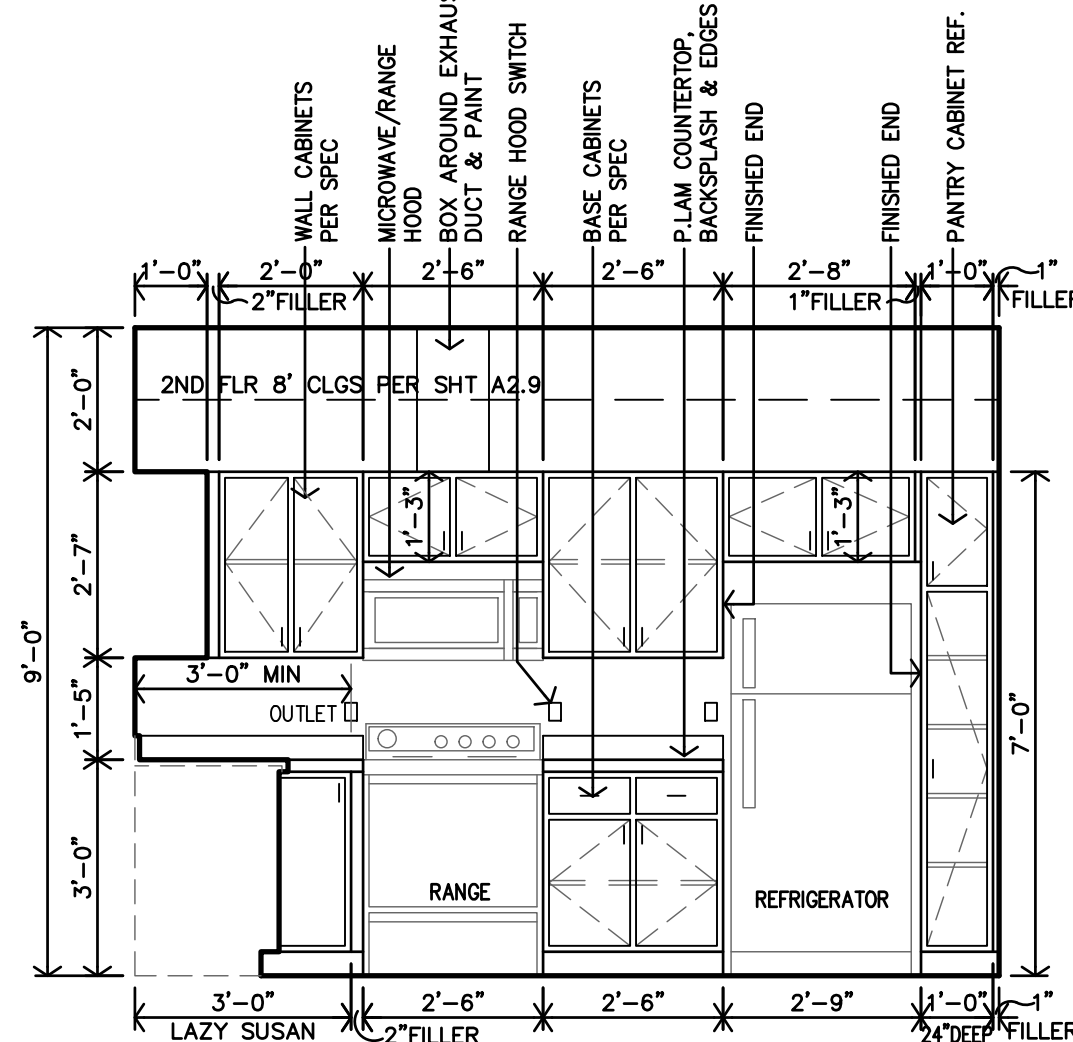
G STANDARD/TYPE-B
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



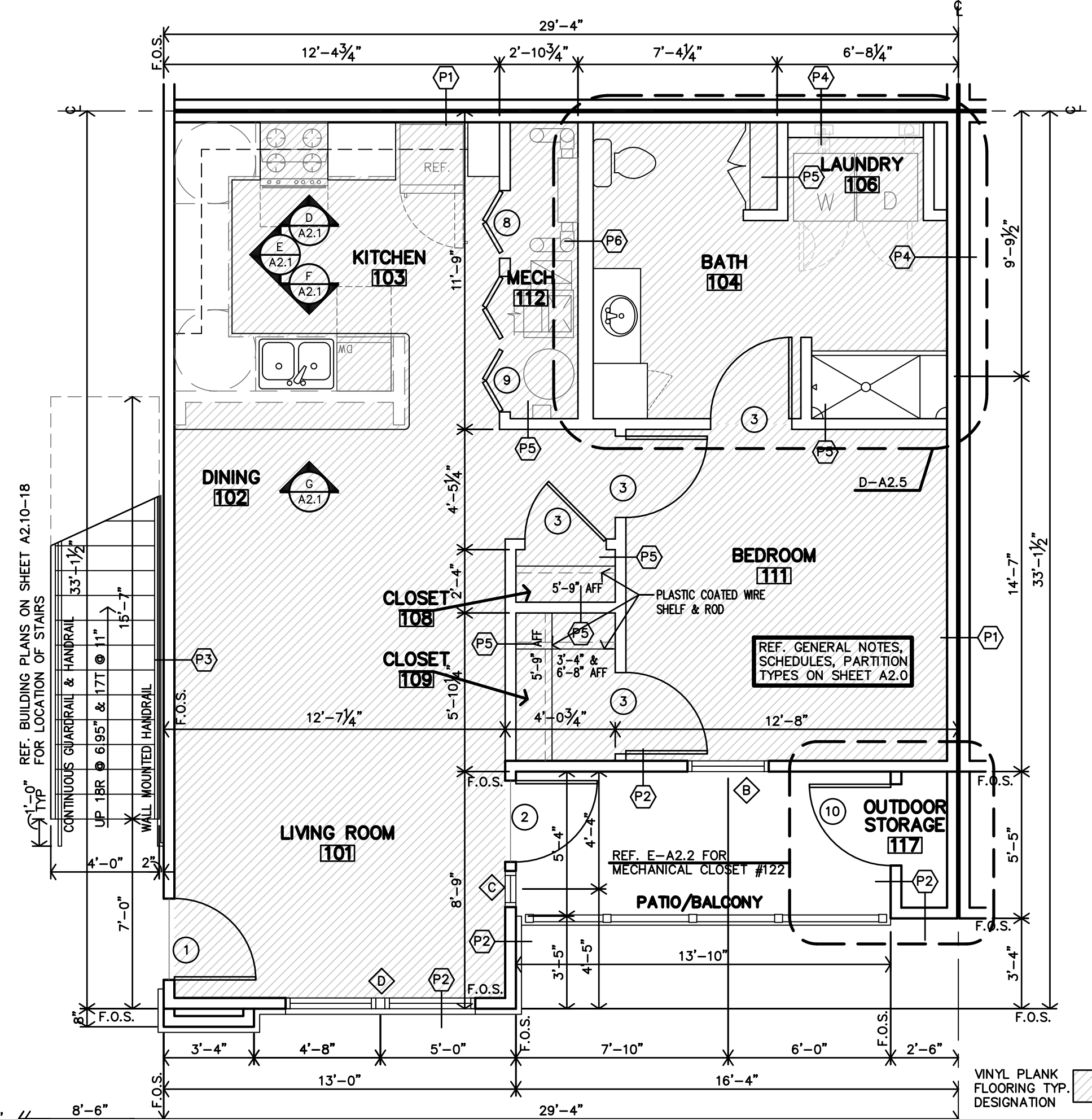
F STANDARD/TYPE-B
2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



E STANDARD/TYPE-B
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



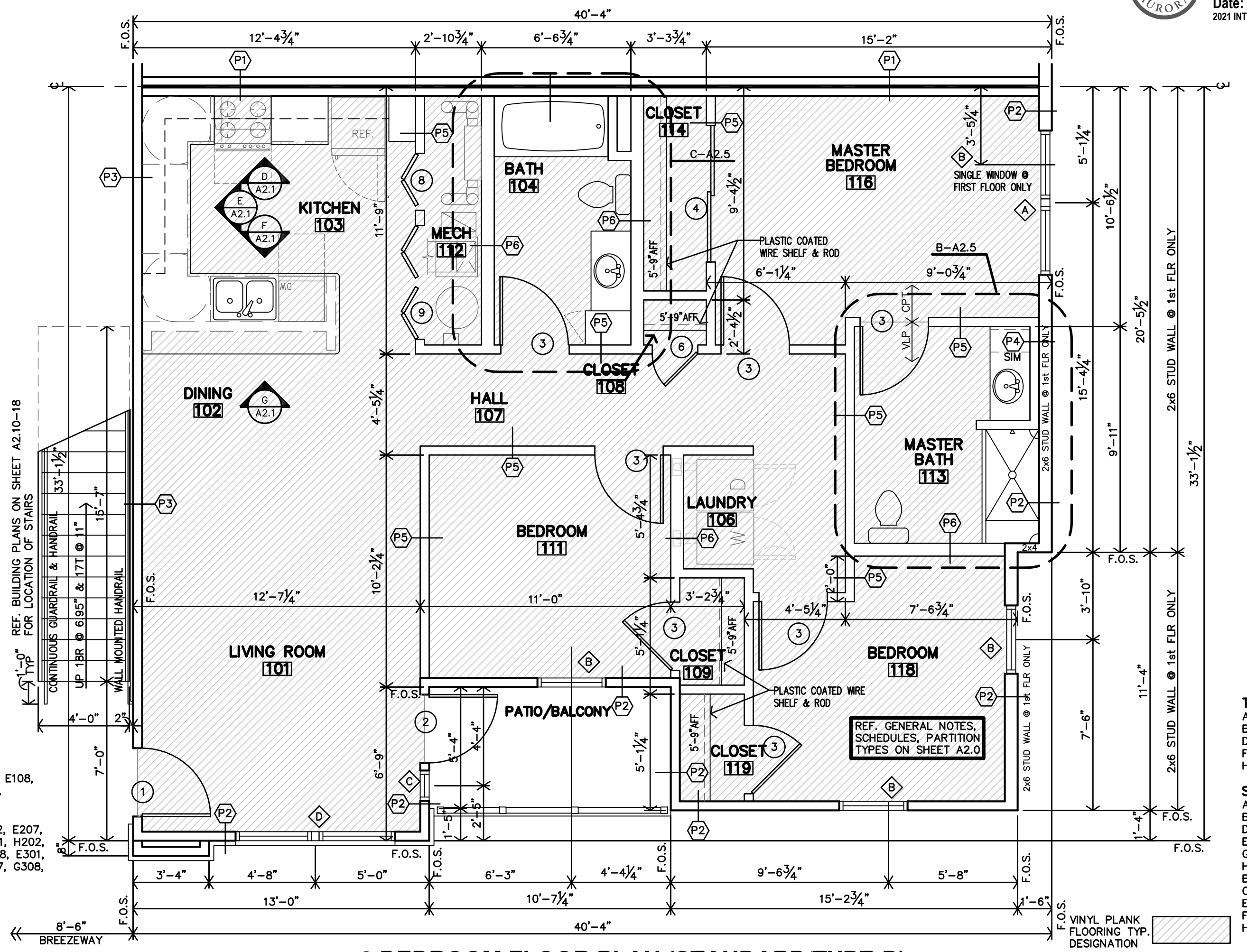
D STANDARD/TYPE-B
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



C 1 BEDROOM FLOOR PLAN (STANDARD/TYPE-B)
1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR STANDARD & TYPE-B LOCATIONS

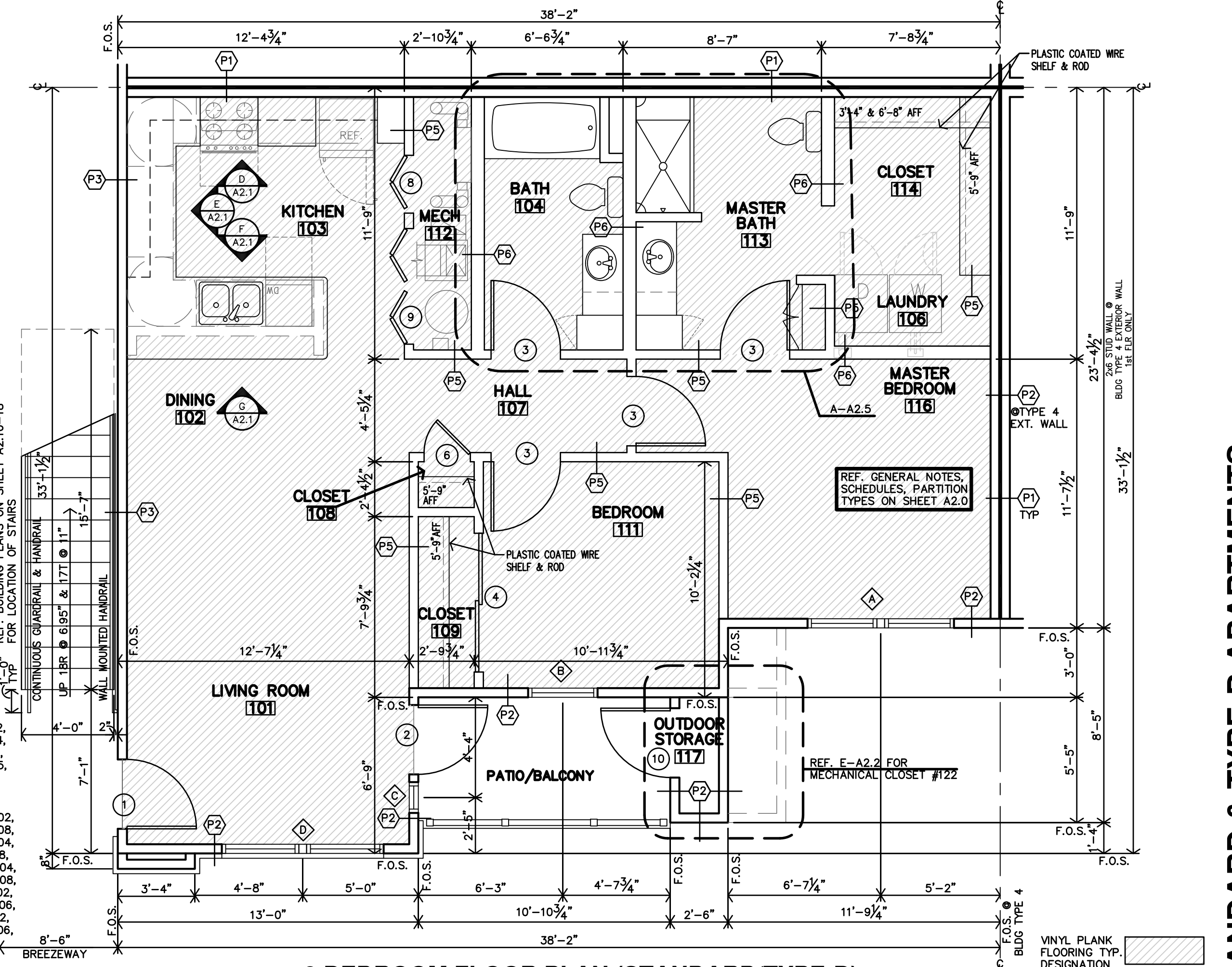
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A103, A104, A105, A106, B103, B104, B106, C103, C104, C106, F104, F106
- STANDARD UNITS:**
A203, A204, A205, A206, B203, B204, B205, B206, C203, C204, C205, C206, F203, F204, F205, F206, A303, A304, A305, A306, B303, B304, B305, B306, C303, C304, C305, C306, F303, F304, F305, F306

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: **Y. Munoz**
Date: **Feb 15, 2024**
2021 INTERNATIONAL CODES & 2023 NEC



B 3 BEDROOM FLOOR PLAN (STANDARD/TYPE-B)
1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR STANDARD & TYPE-B LOCATIONS

- TYPE - B UNITS:**
D102, D107, D108, E101, E102, E107, E108, G102, G107, G108, H101, H102, H108,
- STANDARD UNITS:**
D201, D202, D207, D208, E301, E302, E207, E208, E301, G202, G207, G208, H201, H202, H207, H208, D301, D302, D307, D308, E301, E302, E307, E308, G301, G302, G307, G308, H301, H302, H307, H308,



A 2 BEDROOM FLOOR PLAN (STANDARD/TYPE-B)
1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR STANDARD & TYPE-B LOCATIONS

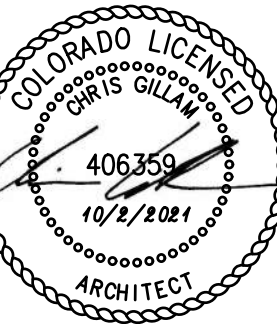
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- STANDARD UNITS:**
A201, A202, A207, A208, B201, B202, B207, B208, C201, C202, C207, C208, D203, D204, D205, D206, E203, E204, E205, E206, F201, F202, F207, F208, G203, G204, G205, G206, H203, H204, H205, H206, A301, A302, A307, A308, B301, B302, B307, B308, C301, C302, C307, C308, D303, D304, D305, D306, E303, E304, E305, E306, F301, F302, F307, F308, G303, G304, G305, G308, H303, H304, H305, H306,

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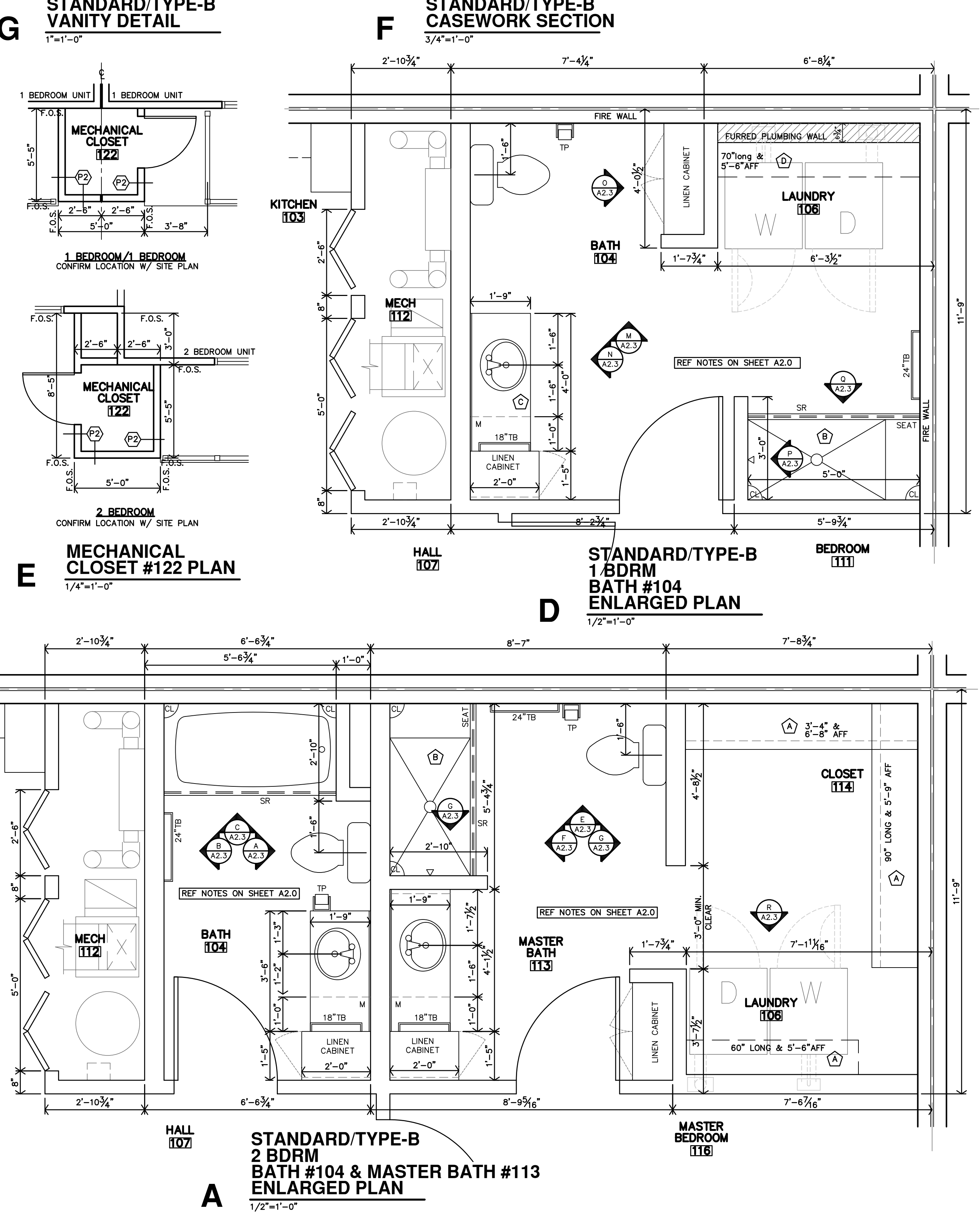
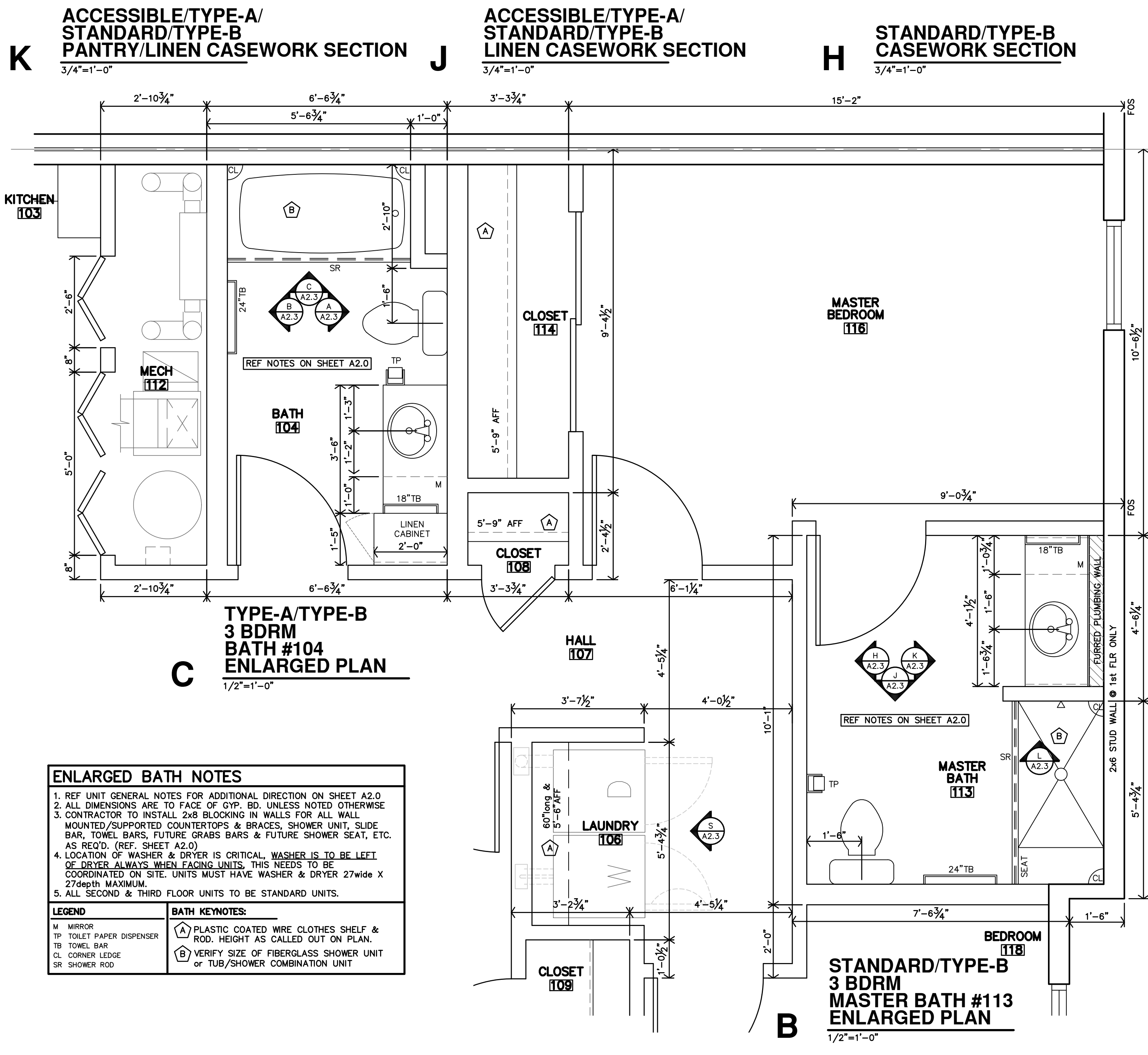
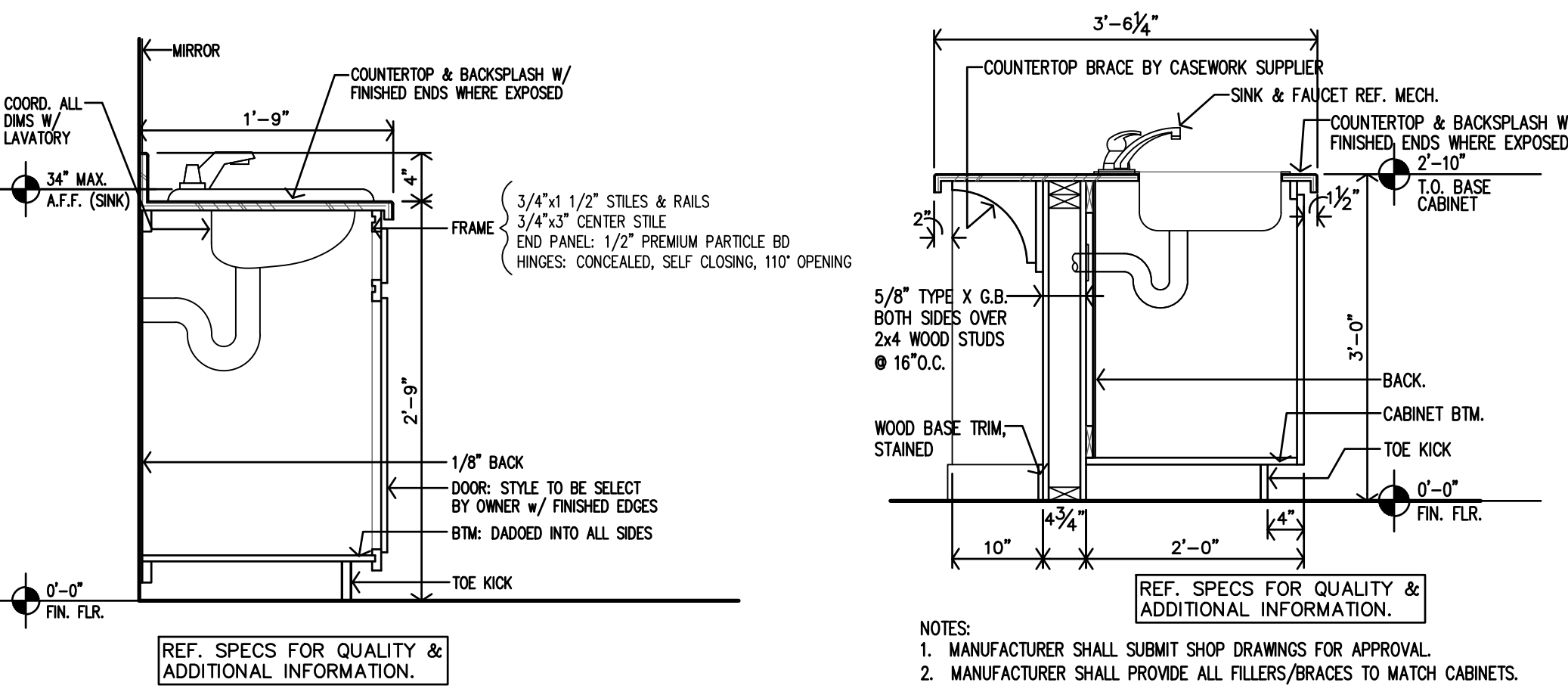
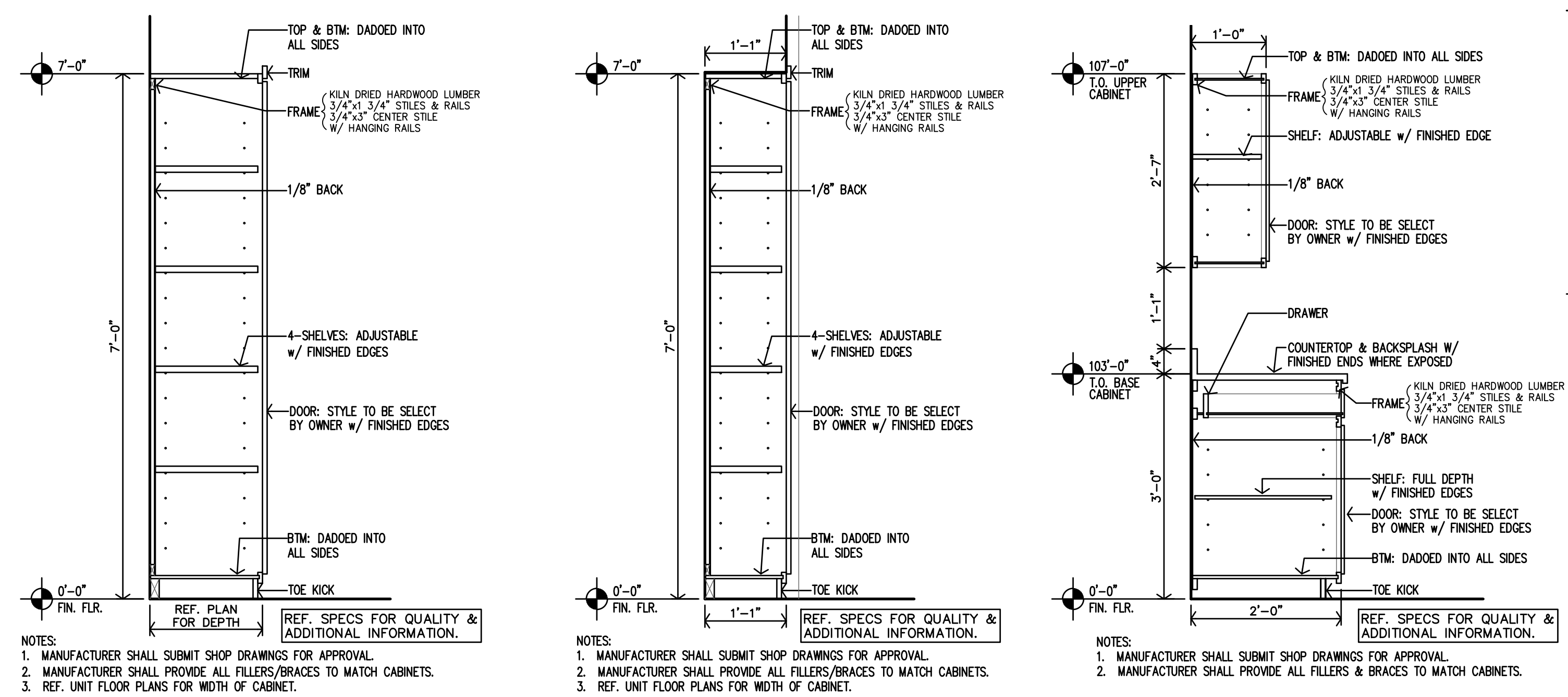
THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA,
COLORADO

THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA,
COLORADO



REVISION:
DATE: 10-2-2023
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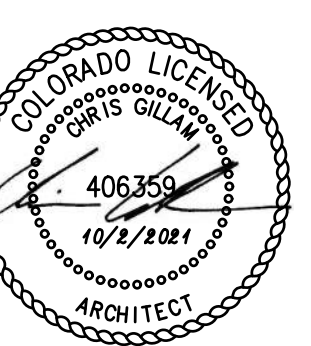
A2.1



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: Y. Munoz
Date: Feb 15, 2024
2021 INTERNATIONAL CODES & 2023 NEC

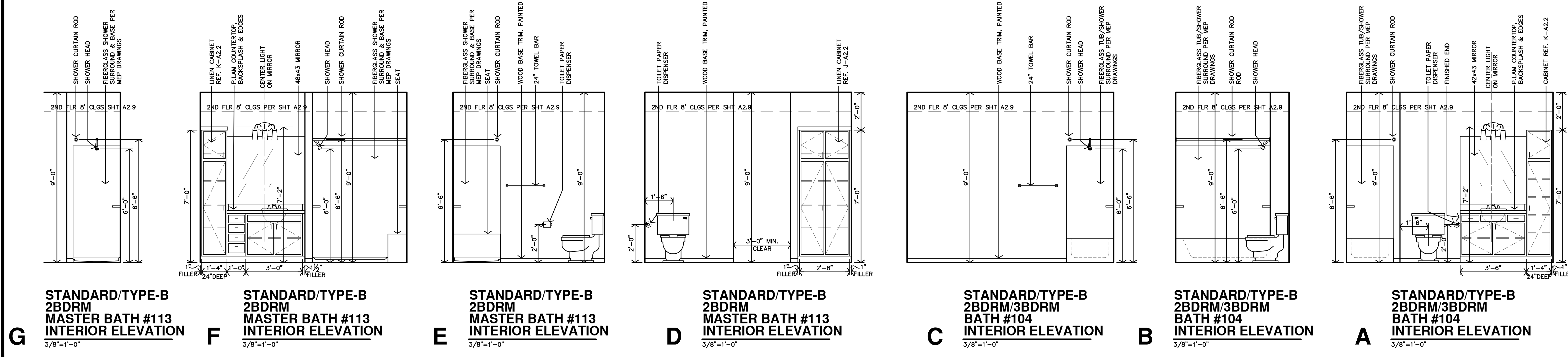
JGR
JonesGillamRenzen
730 N. Ninth
Salina, KS 67401
785.827.0386
jgr@jgarchitects.com

THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA,
COLORADO



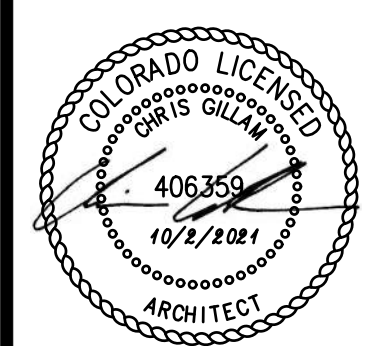
REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

A2.2



City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Feb 15, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC

STANDARD & TYPE-B APARTMENTS

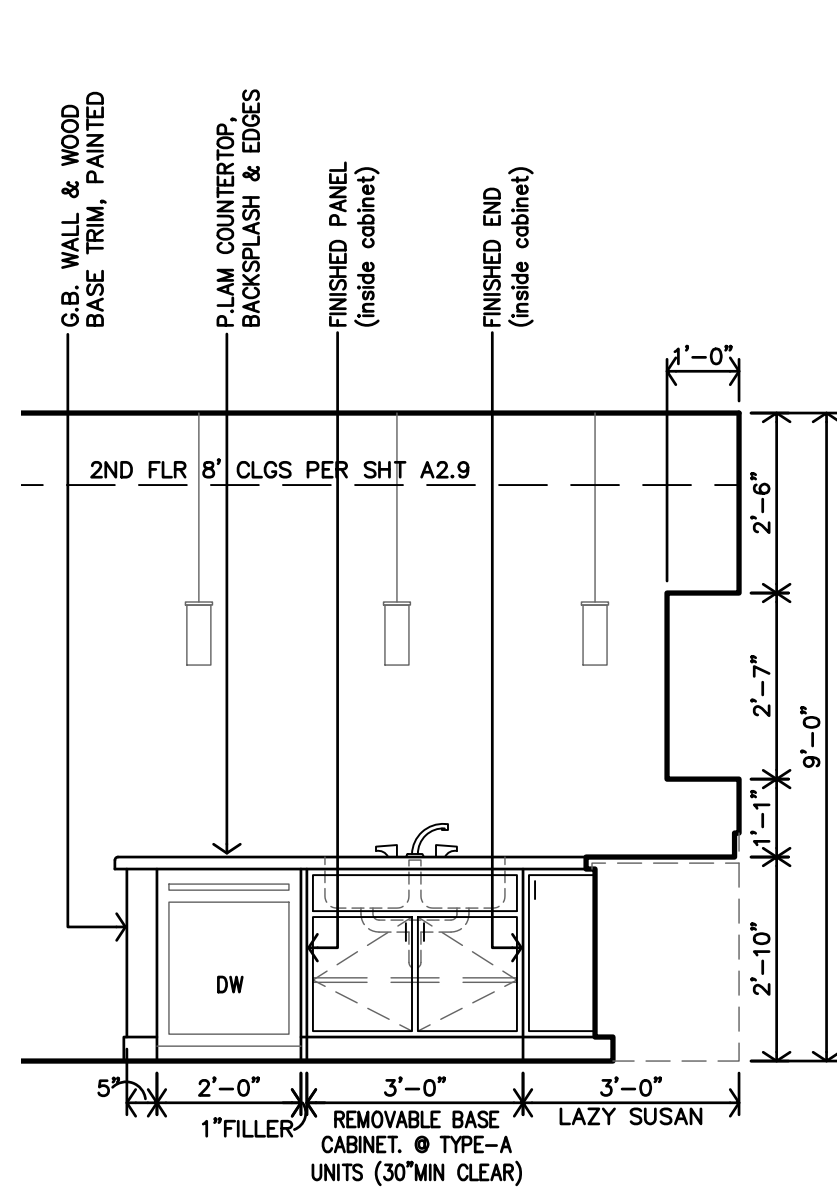


REVISION:
 DATE: 10-2-2023
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 SHEET NO.:

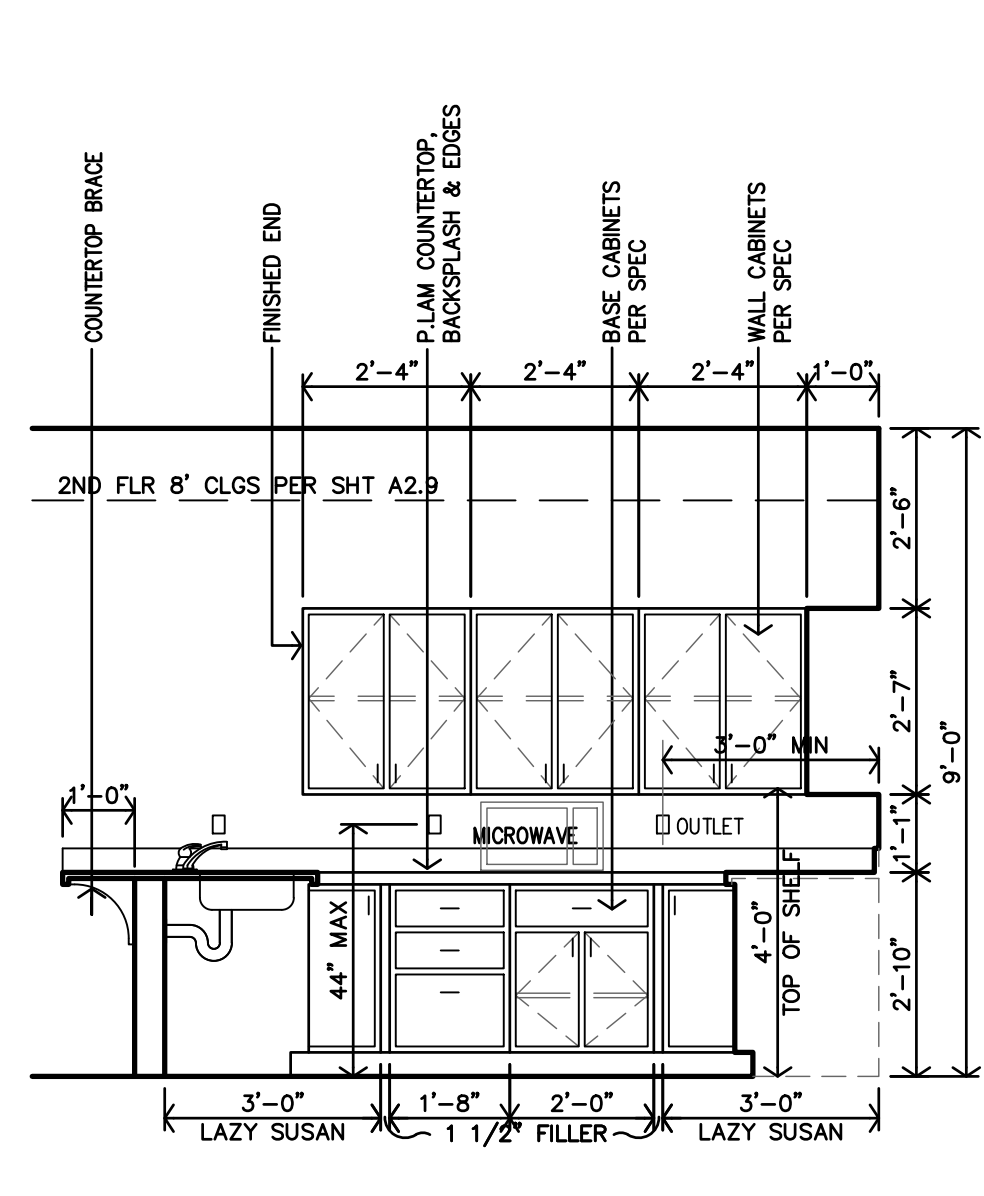
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THE RESERVES at EAGLE POINT
 415 NORTH PICADILLY RD
 AURORA, COLORADO

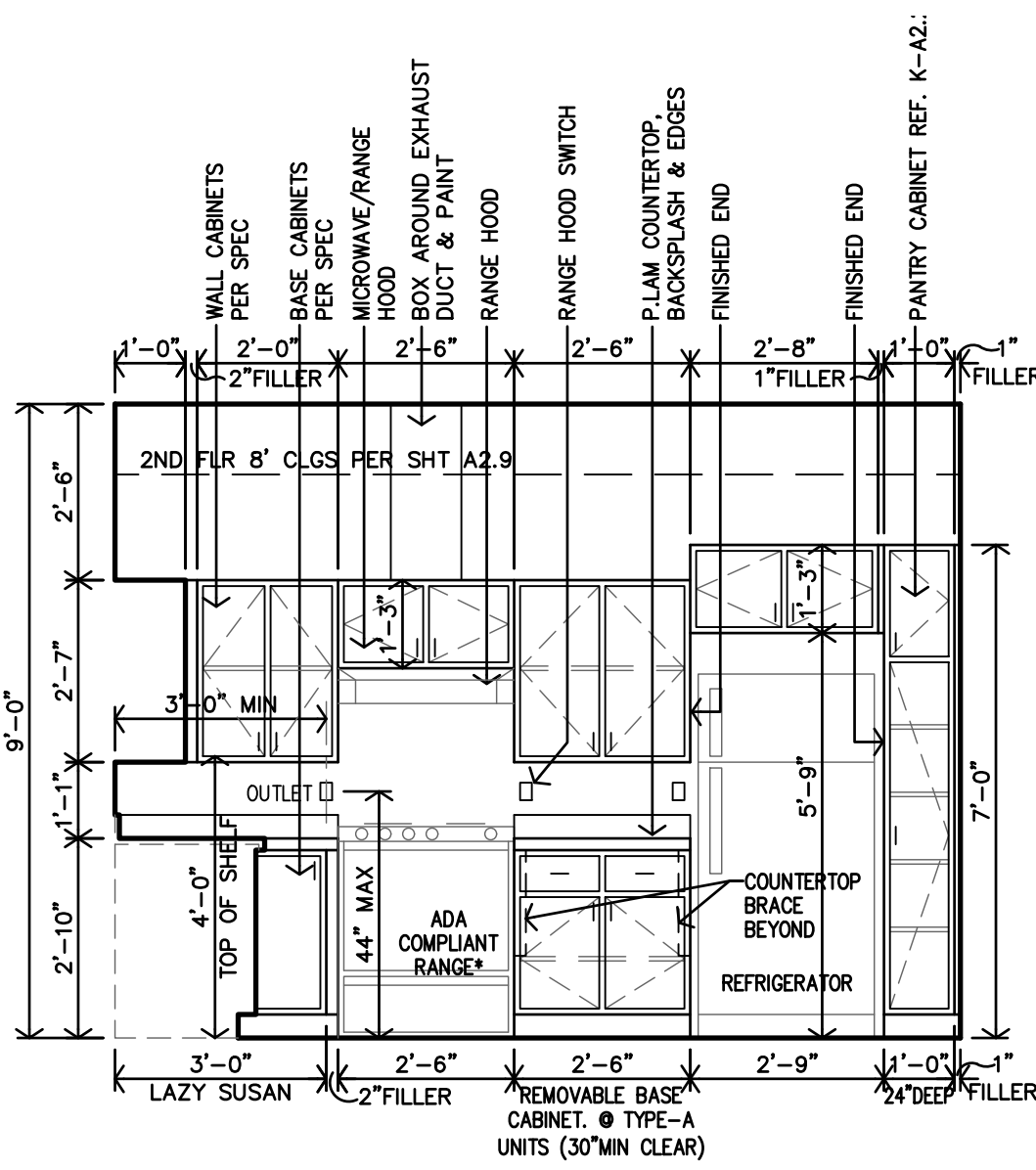
JGR
 Jones Gillam Remen
 730 N. Ninth
 Salina, KS 67401
 785.827.0386
 1881 Main Street, Suite 307
 Kansas City, MO 64108
 jgr@jgarchitects.com



F TYPE-A
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



E ACCESSIBLE/TYPER-A
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"



D TYPE-A
1BDRM/2BDRM/3BDRM
KITCHEN #103
CASEWORK ELEVATION
3/8"=1'-0"

ENLARGED BATH NOTES

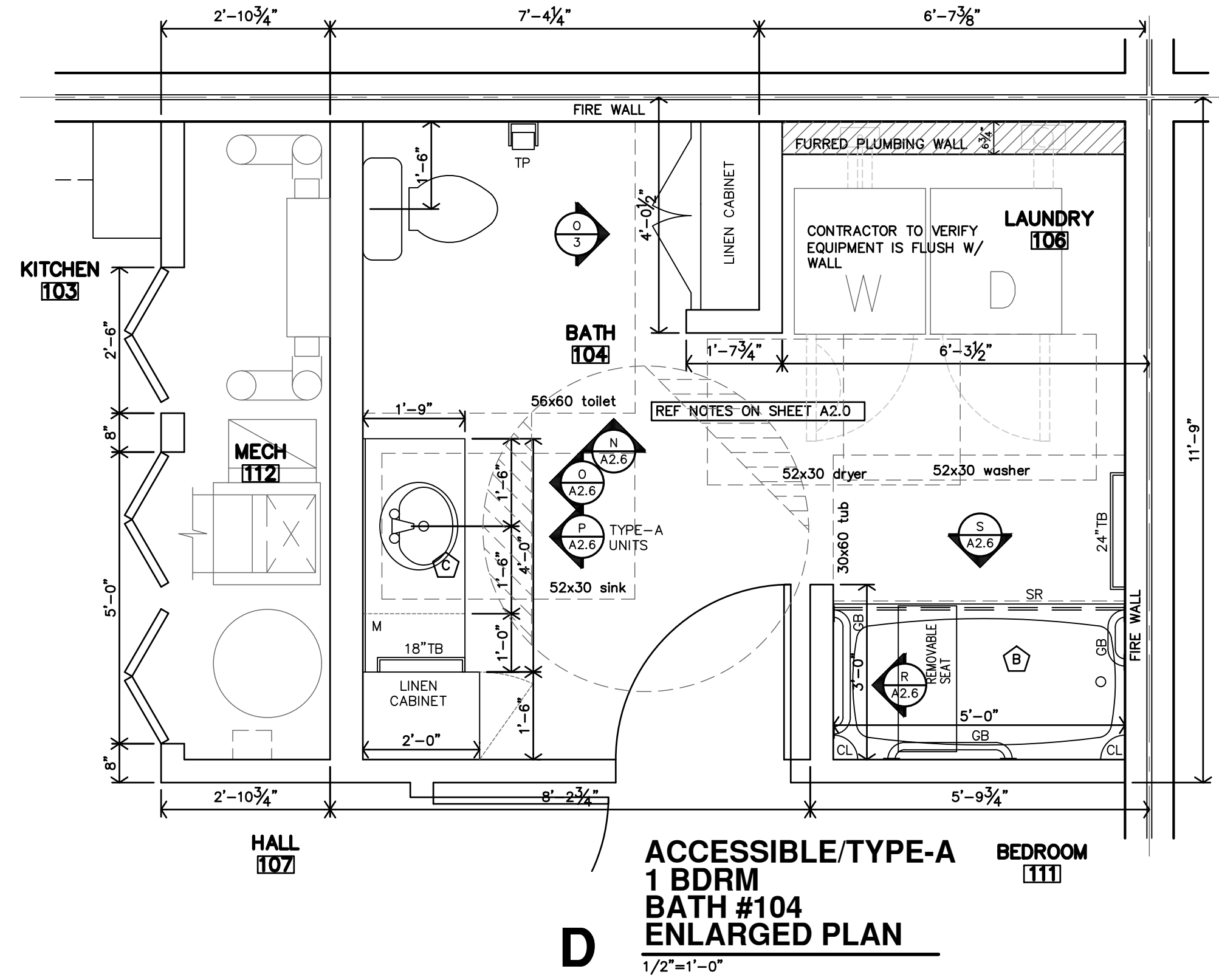
1. REF UNIT GENERAL NOTES FOR ADDITIONAL DIRECTION ON SHEET A2.0.
2. ALL DIMENSIONS ARE TO FACE OF C/P. BD. UNLESS NOTED OTHERWISE.
3. CONTRACTOR TO INSTALL 2x6 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, GRABS BARS & SHOWER SEAT, ETC. AS REQ'D. (REF. SHEET A2.0)
4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER, ALWAYS WHEN FACING UNITS. THIS NEEDS TO BE COORDINATED ON SITE. ACCESSIBLE UNITS MUST HAVE WASHER & DRYER 27" wide X 30" depth MAX.

LEGEND

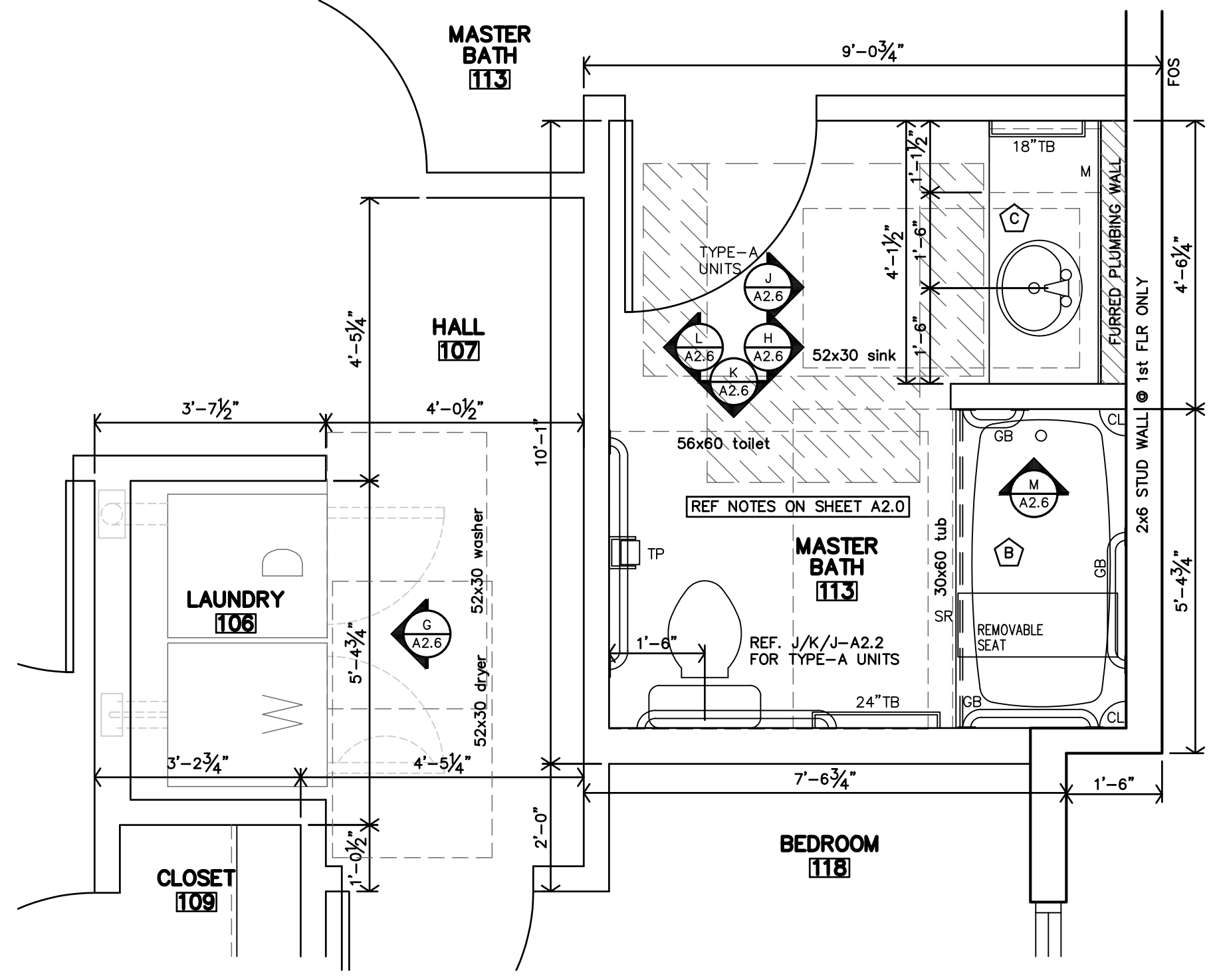
M MIRROR
TP TOILET PAPER DISPENSER
TB TOWEL BAR
CL CORNER LEDGE
SR SHOWER ROD

BATH KEYNOTES:

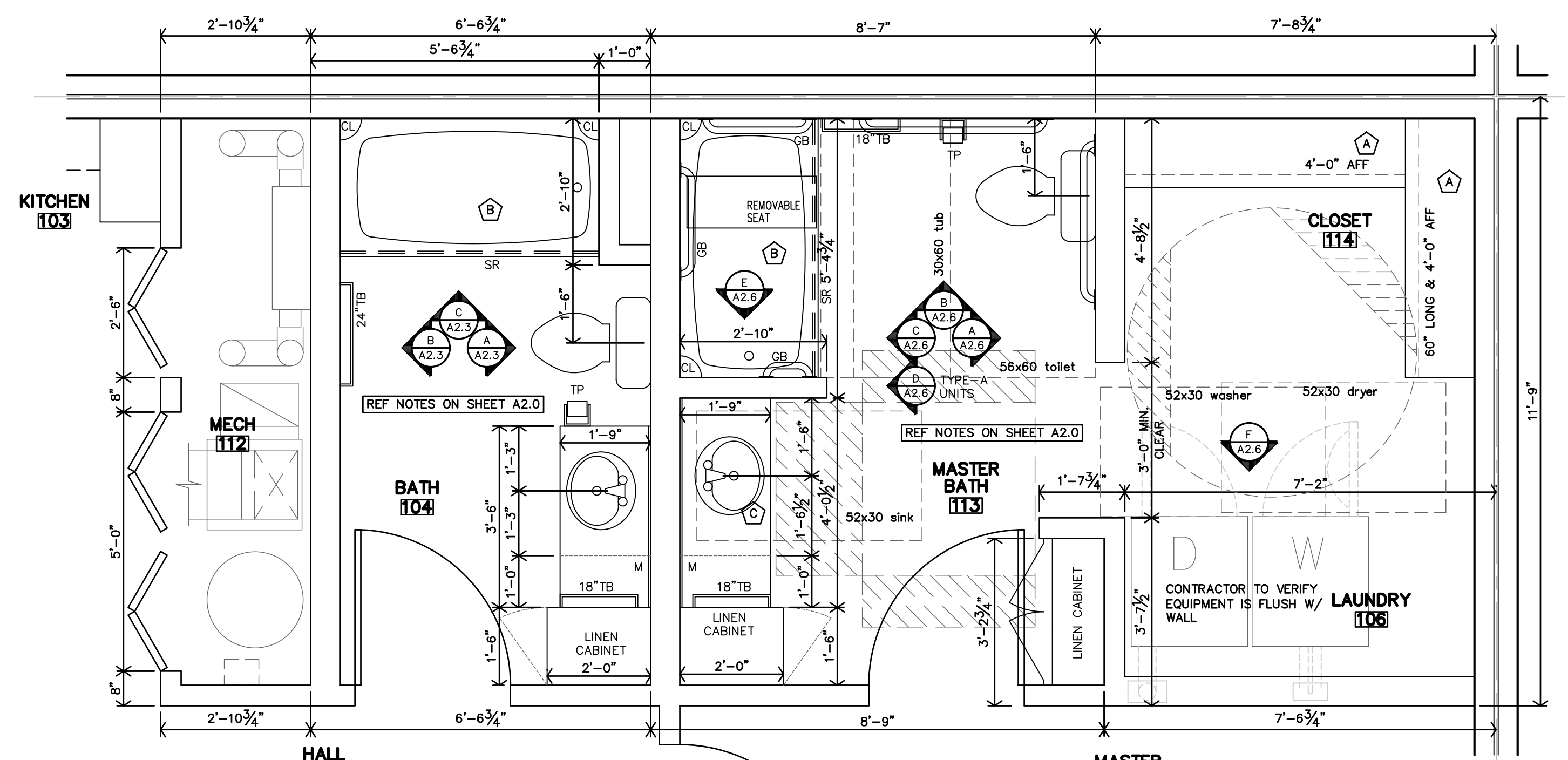
(A) PLASTIC COATED WIRE CLOTHES SHELF & ROD. HEIGHT AS CALLED OUT ON PLAN.
(B) VERIFY SIZE OF FIBERGLASS TUB/SHOWER COMBINATION UNIT
(C) TYPE-A UNITS: FLOORING & WALL FINISH TO BE CONTINUOUS @ REMOVABLE CABINETS



D ACCESSIBLE/TYPER-A
1 BDRM
BATH #104
ENLARGED PLAN
1/2"=1'-0"



B ACCESSIBLE/TYPER-A
3 BDRM
MASTER BATH #113
ENLARGED PLAN
1/2"=1'-0"



A ACCESSIBLE/TYPER-A
2 BDRM
BATH #104 & MASTER BATH #113
ENLARGED PLAN
1/2"=1'-0"

C NOT USED

ACCESSIBLE/TYPER-A APARTMENTS

JonesGillamRenz
730 N. Ninth
Salina, KS 67401
785.827.0386
jgr@jgarchitects.com

JGR

THE RESERVES at EAGLE POINT
COLORADO

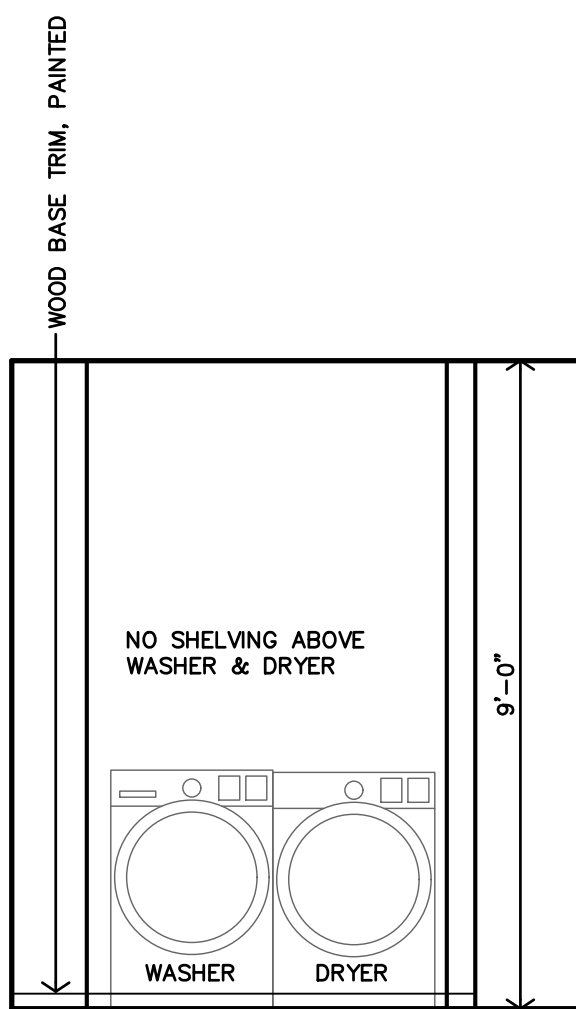
415 NORTH PICADILLY RD
AURORA,



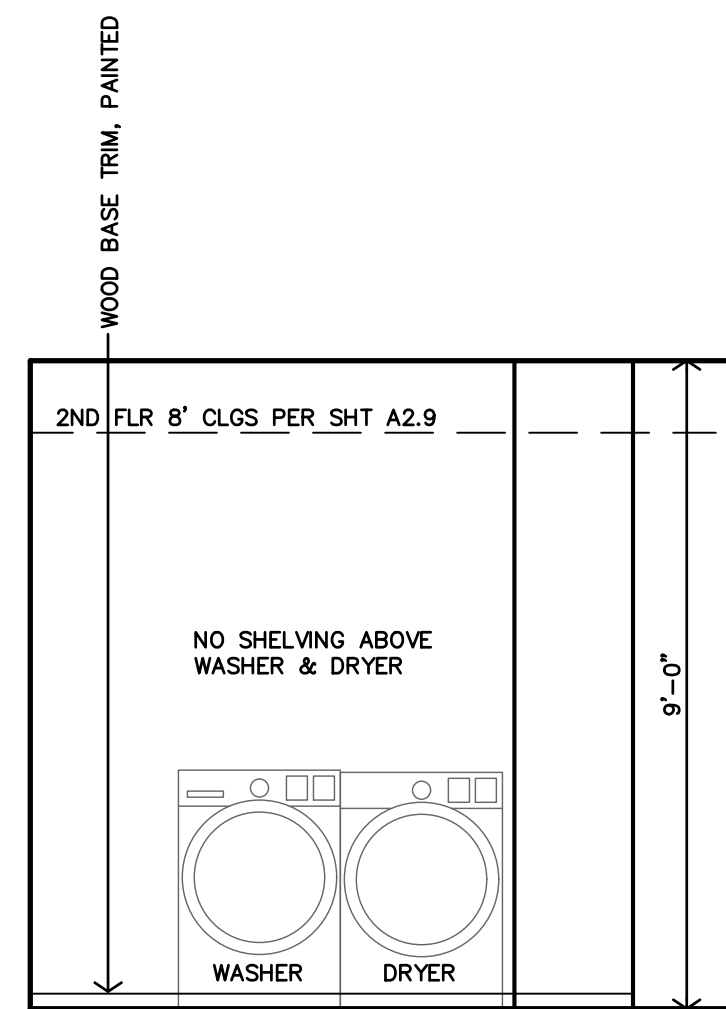
REVISION:
DATE: 10-2-2023
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City of Aurora Building Division
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2021 INTERNATIONAL CODES & 2023 NEC

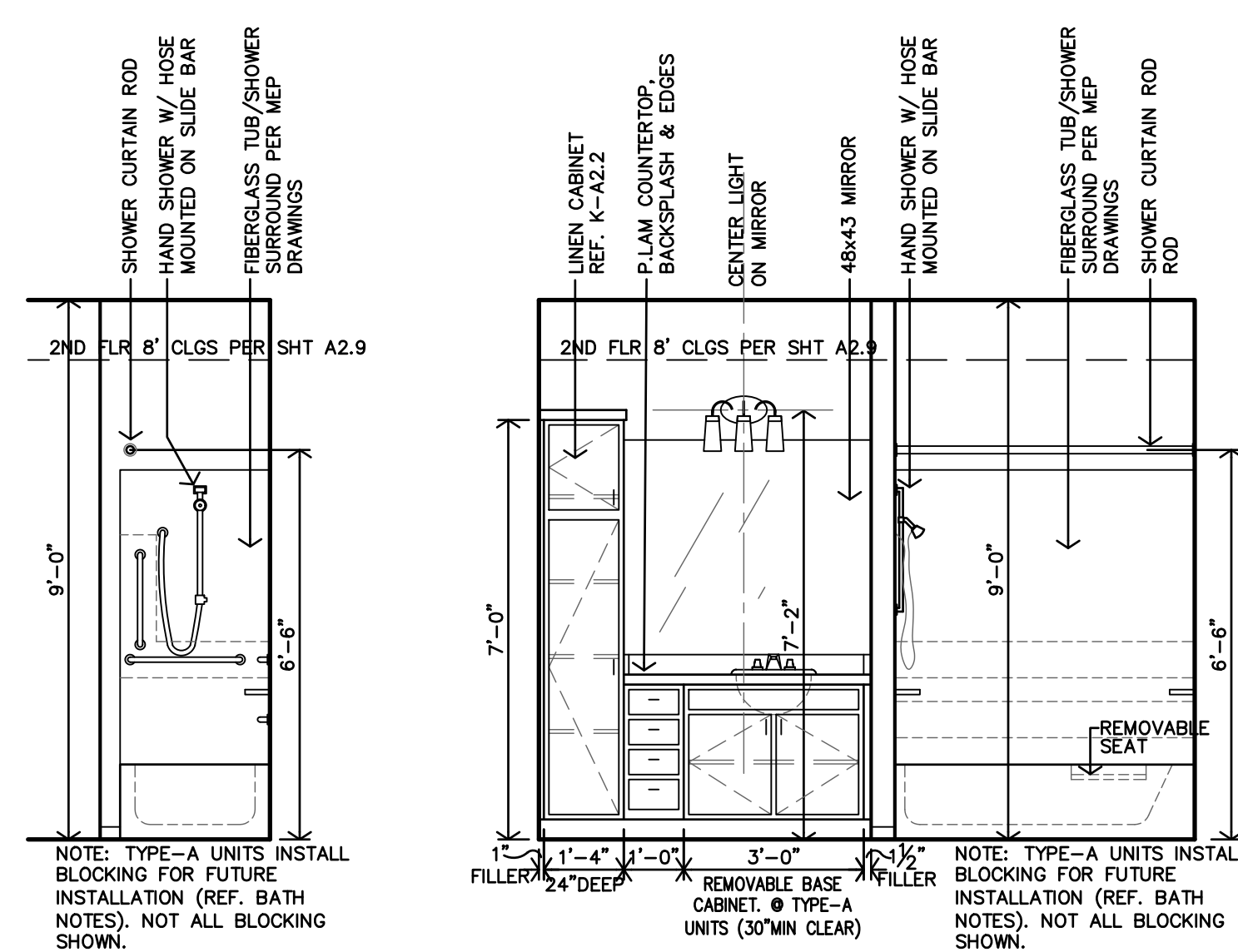
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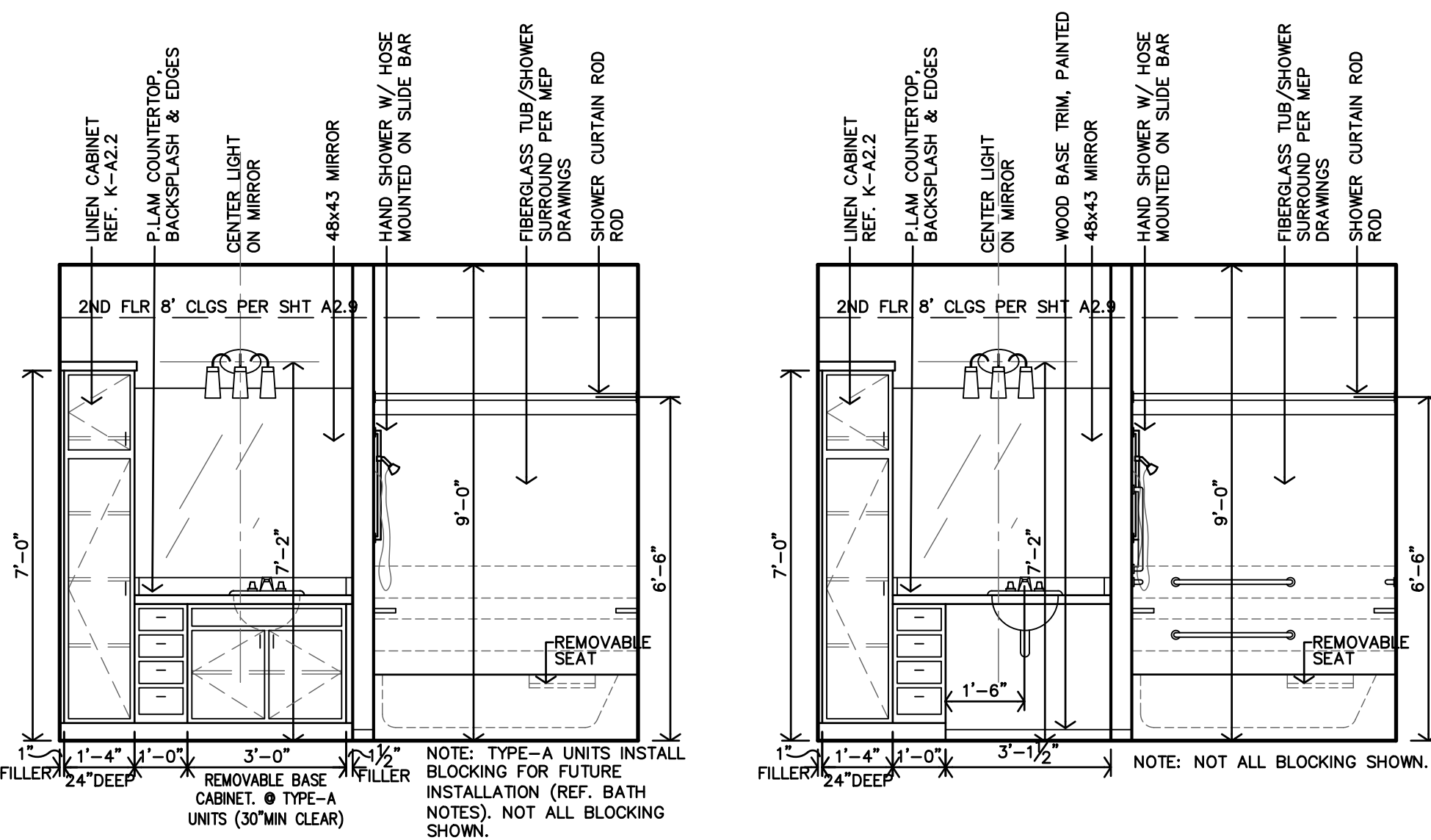
G ACCESSIBLE/TYPER-A
3BDRM
LAUNDRY #106
INTERIOR ELEVATION
3/8"=1'-0"



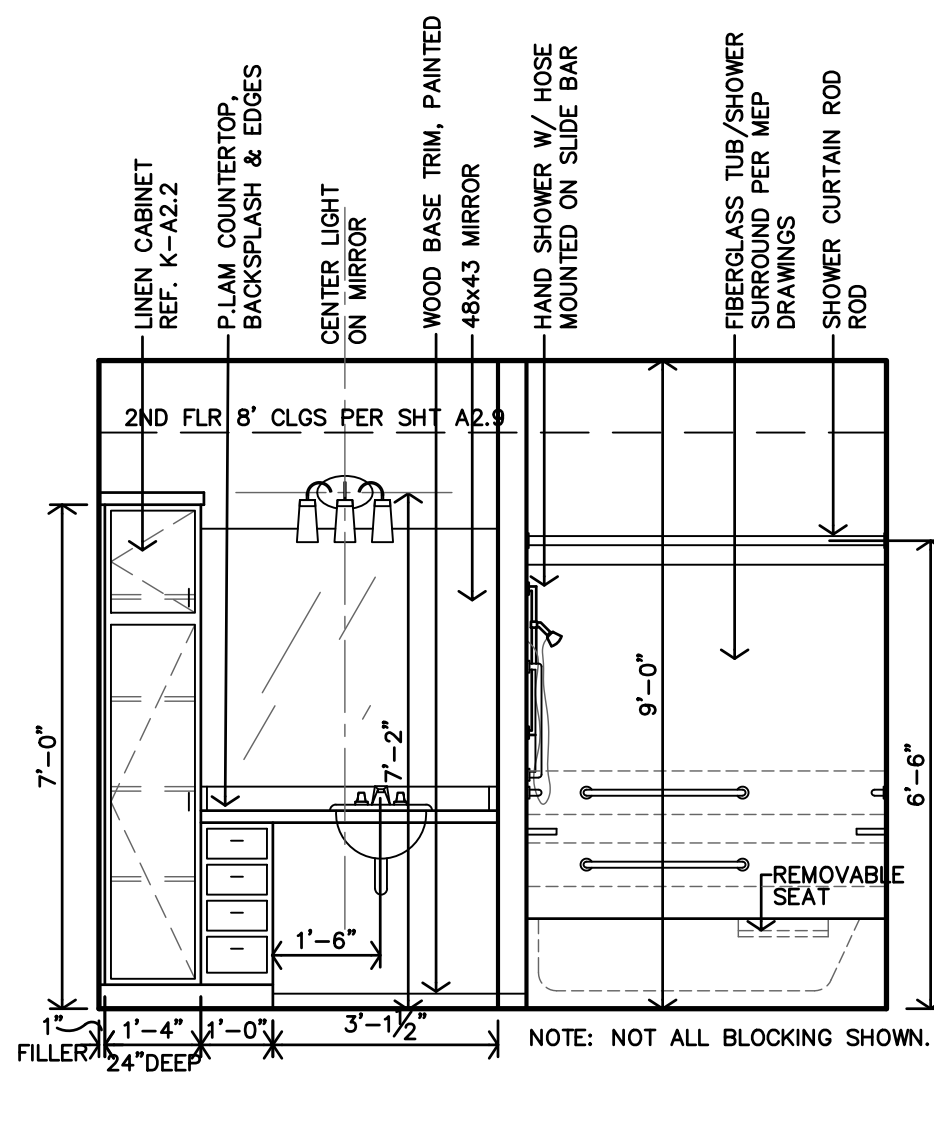
F ACCESSIBLE/TYPER-A
2BDRM
LAUNDRY #106
INTERIOR ELEVATION
3/8"=1'-0"



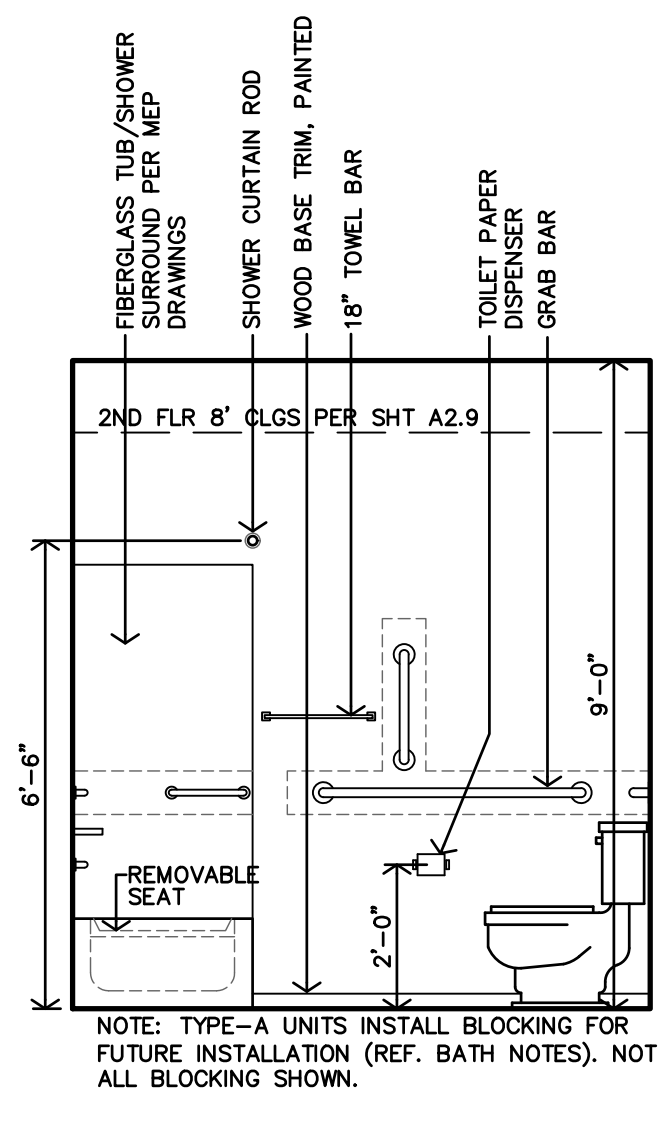
E ACCESSIBLE/TYPER-A
2BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



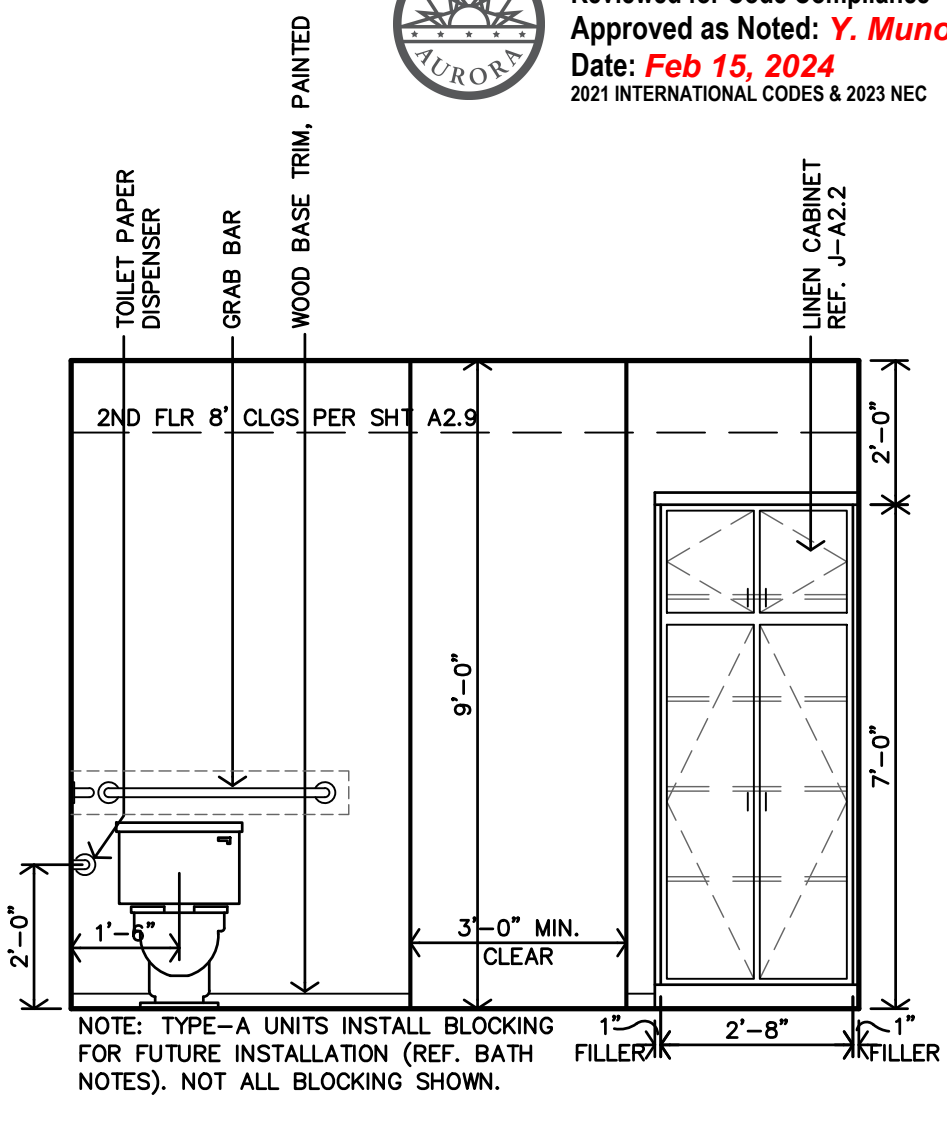
D TYPE-A
2BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



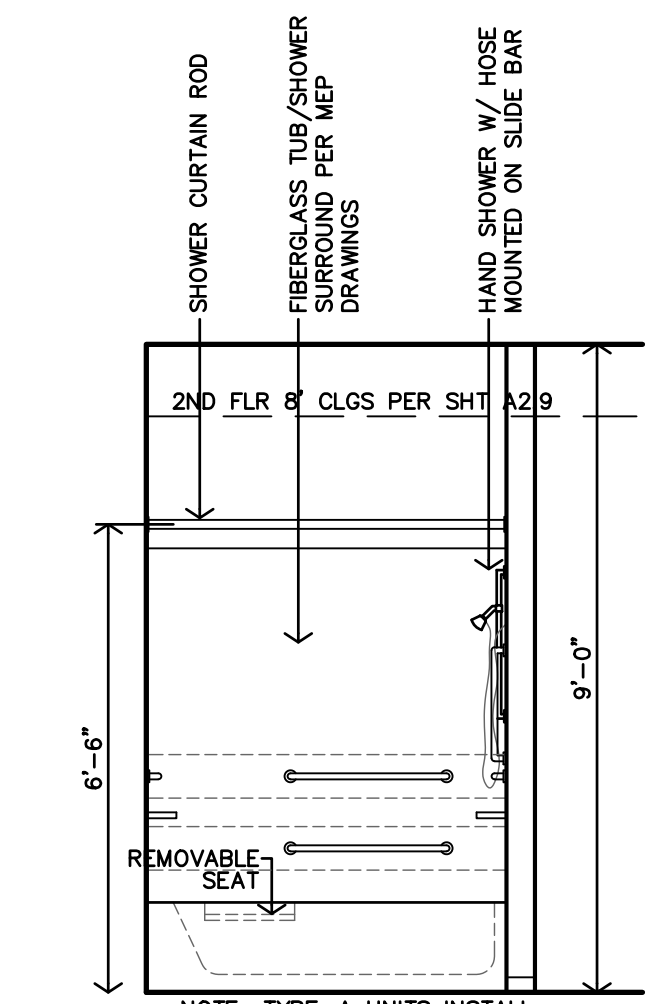
C ACCESSIBLE/TYPER-A
2BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



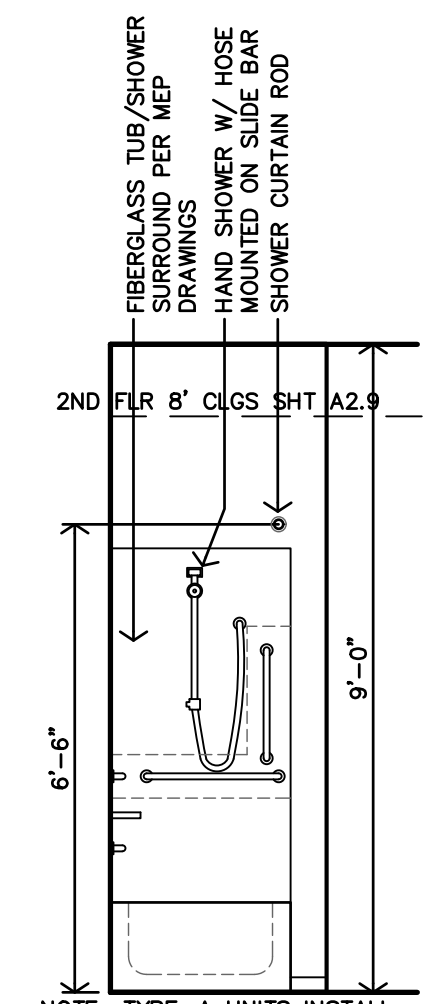
B ACCESSIBLE
2BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



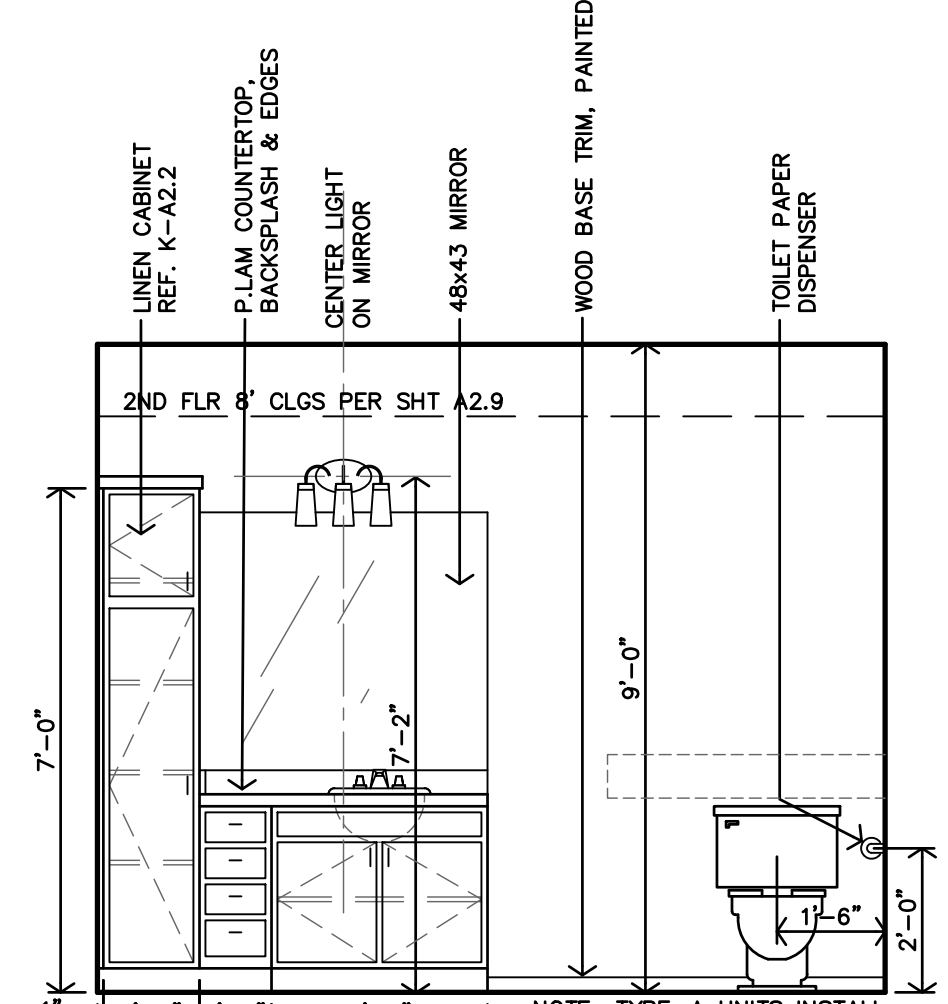
A ACCESSIBLE/TYPER-A
2BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



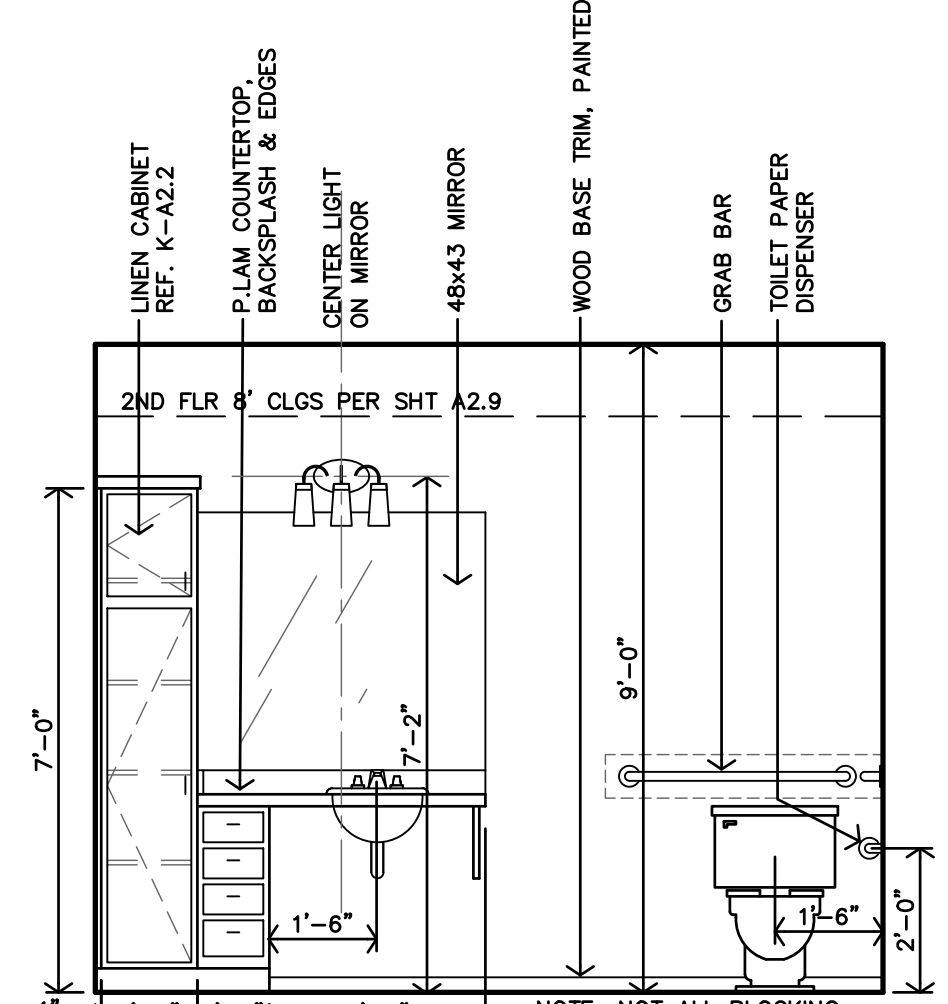
S ACCESSIBLE/TYPER-A
1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



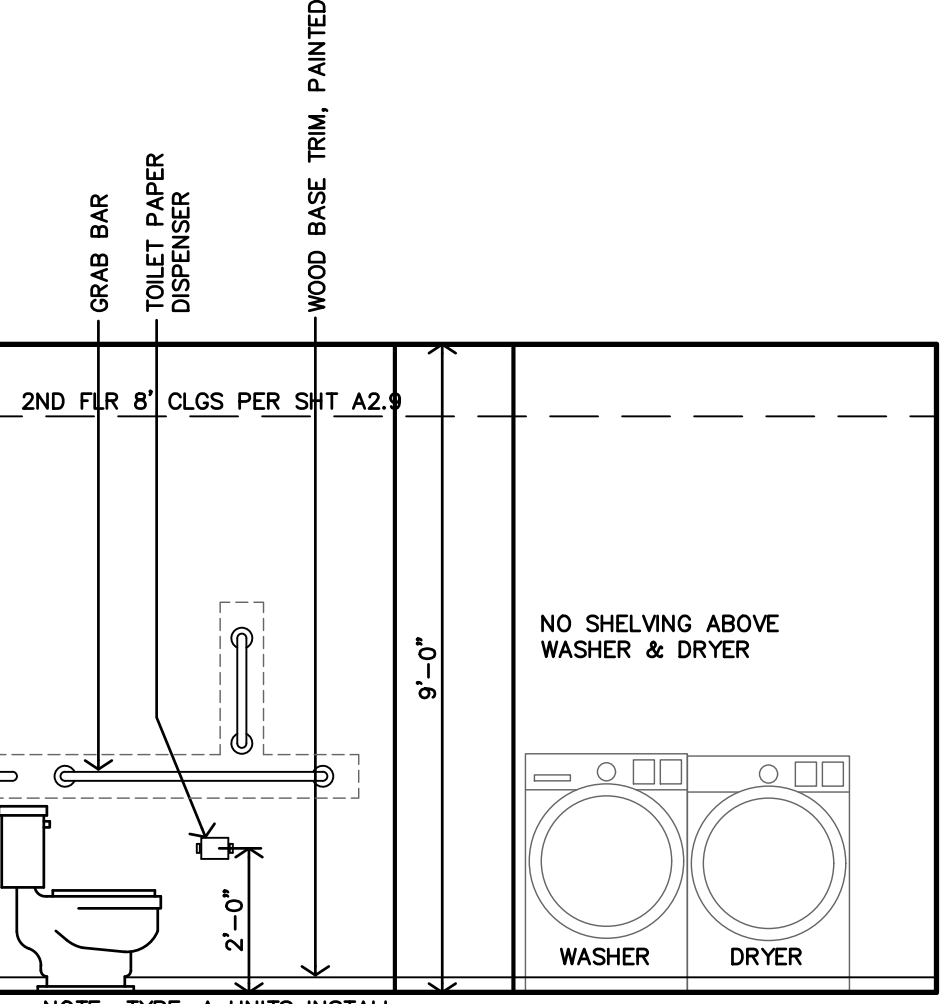
R ACCESSIBLE/TYPER-A
1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



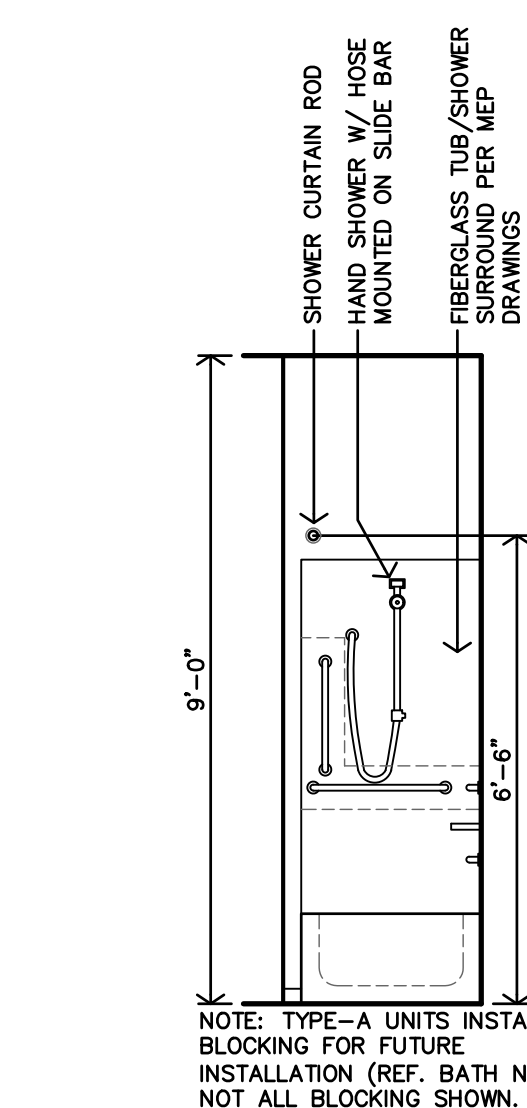
P TYPE-A
1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



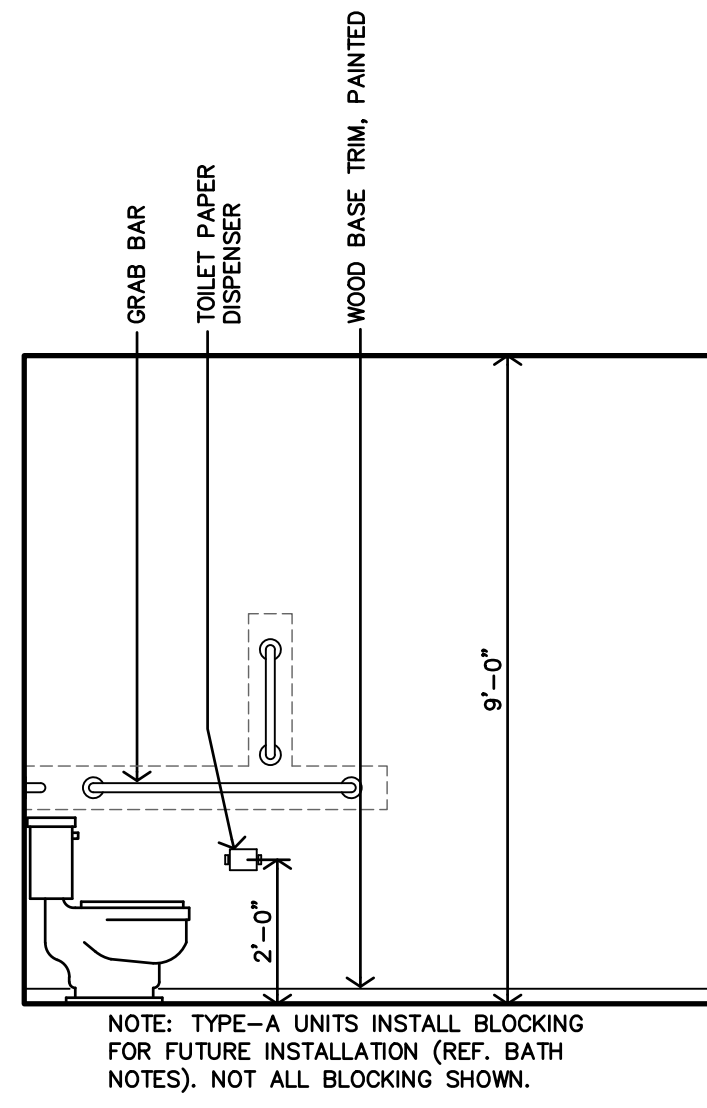
O ACCESSIBLE/TYPER-A
1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



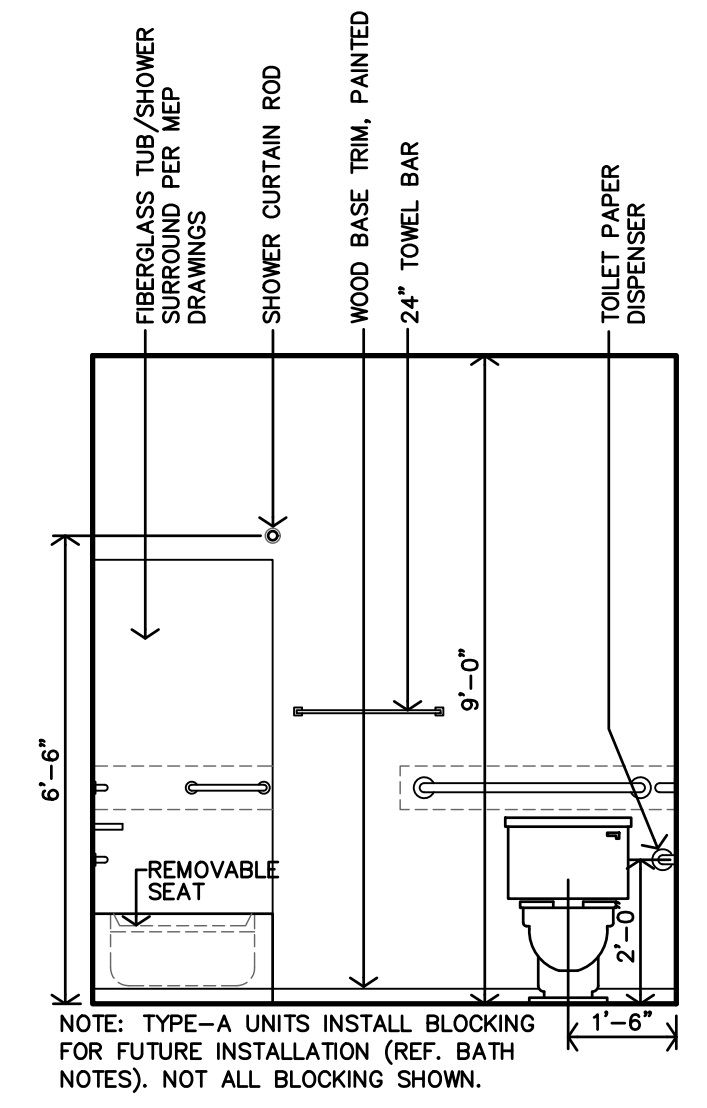
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1BDRM
BATH #104
INTERIOR ELEVATION
3/8"=1'-0"



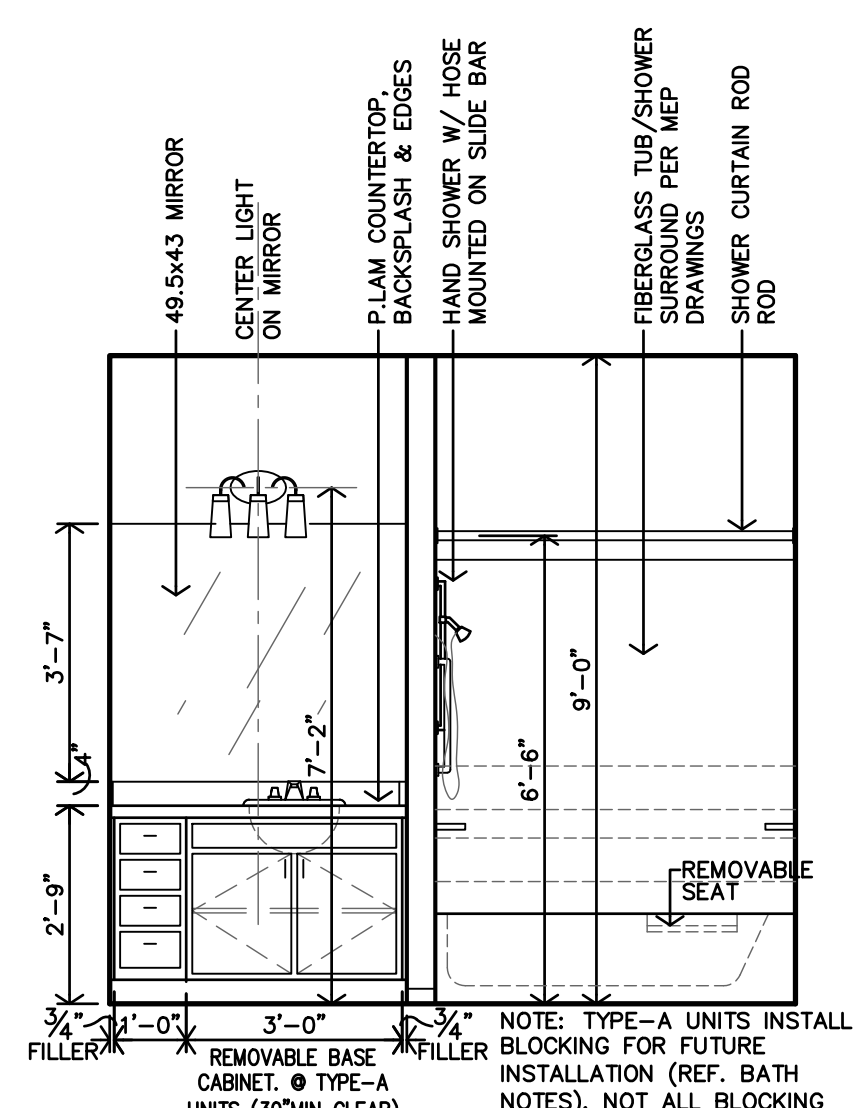
M ACCESSIBLE/TYPER-A
3BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



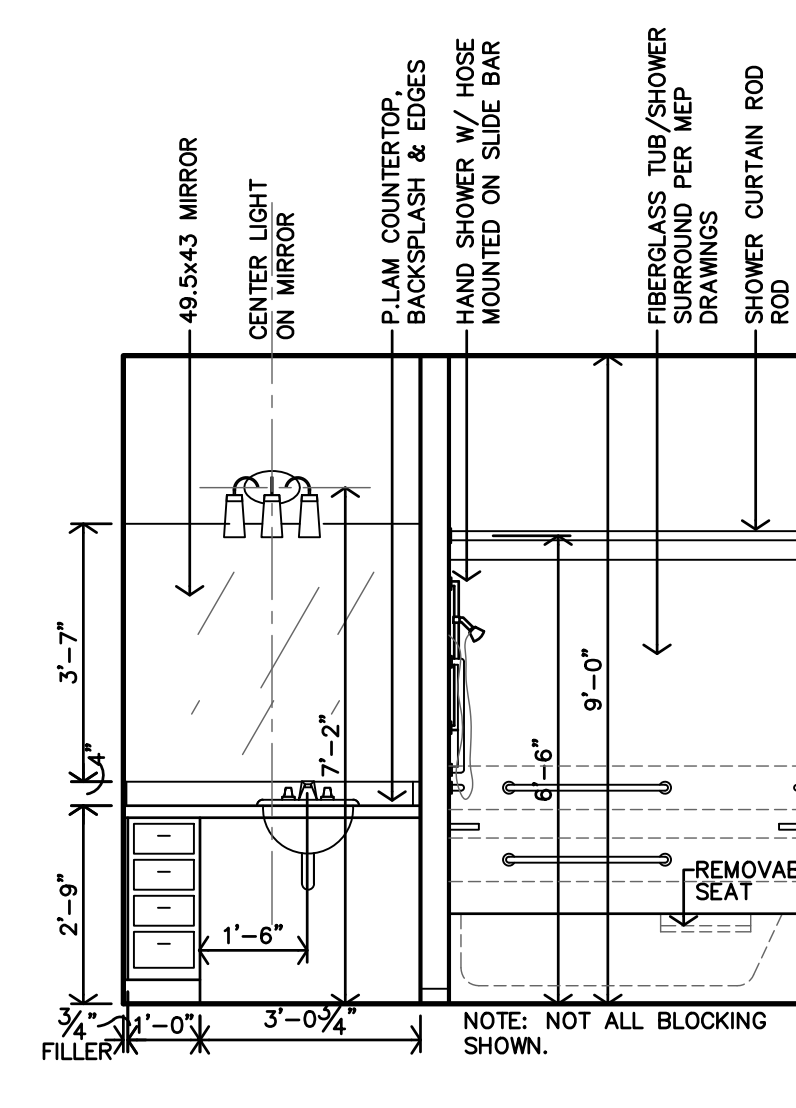
L ACCESSIBLE/TYPER-A
3BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



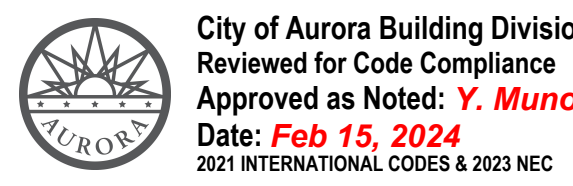
K ACCESSIBLE/TYPER-A
3BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



J TYPE-A
3BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"

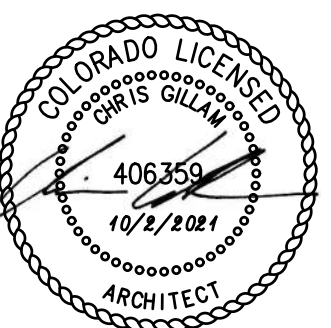


H ACCESSIBLE/TYPER-A
3BDRM
MASTER BATH #113
INTERIOR ELEVATION
3/8"=1'-0"



City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: **Y. Munoz**
Date: **Feb 15, 2024**
2021 INTERNATIONAL CODES & 2023 NEC

ACCESSIBLE/TYPER-A APARTMENTS

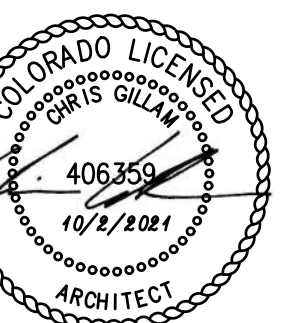


REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

A2.6

JGR JonesGillamRenz
1881 Main Street, Suite 307
Kansas City, MO 64108
jgr@jgarchitects.com

THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA, COLORADO

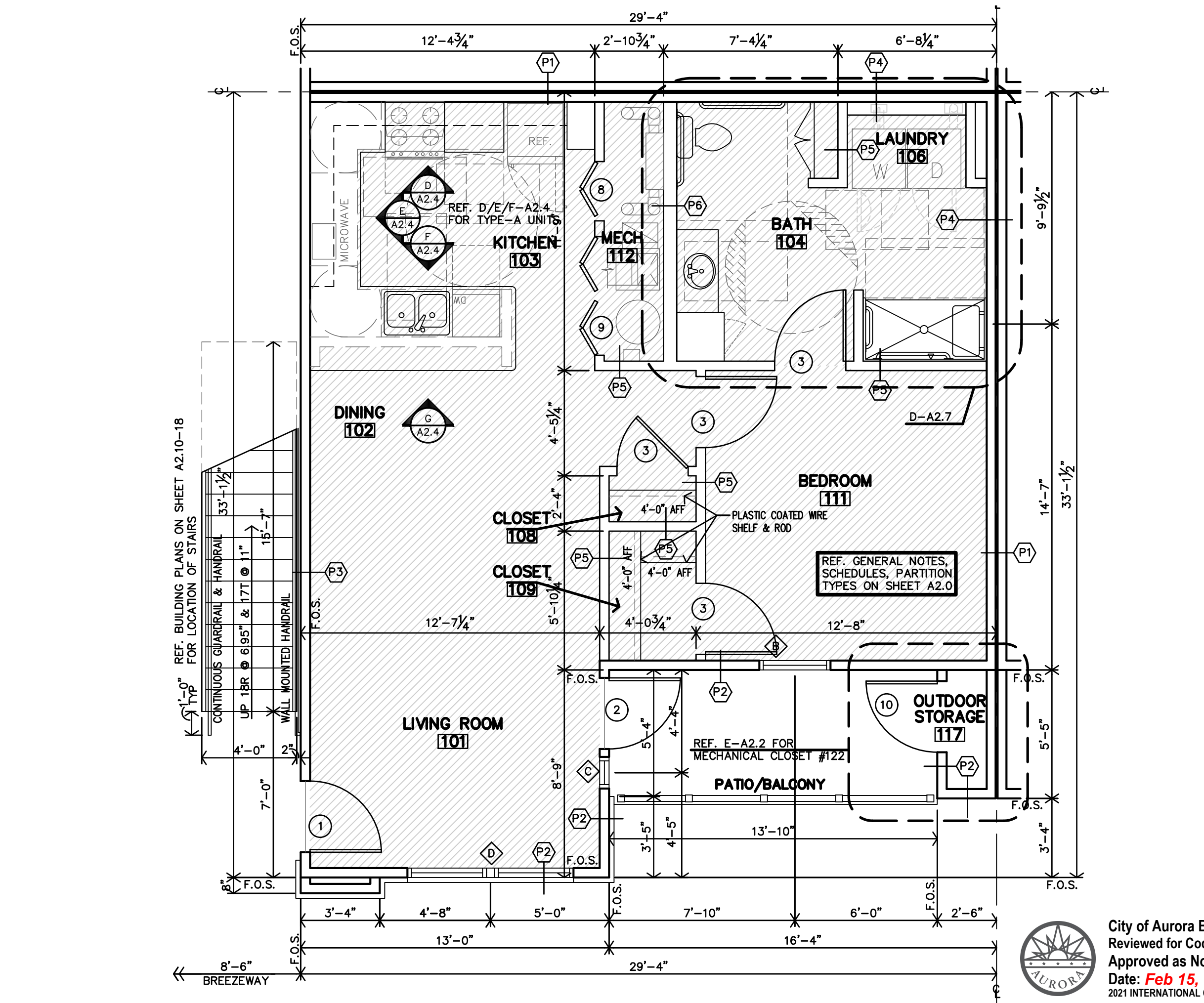


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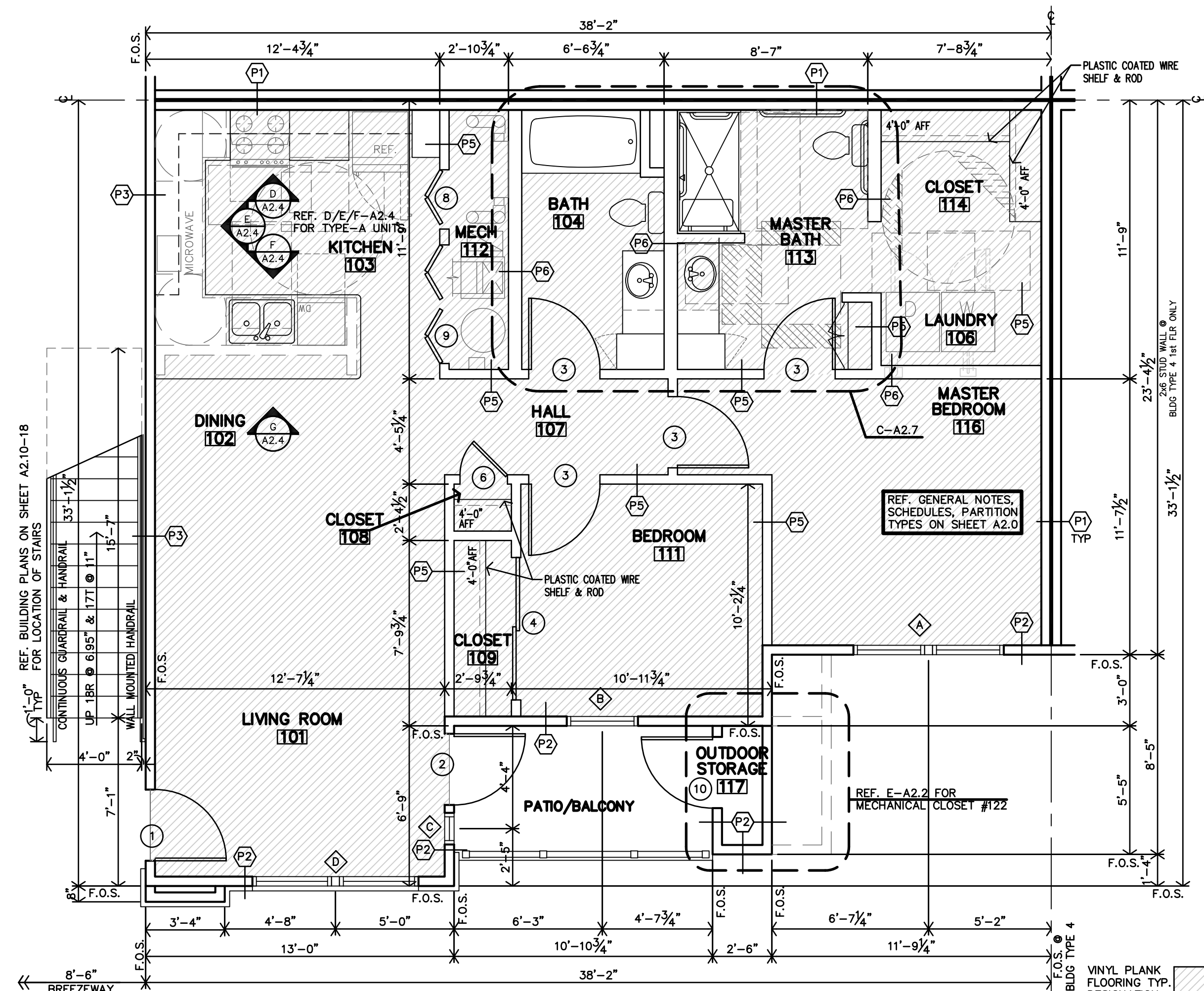
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ACCESSIBLE (ROLL-IN) APARTMENTS

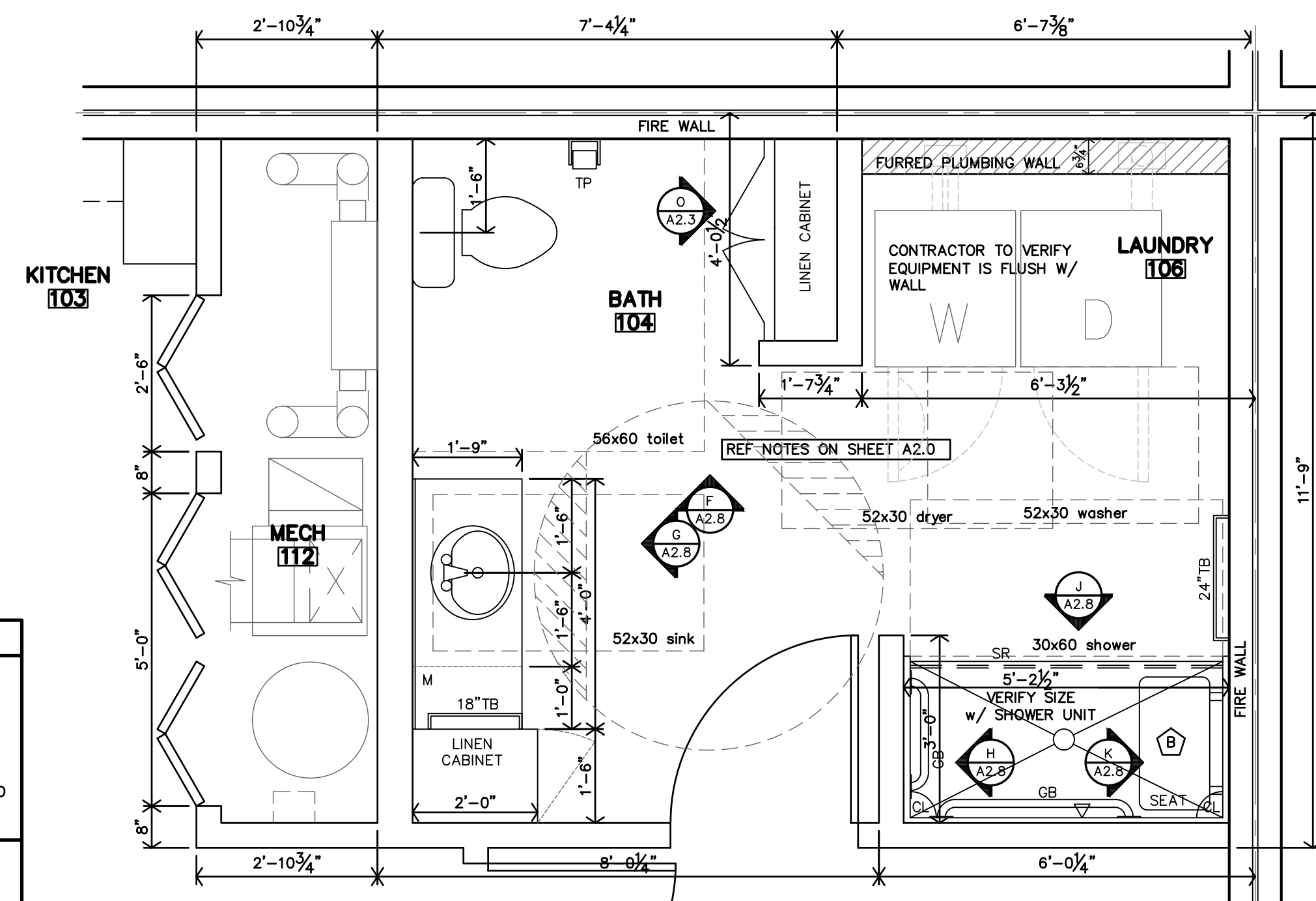
City of Aurora Building Division
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 Date: **Feb 15, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC



B ACCESSIBLE 1 BEDROOM FLOOR PLAN ROLL-IN SHOWER
 1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR ACCESSIBLE (ROLL-IN) LOCATIONS



A ACCESSIBLE 2 BEDROOM FLOOR PLAN ROLL-IN SHOWER
 1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR ACCESSIBLE (ROLL-IN) LOCATIONS

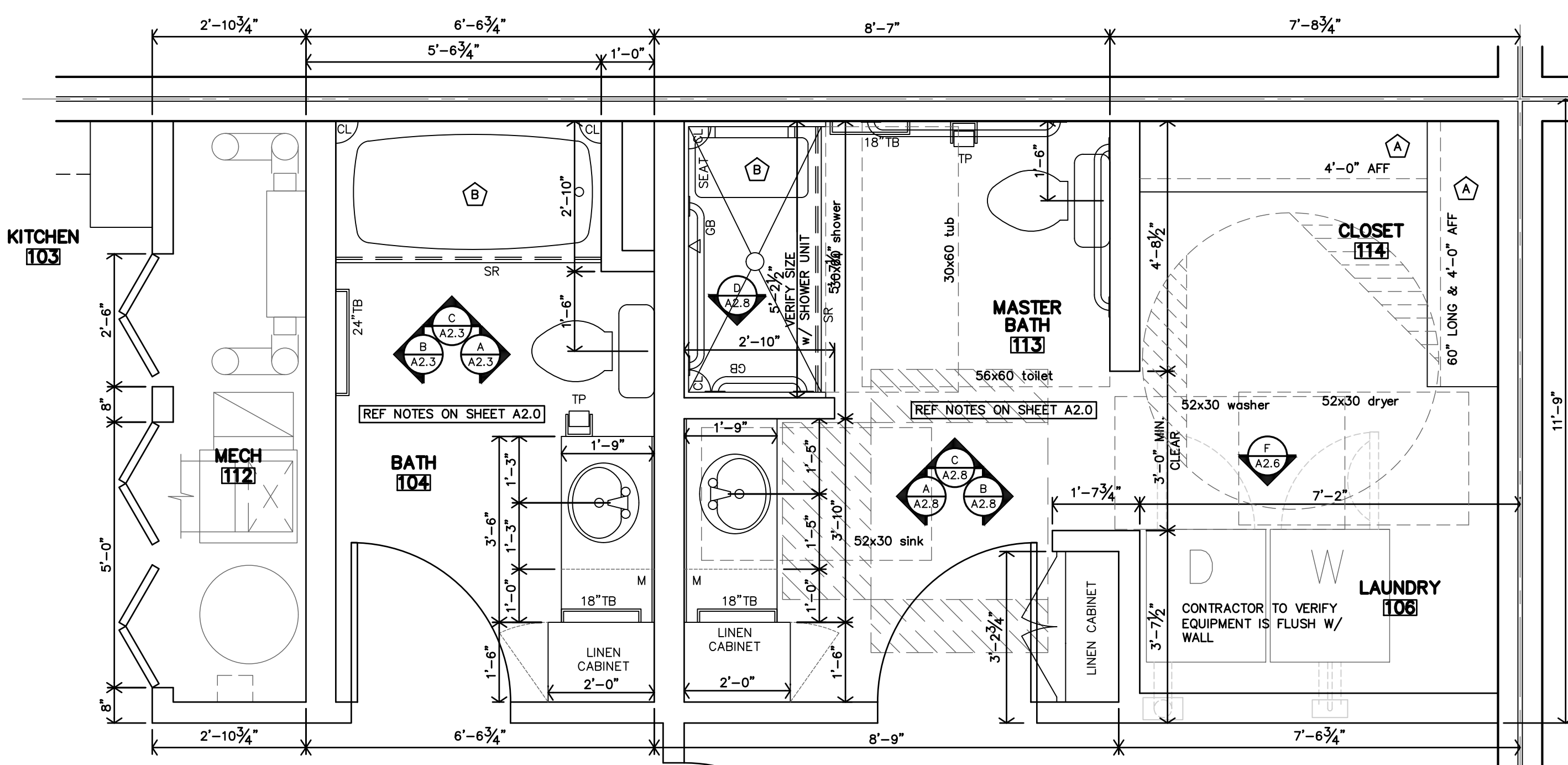


D ACCESSIBLE (ROLL-IN) 1 BDRM BATH #104 ENLARGED PLAN
 1/2"=1'-0"

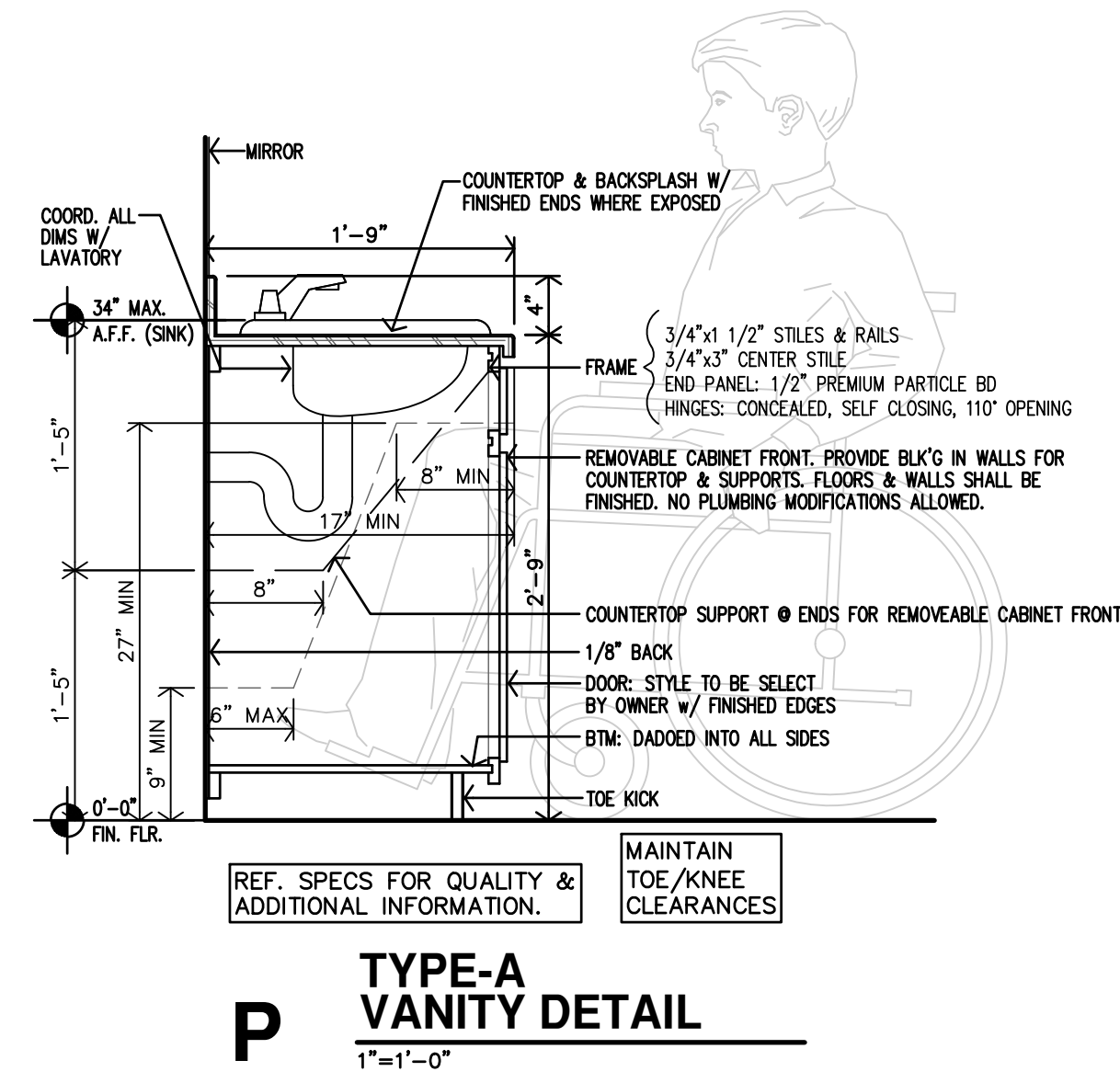
ENLARGED BATH NOTES
 1. REF UNIT GENERAL NOTES FOR ADDITIONAL DIRECTION ON SHEET A2.0.
 2. ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
 3. CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, SLIDE BAR, TOWEL BARS, GRABS BARS & SHOWER SEAT, ETC. AS REQ'D. (REF. SHEET A2.0)
 4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER ALWAYS WHEN FACING UNITS. THIS NEEDS TO BE COORDINATED ON SITE. ACCESSIBLE UNITS MUST HAVE WASHER & DRYER 27" wide X 30" depth MAX.

LEGEND
 M MIRROR
 TP TOILET PAPER DISPENSER
 TB TOWEL BAR
 CL CORNER LEDGE
 SR SHOWER ROD

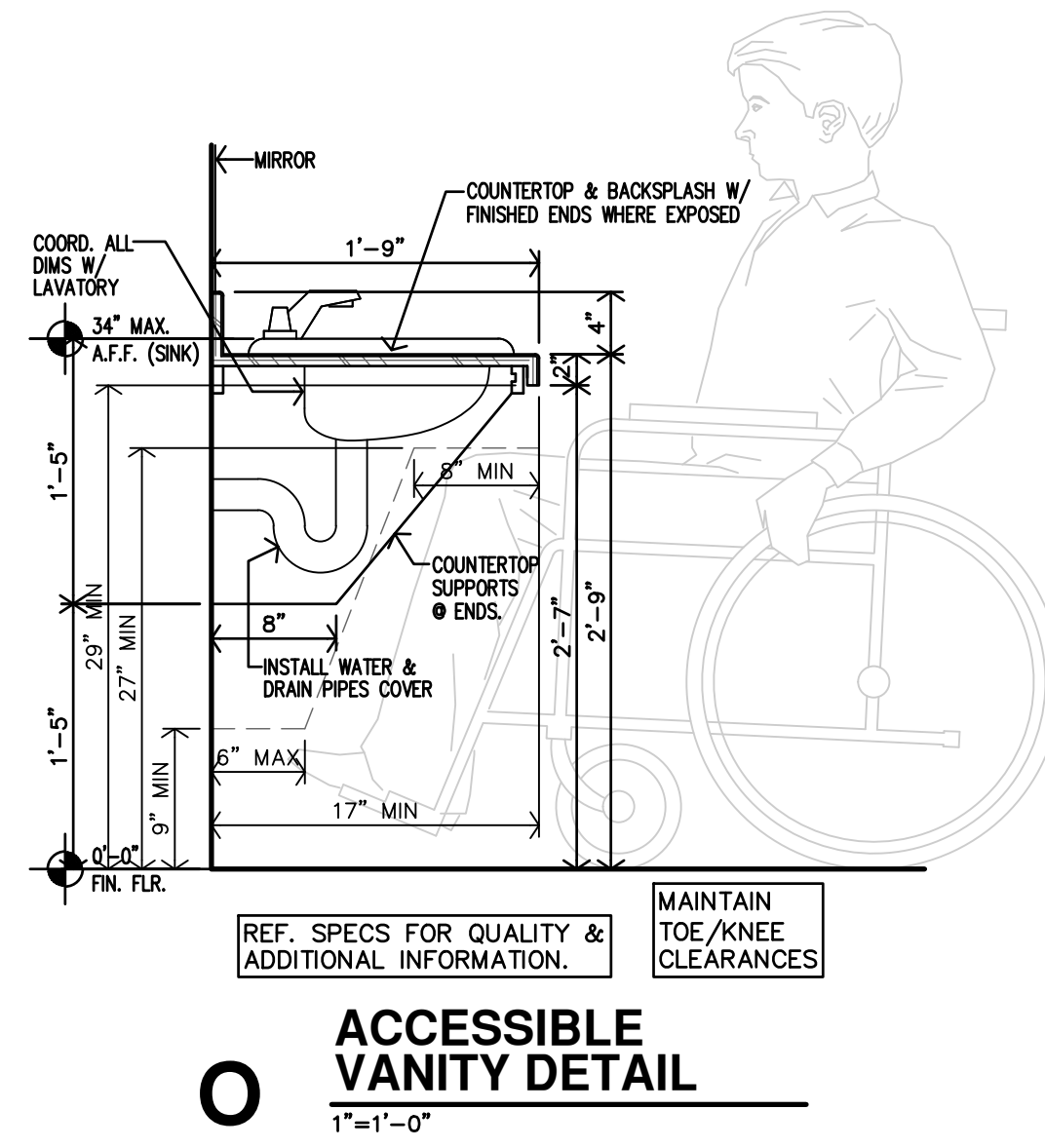
BATH KEYNOTES:
 A PLASTIC COATED WIRE CLOTHES SHELF & ROD. HEIGHT AS CALLED OUT ON PLAN.
 B VERIFY SIZE W/ FIBERGLASS ROLL-IN SHOWER UNIT or TUB/SHOWER COMBINATION UNIT



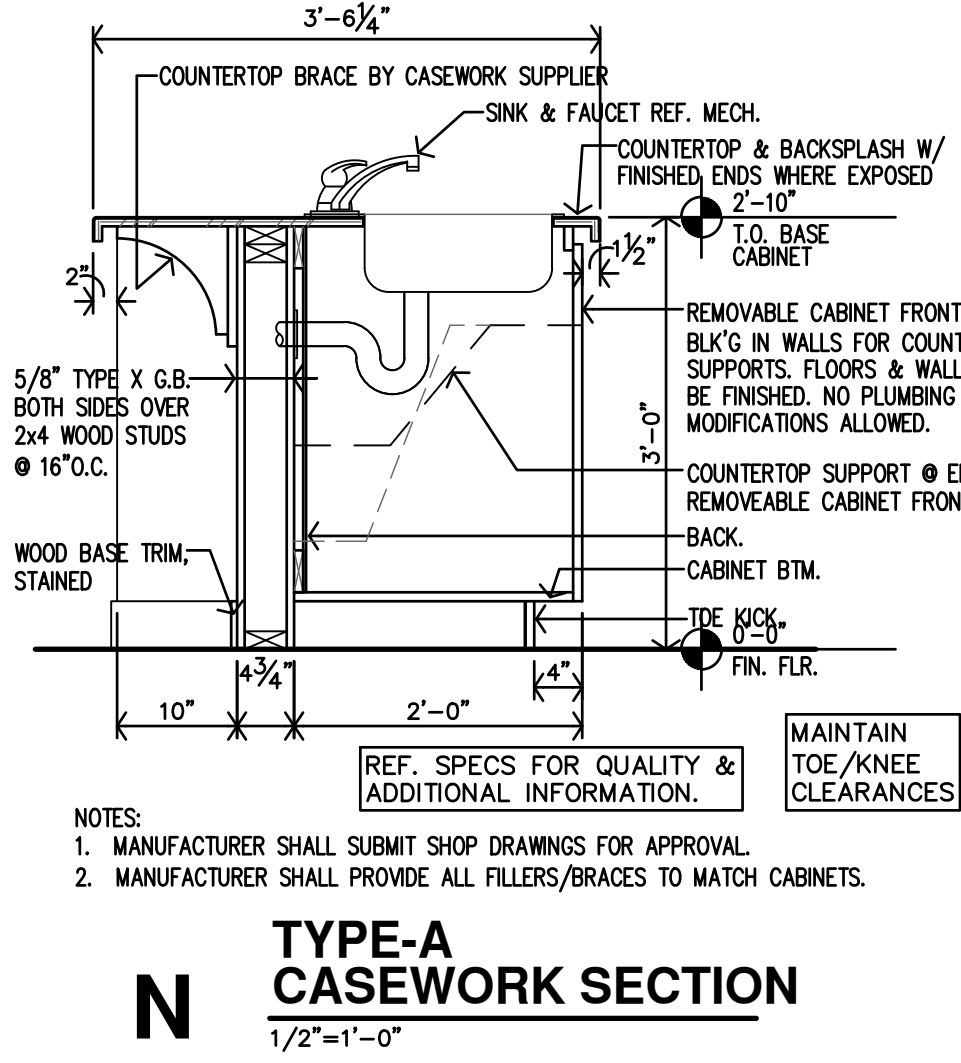
C ACCESSIBLE (ROLL-IN) 2 BDRM BATH #104 & MASTER BATH #113 ENLARGED PLAN
 1/2"=1'-0"



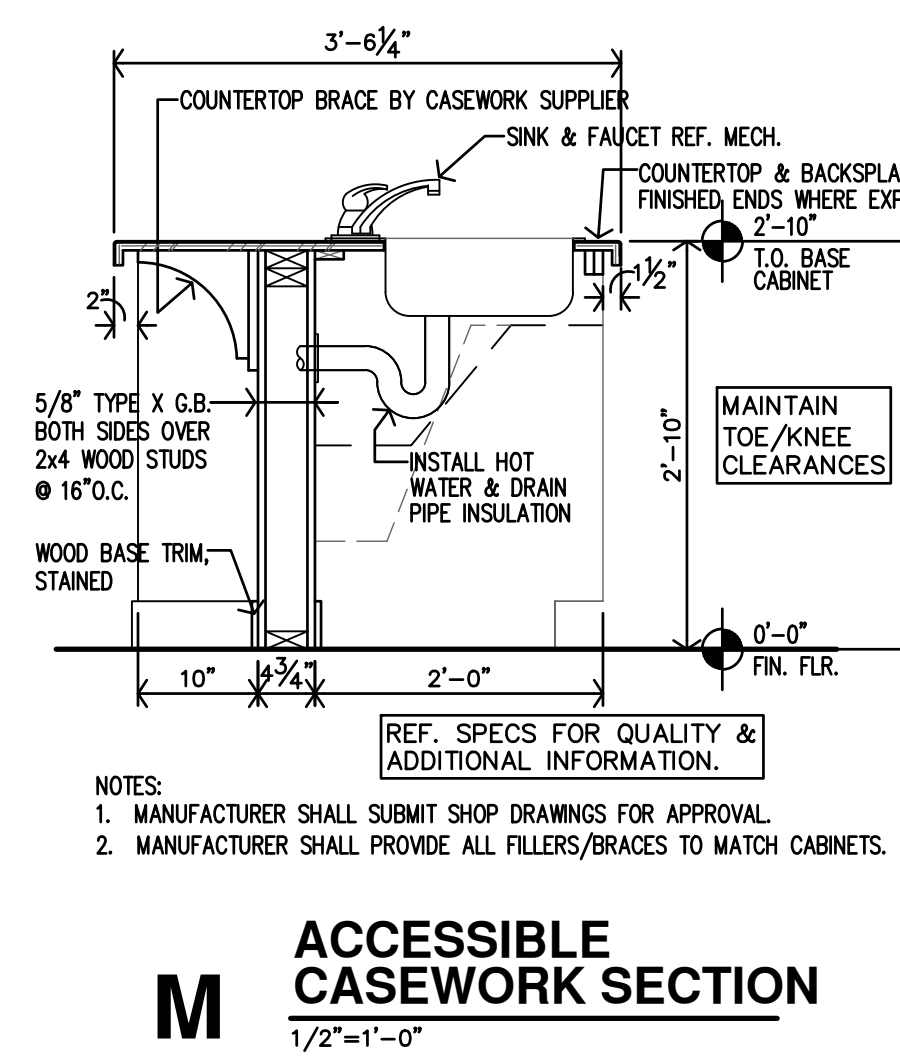
P TYPE-A VANITY DETAIL
1/2"=1'-0"



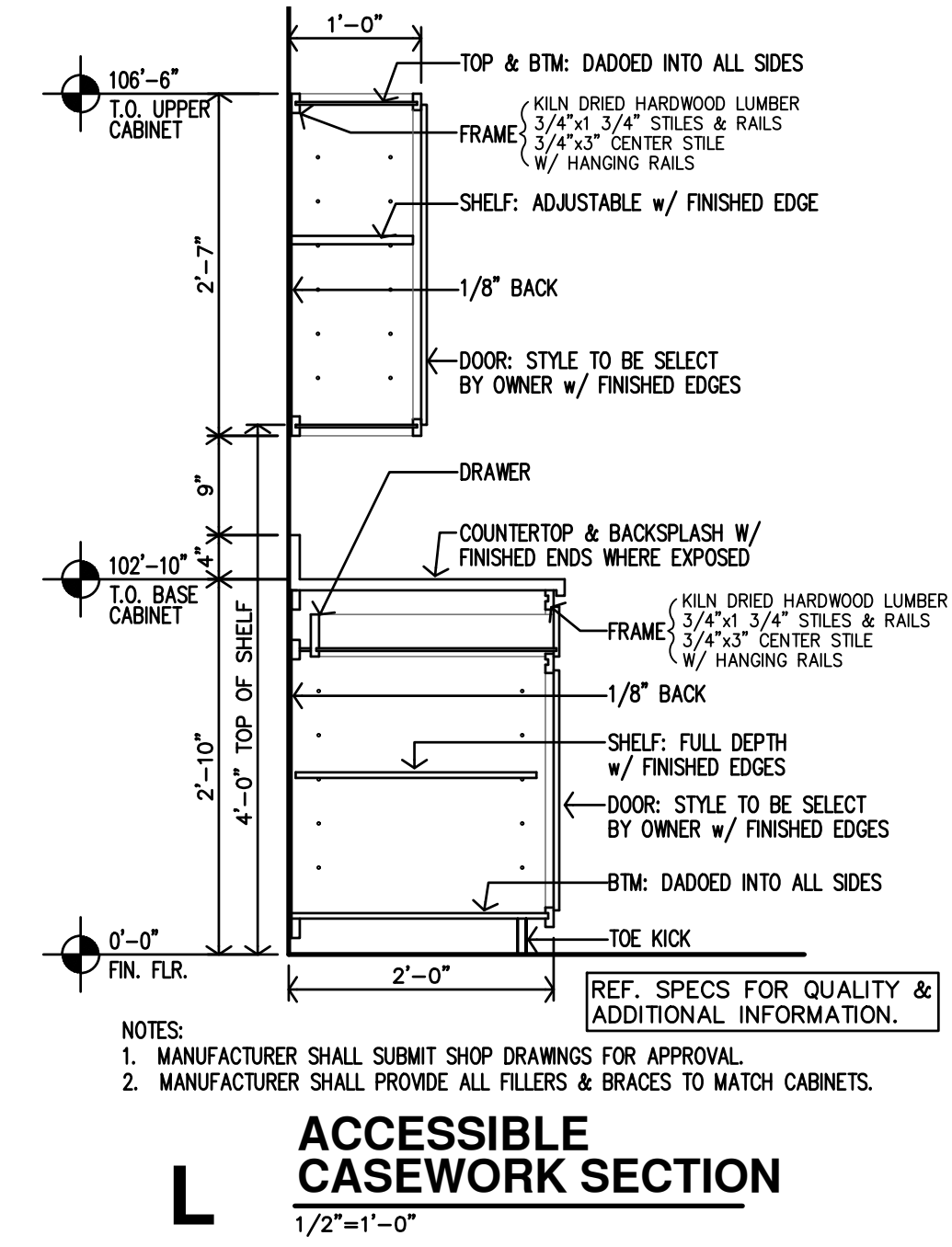
O ACCESSIBLE VANITY DETAIL
1/2"=1'-0"



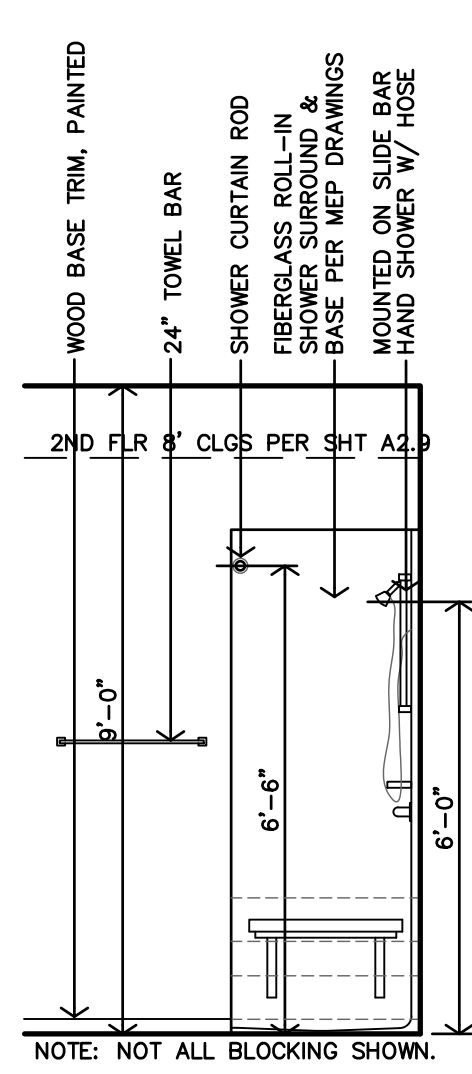
N TYPE-A CASEWORK SECTION
1/2"=1'-0"



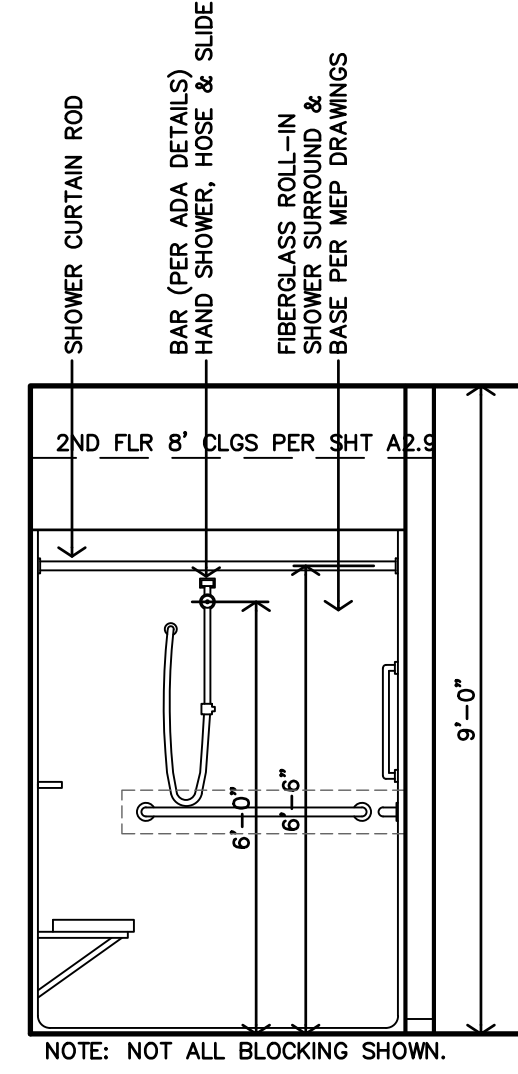
M ACCESSIBLE CASEWORK SECTION
1/2"=1'-0"



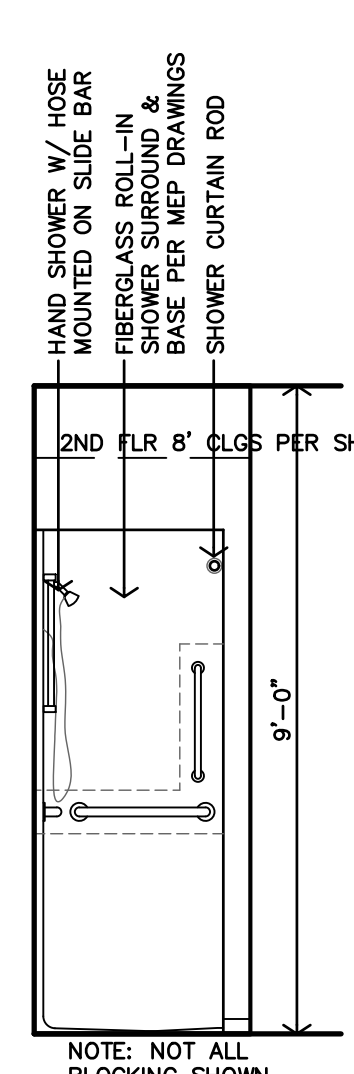
L ACCESSIBLE CASEWORK SECTION
1/2"=1'-0"



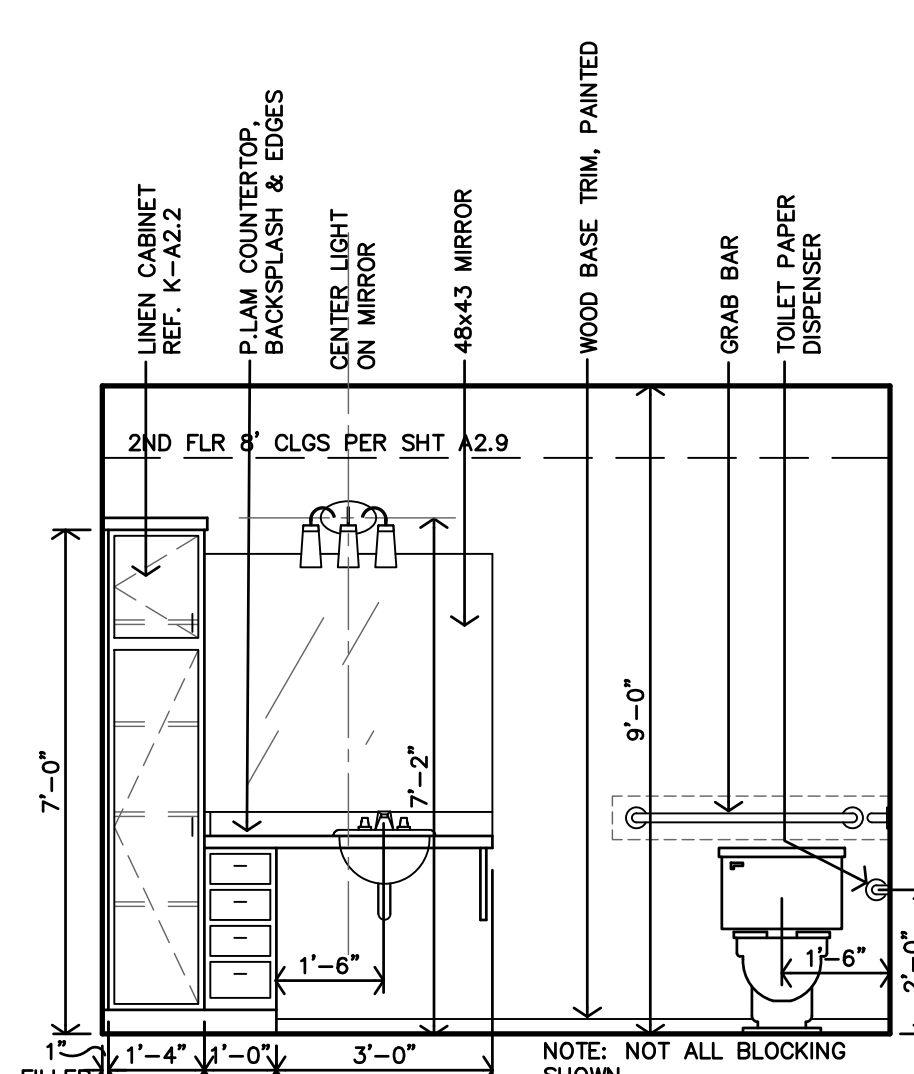
K ACCESSIBLE (ROLL-IN) 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



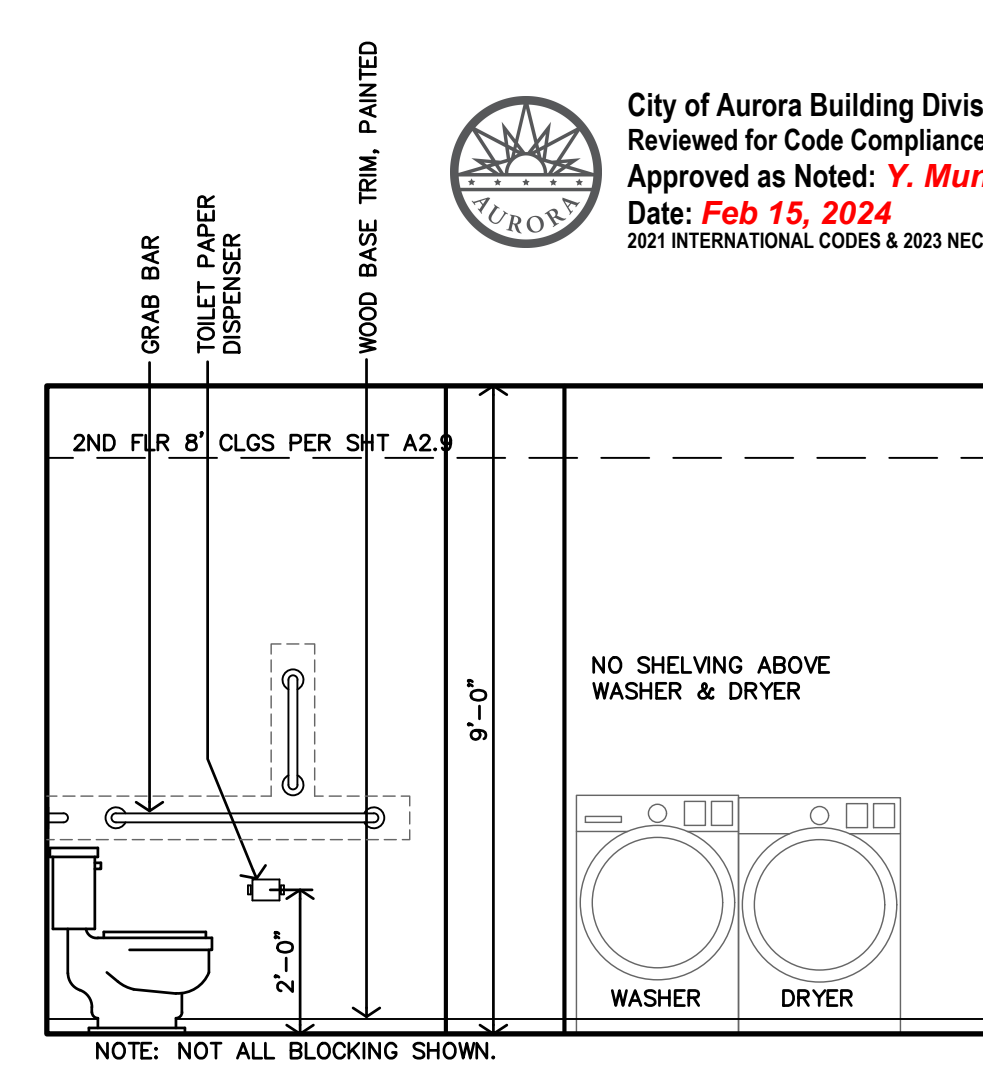
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3/8"=1'-0"



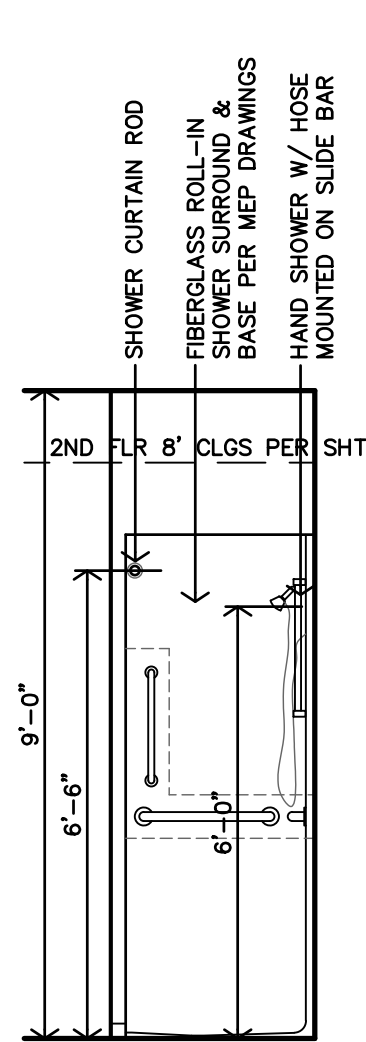
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3/8"=1'-0"



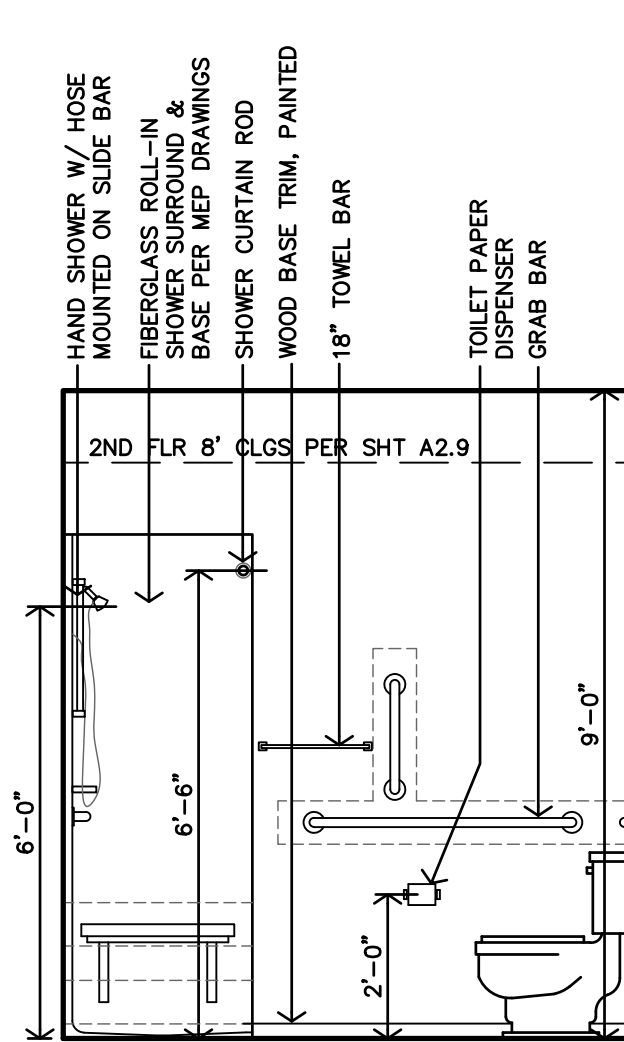
G ACCESSIBLE (ROLL-IN) 1BDRM BATH #104 INTERIOR ELEVATION
3/8"=1'-0"



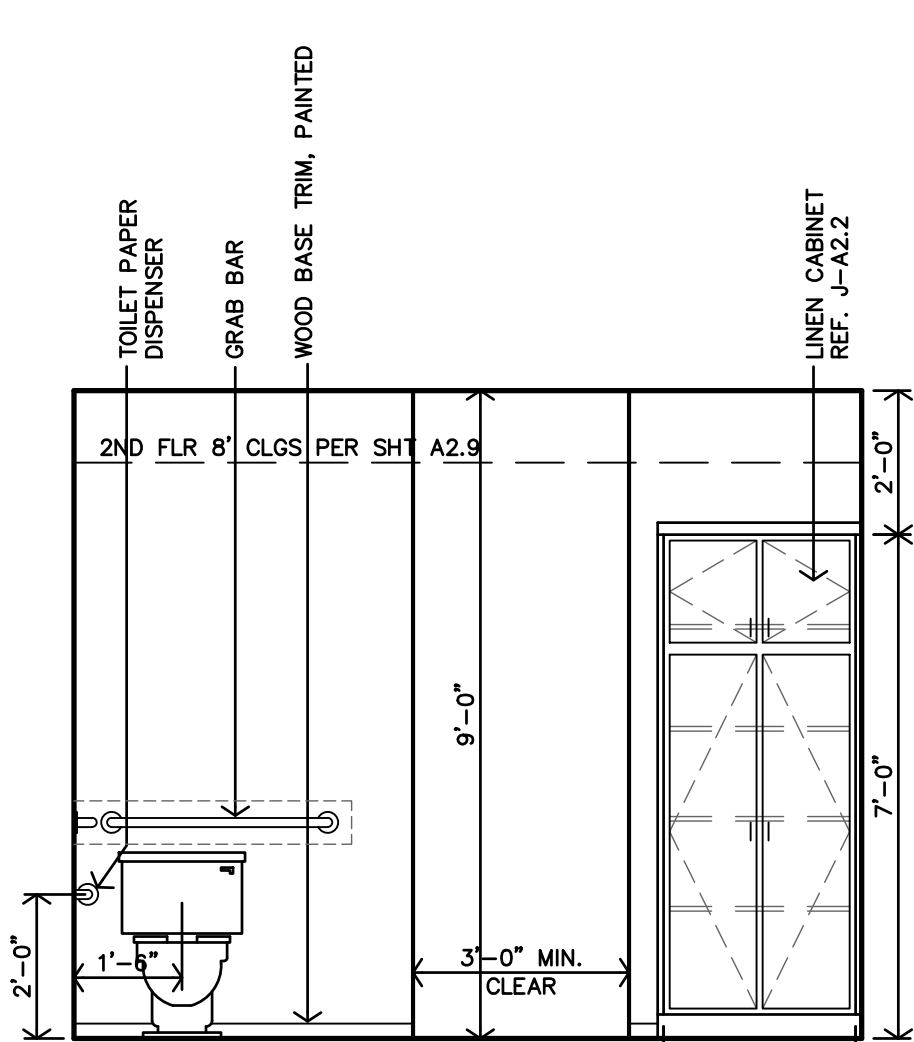
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3/8"=1'-0"



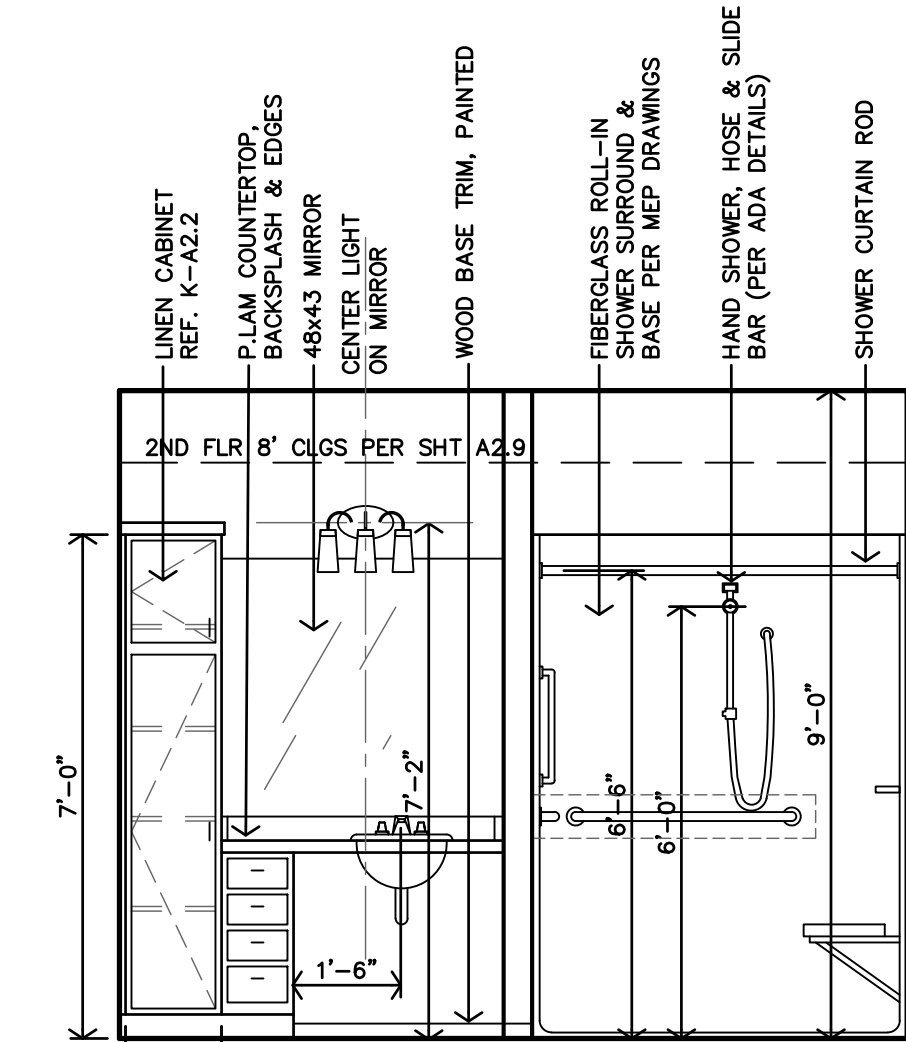
E NOT USED



D ACCESSIBLE (ROLL-IN) 2BDRM BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



C ACCESSIBLE (ROLL-IN) 2BDRM BATH #113 INTERIOR ELEVATION
3/8"=1'-0"



B ACCESSIBLE (ROLL-IN) 2BDRM BATH #113 INTERIOR ELEVATION
3/8"=1'-0"

A ACCESSIBLE (ROLL-IN) 2BDRM BATH #113 INTERIOR ELEVATION
3/8"=1'-0"

City of Aurora Building Division
Reviewed for Code Compliance
Approved as Noted: Y. Munoz
Date: Feb 15, 2024
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785.827.0386
jgr@jgarchitects.com

THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA, COLORADO

COLORADO LICENSED ARCHITECT
PARIS GILLAM RENZ
406359
10/2/2021
ARCHITECT

REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

A2.8
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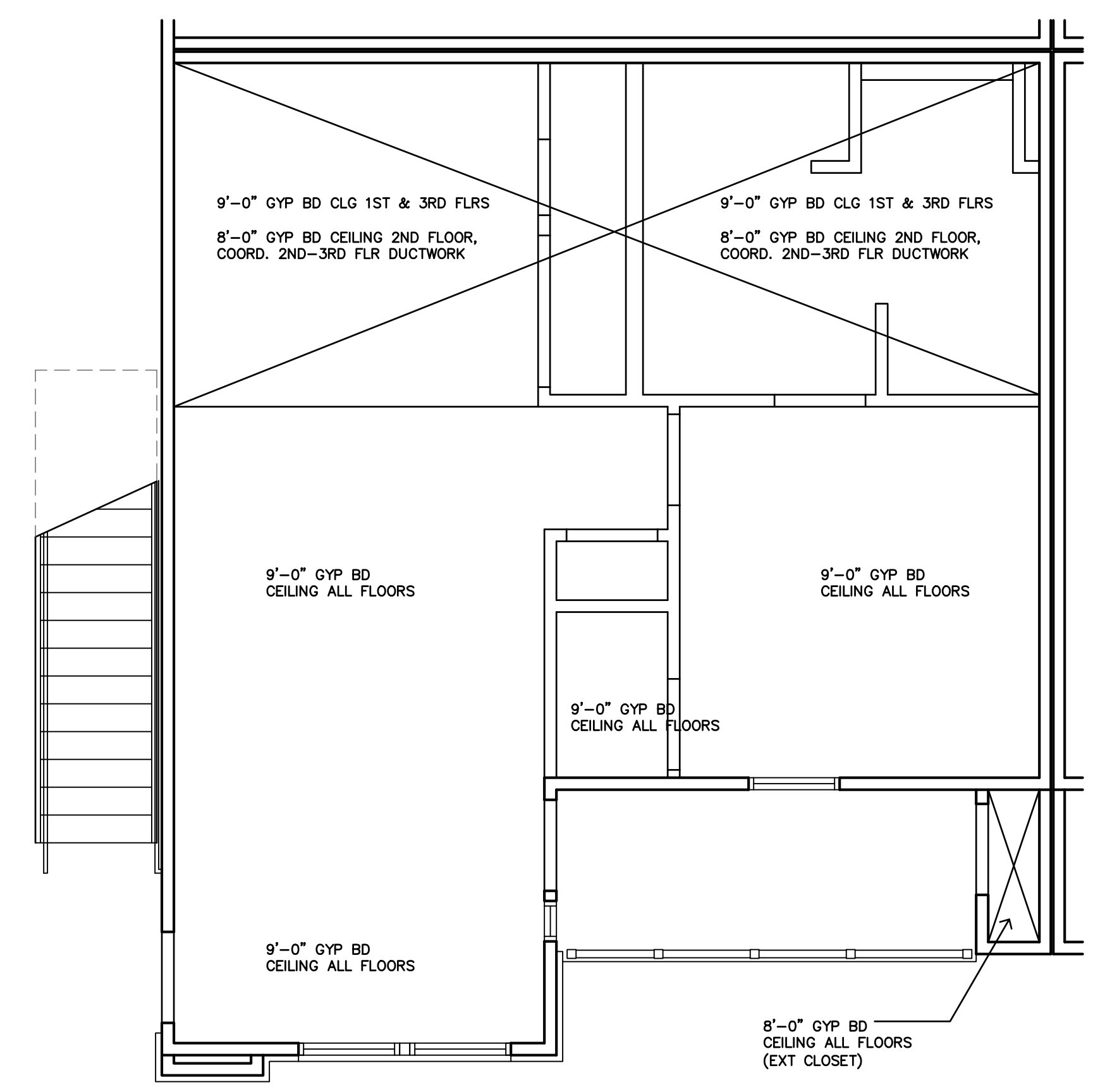


REVISION:

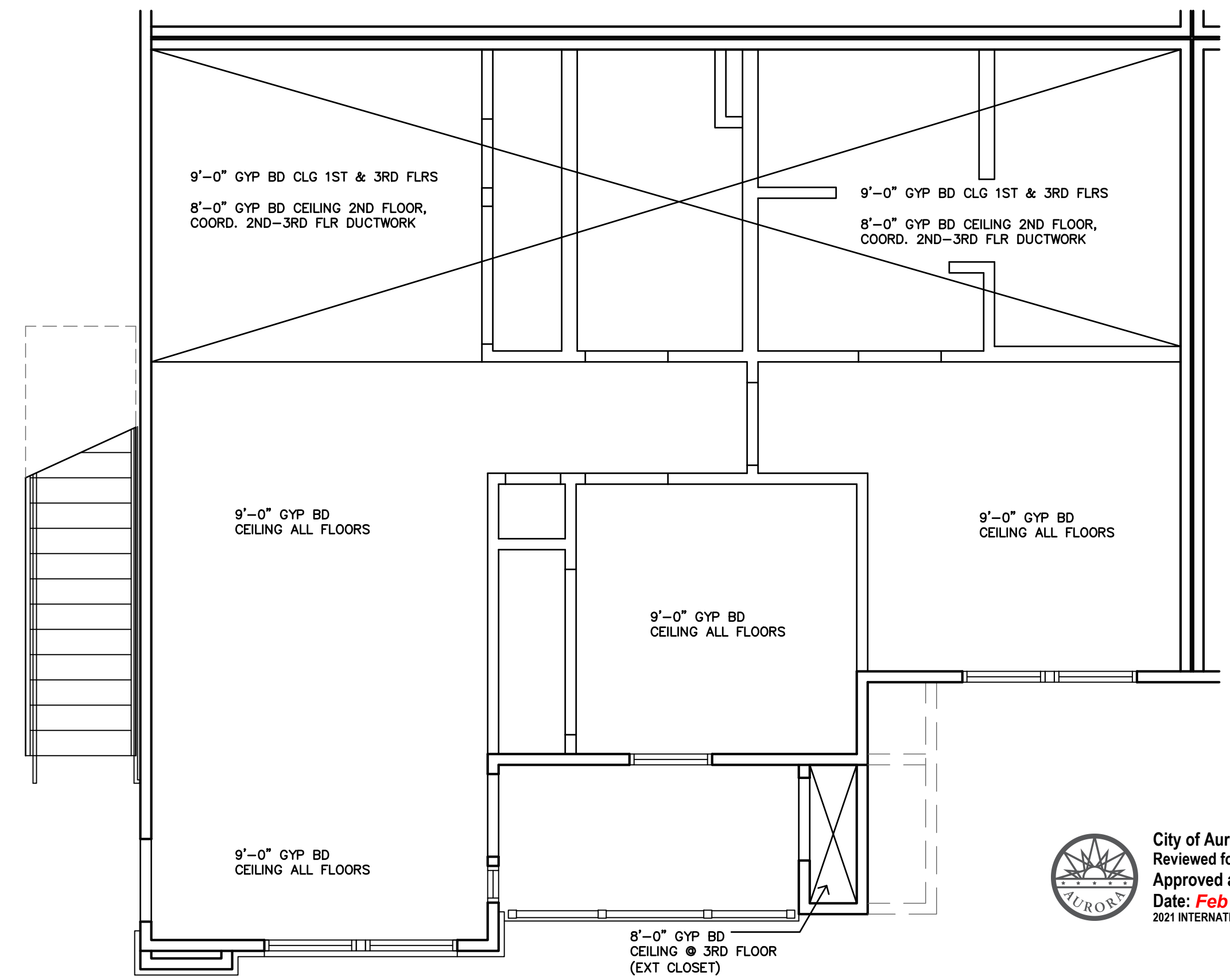
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|------------|-----------|
| DATE: | 10-2-2023 |
| JOB: | 22-3219 |
| SHEET NO.: | |

STANDARD & TYPE-B APARTMENTS

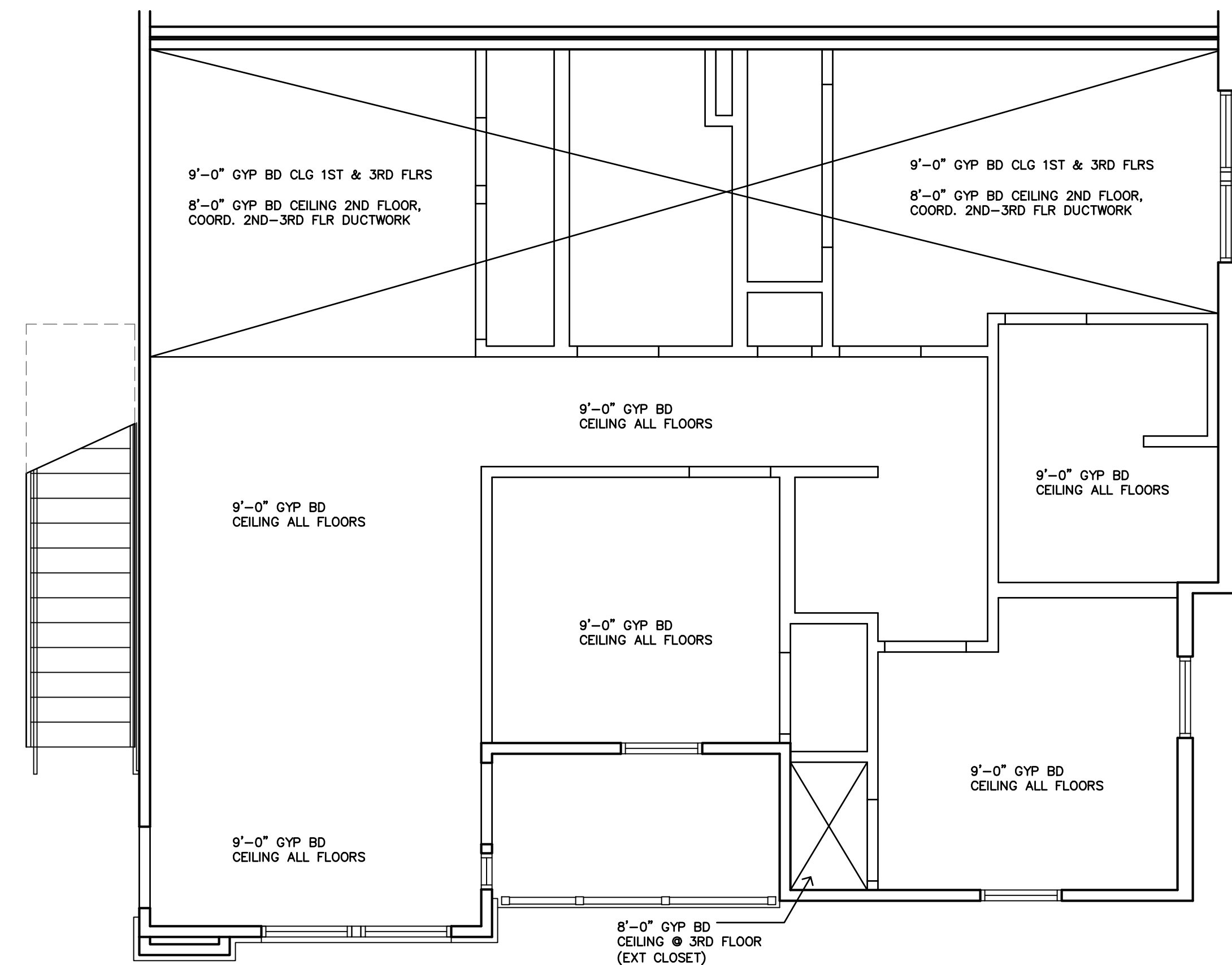
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C 1 BEDROOM CEILING PLAN TYPICAL ALL UNITS
 1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR STANDARD & TYPE-B LOCATIONS

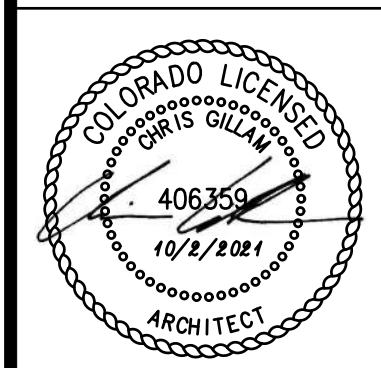


A 2 BEDROOM CEILING PLAN TYPICAL ALL UNITS
 1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR STANDARD & TYPE-B LOCATIONS



B 3 BEDROOM CEILING PLAN TYPICAL ALL UNITS
 1/4"=1'-0" REF. BUILDING PLANS ON SHEETS A2.10 - A2.18 FOR STANDARD & TYPE-B LOCATIONS

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Feb 15, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC



REVISION:
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

APARTMENT BUILDING TYPE 1 SUMMARY

| | HEATED SF PER FLOOR | UN-HTD SF | | | GROSS SF PER BUILDING |
|--------------|---------------------|------------|---------------|-----------|-----------------------|
| | | EXT. STOR. | PATIO/BALCONY | BREEZEWAY | |
| FIRST FLOOR | 9,133 sf | 52sf | 532sf | 1,126sf | 10,843 sf |
| SECOND FLOOR | 9,160 sf | 52sf | 484sf | 1,126sf | 10,822 sf |
| THIRD FLOOR | 9,160 sf | 52sf | 484sf | 1,126sf | 10,822 sf |
| TOTAL | 27,357 sf | | 5,034 sf | | 32,487 sf |

APARTMENT BUILDING TYPE 4 SUMMARY

| | HEATED SF PER FLOOR | UN-HTD SF | | | GROSS SF PER BUILDING |
|--------------|---------------------|------------|---------------|-----------|-----------------------|
| | | EXT. STOR. | PATIO/BALCONY | BREEZEWAY | |
| FIRST FLOOR | 7,581 sf | 106sf | 556sf | 1,126sf | 9,369 sf |
| SECOND FLOOR | 7,585 sf | 104sf | 556sf | 1,126sf | 9,371 sf |
| THIRD FLOOR | 7,585 sf | 104sf | 556sf | 1,126sf | 9,371 sf |
| TOTAL | 22,751 sf | | 5,360 sf | | 28,111 sf |

| GENERAL NOTES | KEY NOTES |
|---|---|
| 1. REF. SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDINGS. | 1. FIRE LINE IN INSULATED BULKHEAD ADD'L WATER LINES TO BE UNDERGROUND REF. MECH DWGS & SHEET A6.1. COORDINATE LOCATION OF BULKHEAD |
| 2. REF. SHEET A1.1 FOR LOCATION OF ACCESSIBLE UNITS W/ REMOVABLE STUB SEATS, TYPE-A ACCESSIBLE UNITS, HEARING/VISION IMPAIRED UNIT, TYPE-A AND TYPE-B UNITS. | 2. MECH. CLOSET 1st FLOOR ONLY. REF. SITE PLAN & MECH DWGS. FULLY INSULATE WALLS & CEILING. |
| 3. F.O.S. = FACE OF STUD | 3. RADON PIPE THROUGH ROOF REF. B-A4.13 & MECH DWGS |
| 4. REF STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS. | 4. KNOX BOX REF. SHEET A1.1 FOR LOCATION |
| 5. TYPICAL GROUND FLOOR FINISH FLOOR ELEVATION IS REFERENCED AS 100'-0". CONTRACTOR SHALL VERIFY BUILDING ELEVATION WITH SITE CIVIL DRAWINGS. | 5. ELECTRICAL METERS, REF. ELECT. DWGS |
| 6. CONTRACTOR SHALL PROVIDE FIREBLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS. | 6. HEAT PUMP DISCONNECT SWITCHES, REF. MECH/ELECT DWGS |
| 7. CONTRACTOR TO PROVIDE & INSTALL FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C. VERT. & HORIZ. TYP. & AT ALL BACK TO BACK ELECTRICAL OUTLETS PER 2021 IBC, SECTION 718.2. | 7. CONDENSING UNITS, REF. ELECT. DWGS |
| 8. CONTRACTOR TO PROVIDE & INSTALL ATTIC DRAFTSTOPS PER 2021 IBC, SECTION 718.4. REF. ROOF PLANS FOR LOCATIONS. | 8. SINGLE WINDOW AS REQUIRED. REF. MECH/ELECT. DWGS |
| 9. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE WITH NFPA 10 & 2021 IBC, SECTION 906. LOCATED PER CFP SHEET. | |
| 10. ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED U.L. DESIGNS. REFERENCE SHEET A4.7 FOR FIRE PENETRATION ASSEMBLIES | |



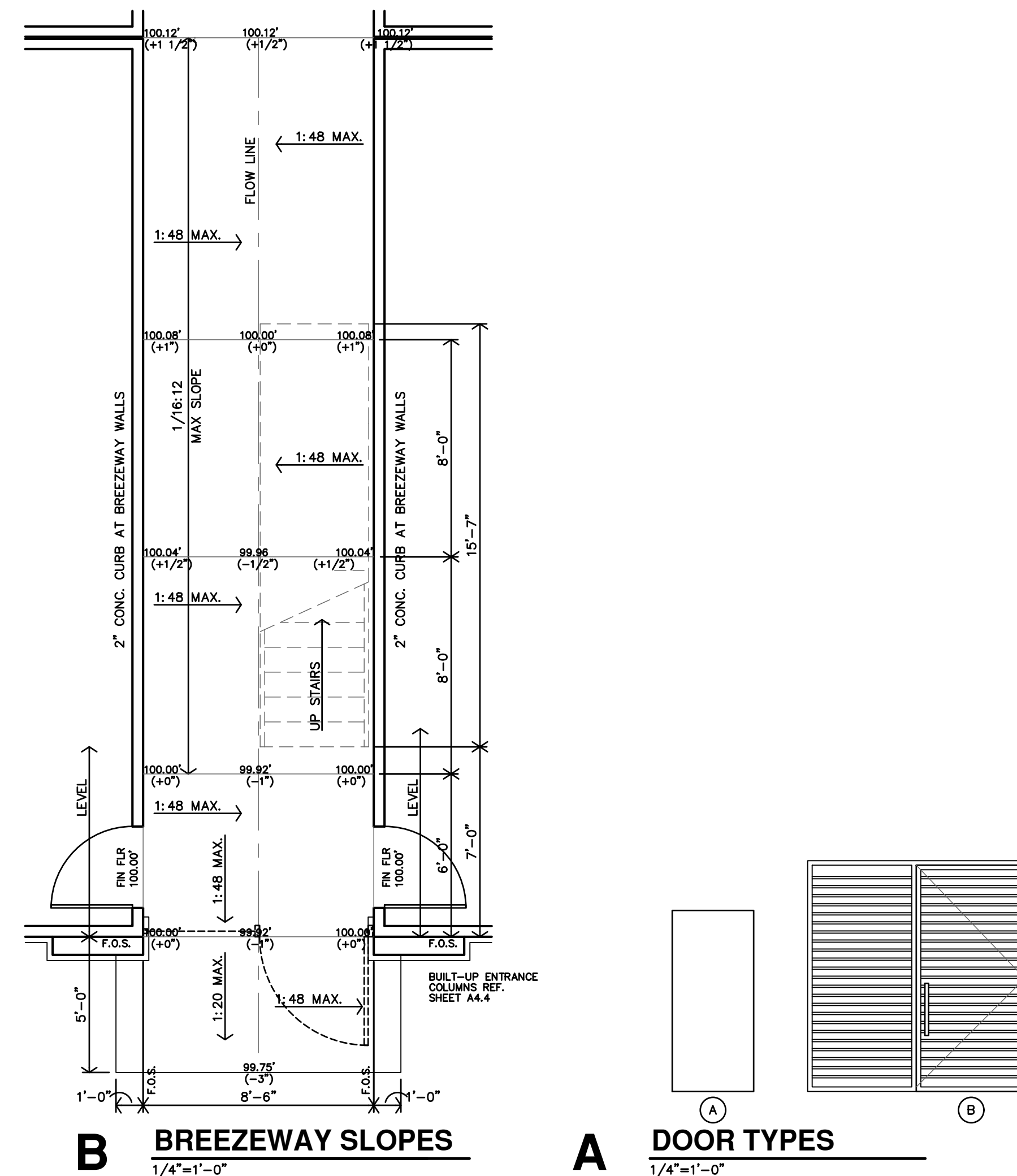
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Date: **Feb 15, 2024**
2021 INTERNATIONAL CODES & 2023 NEC

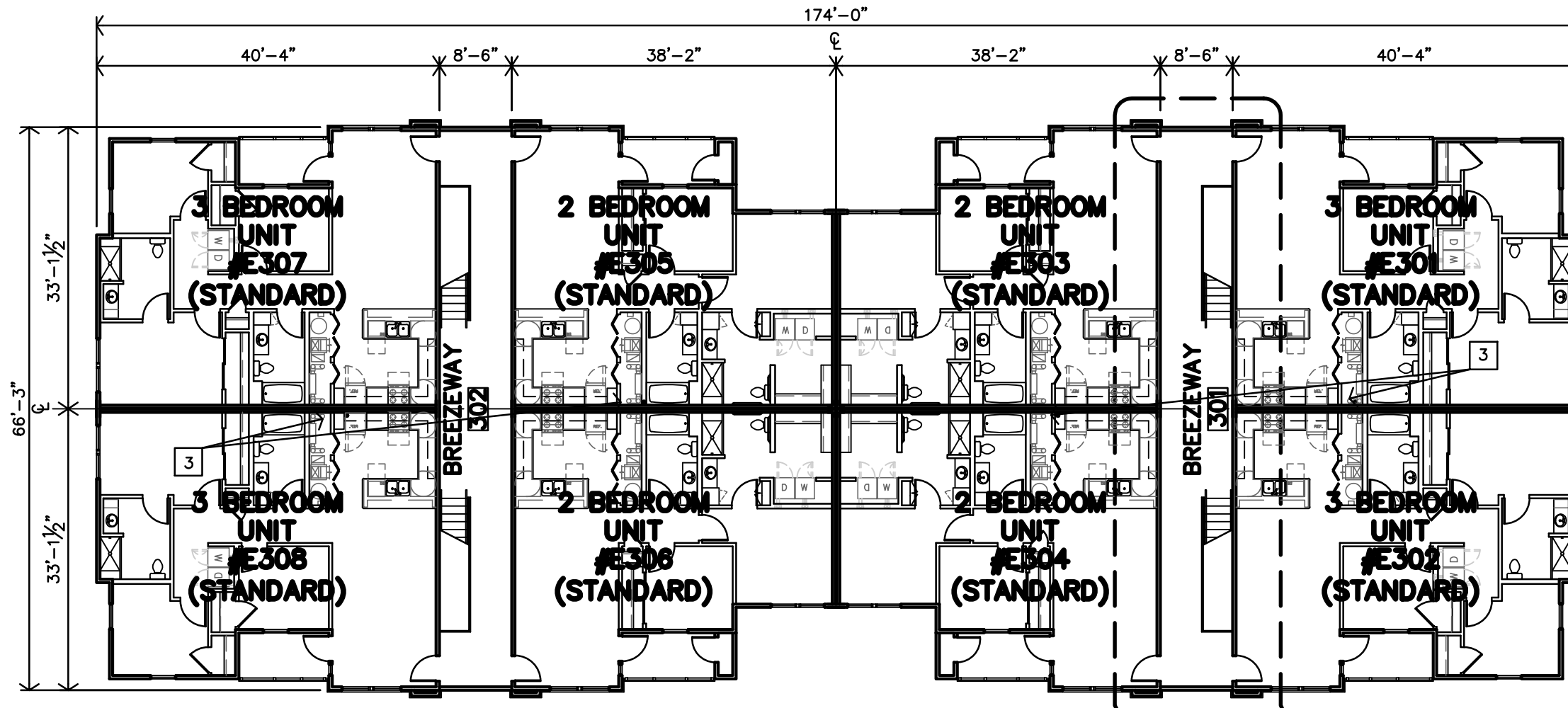
| BUILDING FINISH SCHEDULE | | | | | | | | | | | |
|--------------------------|-------------------|-------|--------------|---------|-----------------------|---------------------|-----------------------|------------------|-----------------------|------------------|-----------------------|
| FINISHES & INSTRUCTIONS | | | | | | | | | | | |
| P1 - LATEX ENAMEL | | | | | | EP - EXTERIOR PAINT | | | | | |
| NO. | DESCRIPTION | FLOOR | BASE | N. WALL | E. WALL | S. WALL | W. WALL | CLG | HGT. | | |
| | | | SEALED CONC. | NONE | COMPOSITE TRIM/SIDING | 5/8" TYPE X G.B. | COMPOSITE TRIM/SIDING | 5/8" TYPE X G.B. | COMPOSITE TRIM/SIDING | 5/8" TYPE X G.B. | COMPOSITE TRIM/SIDING |
| FIRST FLOOR | | | | | | | | | | | |
| 121 | BREEZEWAY | | ● | ● | ● | ● | ● | ● | ● | ● | EP #9'-0" |
| 122 | MECHANICAL CLOSET | | ● | ● | P1 | P1 | P1 | P1 | P1 | | EP #9'-0" |
| 123 | BREEZEWAY | | ● | ● | ● | ● | ● | ● | ● | ● | EP #9'-0" |
| SECOND FLOOR | | | | | | | | | | | |
| 201 | BREEZEWAY | | ● | ● | ● | ● | ● | ● | ● | ● | EP #9'-0" |
| 202 | BREEZEWAY | | ● | ● | ● | ● | ● | ● | ● | ● | EP #9'-0" |
| THIRD FLOOR | | | | | | | | | | | |
| 301 | BREEZEWAY | | ● | ● | ● | ● | ● | ● | ● | ● | EP #9'-0" |
| 302 | BREEZEWAY | | ● | ● | ● | ● | ● | ● | ● | ● | EP #9'-0" |

| BUILDING DOOR SCHEDULE | | | | | | | | | | | | | | |
|------------------------|-------|----------|--------|-----------------------------|-------|--------|------------|-------|----------|-------|------------|----|------------------|--|
| MARK | DOOR | | | FRAME | | | | NOTES | LOCATION | | | | | |
| | SIZE | MATERIAL | TYPE | FINISH | MAT'L | FINISH | | | | | | | | |
| | W | H | T | MTL. INSULATED PREFAB. MTL. | TYPE | PAINT | PRE-PRIMED | MTL. | WOOD | PAINT | PRE-PRIMED | | | |
| 11 | 3'-0" | 6'-8" | 1 3/4" | ● | A | ● | ● | ● | ● | ● | ● | 1. | MECH CLOSET #122 | |
| 12 | 4'-0" | 8'-4" | | ● | B | ● | ● | ● | ● | ● | ● | 2. | BREEZEWAY ENTRY | |
| 13 | 4'-0" | 8'-4" | | ● | B | ● | ● | ● | ● | ● | ● | 2. | BREEZEWAY ENTRY | |
| 14 | 4'-0" | 8'-4" | | ● | B | ● | ● | ● | ● | ● | ● | 2. | BREEZEWAY ENTRY | |
| 15 | 4'-0" | 8'-4" | | ● | B | ● | ● | ● | ● | ● | ● | 2. | BREEZEWAY ENTRY | |

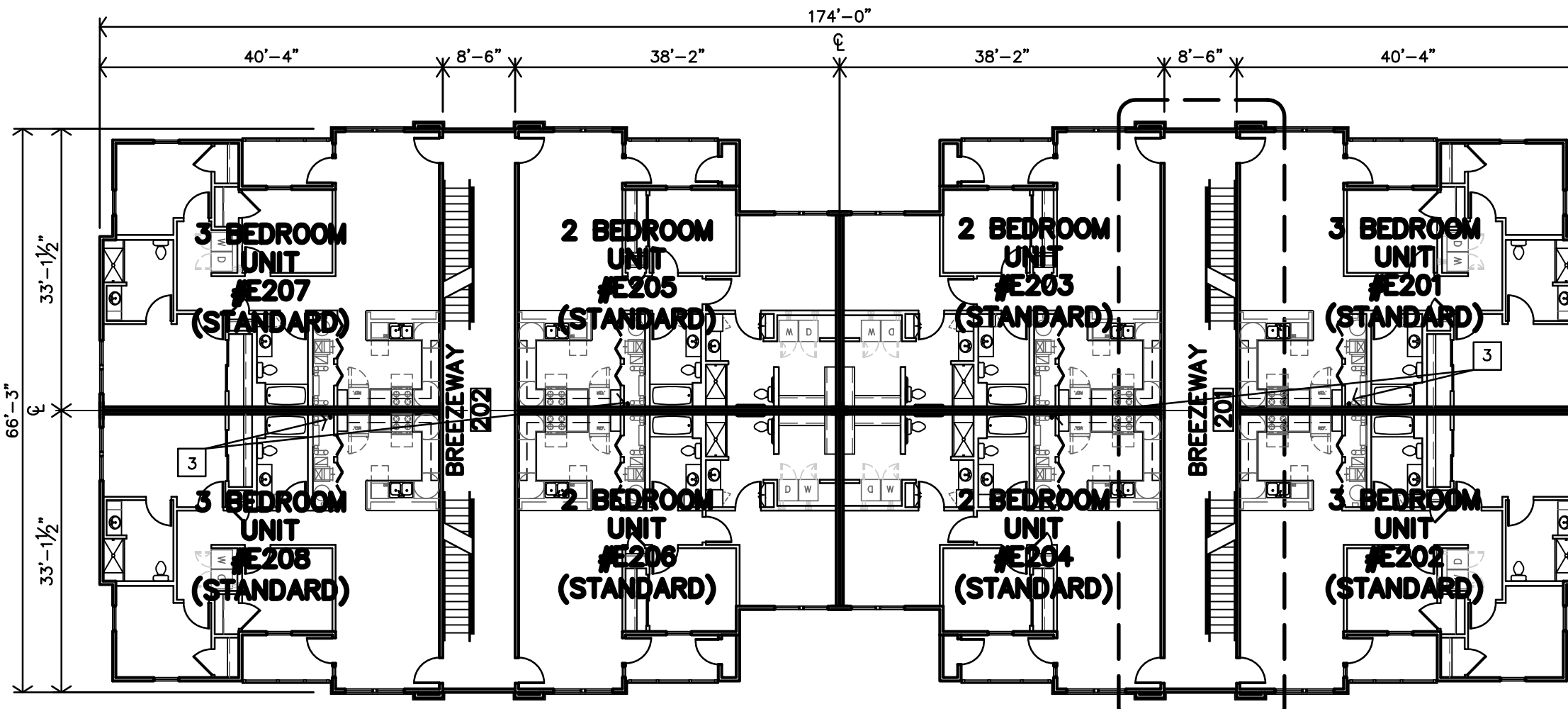
GENERAL NOTES:
A. ALL DOOR HARDWARE TO BE LEVER TYPE LATCH SETS. PROVIDED & INSTALLED PER SPECIFICATIONS SEC. 8710B.

SPECIFIC NOTES:
1. WEATHER STRIPPING TO BE INSTALLED.
2. PROVIDE KEY CARD ACCESS (CONSULT OWNER)

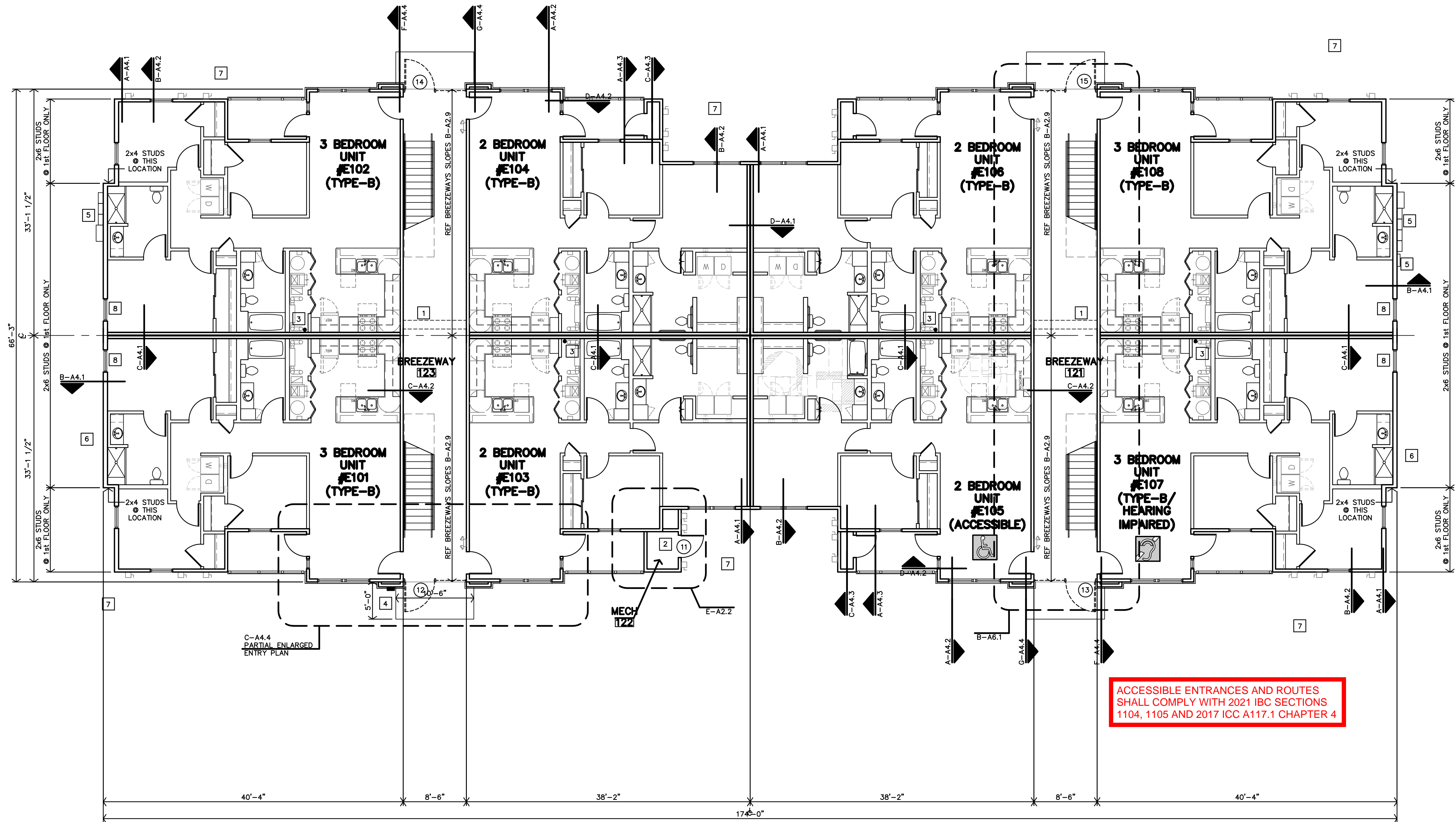




C APARTMENT BUILDING E
THIRD FLOOR PLAN
1/16"=1'-0" TYPE 1

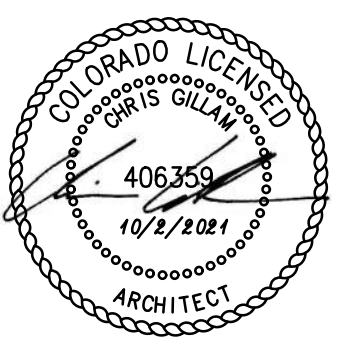


B APARTMENT BUILDING E
SECOND FLOOR PLAN
1/16"=1'-0" TYPE 1

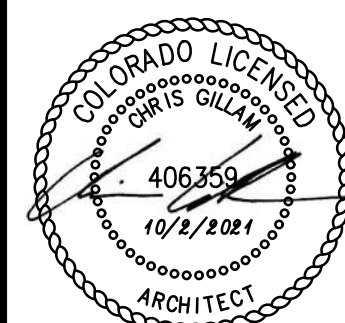


A APARTMENT BUILDING E
FIRST FLOOR PLAN
1/8"=1'-0" TYPE 1

ACCESSIBLE ENTRANCES AND ROUTES SHALL COMPLY WITH 2021 IBC SECTIONS 1104, 1105 AND 2017 ICC A117.1 CHAPTER 4

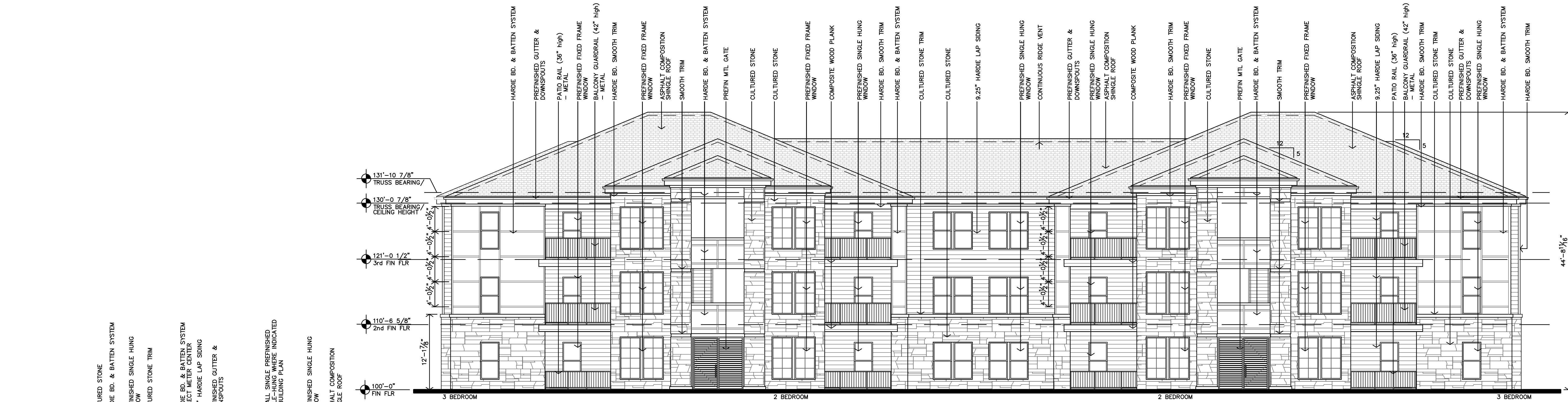


| | |
|------------|-----------|
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| JOB: | 22-3219 |
| SHEET NO.: | |



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| | |
|------------|-----------|
| DATE: | 10-2-2023 |
| JOB: | 22-3219 |
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EXTERIOR MATERIALS

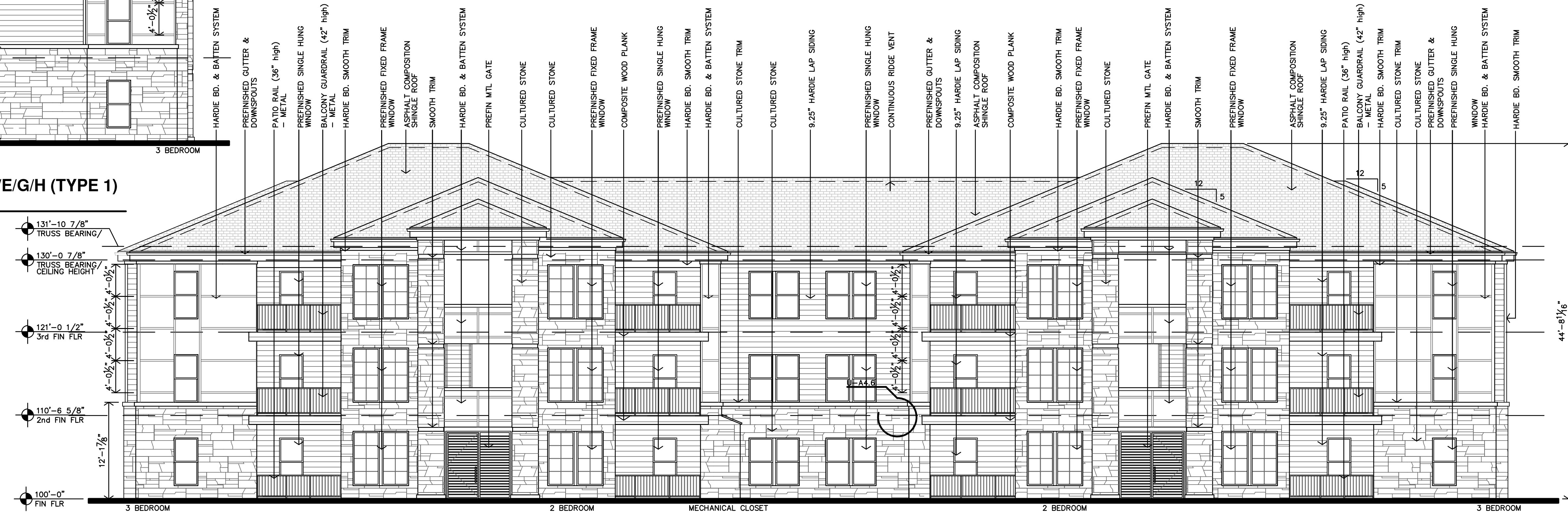
| DESCRIPTION | CULTURED STONE | HARDI BOARD SIDING & TRIM |
|-------------|----------------|---------------------------|
| APARTMENTS | 44% | 56% |
| CLUBHOUSE | 38% | 62% |
| TOTAL | 44% | 56% |

B APARTMENT BUILDINGS D/E/G/H (TYPE 1) REAR ELEVATION
 1/8"=1'-0"

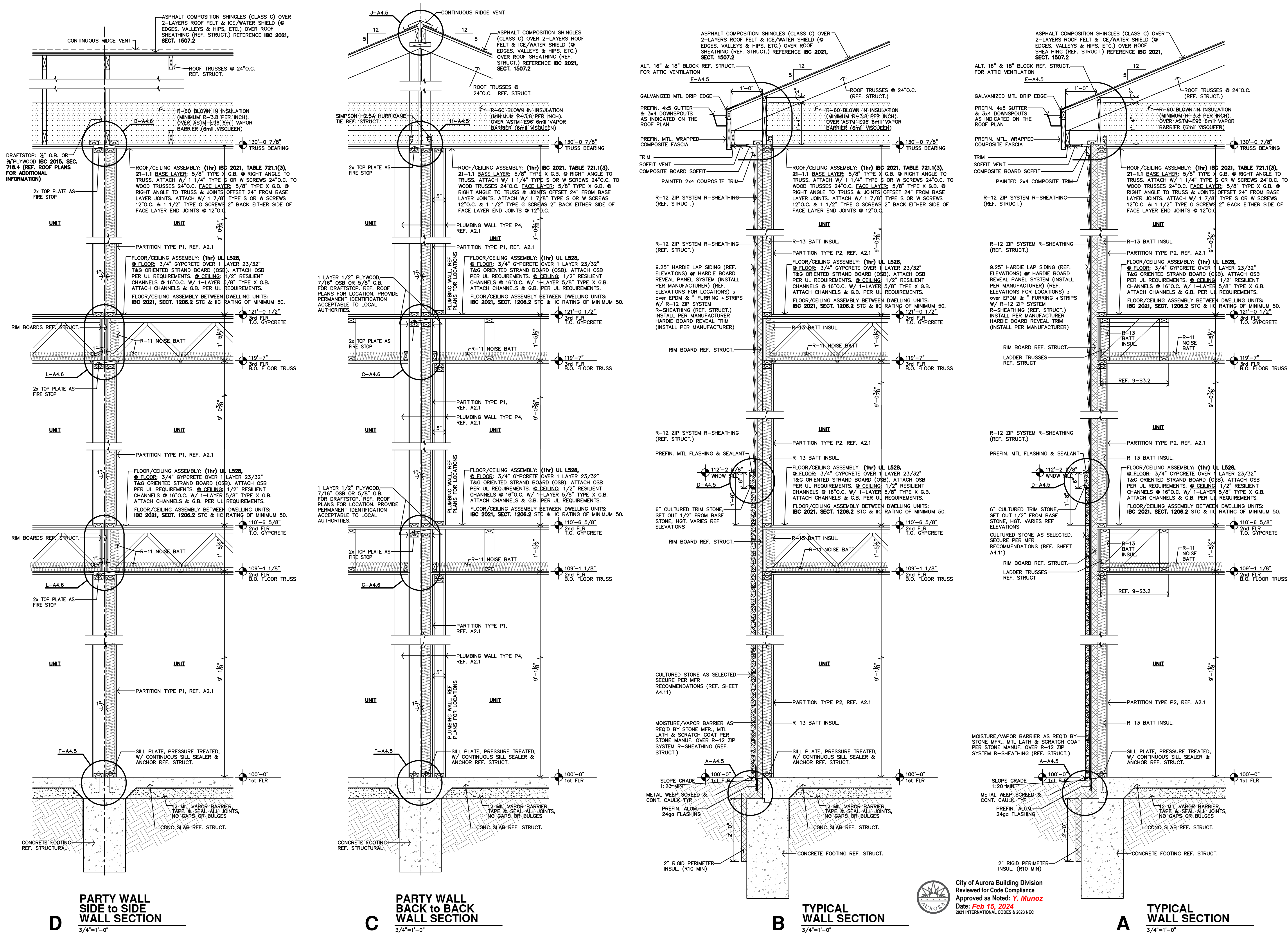
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 Date: **Feb 15, 2024**
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C APARTMENT BUILDINGS D/E/G/H (TYPE 1) SIDE ELEVATIONS
 1/8"=1'-0"

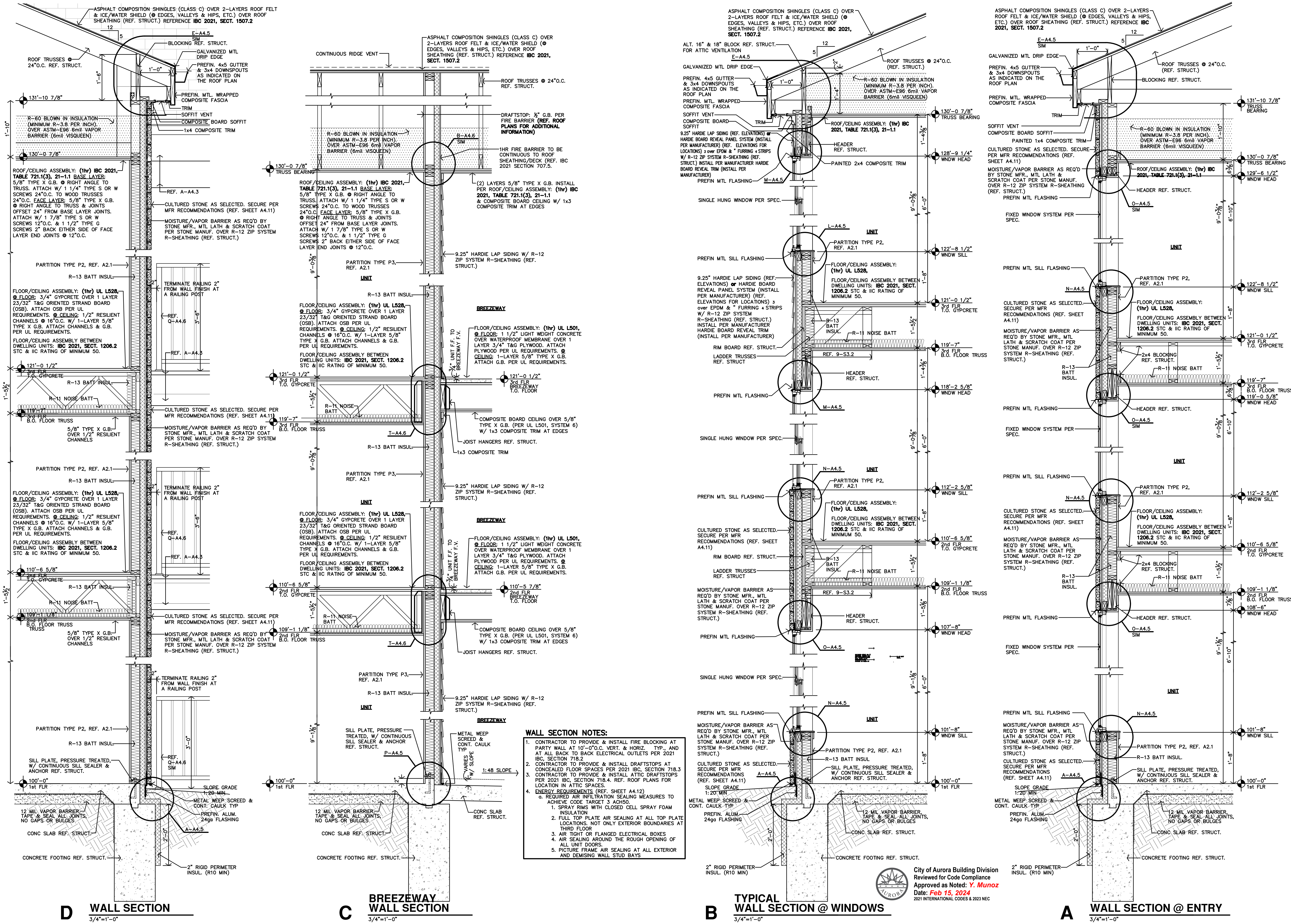


A APARTMENT BUILDINGS D/E/G/H (TYPE 1) FRONT ELEVATION (w/ MECH CLOSET)
 1/8"=1'-0"



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 Kansas City, MO 64108
 jgr@jgarchitects.com
 785.827.0386
JGR
 730 N. Ninth
 Salina, KS 67401
 785.827.0386
COLORDAO
THE RESERVES at EAGLE POINT
 415 NORTH PICADILLY RD
 AURORA,
 COLORADO
 10/2/2024
 ARCHITECT
 406359
 REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:
A4.1
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 Date: **Feb 15, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC



- WALL SECTION NOTES:**
- CONTRACTOR TO PROVIDE & INSTALL FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C. VERT. & HORIZ. TYP. AND AT ALL BACK TO BACK ELECTRICAL OUTLETS PER 2021 IBC, SECTION 718.2
 - CONTRACTOR TO PROVIDE & INSTALL DRAFTSTOPS AT CONCEALED FLOOR SPACES PER 2021 IBC, SECTION 718.3
 - CONTRACTOR TO PROVIDE & INSTALL ATTIC DRAFTSTOPS PER 2021 IBC, SECTION 718.4. REF. ROOF PLANS FOR LOCATION IN ATTIC SPACES.
 - ENERGY REQUIREMENTS (REF. SHEET A4.12)
 - REQUIRED AIR INFILTRATION SEALING MEASURES TO ACHIEVE CODE TARGET 3 ACH50.
 - SPRAY RIMS WITH CLOSED CELL SPRAY FOAM INSULATION
 - FULL TOP PLATE AIR SEALING AT ALL TOP PLATE LOCATIONS, NOT ONLY EXTERIOR BOUNDARIES AT THIRD FLOOR
 - AIR TIGHT OR FLANGED ELECTRICAL BOXES
 - AIR SEALING AROUND THE ROUGH OPENING OF ALL UNIT DOORS
 - PICTURE FRAME AIR SEALING AT ALL EXTERIOR AND DEMISING WALL STUD BAYS

JGR

THE RESERVES at EAGLE POINT

AURORA, COLORADO

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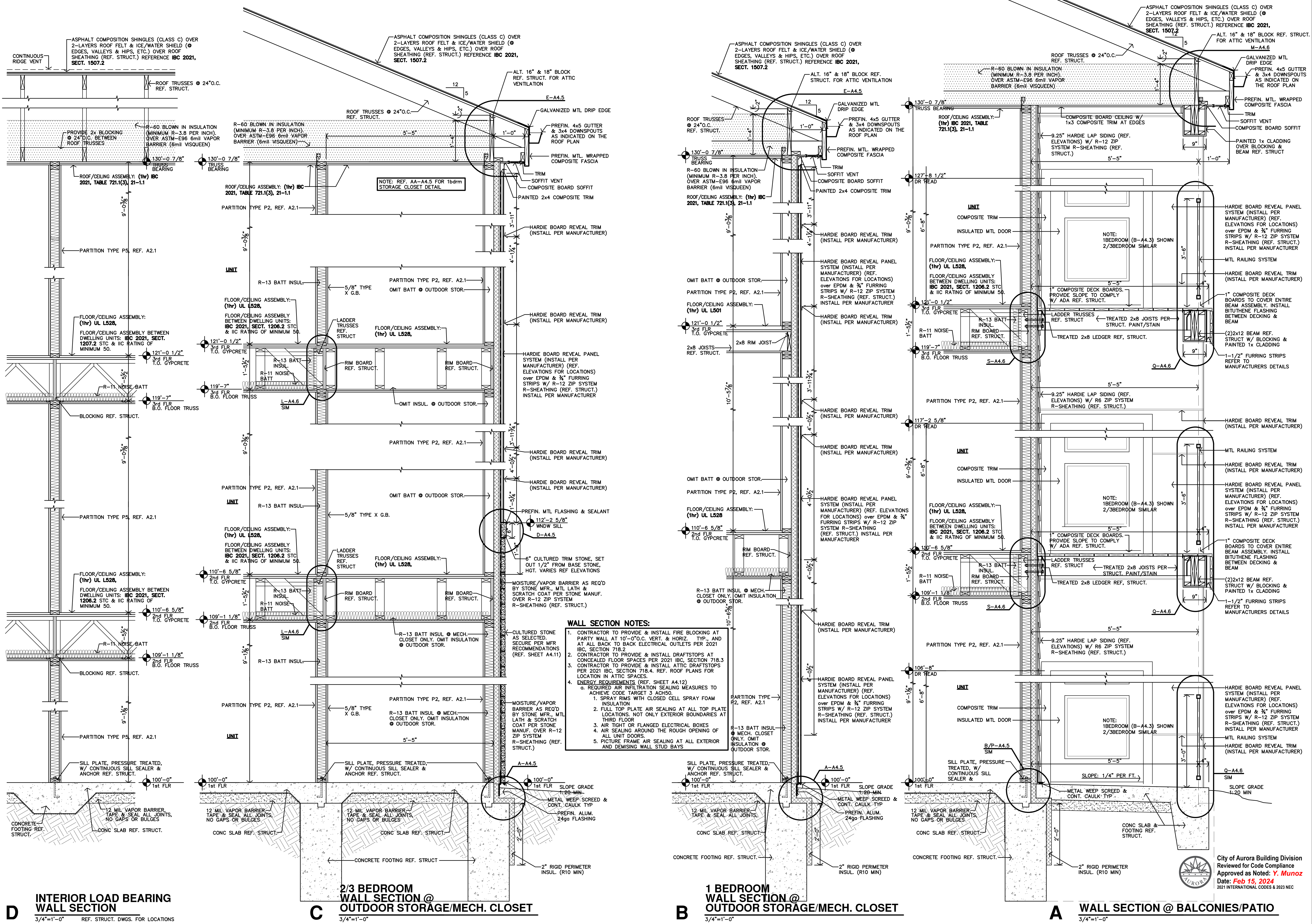
COLORADO LICENSED
ARCHITECT
406359
10/2/2021
ARCHITECT

REVISION:

DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

A4.2

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D INTERIOR LOAD BEARING WALL SECTION
3/4"=1'-0" REF. STRUCT. DWGS. FOR LOCATIONS

C 2/3 BEDROOM WALL SECTION @ OUTDOOR STORAGE/MECH. CLOSET
3/4"=1'-0"

B 1 BEDROOM WALL SECTION @ OUTDOOR STORAGE/MECH. CLOSET
3/4"=1'-0"

A WALL SECTION @ BALCONIES/PATIO
3/4"=1'-0"

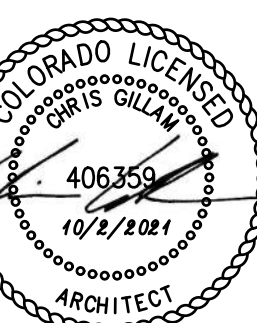
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Salina, KS 67401
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THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD

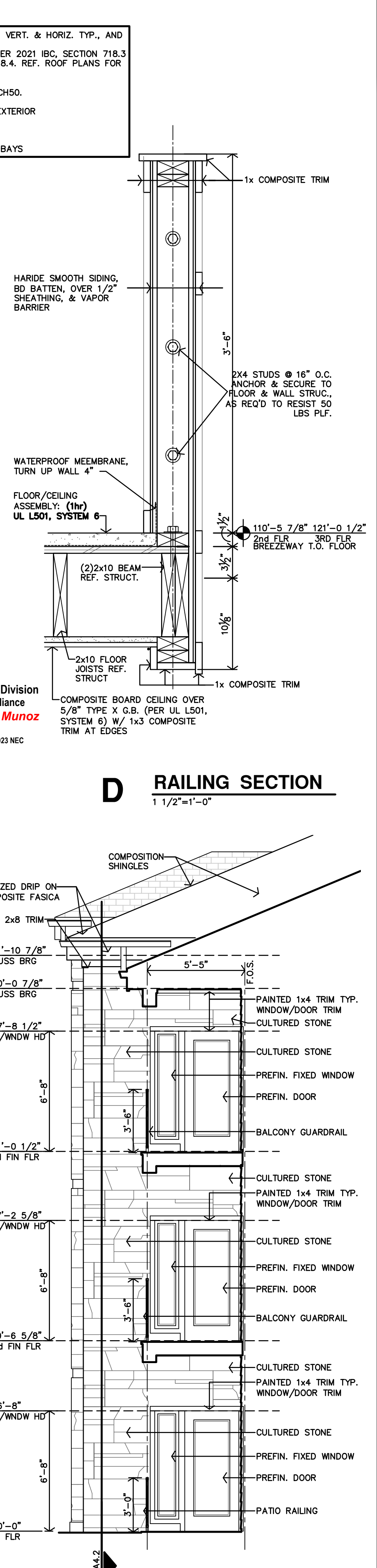
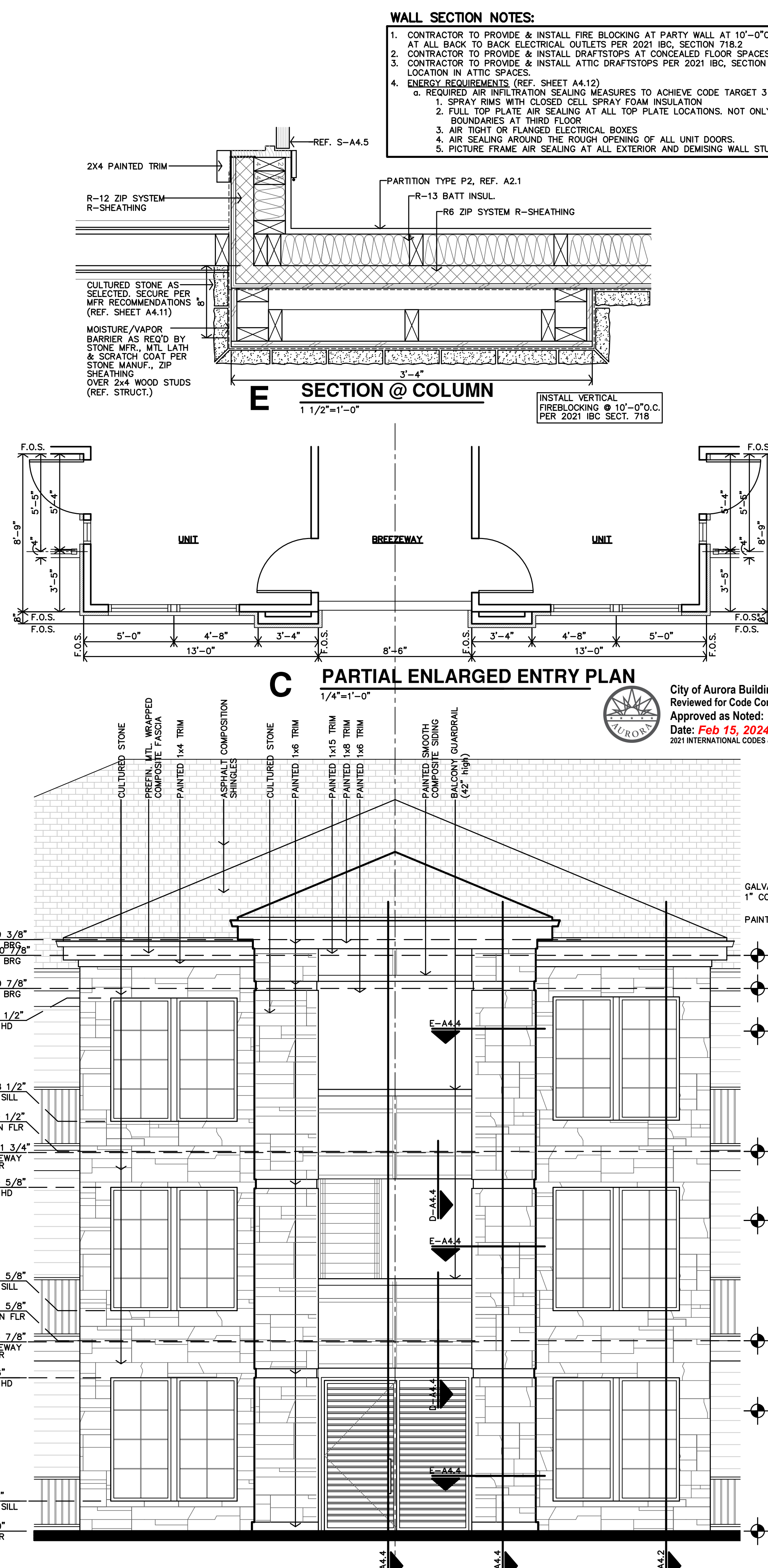
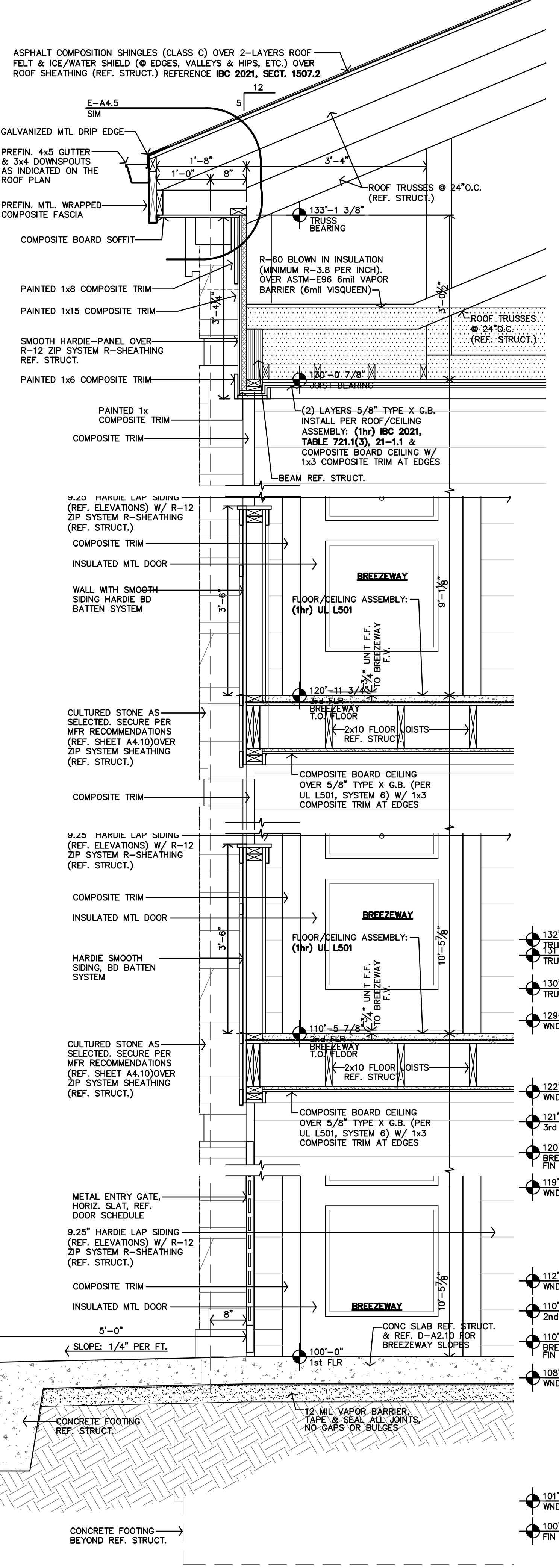
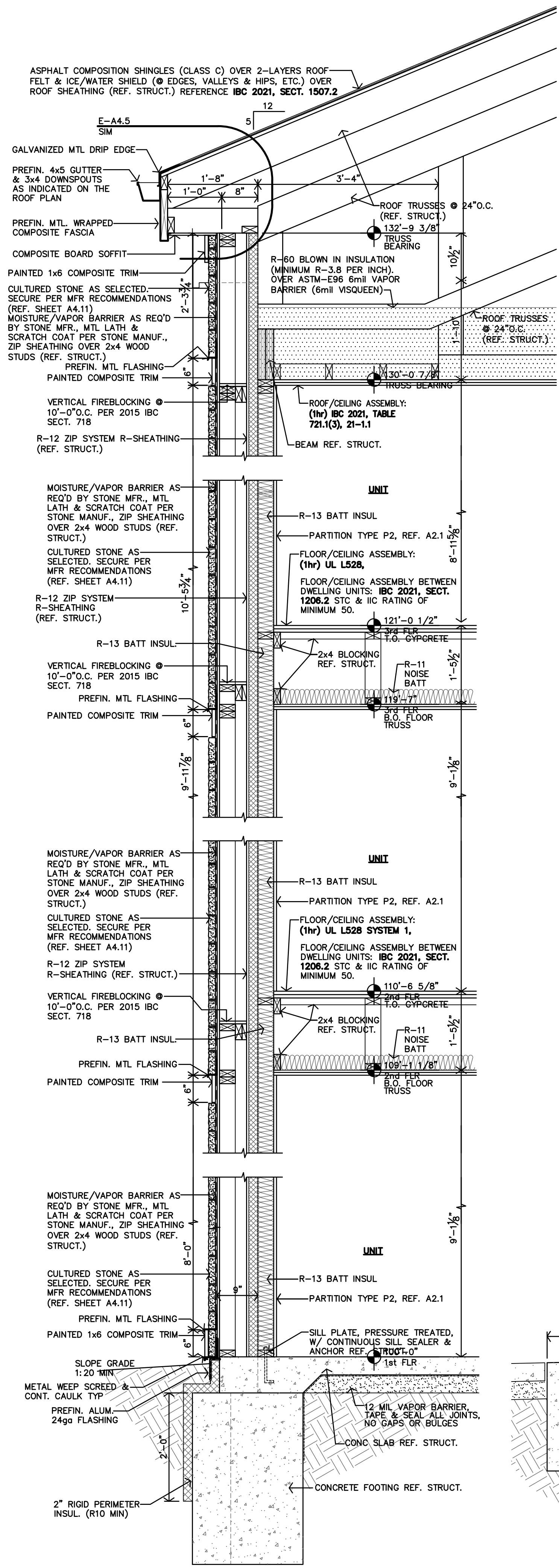
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JOB: 22-3219
SHEET NO.:

A4.3

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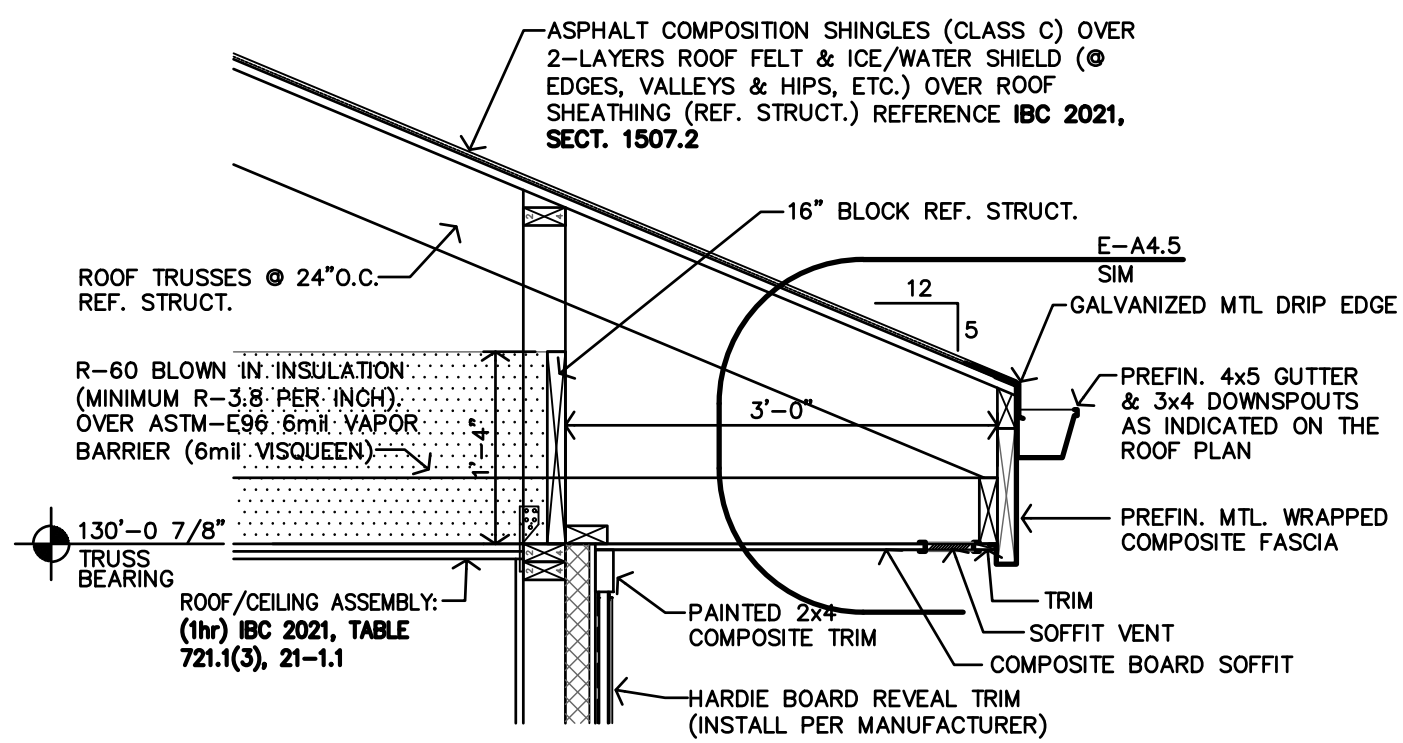
THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA, COLORADO

REVISION: _____

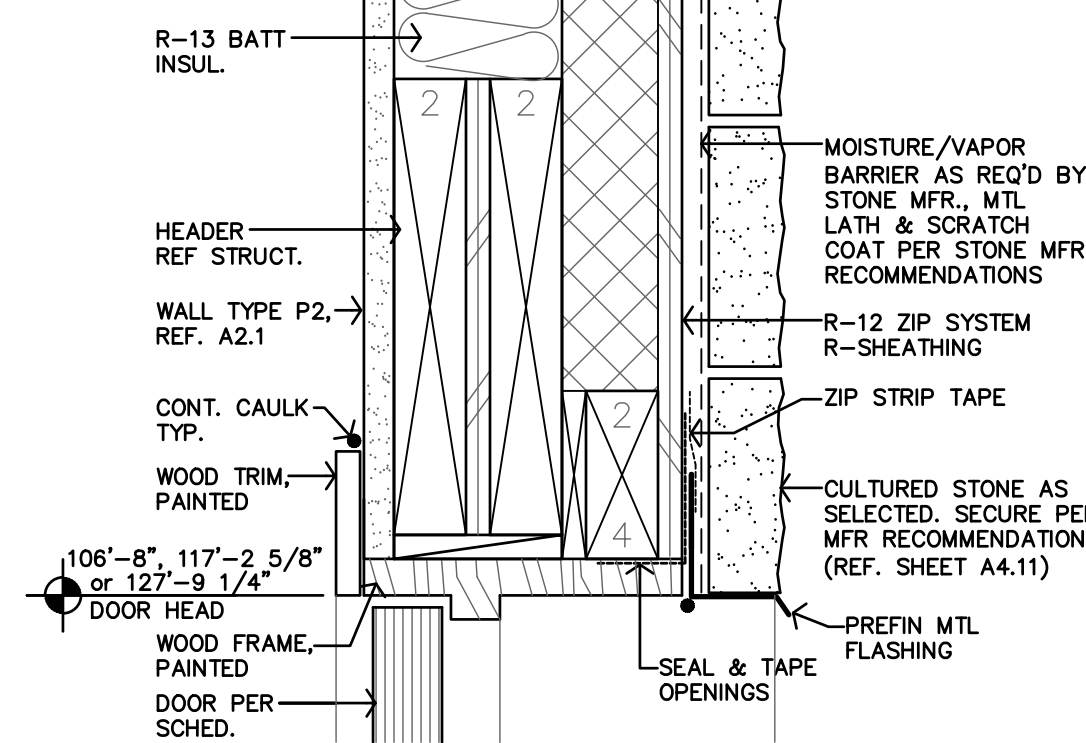
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JOB: 22-3219
SHEET NO.: _____

A4.4

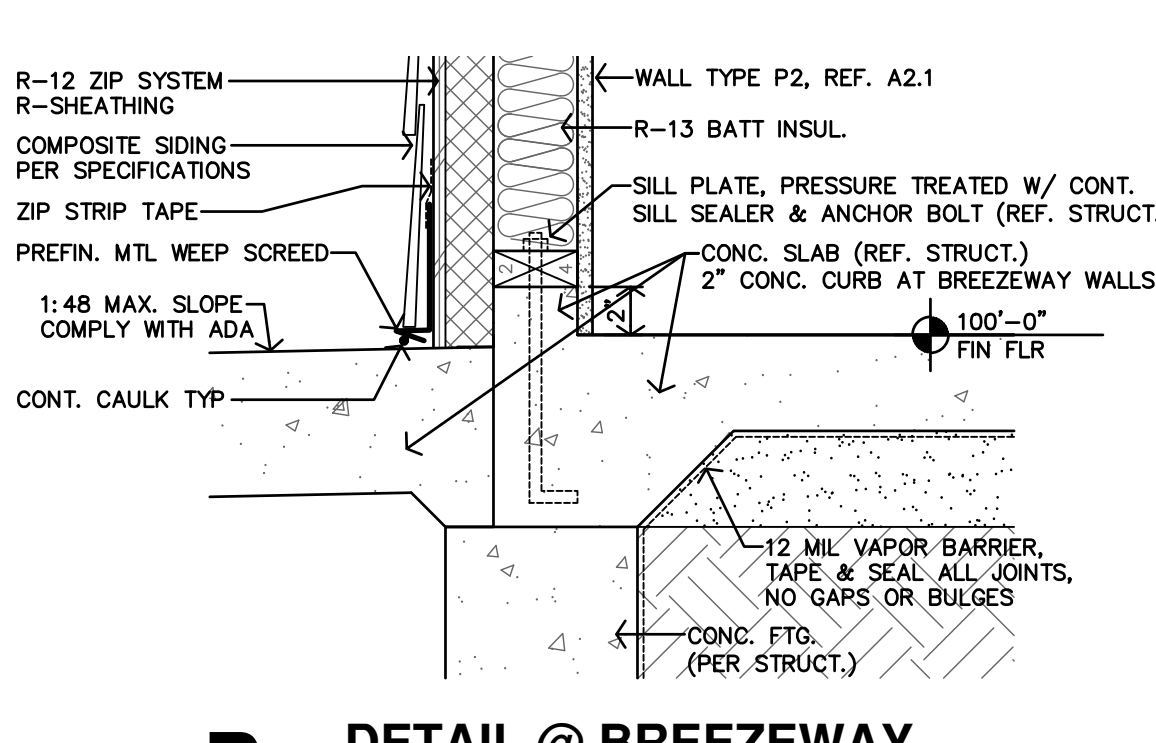
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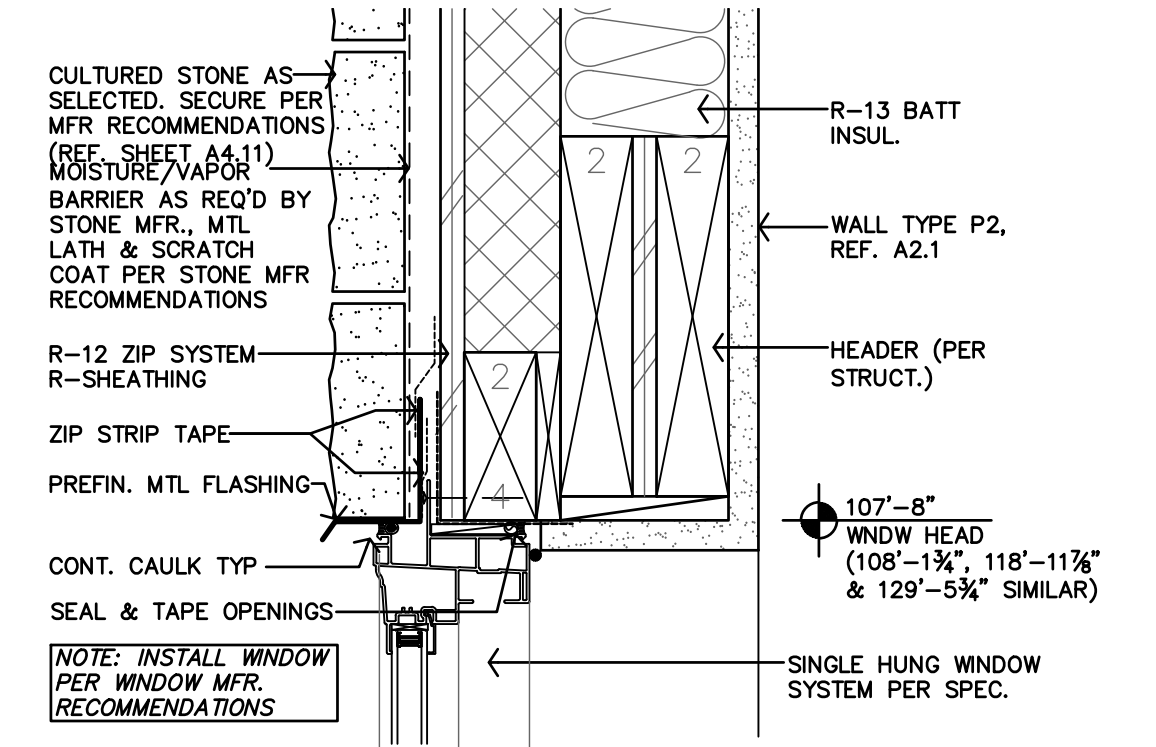
AA STOR CLOSET @ 1bdm BLDG TYPE 4
3/4"=1'-0"



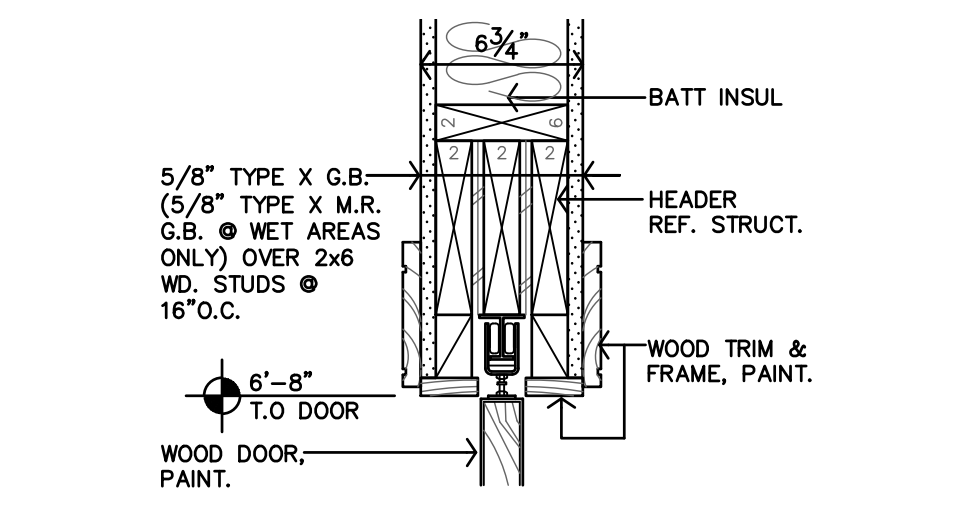
T TYP EXT. DOOR HEAD DETAIL @ STONE
3/8"=1'-0"



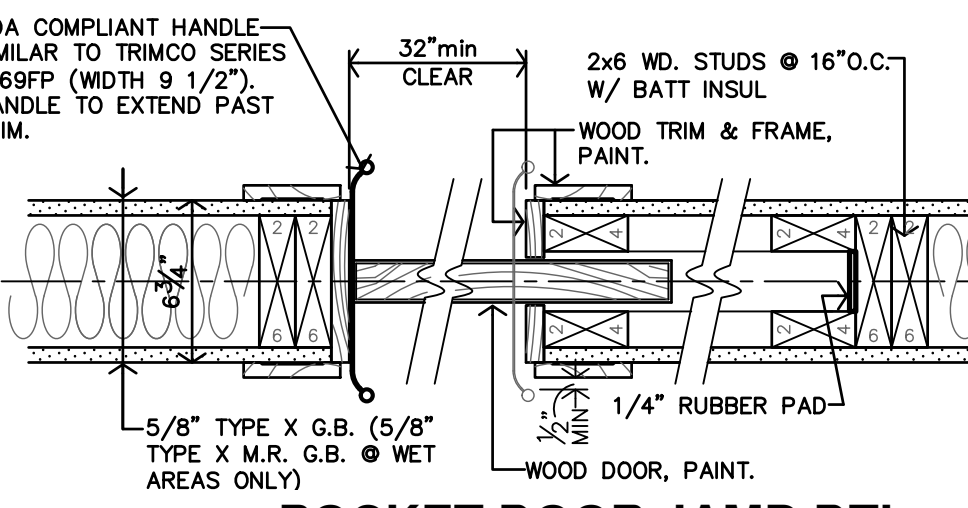
P DETAIL @ BREEZEWAY
1 1/2"=1'-0"



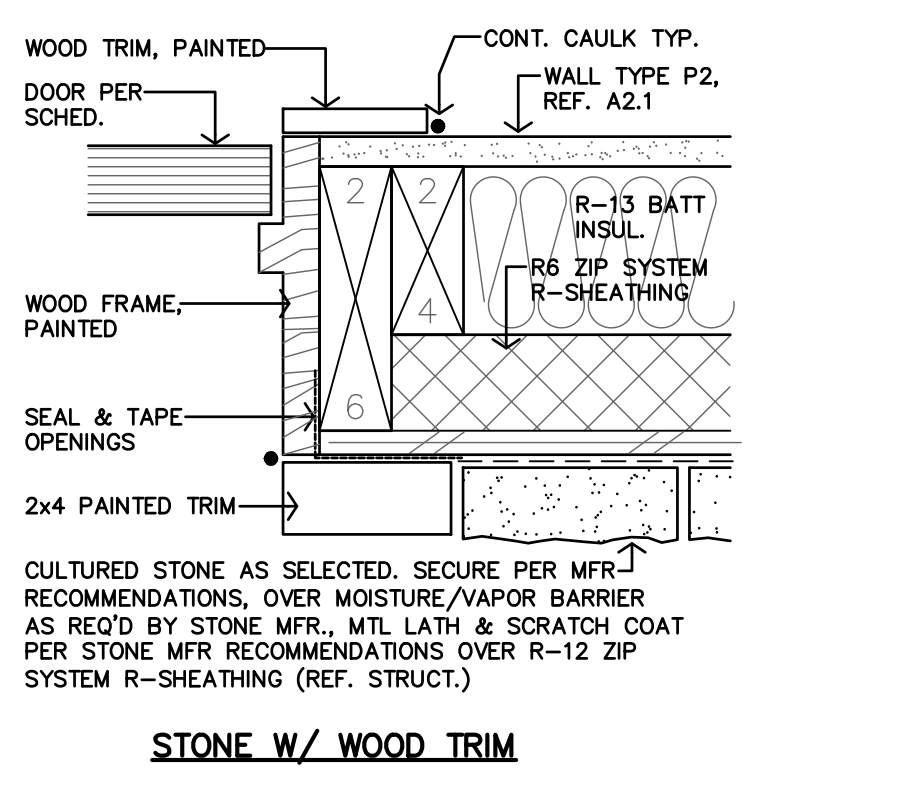
O TYP WINDOW HEAD DETAIL @ STONE
3/8"=1'-0"



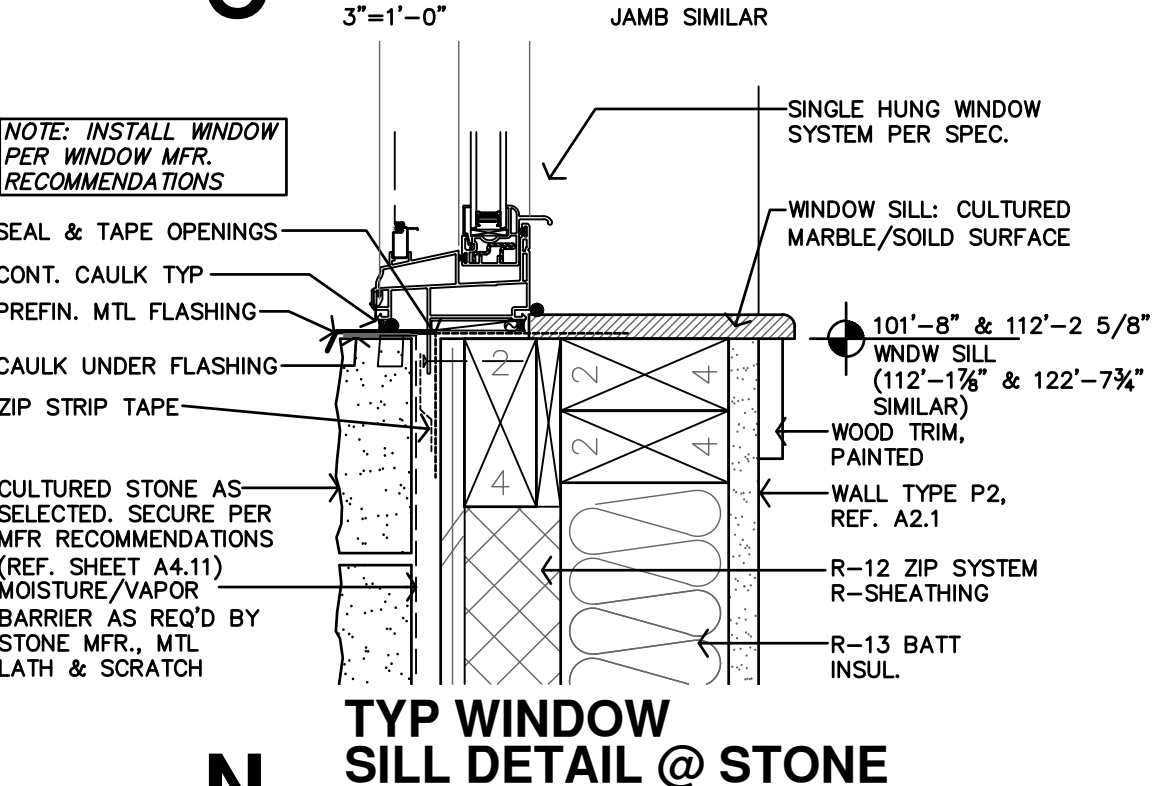
Z POCKET DOOR HEAD DTL.
1 1/2"=1'-0"



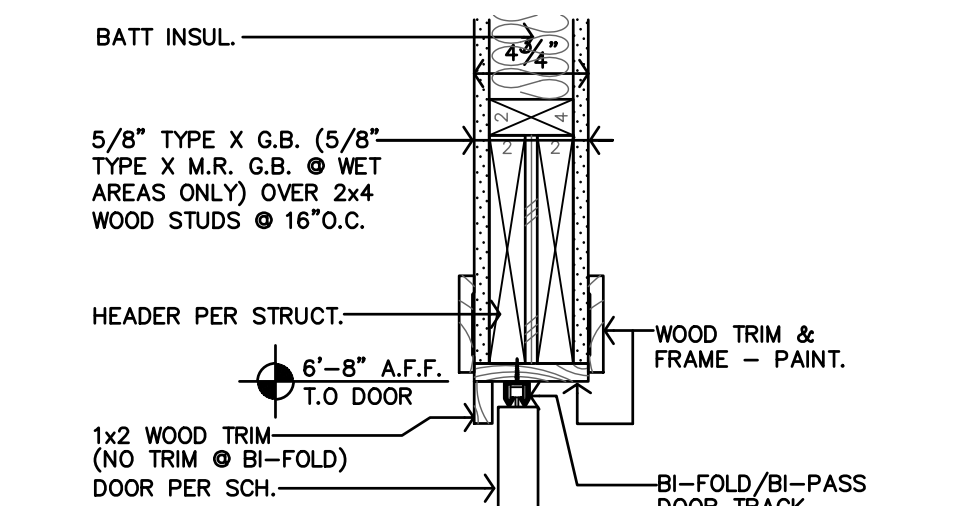
Y POCKET DOOR JAMB DTL.
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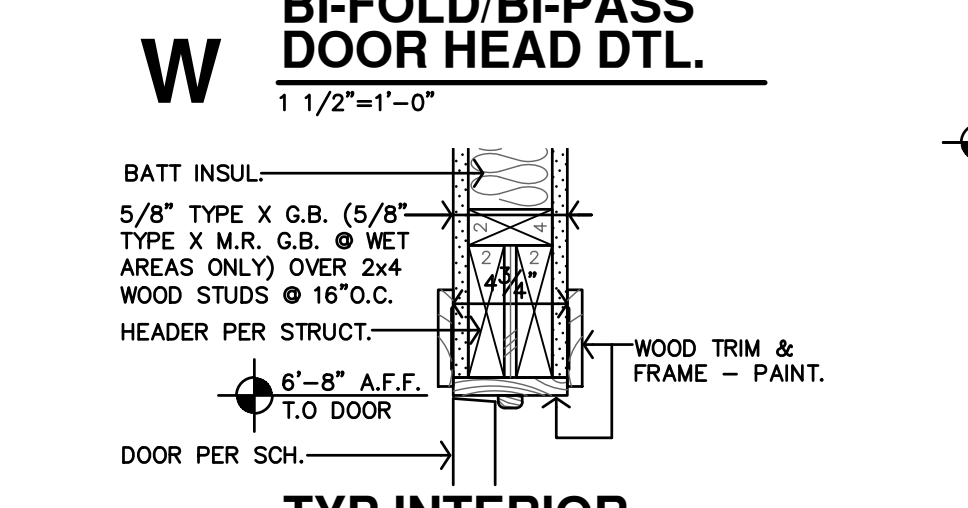
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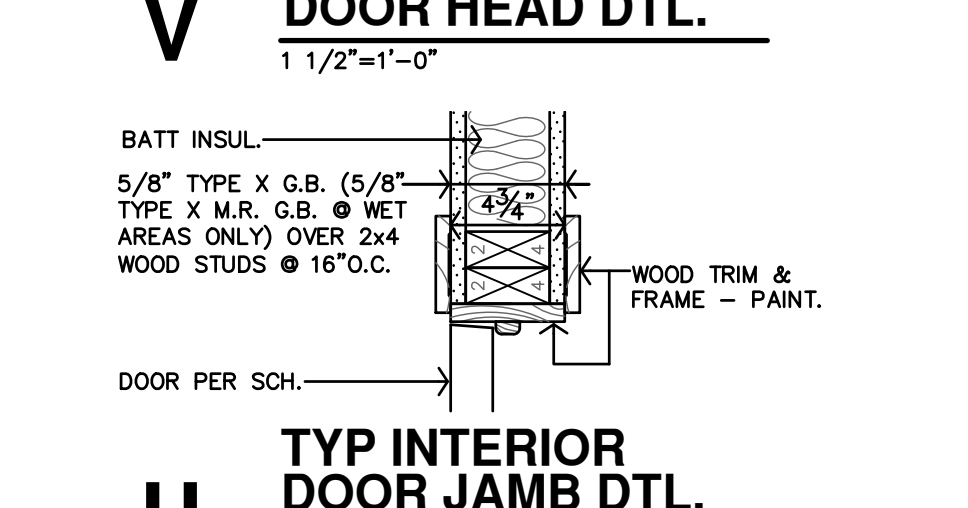
N TYP WINDOW SILL DETAIL @ STONE
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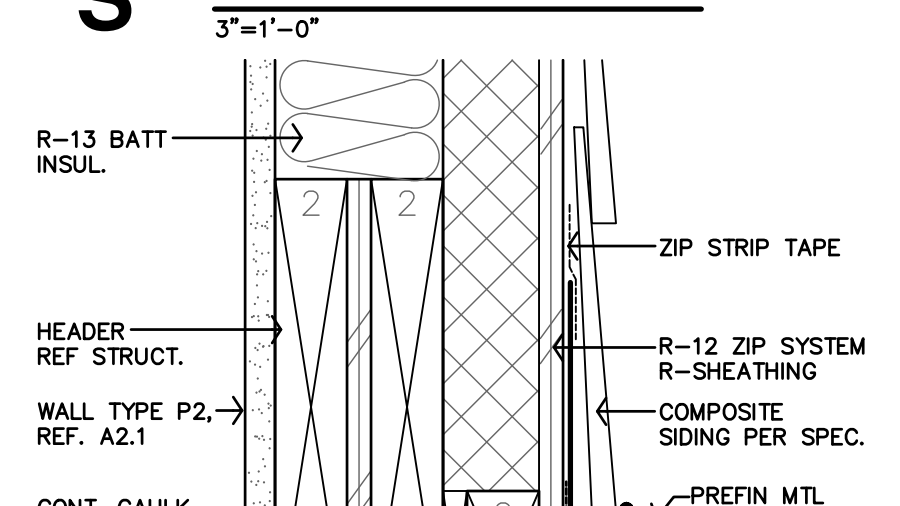
W BI-FOLD/BI-PASS DOOR HEAD DTL.
1 1/2"=1'-0"



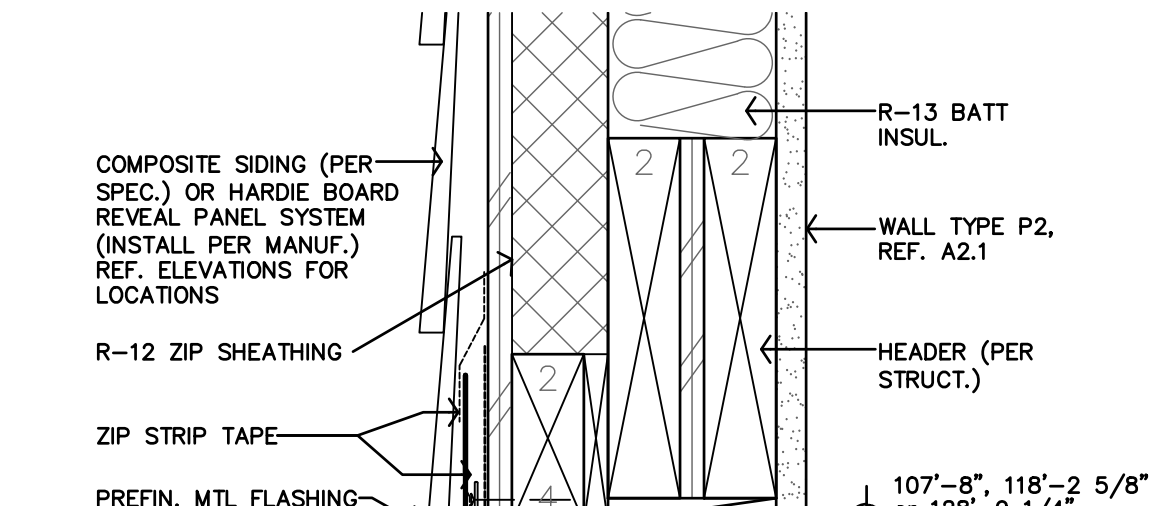
V TYP INTERIOR DOOR HEAD DTL.
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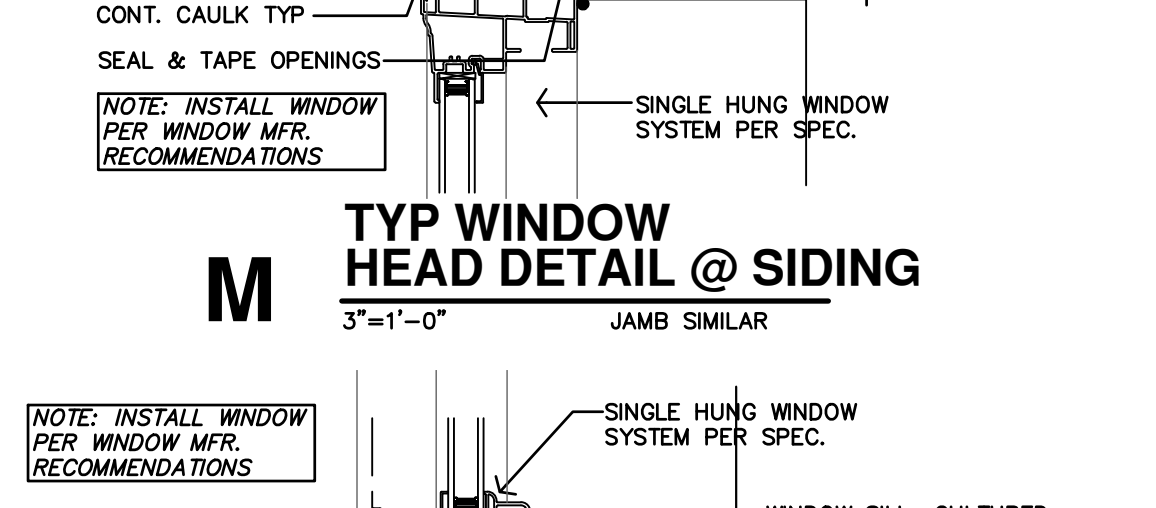
U TYP INTERIOR DOOR JAMB DTL.
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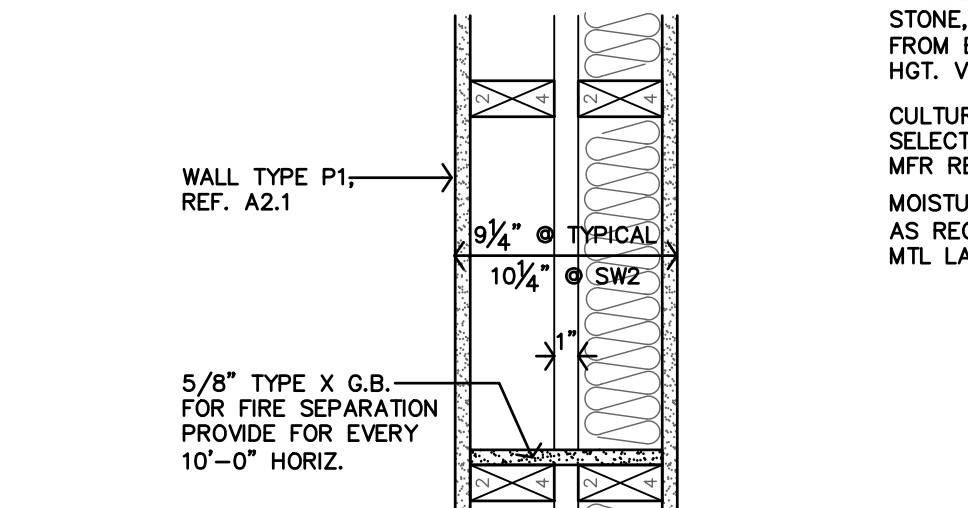
R TYP EXT. DOOR HEAD DETAIL @ SIDING
3/8"=1'-0"



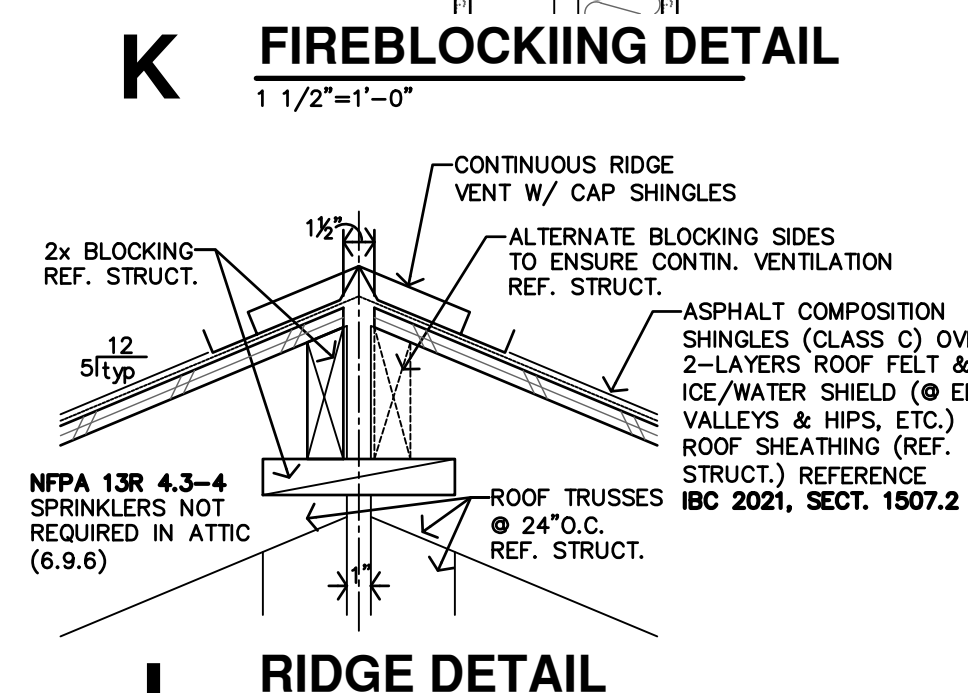
M TYP WINDOW HEAD DETAIL @ SIDING
3/8"=1'-0"



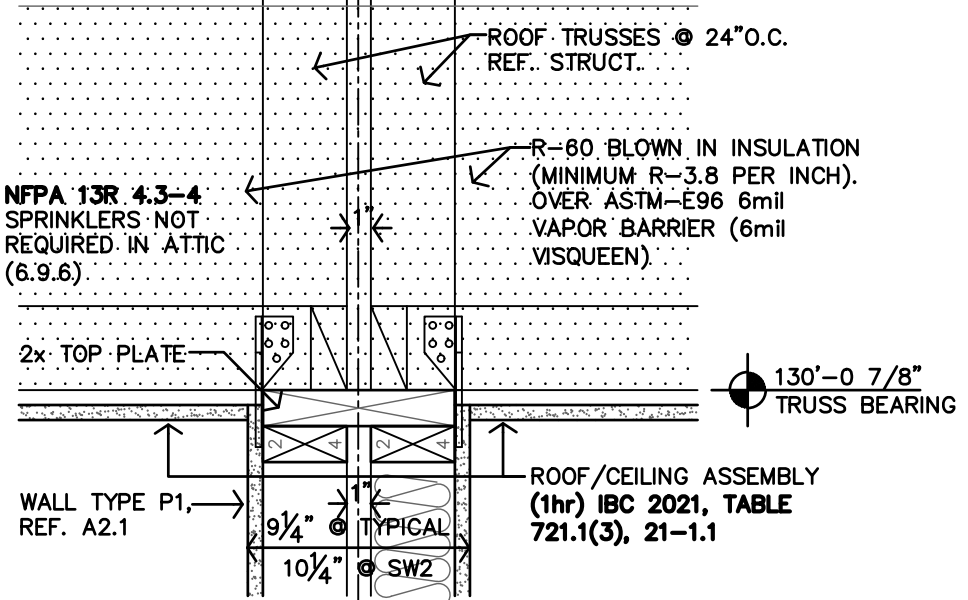
L TYP WINDOW SILL DETAIL @ SIDING
3/8"=1'-0"



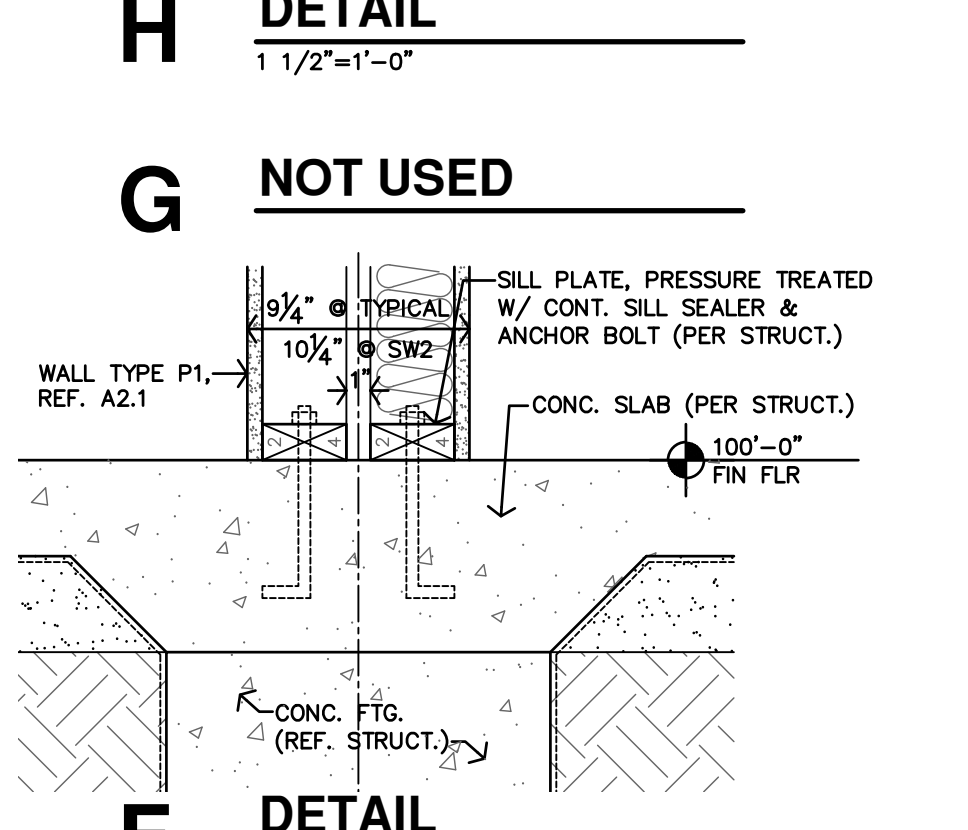
K FIREBLOCKING DETAIL
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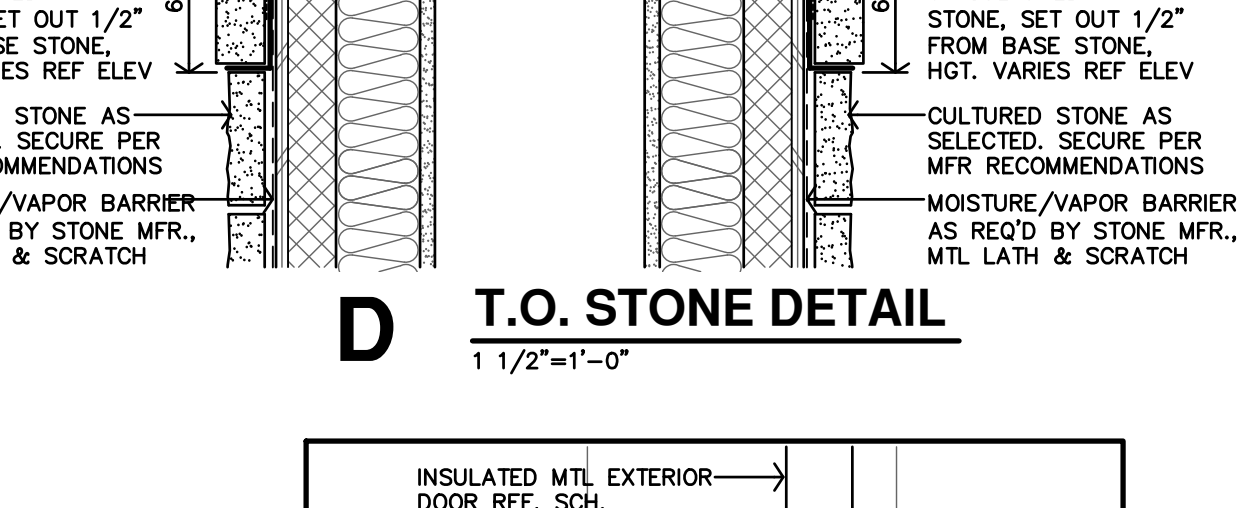
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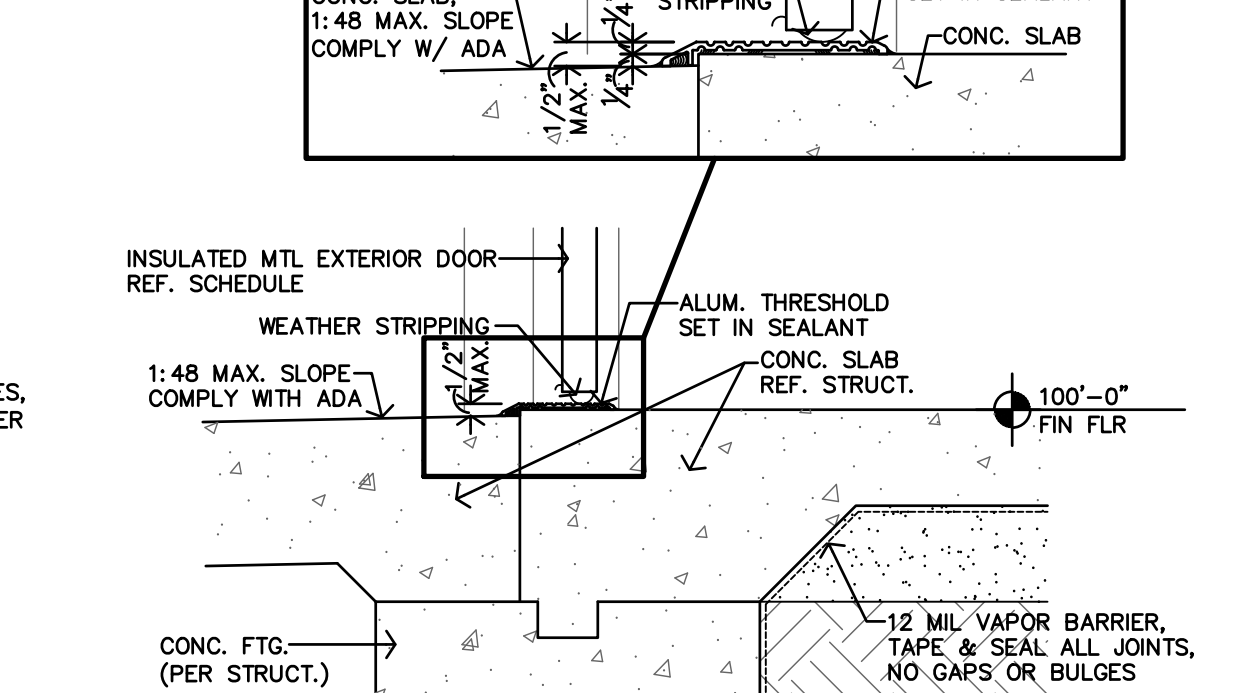
H DETAIL
1 1/2"=1'-0"



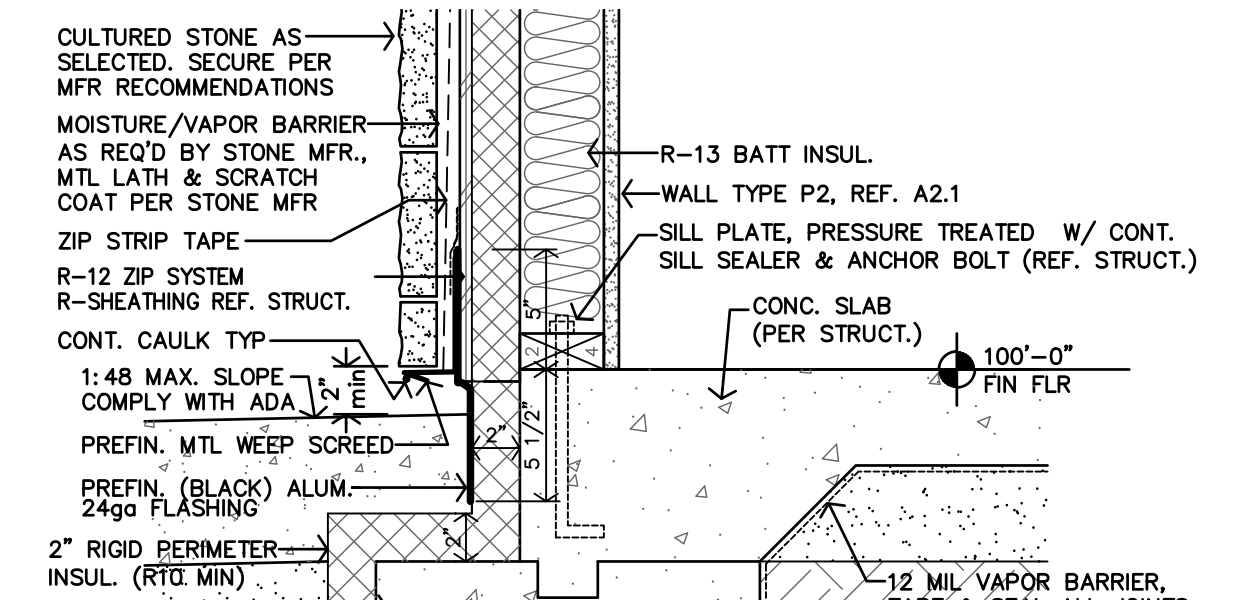
G NOT USED
1 1/2"=1'-0"



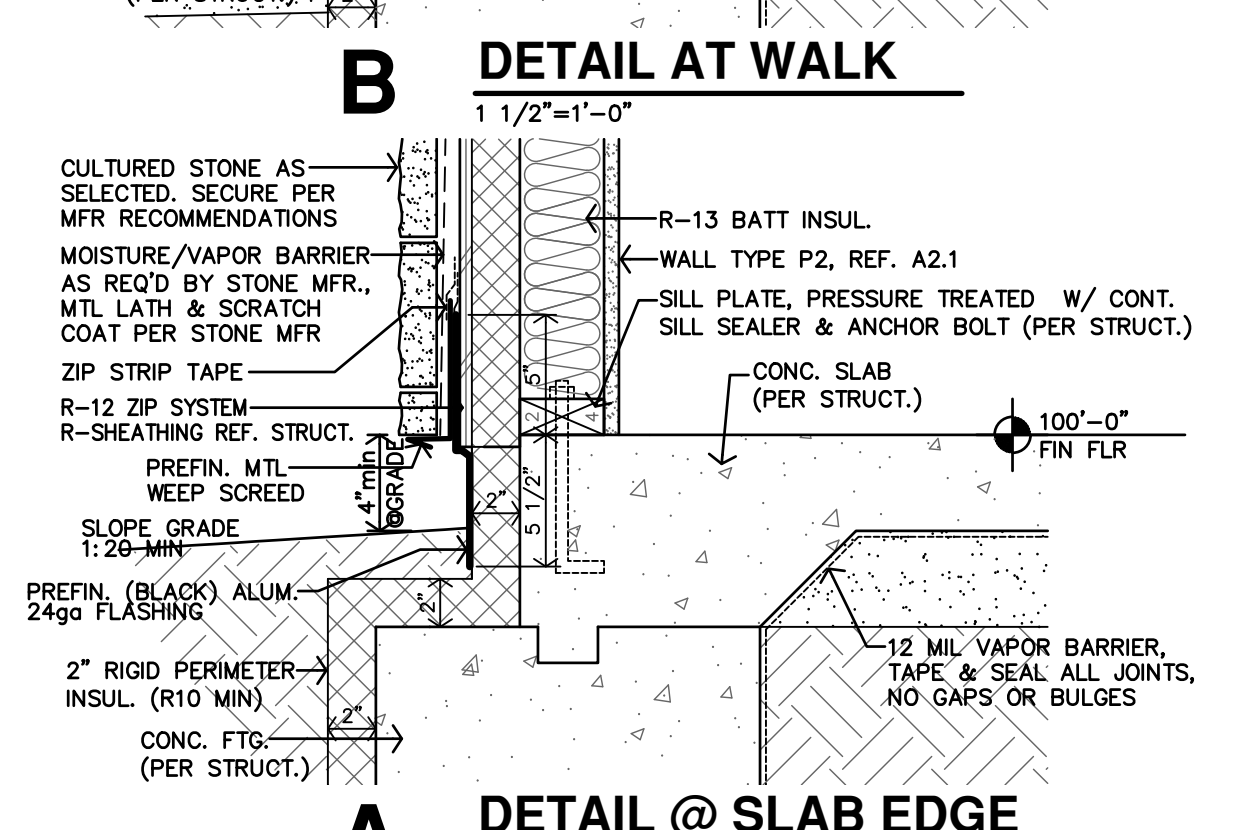
D T.O. STONE DETAIL
1 1/2"=1'-0"



C THRESHOLD
1 1/2"=1'-0"



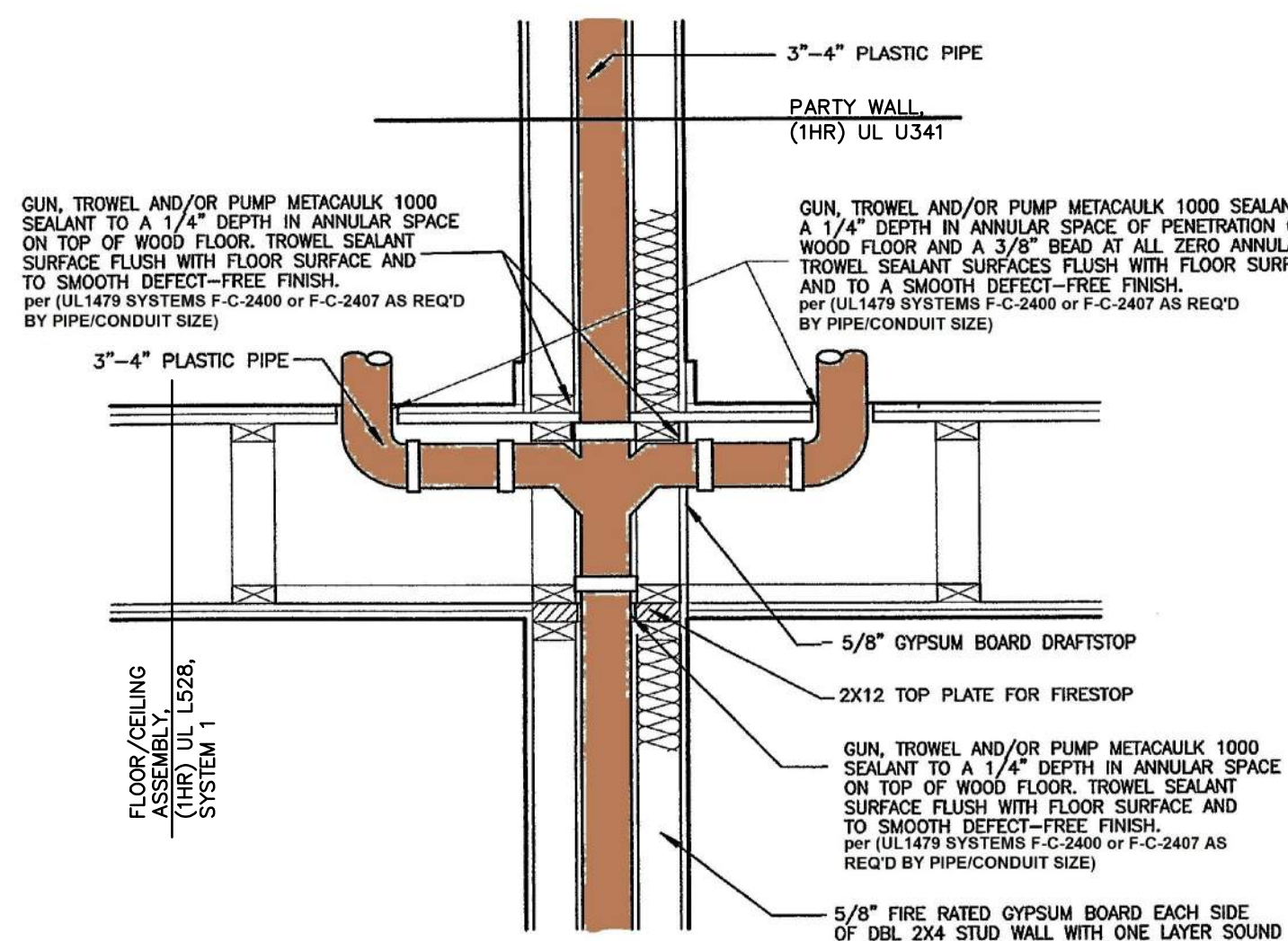
B DETAIL AT WALK
1 1/2"=1'-0"



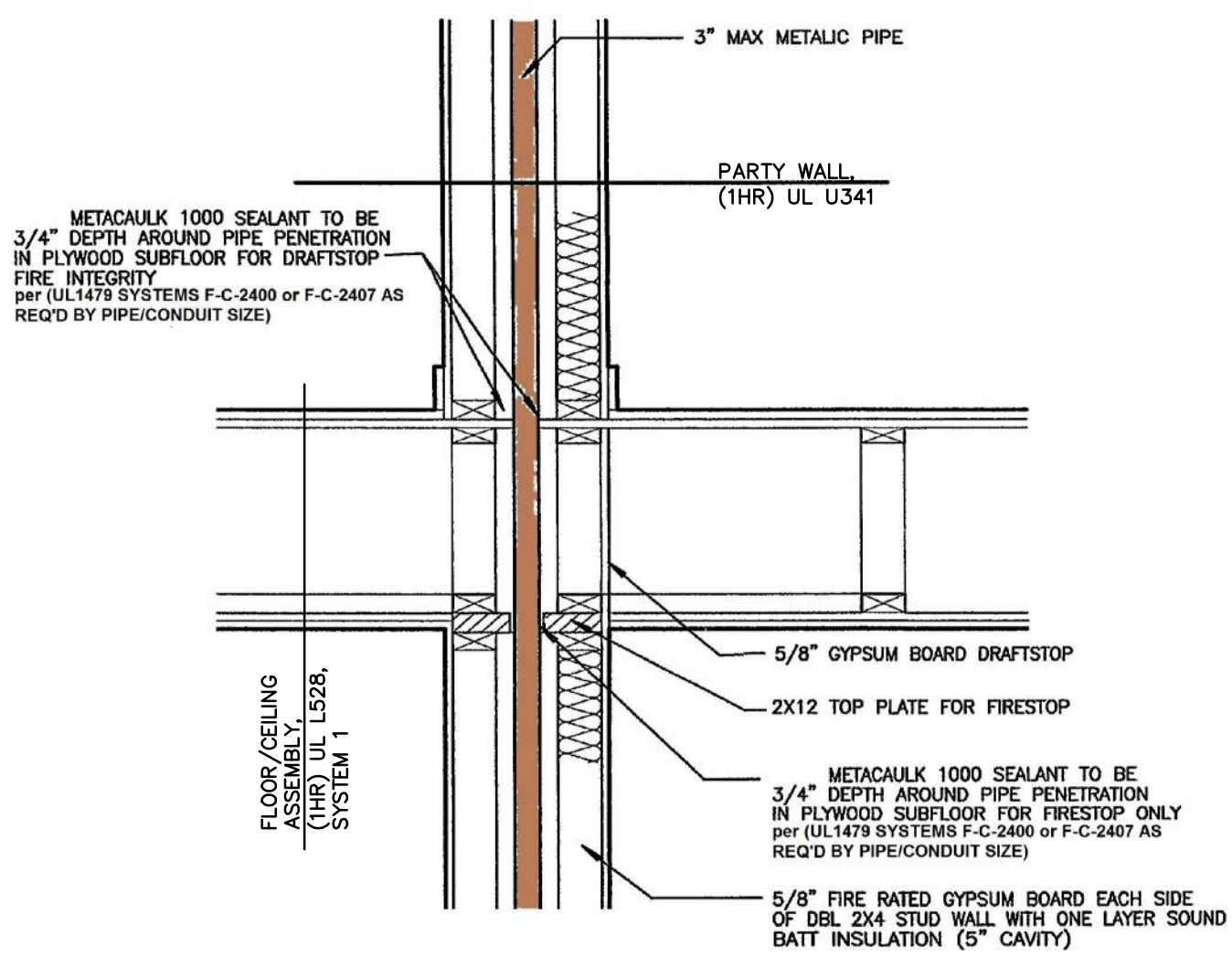
A DETAIL @ SLAB EDGE
1 1/2"=1'-0"

City of Aurora Building Division
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Approved as Noted: **Y. Munoz**
Date: **Feb 15, 2024**
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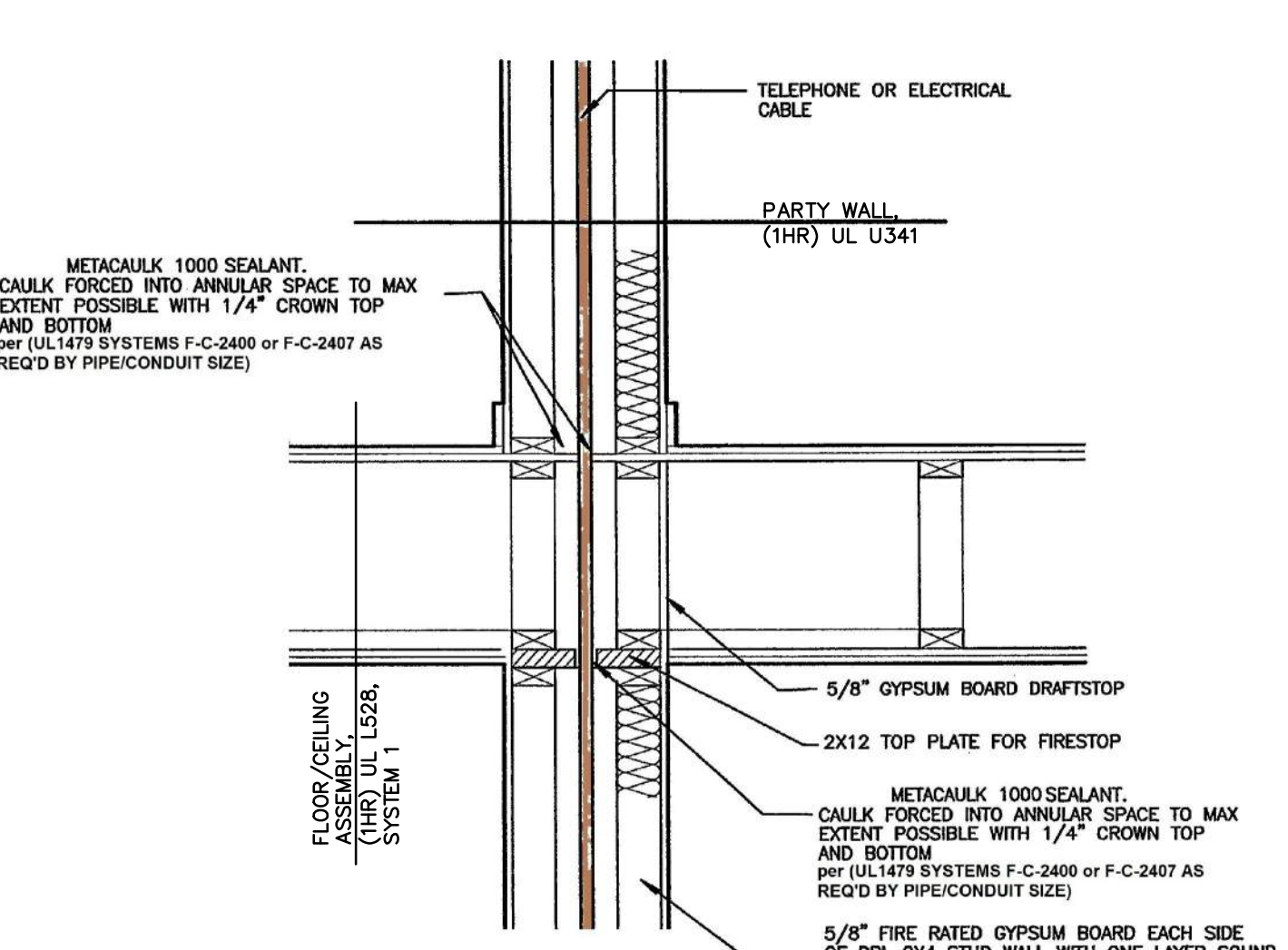
JonesGillamRenz
 1881 Main Street, Suite 307
 Kansas City, MO 64108
 jgr@jgarchitects.com
JGR
 730 N. Ninth
 Salina, KS 67401
 785.827.0386
THE RESERVES at EAGLE POINT
 415 NORTH PICADILLY RD
 AURORA,
 COLORADO
 406359
 10/1/2021
 ARCHITECT
 REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:
A4.5
 Page 35 of 77
 COPYRIGHTED



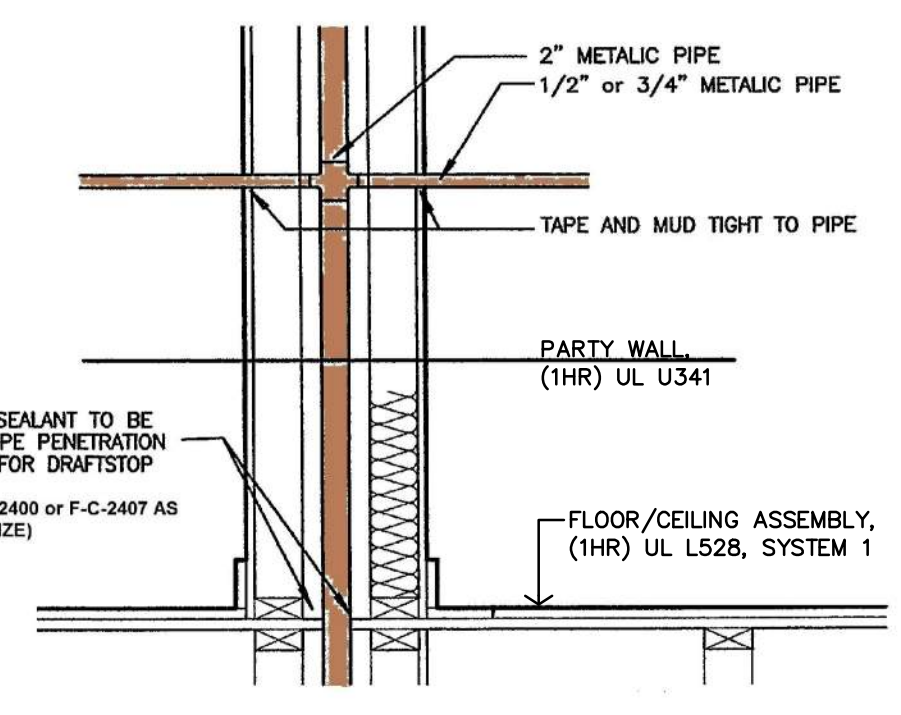
PENETRATION ASSEMBLY #1



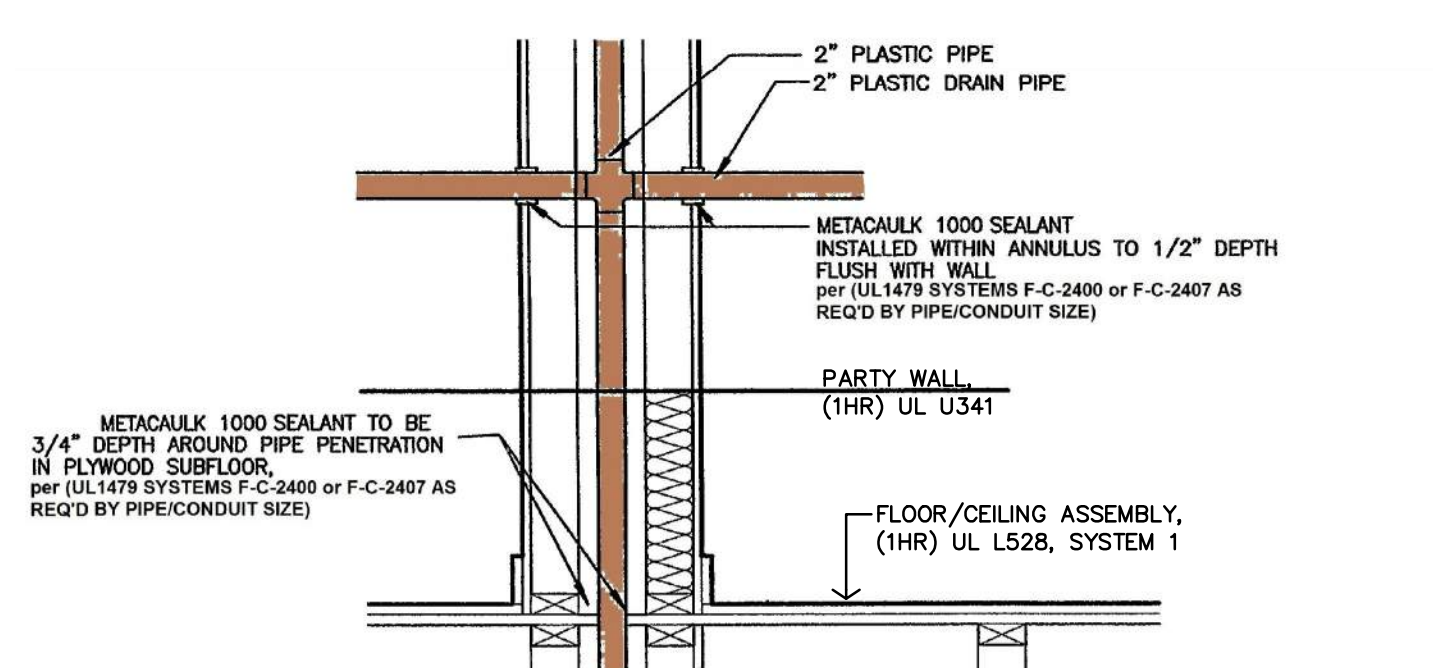
PENETRATION ASSEMBLY #2



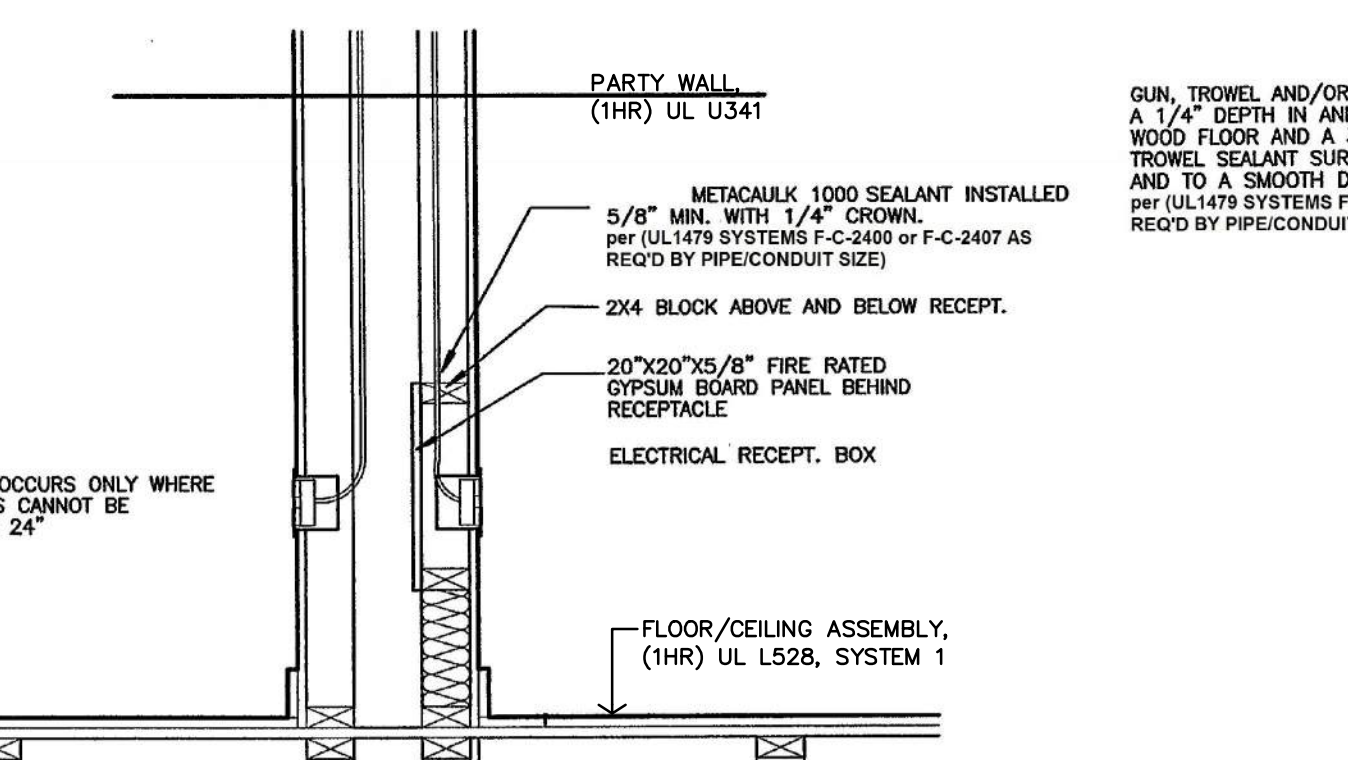
PENETRATION ASSEMBLY #3



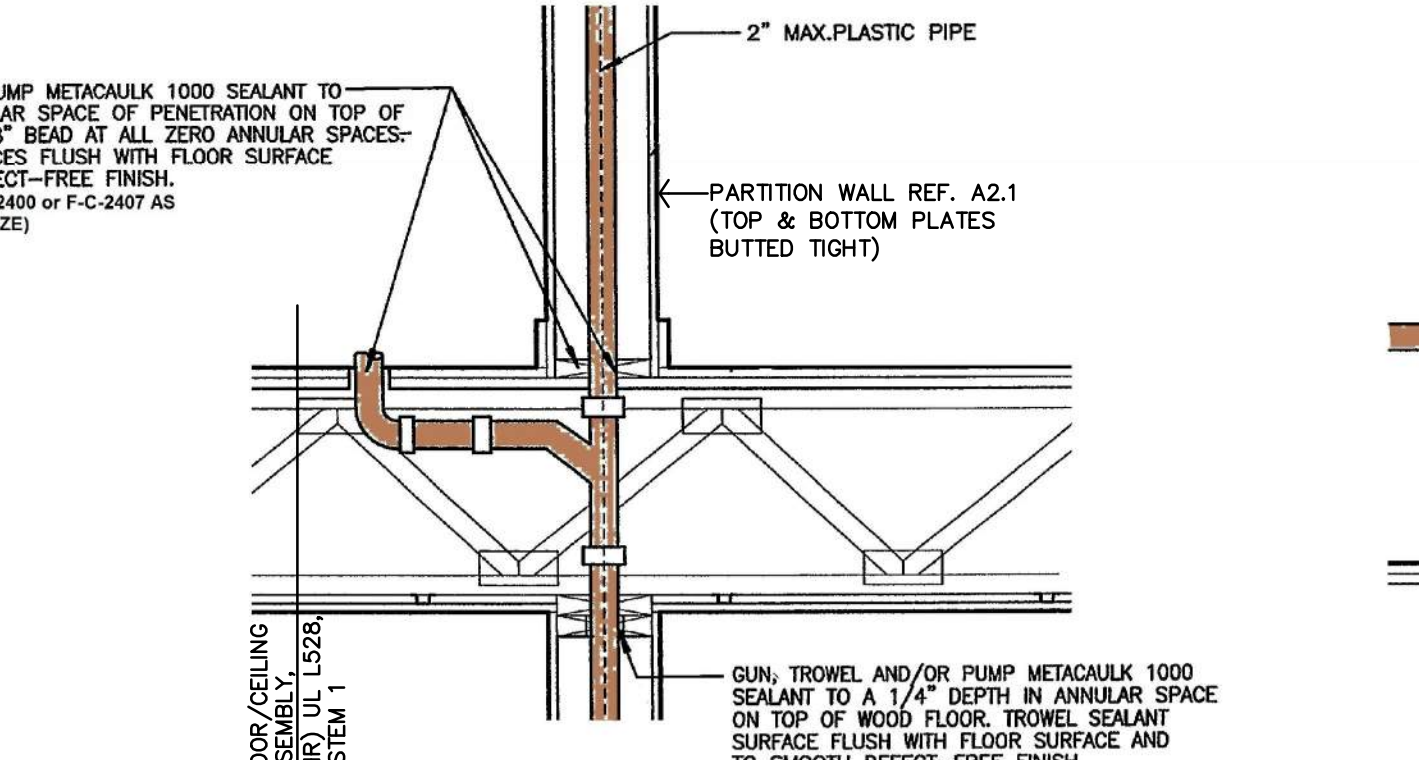
PENETRATION ASSEMBLY #4



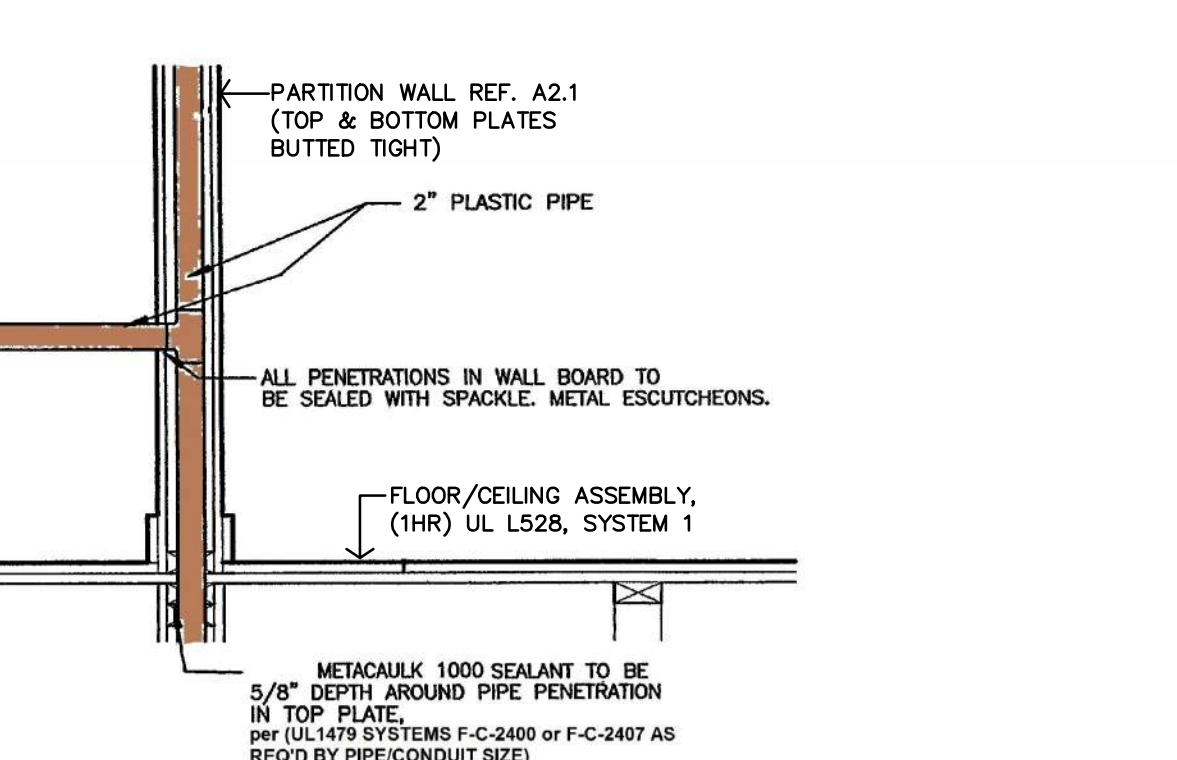
PENETRATION ASSEMBLY #5



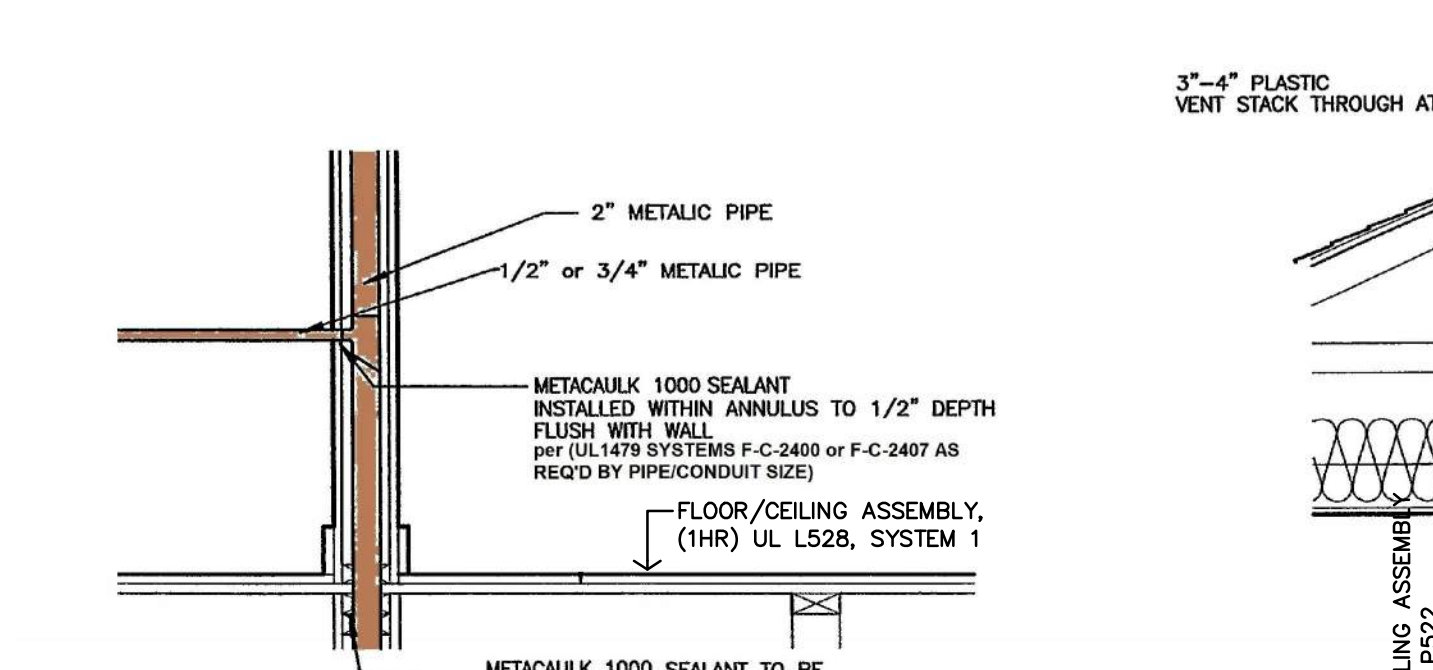
PENETRATION ASSEMBLY #6



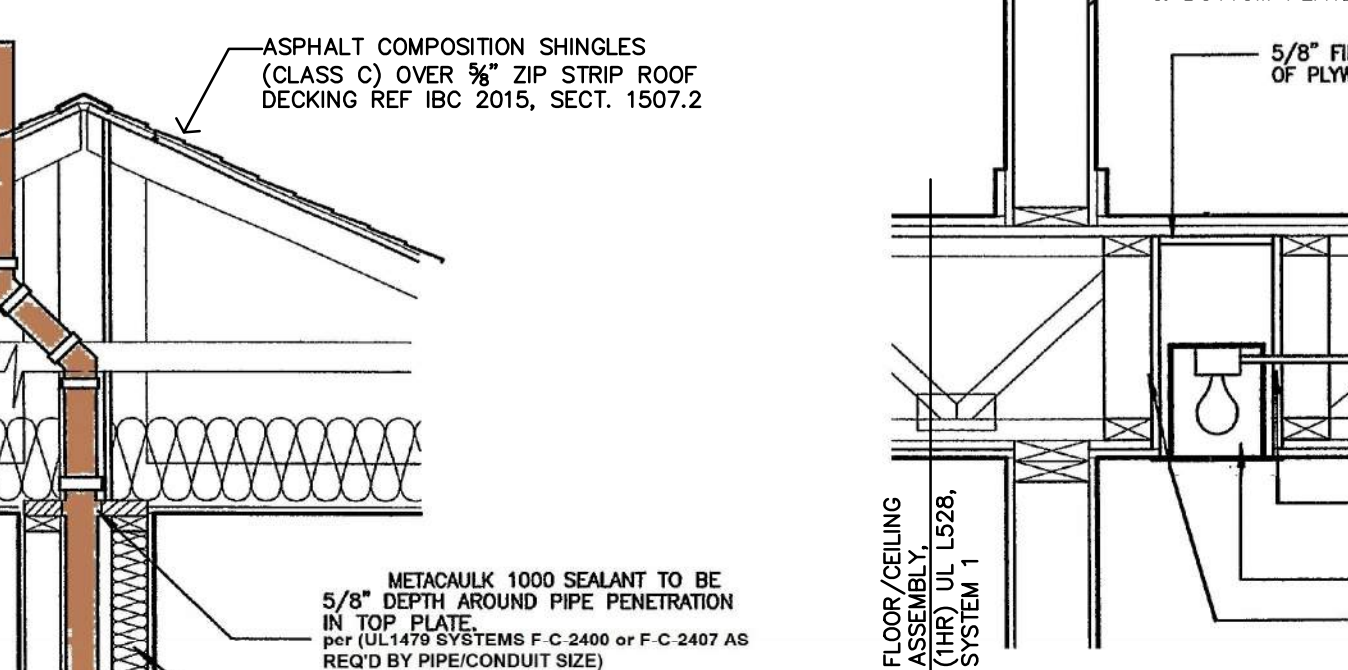
PENETRATION ASSEMBLY #7



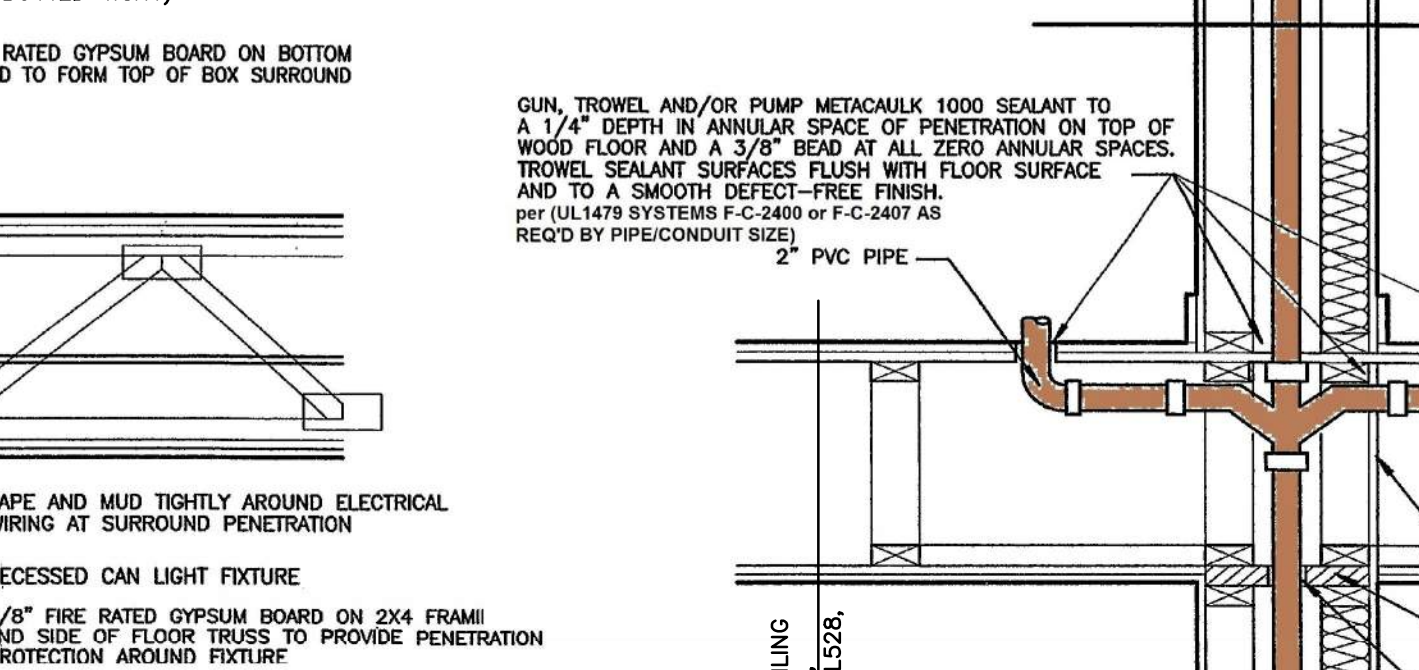
PENETRATION ASSEMBLY #8



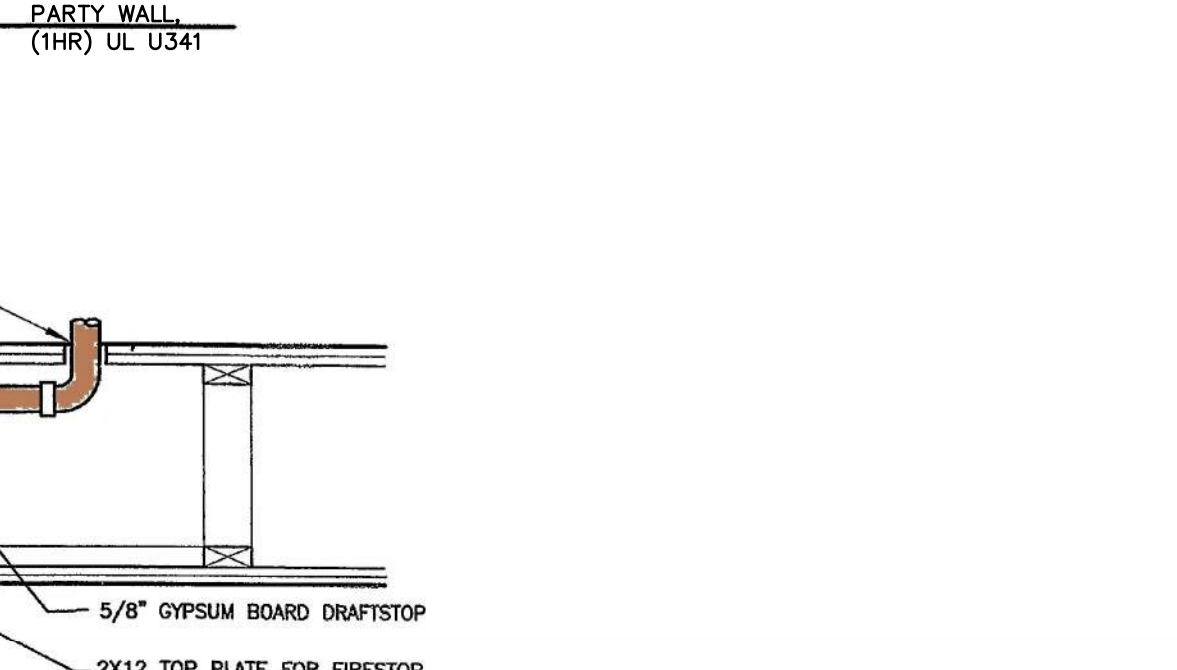
PENETRATION ASSEMBLY #9



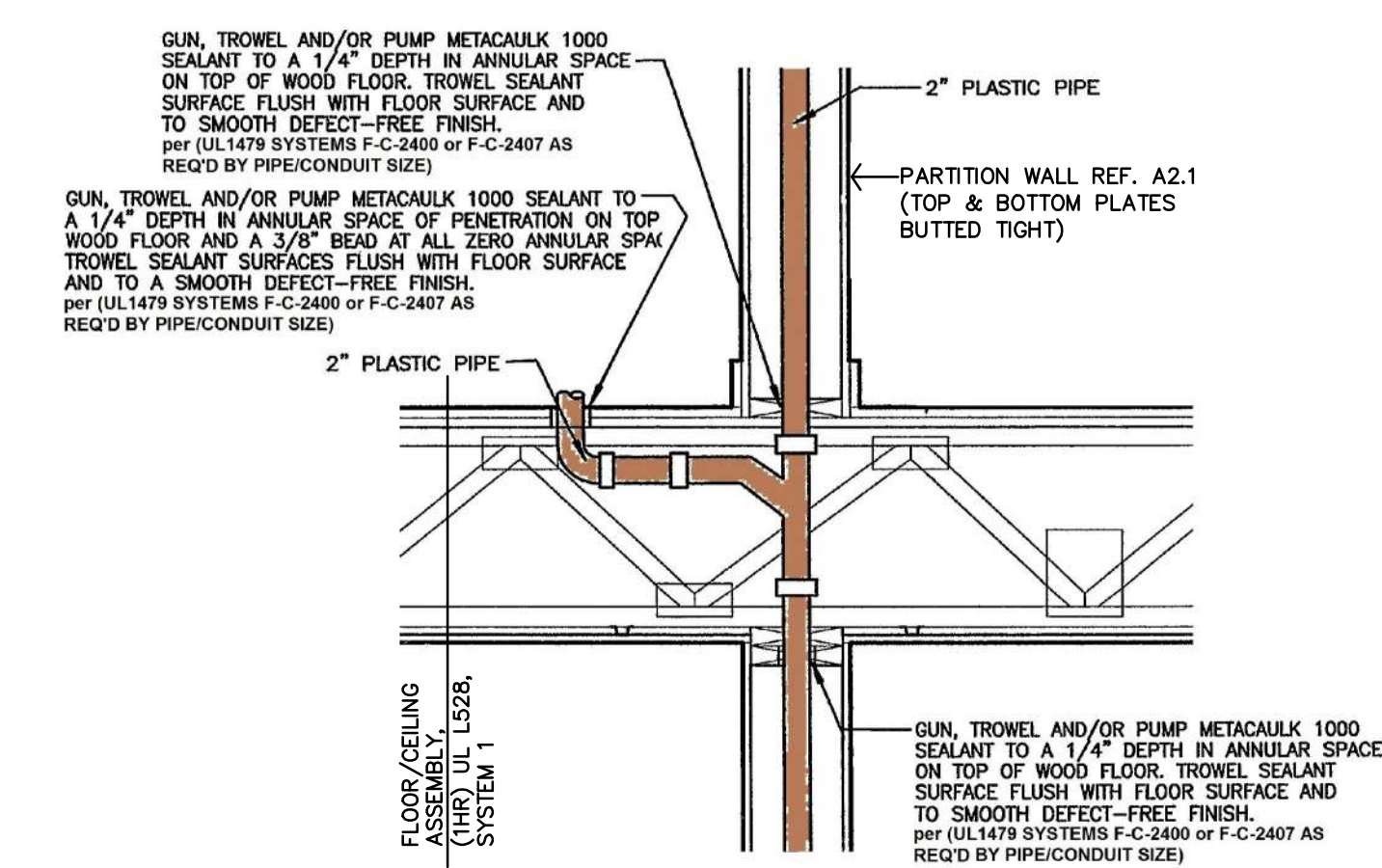
PENETRATION ASSEMBLY #10



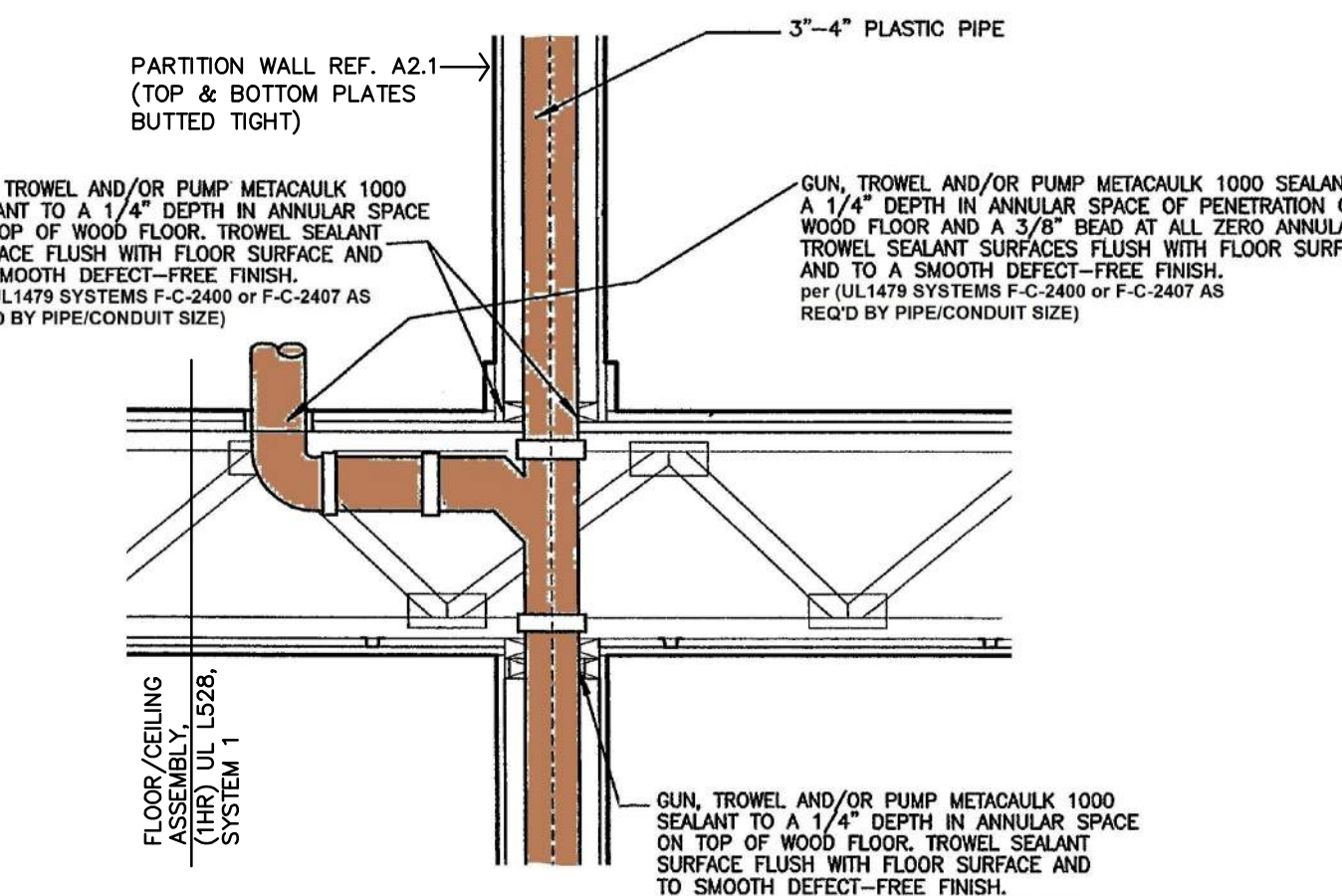
PENETRATION ASSEMBLY #11



PENETRATION ASSEMBLY #12



PENETRATION ASSEMBLY #13

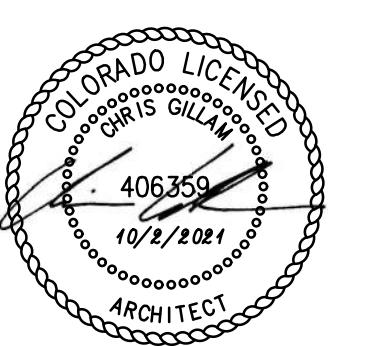


PENETRATION ASSEMBLY #14

USE PLUMBING PLANS FOR LOCATIONS WITHIN WALLS

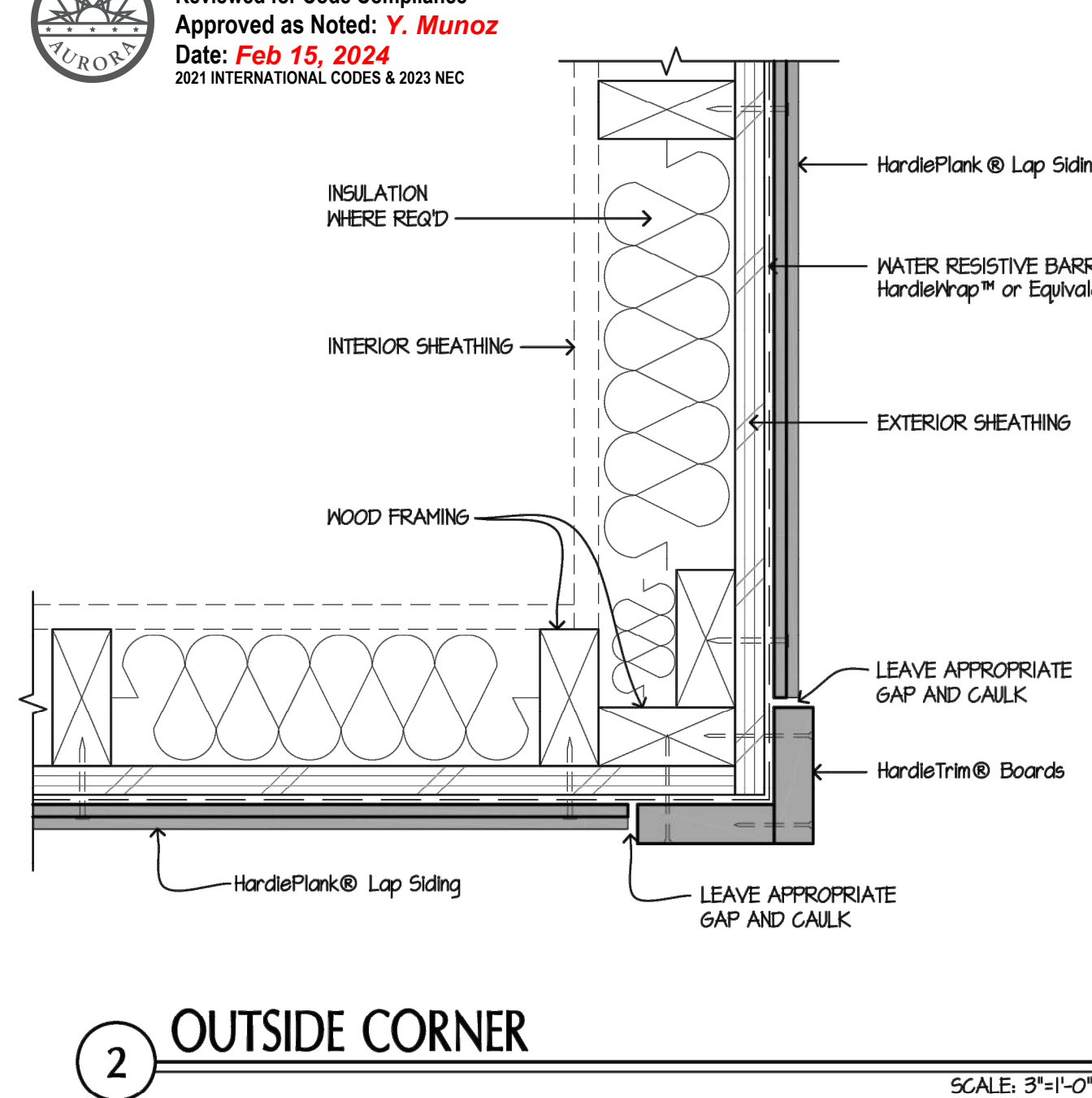
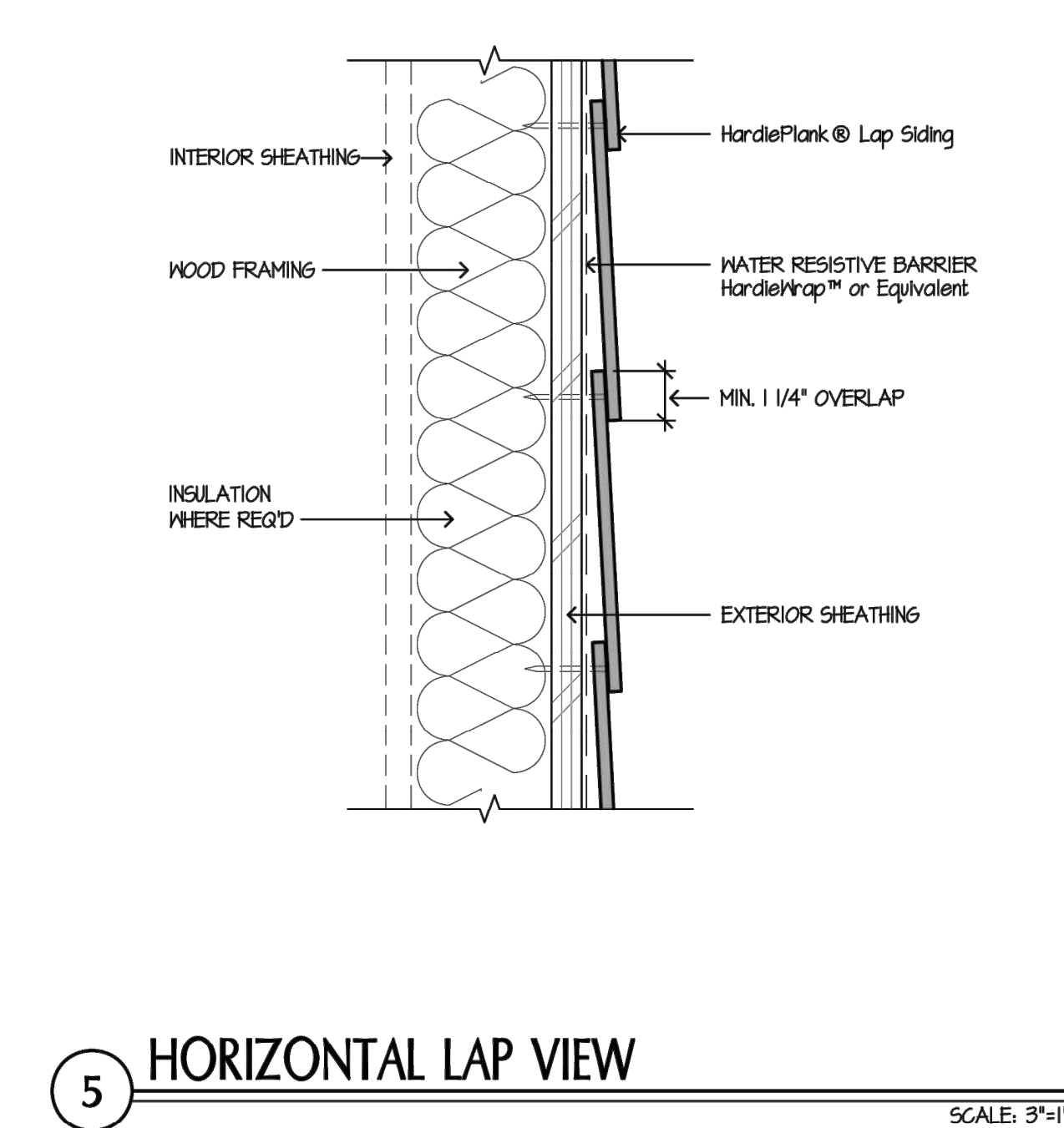
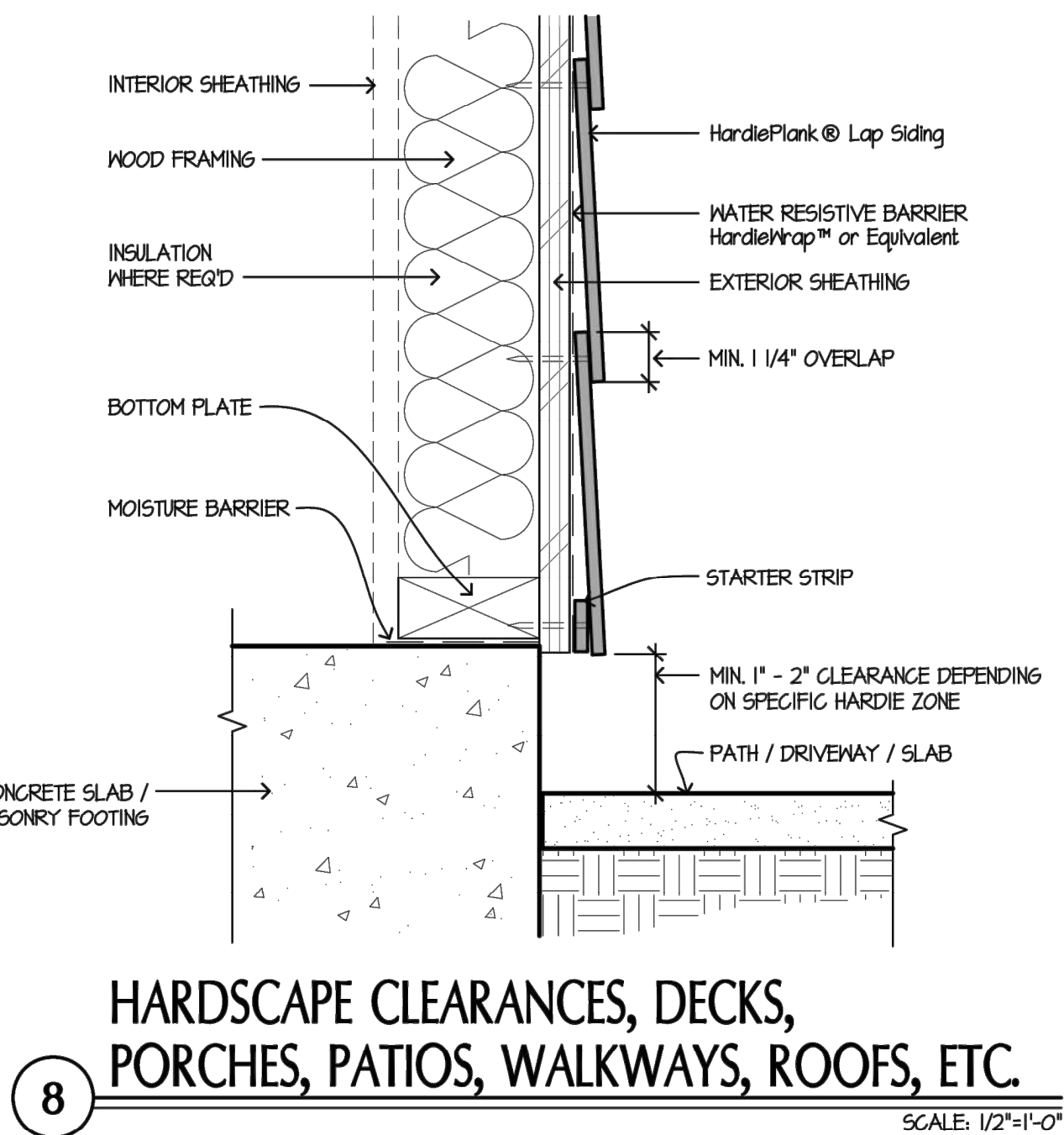
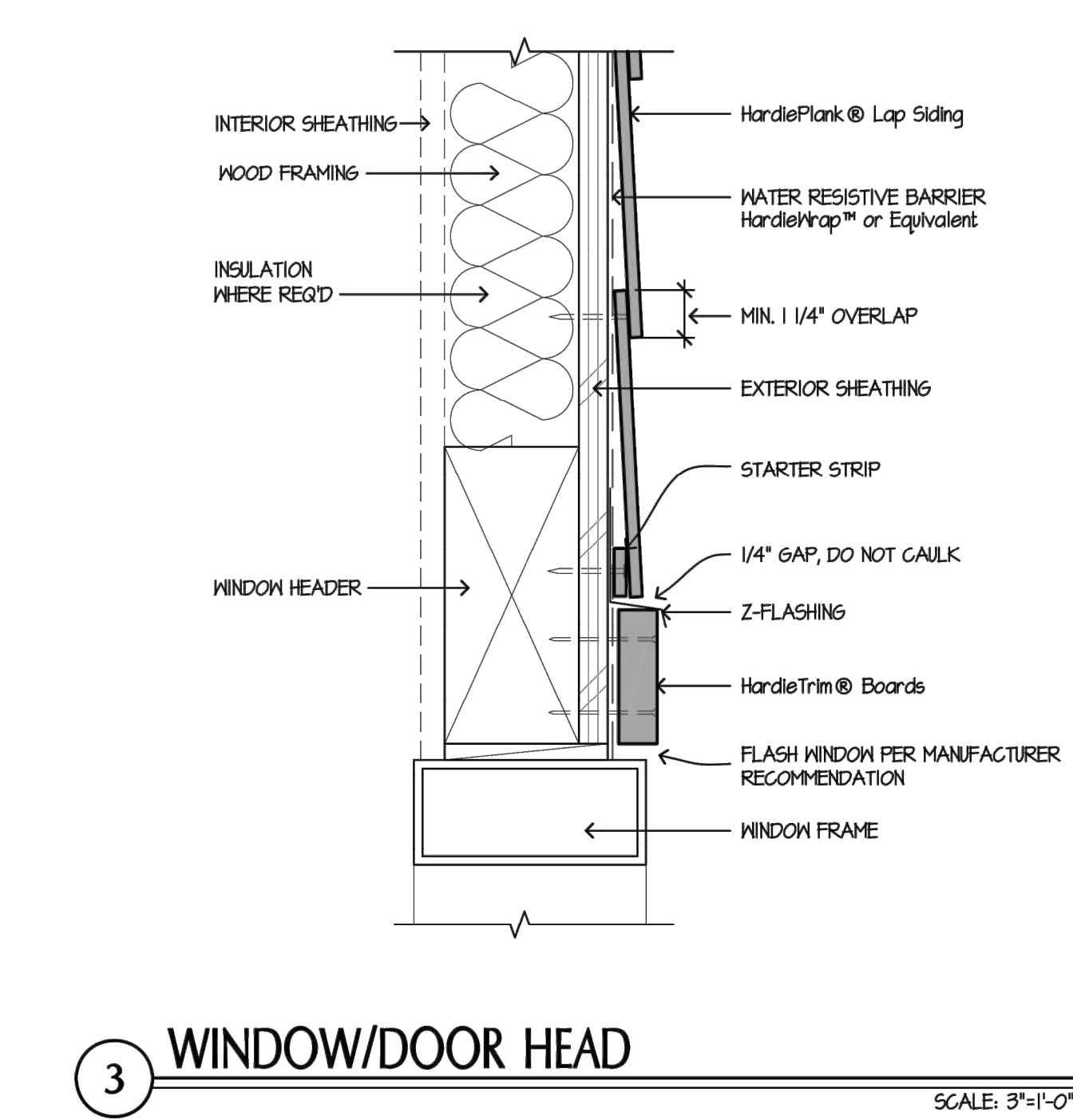
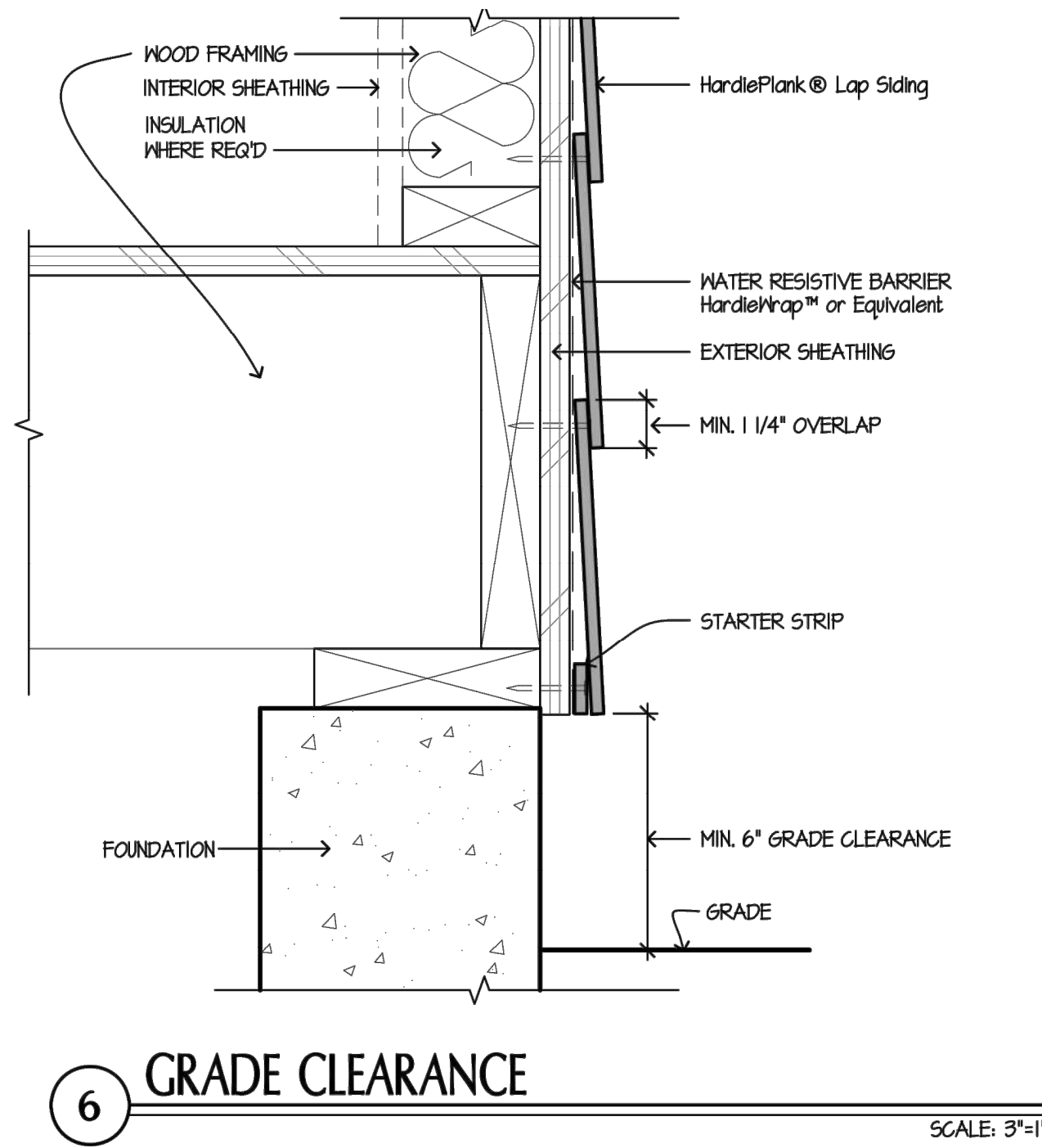
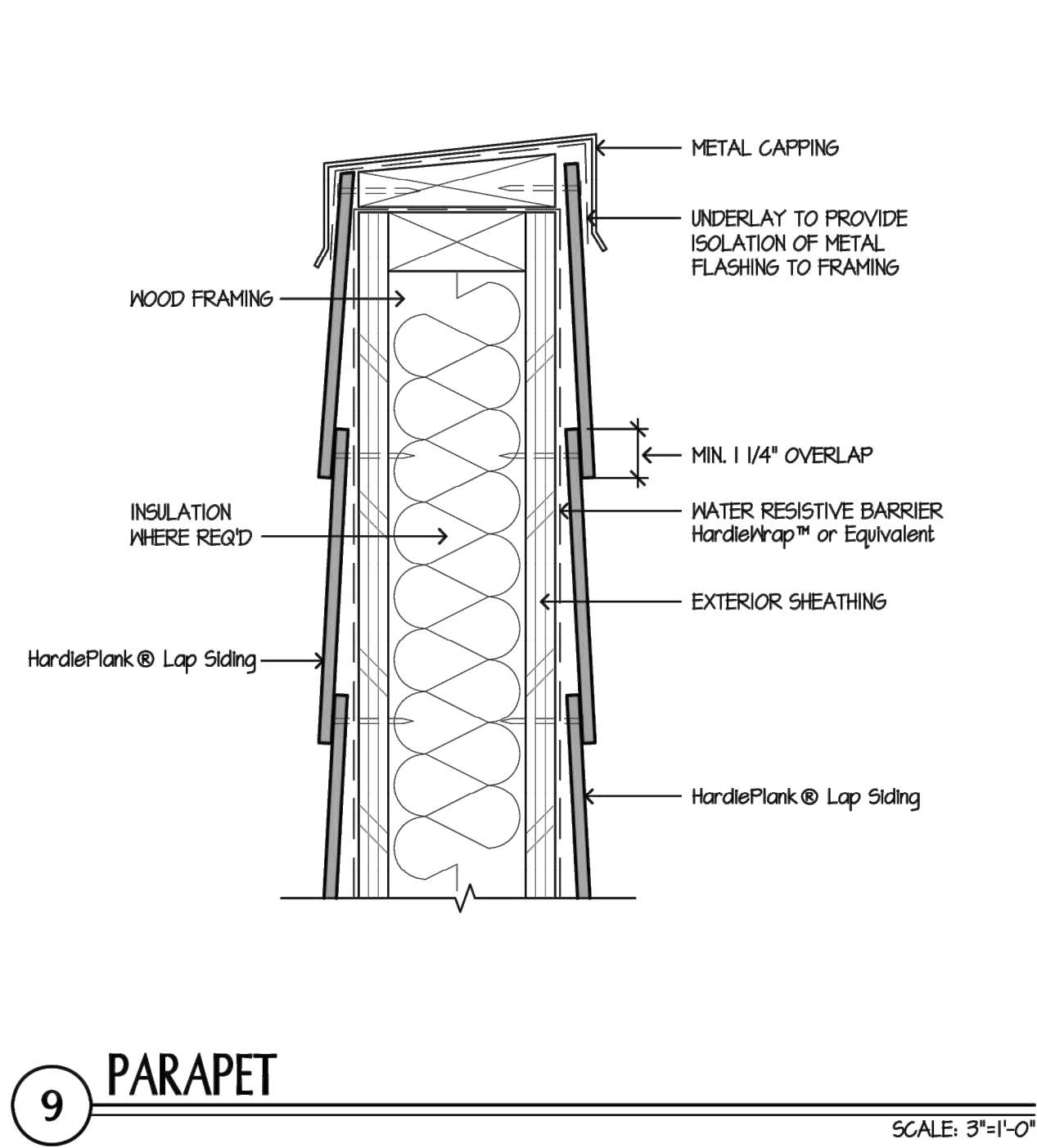
FIRE PENETRATION ASSEMBLIES FOR REFERENCE ONLY

NOT TO SCALE

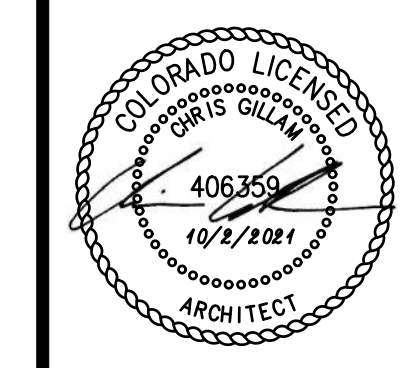
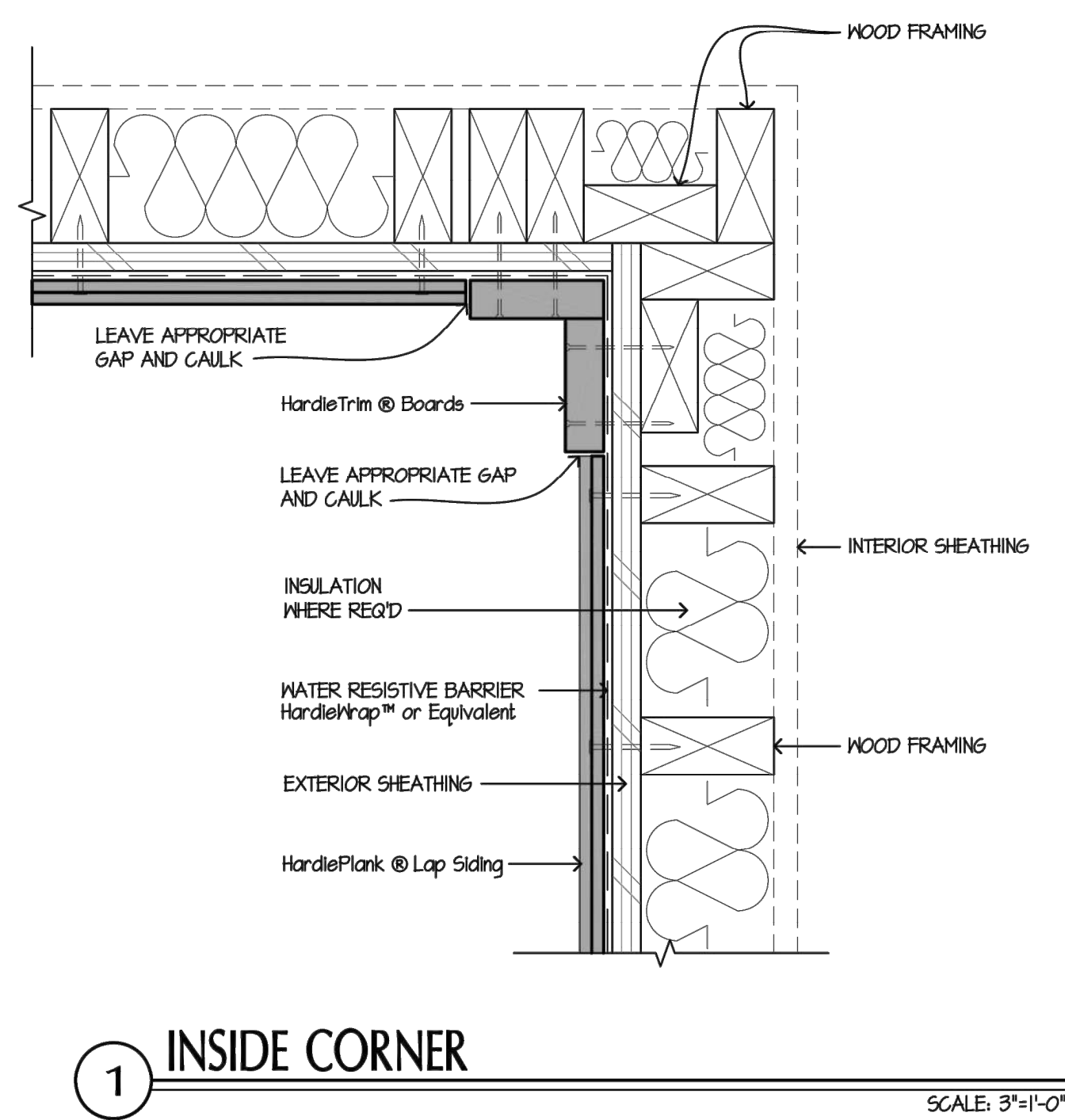
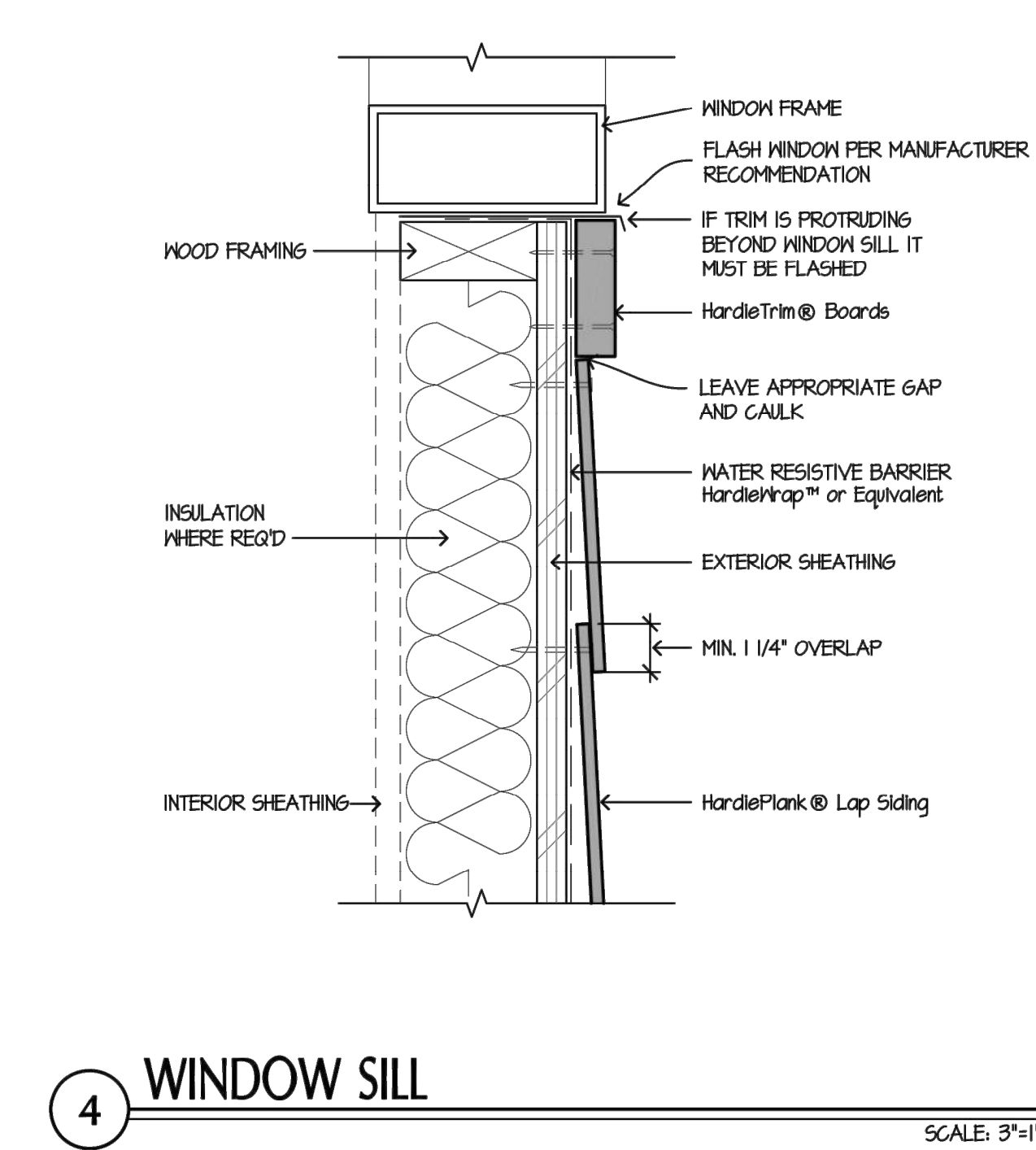
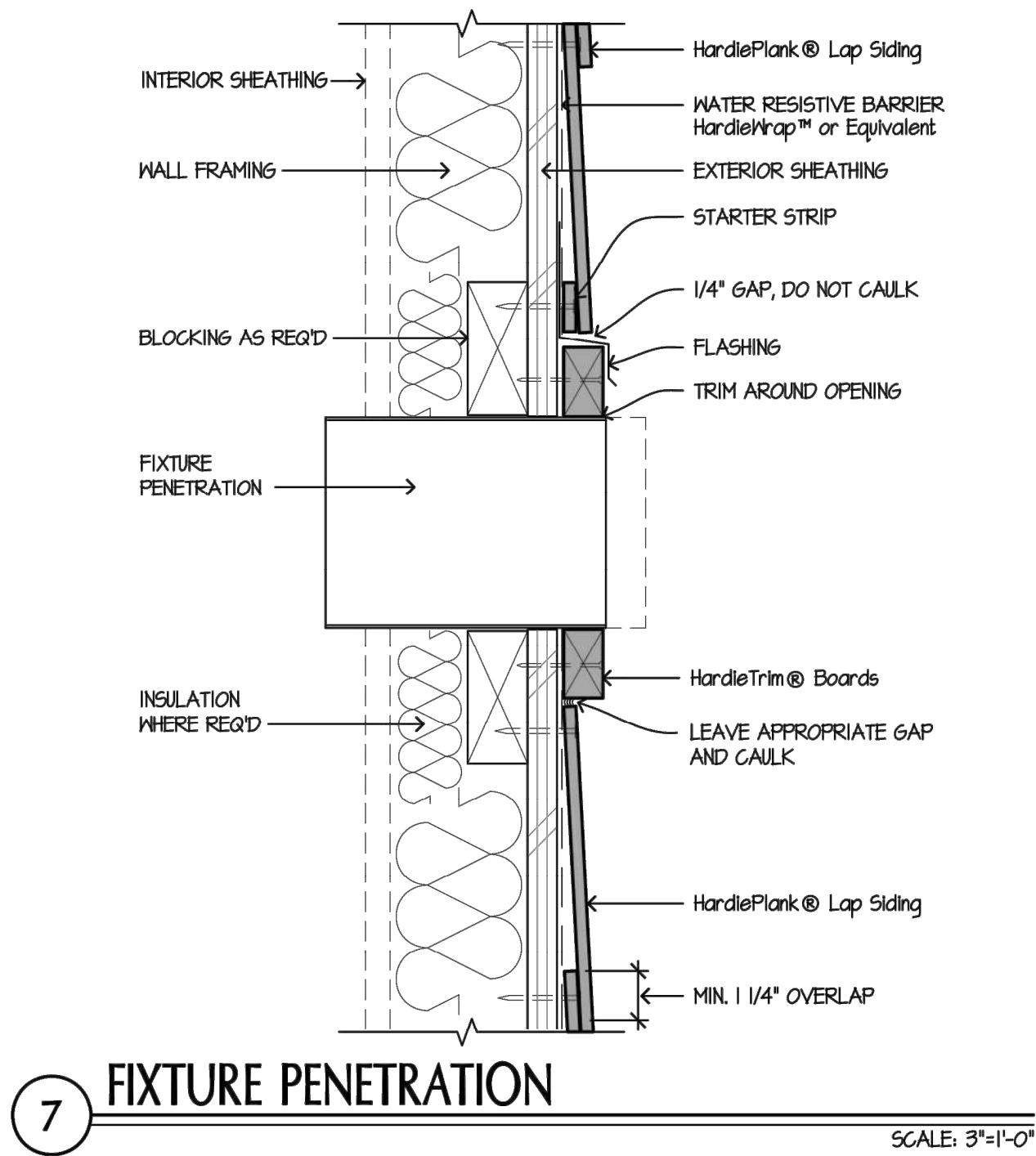
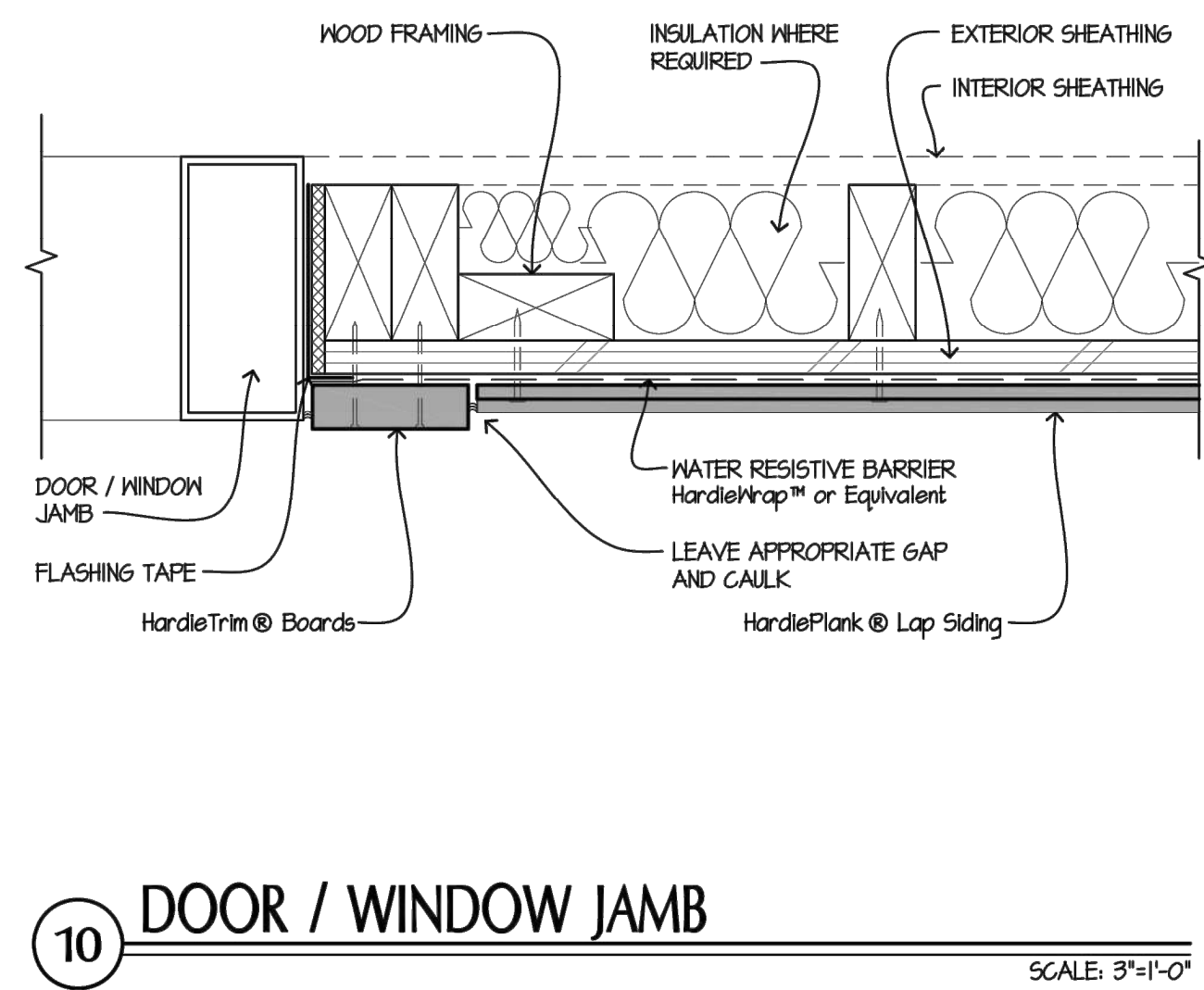


| | |
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| REVISION: | |
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| JOB: | 22-3219 |
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City of Aurora Building Division
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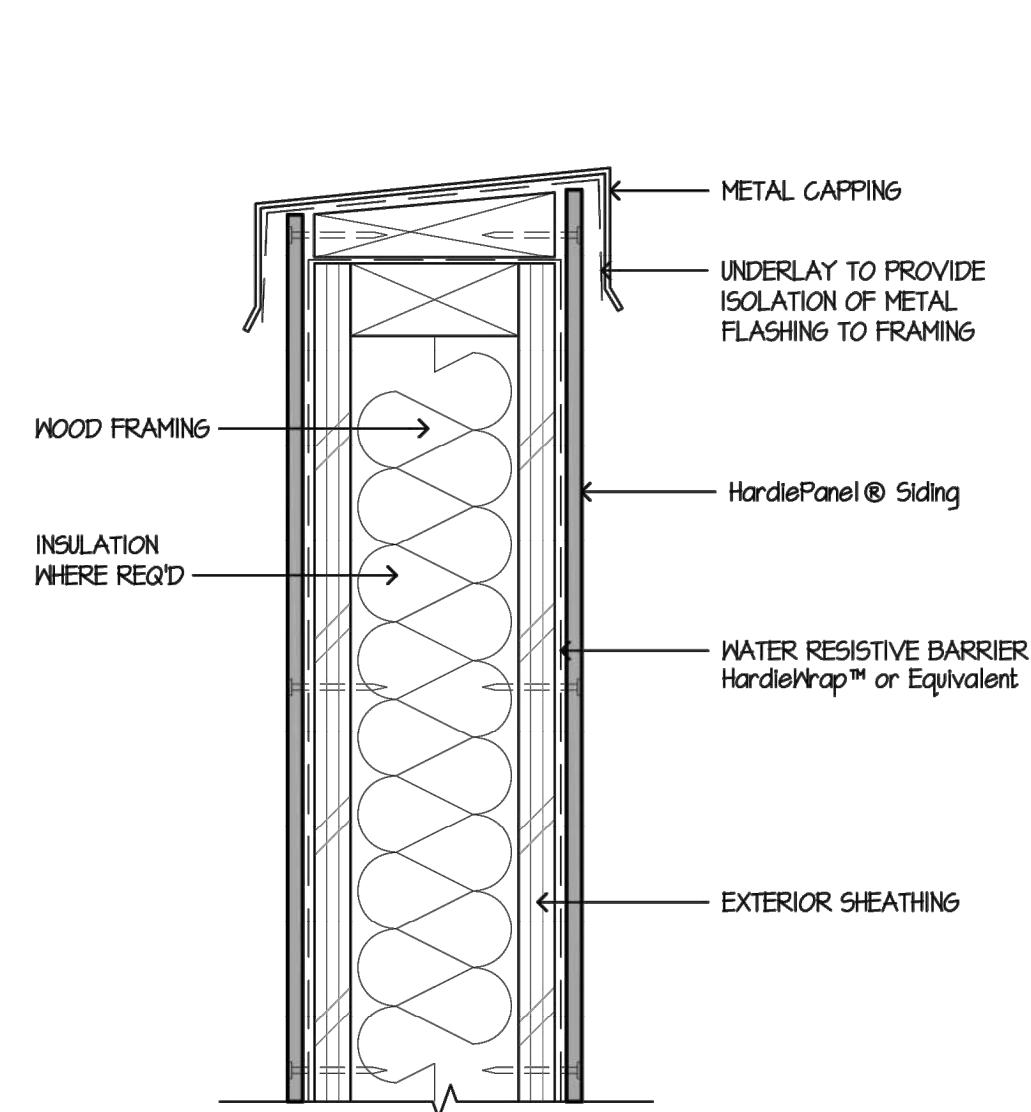
HARDIE LAP SIDING
 Manufacturers Installation
 Details, Contractor to install
 as indicated Actual
 Conditions May Vary
 DETAILS ARE NOT TO SCALE



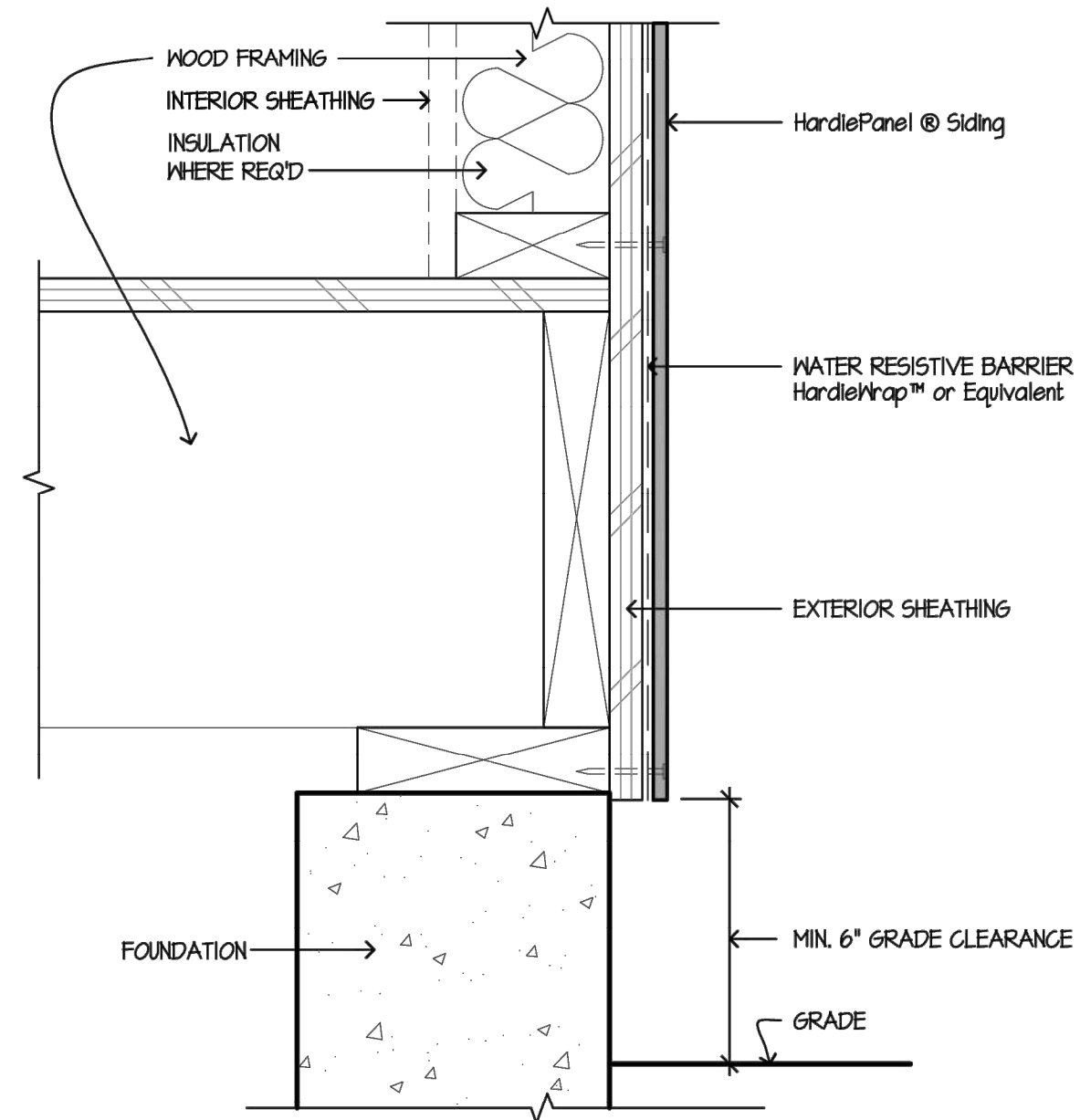
REVISION:

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| DATE: | 10-2-2023 |
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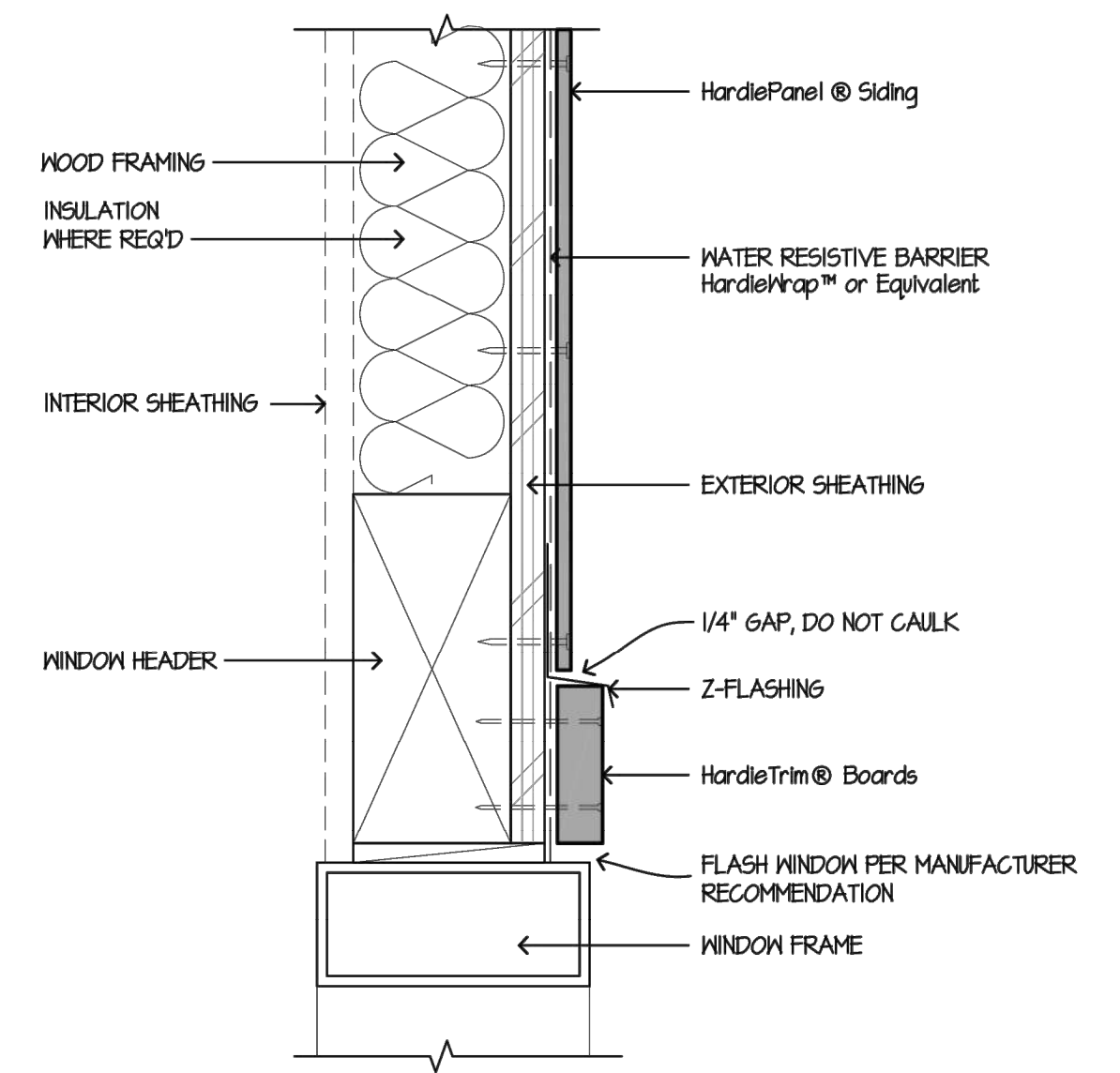
COPYRIGHTED



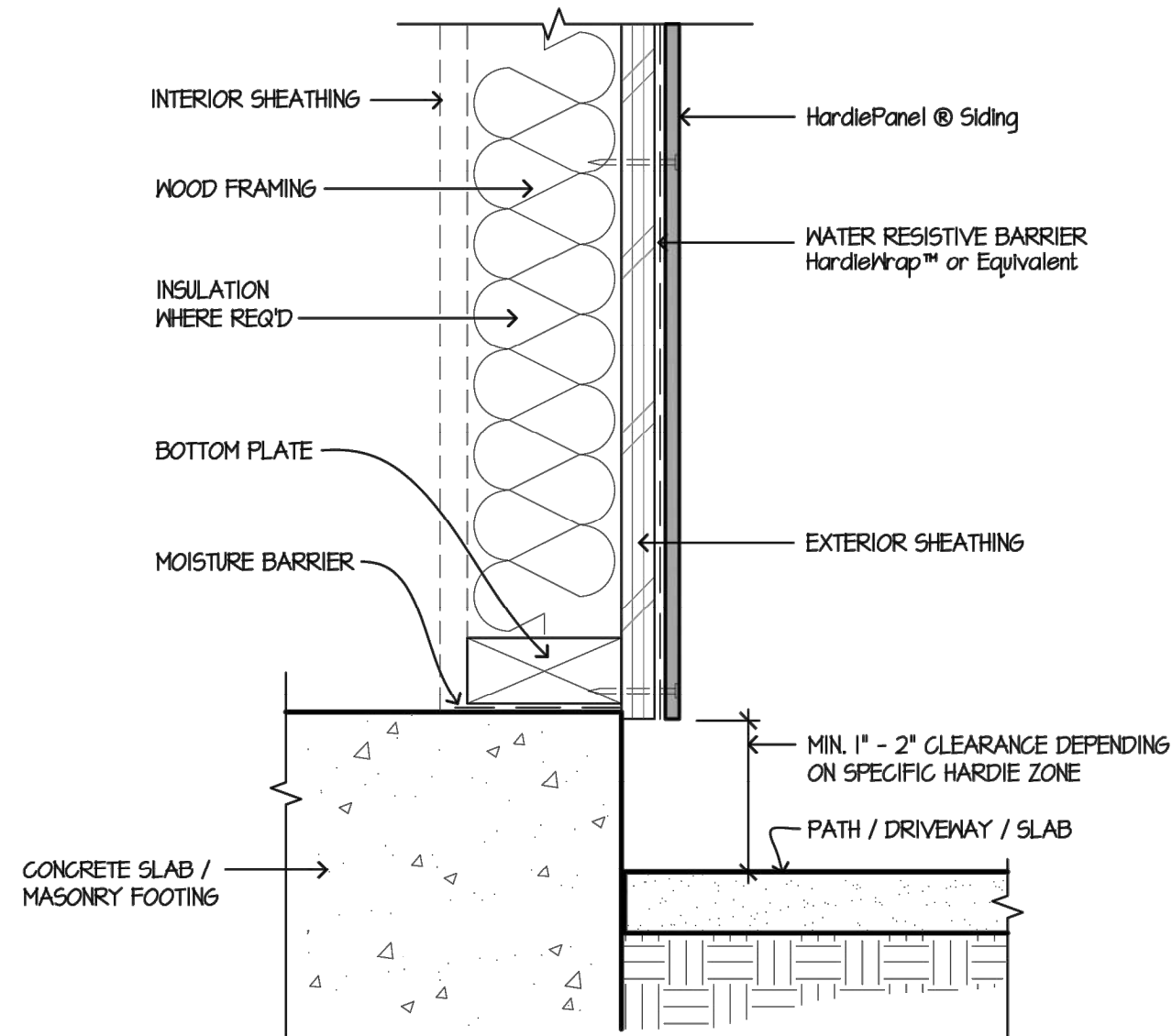
9 PARAPET
SCALE: 3/4"=1'-0"



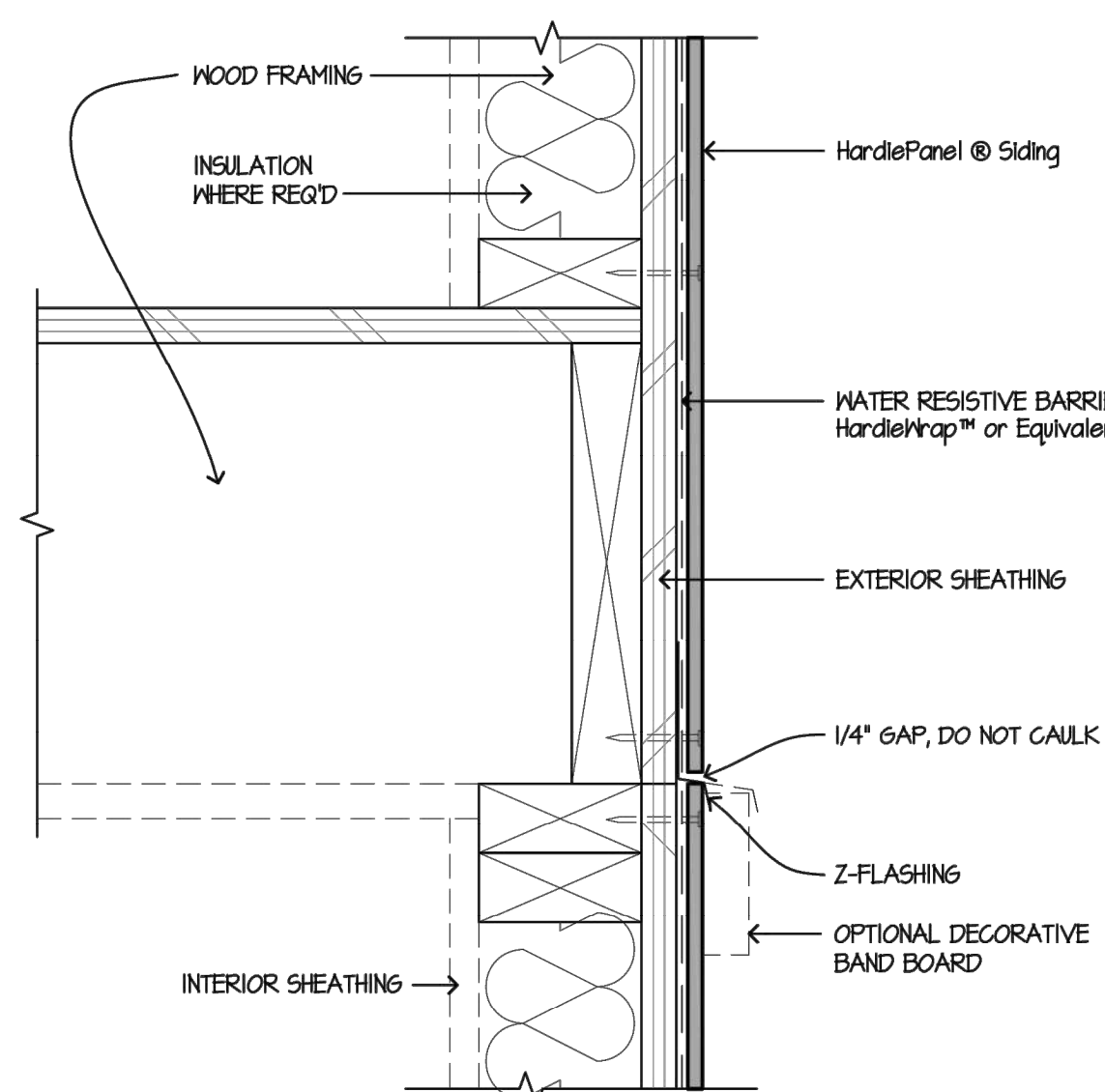
6 GRADE CLEARANCE
SCALE: 3/4"=1'-0"



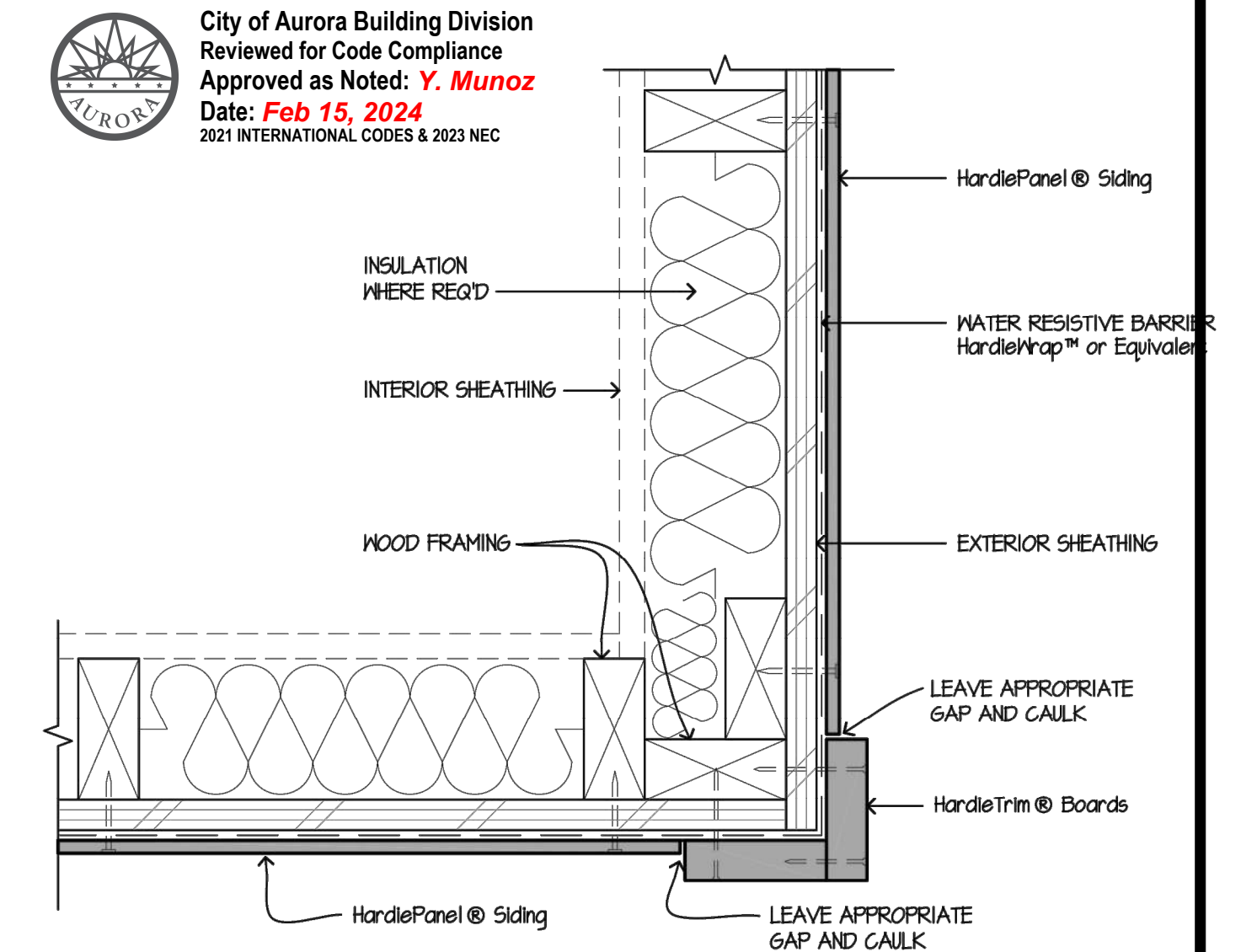
3 WINDOW/DOOR HEAD
SCALE: 3/4"=1'-0"



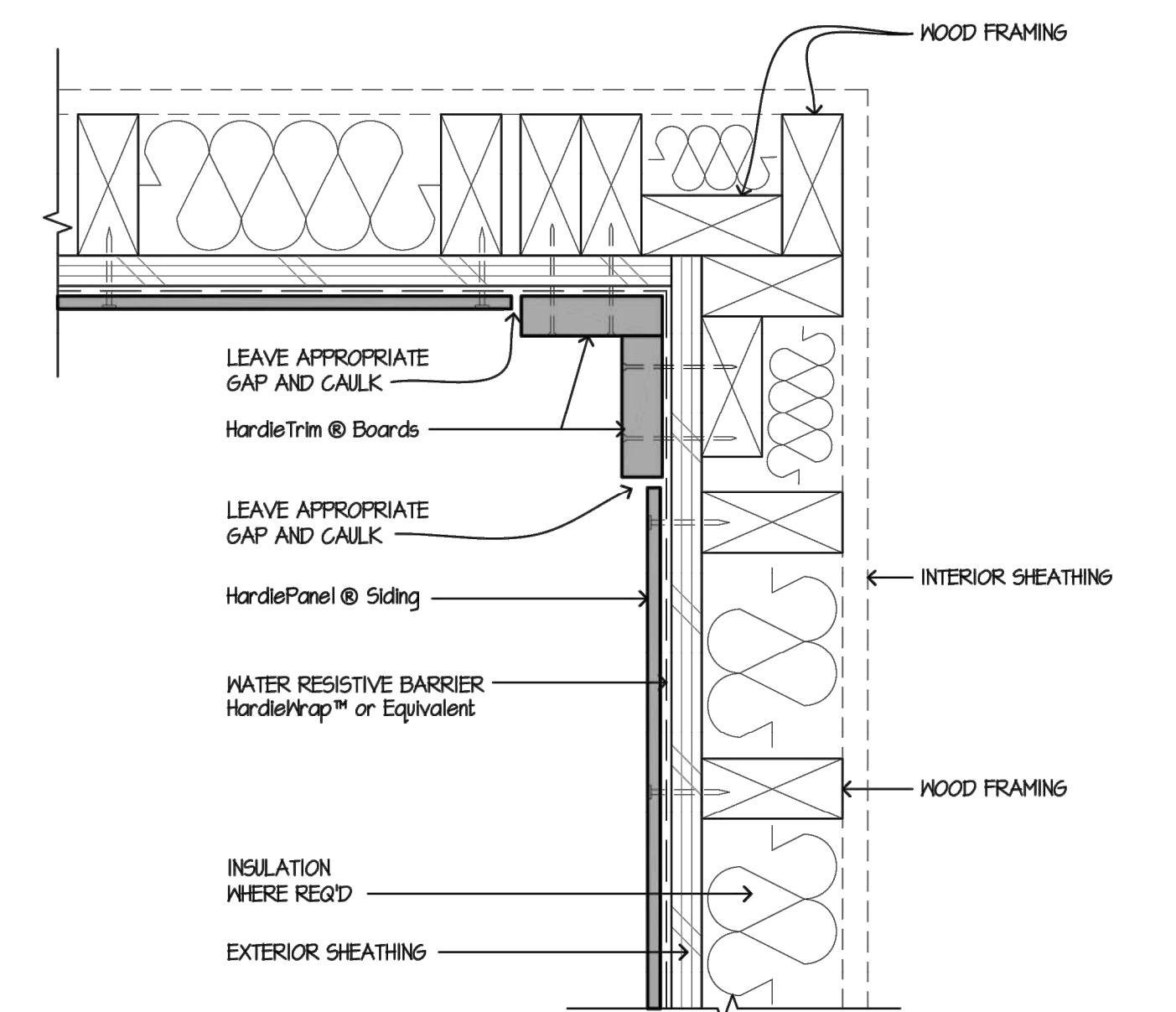
8 HARDSCAPE CLEARANCES, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.
SCALE: 1/2"=1'-0"



5 HORIZONTAL VIEW
SCALE: 3/4"=1'-0"



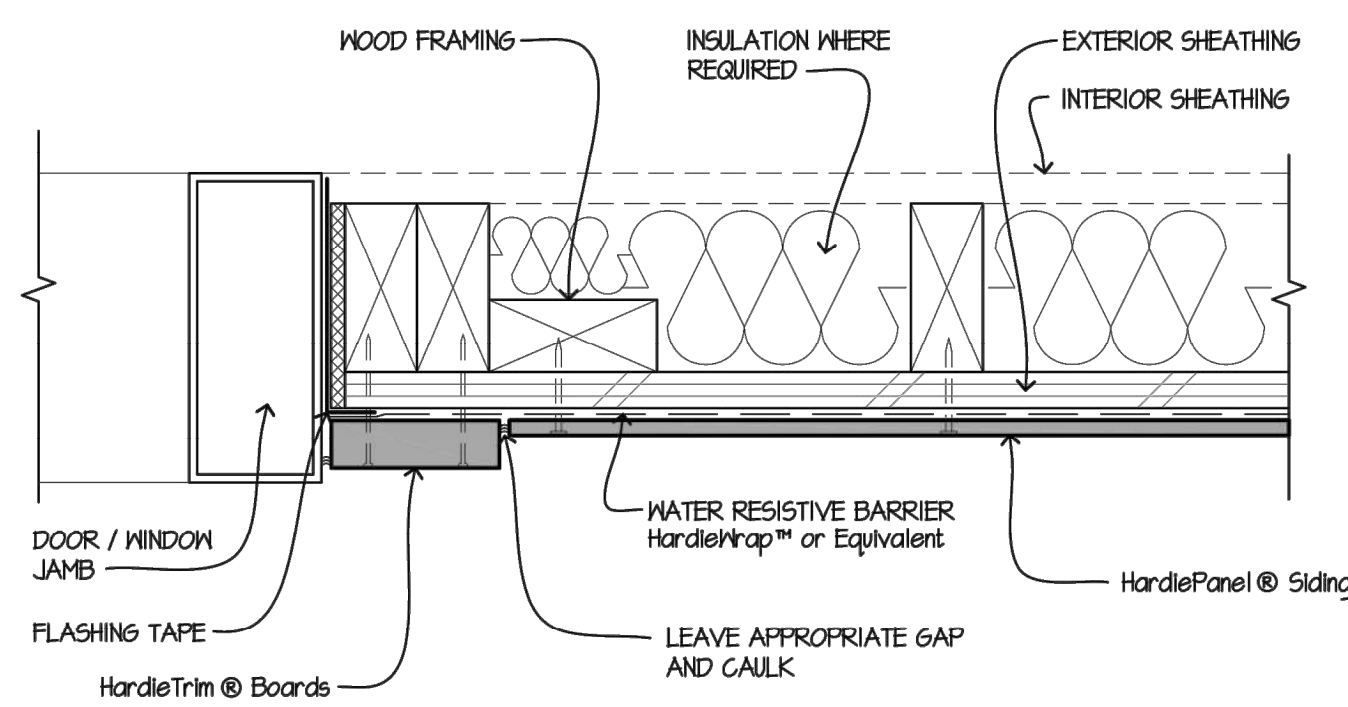
2 OUTSIDE CORNER
SCALE: 3/4"=1'-0"



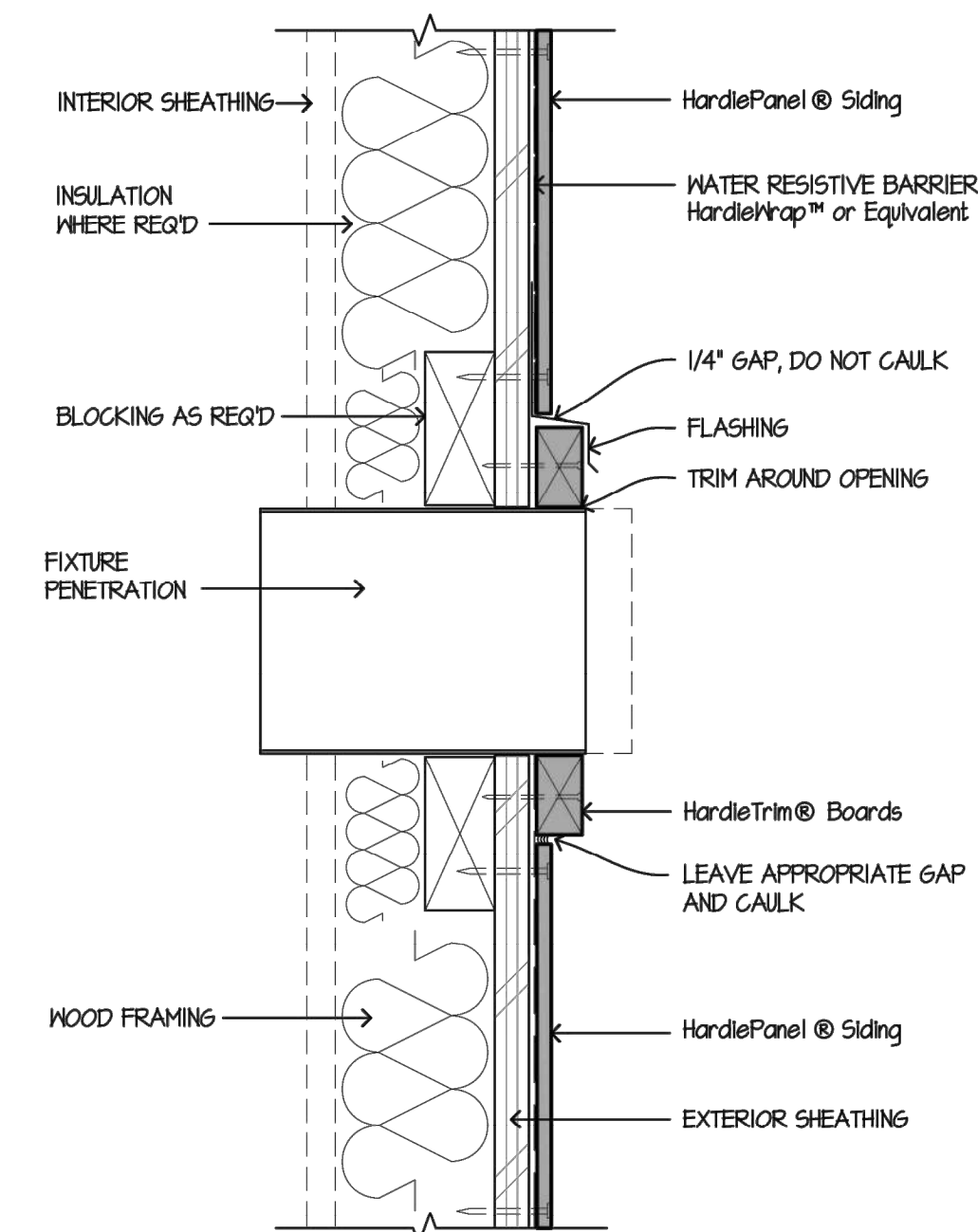
1 INSIDE CORNER
SCALE: 3/4"=1'-0"

City of Aurora Building Division
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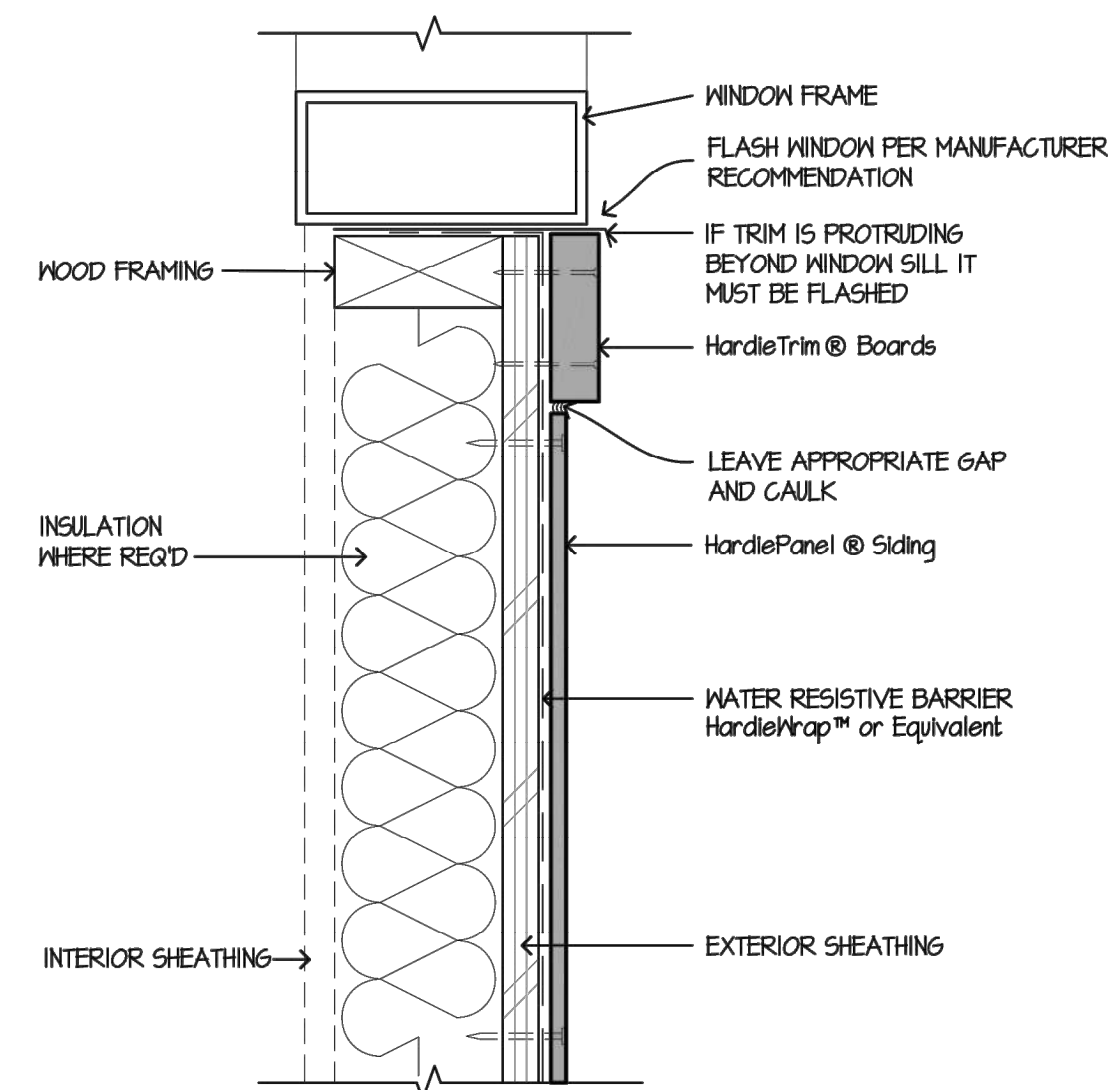
HARDIE PANEL SIDING
Manufacturers Installation Details,
Contractor to install as indicated
Actual Conditions May Vary
DETAILS ARE NOT TO SCALE



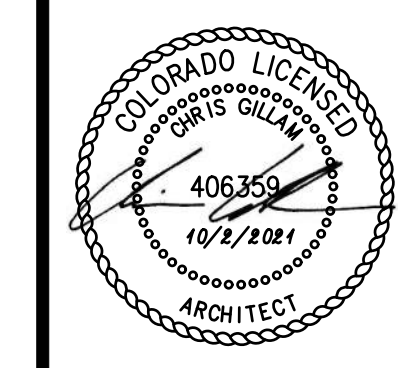
10 DOOR / WINDOW JAMB
SCALE: 3/4"=1'-0"



7 FIXTURE PENETRATION
SCALE: 3/4"=1'-0"

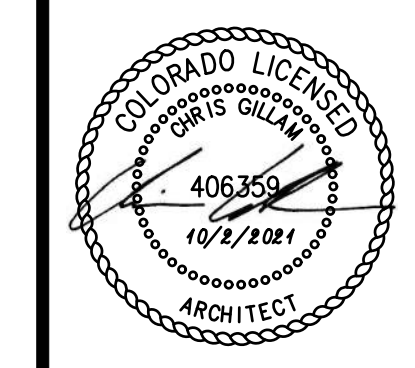


4 WINDOW SILL
SCALE: 3/4"=1'-0"



REVISION:

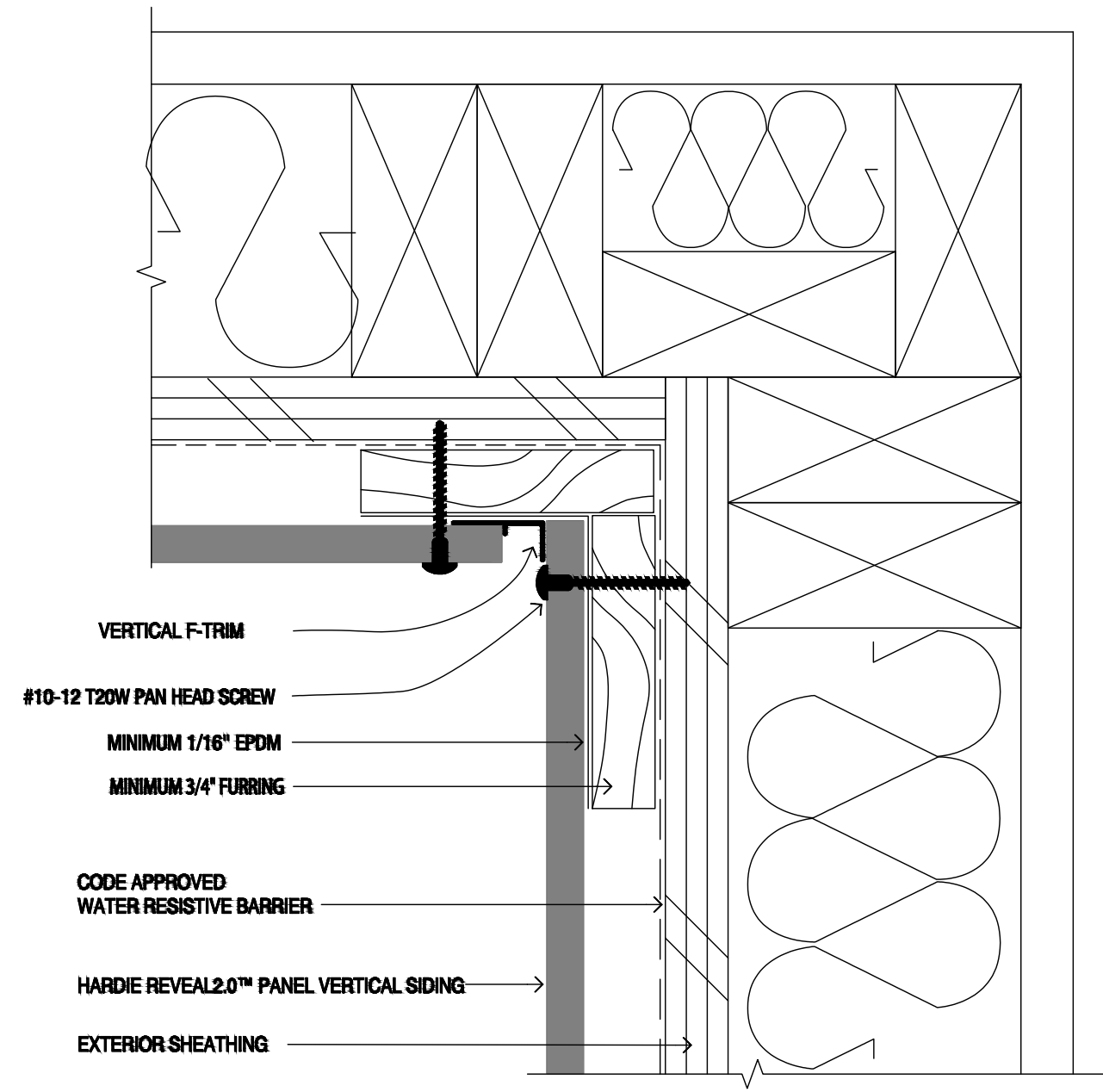
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| DATE: | 10-2-2023 |
| JOB: | 22-3219 |
| SHEET NO.: | |



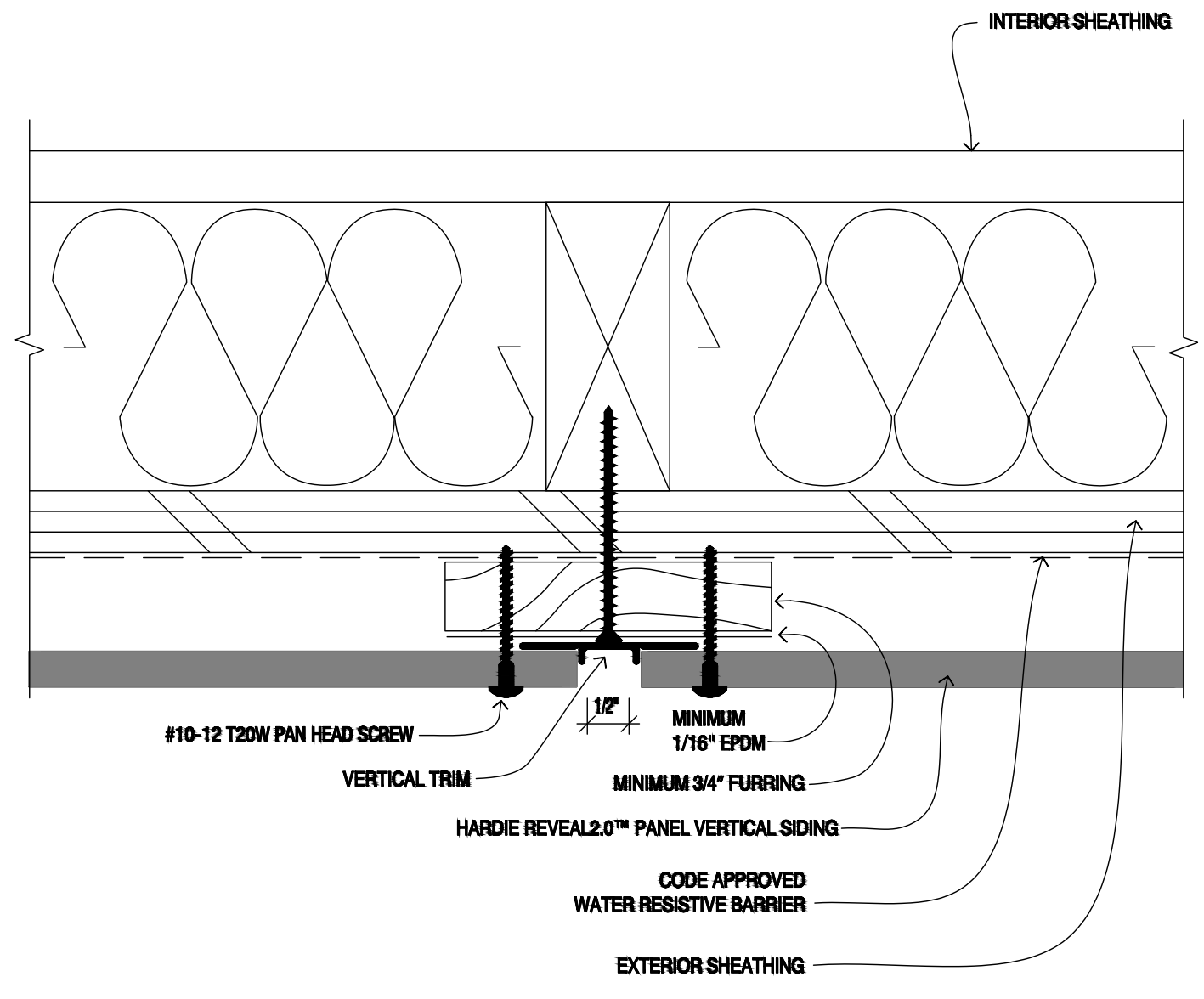
REVISION:

| | |
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| DATE: | 10-2-2023 |
| JOB: | 22-3219 |
| SHEET NO.: | |

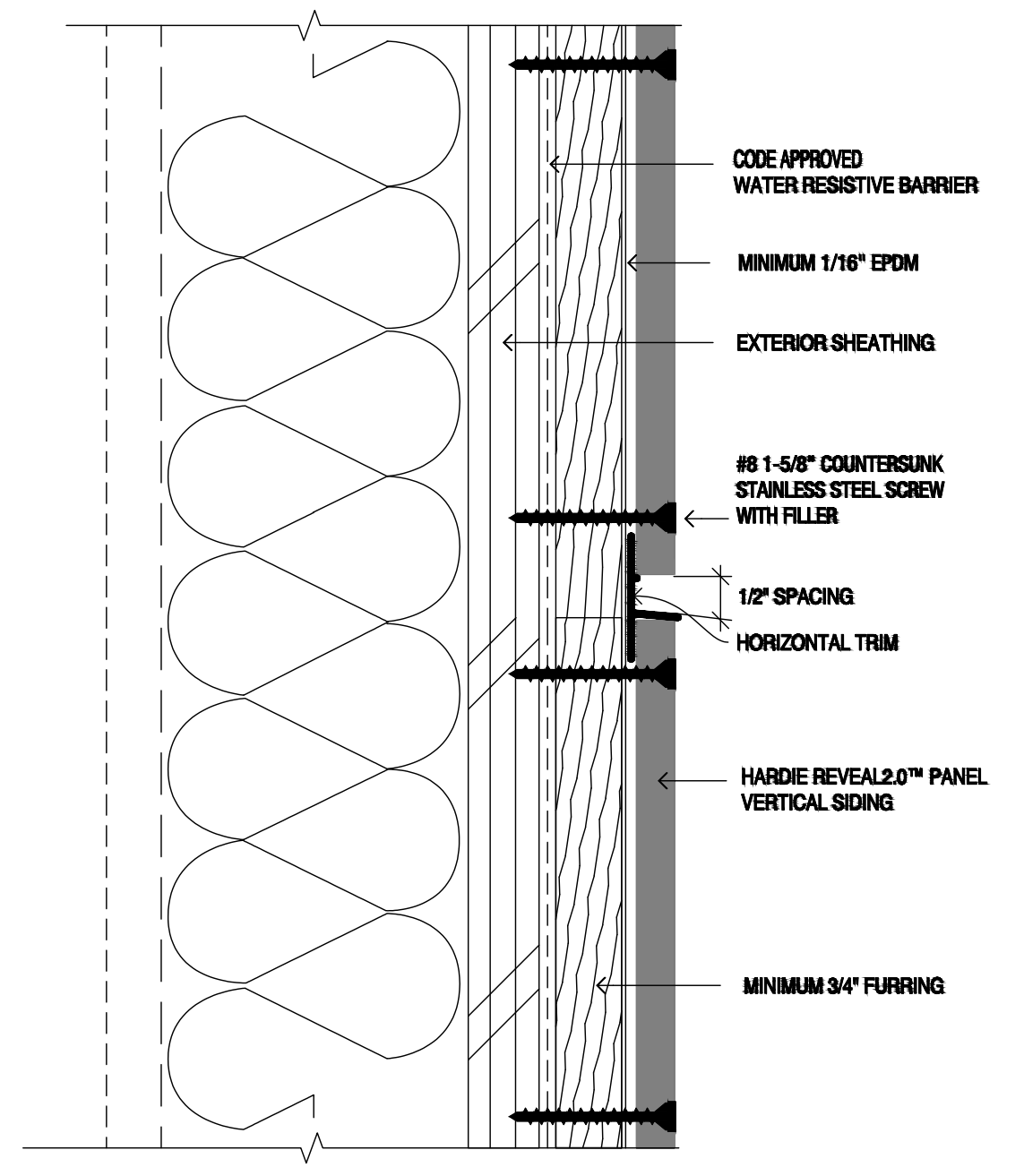
HARDIE REVEAL PANEL SYSTEM
 Manufacturers Installation
 Details, Contractor to
 install as indicated Actual
 Conditions May Vary
 DETAILS ARE NOT TO SCALE



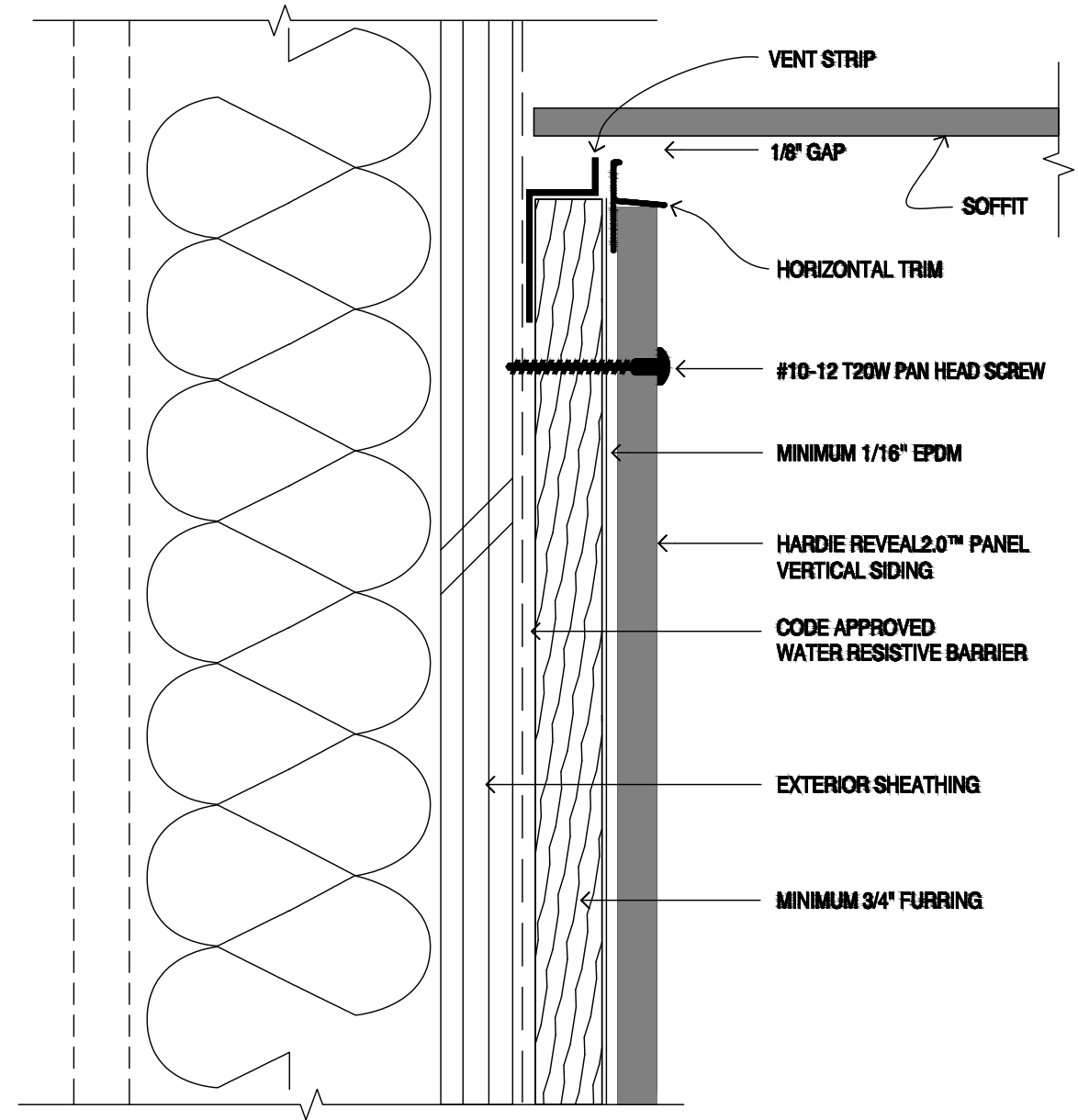
6 INSIDE CORNER TRIM
 NTS



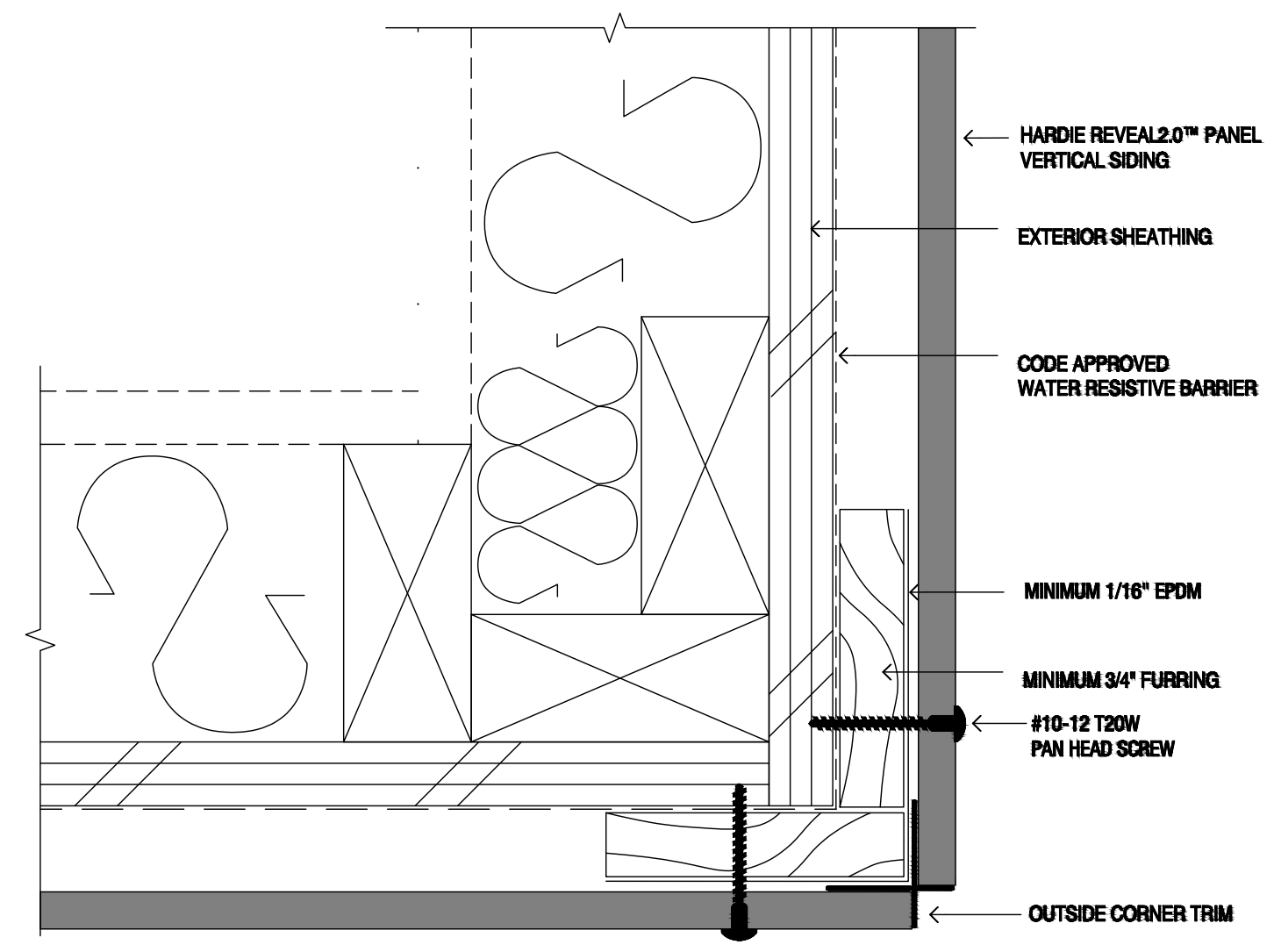
4 PANEL with VERTICAL TRIM
 NTS



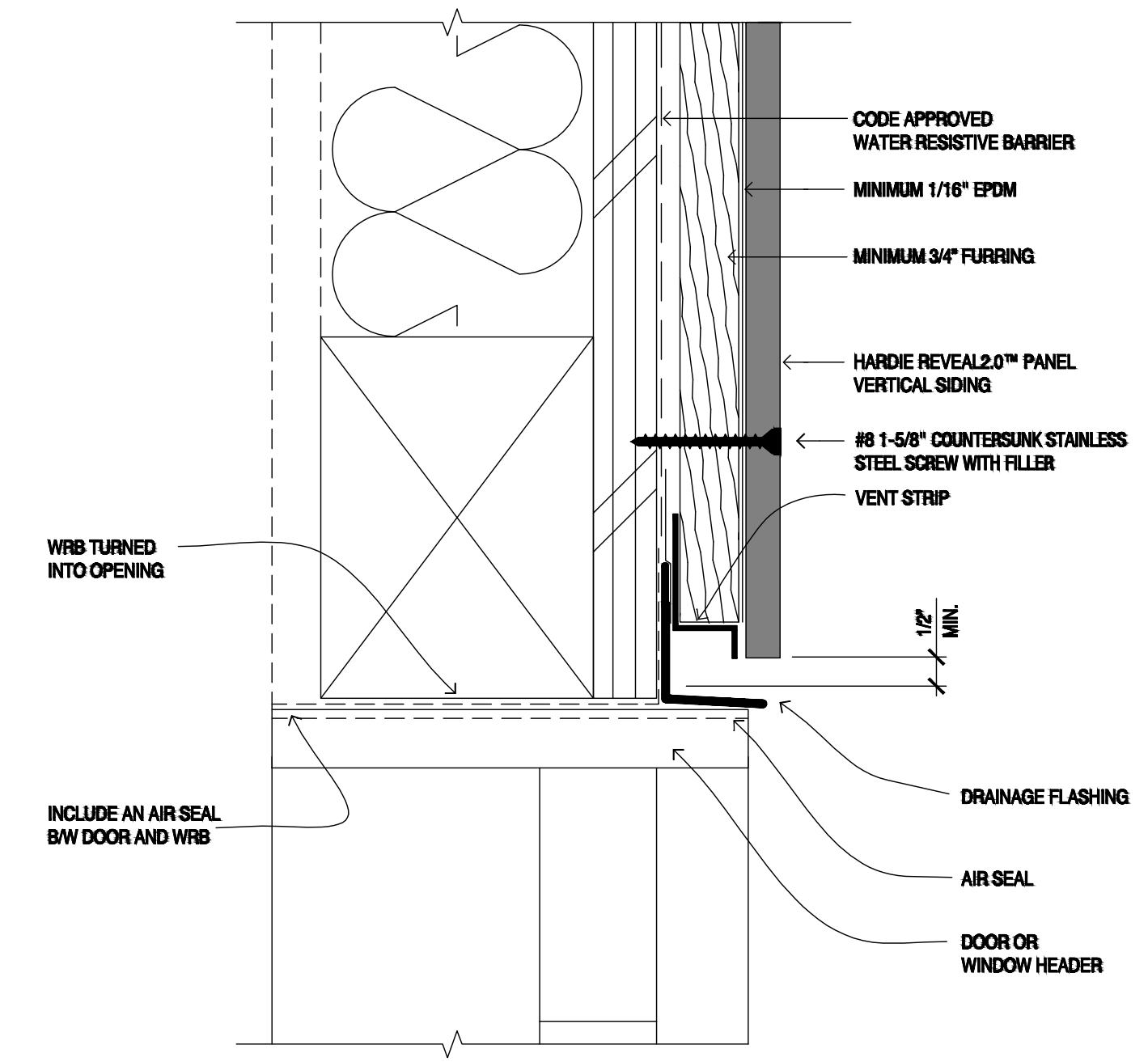
2 PANEL with HORIZONTAL TRIM
 NTS



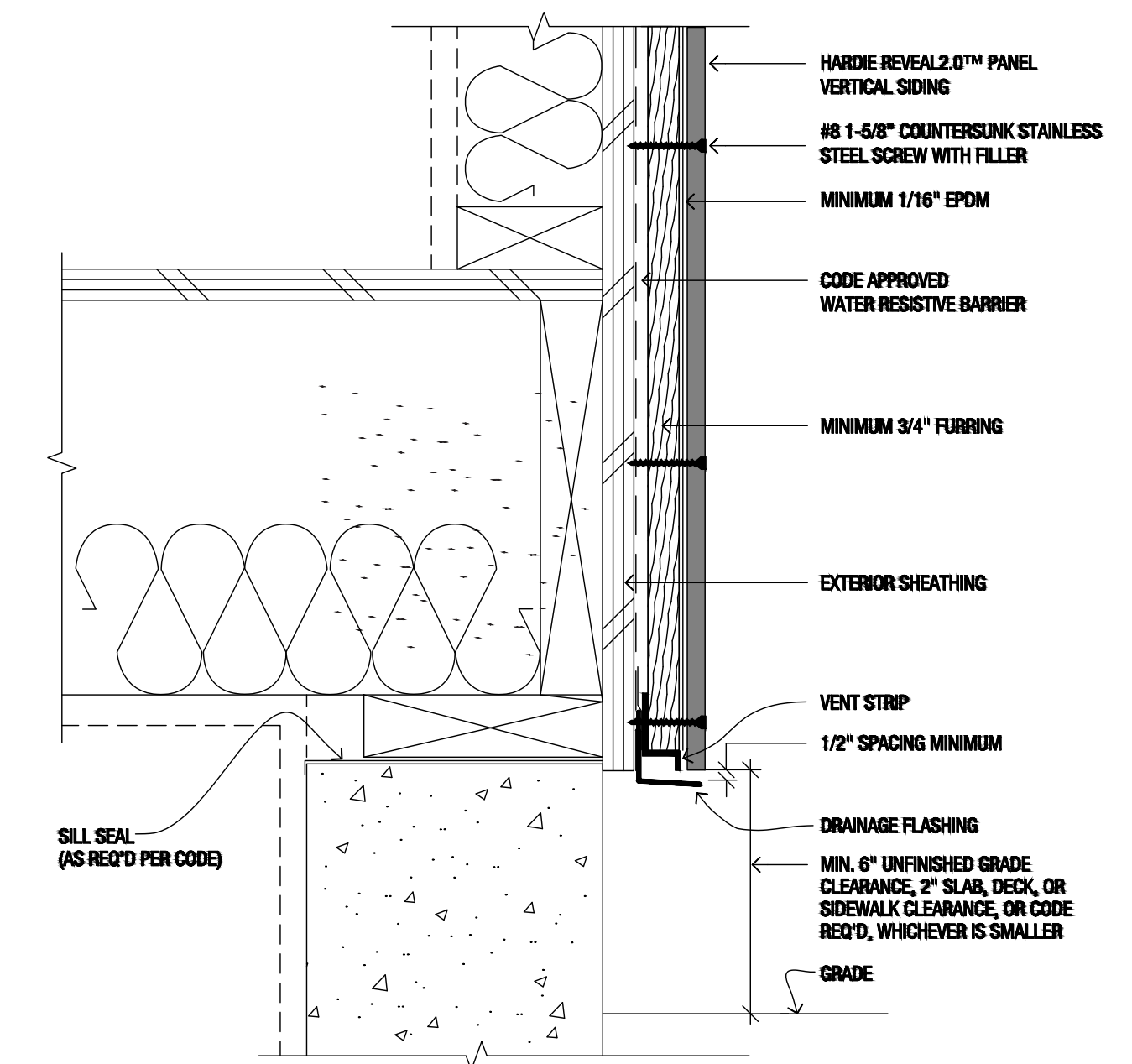
7 WALL & SOFFIT for VENTED RAINSCREEN
 NTS



5 OUTSIDE CORNER TRIM
 NTS

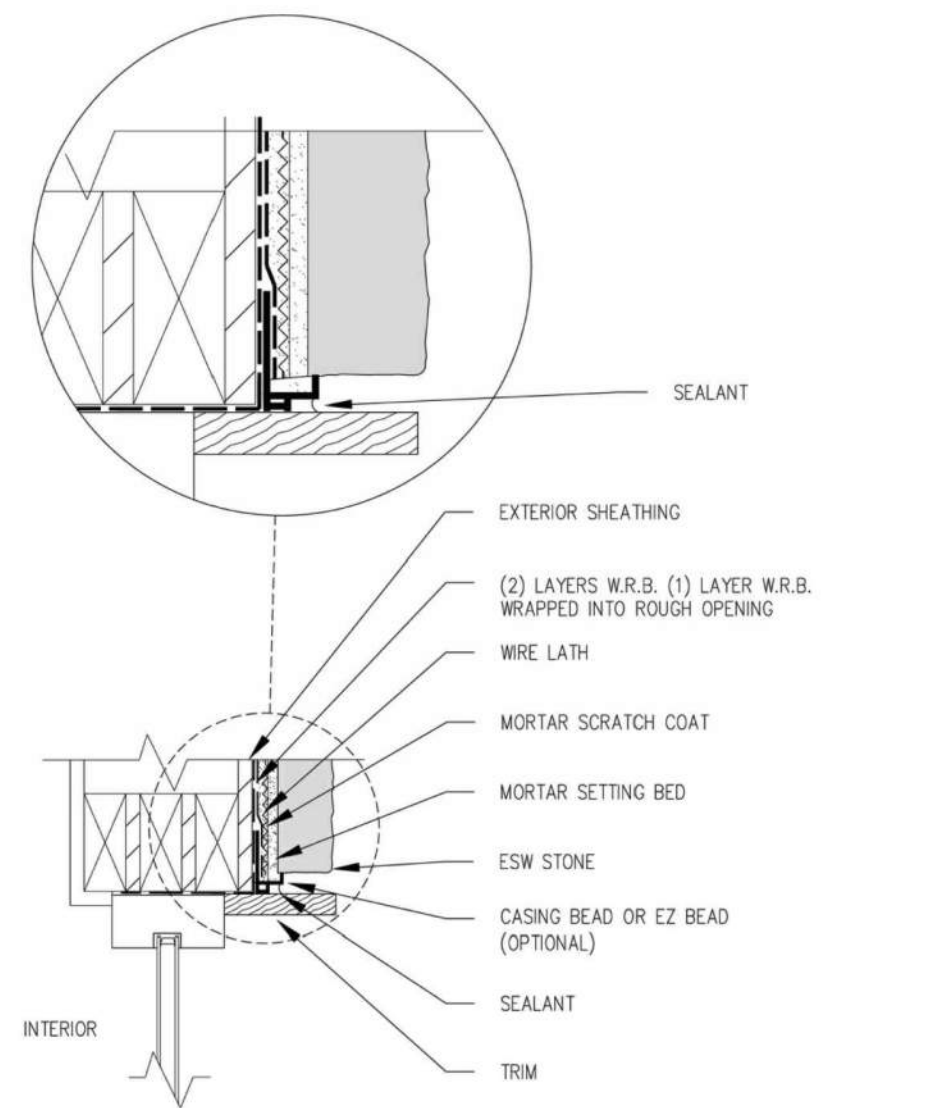


3 DOOR HEADER @ INTERSECTION
 NTS

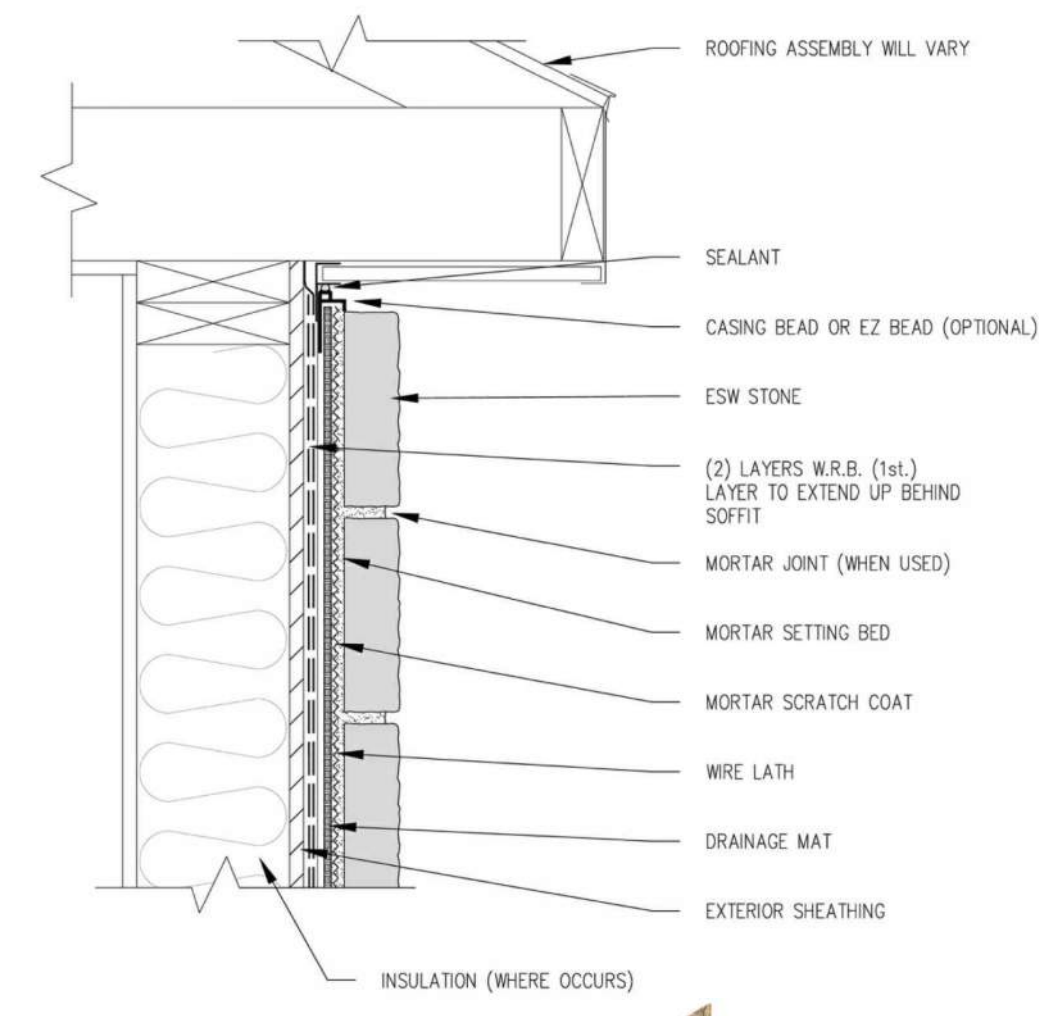


1 FOUNDATION @ GRADE
 NTS

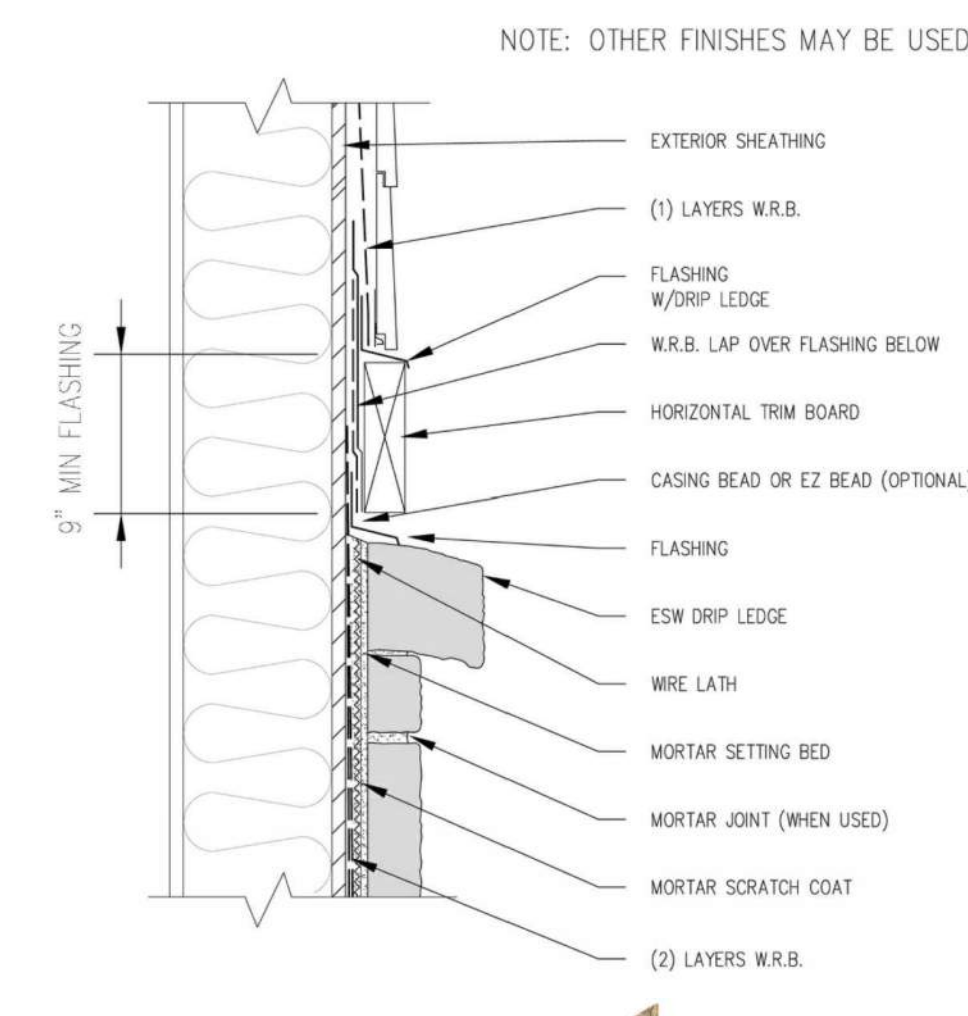
City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Feb 15, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC



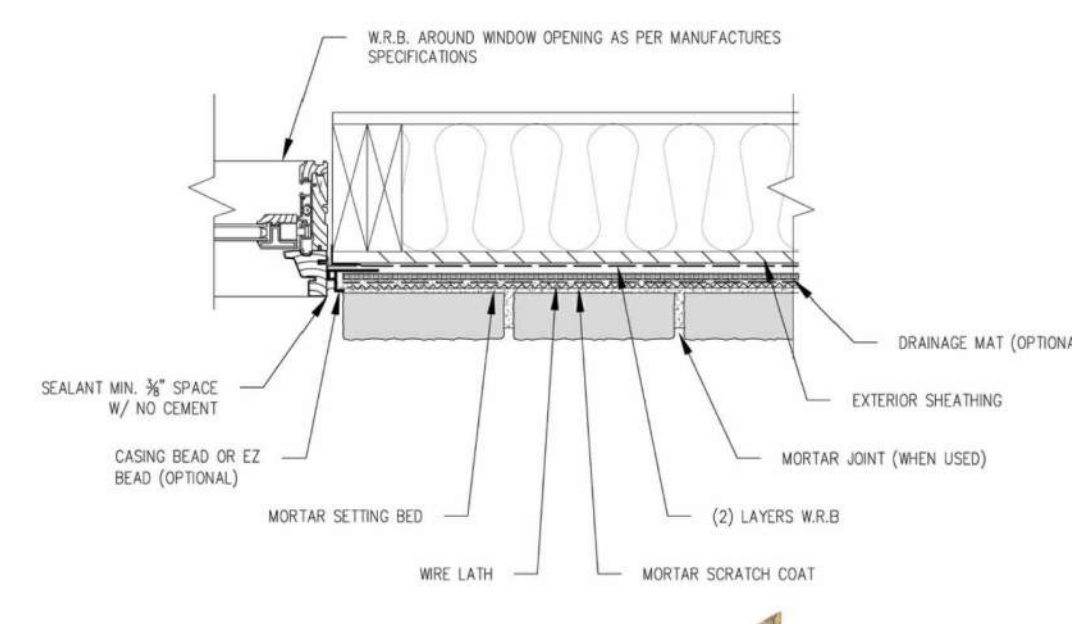
18 Commercial window jamb with trim
NO SCALE



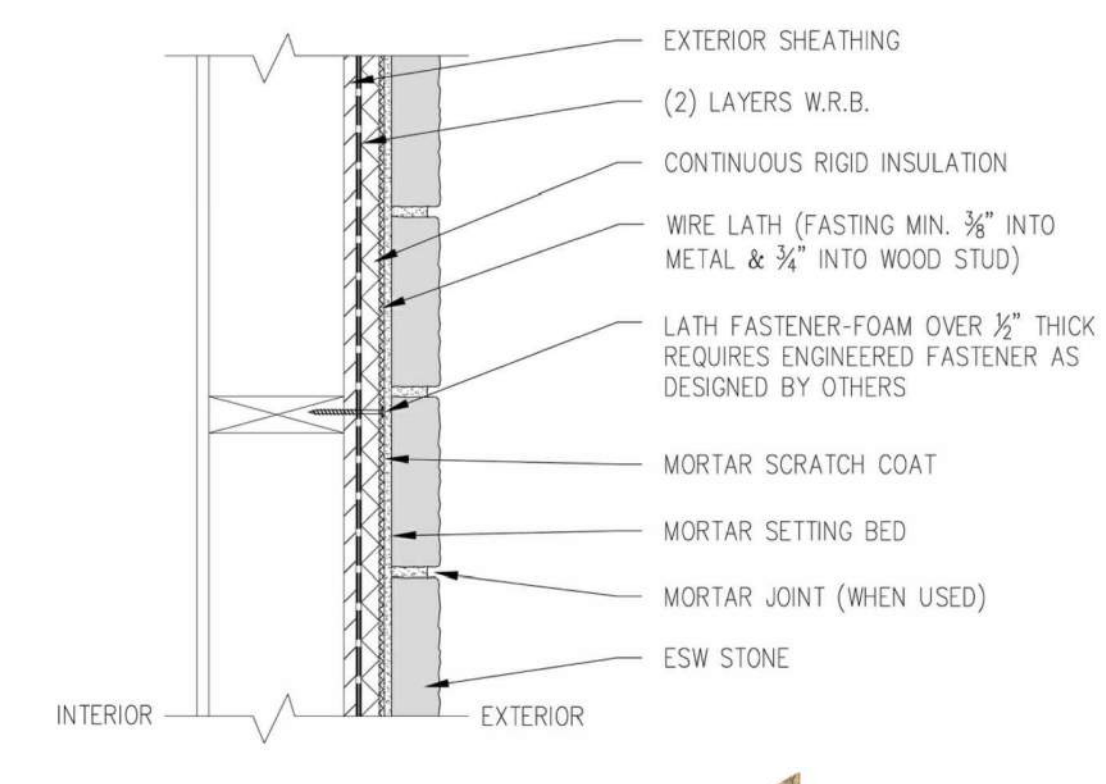
14 Top of wall with drainage mat
NO SCALE



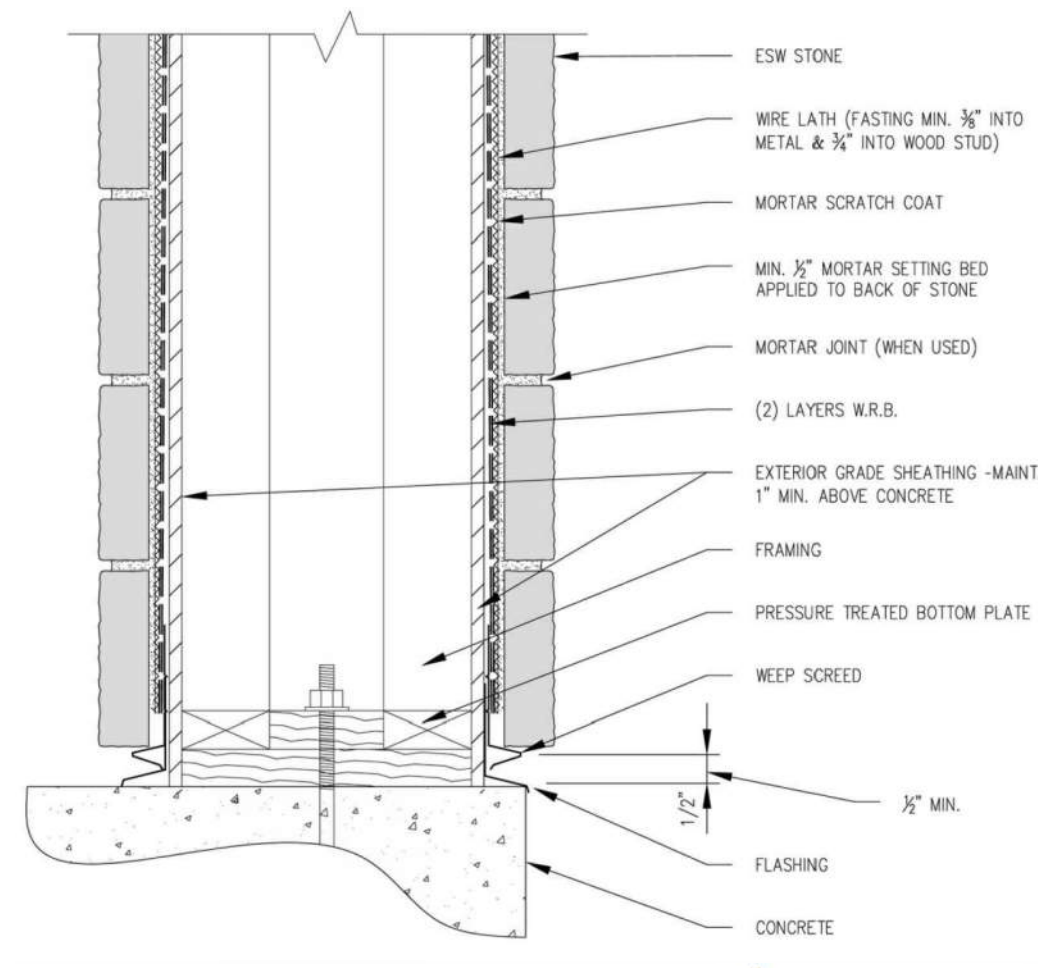
13 Horizontal transition with stone drip ledge
NO SCALE



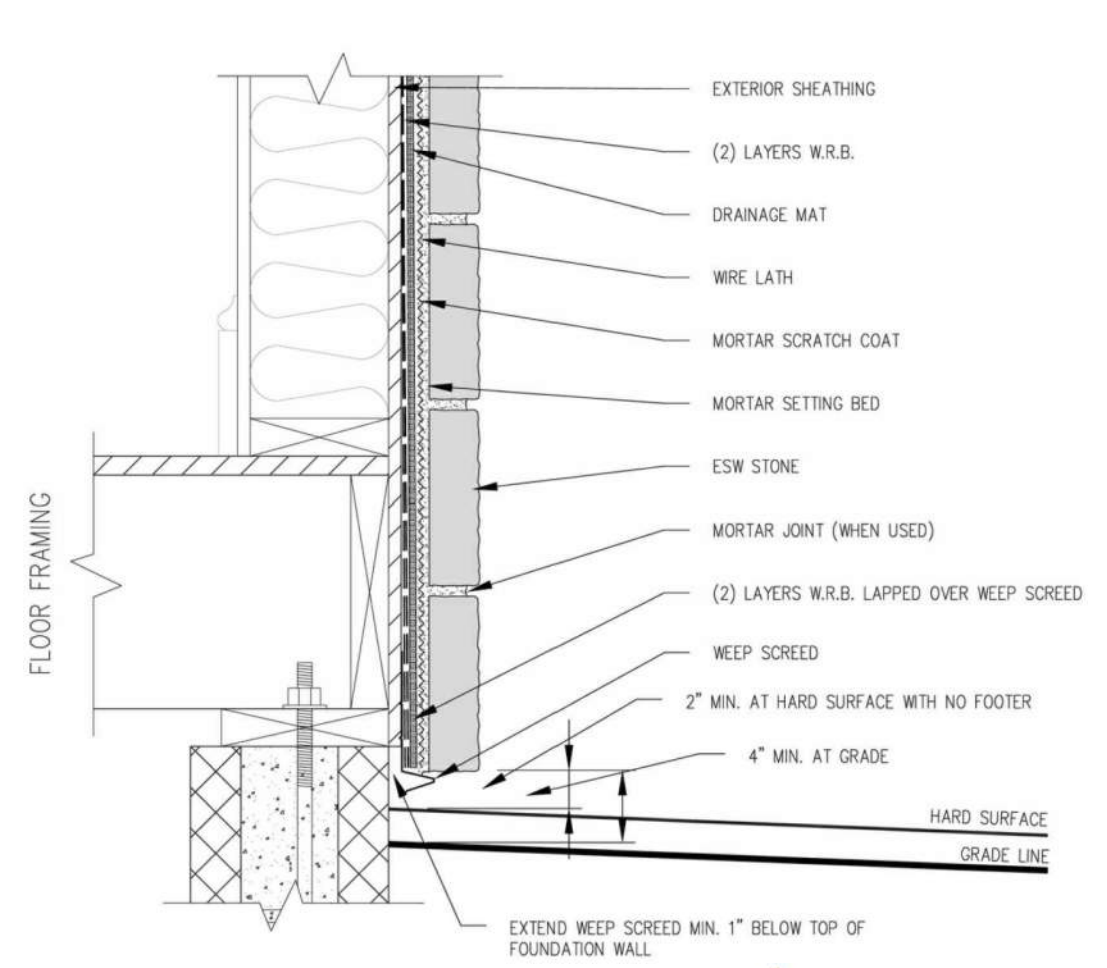
12 Window jamb optional drainage mat
NO SCALE



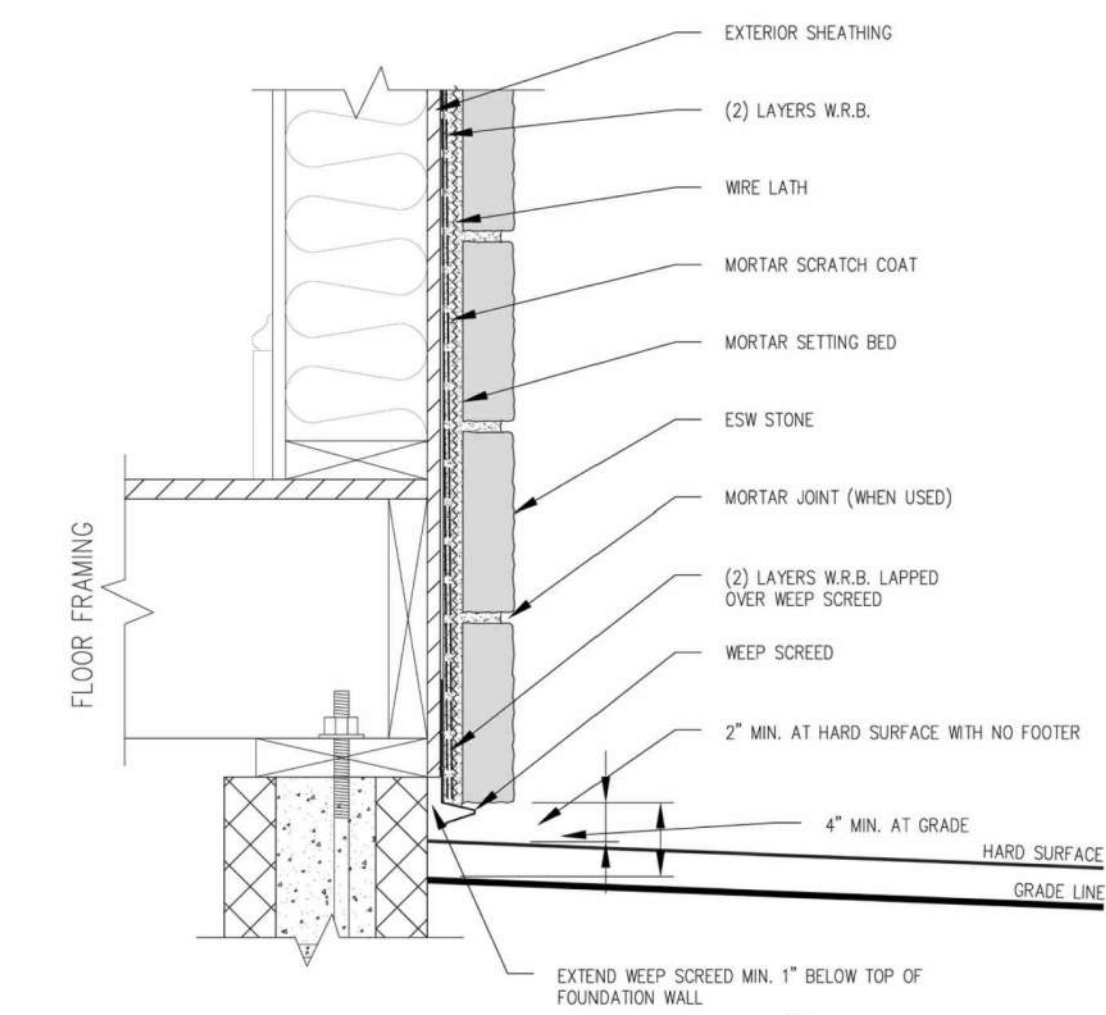
11 Wall over continuous rigid insulation
NO SCALE



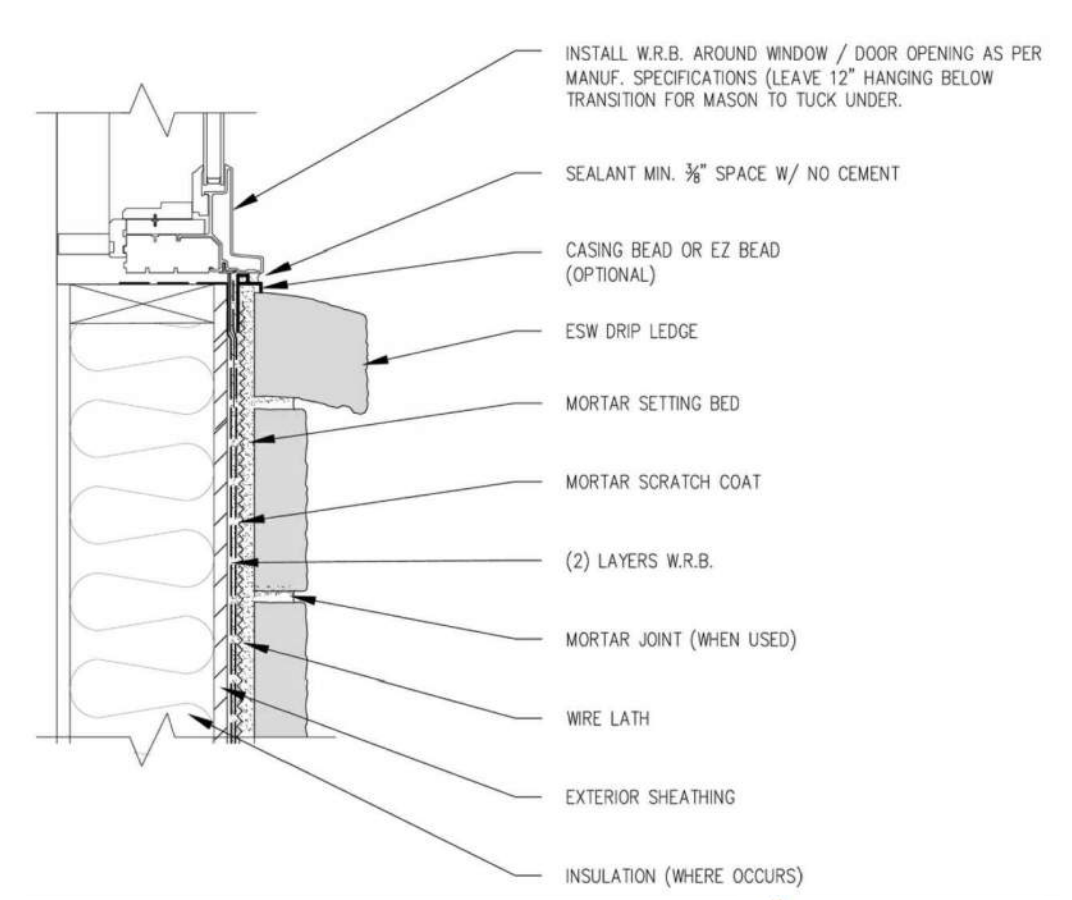
10 Wood column base
NO SCALE



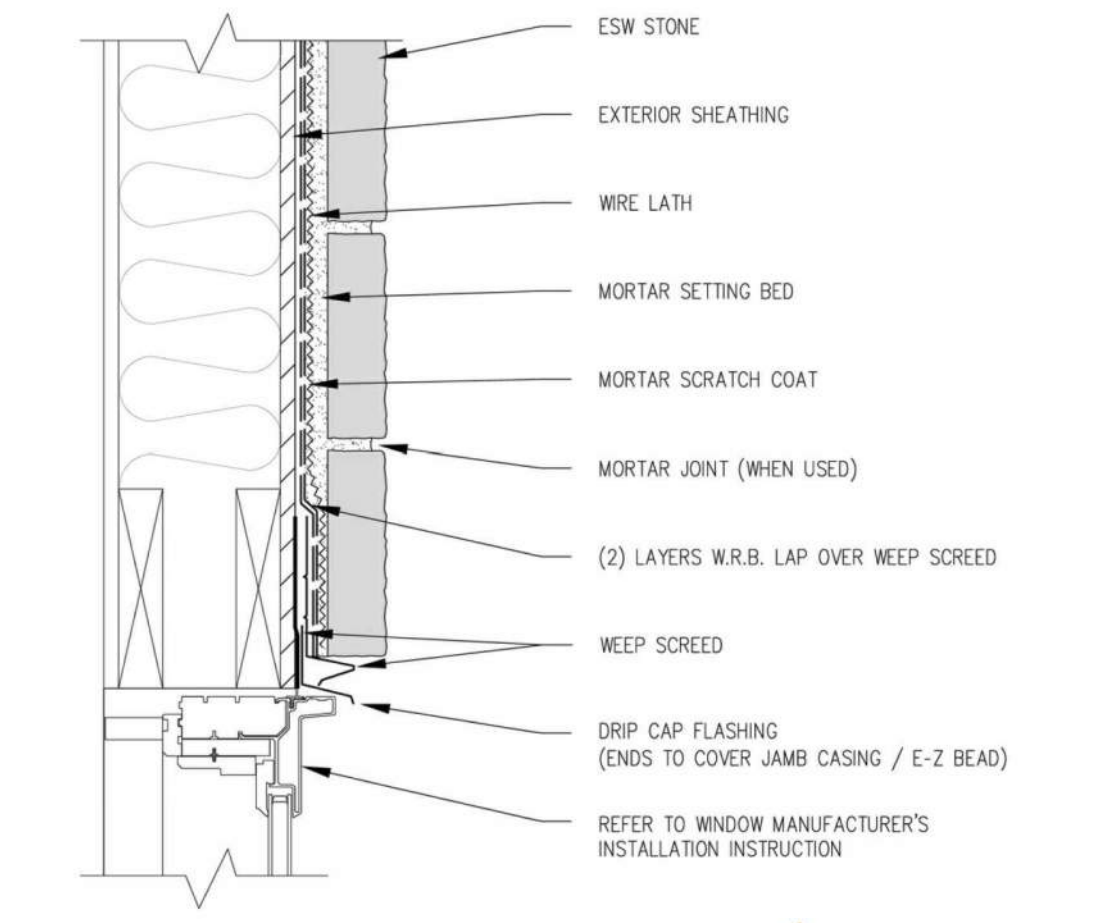
9 Foundation wall at base with (optional) drainage mat
NO SCALE



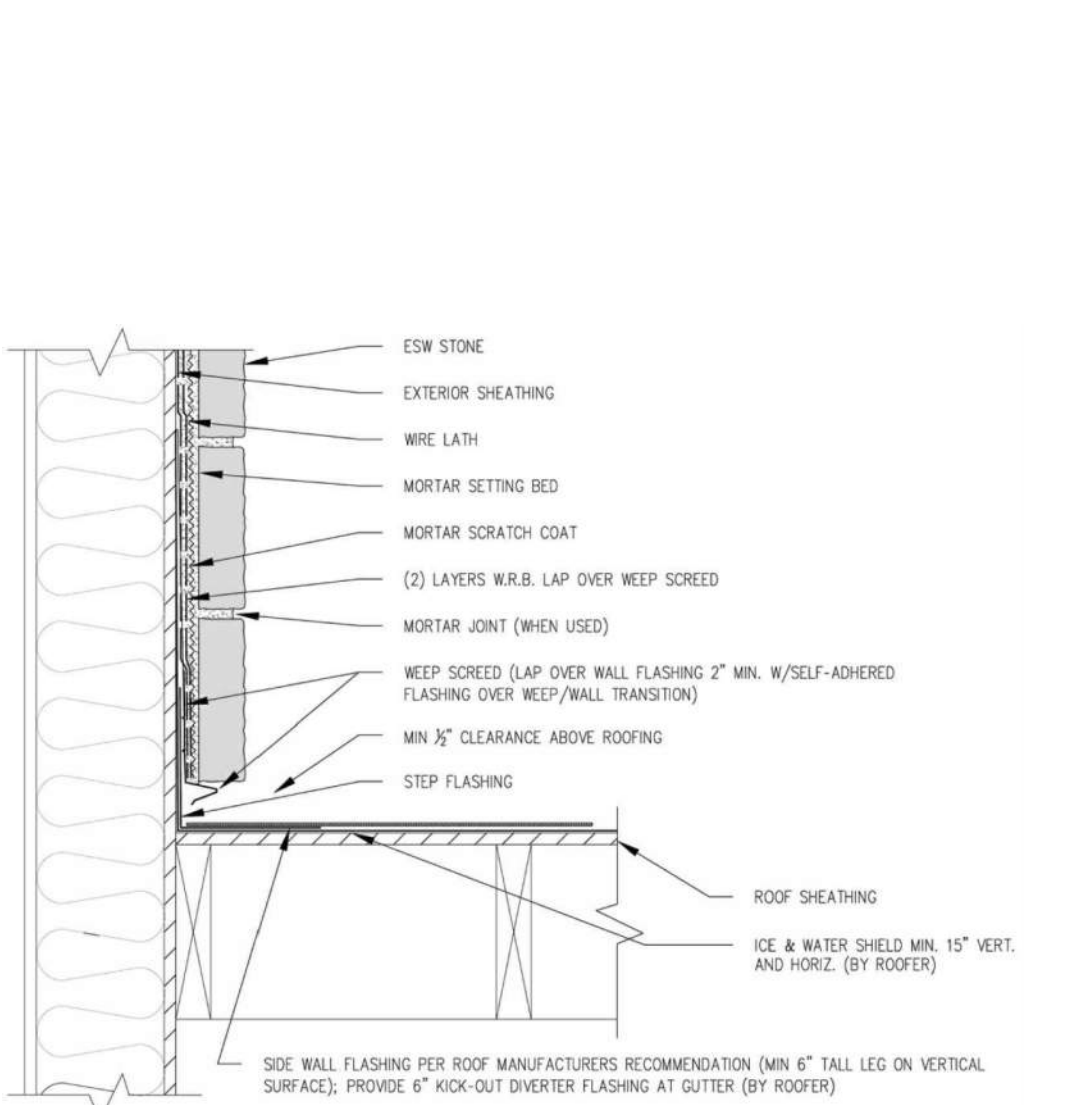
8 Foundation wall at base
NO SCALE



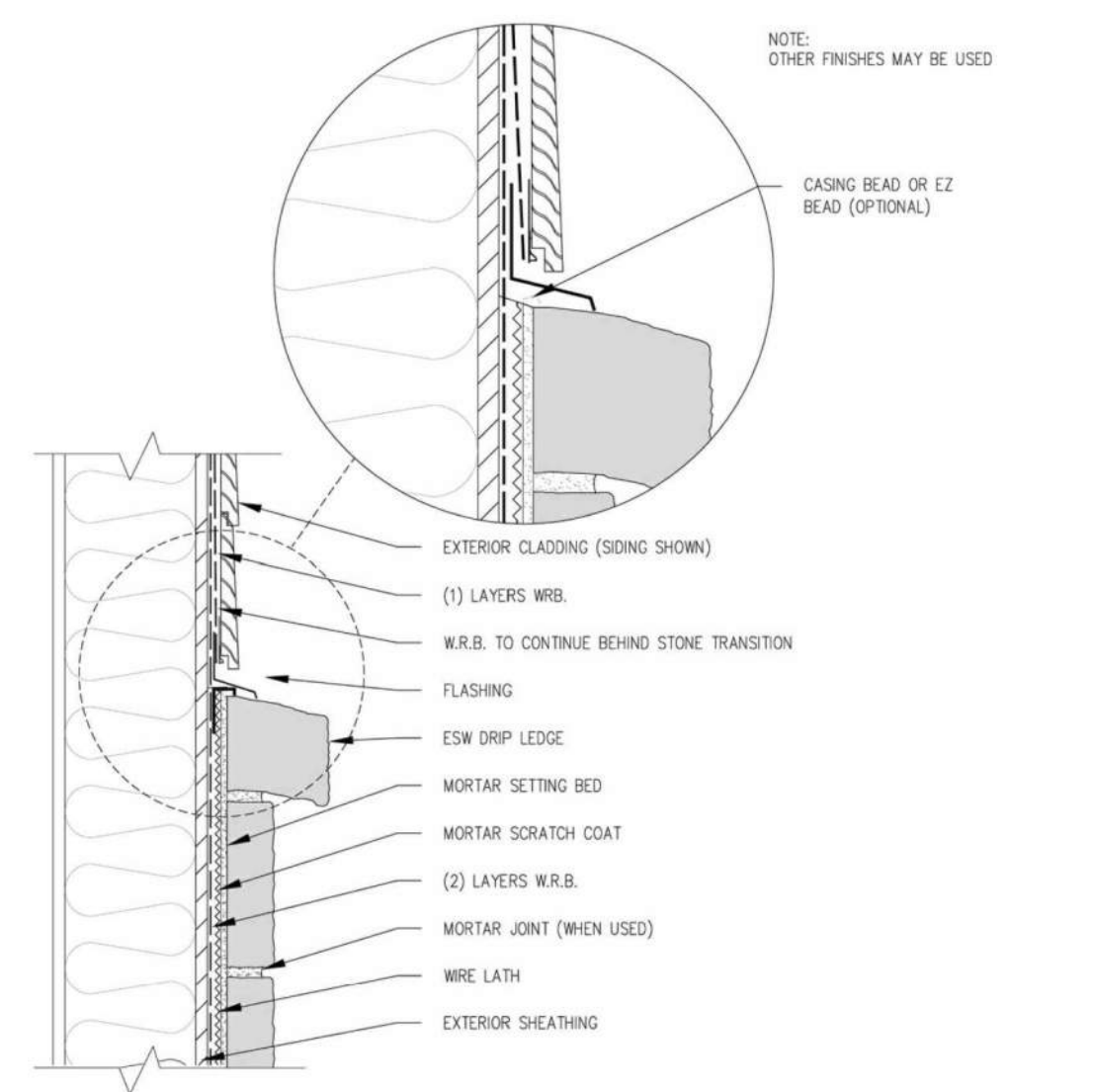
7 Window Sill with stone drip edge
NO SCALE



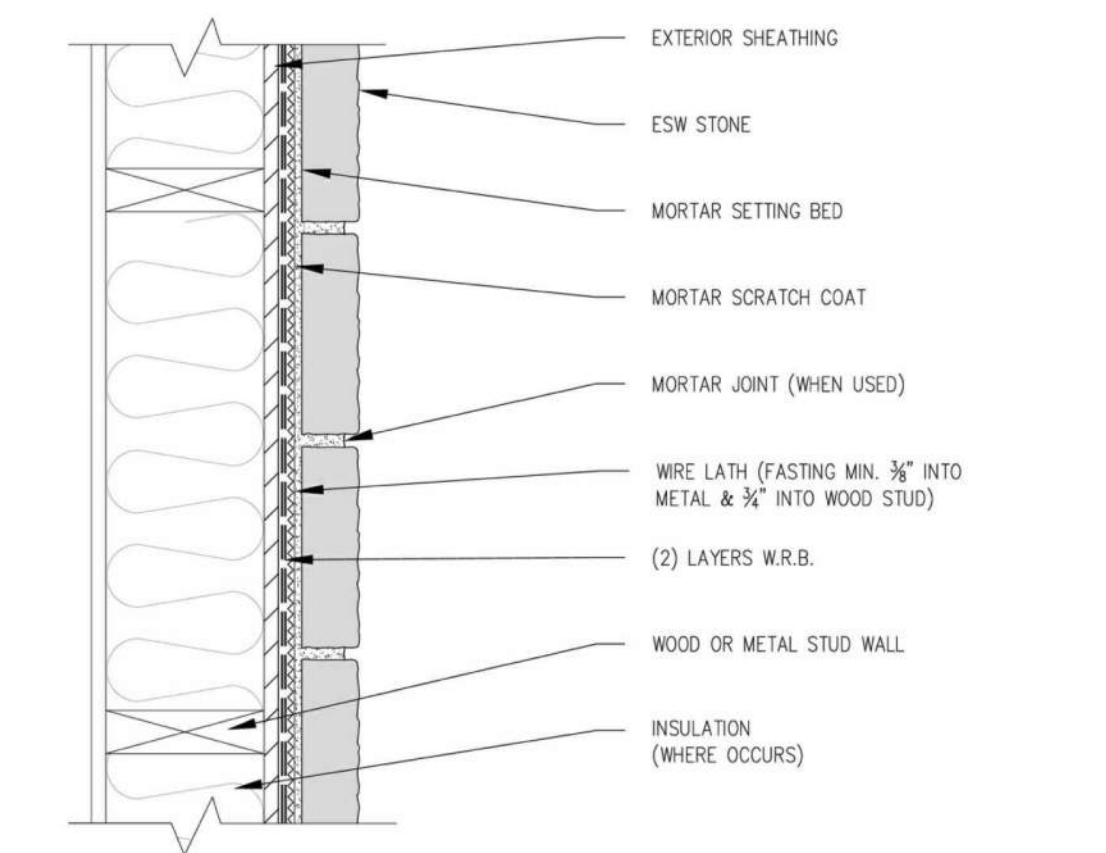
6 Window head
NO SCALE



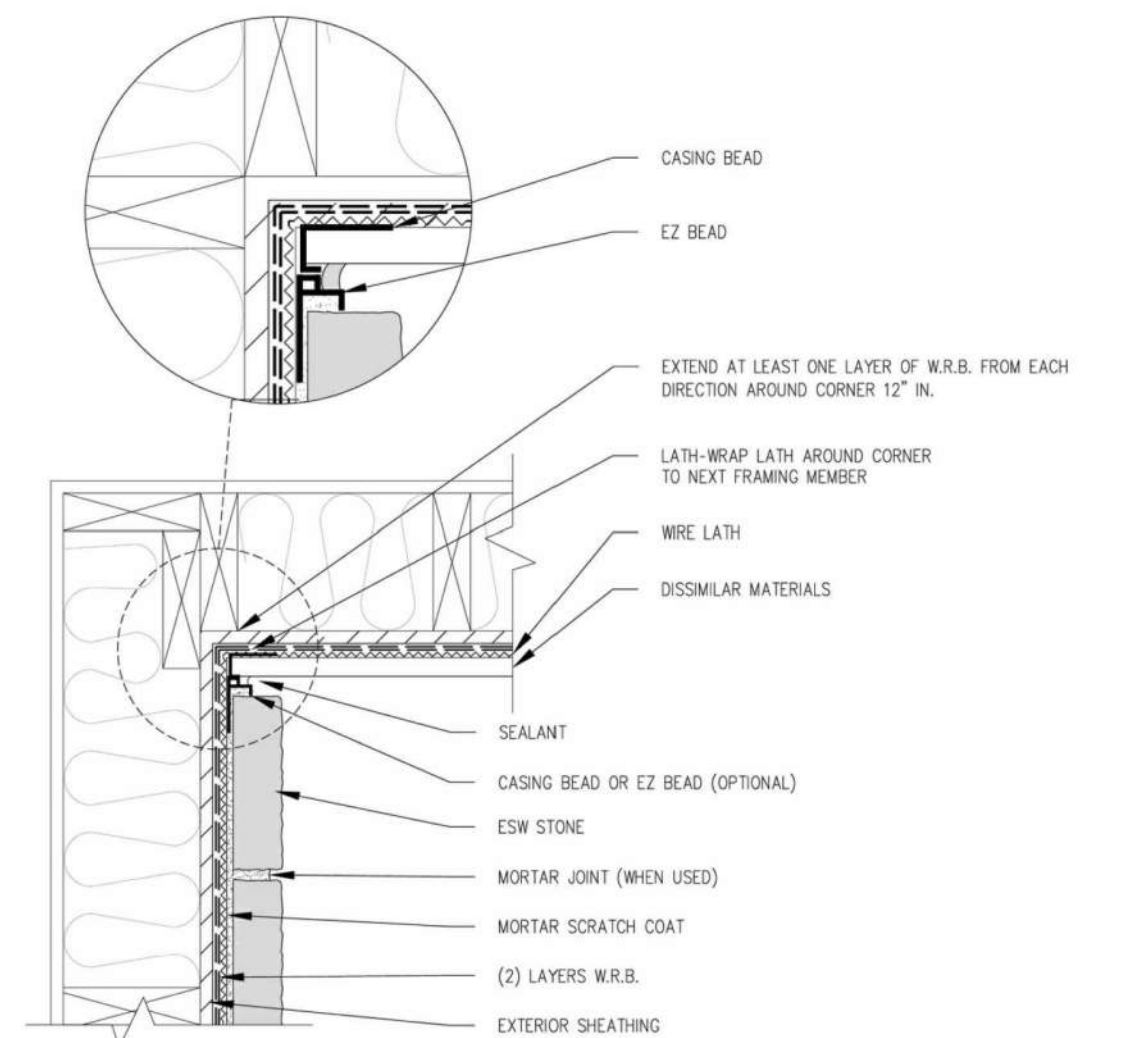
5 Side wall flashing at roof
NO SCALE



4 Stone below cladding
NO SCALE



3 Typical wood or metal stud wall
NO SCALE



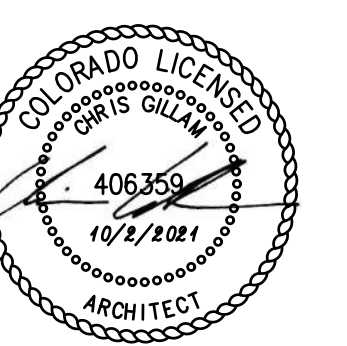
2 Wall-Section inside corner with stucco
NO SCALE

MANUFACTURED STONE
Manufacturers Installation Details,
Contractor to install as indicated
Actual Conditions May Vary
DETAILS ARE NOT TO SCALE

City of Aurora Building Division
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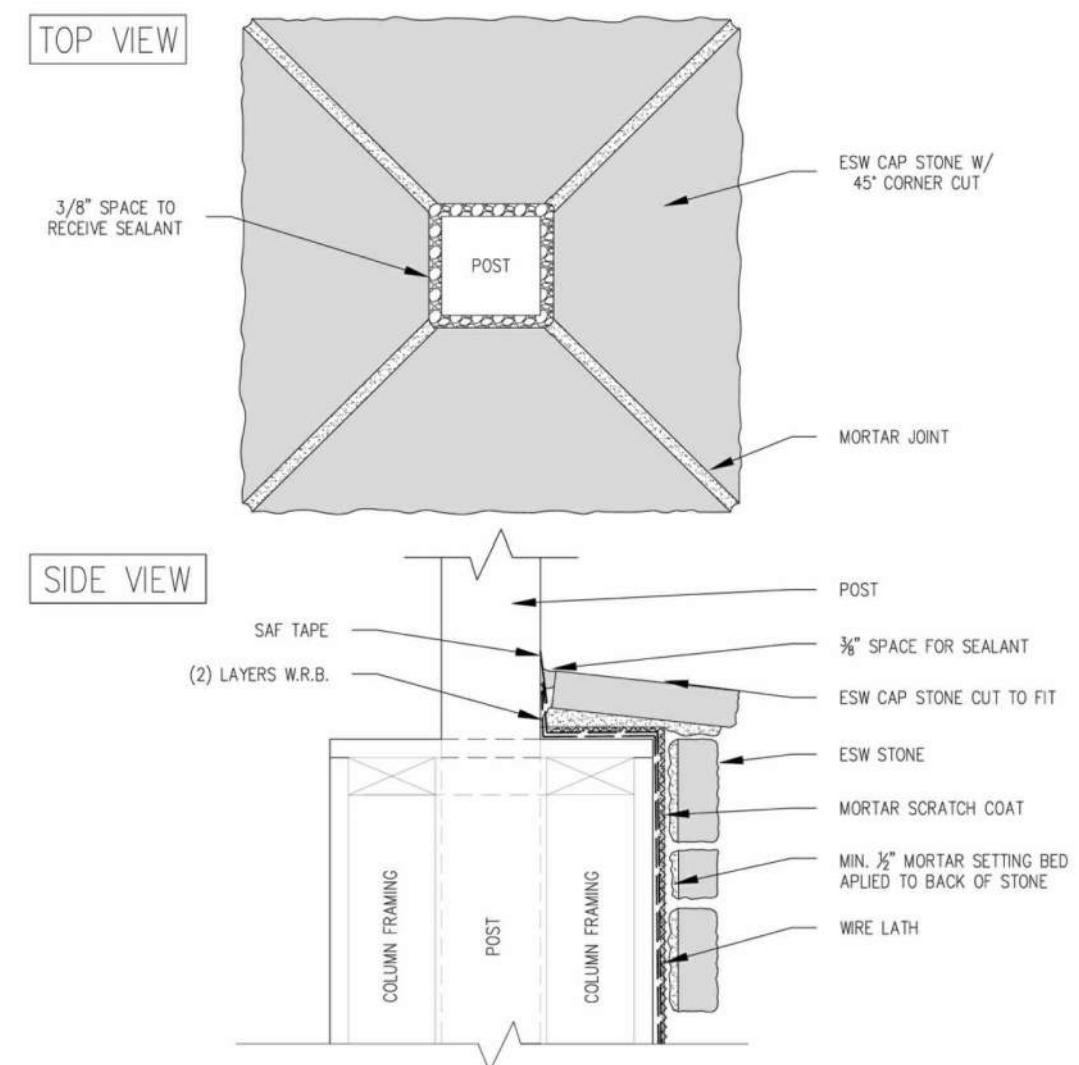
JGR
JonesGillamRenz
1881 Main Street, Suite 301
Kansas City, MO 64108
730 N. Ninth
Salina, KS 67401
785.827.0386
jgr@jgarchitects.com

THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA, COLORADO

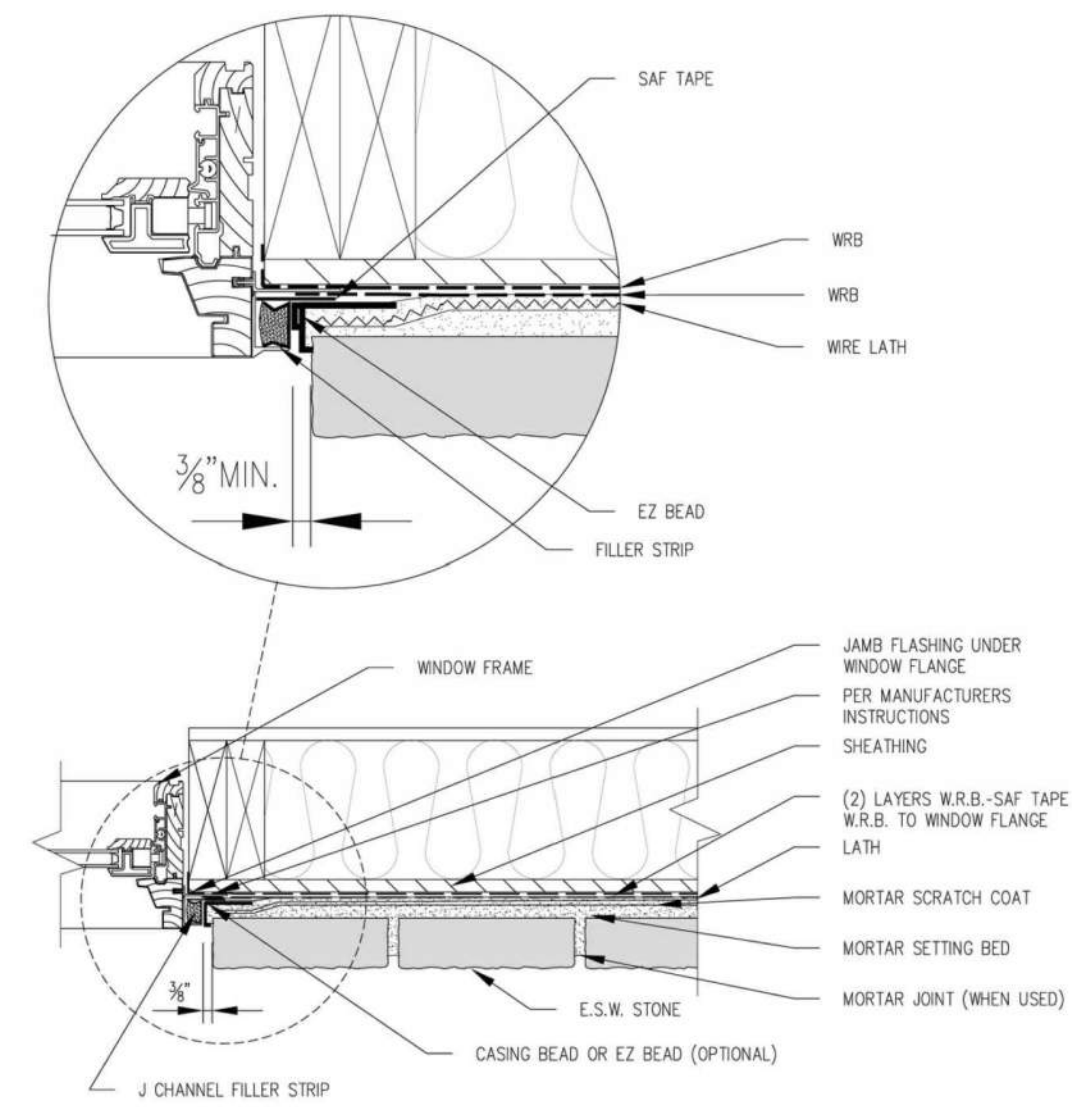


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DATE: 10-2-2023
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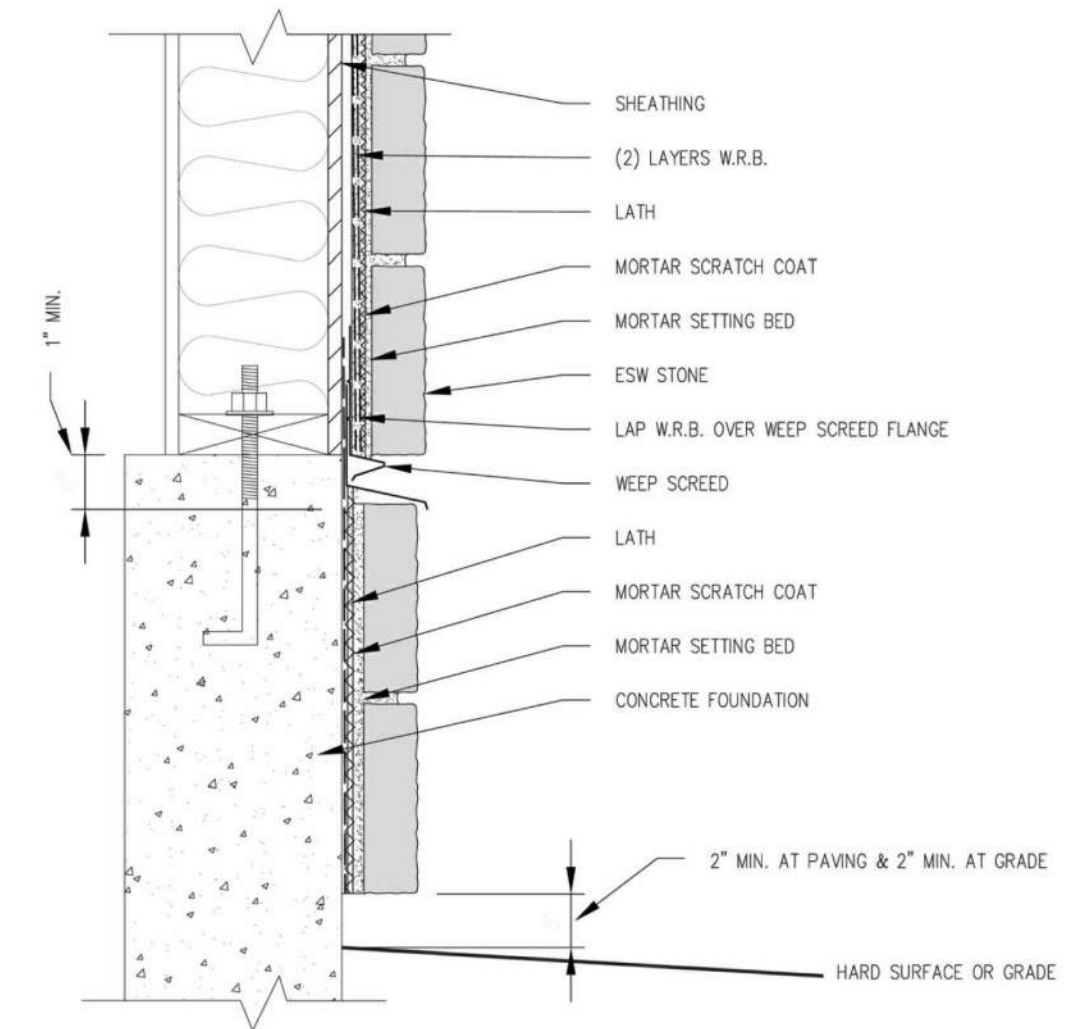
A4.11



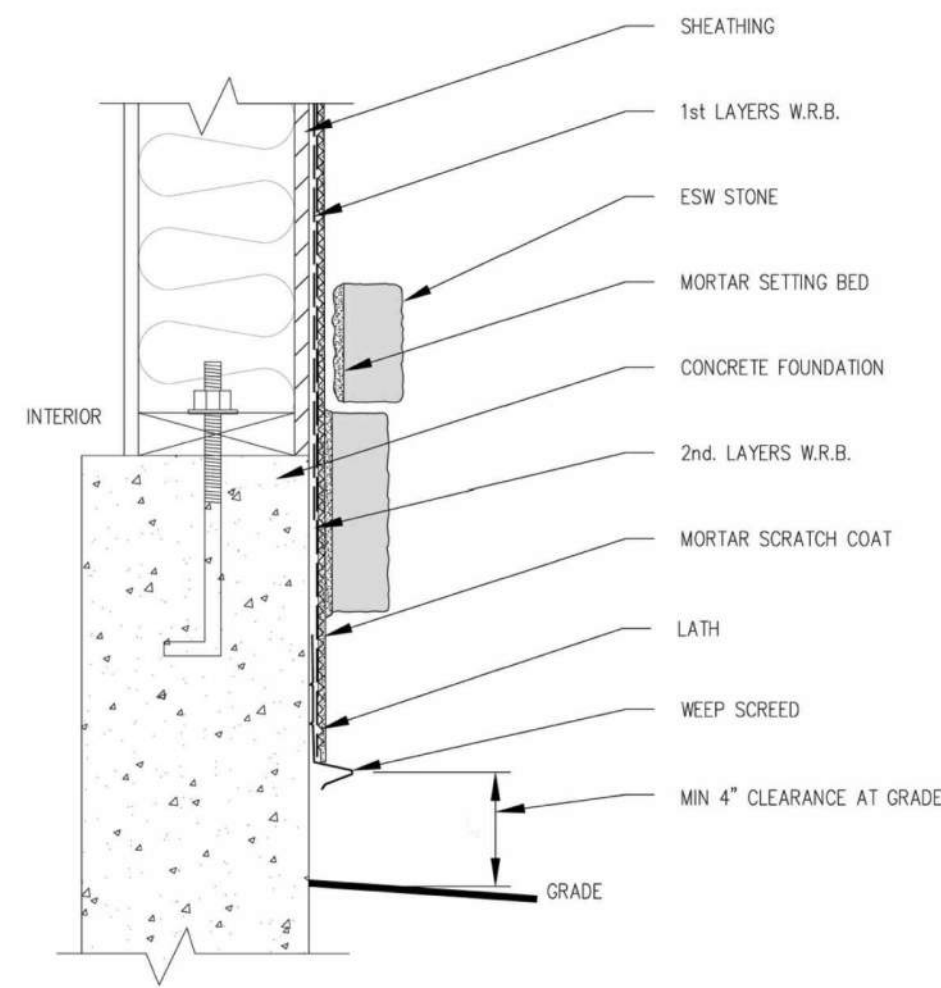
32 Column top with support post
NO SCALE



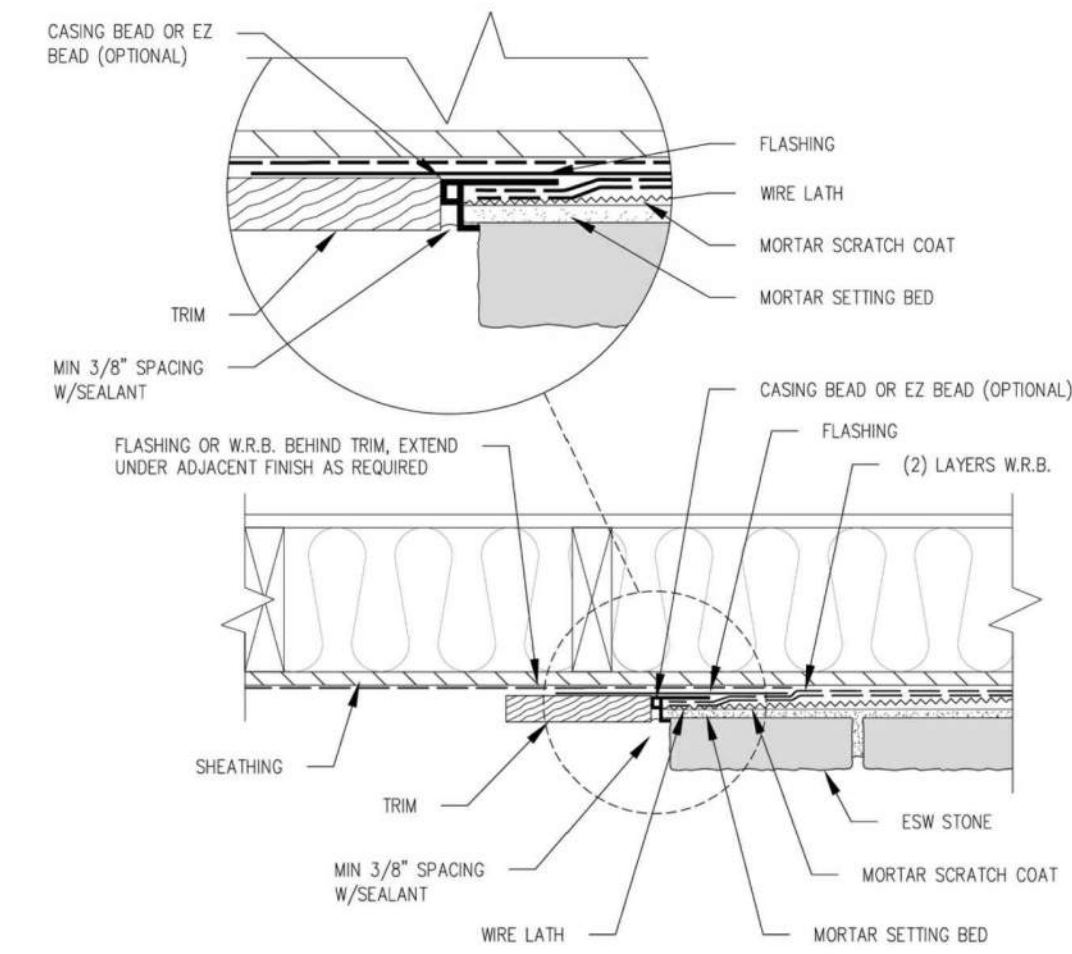
30 Window jamb integrated J-Channel
NO SCALE



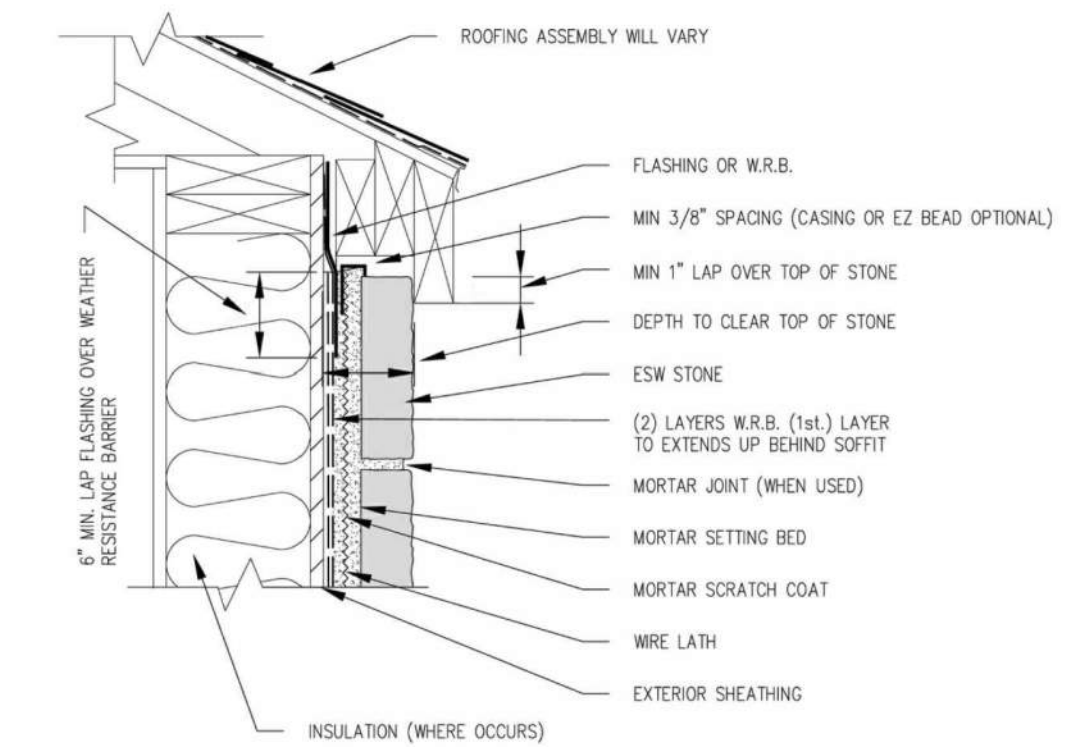
29 Stone/Foundation continue over foundation, weep screed at sill plate
NO SCALE



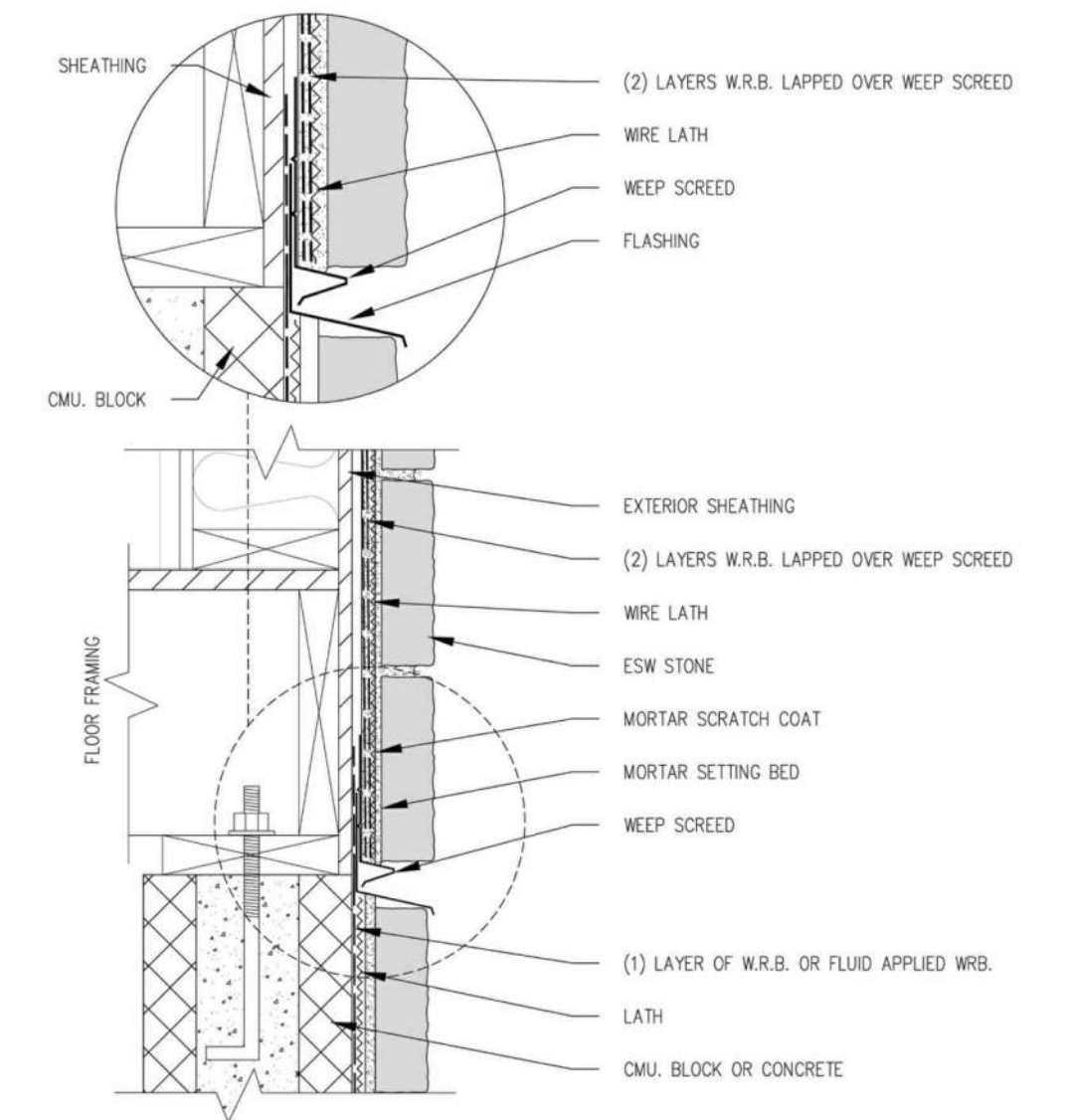
28 Stone/Foundation continue over foundation, weep screed at grade
NO SCALE



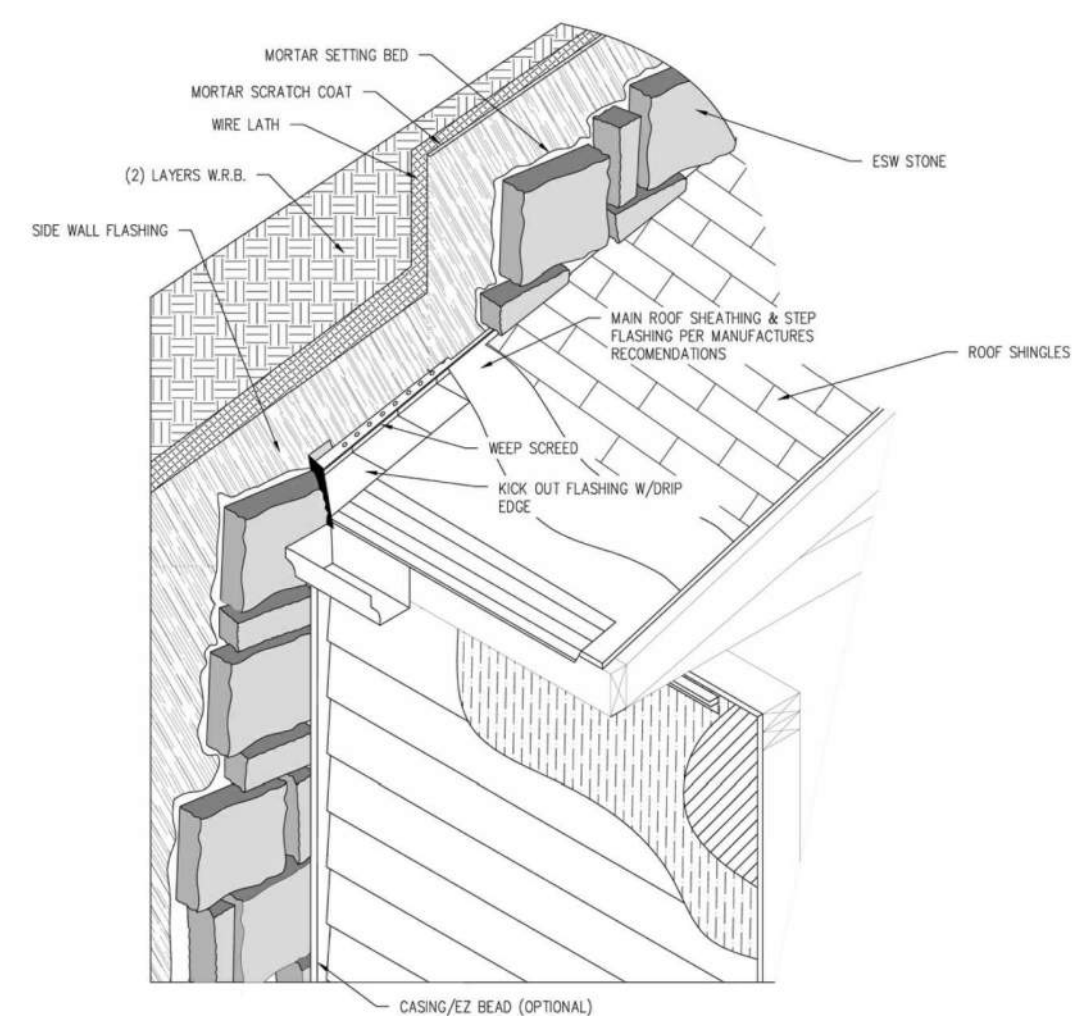
27 Vertical transition at dissimilar material
NO SCALE



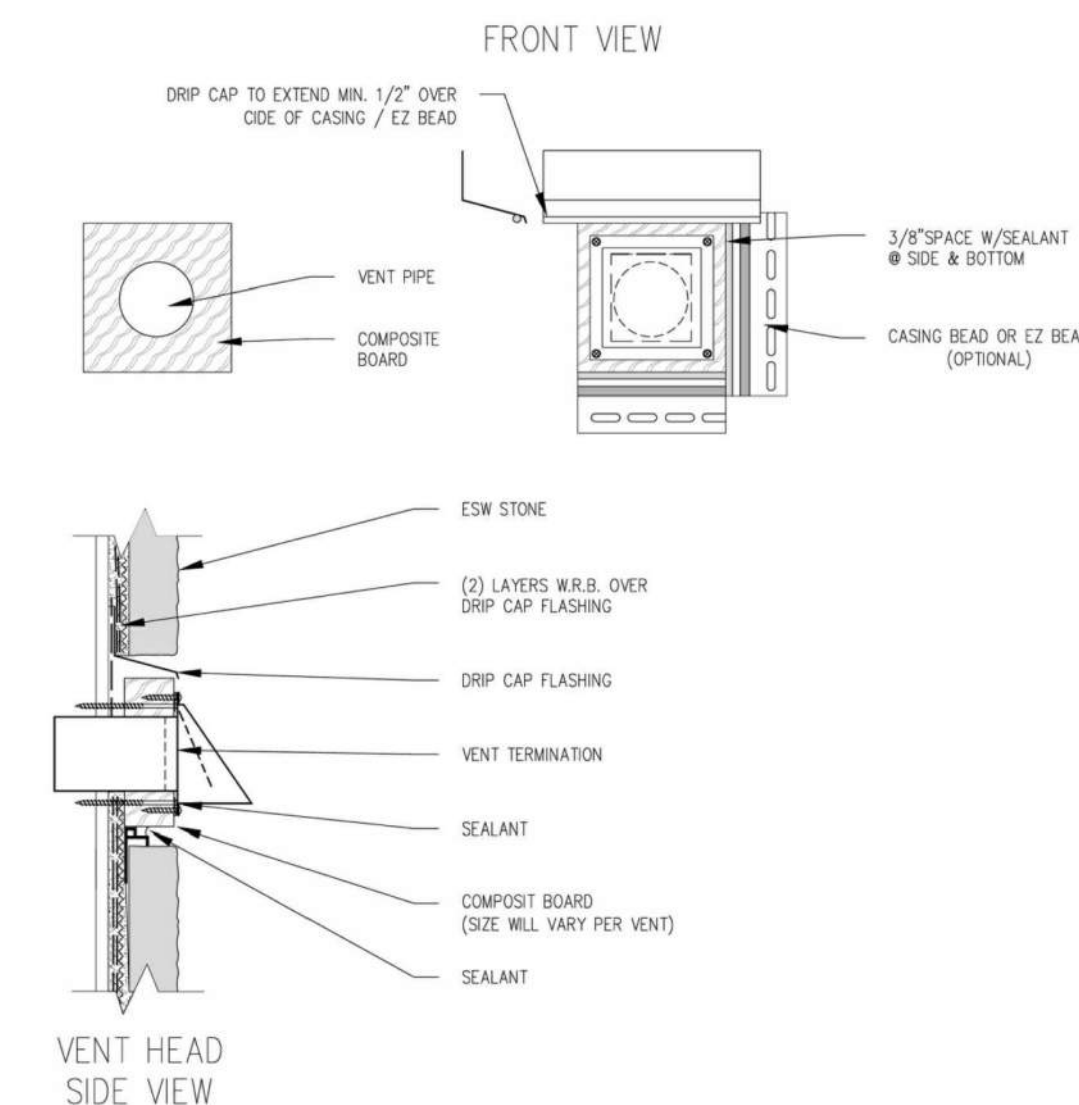
25 Stone under straight overhang
NO SCALE



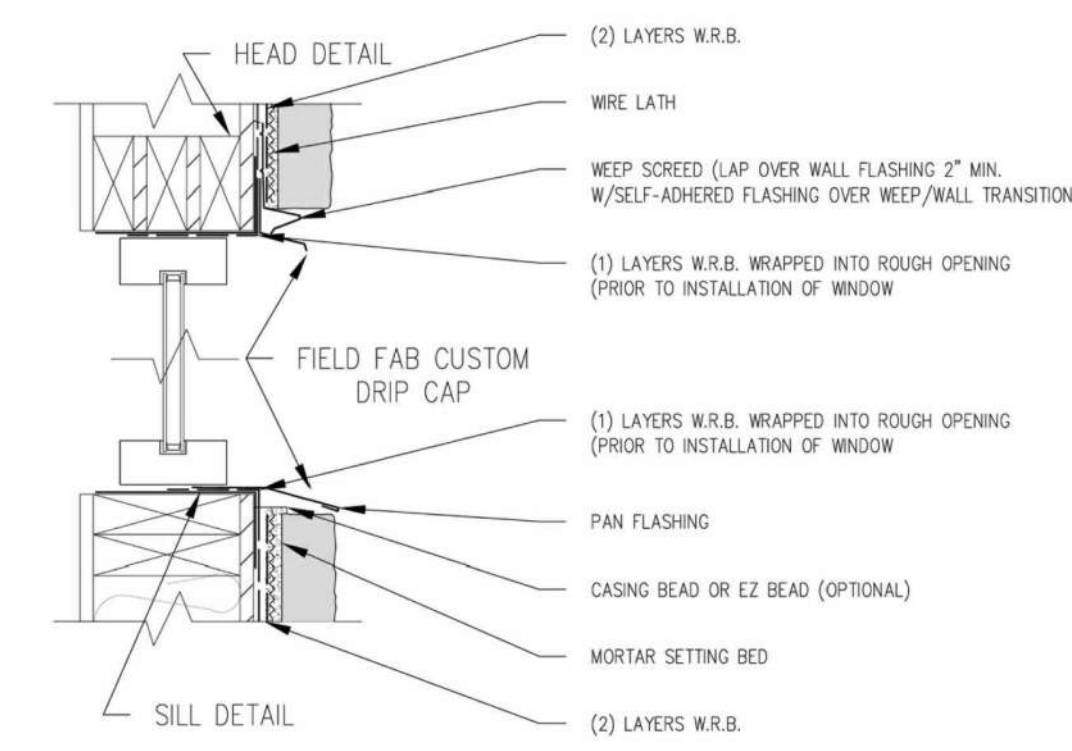
23 Multi-Story masonry wall to framed wall control joint
NO SCALE



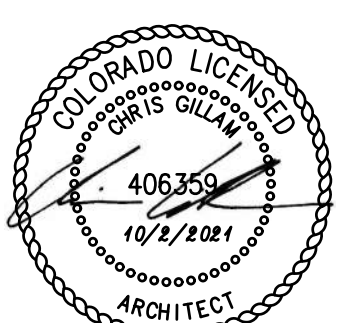
21 Isometric View Diverter/Kick-out flashing detail
NO SCALE



20 Dryer Vent
NO SCALE



19 Commercial window header and sill
NO SCALE



MANUFACTURED STONE
Manufacturers Installation Details,
Contractor to install as indicated
Actual Conditions May Vary
DETAILS ARE NOT TO SCALE

City of Aurora Building Division
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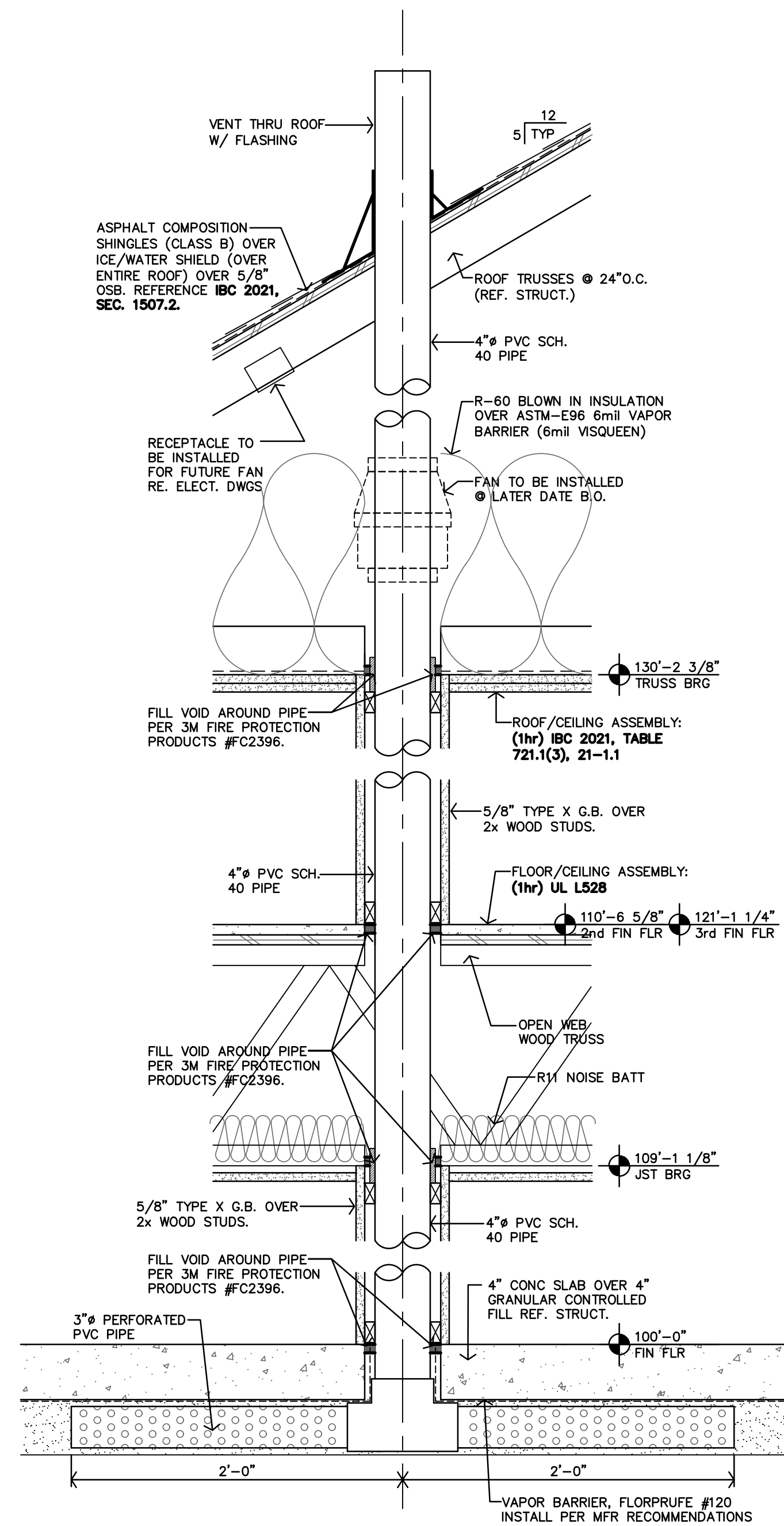
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| JOB: | 22-3219 |
| SHEET NO.: | |

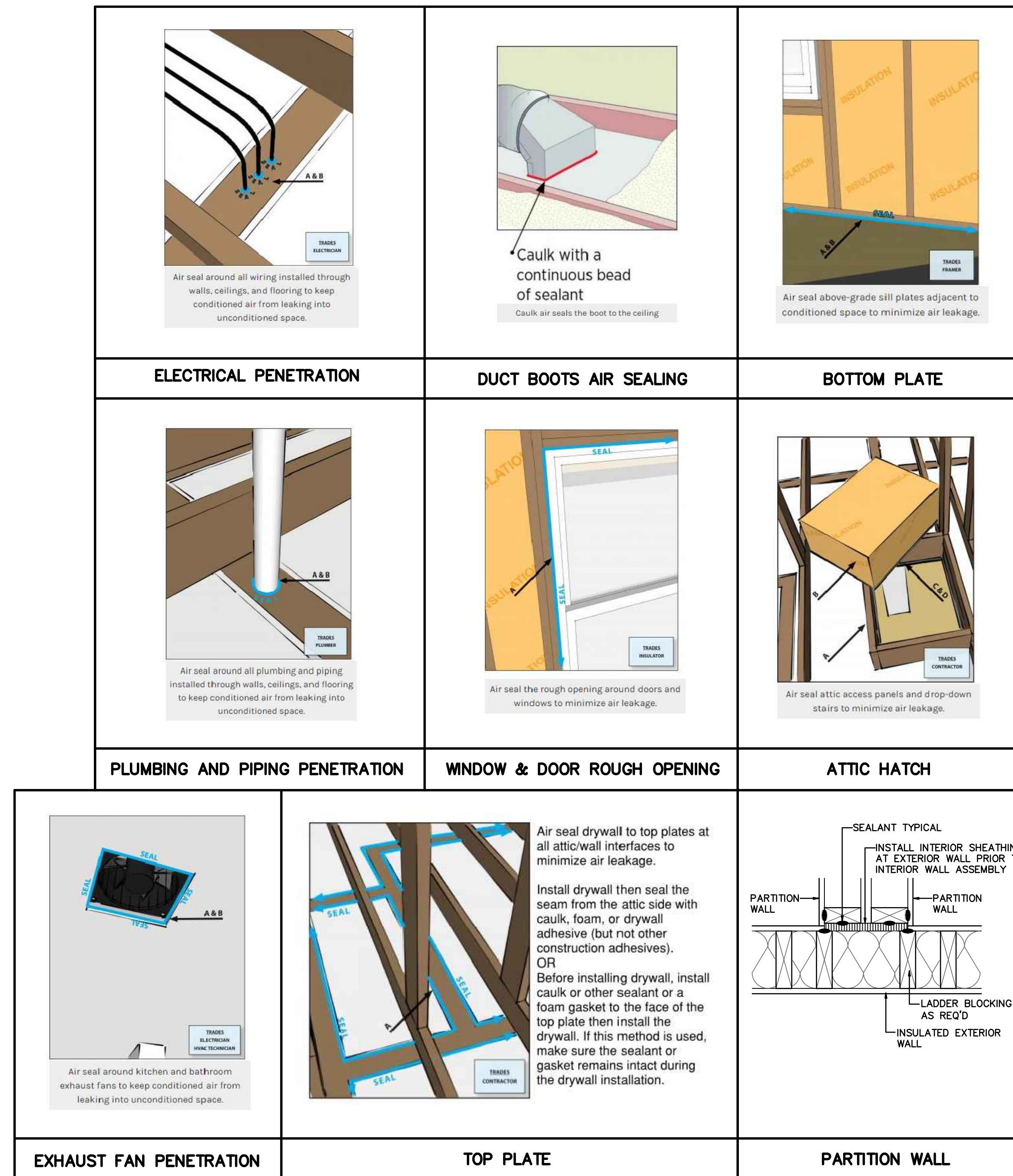
REQUIRED AIR INFILTRATION SEALING MEASURES TO ACHIEVE CODE TARGET 5 ACH50.

- SPRAY RIMS WITH CLOSED CELL SPRAY FOAM INSULATION
- FULL TOP PLATE AIR SEALING AT ALL TOP PLATE LOCATIONS. NOT ONLY EXTERIOR BOUNDARIES AT THIRD FLOOR
- AIR TIGHT OR FLANGED ELECTRICAL BOXES
- AIR SEALING AROUND THE ROUGH OPENING OF ALL UNIT DOORS.
- PICTURE FRAME AIR SEALING AT ALL EXTERIOR AND DEMISING WALL STUD BAYS

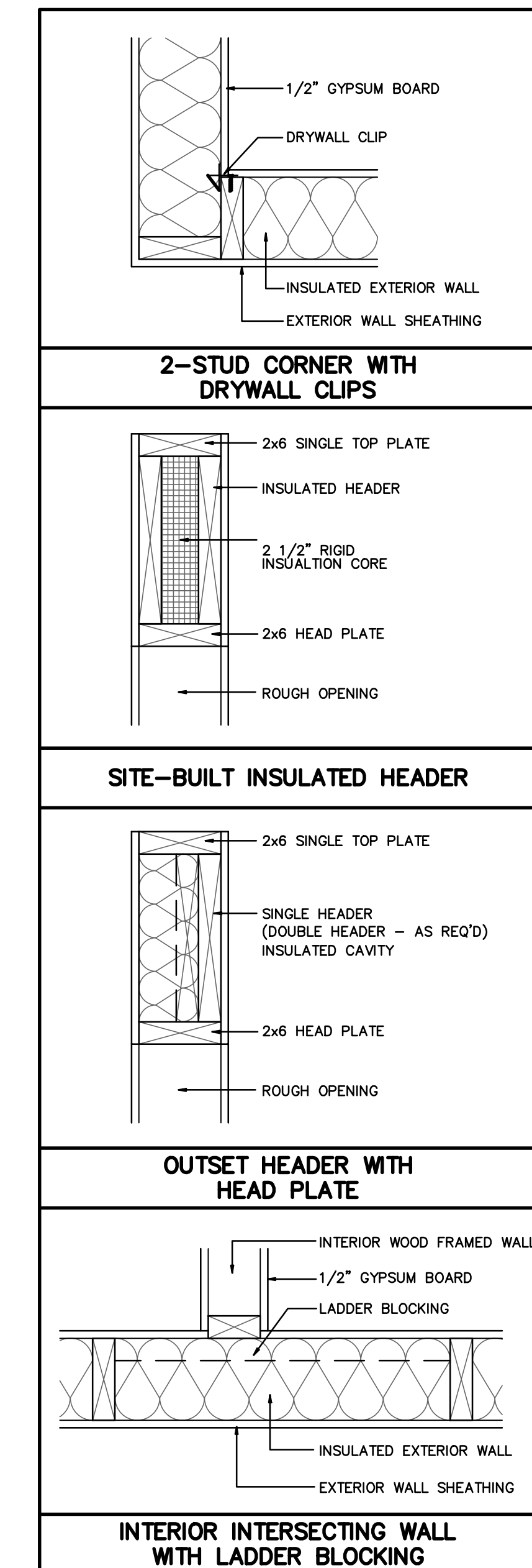
City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: **Y. Munoz**
 Date: **Feb 15, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC



B RADON PIPE DETAIL
 1 1/2"=1'-0"

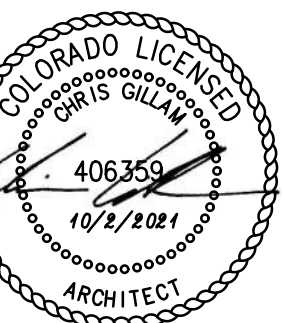


A ENERGY FRAMING AND AIR INFILTRATION
 1 1/2"=1'-0"



DETAILS FROM GreenBuildingAdvisor.com

THE RESERVES at EAGLE POINT
 415 NORTH PICADILLY RD
 AURORA, COLORADO



REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

ROOF GENERAL NOTES

- REF STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
- REFERENCE SITE PLAN SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDINGS.
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. VERIFY LOCATION WITH MECHANICAL & PLUMBING DRAWINGS. PAINT TO MATCH ROOF.
- INSTALL ATTIC VENTILATION OF NOT LESS THAN 1/150 OF THE ATTIC AREA WITH 50% OF REQ'D VENTILATION LOCATED IN THE UPPER PORTION OF THE ROOF AREA, PER IBC 2021 SECT. 1202.2.1
- INSTALL ATTIC ACCESS PER DETAIL K-AA.6. LOCATE PER ROOF PLAN
- ds = INDICATES DOWNSPOUT LOCATIONS.
- CONTRACTOR SHALL TIE-IN AND COORDINATE WITH UNDERGROUND DRAINAGE PIPE. AS INDICATED REFERENCE CIVIL DRAWINGS.
- TYPICAL ROOF SLOPE IS 5:12 UNLESS NOTED OTHERWISE.
- INSTALL 1 DRAFTSTOP DOOR IN EACH ATTIC COMPARTMENT AS INDICATED ON ROOF PLANS. DRAFTSTOP DOOR SHALL BE SELF CLOSING w/ AUTOMATIC LATCHES PER IBC 2021, SECTION 718.4.1.1 ALSO REF. DETAIL J-AA.6
- INSTALL DRAFTSTOPS PER IBC 2021, SECTION 718.4. DRAFTSTOPPING SHALL BE INSTALLED ABOVE AND IN LINE WITH DWELLING UNITS AND SEPARATION WALLS.
- INSTALL FIREBLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
- INSTALL FLASHINGS & VALLEYS, THEN INSTALL ASPHALT COMPOSITION SHINGLES (CLASS C) OVER 2-LAYERS ROOF FELT & ICE/WATER SHIELD (Ø EDGES, VALLEYS & HIPS, ETC.) OVER ROOF SHEATHING OVER ENTIRE ROOF AREA.
- CAULK & SEAL WATERTIGHT ALL JOINTS & TRANSITIONS.
- ALL METAL MATERIALS (I.E. VALLEYS, FLASHINGS, ETC...) SHALL BE .0217" THICK (26 GA) PREFINISHED GALVANIZED OR ALUM. ZINC ALLOY. ALL FASTENERS MUST BE COMPATIBLE WITH ASSOCIATED METALS/MATERIALS. METALS MUST BE INSTALLED PER SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL."
- CONTRACTOR TO USE NAILS FOR FASTENING NEW SHINGLES. STAPLES ARE NOT ALLOWED.
- ROOFING INSTALLATION: DETAILS INDICATED ON SHEET AS.3 ARE GENERIC/GENERAL. CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS & RECOMMENDATIONS, BUT NOT LESS THAN THOSE RECOMMENDED BY NRCA'S "THE ROOFING & WATERPROOFING MANUAL" & "STEEP SLOPE ROOF SYSTEMS".
- CONTRACTOR MUST COMPLY WITH ALL STATE & LOCAL CODES & REGULATIONS.
- PROVIDE PERMANENT IDENTIFICATION ACCEPTABLE TO LOCAL AUTHORITIES AT ALL DRAFTSTOPS AND DRAFTSTOP ACCESS

TYPICAL SOFFIT MATERIAL

- CEMENT BOARD SOFFIT OR HARDI BOARD (TYP)
- COMPOSITE BOARD CEILING OVER (2) LAYERS 5/8" TYPE X G.B. INSTALL PER ROOF/CEILING ASSEMBLY: (1HR) IBC 2021, TABLE 721.1(3), 21-1.1 & COMPOSITE BOARD CEILING typ.
- COMPOSITE BOARD CEILING TYP

MINIMUM GUTTER & DOWNSPOUT

GUTTER - 4x5
DOWNSPOUT - 3x4 (CONNECT TO STORM DRAIN REF. L/A5.2)

APARTMENT BUILDINGS DE/G/H (TYPE 1) ATTIC VENTILATION

ATTIC VENTILATION PER IBC 2015, SECTION 102.2.1, 1/300 WITH ASTM 396 VAPOR BARRIER RIDGE VENT SHALL PROVIDE A MIN. OF 18 SQUARE INCHES OF NET FREE AREA, (NFA) OF VENTILATION PER LINEAR FOOT, OR ADDITIONAL AND OPTIONAL VENTS MUST BE INSTALLED.

AREA 1 - (2) 3-BDRM UNITS (2 THUS)

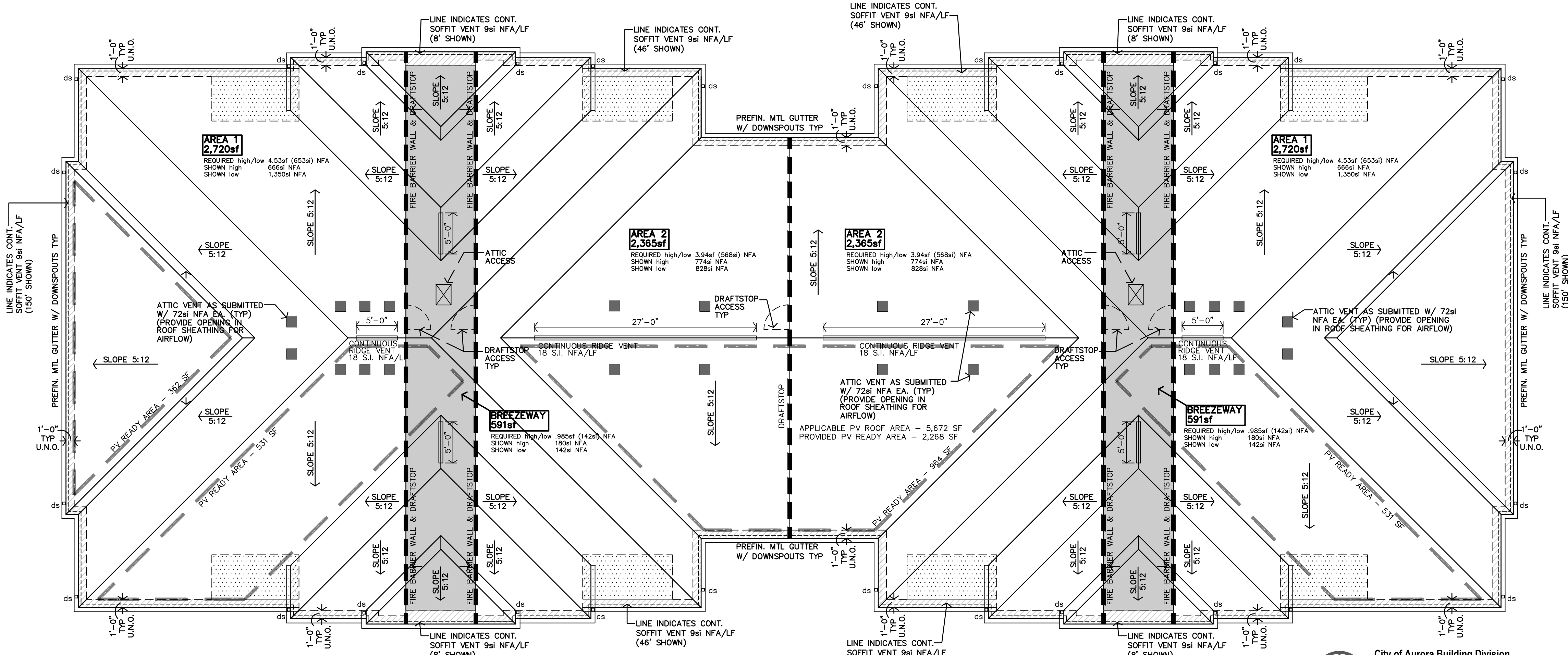
ATTIC AREA MUST PROVIDE
(2,720/300 = 9.07/2 = 4.53 HIGH & LOW)
4.53sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

AREA 2 - (2) 2-BDRM UNITS (2 THUS)

ATTIC AREA MUST PROVIDE
(2,365/300 = 7.88/2 = 3.94 HIGH & LOW)
3.94sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

BREEZEWAY (2 THUS)

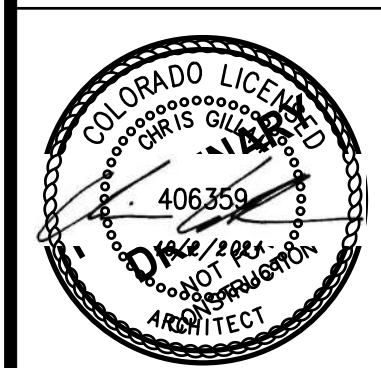
ATTIC AREA MUST PROVIDE
(591/300 = 1.97/2 = .985 HIGH & LOW)
.985sf OF NET FREE AREA @ THE RIDGE & SOFFITS.



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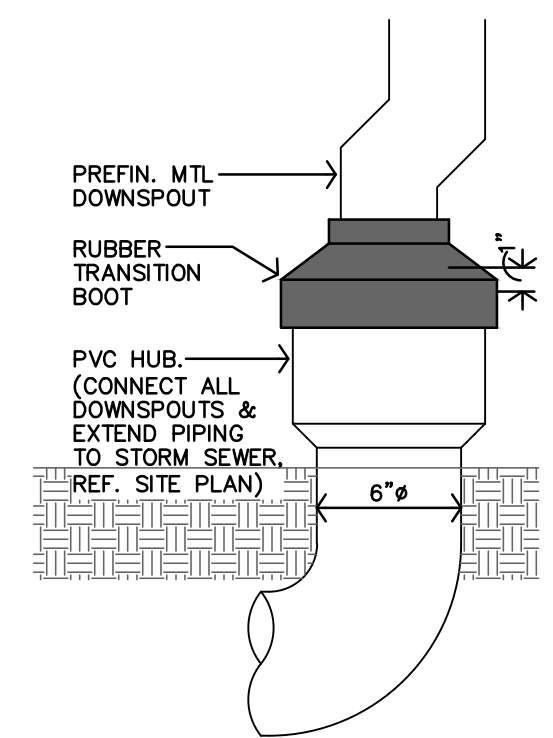
THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA, COLORADO



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|------------|-----------|
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A5.1

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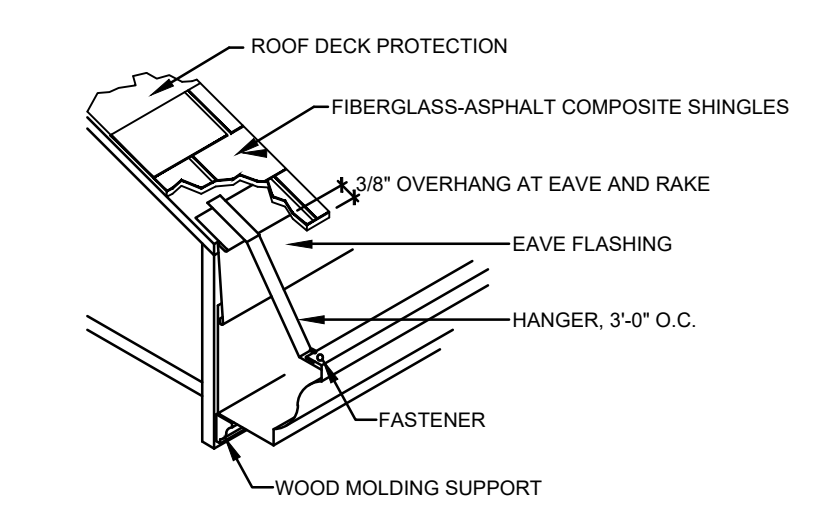
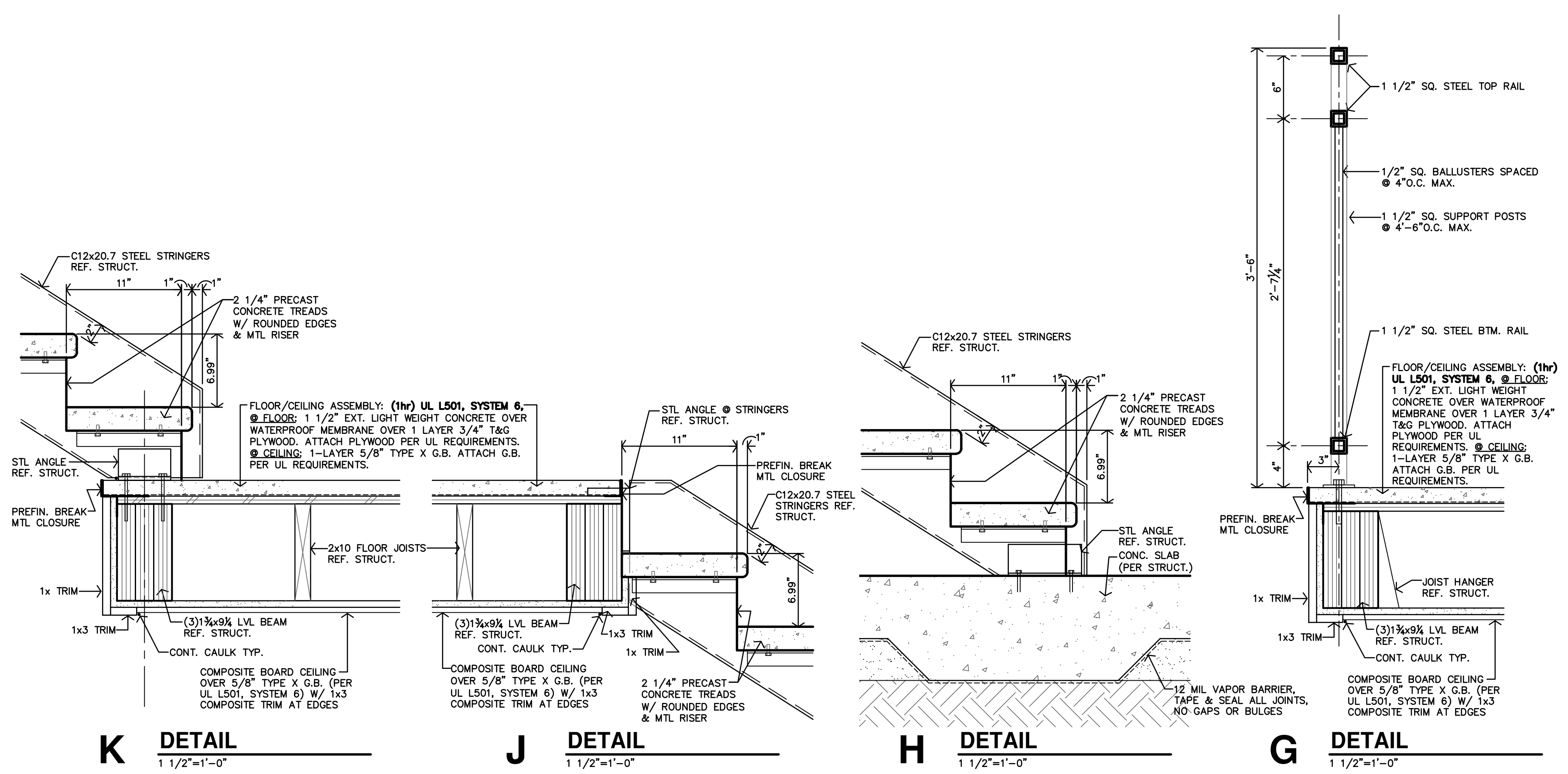


L DOWNSPOUT HUB DETAIL
1 1/2"=1'-0"

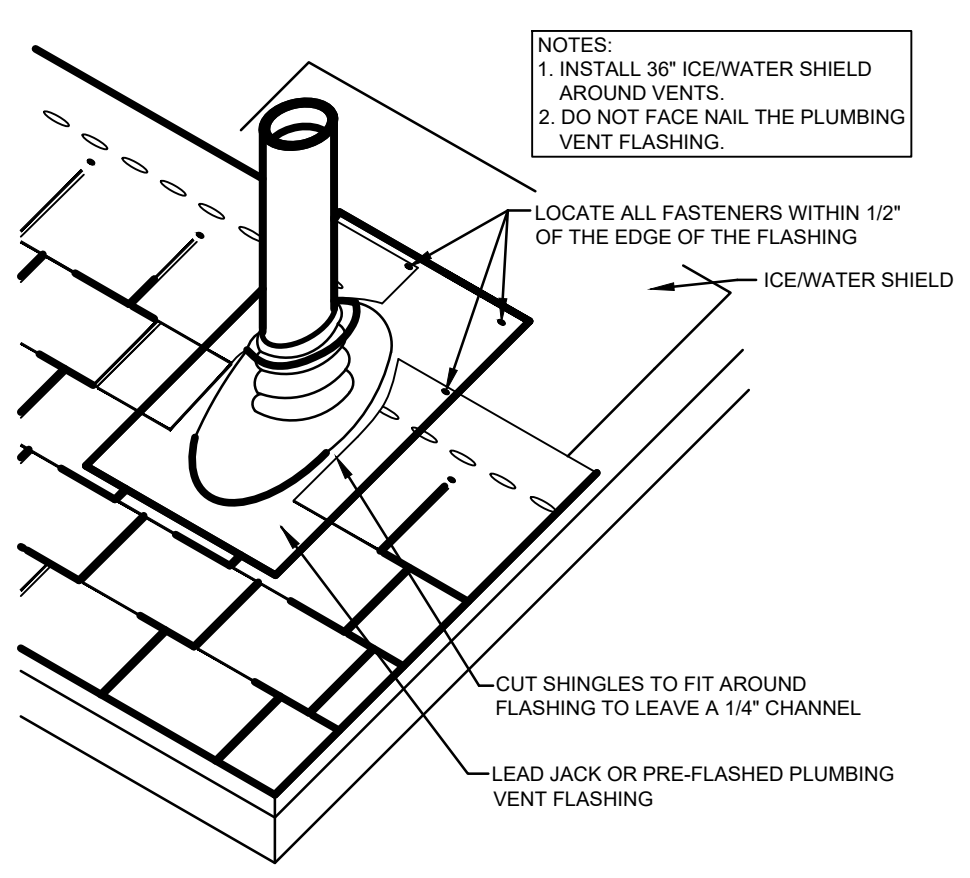
ROOFING DETAIL NOTES

1. TYPICAL MANUFACTURER'S DETAILS ACTUAL CONDITIONS MAY VARY. REFER AND COORDINATE W/ BUILDING DETAILS PROVIDING THE MANUFACTURER'S MOST STRINGENT REQUIREMENTS, RECOMMENDATIONS, NECESSARY TO ACHIEVE COMPLETE WATERTIGHT WARRANTY.
2. A WOOD NAILER IS REQUIRED WHEN INSULATION IS GREATER THAN 1" COORDINATE WITH MANUFACTURER'S REQUIREMENTS TOP OF WOOD ATTACH WOOD NAILERS SHALL BE SPACED NO GREATER THAN 18" O.C.

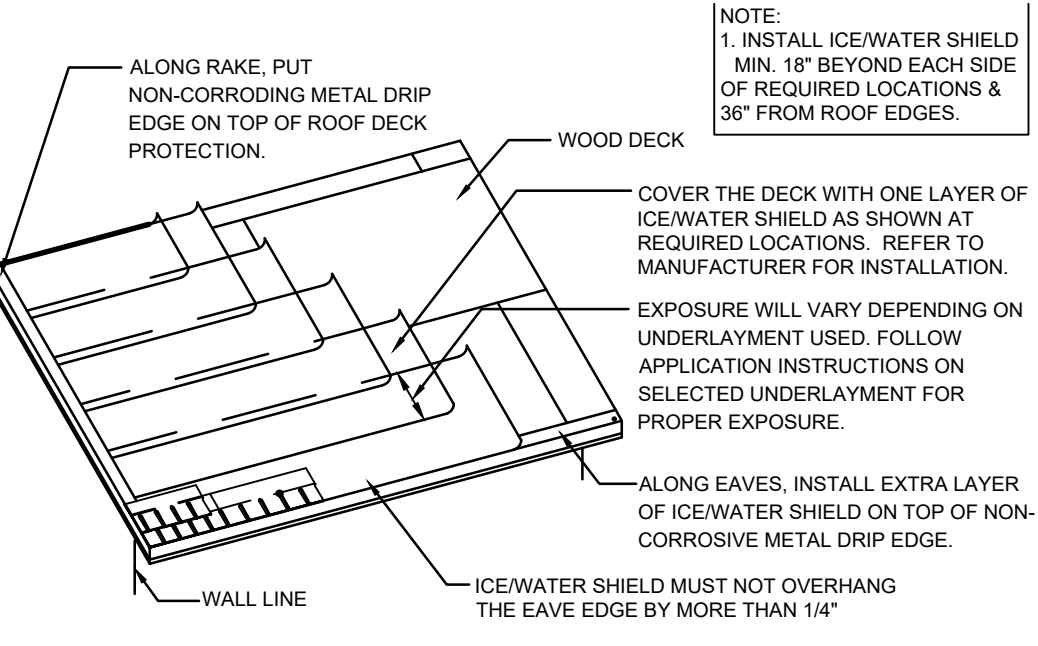
MANUFACTURER'S-ROOFING DETAILS, CONDITIONS VARY



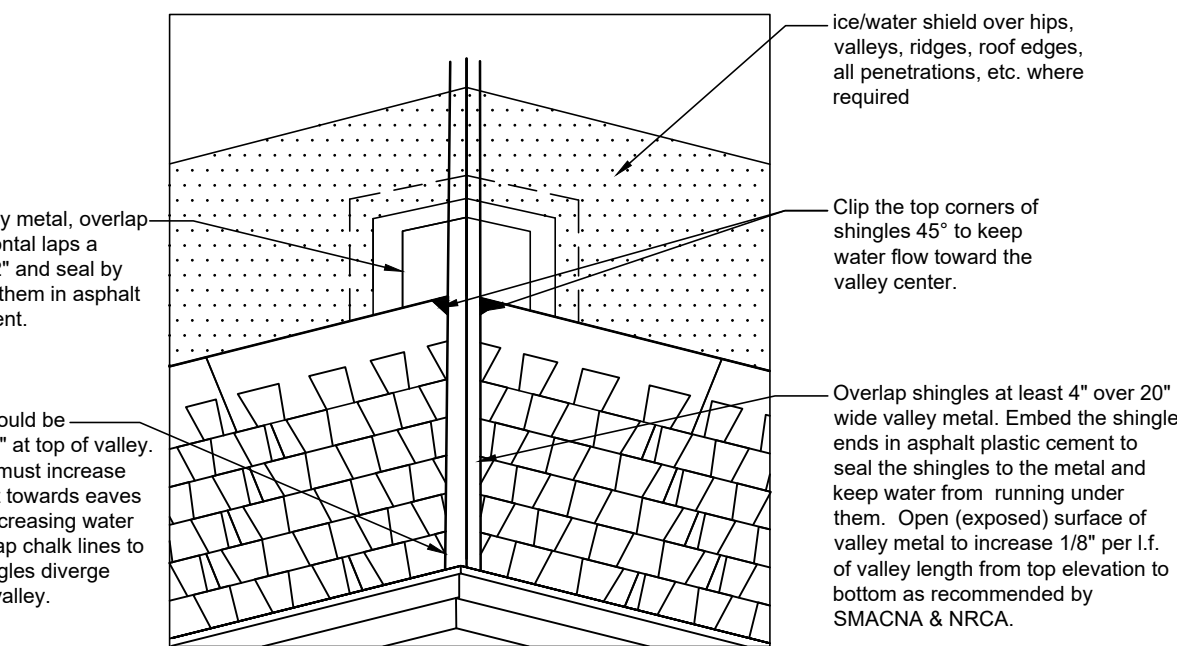
E GUTTER FASTENER DETAIL
NOT TO SCALE



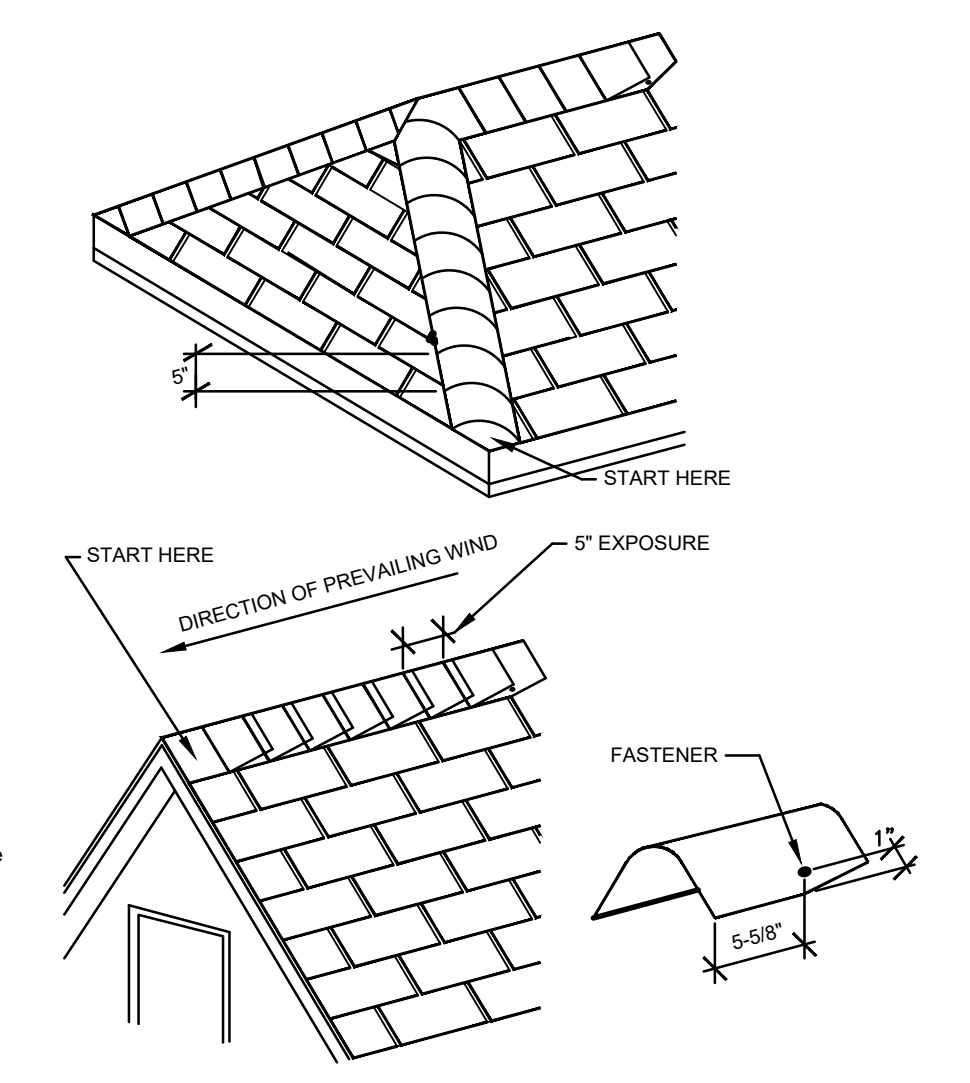
B VENT FLASHING DETAIL
NOT TO SCALE



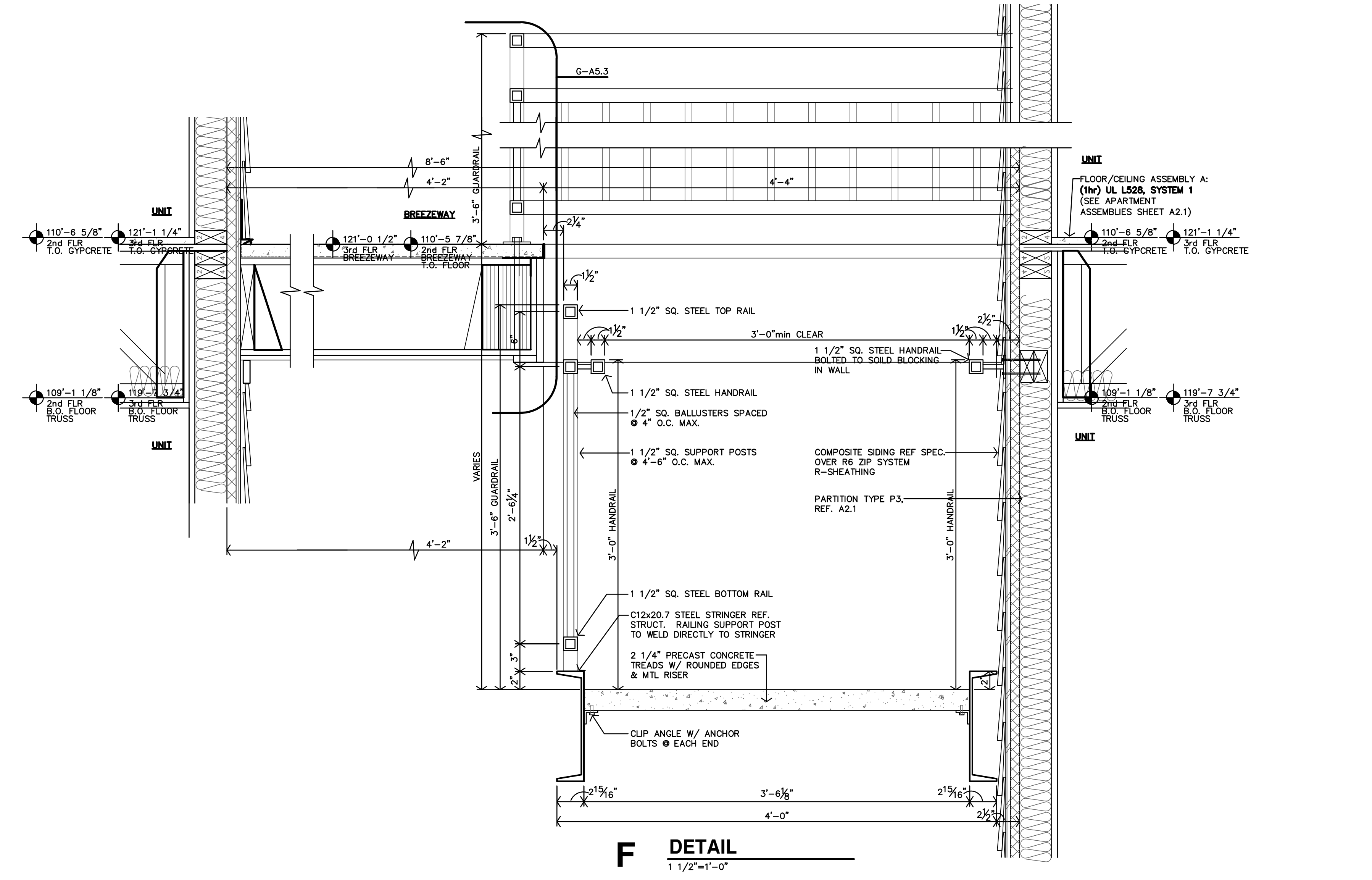
D UNDERLAYMENT LAYOUT DETAIL
NOT TO SCALE



C OPEN VALLEY DETAIL
NOT TO SCALE



A HIP & RIDGE DETAILS
NOT TO SCALE



F DETAIL
1 1/2"=1'-0"

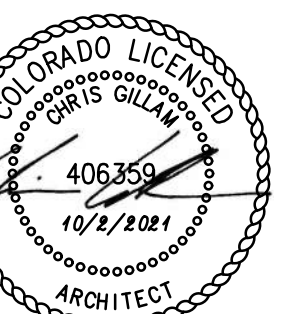


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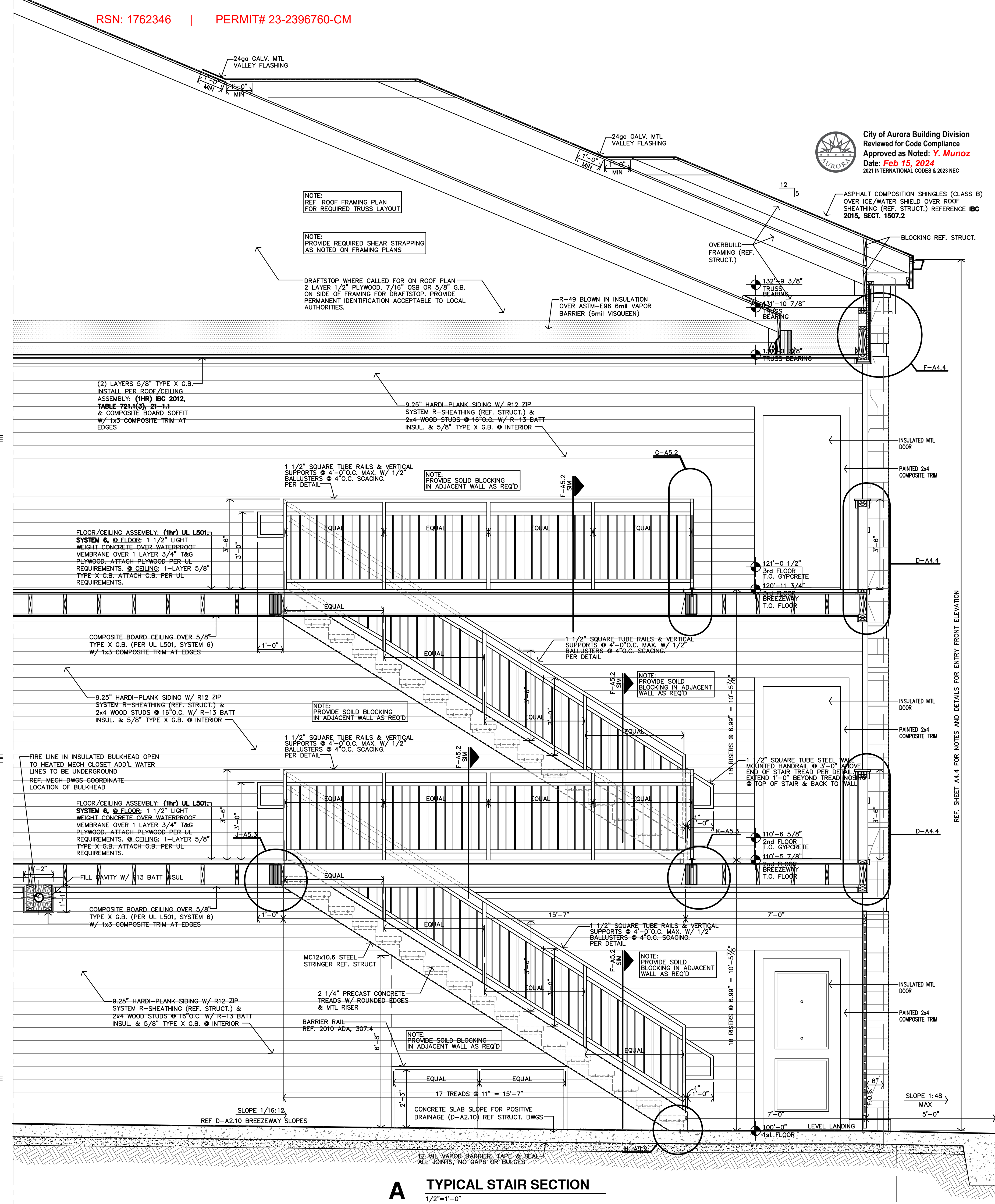
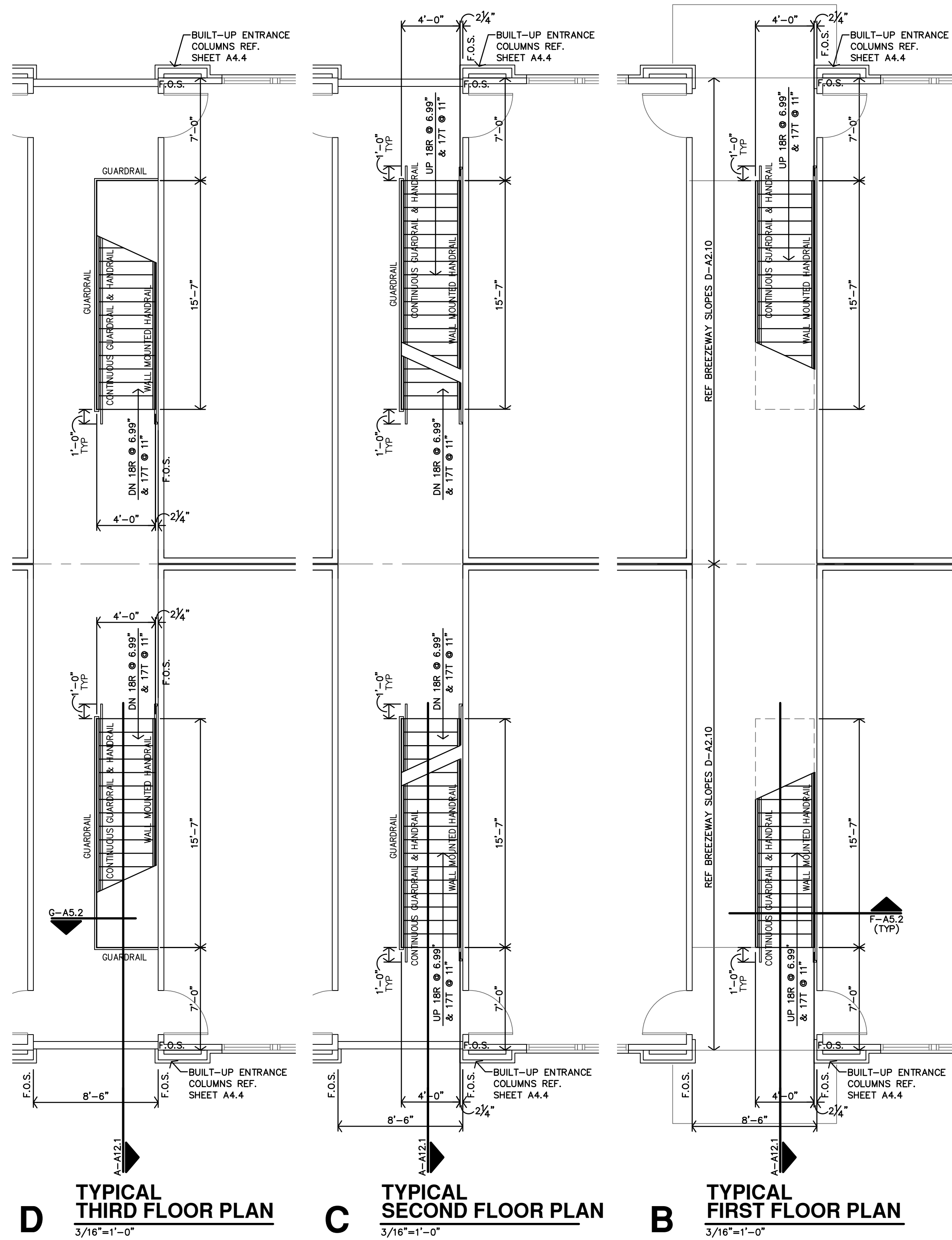


THE RESERVES at EAGLE POINT
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A6.1



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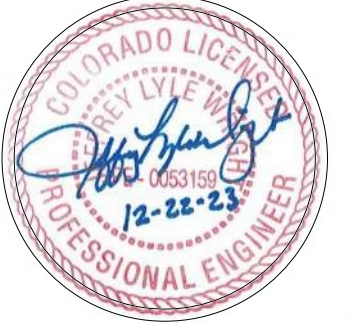


Table with 2 columns: Field, Value. Includes REVISION, DATE (9-20-2023), JOB# (22-3219), SHEET NO. (S1.0)

NAILING SCHEDULE (REFER TO NOTES #1 and #2) Table with columns: CONNECTION, ATTACHMENTS (REF NOTE #3 and #4), and NAILING SCHEDULE details.

NOTES: 1) ALL NAILS SHALL BE AS NOTED UNLESS OTHERWISE SPECIFIED ON STRUCTURAL DRAWINGS OR ALTERNATE PROVIDED BY ENGINEER IN WRITING. 2) CONDITIONS NOT SPECIFIED SHALL BE IN ACCORDANCE WITH CURRENT INTERNATIONAL BUILDING CODE. 3) NAILING DESIGNATION: 4- 3" x 0.131" NAILS. 4) ALL NAILS NOTED AS 8d, 10d, 16d, ETC. SHALL BE COMMON NAILS UNLESS NOTED BOX. 5) REFER TO SHEARWALL SCHEDULE FOR ADDTL. NAILING REQUIREMENTS



TYPICAL SYMBOL LEGEND: (A) - BEAM OR HEADER PER SCHED ON SJI, (A-U) - UPSET BEAM OR HEADER PER SCHED ON SJI, (F) - FOOTING TYPE PER SCHED ON SJI, (S) - SHEARWALL HOLDDOWN TYPE PER SCHED ON SJI, (SN) - SHEARWALL PER SCHED ON SJI, (CJ) - CONSTRUCTION JOINT PER 2/51.0, (SJ) - SAN JOINT PER 1/51.0, (S) - SPAN DIRECTION

RSN: 1762346 Permit #: 23-2396760-CM City of Aurora Building Division Reviewed for Code Compliance Approved as Noted: D Anderson Date: Feb 21, 2024 2021 INTERNATIONAL CODES & 2023 NEC



Provide EOR reviewed engineered truss drawings and details, in accordance with 2021 IBC 2303.4, to inspector at time of rough frame inspection.

SPECIAL INSPECTIONS REQUIREMENTS - 2021 IBC 1704 Prior to the start of construction, the owner or owner's authorized agent shall employ one or more approved agencies to provide special inspections and tests during construction as required by the structural engineer in their statement of special inspections. The special inspector's qualifications and written reports shall be reviewed by the engineer of record and made available to the building inspector on the jobsite. The building division will only issue a certificate of occupancy after all special inspection reports, and the final special inspection report, have been submitted and accepted.

Structural plan review is limited to a general survey for code compliance. No review is implied nor was undertaken to verify structural adequacy.

GENERAL NOTES - STRUCTURAL 1. The contractor shall verify dimensions and conditions before construction and notify the engineer of any discrepancies, inconsistencies, or difficulties affecting the work before proceeding. 2. The contractor shall coordinate all disciplines, verifying size and location of all openings, whether shown on structural drawings or not, as called for on architectural, mechanical, or electrical drawings. All conflicts, inconsistencies, or other difficulties affecting structural work shall be called to the architect or engineer's attention for direction before proceeding. 3. All design and construction work for this project shall conform to the requirements of the 2021 International Building Code, as amended by the City of Aurora, Colorado. 4. These drawings are for this specific project and no other use is authorized. 5. Structural Design Load Criteria: A. Dead Load: Roofs = 20 psf Live Loads: Roofs = 25 psf Floors = 40 psf Maintenance Platform = 40 psf C. Snow: Pg = 40 psf, Ce = 1.0 Pf = 20 psf, Ps = 25 psf, Pn = 20 psf Is = 1.0, Cs = 1.0, Cd = 1.0 D. Lateral Loads: 1) Wind V = 115 mph, exposure B, GcPf = +/- 1.0B Design wind pressures to be used for the design of exterior components and cladding materials on the designated zones of walls and roof structures shall be per Section 30.7 and Table 30.7-2 of ASCE/SEI 1-16. Tabulated pressures shall be multiplied by effective area reduction factors, exposure adjustment factors, and topographic factors where applicable. 2) Seismic = Sa = 0.188, Si = 0.054, IE = 1.0 Site Classification D Seismic Design Category B Basic Seismic Force-Resisting System: A17- Light-Framed Walls with Shear Panels of All Other Materials R=2, Omega = 2 1/2, Cd = 2, V=0.100W 6. Concrete: A. All concrete for foundations (walls, grade beams, and footings) shall develop minimum ultimate compressive design strength of 3500 psi in 28 days, but not less than 500 pounds of cement shall be used per cubic yard of concrete regardless of strengths obtained, not over 6 gallons of water per 100 pounds of cement and not over 4 inches of slump. B. All concrete for interior flat work shall develop minimum ultimate compressive design strength of 4000 psi in 28 days, but not less than 500 pounds of cement shall be used per cubic yard of concrete regardless of strengths obtained, not over 5 gallons of water per 100 pounds of cement and not over 4 inches of slump. C. Concrete for exterior flatwork shall have a minimum design compressive strength of 4500 psi in 28 days, with not less than 560 pounds of cement per cubic yard of concrete, not over 5 gallons of water per 100 pounds of cement, with 6% +/- 1% air entrainment, and a maximum of 4 inches of slump. D. The preceding minimum mix requirements may have water-reducing admixtures conforming to ASTM C494 added to the mix at manufacturer's dosage rates for improved workability. E. The preceding minimum mix requirements may have up to 15% maximum of the cement content replaced with an approved ASTM C618 Class C fly ash, provided the total minimum cementitious content is not reduced. F. All concrete is reinforced concrete unless specifically called out as unreinforced. Reinforce all concrete not otherwise shown with some steel as in similar sections or areas. Any details not shown shall be detailed per ACI 318 and meet requirements of ACI 318 current editions. 7. Reinforcing Steel: A. All reinforcing steel shall conform to the requirements of ASTM A618 or A706 grade 60 steel. All welded plain wire fabric shall be supplied in sheets and conform to the requirements of ASTM A185. B. Clear minimum coverage of concrete over reinforcing steel shall be as follows: Concrete placed against earth 3" Formed concrete against earth 2" Slabs 2" Other 2" All coverage shall be nominal bar diameter minimum. C. All dowels shall be the same size and spacing as adjoining main bars (splice lap 48 bar diameters or 30" minimum unless noted otherwise). D. At corners of all walls, beams, and grade beams supply corner bars (minimum 2'-6" in each direction or 48 bar diameters) in outside face of wall, matching size and spacing of horizontal bars. Where there are no vertical bars in outside face of wall, supply 3 - #4 vertical support bars for corner bars. E. Bars marked continuous shall be lapped 48 bar diameters (3'-0" minimum) at splices and embedments, unless shown otherwise. Splice top bars near midspan and splice bottom bars over supports, unless noted otherwise. F. Accessories shall be as specified in latest edition of the ACI Detailing Handbook and the concrete Reinforcing Steel Institute Design Handbook. Maximum accessory spacing shall be 4'-0" on center, and all accessories on exposed surfaces are to have plastic coated feet. G. All slabs and stairs not shown otherwise shall be 6" thick with #4 bars at 12" on center each way. 8. Structural Steel: A. All structural steel beams and columns shall be ASTM A992, grade 50 steel and all miscellaneous steel shall be ASTM A36 grade steel. Hollow Structural Sections (HSS) shall be ASTM A500 grade B. Fabrication and erection shall be in accordance with AISC 305-05 'Code of Standard Practice for Steel Buildings and Bridges' in the 13th Edition of the AISC Steel Construction Manual. B. All welding shall conform to the recommendations of the AWS. C. All bolts not otherwise specified shall be 3/4" diameter high strength (ASTM A325-N). All bolts shall be fully pretensioned. All beam connections shall be designed per the AISC Manual of Steel Construction 'Welded Beam Connections' for 40 kip reactions, and shall account for eccentricity when the bolt line is more than 2" from the center of the support. All connections must be two bolt minimum. D. All anchor bolts shall be 3/4" diameter, ASTM F1554, Grade 36 unless noted otherwise. 9. Foundations: A. The soil investigation was prepared by Cole Garner Geotechnical, the report number is 25.22.006 and their telephone number is 303-946-2444. B. Spread footings and continuous wall footings are designed to bear on soil capable of safely sustaining 2500 psf. C. Contractor shall provide for denaturing at excavations from either surface water or seepage. D. All foundation excavations shall be inspected by a qualified soil engineer, approved by the architect and/or structural engineer, prior to placement of steel or concrete. This inspection shall be at the owner's expense. 10. Concrete Block Masonry: A. Concrete block used in exterior walls or load bearing walls shall meet the requirements of ASTM C90 and have a minimum net compressive strength of 2100 psi and laid up using type N mortar such that it equals 1500 psi. Mortar shall be proportion based cement lime mortar. Proportioning shall be completed by box measure. Any block in contact with earth shall be normal weight units, laid using type 'S' mortar and grouted solid. B. The contractor shall provide adequate temporary bracing for all masonry walls during construction. C. All concrete block shall have 9 gage (or larger) horizontal joint reinforcing (ladder or truss) per architect drawings and specifications (6" maximum vertical spacing). D. Concrete block shall be reinforced as follows in 8" walls unless noted otherwise: 1) Vertical reinforcing shall be a minimum of 1 - #4 bar in 8" walls at 4'-0" on center at each corner, at each door and window jamb, each side of control joints and in the end void of each length of wall. Lap splices for masonry vertical reinforcing shall be 48 bar diameters or 24" minimum. 2) Horizontal reinforcing: A) Horizontal joint reinforcing as noted above. B) Continuous horizontal bars shall be included per section or detail in bond beam or optional running bond beam where noted. Where bond beams are continuous at corners of walls, supply corner bars matching size of horizontal bars (minimum 2'-0" or 40 bar diameters in each direction). E. Grout, where noted above, shall have a minimum design ultimate compressive strength of 3500 psi at 28 day test and 31% maximum aggregate size. F. Lintels over all openings in walls not otherwise covered shall be an 8" x 8" bond beam with 2 - #6 bars in the bottom of the bond beam. 11. Post-Installed Anchors: A. Post-installed anchors shall be used only where specified on the drawings unless approved in writing by the engineer of record. See drawings for anchor diameter, spacing and embedment. Performance values of the anchors shall be obtained for specified products using appropriate diameter and/or standards as required by the governing building code. Anchors installed in concrete shall have an ICC-ES Evaluation Service Report. Special inspection is required for all post-installed anchors. B. Mechanical anchors used in cracked and uncracked concrete shall have been tested and qualified for use in accordance with ACI 308.2 and ICC-ES AC308. All anchors shall be installed per the anchor manufacturer's written instructions. C. Adhesive anchors used in cracked and uncracked concrete shall have been tested and qualified for use in accordance with ICC-ES AC308. All anchors shall be installed per the anchor manufacturer's written instructions. 12. Timber and Wood Framing: A. Quality and construction of wood framing members and their fasteners for load supporting purposes not otherwise indicated on the drawings shall be in accordance with the 2021 International Building Code. B. All studs and top and bottom plates shall be Douglas Fir No. 2 grade visually graded lumber, with an allowable fiber stress in bending of 400 psi minimum and an elastic modulus of 1,600,000 psi unless noted otherwise. All joist, truss members and headers to be No. 2 grade (min.) unless noted otherwise. C. Bridging of stud bearing walls and shear walls shall be solid matching sheathing joints. D. Joist blocking and bridging shall be solid wood or cross bridging of either wood or metal strips. Spacing in any case, shall not exceed 8'-0". E. Wood members and sheathing shall be fastened with number and size of fasteners not less than that set forth in Table 2304.9.1 of the 2021 International Building Code. Floor sheathing shall be APA rated tongue and groove Sura-I-Floor, exposure 1, girded and nailed with 10d nails or #10 screws at 6" on center to supports at edges and 12" on center field. Sheathing of shear walls or roof diaphragms shall be edge nailed with 8d common nails at 6" on center and nailed to intermediate framing and/or blocking members with 8d common nails at 12" on center unless otherwise noted on the drawings. F. Sill plates shall be bolted to concrete slabs with 1/2" diameter bolts at 32" on center (N2, Res. shearwall sched). Provide plate washers at sill plate anchors for shearnails per shearnail sched. Plates in direct contact with concrete or masonry shall be treated lumber. G. All hangers, ties and connections shown are based on Simpson Strong Tie as the basis of design, provide Simpson Strong Tie or an approved equal. Joist hangers shall be equal to 'LUS' for wood application and 'LB' for steel weld-on application. Roof truss ties shall be equal to 'H25A' and tie the roof truss to the top plate (provide 2) 'H25A' Diagonally across from each other when uplift load shown in truss shop submittal exceeds 600lbs). Roof girder ties shall be equal to a 'L6T2', 'L6T3' or 'L6T4' tie (depends on number of piles) and tie the truss girder to the top plate. Provide 'H4' at the top of each stud to top track when the top track has roof tie attached. H. Service condition - dry with moisture content at or below 19% in service. I. Laminated strand lumber (LSL) shall have an allowable flexural stress (Fb) of 1,700 psi (reduced by size factor) and an elastic modulus (E) of 1,300,000 psi. J. Laminated veneer lumber (LVL) shall have an allowable flexural stress (Fb) of 2,600 psi (reduced by size factor) and an elastic modulus (E) of 1,900,000 psi. K. Parallel Strand Lumber (PSL) shall have an allowable flexural stress (Fb) of 2,400 psi (reduced by size factor) and an elastic modulus (E) of 2,000,000 psi. (E) = 2,200,000 psi for members > 18"). L. Pre-engineered wood trusses shall be designed in accordance with the Truss Plate Institute's national design standard for metal-plate connected wood truss construction (ANSI/TPI-1 latest edition). Trusses shall be designed and manufactured by an authorized member of the Wood Truss Council of America (NTCA). Truss design shall conform to specified codes, allowable stress increases, deflection limitations and other applicable criteria of the governing code. M. Truss shop drawings showing complete erection and fabrication details and calculations (including connections) shall be submitted to the project architect / engineer for review prior to fabrication and/or erection. Calculations shall bear the seal of a professional engineer, registered in the state of the project location. Shop drawings shall also be submitted to the local government controlling agency when requested by that agency. N. All trusses shall be securely braced both during erection and permanently as indicated on the approved truss design drawings and in accordance with TPI's commentary and recommendations for handling, installing and bracing metal-plate connected wood trusses (HIB-1, booklet) and the latest edition of ANSI/TPI-1. O. The truss manufacturer shall supply all hardware and fasteners for joining truss members together and fastening truss members to their supports. Metal connector plates shall be manufactured by a member of the Wood Truss Council of America (NTCA) and shall be 20 gauge minimum. Connector plates shall meet or exceed ASTM A653, grade 33, with ASTM A624 galvanized coating designation G60. P. Provide truss spacing indicated above and centered over HVAC closets. Refer to Architectural and MEP drawings for exact locations. Q. Shipment, handling, and erection of trusses shall be by experienced, qualified persons and shall be performed in a manner so as not to endanger life or property. Apparent truss damage shall be reported to the truss manufacturer for evaluation prior to erection. Cutting or alteration of trusses is not permitted. R. Pre-Engineered Floor Trusses Design Criteria: Top Chord Dead Load = 30 psf Top Chord Live Load = Per General Note 5B Bottom Chord Dead Load = 10 psf Live Load Deflection = L/480; (1/2" max) Total Load Deflection = L/360 S. Roof Truss Design Criteria: Top Chord Dead Load = 10 psf Top Chord Live Load = 25 psf (Plus Rooftop Equipment) Bottom Chord Snow Load = 25 psf plus Drift Bottom Chord Dead Load = 10 psf Bottom Chord Live Load = 5 psf Live Load Deflection = L/360 Total Load Deflection = L/300 T. Roof trusses shall be designed per 19. 2021 for net uplift resulting from wind loading as calculated using components and cladding loading. U. Construction bracing shall be provided by the contractor as required to keep the building and studs plumb. V. Structural members shall not be cut for pipes, etc., unless specifically detailed. Notching and boring of studs and top of plates shall conform to the provisions of section 2308.4.1.0 and 2308.4.1.1 of the IBC. Where top plates or sole plates are cut for pipes, a metal tension tie with minimum 0.059 inches thick and 1/2" inches wide shall be fastened to each plate across and to each side of the opening with not less than (6) 16d nails in accordance section 2308.4.1.0 of the IBC. W. All fasteners for wood to wood connections and wood connectors shall be as indicated in structural drawings or manufacturer literature to achieve full capacity of connector. Alternate fasteners may be submitted as a substitution request. Submittal must show that alternative fasteners will not reduce the capacity of the connection. 13. Shop Drawing Review: A. Bob D. Campbell and Company, Inc. will review the General Contractor's (GC) shop drawings and related submittals (as indicated below) with respect to the ability of the detailed work, when complete, to be a properly functioning integral element of the overall structural system designed by Bob D. Campbell and Company, Inc. B. Prior to submittal of a shop drawing or any related material to Bob D. Campbell and Company, Inc., the GC shall: 1) Review each submission for conformance with the means, methods, techniques, sequences and operations of construction and safety precautions and programs incident thereto, all of which are the sole responsibility of the GC. 2) Review and approve each submission as approved. C. Bob D. Campbell and Company, Inc. shall assume that no submission comprises a variation unless the GC advises Bob D. Campbell and Company, Inc. with written documentation. D. Shop drawings and related material (if any) required are indicated below. Should Bob D. Campbell and Company, Inc. require more than ten (10) working days to perform the review, Bob D. Campbell and Company, Inc. shall so notify the GC. 1) Concrete mix design and material certificates including admixtures and compounds applied to the concrete after placement. 2) Reinforcing steel shop drawings including erection drawings, wall elevations (include all mesh openings) and bending details. Bar list will not be reviewed for correct quantities. 3) Structural steel shop drawings including erection drawings and piece details. Include connection submittals and miscellaneous framing. 4) Miscellaneous anchors shown on the structural drawings. 5) Wood truss design calculations and detailed erection and fabrication drawings. Standard stick framing shop drawings need not be submitted. a) NOTE: Pre-engineered wood trusses to be deferred submittal. 6) Construction and control joint plans and/or elevations. E. Bob D. Campbell and Company, Inc. shall review shop drawings and related materials with comments provided that each submission has met the above requirements. Bob D. Campbell and Company, Inc. shall return without comment unrequired material or submissions without GC approval stamp. 14. Structural Special Inspection: A. The structural design for this project is based on completion of special inspections during construction in accordance with chapter 17 of the 2021 International Building Code. The owner shall employ one or more qualified special inspectors to provide the required special inspections. Special inspections shall be required for the items indicated below. The General Contractor shall provide notification to the inspector when items requiring inspection are ready to be inspected and provide access for those inspections. 1) Placement of Concrete 2) Testing of Concrete 3) Bolts in Concrete 4) Placement of Reinforcing Steel 5) Verification of Soil Bearing Capacities 6) High Strength Bolting 7) Drill & Epoxy Bolts 8) Structural Welding 9) Shear wall installation 10) Post-installed Anchors 11) Wood shear walls and holdowns 12) Wood gravity framing and placement C. The special inspector shall furnish inspection reports to the building official, owner, architect and structural engineer, and any other designated person. D. All discrepancies shall be brought to the immediate attention of the contractor for correction then, if uncorrected, to the proper design authority, building official and structural engineer. E. The special inspector shall submit a final signed report stating that the work requiring special inspection was, to the best of the inspector's knowledge, in conformance with the approved plans and specifications and the applicable workmanship provisions of the building code. 15. Copyright and Disclaimer: A. All drawings in the structural set (5-series drawings) are the copyrighted work of Bob D. Campbell and company, Inc. These drawings may not be photocopied, traced, or copies in any manner without the written permission of Bob D. Campbell and Company, Inc. Exception: Original drawings may be printed for distribution to the owner, architect, and general contractor for coordination, bidding and construction. Subcontractors may not reproduce these drawings for any purpose or in any manner. B. Jeff L. Wright, P.E., registered engineer and a representative of Bob D. Campbell and Company, Inc., do hereby accept professional responsibility as required by the professional registration laws of the state of the structural design drawings consisting of 5-series drawings. I hereby disclaim responsibility for all other drawings in the construction document package, they being the responsibility of other design professionals whose seals and signed statements may appear elsewhere in the construction document package.

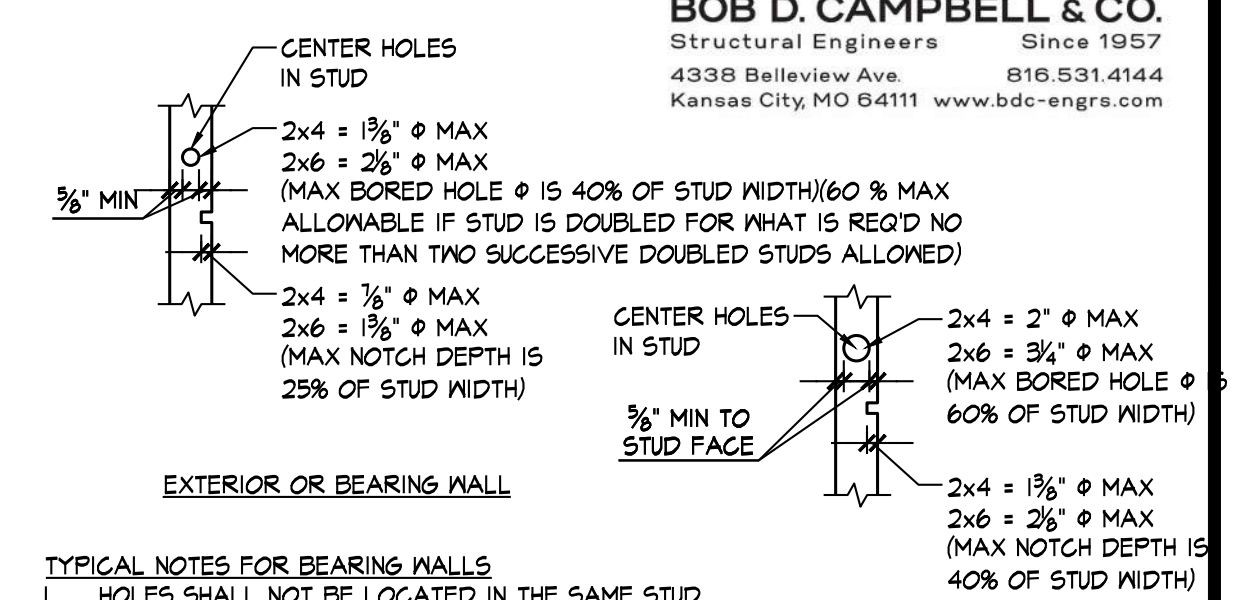
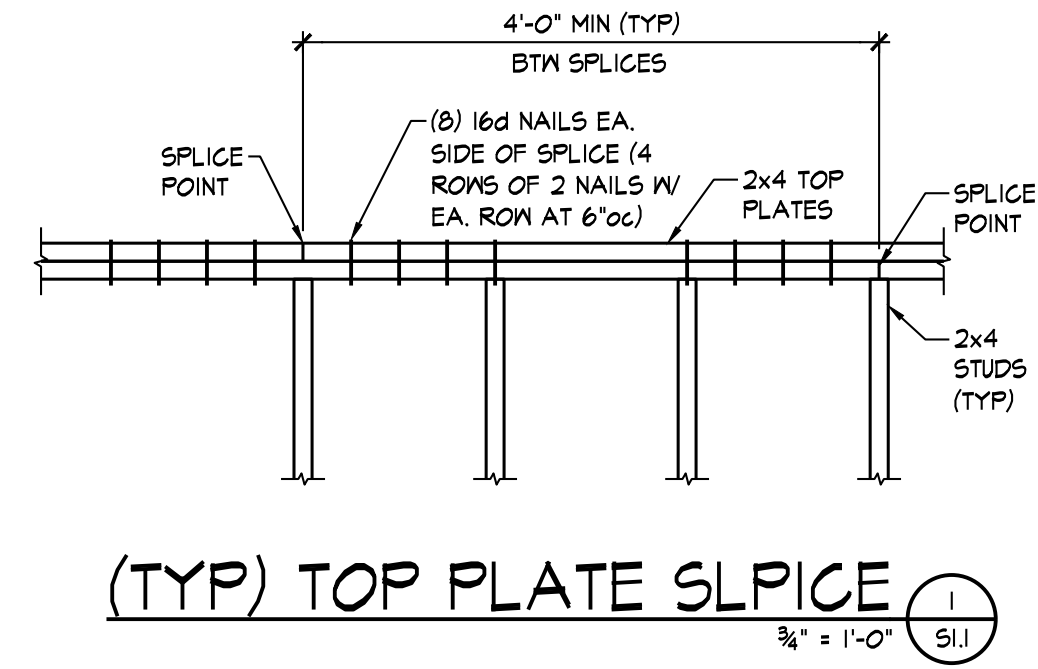
| HEADER SCHEDULE | | | |
|-----------------|-----------------------------------|-----------------|---------------------------------|
| MARK | HEADER | JAMB STUDS | NOTES |
| A | (2) 2x10 w/ 1/2" PLYWOOD SPACER P | 2 JACK / 1 KING | |
| B | (2) 2x12 TREATED | 2 JACK / 2 KING | |
| C | (2) 2x10 w/ 1/2" PLYWOOD SPACER P | 1 JACK / 2 KING | |
| D | (2) 2x12 w/ 1/2" PLYWOOD SPACER P | 1 JACK / 3 KING | |
| E | (2) 2x10 | 1 JACK / 2 KING | |
| F | (3) 1 3/4"x9/4" LVLs | 8 JACK | RE: DETAIL 13/53.2 |
| H | (2) 1 3/4"x9/4" LVLs | 3 JACK / 3 KING | EXTEND JAMB STUDS TO FOUNDATION |
| J | (2) 2x12 w/ 1/2" PLYWOOD SPACER P | 2 JACK / 2 KING | |
| K | (2) 1 3/4"x11/4" LVLs | 3 JACK / 2 KING | |
| L | (2) 1 3/4"x11/4" LVLs (UPSET) | 3 JACK / 1 KING | |
| M | (3) 1 3/4"x11/4" LVLs (UPSET) | 6 JACK | EXTEND JAMB STUDS TO FOUNDATION |

| STUD BEARING WALL & SHEATHING SCHEDULE | |
|--|---|
| LOCATION | STUD SIZE AND SPACING |
| (TYP) EXT WALL | 2x4 @ 16"oc DBL ALT STUDS (FIRST TO SECOND FLOOR) 2x4 @ 16"oc (SECOND FLOOR & ABOVE) |
| INT WALL (EXCEPT AT NON TRUSS BRG CORRIDORS) | 2x4 @ 16"oc DBL ALT STUDS (FIRST TO SECOND FLOOR) 2x4 @ 16"oc (SECOND FLOOR & ABOVE) |
| INT WALL (AT NON TRUSS BRG WALLS) | 2x4 @ 16"oc |

- NOTES:
- PROVIDE 2x BLOCKING @ MID HEIGHT (5'-0" MAX) @ ALL LOAD BEARING WALLS NOT SHEATHED ON BOTH SIDES AND ALL 2x8 WALLS.
 - ALL STUDS TO BE NO. 2 GRADE UNO.
 - RE: 6/51.1 FOR NAILING OF MULTIPLE STUDS. REFER TO ARCHITECT DRAWINGS FOR LOCATIONS OF FURRED OUT WALLS TO ACCOMMODATE PLUMBING OR MEP ITEMS.

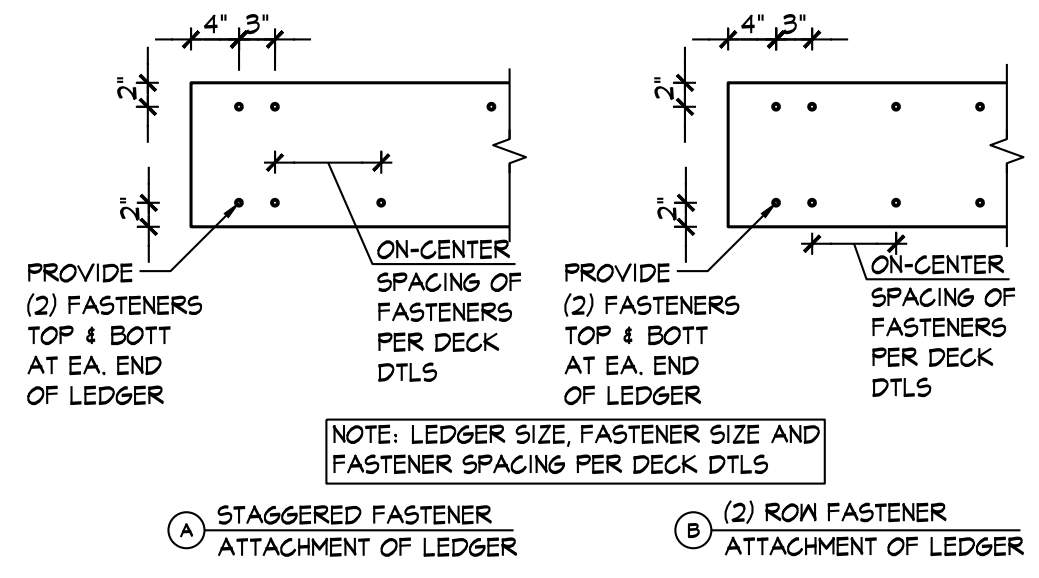
| STRUCTURAL DECK & SLAB SCHEDULE | |
|---------------------------------|--|
| MARK | DESCRIPTION |
| FD-1 | 3/4" PLYWOOD SHEATHING ATTACH w/ 8d NAILS @ 6"oc AT EDGES AND 12"oc AT FIELD. |
| FD-2 | TREATED 2x6 DECKING |
| FD-3 | 3/4" MARINE-GRADE PLYWOOD SHEATHING |
| RD-1 | 5/8" ZIP STRIP ROOF SHEATHING ATTACH w/ 8d NAILS @ 6"oc AT EDGES AND 12"oc AT FIELD. |
| SOG-1 | 4" CONCRETE SLAB ATOP 15 ML VAPOR BARRIER ATOP 4" GRAVEL ATOP 24" MOISTURE-CONDITIONED SUBGRADE PREPARED IN AGREEMENT WITH PROJECT SOILS REPORT, REINF. w/ 6x6-6/6 WWF. EL. T/C = 100'-0". |
| SOG-2 | 6" CONCRETE SLAB ATOP 4" GRAVEL ATOP 22" MOISTURE-CONDITIONED SUBGRADE PREPARED IN AGREEMENT WITH PROJECT SOILS REPORT, REINF. w/ #4 @ 12"oc, EACH WAY. |

- NOTES:
- FD = FLOOR DECK TYPE
 - RD = ROOF DECK TYPE
 - SOG = SLAB ON GRADE TYPE

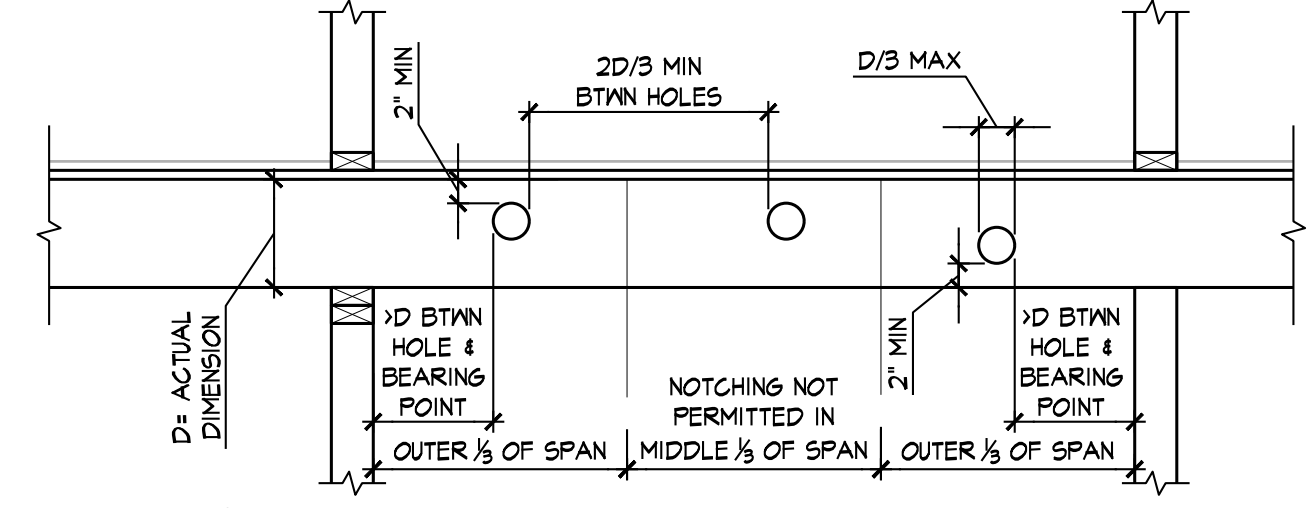


- TYPICAL NOTES FOR BEARING WALLS
- Holes shall not be located in the same stud as a cut or notch.
 - Contact engineer prior to cutting or notching to verify size and location if holes greater than 20% stud width or notches greater than 10% stud width are required in two or more consecutive studs.
 - Notches or holes not permitted in jacks, stud packs and at ends of shearwalls.

- NOTES:
- JAMB STUDS SHALL MATCH SIZE & GRADE OF WALL STUDS UNO.
 - WHERE BEAM IS NOTED 'UPSET', ALL JAMB STUDS NOTED WILL EXTEND TO DOUBLE TOP PLATE.
 - ALL EXTERIOR WALLS TO BE TREATED.
 - PROVIDE SQUASH BLOCKS AT TRUSSES & BLOCKING FRAMING WHERE JAMBS OR STUD PACKS ARE DISCONT. QUANTITY TO MATCH JAMB OR STUD PACK ABOVE.
 - PROVIDE 1/2" PLYWOOD SPACER PLS AT HEADERS CONSTRUCTED WITH 2x LUMBER.
 - AT CONTRACTOR'S OPTION PROVIDE GLULAM IN LIEU OF PSLs.
 - REFER TO DTL 4/51.1 FOR MULTI-PLY MEMBER CONNECTION REQUIREMENTS
 - ATTACH JAMB AND KING STUDS TOGETHER PER CONNECTION TYPE 24 IN NAILING SCHEDULE ON SHEET S1.0.
 - REFER TO DETAILS 9/50.04 FOR TYPICAL HEADER CONDITIONS.



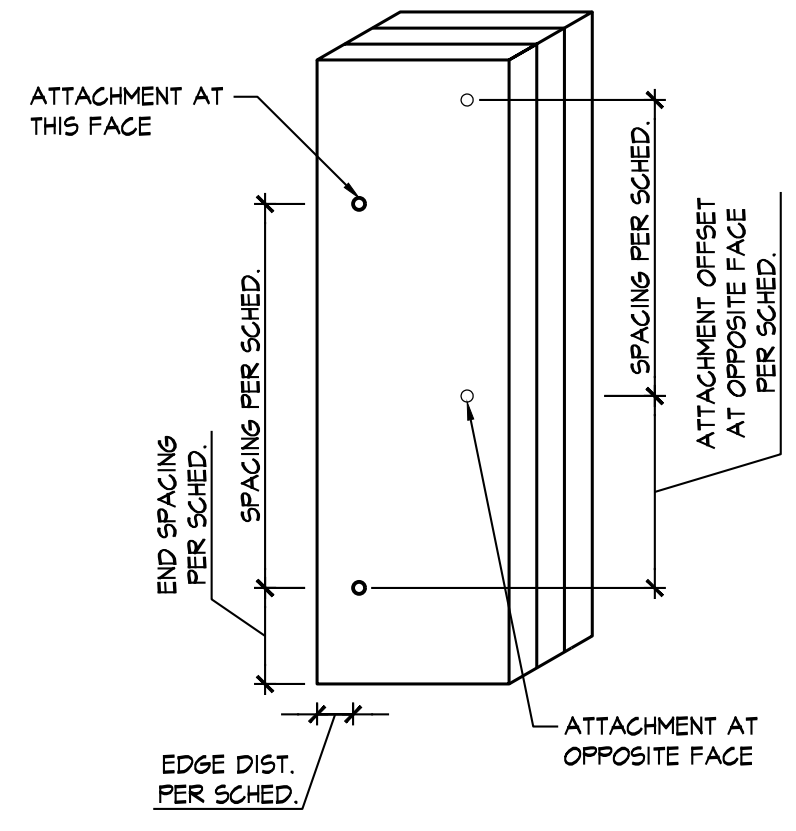
TYPICAL LEDGER CONNECTION
3/4" = 1'-0" S1.1



- NOTE:
- CONTACT ARCHITECT PRIOR TO CUTTING JOISTS TO VERIFY SIZE AND LOCATION
 - DETAIL APPLIES TO 2x FRAMING ONLY. REFER TO ENGINEERED OR COMPOSITE LUMBER MANUFACTURER'S RECOMMENDATIONS AT PSLs, LVLs, LSLs & GLULAM

SECTION 4
3/4" = 1'-0" S1.1

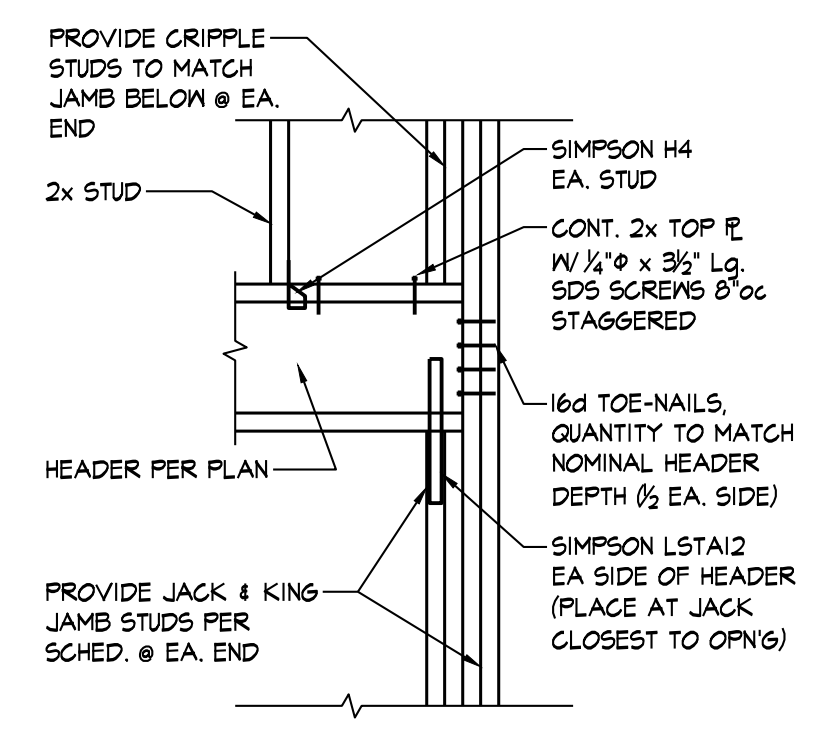
TYPICAL MULTI-PLY BEAM CONNECTION
3/4" = 1'-0" S1.1



TYPICAL MULTI-PLY STUD CONNECTION
1/2" = 1'-0" S1.1

| BUILT-UP STUD PACK COLUMN ATTACHMENT SCHEDULE | | |
|---|---|--|
| NUMBER OF PLYS | ATTACHMENT AT COLUMN STUD PACKS SUPPORTING BEAMS | ATTACHMENT AT WALL STUD PACKS SUPPORTING TRUSSES |
| 2-PLY MEMBERS | 8d NAILS AT 12"oc, 1" FROM EDGE, W/ OPPOSITE EDGE NAILED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST NAIL 2" FROM EA. END | 8d NAILS AT 12"oc, 1" FROM EDGE, W/ OPPOSITE EDGE NAILED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST NAIL 2" FROM EA. END |
| 3-PLY MEMBERS | 20d NAILS AT 16"oc, 1 1/2" FROM EDGE W/ OPPOSITE EDGE NAILED FROM OPPOSITE SIDE OFFSET 6", @ 16"oc W/ FIRST NAIL 3" FROM EA. END | 8d NAILS AT 12"oc, 1" FROM EDGE, W/ OPPOSITE EDGE NAILED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST NAIL 2" FROM EA. END |
| 4-PLY MEMBERS | 1/4"x5" SIMPSON SDS SCREWS AT 16"oc, 1 1/2" FROM EDGE W/ OPPOSITE EDGE SCREWED FROM OPPOSITE SIDE OFFSET 6", @ 16"oc W/ FIRST SCREW 4" FROM EA. END | 3 PLYS ATTACHED PER 3-PLY ATTACHMENT WITH 4TH PLY ATTACHED WITH 8d NAILS AT 12"oc IN 2 ROWS, 1 1/2" FROM EDGE, OFFSET ROWS 6" |
| 5-PLY MEMBERS | 1/4"x6" SIMPSON SDS SCREWS AT 12"oc, 1 1/2" FROM EDGE W/ OPPOSITE EDGE SCREWED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST SCREW 4" FROM EA. END | 3 PLYS ATTACHED PER 3-PLY ATTACHMENT WITH 4TH & 5TH PLY ATTACHED AT OPPOSITE SIDES WITH 8d NAILS AT 12"oc IN 2 ROWS, 1 1/2" FROM EDGE, OFFSET ROWS 6" |
| 6-PLY MEMBERS | 1/4"x8" SIMPSON SDS SCREWS AT 12"oc, 1 1/2" FROM EDGE W/ OPPOSITE EDGE SCREWED FROM OPPOSITE SIDE OFFSET 6", @ 12"oc W/ FIRST SCREW 4" FROM EA. END | 3-PLIES ATTACHED PER 3-PLY ATTACHMENT WITH 4TH PLY ATTACHED WITH 8d NAILS AT 12"oc IN 2 ROWS, 1 1/2" FROM EDGE, OFFSET ROWS 6" AND 5TH AND 6TH PLYS ATTACHED WITH 1/4"x5" SIMPSON SDS SCREWS AT 12"oc IN 2 ROWS, 1 1/2" FROM EDGE, OFFSET ROWS 6"oc W/ FIRST SCREW 4" FROM EA. END |

- NOTES:
- ALL BUILT-UP STUD PACKS MUST ALIGN FLOOR-TO-FLOOR WITH SOLID BLOCKING (SQUASH BLOCKS) AT FLOOR CAVITIES.
 - EXTEND ALL STUD PACKS TO COLUMNS UNLESS NOTED OTHERWISE.
 - ALL NAILS ARE COMMON NAILS UNLESS NOTED OTHERWISE.



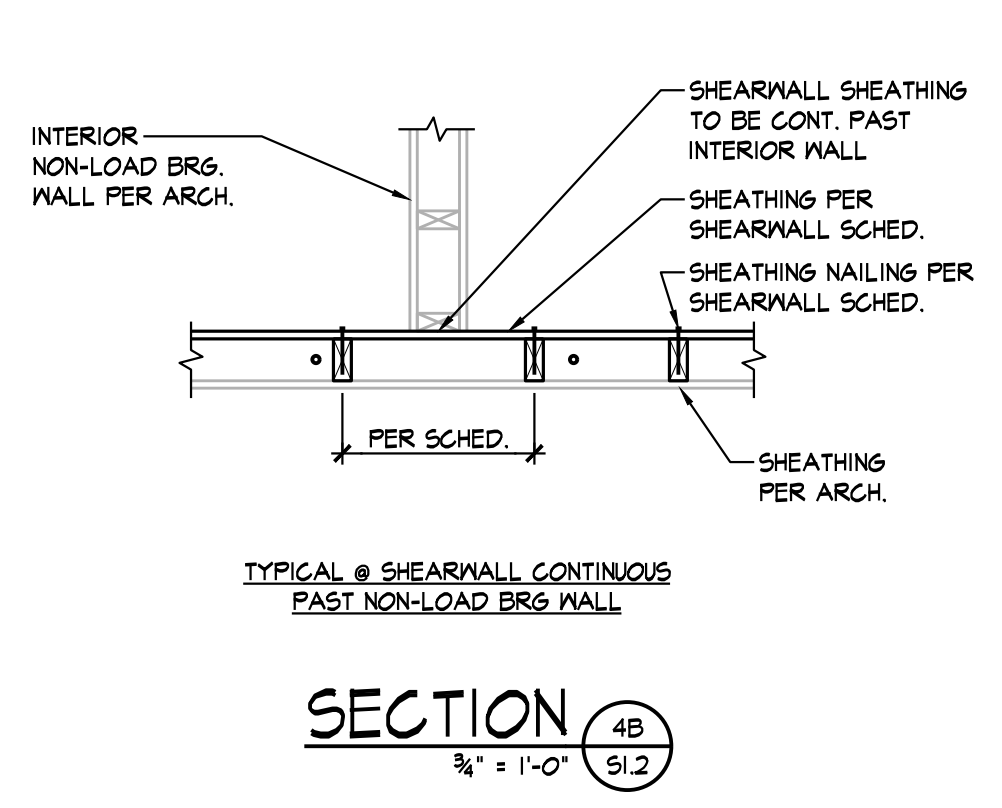
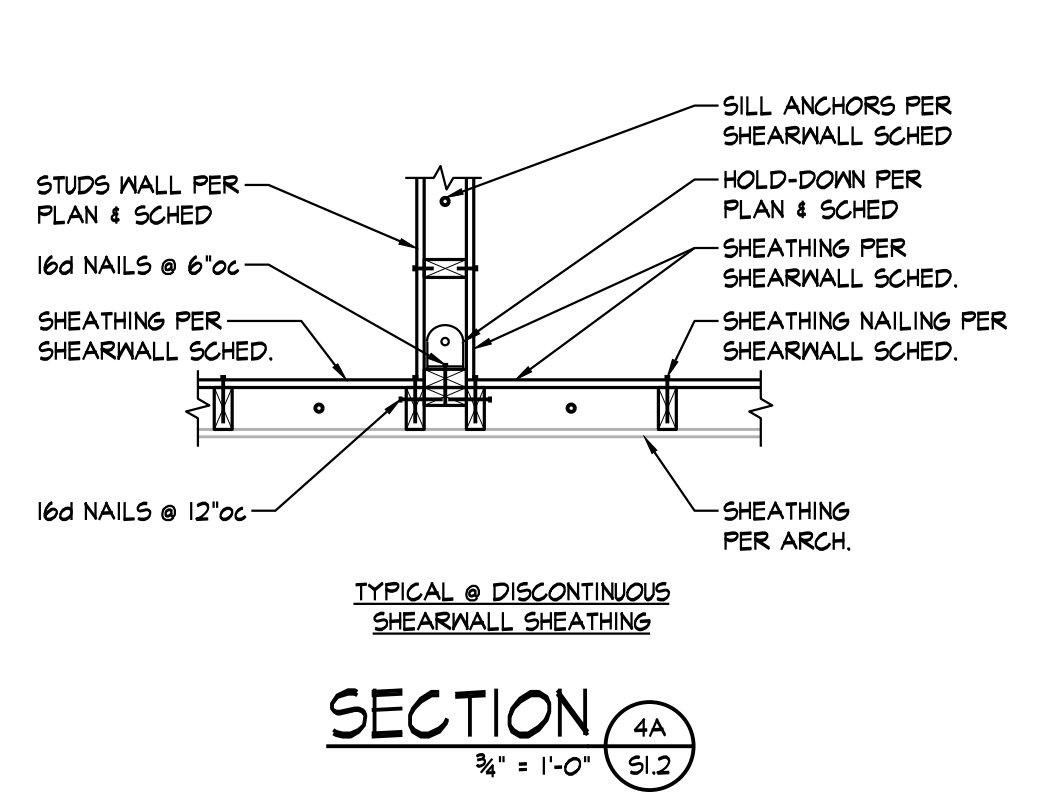
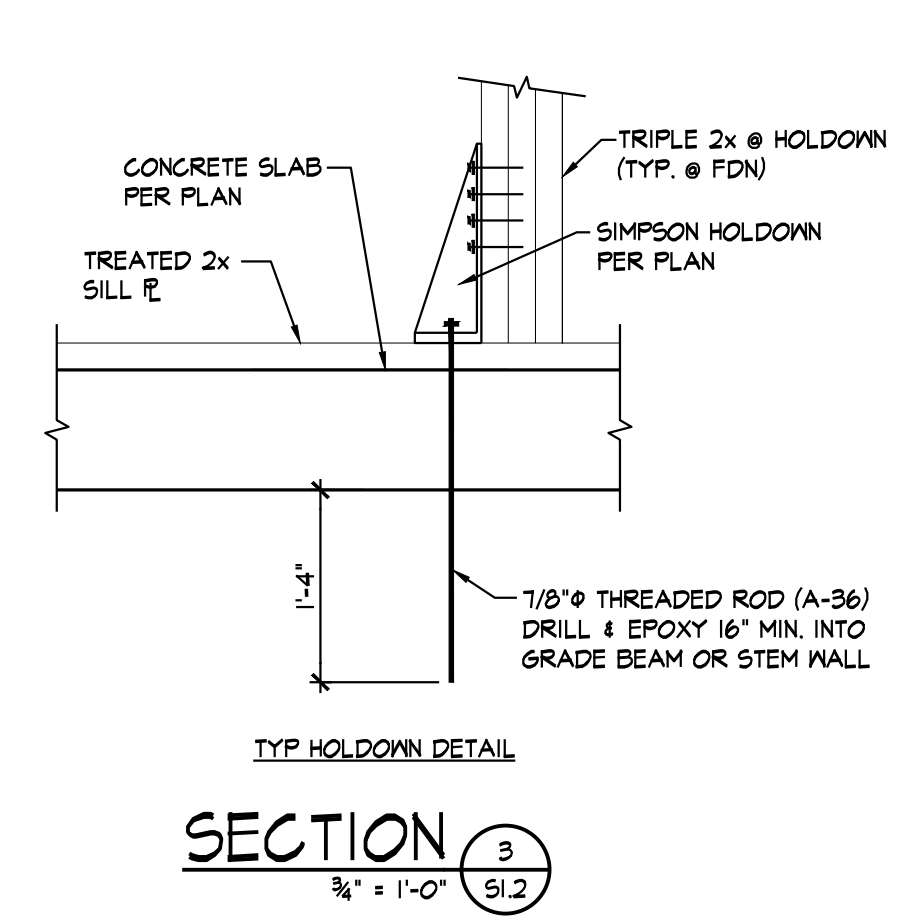
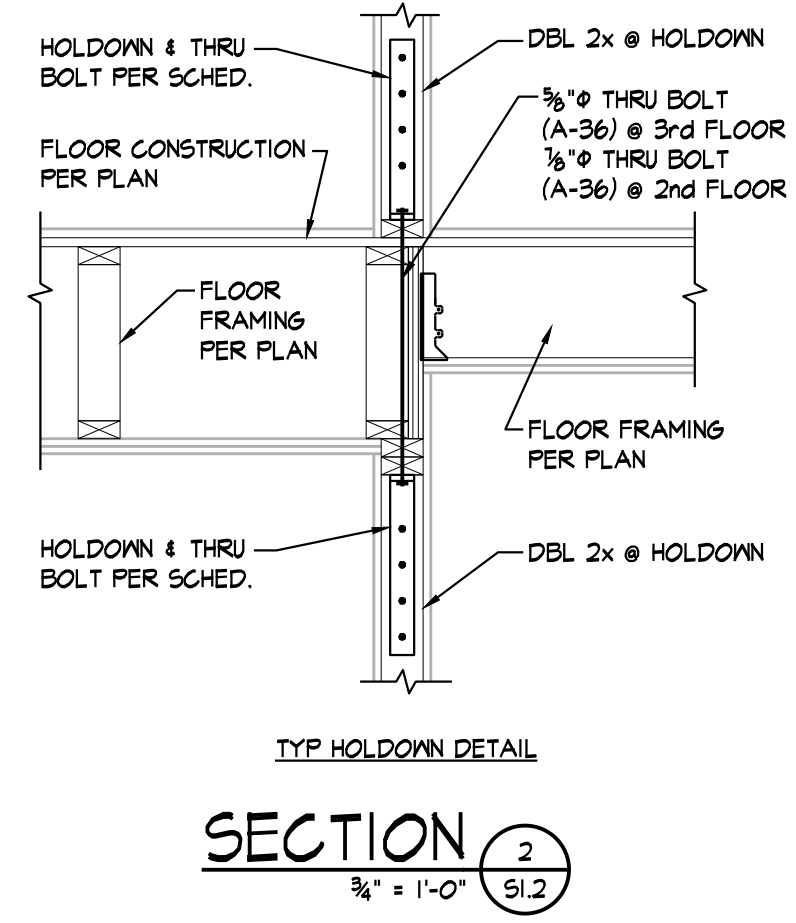
SECTION 7
3/4" = 1'-0" S1.1

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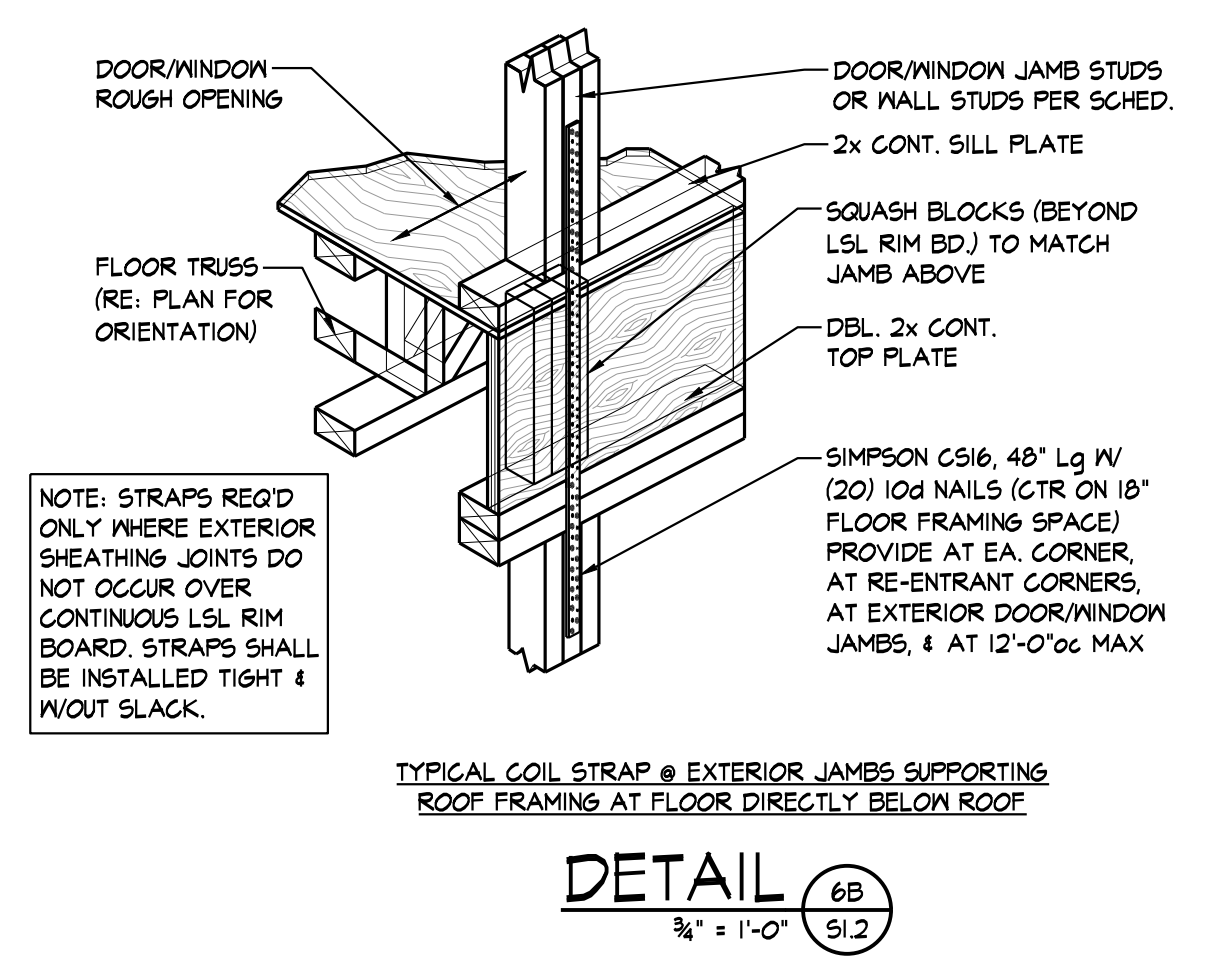
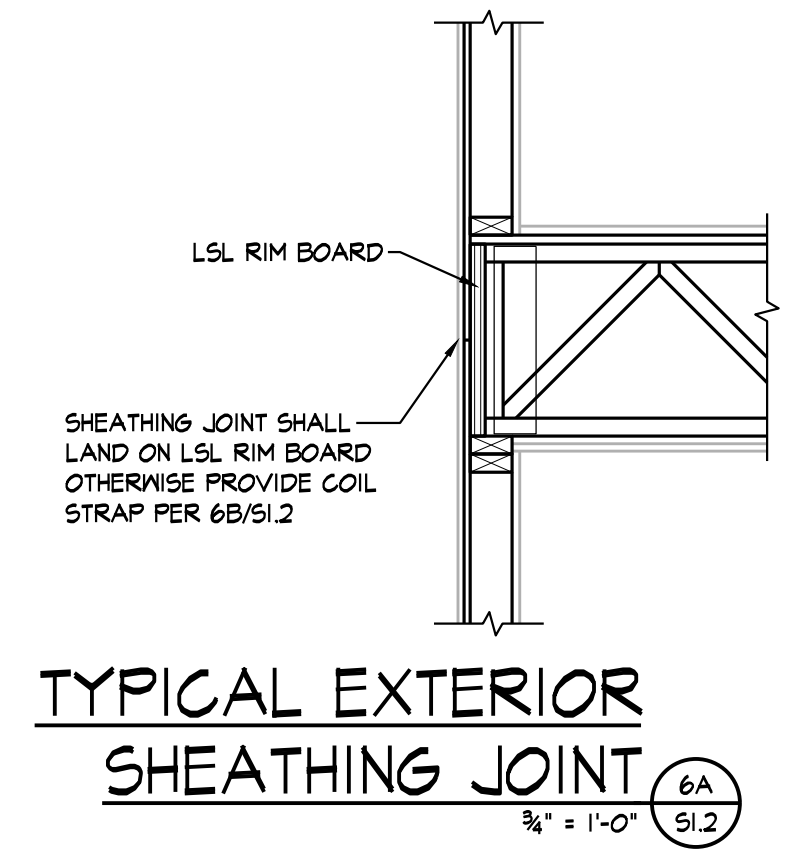
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| JOB: | 22-3219 |
| SHEET NO.: | |



| MARK | FLOOR LEVEL (W/ APPLICABLE HOLDOWN TYPE PER FLOOR) | | |
|------|---|-------------|-------------|
| | 1st FLOOR | 2nd FLOOR | 3rd FLOOR |
| * | HDUB-SDS2.5 | HDUB-SDS2.5 | HDU5-SDS2.5 |

- NOTES:
- HOLDOWN TYPES ARE BASED UPON MANUFACTURER SIMPSON STRONG-TIE.
 - REFER TO SECTION DETAILS ON S1.2 FOR TYPICAL HOLDOWN DETAILS.
 - WHERE THE ENDS OF PERPENDICULAR SHEAR WALLS INTERSECT AND ONLY ONE HOLDDOWN SHOWN ON PLAN, FASTEN ALL STUDS TOGETHER PER SCHEDULE AND USE LARGER OF THE TWO HOLDDOWNS SHOWN ON THE SHEAR WALL SCHEDULE.
 - ALL HOLDOWN POSTS TO BE (2) 2"x (MIN) (UNO.) TO MATCH STUD SIZE & GRADE NOTED IN WALL SCHEDULE. PROVIDE ADDITIONAL STUDS AS REQ'D TO MEET QUANTITY NOTED IN SCHED.
 - REFER TO SECTIONS 2/S1.2, 3/S1.2, 4A/S1.2 & 4B/S1.2 FOR HOLDOWN ANCHOR REQUIREMENTS.



| SHEARWALL LOCATION | SHEARWALL TYPE | FLOOR | | SILL PLATE CONNECTION (RE: NOTES 6 & 7) | NUMBER OF WALL STUDS AT HOLD-DOWN (RE: NOTE 4) |
|--------------------|----------------|----------------------|--|--|---|
| | | 1st FLOOR WALLS | 2nd & 3rd FLOOR WALLS | | |
| AT DEMISING WALLS | SM | MATERIAL & THICKNESS | 1/2" PLYWOOD SHEATHING ONE SIDE, W/ EDGES BLOCKED | 1/2" PLYWOOD SHEATHING ONE SIDE, W/ EDGES BLOCKED | |
| | | NAIL SIZE & SPACING | 8d NAILS 4/12 | 8d NAILS 6/12 | |
| AT EXTERIOR WALLS | SM | MATERIAL & THICKNESS | 2 1/2" ZIP R-12 SHEATHING ONE SIDE, W/ EDGES BLOCKED | 2 1/2" ZIP R-12 SHEATHING ONE SIDE, W/ EDGES BLOCKED | |
| | | NAIL SIZE & SPACING | 0.131" SHANK NAILS w/ 1 1/2" MIN. PENETRATION INTO FRAMING, 3/12 SPACING | 0.131" SHANK NAILS w/ 1 1/2" MIN. PENETRATION INTO FRAMING, 3/12 SPACING | |

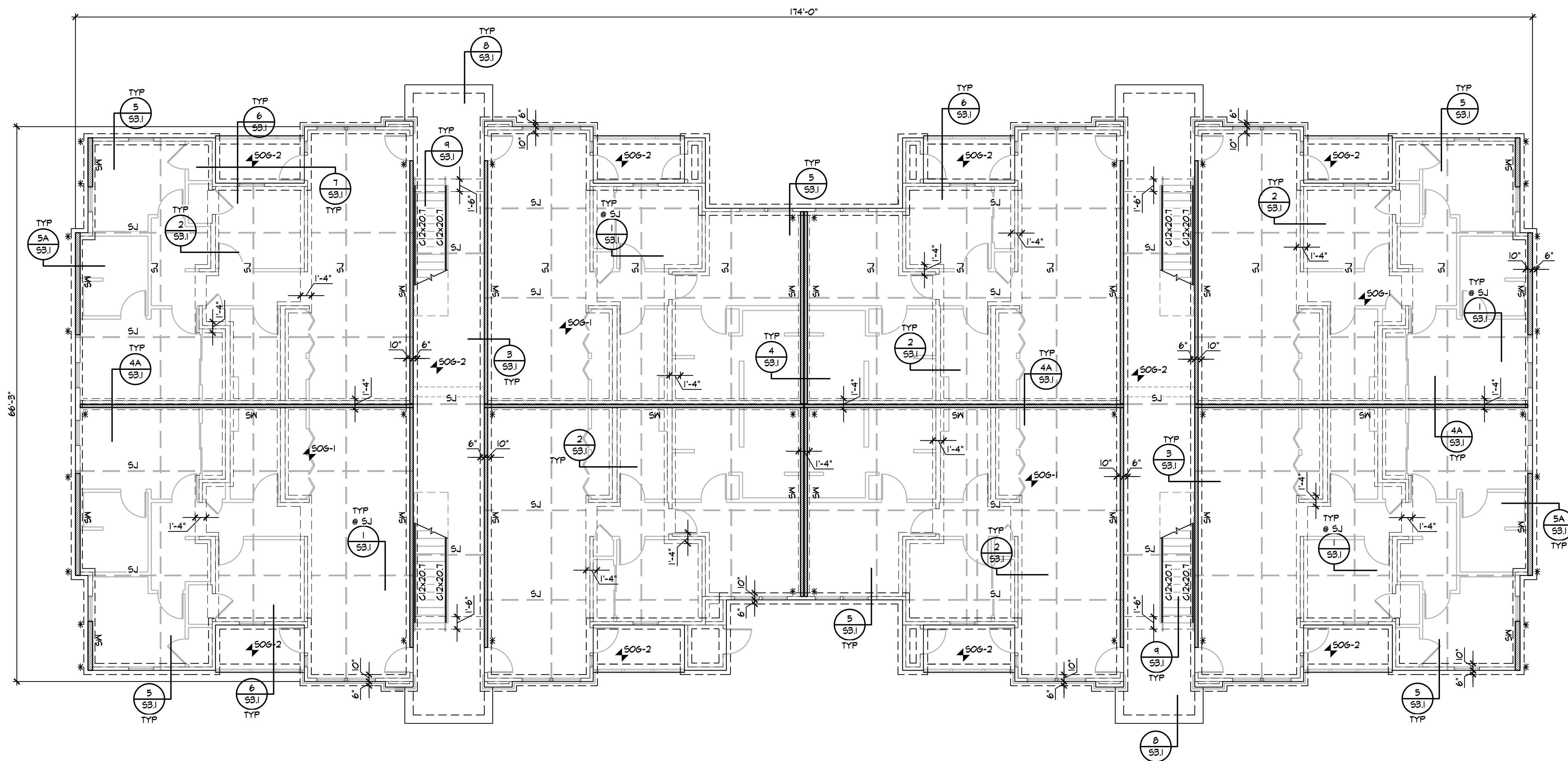
- NOTES:
- NAILING SHALL BE TO ALL STUDS, TOP & BOTTOM PLATES, AND BLOCKING WHERE INDICATED.
 - HOLDOWNS PER PLAN & SCHEDULE.
 - WHERE THE ENDS OF PERPENDICULAR SHEAR WALLS INTERSECT AND ONLY ONE HOLDDOWN SHOWN ON PLAN, FASTEN ALL STUDS TOGETHER PER SCHEDULE AND USE LARGER OF THE TWO HOLDDOWNS SHOWN IN THE SHEARWALL SCHEDULE. REFERENCE DETAILS 4A, 4B, 4C, AND 4D ON SHEET S1.2 FOR SHEATHING AND HOLDOWN ATTACHMENT AT PERPENDICULAR WALLS AND STUD WALL SIZE TRANSITIONS.
 - PROVIDE 2 WALL STUDS AT EACH HOLDDOWN UNLESS NOTED OTHERWISE IN SCHEDULE. AT LOCATIONS WHERE A SHEARWALL TERMINATES AT A OPENING JAMB, PROVIDE NUMBER OF STUDS PER JAMB SCHEDULE PLUS AN ADDITIONAL STUD FOR THE SHEARWALL. ATTACH ALL STUDS TOGETHER PER 6/S1.1. REFER TO DETAILS 8A & 8B ON S1.2.
 - NAIL SPACING SHOWN AS (N/A) INDICATES FASTENERS SPACING IN INCHES AT THE EDGES/FIELD WHERE FIELD IS THE INTERMEDIATE MEMBERS.
 - TYPICAL SILL PLATE TO WOOD SHALL BE 20G COMMON NAILS (1.0x2x4") AT 12"OC UNLESS NOTED OTHERWISE IN SCHEDULE.
 - TYPICAL SILL PLATE TO CONCRETE SHALL BE 1/2" ANCHORS:
AT 2x4 WALLS SPACE AT 24"OC MAX WITH 1/4"x2 1/2"x2 1/2" PLATE WASHER OR SIMPSON BPS 1/2 - 3 @ CONTRACTORS OPTION
PLATE WASHERS TO MAINTAIN MAX OF 1/2" BETWEEN EDGE OF SILL PLATE AND EDGE OF PLATE WASHER
 - SHEARWALL SHEATHING CALLED OUT AT CORRIDOR WALLS SHALL BE LOCATED AT UNIT SIDE OF WALL
 - AT GYPSUM SHEARWALLS NO 6 x 1 1/2" TYPE S OR W SCREWS CAN BE UTILIZED AS THE SAME SPACING AS SPECIFIED 6d NAILS.
 - NAILS @ WOOD STRUCTURE PANEL SHEAR WALLS SHALL BE GALVANIZED COMMON OF TYPE INDICATED IN SCHED.

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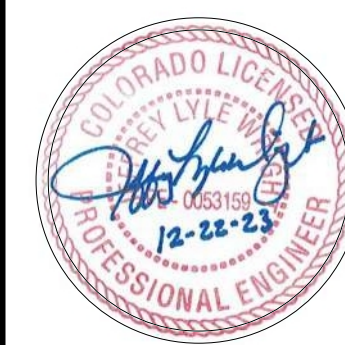


BUILDING E FOUNDATION FRAMING PLAN
1/8" = 1'-0"

- NOTES:
1. REFER TO GENERAL NOTES ON SHEET S1.0
 2. REFER TO COLUMN & FOOTING SCHEDULE ON SHEET S1.1
 3. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN
 4. REFER TO SHEET S2.24 FOR SHEARMALL AND HOLDOWN INFORMATION
 5. REFER TO SECTION 3 ON SHEET S1.2 FOR HOLDOWN DETAIL AT THE FIRST FLOOR

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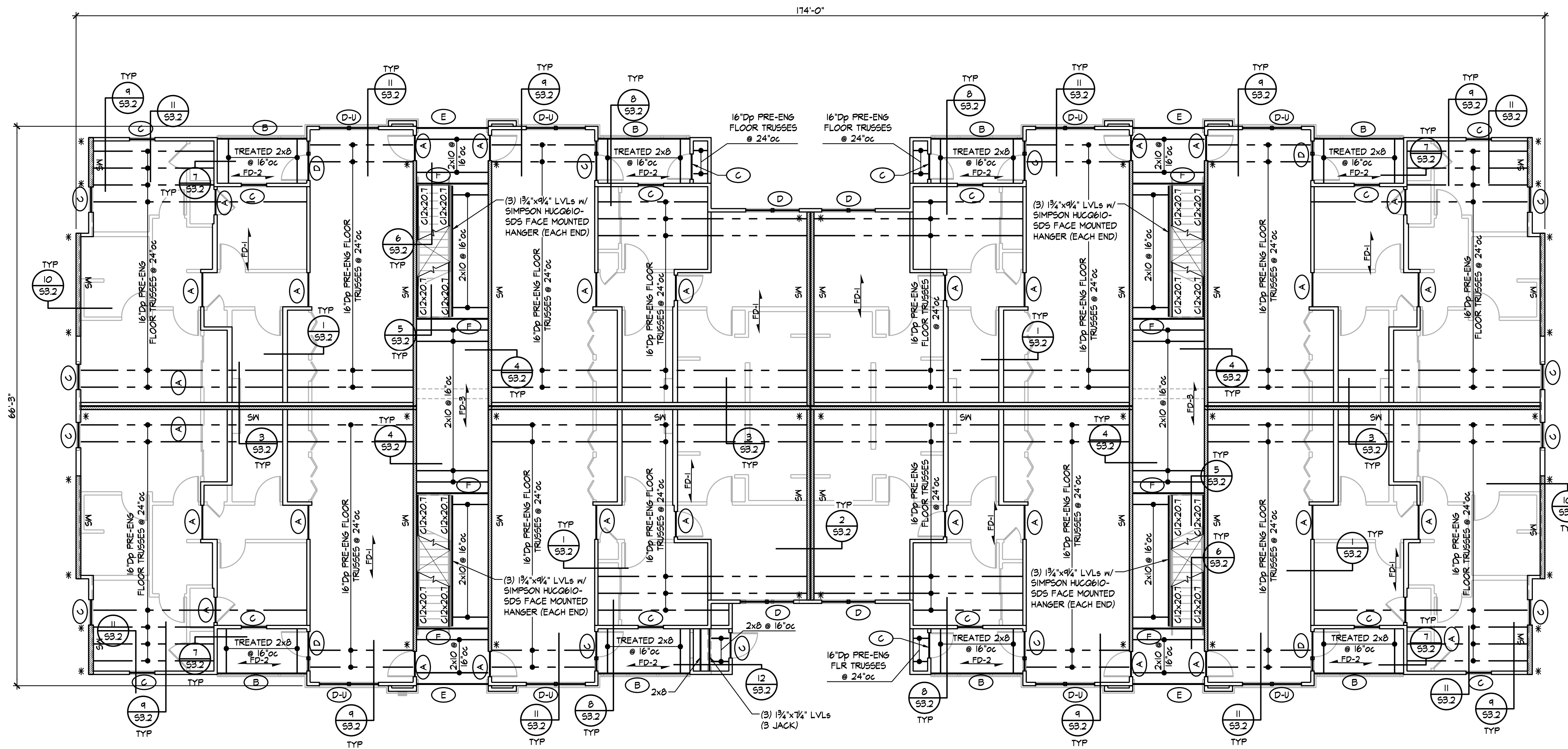
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THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA, COLORADO

S2.20



BUILDING E SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"

- NOTES:
1. REFER TO GENERAL NOTES ON SHEET S1.0
 2. REFER TO HEADER SCHEDULE ON SHEET S1.1
 3. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN
 4. REFER TO SHEET S2.24 FOR SHEARMALL AND HOLDOWN INFORMATION
 5. REFER TO SECTIONS 2, 4A AND 4B ON SHEET S1.2 FOR HOLDOWN DETAILS AT THE SECOND FLOOR
 6. REFER TO SHEETS S1.1 AND S1.2 FOR TYPICAL NAILING WOOD FRAMING DETAILS

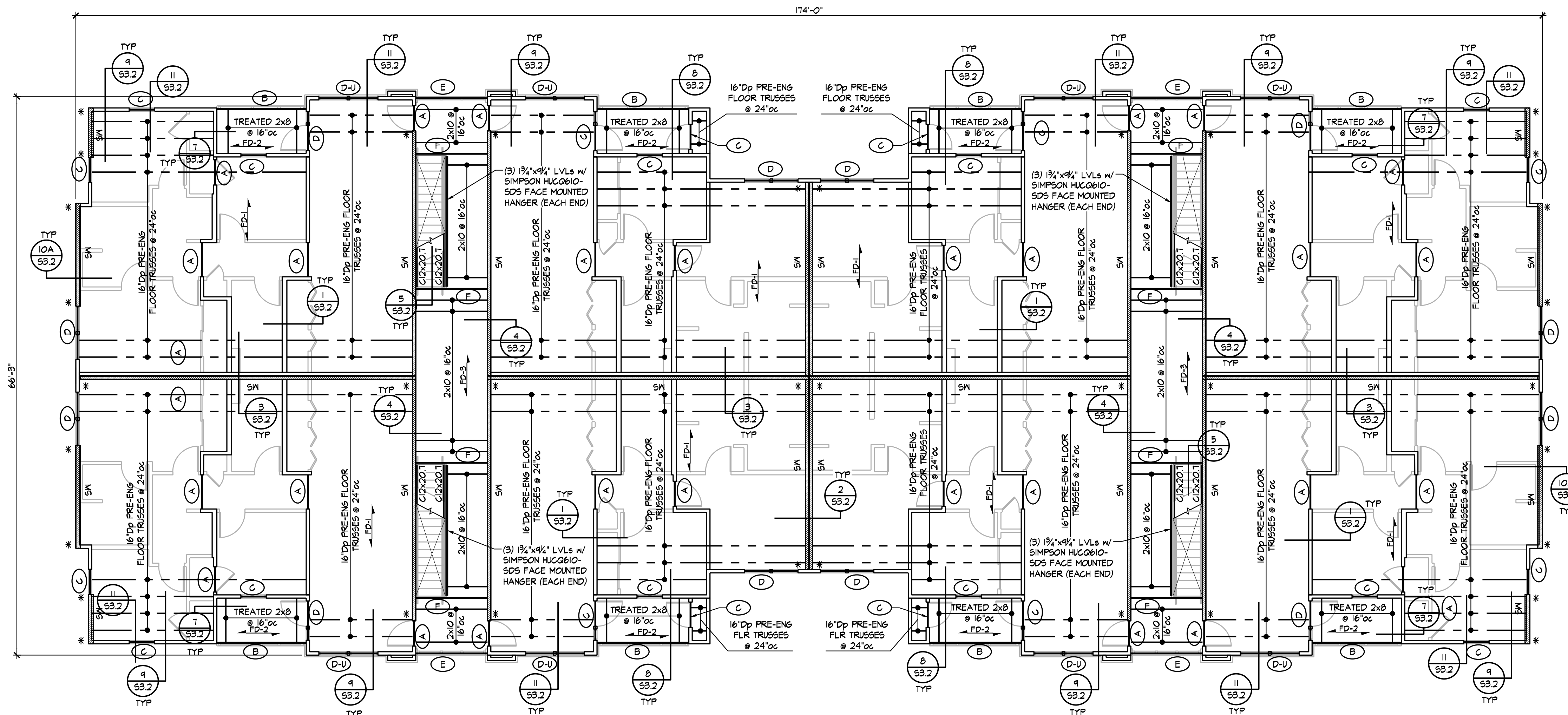
Provide EOR reviewed engineered truss drawings and details, in accordance with 2021 IBC 2303.4, to inspector at time of rough frame inspection.

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|------------|-----------|
| REVISION: | |
| DATE: | 9-20-2023 |
| JOB: | 22-3219 |
| SHEET NO.: | |



BUILDING E THIRD FLOOR FRAMING PLAN
1/8" = 1'-0"

- NOTES:
1. REFER TO GENERAL NOTES ON SHEET S1.0
 2. REFER TO HEADER SCHEDULE ON SHEET S1.1
 3. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN
 4. REFER TO SHEET S2.24 FOR SHEARWALL AND HOLDOWN INFORMATION
 5. REFER TO SECTIONS 2, 4A AND 4B ON SHEET S1.2 FOR HOLDOWN DETAILS AT THE THIRD FLOOR
 6. REFER TO SHEETS S1.1 AND S1.2 FOR TYPICAL NAILING WOOD FRAMING DETAILS

Provide EOR reviewed engineered truss drawings and details, in accordance with 2021 IBC 2303.4, to inspector at time of rough frame inspection.

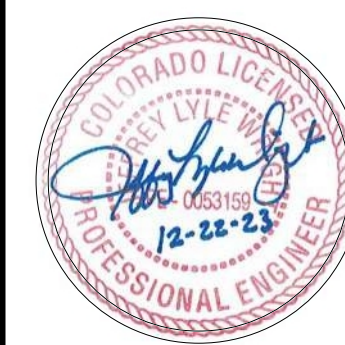
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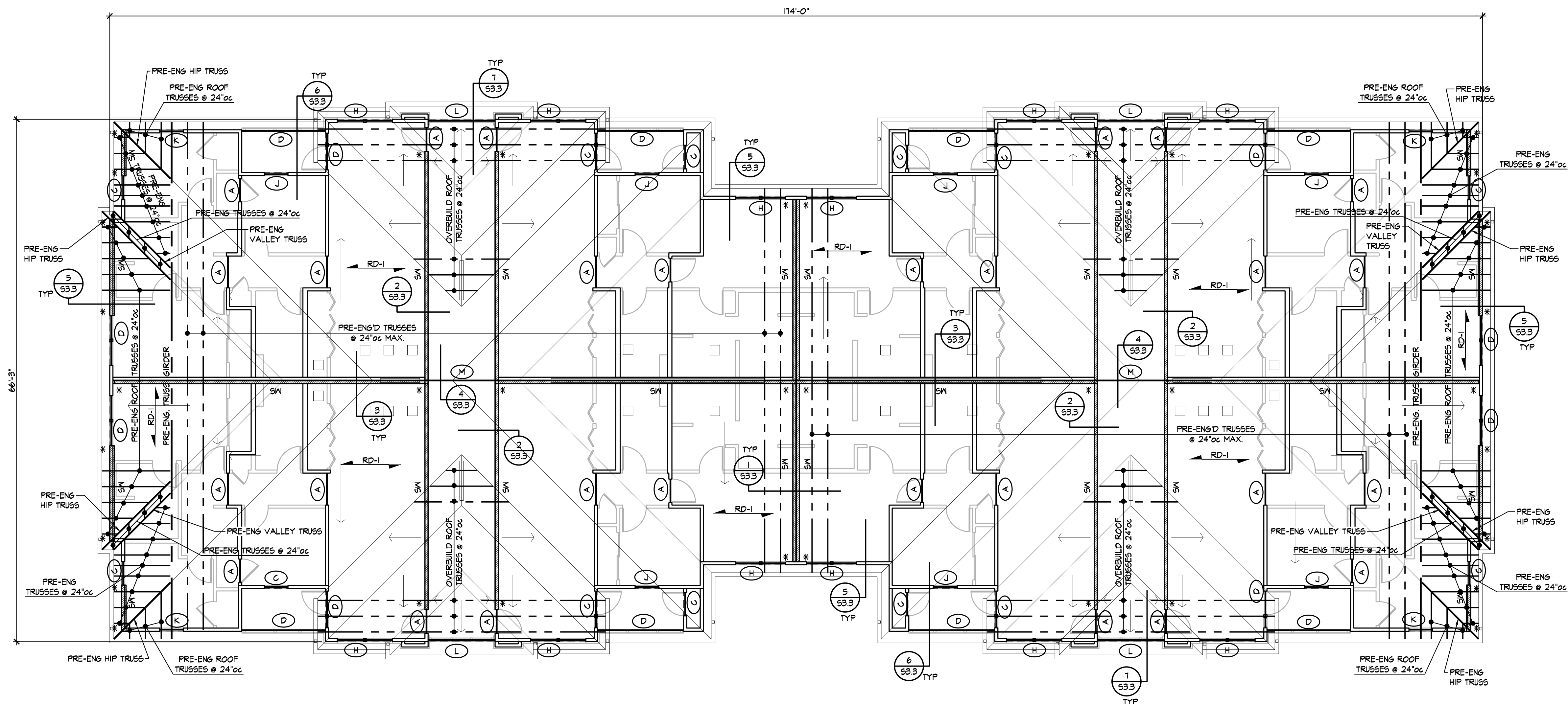
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THE RESERVES at EAGLE POINT
415 NORTH PICADILLY RD
AURORA, COLORADO



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| REVISION: | |
| DATE: | 9-20-2023 |
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| SHEET NO.: | |

S2.22



BUILDING E ROOF FRAMING PLAN
1/8" = 1'-0"

- NOTES:
1. REFER TO GENERAL NOTES ON SHEET S1.0
 2. REFER TO HEADER SCHEDULE ON SHEET S1.1
 3. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN
 4. PROVIDE TRIPLE STUDS AT ALL PRE-ENG. TRUSS GIRDERS AND HIP/VALLEY TRUSSES
 5. REFER TO SHEETS S1.1 AND S1.2 FOR TYPICAL NAILING WOOD FRAMING DETAILS

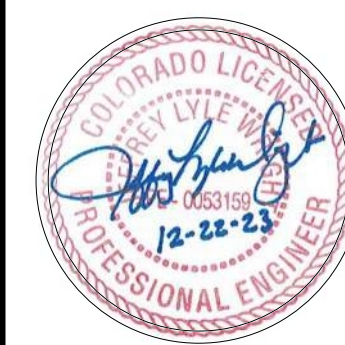
Provide EOR reviewed engineered truss drawings and details, in accordance with 2021 IBC 2303.4, to inspector at time of rough frame inspection.

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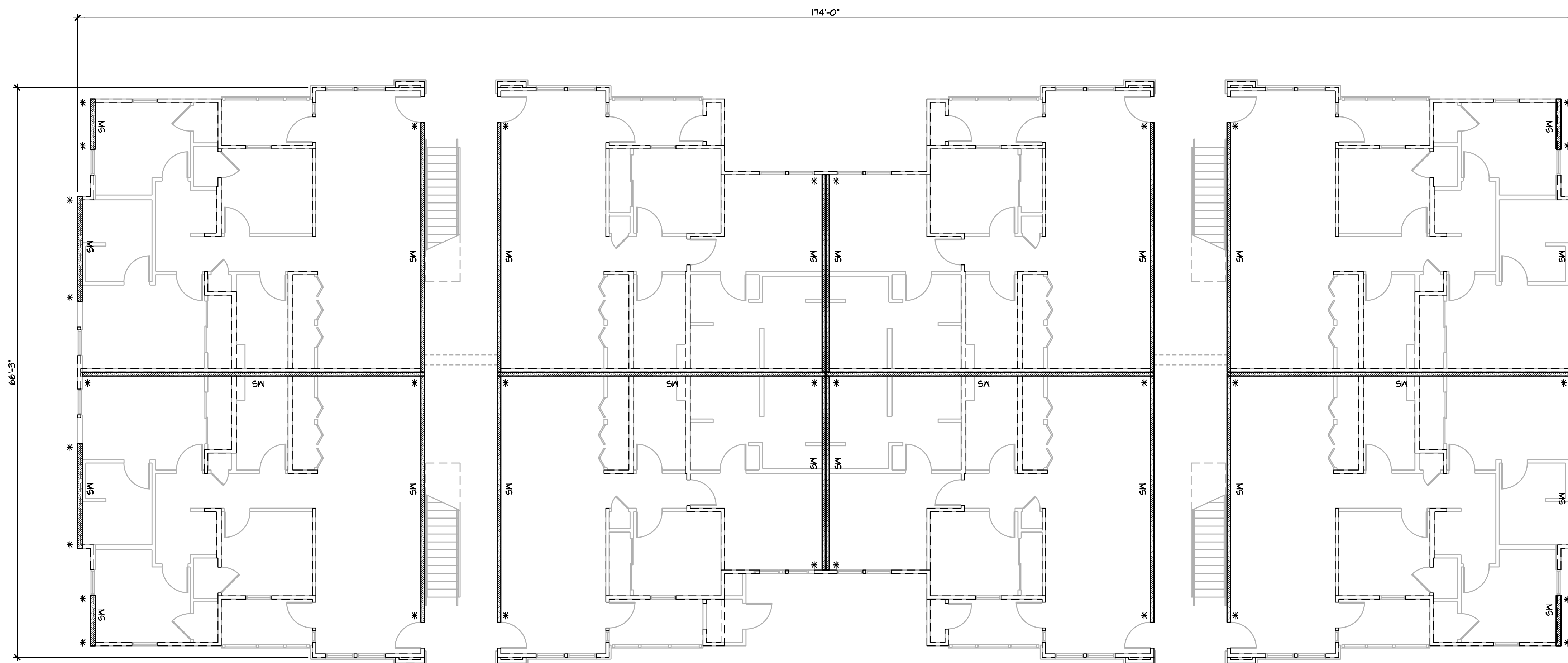


City of Aurora Building Division
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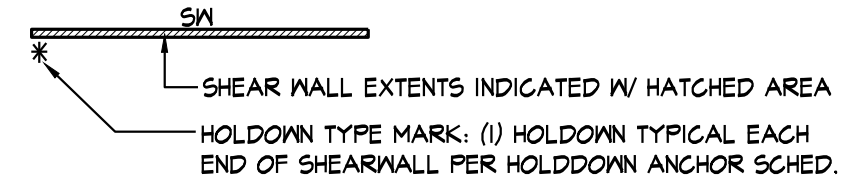


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BUILDING E SHEARWALL PLAN
 1/8" = 1'-0"

- NOTES:
 1) REFER TO GENERAL NOTES ON SHEET S1.0
 2) REFER TO SHEARWALL & HOLDOWN SCHEDULES ON SHEET S1.2
 3) SHEARWALLS/HOLDOWNS DESIGNATED AS FOLLOWS.



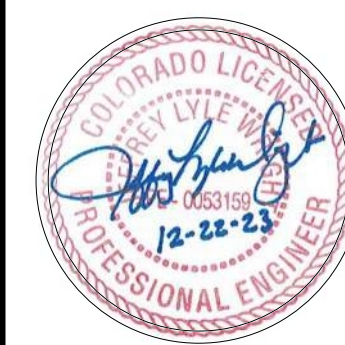
- 4) REFER TO SECTIONS 2/S1.2 & 3/S1.2 FOR HOLDOWNS AT END OF WALL



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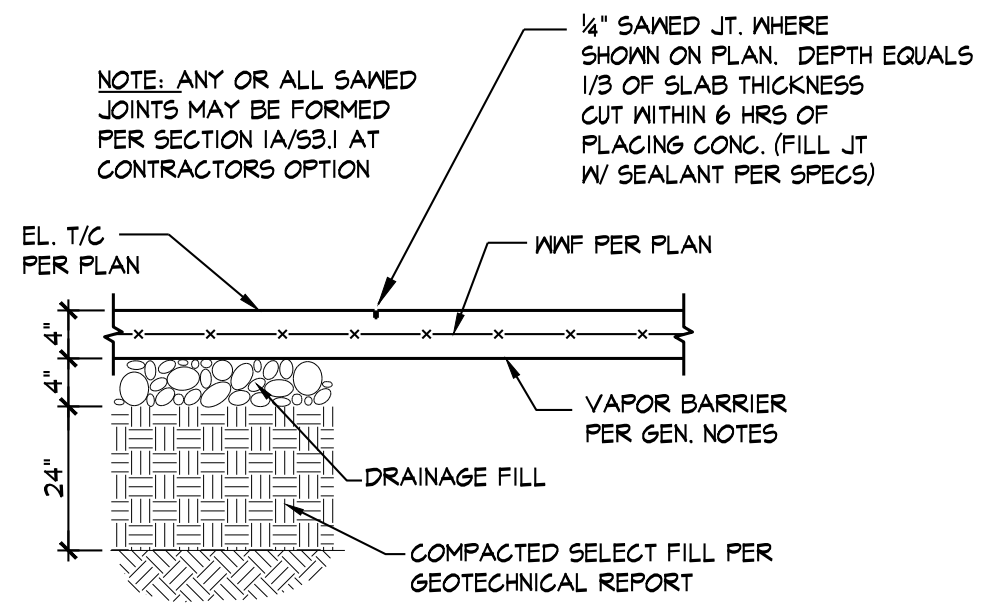
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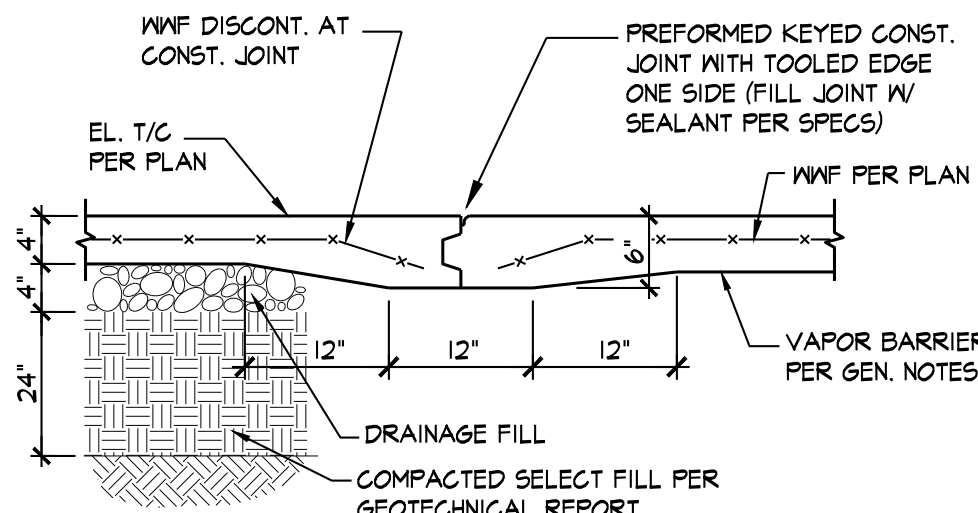


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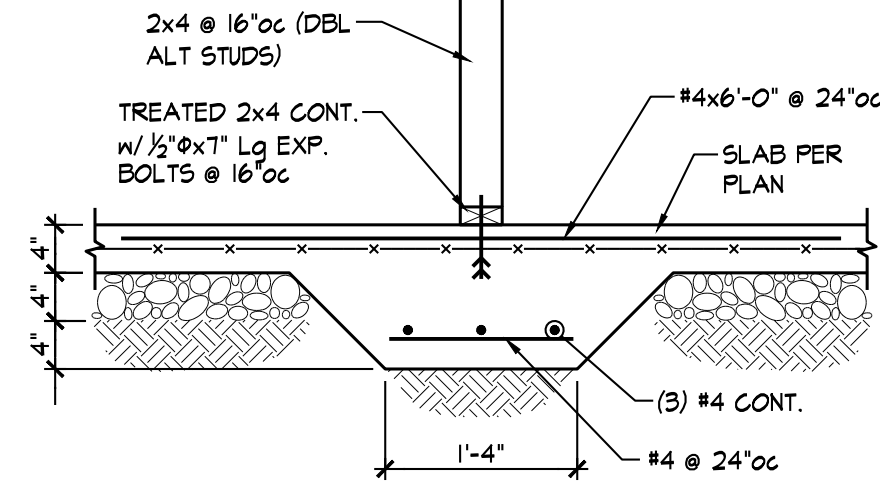
THE RESERVES at EAGLE POINT
 415 NORTH PICADILLY RD
 AURORA, COLORADO



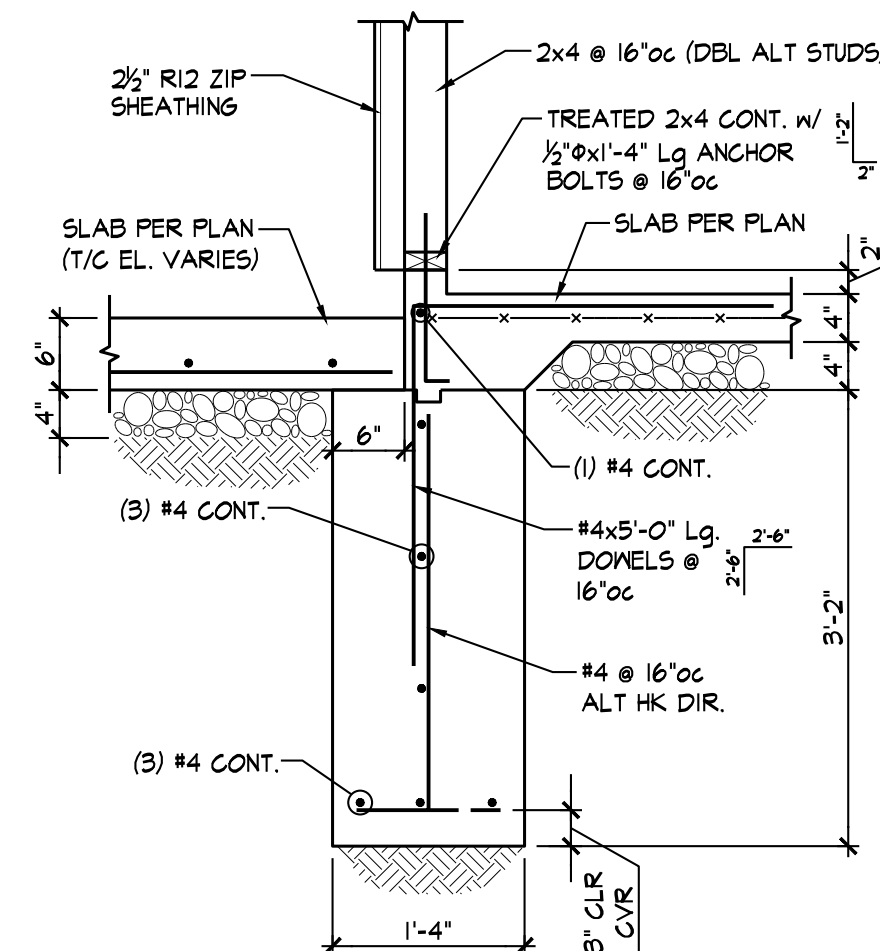
TYPICAL SAND JOINT NOTED "SJ" ON PLAN
SECTION 1
3/4" = 1'-0" 531



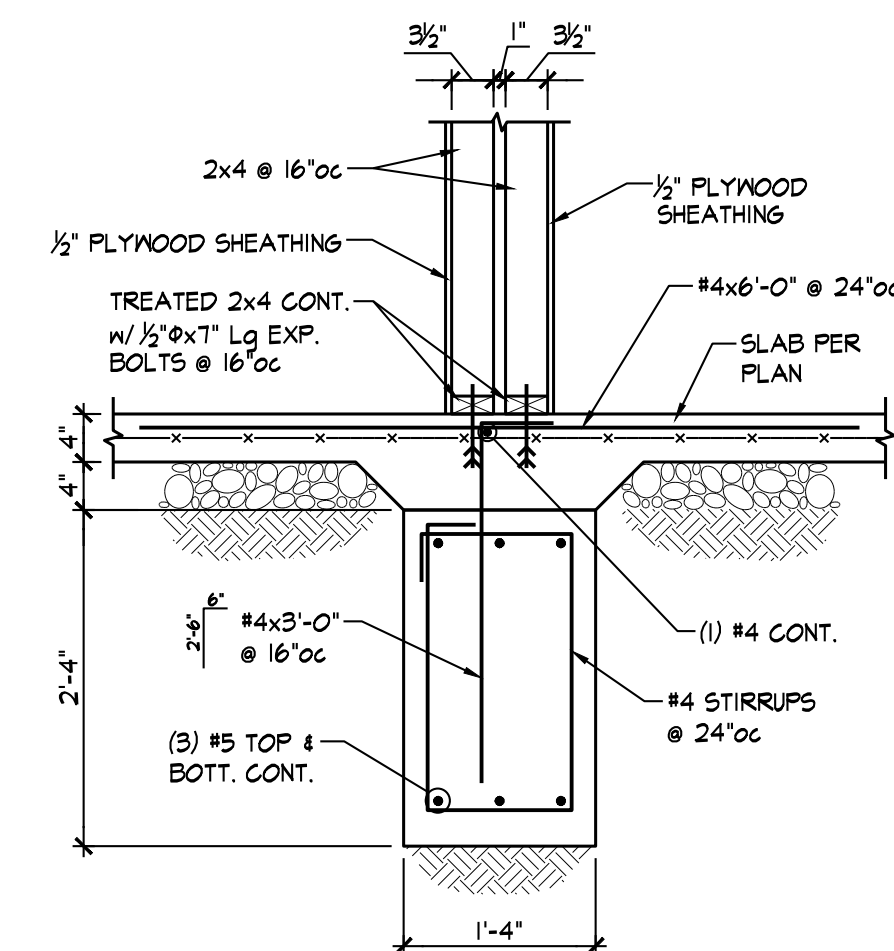
SECTION 1A
3/4" = 1'-0" 531



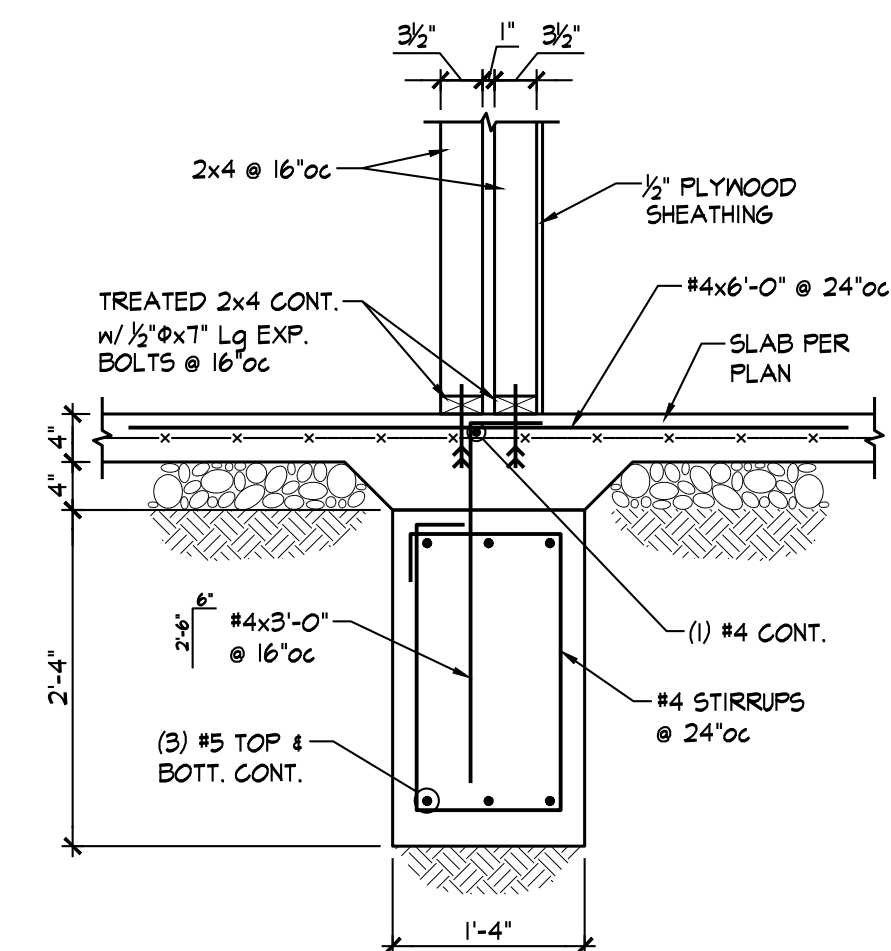
SECTION 2
3/4" = 1'-0" 531



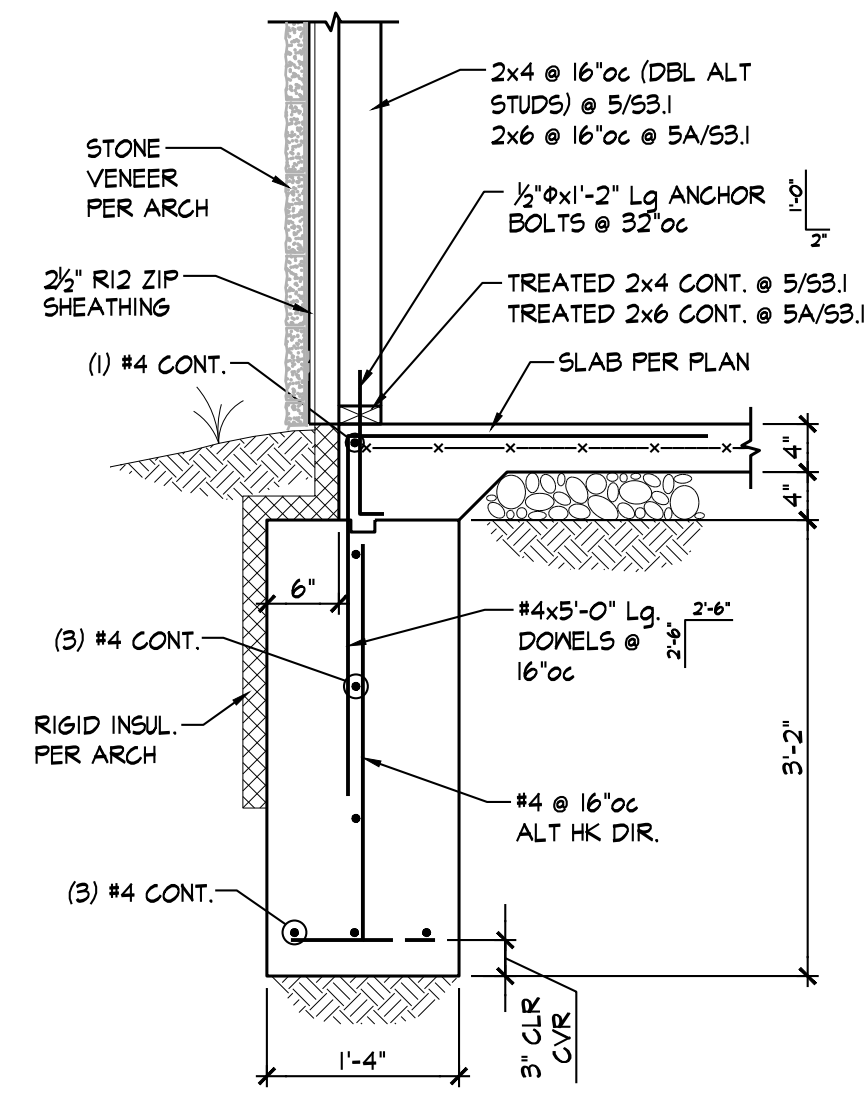
SECTION 3
3/4" = 1'-0" 531



SECTION 4
3/4" = 1'-0" 531

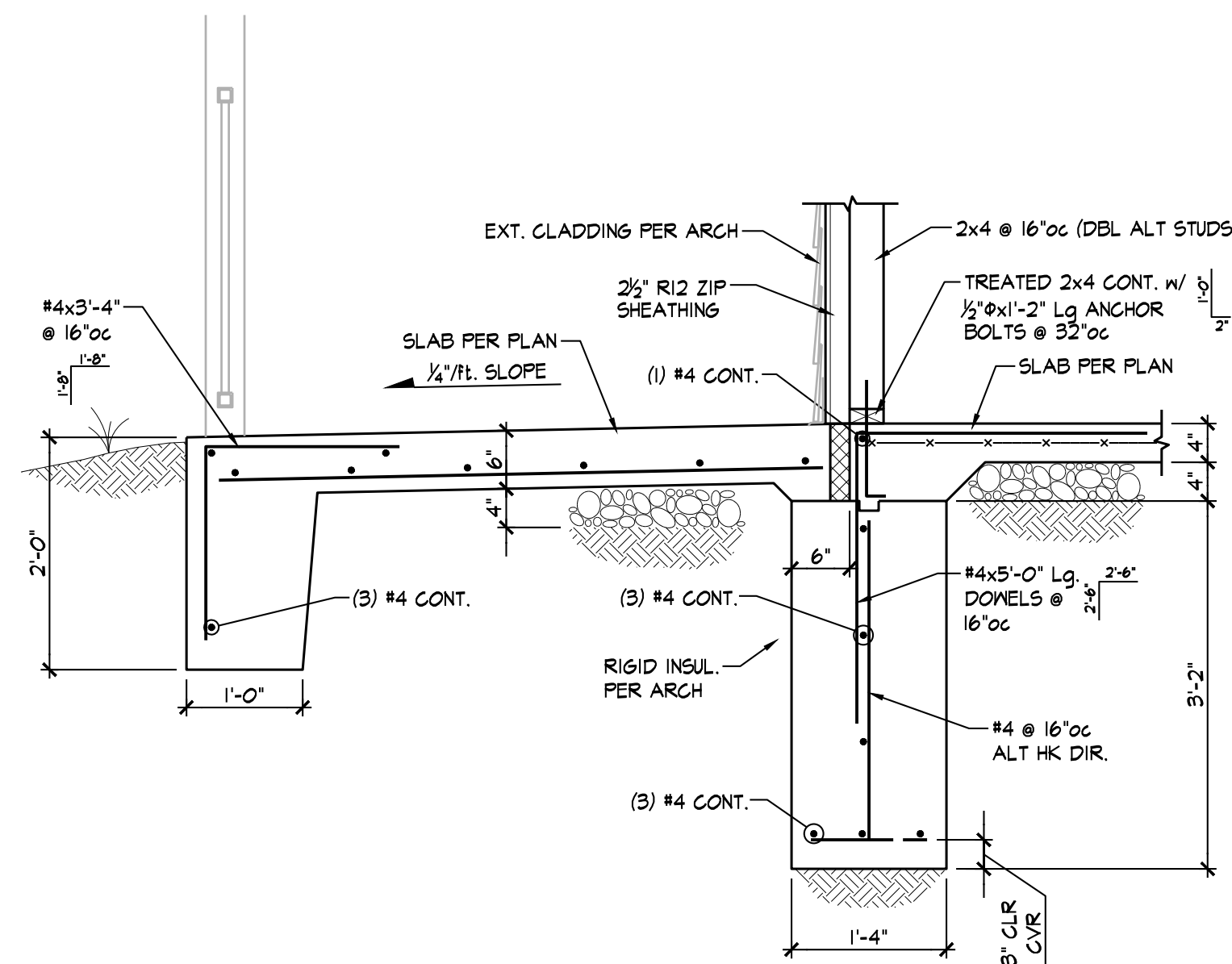


SECTION 4A
3/4" = 1'-0" 531

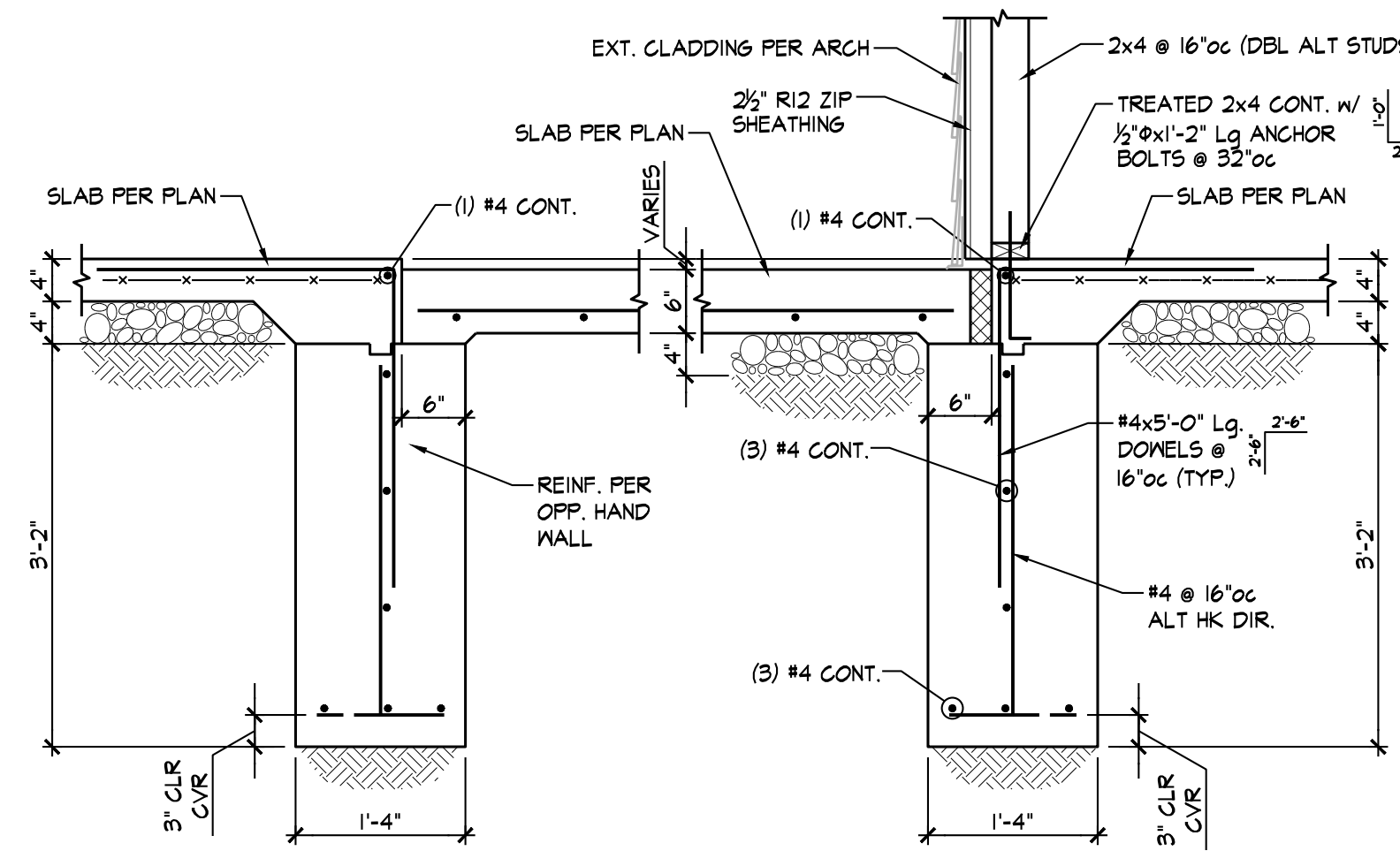


SECTION 5
3/4" = 1'-0" 531

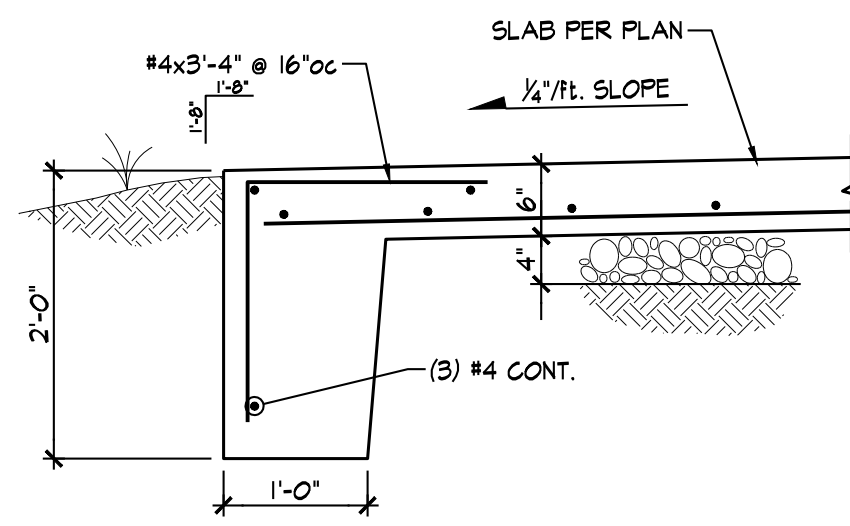
5A
3/4" = 1'-0" 531



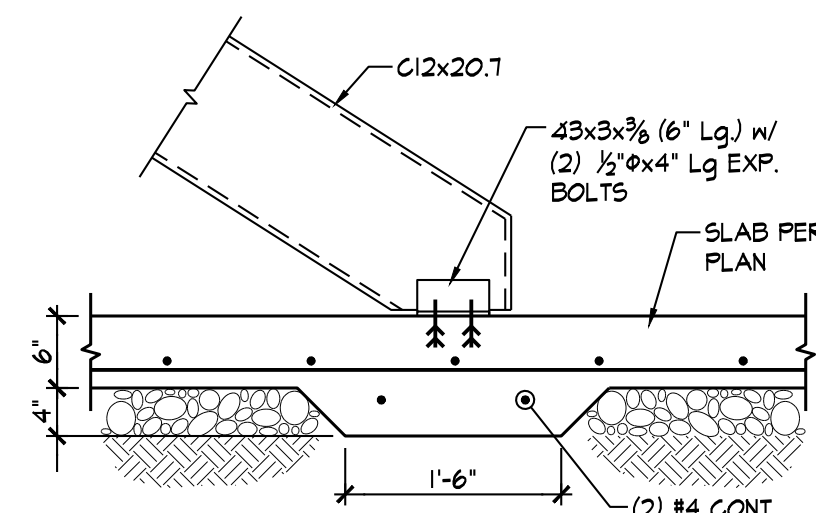
SECTION 6
3/4" = 1'-0" 531



SECTION 7
3/4" = 1'-0" 531



SECTION 8
3/4" = 1'-0" 531



SECTION 9
3/4" = 1'-0" 531

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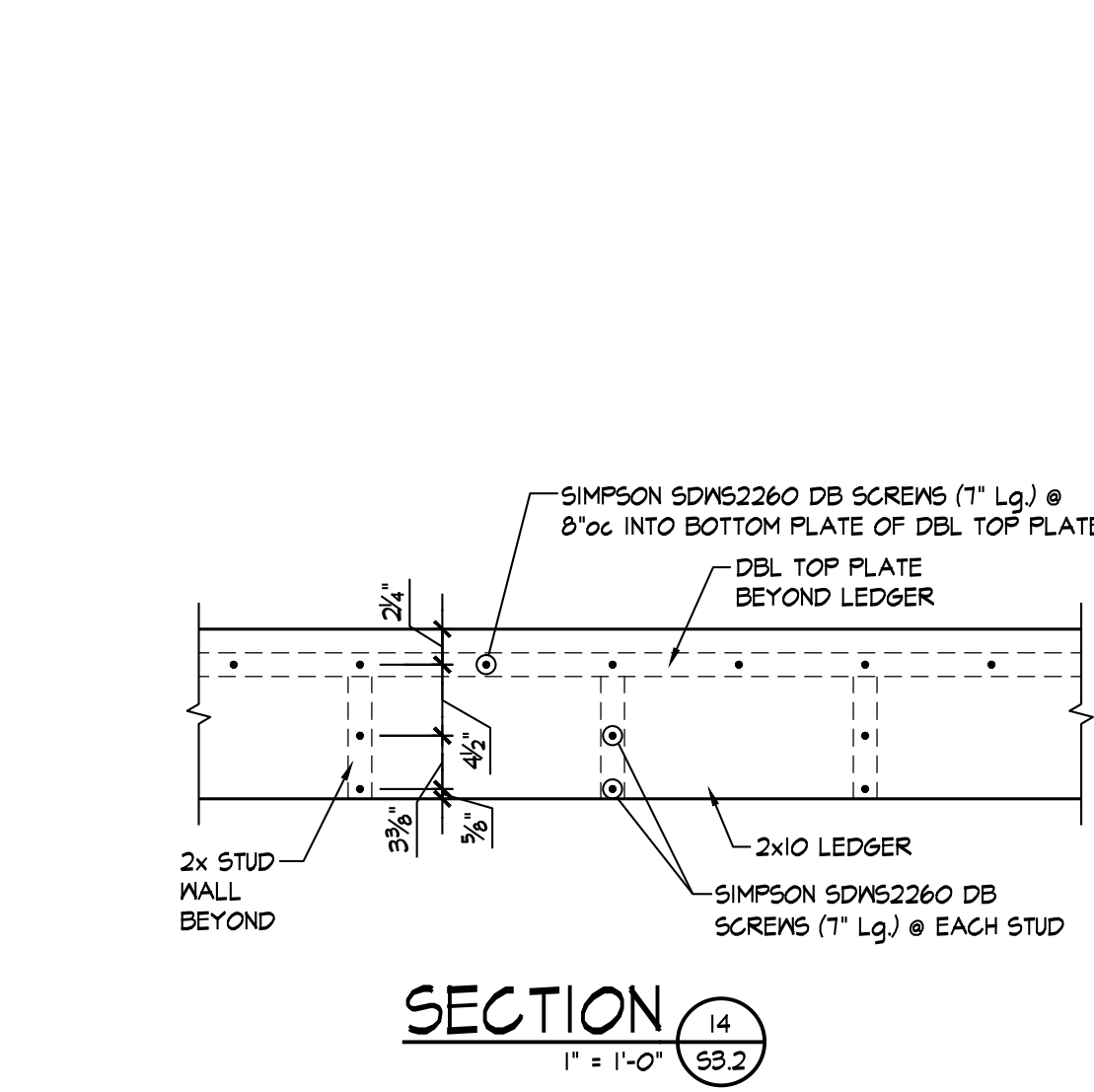
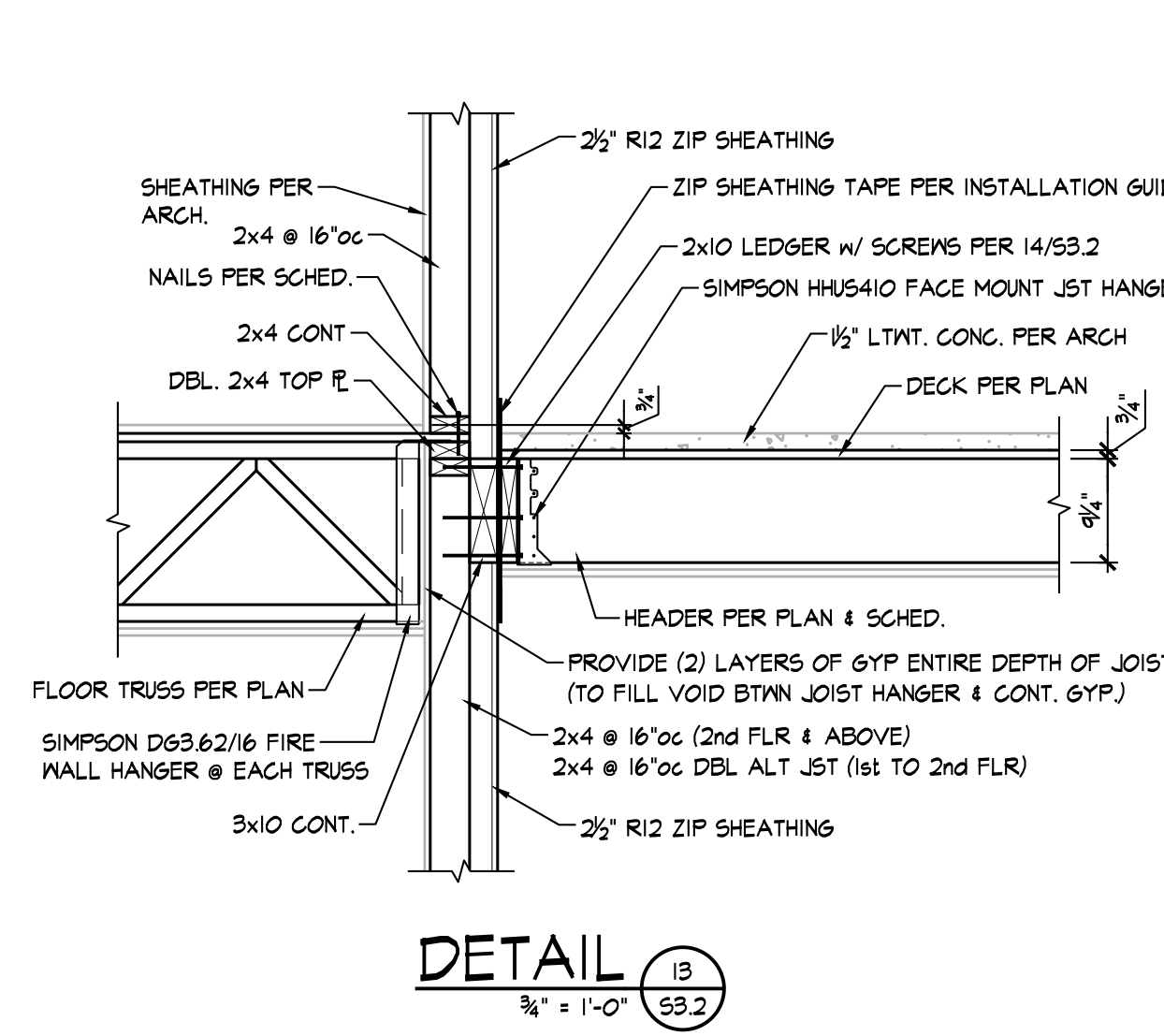
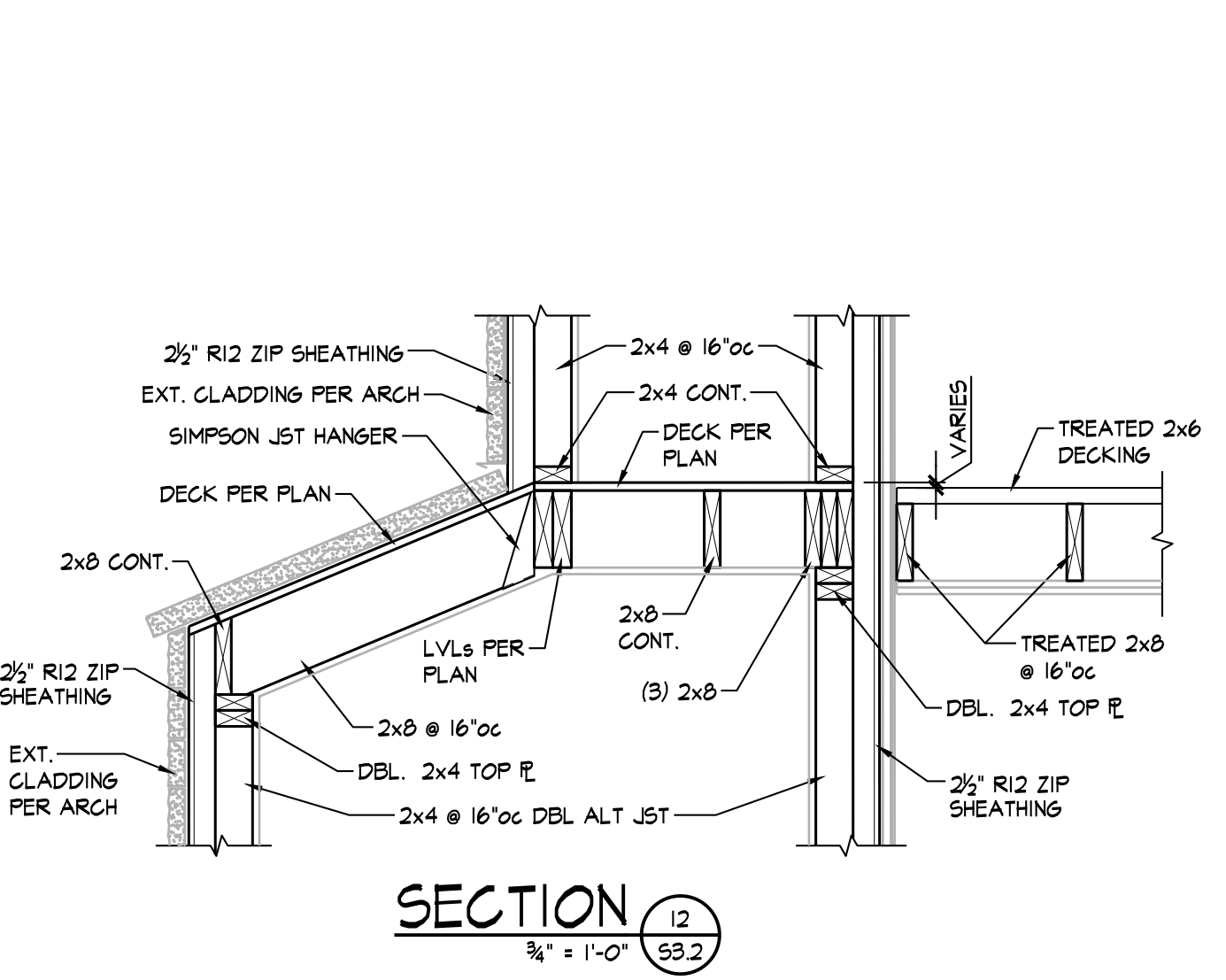
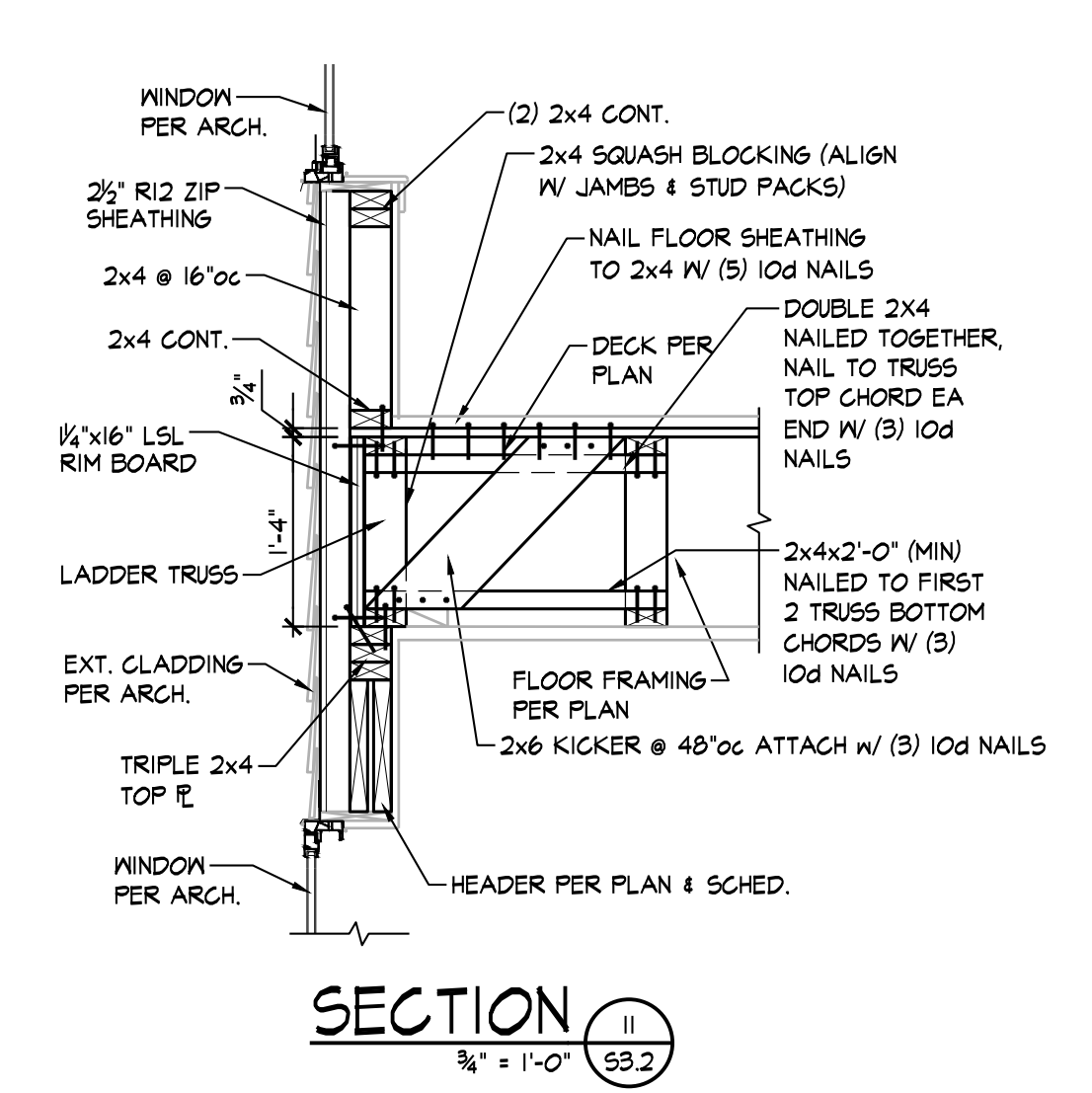
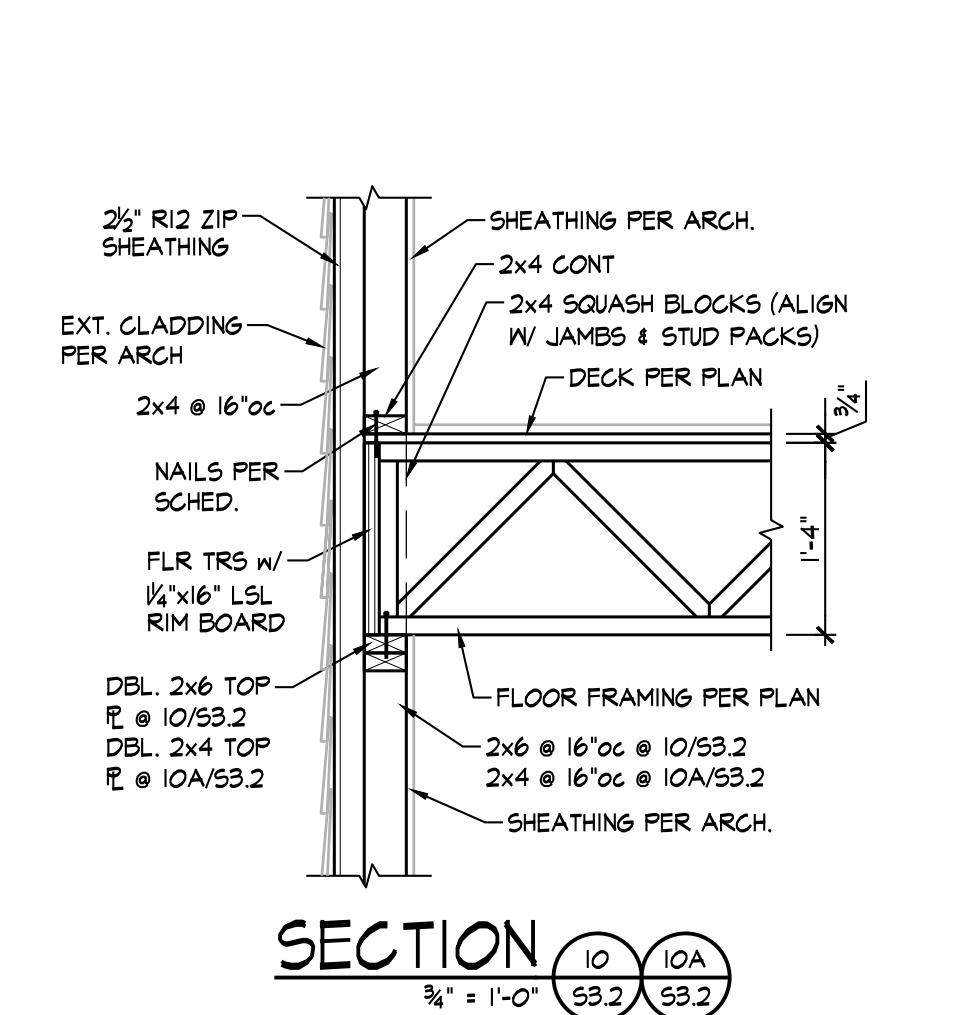
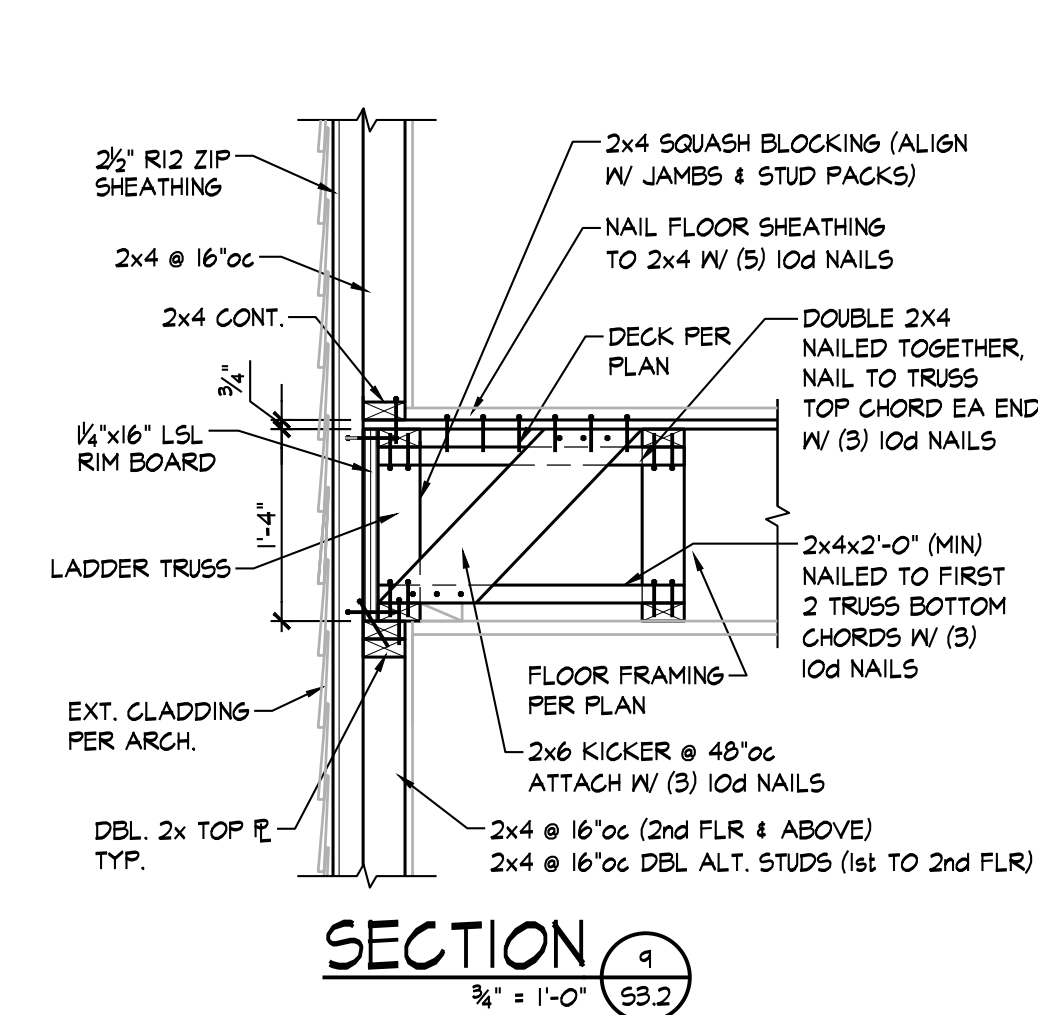
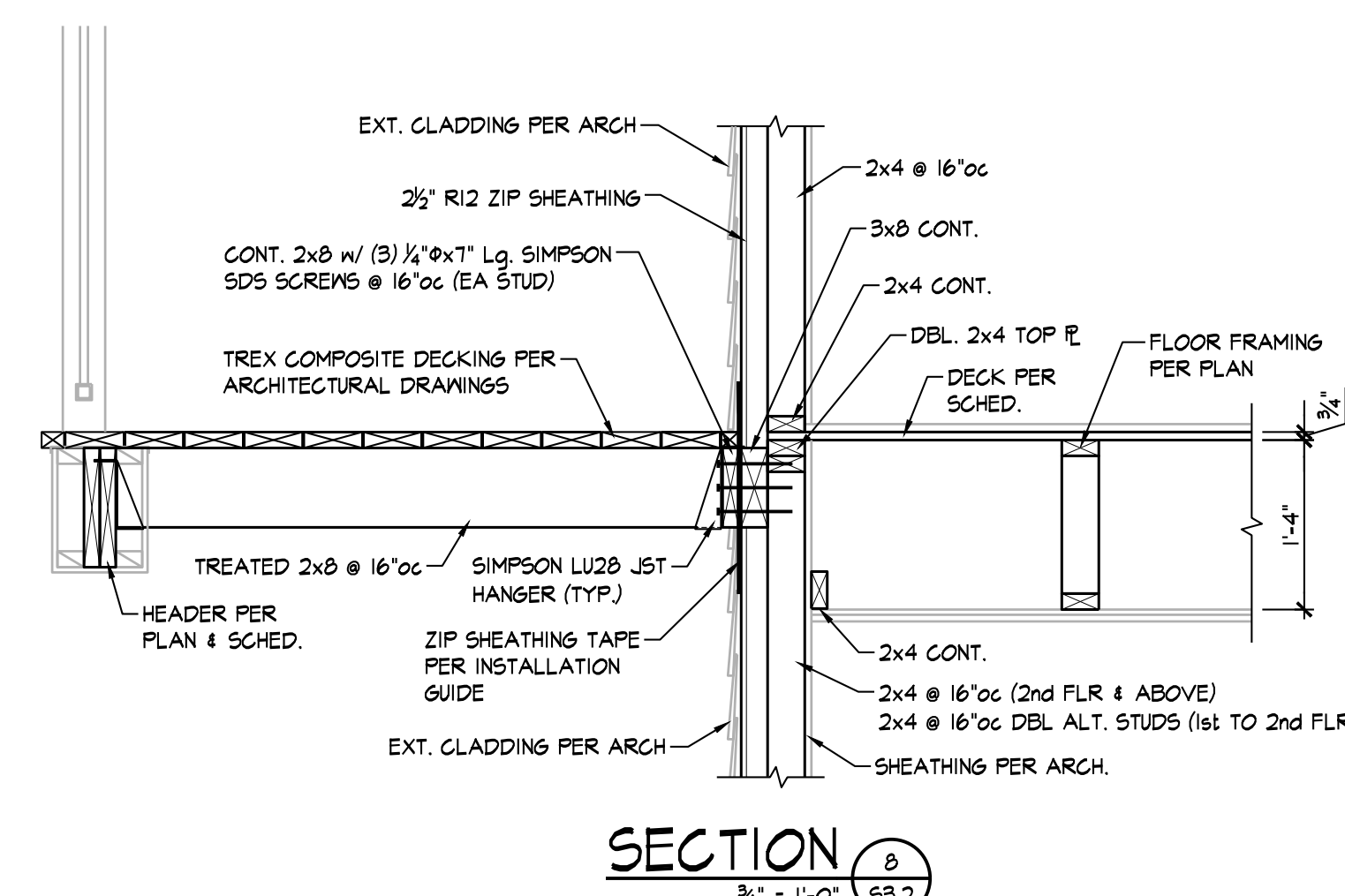
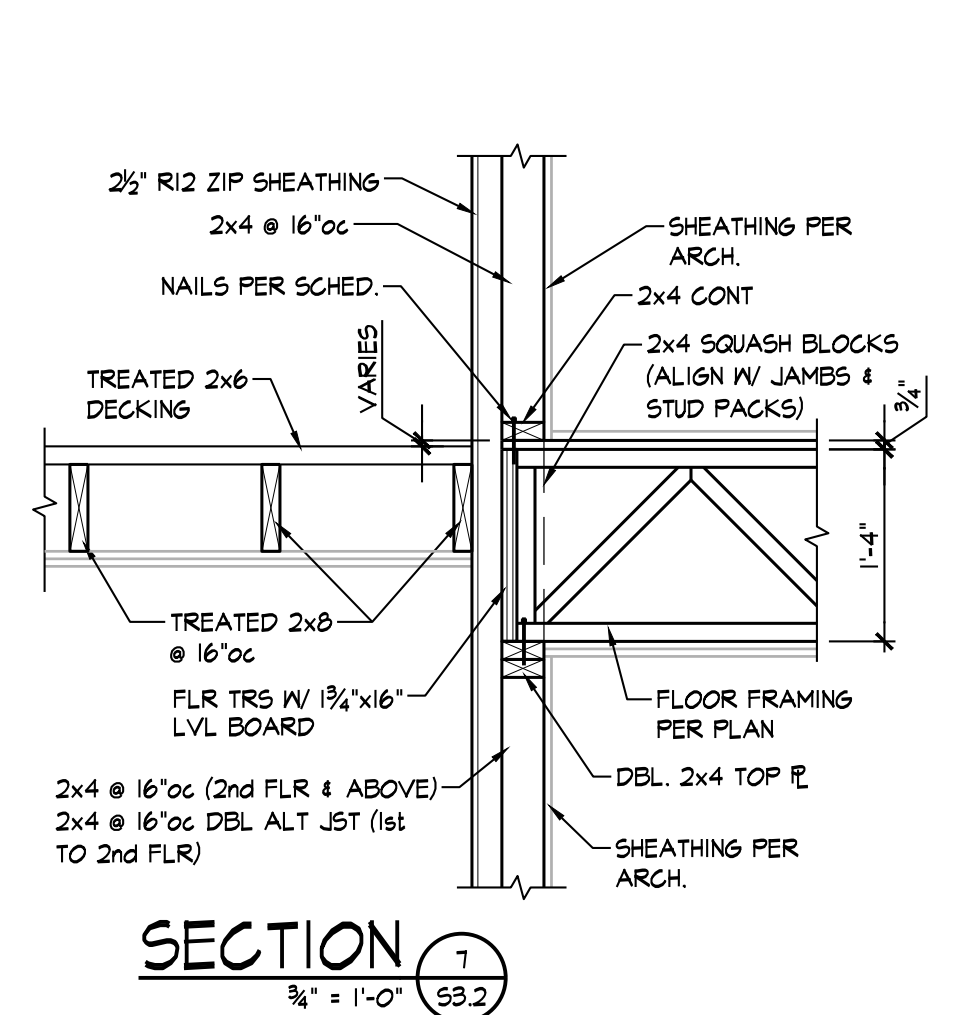
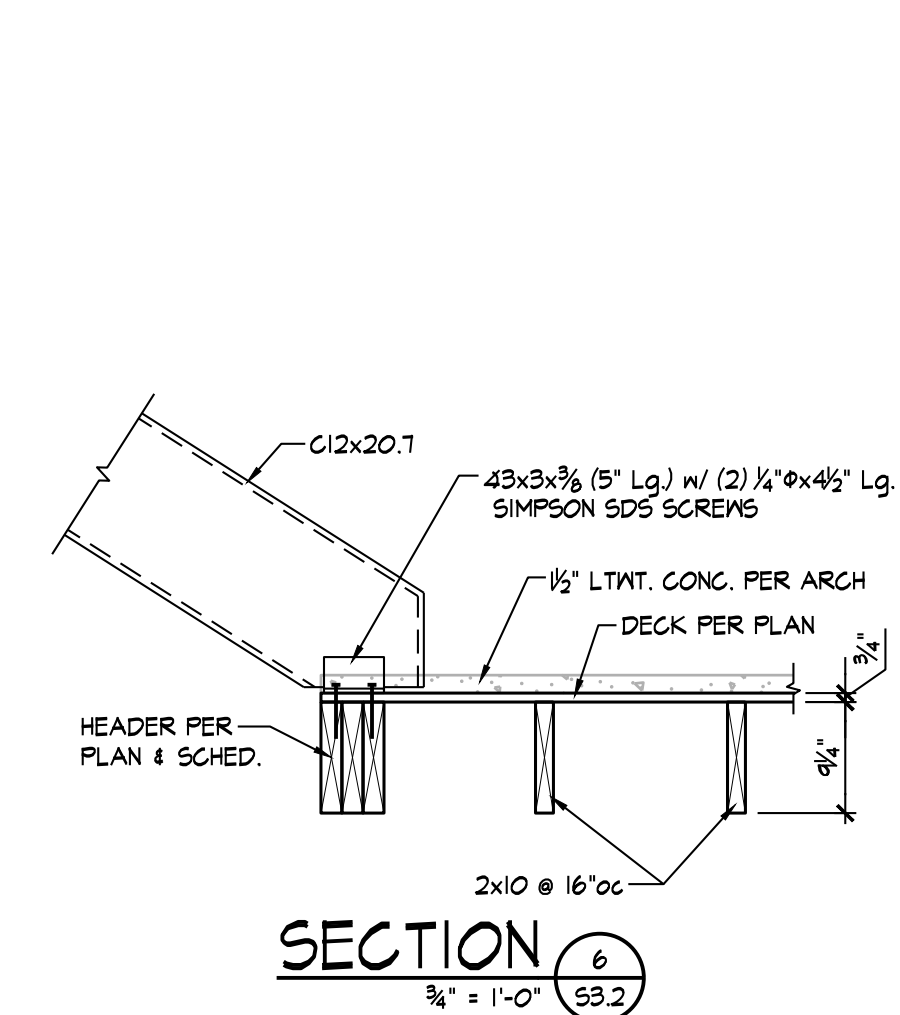
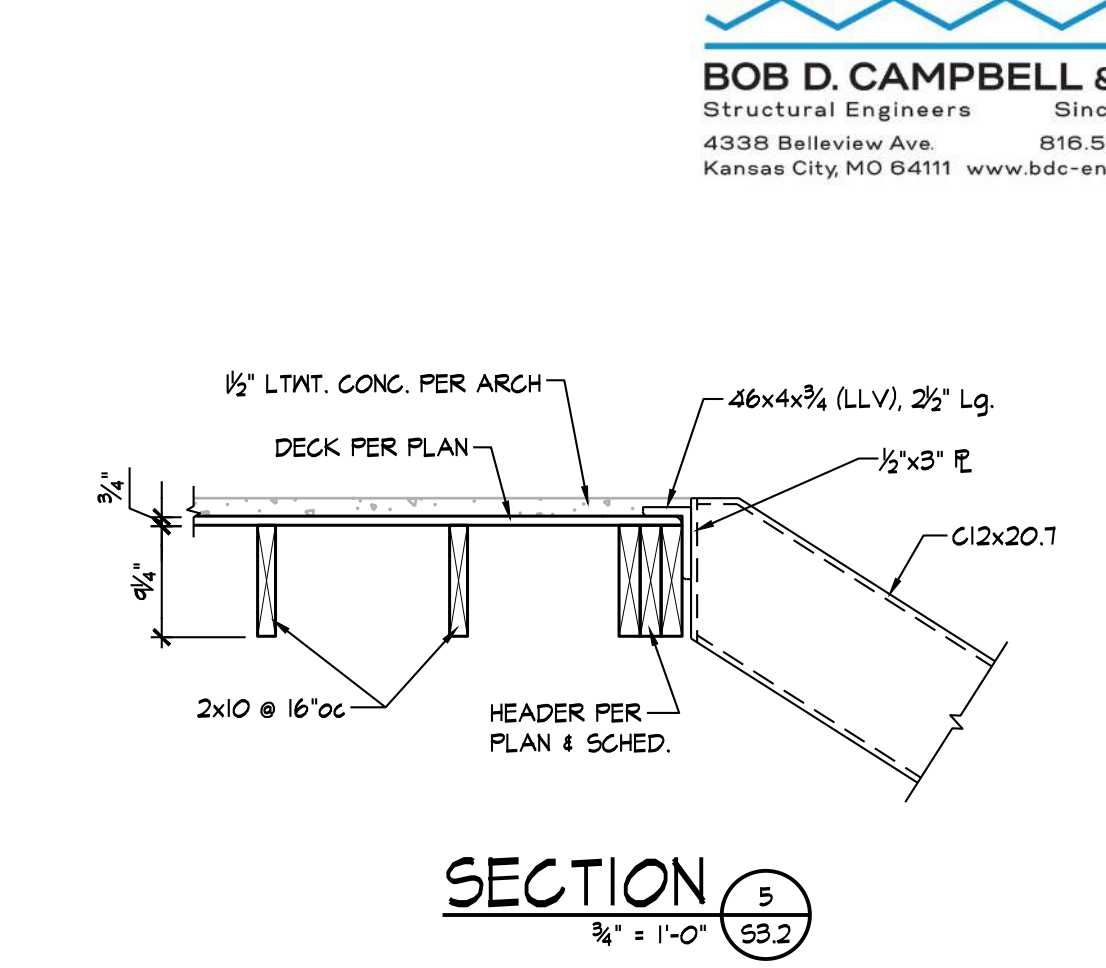
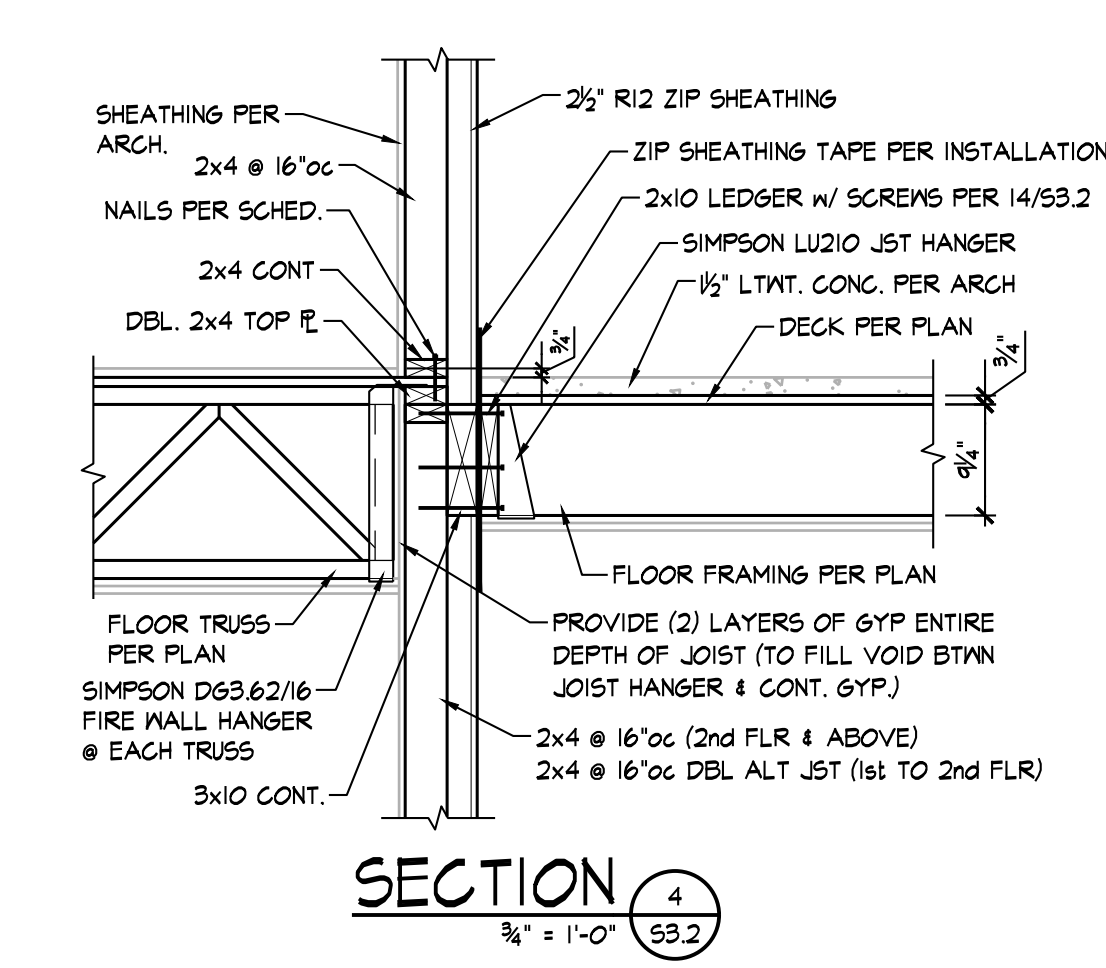
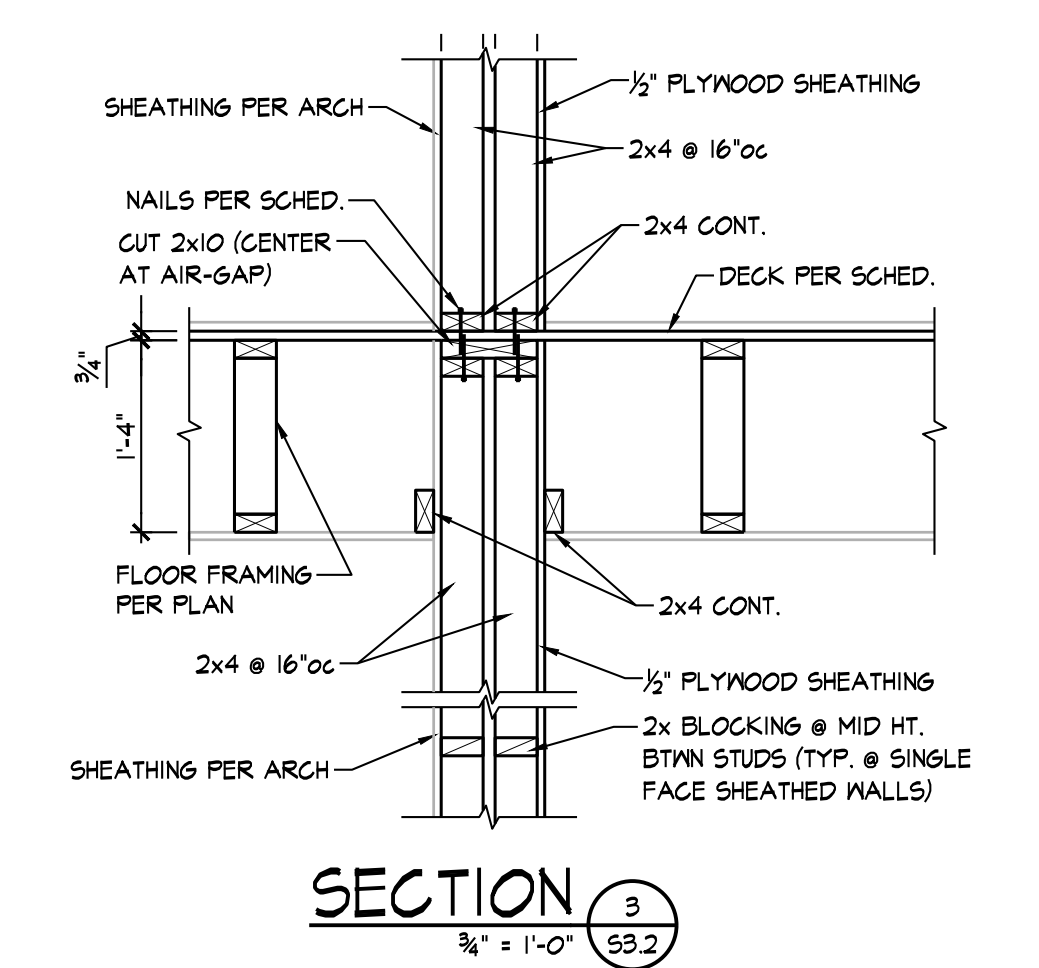
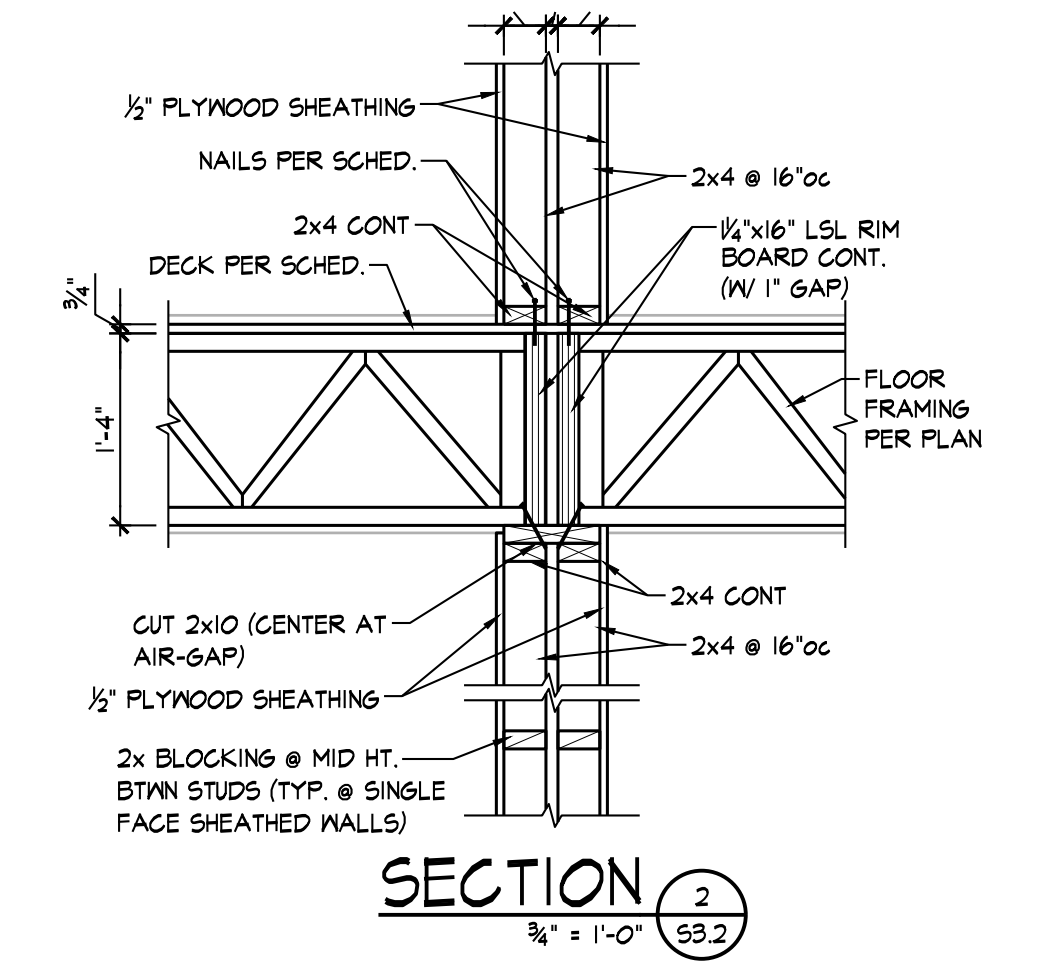
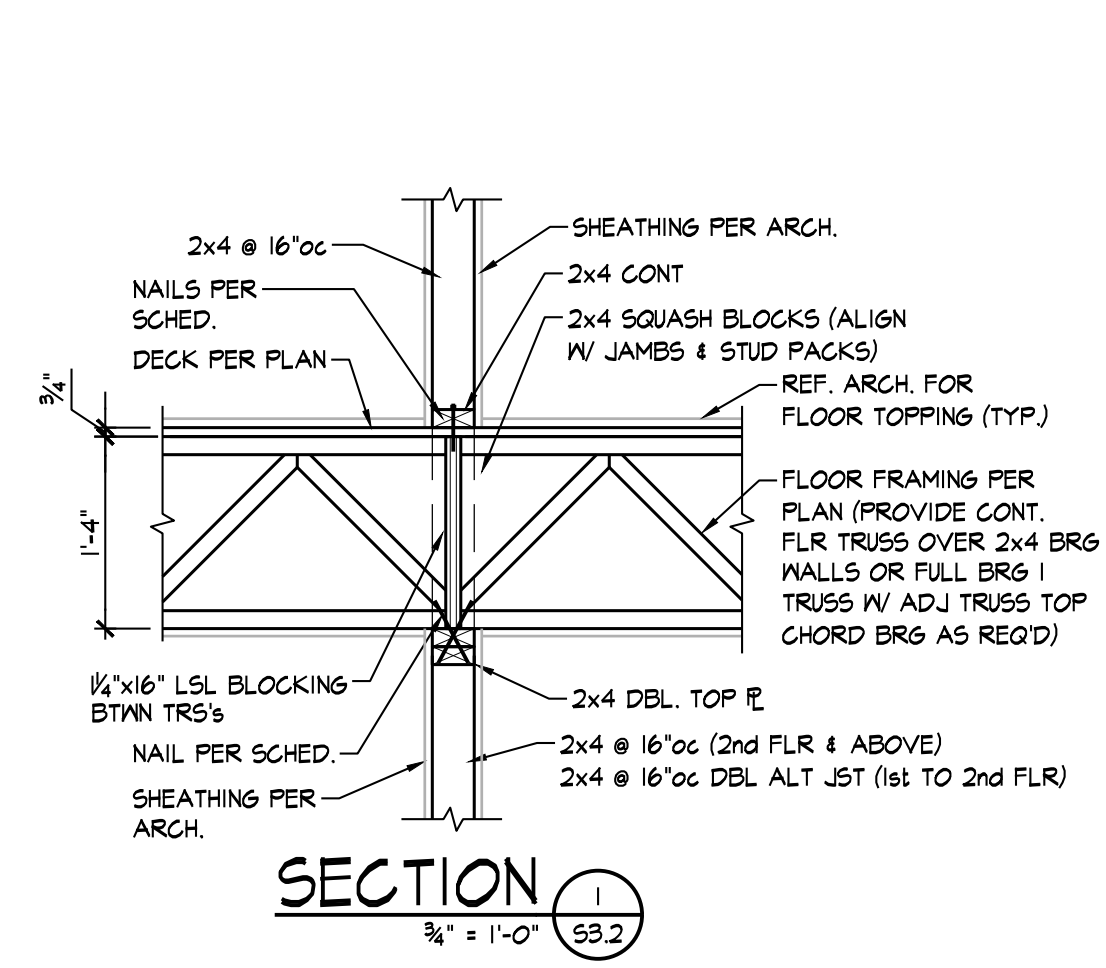
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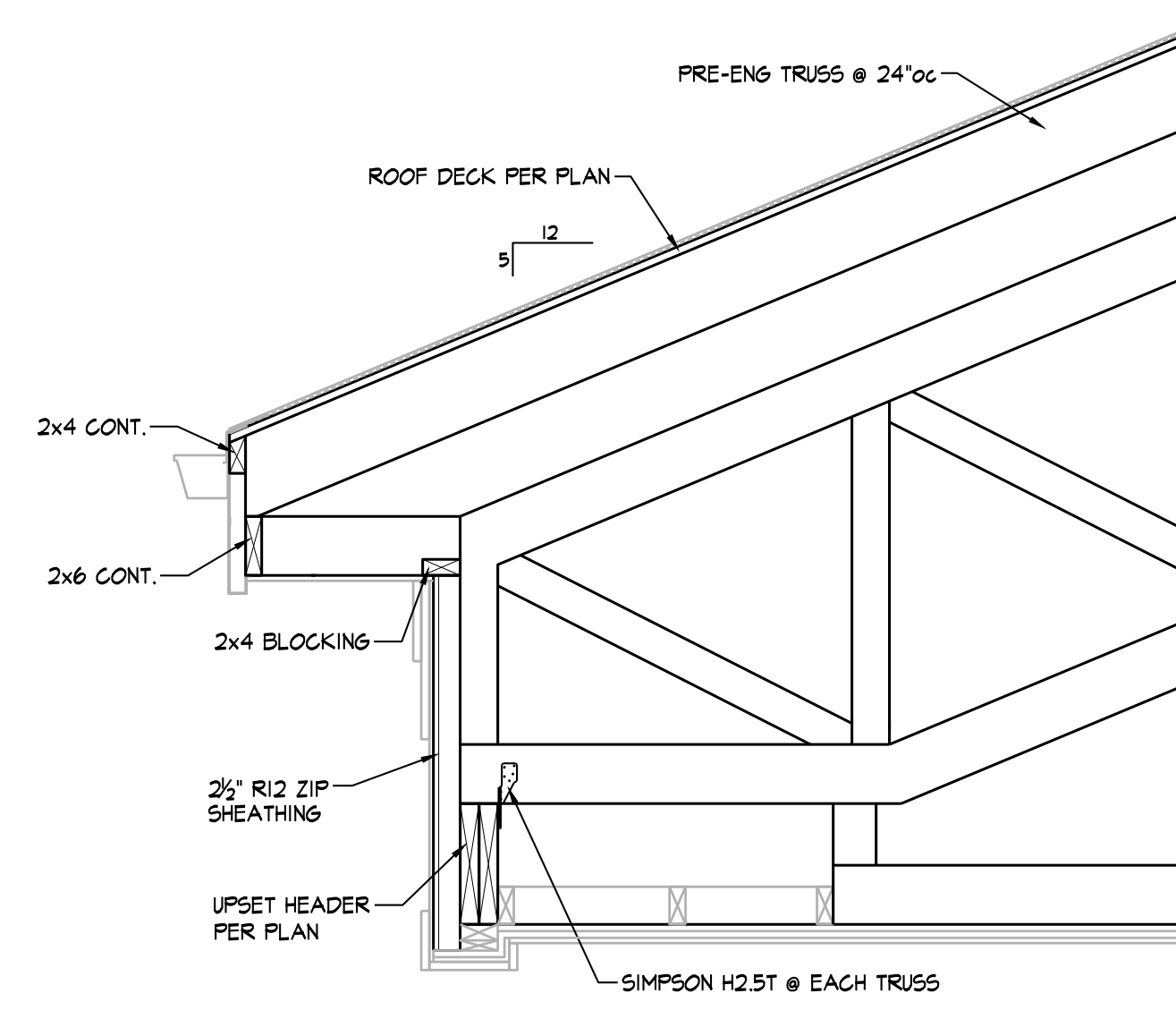
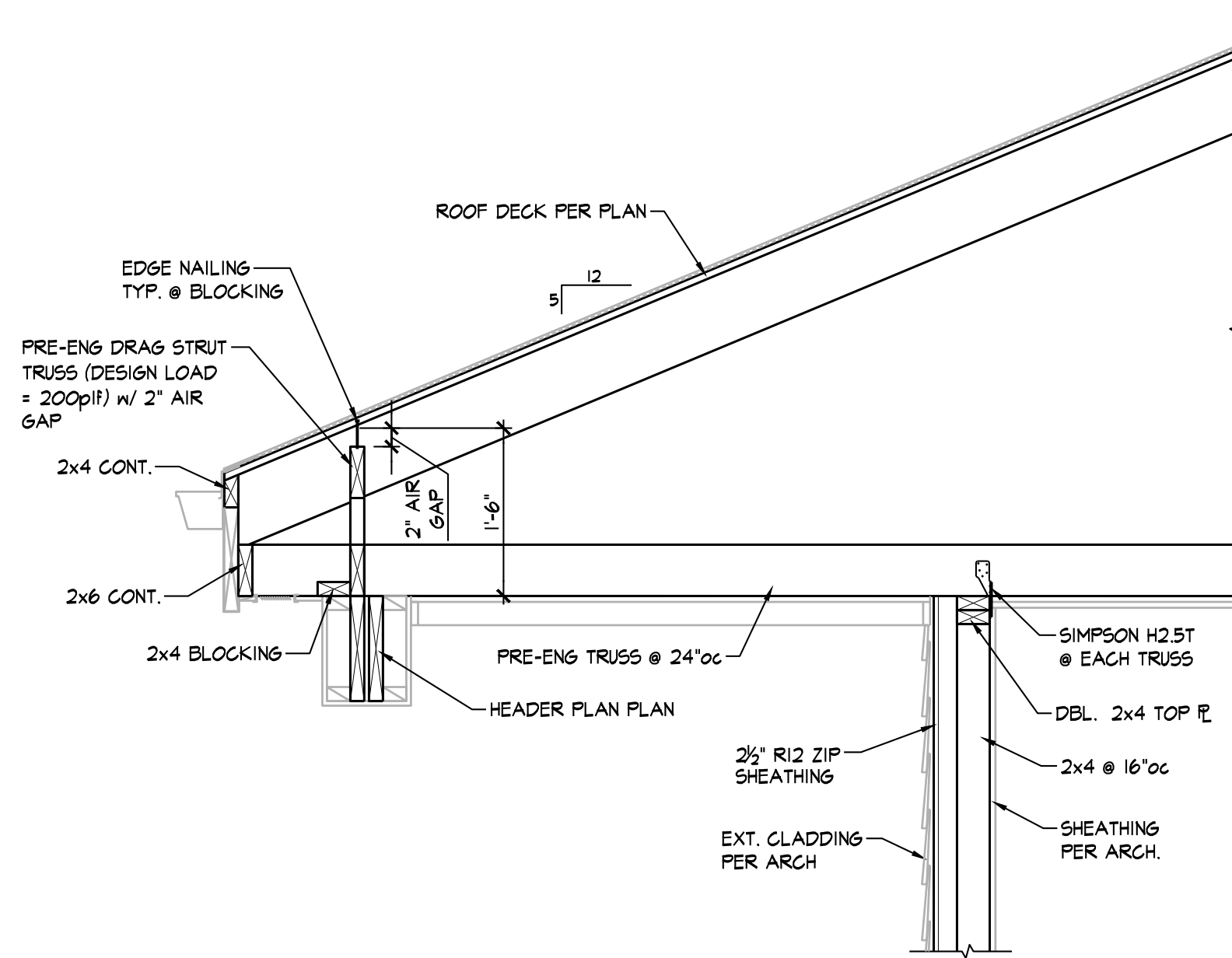
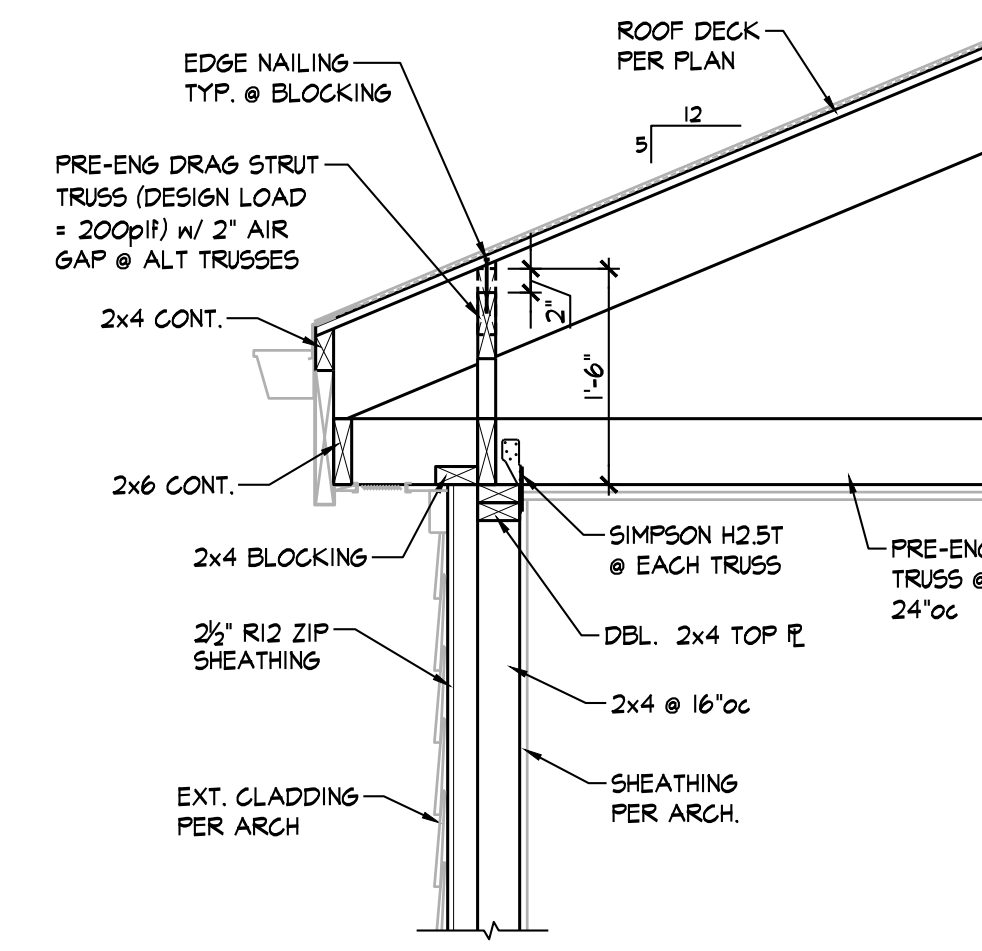
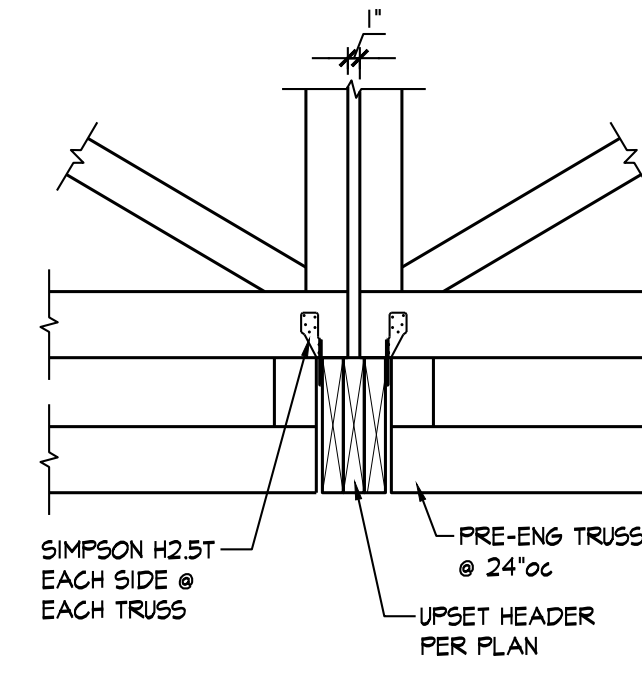
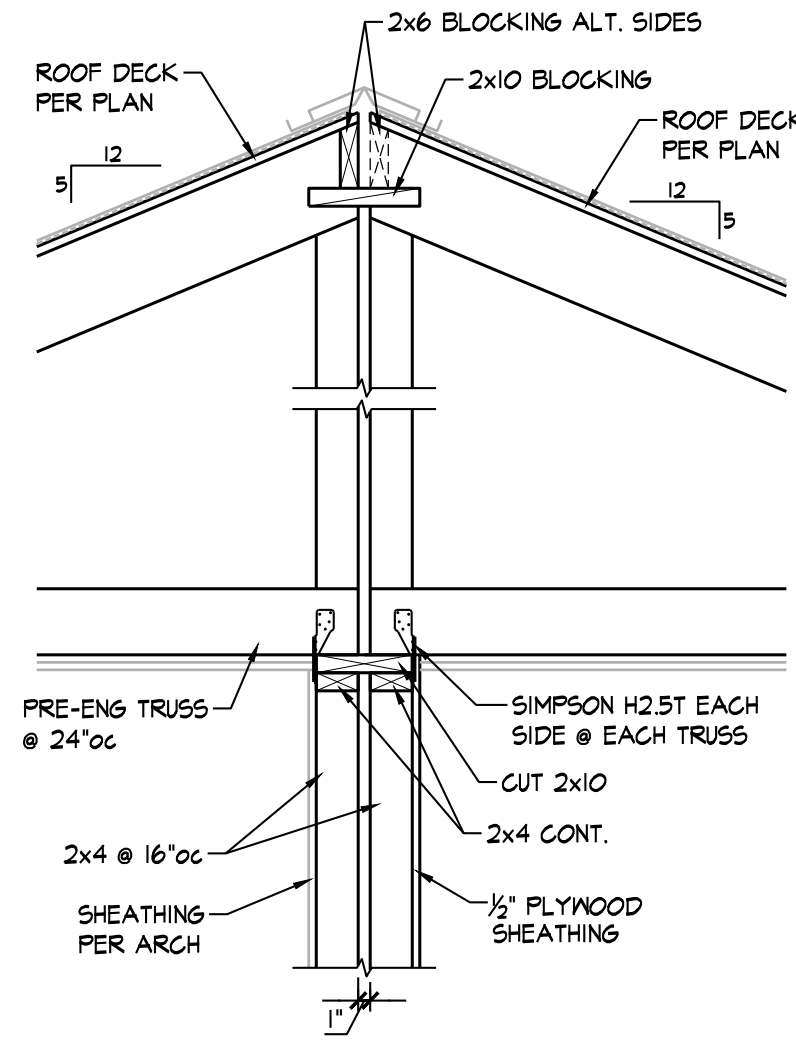
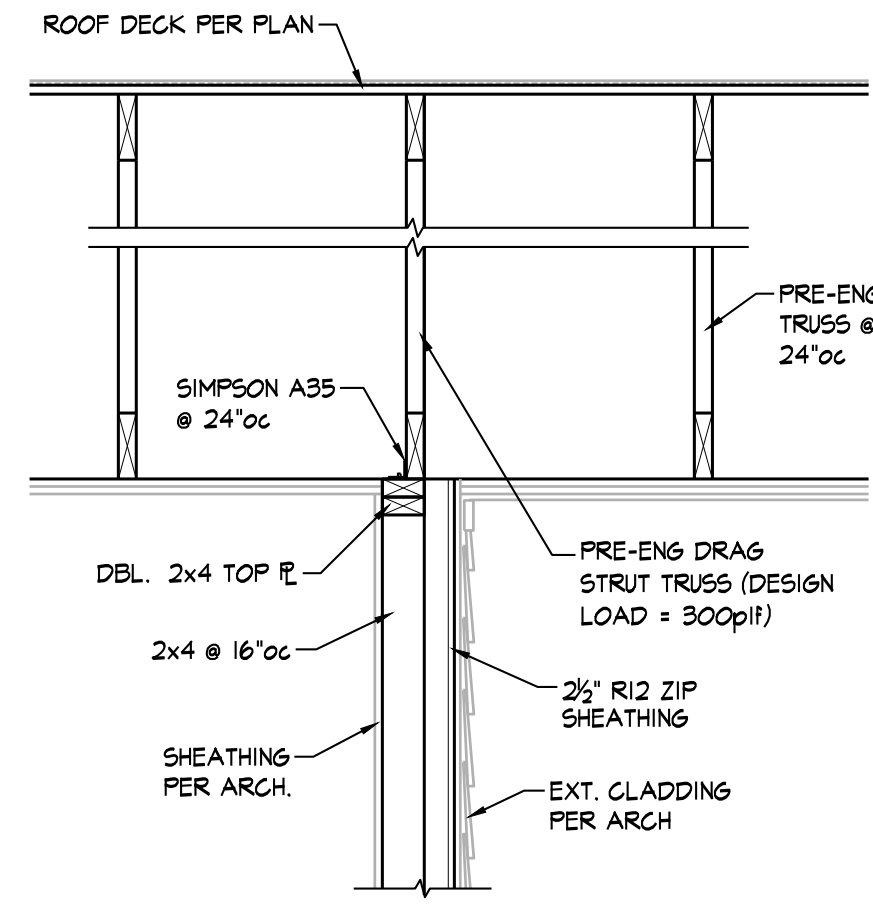
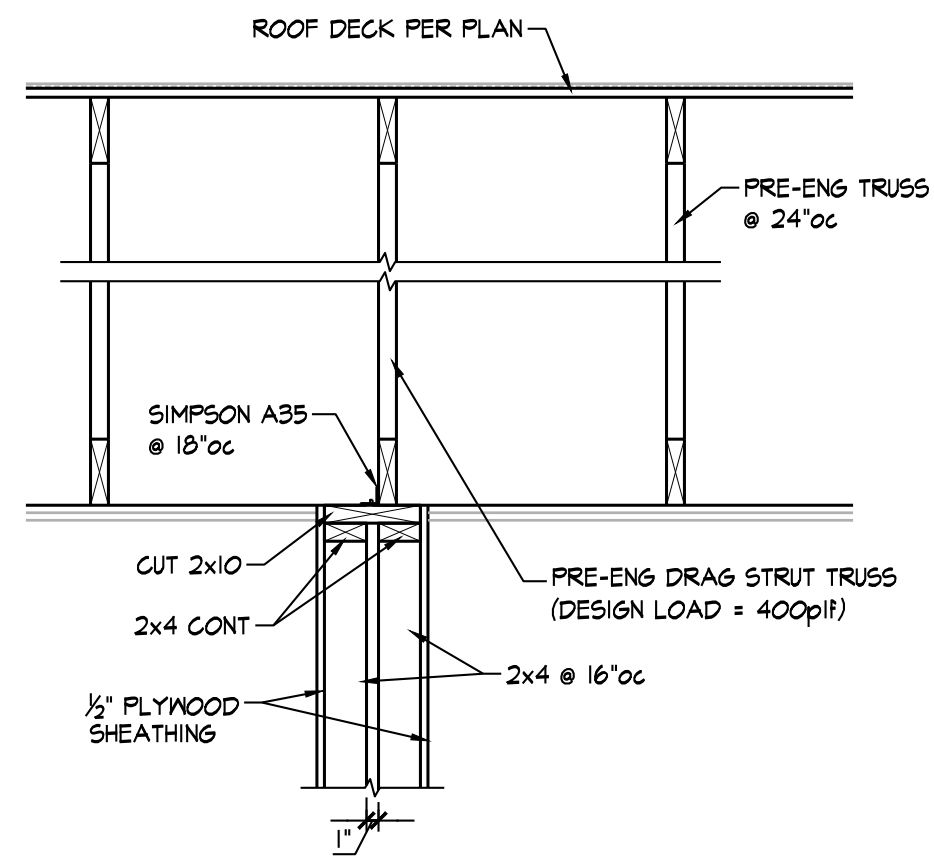


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THE RESERVES at EAGLE POINT
AURORA,
415 NORTH PICADILLY RD
COLORADO

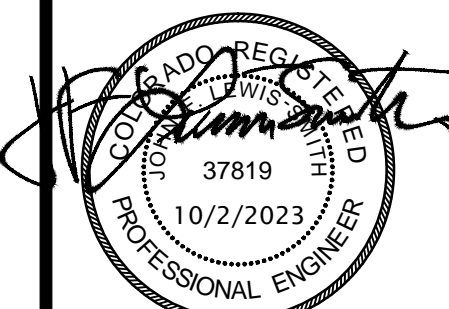


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| JOB: | 22-3219 |
| SHEET NO.: | |

M4.1

MECHANICAL NOTES BY SYMBOL

- NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.
- PROVIDE ALL SUPPLY AIR PENETRATIONS OF CEILING WITH U.L. LISTED RADIATION DAMPER, GREENHECK CRD OR EQUIVALENT.
 - PROVIDE UL LISTED DRYER BOX EQUAL TO IN-O-VATE TECHNOLOGIES IN WALL INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND ROUTE 4" DRYER EXHAUST DUCT TO WALL CAP WITH BACKDRAFT DAMPER. MANUFACTURER'S MAXIMUM ALLOWABLE DUCT LENGTH = 45' WITH TWO 90° ELBOW. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED. PROVIDE PERMANENT LABEL IDENTIFYING EQUIVALENT LENGTH OF DRYER DUCT INSTALLED PER IMC 504.
 NOTE: ANNUAL SPACE AROUND DUCT IS TO BE SEALED AT ALL PENETRATIONS OF FLOORS AND CEILINGS WITH U.L. LISTED FIRE STOPPING SYSTEM.
 - ROUTE REFRIGERANT PIPING FROM BLOWER COIL TO MATCHING HEAT PUMP CONCEALED ABOVE CEILINGS AND IN WALLS. SEE 'ME' SHEETS FOR HEAT PUMP LOCATIONS.
 - MOUNT TRANSFER GRILLE IN BEDROOM 6" BELOW CEILING AND MOUNT TRANSFER GRILLE ON OPPOSITE SIDE OF WALL 6" ABOVE FINISHED FLOOR. LINE STUD CAVITY WITH SHEET METAL.
 - PROVIDE AUXILIARY DRAIN PAN BELOW BLOWER COIL, AND PIPE OVERFLOW DRAIN TO FLOOR DRAIN.
 - MOUNT RETURN GRILLES ON BOTH SIDES OF WALL. CENTER RETURN GRILLE BETWEEN CEILING AND TOP OF DOOR. PROVIDE TRANSFER DUCT BETWEEN GRILLES.
 - ROUTE 6" EXHAUST DUCT TO WALL CAP WITH BIRD SCREEN AND BACKDRAFT DAMPER.
 - ROUTE 6" OUTDOOR AIR INTAKE TO WALL CAP WITH BIRD SCREEN. ENSURE OUTDOOR AIR INTAKE IS A MINIMUM OF 10'-0" FROM EXHAUST TERMINATIONS.
 - CONNECT 6" SUPPLY AIR FROM 'ERV' TO RETURN AIR DUCT. PROVIDE BALANCING DAMPERS AND BALANCE AS INDICATED ON PLANS, SEE DETAIL 1.M6.1 FOR MORE INFORMATION.
 - TRANSITION FROM 6" DUCT TO 8"x4" BACK TO 6" DUCT TO CROSS 10" DEEP DUCT.

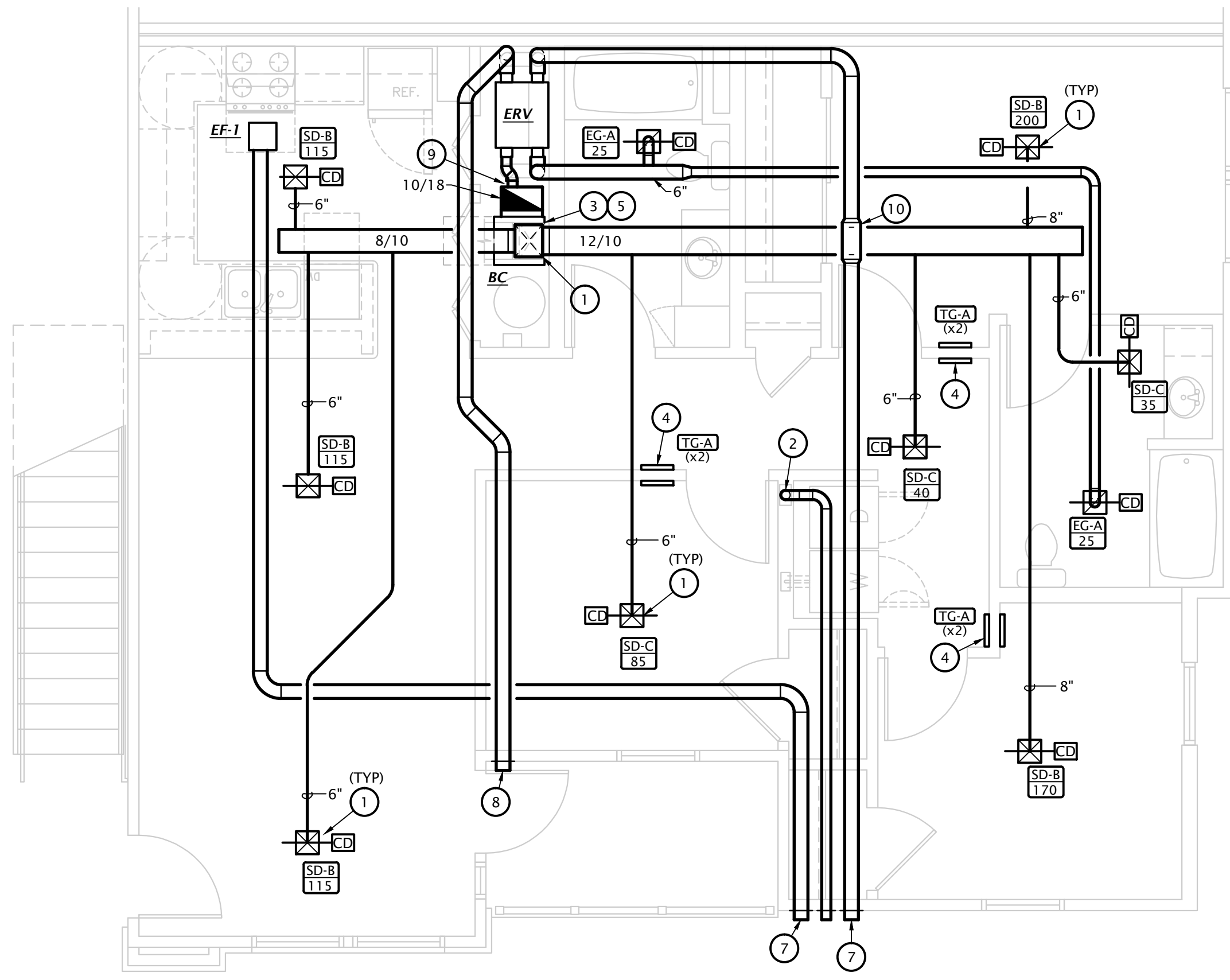
- NOTES:
- ALL PENETRATIONS OF APARTMENT AIR BARRIERS SHALL BE SEALED TO MAINTAIN INTEGRITY OF AIR BARRIER. COORDINATE WITH G.C.
 - ALL DUCTWORK SHALL BE SEALED PER ENERGY STAR REQUIREMENTS. COORDINATE REQUIREMENTS WITH ENERGY RATER.
 - DUCTWORK AT SUPPLY, RETURN, AND TRANSFER AIR REGISTERS SHALL BE SEALED TO FLOOR, WALL, OR CEILING USING HVAC TAPE.



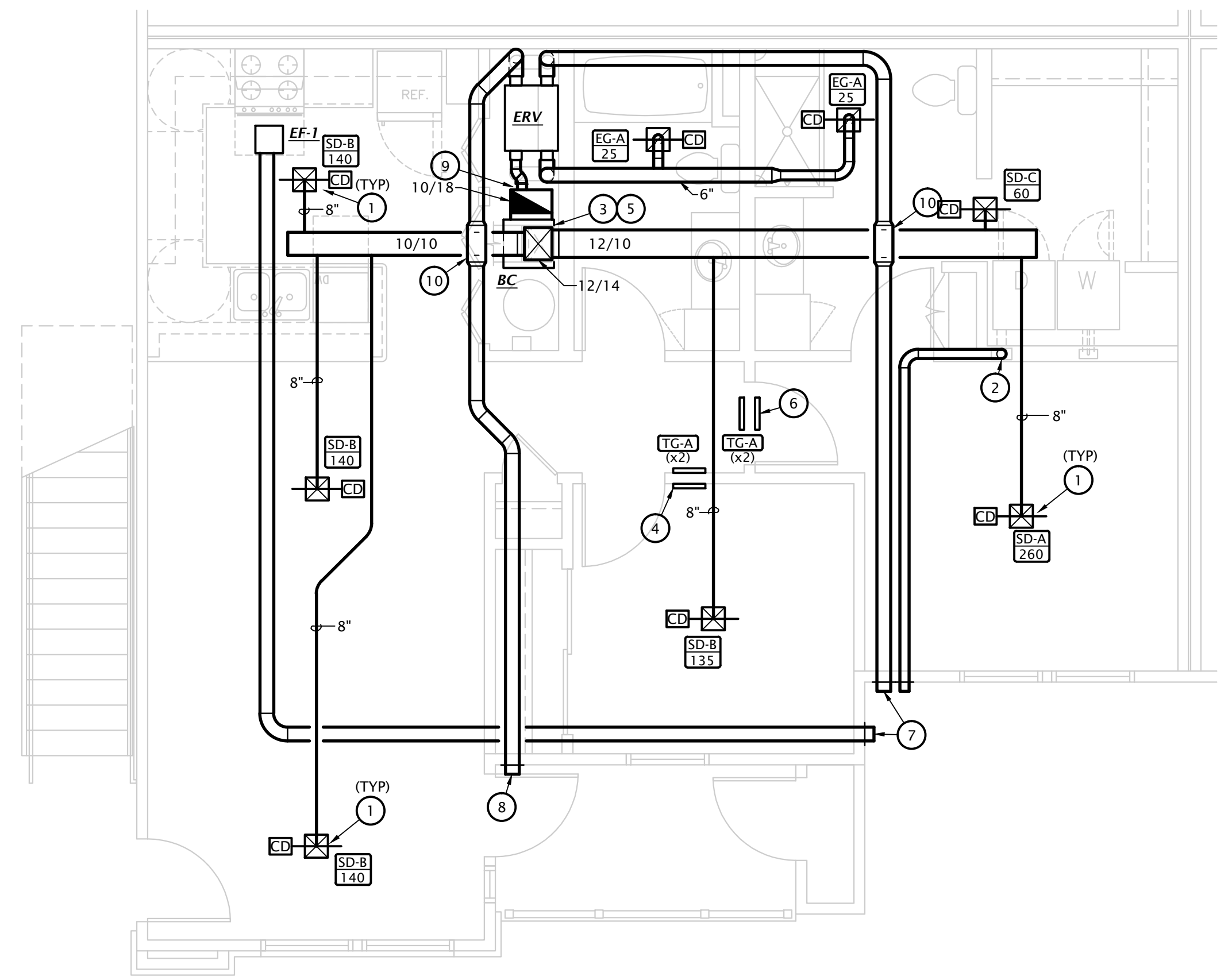
City of Aurora Building Division
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 Approved as Noted: Kirk Nagle
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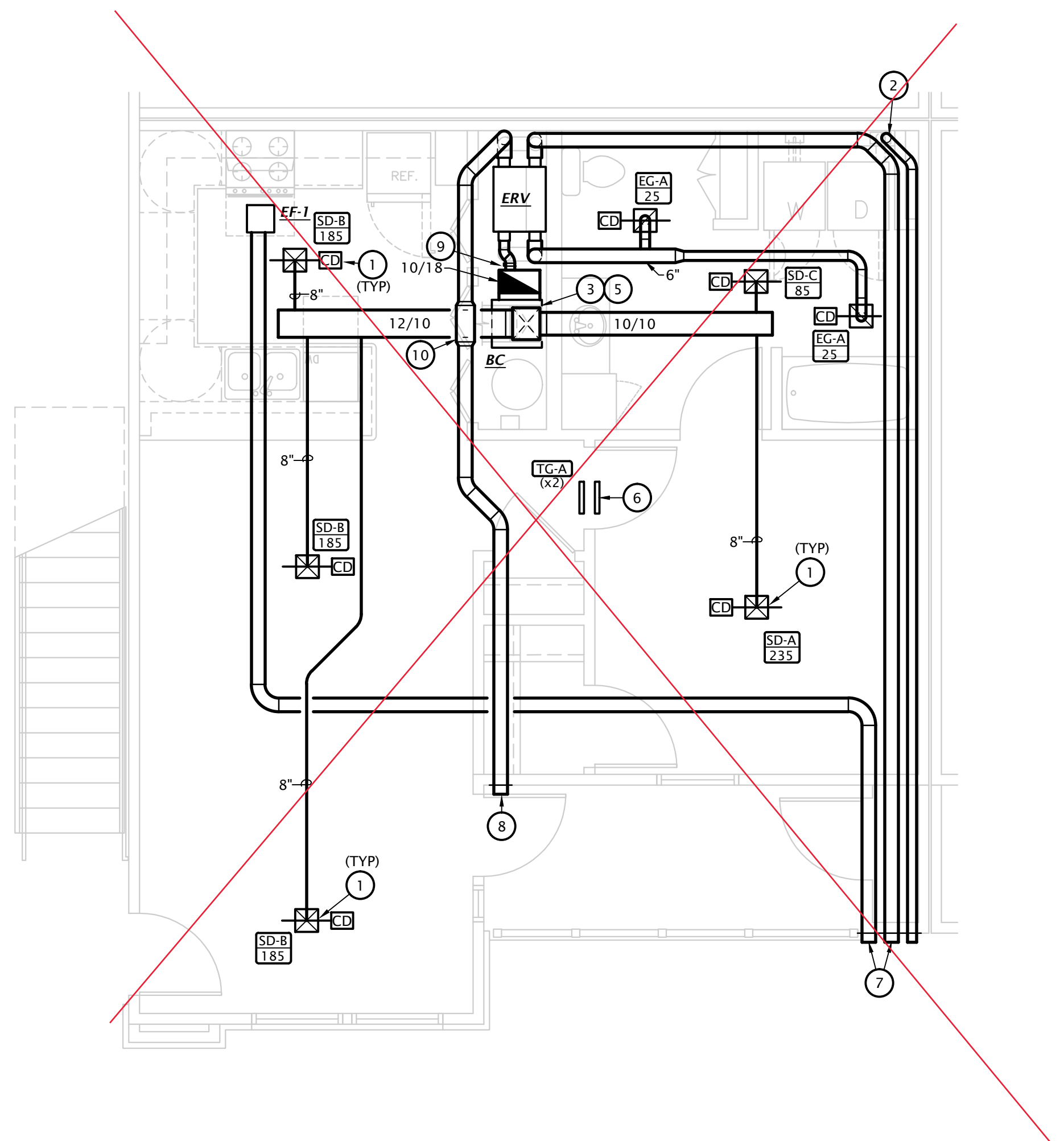
Heating system shall be capable of maintaining 68 degrees F at 3'0" above the floor.
 2021 IMC 309.1, IRC 303.10 and IBC 1203.1



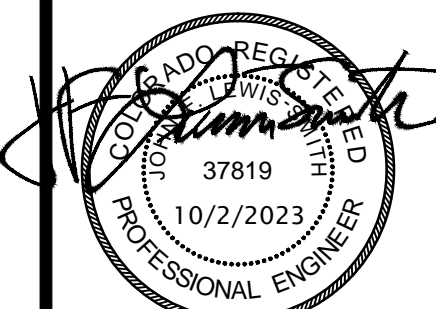
3 FIRST FLOOR 3 BEDROOM HVAC PLAN
 1/4" = 1'-0"



2 FIRST FLOOR 2 BEDROOM HVAC PLAN
 1/4" = 1'-0"



1 FIRST FLOOR 1 BEDROOM HVAC PLAN
 1/4" = 1'-0"



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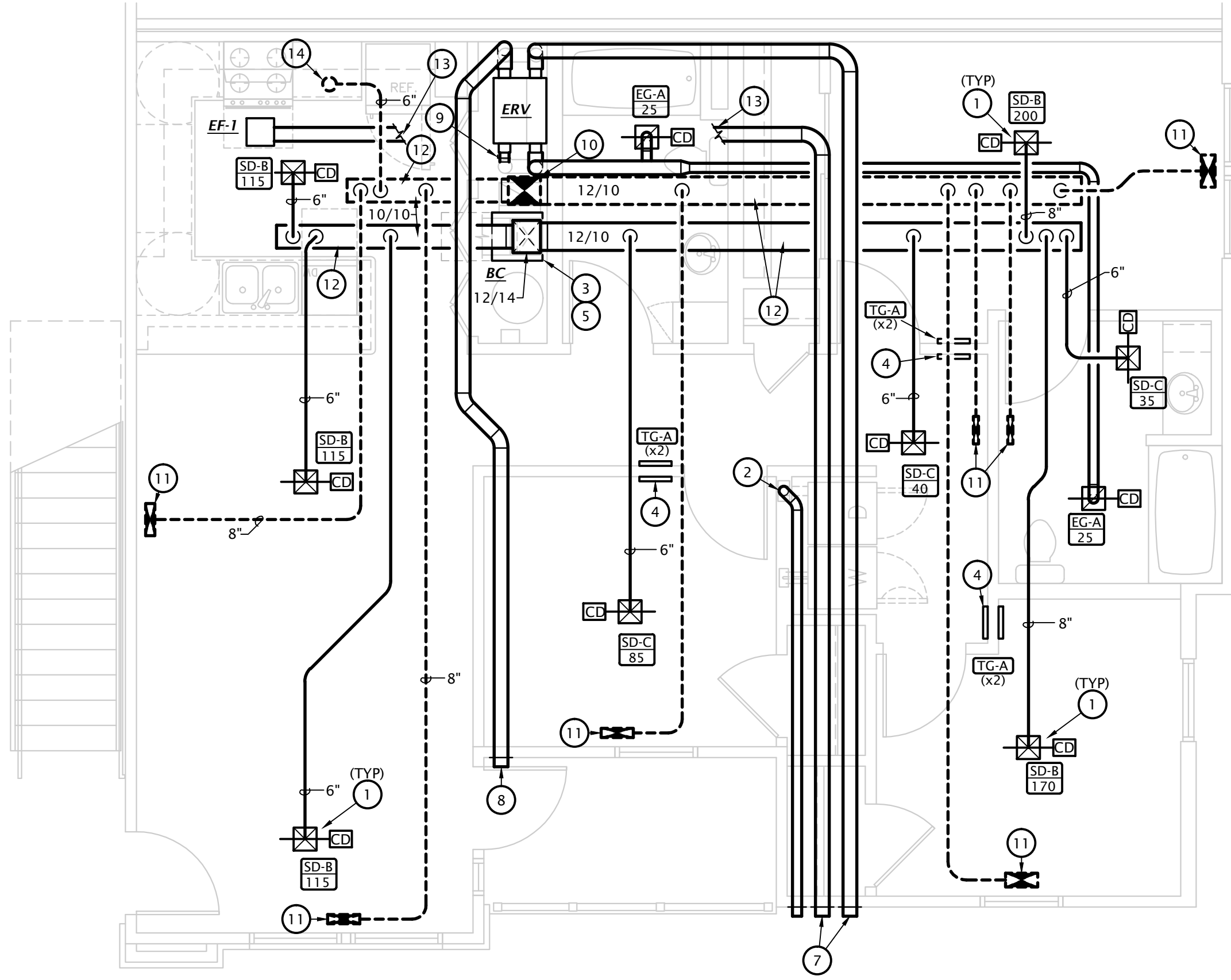
M4.2

MECHANICAL NOTES BY SYMBOL

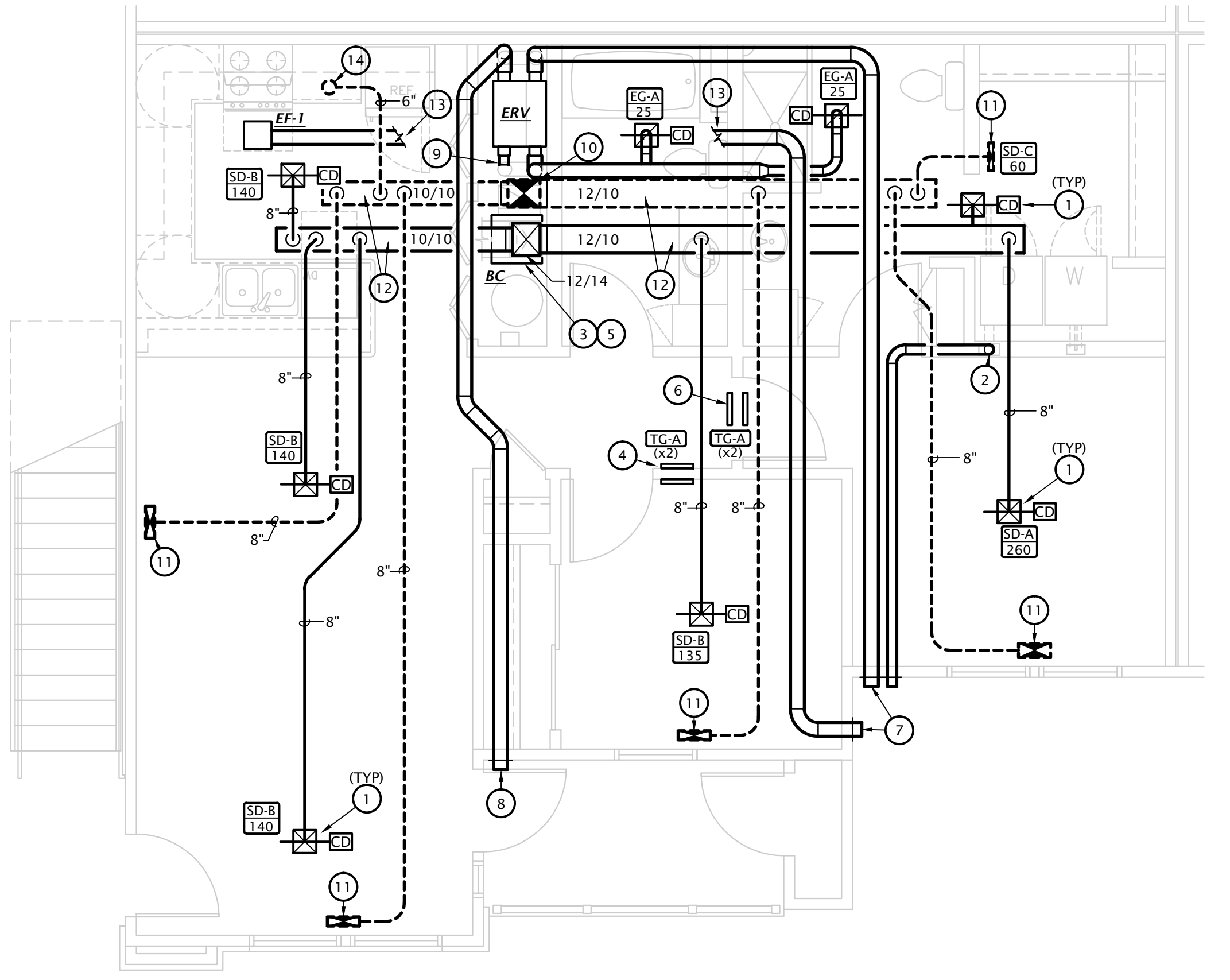
- NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.
- PROVIDE ALL SUPPLY AIR PENETRATIONS OF CEILING WITH U.L. LISTED RADIATION DAMPER, GREENHECK CRD OR EQUIVALENT.
 - PROVIDE UL LISTED DRYER BOX EQUAL TO IN-O-VATE TECHNOLOGIES IN WALL INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND ROUTE 4"Ø DRYER EXHAUST DUCT TO WALL CAP WITH BACKDRAFT DAMPER. MANUFACTURER'S MAXIMUM ALLOWABLE DUCT LENGTH = 45' WITH TWO 90° ELBOW. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED. PROVIDE PERMANENT LABEL IDENTIFYING EQUIVALENT LENGTH OF DRYER DUCT INSTALLED PER IMC 504. PROVIDE APPLIANCE CUT SHEET TO ENGINEER FOR REVIEW.
 NOTE: ANNUAL SPACE AROUND DUCT IS TO BE SEALED AT ALL PENETRATIONS OF FLOORS AND CEILINGS WITH U.L. LISTED FIRE STOPPING SYSTEM.
 - ROUTE REFRIGERANT PIPING FROM BLOWER COIL TO MATCHING HEAT PUMP CONCEALED ABOVE CEILINGS AND IN WALLS. SEE 'ME' SHEETS FOR HEAT PUMP LOCATIONS.
 - MOUNT TRANSFER GRILLE IN BEDROOM 6" BELOW CEILING AND MOUNT TRANSFER GRILLE ON OPPOSITE SIDE OF WALL 6" ABOVE FINISHED FLOOR. LINE STUD CAVITY WITH SHEET METAL.
 - PROVIDE AUXILIARY DRAIN PAN BELOW BLOWER COIL, AND PIPE OVERFLOW DRAIN TO FLOOR DRAIN.
 - MOUNT RETURN GRILLES ON BOTH SIDES OF WALL. CENTER RETURN GRILLE BETWEEN CEILING AND TOP OF DOOR. PROVIDE TRANSFER DUCT BETWEEN GRILLES.
 - ROUTE 6"Ø EXHAUST DUCT TO WALL CAP WITH BIRD SCREEN AND BACKDRAFT DAMPER.
 - ROUTE 6"Ø OUTDOOR AIR INTAKE TO WALL CAP WITH BIRD SCREEN. ENSURE OUTDOOR AIR INTAKE IS A MINIMUM OF 10'-0" FROM EXHAUST TERMINATIONS.
 - CONNECT 6"Ø SUPPLY AIR FROM 'ERV' TO RETURN AIR DUCT. PROVIDE BALANCING DAMPERS AND BALANCE AS INDICATED ON PLANS, SEE DETAIL 1-M6.1 FOR MORE INFORMATION.
 - DUCTWORK FROM FLOOR ABOVE. SEE SHEET M4.3.
 - DUCTWORK ROUTE UP TO SUPPLY GRILLE AT FLOOR ABOVE.
 - DUCT TO BE ROUTED IN LOWERED CEILING. COORDINATE EXACT REQUIREMENTS WITH ARCHITECT.
 - ROUTE KITCHEN EXHAUST DUCT THROUGH JOIST SPACE.
 - UP TO FLOOR ABOVE, SEE THIRD FLOOR PLAN FOR CONTINUATION.

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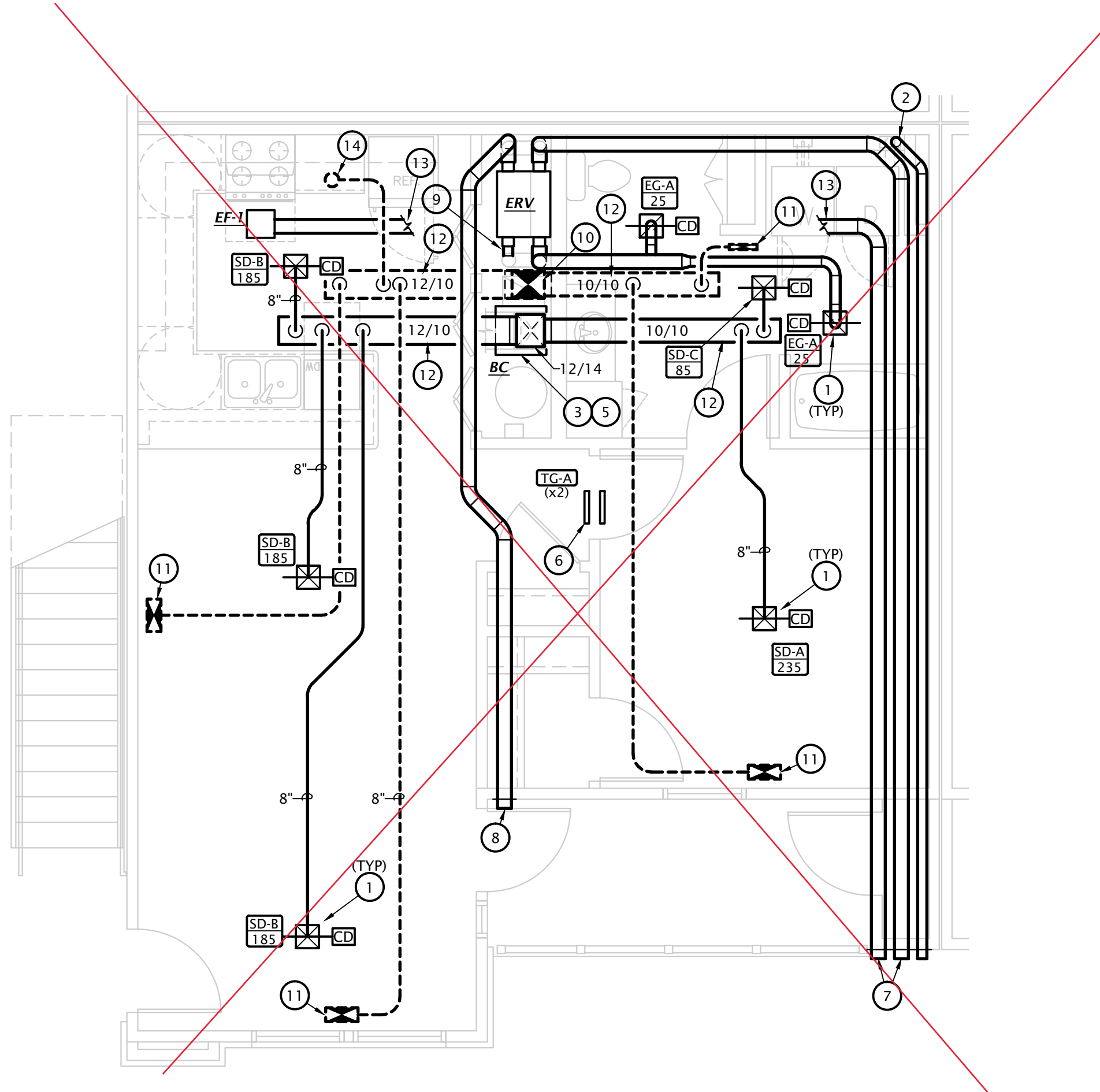
- NOTES:**
- ALL PENETRATIONS OF APARTMENT AIR BARRIERS SHALL BE SEALED TO MAINTAIN INTEGRITY OF AIR BARRIER. COORDINATE WITH G.C.
 - ALL DUCTWORK SHALL BE SEALED PER ENERGY STAR REQUIREMENTS. COORDINATE REQUIREMENTS WITH ENERGY RATER.
 - DUCTWORK AT SUPPLY, RETURN, AND TRANSFER AIR REGISTERS SHALL BE SEALED TO FLOOR, WALL, OR CEILING USING HVAC TAPE.
 - ENSURE ACCESS POINTS ARE PROVIDED FOR MEASUREMENT OF OUTDOOR AIR QUANTITIES AND ACCESSIBLE TO ENERGY RATER. COORDINATE WITH G.C. AND ENERGY RATER.



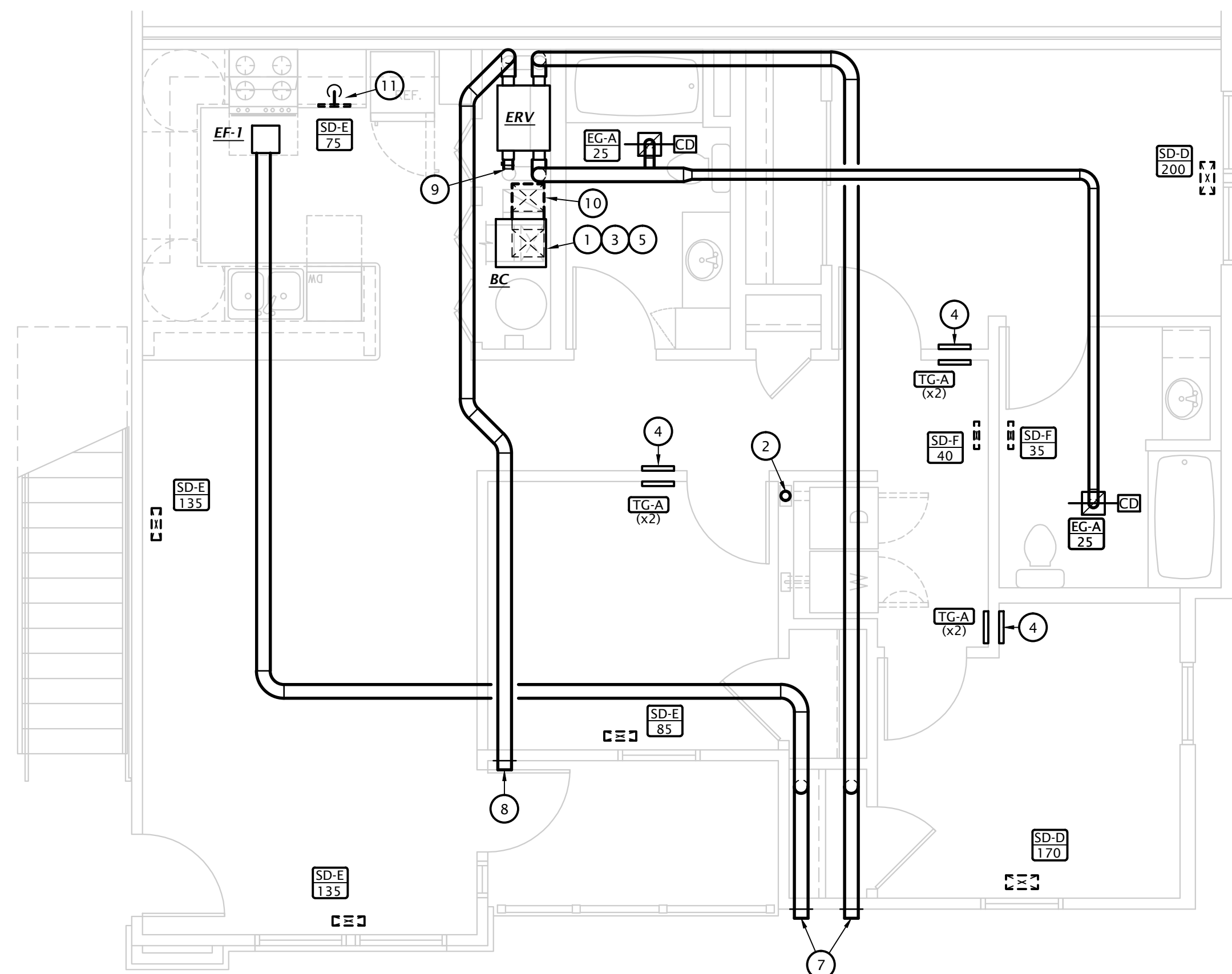
3 SECOND FLOOR 3 BEDROOM HVAC PLAN
 1/4" = 1'-0"



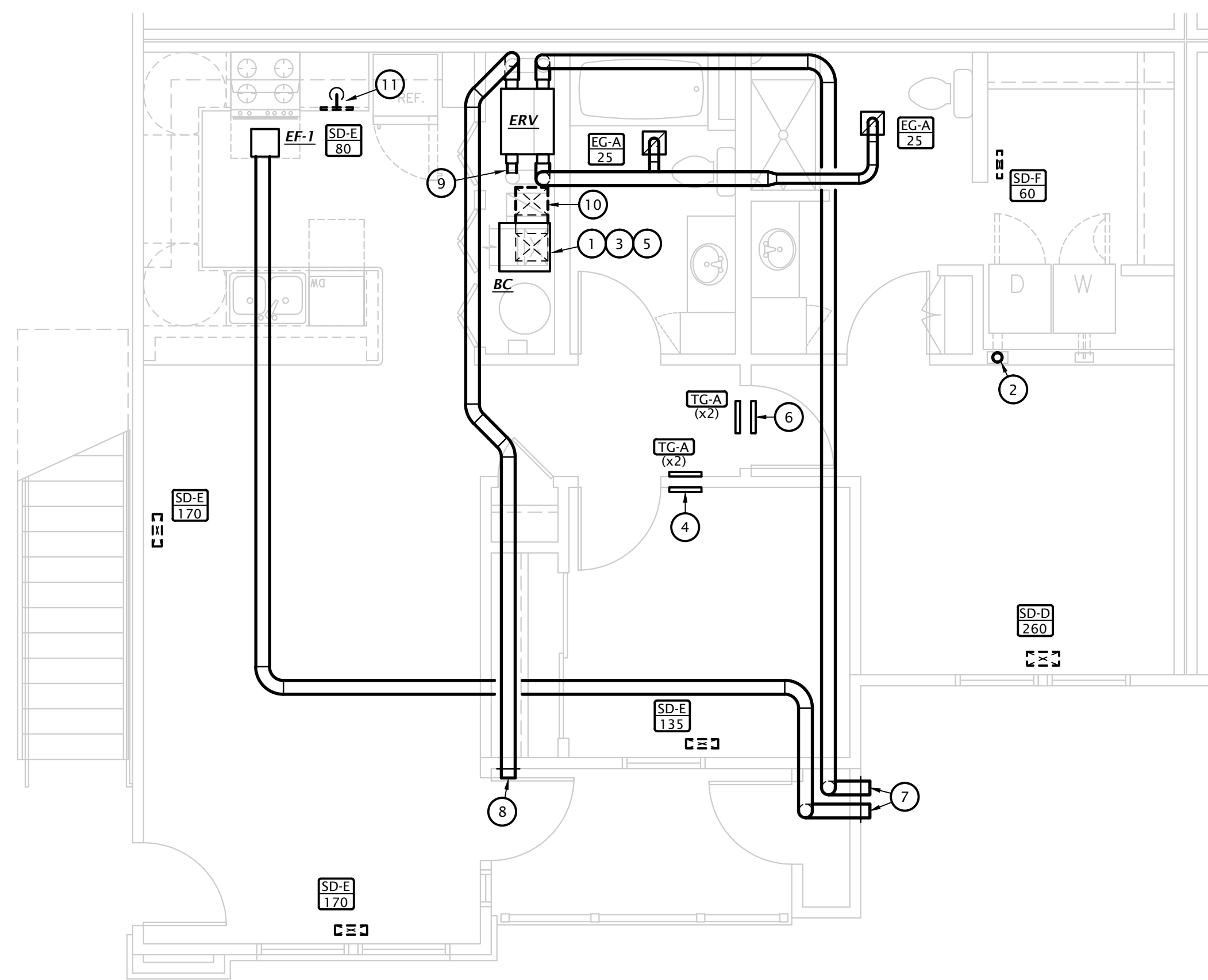
2 SECOND FLOOR 2 BEDROOM HVAC PLAN
 1/4" = 1'-0"



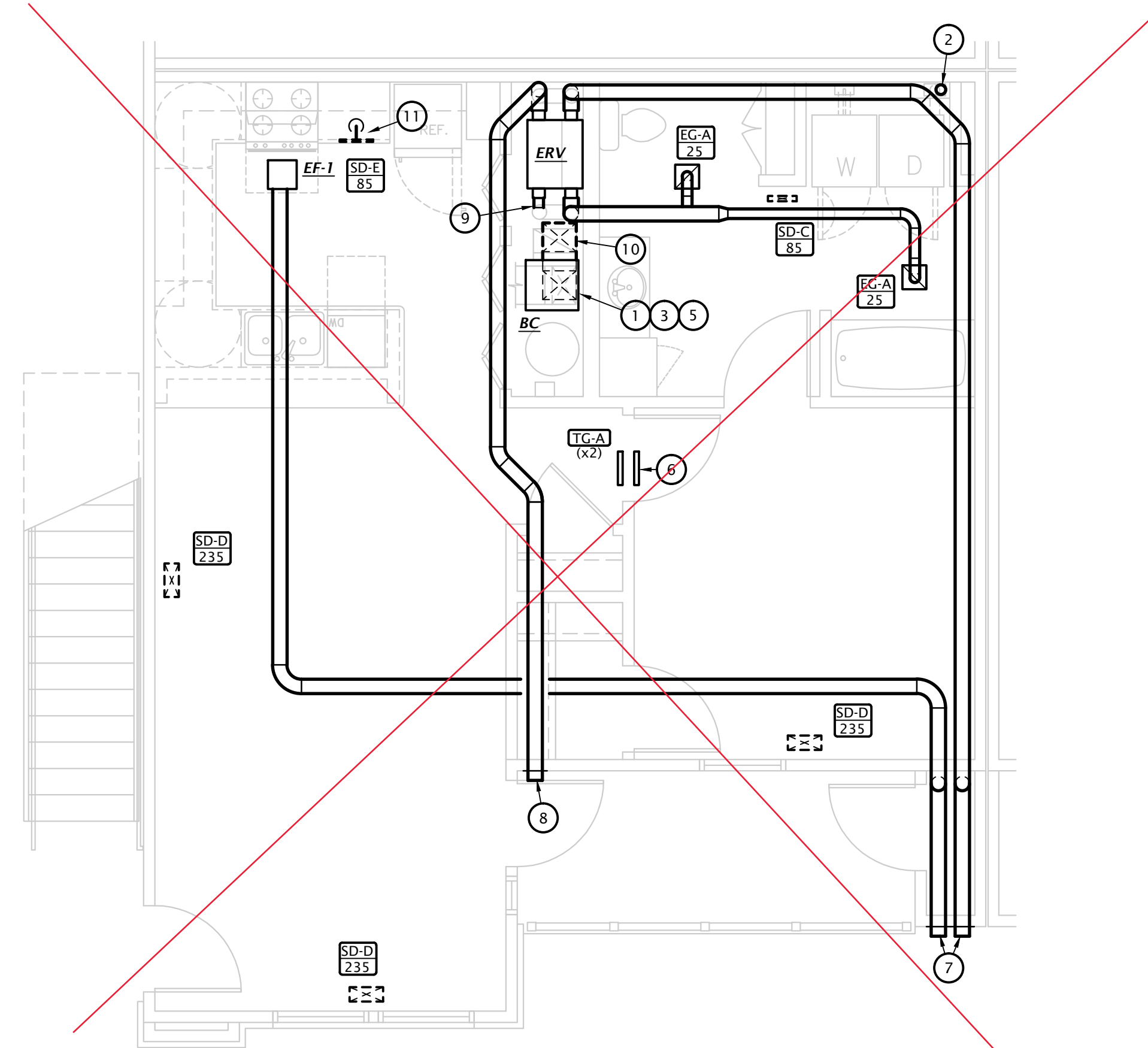
1 SECOND FLOOR 1 BEDROOM HVAC PLAN
 1/4" = 1'-0"



3 THIRD FLOOR 3 BEDROOM HVAC PLAN
 1/4" = 1'-0"



2 THIRD FLOOR 2 BEDROOM HVAC PLAN
 1/4" = 1'-0"



1 THIRD FLOOR 1 BEDROOM HVAC PLAN
 1/4" = 1'-0"

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MECHANICAL NOTES BY SYMBOL

- NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.
- PROVIDE BLOWER COIL WITH CONDENSATE OVERFLOW SHUTDOWN SWITCH.
 - PROVIDE UL LISTED DRYER BOX EQUAL TO IN-O-VATE TECHNOLOGIES IN WALL INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND ROUTE 4" DRYER EXHAUST DUCT BELOW FLOOR TO WALL CAP WITH BACKDRAFT DAMPER. MANUFACTURER'S MAXIMUM ALLOWABLE DUCT LENGTH = 45' WITH TWO 90° ELBOW. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED. PROVIDE PERMANENT LABEL IDENTIFYING EQUIVALENT LENGTH OF DRYER DUCT INSTALLED PER IMC 504.
 - NOTE: ANNULAR SPACE AROUND DUCT IS TO BE SEALED AT ALL PENETRATIONS OF FLOORS AND CEILINGS WITH U.L. LISTED FIRE STOPPING SYSTEM.
 - ROUTE REFRIGERANT PIPING FROM BLOWER COIL TO MATCHING HEAT PUMP CONCEALED ABOVE CEILINGS AND IN WALLS. SEE 'ME' SHEETS FOR HEAT PUMP LOCATIONS.
 - MOUNT TRANSFER GRILLE IN BEDROOM 6" BELOW CEILING AND MOUNT TRANSFER GRILLE ON OPPOSITE SIDE OF WALL 6" ABOVE FINISHED FLOOR. LINE STUD CAVITY WITH SHEET METAL.
 - BLOWER COIL TO BE DOWNFLOW TYPE. SEE M4.2 FOR SUPPLY DUCT ROUTING.
 - MOUNT RETURN GRILLES ON BOTH SIDES OF WALL. CENTER RETURN GRILLE BETWEEN CEILING AND TOP OF DOOR. PROVIDE TRANSFER DUCT BETWEEN GRILLES.
 - ROUTE 6" EXHAUST DUCT TO WALL CAP WITH BIRD SCREEN AND BACKDRAFT DAMPER.
 - ROUTE 6" OUTDOOR AIR INTAKE TO SOFFIT VENT WITH BIRD SCREEN. ENSURE OUTDOOR AIR INTAKE IS A MINIMUM OF 10'-0" FROM EXHAUST TERMINATIONS.
 - CONNECT 6" SUPPLY AIR FROM 'ERV' TO RETURN AIR DUCT. PROVIDE BALANCING DAMPERS AND BALANCE AS INDICATED ON PLANS. SEE DETAIL 1:M6.1 FOR MORE INFORMATION.
 - DUCT TO FLOOR BELOW. SEE SECOND FLOOR PLANS FOR CONTINUATION.
 - MAKE TRANSITION FROM 6" DUCT FROM BELOW TO 14"x2" SUPPLY GRILLE IN TOE KICK.

- NOTES:
- ALL PENETRATIONS OF APARTMENT AIR BARRIERS SHALL BE SEALED TO MAINTAIN INTEGRITY OF AIR BARRIER. COORDINATE WITH G.C.
 - ALL DUCTWORK SHALL BE SEALED PER ENERGY STAR REQUIREMENTS. COORDINATE REQUIREMENTS WITH ENERGY RATER.
 - DUCTWORK AT SUPPLY, RETURN, AND TRANSFER AIR REGISTERS SHALL BE SEALED TO FLOOR, WALL, OR CEILING USING HVAC TAPE.



| | |
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M4.3

EXHAUST FAN SCHEDULE

| MARK | MANUFACTURER | MODEL | CFM | ESP ("wg) | POWER | VOLTS/PHASE | NOTES |
|------|--------------|---------------|-----|-----------|-------|-------------|-------------|
| EF-1 | BROAN | QTXE1100150DC | 110 | 0.45" | 21 W | 120 / 1 | 1,2,3,4,5,6 |

- NOTES:
1. Fixture shall be Energy Star listed.
 2. Fixture shall operate at □ SONE
 3. Provide with integral disconnect.
 4. Provide manufacturer's wall cap or roof rack, see plans.
 5. Provide integral backdraft damper.
 6. Provide with manufacturer's ceiling radiation damper. Omit radiation dampers where rated ceilings are not present, coordinate with Arch.

MECHANICAL SYMBOLS

| | |
|--|--|
| | THERMOSTAT |
| | SQUARE SUPPLY DIFFUSER - TYPE AND AIRFLOW INDICATED |
| | SQUARE RETURN GRILLE - TYPE INDICATED |
| | MANUAL BALANCING DAMPER |
| | FLEXIBLE DUCTWORK - MAX. 5' |
| | DIFFUSER DESIGNATION AIRFLOW INDICATED |
| | RECTANGULAR RETURN OR RELIEF AIR DUCT UP |
| | RECTANGULAR SUPPLY AIR DUCT UP |
| | RECTANGULAR SUPPLY AIR DUCT DOWN |
| | RECTANGULAR RETURN OR EXHAUST AIR DUCT DOWN |
| | WALL DIFFUSER |
| | ROUND DUCT UP |
| | PIPE TURNING UP |
| | PIPE TURNING DOWN |
| | REFRIGERANT LIQUID |
| | REFRIGERANT SUCTION |
| | CEILING RADIATION DAMPER |
| | CONTROL CABLE, VERIFY TYPE WITH EQUIPMENT MANUFACTURER |

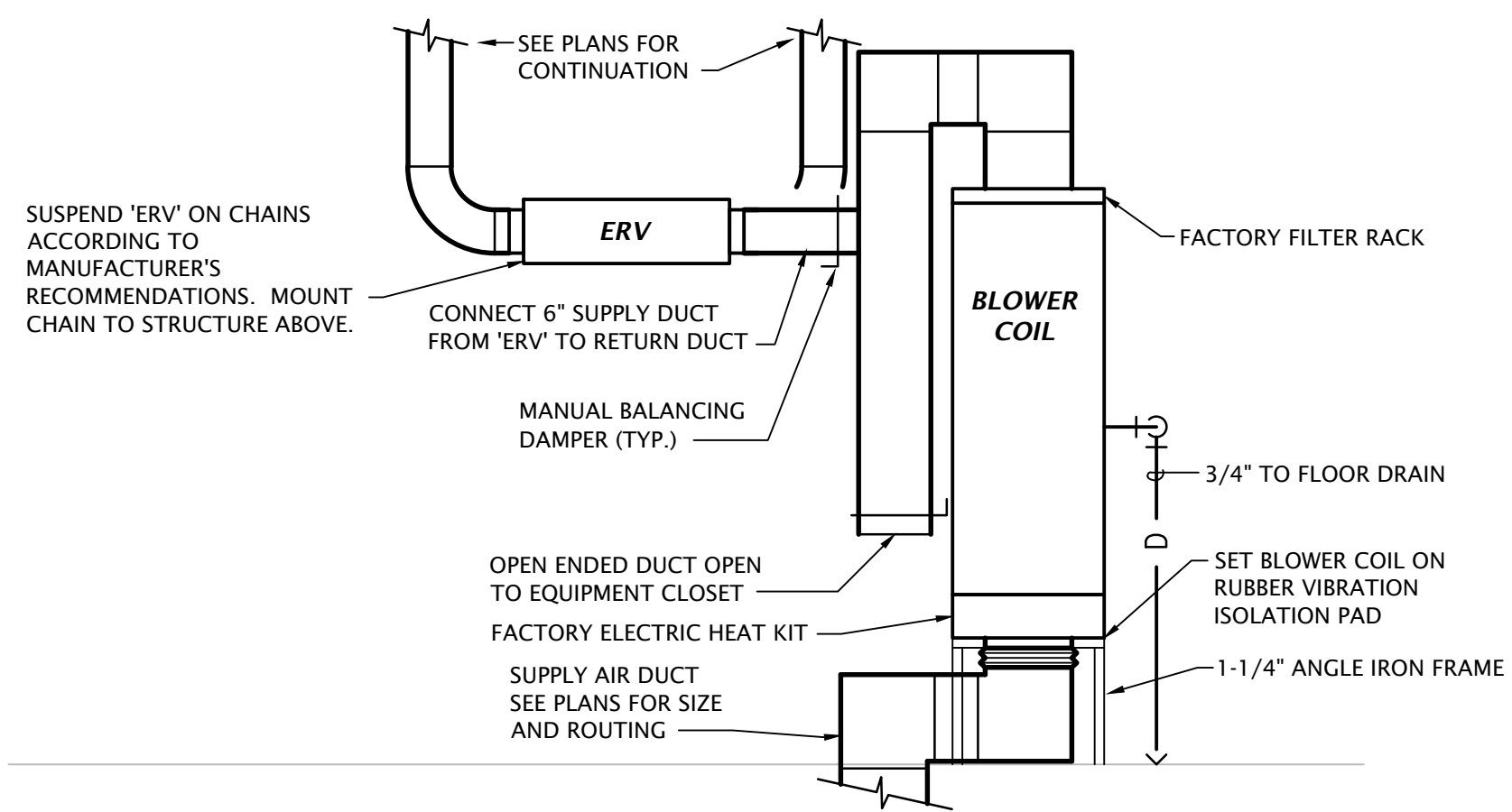
AIR DEVICE SCHEDULE

| MARK | MANUFACTURER | MODEL | FACE SIZE | NECK SIZE |
|------|---------------|-------|------------|-----------|
| SD-A | HART □ COOLEY | 621 | 12"x12" | SEE PLANS |
| SD-B | HART □ COOLEY | 621 | 10"x10" | SEE PLANS |
| SD-C | HART □ COOLEY | 621 | 8"x8" | SEE PLANS |
| SD-D | HART □ COOLEY | 411 | 14"x6" | SEE PLANS |
| SD-E | HART □ COOLEY | 411 | 14"x4" | SEE PLANS |
| SD-F | HART □ COOLEY | 411 | 14"x2-1/4" | SEE PLANS |
| SD-G | HART □ COOLEY | 420 | 14"x2" | SEE PLANS |
| EG-A | HART □ COOLEY | 650 | 8"x8" | SEE PLANS |
| TG-A | HART □ COOLEY | 650 | 14"x12" | SEE PLANS |

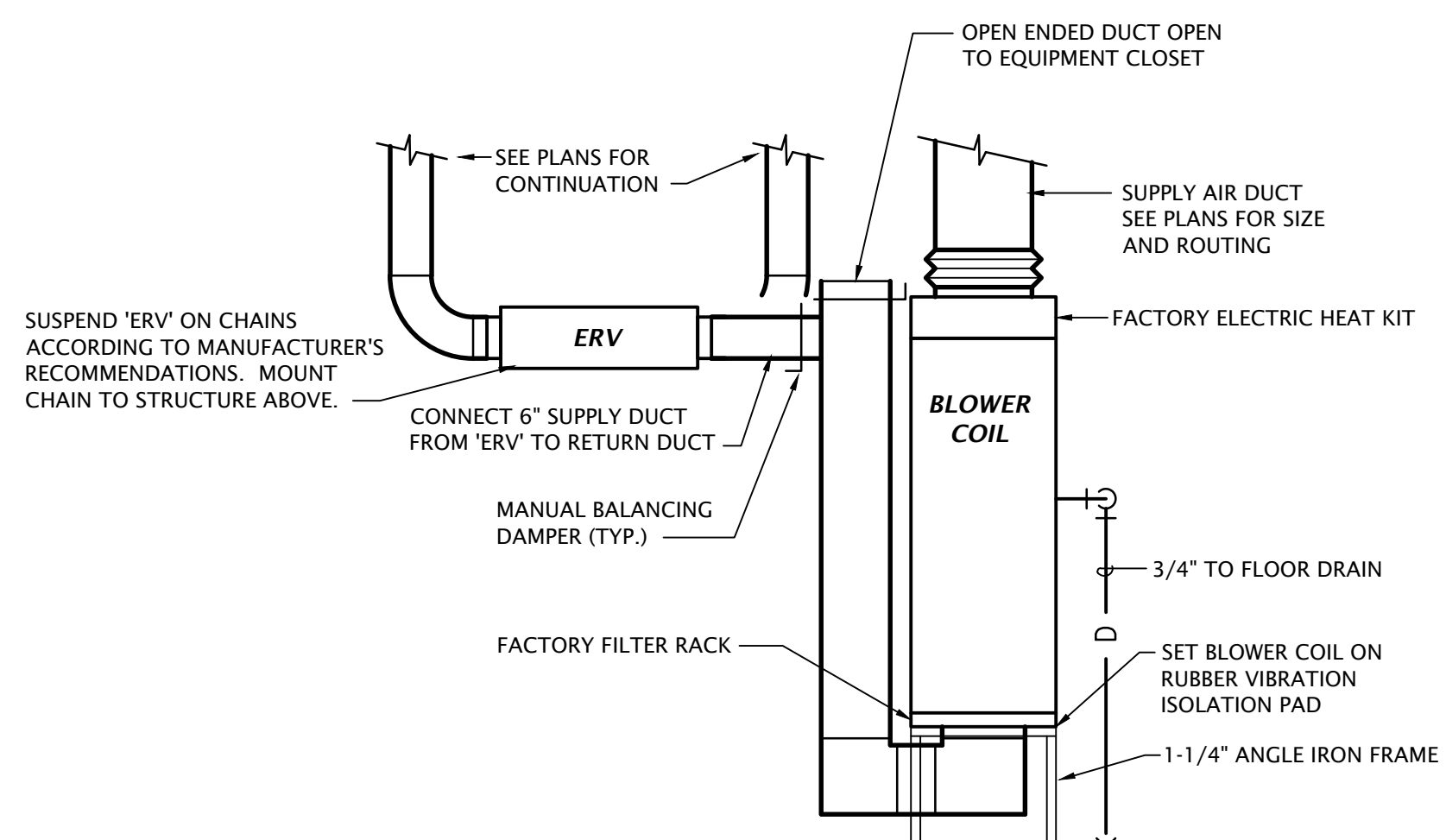


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2 APARTMENT BLOWER COIL DETAIL (3RD FLOOR)
 NO SCALE



1 APARTMENT BLOWER COIL DETAIL (1ST AND 2ND FLOORS)
 NO SCALE

HEAT PUMP SCHEDULE

| MARK | MANUF. | MODEL | NOMINAL TONS | COOLING CAPACITY | | | | HEATING CAPACITY | | | MIN HSPF | ELECTRICAL | | | |
|------|------------|-----------------|--------------|------------------|---------------|----------|---------|------------------|-------|------------|----------|------------|-----|------|-------|
| | | | | OA DB | ENT AIR DB/WB | SENS MBH | TOT MBH | MIN SEER | OA DB | ENT AIR DB | | TOT MBH | MCA | MOCP | V/PH |
| HP | MITSUBISHI | TRUZH0241HA10NA | 2 | 93 | 75/62 | 17.14 | 17.86 | 16 | 43 | 70 | 18.62 | 9.5 | 17 | 25 | 208/1 |

- Notes:
1. Refrigerant lines shall be field fabricated. Coordinate line sizing requirements with equipment manufacturer for length of run for each apartment. Provide suction accumulators, etc. as required.
 2. Verify minimum energy rating requirements with local AHJ.
 3. Provide 7-day programmable thermostat.
 4. Provide with R140a refrigerant.
 5. Provide 2 sets of MERV-7 filters.

BLOWER COIL SCHEDULE

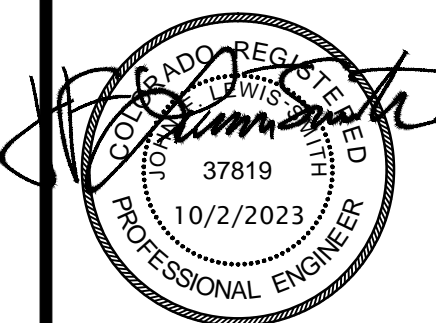
| MARK | MANUF. | MODEL | CFM | ESP | SPEED | HEATING KW | V/Ph | MOTOR FLA | MCA | MOCP |
|------|--------|-------|-----|-----|-------|------------|------|-----------|-----|------|
| | | | | | | | | | | |

- General Notes:
- Single point connection required, coordinate the exact electrical requirements of equipment provided with E.C., UNO
 - Electric heater shall not operate simultaneously with heat pump. Electric heater shall be used as back-up heat only.
 - Blower coil shall be powered from Electric Heat Kit, provide Seperate Power Kit. Coordinate exact requirements with equipment manufacturer.

ENERGY RECOVERY VENTILATOR SCHEDULE

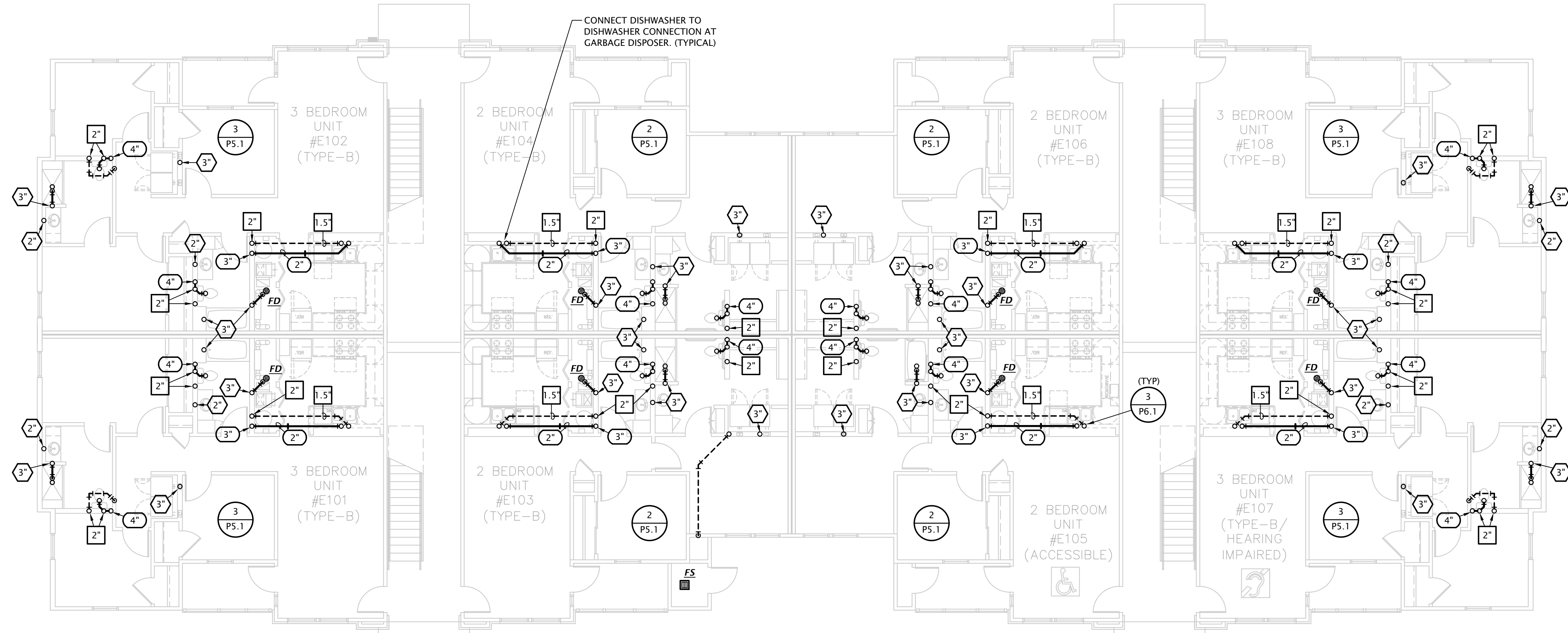
| MARK | MANUFACTURER | MODEL NUMBER | TYPE | AIRFLOW | | E.S.P. ("W.C.) | MOTOR (W) | | FILTERS | MCA | MOCP | VOLTAGE/PHASE | WEIGHT (LBS.) |
|------|--------------|--------------|-----------------------|---------|---------|----------------|-----------|---------|--------------------------|------|------|---------------|---------------|
| | | | | SUPPLY | EXHAUST | | SUPPLY | EXHAUST | | | | | |
| ERV | PANASONIC | FV-10VEC2 | ENTHALPY STATIC PLATE | 50 | 50 | 0.4 | 29 | N/A | SA: MERV 8 EA: MERV 8 | 0.75 | 15 | 120V/1 PH | 57 |

- NOTES:
1. ERV FANS TO HAVE A MINIMUM EFFICACY OF 1.2 CFM/WATT PER 2021 IECC.



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- NOTES:**
- SEE ROUGH-IN REQUIREMENTS IN PLUMBING SCHEDULE ON SHEET P6.1 FOR ADDITIONAL INFORMATION.
 - SEE SHEET P4.1-P4.2 FOR FIXTURE TYPES
 - SEE WASTE AND VENT ISOMETRICS ON SHEET P5.1 FOR ADDITIONAL INFORMATION.
 - PIPING SHALL NOT BE ROUTED VERTICALLY IN FIREWALLS SEPARATING UNITS. ALL PIPING SHALL BE ROUTED VERTICALLY IN FURRED OUT WALL AS INDICATED ON PLANS.
 - WHERE PIPING PENETRATES FIRE RATED ASSEMBLIES, INSTALL PER DETAILS ON A4.7.

PLUMBING SIZING SYMBOLS

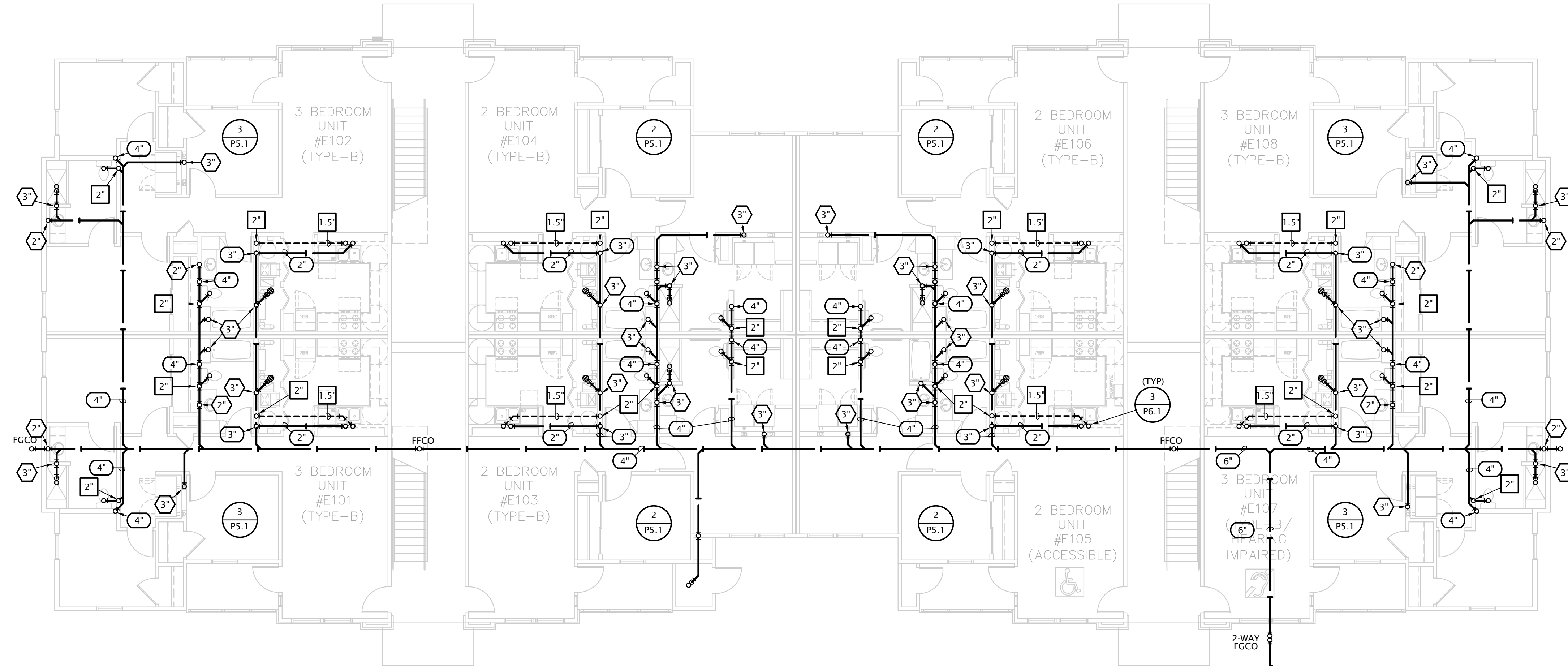
| | |
|-----------------------|-----------------------------|
| X° | DRAIN (X = SIZE) |
| X^{v} | VENT (X = SIZE) |
| X^{v} | WASTE STACK VENT (X = SIZE) |

WASTE STACK VENT NOTE:
 ALL OFFSETS ARE PROHIBITED BETWEEN LOWEST AND HIGHEST FIXTURE DRAIN CONNECTION TO WASTE STACK VENT (IPC 913.2)

APARTMENT BUILDING E
FIRST FLOOR WASTE AND VENT PLAN
 1/8" = 1'-0"

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APARTMENT BUILDING E
UNDER FLOOR WASTE AND VENT PLAN
 1/8" = 1'-0"

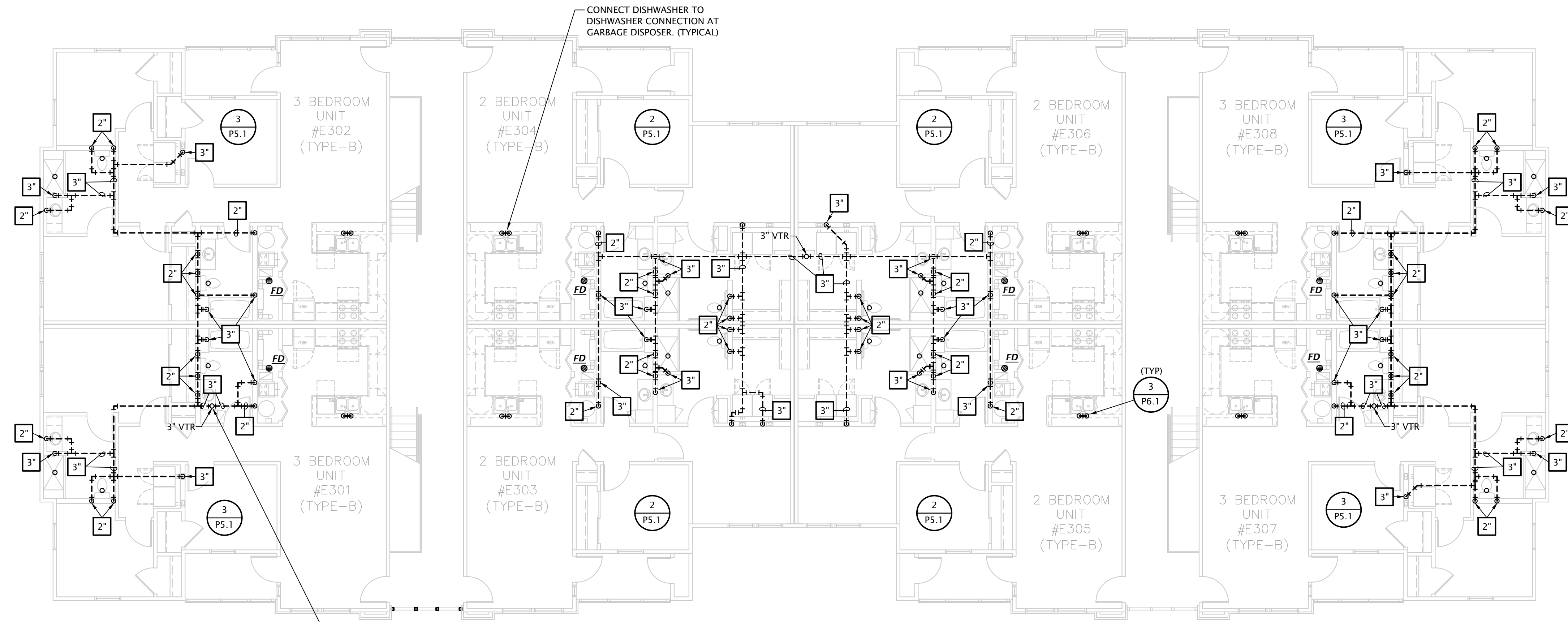
SEE CIVIL DRAWINGS FOR CONTINUATION.

THE RESERVES at EAGLE POINT
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 AURORA, COLORADO



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P1.



APARTMENT BUILDING E
THIRD FLOOR WASTE AND VENT PLAN
 1/8" = 1'-0"

- NOTES:**
- SEE ROUGH-IN REQUIREMENTS IN PLUMBING SCHEDULE ON SHEET P6.1 FOR ADDITIONAL INFORMATION.
 - SEE SHEET P4.1-P4.2 FOR FIXTURE TYPES
 - SEE WASTE AND VENT ISOMETRICS ON SHEET P5.1 FOR ADDITIONAL INFORMATION.
 - PIPING SHALL NOT BE ROUTED VERTICALLY IN FIREWALLS SEPARATING UNITS. ALL PIPING SHALL BE ROUTED VERTICALLY IN FURRED OUT WALL AS INDICATED ON PLANS.
 - WHERE PIPING PENETRATES FIRE RATED ASSEMBLIES, INSTALL PER DETAILS ON A4.7.

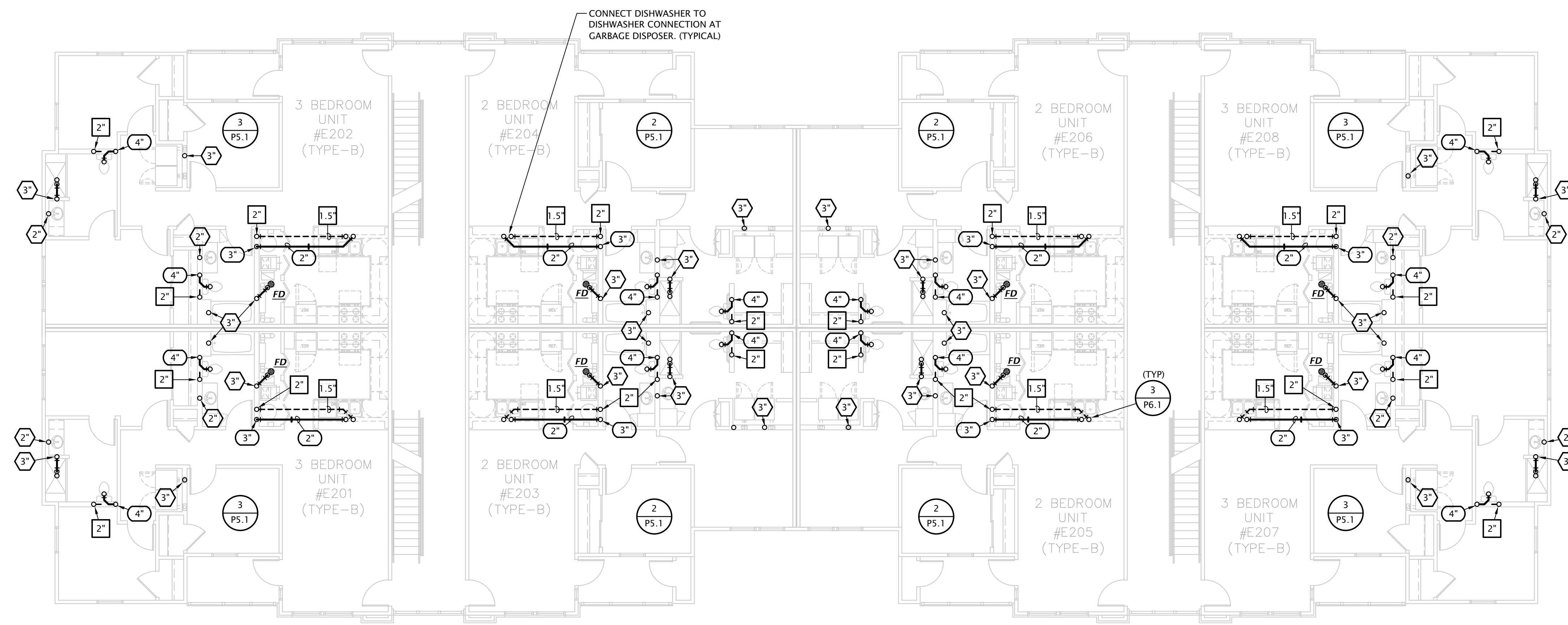
PLUMBING SIZING SYMBOLS

| | |
|---------------|-----------------------------|
| \square^{x} | DRAIN (X = SIZE) |
| \square^{x} | VENT (X = SIZE) |
| \square^{x} | WASTE STACK VENT (X = SIZE) |

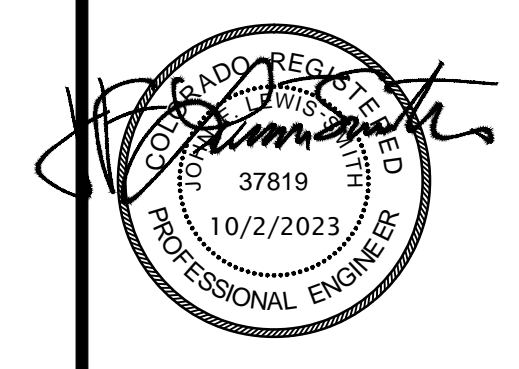
WASTE STACK VENT NOTE:
 ALL OFFSETS ARE PROHIBITED BETWEEN LOWEST AND HIGHEST FIXTURE DRAIN CONNECTION TO WASTE STACK VENT (IPC 913.2)

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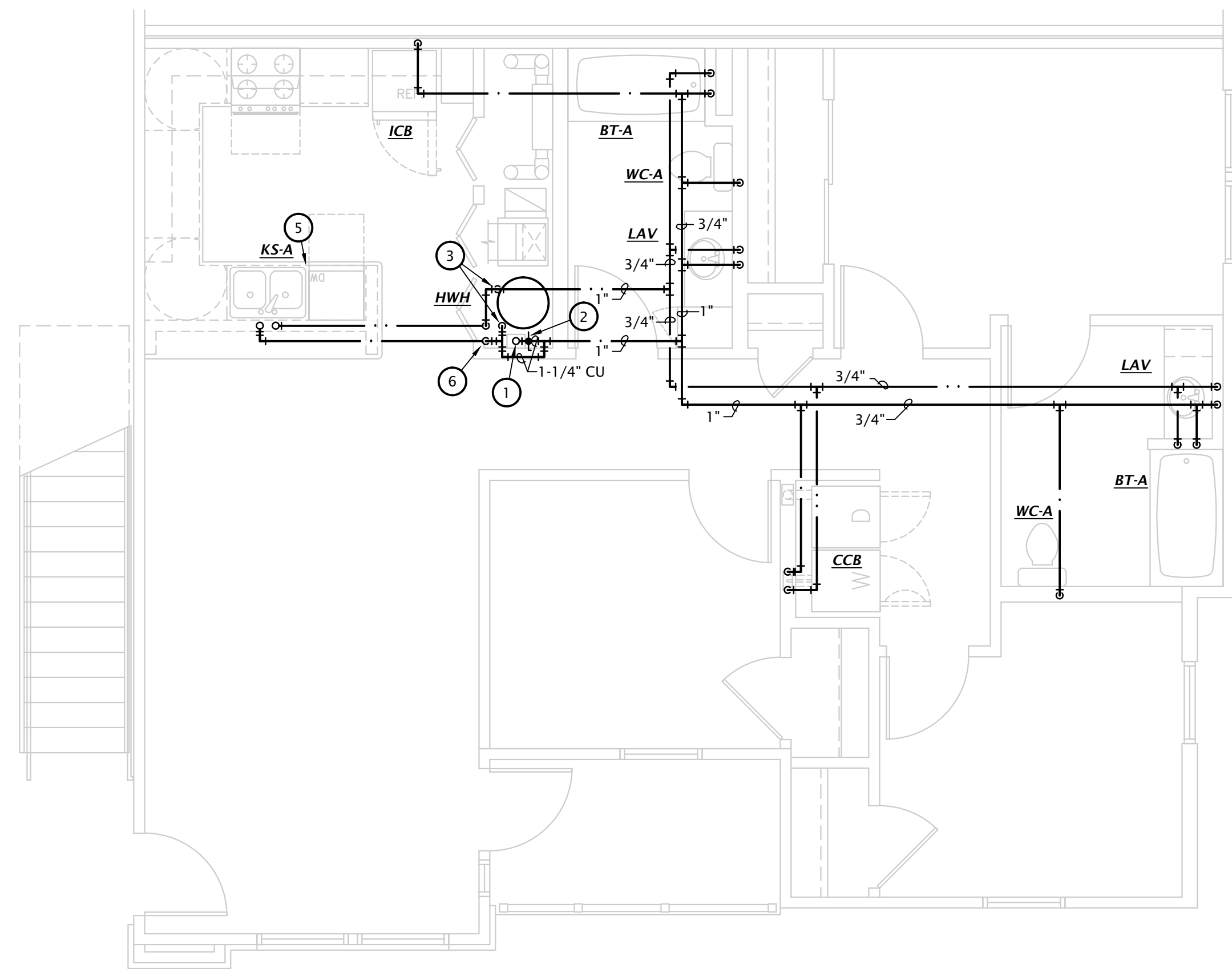


APARTMENT BUILDING E
SECOND FLOOR WASTE AND VENT PLAN
 1/8" = 1'-0"

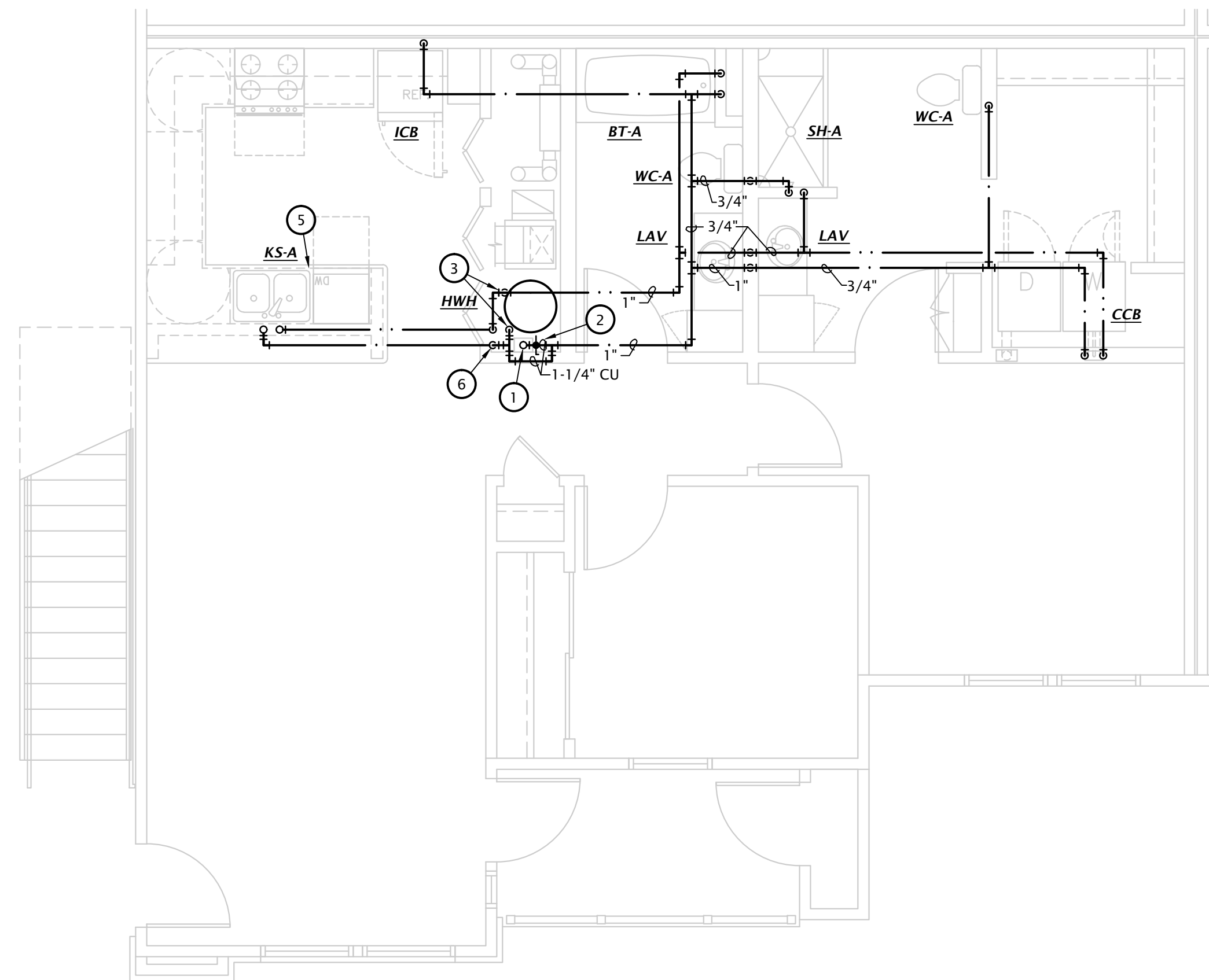


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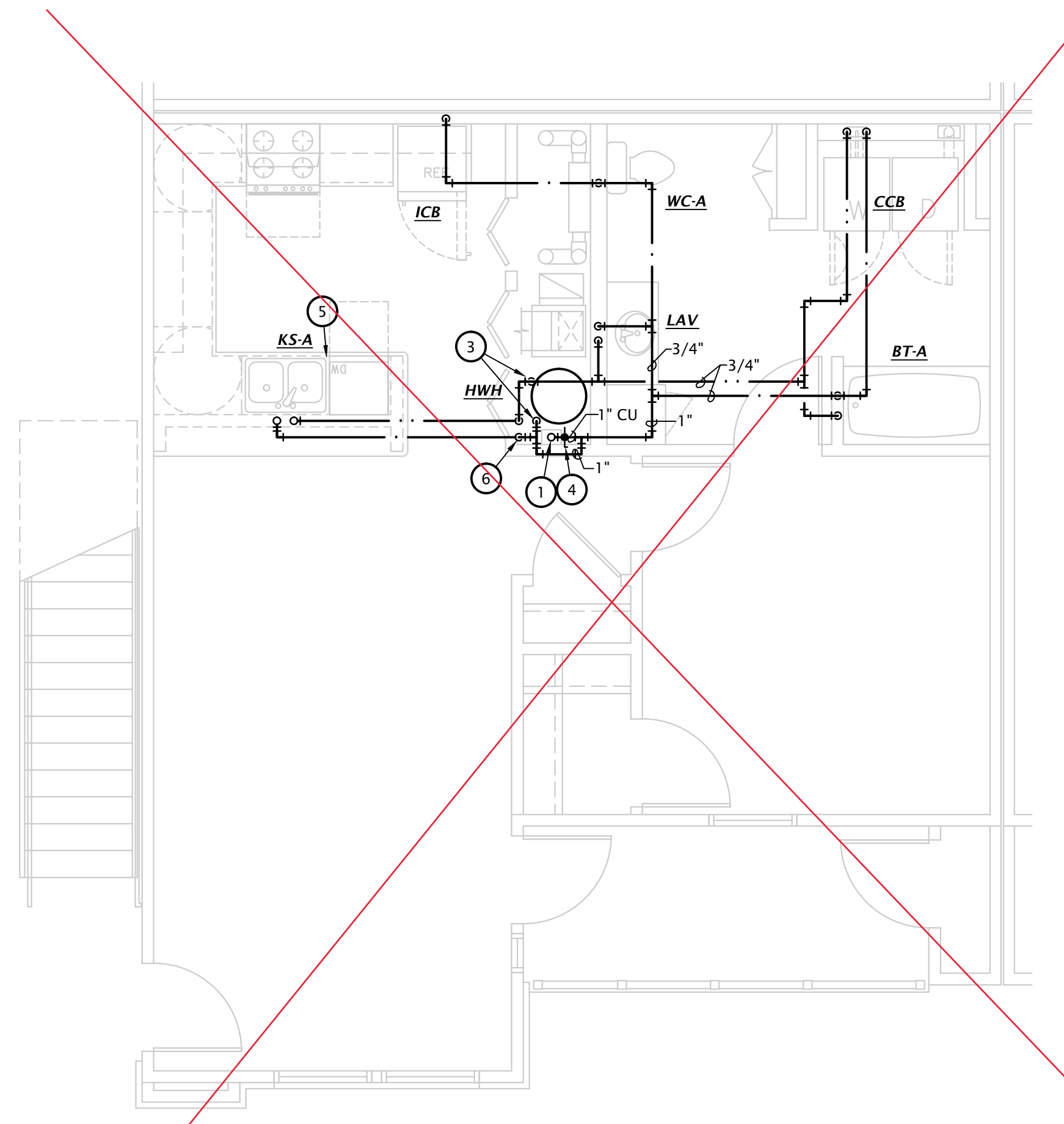
P1.10



3 3 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



2 2 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



1 1 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"

NOTE: PIPE SIZING AND ROUTING IS DESIGNED TO MEET MINIMUM HOT WATER VOLUME REQUIREMENTS. PIPE SIZES ARE BASED ON PEX PIPING UNLESS NOTED OTHERWISE. ROUTE PIPING DIRECT AS POSSIBLE TO MINIMIZE LENGTH OF HOT WATER PIPING.

- NOTES:**
- PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS.
 - COORDINATE INSTALLATION OF PIPING IN MECHANICAL CLOSET W/ M.C. □ E.C.
 - SEE PLUMBING FIXTURE SCHEDULE ON SHEET P6.1 FOR FIXTURE ROUGH-IN INFORMATION.
 - ROUTE PIPING BELOW FLOOR FOR 3RD FLOOR APARTMENTS AND WHERE NOTED ON OVERALL PLAN. DO NOT ROUTE PIPING ABOVE CEILING IN UNCONDITIONED ATTIC/ PLENUM SPACES EXPOSED TO EXTERIOR.
 - INSULATE ALL HW PIPING PER SPECIFICATIONS.
 - ALL PENETRATIONS OF APARTMENT AIR BARRIERS SHALL BE SEALED TO MAINTAIN INTEGRITY OF AIR BARRIER. COORDINATE WITH G.C.

- # ENLARGED PLAN NOTES BY SYMBOL**
1. SEE OVERALL DOMESTIC WATER PLANS FOR CONTINUATION.
 2. PROVIDE 1-1/4" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE DOMESTIC WATER RISER DIAGRAMS ON SHEET P5.2 FOR ADDITIONAL INFO.
 3. CONNECT 1" CW AND HW TO WATER HEATER. SEE DETAIL 2:P6.1
 4. PROVIDE 1" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE DOMESTIC WATER RISER DIAGRAMS ON SHEET P5.2 FOR ADDITIONAL INFO.
 5. PROVIDE 1/2" VALVED BRANCH BELOW SINK AND CONNECT DISHWASHER. ROUTE PIPING ALONG BACK OF CABINETS. COORDINATE EXACT ROUTING WITH G.C. COORDINATE EXACT REQUIREMENTS WITH DISHWASHER PROVIDED.
 6. ROUTE 1/2" HOT AND COLD WATER DOWN WALL AND BELOW FLOOR TO 'KS-A/KS-B'. PROVIDE SHUT-OFF VALVES ACCESSIBLE FROM MECHANICAL CLOSET.

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P4.1



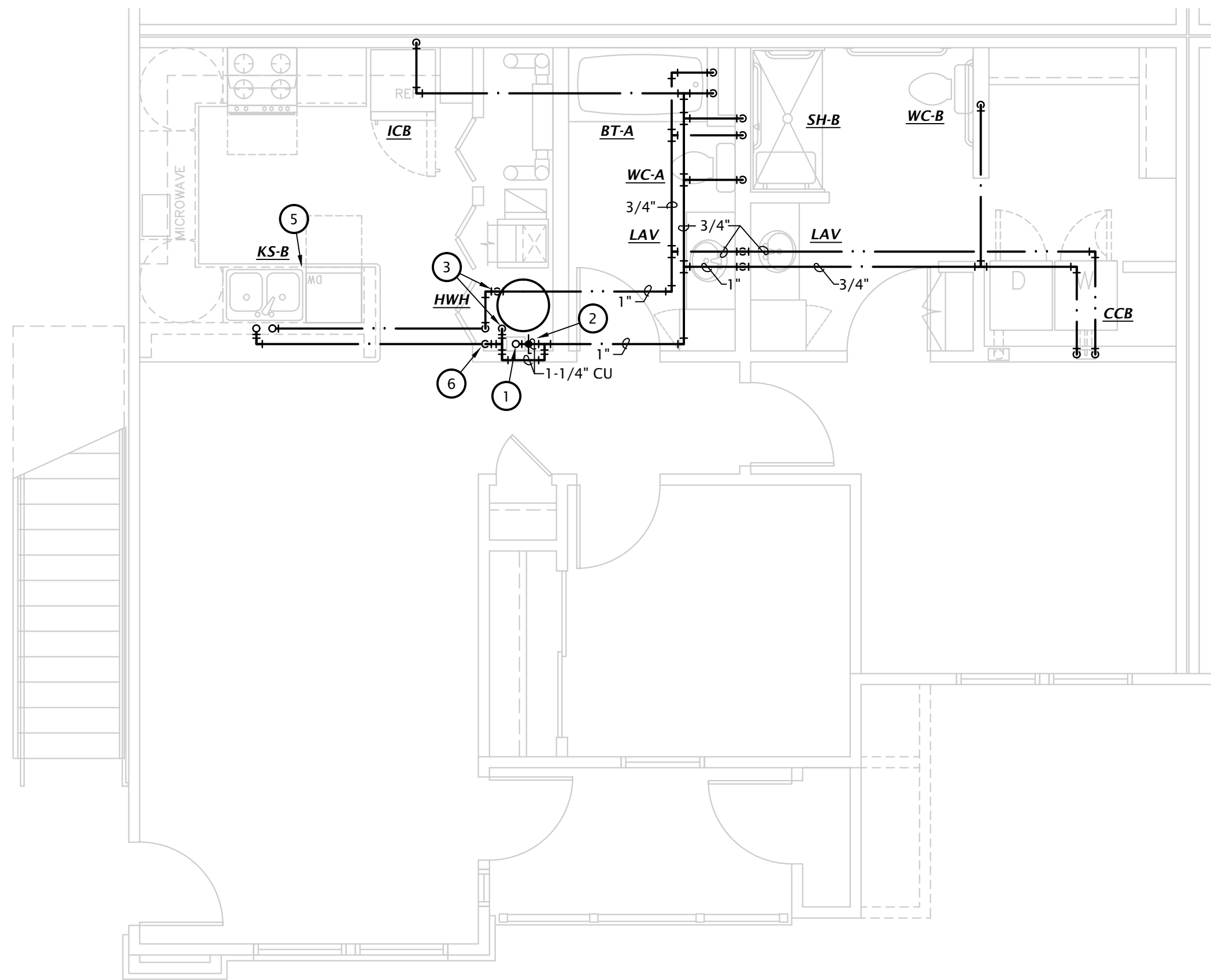
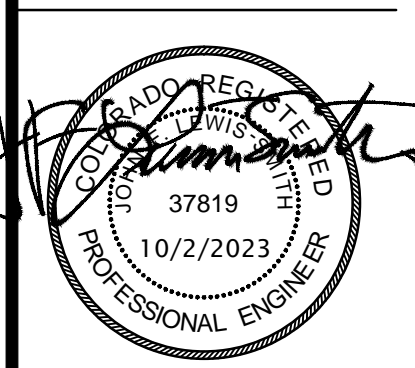
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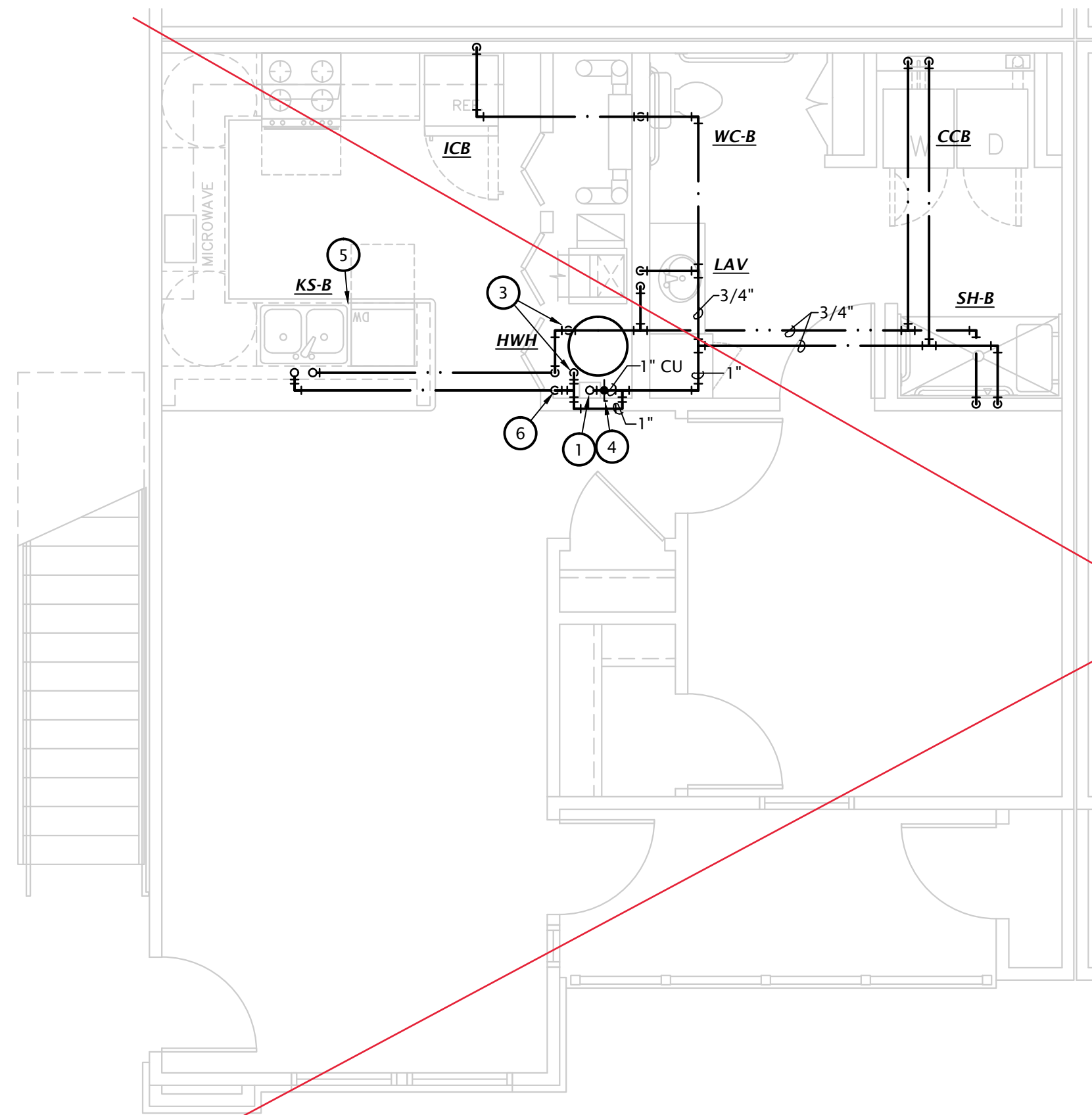
IST Consulting Engineers, PA
 MANHATTAN 4809 Van Dyke Lane, Suite 201, Manhattan, KS 66503, 785.587.8042
 WICHITA 1225 S. Washington, Suite 150, Wichita, Kansas 67202, 316.285.0696
 www.ISTengineers.com
 Project 23050 October 2023

JonesGillamRenz
 1881 Main Street, Suite 301
 Salina, KS 67401
 785.827.0386
 jgr@jgarchitects.com

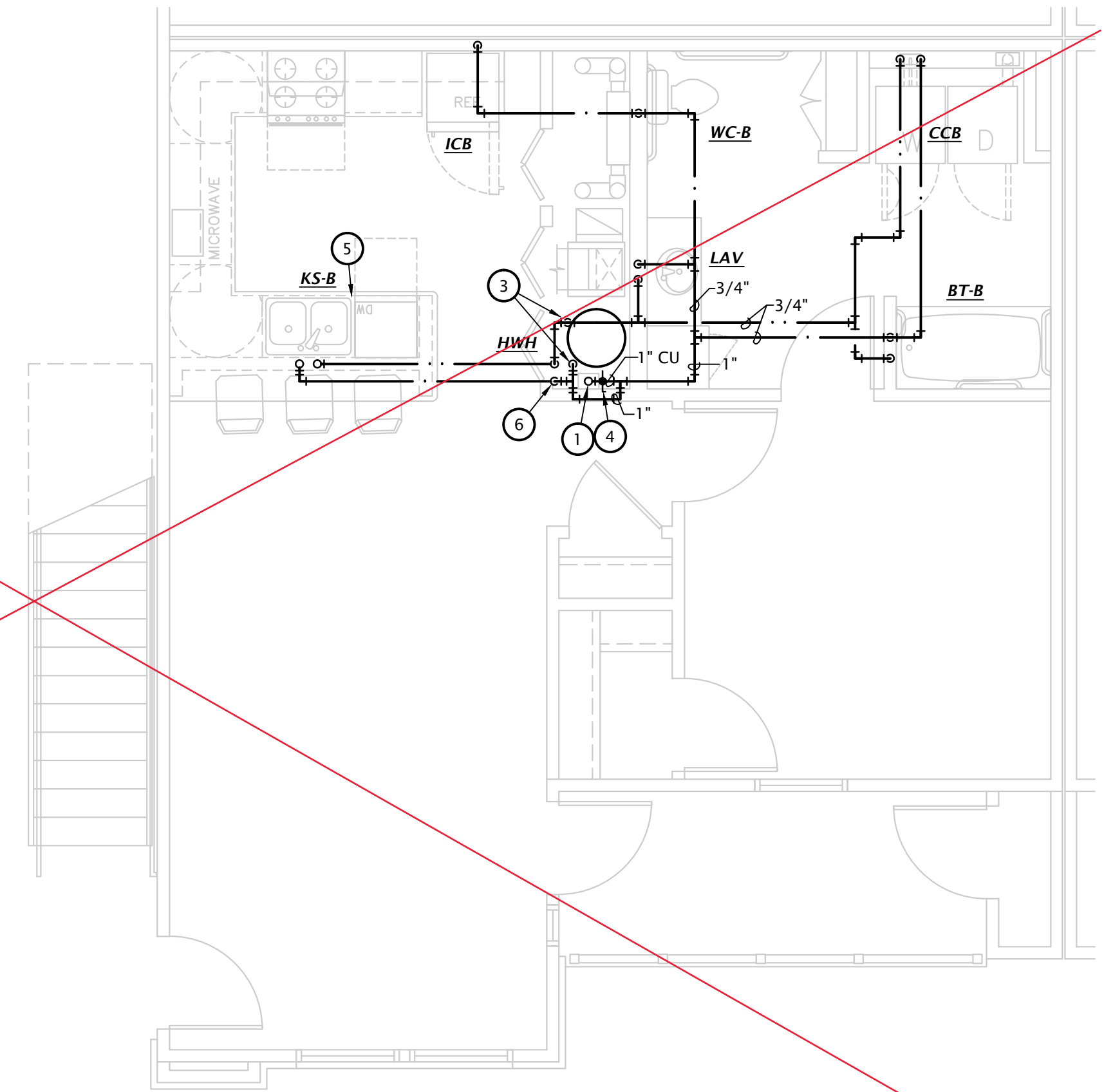
THE RESERVES at EAGLE POINT
 415 NORTH PICADILLY RD
 AURORA,
 COLORADO



5 ACCESSIBLE (ROLL-IN) 2 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



4 ACCESSIBLE (ROLL-IN) 1 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



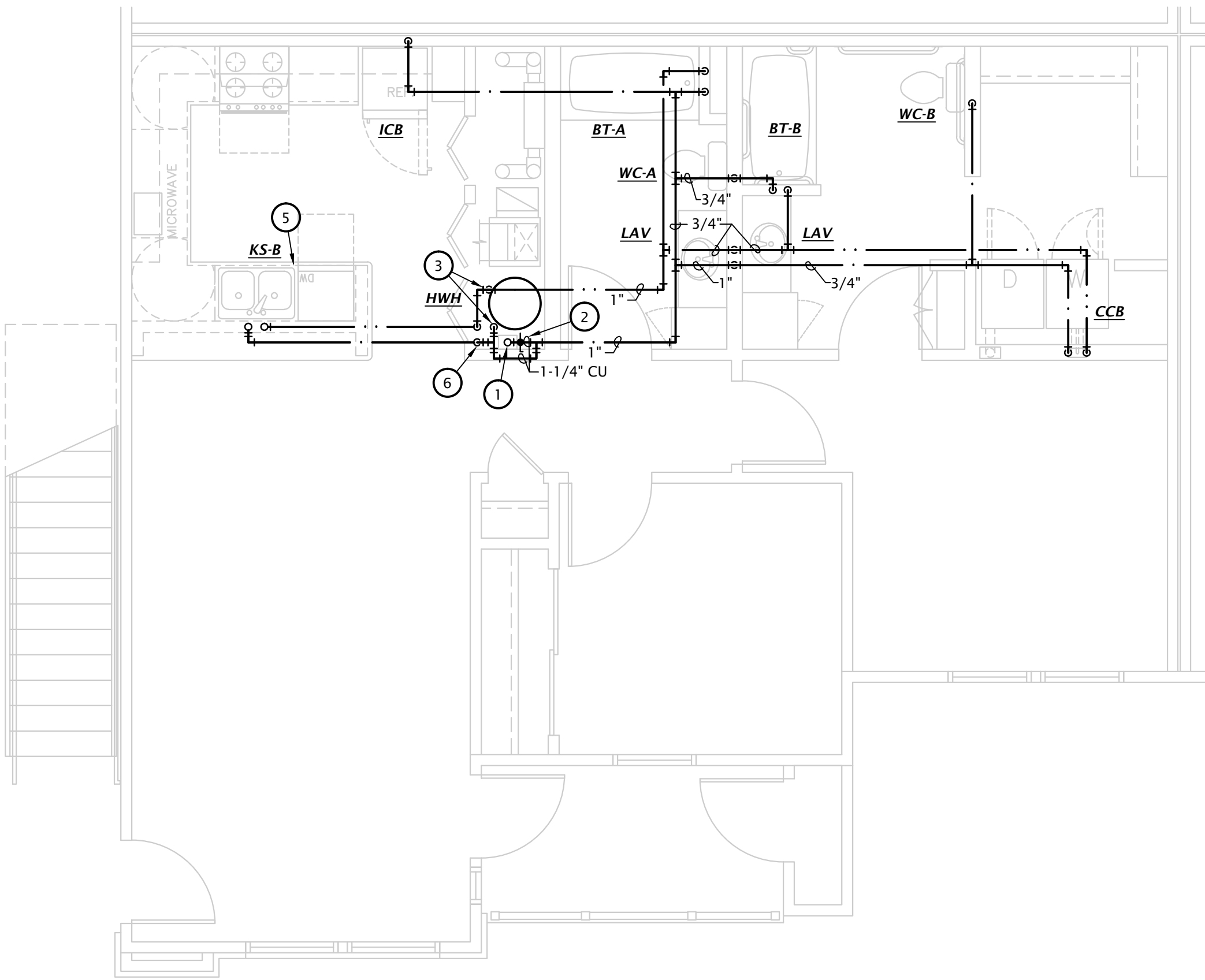
3 ACCESSIBLE 1 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"

NOTE: PIPE SIZING AND ROUTING IS DESIGNED TO MEET MINIMUM HOT WATER VOLUME REQUIREMENTS. PIPE SIZES ARE BASED ON PEX PIPING UNLESS NOTED OTHERWISE. ROUTE PIPING DIRECT AS POSSIBLE TO MINIMIZE LENGTH OF HOT WATER PIPING.

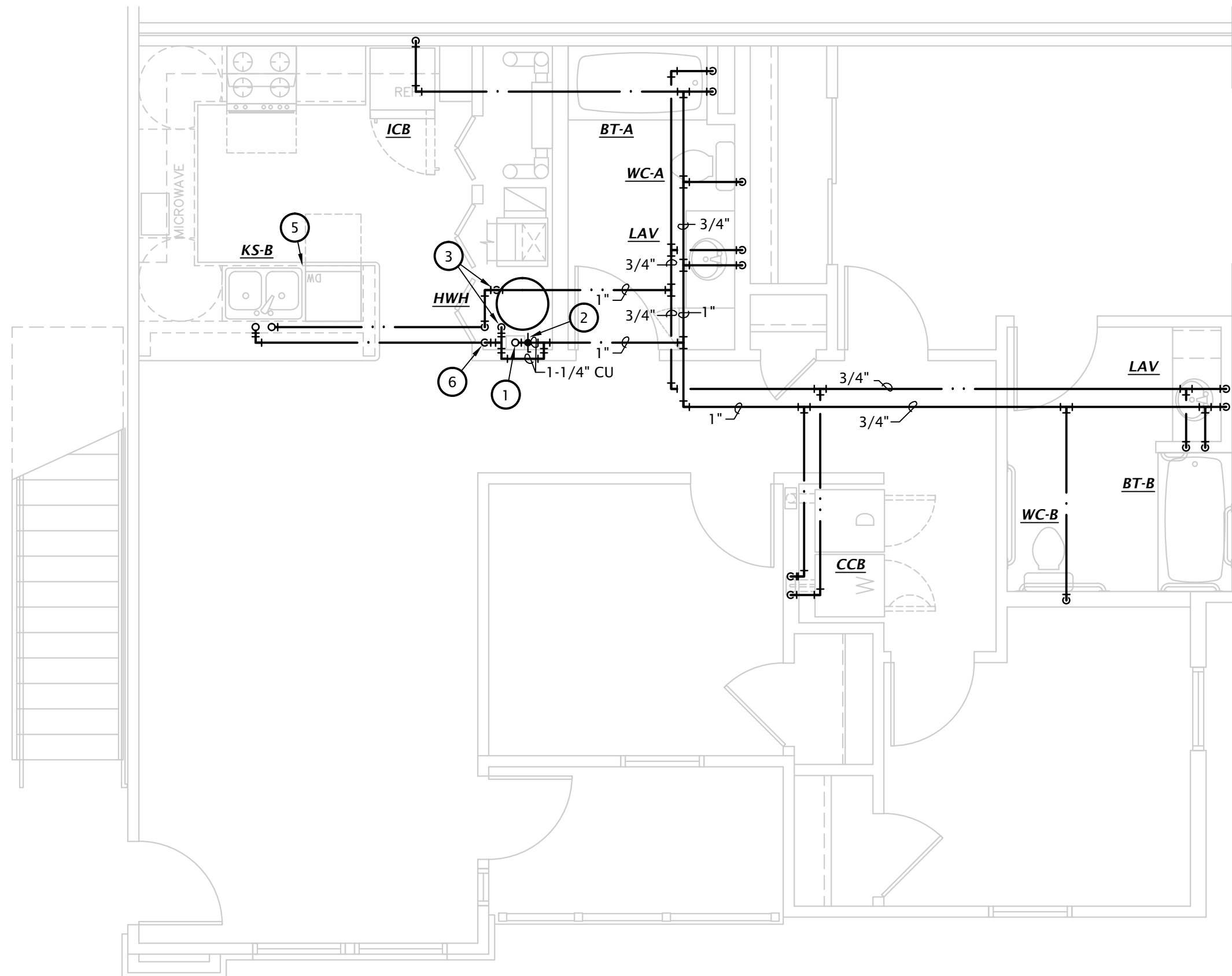
- NOTES:
- PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS.
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 - SEE PLUMBING FIXTURE SCHEDULE ON SHEET P6.1 FOR FIXTURE ROUGH-IN INFORMATION.
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ENLARGED PLAN NOTES BY SYMBOL

1. SEE OVERALL DOMESTIC WATER PLANS FOR CONTINUATION.
2. PROVIDE 1-1/4" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE DOMESTIC WATER RISER DIAGRAMS ON SHEET P5.2 FOR ADDITIONAL INFO.
3. CONNECT 1" CW AND HW TO WATER HEATER. SEE DETAIL 2:PG.1
4. PROVIDE 1" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE DOMESTIC WATER RISER DIAGRAMS ON SHEET P5.2 FOR ADDITIONAL INFO.
5. PROVIDE 1/2" VALVED BRANCH BELOW SINK AND CONNECT DISHWASHER. ROUTE PIPING ALONG BACK OF CABINETS, COORDINATE EXACT ROUTING WITH G.C. COORDINATE EXACT REQUIREMENTS WITH DISHWASHER PROVIDED.
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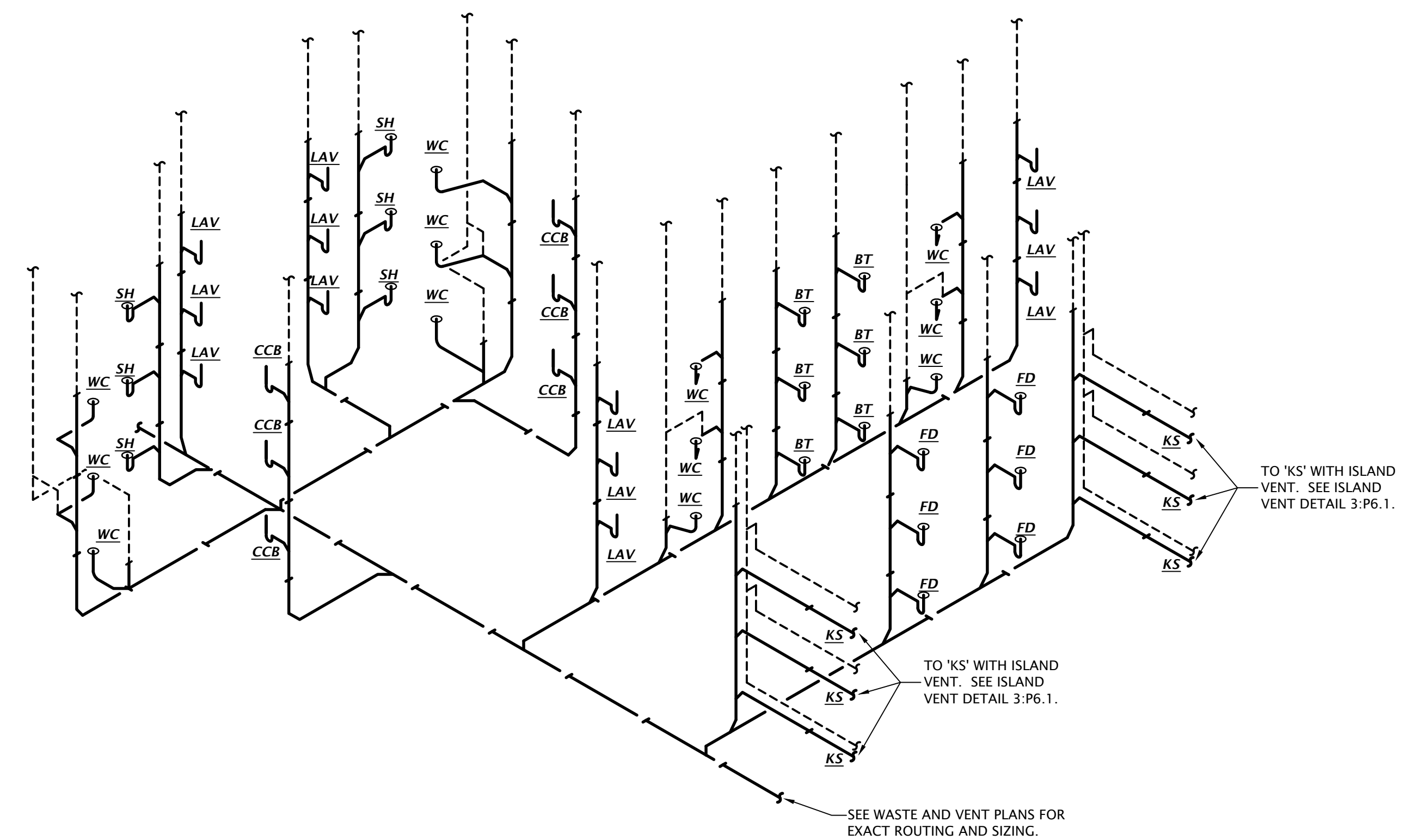
2 ACCESSIBLE 2 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"



1 ACCESSIBLE 3 BEDROOM DOMESTIC WATER PLAN
 1/4" = 1'-0"

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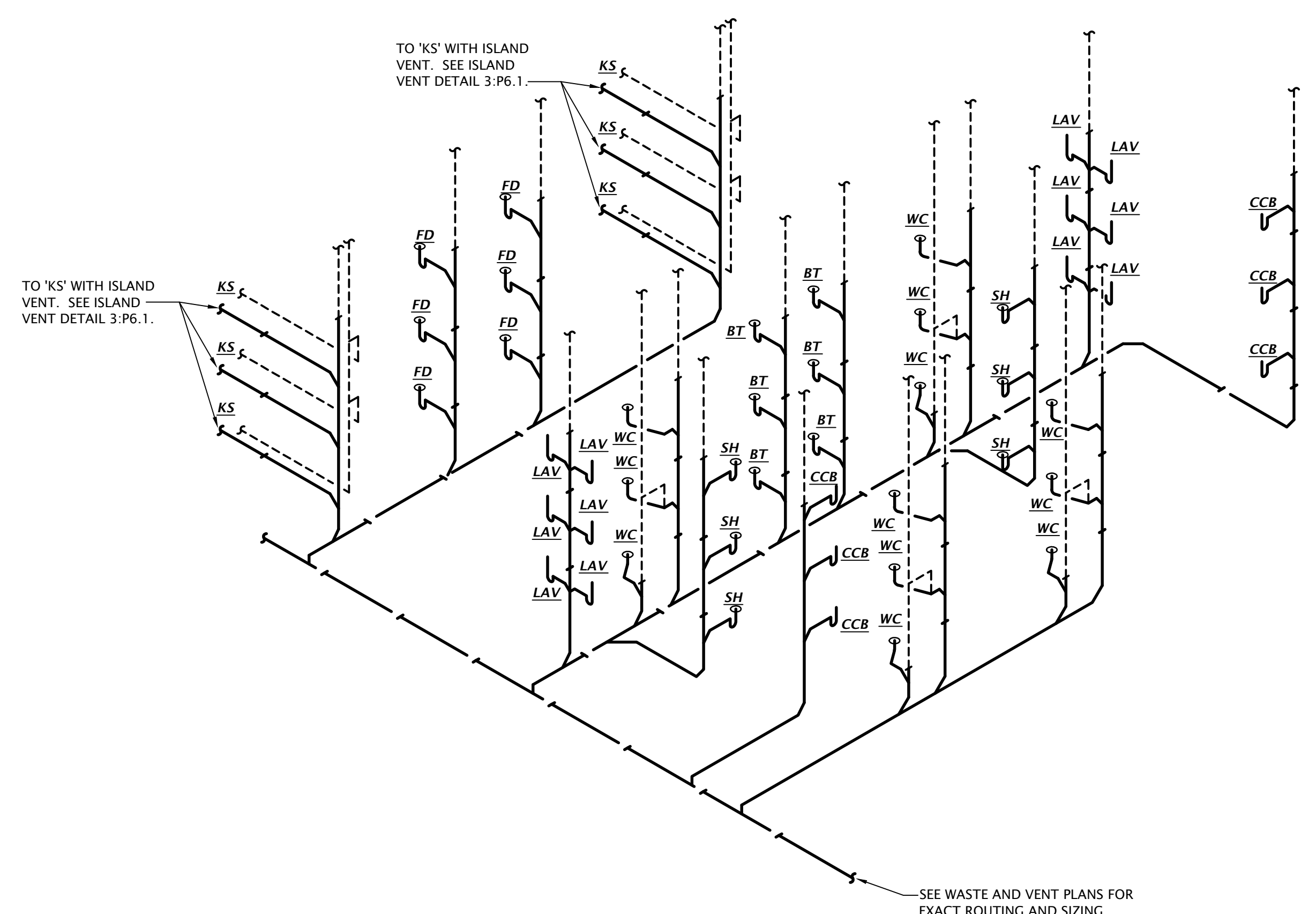
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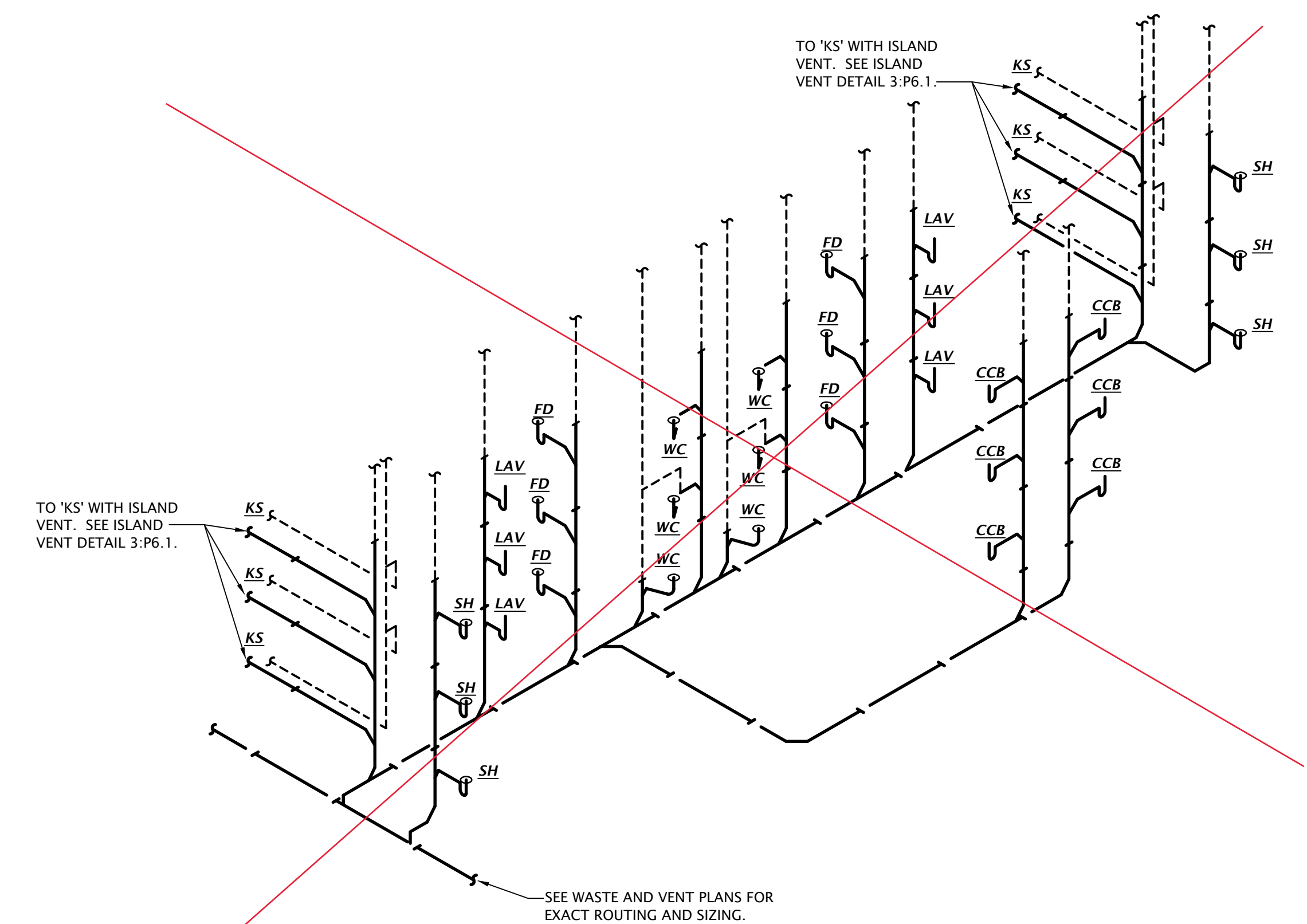
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3 TYPICAL 3 BEDROOM - WASTE AND VENT ISOMETRIC
 No Scale



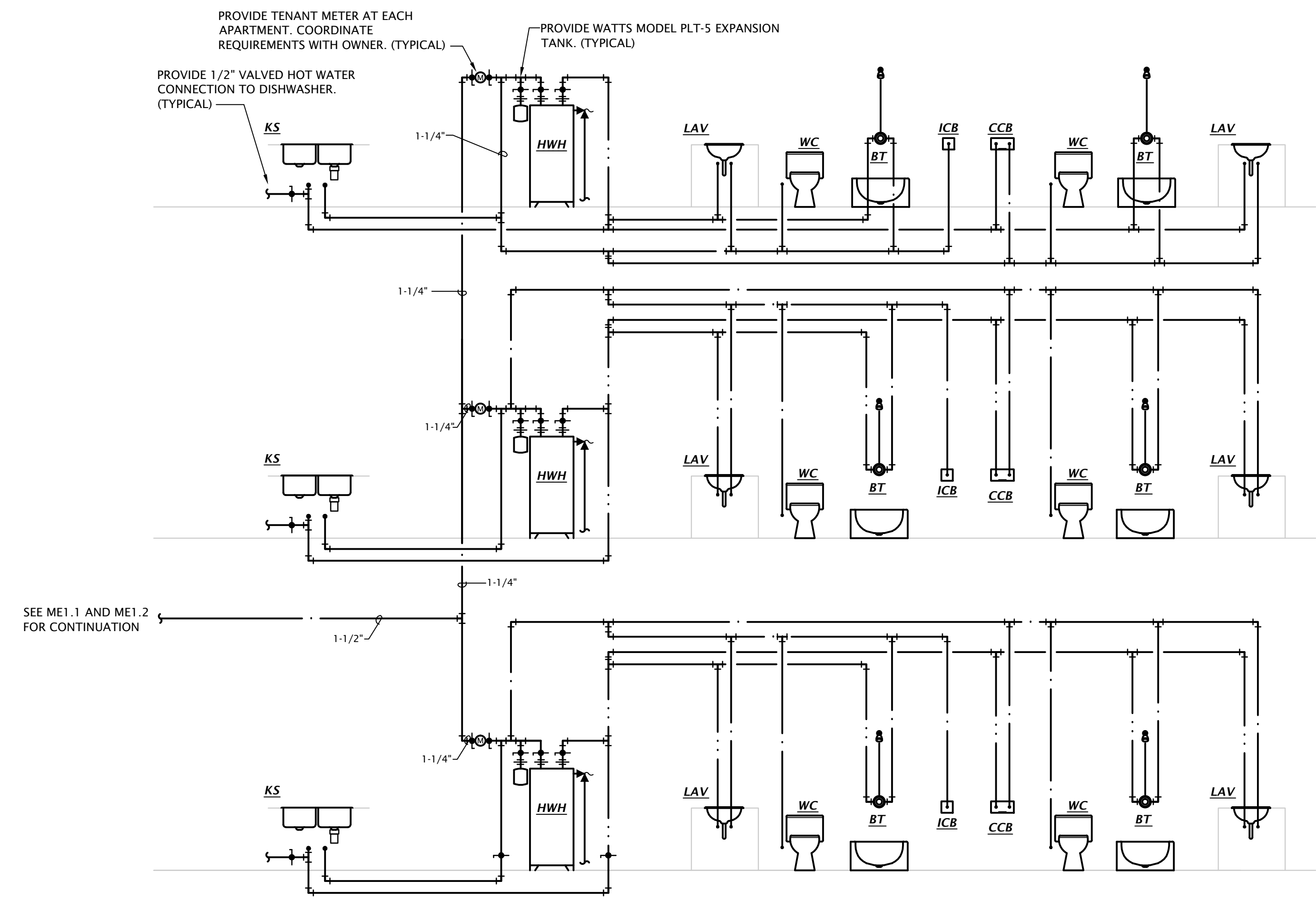
2 TYPICAL 2 BEDROOM - WASTE AND VENT ISOMETRIC
 No Scale



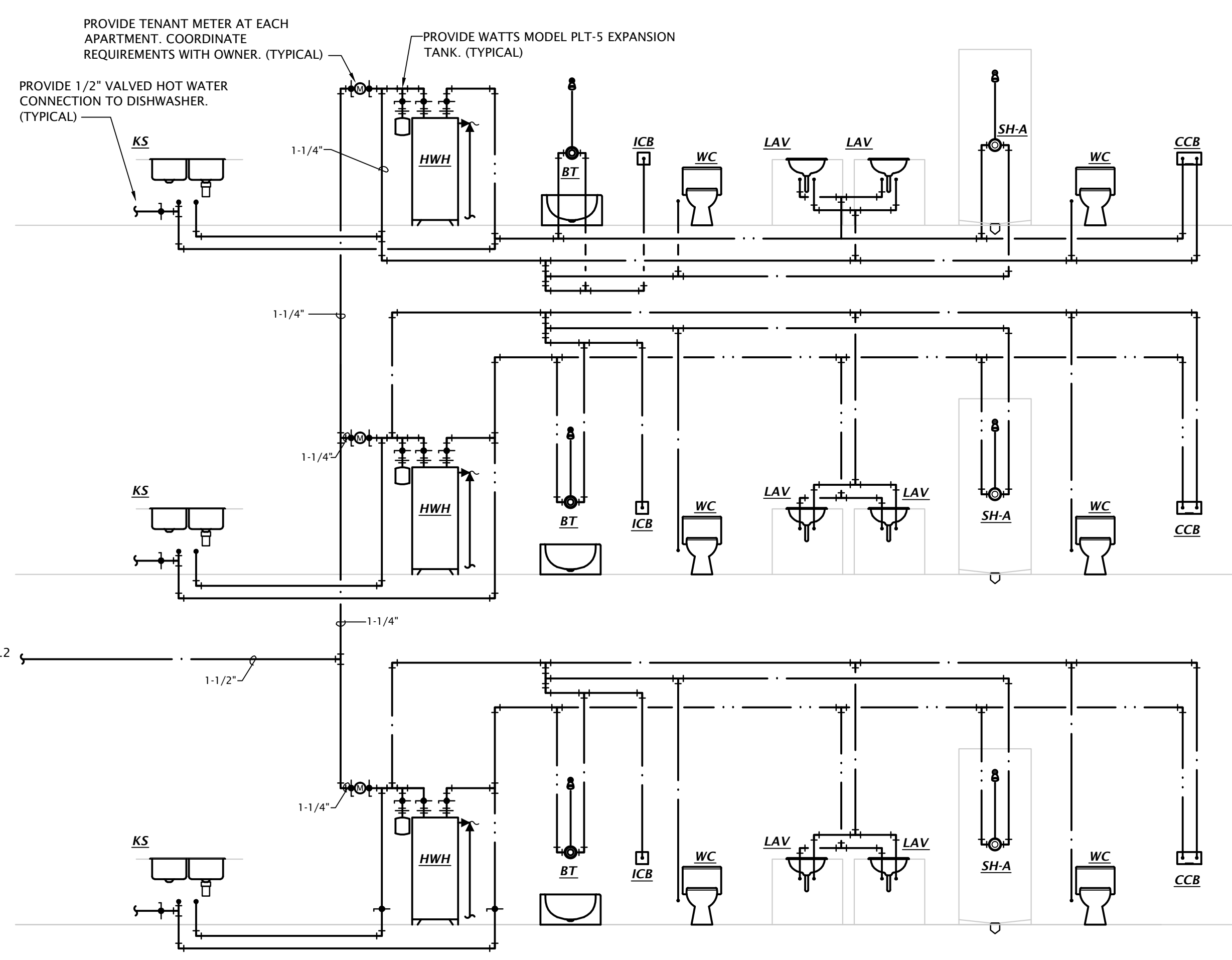
1 TYPICAL 1 BEDROOM - WASTE AND VENT ISOMETRIC
 No Scale



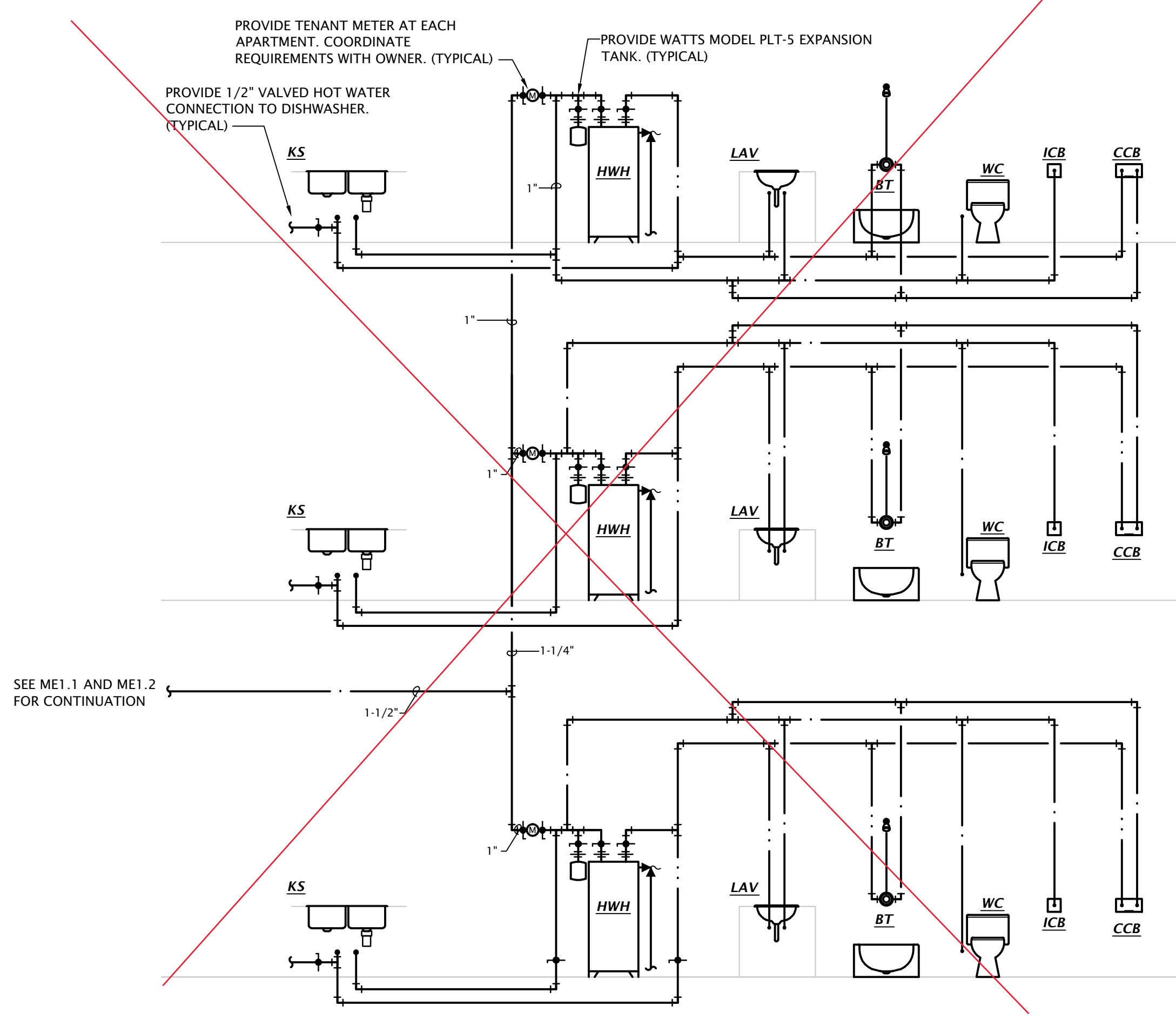
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3 BEDROOM DOMESTIC WATER RISER DIAGRAM
 Not to Scale



2 BEDROOM DOMESTIC WATER RISER DIAGRAM
 Not to Scale



1 BEDROOM DOMESTIC WATER RISER DIAGRAM
 Not to Scale

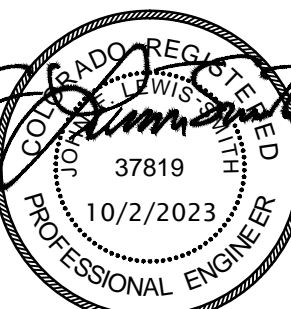
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Professional Engineer
 37819
 10/2/2023

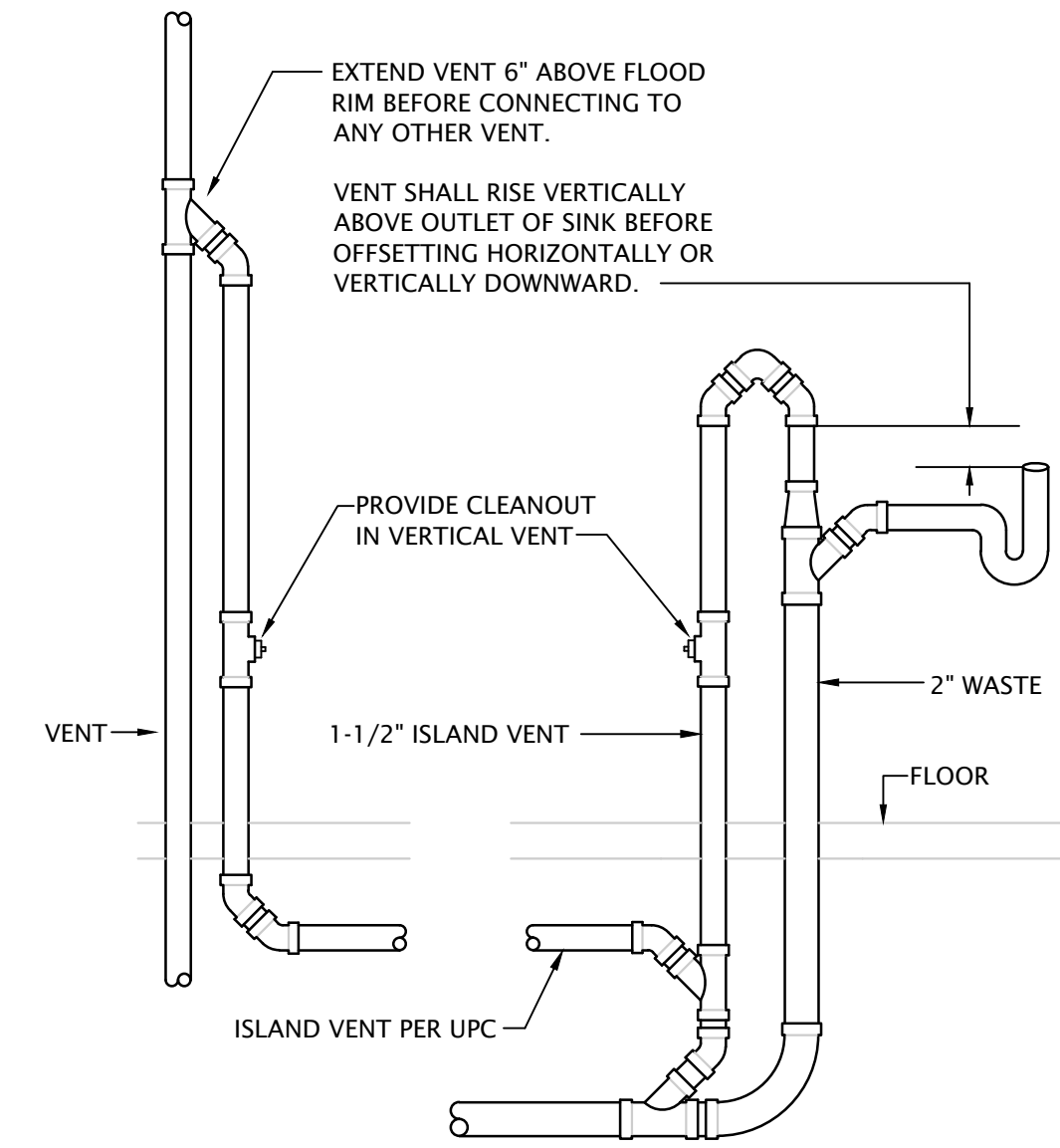
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P5.2

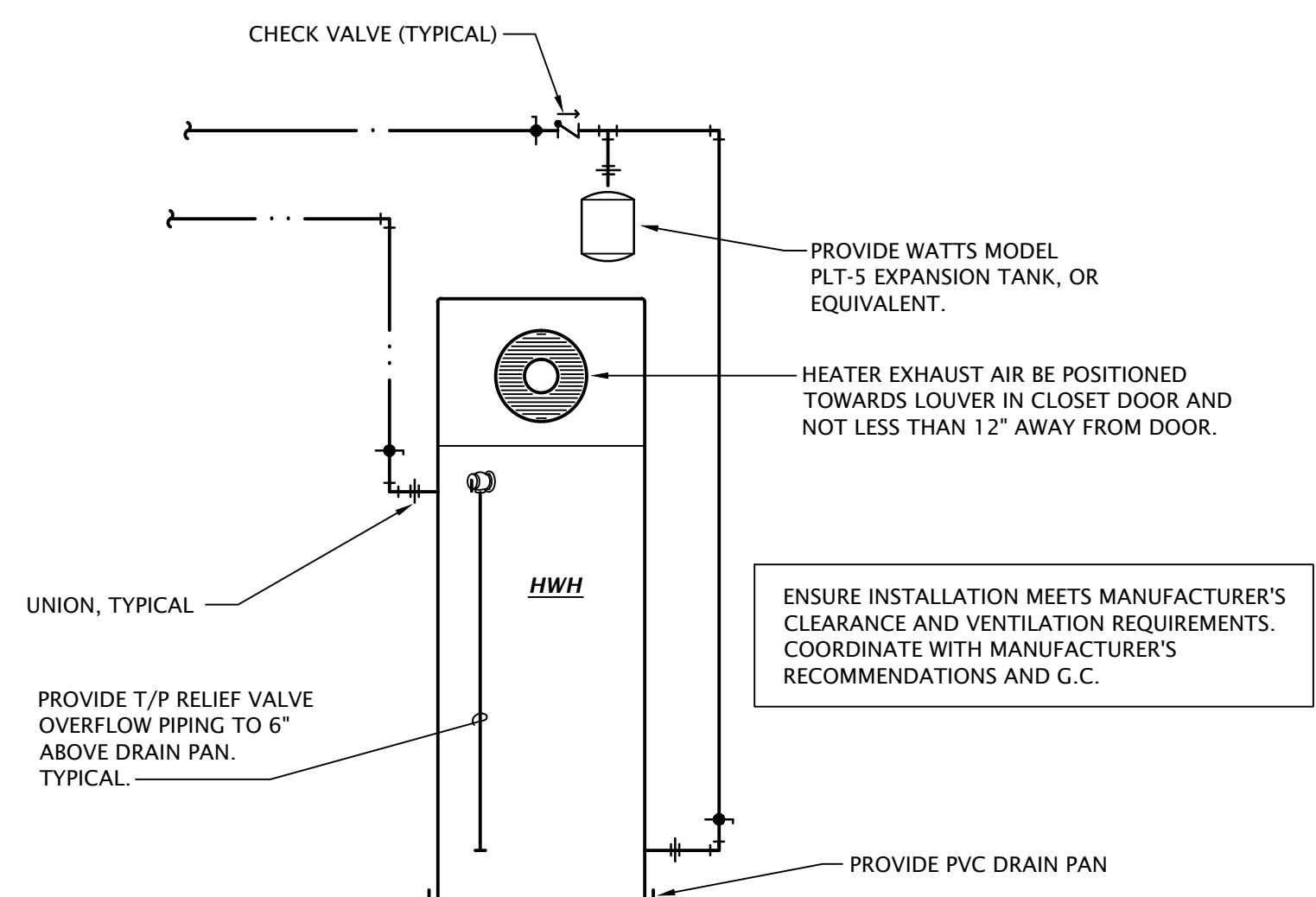


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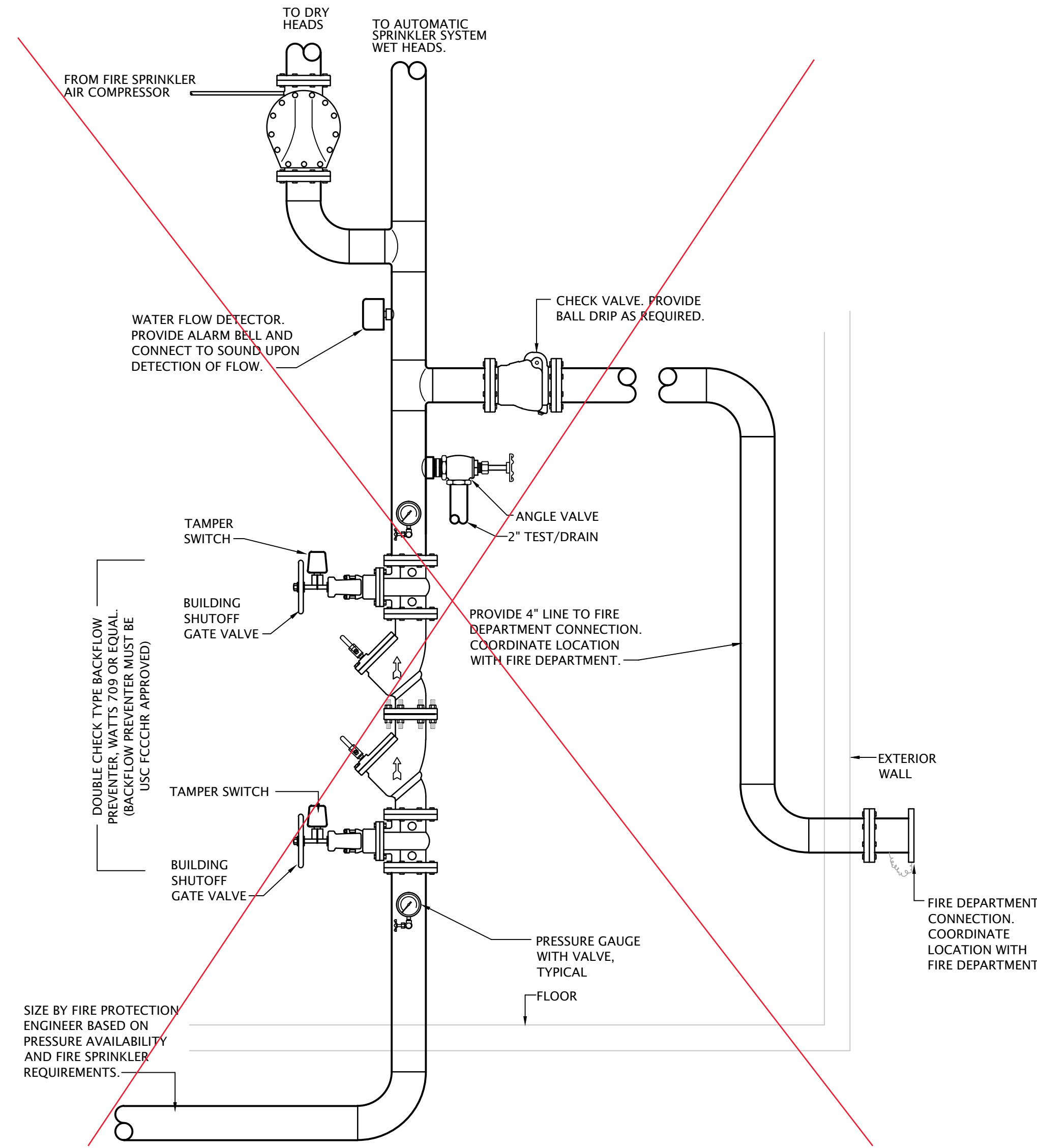
| | |
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| SHEET NO.: | |



3 ISLAND VENT DETAIL
 NO SCALE



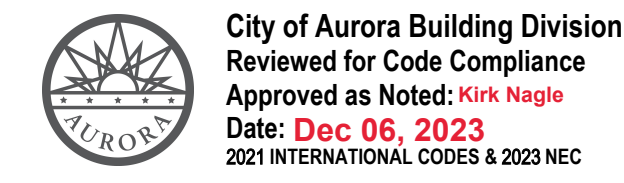
2 APARTMENT WATER HEATER DIAGRAM
 SCALE: NOT TO SCALE



1 FIRE PROTECTION RISER DIAGRAM
 NO SCALE

PLUMBING SYMBOLS

| | |
|------|--------------------------------|
| —○— | PIPE TURNING UP |
| —○— | PIPE TURNING DOWN |
| — | COLD WATER PIPING |
| —●— | HOT WATER PIPING |
| —w— | WATER SERVICE PIPING |
| —fp— | FIRE PROTECTION SERVICE PIPING |
| — | WASTE PIPING BELOW GRADE |
| — | WASTE PIPING ABOVE GRADE |
| —v— | VENT PIPING |
| —g— | NATURAL GAS PIPING |
| —N— | CHECK VALVE |
| —C— | GATE VALVE |
| —B— | BALL VALVE |
| —U— | UNION |
| —T— | T/P RELIEF VALVE |



City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted; Kirk Nagle
 Date: Dec 06, 2023
 2021 INTERNATIONAL CODES & 2023 NEC

RSN: 1762346
 Permit #: 2023 2396760-CM

PLUMBING FIXTURE SCHEDULE

| MARK | MANUFACTURER | DESCRIPTION | TRIM | | ROUGH-IN SIZES | | | | NOTES |
|------|--------------|--|--------------|--|----------------|--------|------|------|---------|
| | | | MANUFACTURER | DESCRIPTION | WASTE | VENT | CW | HW | |
| WC-A | KOHLER | Model 5296 "Highline" ADA compliant flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, siphon jet flushing action, 1.28 GPF, polished chrome actuator located on open side of room. | KOHLER | K-5588 Purefresh white, elongated closed front seat and cover | 4" | 2" | 1/2" | --- | |
| WC-B | KOHLER | Model 5296 "Highline" ADA compliant flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, siphon jet flushing action, 1.28 GPF, polished chrome actuator located on open side of room. | KOHLER | K-5588 Purefresh white, elongated closed front seat and cover | 4" | 2" | 1/2" | --- | 1 |
| LAV | KOHLER | Model 2196-4-0 self-rimming lavatory, white vitreous china, 20"W x 17", faucet holes on 4" centers. | KOHLER | Model 15199-4NDRA, 0.5 GPM, single handle faucet. Provide grid drain. Provide point of use tempering valve. | 2" | 1-1/2" | 1/2" | 1/2" | 2,4,5 |
| KS-A | JUST | Model DL-2233-A-GR two compartment 18 GA stainless steel sink, self rimming, 14"x16"x8"D inside, fully undercoated, faucet holes as req. | KOHLER | Model K-10412, 1.5 GPM, single handle kitchen sink faucet with hose spray attachment. Chrome finish. Provide basket strainer. | 2" | 1-1/2" | 1/2" | 1/2" | 2,4 |
| KS-B | JUST | Model DL-ADA-2233-A-GR two compartment 18 GA stainless steel sink, self rimming, 14"x16"x5"D inside, fully undercoated, faucet holes as req., and drain holes center rear. | KOHLER | Model K-10412, 1.5 GPM, single handle kitchen sink faucet with hose spray attachment. Chrome finish. Provide basket strainer. | 2" | 1-1/2" | 1/2" | 1/2" | 1,3,2,4 |
| BT-A | AQUARIUS | Model G 6063 TS reinforced fiberglass tub/shower, 60"W x35-3/4"D x76-1/2"H, with integral soap/toiletry shelves, right or left hand rough-in as required, white finish. | DELTA | Model R10000-UNWS/T13H232 single handle pressure-balancing valve with metal tub filler with pull diverter, 1.5 GPM push-clean showerhead and pop-up drain with overflow. | 2" | 1-1/2" | 1/2" | 1/2" | 2,4,5 |
| BT-B | AQUARIUS | Model S 6000 TS OT reinforced fiberglass ADA tub/shower, 60"W x33"D x82"H, with integral soap/toiletry shelves and grab bars in accordance with ADA requirements, seat at end of tub, right or left hand rough-in as required, white finish. | DELTA | Model R10000-UNWS/T13H252 pressure balancing tub/shower valve with non-positive shut-off control and temperature control to ensure maximum 120° water with single metal lever handle, 1.5 GPM handshower with double check valves, flexible hose, 24" stainless steel slide bar, metal lever handshower, diverter valve, and shower head with arm. | 2" | 1-1/2" | 1/2" | 1/2" | 1,2,4,5 |
| SH-A | AQUARIUS | Model G-3260-SH-4P-IS reinforced fiberglass ADA roll-in shower, 60"W x32"D x77-1/2"H, with integral soap/toiletry shelves, integral seat, right or left hand rough-in as required, white finish. | DELTA | Model R10000-UNWS/T13H132 single handle pressure-balancing valve, 1.5 GPM push-clean showerhead. | 2" | 1-1/2" | 1/2" | 1/2" | 1,5 |
| SH-B | AQUARIUS | Model G-6233-8F-.75 reinforced fiberglass ADA roll-in shower, 60"W x33"D x73-3/4"H, with integral soap/toiletry shelves and grab bars in accordance with ADA requirements, fold-up seat, collapsible water dam, right or left hand rough-in as required, white finish. | DELTA | Model R10000-UNWS/T13220-H2OT pressure balancing shower valve with integral temperature limits, single metal lever handle, 1.5 GPM handshower with double check valves, flexible hose, and 24" stainless steel slide bar. | 2" | 1-1/2" | 1/2" | 1/2" | 1,5 |
| WH | WOODFORD | Model 25 frost proof wall hydrant with anti-siphon vacuum breaker, metal handle. | | | --- | --- | 3/4" | --- | |
| CCB | IPS CORP. | Model W4700 recessed washing machine box with 2"PVC/ABS drain coupling and knockout test cap. Two, 1/4 turn adaptor ball valves, sweat connection. | | | 2" | 2" | 1/2" | 1/2" | |
| ICB | IPS CORP. | Model FRIB12 ice maker connection box with 1/4 turn ball valve and 1/2" sweat copper connection. | | | --- | --- | 1/2" | --- | |
| FD | SIoux CHIEF | Series 833 adjustable floor drain with nickel bronze strainer. Provide Proset Trapguard trap protection device. | | | 2" | --- | --- | --- | |
| FS | SIoux CHIEF | Series 861 PVC floor sink with PVC strainer. Provide Proset Trapguard trap protection device. | | | 4" | --- | --- | --- | |
| HWH | RHEEM | Model PROPH40, 40 gallon hybrid water heater, 4,200 BTUH heat pump compressor, 4500 watts, 208 volts heating element, 26 GPH recovery @ 90°F temp rise, EnergyStar rated. Supplied with temperature pressure relief valve and brass drain valve. | | | | | | | |

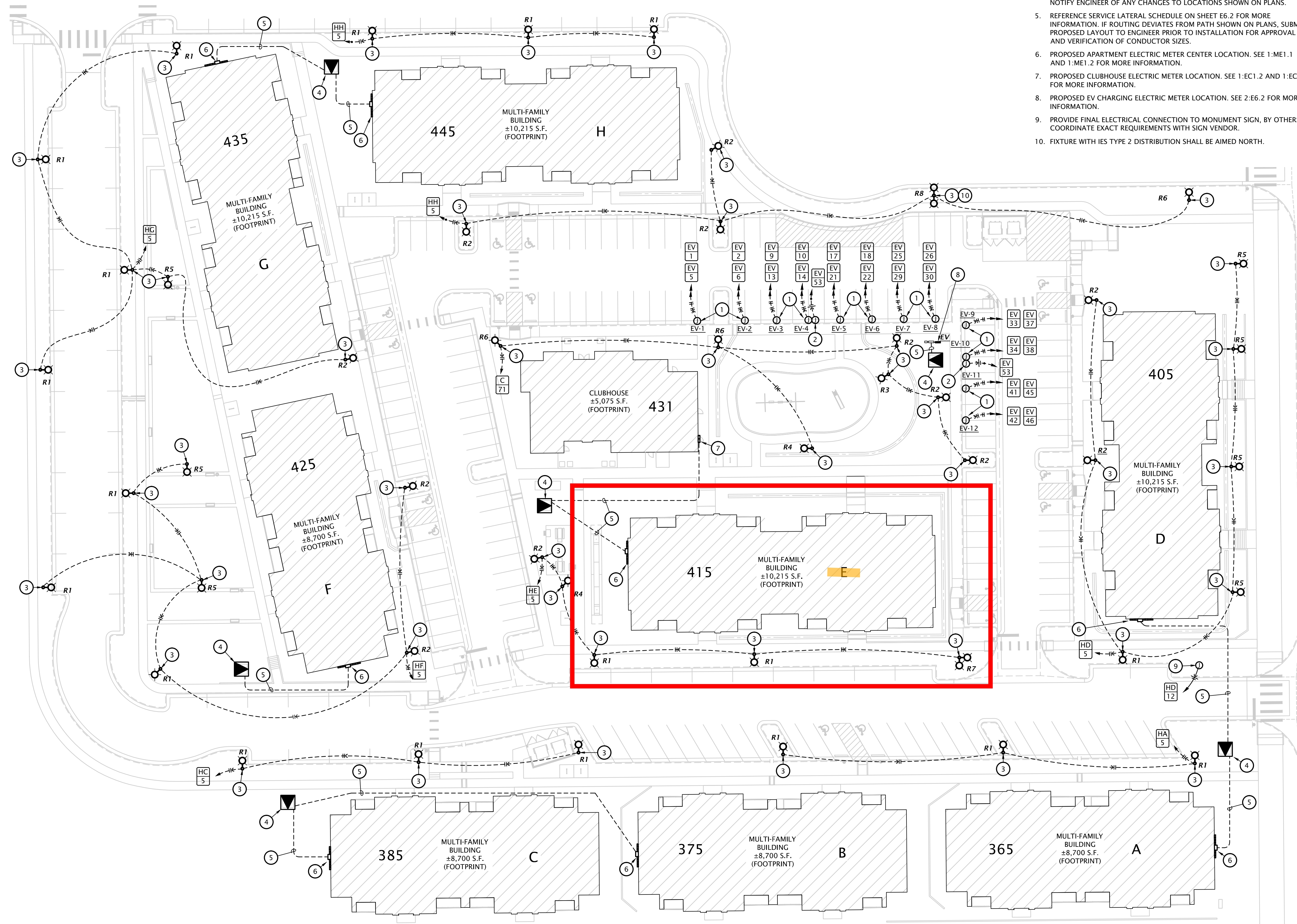
GENERAL:
 Provide fixtures with all trim necessary for complete installation

NOTES:
 1. Fixture and installation to meet requirements of the Fair Housing Act.
 2. Provide Dearborn supplies with stops and escutcheon plate, 1-1/4" cast brass p-trap.
 3. Insulate water and waste piping below lavatory. Utilize insulation kit equivalent to LavGuard by Truebro.
 4. Trim shall be provided with polished chrome finish.
 5. Fixture shall be WaterSense labeled.

Code violations that are found during inspection are required to be corrected. Permit issuance does not grant approval of a code violation.

④ SITE PLAN NOTES BY SYMBOL

1. PROVIDE (4)#6, #8G., IN 1" C. FOR FUTURE DUAL PORT EV CHARGING STATION. PROVIDE 6' EXTRA WIRING LENGTH IN WEATHERPROOF JUNCTION BOX. PROVIDE SAFE TERMINATION OF CONDUCTORS BY COVERING EXPOSED ENDS WITH WIRE NUT OR OTHER APPROVED METHOD.
2. PROVIDE ROUGH IN FOR FUTURE MAINTENANCE RECEPTACLE, PROVIDE 6' EXTRA WIRING LENGTH IN WEATHERPROOF JUNCTION BOX. PROVIDE SAFE TERMINATION OF CONDUCTORS BY COVERING EXPOSED ENDS WITH WIRE NUT OR OTHER APPROVED METHOD.
3. POLE MOUNTED AREA LIGHT, REFERENCE 1-EG.1 FOR MORE INFORMATION.
4. PROPOSED TRANSFORMER LOCATION. VERIFY EXACT LOCATION AND INSTALLATION REQUIREMENTS AND RESPONSIBILITIES WITH UTILITY COMPANY. NOTIFY ENGINEER OF ANY CHANGES TO LOCATIONS SHOWN ON PLANS.
5. REFERENCE SERVICE LATERAL SCHEDULE ON SHEET E6.2 FOR MORE INFORMATION. IF ROUTING DEVIATES FROM PATH SHOWN ON PLANS, SUBMIT PROPOSED LAYOUT TO ENGINEER PRIOR TO INSTALLATION FOR APPROVAL AND VERIFICATION OF CONDUCTOR SIZES.
6. PROPOSED APARTMENT ELECTRIC METER CENTER LOCATION. SEE 1-ME.1 AND 1-ME.2 FOR MORE INFORMATION.
7. PROPOSED CLUBHOUSE ELECTRIC METER LOCATION. SEE 1-EC.1 AND 1-EC.1 FOR MORE INFORMATION.
8. PROPOSED EV CHARGING ELECTRIC METER LOCATION. SEE 2-E6.2 FOR MORE INFORMATION.
9. PROVIDE FINAL ELECTRICAL CONNECTION TO MONUMENT SIGN, BY OTHERS. COORDINATE EXACT REQUIREMENTS WITH SIGN VENDOR.
10. FIXTURE WITH IES TYPE 2 DISTRIBUTION SHALL BE AIMED NORTH.

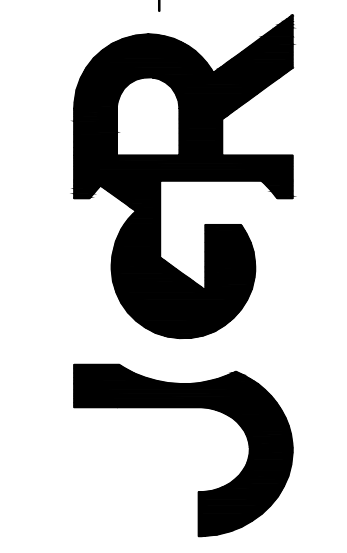


① M/E SITE PLAN
 1" = 30'-0"

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: *William Griffin*
 Date: **Feb 06, 2024**
 2021 INTERNATIONAL CODES & 2023 NEC

RSN: 1762346
 Permit #: 23-2396760 CM

JonesGillamRenz
 1881 Main Street, Suite 301
 730 N. Ninth
 Salina, KS 67401
 785.827.0386
 jgr@jgarchitects.com



THE RESERVES at EAGLE POINT
 415 NORTH PICADILLY RD
 AURORA, COLORADO



REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

ME1.0

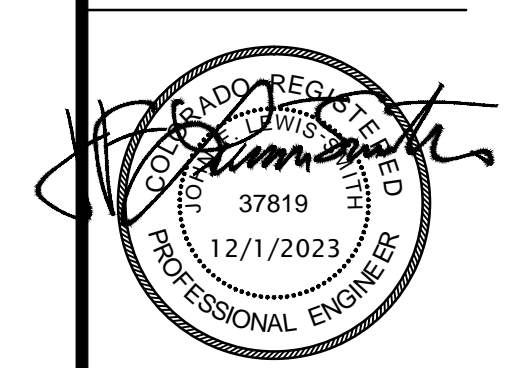
Locate the required overcurrent Protection per 2023 NEC 240.21

110.14. Identify disconnects per 2023 NEC 110.22 and provide working space and egress to and around electrical equipment per 2023 NEC 110.26

Wiring in air handling space must comply with 2023 NEC 300.22. Firestop penetrations per 2023 NEC 300.21. Secure and support equipment per 2023 NEC 300.11.

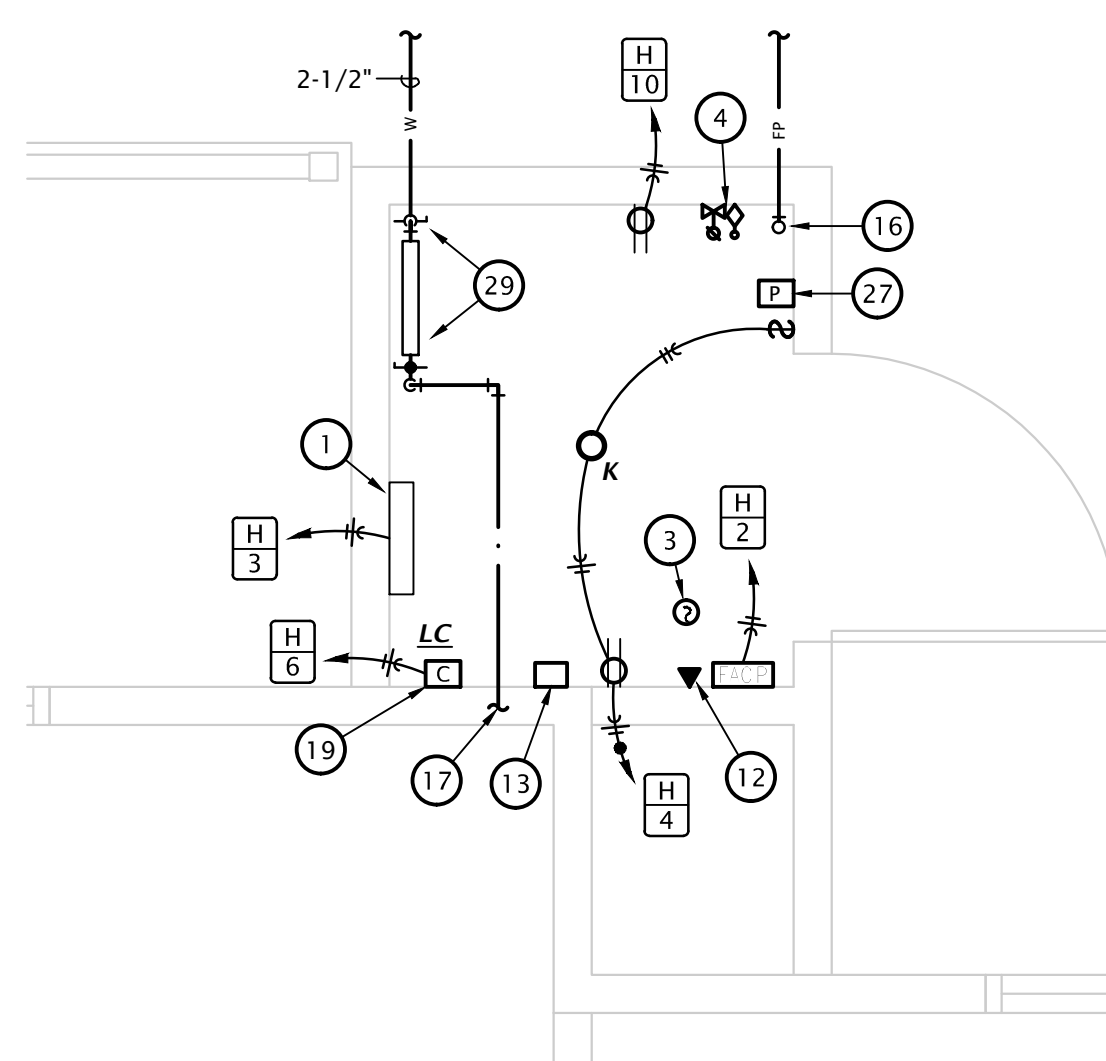
An after-hours inspection to verify required egress illumination may be required during field inspection. 2015 IBC 1008

Provide Emergency Illumination that complies with 2023 NEC 700.16

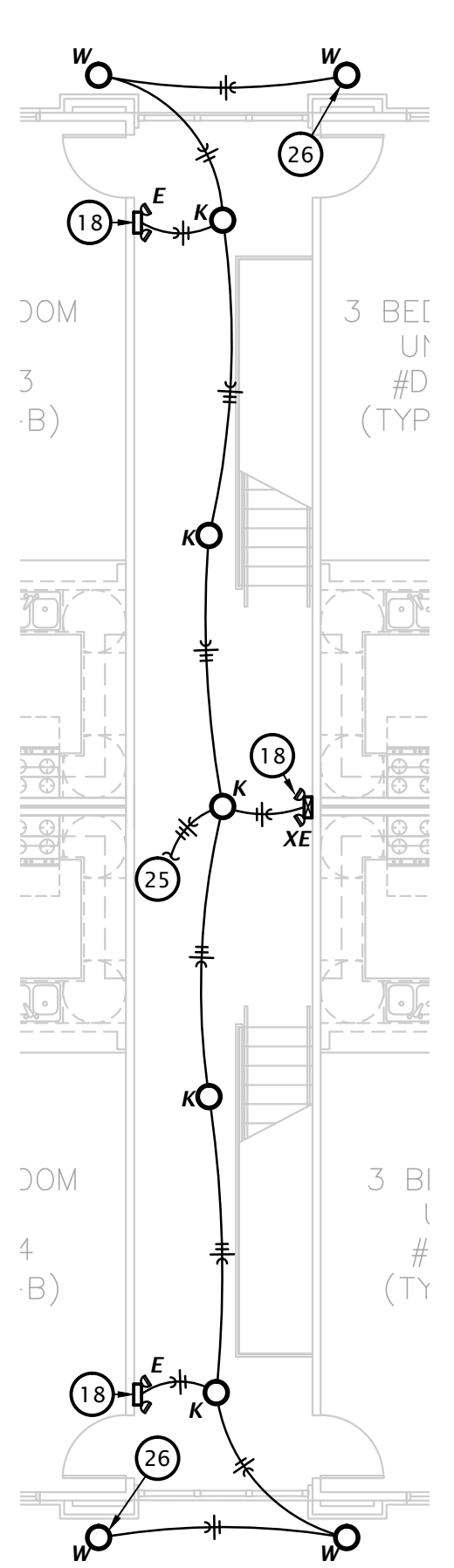


REVISION: _____
DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

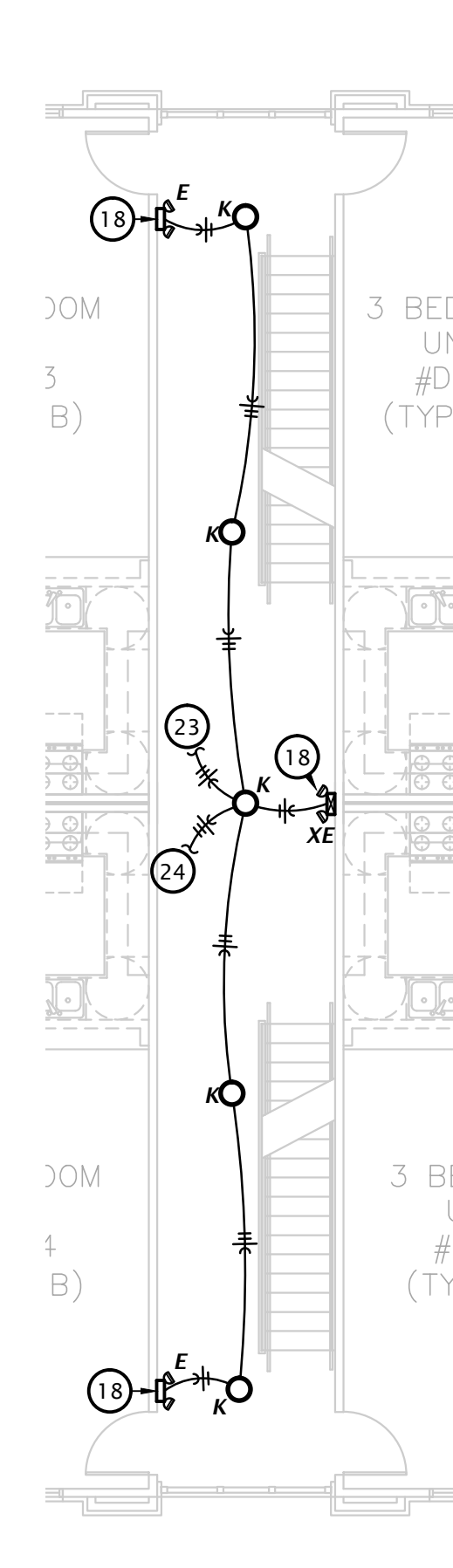
ME1.2



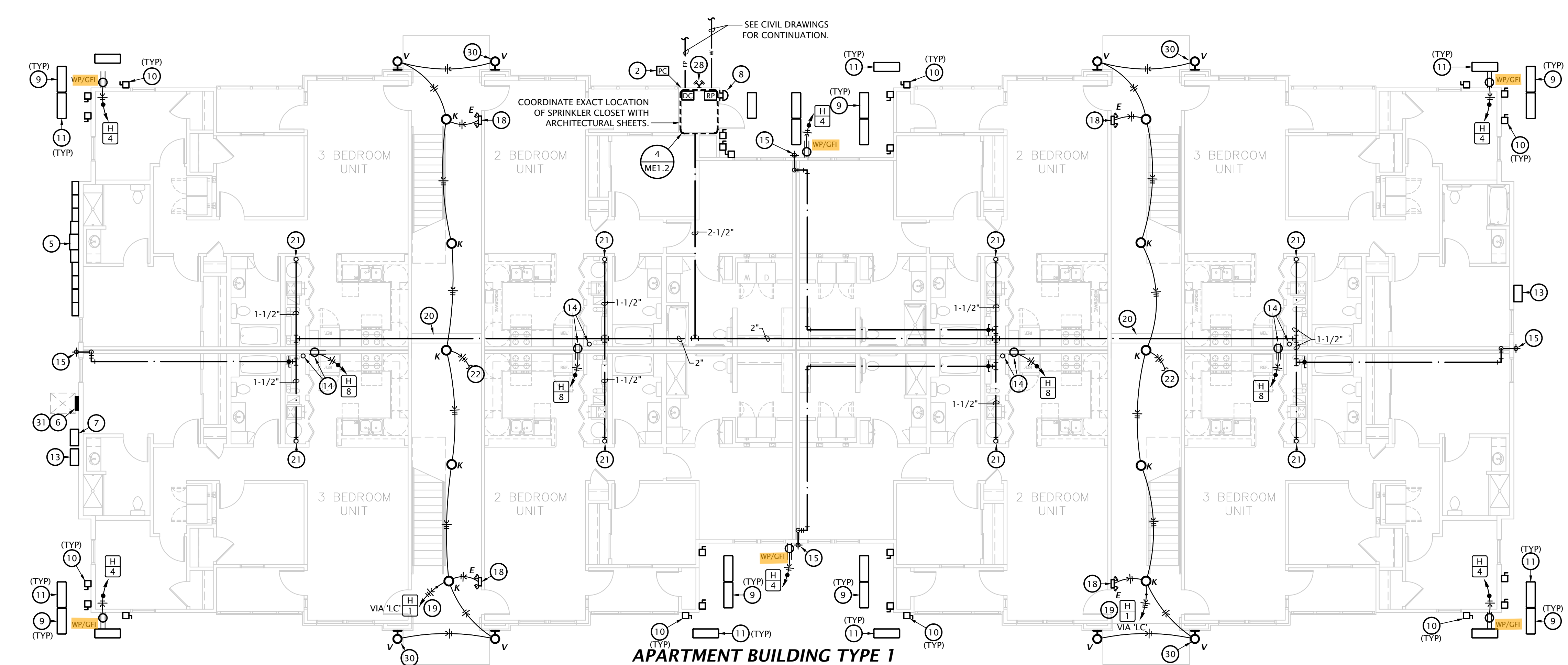
4 TYPICAL ENLARGED MECHANICAL ROOM PLAN
1/2" = 1'-0"



3 TYPICAL 3RD FLOOR M/E BREEZEWAY PLAN
1/8" = 1'-0"



2 TYPICAL 2ND FLOOR M/E BREEZEWAY PLAN
1/8" = 1'-0"



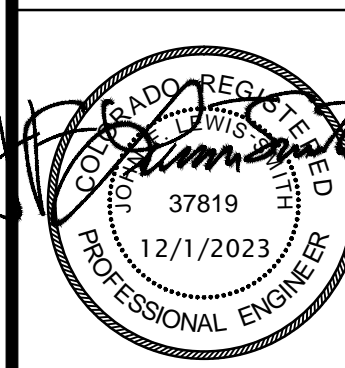
1 APARTMENT BUILDING TYPE 1
FIRST FLOOR M/E PLAN (D, E, G, H)
1/8" = 1'-0"

M/E NOTES BY SYMBOL

- 1. WALL HEATER 'EWH' PROVIDED BY E.C.
- 2. PROVIDE PHOTOCELL ON NORTH SIDE OF BUILDING FOR OPERATION OF BREEZEWAY AND BUILDING MOUNTED LIGHTS, SEE DETAIL 2-E6.1 FOR MORE INFORMATION.
- 3. PROVIDE SMOKE DETECTOR ABOVE FACP AND CONNECT TO FIRE ALARM SYSTEM.
- 4. CONNECT FIRE SPRINKLER FLOW AND TAMPER SWITCHES TO FIRE ALARM SYSTEM.
- 5. FIRST FLOOR ONLY: ELECTRIC SERVICE AND METER. SEE RISER DIAGRAMS ON SHEET E6.1. SEE M/E SITE PLAN FOR EXACT LOCATION AT EACH BUILDING AND COORDINATE EXACT LOCATION WITH UTILITY COMPANY.
- 6. HOUSE PANEL 'H'. PROVIDE RESERVED SPACE TO ALLOW INSTALLATION OF A 2-POLE BREAKER FOR FUTURE SOLAR SYSTEM. THIS SPACE IS TO BE LABELED 'FOR FUTURE SOLAR ELECTRIC'. THE RESERVED SPACE IS TO BE POSITIONED AT THE END OF THE PANEL THAT IS OPPOSITE FROM THE PANEL SUPPLY CONDUCTOR CONNECTION.
- 7. ROUTE 2" CONDUIT FROM CENTURY LINK SERVICE PEDESTAL TO 24x24x1.2 NEMA 3R TERMINATION BOX ADJACENT TO METER CENTER. COORDINATE METER CENTER LOCATION WITH SITE PLAN. COORDINATE EXACT PEDESTAL LOCATIONS AND INSTALLATION REQUIREMENTS WITH UTILITY PROVIDER. SEE ENLARGED ELECTRICAL PLANS AND SHEET E6.1 FOR MORE INFORMATION. UTILITY CONTACT: JAYMES BUCKLEY - EMAIL: JAYMES.BUCKLEY@LUMEN.COM
- 8. EXTERIOR FIRE ALARM BELL, CONNECT TO FIRE ALARM PANEL SYSTEM COORDINATE LOCATION WITH AUTHORITY HAVING JURISDICTION.
- 9. MOUNT HEAT PUMP ON 18" STAND, EQUAL TO QUICKSLING, ON 3-1/2" THICK LEVEL CONCRETE PAD. COORDINATE EXACT LOCATION WITH UTILITY SERVICES AND SITE DRAINAGE, TYPICAL. COORDINATE ANY REQUIRED MODIFICATIONS WITH ARCHITECT AND ENGINEER.
- 10. PROVIDE DISCONNECT SWITCH FOR HEAT PUMP AND CIRCUIT TO PANEL IN APARTMENT IT IS SERVING. MAKE FINAL CONNECTION WITH LIQUID TIGHT FLEXIBLE METAL CONDUIT, TYPICAL. LOCATE AS CLOSE TO HEAT PUMP AS POSSIBLE. COORDINATE EXACT REQUIREMENTS AND LOCATION WITH OTHER TRADES.
- 11. ROUTE REFRIGERANT PIPING FROM HEAT PUMP TO MATCHING BLOWER COIL. PENETRATE WALL 18" ABOVE GRADE AND ROUTE PIPING CONCEALED IN WALLS AND ABOVE CEILINGS. COORDINATE LINE SIZE WITH MANUFACTURER. PROVIDE PIPE WALL PENETRATION SEAL EQUAL TO AIREX TITAN OUTLET.
- 12. PROVIDE (2) PHONE LINES FOR MONITORING OF FIRE SPRINKLER SYSTEM. REFERENCE SPECIFICATION NOTES FOR ADDITIONAL INFORMATION.
- 13. ROUTE (2) 2" CONDUITS FROM COMCAST SERVICE PEDESTAL TO 24x24x1.2 NEMA 3R TERMINATION BOX. LOCATE ONE BOX ON EACH END OF THE BUILDING. COORDINATE EXACT PEDESTAL LOCATIONS AND INSTALLATION REQUIREMENTS WITH UTILITY PROVIDER. UTILITY CONTACT: TRAY WILLIAMS - EMAIL: TRAY.WILLIAMS@COMCAST.COM
- 14. 4" PVC PIPE FOR FUTURE RADON SYSTEM BY OTHERS. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH ARCHITECT. PROVIDE OUTLET IN ATTIC NEAR RADON PIPE FOR FUTURE RADON FAN.
- 15. CONNECT NON-FREEZE WALL HYDRANT WITH 1/2" CW BRANCH TO SERVICE PIPING AHEAD OF TENANT WATER METER AND PROVIDE SHUT-OFF VALVE ACCESSIBLE IN MECHANICAL CLOSET. REFERENCE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT AND COORDINATE WITH G.C. (TYPICAL)
- 16. FIRE PROTECTION RISER - SEE DETAIL ON P6.1.
- 17. SEE OVERALL PLAN ON THIS SHEET FOR CONTINUATION. COORDINATE FINAL ROUTING OF MAIN WATER PIPING WITH G.C. PRIOR TO ROUGHING IN. (TYPICAL)
- 18. CONNECT EMERGENCY LIGHT TO UNSWITCHED CIRCUITRY SERVING LIGHTING IN BREEZEWAY.
- 19. EXTERIOR LIGHTS TO BE CONTROLLED VIA PHOTOCELL AND CONTACTOR, SEE DETAIL 2-E6.1 FOR MORE INFORMATION.
- 20. WHERE FIRE PROTECTION PIPING AND DOMESTIC WATER PIPING MUST CROSS HALLWAY, ROUTE IN SOFFIT. PROVIDE HEAT TRACE AND INSULATE PIPING IN SOFFIT PER HEAT TRACE MANUFACTURER'S INSTRUCTIONS. PROVIDE ALL REQUIRED HEAT TRACE COMPONENTS AND CONTROLS FOR FREEZE PROTECTION OF WATER PIPING. COORDINATE WITH E.C.
- 21. COLD WATER RISER, SEE RISER DIAGRAMS ON SHEET MS.1 FOR MORE INFORMATION.
- 22. TO LIGHTS ON 2ND FLOOR BREEZEWAY.
- 23. FROM LIGHTS ON 1ST FLOOR BREEZEWAY.
- 24. TO LIGHTS ON 3RD FLOOR BREEZEWAY.
- 25. FROM LIGHTS ON 2ND FLOOR BREEZEWAY.
- 26. DOWNLIGHTS TO BE INSTALLED IN SOFFIT ABOVE THIRD FLOOR. (TYPICAL)
- 27. PROVIDE MANUAL STATION AT FACP CLOSET AND CONNECT TO FIRE ALARM SYSTEM.
- 28. COORDINATE EXACT LOCATION OF FIRE DEPARTMENT CONNECTION WITH AUTHORITY HAVING JURISDICTION.
- 29. PROVIDE FULL-SIZED SHUTOFF VALVE, USC FCCCHR APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY AS REQUIRED BY AURORA WATER. BACKFLOW PREVENTION DEVICE SHALL BE APPROVED BY CITY OF AURORA PRIOR TO ORDERING. ALL WATER SERVICE PIPING FROM METER TO BACKFLOW PREVENTION DEVICE SHALL BE PER CITY OF AURORA WATER STANDARDS.
- 30. MOUNT EXTERIOR WALL SCONCES IN STONE JUST BELOW 1x6 TRIM BAND AT 8'-6". COORDINATE EXACT REQUIREMENTS WITH ARCHITECT. (TYPICAL)
- 31. PROVIDE 3/4" CONDUIT FROM PANEL TO ATTIC SPACE FOR FUTURE SOLAR CONDUCTORS. TERMINATE CONDUIT ABOVE INSULATION AND LABEL TO HOUSE PANEL.
- 32. CONNECT HEAT TRACE FOR PIPING IN SOFFIT. COORDINATE REQUIREMENTS WITH OTHER TRADES

NOTE:
ALL AREAS OF BUILDINGS TO BE PROTECTED WITH SPRINKLER SYSTEM DESIGNED IN ACCORDANCE WITH NFPA 13R. FIRE PROTECTION CONTRACTOR SHALL SUBMIT DRAWINGS AND CALCULATIONS TO AHJ FOR APPROVAL. BREEZEWAYS, BALCONIES, AND OTHER UNHEATED AREAS ARE TO BE PROVIDED WITH FREEZE-PROOF HEADS AND PIPING.

SEE SHEET P4.1 AND P4.3 FOR DOMESTIC WATER DISTRIBUTION IN INDIVIDUAL APARTMENTS.



REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

E4.1

PANEL SCHEDULE NOTES BY SYMBOL

- 1. ARC FAULT CIRCUIT INTERRUPTING (AFCI) TYPE BREAKER
- 2. CLASS 'A', 5mA RATED GROUND FAULT CIRCUIT INTERRUPTING (GFCI) TYPE BREAKER
- 3. COMBINATION AFCI/GFCI TYPE BREAKER

Every circuit and circuit modification shall be provided with a legible and permanent description that complies with all of the following conditions as applicable (see 1-6). 2023 NEC 408.4

Panel Designation: 3BR APT #
Location: 3 Bedroom Apartment
Voltage: 208/120V-1Ph-3W
Enclosure: NEMA 1

Mounting: Flush
Bus Amps: 125
MCB Amps: MLO
Other: 10 KAIC, unless noted otherwise

Panel is typical for 3BR units

| Circuit # | Load Description | Conductors | C/B Size | C/B Size | Conductors | Load Description | Circuit # | |
|-----------|------------------|-------------------------------|--------------------|----------|--------------------|---------------------|-------------------------|----|
| 3 | 1 | SPACE ONLY | -- | -- | 20 / 1 | 2#12, #12G, 1/2" C | KITCHEN/LIVING/HALL LTS | 2 |
| 3 | 3 | DISHWASHER/DISPOSAL | 2#12, #12G, 1/2" C | 20 / 1 | 2#12, #12G, 1/2" C | CLOTHES WASHER RCPT | 4 | |
| 3 | 5 | HOOD/MICROWAVE | 2#12, #12G, 1/2" C | 20 / 1 | 3#10, #10G, 3/4" C | CLOTHES DRYER | 6 | |
| 3 | 7 | REFRIGERATOR | 2#12, #12G, 1/2" C | 20 / 1 | | | 8 | |
| 3 | 9 | COUNTER TOP RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | 40 / 2 | 3#8, #10G, 1" C | RANGE | 10 |
| 3 | 11 | COUNTER TOP/PEN. RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | | | 12 | |
| 1 | 13 | LIVING ROOM RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | 25 / 2 | 2#10, #10G, 3/4" C | HEAT PUMP 'HP' | 14 |
| 1 | 15 | BATHROOM | 2#12, #12G, 1/2" C | 20 / 1 | | | 16 | |
| 1 | 17 | MASTER BEDROOM | 2#12, #12G, 1/2" C | 20 / 1 | 45 / 2 | 2#6, #10G, 3/4" C | BLOWER COIL 'BC' | 18 |
| 1 | 19 | HALLWAY BEDROOM | 2#12, #12G, 1/2" C | 20 / 1 | | | 20 | |
| 1 | 21 | HALLWAY RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | 20 / 1 | 2#12, #12G, 1/2" C | MASTER BATHROOM | 22 |
| 1 | 23 | CORNER BEDROOM | 2#12, #12G, 1/2" C | 20 / 1 | 30 / 2 | 2#10, #10G, 3/4" C | WATER HEATER 'HW' | 24 |
| | 25 | 'ERV'/ KITCHEN EXHAUST 'EF-1' | 2#12, #12G, 1/2" C | 20 / 1 | | | 26 | |
| | 27 | SPACE ONLY | -- | -- | -- | -- | SPACE ONLY | 28 |
| | 29 | SPACE ONLY | -- | -- | -- | -- | SPACE ONLY | 30 |

NOTE: PANELS 'D108', 'D208', 'E102', 'E202', 'E302', 'G108', 'G208', 'H102', 'H202', AND 'H302' SHALL BE 22 KAIC RATED.

Panel Designation: 2BR APT #
Location: 2 Bedroom Apartment
Voltage: 208/120V-1Ph-3W
Enclosure: NEMA 1

Mounting: Flush
Bus Amps: 125
MCB Amps: MLO
Other: 10 KAIC

Panel is typical for 2BR units

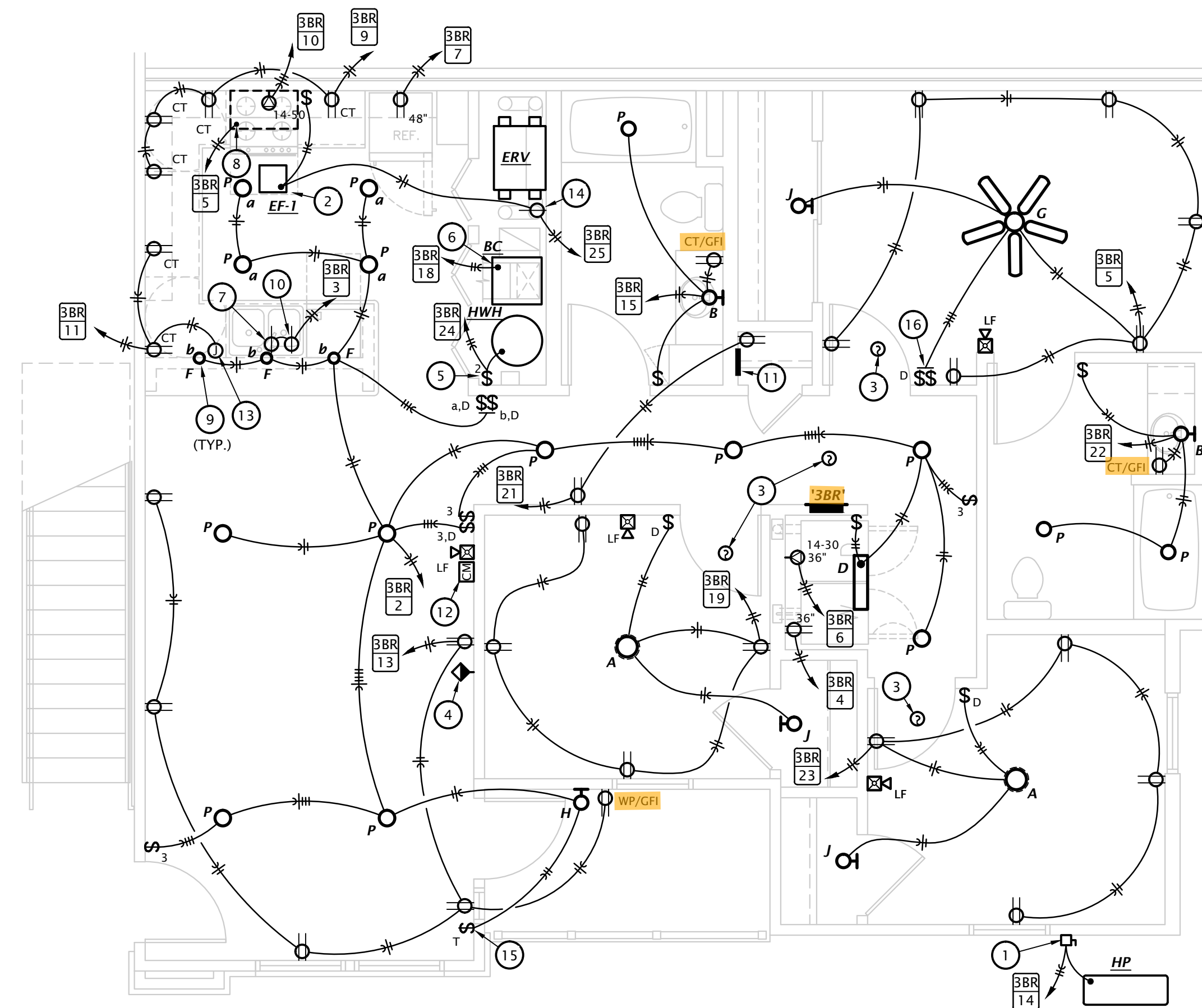
| Circuit # | Load Description | Conductors | C/B Size | C/B Size | Conductors | Load Description | Circuit # | |
|-----------|------------------|-------------------------------|--------------------|----------|--------------------|---------------------|-------------------------|----|
| 3 | 1 | SPACE ONLY | -- | -- | 20 / 1 | 2#12, #12G, 1/2" C | KITCHEN/LIVING/HALL LTS | 2 |
| 3 | 3 | DISHWASHER/DISPOSAL | 2#12, #12G, 1/2" C | 20 / 1 | 2#12, #12G, 1/2" C | CLOTHES WASHER RCPT | 4 | |
| 3 | 5 | HOOD/MICROWAVE | 2#12, #12G, 1/2" C | 20 / 1 | 3#10, #10G, 3/4" C | CLOTHES DRYER | 6 | |
| 3 | 7 | REFRIGERATOR | 2#12, #12G, 1/2" C | 20 / 1 | | | 8 | |
| 3 | 9 | COUNTER TOP RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | 40 / 2 | 3#8, #10G, 1" C | RANGE | 10 |
| 3 | 11 | COUNTER TOP/PEN. RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | | | 12 | |
| 1 | 13 | LIVING ROOM RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | 25 / 2 | 2#10, #10G, 3/4" C | HEAT PUMP 'HP' | 14 |
| 1 | 15 | BATHROOM | 2#12, #12G, 1/2" C | 20 / 1 | | | 16 | |
| 1 | 17 | MASTER BEDROOM | 2#12, #12G, 1/2" C | 20 / 1 | 45 / 2 | 2#6, #10G, 3/4" C | BLOWER COIL 'BC' | 18 |
| 1 | 19 | HALLWAY BEDROOM | 2#12, #12G, 1/2" C | 20 / 1 | | | 20 | |
| 1 | 21 | HALLWAY RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | 20 / 1 | 2#12, #12G, 1/2" C | MASTER BATHROOM | 22 |
| 1 | 23 | 'ERV'/ KITCHEN EXHAUST 'EF-1' | 2#12, #12G, 1/2" C | 20 / 1 | 30 / 2 | 2#10, #10G, 3/4" C | WATER HEATER 'HW' | 24 |
| | 25 | SPACE ONLY | -- | -- | -- | -- | SPACE ONLY | 26 |
| | 27 | SPACE ONLY | -- | -- | -- | -- | SPACE ONLY | 28 |
| | 29 | SPACE ONLY | -- | -- | -- | -- | SPACE ONLY | 30 |

Panel Designation: 1BR APT #
Location: 1 Bedroom Apartment
Voltage: 208/120V-1Ph-3W
Enclosure: NEMA 1

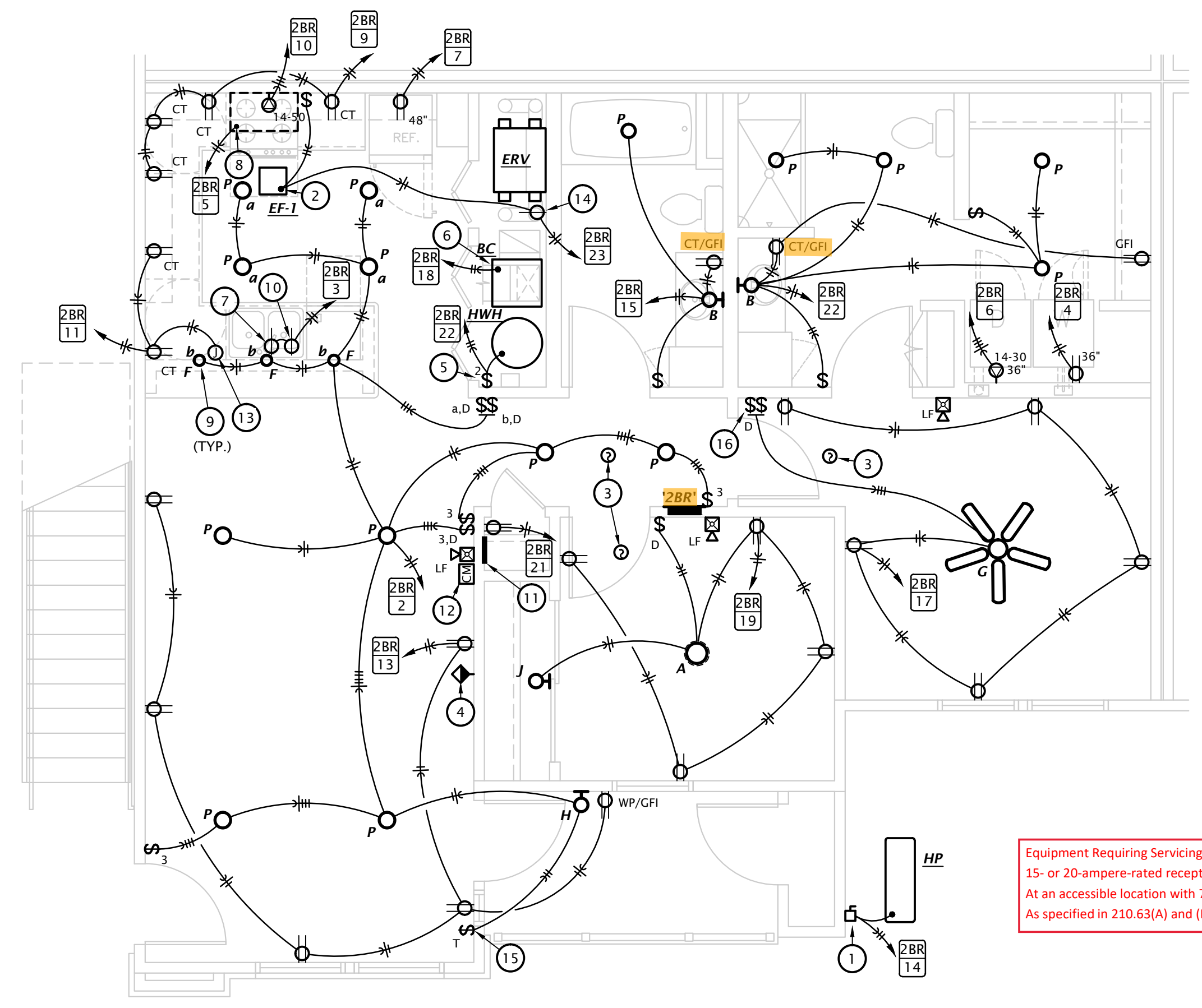
Mounting: Flush
Bus Amps: 125
MCB Amps: MLO
Other: 10 KAIC

Panel is typical for 1BR units

| Circuit # | Load Description | Conductors | C/B Size | C/B Size | Conductors | Load Description | Circuit # | |
|-----------|------------------|-------------------------------|--------------------|----------|--------------------|---------------------|-------------------------|----|
| 3 | 1 | SPACE ONLY | -- | -- | 20 / 1 | 2#12, #12G, 1/2" C | KITCHEN/LIVING/HALL LTS | 2 |
| 3 | 3 | DISHWASHER/DISPOSAL | 2#12, #12G, 1/2" C | 20 / 1 | 2#12, #12G, 1/2" C | CLOTHES WASHER RCPT | 4 | |
| 3 | 5 | HOOD/MICROWAVE | 2#12, #12G, 1/2" C | 20 / 1 | 3#10, #10G, 3/4" C | CLOTHES DRYER | 6 | |
| 3 | 7 | REFRIGERATOR | 2#12, #12G, 1/2" C | 20 / 1 | | | 8 | |
| 3 | 9 | COUNTER TOP RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | 40 / 2 | 3#8, #10G, 1" C | RANGE | 10 |
| 3 | 11 | COUNTER TOP/PEN. RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | | | 12 | |
| 1 | 13 | LIVING ROOM RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | 25 / 2 | 2#10, #10G, 3/4" C | HEAT PUMP 'HP' | 14 |
| 1 | 15 | BATHROOM | 2#12, #12G, 1/2" C | 20 / 1 | | | 16 | |
| 1 | 17 | MASTER BEDROOM | 2#12, #12G, 1/2" C | 20 / 1 | 45 / 2 | 2#6, #10G, 3/4" C | BLOWER COIL 'BC' | 18 |
| 1 | 19 | HALLWAY / DINING RCPTS | 2#12, #12G, 1/2" C | 20 / 1 | | | 20 | |
| 1 | 21 | 'ERV'/ KITCHEN EXHAUST 'EF-1' | 2#12, #12G, 1/2" C | 20 / 1 | 30 / 2 | 2#10, #10G, 3/4" C | WATER HEATER 'HW' | 22 |
| | 23 | SPACE ONLY | -- | -- | -- | -- | SPACE ONLY | 24 |



3 3 BEDROOM POWER PLAN
 1/4" = 1'-0"



2 2 BEDROOM POWER PLAN
 1/4" = 1'-0"

Equipment Requiring Servicing. A 125-volt, single-phase, 15- or 20-ampere-rated receptacle outlet shall be installed at an accessible location with 7.5 m (25 ft.) of the equipment as specified in 210.63(A) and (B). 2023 NEC

ELECTRICAL NOTES BY SYMBOL

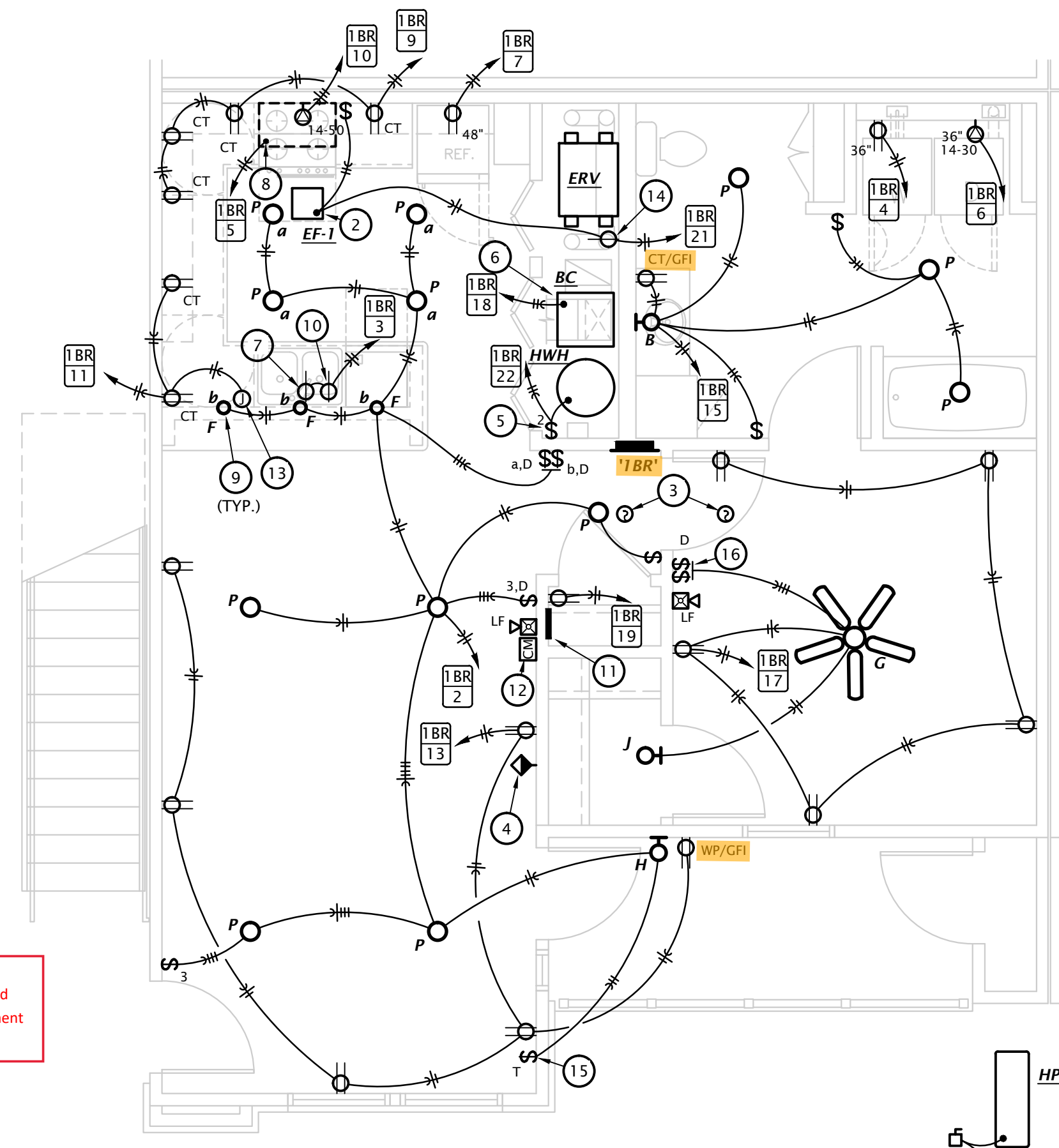
NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.

- VERIFY EXACT LOCATIONS AND ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PROVIDED OR SELECTED BY OWNER.
 - PROVIDE TAMPER PROOF RECEPTACLES IN DWELLING UNITS PER NEC REQUIREMENTS.
1. PROVIDE 30A/2P/240V NEMA 3R DISCONNECT SWITCH AND CONNECT HEAT PUMP. UTILIZE LIQUID TIGHT FLEXIBLE METAL CONDUIT BETWEEN DISCONNECT AND HEAT PUMP. SEE SHEETS ME1.1 AND ME1.2 FOR LOCATIONS. COORDINATE EXACT REQUIREMENTS AND LOCATION WITH M.C.
 2. CONNECT EXHAUST FAN PROVIDED BY MECHANICAL CONTRACTOR.
 3. FIRE ALARM SYSTEM SMOKE DETECTOR.
 4. COORDINATE FINAL LOCATIONS OF ALL CATV AND PHONE OUTLETS WITH OWNER. SEE 3.E6.1 FOR MORE INFORMATION.
 5. PROVIDE 30A/2P SNAP SWITCH AND CONNECT WATER HEATER.
 6. MAKE CONNECTION TO BLOWER COIL. EQUIPMENT TO BE PROVIDED WITH INTEGRAL DISCONNECT SWITCH. SEE EQUIPMENT SCHEDULE FOR MORE INFORMATION. COORDINATE REQUIREMENTS WITH M.C.
 7. PROVIDE SWITCHED SIMPLEX RECEPTACLE BELOW COUNTER FOR DISPOSAL OPERATION. SWITCH SHALL BE COUNTERTOP MOUNTED. AIR ACTIVATED PUSH BUTTON TYPE, FINISH TO MATCH SINK. COORDINATE EXACT LOCATION OF PUSH BUTTON WITH ARCHITECT.
 8. PROVIDE 120V CONNECTION TO MICROWAVE. COORDINATE EXACT ELECTRICAL ROUGH-IN REQUIREMENTS WITH EQUIPMENT PROVIDED. IF EQUIPMENT IS CORD AND PLUG, PROVIDE RECEPTACLE INSIDE CABINET ABOVE RANGE.
 9. INSTALL PENDANTS DIRECTLY ABOVE KNEE WALL BELOW. REFERENCE ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT FIXTURE SPACING.
 10. PROVIDE SIMPLEX RECEPTACLE BELOW COUNTER FOR CORD AND PLUG CONNECTION OF DISHWASHER. PROVIDE CORD AND GROUNDING PLUG AS REQUIRED. RECEPTACLE SHALL BE LOCATED IN BASE CABINET ADJACENT TO DISHWASHER TO ALLOW ACCESS TO PLUG.
 11. TELECOM DISTRIBUTION DEVICE. SEE DETAIL 3, SHEET E6.1. COORDINATE EXACT REQUIREMENTS WITH UTILITY PROVIDER SELECTED BY OWNER.
 12. FIRE ALARM ADDRESSABLE CONTROL MODULE FOR CONTROL OF APARTMENT UNIT'S NOTIFICATION APPLIANCE CIRCUIT. MODULE SHALL BE PROGRAMMED TO ACTIVATE APARTMENT UNIT'S NOTIFICATION APPLIANCES UPON GENERAL BUILDING FIRE ALARM AND UPON ACTIVATION OF ANY SMOKE DETECTOR WITHIN APARTMENT UNIT. MOUNT FLUSH IN WALL AT 80".
 13. INSTALL JUNCTION BOX IN ACCESSIBLE LOCATION IN BASE CABINET OF PENINSULA TO MAKE PROVISIONS FOR FUTURE PENINSULA RECEPTACLE PER NEC 210.52(C)(2).
 14. PROVIDE SIMPLEX RECEPTACLE FOR CORD AND PLUG CONNECTION OF ENERGY RECOVERY VENTILATOR 'ERV'.
 15. PROVIDE DIGITAL WALL TIMER FOR DUSK TO DAWN OPERATION WITH MANUAL OVERRIDE FOR CONTROL OF EXTERIOR LIGHT.
 16. SWITCH CEILING FAN AND LIGHT SEPARATELY.

Locate the required overcurrent Protection per 2023 NEC 240.21

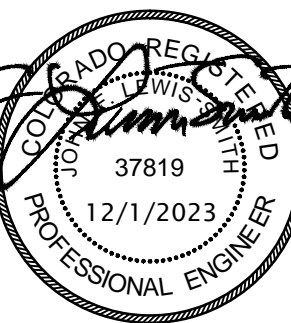
Electrical receptacle spacing and locations shall comply with 210.52(A) (1-4) 2023 NEC

110.14. Identify disconnects per 2023 NEC 110.22 and provide working space and egress to and around electrical equipment per 2023 NEC 110.26



1 1 BEDROOM POWER PLAN
 1/4" = 1'-0"

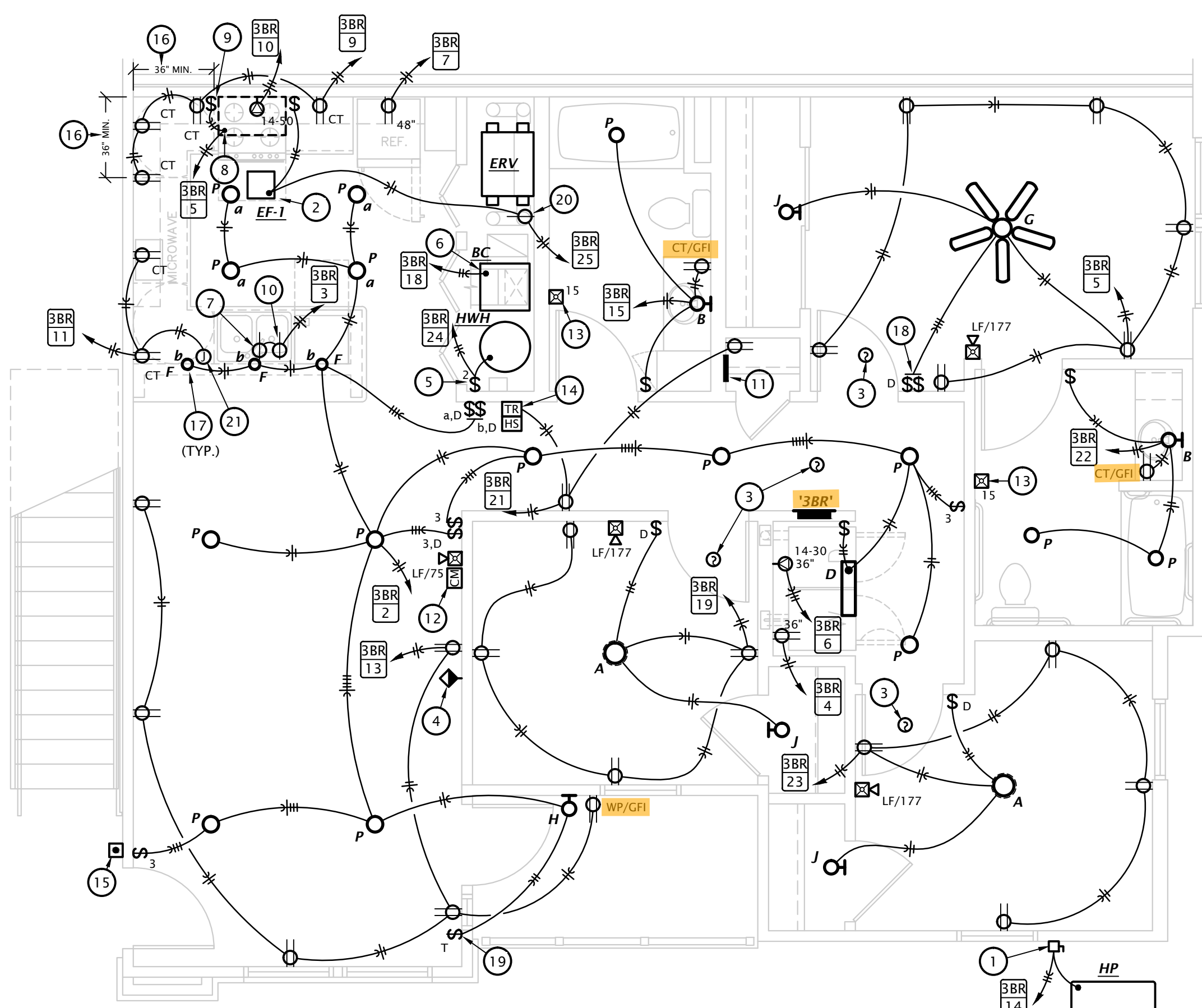
City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: William Griffin
 Date: Feb 05, 2024
 2021 INTERNATIONAL CODES & 2023 NEC



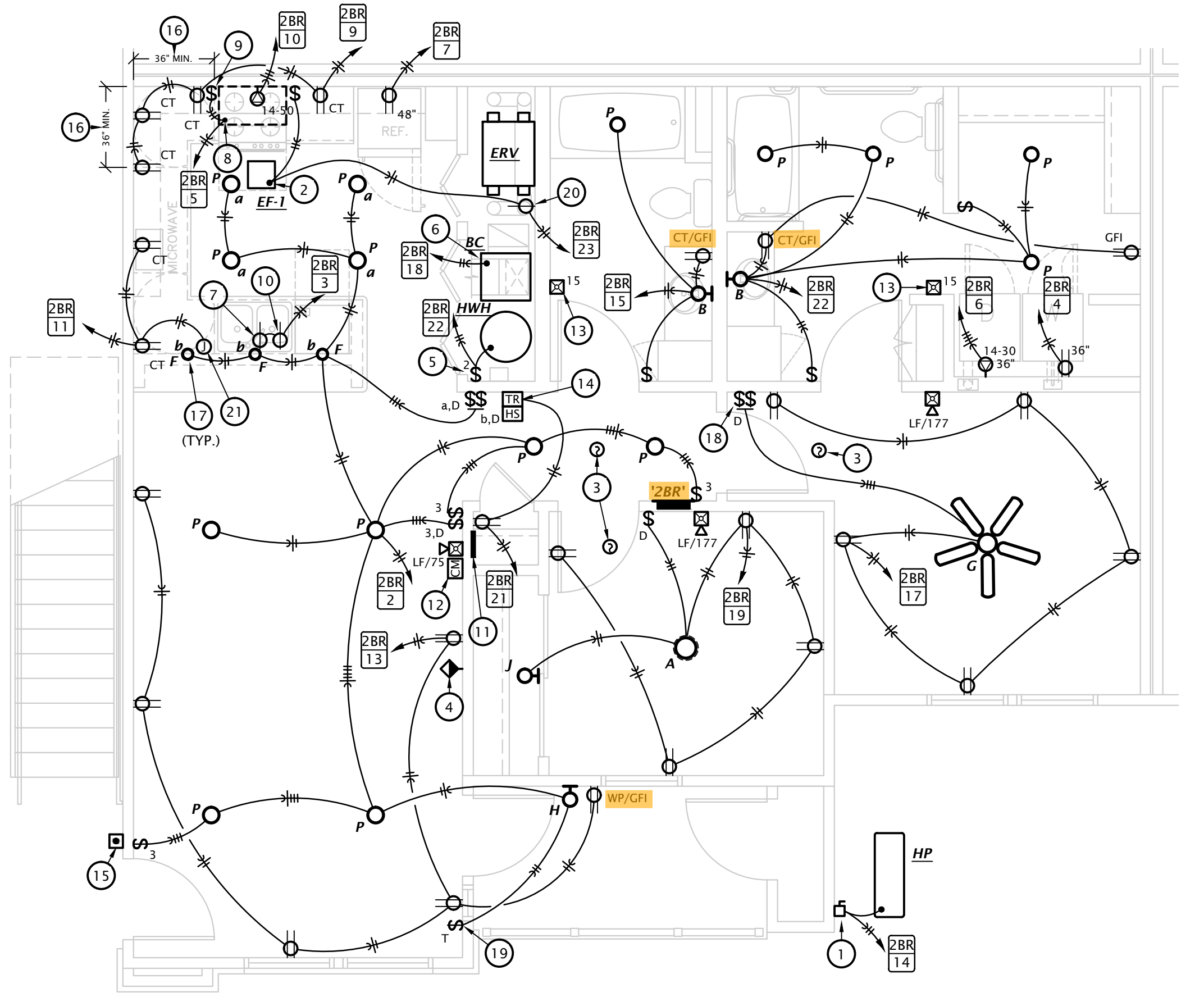
| | |
|------------|-----------|
| REVISION: | |
| DATE: | 10-2-2023 |
| JOB: | 22-3219 |
| SHEET NO.: | |

ELECTRICAL NOTES BY SYMBOL

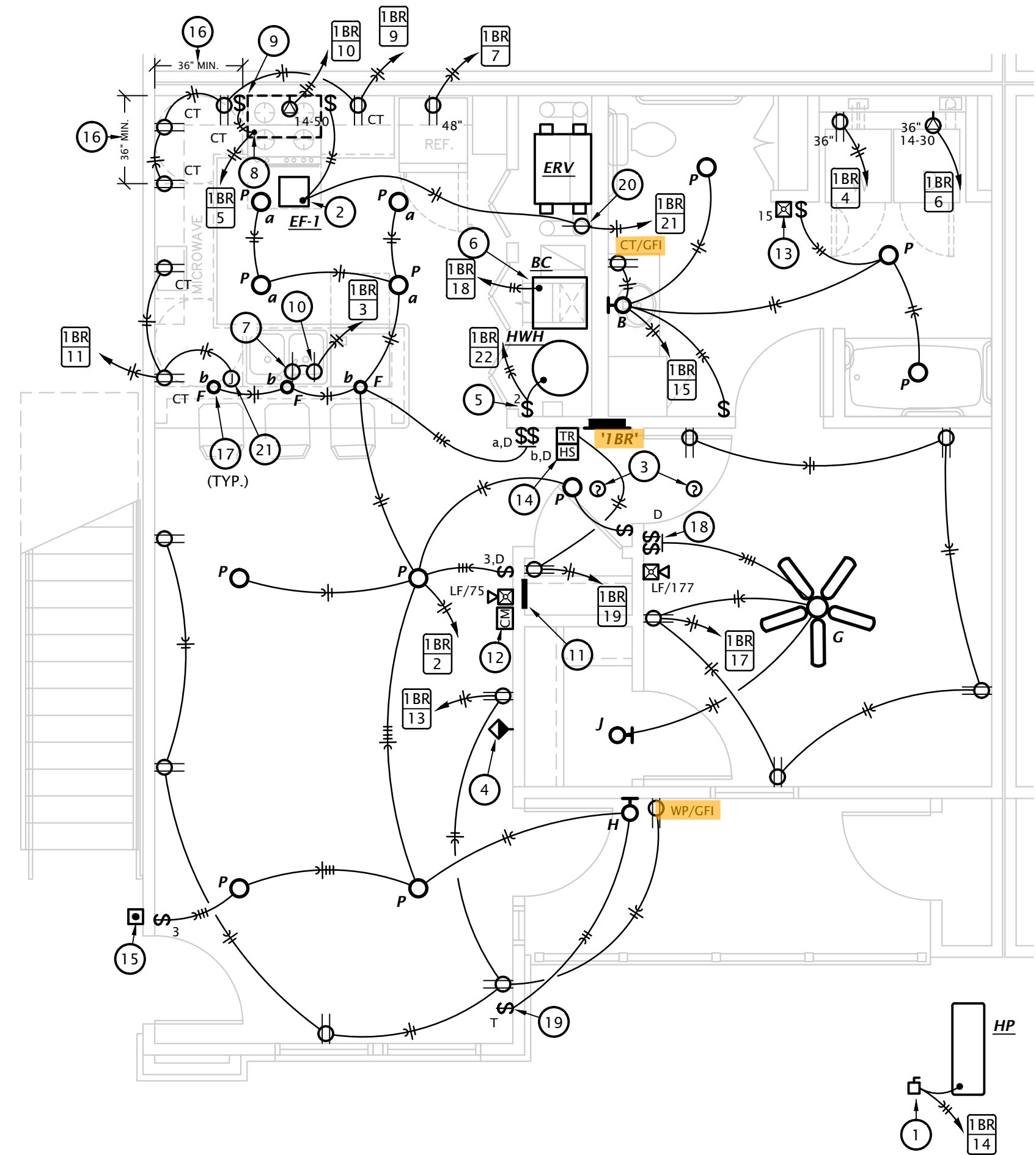
- NOTES SHOWN ARE TYPICAL FOR ALL APARTMENTS WHERE APPLICABLE.
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- PROVIDE 30A/2P/240V NEMA 3R DISCONNECT SWITCH AND CONNECT HEAT PUMP. UTILIZE LIQUID TIGHT FLEXIBLE METAL CONDUIT BETWEEN DISCONNECT AND HEAT PUMP. SEE SHEETS ME1.1 AND ME1.2 FOR LOCATIONS.
 - CONNECT EXHAUST FAN PROVIDED BY MECHANICAL CONTRACTOR.
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 - PROVIDE SWITCHED SIMPLEX RECEPTACLE BELOW COUNTER FOR DISPOSAL OPERATION. SWITCH SHALL BE COUNTERTOP MOUNTED, AIR ACTIVATED PUSH BUTTON TYPE, FINISH TO MATCH SINK. COORDINATE EXACT LOCATION OF PUSH BUTTON WITH ARCHITECT.
 - PROVIDE 120V CONNECTION TO RANGE HOOD. ACCESSIBLE UNITS WILL HAVE RANGE HOOD. COORDINATE EXACT ELECTRICAL ROUGH-IN REQUIREMENTS WITH EQUIPMENT PROVIDED. IF EQUIPMENT IS CORD AND PLUG, PROVIDE RECEPTACLE INSIDE CABINET ABOVE RANGE.
 - PROVIDE SWITCH IN ACCESSIBLE UNITS FOR CONTROL OF RANGE HOOD.
 - PROVIDE SIMPLEX RECEPTACLE BELOW COUNTER FOR CORD AND PLUG CONNECTION OF DISHWASHER. PROVIDE CORD AND GROUNDING PLUG AS REQUIRED. RECEPTACLE SHALL BE LOCATED IN BASE CABINET ADJACENT TO DISHWASHER TO ALLOW ACCESS TO PLUG.
 - TELECOM DISTRIBUTION DEVICE. SEE DETAIL 3, SHEET E6.1. COORDINATE EXACT REQUIREMENTS WITH UTILITY PROVIDER SELECTED BY OWNER.
 - FIRE ALARM ADDRESSABLE CONTROL MODULE FOR CONTROL OF APARTMENT UNIT'S NOTIFICATION APPLIANCE CIRCUIT. MODULE SHALL BE PROGRAMMED TO ACTIVATE APARTMENT UNIT'S NOTIFICATION APPLIANCES UPON GENERAL BUILDING FIRE ALARM AND UPON ACTIVATION OF ANY SMOKE DETECTOR OR CO DETECTOR WITHIN APARTMENT UNIT. MOUNT FLUSH IN WALL AT 8'-0" AFF.
 - IN HEARING IMPAIRED APARTMENT BATHROOMS, PROVIDE AUXILIARY STROBE AT 80" AFF.
 - PROVIDE DOOR ANNUNCIATOR SYSTEM A/V HORN/STROBE DEVICE AND LOW VOLTAGE TRANSFORMER AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED HEARING-IMPAIRED. INSTALL HORN/STROBE APPLIANCE AT 80" AFF. INSTALL TRANSFORMER IN DOUBLE GANG JUNCTION BOX ABOVE HORN/STROBE WITH BLANK COVER PLATE AND PROVIDE LOW VOLTAGE CONTROL WIRING. REFER TO DETAIL 4, SHEET E6.1. PROVIDE ENGRAVED SIGN AT THE HORN/STROBE DEVICE TO READ "DOOR".
 - PROVIDE PUSH BUTTON AT 48" AFF FOR ANNUNCIATOR SYSTEM AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED FOR HEARING-IMPAIRED. REFER TO ARCH DRAWINGS FOR APPLICABLE ROOMS. REFER TO DETAIL 4, SHEET E6.1.
 - IN ACCESSIBLE UNITS, INSTALL COUNTERTOP RECEPTACLES A MINIMUM 36" AWAY FROM CORNER PER FAIR HOUSING ACT DESIGN MANUAL CHAPTER 5 'SIDE REACH OVER AN OBSTRUCTION' REQUIREMENTS. WHERE AN OBSTRUCTION PREVENTS 36" DISTANCE REQUIREMENT, INSTALL RECEPTACLE AS FAR FROM CORNER AS POSSIBLE. PROVIDE ADDITIONAL OUTLETS WITHIN 36" OF CORNER TO ENSURE COMPLIANCE WITH NEC SPACING REQUIREMENTS.
 - INSTALL PENDANTS DIRECTLY ABOVE KNEE WALL BELOW. REFERENCE ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT FIXTURE SPACING.
 - SWITCH CEILING FAN AND LIGHT SEPARATELY.
 - PROVIDE DIGITAL WALL TIMER FOR DUSK TO DAWN OPERATION WITH MANUAL OVERRIDE FOR CONTROL OF EXTERIOR LIGHT.
 - PROVIDE SIMPLEX RECEPTACLE FOR CORD AND PLUG CONNECTION OF ENERGY RECOVERY VENTILATOR 'ERV'.
 - INSTALL JUNCTION BOX IN ACCESSIBLE LOCATION IN BASE CABINET OF PENINSULA TO MAKE PROVISIONS FOR FUTURE PENINSULA RECEPTACLE PER NEC 210.52(C)(2).



3 ACCESSIBLE 3 BEDROOM POWER PLAN
 1/4" = 1'-0"



2 ACCESSIBLE 2 BEDROOM POWER PLAN
 1/4" = 1'-0"



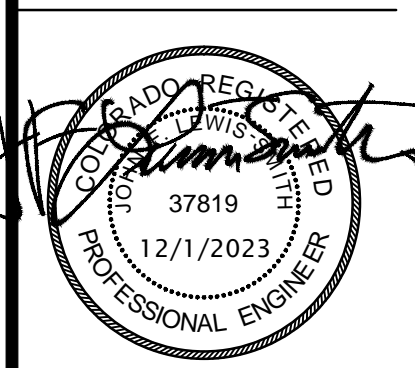
1 ACCESSIBLE 1 BEDROOM POWER PLAN
 1/4" = 1'-0"

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: William Griffin
 Date: Feb 06, 2024
 2021 INTERNATIONAL CODES & 2023 NEC

Locate the required overcurrent Protection per 2023 NEC 240.21

Electrical receptacle spacing and locations shall comply with 210.52(A) (1-4) 2023 NEC

110.14. Identify disconnects per 2023 NEC 110.22 and provide working space and egress to and around electrical equipment per 2023 NEC 110.26



REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:

E6.1

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: William Griffin
 Date: Feb 06, 2024
 2021 INTERNATIONAL CODES & 2023 NEC
 RSN: 1762346
 Permit #: 23-2396760 CM

APARTMENT LIGHT FIXTURE SCHEDULE

| MARK | MANUF. | MODEL NUMBER | # | LAMP DATA | BALLAST/LED DRIVER | MOUNTING | FINISH | DESCRIPTION | NOTES |
|------|------------------|--|-----|--|--------------------|----------------------------------|--------------|---|-------|
| | | | | TYPE | | | | | |
| A | LITHONIA | FMML-13-8-30 | --- | 1900 LUMEN 28W LED | STANDARD | SURFACE | WHITE | 13" ROUND LED FLUSH MOUNT | |
| B | SEAGULL | 4423003EN3-710 | 3 | 9.5W LED | STANDARD | WALL | BURNT SIENNA | 3 LAMP VANITY LIGHT | |
| D | SEAGULL | 5913691S-15 | --- | 26W LED | STANDARD | SURFACE | WHITE | 2 FOOT LINEAR LED WITH ACRYLIC LENS | |
| E | LITHONIA | EU2-LED-M12 | 2 | 1W LED | STANDARD | WALL | WHITE | LED EMERGENCY LIGHT | 6 |
| F | N/A | SELECTED BY OWNER | --- | 200 LUMEN | STANDARD | PENDANT AT 6'6" AFF TO BOTTOM | OLD BRONZE | 3'0" x 12" HIGH DECORATIVE MINI-PENDANT | |
| G | SEAGULL | 15030EN-829 | 2 | 10W LED | STANDARD | SURFACE | BRONZE | 52" DIAMETER CEILING FAN WITH LED LIGHT KIT | |
| H | SEAGULL | 89029EN3-12 | 1 | 20W LED | STANDARD | WALL AT 6'8" AFF TO CENTER MOUNT | BLACK | OUTDOOR WALL LANTERN WITH GLASS LENS | 4,5 |
| J | LITHONIA | FMML-13-8-40-PIR | --- | 1225 LUMEN 17W LED | STANDARD | WALL | WHITE | 24" WALL MOUNTED LED CLOSET LIGHT | |
| K | LITHONIA | FMML-13-8-40-WL | --- | 1985 LUMEN 28W LED | STANDARD | SURFACE | WHITE | 13" ROUND LED FLUSH MOUNT | 4 |
| P | HALO | SMD6R-6-930-WH | --- | 600 LUMEN 10W LED | STANDARD | SURFACE | WHITE | 6" ROUND SURFACE MOUNT DOWNLIGHT | 3 |
| R1 | MCGRAW-EDISON | GLEON-SA2D-740-U-T2-HSS | --- | 15580 LUMEN 129W LED | STANDARD | POLE | BLACK | LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE II DISTRIBUTION | 1,4 |
| R2 | MCGRAW-EDISON | GLEON-SA2D-740-U-T3-HSS | --- | 15879 LUMEN 129W LED | STANDARD | POLE | BLACK | LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE III DISTRIBUTION | 1,4 |
| R3 | MCGRAW-EDISON | GLEON-SA1D-740-U-SL4-HSS | --- | 7719 LUMEN 67W LED | STANDARD | POLE | BLACK | LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE IV DISTRIBUTION | 7,4 |
| R4 | MCGRAW-EDISON | GLEON-SA1D-740-U-5WQ | --- | 8556 LUMEN 67W LED | STANDARD | POLE | BLACK | LED AREA LIGHT, SINGLE HEAD WITH IES TYPE V DISTRIBUTION | 7,4 |
| R5 | MCGRAW-EDISON | GLEON-SA1D-740-U-T2-HSS | --- | 7972 LUMEN 67W LED | STANDARD | POLE | BLACK | LED AREA LIGHT, SINGLE HEAD FULL CUT-OFF WITH IES TYPE II DISTRIBUTION | 7,4 |
| R6 | MCGRAW-EDISON | GLEON-SA2D-740-U-5WQ | --- | 16723 LUMEN 129W LED | STANDARD | POLE | BLACK | LED AREA LIGHT, SINGLE HEAD FULL IES TYPE IV DISTRIBUTION | 1,4 |
| R7 | MCGRAW-EDISON | GLEON-SA2D-740-U-T2-HSS GLEON-SA2D-740-U-T3-HSS | --- | 15580 LUMEN 129W LED 15879 LUMEN 129W LED | STANDARD | POLE | BLACK | LED AREA LIGHT, DUAL 90° HEAD FULL CUT-OFF WITH IES (1) TYPE II AND (1) TYPE III DISTRIBUTION | 1,4 |
| R8 | MCGRAW-EDISON | GLEON-SA2D-740-U-T2-HSS GLEON-SA2D-740-U-T3-HSS | --- | 15580 LUMEN 129W LED 15879 LUMEN 129W LED | STANDARD | POLE | BLACK | LED AREA LIGHT, DUAL 180° HEAD WITH IES (1) TYPE II AND (1) TYPE III DISTRIBUTION | 1,4 |
| V | BULLARD BOLLARDS | CDD2 | --- | 600 LUMEN SW LED | STANDARD | SURFACE WALL | BLACK | DECORATIVE LED WALL SCNCE | 4 |
| W | GOTHAM | ICO4-20/AR/LSS/20D | --- | 1900 LUMEN 21.5W LED | STANDARD | SURFACE | WHITE | 4" DIAMETER LED WALL WASH DOWNLIGHT WITH 10° BEAM ANGLE | 8 |

GENERAL:

- Fixture/pole assemblies shall be rated for 100mph wind loads. Provide wind dampeners when recommended by the manufacturer.
- All fixtures shall be provided with multi-volt driver capable of operating between 120V-277V
- All exterior fixtures shall be 4000K color temperature
- All interior fixtures shall be 3000K color temperature
- All apartment light fixtures and ceiling fans shall be Energy Star rated

NOTES:

1. Provide fixture/pole assembly with 22" round straight steel pole, bronze to match fixture. Fixture height shall not exceed 25'-0" AFG.
2. Provide wall or ceiling mounted as required
3. Where installed above showers and tubs fixture shall be wet location listed.
4. Fixture shall be U.L. listed for wet locations.
5. Provide fixture dusk to dawn control in accordance with Green Community requirements. See note 16 on sheet E1.1 for more information.
6. Provide with test switch, status indicator and rechargeable nickel-cadmium battery for 90 minutes of emergency power.
7. Provide fixture/pole assembly with 10' round straight steel pole, bronze to match fixture. Fixture height shall not exceed 12'-0" AFG.
8. Fixture shall be U.L. listed for damp locations.

POWR-GARD® Fuse Datasheet

CLASS T - JLLN / JLLS SERIES FUSES

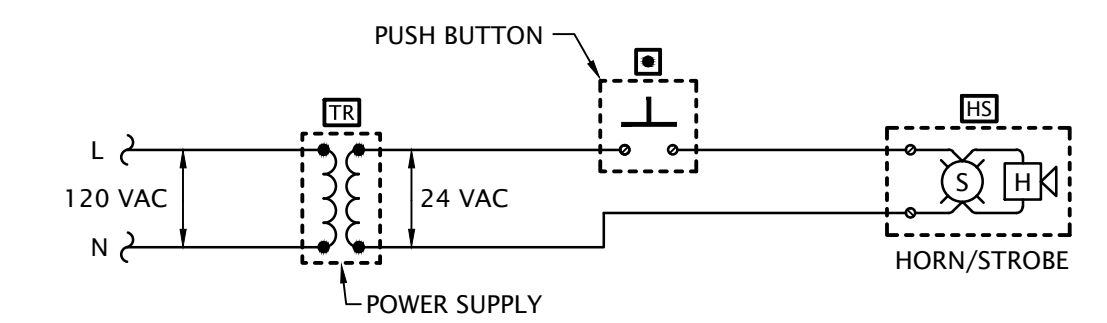
Peak Let-Thru Curve and Current-Limiting Effects of JLLN (300V) Fuses

| SHORT CIRCUIT CURRENT* | 30 A | 60 A | 100 A | 200 A | 400 A | 600 A | 800 A | 1200 A |
|------------------------|-------|-------|-------|-------|--------|--------|--------|--------|
| 5,000 | 700 | 775 | 1,100 | 1,650 | 3,500 | 4,000 | 5,000 | 5,000 |
| 10,000 | 900 | 1,000 | 1,400 | 2,100 | 4,400 | 5,100 | 6,750 | 8,250 |
| 15,000 | 1,000 | 1,100 | 1,600 | 2,400 | 5,000 | 5,900 | 7,750 | 10,000 |
| 20,000 | 1,100 | 1,250 | 1,800 | 2,700 | 5,500 | 6,500 | 8,750 | 11,000 |
| 25,000 | 1,200 | 1,300 | 1,950 | 2,900 | 6,000 | 7,000 | 9,500 | 12,000 |
| 30,000 | 1,300 | 1,475 | 2,050 | 3,100 | 6,400 | 7,500 | 10,000 | 12,500 |
| 35,000 | 1,300 | 1,575 | 2,150 | 3,300 | 6,750 | 7,750 | 10,500 | 13,500 |
| 40,000 | 1,400 | 1,600 | 2,300 | 3,500 | 7,000 | 8,000 | 11,000 | 14,000 |
| 50,000 | 1,500 | 1,750 | 2,400 | 3,700 | 7,500 | 8,750 | 12,000 | 15,000 |
| 60,000 | 1,700 | 1,900 | 2,700 | 4,000 | 8,000 | 9,500 | 12,500 | 16,000 |
| 80,000 | 1,850 | 2,100 | 2,900 | 4,400 | 9,000 | 10,500 | 14,000 | 17,500 |
| 100,000 | 2,000 | 2,250 | 3,100 | 4,800 | 9,750 | 11,500 | 15,000 | 18,500 |
| 150,000 | 2,200 | 2,600 | 3,600 | 5,500 | 11,000 | 13,000 | 17,500 | 22,000 |
| 200,000 | 2,600 | 2,900 | 3,900 | 6,000 | 12,000 | 14,500 | 19,500 | 24,000 |

*Prospective RMS Symmetrical Amperes Short-Circuit Current
 Note: Data Derived from Peak Let-Thru Curves

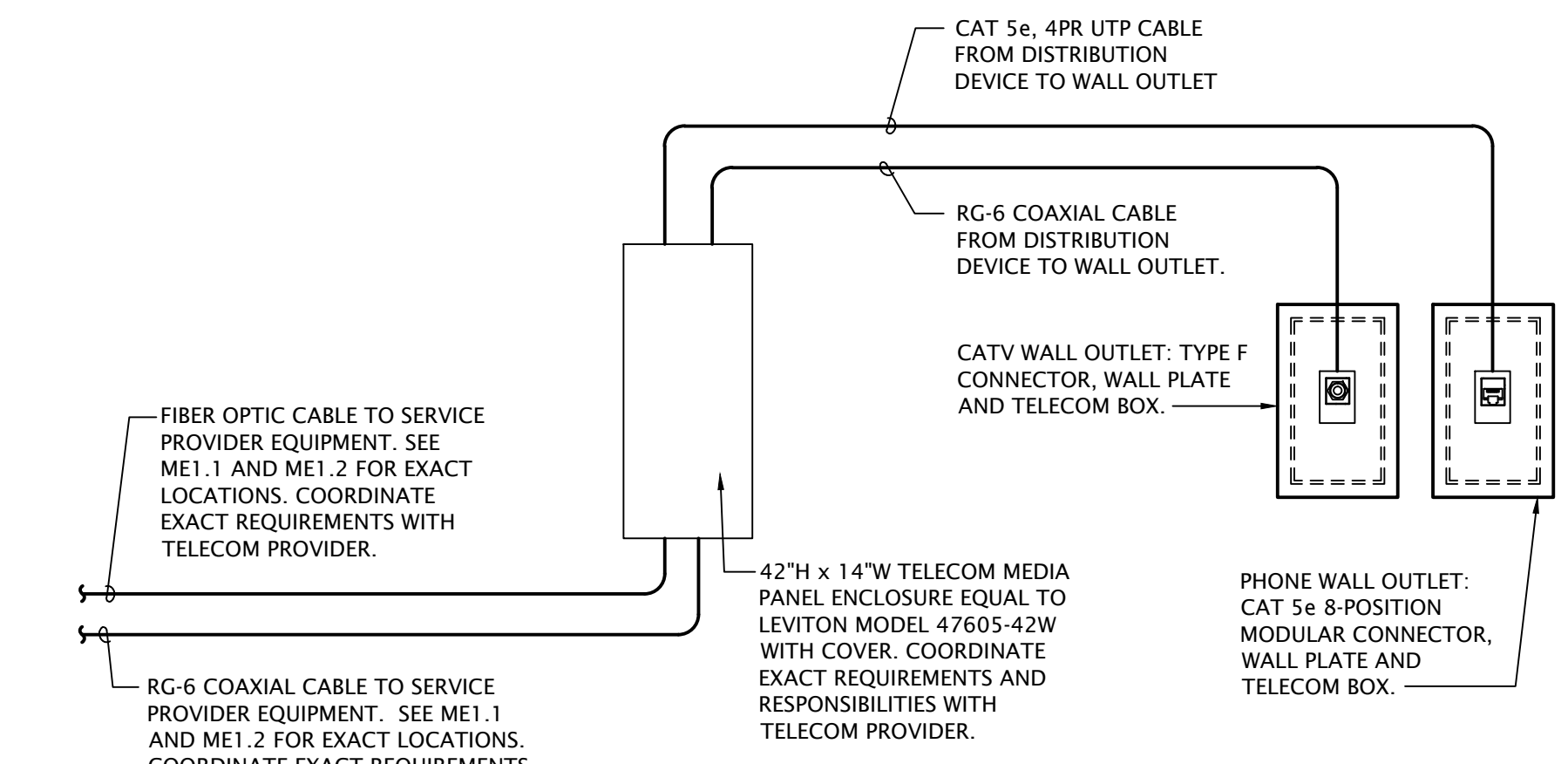
PER XCEL ENERGY STANDARDS, CURRENT LIMITING FUSES SHALL BE SELECTED TO LIMIT FAULTS TO 10,000 SYMMETRICAL RMS AMPS AT THE METER.

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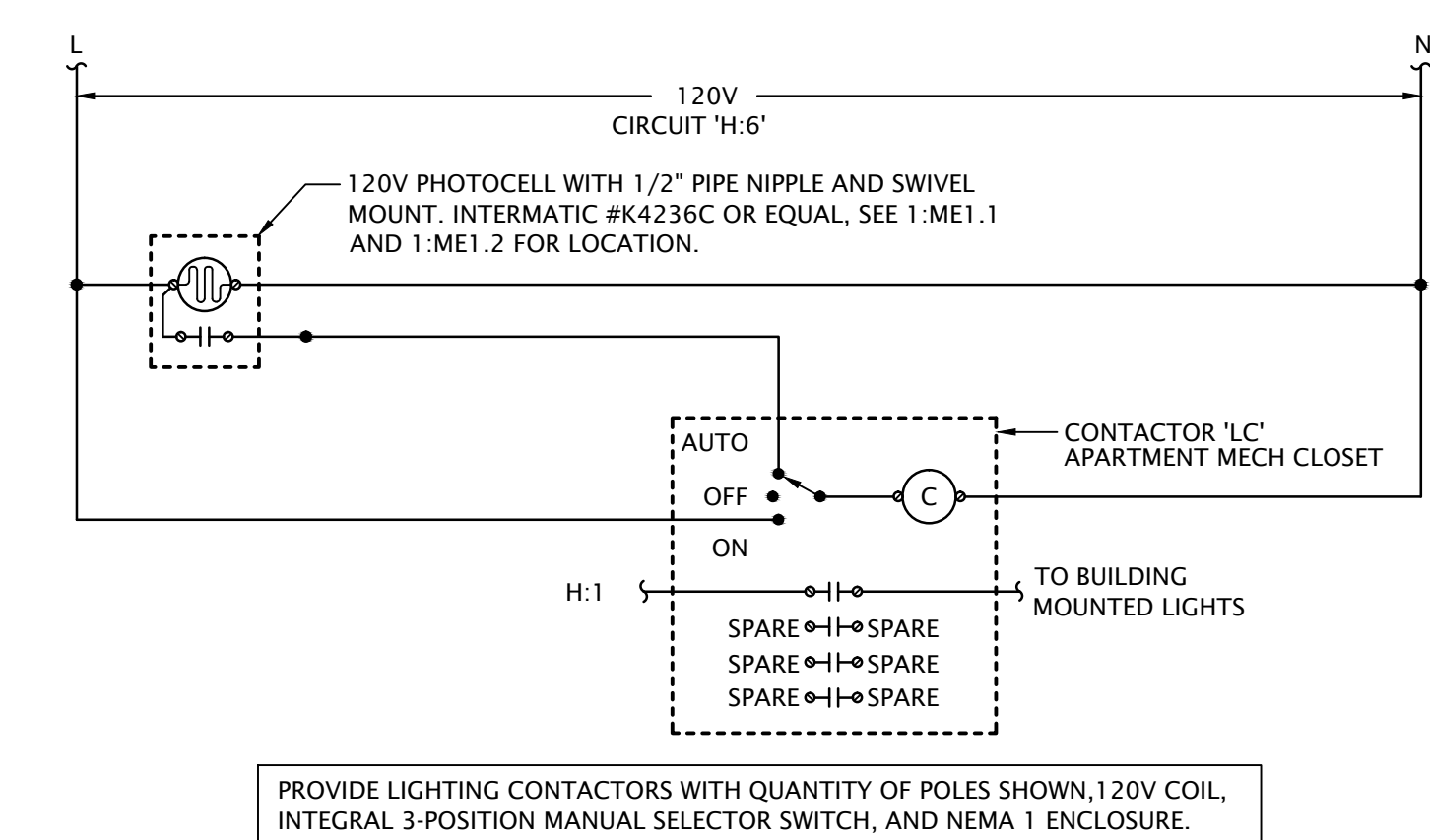


- DOOR ALARM BUZZER SYSTEM NOTES**
1. PROVIDE DOOR ANNUNCIATOR SYSTEM COMPLETE WITH PUSH BUTTON, HORN/STROBE(S), POWER SUPPLIES AND ALL WIRING REQUIRED. HORN/STROBE SHALL ACTIVATE WHEN PUSH BUTTON IS DEPRESSED.
 2. HORN/STROBE SHALL OPERATE AT 24VAC. HAVE A CLEAR LENS WITH 50cd STROBE AND HORN WITH 82db AT 10', UL 1638 LISTED, EDWARDS #6536-G5. FLUSH MOUNT IN WALL AT 6'-8" AFF.
 3. PUSH BUTTON SHALL BE WHITE WITH CHROME RIM, NON-ILLUMINATED, WITH N.O. MOMENTARY CONTACTS, RATED FOR 0.67 AMPS AT 24VAC, EDWARDS #620. PROVIDE WITH STAINLESS STEEL COVER PLATE, EDWARDS #147-10. MOUNT AT 48" AFF.
 4. POWER SUPPLY SHALL BE A LOW VOLTAGE CLASS 2 TRANSFORMER WITH 120VAC PRIMARY AND 24VAC SECONDARY, 20VA, EDWARDS #598. FLUSH MOUNT IN 2-GANG WALL BOX WITH BLANK COVER PLATE, DIRECTLY ABOVE HORN/STROBE.
 5. LOW VOLTAGE CLASS 2 CABLING SHALL BE MINIMUM 18 AWG UNSHIELDED.

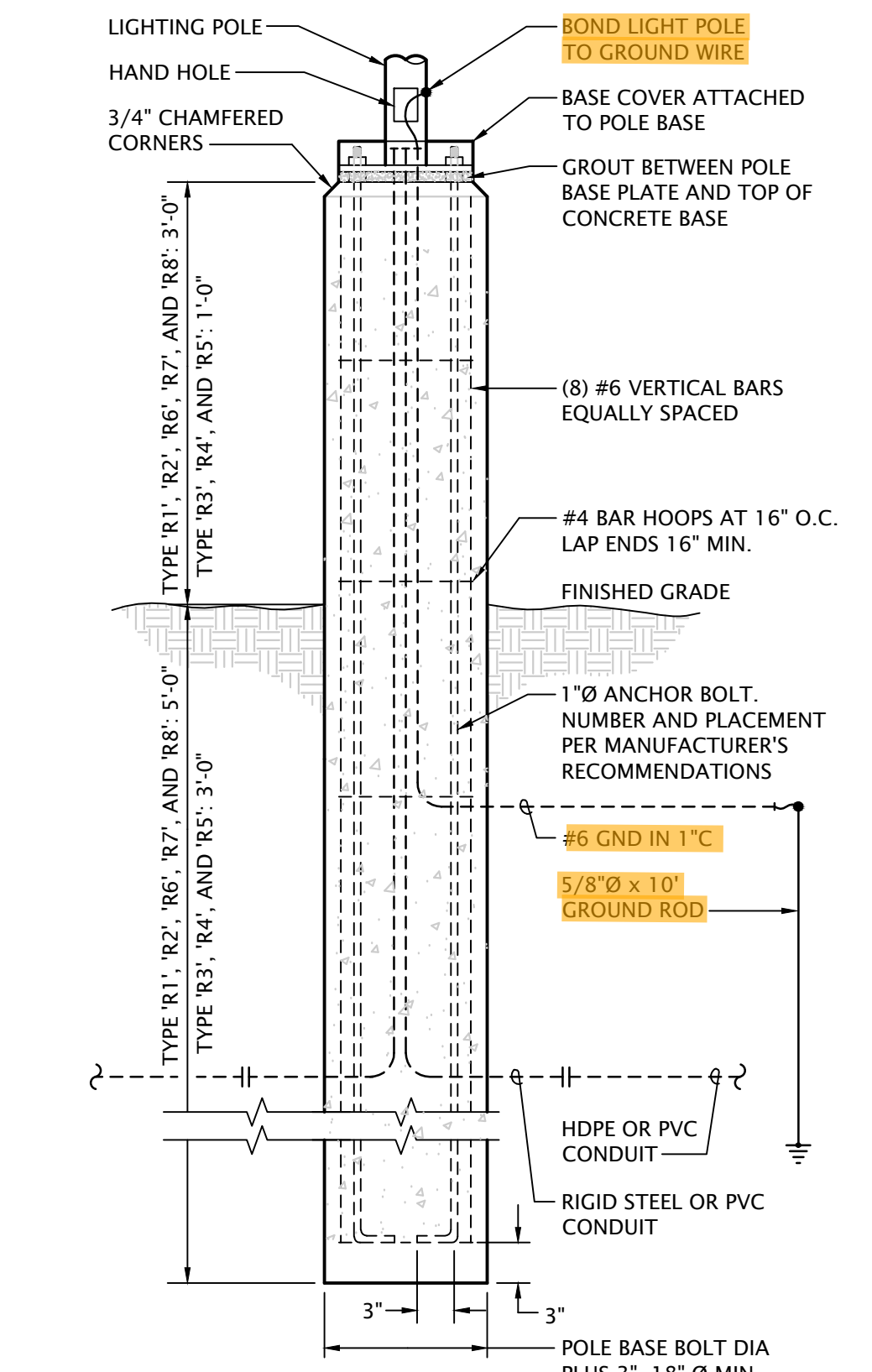
4 APARTMENT DOOR ANNUNCIATOR DIAGRAM
 No Scale



3 APARTMENT TELECOM WIRING SCHEMATIC
 No Scale



2 EXTERIOR LIGHTING CONTROL DIAGRAM
 No Scale



1 CONCRETE POLE BASE DETAIL
 No Scale

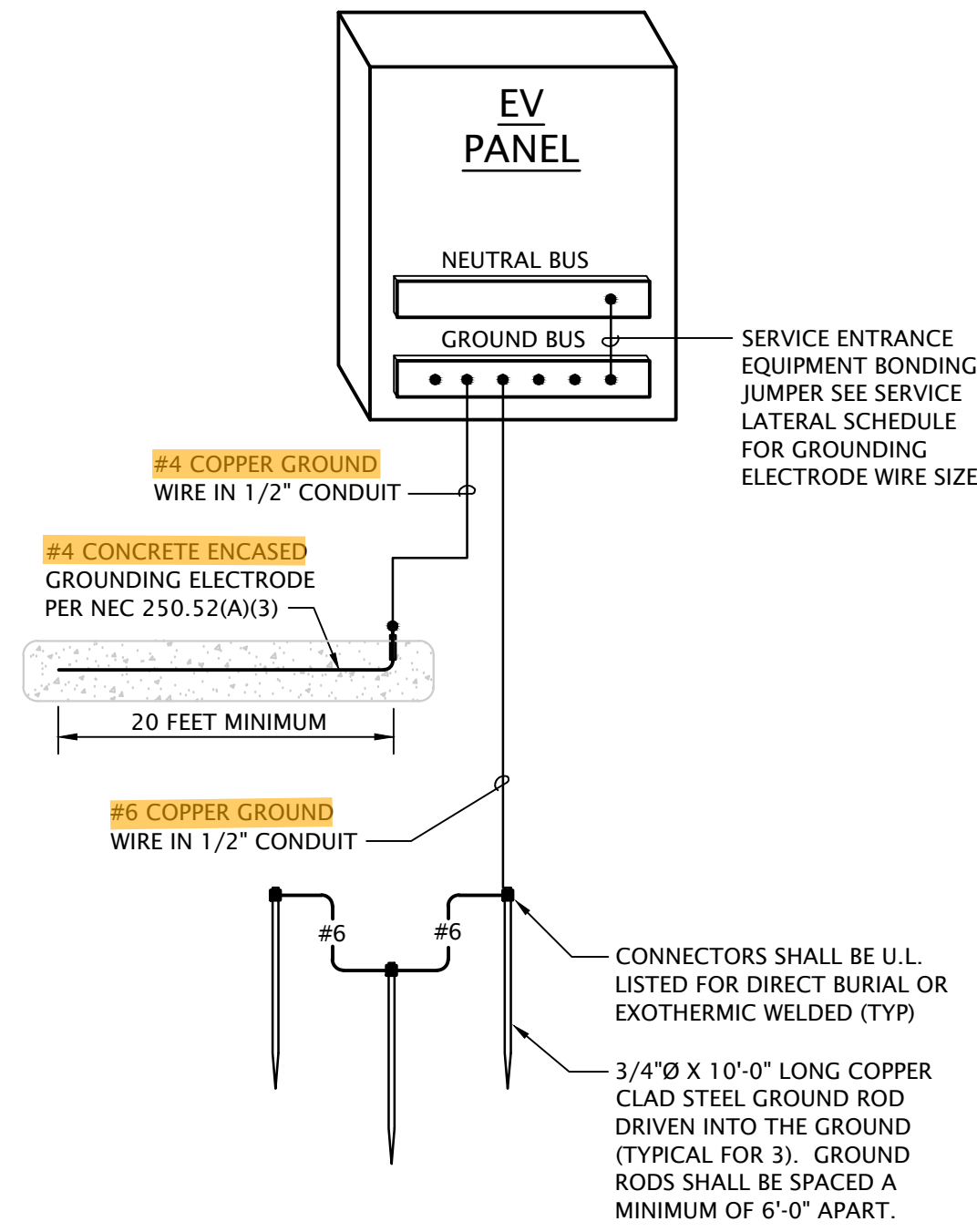
Locate the required overcurrent Protection per 2023 NEC 240.21

110.14. Identify disconnects per 2023 NEC 110.22 and provide working space and egress to and around electrical equipment per 2023 NEC 110.26

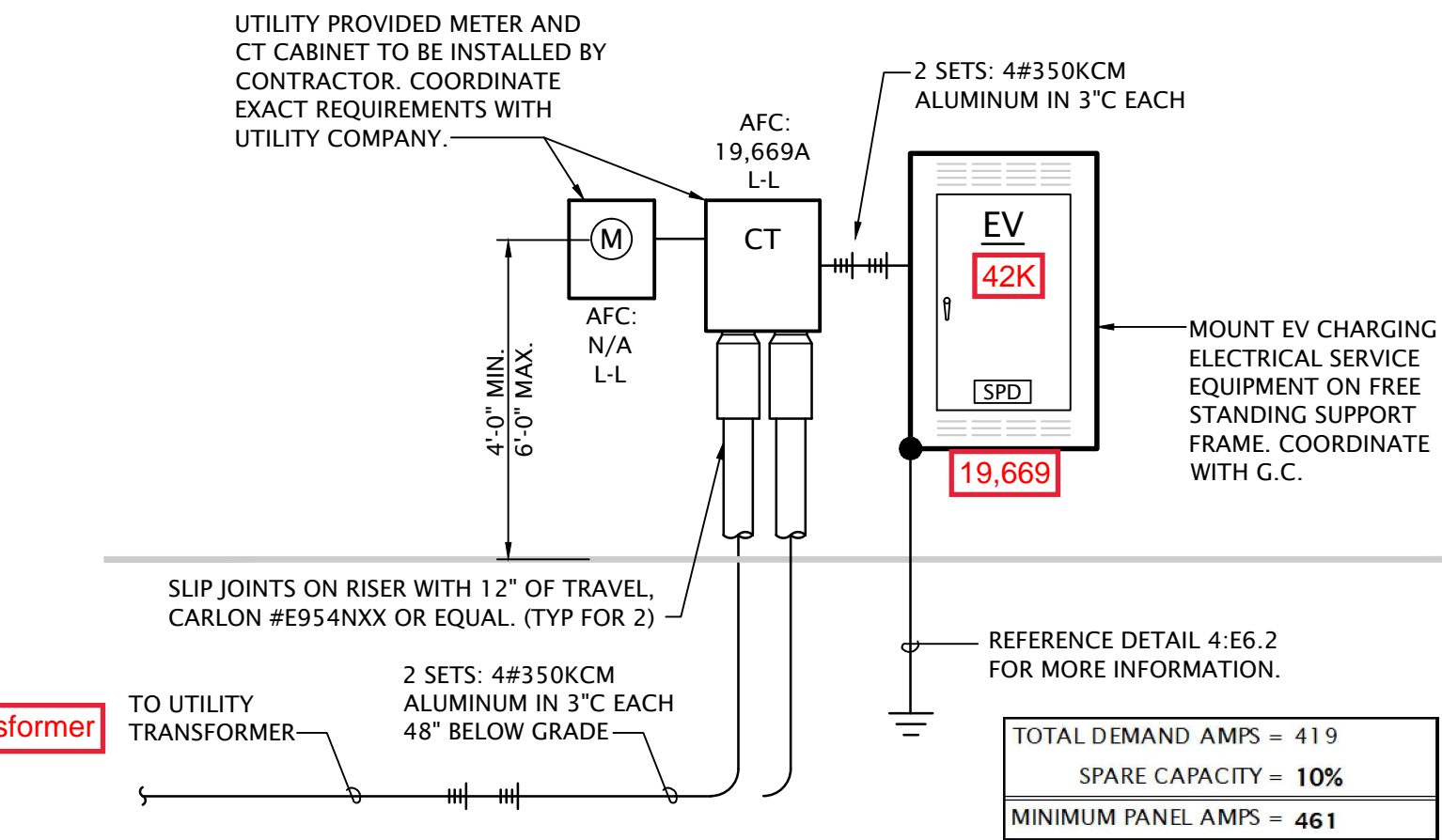
Service Equipment shall be permanently And legibly marked to show the available Fault current and date. 2023 NEC 110.24(A)(B)

| SERVICE LATERAL SCHEDULE | | | |
|--------------------------|--|--------------------------|--|
| SERVICE LOCATION | FEEDER SIZE (ALUMINUM) | SERVICE EQUIPMENT RATING | GROUNDING ELECTRODE (ALUM. OR COPPER-CLAD) |
| BUILDING A | 3 SETS: (4) #500 KCMIL AL. 4" C. EACH | 42 KAIC | 4/0 |
| BUILDING B | 4 SETS: (4) #300 KCMIL CU. IN 3" C. EACH | 42 KAIC | 250 KCMIL |
| BUILDING C | 3 SETS: (4) #500 KCMIL AL. 4" C. EACH | 42 KAIC | 4/0 |
| BUILDING D | 4 SETS: (4) #400 KCMIL AL. IN 4" C. EACH | 42 KAIC | 4/0 |
| BUILDING E | 3 SETS: (4) #500 KCMIL AL. 4" C. EACH | 42 KAIC | 4/0 |
| BUILDING F | 3 SETS: (4) #500 KCMIL AL. 4" C. EACH | 22 KAIC | 4/0 |
| BUILDING G | 3 SETS: (4) #500 KCMIL AL. 4" C. EACH | 42 KAIC | 4/0 |
| BUILDING H | 3 SETS: (4) #500 KCMIL AL. 4" C. EACH | 42 KAIC | 4/0 |
| CLUBHOUSE | 2 SETS: (4) #250 KCM AL. IN 3" C. EACH | 22 KAIC | 3/0 |
| EV | 2 SETS: (4) #350 KCM AL. IN 3" C. EACH | 22 KAIC | 3/0 |

NOTES:
 1. VOLTAGE DROP HAS BEEN ACCOUNTED FOR IN SIZES INDICATED, FURTHER UP-SIZING IS NOT NECESSARY.

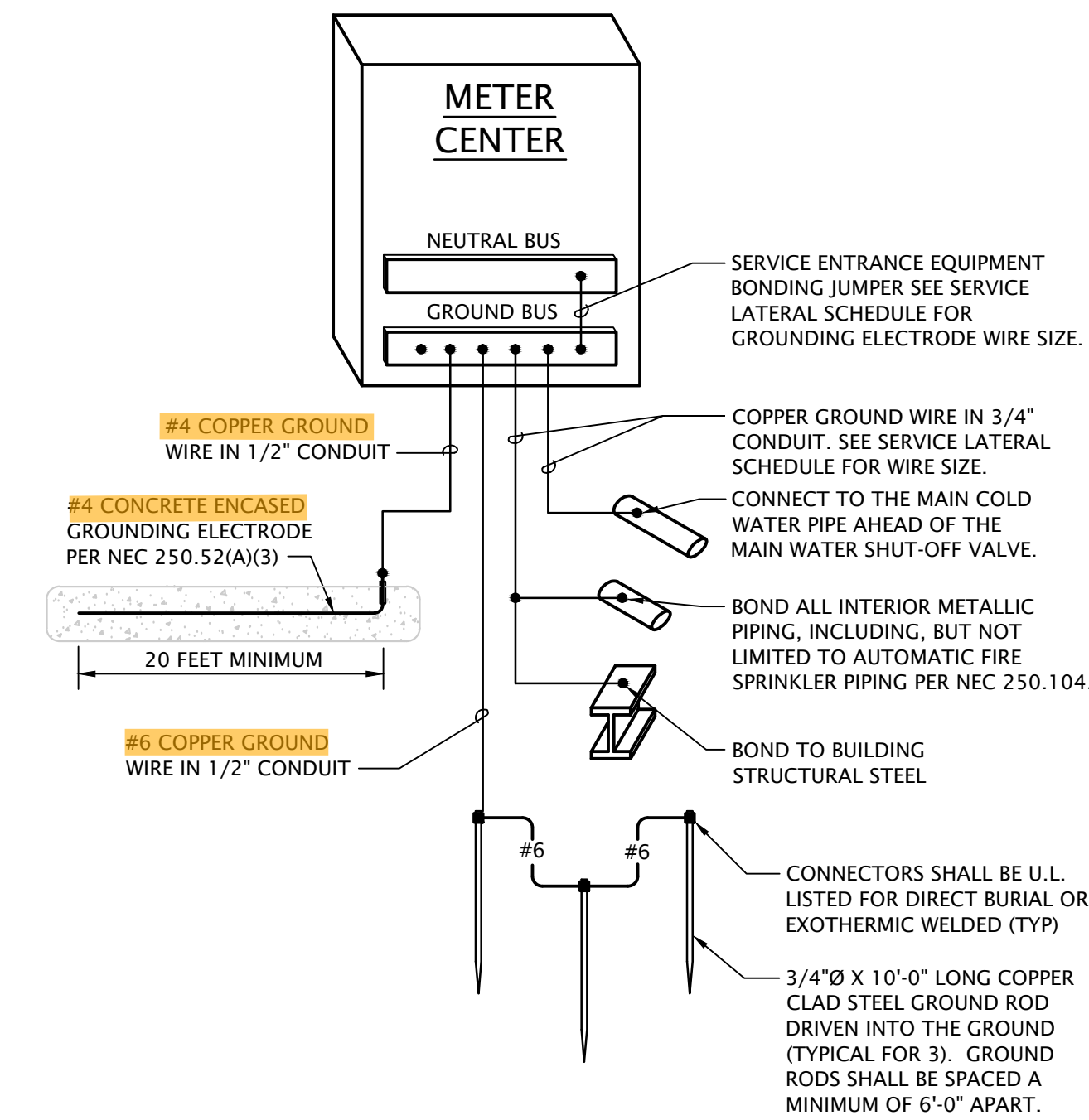


150 KVA Transformer
26,000



2 ELECTRICAL RISER DIAGRAM - EV CHARGING PANEL
No Scale

4 EV CHARGING PANEL SERVICE GROUNDING ELECTRODE SYSTEM
No Scale



NOTES:
 • See sheets ME1.0 - ME1.2 for meter center locations.
 • Main disconnect section shall be rated for maximum 10,000A peak let through.
 • All conductor sizes are based on copper, U.N.O.
 • Entire installation shall comply with NEC.
 • Coordinate all responsibilities and requirements with utility company and pay associated fees. Contact Information: Christopher Jackson Xcel Energy
 Christopher.M.Corbin@xcelenergy.com 720.762.3757
 Coordinate final location of meter assemblies with utility company. Provide shop drawings of proposed equipment whether as specified or substituted to utility company for approval.
 • All meter center components shall be NEMA 3R
 • All dimensions based on Square D equipment, it is the contractor's responsibility to verify the dimensions of substitute equipment and receive approval from utility for substitution.
 • For each meter, provide a permanent brass, copper or aluminum tag identifying the apartment served. Tags shall be securely fastened to the meter base and be stamped with 1/8" letters, minimum.

300 KVA Transformer
52,000

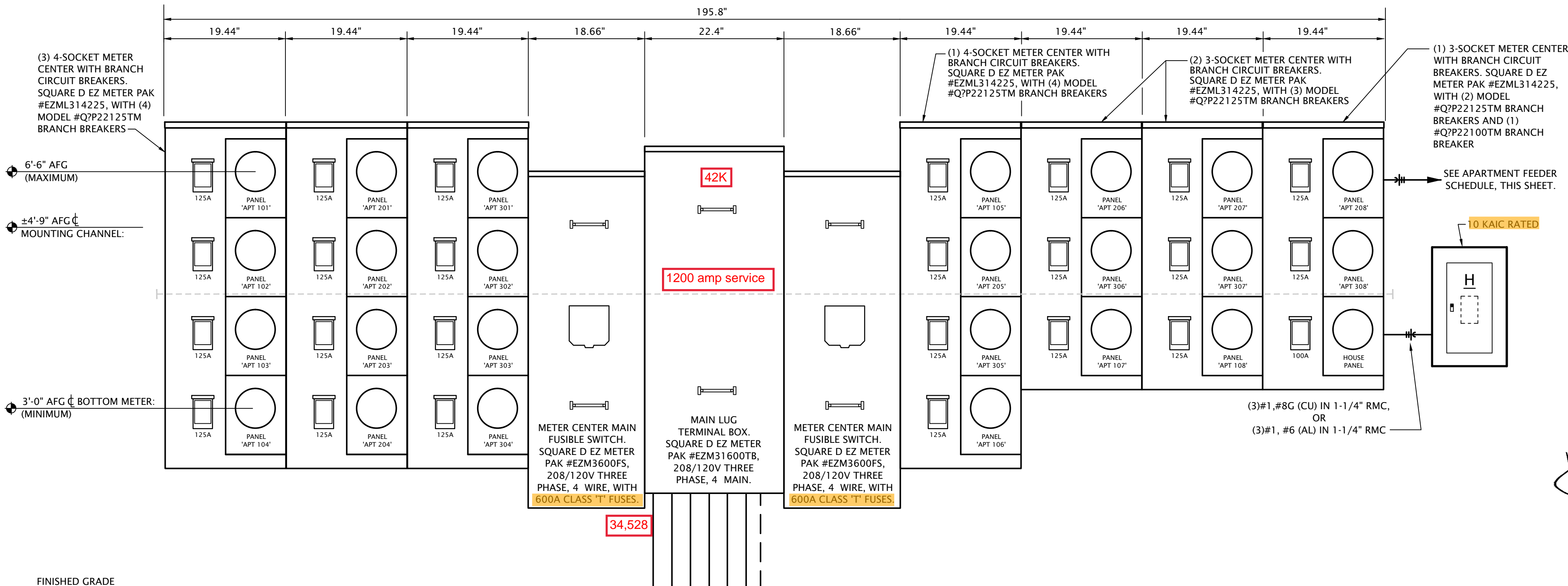
1 ELECTRICAL RISER DIAGRAM - TYPICAL
No Scale

3 APARTMENT BUILDING SERVICE GROUNDING ELECTRODE SYSTEM
No Scale
Same Vertical Section. Other than the required interconnections and control wiring, only those conductors that are intended for termination in a vertical section of a switchboard or switchgear shall be located in that section. 408.3(A)(2) 2023 NEC
Provide a Grounding Electrode System bonded To the service equipment enclosure, grounded Conductors, and grounded electrode conductors Per 2023 NEC 250.50 and 250.104

| APARTMENT FEEDER SCHEDULE | | | | | | | | | | | | | | | |
|---------------------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| BUILDING A | | BUILDING B | | BUILDING C | | BUILDING D | | BUILDING E | | BUILDING F | | BUILDING G | | BUILDING H | |
| APARTMENT # | FEEDER SIZE | APARTMENT # | FEEDER SIZE | APARTMENT # | FEEDER SIZE | APARTMENT # | FEEDER SIZE | APARTMENT # | FEEDER SIZE | APARTMENT # | FEEDER SIZE | APARTMENT # | FEEDER SIZE | APARTMENT # | FEEDER SIZE |
| A101 | NOTE #3 | B101 | NOTE #3 | C101 | NOTE #1 | D101 | NOTE #3 | E101 | NOTE #1 | F101 | NOTE #1 | G101 | NOTE #3 | H101 | NOTE #1 |
| A102 | NOTE #3 | B102 | NOTE #3 | C102 | NOTE #1 | D102 | NOTE #4 | E102 | NOTE #1 | F102 | NOTE #1 | G102 | NOTE #4 | H102 | NOTE #1 |
| A103 | NOTE #2 | B103 | NOTE #2 | C103 | NOTE #1 | D103 | NOTE #2 | E103 | NOTE #2 | F103 | NOTE #1 | G103 | NOTE #2 | H103 | NOTE #2 |
| A104 | NOTE #2 | B104 | NOTE #2 | C104 | NOTE #1 | D104 | NOTE #3 | E104 | NOTE #1 | F104 | NOTE #1 | G104 | NOTE #2 | H104 | NOTE #1 |
| A105 | NOTE #1 | B105 | NOTE #1 | C105 | NOTE #2 | D105 | NOTE #1 | E105 | NOTE #3 | F105 | NOTE #2 | G105 | NOTE #1 | H105 | NOTE #3 |
| A106 | NOTE #1 | B106 | NOTE #1 | C106 | NOTE #2 | D106 | NOTE #2 | E106 | NOTE #2 | F106 | NOTE #2 | G106 | NOTE #2 | H106 | NOTE #2 |
| A107 | NOTE #1 | B107 | NOTE #1 | C107 | NOTE #3 | D107 | NOTE #1 | E107 | NOTE #4 | F107 | NOTE #3 | G107 | NOTE #1 | H107 | NOTE #4 |
| A108 | NOTE #1 | B108 | NOTE #1 | C108 | NOTE #3 | D108 | NOTE #1 | E108 | NOTE #3 | F108 | NOTE #3 | G108 | NOTE #1 | H108 | NOTE #3 |
| A201 | NOTE #3 | B201 | NOTE #3 | C201 | NOTE #1 | D201 | NOTE #3 | E201 | NOTE #1 | F201 | NOTE #1 | G201 | NOTE #3 | H201 | NOTE #1 |
| A202 | NOTE #3 | B202 | NOTE #3 | C202 | NOTE #1 | D202 | NOTE #4 | E202 | NOTE #1 | F202 | NOTE #1 | G202 | NOTE #4 | H202 | NOTE #1 |
| A203 | NOTE #2 | B203 | NOTE #2 | C203 | NOTE #1 | D203 | NOTE #2 | E203 | NOTE #2 | F203 | NOTE #1 | G203 | NOTE #2 | H203 | NOTE #2 |
| A204 | NOTE #2 | B204 | NOTE #2 | C204 | NOTE #1 | D204 | NOTE #3 | E204 | NOTE #1 | F204 | NOTE #1 | G204 | NOTE #3 | H204 | NOTE #1 |
| A205 | NOTE #1 | B205 | NOTE #1 | C205 | NOTE #2 | D205 | NOTE #1 | E205 | NOTE #3 | F205 | NOTE #2 | G205 | NOTE #1 | H205 | NOTE #3 |
| A206 | NOTE #1 | B206 | NOTE #1 | C206 | NOTE #2 | D206 | NOTE #2 | E206 | NOTE #2 | F206 | NOTE #2 | G206 | NOTE #2 | H206 | NOTE #2 |
| A207 | NOTE #1 | B207 | NOTE #1 | C207 | NOTE #3 | D207 | NOTE #1 | E207 | NOTE #4 | F207 | NOTE #3 | G207 | NOTE #1 | H207 | NOTE #4 |
| A208 | NOTE #1 | B208 | NOTE #1 | C208 | NOTE #3 | D208 | NOTE #1 | E208 | NOTE #3 | F208 | NOTE #3 | G208 | NOTE #1 | H208 | NOTE #3 |
| A301 | NOTE #3 | B301 | NOTE #3 | C301 | NOTE #1 | D301 | NOTE #3 | E301 | NOTE #1 | F301 | NOTE #1 | G301 | NOTE #3 | H301 | NOTE #1 |
| A302 | NOTE #3 | B302 | NOTE #3 | C302 | NOTE #1 | D302 | NOTE #4 | E302 | NOTE #1 | F302 | NOTE #1 | G302 | NOTE #4 | H302 | NOTE #1 |
| A303 | NOTE #2 | B303 | NOTE #2 | C303 | NOTE #1 | D303 | NOTE #3 | E303 | NOTE #2 | F303 | NOTE #1 | G303 | NOTE #3 | H303 | NOTE #2 |
| A304 | NOTE #2 | B304 | NOTE #2 | C304 | NOTE #1 | D304 | NOTE #3 | E304 | NOTE #1 | F304 | NOTE #1 | G304 | NOTE #3 | H304 | NOTE #1 |
| A305 | NOTE #1 | B305 | NOTE #1 | C305 | NOTE #2 | D305 | NOTE #1 | E305 | NOTE #3 | F305 | NOTE #2 | G305 | NOTE #1 | H305 | NOTE #3 |
| A306 | NOTE #1 | B306 | NOTE #1 | C306 | NOTE #2 | D306 | NOTE #2 | E306 | NOTE #3 | F306 | NOTE #2 | G306 | NOTE #2 | H306 | NOTE #3 |
| A307 | NOTE #1 | B307 | NOTE #1 | C307 | NOTE #3 | D307 | NOTE #1 | E307 | NOTE #4 | F307 | NOTE #3 | G307 | NOTE #1 | H307 | NOTE #4 |
| A308 | NOTE #1 | B308 | NOTE #1 | C308 | NOTE #3 | D308 | NOTE #1 | E308 | NOTE #3 | F308 | NOTE #3 | G308 | NOTE #1 | H308 | NOTE #3 |

- FEEDER SIZING NOTES:
 1. BASE BID (COPPER): 3#2, #6G, 1-1/4" OR MC CABLE
 ALTERNATE BID (ALUMINUM): 3#1/0, #2G, 1-1/2" OR MC CABLE
 2. BASE BID (COPPER): 3#1, #4G, 1-1/4" OR MC CABLE
 ALTERNATE BID (ALUMINUM): 3#2/0, #1G, 2" OR MC CABLE
 3. BASE BID (COPPER): 3#2/0, #2G, 2" OR MC CABLE
 ALTERNATE BID (ALUMINUM): 3#4/0, #1/0G, 2" OR MC CABLE
 4. BASE BID (COPPER): 3#3/0, #2G, 2" OR MC CABLE
 ALTERNATE BID (ALUMINUM): 3#250, #2/0G, 2-1/2" OR MC CABLE

GENERAL NOTES:
 - Voltage drop has been accounted for in sizes indicated, further up-sizing of feeders is not necessary.
 - Ensure panel lugs are adequately sized to handle up-sized feeders.



3 APARTMENT BUILDING SERVICE GROUNDING ELECTRODE SYSTEM
No Scale

1 ELECTRICAL RISER DIAGRAM - TYPICAL
No Scale

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THE RESERVES at EAGLE POINT
 415 NORTH PICADILLY RD
 AURORA, COLORADO

PROFESSIONAL ENGINEER
 12/1/2023
 37819

REVISION:
 DATE: 10-2-2023
 JOB: 22-3219
 SHEET NO.:
 E6.2

City of Aurora Building Division
 Reviewed for Code Compliance
 Approved as Noted: William Griffin
 Date: Feb 06, 2024
 2021 INTERNATIONAL CODES & 2023 NEC

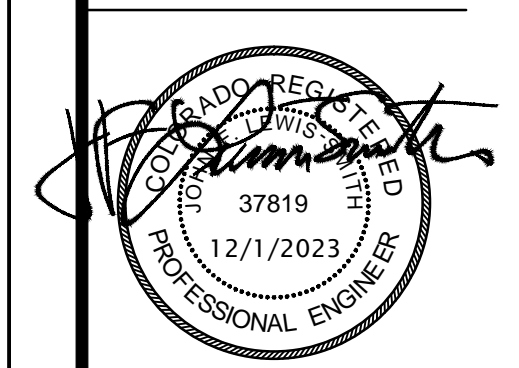
RSN: 1762346
 Permit #: 23-2396760 CM

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THE RESERVES at EAGLE POINT 415 NORTH PICADILLY RD AURORA, COLORADO



PANEL SCHEDULE NOTES BY SYMBOL

- 1. HEAT TRACE CIRCUITS SHALL HAVE GFCI TYPE BREAKERS. 2. DESIGNATED CIRCUIT ONLY REQUIRED FOR HOUSE PANEL 'D'.

Table with columns: Circuit #, Load Description, Conductors, C/B Size, Load Description, Circuit #. Includes design details like Panel Designation: H, Location: Exterior Wall, Voltage: 208/120V-1Ph-3W, Enclosure: NEMA 3R.

Every circuit and circuit modification shall be provided with a legible and permanent description that complies with all of the following conditions as applicable (see 1-6). 2023 NEC 408.4

Table with columns: Circuit #, Load Description, Conductors, C/B Size, Load Description, Circuit #. Includes design details like Panel Designation: EV, Location: Site, Voltage: 208Y/120V-3Ph-4W, Enclosure: NEMA 3R.

3 Bed / 2 Bath Unit - Feeder Calculation. Table with columns: Feeder & Service Loads per NEC 220.82 Part IV. Includes sub-headers B1, B2, B3, B4, C3.

2 Bed / 2 Bath Unit - Feeder Calculation. Table with columns: Feeder & Service Loads per NEC 220.82 Part IV. Includes sub-headers B1, B2, B3, B4, C3.

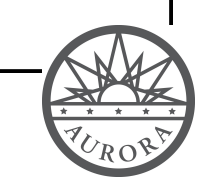
1 Bed / 1 Bath Unit - Feeder Calculation. Table with columns: Feeder & Service Loads per NEC 220.82 Part IV. Includes sub-headers B1, B2, B3, B4, C3.

Type 4 - Buildings A,B,C,F Electrical Service Calculation (12 total units + House). The Reserves at Eagle Point. Table with columns: Feeder & Service Loads per NEC 220.84 Part IV.

Type 1 - Buildings D,E,G,H Electrical Service Calculation (12 total units + House). The Reserves at Eagle Point. Table with columns: Feeder & Service Loads per NEC 220.84 Part IV.

Type 4 - Buildings A,B,C,F Electrical Service Calculation (12 total units). The Reserves at Eagle Point. Table with columns: Feeder & Service Loads per NEC 220.84 Part IV.

Type 1 - Buildings D,E,G,H Electrical Service Calculation (12 total units). The Reserves at Eagle Point. Table with columns: Feeder & Service Loads per NEC 220.84 Part IV.



City of Aurora Building Division Reviewed for Code Compliance Approved as Noted: William Griffin Date: Feb 06, 2024 2021 INTERNATIONAL CODES & 2023 NEC

REVISION: DATE: 10-2-2023 JOB: 22-3219 SHEET NO.: E6.3



REVISION:

DATE: 10-2-2023
JOB: 22-3219
SHEET NO.:

E6.4

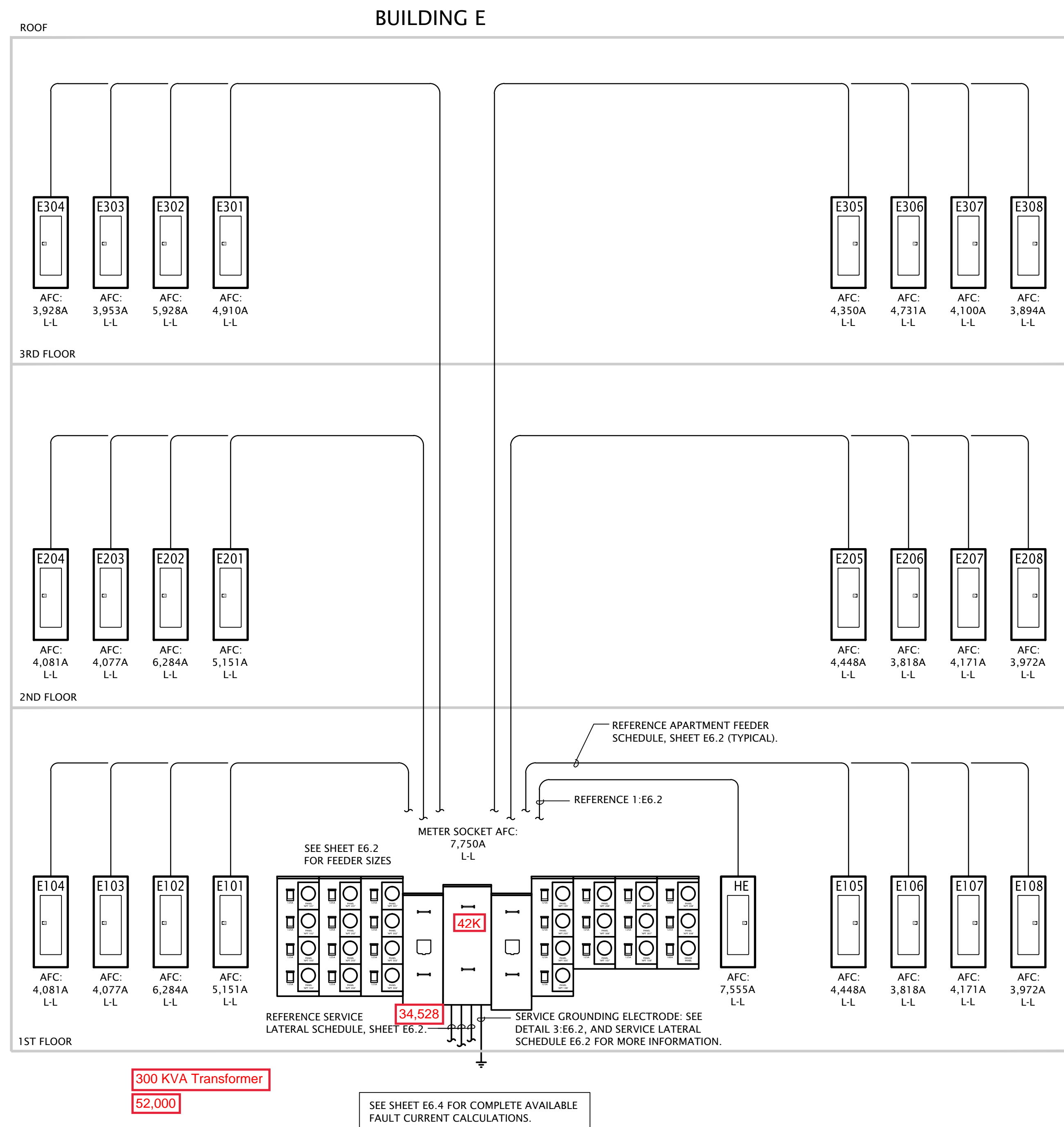
150 KVA Transformer Fault Current
300 KVA Transformer Fault Current
CLUBHOUSE Fault Current
BUILDING A Fault Current
BUILDING B Fault Current
BUILDING C Fault Current
BUILDING D Fault Current
BUILDING E Fault Current
BUILDING F Fault Current
BUILDING G Fault Current
BUILDING H Fault Current

| Main Feeder | Cond. | Cable | Size | Qty | Feet | SCAL |
|-------------|-------|-------|------|-----|------|-------|
| FT 1500 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1501 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1502 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1503 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1504 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1505 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1506 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1507 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1508 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1509 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1510 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1511 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1512 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1513 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1514 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1515 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1516 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1517 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1518 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1519 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1520 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1521 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1522 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1523 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1524 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1525 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1526 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1527 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1528 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1529 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1530 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1531 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1532 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1533 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1534 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1535 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1536 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1537 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1538 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1539 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1540 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1541 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1542 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1543 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1544 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1545 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1546 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1547 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1548 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1549 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1550 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1551 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1552 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1553 | None | 14CU | 20 | 1 | 167 | 4,916 |
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| FT 1555 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1556 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1557 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1558 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1559 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1560 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1561 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1562 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1563 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1564 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1565 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1566 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1567 | None | 14CU | 20 | 1 | 167 | 4,916 |
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| FT 1576 | None | 14CU | 20 | 1 | 167 | 4,916 |
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| FT 1580 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1581 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1582 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1583 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1584 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1585 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1586 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1587 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1588 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1589 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1590 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1591 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1592 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1593 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1594 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1595 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1596 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1597 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1598 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1599 | None | 14CU | 20 | 1 | 167 | 4,916 |
| FT 1600 | None | 14CU | 20 | 1 | 167 | 4,916 |

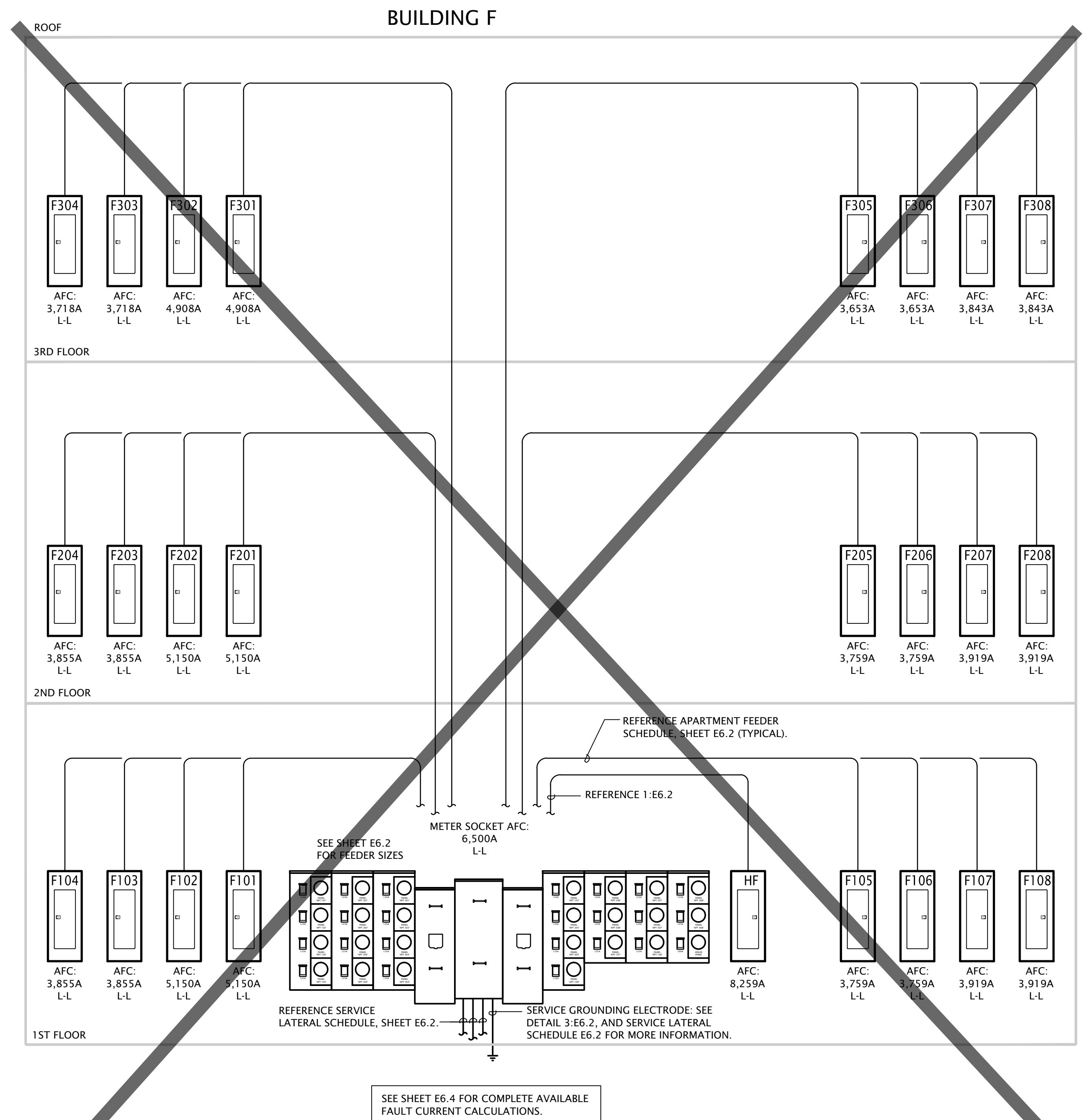


REVISION:

DATE: 10-2-2023
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 SHEET NO.:



1 BUILDING E ELECTRICAL RISER DIAGRAM
 No Scale



2 BUILDING F ELECTRICAL RISER DIAGRAM
 No Scale



City of Aurora Building Division
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