

ROOSEVELT LOFTS



BP24-0000249
REVIEWED for code
compliance
4/15/2024

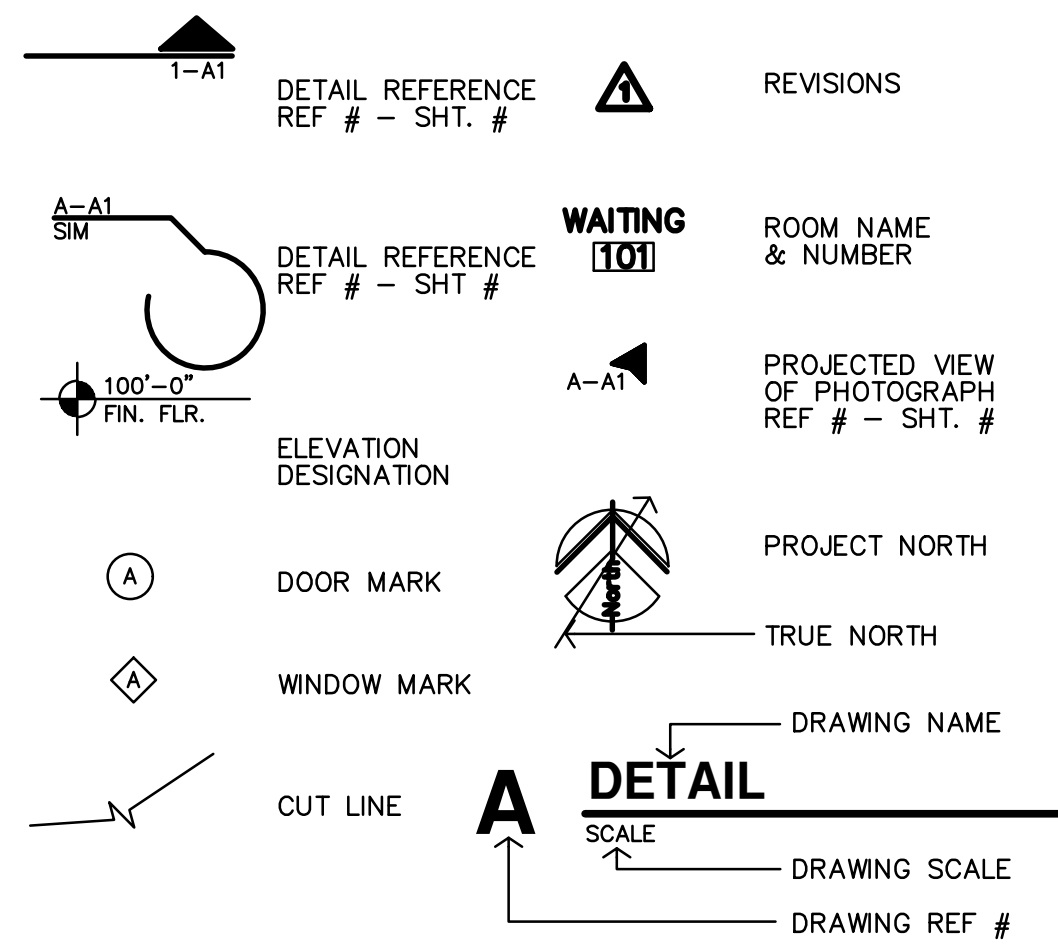
HISTORIC REHABILITATION - APARTMENTS

SAN ANGELO,

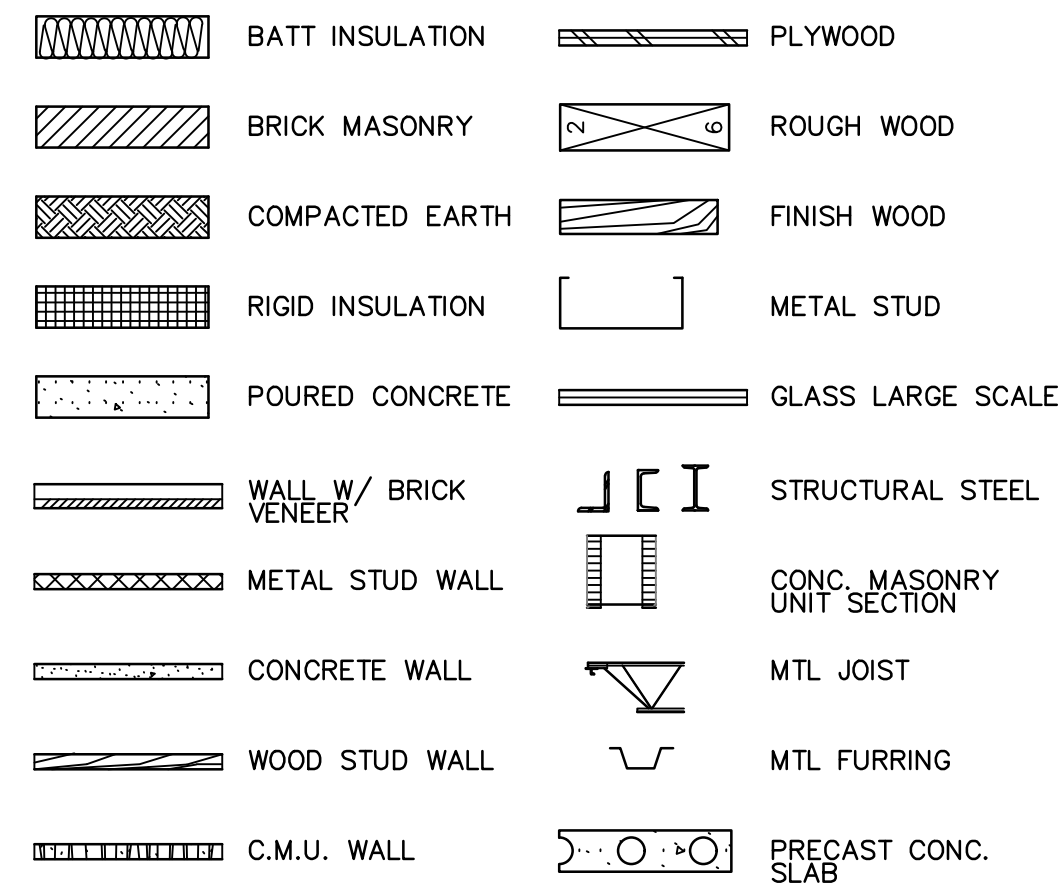
22-3281

TEXAS

REFERENCE LEGEND



MATERIAL LEGEND



ABBREVIATIONS

&	AND	Cntr.	Center	Exp.	Expansion	Hr.	Hour	N.I.C.	North	Reinf.	Reinforced	Temp.	Tempered
∠	Angle	Col.	Column	Ext.	Exterior	Hgt.	Height	Not In Contract	Not In Contract	Req'd	Required	T.&G.	Tongue & Groove
@	Centerline	Conc.	Concrete	F.A.	Fire Alarm	I.D.	Inside Diameter	No. or Number	Number	Resil.	Resilient	Thk.	Thick
⊙	Diameter or Round	C.T.	Ceramic Tile	F.D.	Fire Alarm	Insul.	Insulation	Nom.	Nominal	Rm.	Room	T.O.M.	Top Of Masonry
⊕	Found or Number	CMU	Concrete Masonry Unit	Fdn.	Foundation	Int.	Interior	N.T.S.	Not To Scale	R.O.	Rough Opening	T.O.S.	Top Of Steel
Acous.	Acoustical	Det.	Detail	F.E.C.	Fire Extinguisher	Jan	Janitor	O/	On or Over	S.	South	T.P.	Top Of Pavement
Adj.	Adjustable	Dbl.	Double	F.F.	Fire Cabinet	Jt.	Joint	Obs.	Obscure	S.B.	Spill Block	T.P.D.	Toilet Paper Dispenser
A.F.F.	Above Finished Floor	D.F.	Drinking Fountain	Fl.	Finish	Kit.	Kitchen	O.C.	On Center	Sched.	Schedule	T.V.	Television
Aggr.	Aggregate	Dia.	Diameter	Fl.	Flashing	Lab.	Laboratory	O.D.	Outside Diameter	Sect.	Section	T.W.	Tackwall
Al.	Aluminum	Dim.	Dimension	Fl.	Flow line	Lam.	Laminate	Opp.	Opposite	Sht.	Sheet	Typ.	Typical
Arch.	Architect or Architectural	Dr.	Door	Ft.	Foot or feet	Lav.	Lavatory	Opp.	Opposite	Ur.	Urinal	Trd.	Tread
Asb.	Asbestos	Ds.	Downspout	Ftg.	Footing	Lck.	Locker	P.	Paint	U.O.N.	Unless Otherwise Noted		
Asph.	Asphalt	Dwg.	Drawing	Furr.	Furring	Lt.	Light	Pi.	Plate	Ur.	Urinal		
A.V.	Audio Visual	Dwr.	Drawer	Fut.	Future	Mas.	Masonry	P.Lam.	Plastic Laminate			V.C.T.	Vinyl Composition Tile
		(E)	Existing	Ga.	Gauge	Max.	Maximum	Plas.	Plaster			V.T.	Vinyl Tile
Bd.	Board	Exp.	Expansion	Galv.	Galvanized	M.C.	Medicine Cabinet	Plywd.	Plywood			V.B.	Vapor Barrier
Bitum.	Bituminous	Ea.	Each	G.B.	Grab Bar	Mech.	Mechanical	Pt.	Point			Vest.	Vestibule
Bldg.	Building	Ea.	Each	Gr.	Grade	Memb.	Membrane	Pt.	Point			Vy.	Vinyl
Blk.	Block	E.J.	Expansion Joint	Gyp.	Gypsum	Met.	Metal	P.T.D.	Paper Towel Dispenser				
Blk'g.	Blocking	El.	Elevation	H.B.	Hose Bibb	Mfr.	Manufacturer	Ptn.	Partition				
Bm.	Beam	Elc.	Electrical	H.C.	Hollow Core	Min.	Minimum	P.T.R.	Paper Towel Receptacle				
Bot.	Bottom	Elev.	Elevator	H.C.	Hollow Core	Mir.	Mirror	Q.T.	Quarry Tile				
Bot.	Bottom	Eq.	Equipment	Hwd.	Hardware	Misc.	Miscellaneous	R.	Riser				
Bot.	Bottom	E.W.	Each Way	H.M.	Hollow Metal	M.O.	Masonry Opening	Rad.	Radius				
Brg.	Bearing	Exp.	Exposed	Horiz.	Horizontal	Mtd.	Mounted	R.D.	Roof Drain				
Brk.	Brick							Ref.	Reference				
Cab.	Cabinet												
Cig.	Ceiling												
Cir.	Clear												



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BUILDING PERMIT & BID SET (1-16-2024)

CODE INFORMATION

OCCUPANCY OVERALL: R-2 MIXED-USE

OCCUPANCY GROUPS: B OFFICE
R APARTMENTS

CONSTRUCTION TYPE: III-B (EXISTING BUILDING)

AREA ALLOWED PER FLOOR: R-2 (S13R) 16,000 SF
(TABLE 506.2)

ACTUAL BUILDING AREA:
BASEMENT 532 SF*
FIRST FLOOR 9,994 SF
SECOND FLOOR 7,117 SF
+ OCCUPIED ROOF 527 SF*
THIRD FLOOR 7,117 SF
TOTAL BLDG AREA 24,228 SF

*BASEMENT AND OCCUPIED ROOF NOT INCLUDED IN OVERALL CALCULATIONS PER 503.1.4 & 506.1.3

ALLOWABLE HEIGHT (S): 60' **ACTUAL HEIGHT:** 52'-8"
(PER IBC TABLE 504.3)

ALLOWABLE STORIES (S): 4 **ACTUAL STORIES:** 3
(PER IBC TABLE 504.4)

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS: III-B
EXTERIOR NON-BEARING WALLS: 1 HOUR*
STRUCTURAL FRAME: 0 HOUR
INTERIOR BEARING WALLS: 0 HOUR
INTERIOR NON-BEARING WALLS: 0 HOUR
FLOOR/CEILING ASSEMBLY: 0 HOUR
CEILING/ROOF ASSEMBLY: 0 HOUR
CORRIDOR (DWELLING UNITS): 1/2 HOUR
SHAFT ENCLOSURE: 2 HOUR
WALLS SEPARATING DWELLING UNITS, OTHER OCCUPANCIES: 1 HOUR
FLR/CLG SEPARATING DWELLING UNITS, OTHER OCCUPANCIES: 1 HOUR

*EXISTING EXTERIOR MASONRY WALLS ARE ASSUMED TO BE NON-BEARING, 2-HR CONSTRUCTION.

ELEVATOR REQUIREMENTS
HOISTWAY OPENING PROTECTION: NOT REQUIRED PER 3006.2.
ELEVATOR HOISTWAY DOES NOT CONNECT MORE THAN 3 STORIES
BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM
AN APPROVED PICTORIAL SIGN OF A STANDARDIZED DESIGN SHALL BE POSTED ADJACENT TO ELEVATOR CALL STATION ON ALL FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATORS IN CASE OF FIRE.
PLUMBING AND MECHANICAL SYSTEMS SHALL NOT BE LOCATED IN AN ELEVATOR HOISTWAY ENCLOSURE (EXCEPTIONS: FLR DRAINS, SUMPS & SUMP PUMPS)
OPENINGS SHALL BE SELF-CLOSING OR AUTOMATIC CLOSING BY SMOKE DETECTION.
PENETRATIONS OTHER THAN THOSE NECESSARY FOR THE PURPOSE OF THE SHAFT SHALL NOT BE PERMITTED.
ELEVATORS SHALL BE PROVIDED WITH PHASE I EMERGENCY RECALL OPERATION AND PHASE II EMERGENCY IN-CAR OPERATION IN ACCORDANCE WITH ASME A17.1/CSA B44 (3003.2)
AN AREA OF REFUGE IS NOT REQUIRED IN BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM. (SECTION 1009.4.2, Exception 2)

OCCUPANCY & INCIDENTAL SEPARATIONS: (NON-SEPARATED USES PER IBC SEC. 508.3)
WALLS SEPARATING DWELLING AND SLEEPING UNITS SHALL HAVE A FIRE-RESISTIVE RATING NOT LESS THAN 1-HR (SECT. 708.3)
HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS SHALL NOT BE LESS THAN 1-HR RATED. (SECT. 711.2.4.3)
LAUNDRY ROOMS OVER 100 SF - 1 HR RATED

ROOF COVERINGS
CLASS C OR BETTER, (TABLE 1505.1)

DRAFTSTOPPING (SECT. 708.4.2)
FIRE PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE ROOF DECK ABOVE.

AUTOMATIC SPRINKLER SYSTEMS
REQUIRED, NFPA 13R SYSTEM PROVIDED

FIRE PUMPS:
WHEN PROVIDED, FIRE PUMPS SHALL BE LOCATED IN ROOM THAT ARE SEPARATED FROM ALL OTHER AREAS BY 2-HR FIRE BARRIER CONSTRUCTION.
EXCEPTION: SEPARATION BY 1-HR FIRE BARRIERS IS PERMITTED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

PORTABLE FIRE EXTINGUISHERS
REQUIRED, PROVIDED AS SPECIFIED BY SECTION 906.1:
EACH DWELLING UNIT IS PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A:10-B:C ON EACH FLOOR (WHILE UNDER CONSTRUCTION)

STANDPIPES:
NOT REQUIRED PER 905.3.1

SMOKE ALARM REQUIREMENTS:
REQUIRED, PROVIDED AS SPECIFIED BELOW ACCORDING TO SECT. 907.2.11.2
- ON THE CEILING OR WALL OUTSIDE EACH SEPARATE SLEEPING AREA
- IN EACH ROOM USED FOR SLEEPING
- ON EACH STORY
SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT AS REQUIRED ABOVE.
WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED, SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS.
WIRING AND ALARM SHALL BE EQUIPPED WITH A BATTERY BACKUP.
OCCUPIED ROOF: SHALL BE PROVIDED WITH AUTOMATIC SMOKE DETECTION SYSTEM, A FIRE DEPARTMENT COMMUNICATION SYSTEM AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM.

FIRE ALARM REQUIREMENTS:
REQUIRED, PROVIDED - MANUAL FIRE ALARM SYSTEM, 907.2.9.1 & NFPA 72
SIGNALLING SYSTEM IS AUDIBLE/VISUAL PER NFPA 72 & ADA INSTALLED THROUGHOUT
INITIATING DEVICES: PULL STATIONS
AUTOMATIC SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES MONITORED.

SPECIAL CONDITIONS:
EXIT & EMERGENCY LIGHTING PROVIDED
EGRESS - NO STEPS EXISTING OR PROPOSED AT REQUIRED EXITS

EMERGENCY POWER SOURCE:
EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP

HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1))
NO HAZARDOUS MATERIALS ARE TO BE STORED

SMOKE CONTROL: SMOKE PARTITIONS:
NOT REQUIRED NOT REQUIRED

EXITING & OCCUPANT LOAD: REFERENCE SHEET CFP2

PROJECTIONS INFORMATION

TYPE OF PROJECT: INTERIOR REMODEL
FACILITY NAME: ROOSEVELT LOFTS
FACILITY ADDRESS: 50 N. CHADBORNE ST. SAN ANGELO, TEXAS 76903
OWNER: OPIC - ROOSEVELT LOFTS PARTNERS, LLC
254 N SANTA FE AVE, STE A SALINA, KS 67401
ph: 913-396-6310

REASON FOR SUBMITTAL: CHANGE IN USE, PRIOR HOTEL TO MULTI-FAMILY HOUSING
COUNTY: TOM GREEN
FIRE DEPARTMENT: CITY OF SAN ANGELO
WATER SUPPLY: CITY OF SAN ANGELO
BUILDING INSPECTION DEPT: CITY OF SAN ANGELO
AUTHORITY HAVING JURISDICTION: CITY OF SAN ANGELO

ARCHITECT: JONES GILLAM RENZ ARCHITECTS, INC.
730 N. NINTH ST. SALINA, KS 67401
ph: 785-827-0386

CODES/REGULATIONS: 2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL PLUMBING CODE
2020 NATIONAL ELECTRICAL CODE
2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
FAIR HOUSING ACT DESIGN MANUAL
2010 ADA STANDARDS for ACCESSIBLE DESIGN
2017 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS and FACILITIES

LEGEND

DESIGNATED EMERGENCY EXIT

68" / 24" ← EXIT WIDTH (ACTUAL/REQUIRED)
122 / 340 ← OCCUPANT LOAD (ACTUAL/ALLOWED)

1 HOUR CONSTRUCTION
1/2 HOUR FIRE PARTITION; CORRIDOR (PER IBC TABLE 1018.1)
W/ 20 MIN OPENINGS (PER IBC TABLE 716.5)

1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS & TENANT SPACES
W/ 45 MIN OPENINGS (PER IBC 708.3 & 716.5)

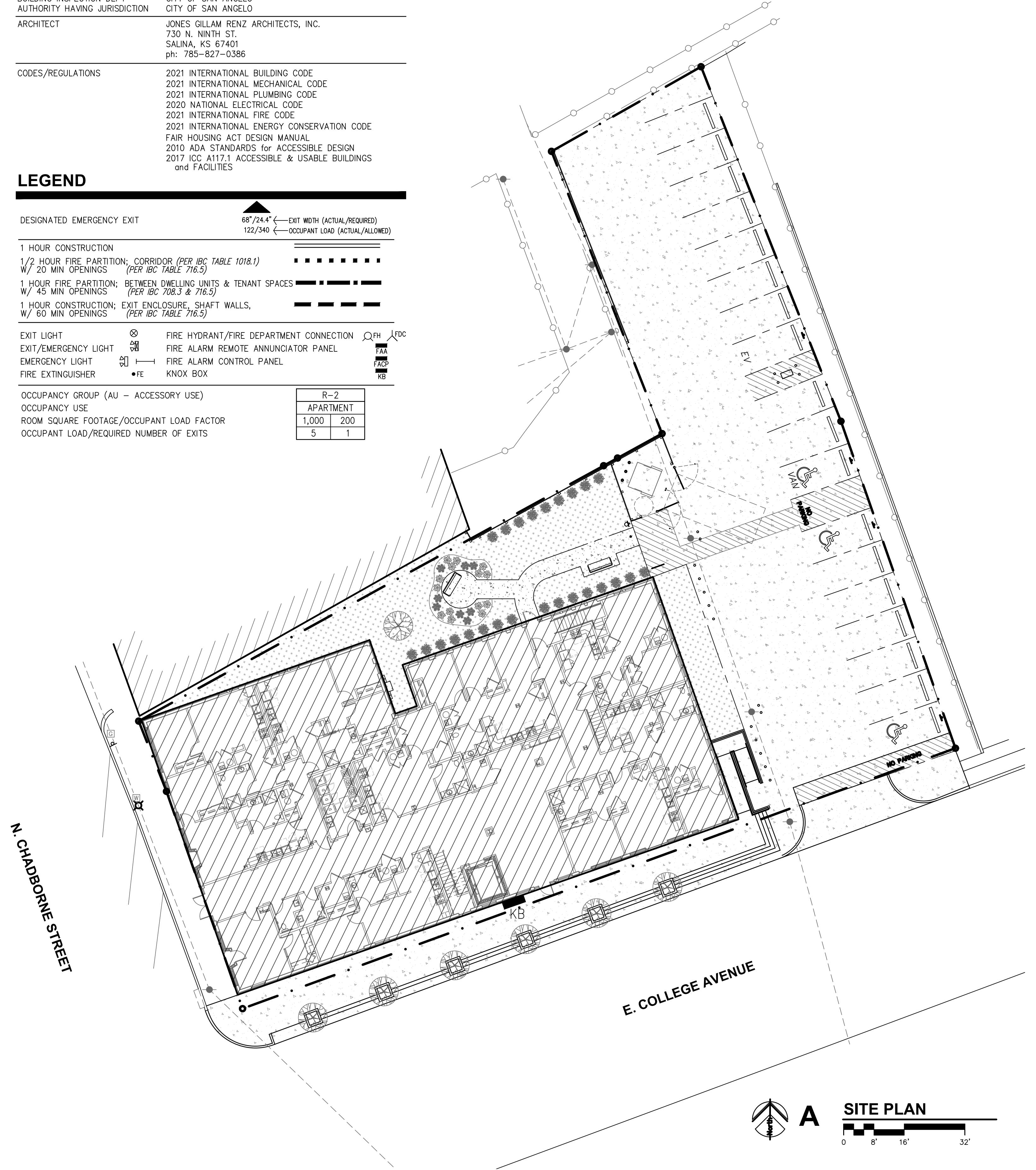
1 HOUR CONSTRUCTION; EXIT ENCLOSURE, SHAFT WALLS,
W/ 60 MIN OPENINGS (PER IBC TABLE 716.5)

EXIT LIGHT
EXIT/EMERGENCY LIGHT
EMERGENCY LIGHT
FIRE EXTINGUISHER

FIRE HYDRANT/FIRE DEPARTMENT CONNECTION
FIRE ALARM REMOTE ANNUNCIATOR PANEL
FIRE ALARM CONTROL PANEL
KNOX BOX

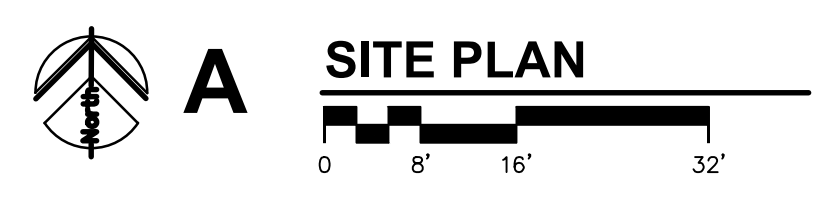
OCCUPANCY GROUP (AU - ACCESSORY USE)
OCCUPANCY USE
ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR
OCCUPANT LOAD/REQUIRED NUMBER OF EXITS

R-2	
APARTMENT	
1,000	200
5	1



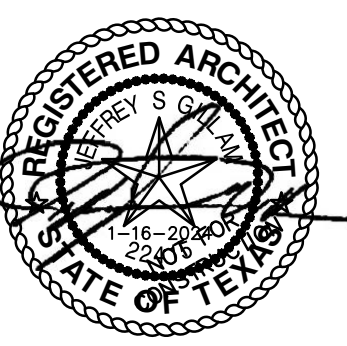
N. CHADBORNE STREET

E. COLLEGE AVENUE



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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION: _____
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

CFP1

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LEGEND

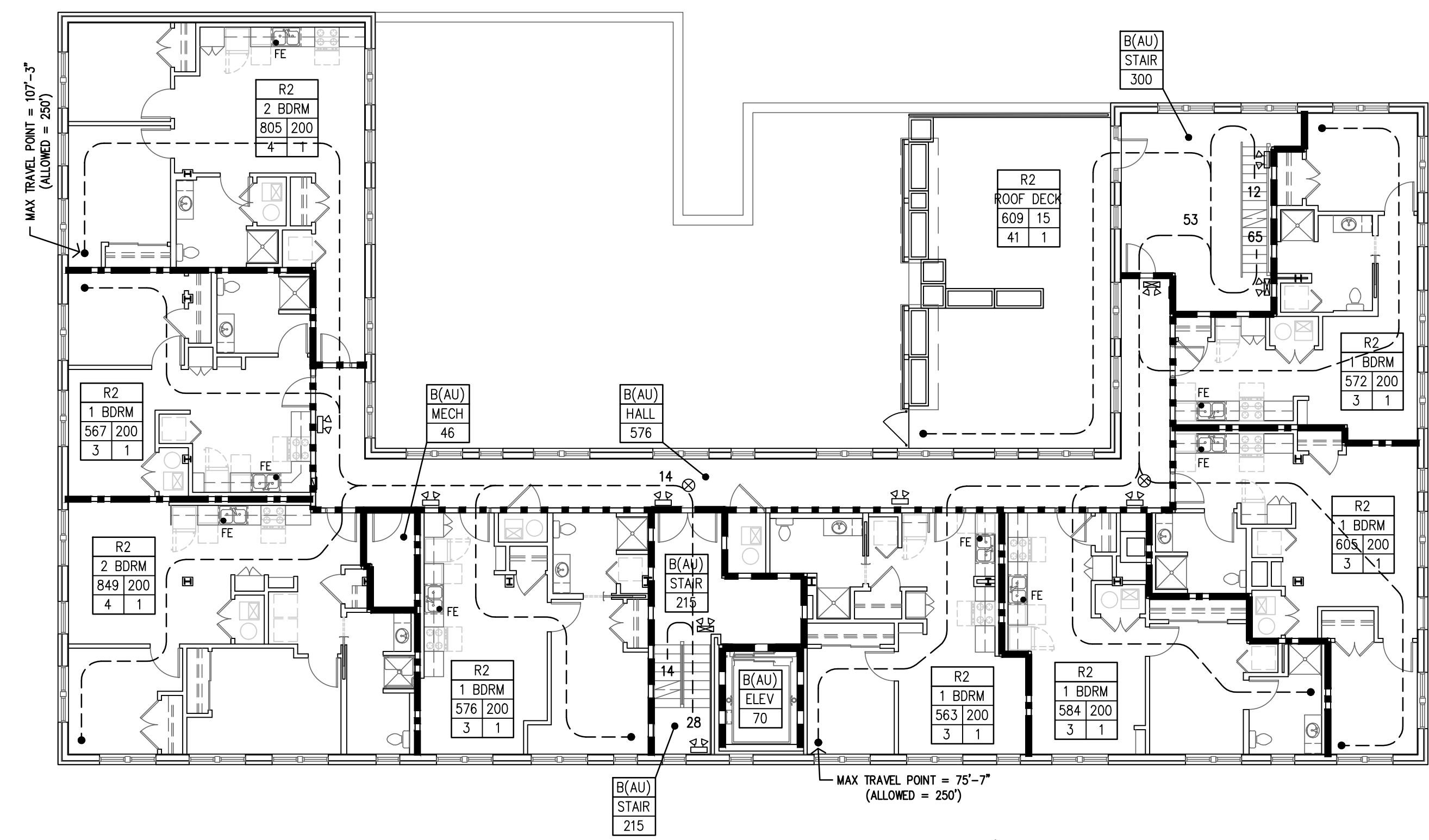
- DESIGNATED EMERGENCY EXIT \blacktriangle EXIT WIDTH (ACTUAL/REQUIRED) 68'/24.4" OCCUPANT LOAD (ACTUAL/ALLOWED) 122/340
- 1 HOUR CONSTRUCTION
 1/2 HOUR FIRE PARTITION, CORRIDOR (PER IBC TABLE 1020.2) W/ 20 MIN OPENINGS (PER IBC TABLE 716.1(2)) \dashv
 1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS & TENANT SPACES W/ 45 MIN OPENINGS (PER IBC 708.3 & 716.1(2)) \dashv
 1 HOUR CONSTRUCTION; EXIT ENCLOSURE, SHAFT WALLS, W/ 60 MIN OPENINGS (PER IBC TABLE 716.1(2)) \dashv
- EXIT LIGHT \otimes FIRE HYDRANT/FIRE DEPARTMENT CONNECTION FH
 EXIT/EMERGENCY LIGHT EM FIRE ALARM REMOTE ANNUNCIATOR PANEL FAP
 EMERGENCY LIGHT EL FIRE ALARM CONTROL PANEL FACP
 FIRE EXTINGUISHER \bullet FE KNOX BOX KB

OCCUPANCY GROUP (AU - ACCESSORY USE)	R-2
OCCUPANCY USE	APARTMENT
ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR	1,000 200
OCCUPANT LOAD/REQUIRED NUMBER OF EXITS	5 1

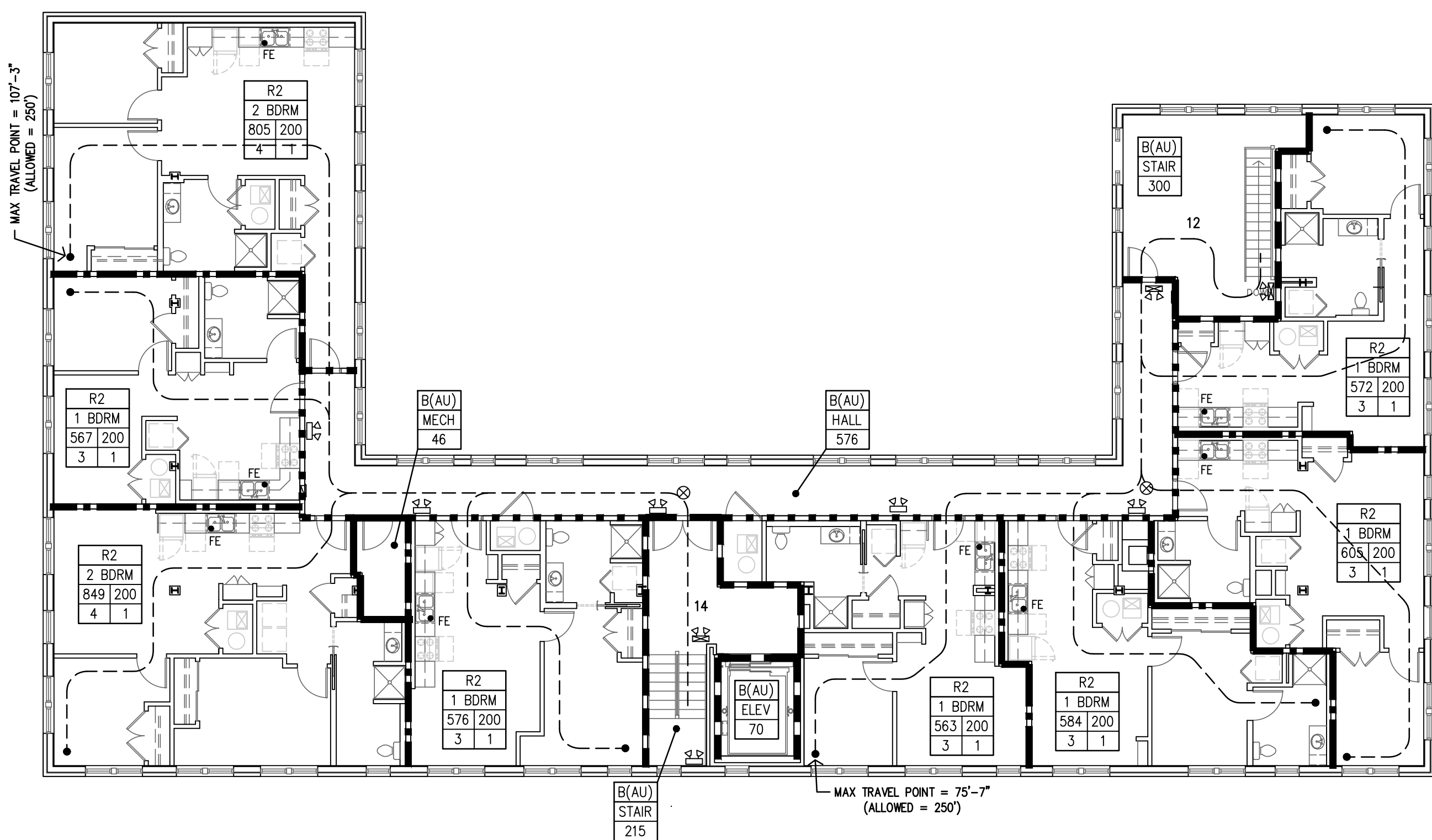
EXITING: REF PLANS ON THIS SHEET
 OCCUPANT LOAD: 187 TOTAL
 FIRST FLOOR: 94 TOTAL
 SECOND FLOOR: 67 TOTAL
 THIRD FLOOR: 26 TOTAL

OCCUPANT LOAD FACTORS:

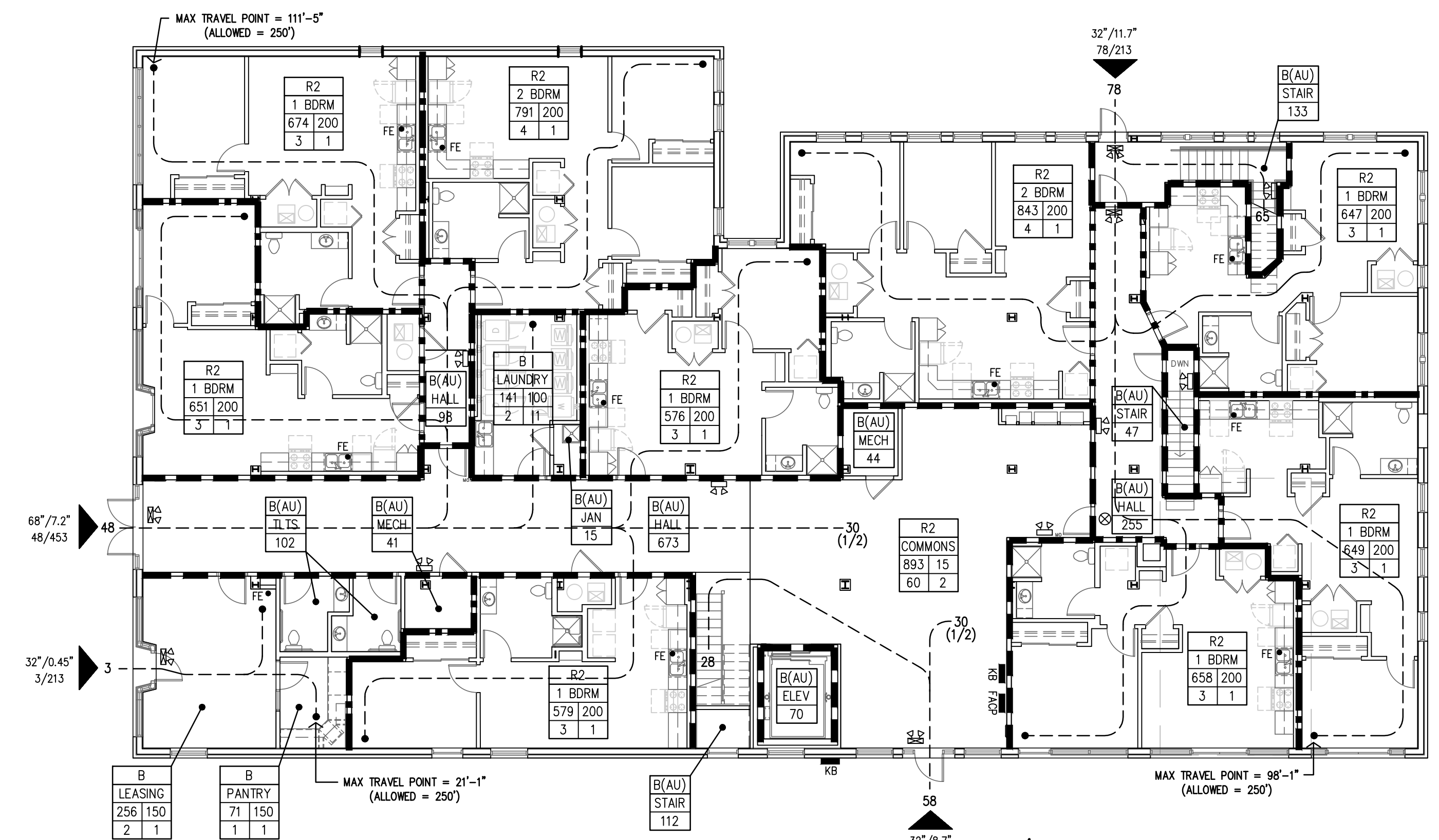
OCCUPANCY	USE	LOAD FACTOR	MAX. OCC LD=1 EXIT
B	COMMONS	15 sf/OCCUPANT	49
B	OFFICE	100 sf/OCCUPANT	49
B	MECH/ELEC	300 sf/OCCUPANT	49
R-2	APARTMENT	200 sf/OCCUPANT	10



B SECOND FLOOR PLAN
 3/32"=1'-0"



C THIRD FLOOR PLAN
 3/32"=1'-0"

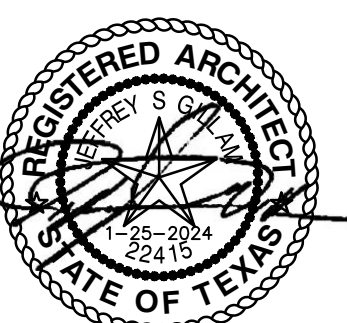


A FIRST FLOOR PLAN
 3/32"=1'-0"

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 2-23-2024

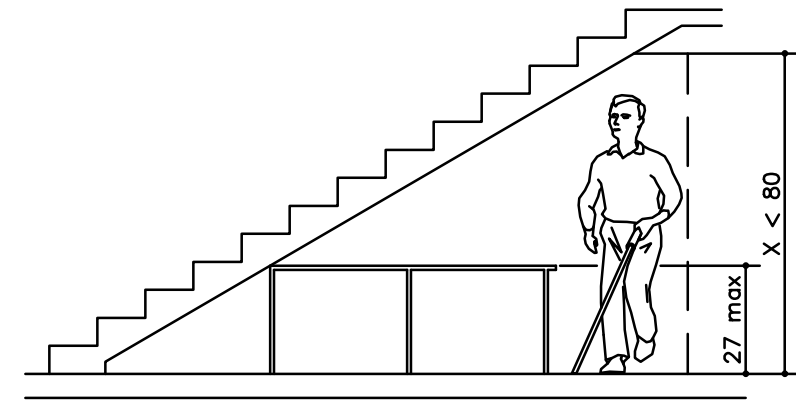
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 SHEET NO.:

CFP2

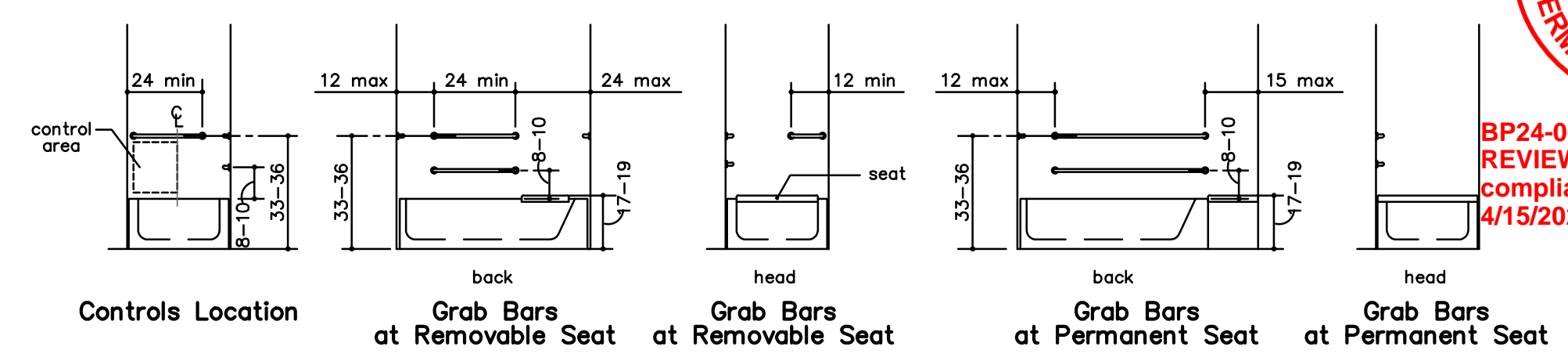
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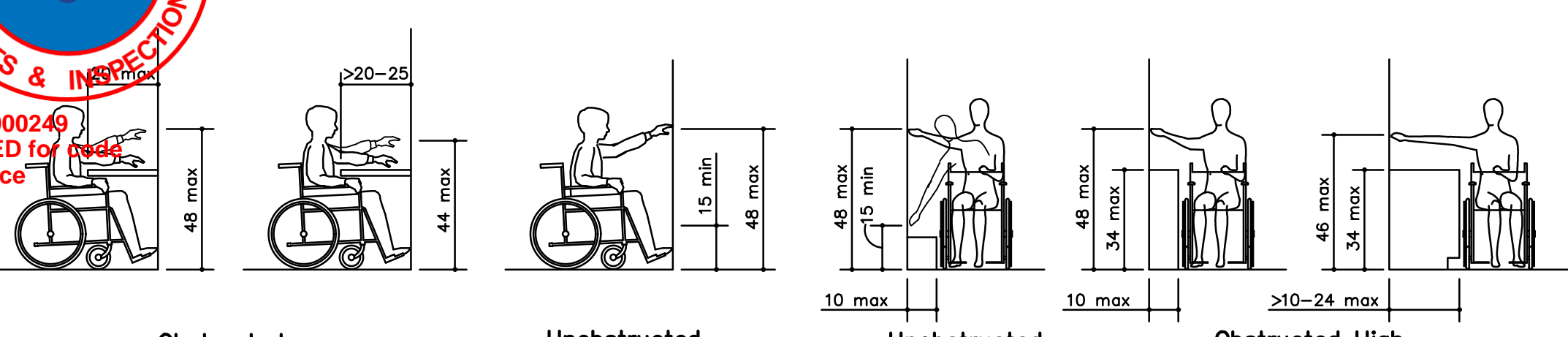
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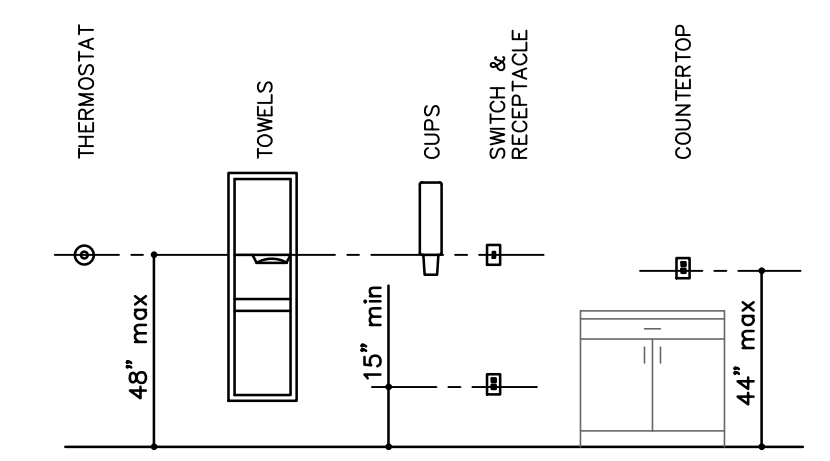
Vertical Clearance



Controls Location
Grab Bars at Removable Seat
Grab Bars at Permanent Seat

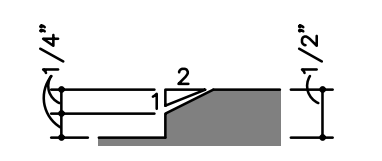


Obstructed High Forward Reach
Unobstructed Forward Reach
Unobstructed Side Reach
Obstructed High Side Reach



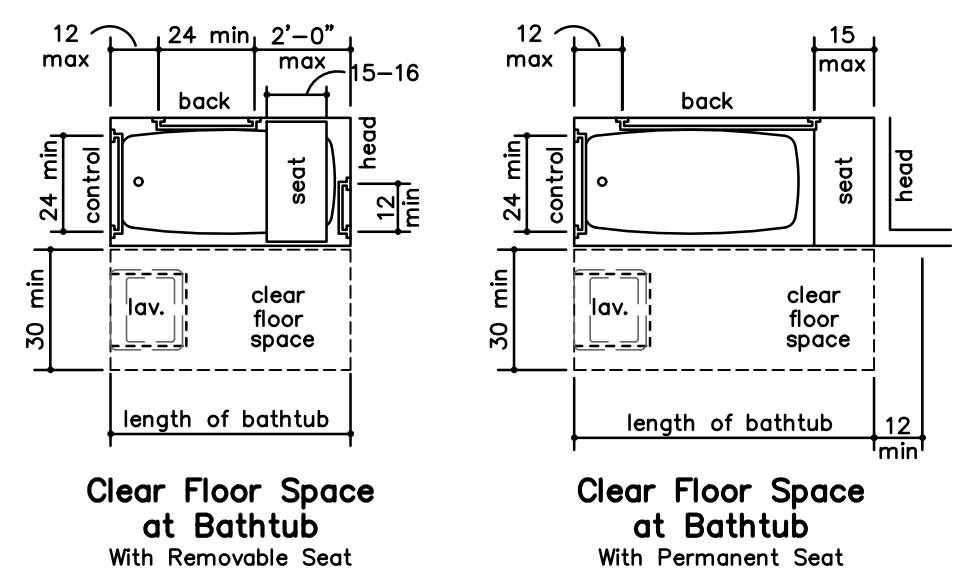
STANDARD CONTROL REACH LIMITATIONS DETAILS

S STANDARD VERTICAL CLEARANCE
NO SCALE

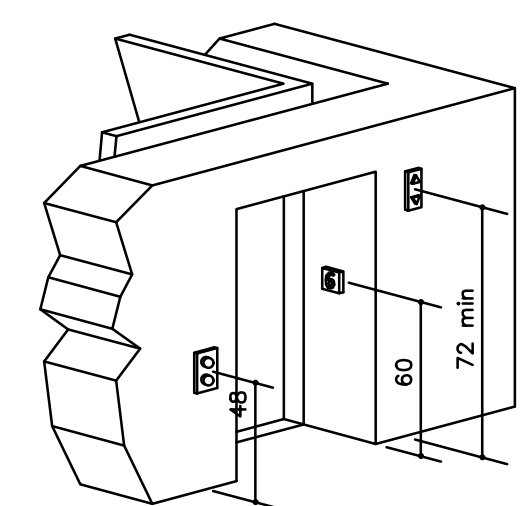


Beveled Change in Level

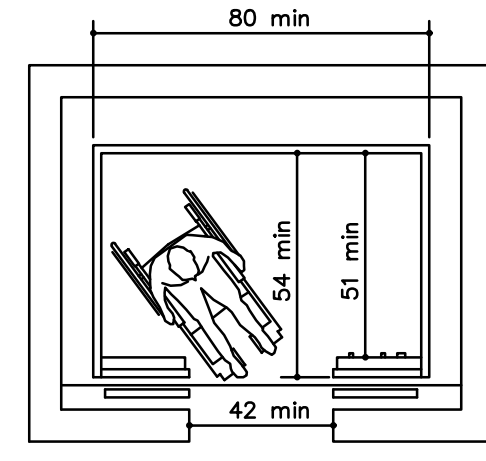
P THRESHOLD ADA DIAGRAMS
NO SCALE



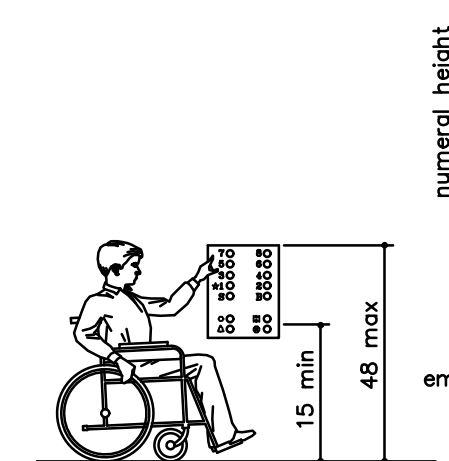
Clear Floor Space at Bathtub
With Removable Seat
Clear Floor Space at Bathtub
With Permanent Seat



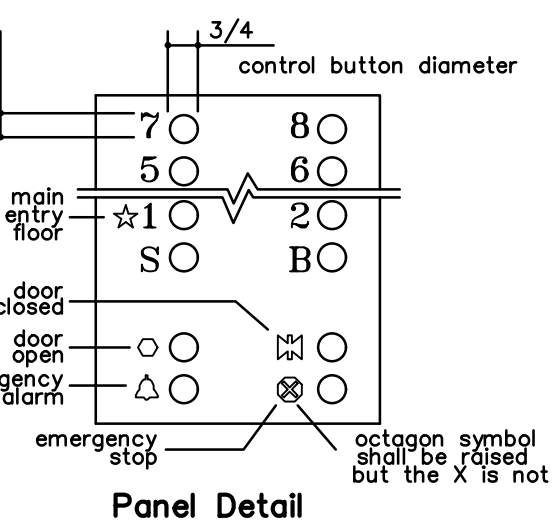
Hoistway and Elevator Entrances



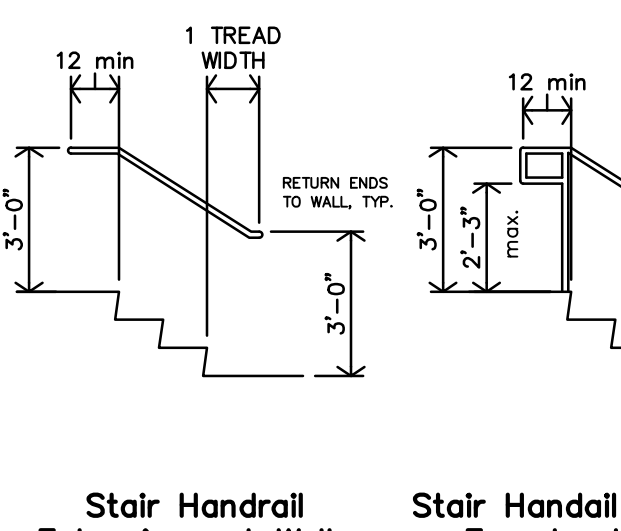
Minimum Dimensions for Elevator Car



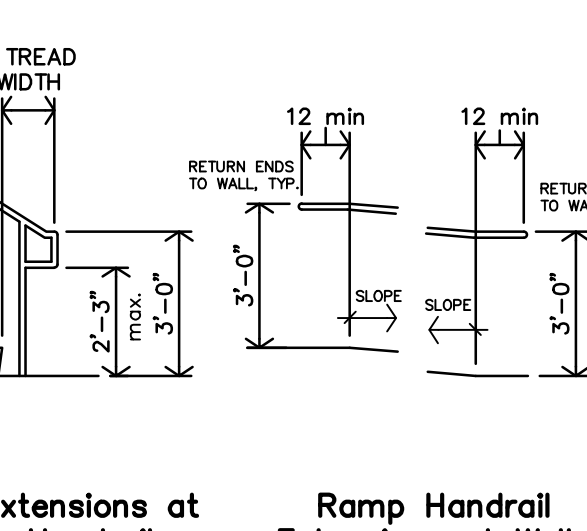
Car Control Height



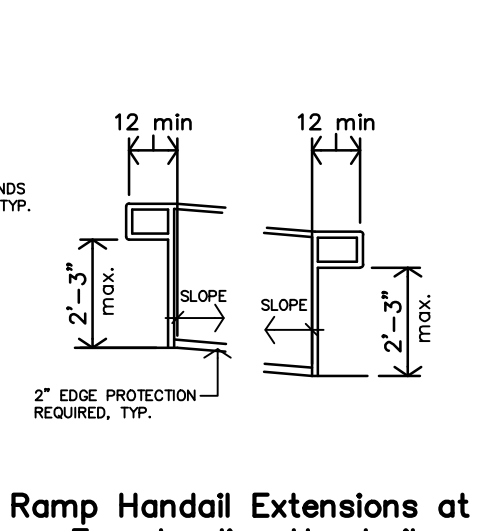
Panel Detail



Stair Handrail Extensions at Walls

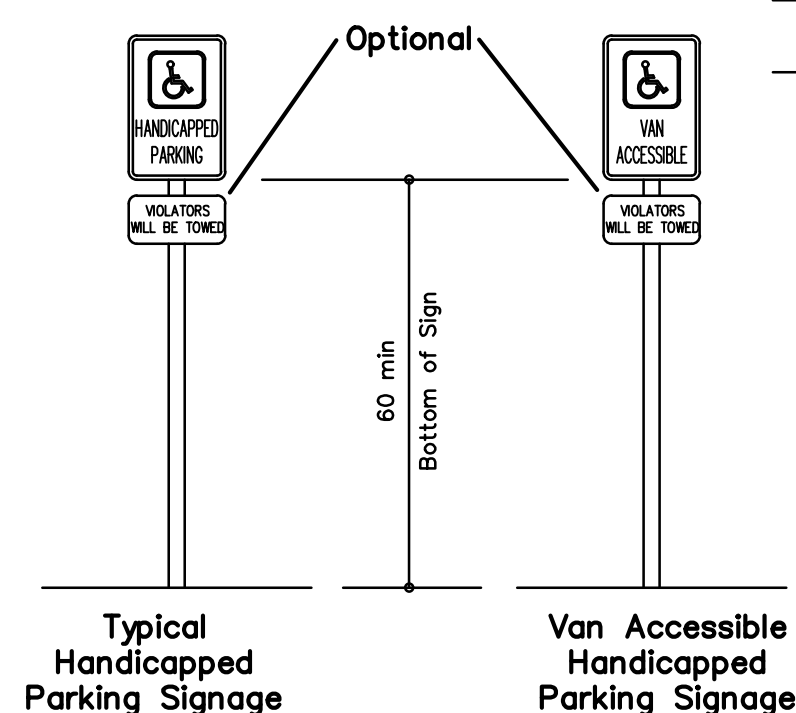


Ramp Handrail Extensions at Walls

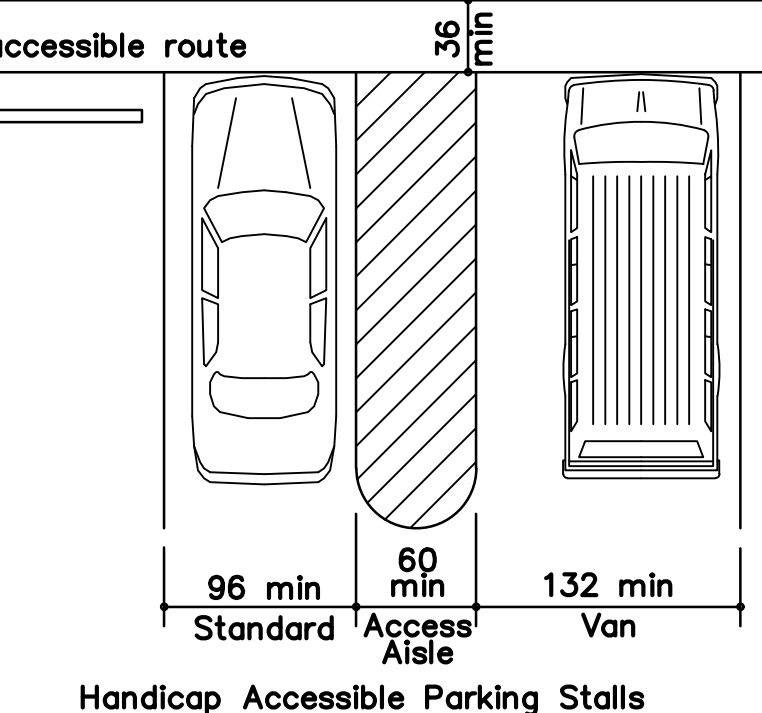


Ramp Handrail Extensions at Freestanding Handrails

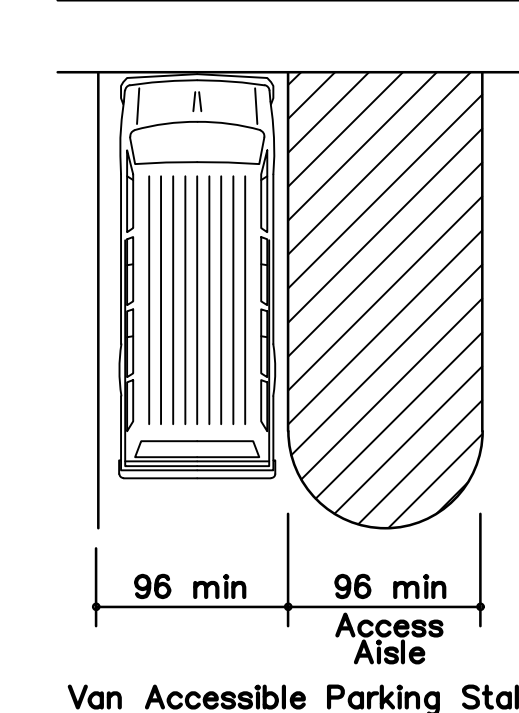
O STANDARD BATHROOM/TUB ADA DIAGRAMS
NO SCALE



Typical Handicapped Parking Signage
Van Accessible Handicapped Parking Signage

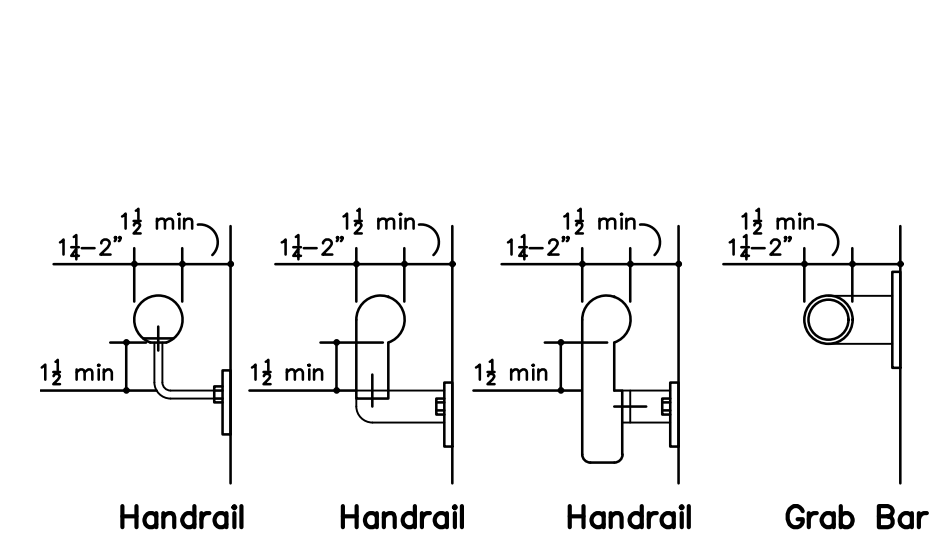


Handicap Accessible Parking Stalls

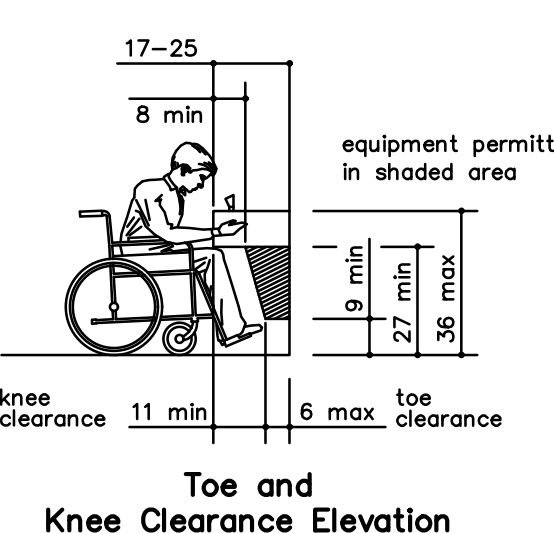


Van Accessible Parking Stall (per 502.2 exception)

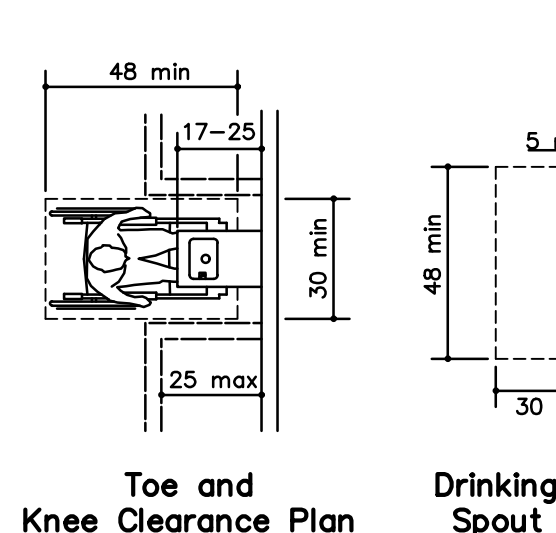
N STANDARD ELEVATOR ADA DIAGRAMS
NO SCALE



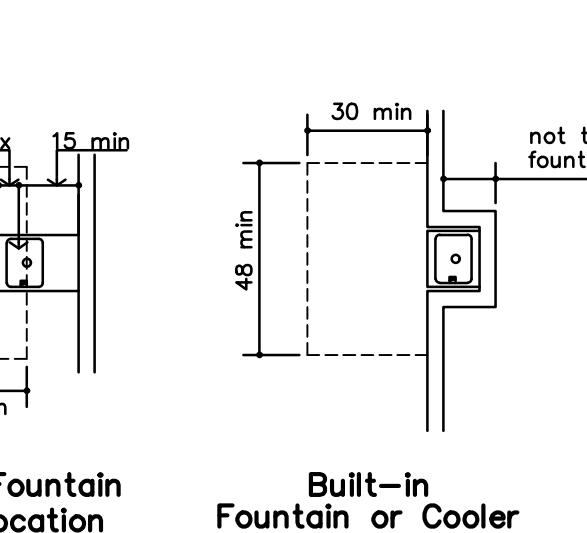
Handrail
Handrail
Handrail
Grab Bar



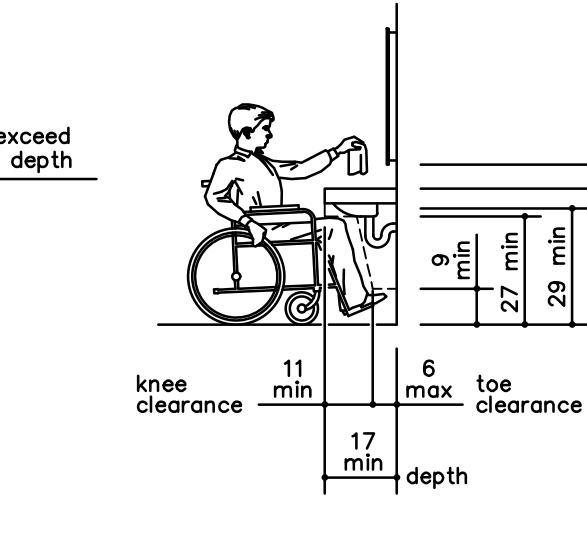
Toe and Knee Clearance Elevation



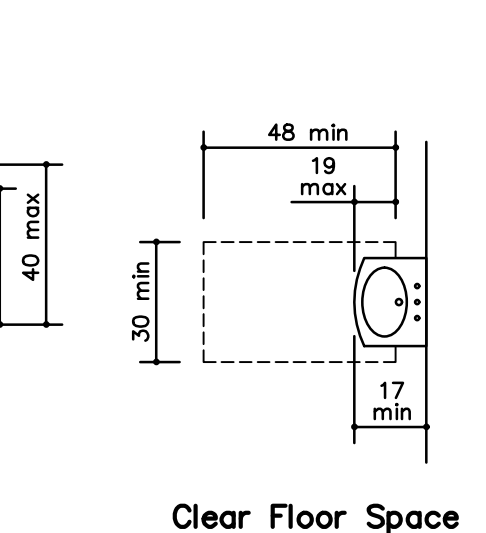
Toe and Knee Clearance Plan



Drinking Fountain Spout Location

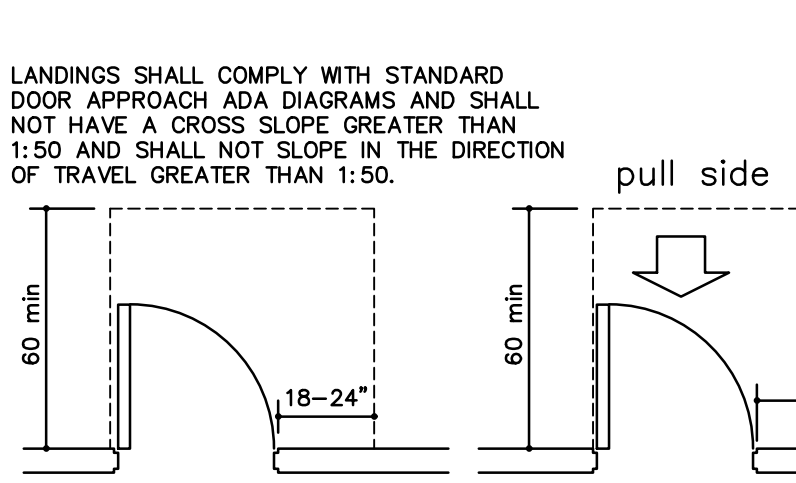


Built-in Fountain or Cooler

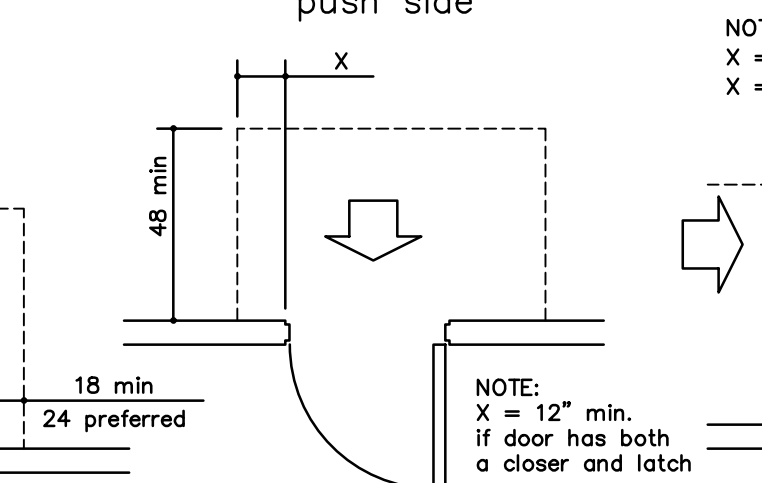


Lavatory Clearances at Lavatories

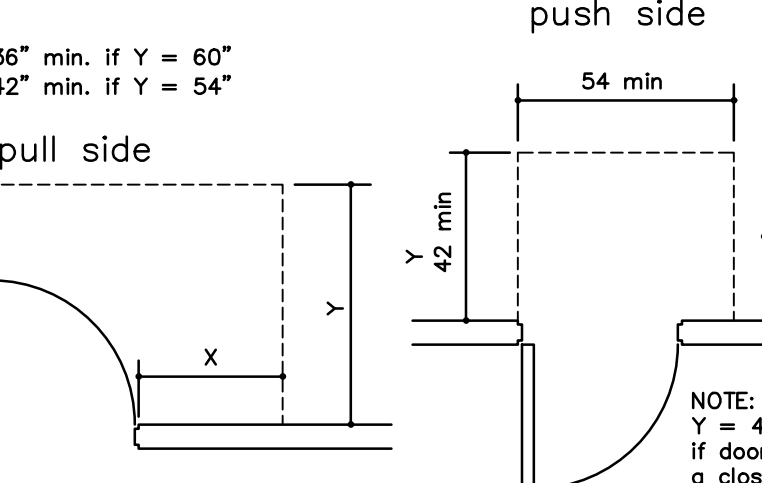
L STANDARD PARKING ADA DIAGRAMS
NO SCALE



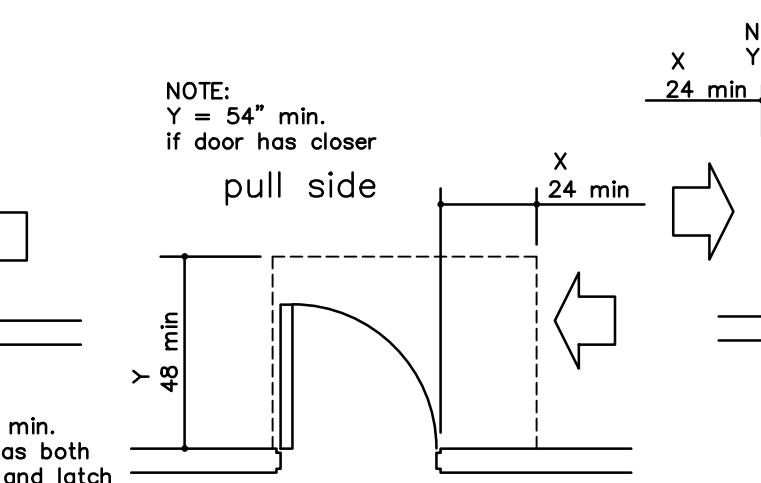
Exterior Landing



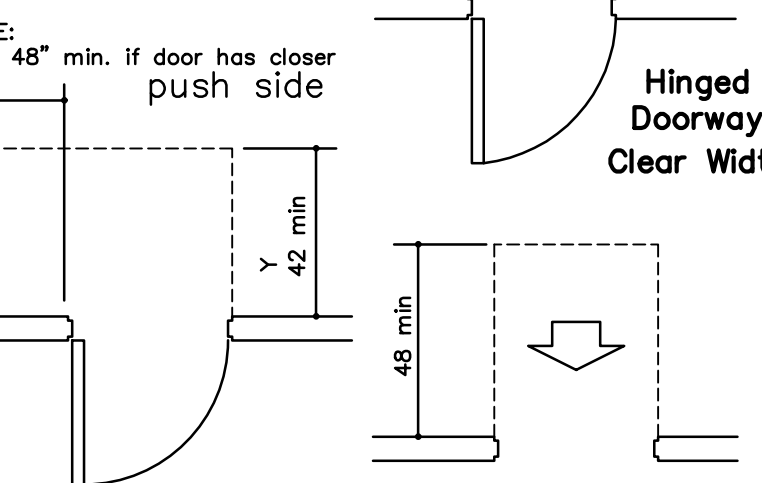
Front Approach - Swinging Door



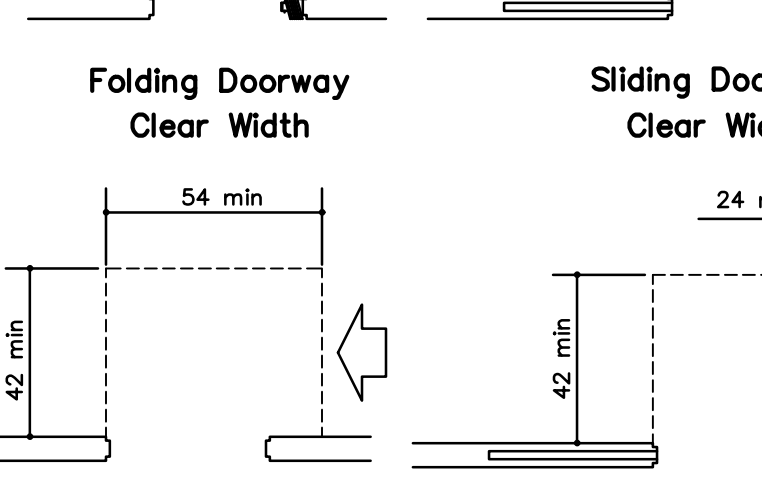
Hinge Side Approach - Swinging Door



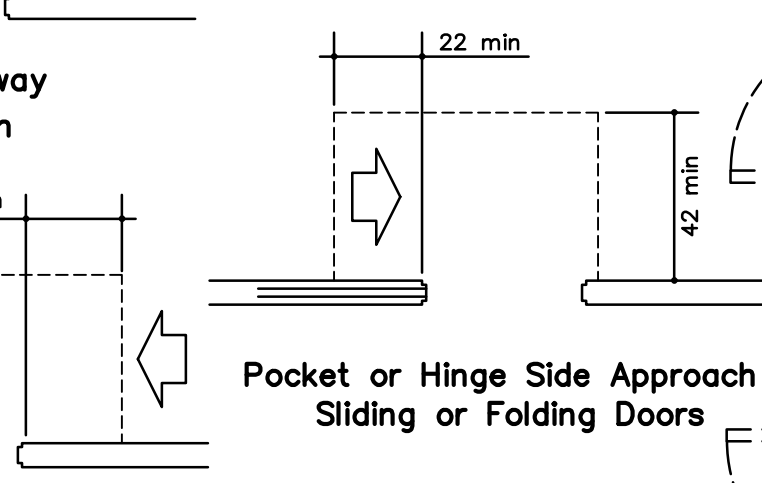
Side Approach - Swinging Door



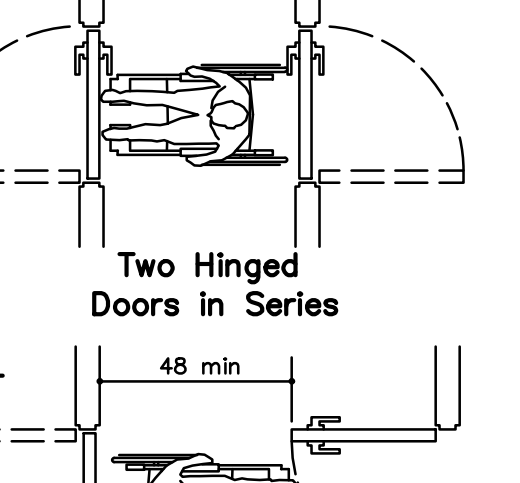
Latch Side Approach - Swinging Door



Front Approach - Sliding or Folding Doors

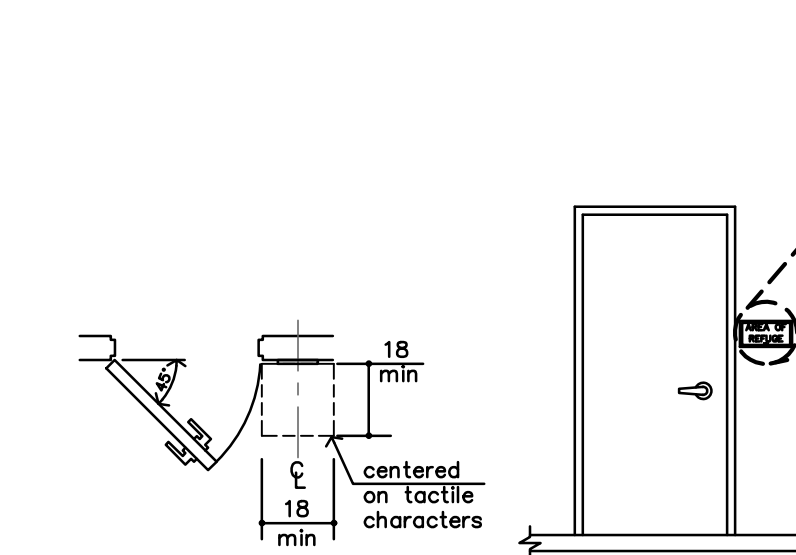


Side Approach - Sliding or Folding Doors

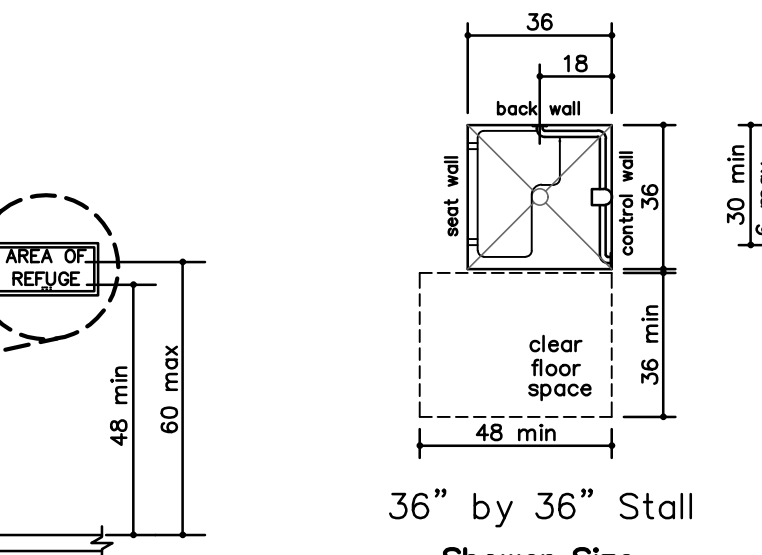


Stop or Latch Side Approach - Sliding or Folding Doors

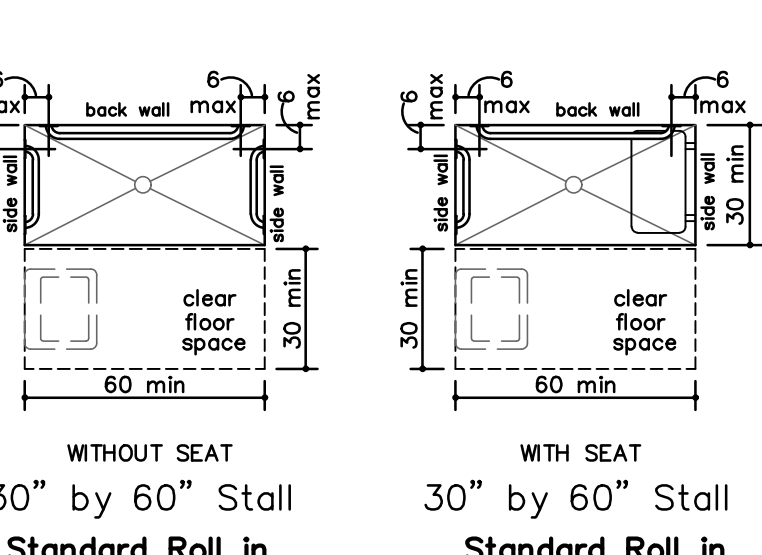
G STANDARD DOOR APPROACH ADA DIAGRAMS
NO SCALE



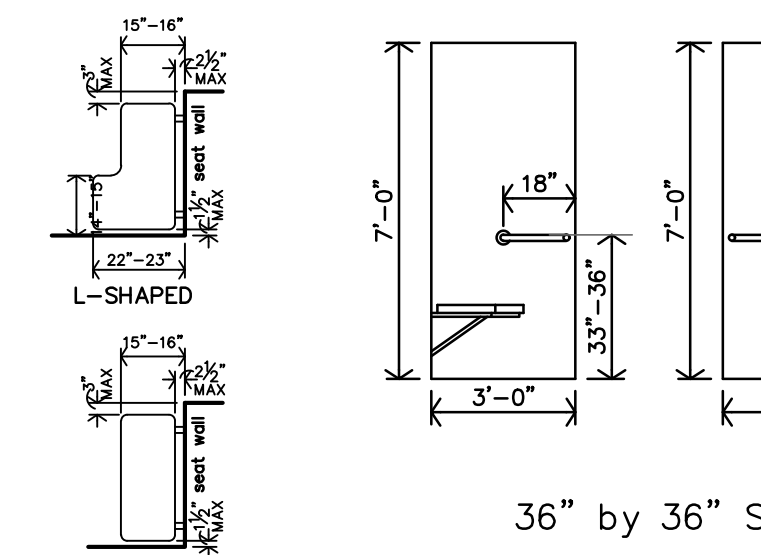
Location of Tactile Signs at Doors



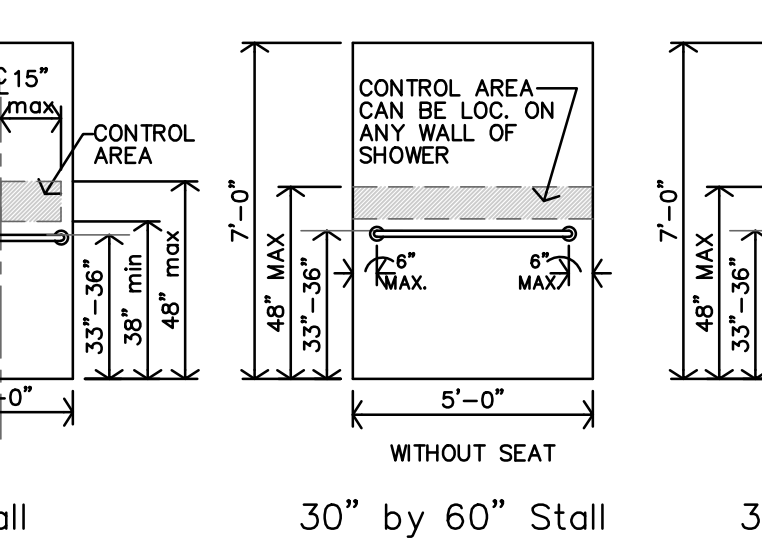
Height of Tactile Signs above Finish Floors



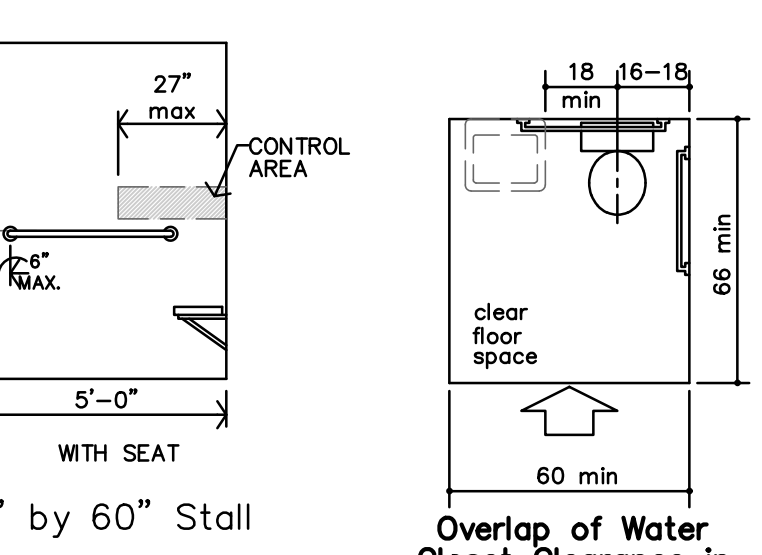
Shower Size and Clearances



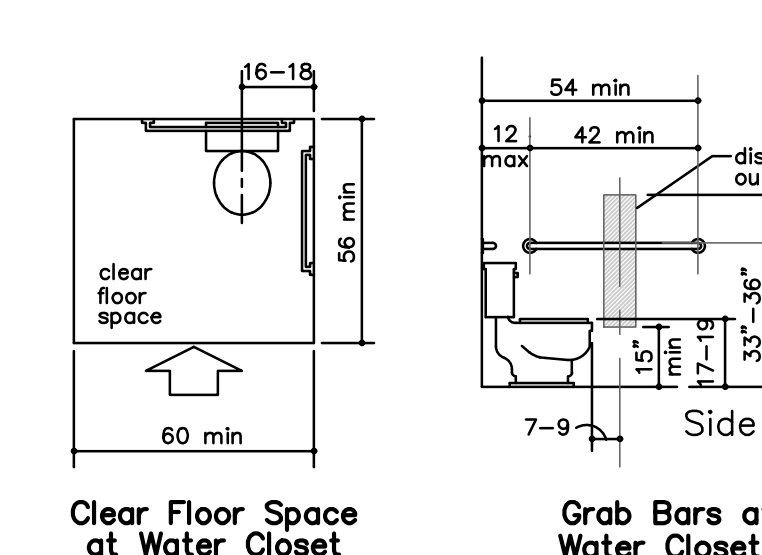
Type Shower Compartment Size and Clearance



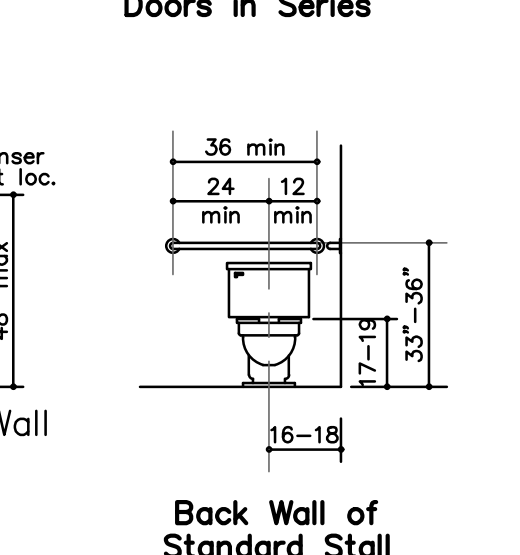
36" by 36" Stall Grab bars at Shower Stall



30" by 60" Stall Grab bars at Shower Stall

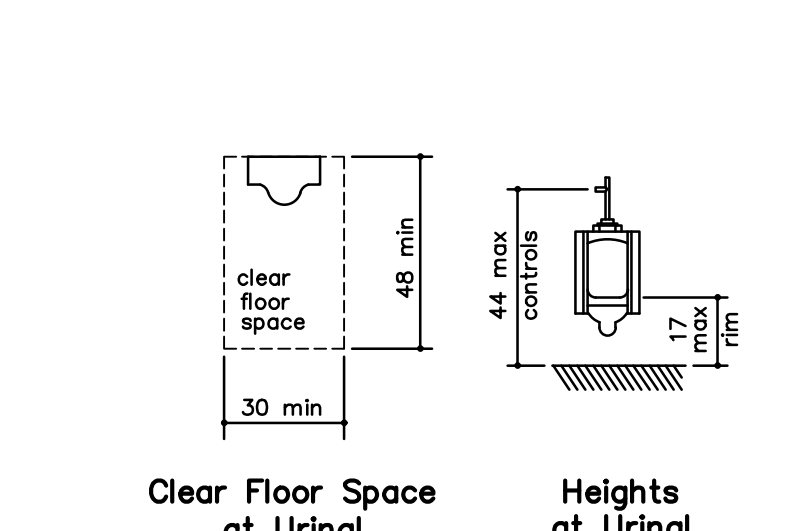


Overlap of Water Closet Clearance in Residential Dwelling Units (Exception)



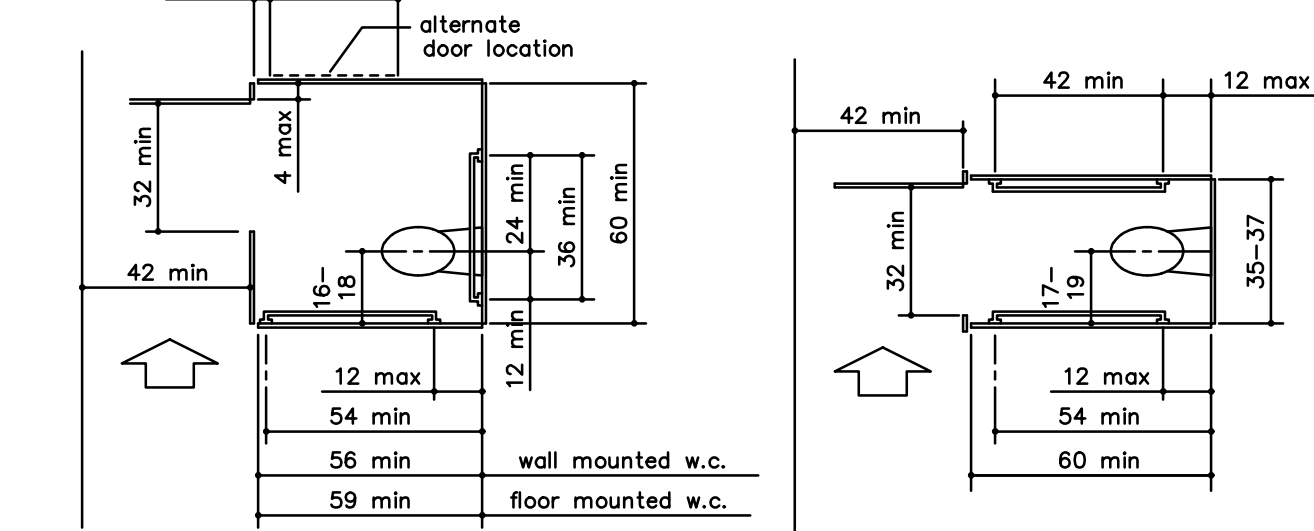
Clear Floor Space at Water Closet
Grab Bars at Water Closets
Back Wall of Standard Stall

F TACTILE SIGN DIAGRAM
NO SCALE



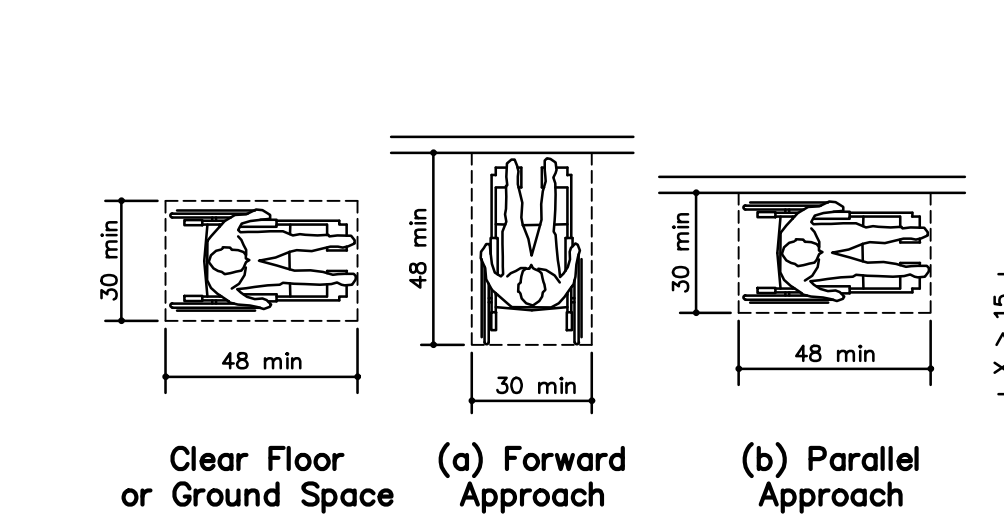
Clear Floor Space at Urinal
Heights at Urinal

E STANDARD SHOWER ADA DIAGRAMS
NO SCALE



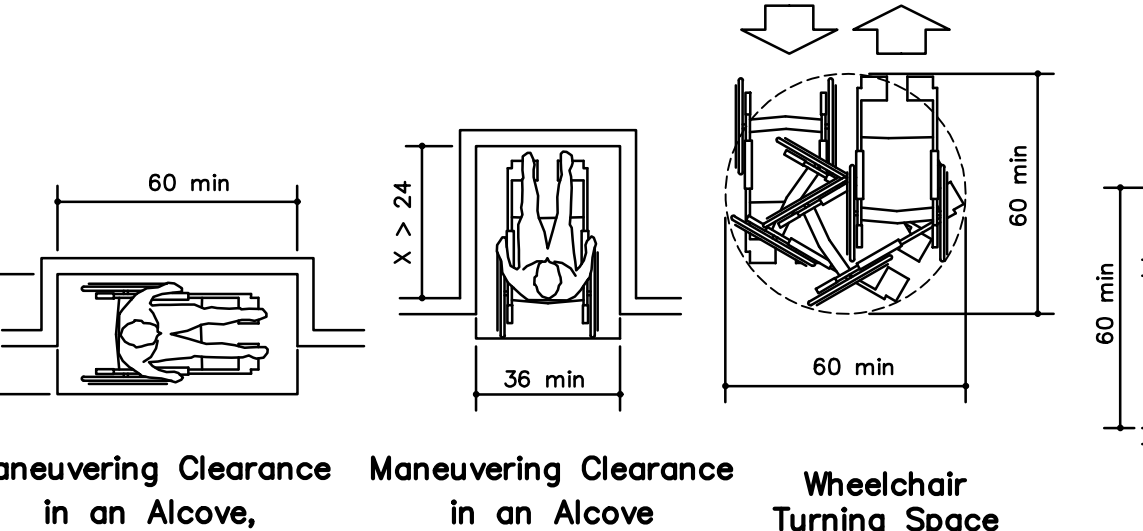
Wheelchair Accessible Toilet Compartment
Ambulatory Accessible Toilet Compartment

A STANDARD ADA DIAGRAMS
NO SCALE



Clear Floor or Ground Space
(a) Forward Approach
(b) Parallel Approach
Maneuvering Clearance in an Alcove, Parallel Approach
Maneuvering Clearance in an Alcove, Forward Approach
Wheelchair Turning Space

D STANDARD TOILET ADA DIAGRAMS
NO SCALE

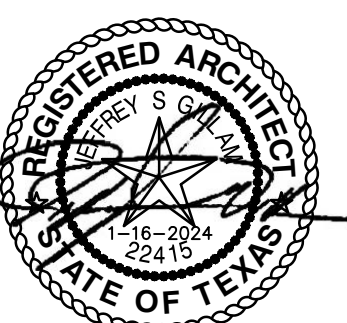


T-Shaped Space for 180° Turns
180° Turn Exception
180° Turn

FOR REFERENCE ONLY

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



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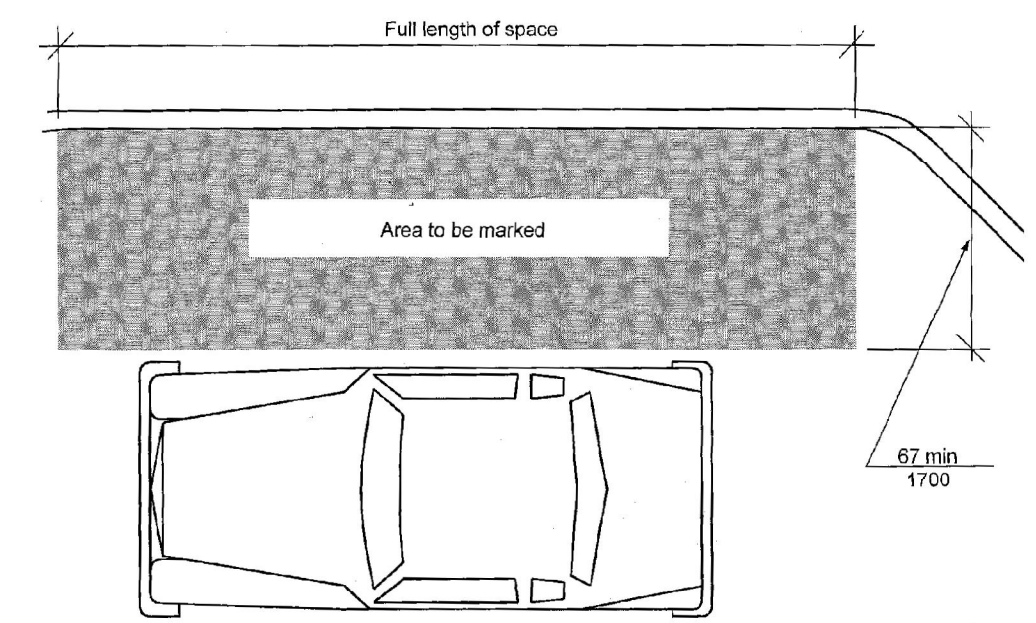
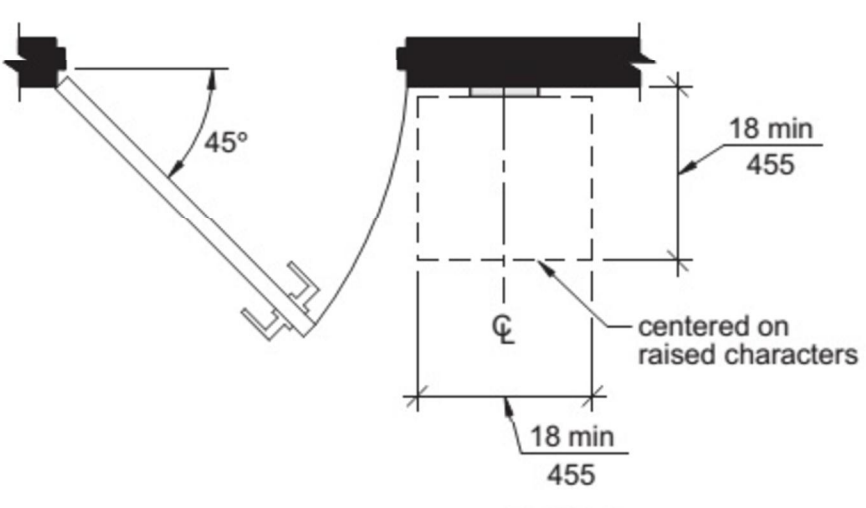
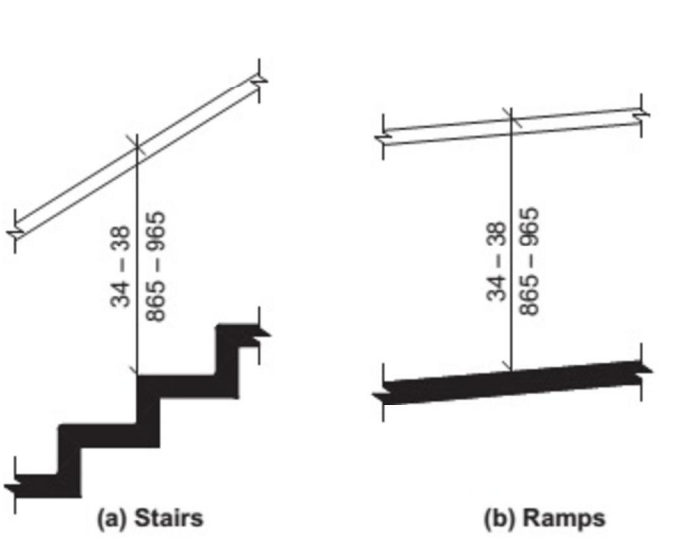


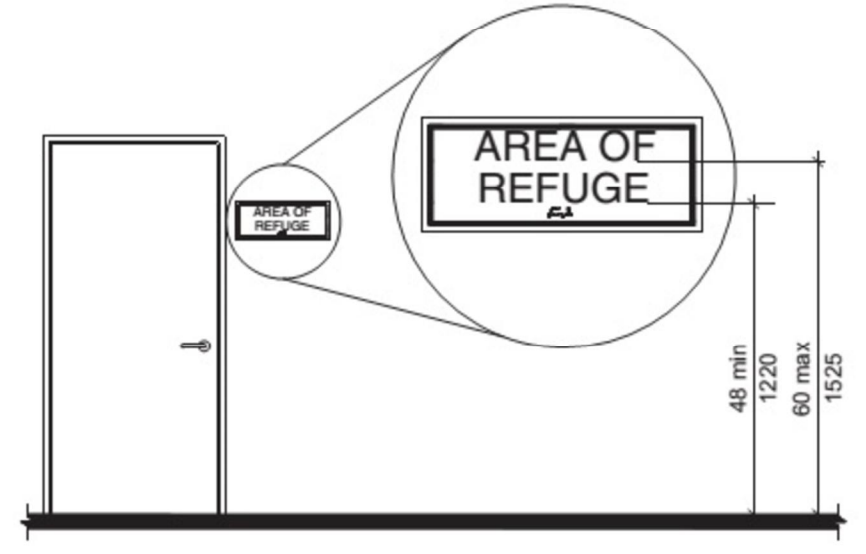
FIGURE 603.3(A)
PASSENGER LOADING ZONE ACCESS AISLE - NEW BUILDINGS
P PASSENGER LOADING ZONE (Section 503)
NO SCALE



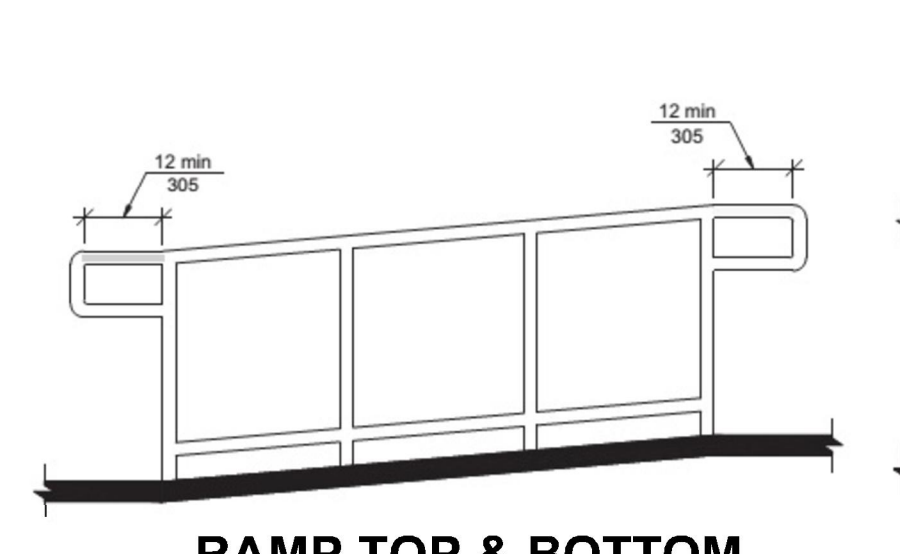
U HANDRAIL CROSS SECTION (Section 505)
NO SCALE



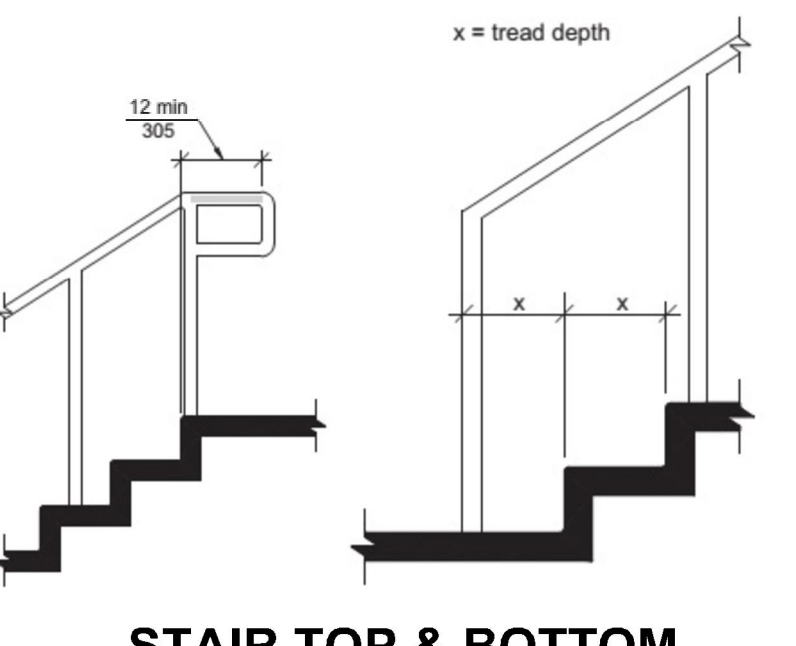
S HANDRAIL HEIGHT (Section 505)
NO SCALE



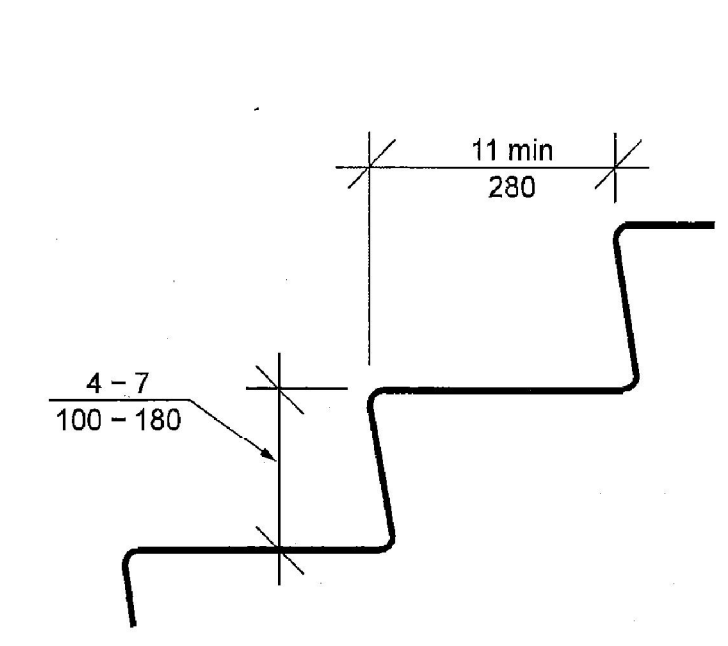
V SIGNAGE (Section 703)
NO SCALE



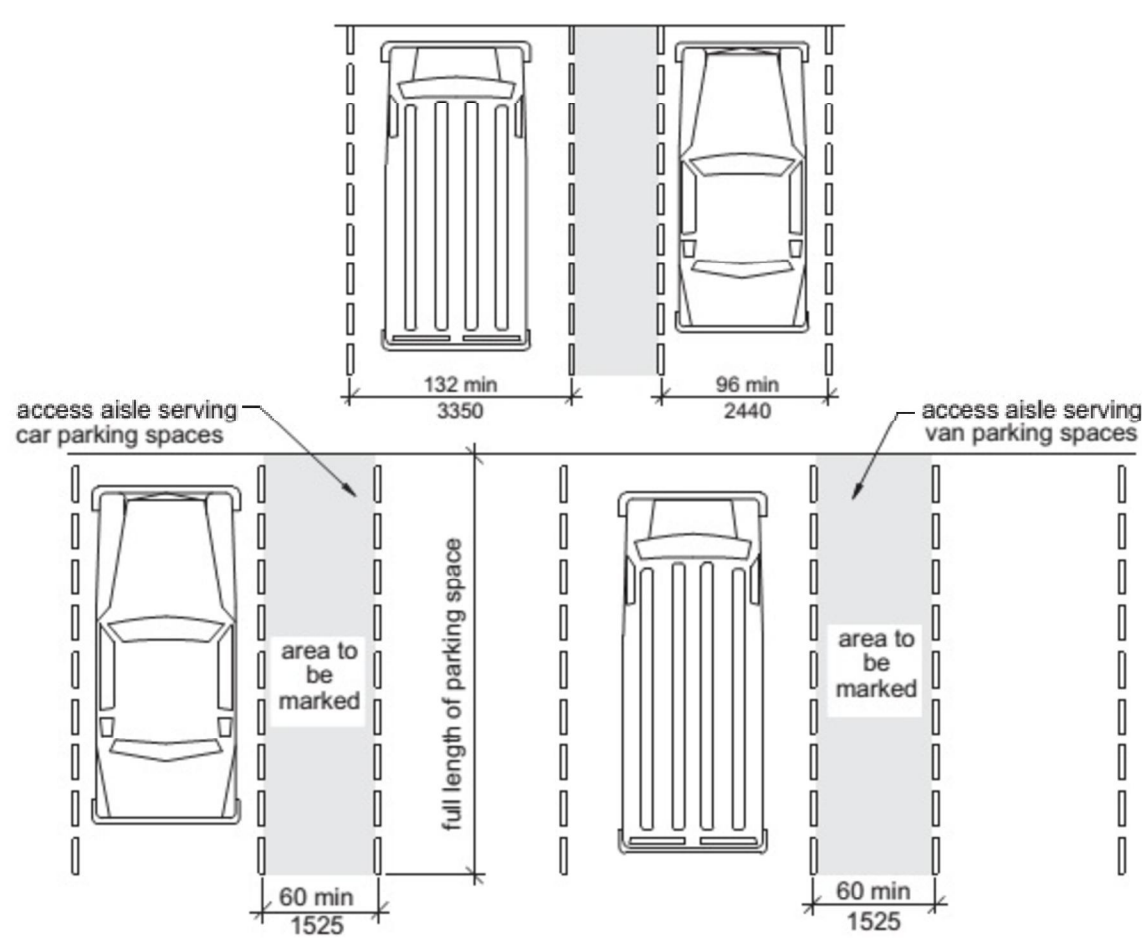
T RAMP TOP & BOTTOM HANDRAIL EXTENSION (Section 505)
NO SCALE



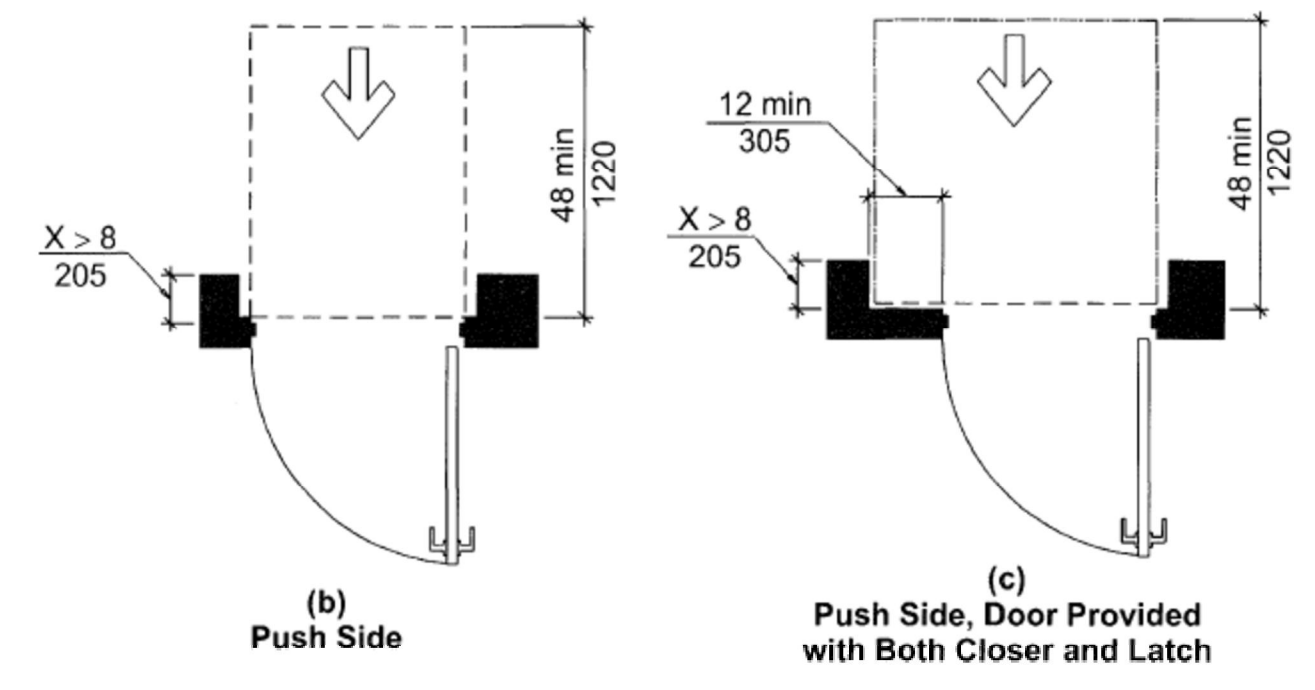
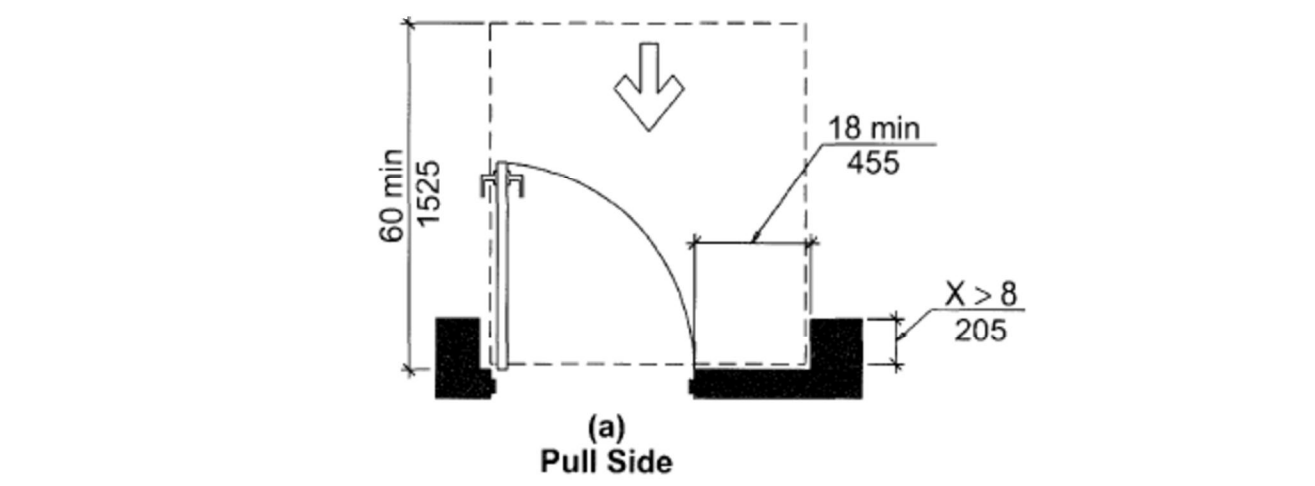
R STAIR TOP & BOTTOM HANDRAIL EXTENSION (Section 505)
NO SCALE



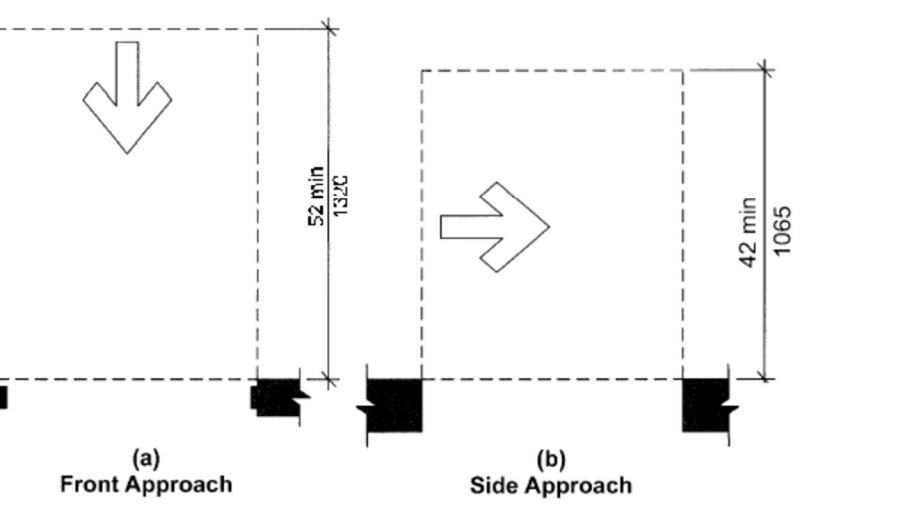
Q STAIR TREAD & RISER (Section 504)
NO SCALE



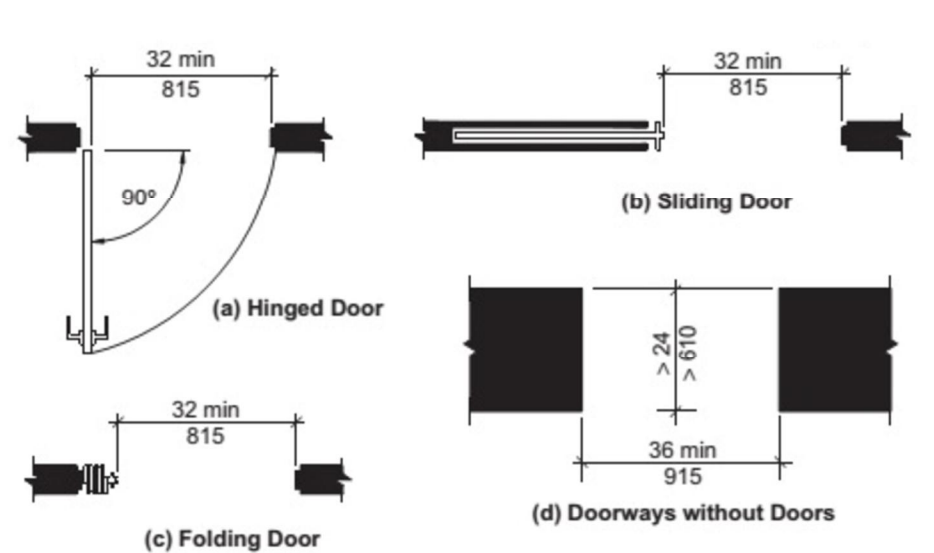
O ACCESSIBLE PARKING SPACES (Section 502)
NO SCALE



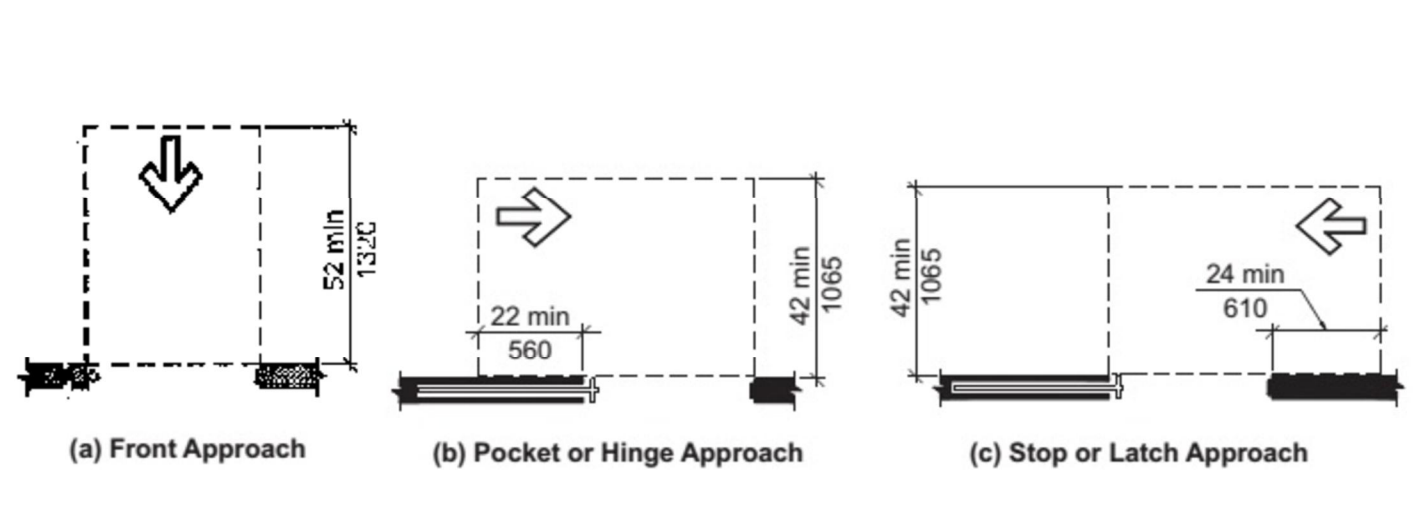
N MANEUVERING CLEARANCES AT RECESSED DOORS (Section 404)
NO SCALE



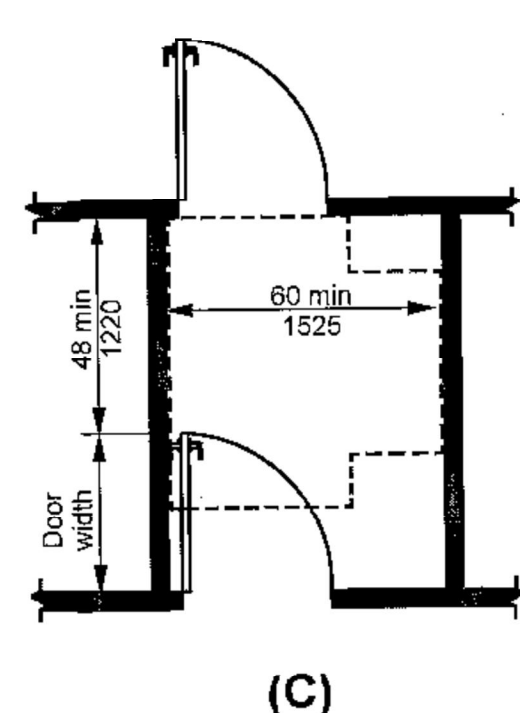
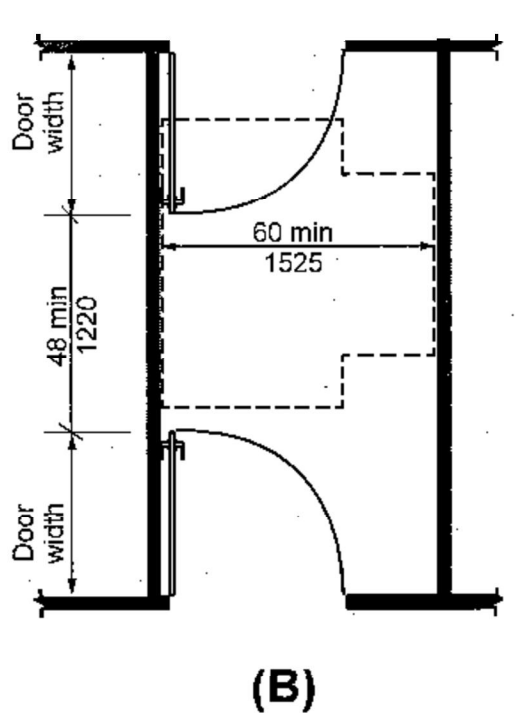
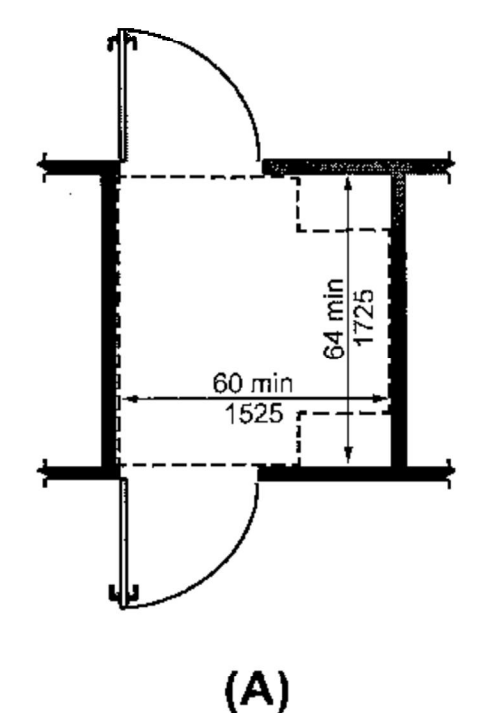
M MANEUVERING CLEARANCES AT DOORWAYS without DOORS (Section 404)
NO SCALE



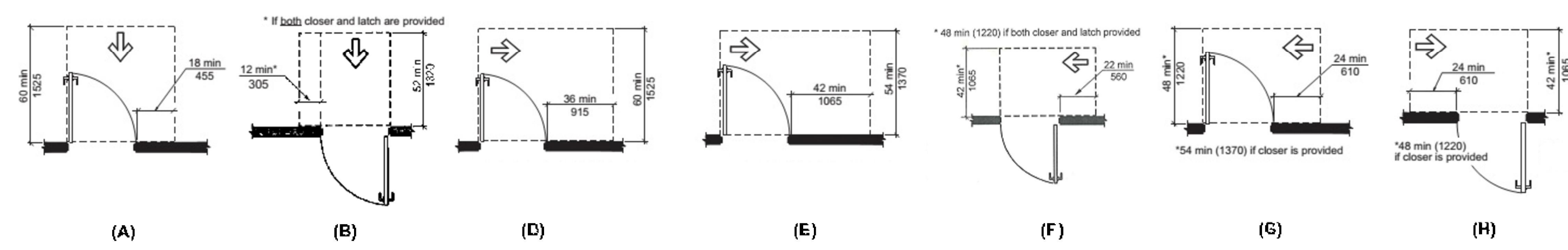
L CLEAR WIDTH OF DOORWAYS (Section 404)
NO SCALE



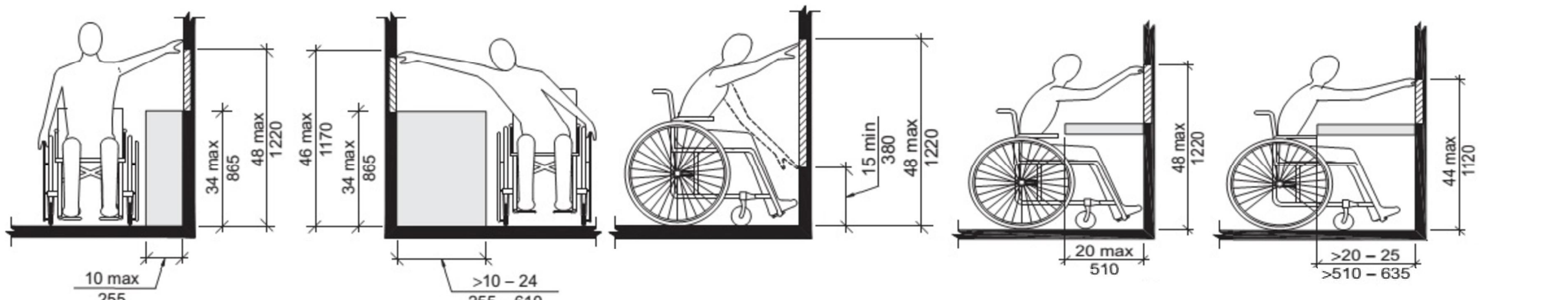
K MANEUVERING CLEARANCES AT SLIDING & FOLDING DOORS (Section 404)
NO SCALE



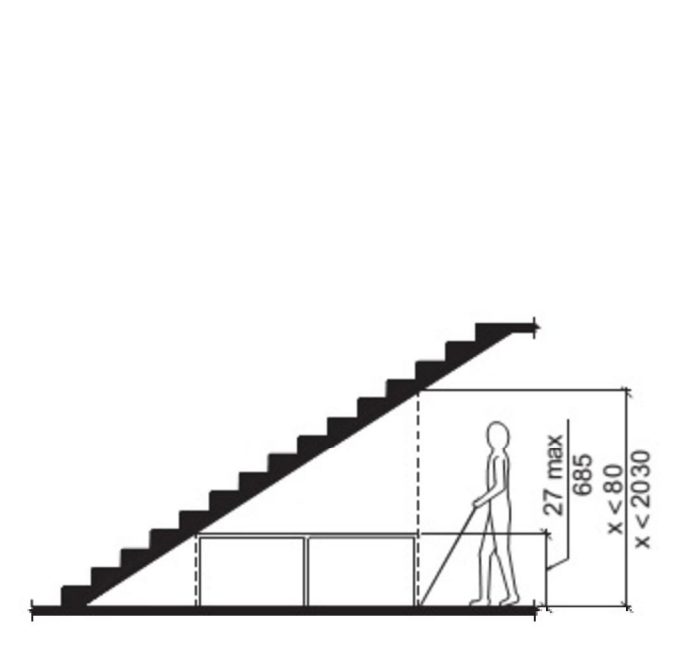
J TWO DOORS IN SERIES (Section 404)
NO SCALE



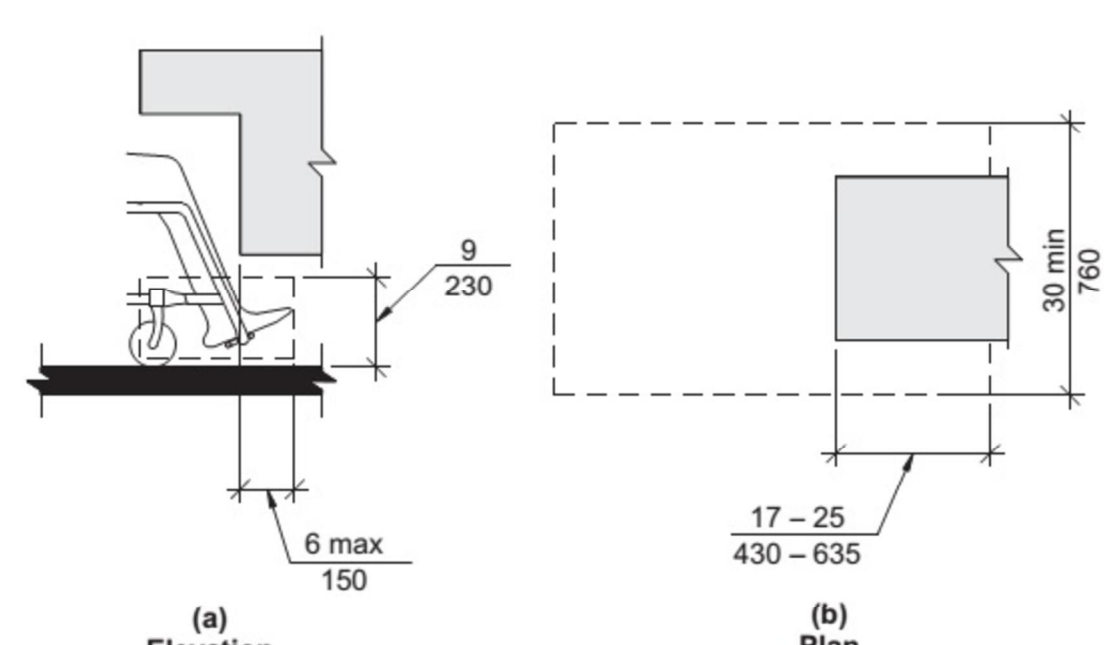
H MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS (Section 404)
NO SCALE



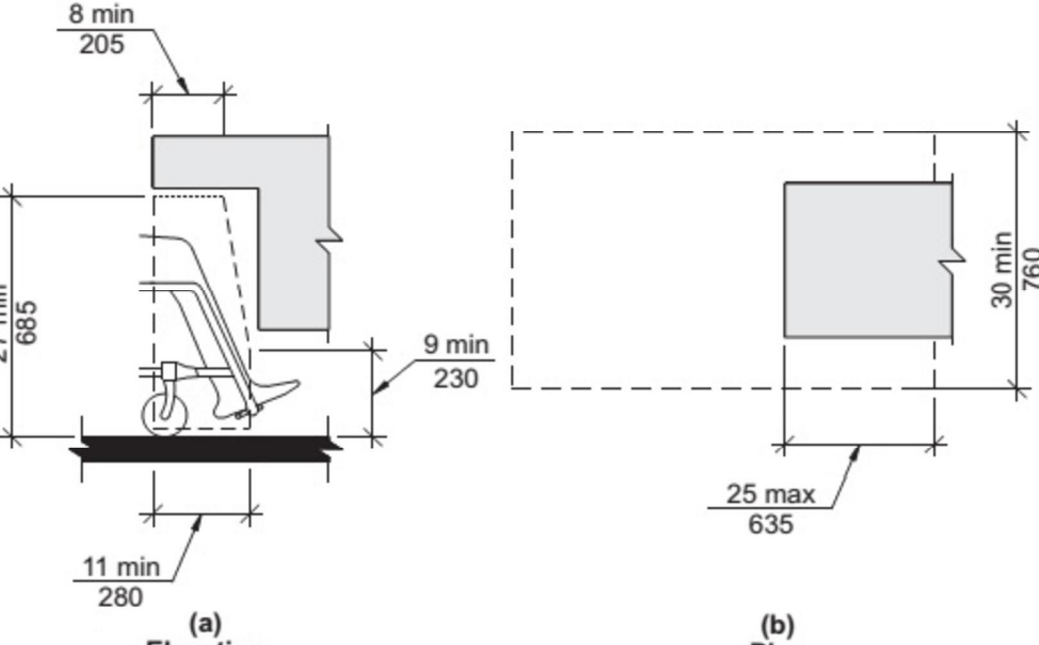
G REACH CLEARANCES (Section 308)
NO SCALE



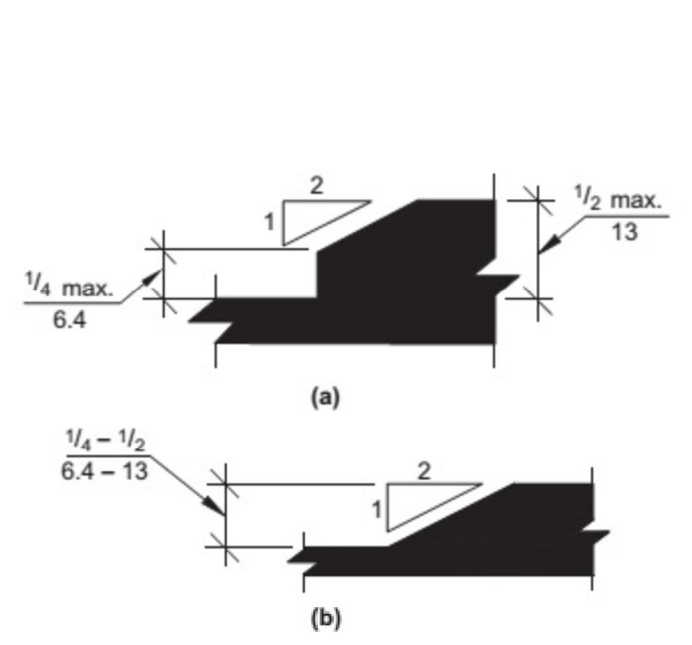
F VERTICAL CLEARANCE (Section 307)
NO SCALE



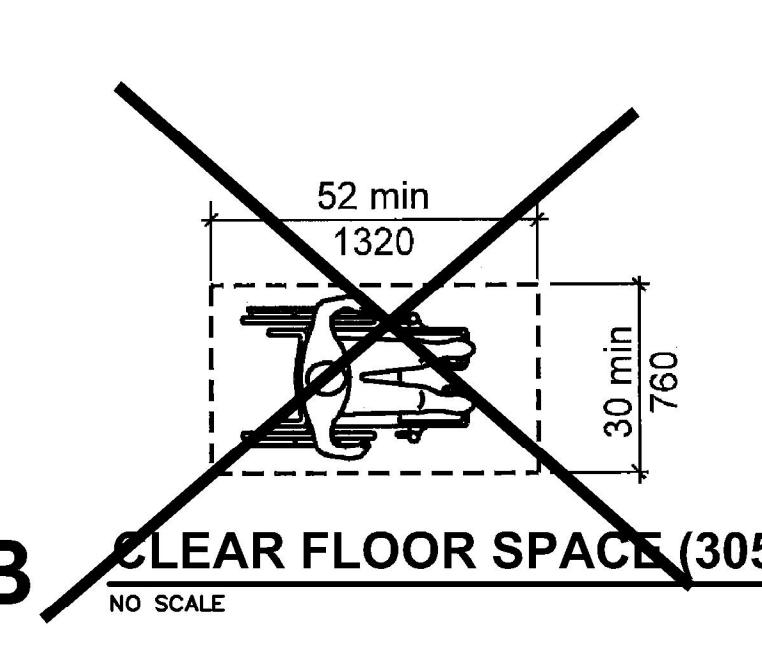
E TOE CLEARANCE (Section 306)
NO SCALE



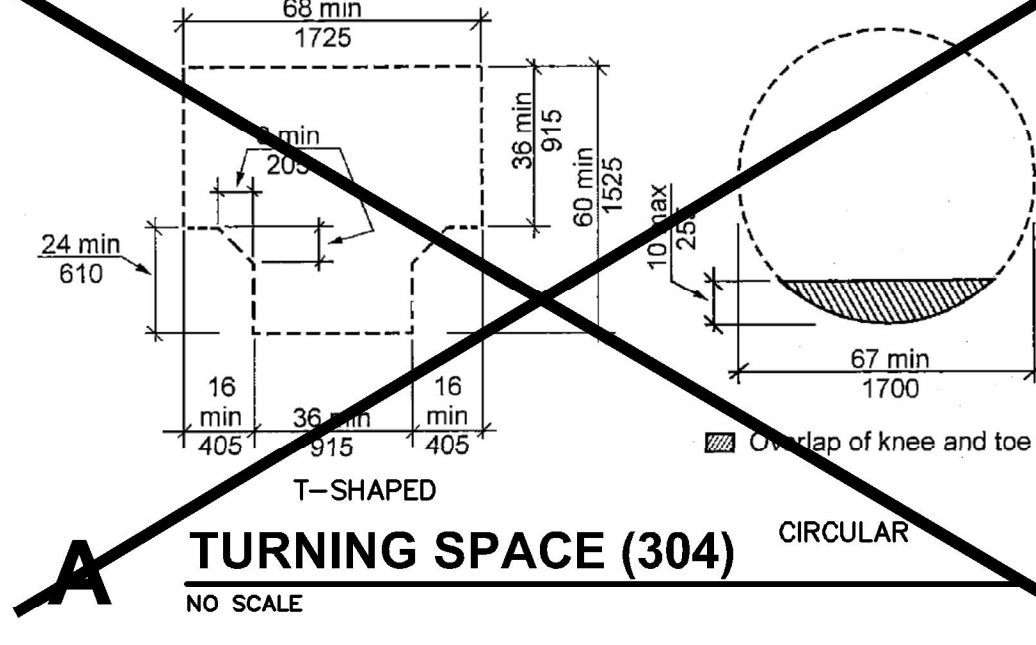
D KNEE CLEARANCE (Section 306)
NO SCALE



C CHANGES IN LEVEL (Section 303)
NO SCALE



B CLEAR FLOOR SPACE (305)
NO SCALE

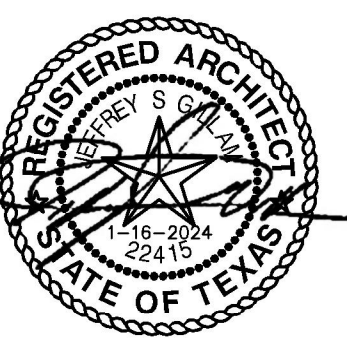


A TURNING SPACE (304)
NO SCALE

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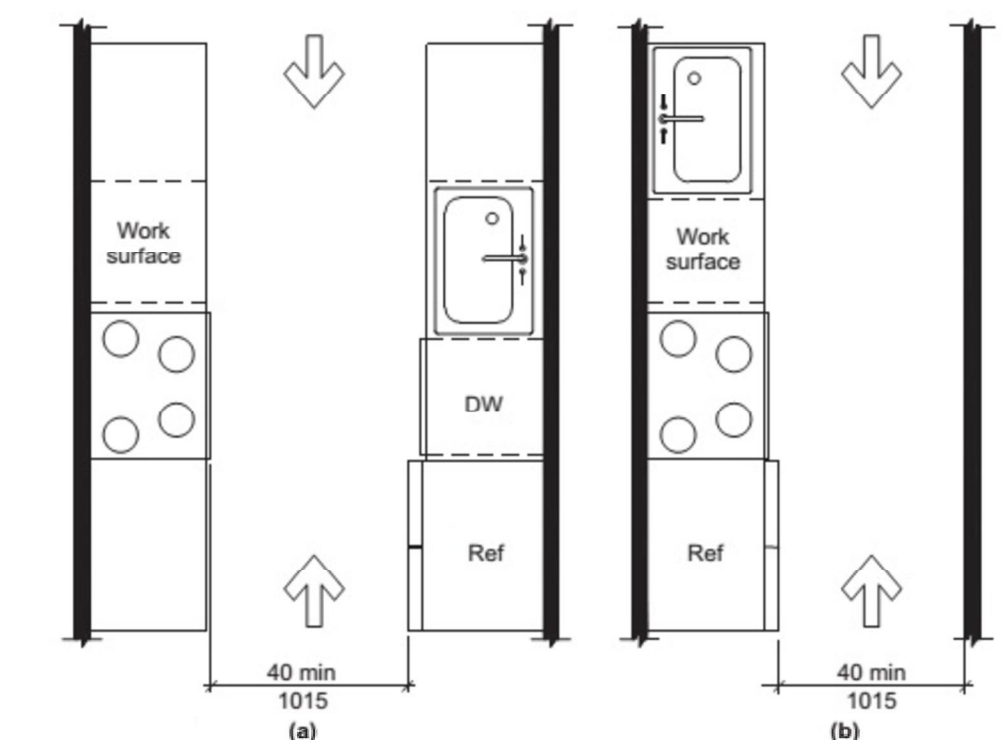
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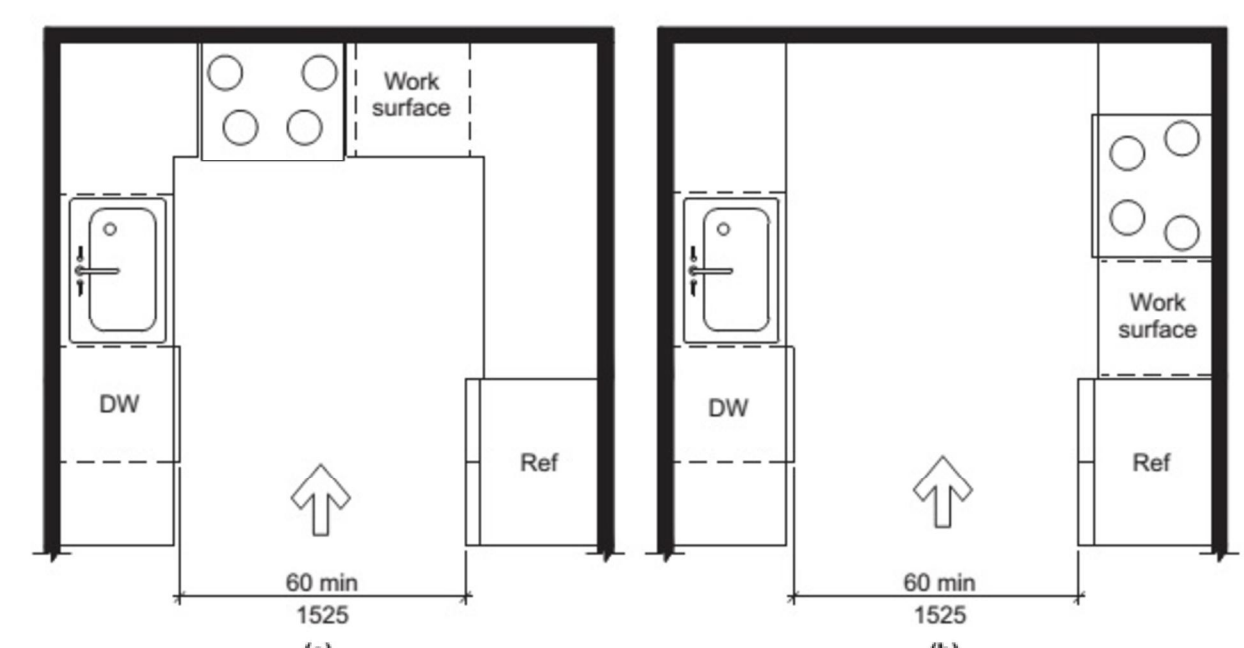
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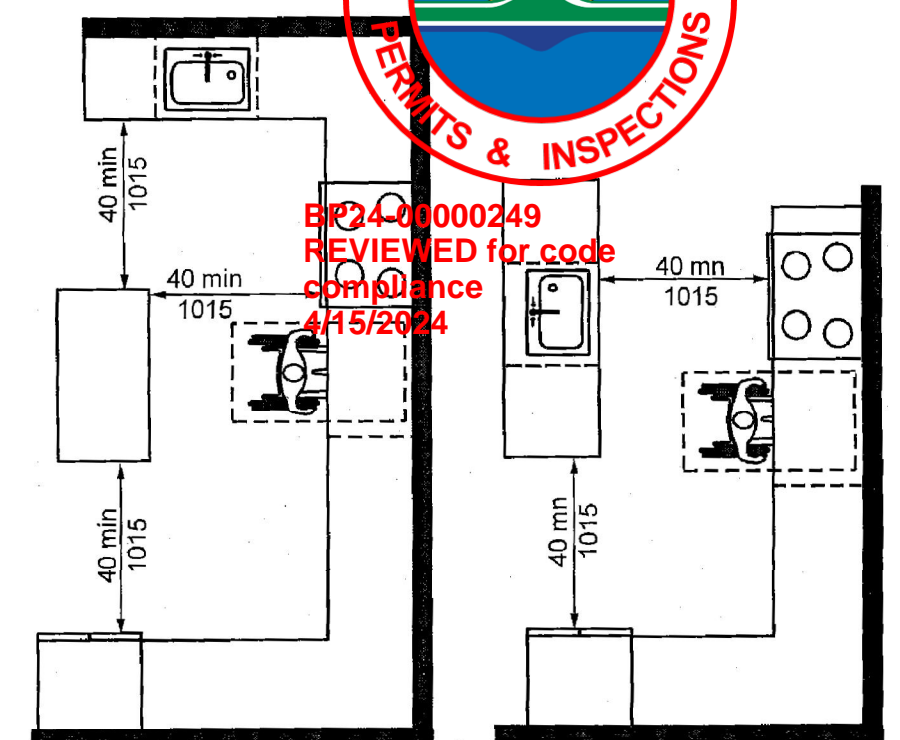
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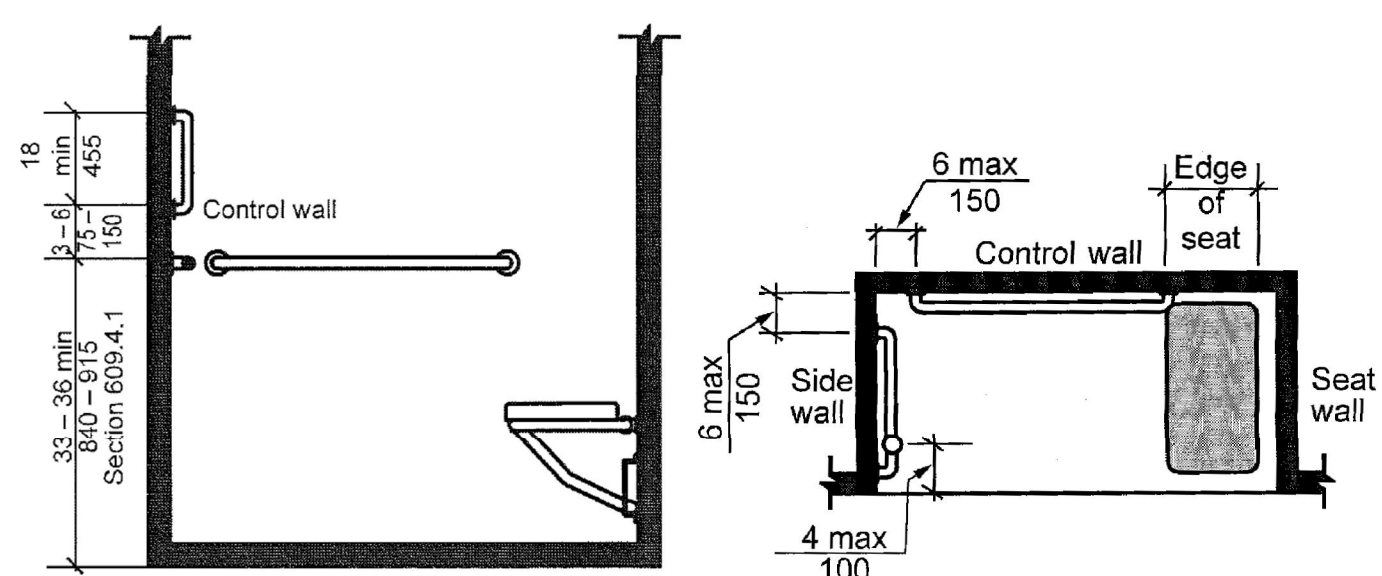
V PASS-THRU KITCHEN CLEARANCE (Section 804)
NO SCALE



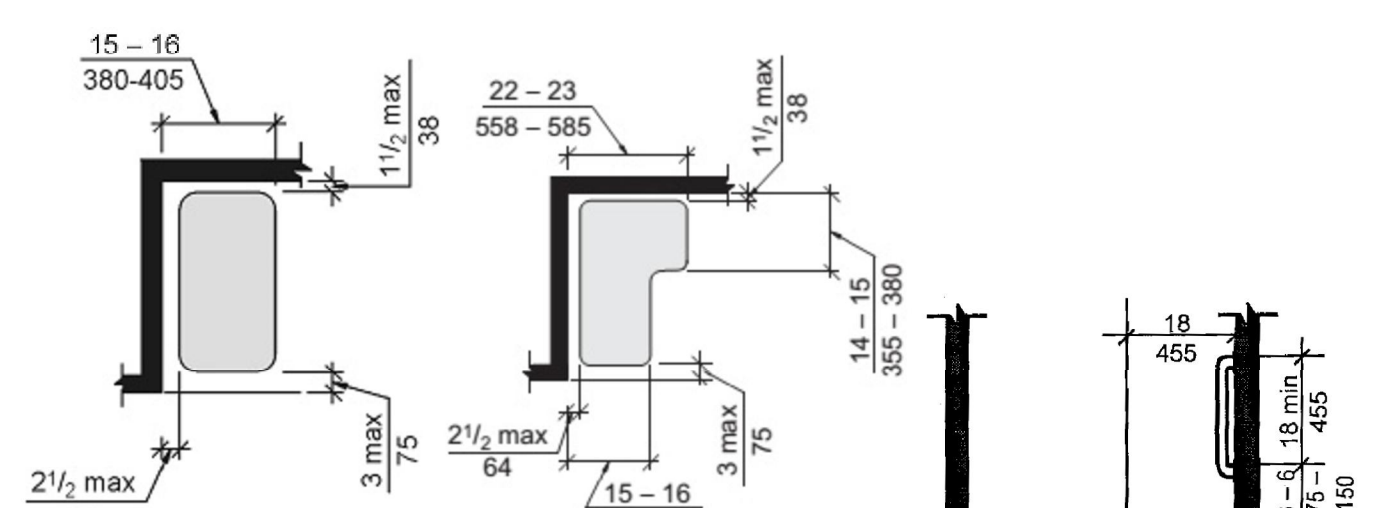
U U-SHAPED KITCHEN CLEARANCE (Section 804)
NO SCALE



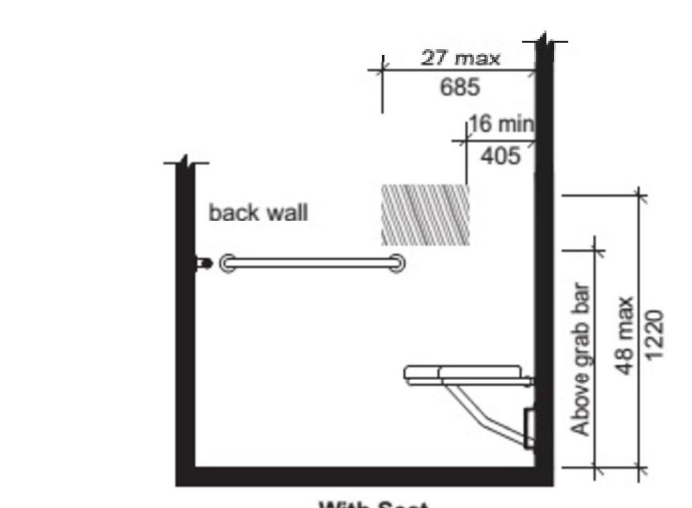
T U-SHAPED KITCHEN CLEARANCE EXCEPTION (Section 804)
NO SCALE



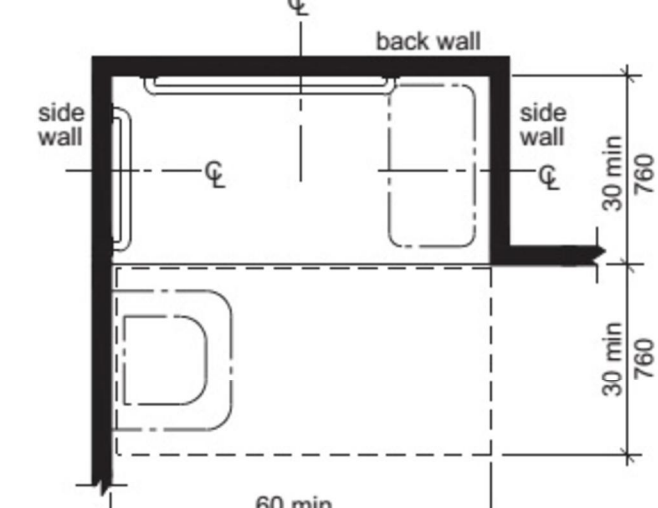
S ROLL-IN SHOWER GRAB BARS (Section 608)
NO SCALE



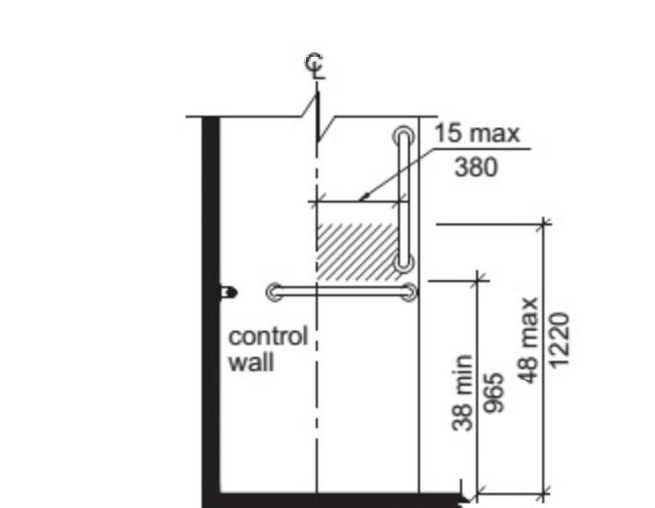
O SHOWER SEATS (Section 610)
NO SCALE



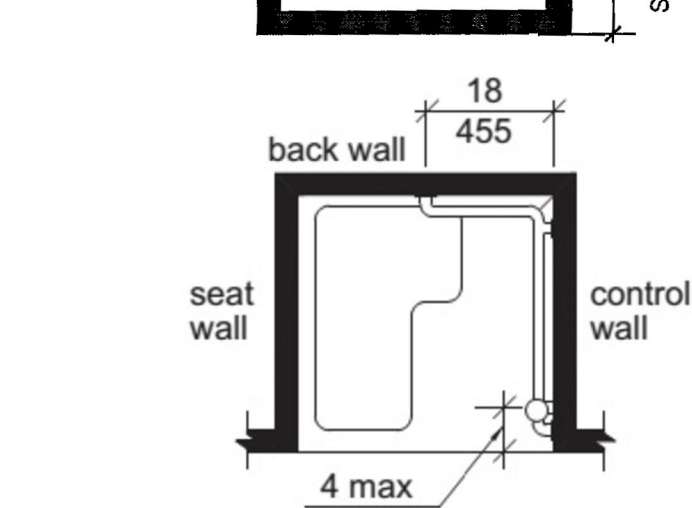
R ROLL-IN SHOWER CONTROLS LOCATION (Section 608)
NO SCALE



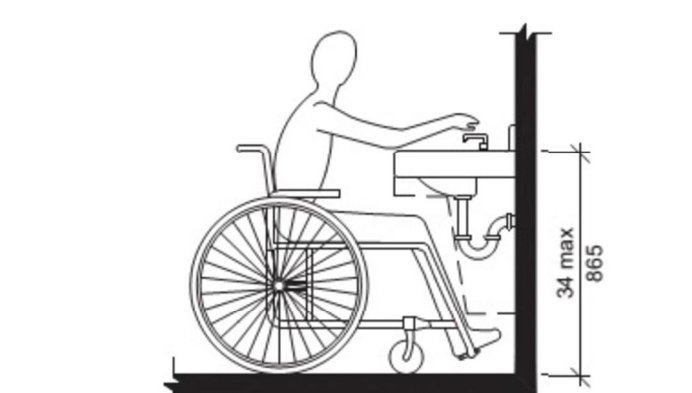
Q ROLL-IN SHOWER SIZE & CLEARANCE (Section 608)
NO SCALE



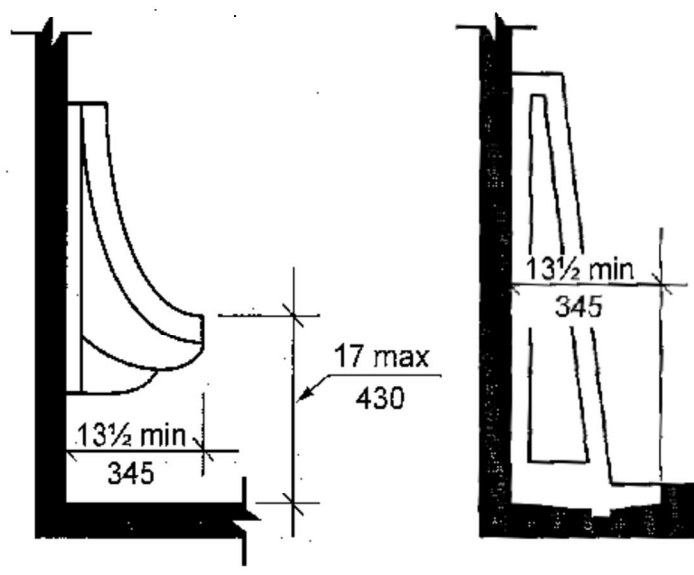
O TRANSFER SHOWER CONTROLS LOCATION (Section 608)
NO SCALE



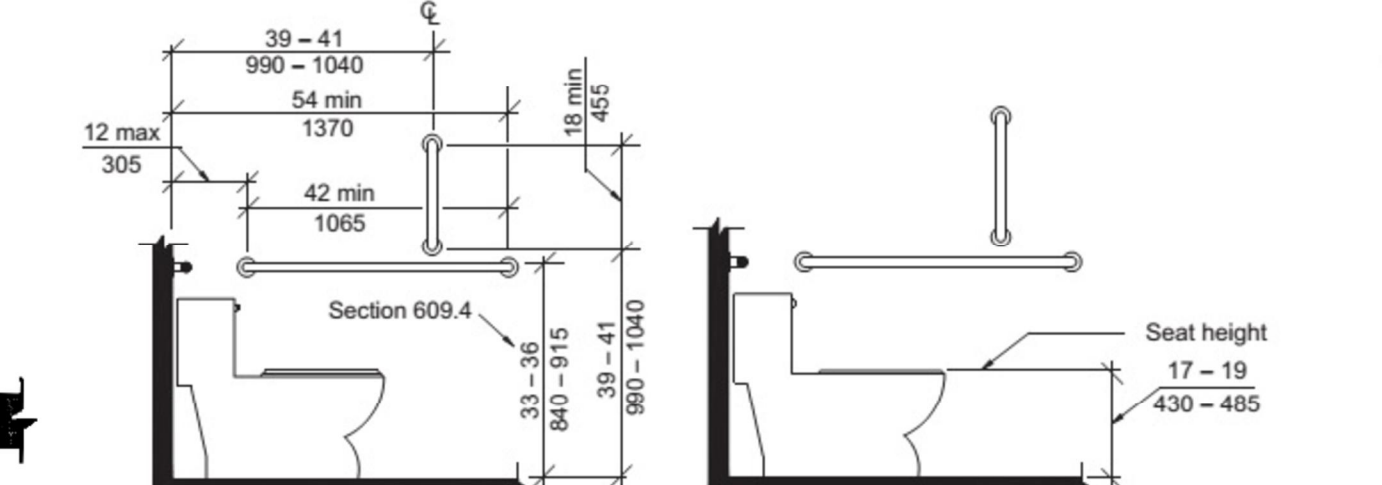
N TRANSFER SHOWER GRAB BARS (Section 608)
NO SCALE



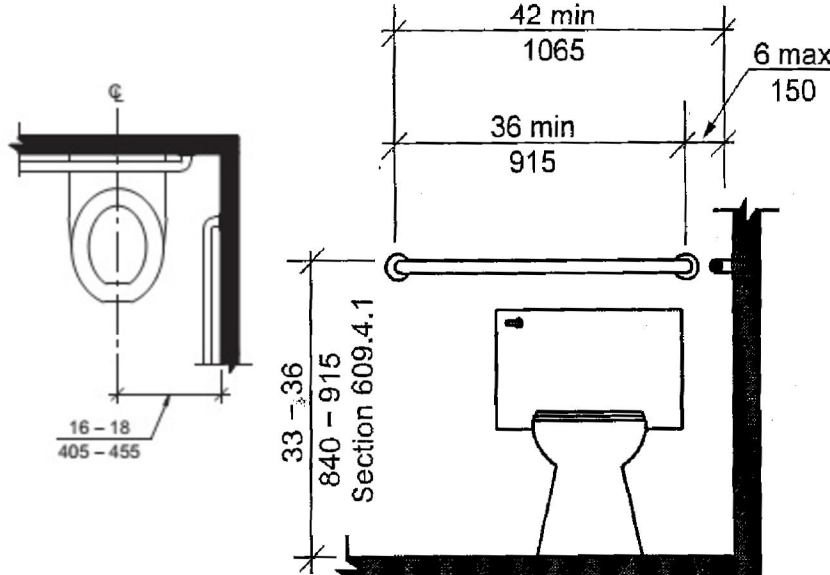
G HEIGHT OF LAVATORIES & SINKS (Section 606)
NO SCALE



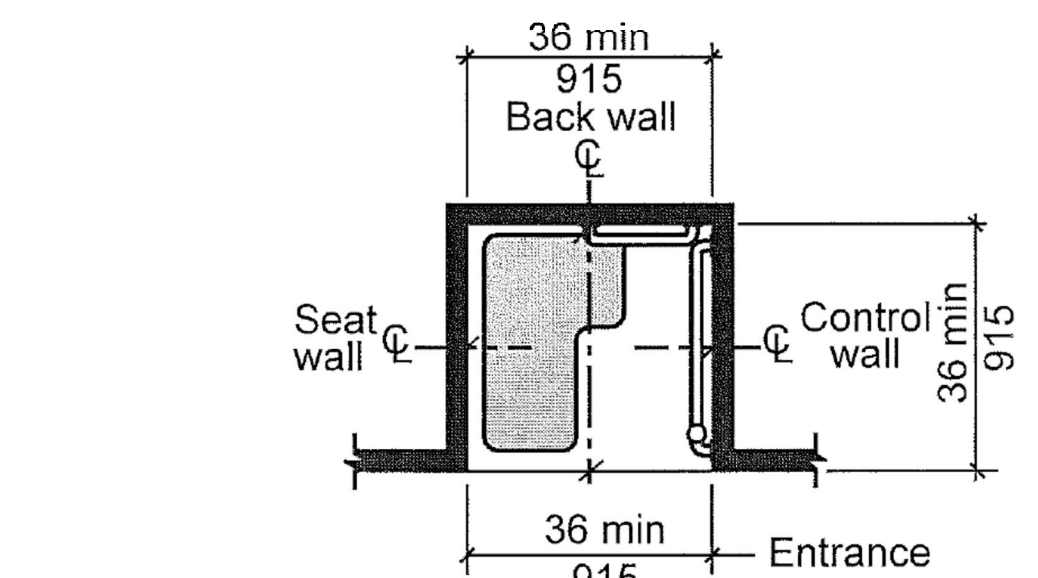
F HEIGHT OF URINALS (Section 605)
NO SCALE



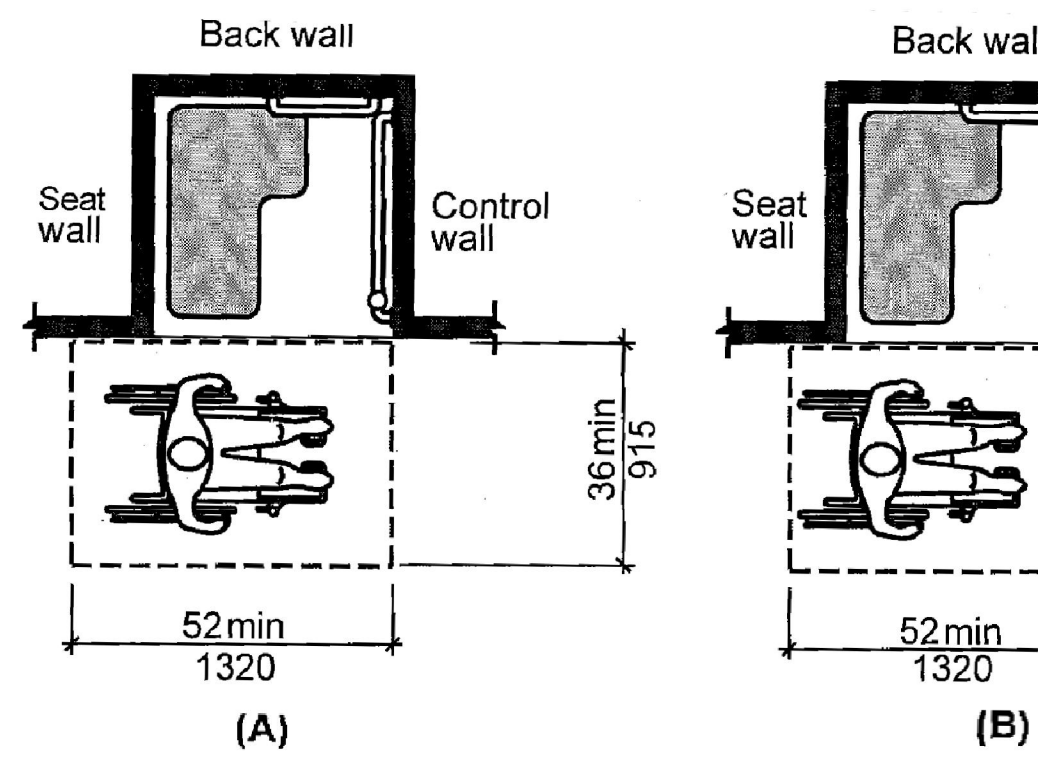
E WATER CLOSET HEIGHT & SIDE WALL GRAB BAR (Section 604)
NO SCALE



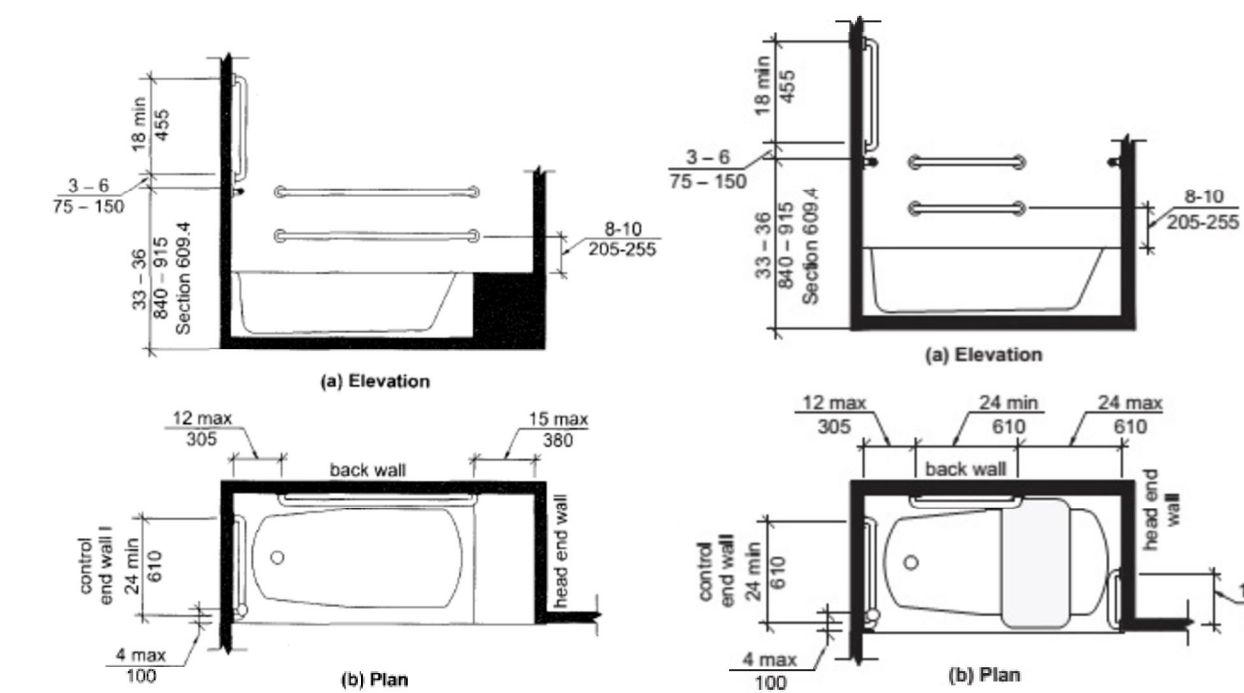
D WATER CLOSET LOCATION & REAR WALL GRAB BAR (Section 604)
NO SCALE



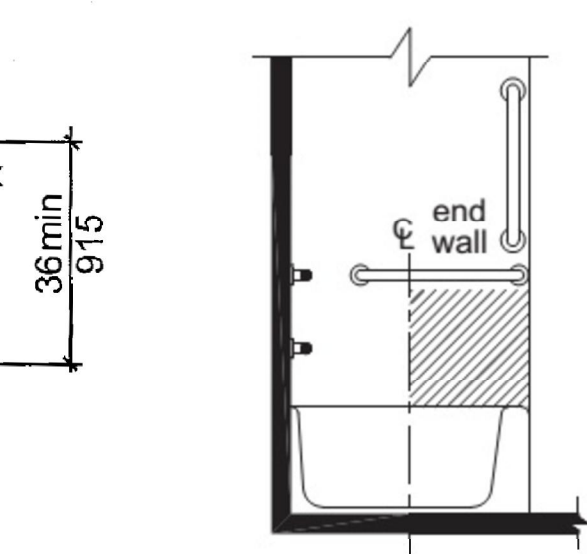
Note: inside finished dimensions measured at the center points of opposing sides



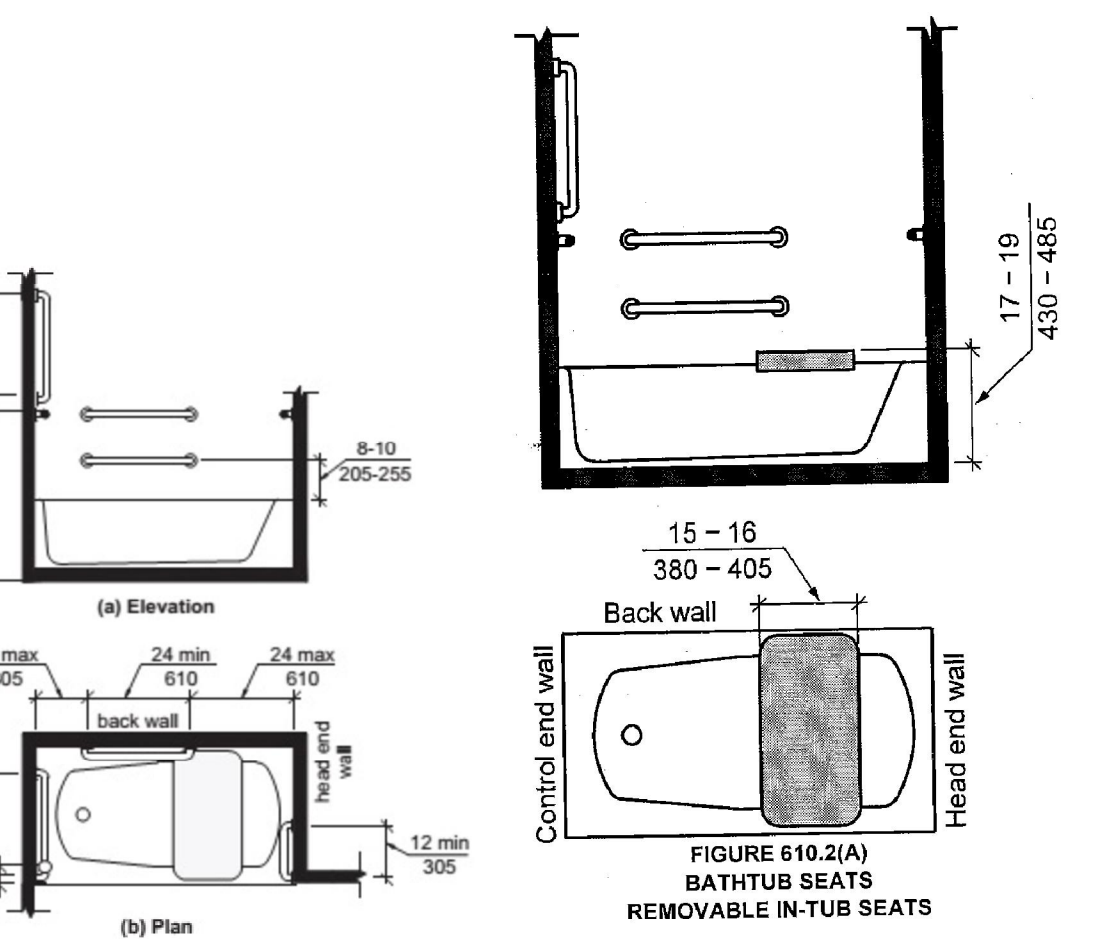
M TRANSFER SHOWER SIZE & CLEARANCE (Section 608)
NO SCALE



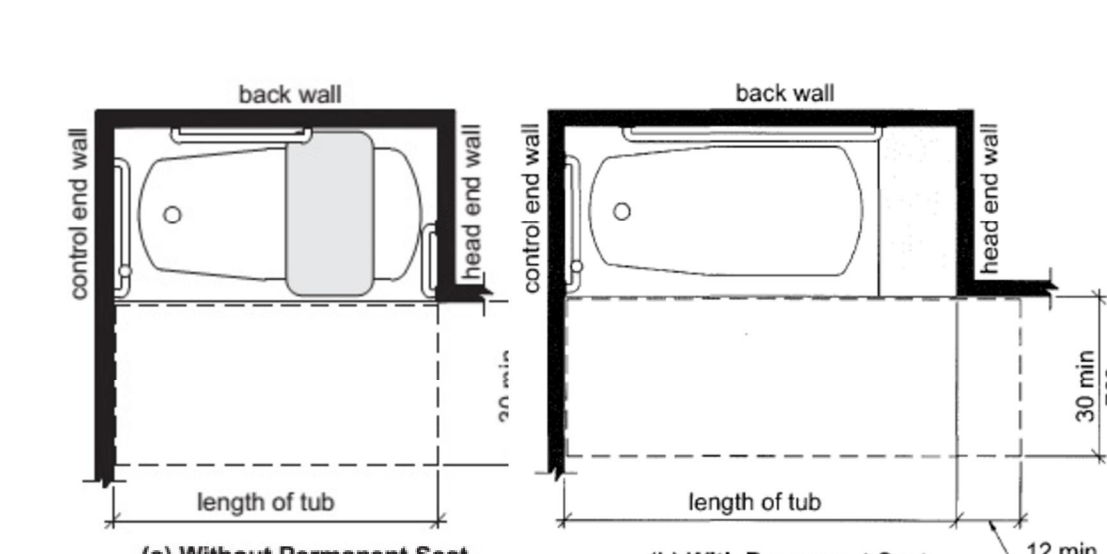
L GRAB BARS FOR BATHTUBS (Section 607)
NO SCALE



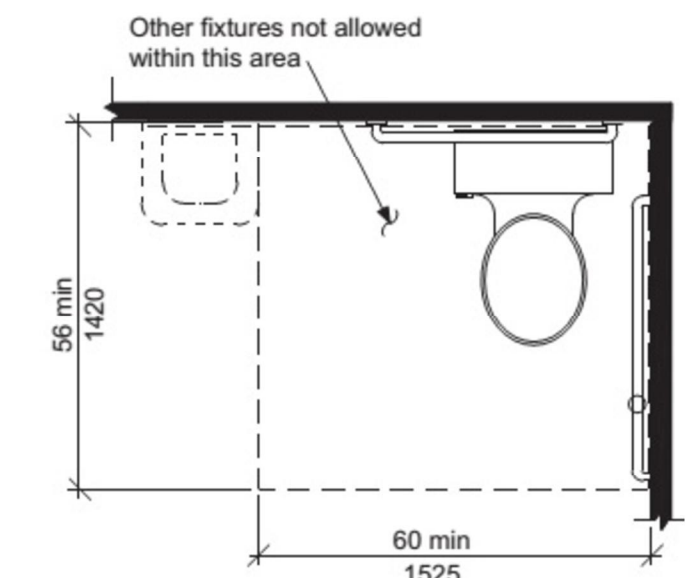
J BATHTUB CONTROLS (Section 607)
NO SCALE



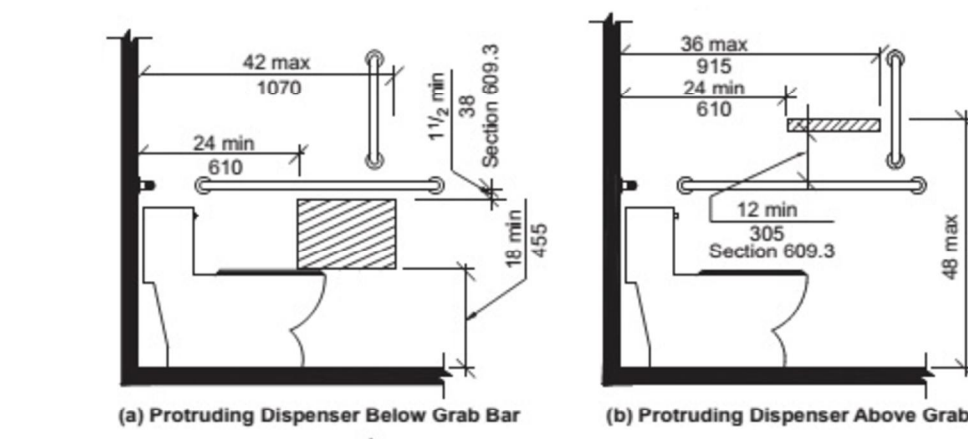
K BATHTUB SEAT (Section 610)
NO SCALE



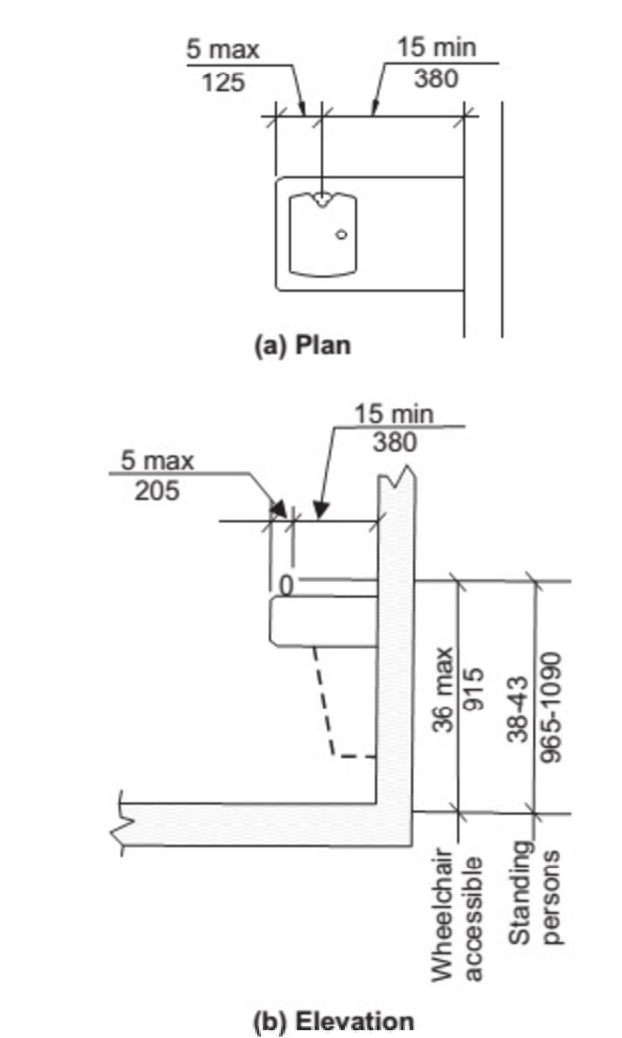
H CLEARANCES FOR BATHTUBS (Section 607)
NO SCALE



C CLEARANCES AT WATER CLOSET (Section 604)
NO SCALE

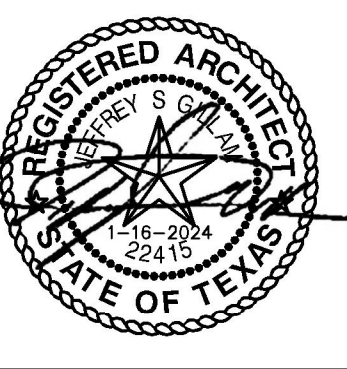


B DISPENSER OUTLET LOCATION (Section 604)
NO SCALE



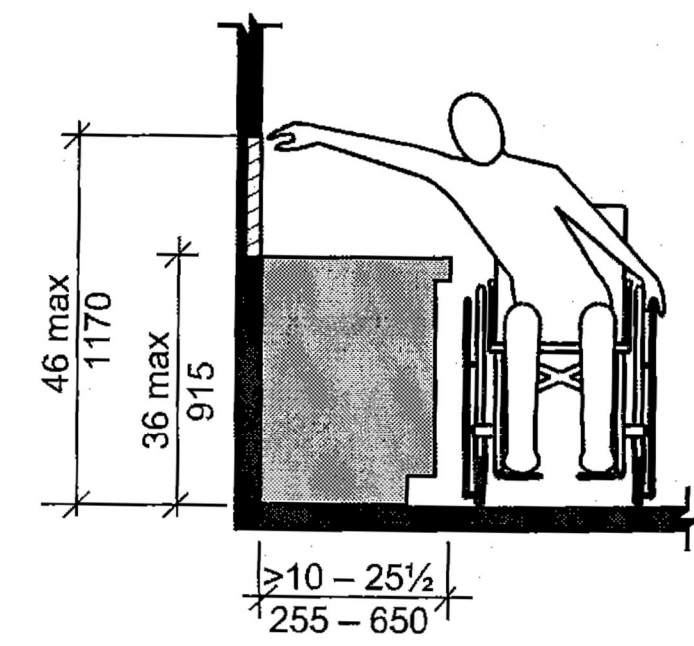
A DRINKING FOUNTAIN (Section 602)
NO SCALE

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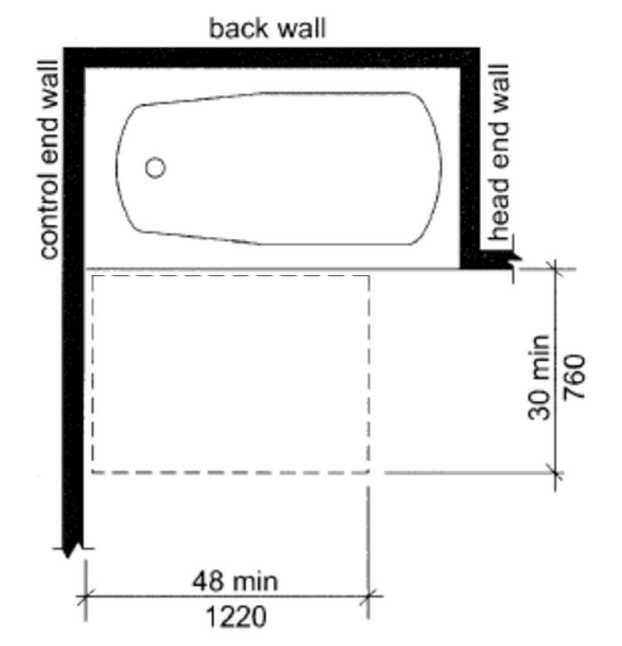




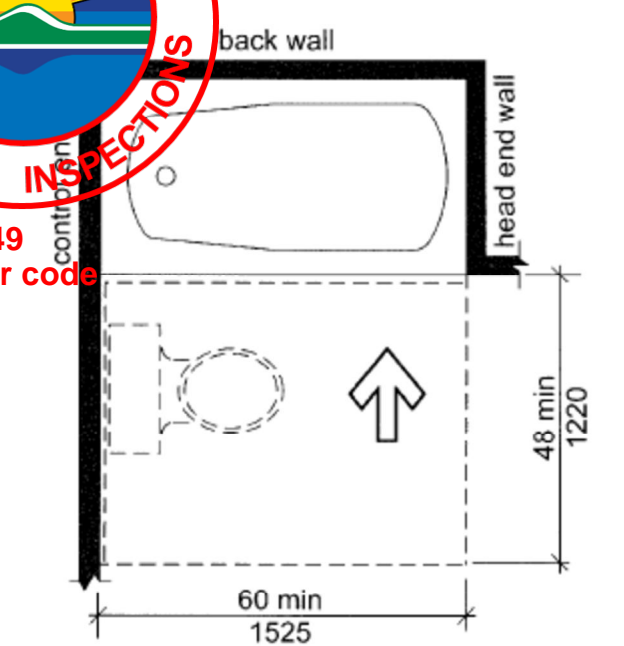
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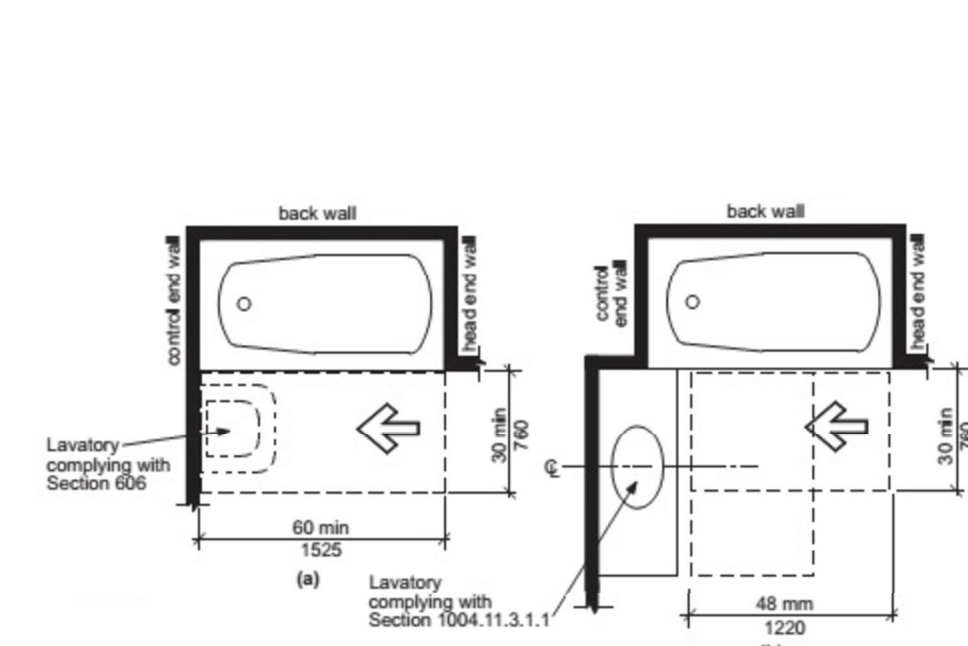
P REACH RANGE OVER KITCHEN or BATH CABINET - TYPE B UNITS (Section 1104)
NO SCALE



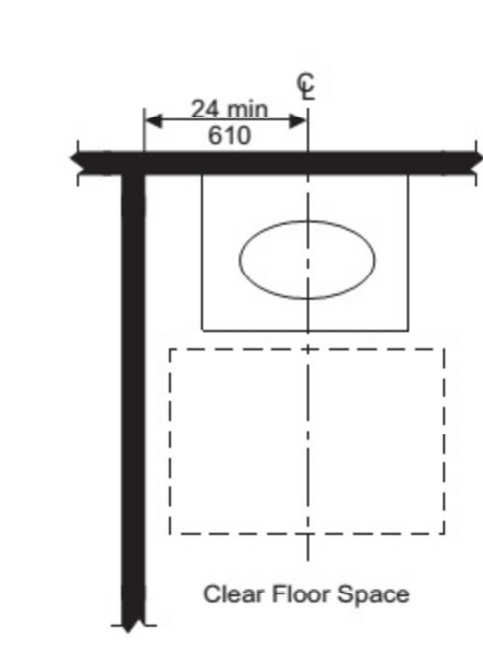
O BATHTUB CLEARANCES AT TYPE B UNITS - OPT B BATH (Section 1104)
NO SCALE



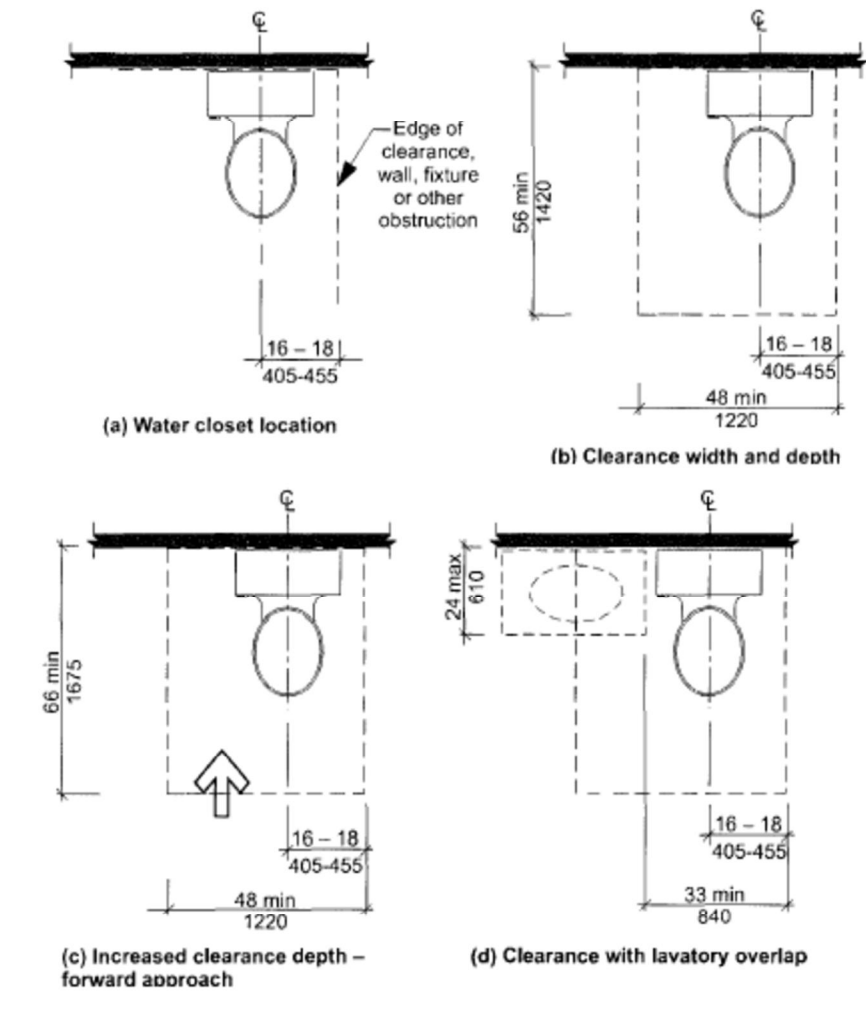
N BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



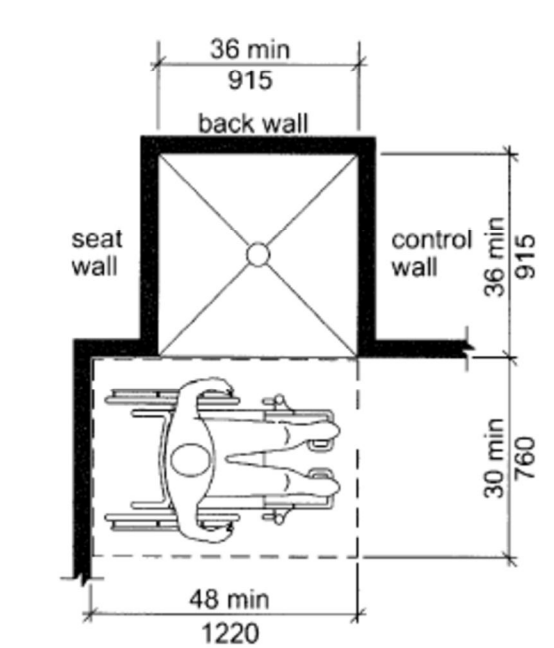
M BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



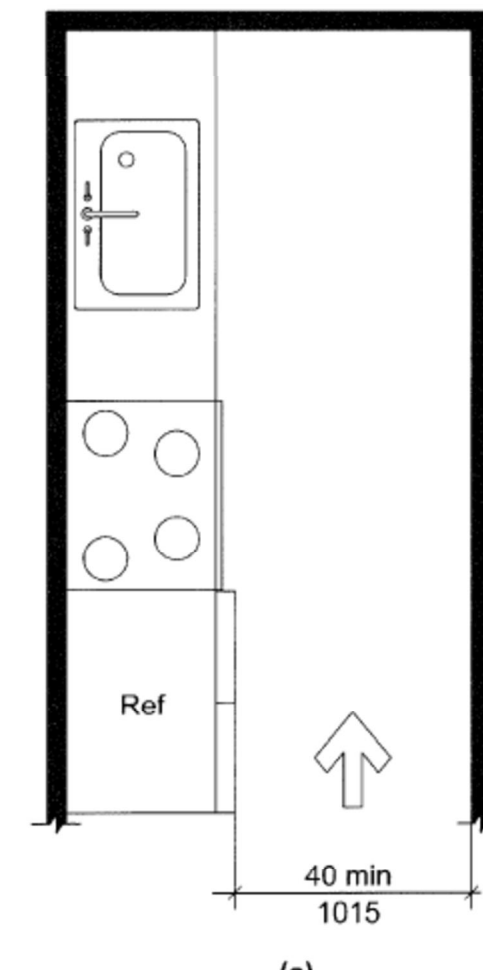
L LAVATORY AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



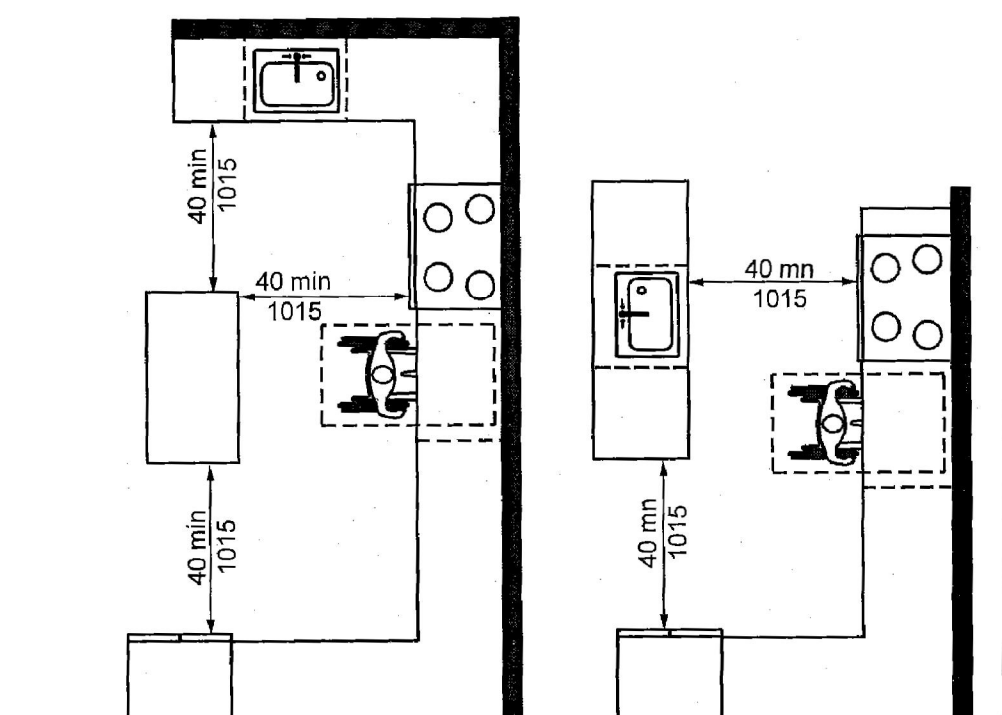
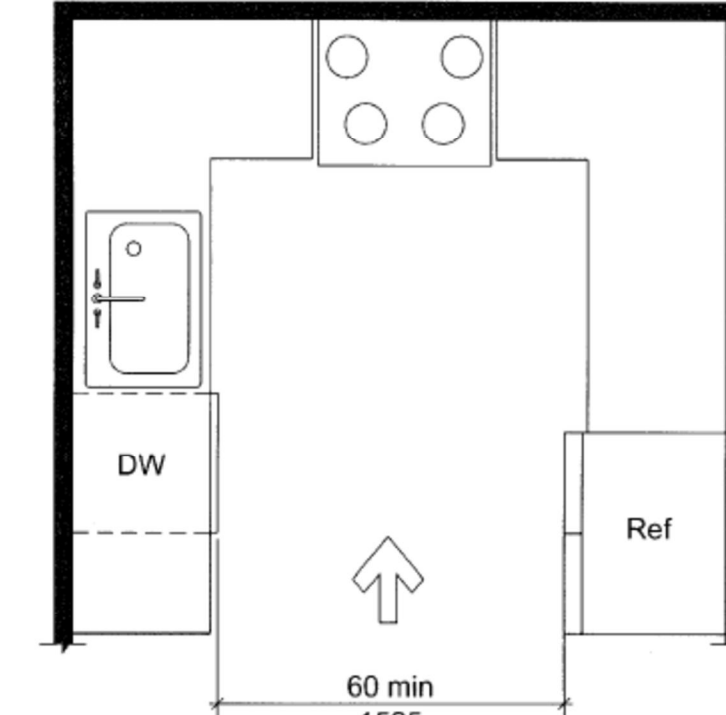
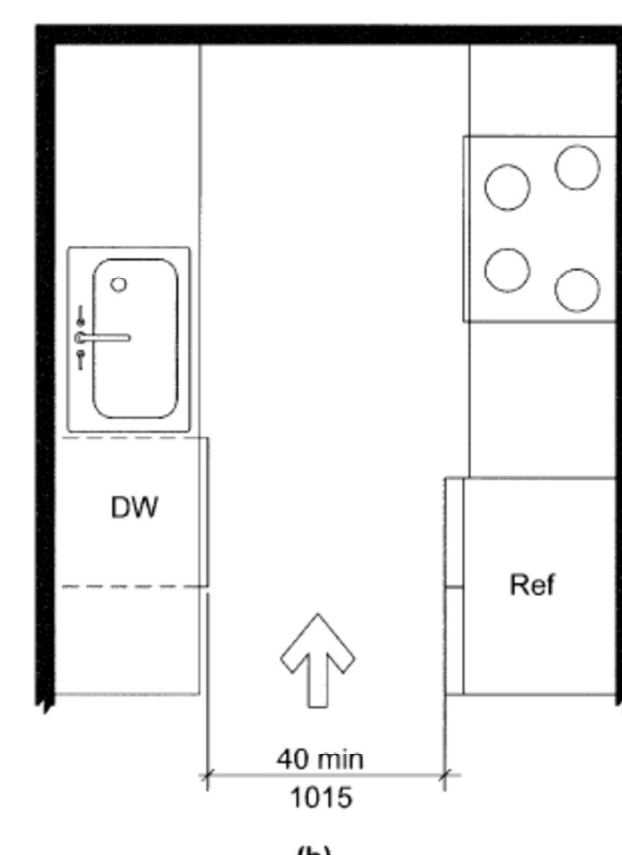
K WATER CLOSET CLEARANCES TYPE B UNITS (Section 1104)
NO SCALE



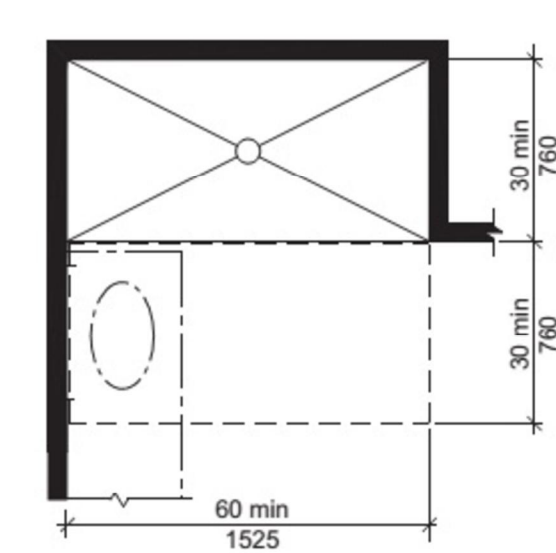
J TRANSFER SHOWER AT TYPE B UNITS (Section 1104)
NO SCALE



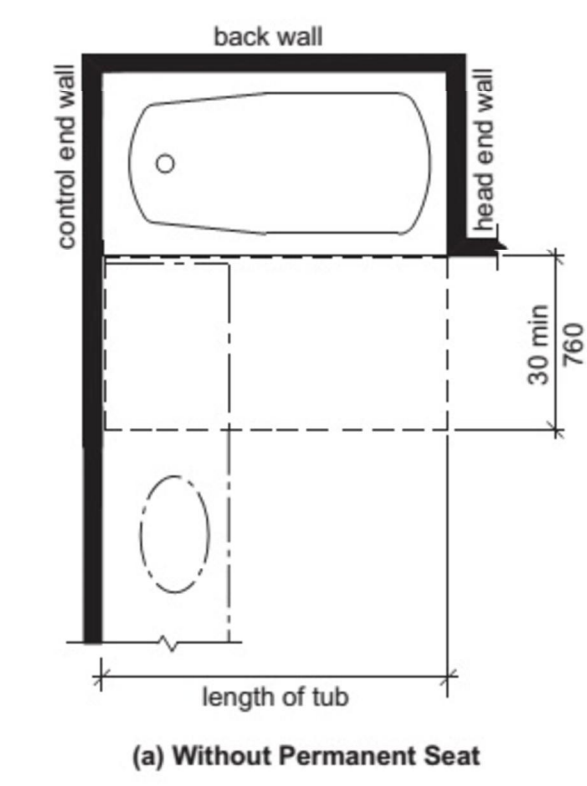
H MIN KITCHEN CLEARANCE - TYPE B UNITS (Section 1104)
NO SCALE



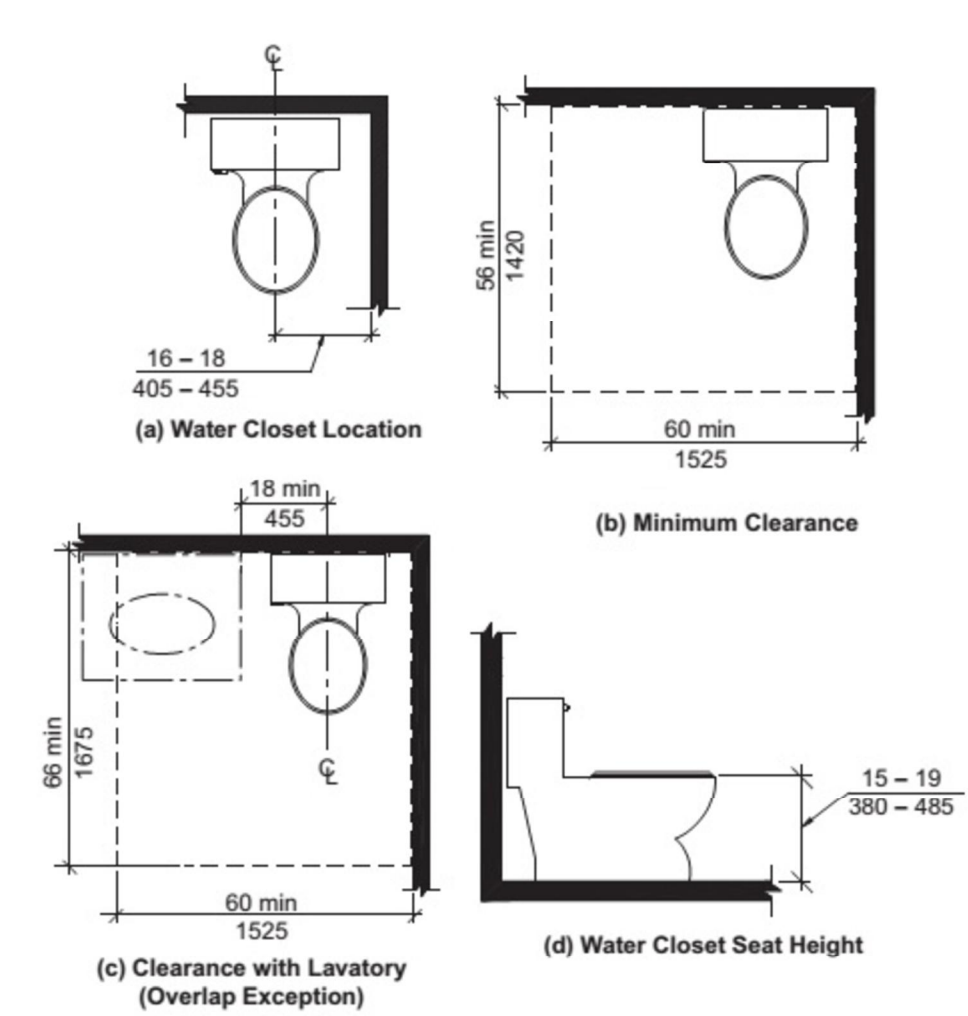
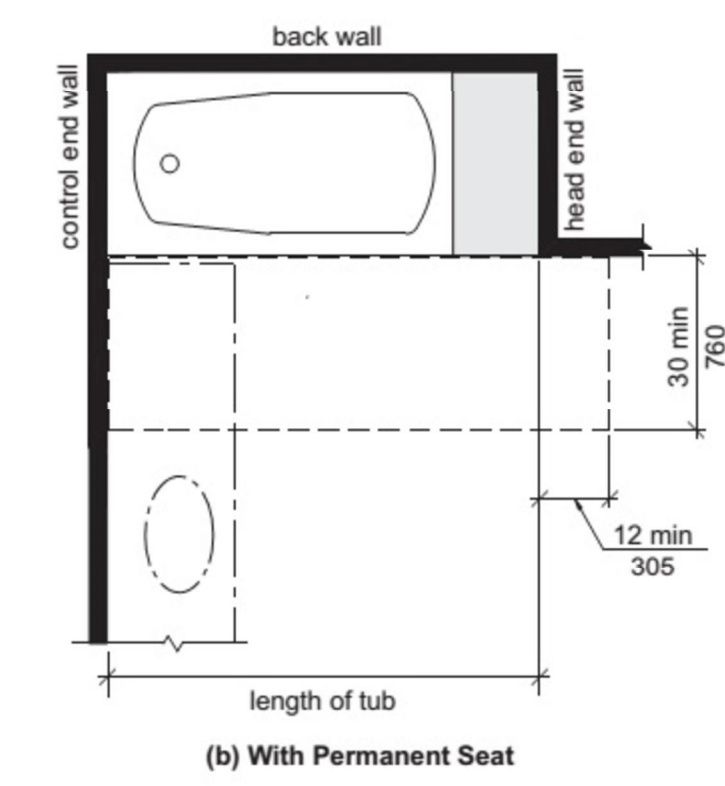
G U-SHAPED KITCHEN CLEARANCE - TYPE B UNITS - EXCEPTION (Section 1104)
NO SCALE



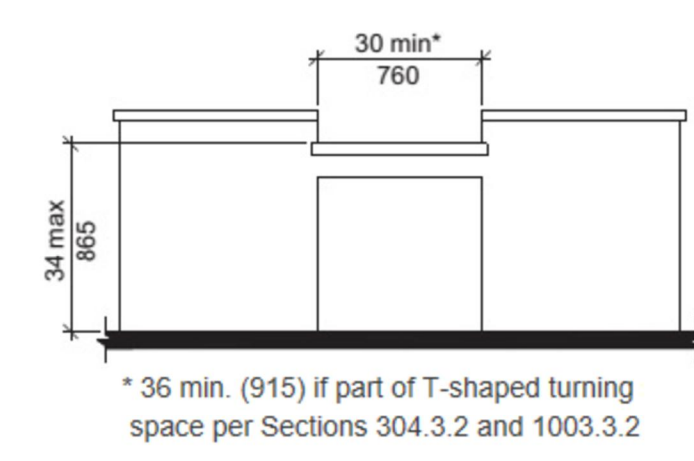
F ROLL-IN SHOWER CLEARANCES TYPE A UNITS (Section 1103)
NO SCALE



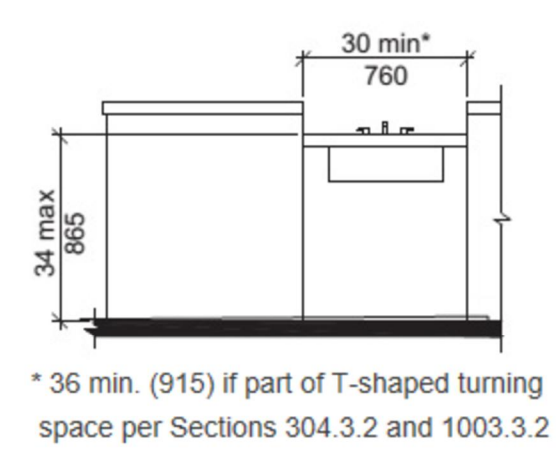
E BATHTUB CLEARANCES TYPE A UNITS (Section 1003)
NO SCALE



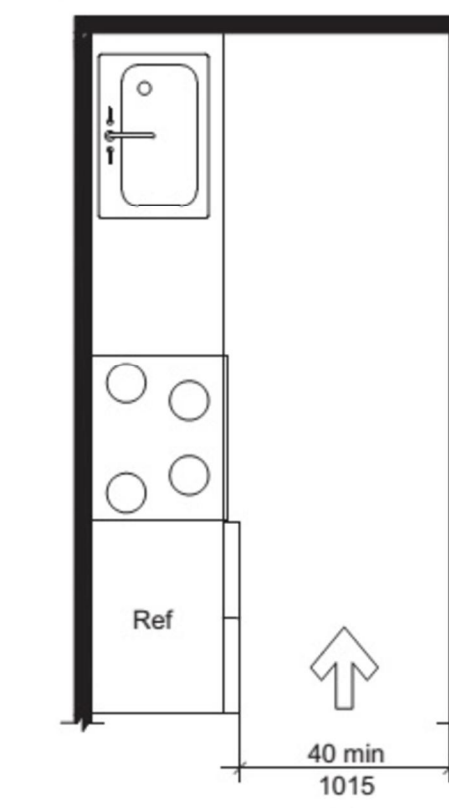
D WATER CLOSET CLEARANCES TYPE A UNITS (Section 1103)
NO SCALE



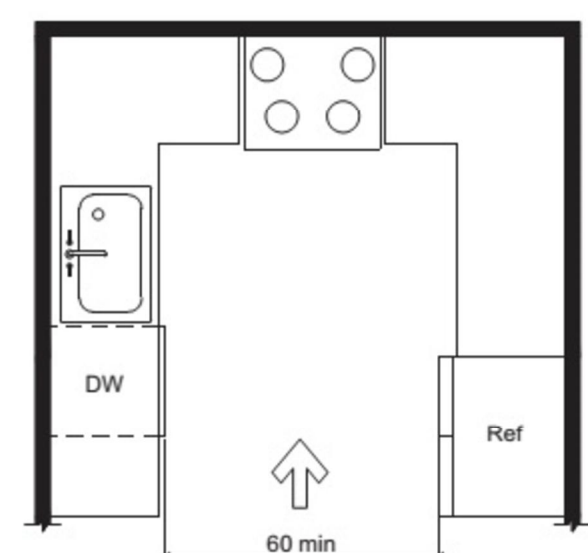
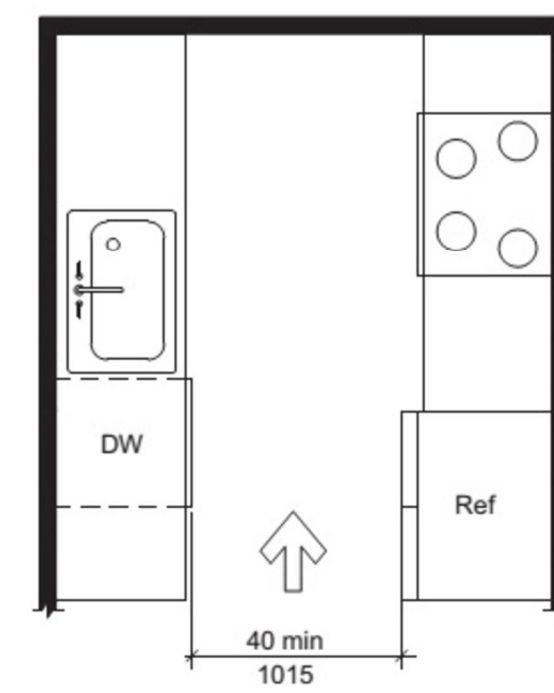
C WORK SURFACE - TYPE A UNITS (Section 1103)
NO SCALE



B KITCHEN SINK - TYPE A UNITS (Section 1103)
NO SCALE

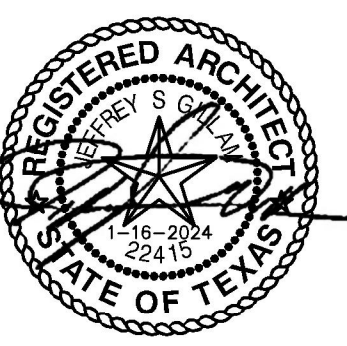


A MIN KITCHEN CLEARANCE - TYPE A UNITS (Section 1103)
NO SCALE



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DATE: 1-16-2024
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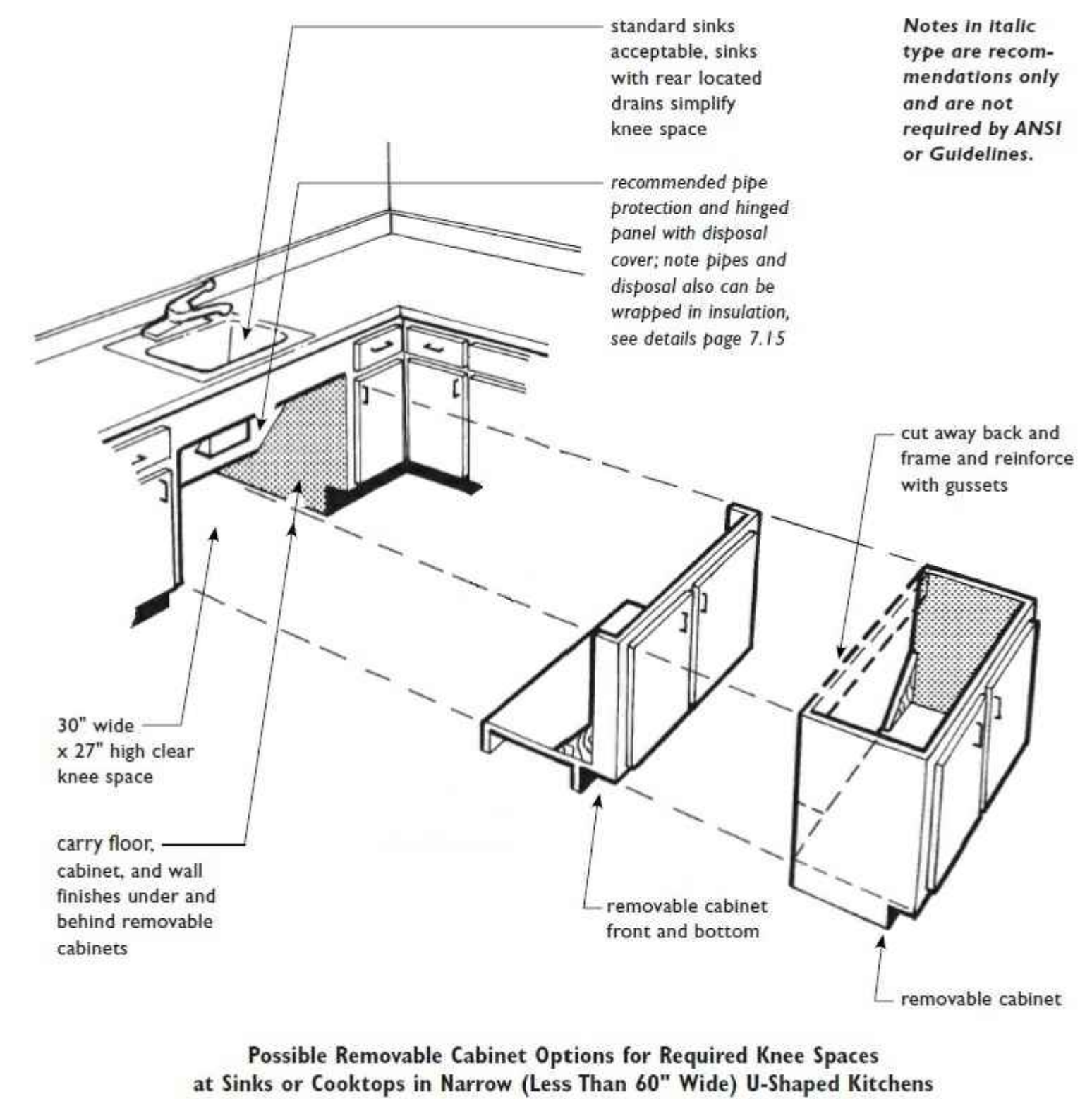
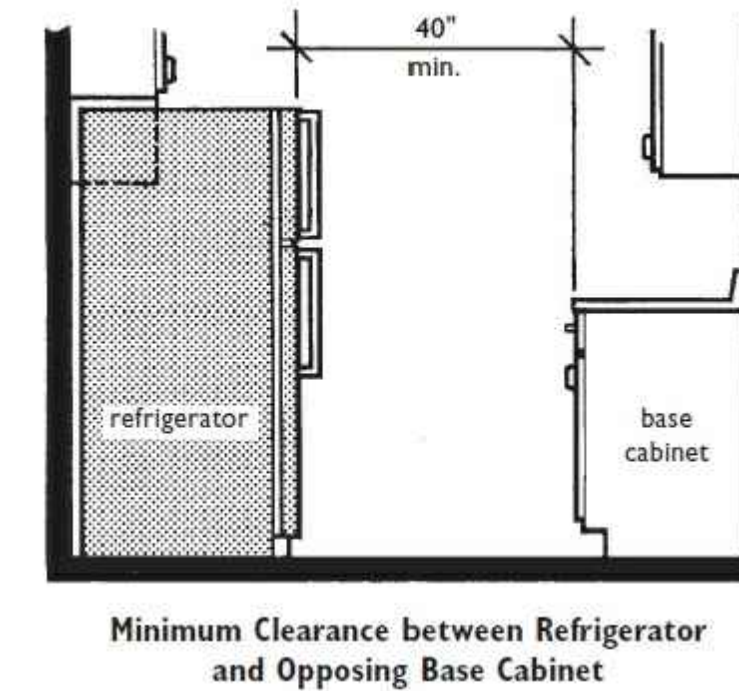
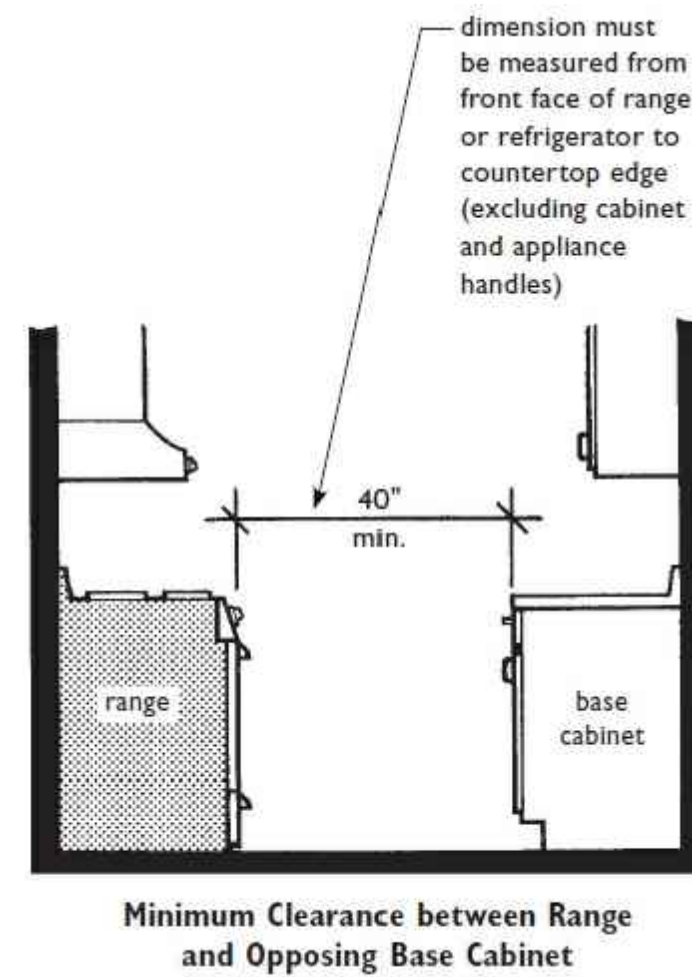
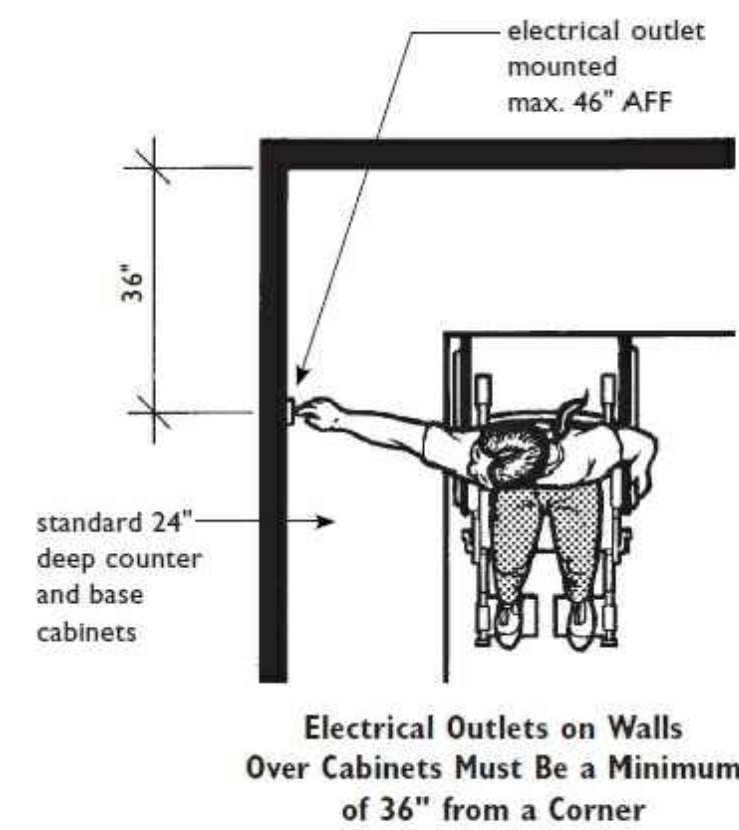
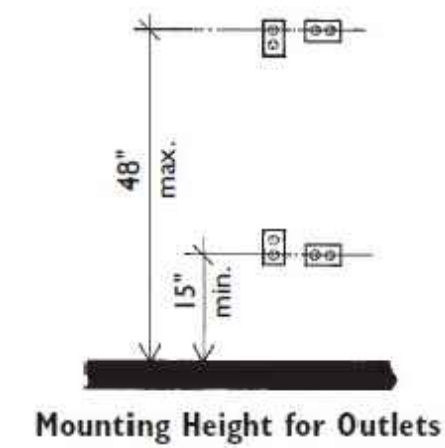
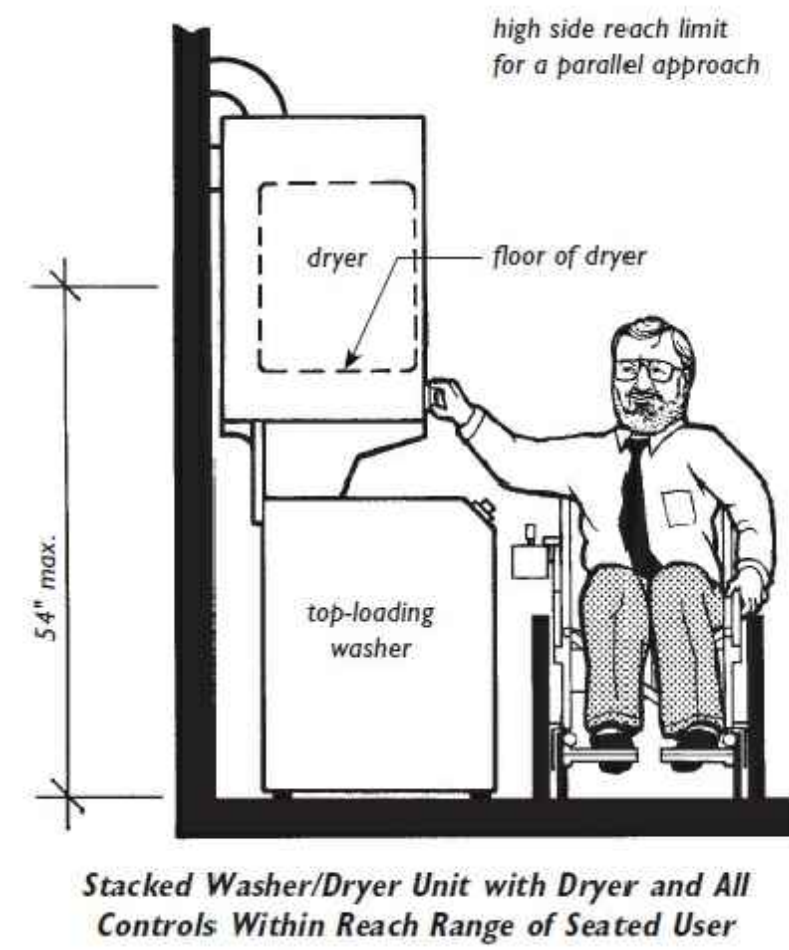
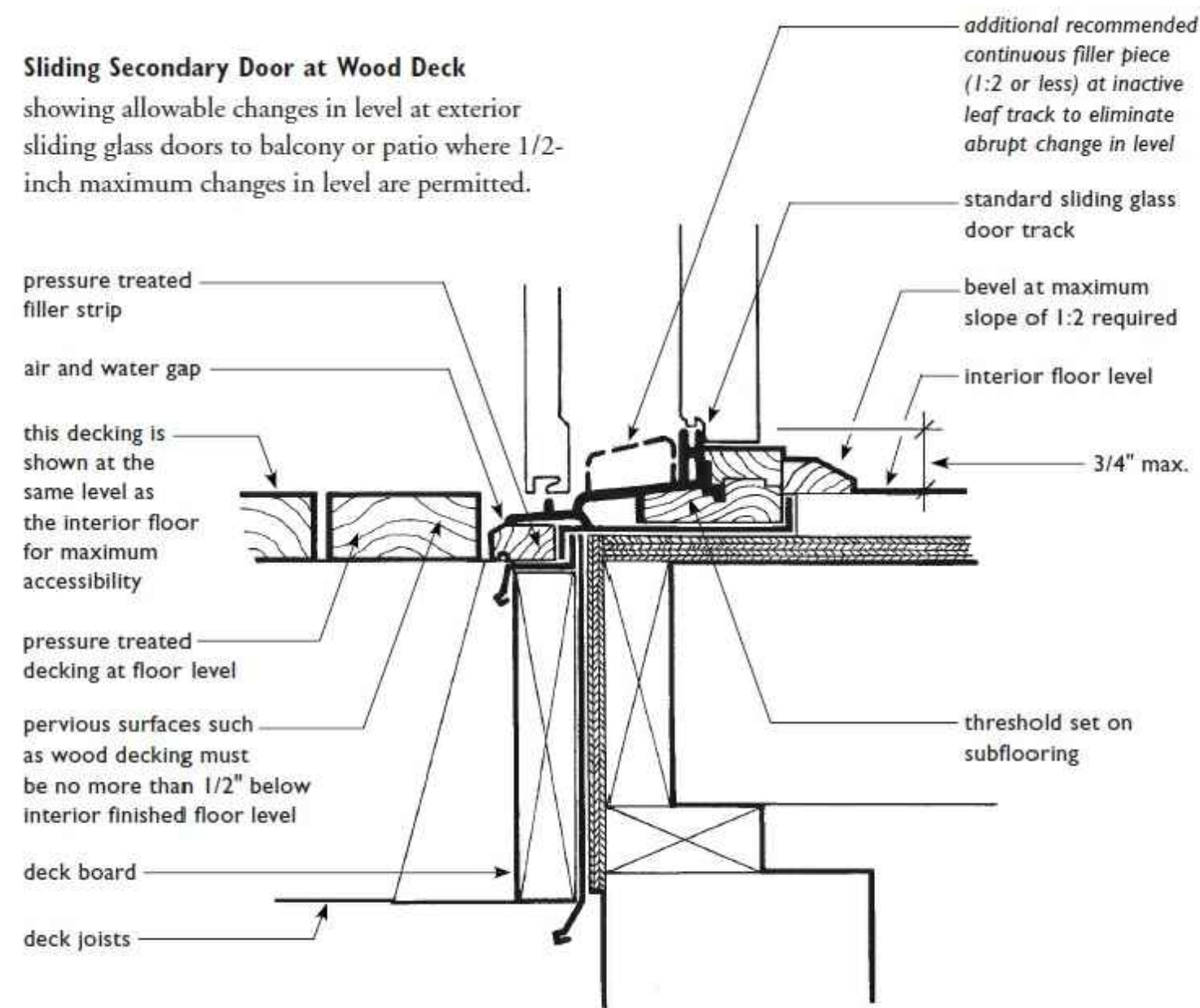
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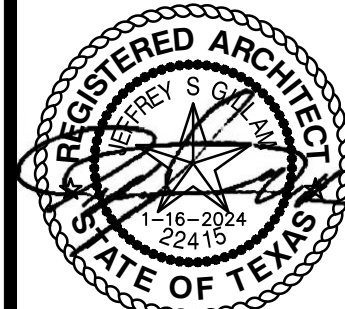


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Sliding Secondary Door at Wood Deck
showing allowable changes in level at exterior sliding glass doors to balcony or patio where 1/2-inch maximum changes in level are permitted.



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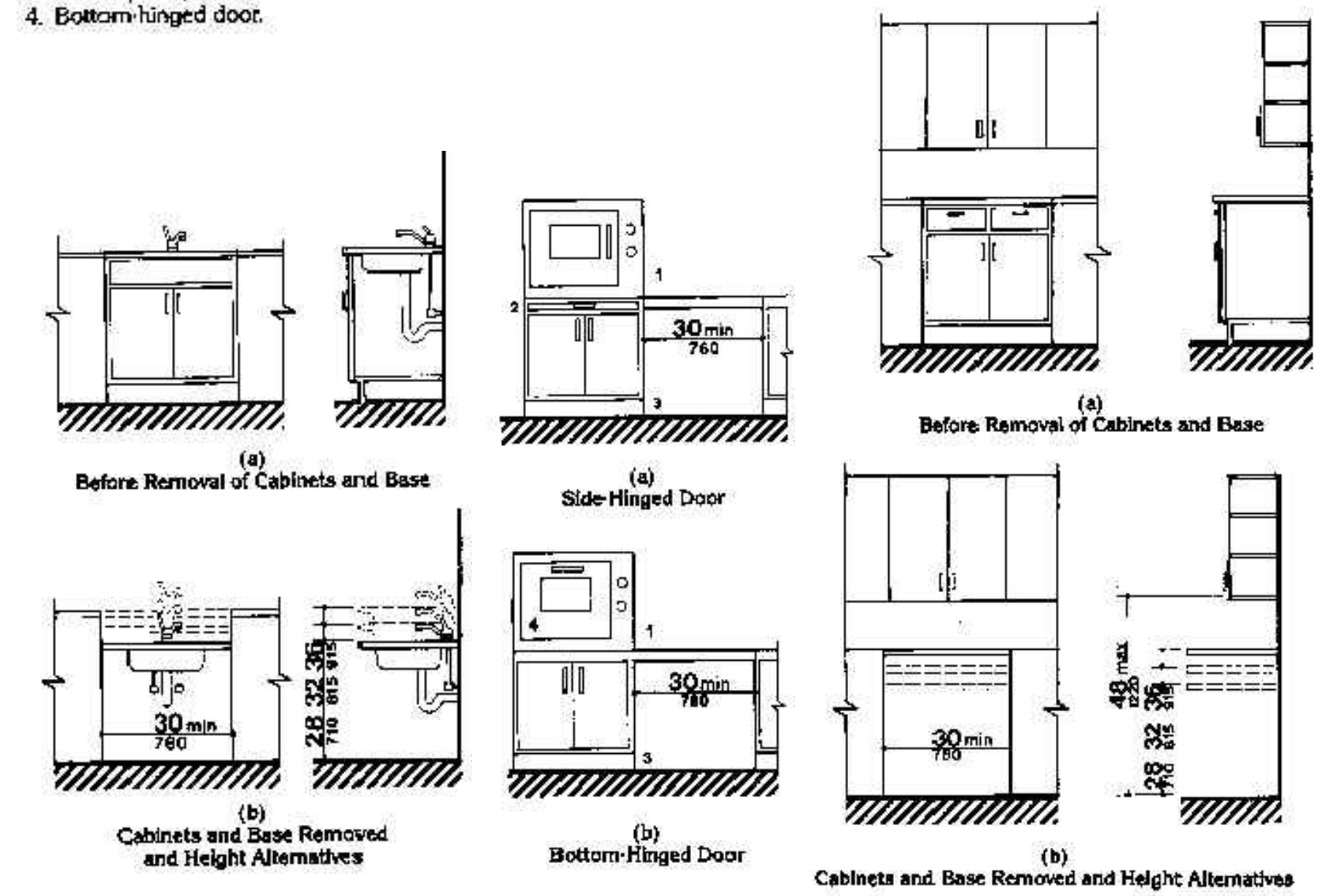


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JOB: 22-3281
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- SYMBOL KEY:
1. Countertop or wall-mounted oven.
 2. Pull out board preferred with side-opening door.
 3. Clear open space.
 4. Bottom-hinged door.



G STANDARD UFAS KITCHEN DIAGRAMS
NO SCALE

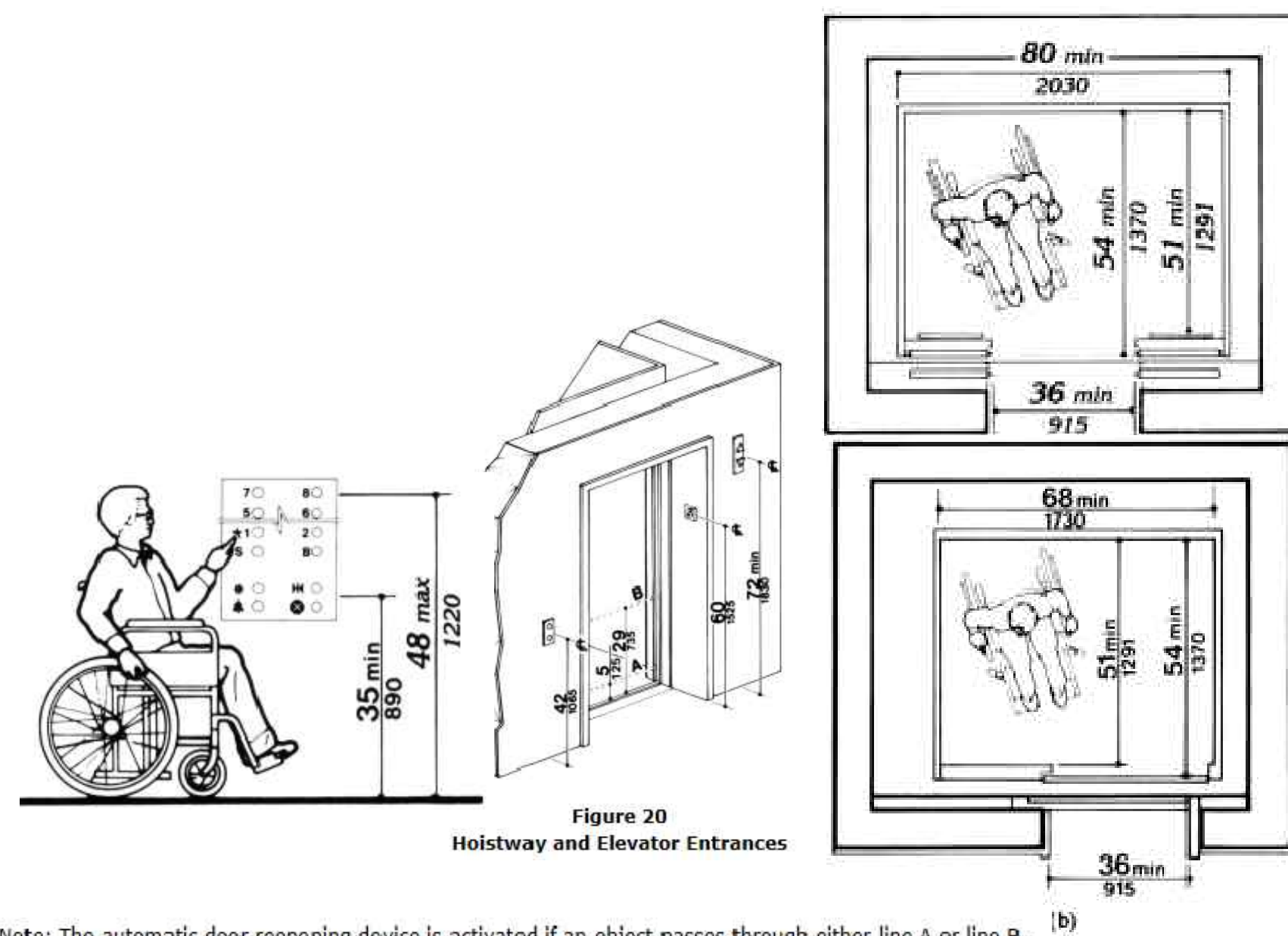


Figure 20
Hoistway and Elevator Entrances

Note: The automatic door reopening device is activated if an object passes through either line A or line B. Line A and line B represent the vertical locations of the door reopening device not requiring contact.

F STANDARD UFAS ELEVATOR DETAILS
NO SCALE

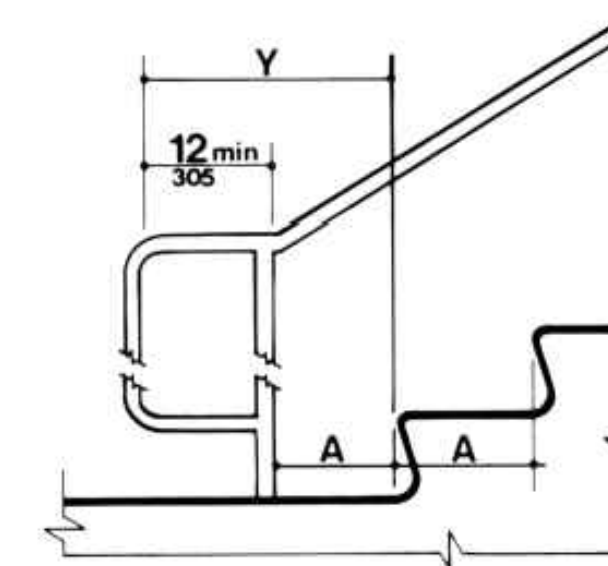


Figure 19(c)
Stair Handrails - Extension at Bottom of Run

Note: X is the 12 in minimum handrail extension required at each top riser. Y is the minimum handrail extension of 12 in plus the width of one tread that is required at each bottom riser.

E STANDARD UFAS HANDRAILS
NO SCALE

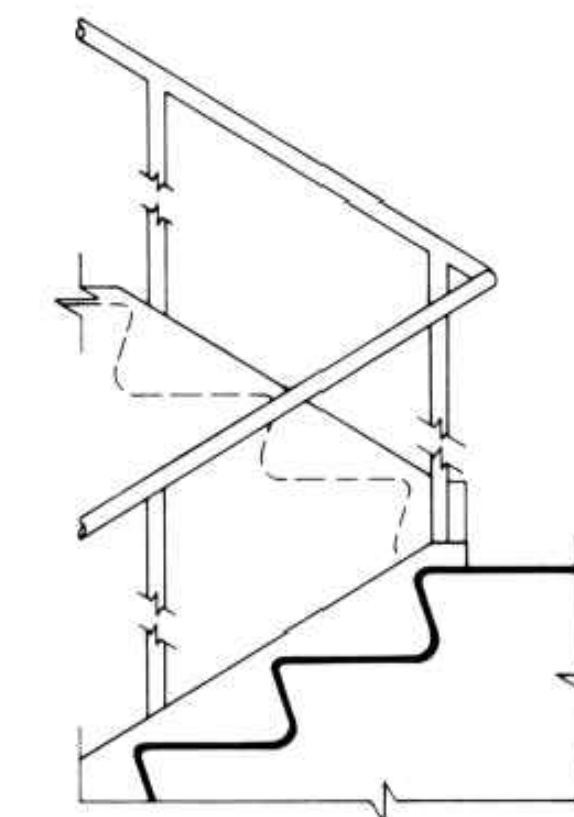
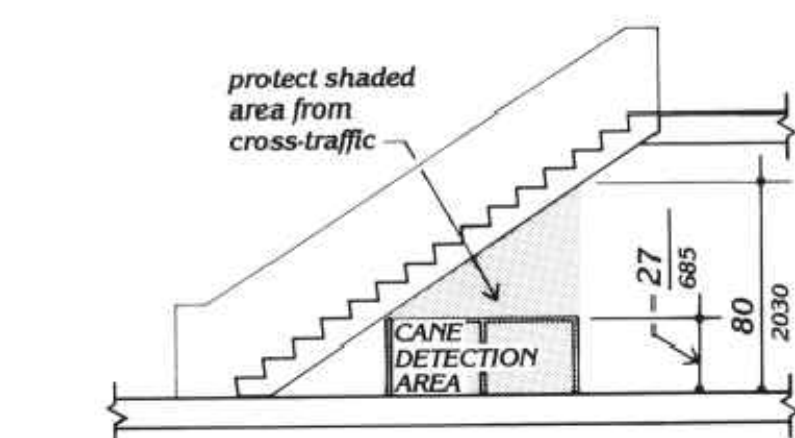
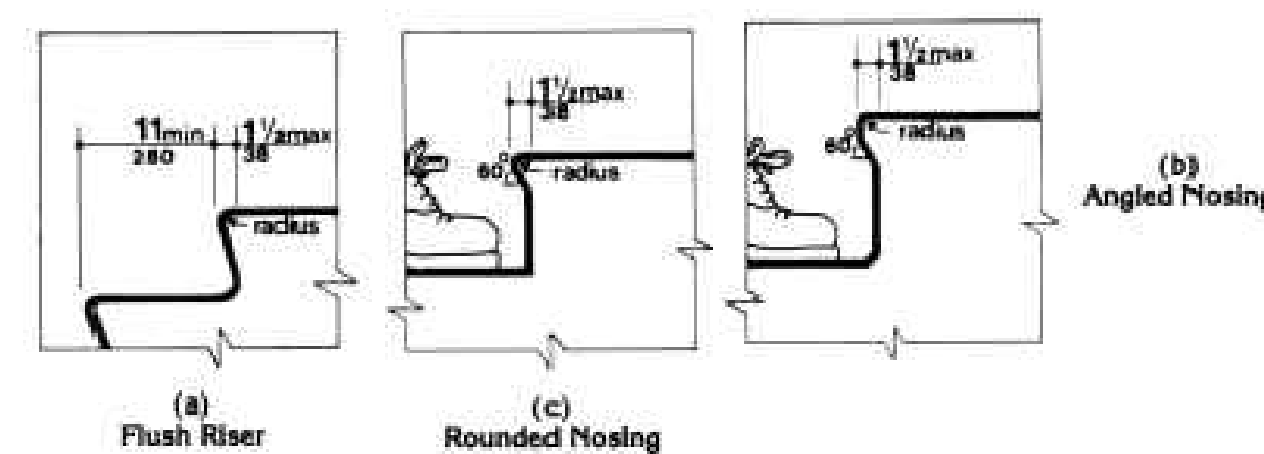


Figure 19(d)
Stair Handrails - Extension at Top of Run

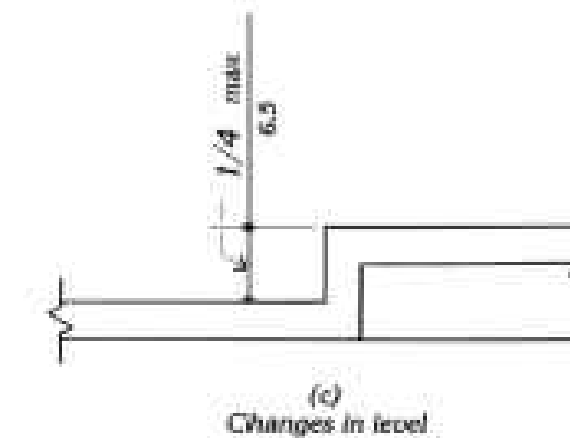
Note: X is the 12 in minimum handrail extension required at each top riser. Y is the minimum handrail extension of 12 in plus the width of one tread that is required at each bottom riser.



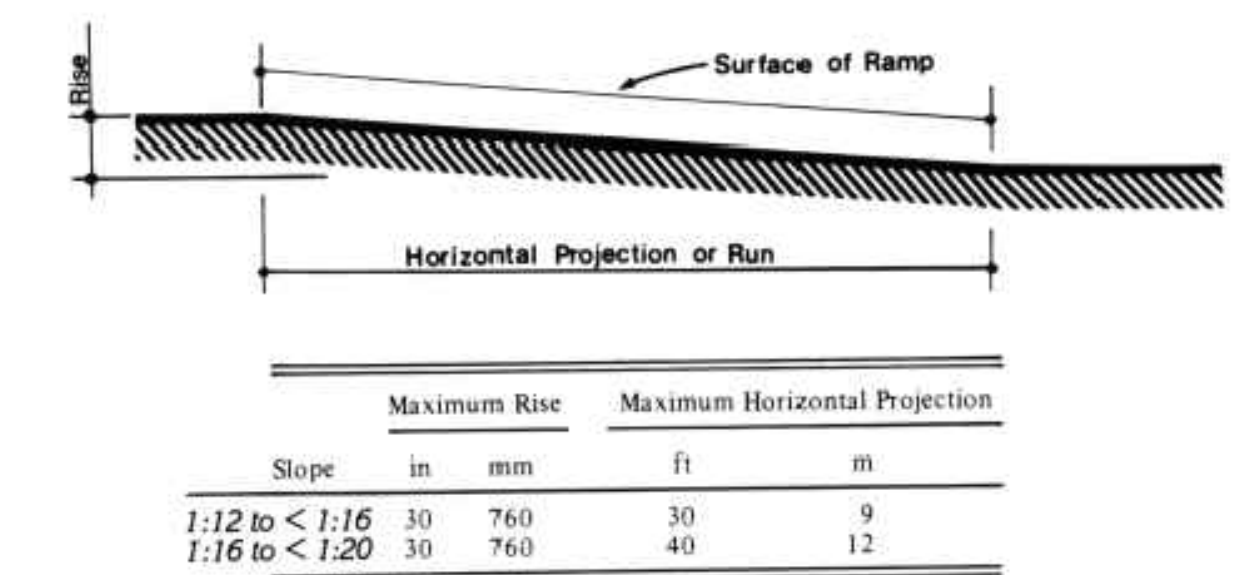
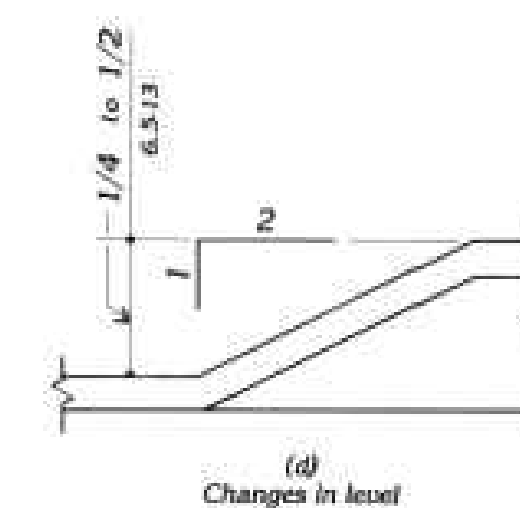
D GENERAL UFAS DIAGRAM
NO SCALE



C STAIR NOSINGS
NO SCALE



B UFAS CHANGE IN LEVEL DIAGRAM
NO SCALE



A SLOPE AND RISE
NO SCALE

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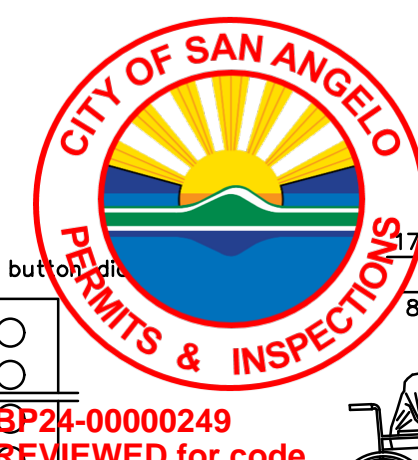
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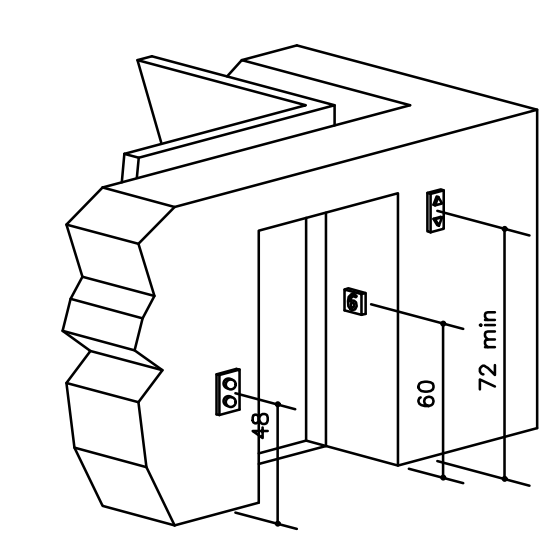
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JOB: 22-3281
SHEET NO.:

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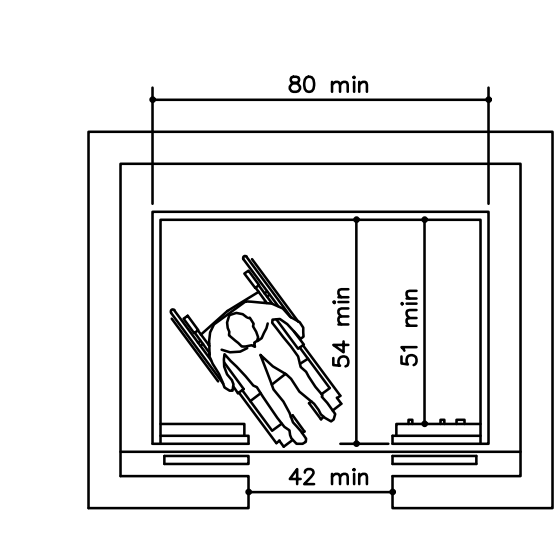
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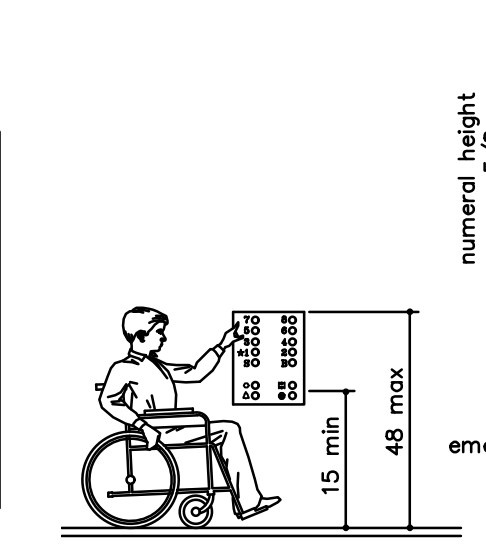
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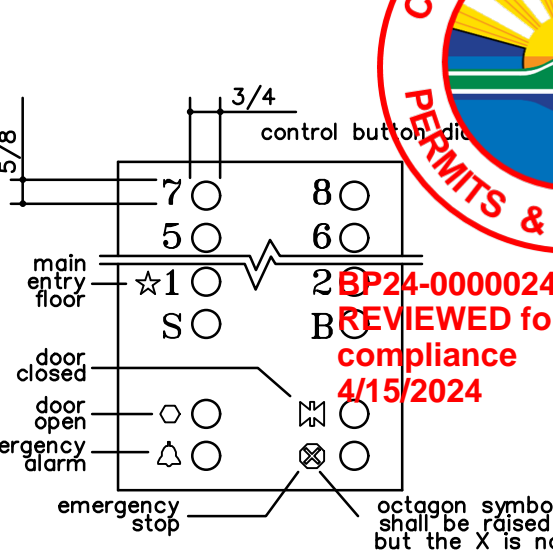
Hoistway and Elevator Entrances



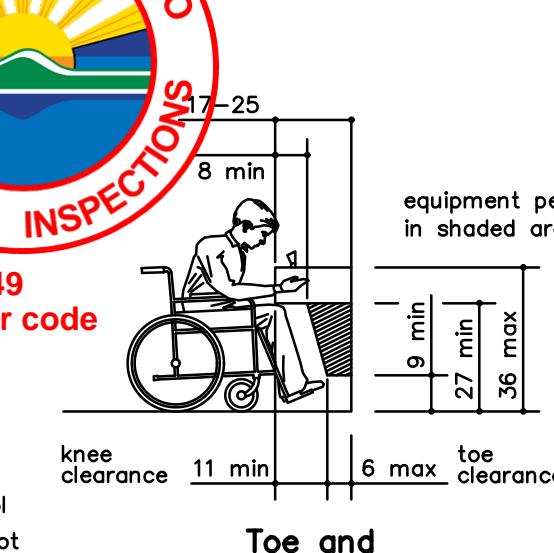
Minimum Dimensions for Elevator Car



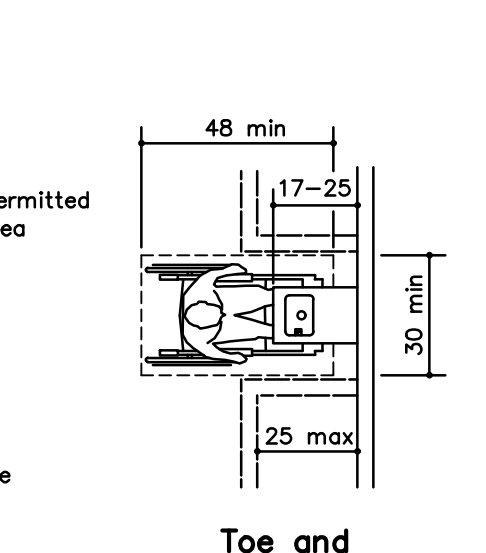
Car Control Height



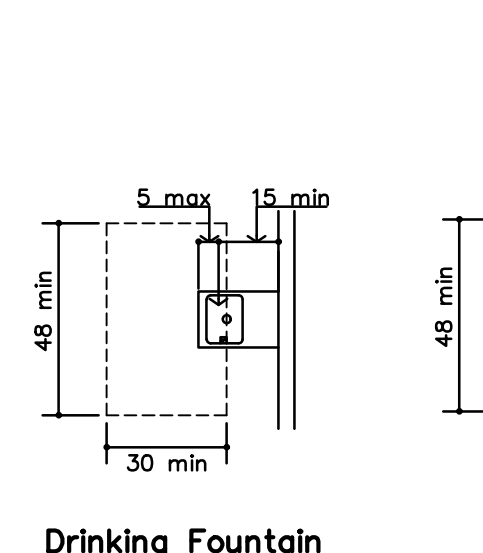
Panel Detail



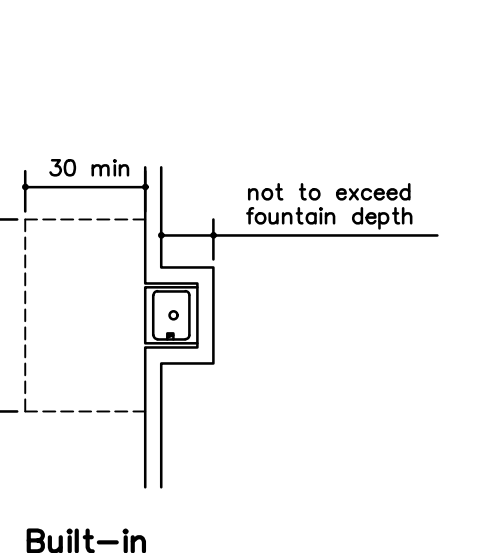
Toe and Knee Clearance Elevation



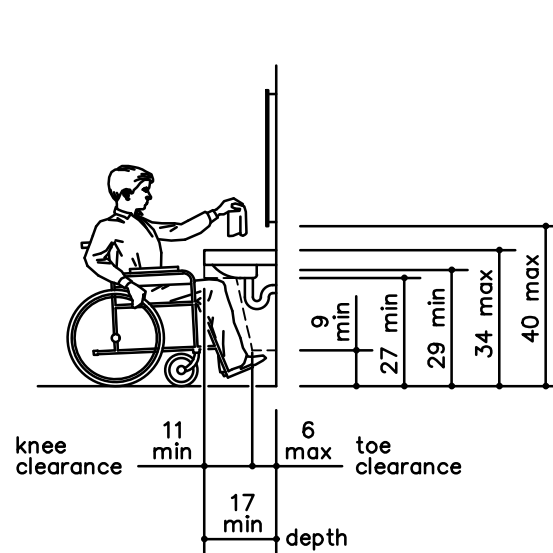
Toe and Knee Clearance Plan



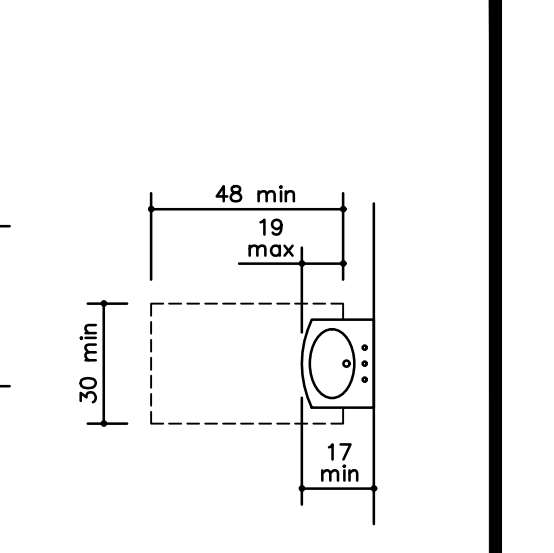
Drinking Fountain Spout Location



Built-in Fountain or Cooler



Lavatory Clearances at Lavatories

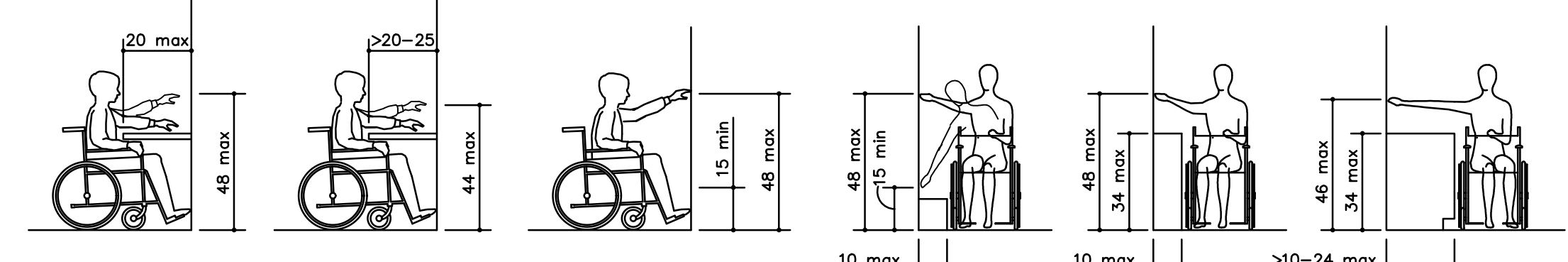


Clear Floor Space at Lavatories

M STANDARD ELEVATOR DIAGRAMS

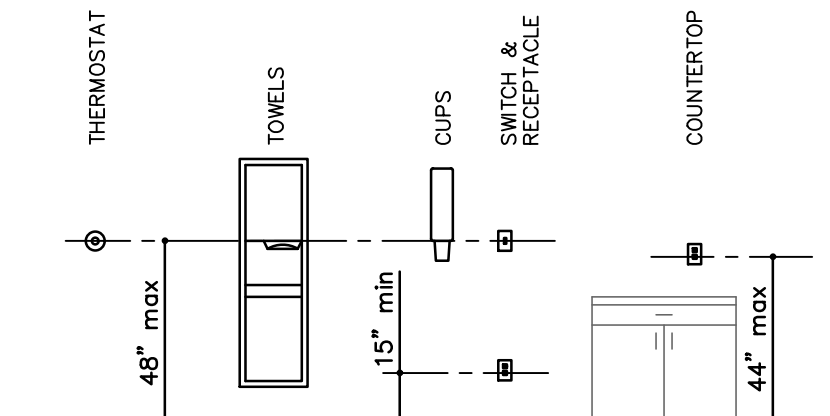
L STANDARD DRINKING FOUNTAIN DETAILS

K STANDARD LAVATORY DETAILS



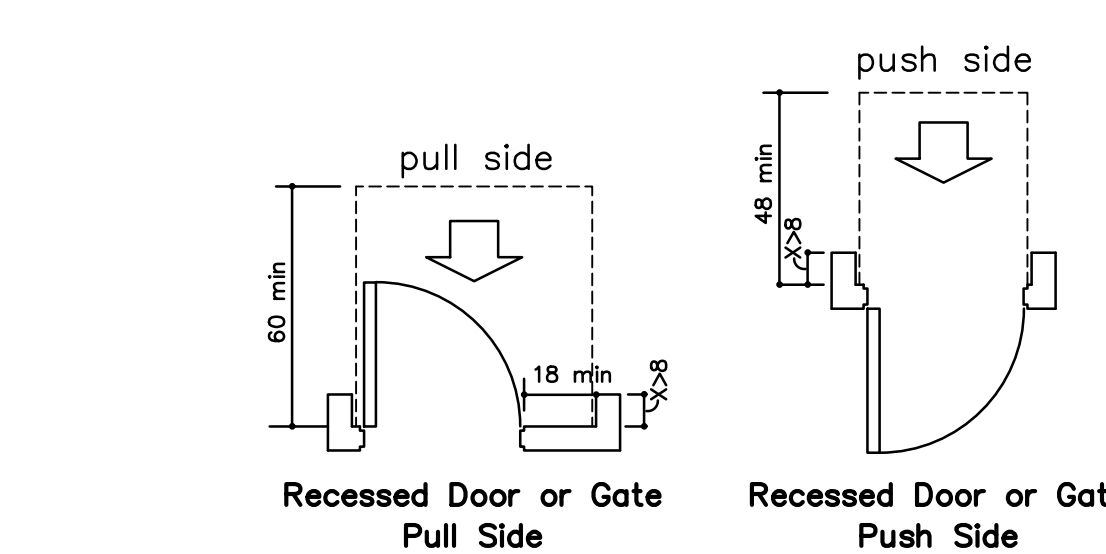
Obstructed High Forward Reach, Unobstructed Forward Reach, Unobstructed Side Reach, Obstructed High Side Reach

J STANDARD REACH TSA DIAGRAMS

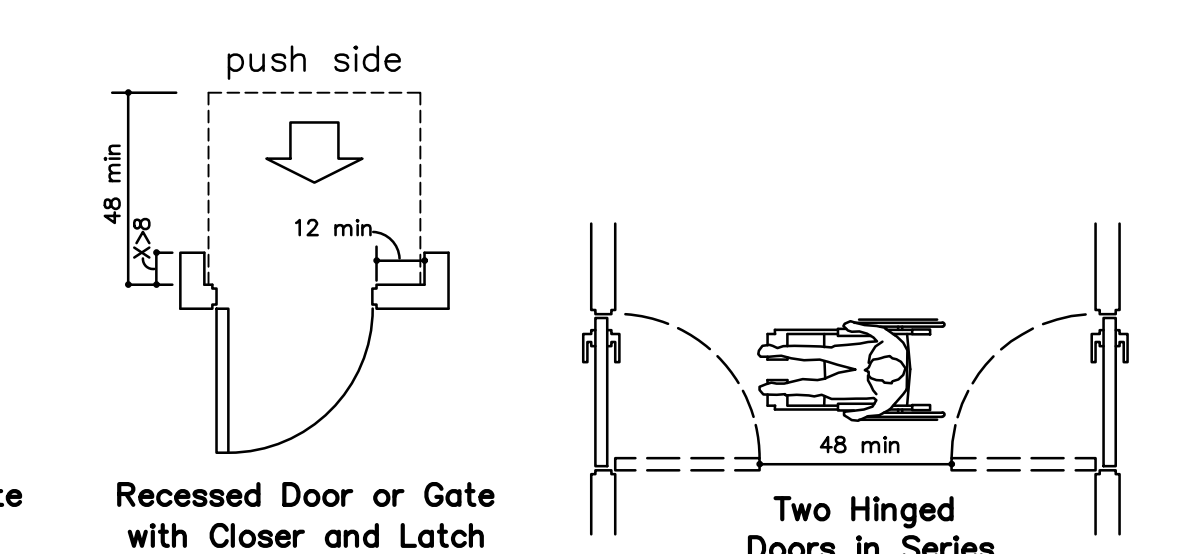


Standard Control Reach Limitations Details

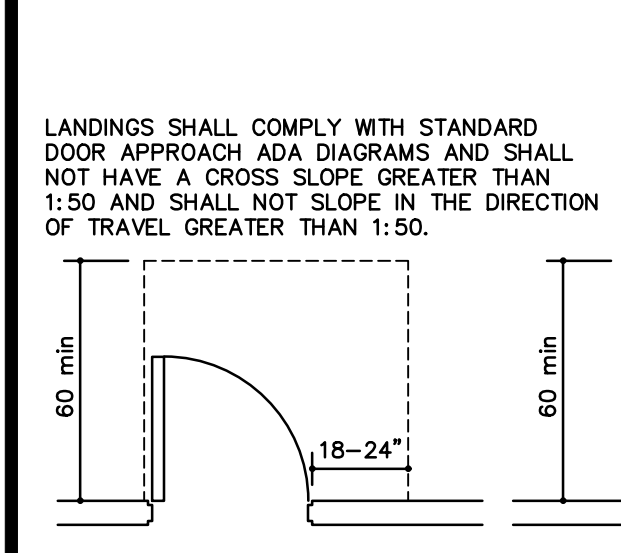
H STANDARD CONTROL REACH LIMITATIONS DETAILS



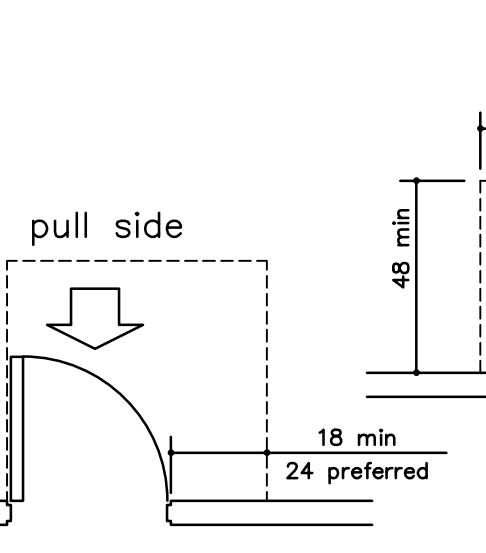
Recessed Door or Gate Pull Side, Recessed Door or Gate Push Side



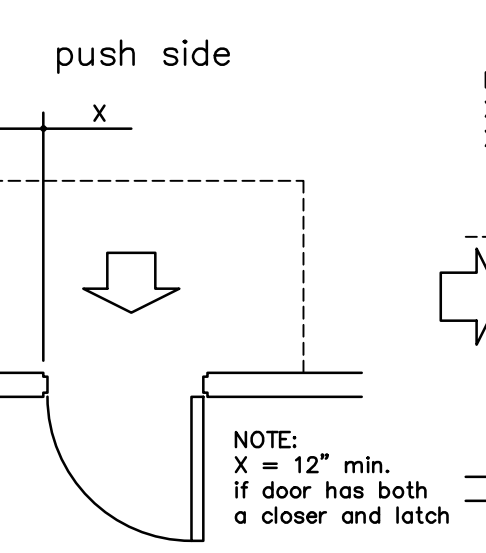
Recessed Door or Gate with Closer and Latch, Two Hinged Doors in Series



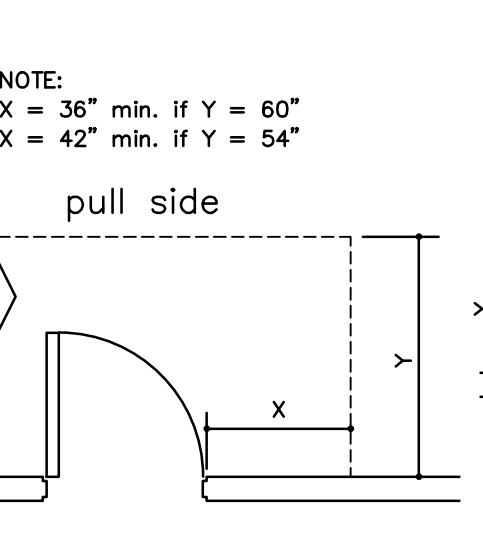
Exterior Landing



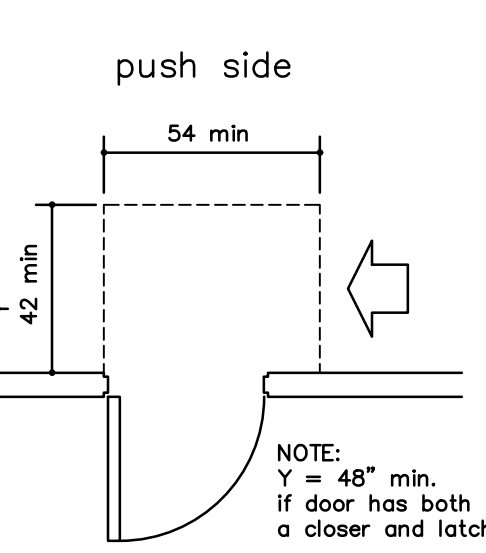
Front Approach - Swinging Door



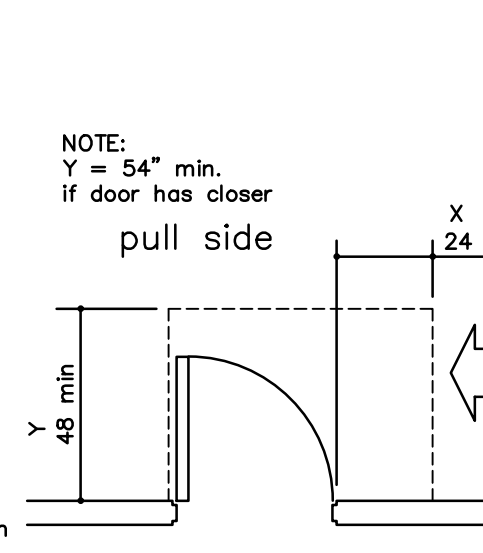
Front Approach - Swinging Door



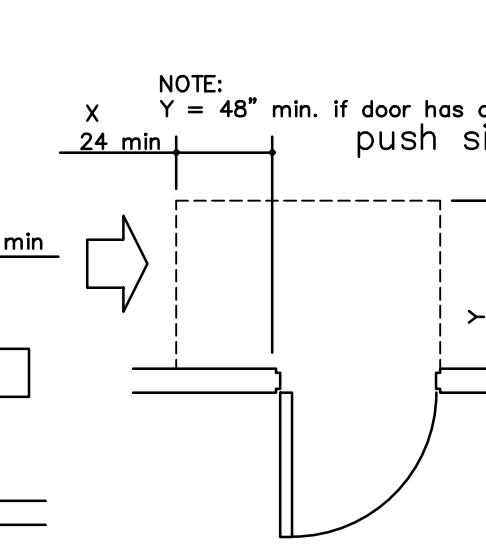
Hinge Side Approach - Swinging Door



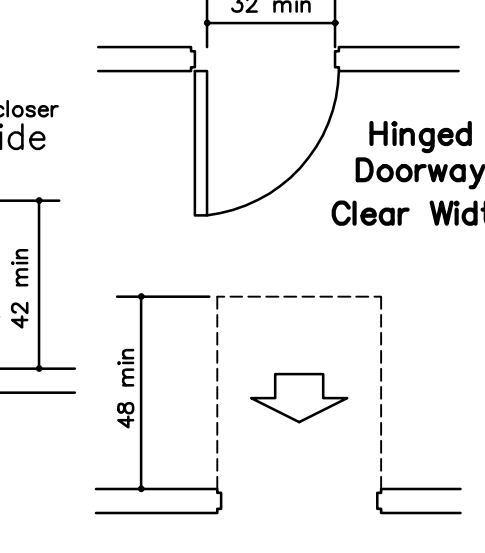
Side Approach - Swinging Door



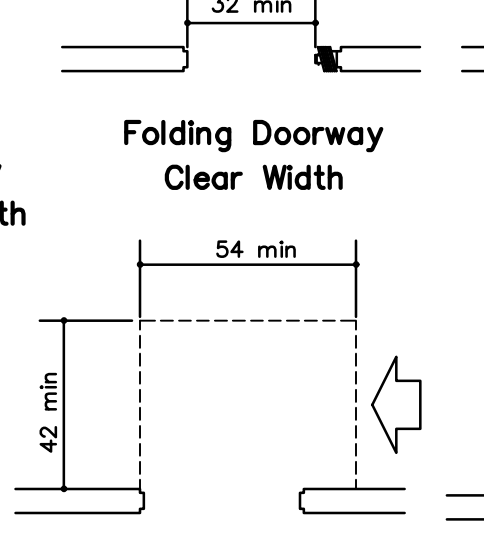
Latch Side Approach Swinging Door



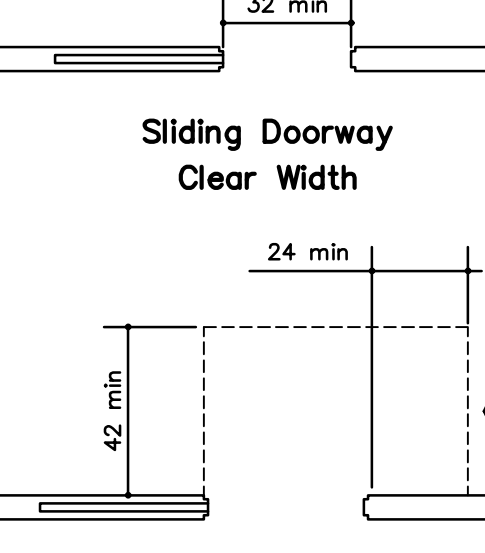
Latch Side Approach Swinging Door



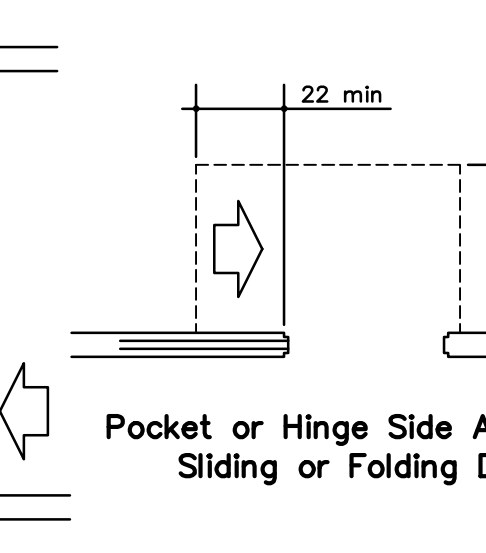
Front Approach - Sliding or Folding Doors



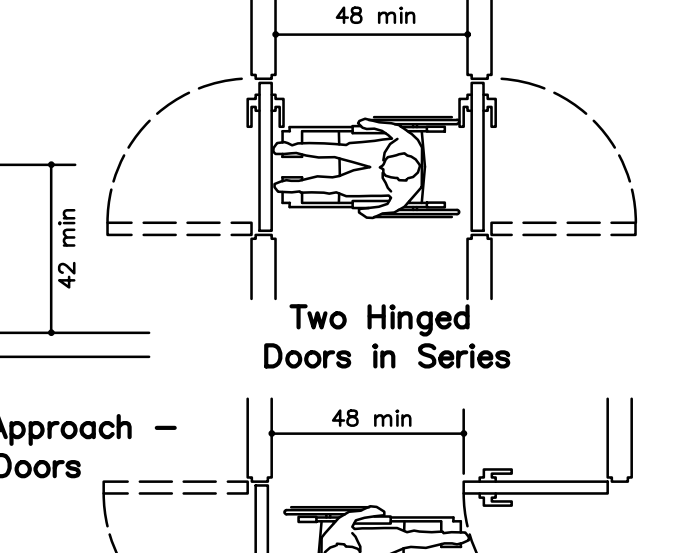
Side Approach - Sliding or Folding Doors



Stop or Latch Side Approach - Sliding or Folding Doors

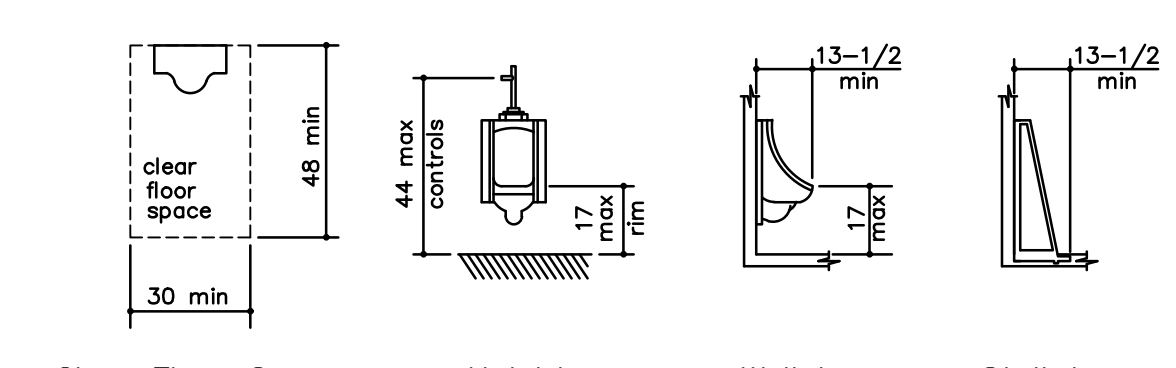


Pocket or Hinge Side Approach - Sliding or Folding Doors

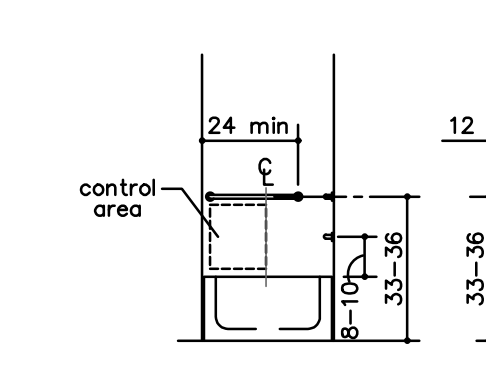


Two Hinged Doors in Series

G STANDARD DOOR APPROACH DIAGRAMS

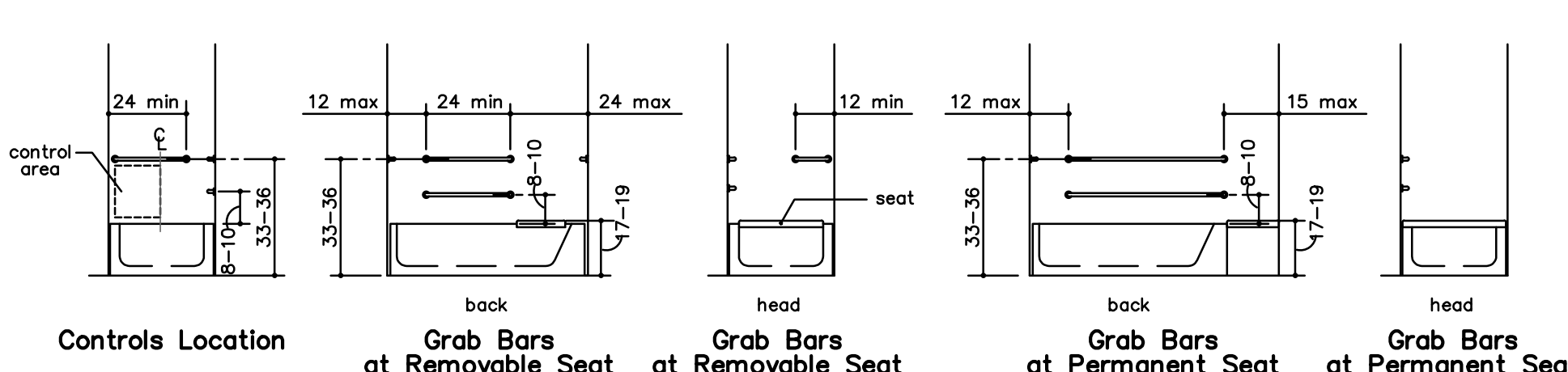


Clear Floor Space at Urinal, Heights at Urinal



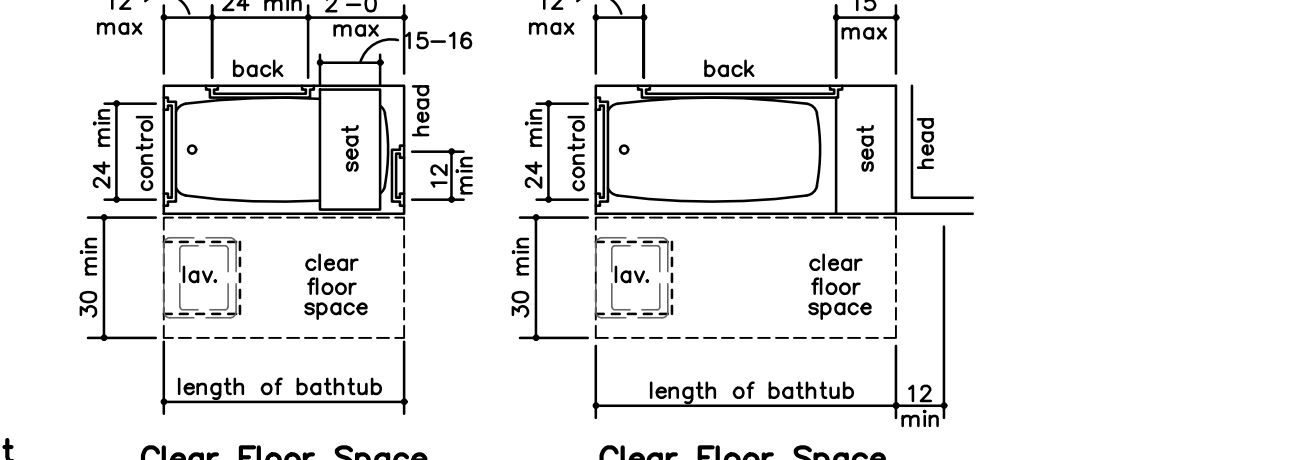
Wall hung type, Stall type

F STANDARD URINAL DIAGRAMS

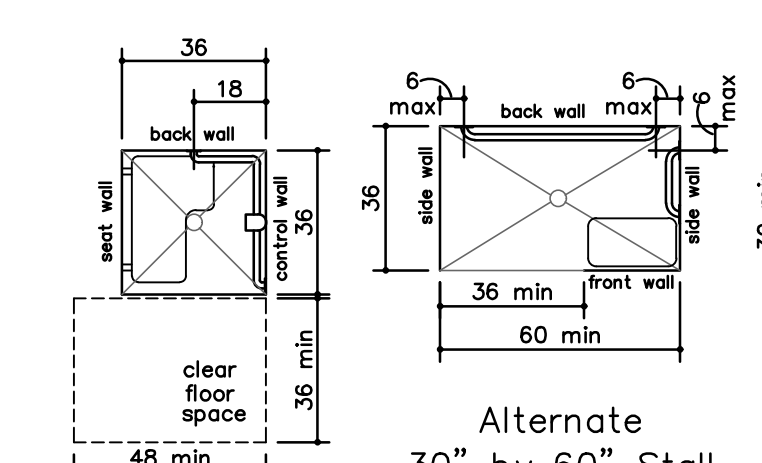


Controls Location, Grab Bars at Removable Seat

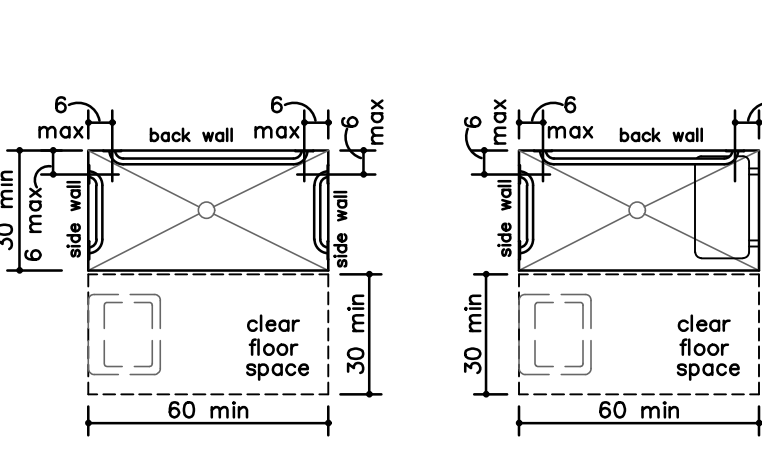
E STANDARD BATHROOM/TUB DIAGRAMS



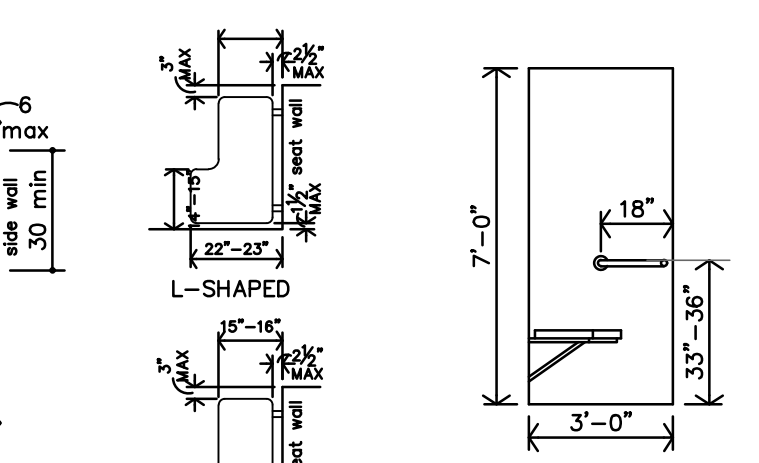
Clear Floor Space at Bathtub With Removable Seat, Clear Floor Space at Bathtub With Permanent Seat



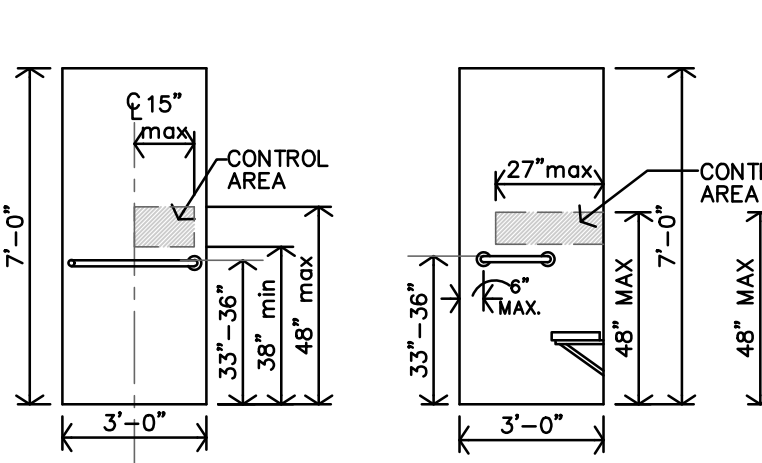
36" by 36" Stall Shower Size and Clearances



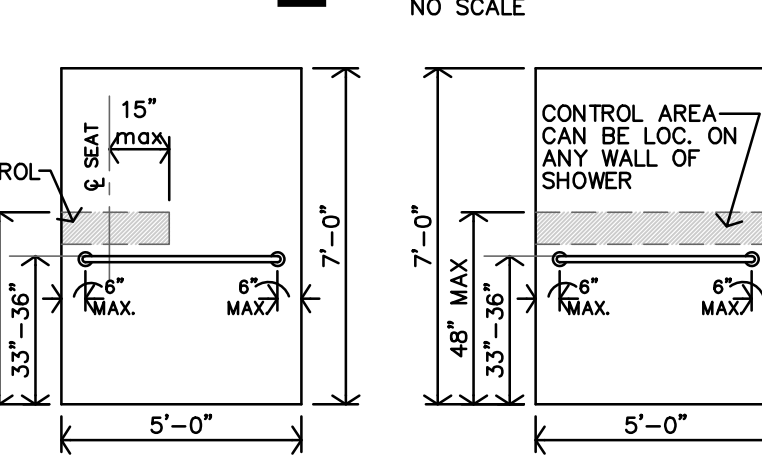
Alternate Roll in 30" by 60" Stall



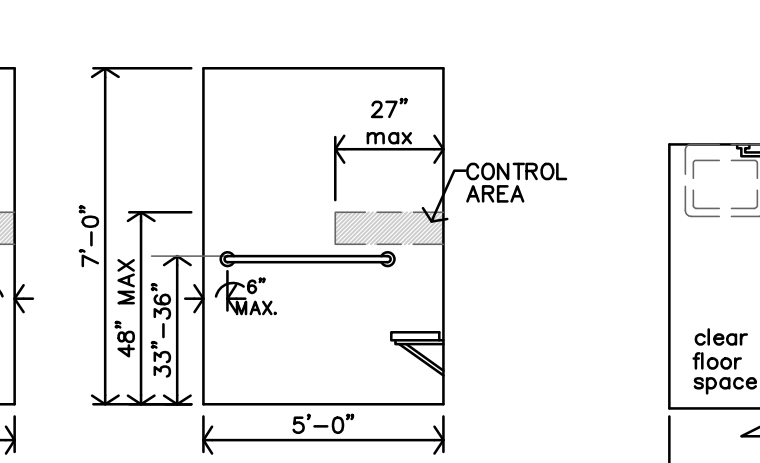
Standard Roll in 30" by 60" Stall



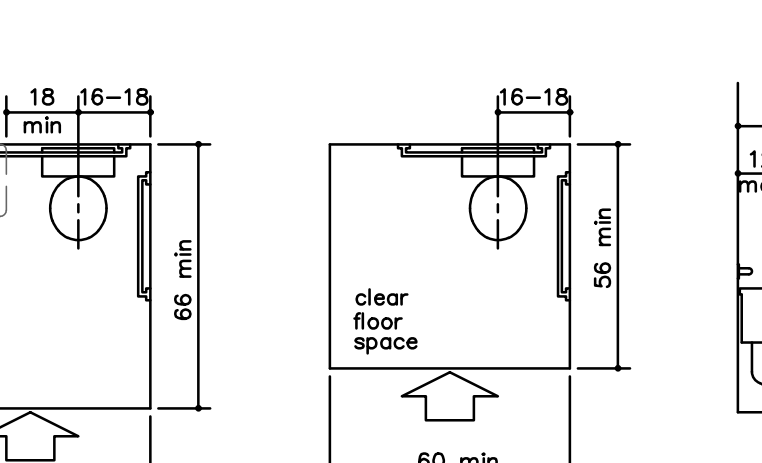
Grab bars at Shower Stall



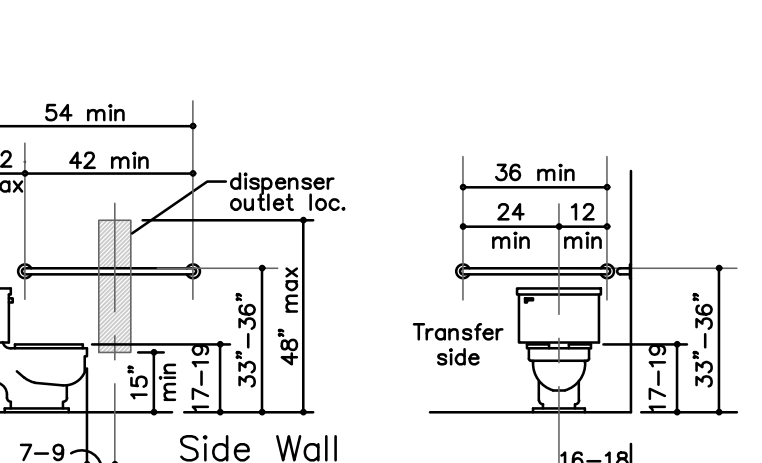
Alternate 30" by 60" Stall Grab bars at Shower Stall



30" by 60" Stall Grab bars at Shower Stall

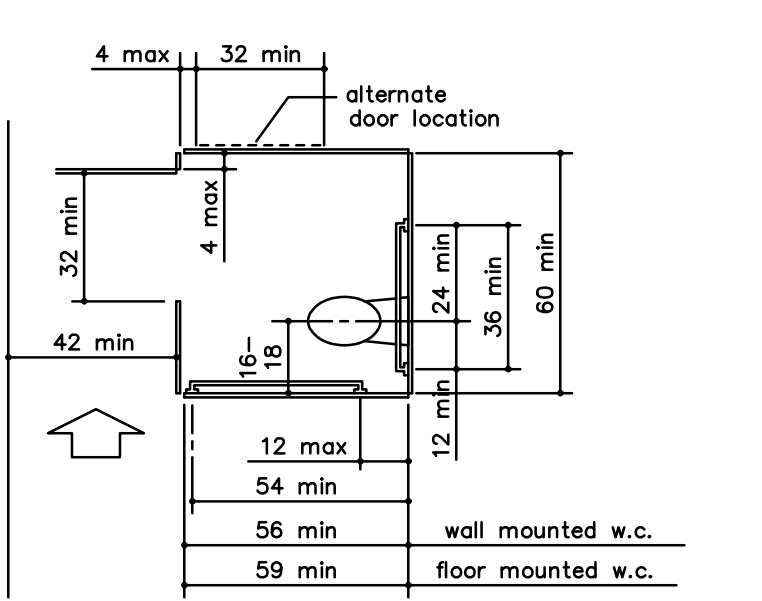


Overlap of Water Closet Clearance in Residential Dwelling Units (Exception)

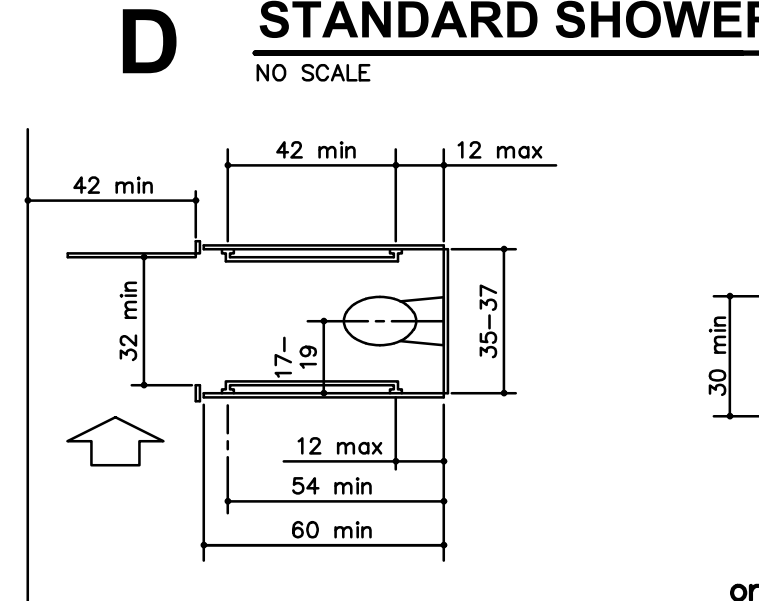


Clear Floor Space at Water Closet, Grab Bars at Water Closets

D STANDARD SHOWER DIAGRAMS

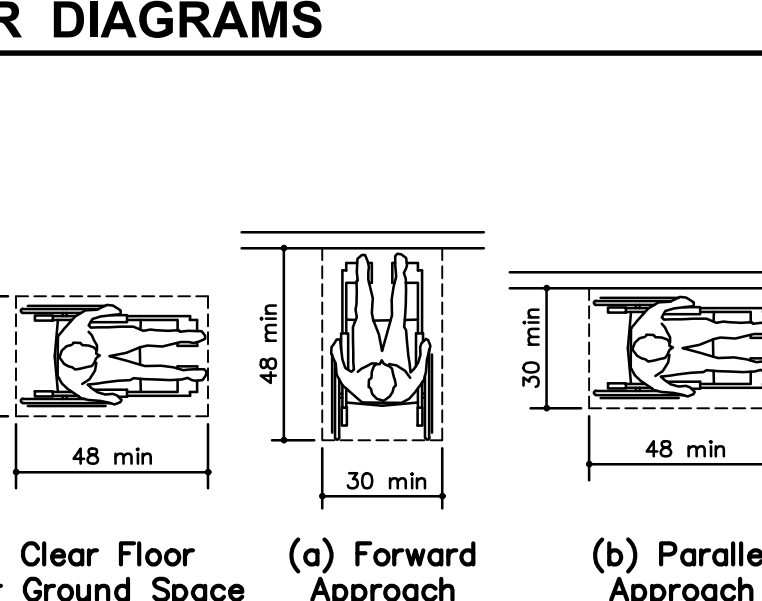


Wheelchair Accessible Toilet Stall

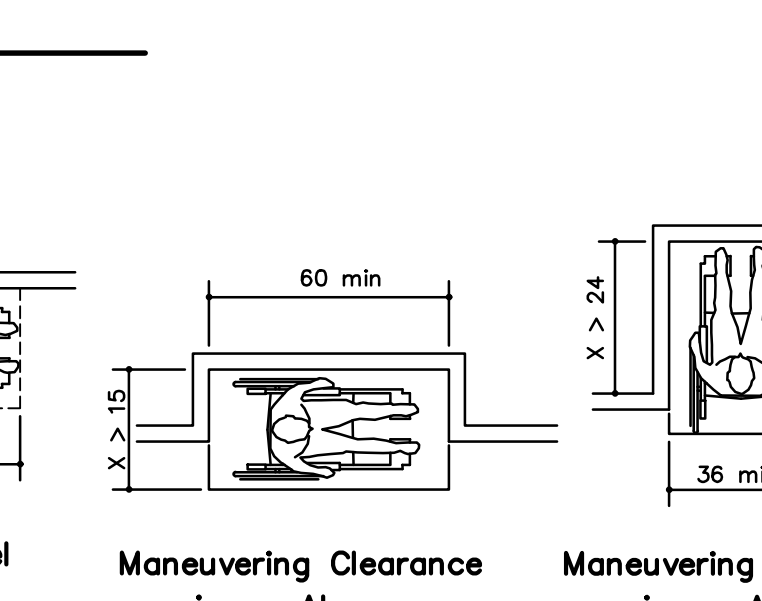


Ambulatory Accessible Toilet Stall

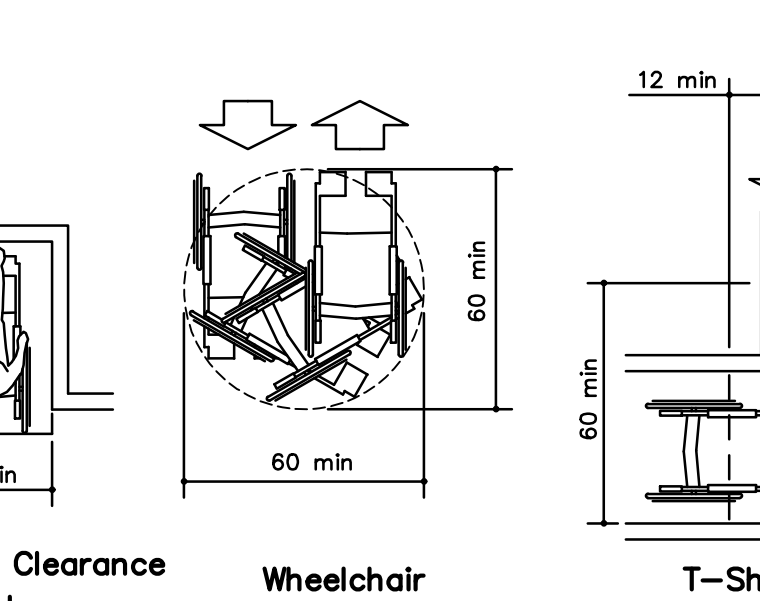
B STANDARD TOILET STALL DIAGRAMS



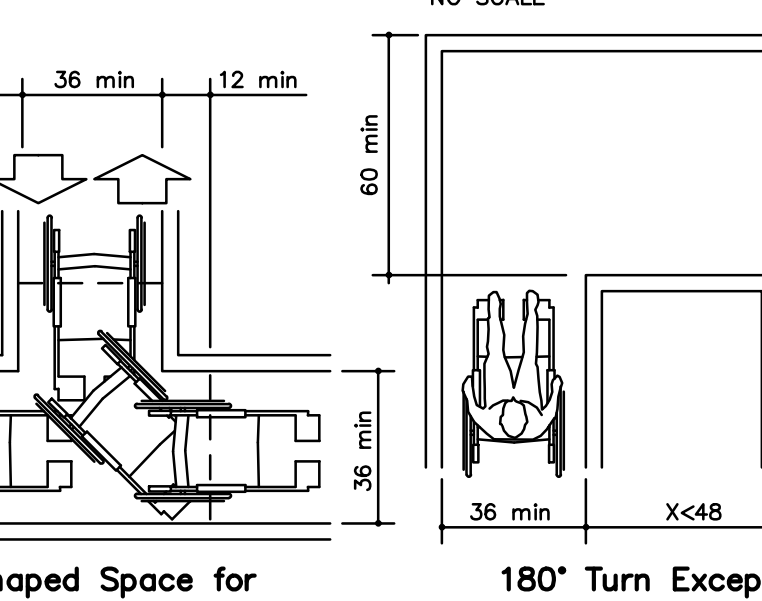
Clear Floor or Ground Space



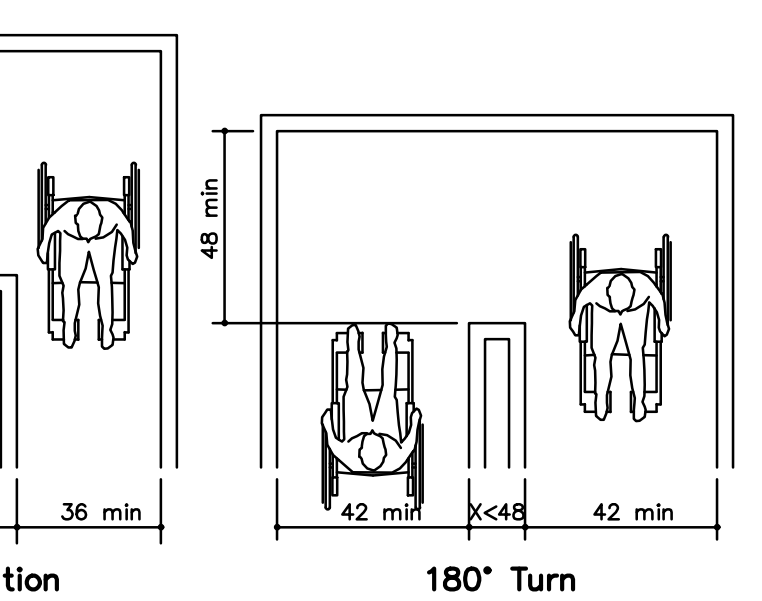
Maneuvering Clearance in an Alcove



Wheelchair Turning Space



T-Shaped Space for 180° Turns



180° Turn Exception, 180° Turn

A STANDARD DIAGRAMS

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ROOSEVELT LOFTS
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SAN ANGELO, TEXAS



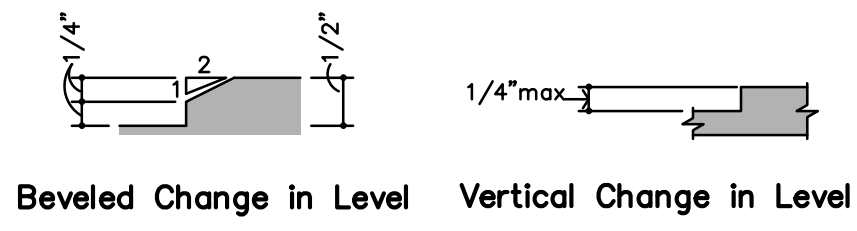
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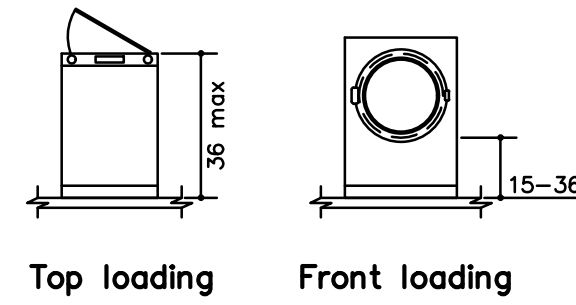
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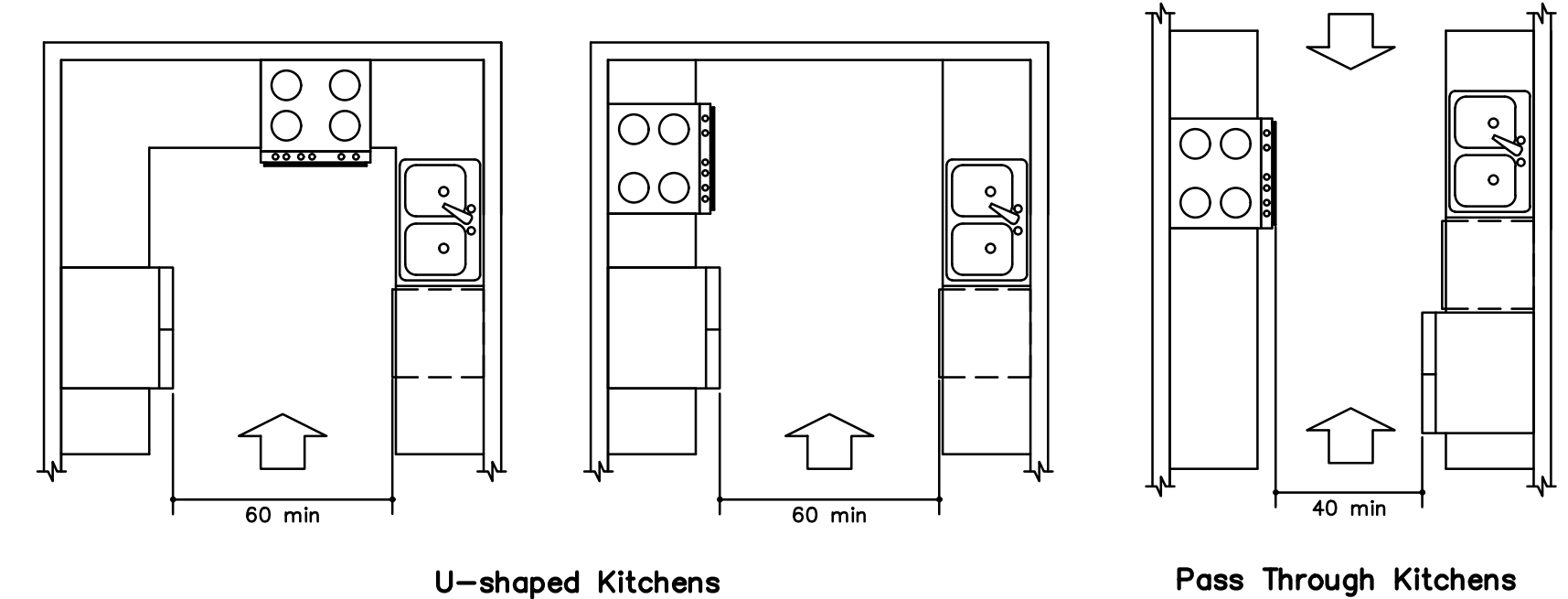
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REVIEWED for code
compliance
4/15/2024



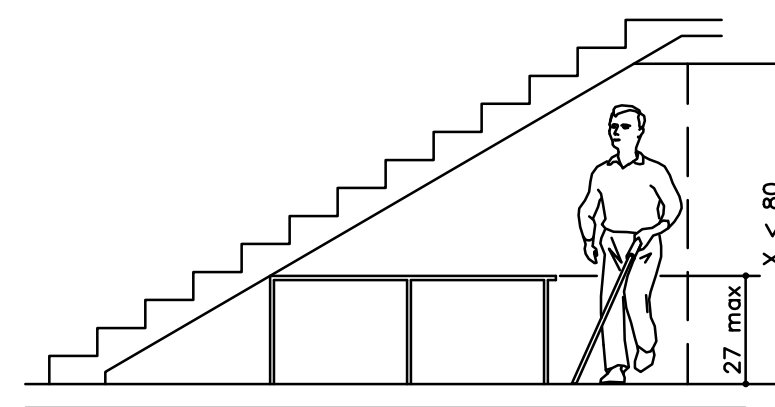
K THRESHOLD DIAGRAMS
NO SCALE



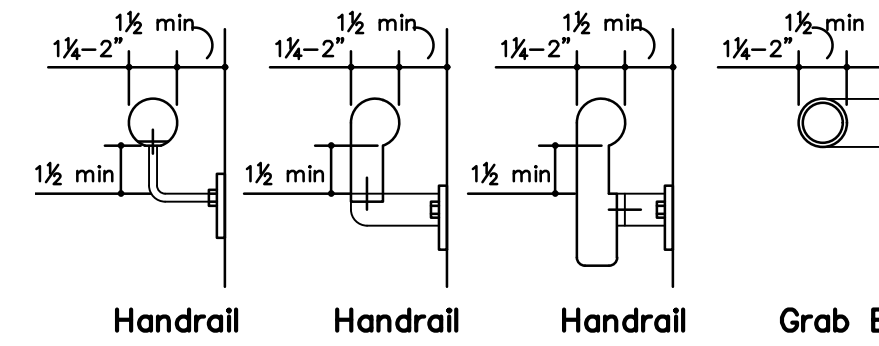
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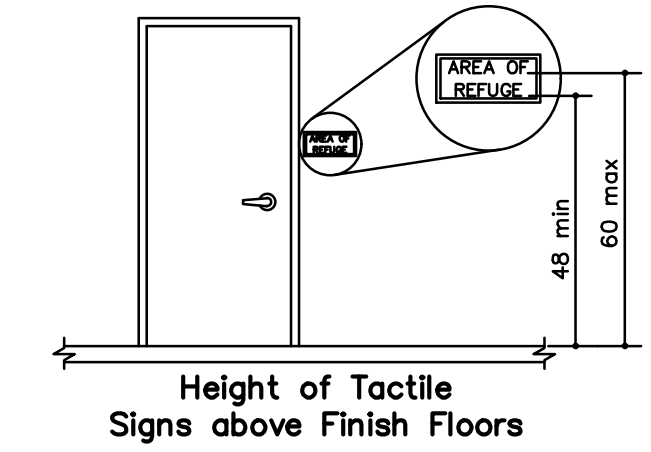
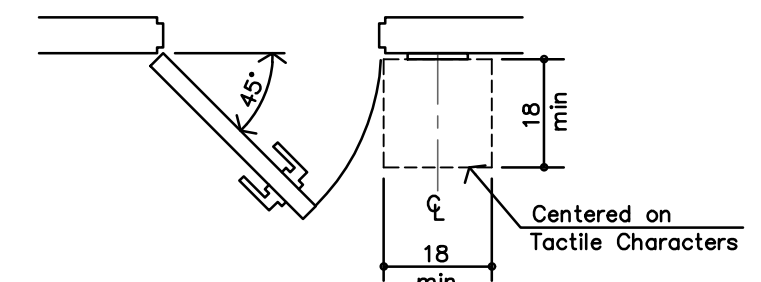
H KITCHENS
NO SCALE



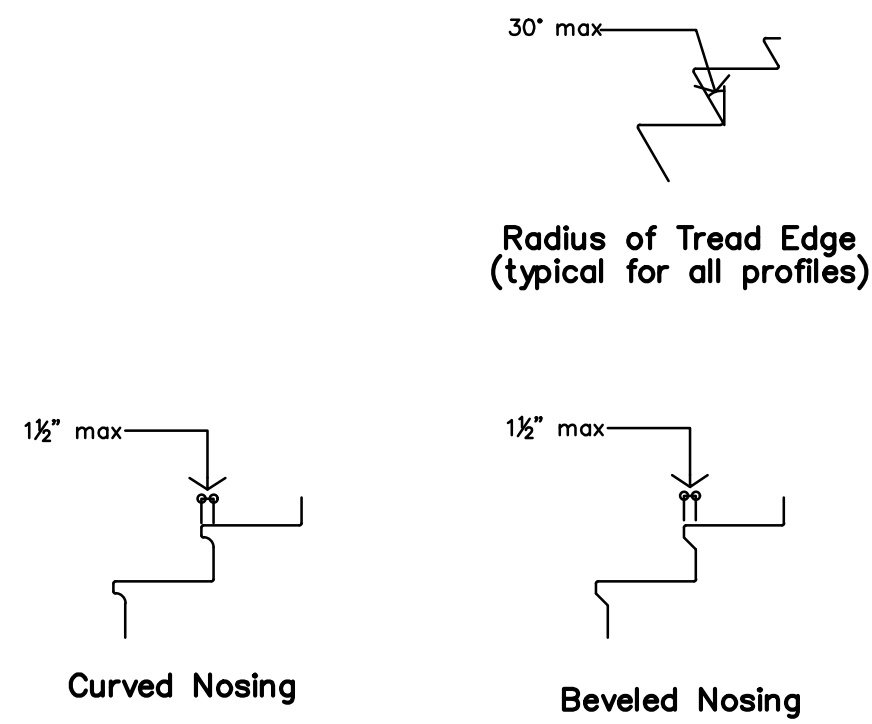
G STANDARD VERTICAL CLEARANCE
NO SCALE



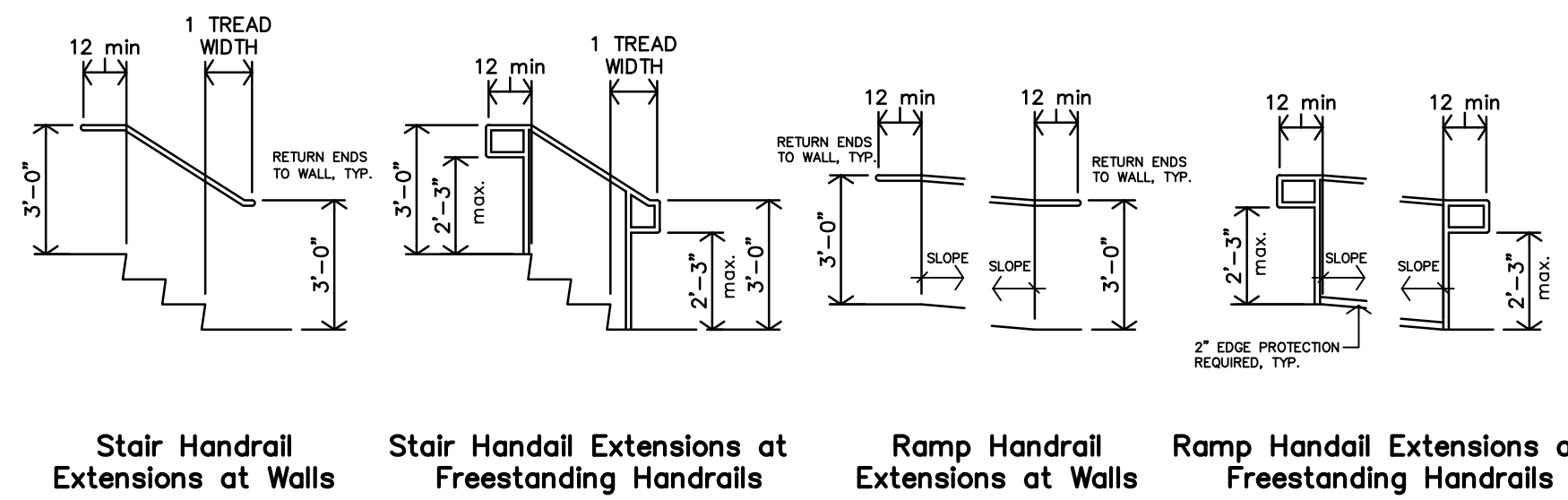
F STANDARD HANDRAIL/GRAB BAR DETAILS
NO SCALE



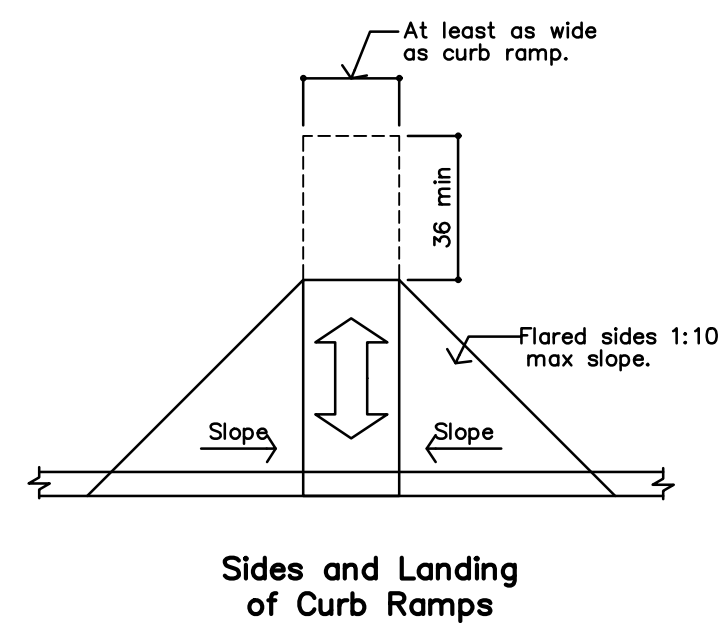
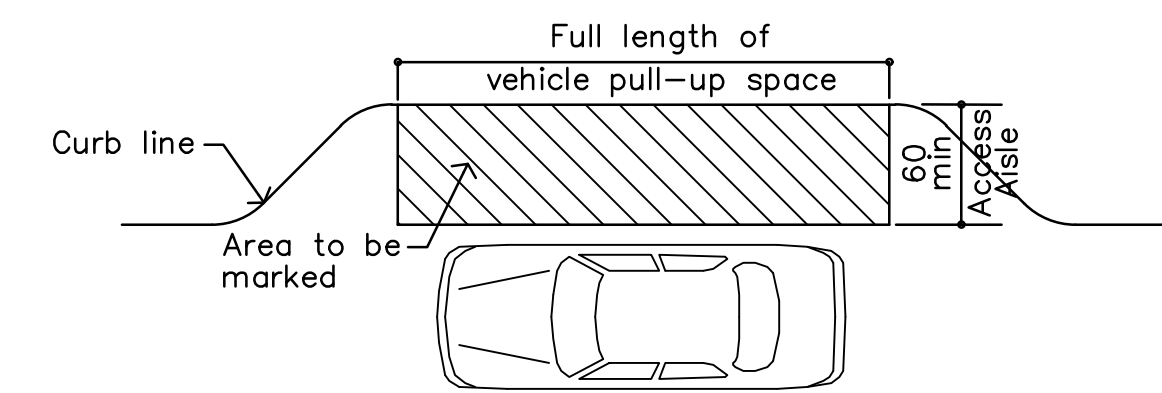
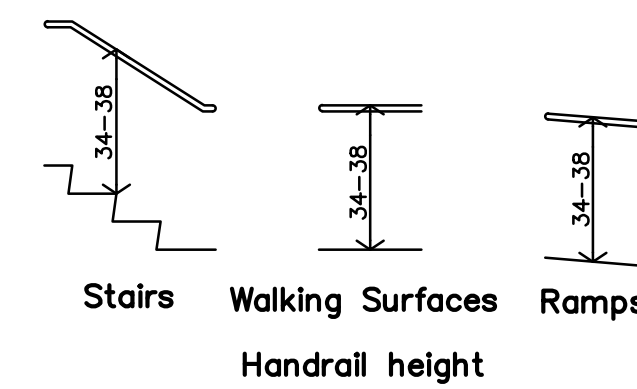
E TACTILE SIGN DIAGRAM
NO SCALE



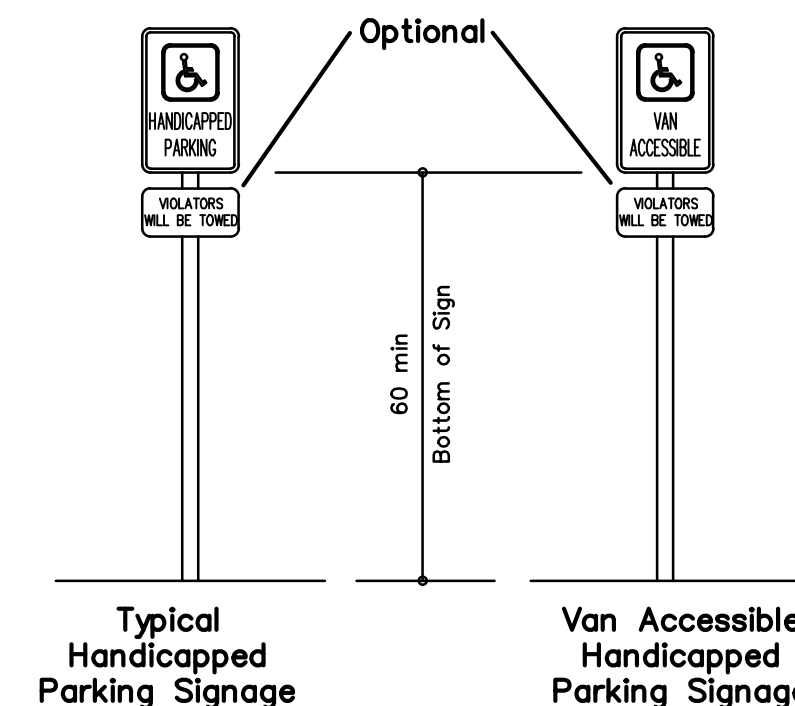
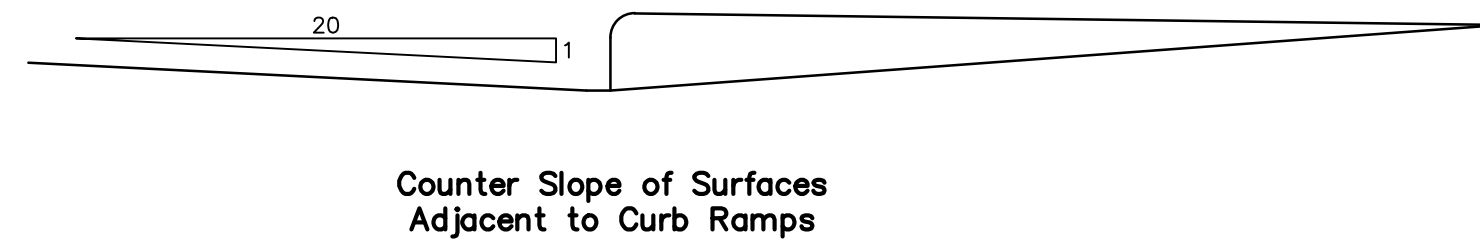
D STANDARD STAIR NOSING DETAILS
NO SCALE



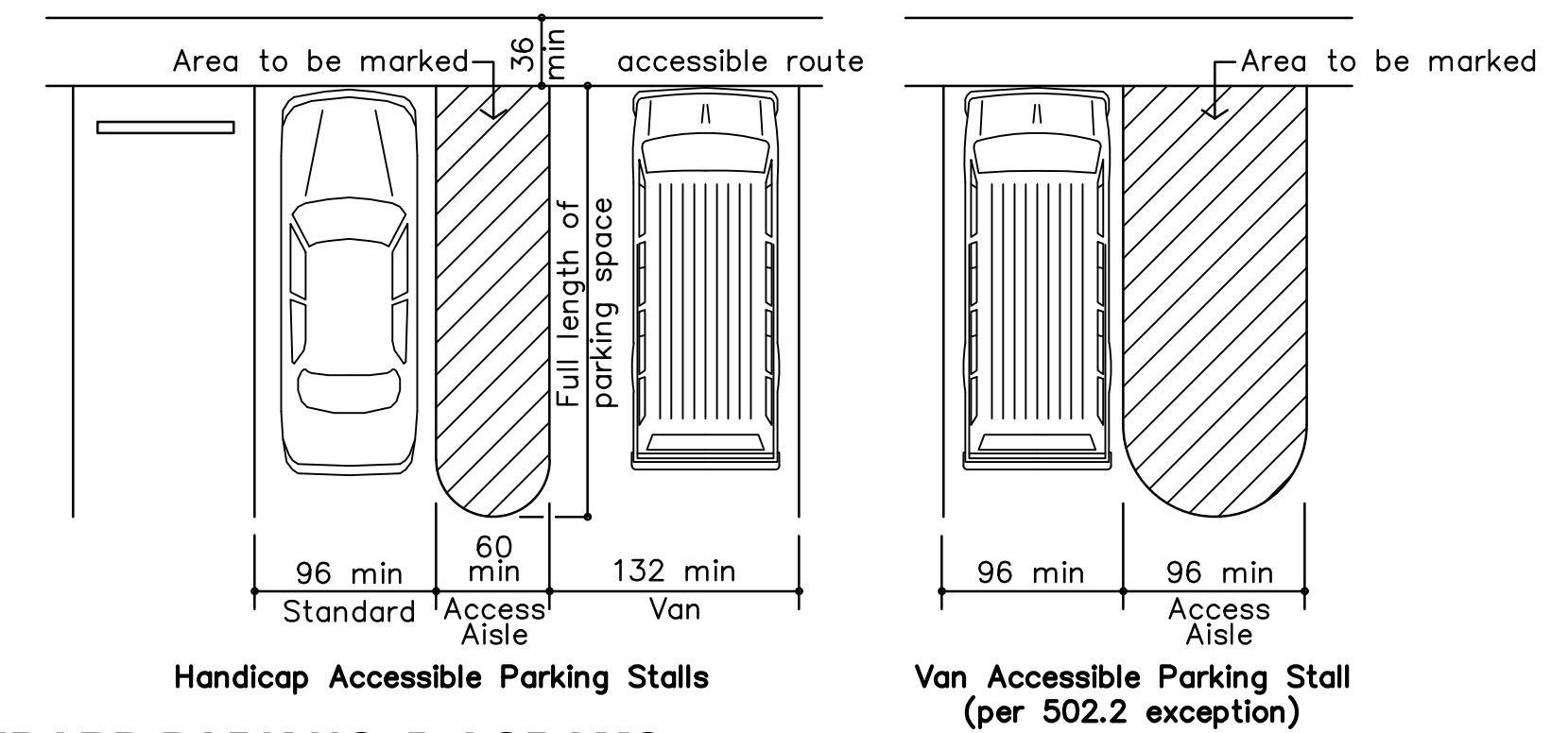
C STANDARD RAMP/STAIR HANDRAIL EXTENSIONS
NO SCALE



B STANDARD CURB RAMPS DIAGRAMS
NO SCALE



A STANDARD PARKING DIAGRAMS
NO SCALE

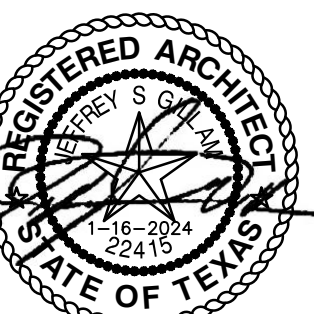


FOR REFERENCE ONLY

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



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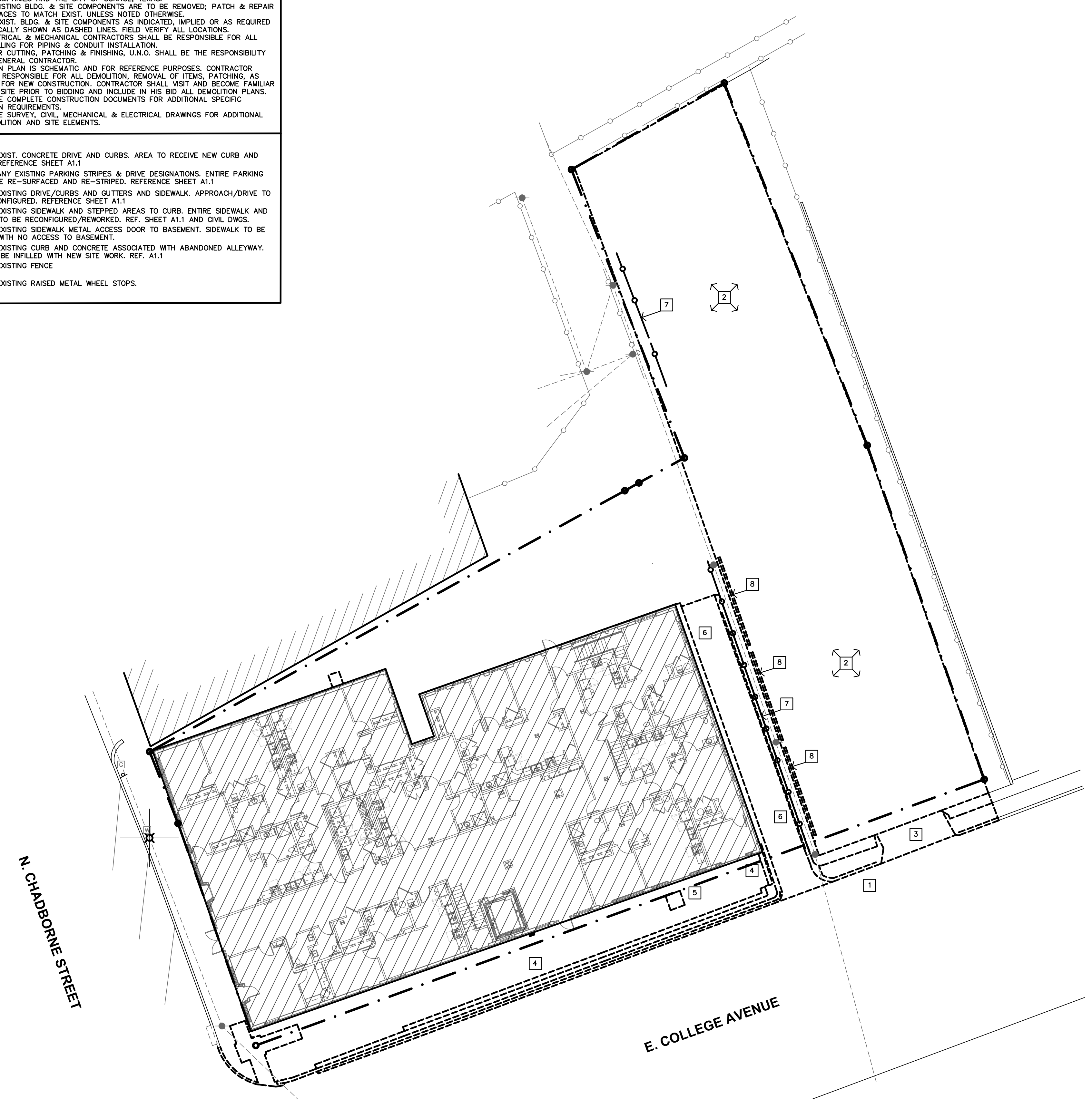
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PLANNING NOTES
4/15/2024

- DEMOLITION SITE PLANNING NOTES**
- GENERAL**
1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.
 2. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE UTILITY COMPANIES AND THE CITY OF CONROE, TEXAS.
 3. WHERE EXISTING BLDG. & SITE COMPONENTS ARE TO BE REMOVED; PATCH & REPAIR THE SURFACES TO MATCH EXIST, UNLESS NOTED OTHERWISE.
 4. REMOVE EXIST. BLDG. & SITE COMPONENTS AS INDICATED, IMPLIED OR AS REQUIRED SCHEMATICALLY SHOWN AS DASHED LINES. FIELD VERIFY ALL LOCATIONS.
 5. THE ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CORE DRILLING FOR PIPING & CONDUIT INSTALLATION.
 6. ALL OTHER CUTTING, PATCHING & FINISHING, U.N.O. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 7. DEMOLITION PLAN IS SCHEMATIC AND FOR REFERENCE PURPOSES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION, REMOVAL OF ITEMS, PATCHING, AS REQUIRED FOR NEW CONSTRUCTION. CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE SITE PRIOR TO BIDDING AND INCLUDE IN HIS BID ALL DEMOLITION PLANS.
 8. REFERENCE COMPLETE CONSTRUCTION DOCUMENTS FOR ADDITIONAL SPECIFIC DEMOLITION REQUIREMENTS.
 9. REFERENCE SURVEY, CIVIL, MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL SITE DEMOLITION AND SITE ELEMENTS.
- SPECIFIC**
- 1] REMOVE EXIST. CONCRETE DRIVE AND CURBS. AREA TO RECEIVE NEW CURB AND GUTTER. REFERENCE SHEET A1.1
 - 2] REMOVE ANY EXISTING PARKING STRIPES & DRIVE DESIGNATIONS. ENTIRE PARKING LOT TO BE RE-SURFACED AND RE-STRIPED. REFERENCE SHEET A1.1
 - 3] REMOVE EXISTING DRIVE/CURBS AND GUTTERS AND SIDEWALK. APPROACH/DRIVE TO BE RE-CONFIGURED. REFERENCE SHEET A1.1
 - 4] REMOVE EXISTING SIDEWALK AND STEPPED AREAS TO CURB. ENTIRE SIDEWALK AND GRADING TO BE RECONFIGURED/REWORKED. REF. SHEET A1.1 AND CIVIL DWGS.
 - 5] REMOVE EXISTING SIDEWALK METAL ACCESS DOOR TO BASEMENT. SIDEWALK TO BE INFILLED WITH NO ACCESS TO BASEMENT.
 - 6] REMOVE EXISTING CURB AND CONCRETE ASSOCIATED WITH ABANDONED ALLEYWAY. AREA TO BE INFILLED WITH NEW SITE WORK. REF. A1.1
 - 7] REMOVE EXISTING FENCE
 - 8] REMOVE EXISTING RAISED METAL WHEEL STOPS.



A SITE DEMOLITION PLAN
1/16"=1'-0"

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION:

DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

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DEMOLITION NOTES

GENERAL NOTES

- WHERE EXISTING BLDG. COMPONENTS ARE TO BE REMOVED; PATCH & REPAIR THE SURFACES TO MATCH EXISTING FINISH, UNLESS NEW FINISHES ARE CALLED FOR IN THE FINISH SCHEDULE.
- REMOVE EXISTING BLDG. COMPONENTS AS INDICATED, IMPLIED OR AS REQUIRED SCHEMATICALLY SHOWN AS DASHED LINES. FIELD VERIFY ALL LOCATIONS.
- THE ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CORE DRILLING FOR PIPING & CONDUIT INSTALLATION.
- ALL OTHER CUTTING, PATCHING & FINISHING, U.N.O. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- SHORING OF EXISTING STRUCTURE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- NOTIFY ARCHITECT IMMEDIATELY IF ASBESTOS IS SUSPECTED ON SITE. DO NOT DISTURB UNLESS DIRECTED.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE DEMOLITION BY DIFFERING TRADES.
- CONTRACTOR COORDINATE SCHEDULE & LOCATION OF ANY OR ALL EXISTING RECEPABLES, SWITCHES, DEVICES, ETC. PRIOR TO DEMOLITION, RELOCATE OR ABANDON ACCORDINGLY.
- EXISTING SALVAGED BRICK TO BE STOCK PILED FOR RE-USE.
- COORDINATE & REFERENCE MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS AND DETAILS.
- REMOVE ALL EXISTING EQUIPMENT, LIGHTS, CONDUIT, DEBRIS, PIPING, DUCTWORK, ETC. THAT REMAINS IN THE BUILDING, ROOF AND EXTERIOR WALLS.
- MEDIA BLAST (PER PRESERVATION BRIEFS) ALL GRAFFITI FROM EXTERIOR AND INTERIOR WALLS.
- REBUILD EXISTING HEAD/SILL/JAMBS AT WINDOW AND DOOR OPENINGS AS NEEDED TO PREP FOR THE INSTALLATION OF NEW DOORS/WINDOWS.

GENERAL & BASEMENT

- REMOVE ALL EQUIPMENT, LIGHTS, CONDUIT, DEBRIS, PIPING, DUCTWORK, ETC.
- MEDIA BLAST GRAFFITI (PER PRESERVATION BRIEFS) OFF ALL WALLS.
- REMOVE ALL EXISTING EQUIPMENT, DEBRIS, ETC. IN BASEMENT. MAKE REPAIRS AT JOISTS, BEAMS, COLUMNS, FOUNDATION WALLS AS NEEDED. CLEAN UP FLOOR, WALLS, ETC.
- REPAIR EXISTING STAIRS TO BASEMENT AS NEEDED FOR SAFE ACCESS.

ROOF, STAIRS, ELEVATOR, EQUIPMENT

- REMOVE EXISTING ROOFING, VENTS, PIPING, FLASHING, ETC. TO DECK. REPAIR ANY DAMAGE, VOIDS, HOLES, ETC. IN DECK & MAKE WATER TIGHT. PREP FOR NEW FLASHING, INSULATION & ROOFING SYSTEM.
- REMOVE EXISTING MTL GUTTER & DOWNSPOUT. PREP FOR NEW.
- REMOVE EXISTING MTL SCUPPER & DOWNSPOUT. PREP FOR NEW.
- REMOVE EXISTING FIRE ESCAPE, ASSOCIATED BRACKETS, ANCHORS, AND ATTACHMENTS, TUCKPOINT.
- REMOVE EXISTING STEEL STAIR, STRINGERS, PANS, ETC. BETWEEN FLOOR 1 & 2. PREP EXISTING OPENING FOR NEW STAIR & RAILING.
- EXISTING STAIR & RAILING TO REMAIN.
- REMOVE EXISTING SKYLIGHTS. REPAIR OPENING TO MATCH ADJACENT STRUCTURE & MAKE WATER TIGHT. REF. STRUCT.
- REMOVE & SALVAGE PORTION OF EXISTING RAILING FOR NEW STAIR.

WALLS

- SAWCUT & REMOVE PORTION OF EXISTING BRICK, MASONRY, AND PLASTER WALL BELOW THE WINDOW OPENING FOR NEW DOOR OPENING TO NEW ROOF-TOP PATIO.
- SAWCUT & REMOVE PORTION OF EXISTING BRICK, MASONRY, PLASTER WALL FOR NEW WINDOW OPENING.
- SAWCUT & REMOVE SMALL PORTION OF BRICK ALONG SIDE OF WINDOW OPENING TO PREP WINDOW FOR NEW 3'-4" WIDE FRAME AND 3'-0" WIDE EXIT DOOR.

WINDOWS

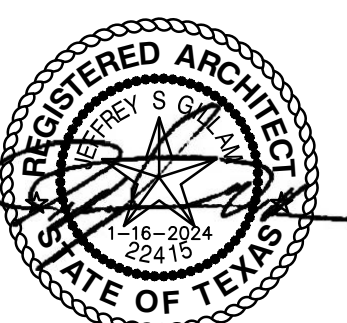
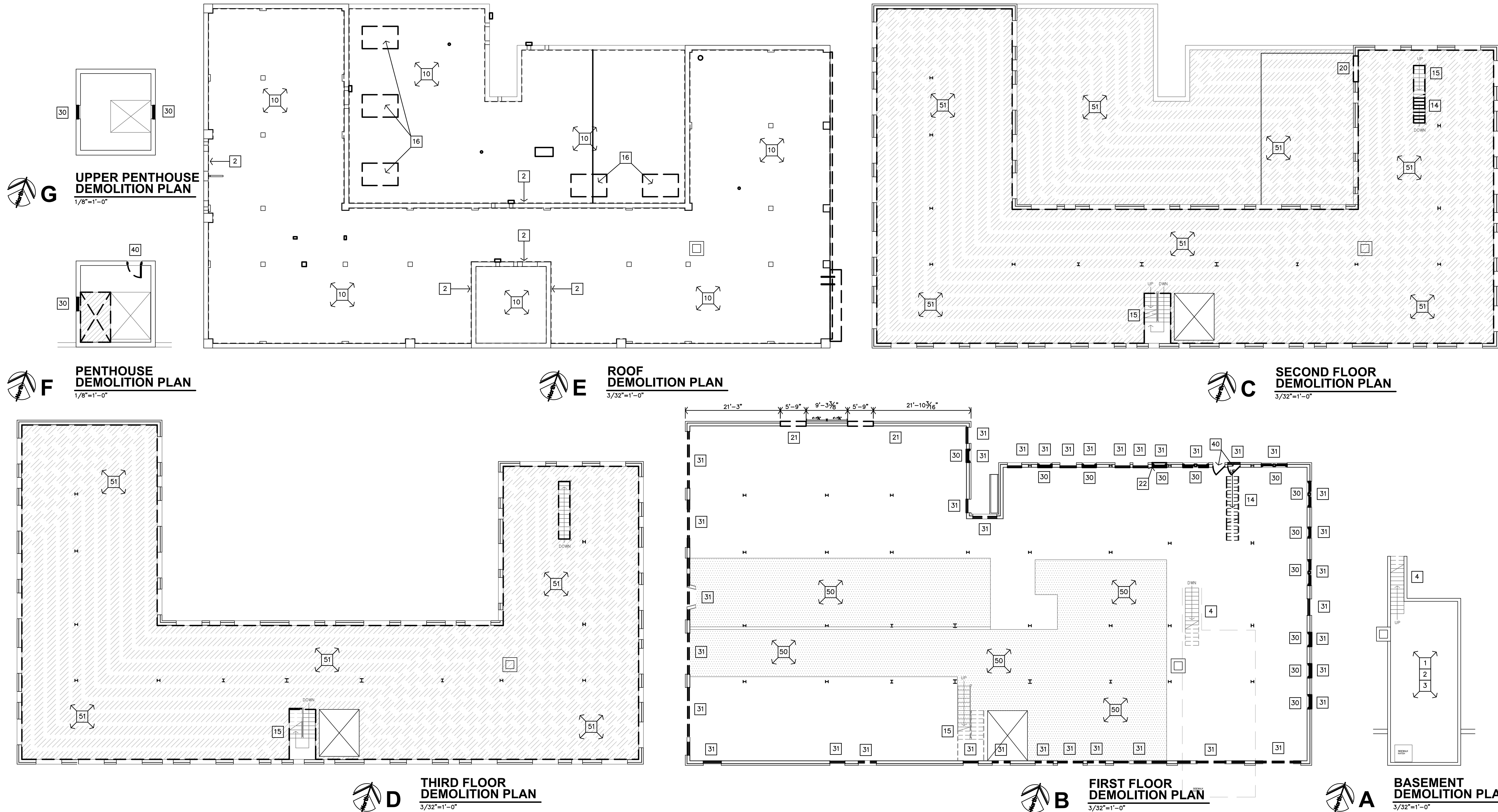
- REMOVE EXISTING WINDOW UNIT, OR REMNANTS OF WINDOW FRAME. CLEAN & PREP MASONRY FOR NEW WINDOW/DOOR INSTALLATION.
- REMOVE EXISTING PLYWOOD/METAL INFILL, CLEAN & PREP ORIGINAL MASONRY OPENING. PREP MASONRY OPENING FOR NEW STOREFRONT, DOOR, WINDOW, ETC.

DOORS

- REMOVE EXISTING DOOR, COMPLETE WITH ATTACHMENTS, HARDWARE, ANCHORS, ETC. FILL HOLES CLEAN & PREP MASONRY FOR NEW WINDOW/DOOR INSTALLATION.

FLOORS

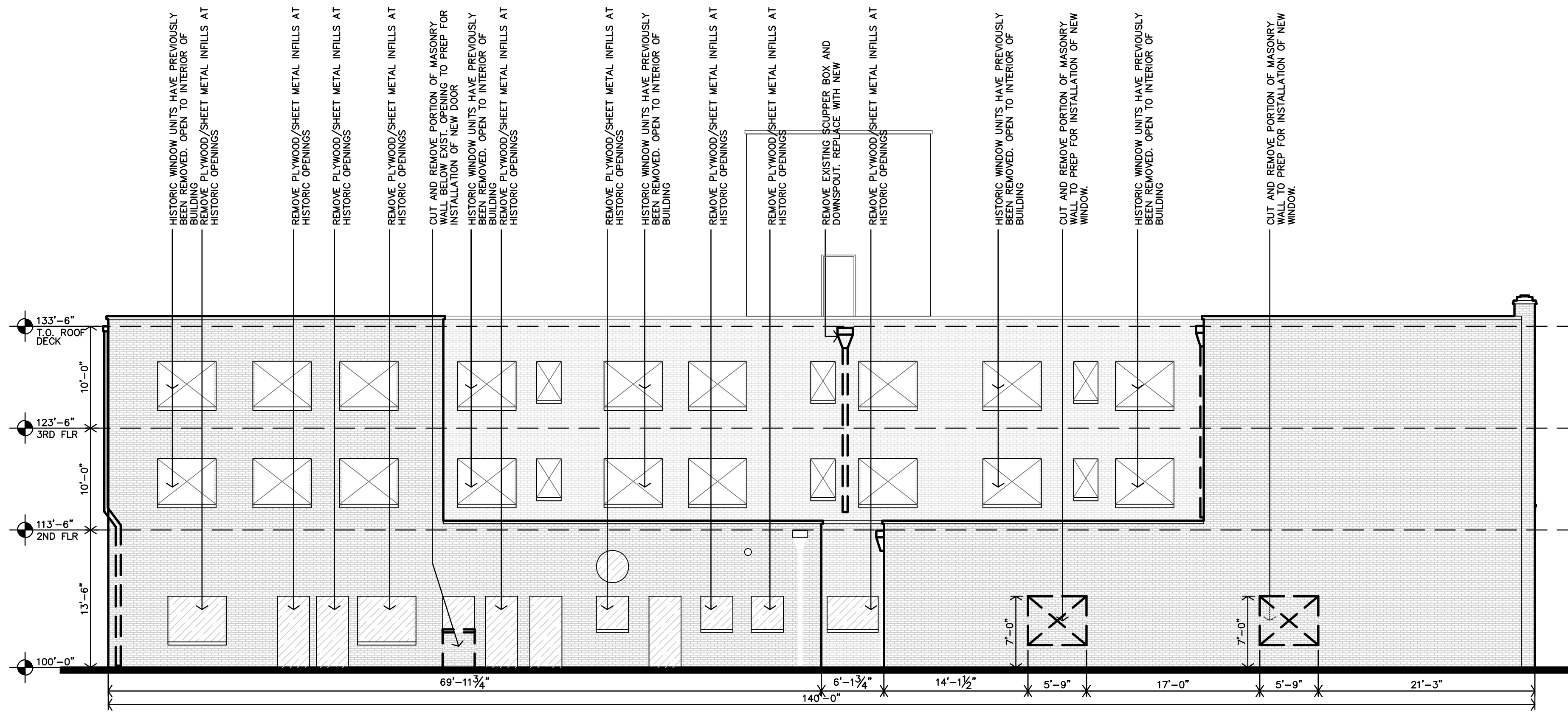
- EXISTING TERRAZZO FLOORING (SHOWN AS DOTTED HATCH) TO BE PROTECTED DURING CONSTRUCTION. SAWCUT/GRIND ANY RAISED AREAS AT REMOVED WALLS. PROTECT, CLEAN, PATCH AND REPAIR AS NEEDED. REMOVE ANY EXISTING FLOORING, GLUE, ETC. TO ORIGINAL TERRAZZO FLOOR. PROTECT, CLEAN & REPAIR AS NEEDED ORIGINAL TERRAZZO FLOOR. REFERENCE TERRAZZO PRESERVATION NOTES ON SHEET A2.0
- REMOVE ENTIRETY OF CONCRETE FLOOR/ROOF SLAB AND MESH REINFORCING AT THE 2ND & 3RD LEVELS (SHOWN AS ANGLED HATCH). PROTECT ADJACENT WALLS, PLASTER FINISH, AND BEAMS/COLUMNS DURING REMOVAL/CONSTRUCTION.



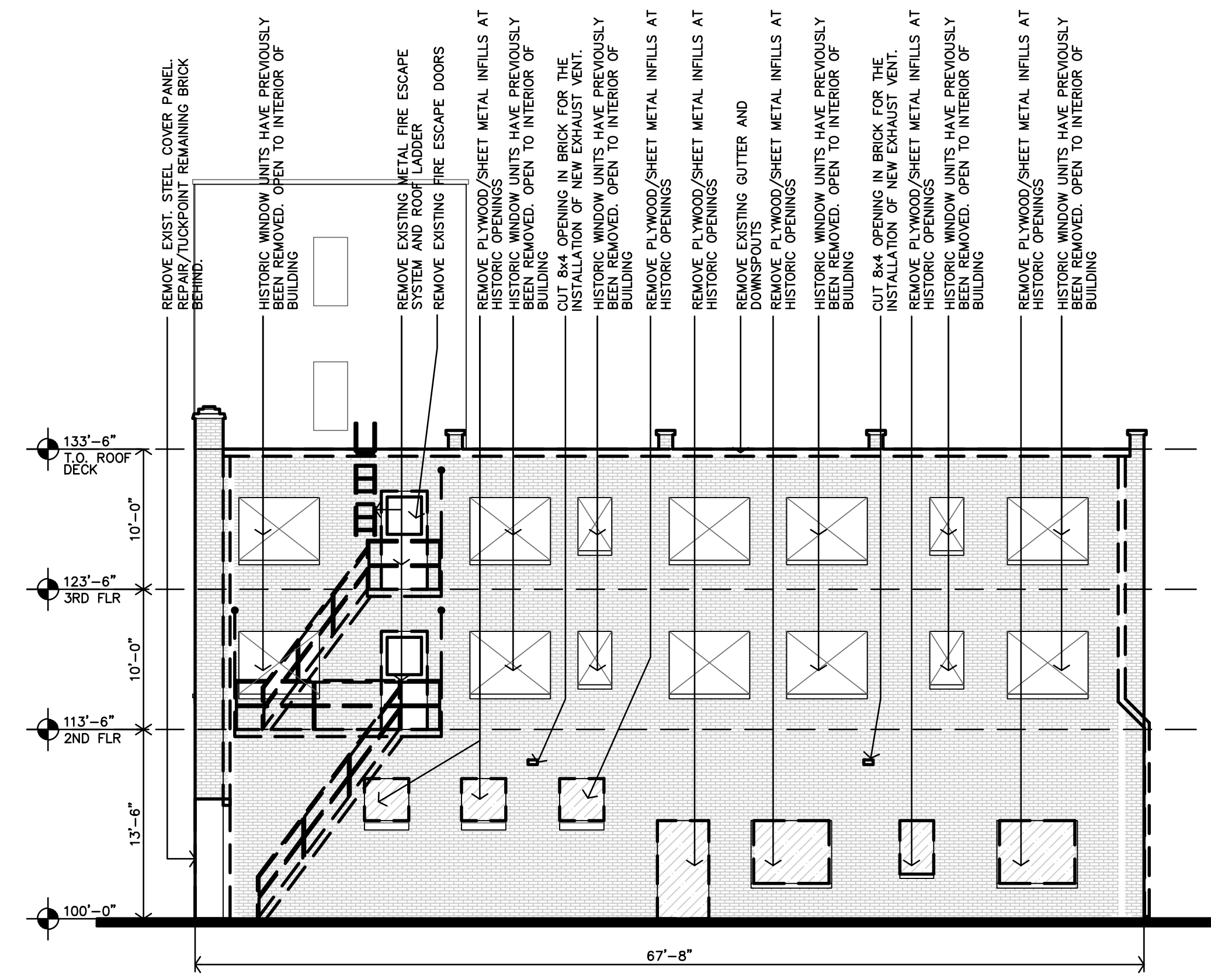
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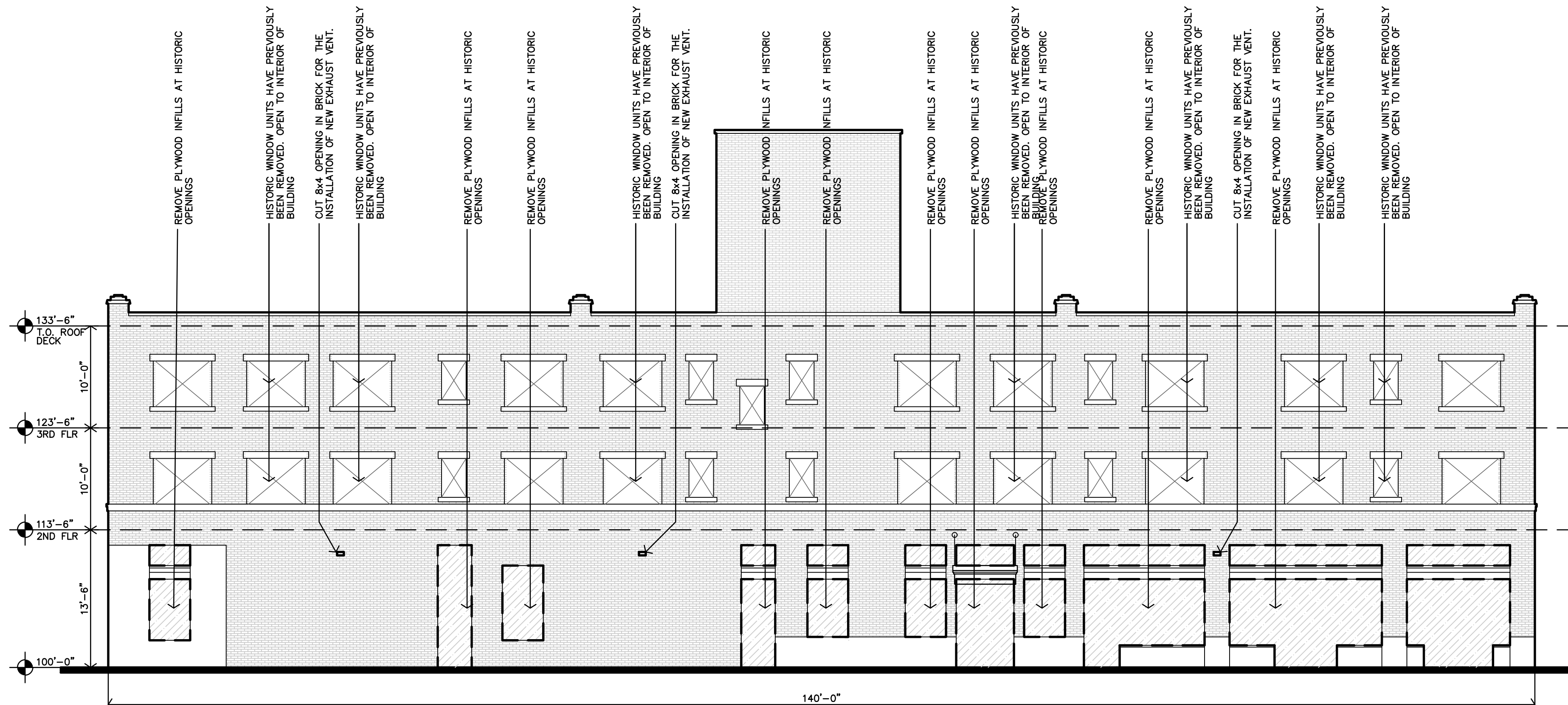
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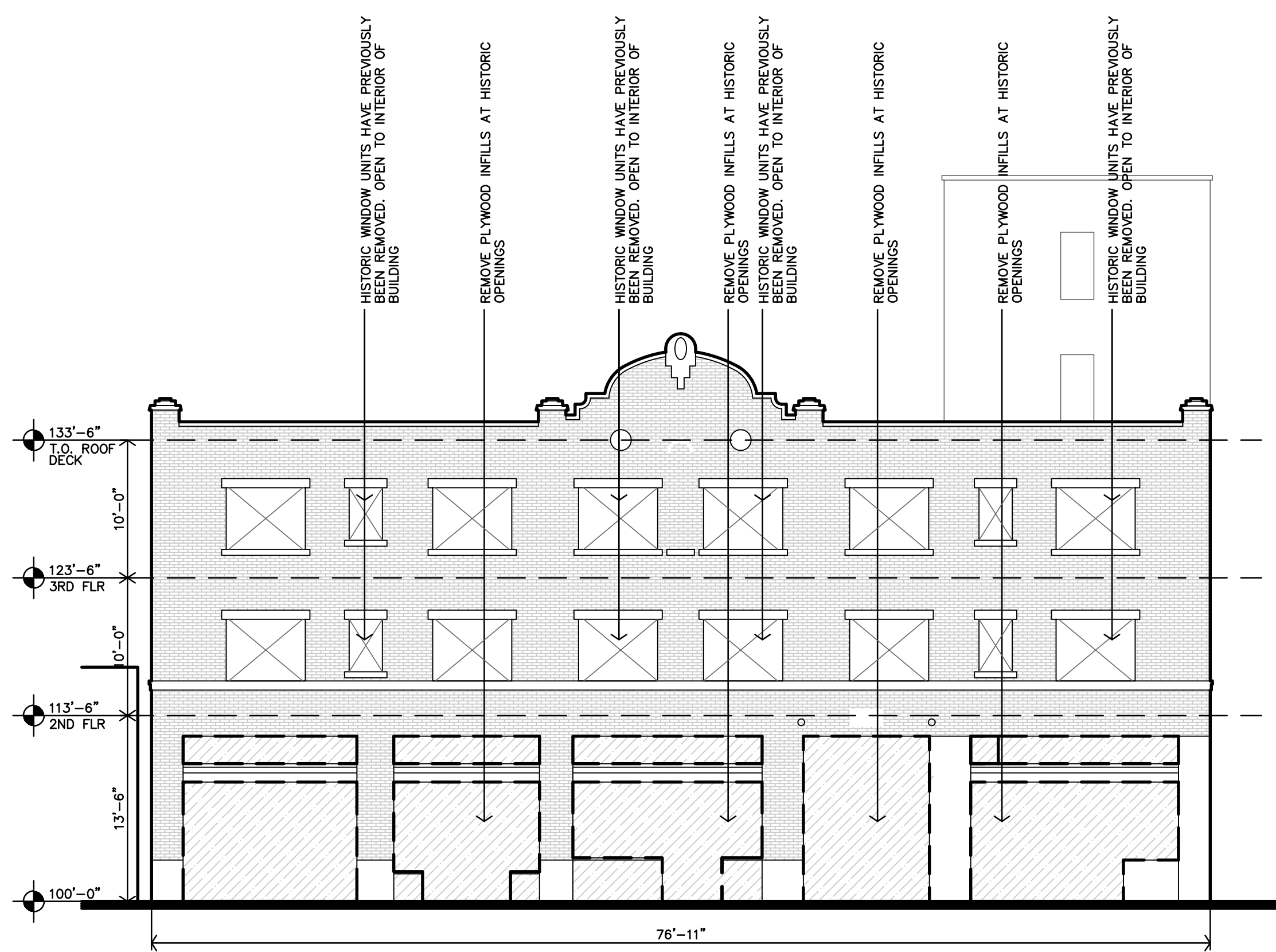
D DEMOLITION NORTH ELEVATION
1/8"=1'-0"



C DEMOLITION EAST ELEVATION
1/8"=1'-0"



B DEMOLITION SOUTH ELEVATION
1/8"=1'-0"



A DEMOLITION WEST ELEVATION
1/8"=1'-0"

ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



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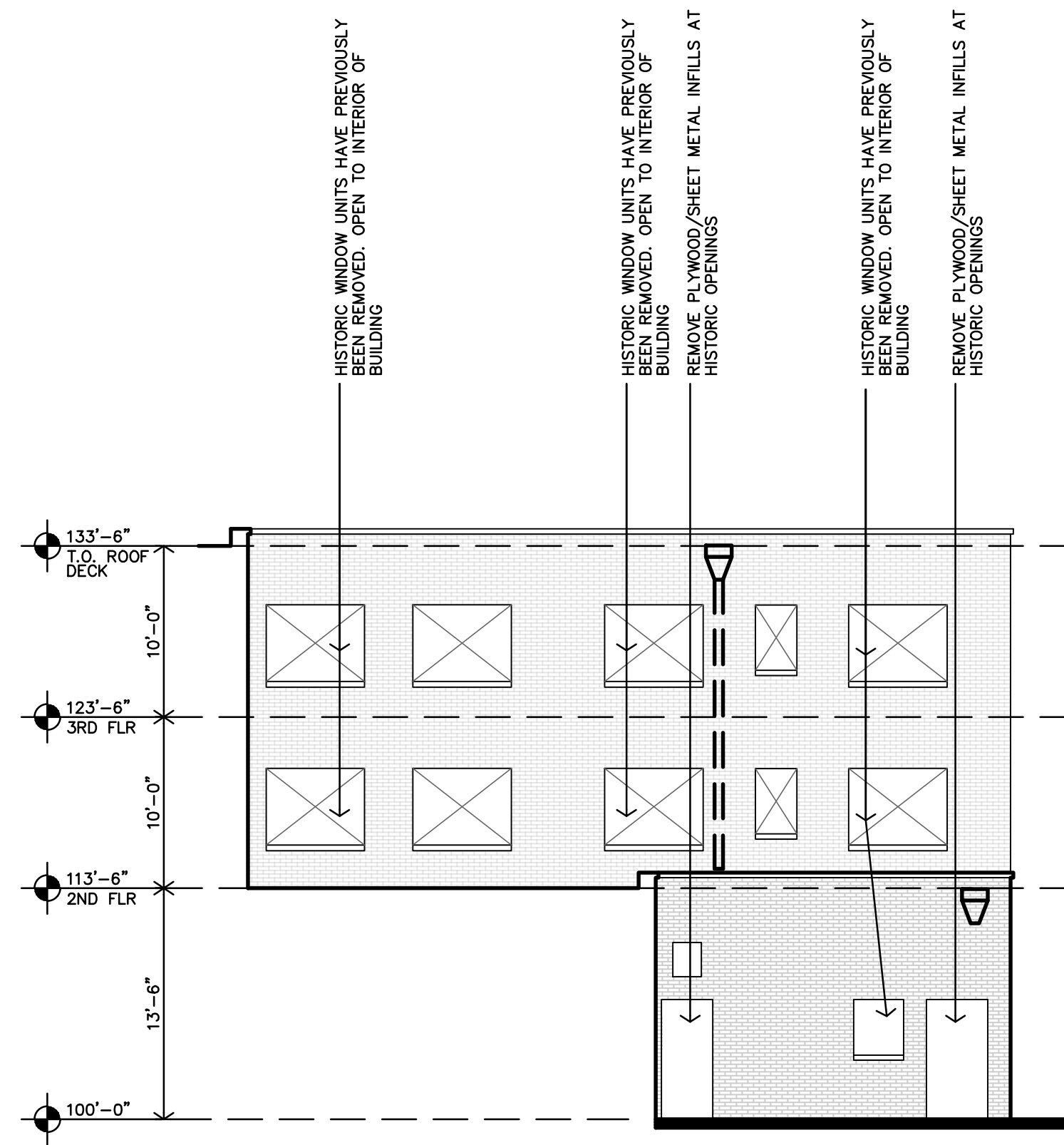
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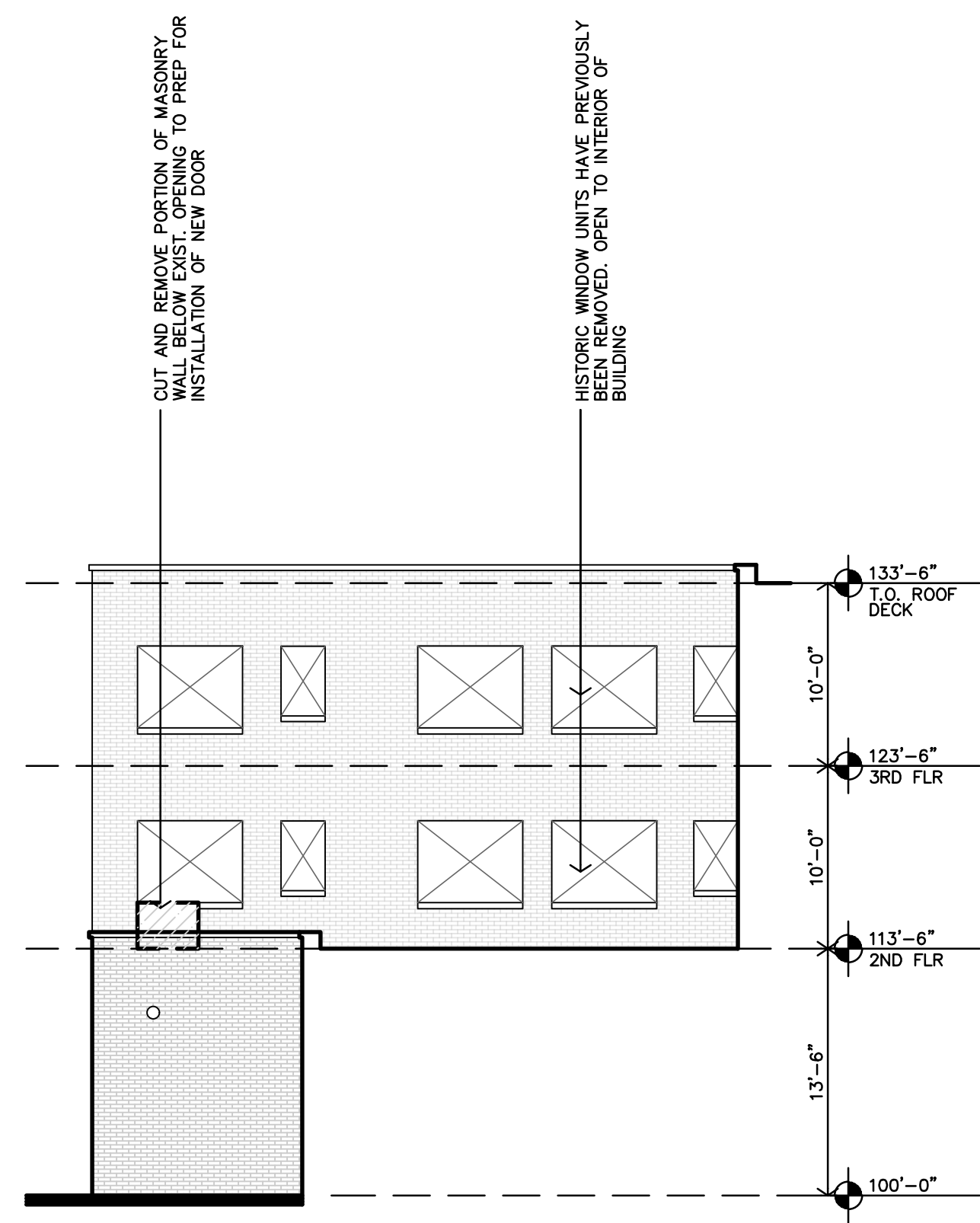




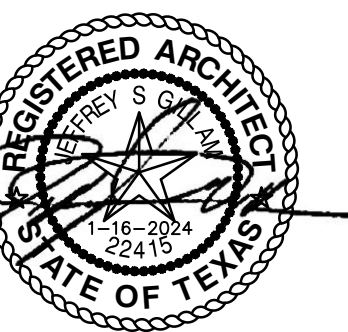
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B DEMOLITION EAST ELEVATION
 1/8"=1'-0"



A DEMOLITION WEST ELEVATION
 1/8"=1'-0"



REVISION:

DATE: 1-16-2024

JOB: 22-3281

SHEET NO.:

D3.2

ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS

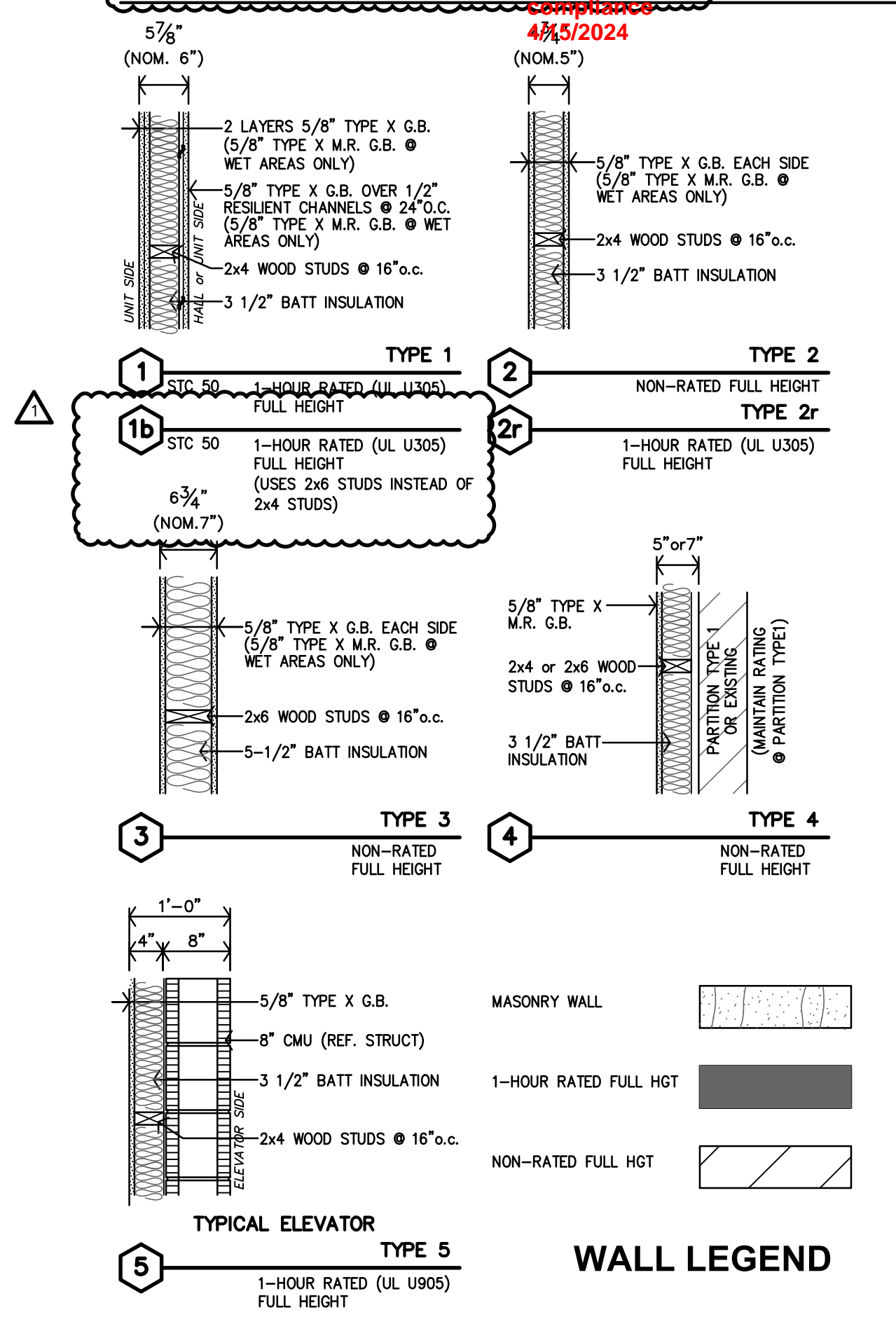
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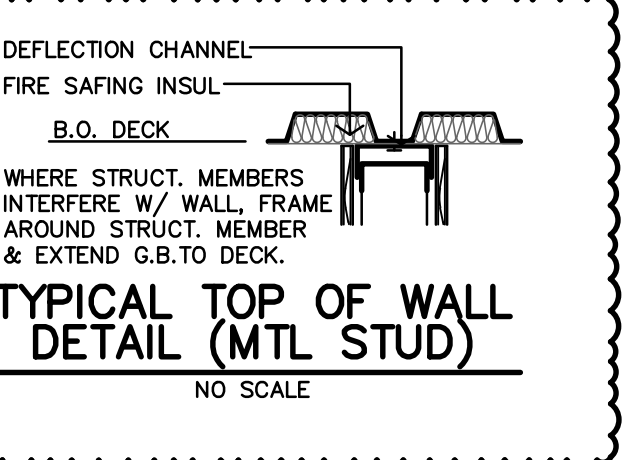


PARTITION SCHEDULE

- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OTHERWISE
- LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SLAB OR SMOKE TIGHT DURING CONSTRUCTION.
- REF. SHEETS A9.4-A9.5 FOR RATED WALLS & PARTITIONS. SEE NOTES FOR MORE INFORMATION
- ALTERNATE: INSTALL METAL STUDS IN PLACE OF WOOD STUDS.
 - 2x4 WOOD STUDS = 3-5/8" METAL STUDS **SDS 4-00000249**
 - 2x6 WOOD STUDS = 6" METAL STUDS **REVIEWED for code**



WALL LEGEND



APT. KITCHEN MATRIX REF. SHEETS A9.4-A9.5

TYPE	UNIT NO.	SIMILAR	MIRRORED
ACCESSIBLE TYPE 1	109		
TYPE 2	112,113,114,118,122,201,301		207,307
TYPE 3 (NOT USED)			
TYPE 4	127		
TYPE 5	123		
TYPE 6	126		
ACCESSIBLE TYPE 7	203	303	
TYPE 8	202,302		
TYPE 9	209,309		
TYPE 10	211,311		
TYPE 11	212,213,312,313		

APT. BATH MATRIX REF. SHEETS A8.3-A8.6

TYPE	UNIT NO.	SIMILAR
ACCESSIBLE TYPE 1	109	
TYPE 2	112	118,122,126,212,312
TYPE 3	113	
TYPE 4	202,302	201,301
TYPE 5	127	
TYPE 6	123	
ACCESSIBLE TYPE 7	203	303
TYPE 8	207,307	114
TYPE 9	209,309	
TYPE 10	211,311	
TYPE 11	213,313	

HISTORIC PRESERVATION NOTES

- STRUCTURE, MASONRY AND EXTERIOR WALLS**
1. WORK SHALL NOT DAMAGE ANY EXISTING MASONRY, ORNAMENT OR CHARACTER-DEFINING FEATURES. CONTRACTOR TO PROTECT DURING CONSTRUCTION.
 2. MASONRY REHABILITATION SHALL CONSIST OF SPOT REPOINTING AND REPAIR/REPLACEMENT OF ISOLATED DETERIORATION. ALL WORK SHALL CONFORM TO PRESERVATION STANDARDS OUTLINED IN THE NATIONAL PARK SERVICE PRESERVATION BRIEFS 1.2 & 6. DETERIORATED MORTAR SHOULD BE REMOVED TO SOUND MORTAR. NEW MORTAR SHOULD MATCH EXISTING IN COLOR, TEXTURE, COMPOSITION, AND JOINT PROFILE.
 3. NATIONAL PARK SERVICE PRESERVATION BRIEF 2 SPECIFIES THE RECOMMENDED COMPOSITION OF MORTARS USED IN HISTORIC BUILDINGS.
 4. ANY EXISTING BRICK/STONE TO BE REMOVED SHOULD BE SALVAGED FOR REUSE. IF EXISTING STONE IS DAMAGED BEYOND REPAIR, NEW MATERIAL MUST MATCH THE HISTORIC/EXISTING IN SIZE, COLOR, AND TEXTURE.
 5. IF IT IS NECESSARY TO REMOVE PLANT, SOLING, OR BIO GROWTH FROM EXTERIOR BRICK/STONE, IT SHOULD BE ACCOMPLISHED USING THE GENTLEST MEANS POSSIBLE TO AVOID DAMAGING THE HISTORIC MASONRY. CONTACT AND REFER TO HISTORIC CONSULTANTS/SPECIALISTS FOR TREATMENT OPTIONS.
 6. STUCCO REPAIR SHOULD BE ACCOMPLISHED IN ACCORDANCE WITH NATIONAL PARK SERVICE PRESERVATION BRIEF 22.

- WINDOWS**
1. ANY REMAINING WINDOWS ARE TO BE REMOVED AND REPLACED AS INDICATED ON THE DRAWINGS AND SPECIFIC KEYNOTES PER BUILDING LOCATION. NEW WINDOWS MUST MATCH EXISTING AS CLOSELY AS POSSIBLE IN CONFIGURATION, PROFILE, AND DIMENSION.
 2. NEW WINDOWS MAY BE ALUMINUM OR ALUMINUM-CLAD WOOD.
 3. GLASS IN WINDOWS MUST BE CLEAR, COLORLESS, AND NON-REFLECTIVE WITH NO LESS THAN 69% VLT AND NO GREATER THAN 1 1/2" VLR.

- ALUM. STOREFRONT**
1. THE MISSING STOREFRONT & TILE WAINSCOT AT THE FIRST FLOOR ALONG CHADBOURNE & COLLEGE AVE. ARE CHARACTER DEFINING FEATURES AND SHOULD BE RETAINED OR REPLACED IF MISSING, TO MATCH EXISTING.
 2. ALL TRANSOMS ABOVE STOREFRONT SHALL BE REPLACED WITH NEW ALUMINUM STOREFRONT AND ETCHED/FROSTED GLAZING.
 3. ALL DECORATIVE WOOD TRANSOM CANOPIES SHALL BE REPAIRED OR REPLACED.
 4. WOOD CANOPY & ATTACHMENT ACCESSORIES AT THE SOUTH ENTRANCE IS TO BE RESTORED AND REPAIRED. NEW CANOPY IS TO BE INSTALLED AT THE WEST ENTRANCE TO MATCH THE EXISTING SOUTH CANOPY.

- INTERIOR**
1. NEW PARTITIONS SHOULD NOT INTERSECT WINDOWS. ANY PARTITION OR DROPPED CEILING THAT JOGS IN FRONT OF WINDOWS SHOULD BE HELD BACK A MIN. OF 3 FEET.
 2. INTERIOR PLASTER WALLS SHALL REMAIN, BE REPAIRED AND REPLACED. FISHED TEXTURE, AND THICKENS TO MATCH EXISTING..
 3. TERRAZZO FLOORS ON FIRST FLOOR SHALL BE GRINDED DOWN AT AREAS WHERE WALLS WERE REMOVED, CLEANED AND REPAIRED.
 4. STAIR STRINGERS, PANS, RAILS (WEAR REMAINING) SHALL BE RETAINED IN MOST AREAS (REFERENCE PLAN). REPLACE MISSING RAILINGS, POSTS AND TOPPERS. CLEAN & REPAIR.

- MECHANICAL, ELECTRICAL, PLUMBING**
1. NEW HVAC SHALL RUN ABOVE CEILINGS AND DUCTS ARE NOT TO BE EXPOSED.
 2. ROOFTOP EQUIPMENT SHALL NOT BE VISIBLE FROM GROUND.
 3. ELECTRICAL CONDUIT SHALL RUN ABOVE CEILINGS AND WITHIN WALLS (EXCEPT AT PLASTER WALLS). EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT SURFACES.
 4. NEW PLUMBING SHALL NOT BE EXPOSED.

- ROOF**
1. REPAIR OR REPLACE ROOF SURFACE AS NEEDED. NEW FLASHING AT BRICK/STONE PARAPET SHALL MATCH BRICK/STONE IN COLOR.
 2. ANY NEW STRUCTURES, HVAC EQUIPMENT SHALL BE HELD BACK FROM THE PARAPET SO THAT IT IS MINIMALLY, IF AT ALL, VISIBLE FROM THE GROUND.

ARCHITECTURAL FLOOR PLAN NOTES

1. CONTRACTOR TO ENSURE THAT ALL PLUMBING WALLS AT EACH UNIT STACK FROM FLOOR TO FLOOR.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & EXISTING CONDITIONS.
3. INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
4. ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
5. ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MIN. CLEARANCE REQUIRED.
6. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
7. NEW DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA.
8. MIO = INDICATES DOOR WITH MAGNETIC HOLD OPEN
9. EEC = FIRE EXTINGUISHER CABINET & EE = FIRE EXTINGUISHER.
10. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2012 IBC, SECTION 906.1. REF. SHEET A2.1 CONTRACTOR TO VERIFY EXISTING FIRE EXTINGUISHER CABINET LOCATIONS AND SIZE WILL MEET FOR NEW EXTINGUISHER.
11. CONTRACTOR TO VERIFY EXISTING FIRE EXTINGUISHER CABINET LOCATIONS AND SIZE WILL MEET FOR NEW EXTINGUISHER.
12. FURNITURE SHOWN IS BY OWNER OR TENANT.
13. SUBMIT VERIFICATION THAT ALL CONSTRUCTION MATERIAL WILL MEET US EPA CRITERIA PARTICULARLY MATERIALS THAT WILL BE OBTAINED FROM INTERNATIONAL SOURCES. ALSO PROVIDE VERIFICATION THAT THE CONSTRUCTION WILL NOT RESULT IN OR CONTAIN HAZARDOUS MATERIALS.
14. ALL BLOCKING TO BE 2x8 FIRE TREATED

APARTMENT GENERAL NOTES

1. ALL WALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO PROVIDE FIRE BLOCKING AT NEW PARTY WALL AT 10'-0" O.C., TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT ALL BACK TO BACK ELECTRICAL OUTLETS. PROVIDED AND INSTALL ALL FIRE BLOCKING AND DRAFTSTOPS PER 2021 IBC, SECTION 718.2.
3. ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED U.L. DESIGNS.
4. FE = FIRE EXTINGUISHER, WALL MOUNTED. LOCATION TO BE APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2012 IBC, SECTION 906.1. KITCHEN & BATH COUNTERTOPS ABOVE COUNTERTOP TO BE @ 44" MAX ABOVE FIN FLR.
5. **ADAPTABLE UNITS: (ALL UNITS, EXCEPT FOR ACCESSIBLE UNIT)**
 - KITCHEN & BATH - REMOVABLE CABINET FRONTS @ SINKS & WORK SURFACE NEXT TO STOVE. WALLS SHALL BE FINISHED & FLOORING CONTINUOUS UNDERNEATH. NO PLUMBING MODIFICATIONS ALLOWED AFTER CABINET FRONT IS REMOVED.
 - CONTRACTOR SHALL PROVIDE HOT WATER & DRAIN PIPES & DISPOSAL COVERS. OWNER TO INSTALL COVERS AFTER CABINET FRONT IS REMOVED AT LATER DATE.
 - CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL COUNTERTOPS/SUPPORT BRACES, SHOWER SURROUND & BASES, FUTURE GRAB BARS AND FUTURE SHOWER SEATS, ETC. AS REQ'D. (REF. SHEET A8.6)
 - ALL TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - INSTALL PLASTIC COATED WIRE CLOTHES SHELF & ROD @ 69" AFF
6. **ACCESSIBLE UNITS:**
 - CONTRACTOR SHALL PROVIDE & INSTALL HOT WATER & DRAIN PIPES & DISPOSAL COVERS WHERE PIPING IS EXPOSED.
 - CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL INSTALLED GRAB BARS, COUNTERTOPS/SUPPORT BRACES, SHOWER SURROUND & BASES, SHOWER SEATS, ETC. AS REQ'D. (REF. SHEET A8.6)
 - ALL TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - INSTALL PLASTIC COATED WIRE CLOTHES SHELF & ROD. HEIGHT AS NOTED.
7. **HEARING/VISION IMPAIRED:**
 - ALL ADAPTABLE UNITS NOTES
 - CONTRACTOR SHALL INSTALL EQUIPMENT REQUIRED PER 2010 ADA SEC. 809.5. & ICC A117.1-2021 [SEC. 1106.]
8. PER CODE, A TOTAL OF 2 ACCESSIBLE UNITS ARE PROVIDED. THESE ARE LOCATED ON FLOORS 1 AND 2 OF THE BUILDING.
9. ALL UNITS WILL COMPLY WITH THE VISIBILITY REQUIREMENTS AS OUTLINED IN THE TEXAS ACCESSIBILITY STANDARDS
10. THE FOLLOWING AMENITIES SHALL BE PROVIDED AT ALL UNITS:
 - a. ALL BEDROOMS, DINING ROOMS AND LIVING ROOMS TO BE WIRED WITH CURRENT CABLING TECHNOLOGY FOR DATA & PHONE.
 - b. LAUNDRY CONNECTIONS
 - c. EXHAUST/VENT FANS (VENTED TO OUTSIDE) IN ALL BATHROOMS
 - d. SCREENS ON ALL OPERABLE WINDOWS
 - e. DISPOSAL
 - f. ENERGY-STAR OR EQUIVALENTLY RATED DISHWASHER
 - g. ENERGY-STAR OR EQUIVALENTLY RATED REFRIGERATOR WITH ICE MAKER
 - h. OVEN/RANGE
 - i. BLINDS OR WINDOW COVERINGS FOR ALL WINDOWS
 - j. AT LEAST ONE ENERGY-STAR OR EQUIVALENTLY RATED CEILING FAN PER UNIT
 - k. ENERGY-STAR OR EQUIVALENTLY RATED LIGHTING
 - l. ALL AREAS OF UNIT WILL BE HEATED AND AIR-CONDITIONED
 - m. ENERGY STAR OR EQUIVALENTLY RATED WINDOWS
 - n. COVERED ENTRIES
 - o. NINE FOOT CEILINGS IN LIVING ROOMS AND ALL BEDROOMS
 - p. MICROWAVE OVENS
 - q. SELF-CLEANING OR CONTINUOUS CLEANING OVENS
 - r. BUILT-IN (RECESSED INTO THE WALL) SHELVING UNIT
 - s. KITCHEN PANTRY WITH SHELVING
 - t. HARD FLOOR SURFACES IN OVER 50% OF UNIT NRA.
 - u. RECESSED LED LIGHTING OR LED LIGHTING FIXTURES IN KITCHEN AND LIVING AREAS
 - v. ENERGY-STAR OR EQUIVALENTLY RATED CEILING FANS IN ALL BEDROOMS.
 - w. EPA WATERSENSE OR EQUIVALENTLY QUALIFIED TOILETS IN ALL BATHROOMS.
 - x. EPA WATERSENSE OR EQUIVALENTLY QUALIFIED SHOWERHEADS AND FAUCETS IN ALL BATHROOMS.

APARTMENT CHART

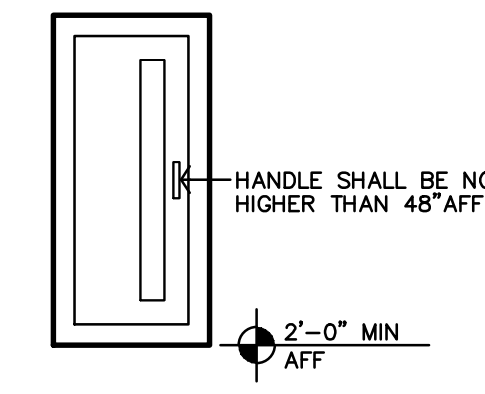
TYPE OF APARTMENT	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
ACCESSIBLE UNITS	#109	#203		2
ADAPTABLE HEARING/VISION IMPAIRED UNIT	#112			1
ADAPTABLE UNITS	ALL REMAINING UNITS			22
TOTAL	24	14	9	25

109 - 1BED ACCESSIBLE
 203 - 2BED ACCESSIBLE
 112 - HEARING & VISION

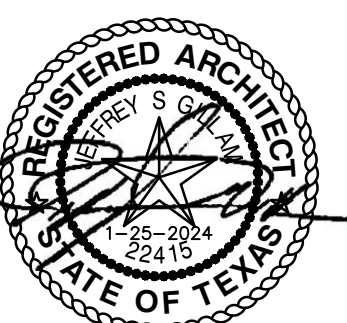
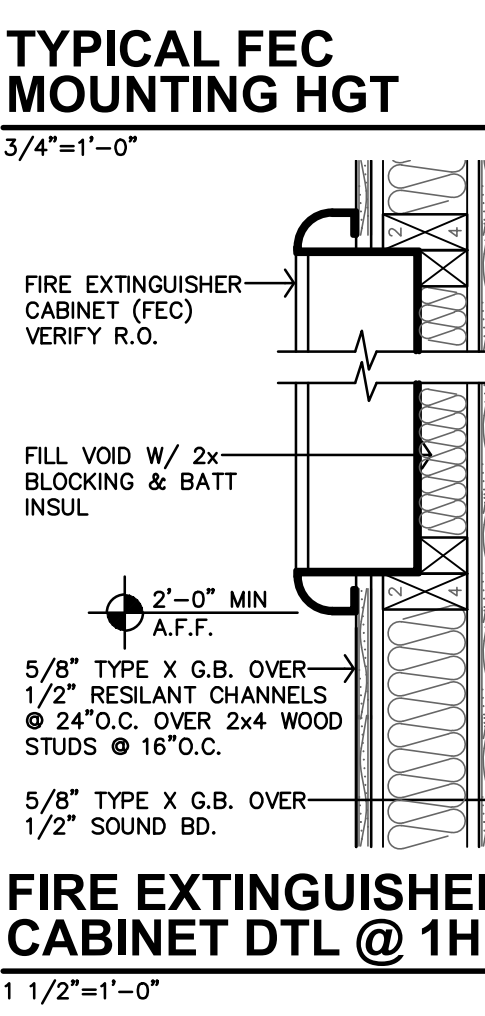
NOTE: UNIT NUMBERS SHOWN ARE FOR CONSTRUCTION PURPOSES ONLY & DO NOT REFLECT FINAL UNIT NUMBERING/LETTERING.

SQUARE FOOTAGE

NO.	UNIT	TDHCA NRA	IBC 2021
#109	APARTMENT 1 (1-bedroom)	630 sf	579 sf
#112	APARTMENT 2 (1-bedroom)	703 sf	651 sf
#113	APARTMENT 3 (1-bedroom)	724 sf	674 sf
#114	APARTMENT 4 (2-bedroom)	844 sf	791 sf
#118	APARTMENT 5 (1-bedroom)	608 sf	576 sf
#122	APARTMENT 6 (1-bedroom)	704 sf	658 sf
#123	APARTMENT 7 (1-bedroom)	706 sf	649 sf
#126	APARTMENT 8 (1-bedroom)	719 sf	642 sf
#127	APARTMENT 9 (2-bedroom)	801 sf	843 sf
#201	APARTMENT 10 (2-bedroom)	877 sf	805 sf
#202	APARTMENT 11 (1-bedroom)	604 sf	567 sf
#203	APARTMENT 12 (2-bedroom)	910 sf	849 sf
#207	APARTMENT 13 (1-bedroom)	620 sf	576 sf
#209	APARTMENT 14 (1-bedroom)	610 sf	563 sf
#211	APARTMENT 15 (1-bedroom)	613 sf	584 sf
#212	APARTMENT 16 (1-bedroom)	655 sf	605 sf
#213	APARTMENT 17 (1-bedroom)	630 sf	572 sf
#301	APARTMENT 18 (2-bedroom)	877 sf	805 sf
#302	APARTMENT 19 (1-bedroom)	604 sf	567 sf
#303	APARTMENT 20 (2-bedroom)	910 sf	849 sf
#307	APARTMENT 21 (1-bedroom)	620 sf	576 sf
#309	APARTMENT 22 (1-bedroom)	610 sf	563 sf
#311	APARTMENT 23 (1-bedroom)	613 sf	584 sf
#312	APARTMENT 24 (1-bedroom)	655 sf	605 sf
#313	APARTMENT 25 (1-bedroom)	630 sf	572 sf

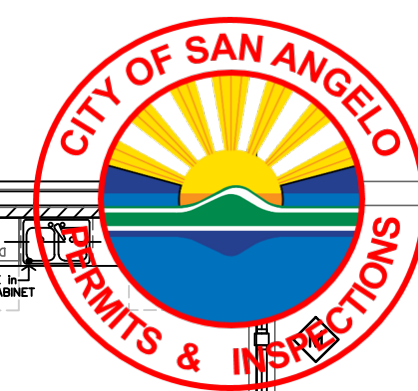


TYPICAL FEC MOUNTING HGT

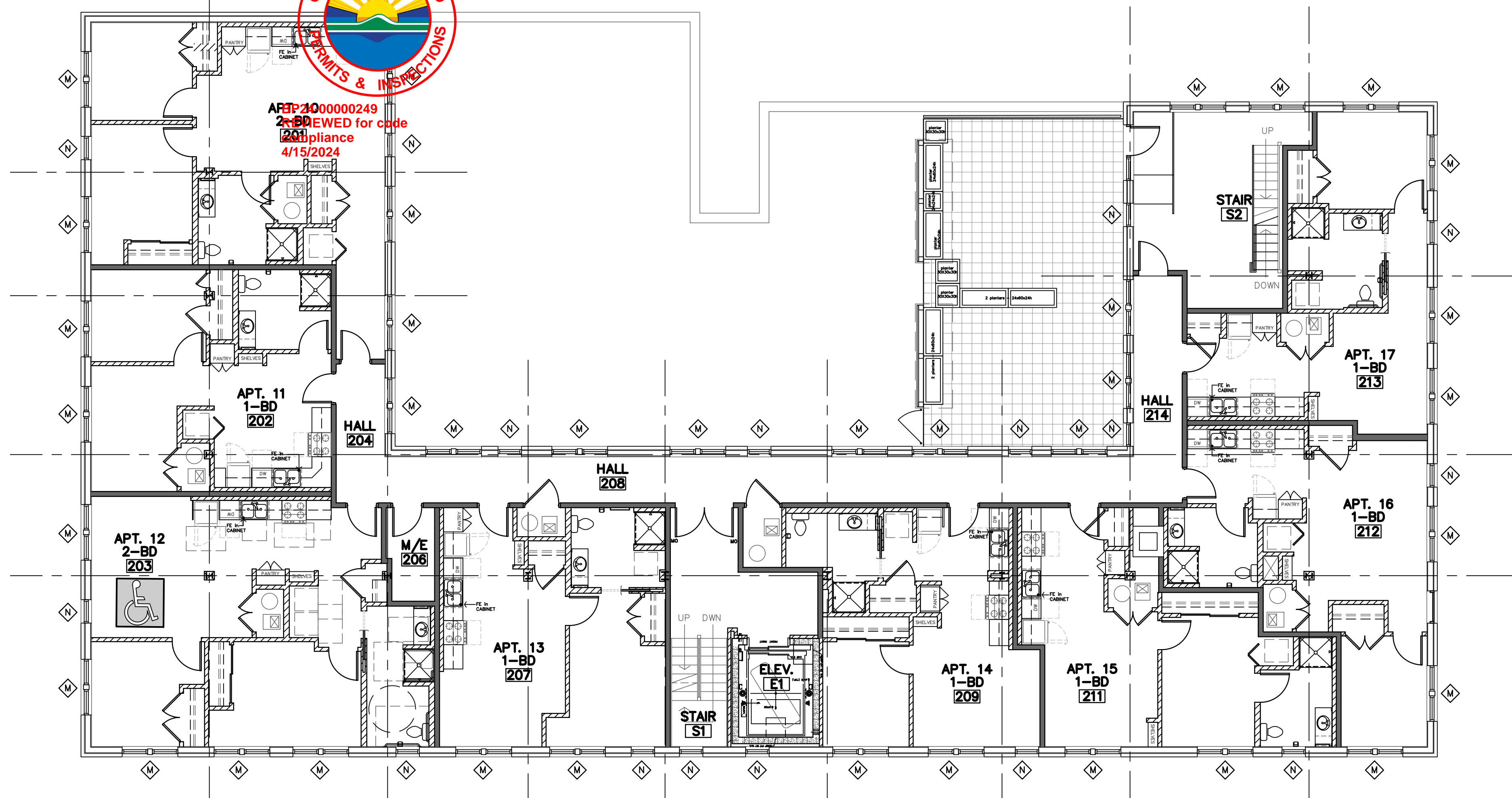


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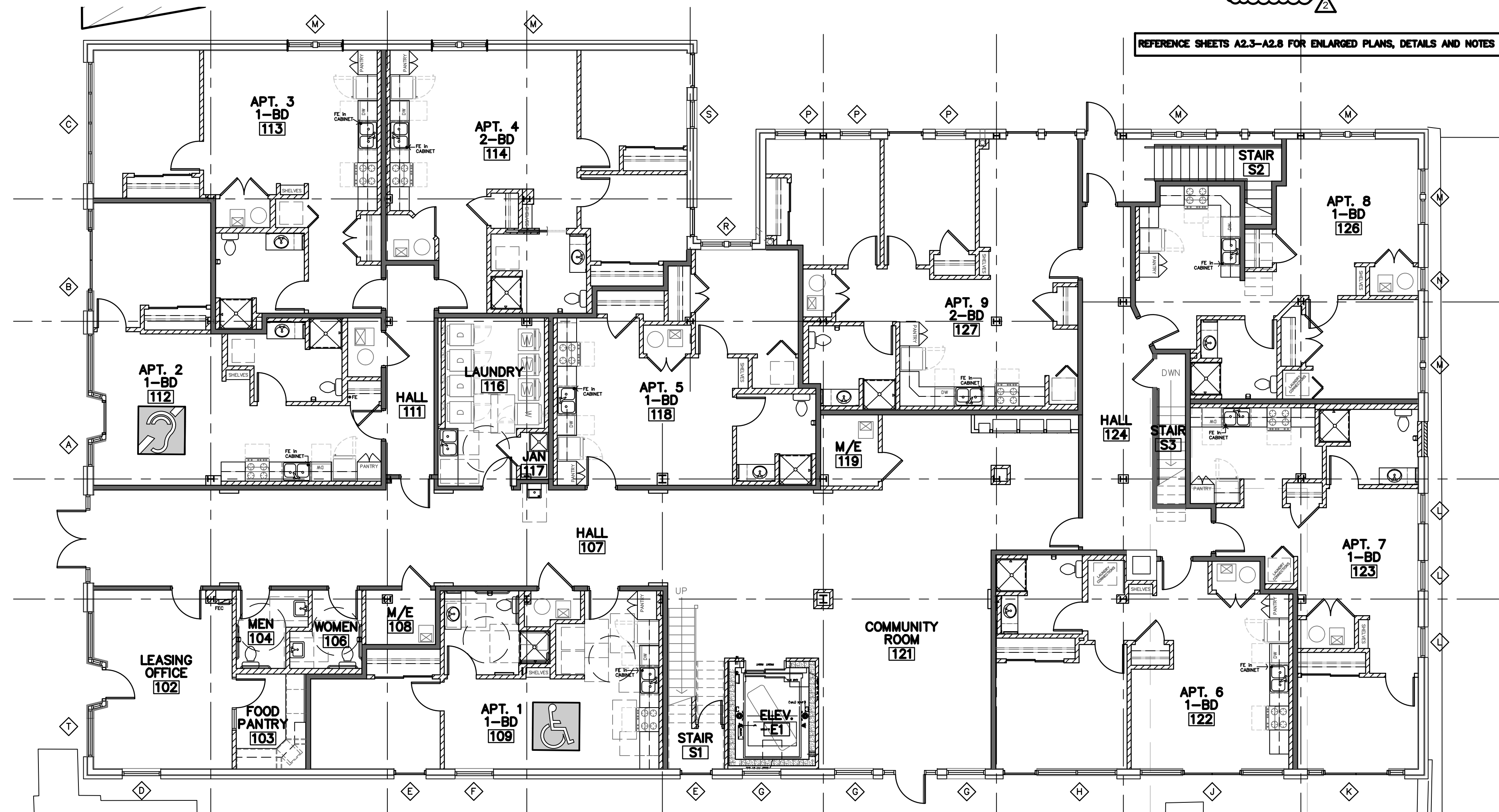


APR 2000000249
2-BD REWED for code
201 compliance
4/15/2024



B SECOND FLOOR PLAN
1/8"=1'-0"

REFERENCE SHEETS A2.3-A2.6 FOR ENLARGED PLANS, DETAILS AND NOTES



A FIRST FLOOR PLAN
1/8"=1'-0"

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



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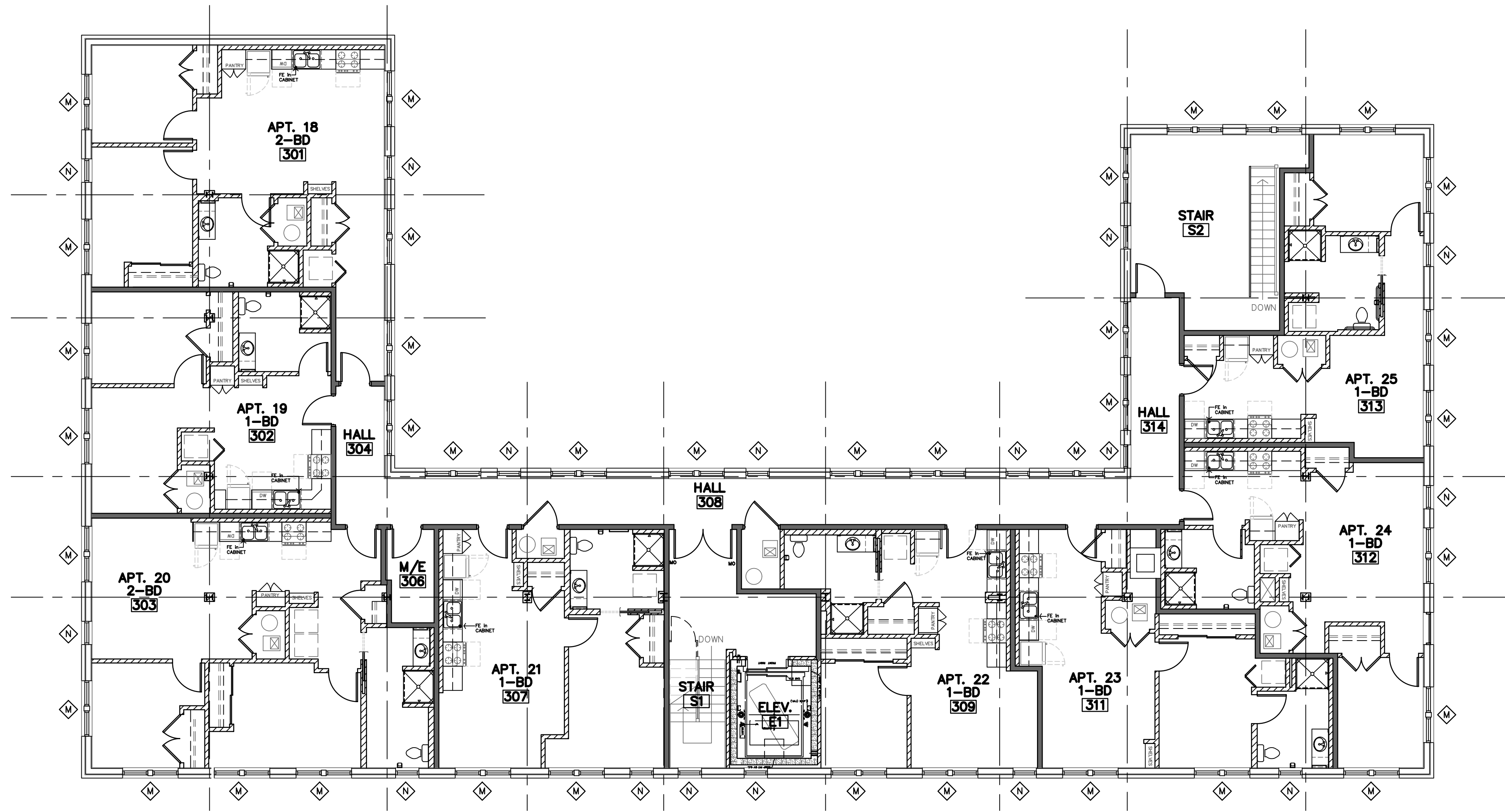
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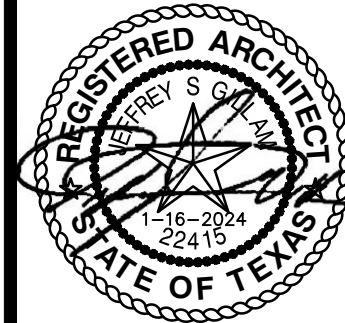


ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO,
TEXAS

REFERENCE SHEETS A2.3-A2.6 FOR ENLARGED PLANS, DETAILS AND NOTES



A **THIRD FLOOR PLAN**
1/8"=1'-0"



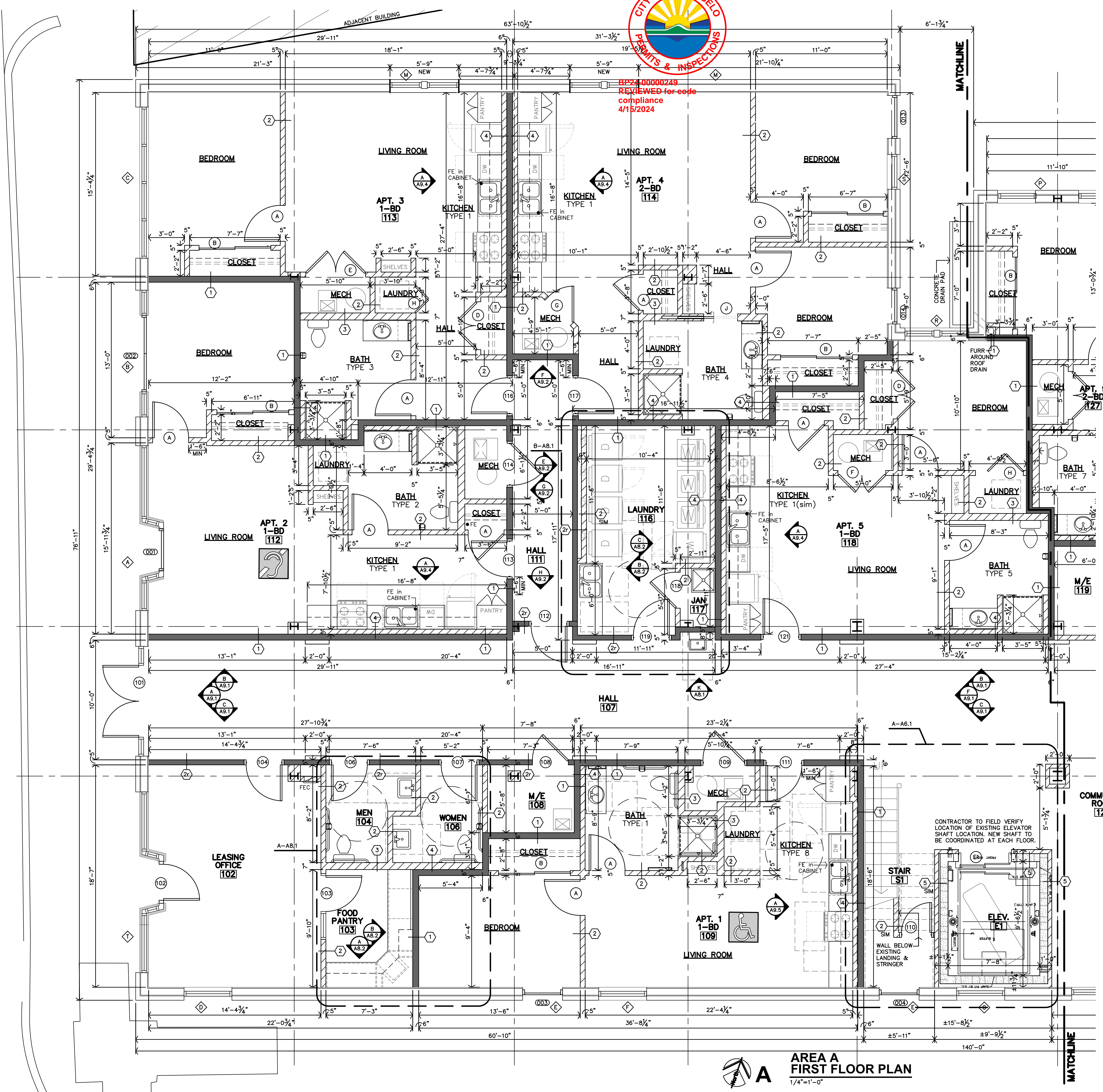
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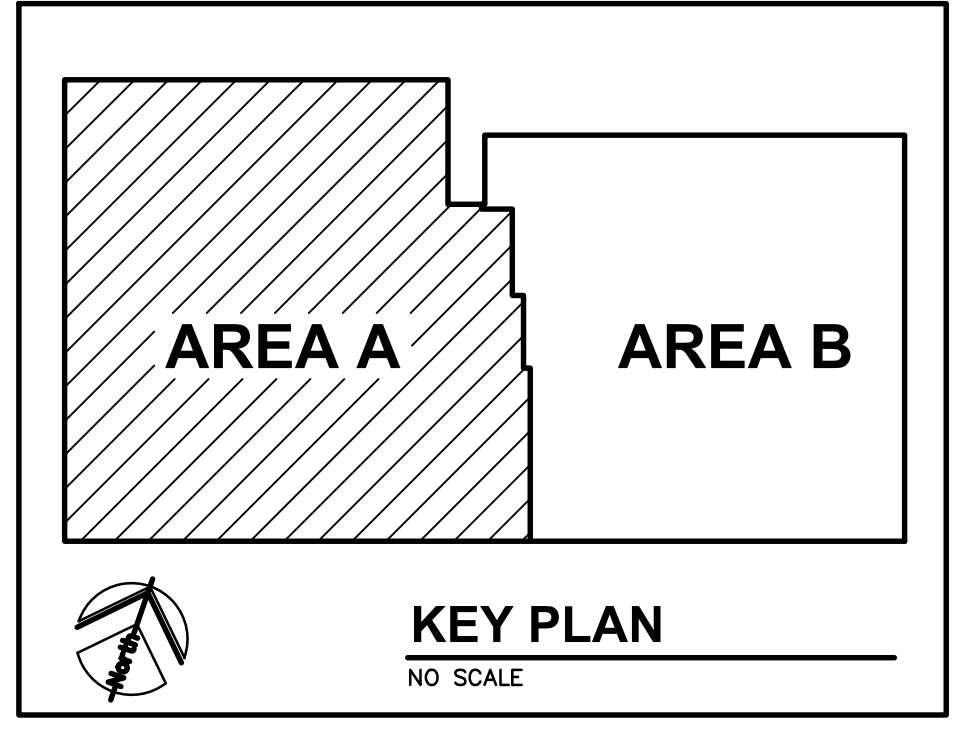
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**AREA A
 FIRST FLOOR PLAN**
 1/4"=1'-0"

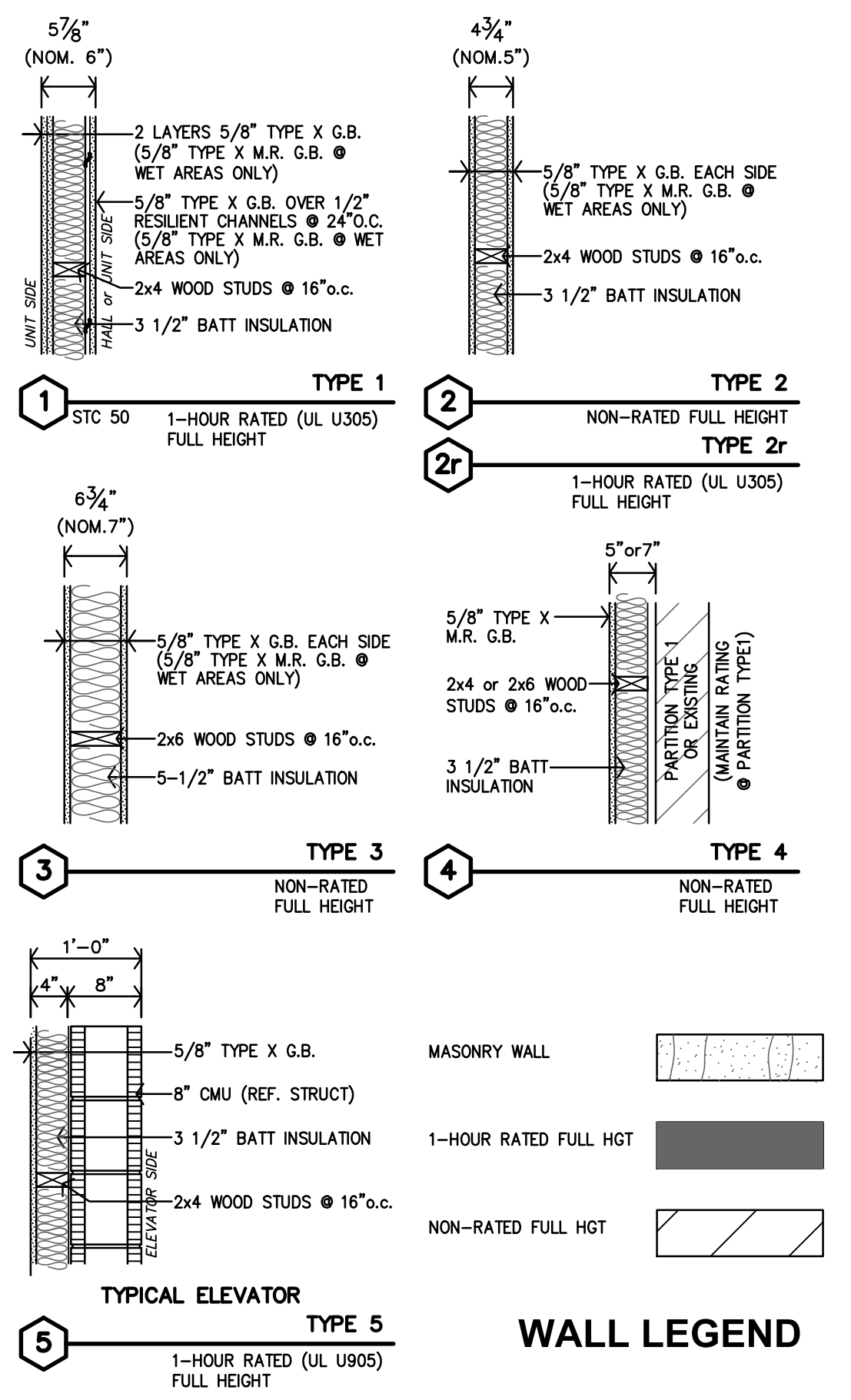


PLAN NOTES

- REF. SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

PARTITION SCHEDULE

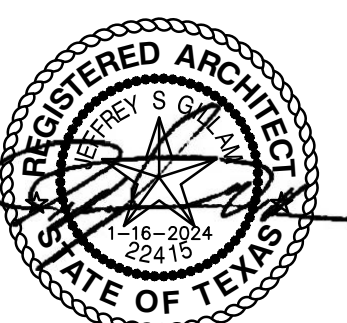
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- REF. SHEETS CFP, A7.1 & A7.2 FOR RATED WALLS, LOCATIONS & CODE INFORMATION



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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



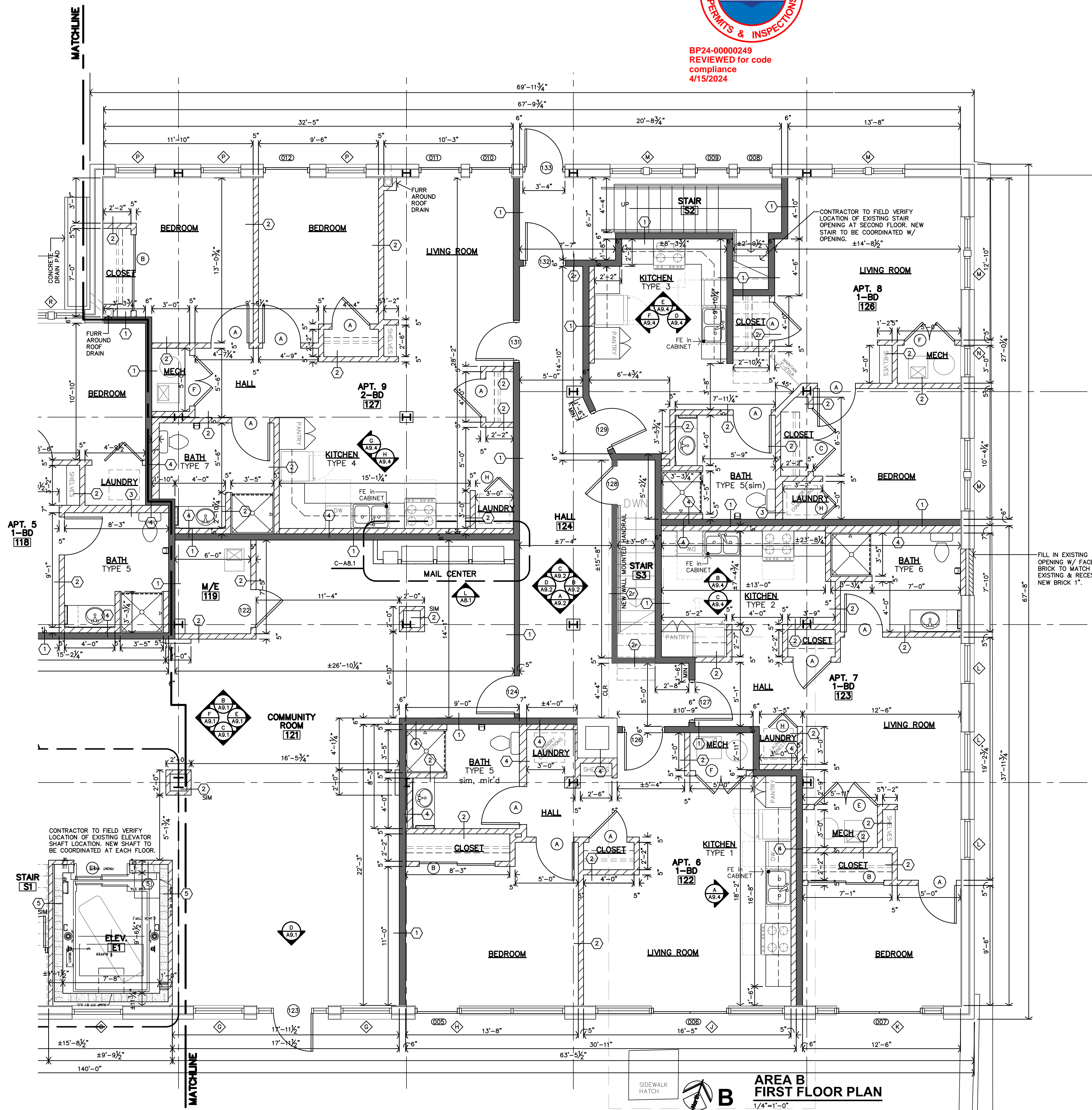
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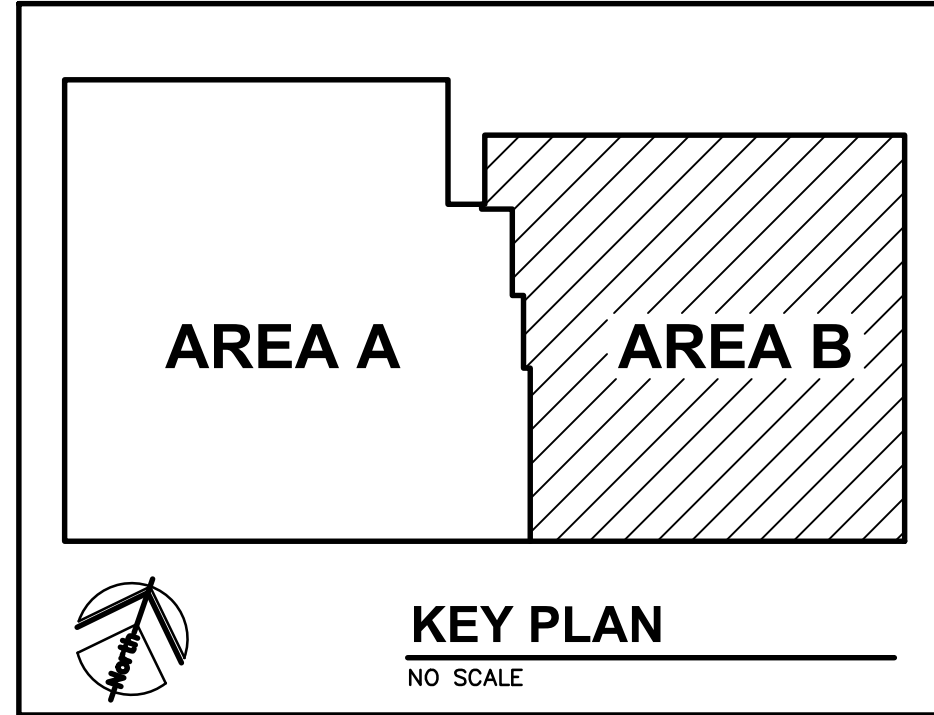
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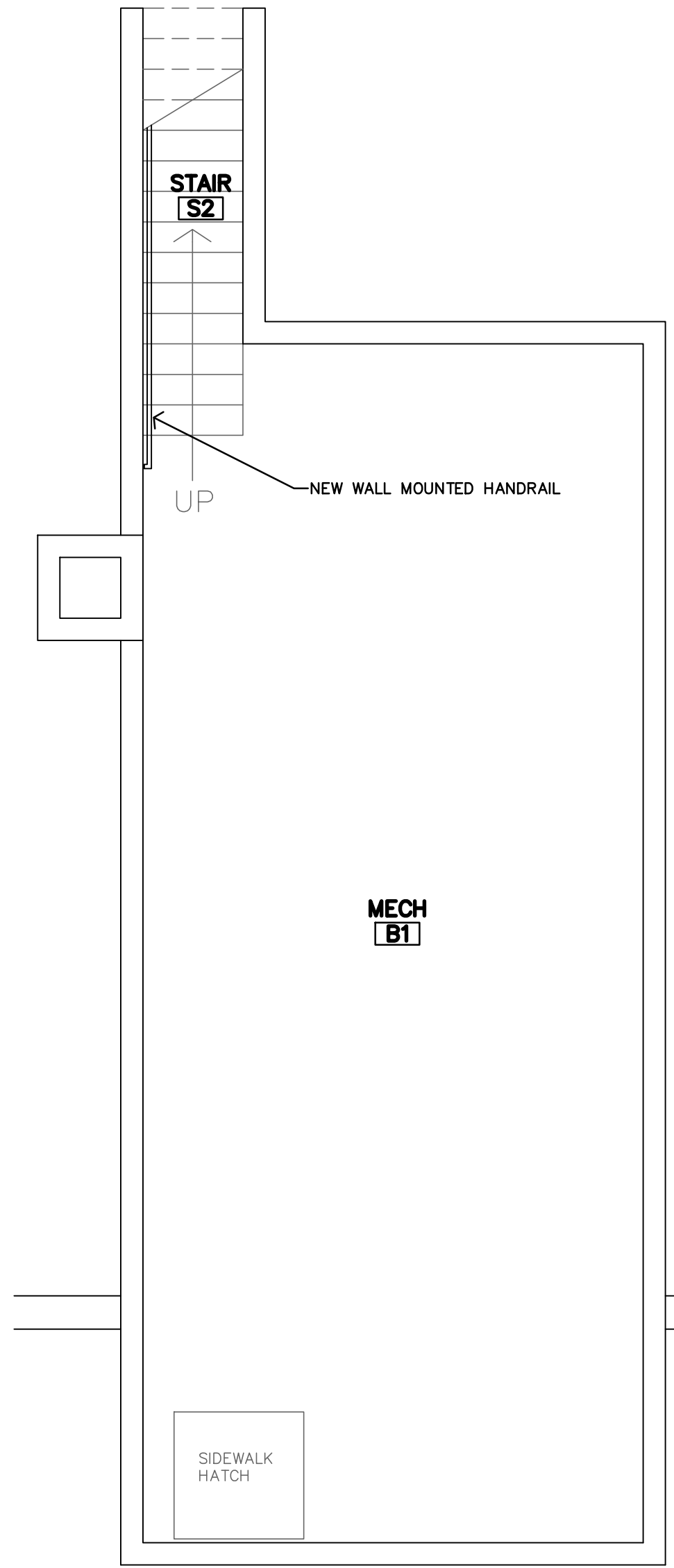
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**AREA B
 FIRST FLOOR PLAN**
 1/4"=1'-0"



PLAN NOTES
 1. REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.



**MECH
 B1**
BASEMENT PLAN
 1/8"=1'-0"

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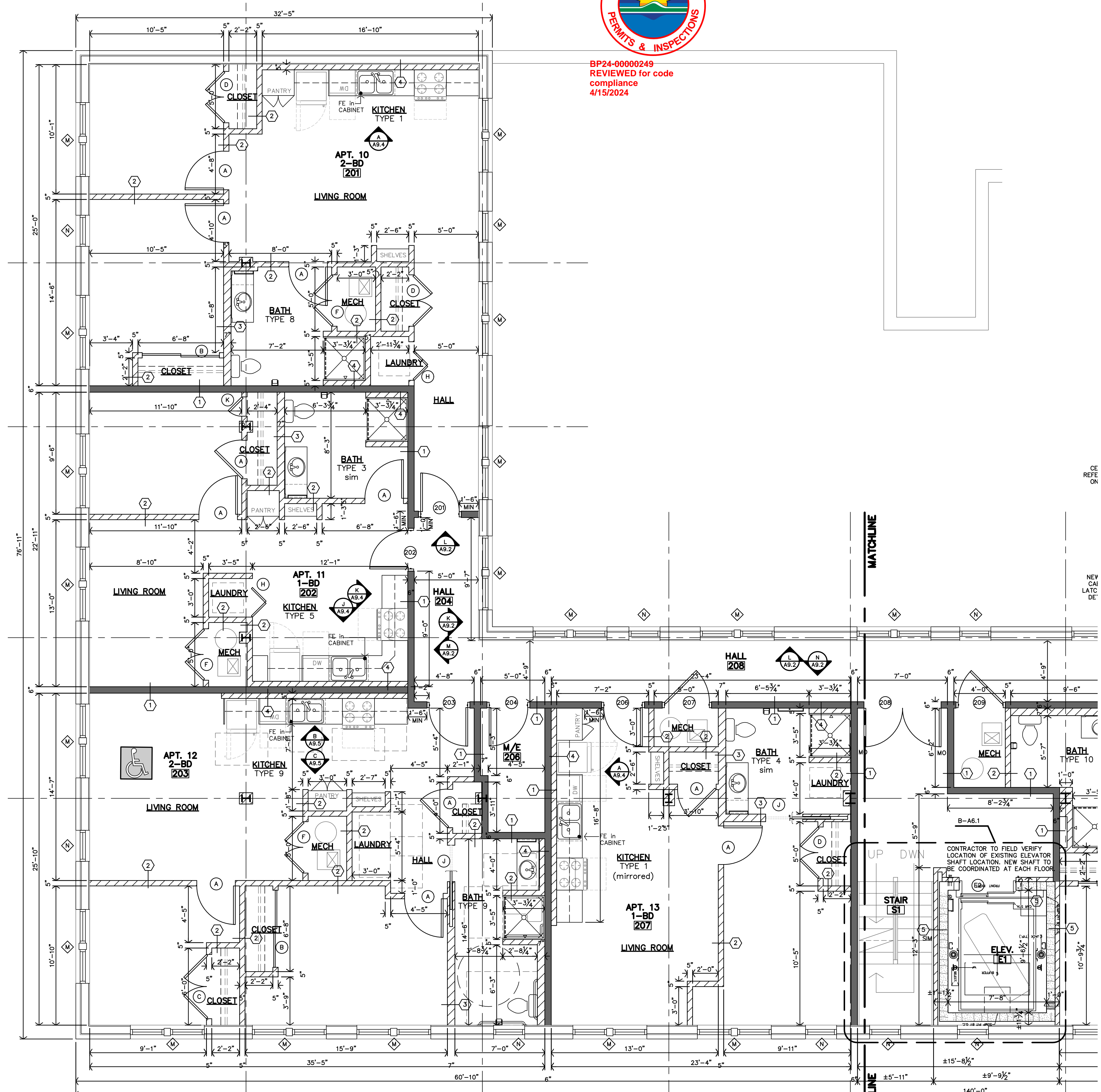
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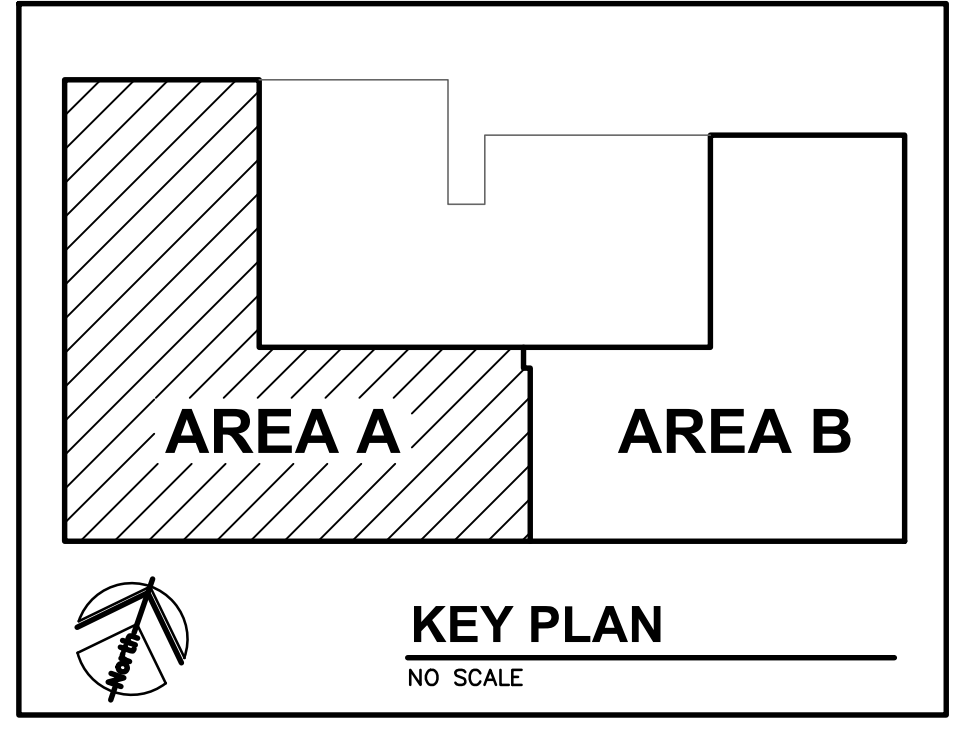
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**AREA A
 SECOND FLOOR PLAN**
 1/4"=1'-0"

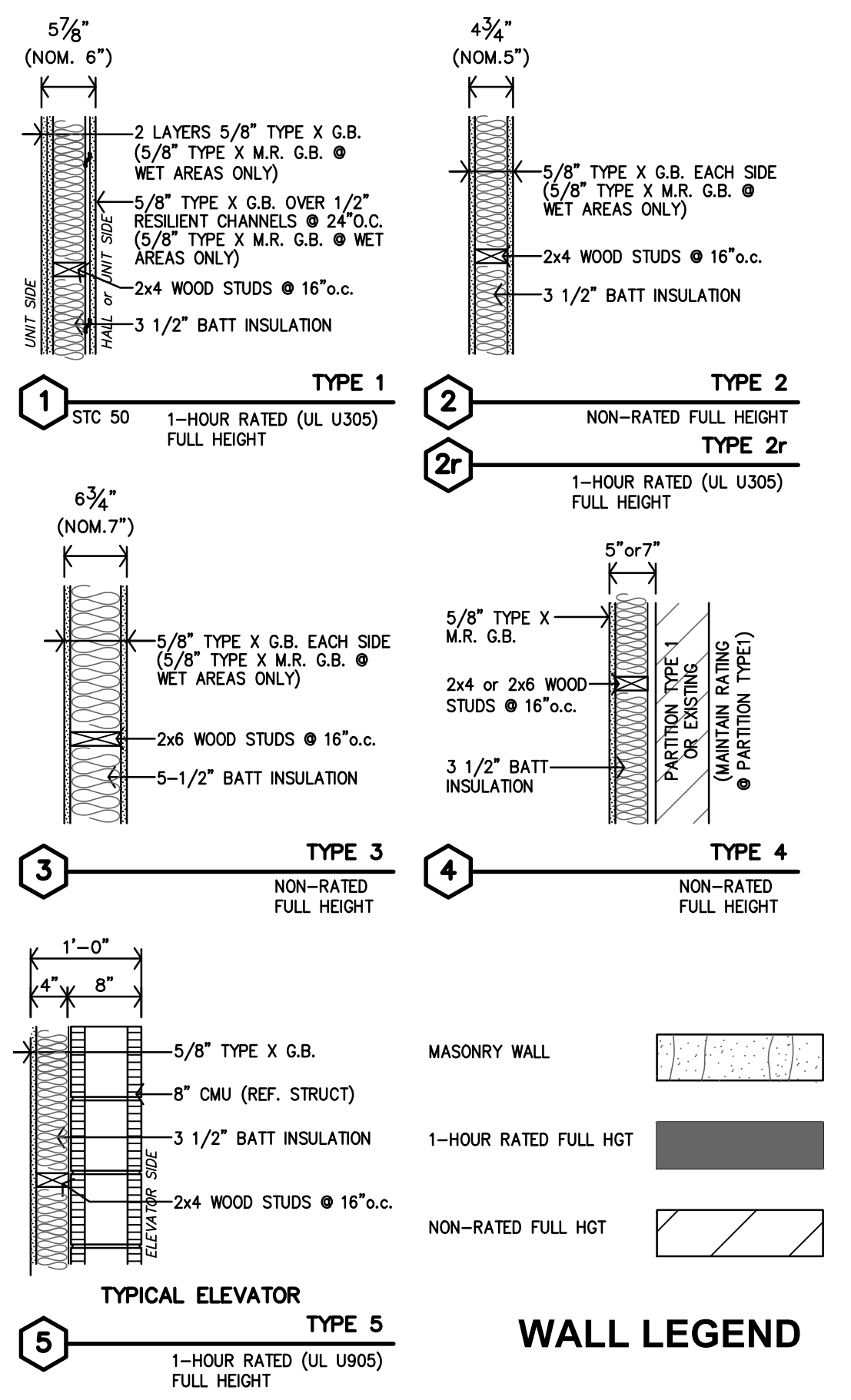


PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

PARTITION SCHEDULE

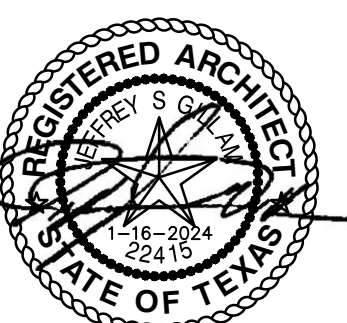
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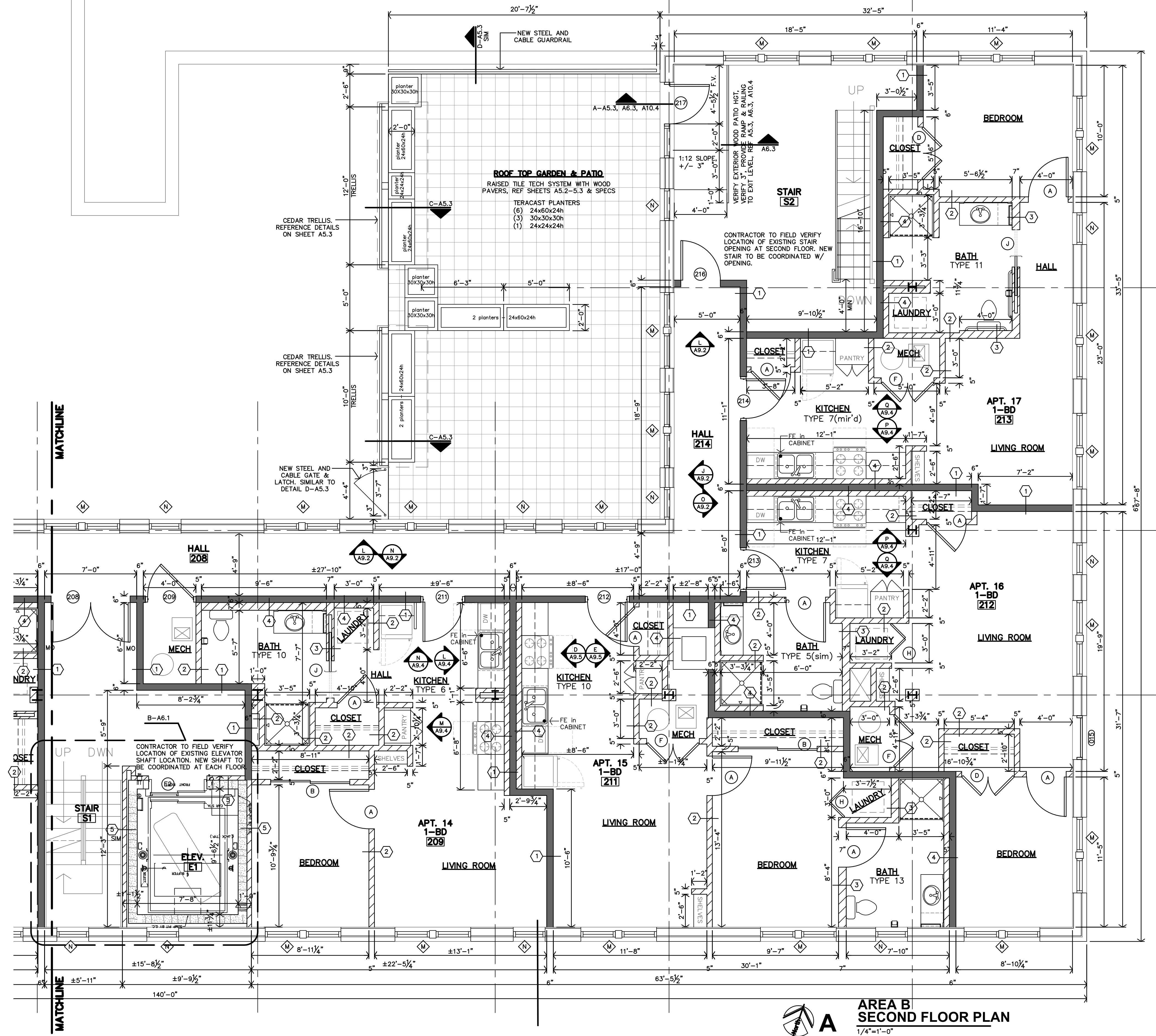
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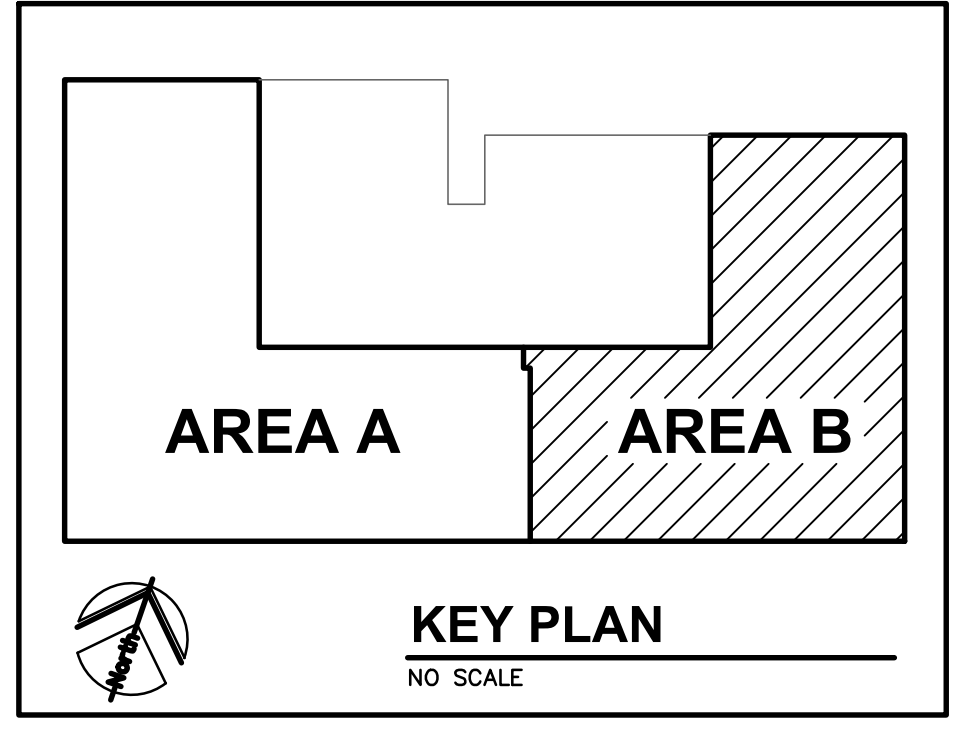
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**AREA B
 SECOND FLOOR PLAN**
 1/4"=1'-0"

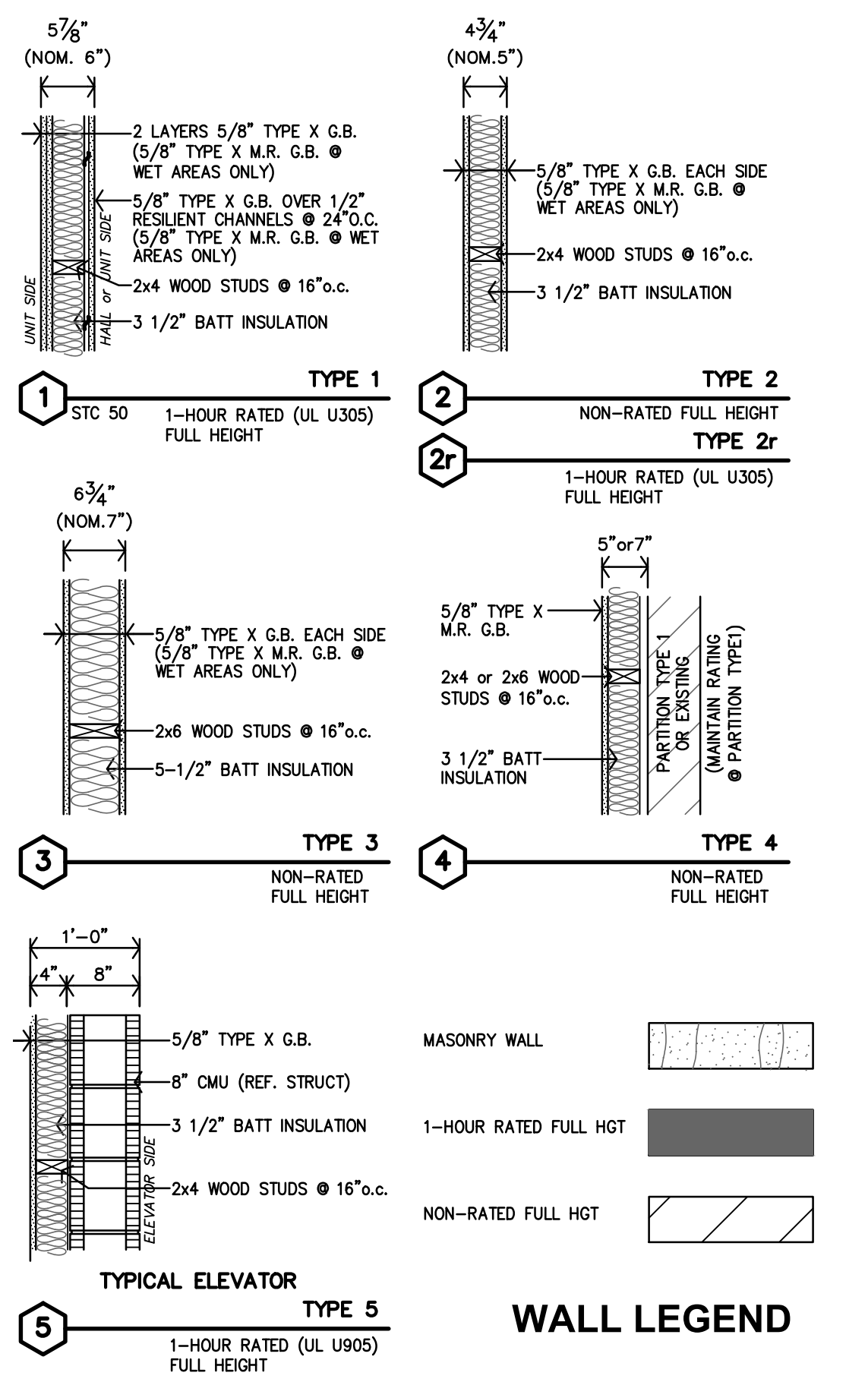


PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

PARTITION SCHEDULE

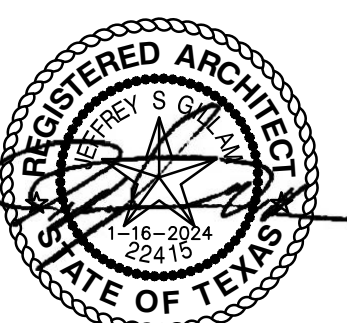
- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
- LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT.
- REF. SHEETS CFP, A7.1 & A7.2 FOR RATED WALLS, LOCATIONS & CODE INFORMATION



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 jgr@jgarchitects.com



ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



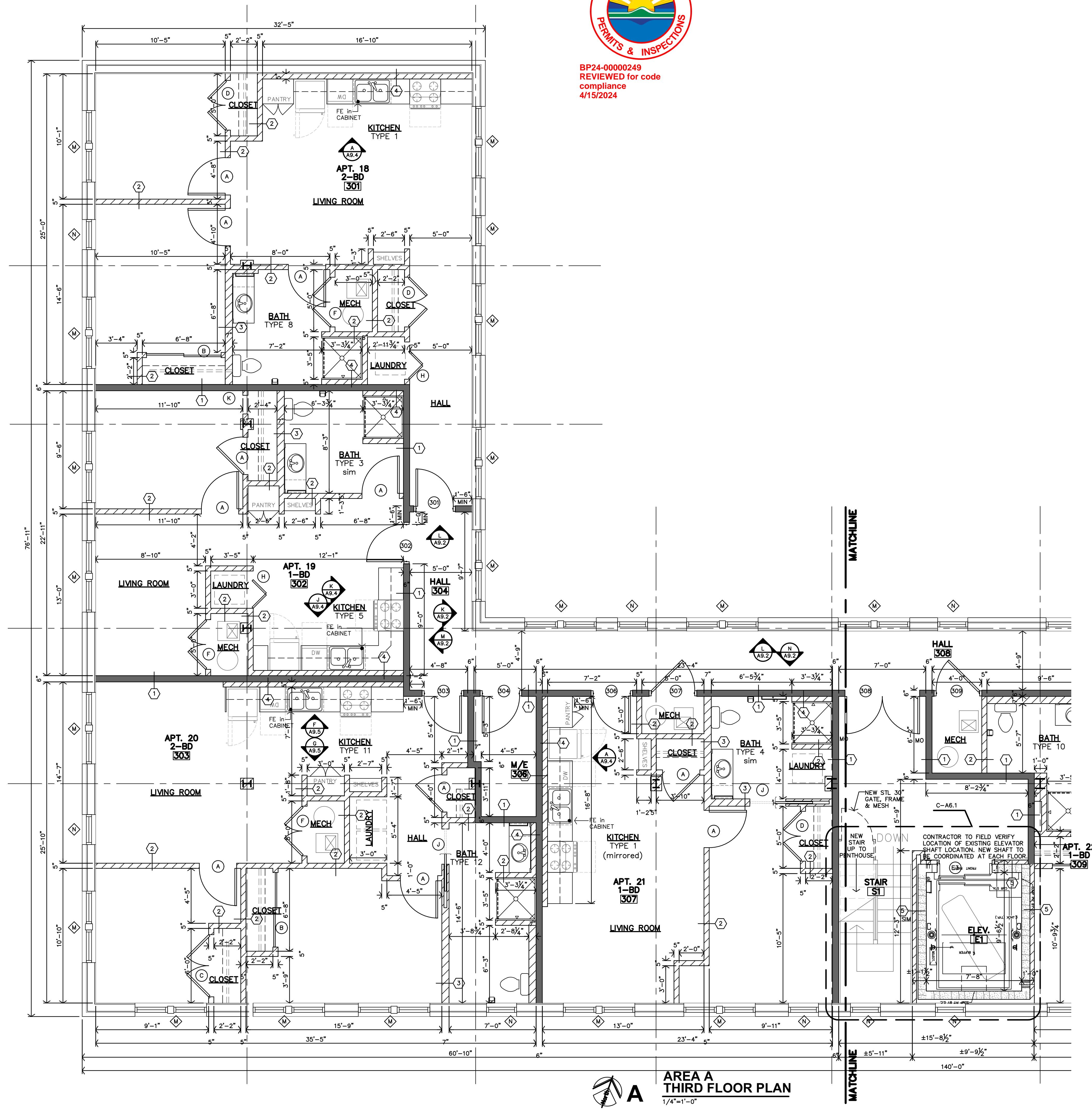
REVISION:
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:

A2.6

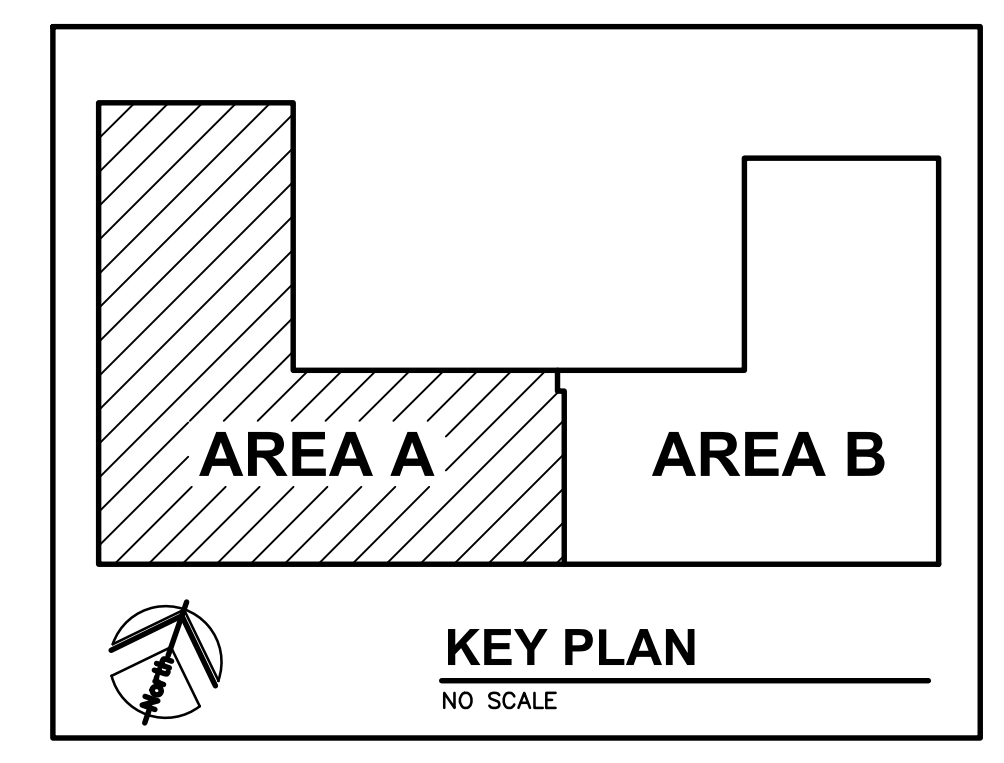
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AREA A
THIRD FLOOR PLAN
 1/4"=1'-0"

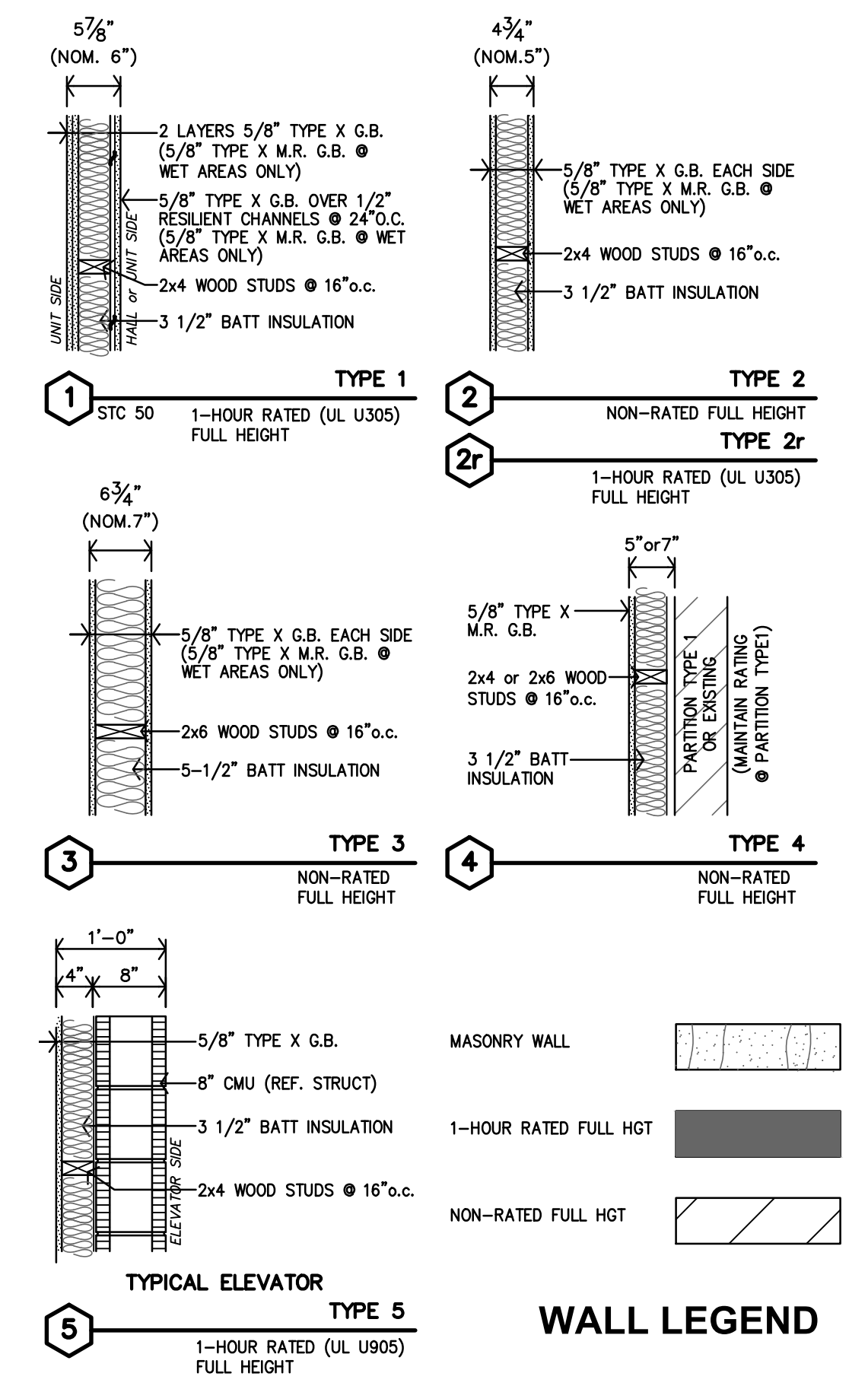


PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

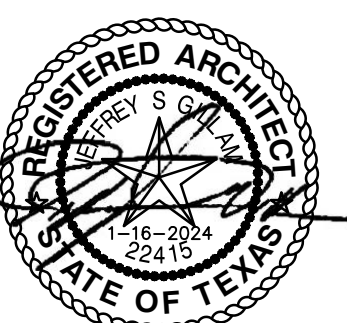
PARTITION SCHEDULE

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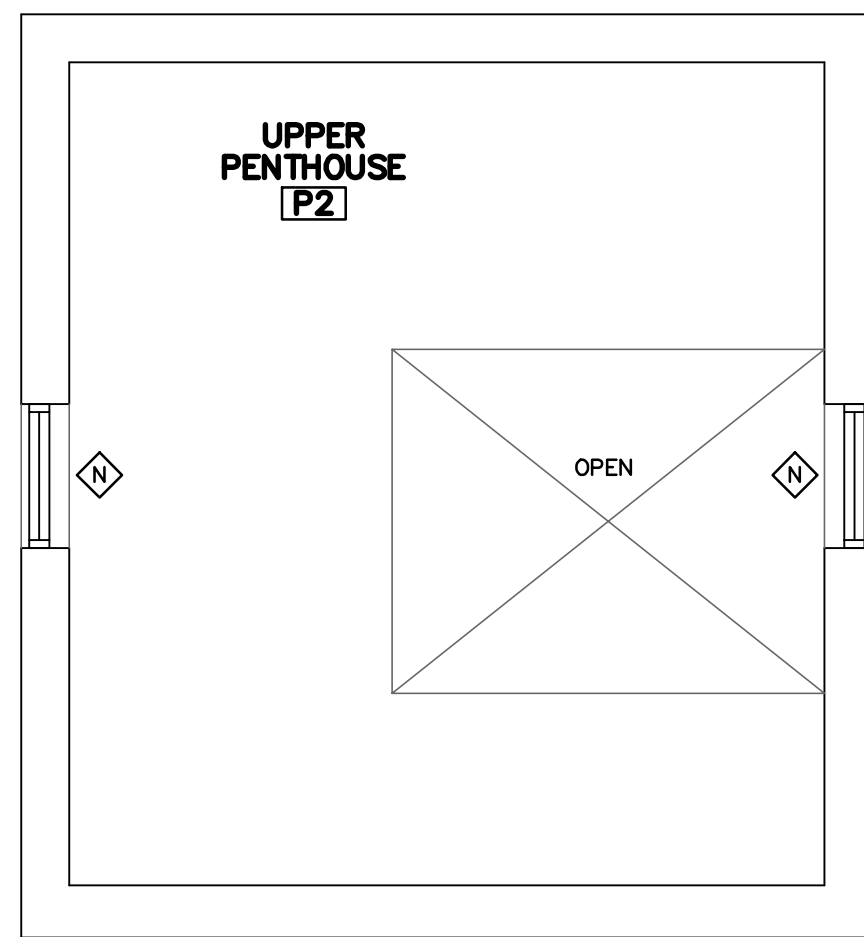
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 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:

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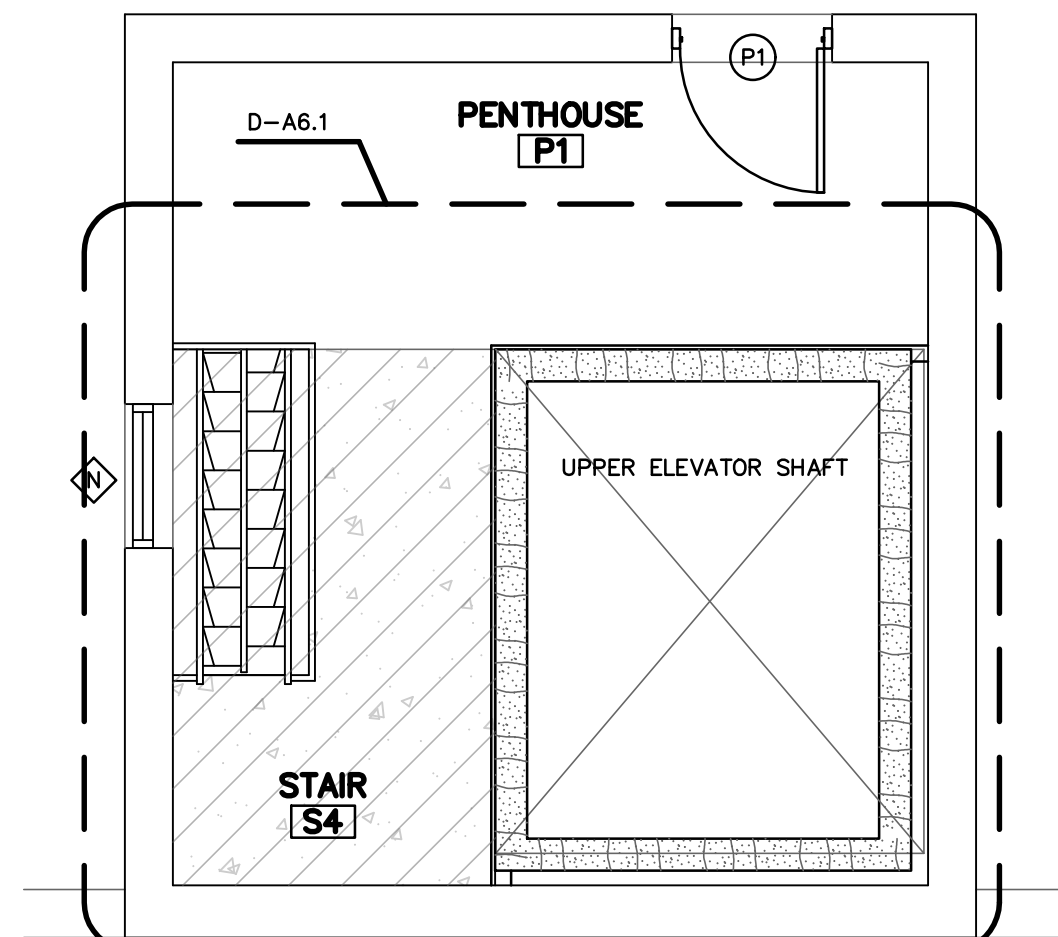
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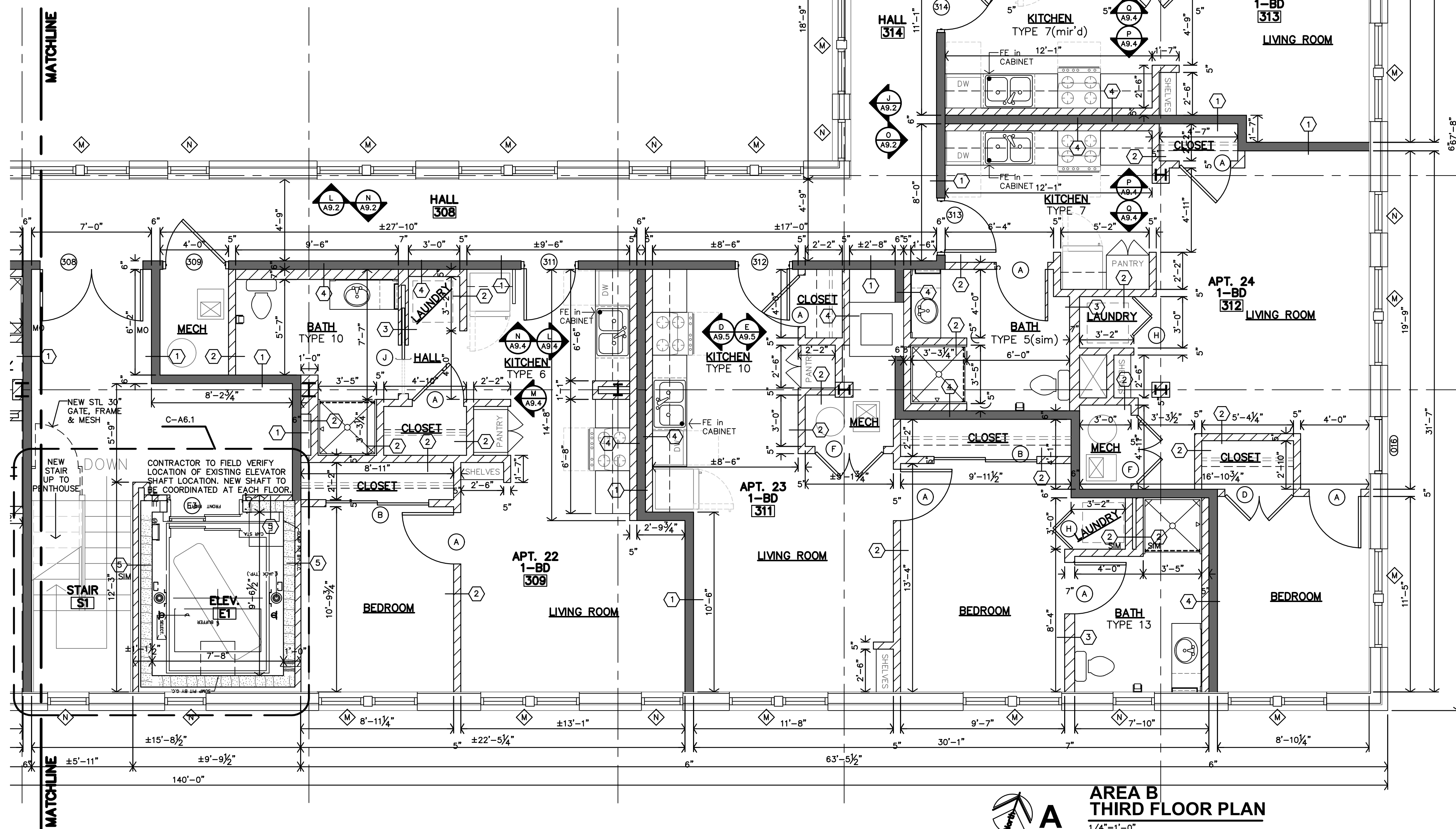
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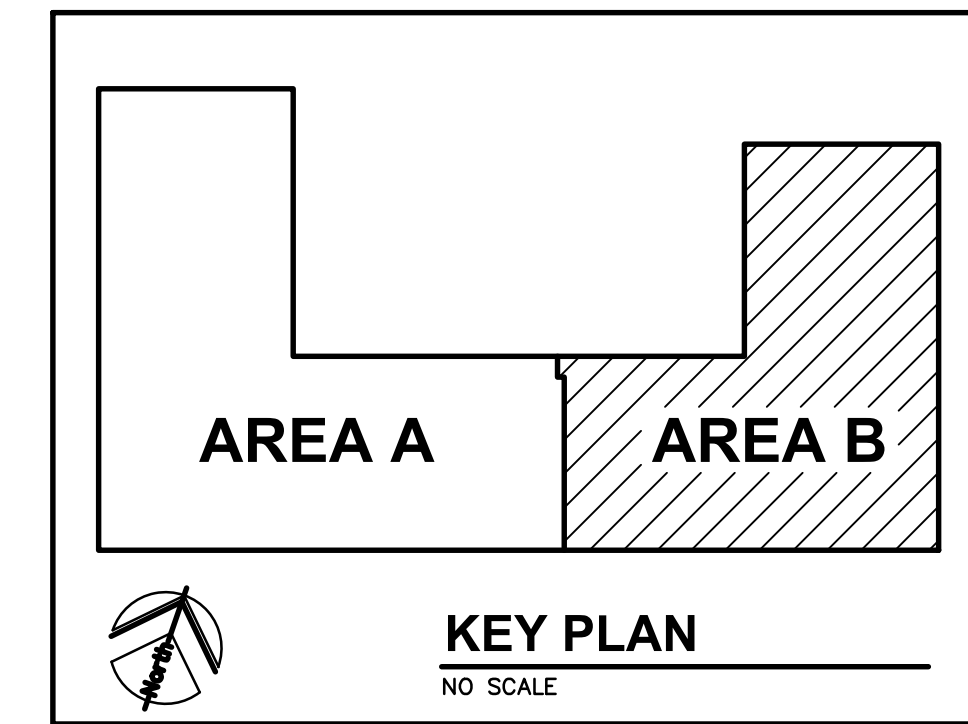
C UPPER PENTHOUSE PLAN
 1/4"=1'-0"



B PENTHOUSE PLAN
 1/4"=1'-0"



A AREA B THIRD FLOOR PLAN
 1/4"=1'-0"



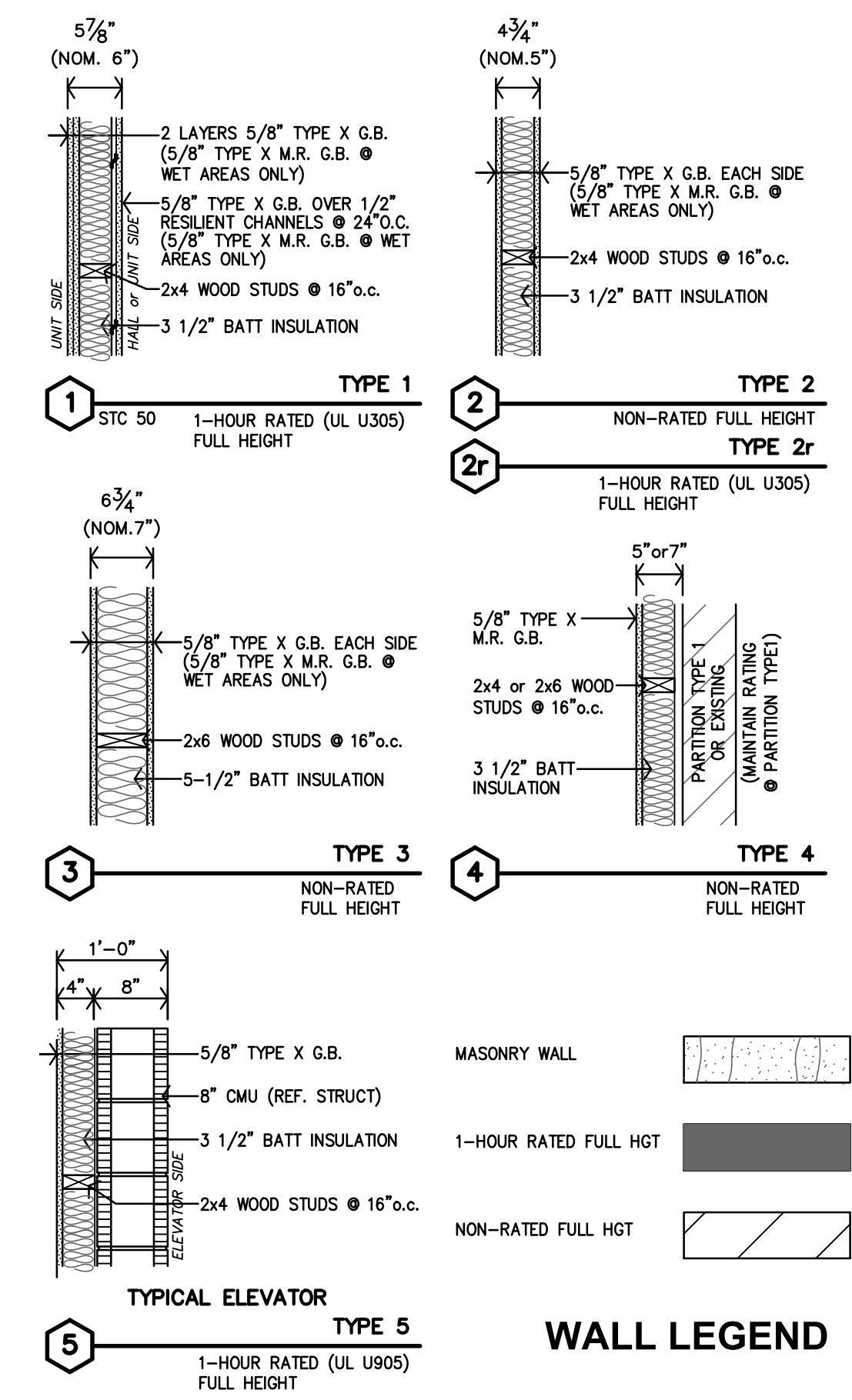
KEY PLAN
 NO SCALE

PLAN NOTES

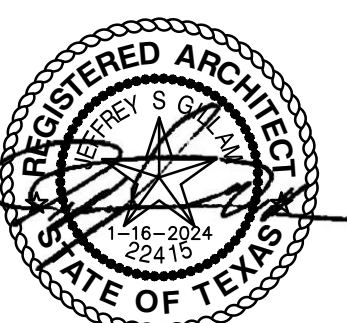
- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

PARTITION SCHEDULE

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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS

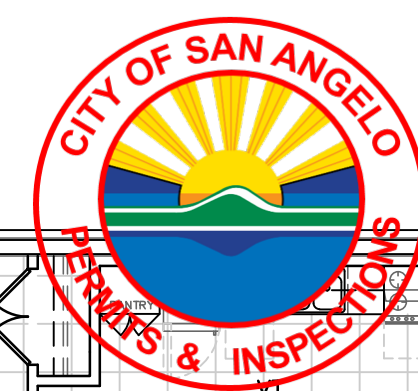


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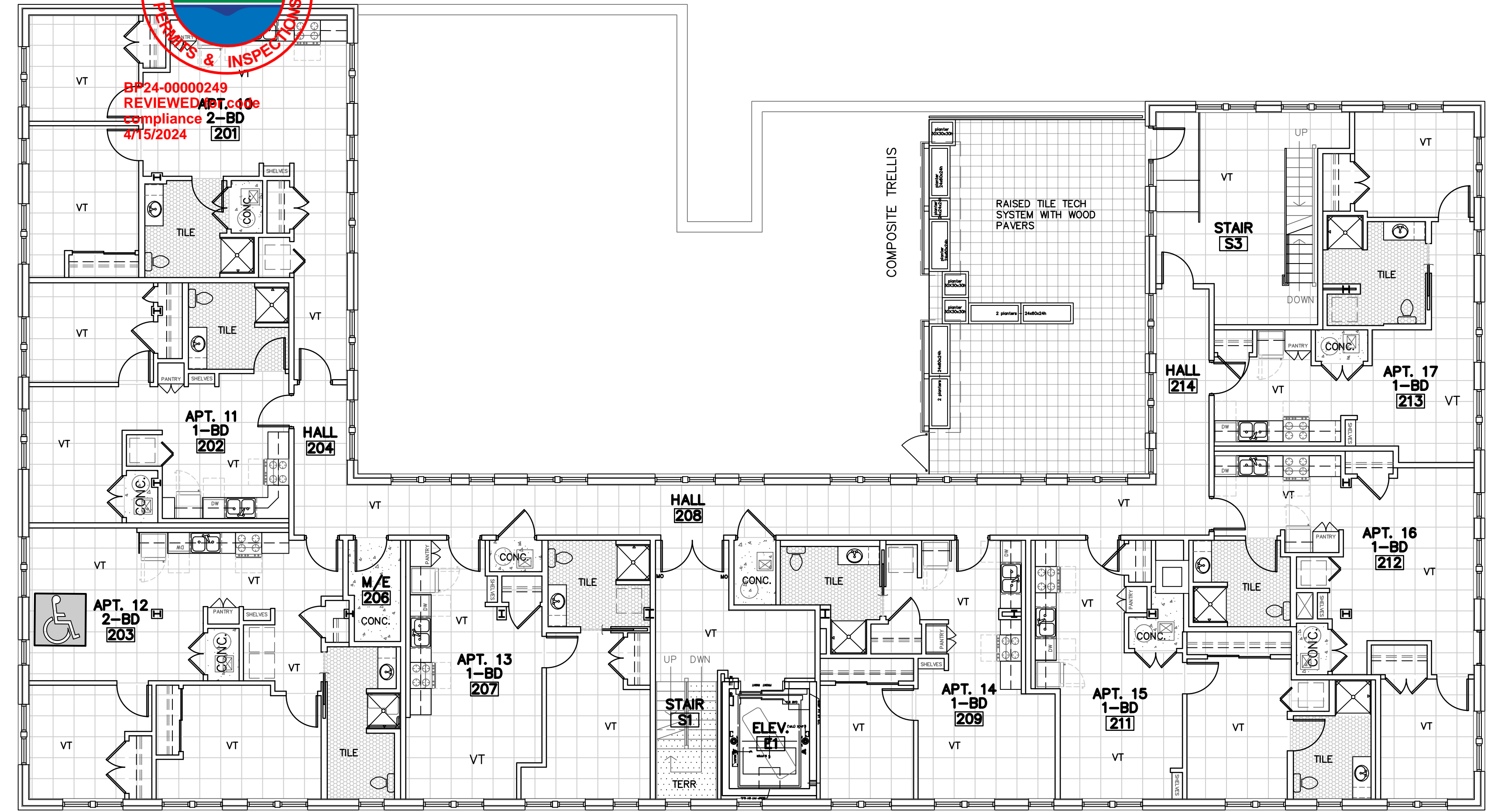
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B SECOND FLOOR FLOOR FINISH PLAN
3/32"=1'-0" THIRD FLOOR SIMILAR

FLOORING GENERAL NOTES

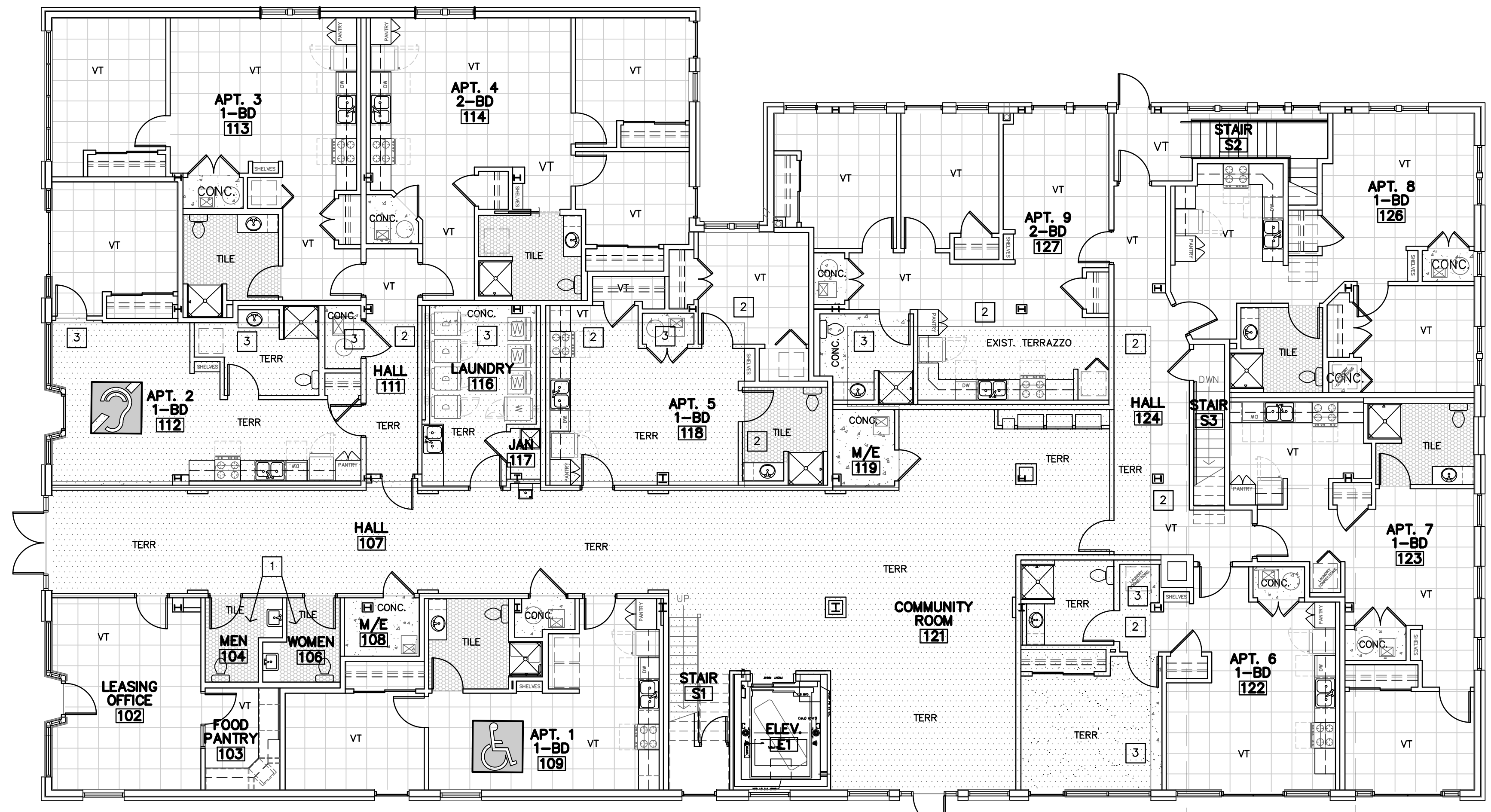
- FLOORING CONTRACTOR SHALL VERIFY THAT SUBFLOOR IS LEVEL AND PROPERLY PREPPED PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS.
- CONTRACTOR SHALL VERIFY THAT FLOORS ARE PREPPED/"FLOORSTONED" FOR LEVEL TRANSITION BETWEEN DIFFERING MATERIALS.
- CONTRACTOR SHALL COORDINATE WITH INTERIOR ELEVATIONS, FLOOR PLANS AND MISCELLANEOUS DETAILS TO VERIFY ALL AESTHETIC ACCENTS AND DETAILS
- CUT TILE TIGHT AROUND DOOR FRAMES, AT VT FLOORS INSTALL CLEAR SILICONE SEALANT AT THE FLOOR/FRAME TRANSITION.
- INSTALL METAL SCHLUTER TRANSITION BETWEEN FLOOR & WALL MATERIAL TRANSITIONS UNLESS BULLNOSE OR WOOD TRIM IS INDICATED.
- ADD REDUCER STRIP AT ALL FLOORING TRANSITIONS
- UNIT KITCHEN & BATH: AT REMOVABLE CABINET FRONTS, WALLS TO BE FINISHED & FLOORING CONTINUOUS UNDERNEATH. NO PLUMBING MODIFICATIONS ALLOWED AFTER CABINET FRONT IS REMOVED.
- VINYL TILE: PATCH, FILL VOIDS AND ENSURE FLOOR IS LEVEL & READY FOR NEW INSTALLATION APPROVED BY THE FLOOR MANUFACTURER.
- CARPET: PATCH, FILL VOIDS, SAND AND LEVEL, BEFORE INSTALLING

SPECIFIC NOTES

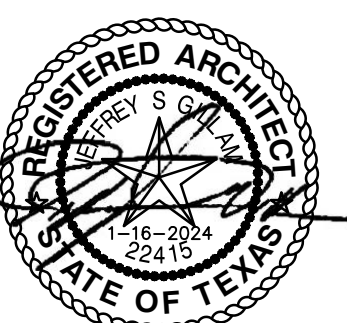
- AT MEN'S #104 AND WOMEN'S #106 - MOSAIC FLOORING PATTERN, REFERENCE DETAIL U-AB.1
- VINYL & CERAMIC TILE TO TERRAZZO TRANSITIONS: CUT/TRIM TERRAZZO SO THAT A STRAIGHT CLEAN LINE IS CREATED. USE A STAINLESS STEEL SCHLUTER SCHIENE TRIM (OR EQUIVALENT) BETWEEN THE TERRAZZO AND VINYL TILE.
- AT AREAS WHERE TERRAZZO DOESN'T MEET WALLS, AND SMALL PORTION OF SUB FLOORING IS EXPOSED. INSTALL SEALED CONCRETE. CONCRETE TO HAVE SIMILAR TEXTURE AND COLOR AS ORIGINAL TERRAZZO FLOOR. INSTALL NEW CONCRETE IN A SIMILAR FASHION TO REPLACEMENT TERRAZZO. REFERENCE SHEET A10.1 FOR ADDITIONAL DETAILS.

FLOORING LEGEND

	NEW VINYL TILE		EXISTING TERRAZZO
	NEW MOSAIC TILE		SEALED CONCRETE



A FIRST FLOOR FLOOR FINISH PLAN
1/8"=1'-0"



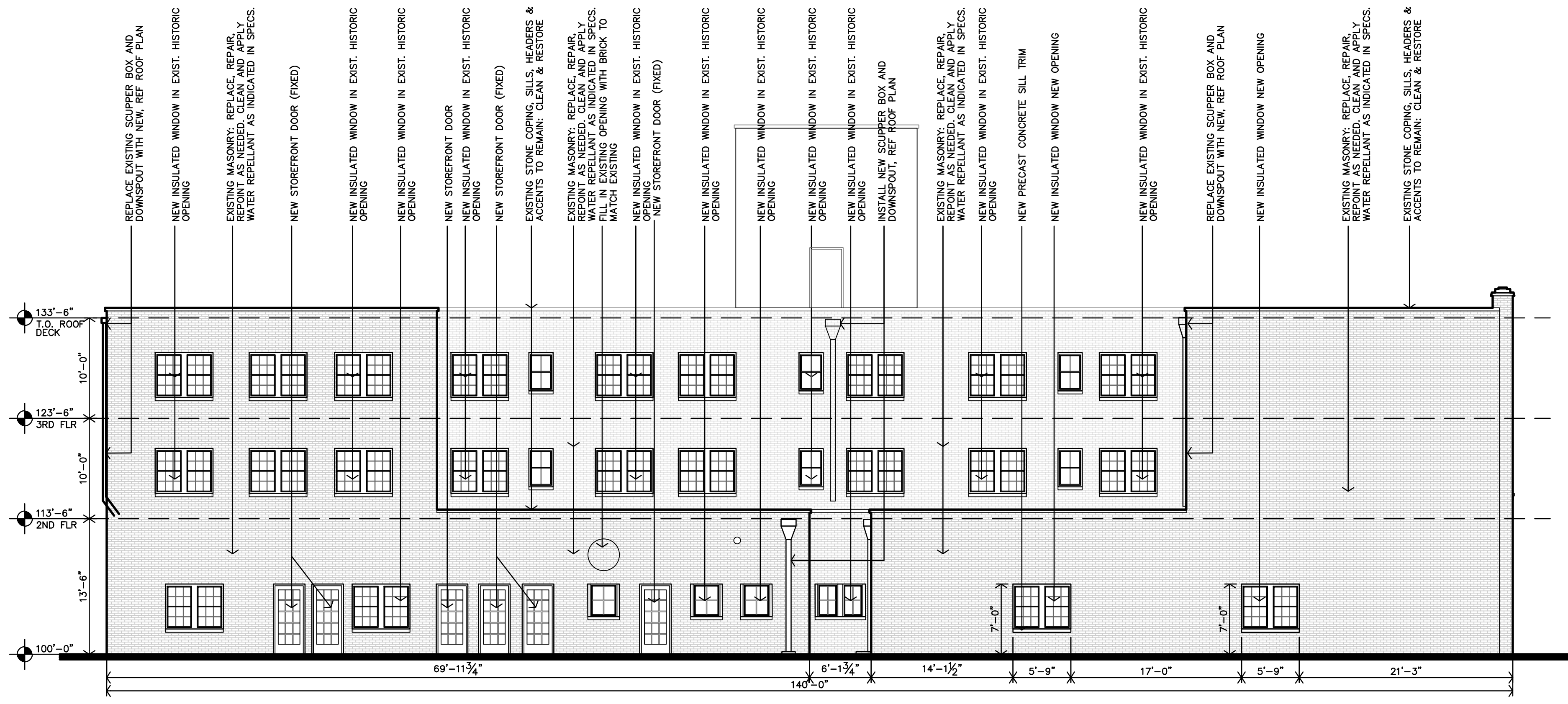
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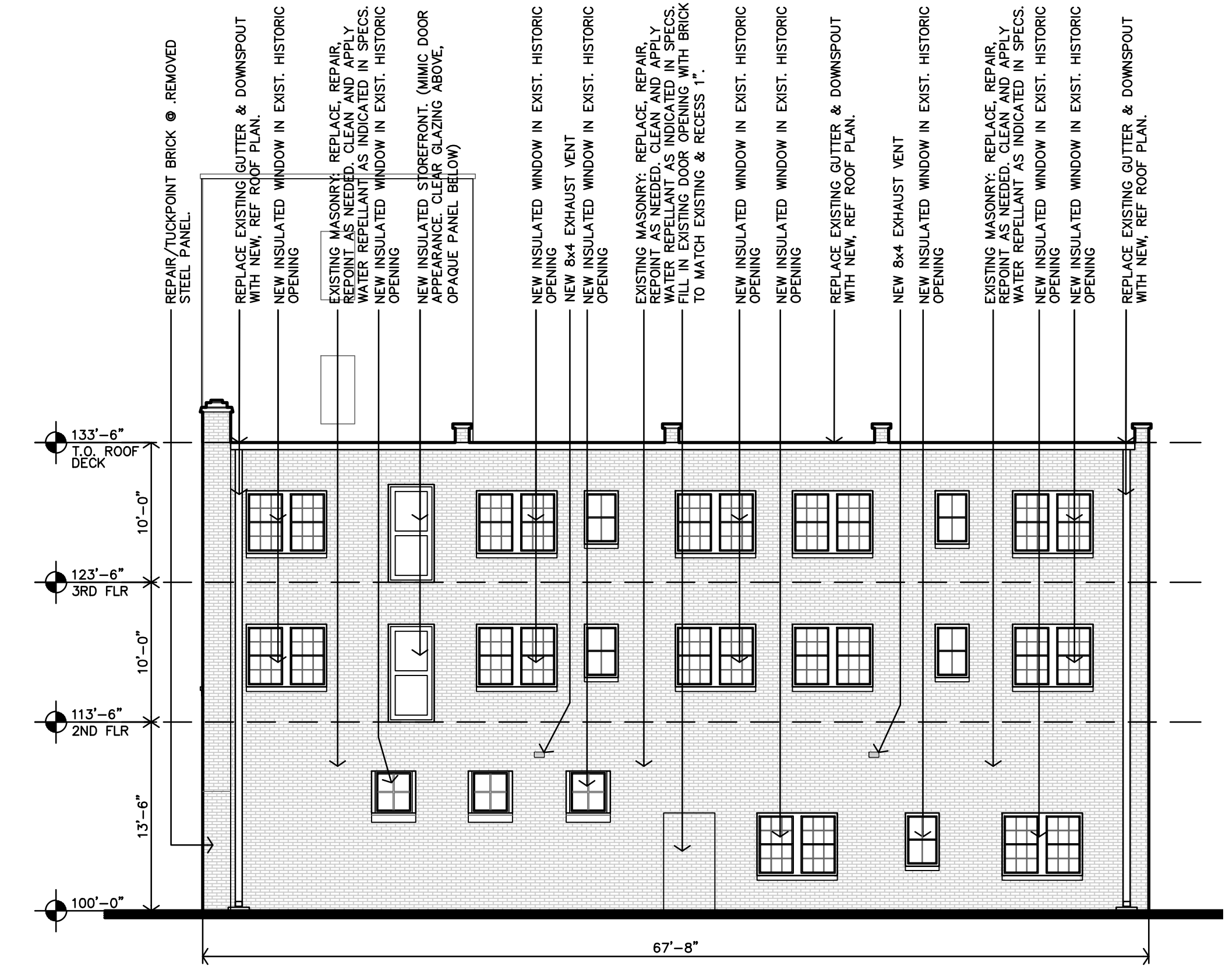


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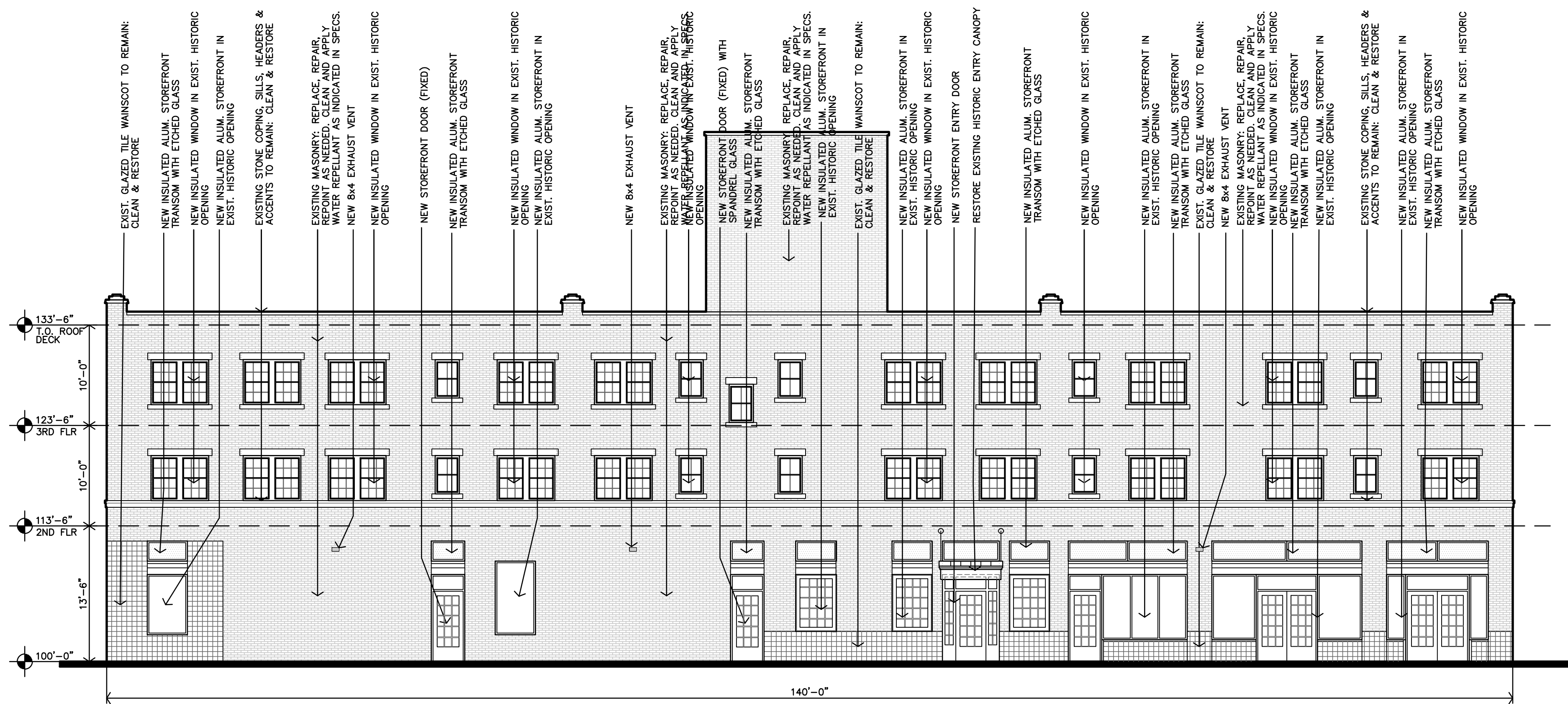
HISTORIC PRESERVATION AND
 RESTORATION NOTES CAN BE
 FOUND ON SHEET A3.2



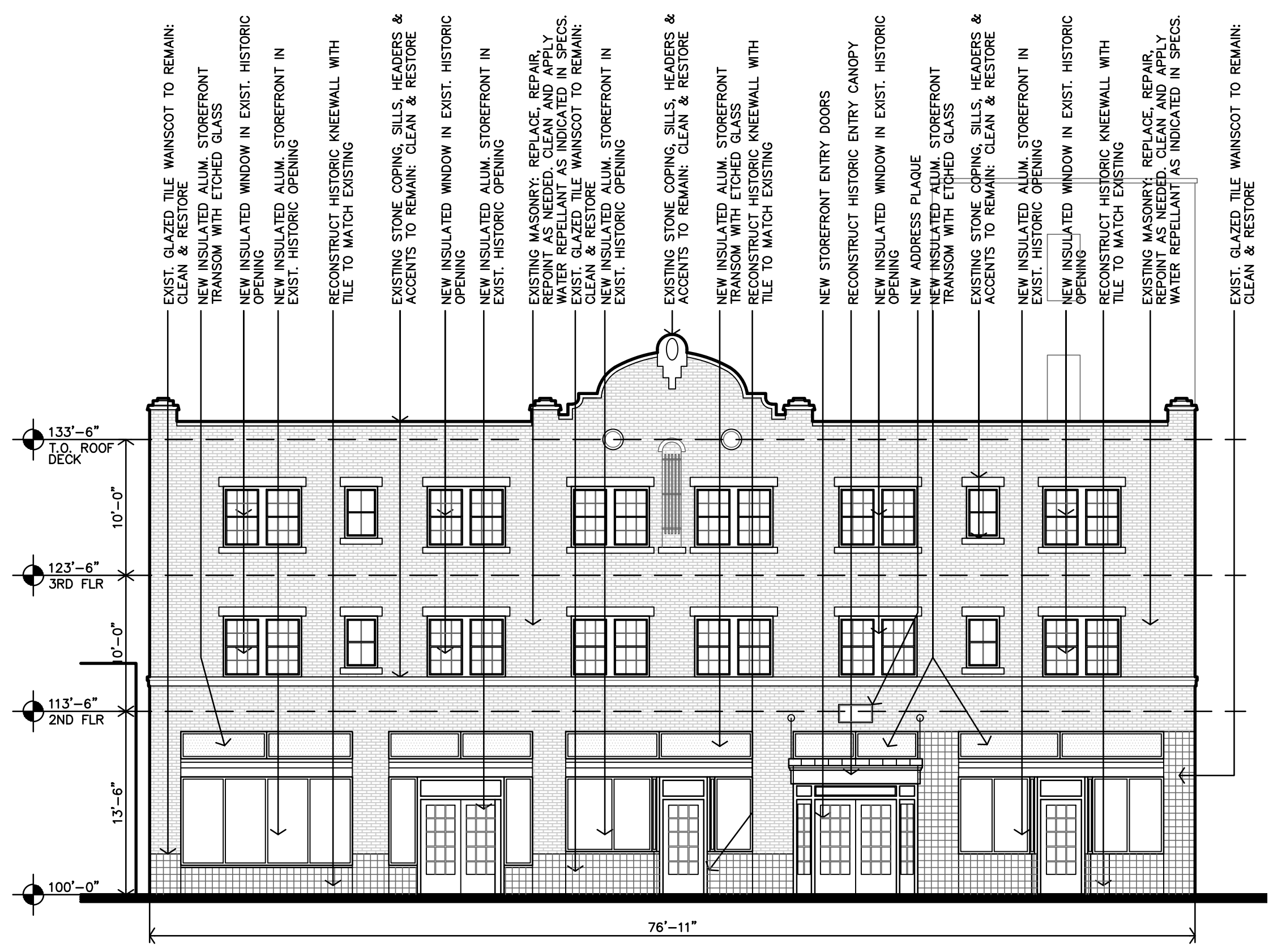
C PROPOSED NORTH ELEVATION
 1/8"=1'-0"



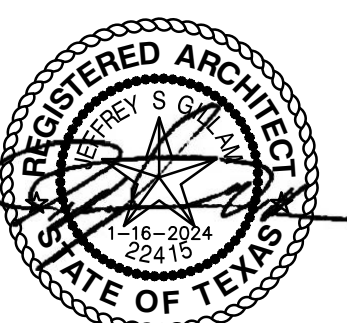
A PROPOSED EAST ELEVATION
 1/8"=1'-0"



C PROPOSED SOUTH ELEVATION
 1/8"=1'-0"



A PROPOSED WEST ELEVATION
 1/8"=1'-0"



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ROOSEVELT LOFTS
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GENERAL NOTES, REGARDING TUCKPOINTING
 Reference Specifications & Preservation Briefs

PROTECTION

Remove gutters and downspouts and associated hardware adjacent to masonry and prepare for replacement. Install new after tuckpointing is complete.

- Provide temporary rain drainage during work to direct water away from building.
- Protect windows, stairs, utilities, etc. during work.

REPOINTING MASONRY

Rake out and repoint joints to the following extent:
 All joints in areas indicated, Joints indicated to receive sealant—filled. Seal these joints according to Section 079200 "Joint Sealants."

Joints at locations of the following defects:

- Holes and missing mortar.
- Cracks that can be penetrated 1/4 inch (6 mm) or more by a knife blade 0.027 inch (0.7 mm) thick.
- Cracks 1/16 inch (1.6 mm) or more in width and of any depth.
- Hollow-sounding joints when tapped by metal object.
- Eroded surfaces 1/4 inch (6 mm) or more deep.
- Deterioration to point that mortar can be easily removed by hand, without tools.
- Joints filled with substances other than mortar.

Do not rake out and repoint joints where not indicated, required or instructed. Rake out joints as follows, according to procedures demonstrated in approved mockup:

- Remove mortar from joints to 2 times joint width, but not less than 3/4 inch (20 mm) or not less than that required to expose sound, unweathered mortar. Do not remove unsound mortar more than 2 inches (50 mm) deep; consult Architect or Engineer for direction.
- Remove mortar from masonry surfaces within raked-out joints to provide reveals with square backs and to expose masonry for contact with pointing mortar. Brush, vacuum, or flush joints to remove dirt and loose debris.
- Do not spall edges of masonry units or widen joints. Replace or patch damaged masonry units as directed by Architect.

Notify Architect of unforeseen detrimental conditions including voids in mortar joints, cracks, loose masonry units, rotted wood, rusted metal, and other deteriorated items.

POINTING WITH MORTAR

- Rinse joint surfaces with water to remove dust and mortar particles. Time rinsing application so, at time of pointing, joint surfaces are damp but free of standing water. If rinse water dries, dampen joint surfaces before pointing.
- Apply pointing mortar first to areas where existing mortar was removed to depths greater than surrounding areas. Apply in layers not greater than 3/8 inch (9 mm) until a uniform depth is formed. Fully compact each layer, and allow it to become thumbprint hard before applying next layer.
- After deep areas have been filled to same depth as remaining joints, point joints by placing mortar in layers not greater than 3/8 inch (9 mm). Fully compact each layer and allow to become thumbprint hard before applying next layer. Where existing masonry units have worn or rounded edges, slightly recess finished mortar surface below face of masonry to avoid widened joint faces. Take care not to spread mortar beyond joint edges onto exposed masonry surfaces or to feather edge the mortar.
- When mortar is thumbprint hard, tool joints to match original appearance of joints as demonstrated in approved mockup. Remove excess mortar from edge of joint by brushing.
- Cure mortar by maintaining in thoroughly damp condition for at least 72 consecutive hours, including weekends and holidays.

Hairline cracking within mortar or mortar separation at edge of a joint is unacceptable. Completely remove such mortar and repoint.

Where repointing work precedes cleaning of existing masonry, allow mortar to harden at least 30 days before beginning cleaning work.

FINAL CLEANING

After mortar has fully hardened, thoroughly clean exposed masonry surfaces of excess mortar and foreign matter; use wood scrapers, stiff-nylon or -fiber brushes, and clean water, applied by low pressure spray.

- Do not use metal scrapers or brushes.
- Do not use acidic or alkaline cleaners.

GENERAL NOTES, REGARDING CLEANING, ASSESSING MASONRY
 Reference Specifications & Preservation Briefs

IDENTIFY WHAT IS TO BE REMOVED

The general nature and source of dirt or soiling material on a building must be identified to remove it in the gentlest means possible—that is, in the most effective, yet least harmful, manner. Soot and smoke, for example, require a different cleaning agent to remove than oil stains or metallic stains. Other common cleaning problems include biological growth such as mold or mildew, and organic matter such as the tendrils left on masonry after removal of ivy.

CONSIDER THE PRACTICALITIES OF CLEANING OR PAINT REMOVAL

Some gypsum or sulfate crusts may have become integral with the stone and, if cleaning could result in removing some of the stone surface, it may be preferable not to clean. Even where unpainted masonry is appropriate, the retention of the paint may be more practical than removal in terms of long range preservation of the masonry. In some cases, however, removal of the paint may be desirable. For example, the old paint layers may have built up to such an extent that removal is necessary to ensure a sound surface to which the new paint will adhere.

STUDY THE MASONRY

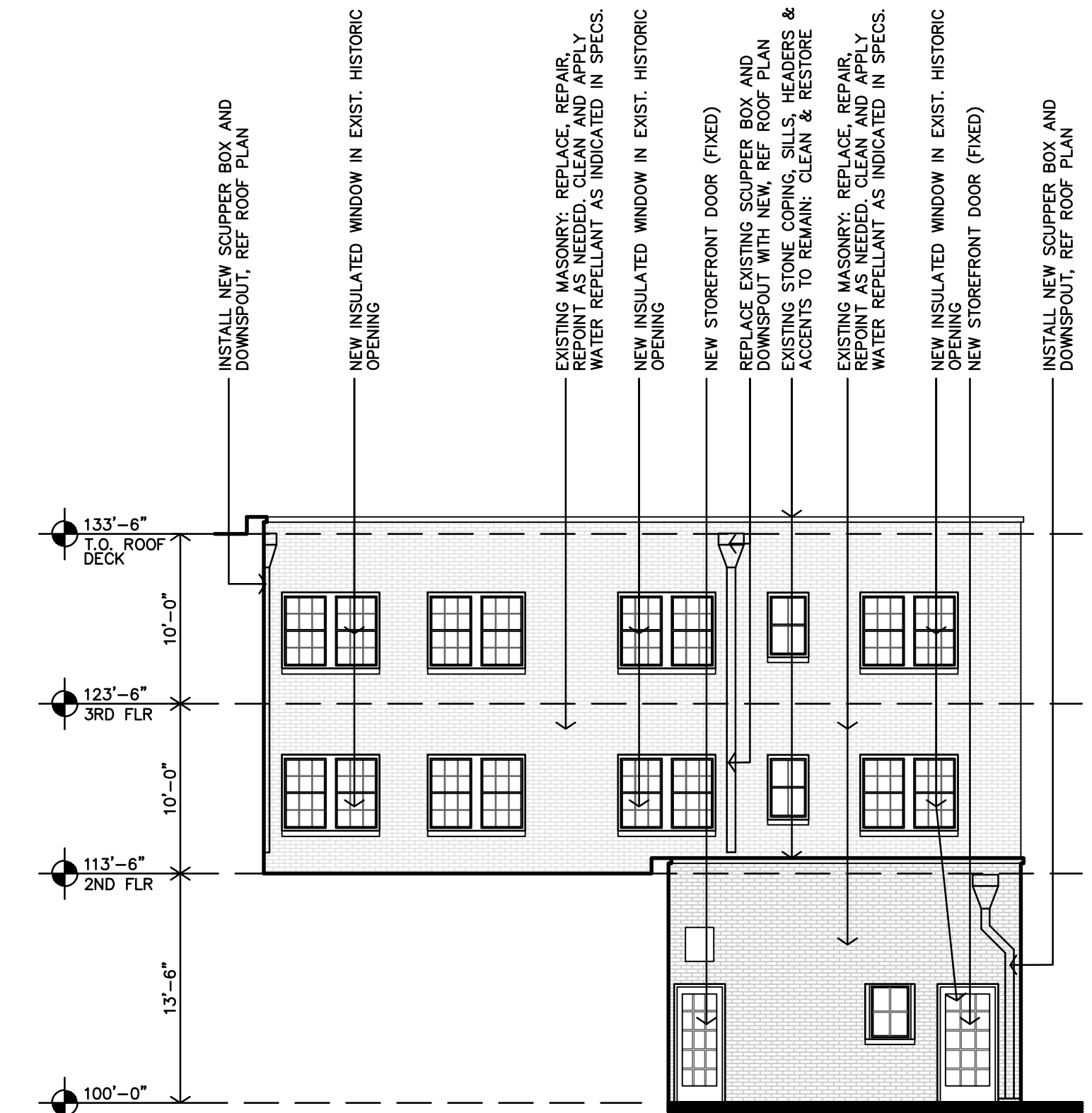
Although not always necessary, in some instances it can be beneficial to have the coating or paint type, color, and layering on the masonry researched before attempting its removal. Analysis of the nature of the soiling or of the paint to be removed from the masonry, as well as guidance on the appropriate cleaning method, may be provided by professional consultants, including architectural conservators, conservation scientists, and preservation architects. The State Historic Preservation Office (SHPO), local historic district commissions, architectural review boards, and preservation-oriented websites may also be able to supply useful information on masonry cleaning techniques.

IDENTIFY PRIOR TREATMENTS

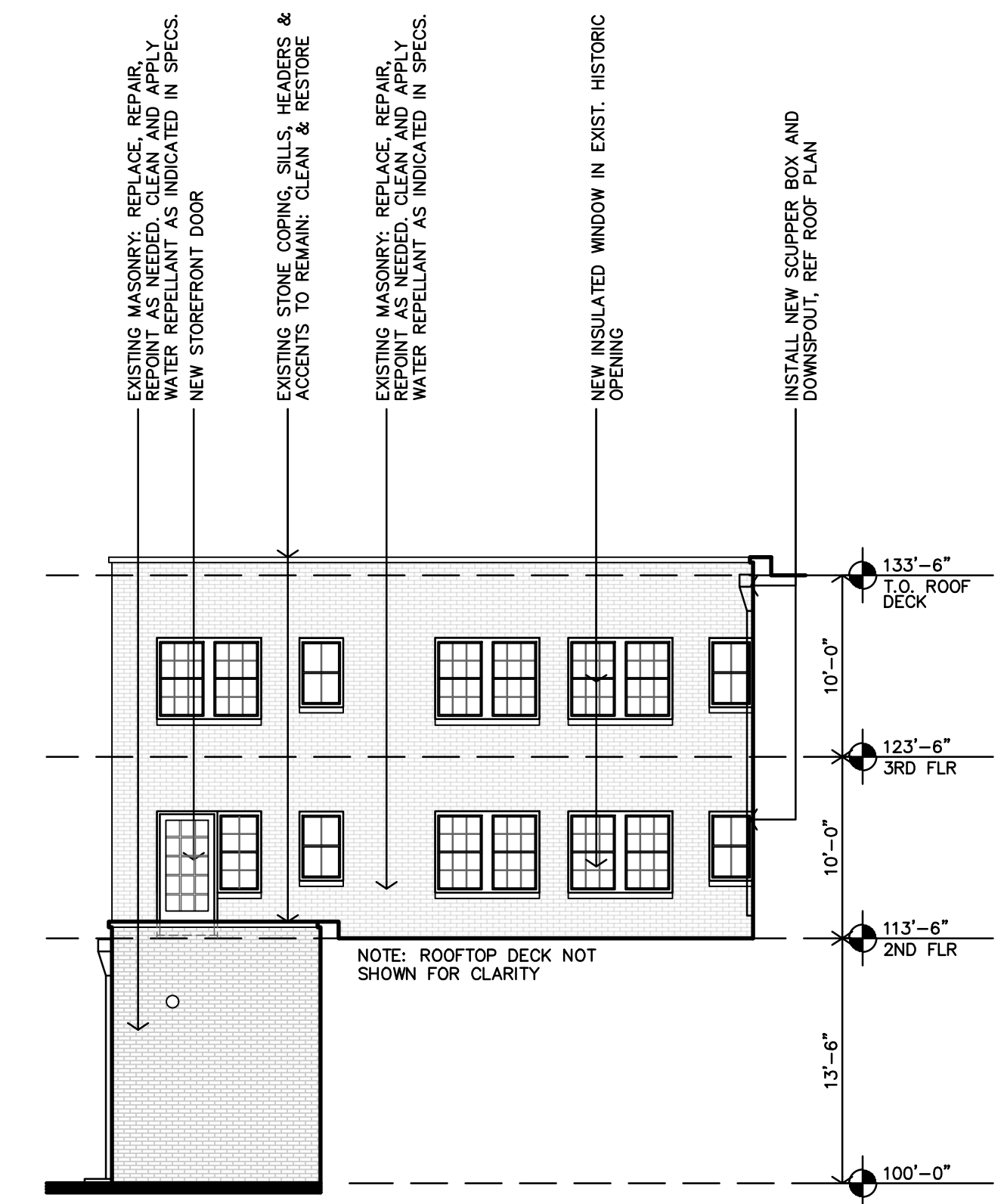
Previous treatments of the building and its surroundings should be researched and building maintenance records should be obtained, if available. Sometimes if streaked or spotty areas do not seem to get cleaner following an initial cleaning, closer inspection and analysis may be warranted. The discoloration may turn out not to be dirt but the remnant of a water-repellent coating applied long ago which has darkened the surface of the masonry over time. Successful removal may require testing several cleaning agents to find something that will dissolve and remove the coating. Complete removal may not always be possible. Repairs may have been stained to match a dirty building, and cleaning may make these differences apparent. De-icing salts used near the building that have dissolved can migrate into the masonry. Cleaning may draw the salts to the surface, where they will appear as efflorescence (a powdery, white substance), which may require a second treatment to be removed. Allowances for dealing with such unknown factors, any of which can be a potential problem, should be included when investigating cleaning methods and materials. Just as more than one kind of masonry on a historic building may necessitate multiple cleaning approaches, unknown conditions that are encountered may also require additional cleaning treatments.

CHOOSE THE APPROPRIATE CLEANER

The importance of testing cleaning methods and materials cannot be over emphasized. Applying the wrong cleaning agents to historic masonry can have disastrous results. Acidic cleaners can be extremely damaging to acid-sensitive stones, such as marble and limestone, resulting in etching and dissolution of these stones. Other kinds of masonry can also be damaged by incompatible cleaning agents, or even by cleaning agents that are usually compatible. There are also numerous kinds of sandstone, each with a considerably different geological composition. While an acid-based cleaner may be safely used on some sandstones, others are acid-sensitive and can be severely etched or dissolved by an acid cleaner. Some sandstones contain water-soluble minerals and can be eroded by water cleaning. And, even if the stone type is correctly identified, stones, as well as some bricks, may contain unexpected impurities, such as iron particles, that may react negatively with a particular cleaning agent and result in staining. Thorough understanding of the physical and chemical properties of the masonry will help avoid the inadvertent selection of damaging cleaning agents. Other building materials also may be affected by the cleaning process. Some chemicals, for example, may have a corrosive effect on paint or glass. The portions of building elements most vulnerable to deterioration may not be visible, such as embedded ends of iron window bars. Other totally unseen items, such as iron cramps or ties which hold the masonry to the structural frame, also may be subject to corrosion from the use of chemicals or even from plain water. The only way to prevent problems in these cases is to study the building construction in detail and evaluate proposed cleaning methods with this information in mind. However, due to the very likely possibility of encountering unknown factors, any cleaning project involving historic masonry should be viewed as unique to that particular building.



B PROPOSED EAST ELEVATION
 1/8"=1'-0"

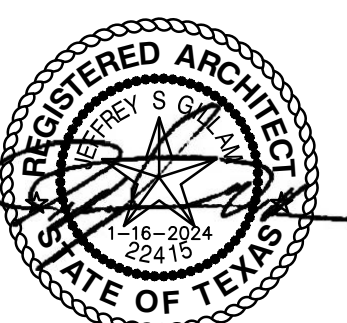


A PROPOSED WEST ELEVATION
 1/8"=1'-0"

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ROOSEVELT LOFTS
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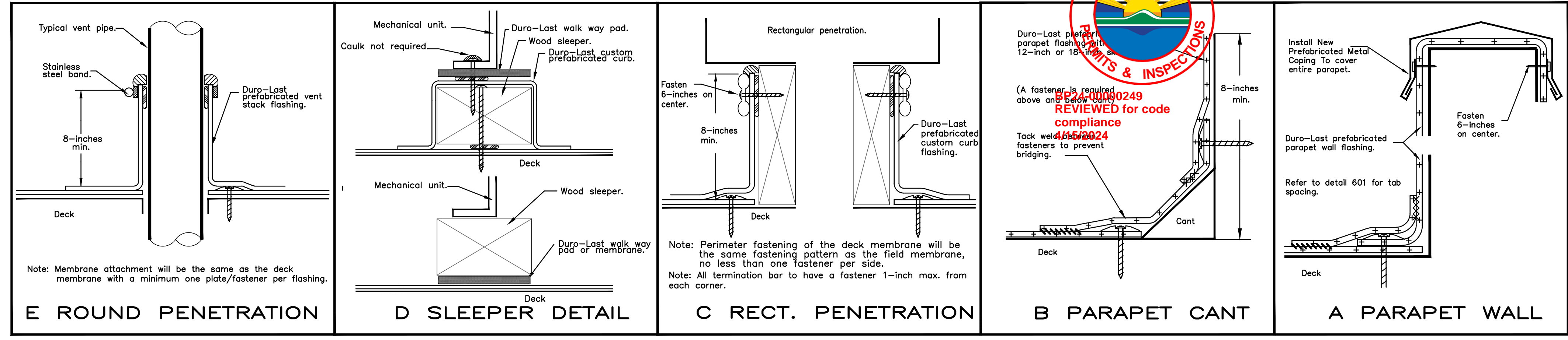
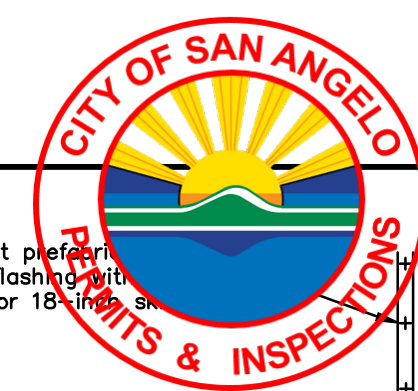


REVISION:

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 SHEET NO.:

A3.2

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GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING. CONTACT ARCHITECT IMMEDIATELY W/ ANY DISCREPANCIES.
- ROOFING INSTALLATION: MANUFACTURER'S DETAILS ARE GENERIC/GENERAL. CONTRACTOR SHALL COMPLY TO SPECIFICATIONS, MANUFACTURER'S DETAILS & RECOMMENDATIONS & THOSE RECOMMENDED BY NRCA'S "THE ROOFING & WATERPROOFING MANUAL."
- CONTRACTOR MUST COMPLY W/ ALL STATE & LOCAL CODES & REGULATIONS.
- CONTRACTOR TO REPLACE ALL EXISTING VENT BOOTS EXISTING VENTS & FLASHINGS TO REMAIN. PROTECT DURING CONSTRUCTION.
- CAULK & SEAL WATER TIGHT ALL JOINTS & TRANSITIONS.
- DIMENSIONS ON ROOF PLAN REFLECT DIMENSIONS PARALLEL WITH FLOOR PLANE. ACTUAL ROOF AREA IS LARGER DUE TO ROOF SLOPE.
- ALL METAL MATERIALS (I.E. FLASHINGS, ETC...) SHALL BE .0217" (26 GA.) THICK PREFINISHED GALVANIZED OR ALUM. ZINC ALLOY. ALL FASTENERS MUST BE COMPATIBLE WITH ASSOCIATED METALS/MATERIALS. METALS MUST BE INSTALLED PER SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL."
- EXISTING ROOFING MUST BE REMOVED, INSPECT AND REPAIR DAMAGED DECKING PRIOR TO PROCEEDING WITH NEW ROOF ASSEMBLY.

LEGEND

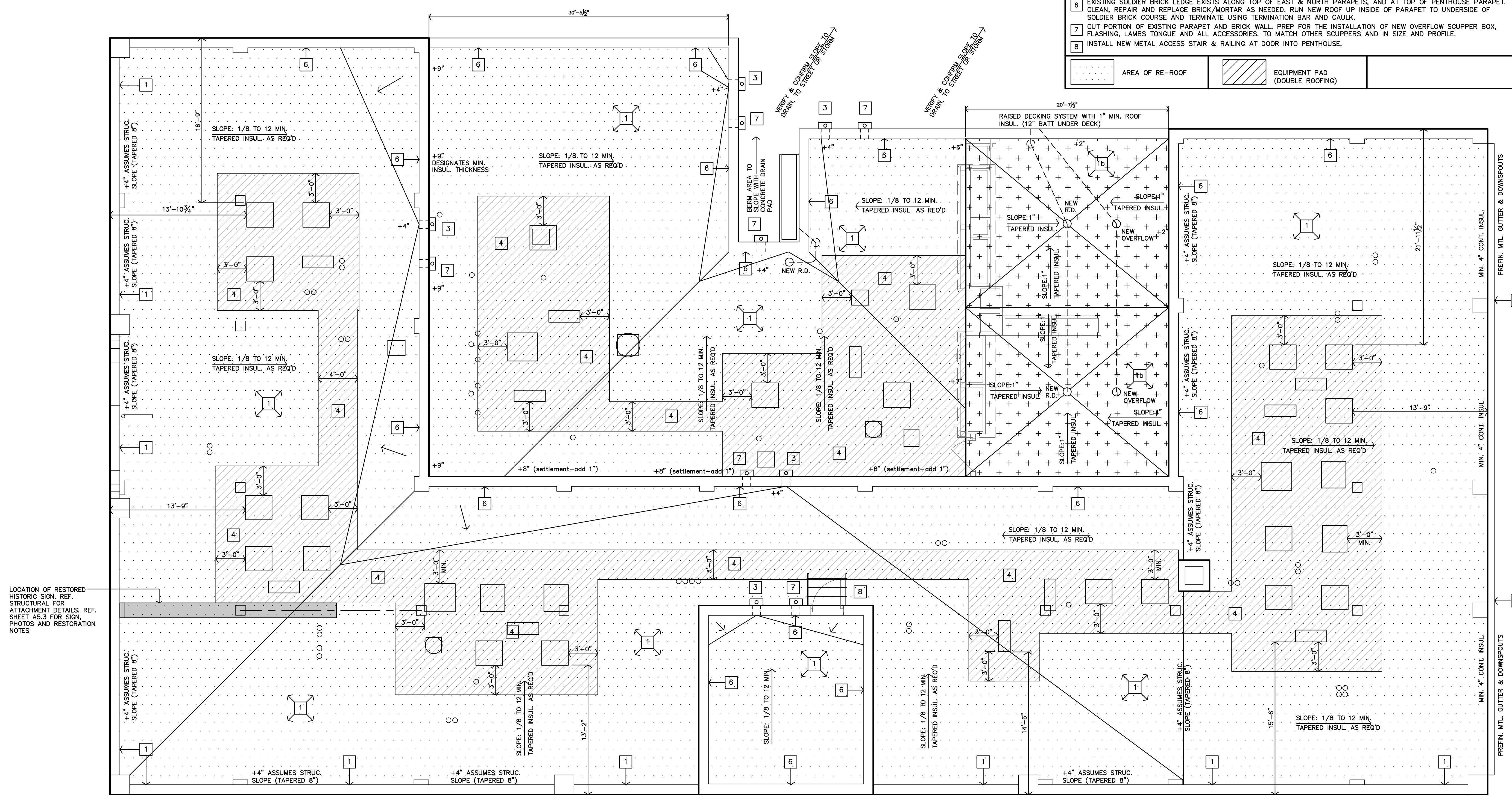
- REMOVE EXISTING ROOFING ASSEMBLY, COVER BOARDS, INSULATION, RELATED ITEMS & MATERIALS. MECHANICALLY ATTACH NEW 60-MIL PVC ROOF MEMBRANE OVER 5/8" DENS DECK, 4.0" MIN. POLYSTYRENE RIGID INSULATION (MIN. R-25ci PER 2021 IECC), & TAPERED INSULATION WHERE REQ'D FOR 1/8" PER FT SLOPE, OVER VAPOR BARRIER, 1/2" COVER BOARD. PROVIDE ALL NEW TERMINATION BARS, FLASHINGS, SEALANT, & CAULKING. ENTIRE ROOF ASSEMBLY SHALL BE PROVIDED AND INSTALLED AS REQUIRED & RECOMMENDED BY MANUFACTURER FOR A 20-YEAR FULL COVERAGE WARRANTY.
- NEW 60-MIL PVC ROOF MEMBRANE OVER 1/2" COVER BD., 1.0" MIN. POLYSTYRENE TAPERED INSULATION, FOR 1/8" PER FT SLOPE, OVER VAPOR BARRIER, PROVIDE ALL NEW TERMINATION BARS, FLASHINGS, SEALANT, & CAULKING. ENTIRE ROOF ASSEMBLY SHALL BE PROVIDED AND INSTALLED AS REQUIRED & RECOMMENDED BY MANUFACTURER FOR A 20-YEAR FULL COVERAGE WARRANTY.
- EXISTING GUTTERS, SCUPPERS & DOWNSPOUTS TO BE REMOVED & REPLACED WITH NEW, SAME SIZE & SHAPE
- REMOVE EXISTING SCUPPERS, DOWNSPOUTS, PANS, THRU WALL FLASHING, ETC. REPLACE WITH NEW METAL SCUPPER BOX, DOWNSPOUT AND FLASHING PER ROOF MANUFACTURER
- AT ALL ROOF TOP EQUIPMENT INSTALL WALK OR TRAFFIC MEMBRANE AROUND.
- EXISTING DECORATIVE STONE COPING EXISTS ALONG TOP OF WEST & SOUTH PARAPET. CLEAN, REPAIR AND REPLACE AS NEEDED. RUN NEW ROOF UP INSIDE OF PARAPET TO UNDERSIDE OF COPING AND TERMINATE USING TERMINATION BAR AND CAULK.
- EXISTING SOLDIER BRICK LEDGE EXISTS ALONG TOP OF EAST & NORTH PARAPETS, AND AT TOP OF PENTHOUSE PARAPET. CLEAN, REPAIR AND REPLACE BRICK/MORTAR AS NEEDED. RUN NEW ROOF UP INSIDE OF PARAPET TO UNDERSIDE OF SOLDIER BRICK COURSE, AND TERMINATE USING TERMINATION BAR AND CAULK.
- CUT PORTION OF EXISTING PARAPET AND BRICK WALL. PREP FOR THE INSTALLATION OF NEW OVERFLOW SCUPPER BOX, FLASHING, LAMBS TONGUE AND ALL ACCESSORIES. TO MATCH OTHER SCUPPERS AND IN SIZE AND PROFILE.
- INSTALL NEW METAL ACCESS STAIR & RAILING AT DOOR INTO PENTHOUSE.

AREA OF RE-ROOF (diagonal hatching)
EQUIPMENT PAD (DOUBLE ROOFING) (cross-hatching)

MANUFACTURER'S-ROOFING DETAILS, CONDITIONS VARY

- TYPICAL MANUFACTURER'S DETAILS ACTUAL CONDITIONS MAY VARY. REFER AND COORDINATE W/ BUILDING DETAILS PROVIDING THE MANUFACTURER'S MOST STRINGENT REQUIREMENTS, RECOMMENDATIONS, NECESSARY TO ACHIEVE COMPLETE WATER TIGHT WARRANTY.
- A WOOD NAILER IS REQUIRED WHEN INSULATION IS GREATER THAN 1" COORDINATE WITH MANUFACTURER'S REQUIREMENTS TOP OF WOOD ATTACH WOOD NAILERS SHALL BE SPACED NO GREATER THAN 18" O.C.

B MANUFACTURES DETAILS
NO SCALE

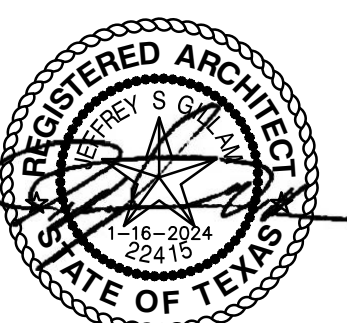


LOCATION OF RESTORED HISTORIC SIGN. REF. STRUCTURAL FOR ATTACHMENT DETAILS. REF. SHEET A5.3 FOR SIGN, PHOTOS AND RESTORATION NOTES

A ROOF PLAN
3/16"=1'-0"

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SAN ANGELO, TEXAS



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Tile Tech Inc.
PERIMETER EDGE RESTRAINT OPTIONS
STEP-DOWN AND GREEN ROOF CONTAINMENT DETAILS

National Distribution Tel: 213-380-5560
Toll Free: 888-380-5575 Fax: 213-380-5561

STEP-DOWN CONTAINMENT

GREEN ROOF CONTAINMENT

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH TILE TECH INC PRODUCT SPECIFICATIONS.
2. DRAWING NOT TO SCALE.
3. USE OF BUFFER PADS IS MANDATORY.
4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECHPAVERS.com

8 PERIMETER EDGE RESTRAINT OPT. DETAIL NTS

Tile Tech Inc.
LOW HEIGHT PEDESTAL APPLICATION
ENLARGED PLAN VIEW & SECTION DETAILS

National Distribution Tel: 213-380-5560
Toll Free: 888-380-5575 Fax: 213-380-5561

ENLARGED PLAN VIEW

LOW HEIGHT PEDESTAL APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECHPAVERS.com

6 LOW HEIGHT PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
THRESHOLD PEDESTAL APPLICATION
ENLARGED PLAN VIEW & SECTION DETAILS

National Distribution Tel: 213-380-5560
Toll Free: 888-380-5575 Fax: 213-380-5561

ENLARGED PLAN VIEW

THRESHOLD PEDESTAL APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH TILE TECH INC PRODUCT SPECIFICATIONS.
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3. USE OF BUFFER PADS IS MANDATORY.
4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECHPAVERS.com

4 THRESHOLD PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
SAMPLE DECK LAYOUT
OVERVIEW OF PEDESTAL PLACEMENT

National Distribution Tel: 213-380-5560
Toll Free: 888-380-5575 Fax: 213-380-5561

SEE ENLARGED SECTION PLANS:

- DOOR THRESHOLD PEDESTAL PLACEMENT
- RADIUS PERIMETER PEDESTAL PLACEMENT
- CORNER PERIMETER PEDESTAL PLACEMENT
- DIAGONAL PERIMETER PEDESTAL PLACEMENT
- LOW THRESHOLD PEDESTAL PLACEMENT
- ROOF DRAIN PEDESTAL PLACEMENT

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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3. USE OF BUFFER PADS IS MANDATORY.
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2 SAMPLE DECK LAYOUT DETAIL NTS

Tile Tech Inc.
STEP-DOWN PEDESTAL APPLICATION
STEP-DOWN PEDESTAL APPLICATION SECTION DETAILS

National Distribution Tel: 213-380-5560
Toll Free: 888-380-5575 Fax: 213-380-5561

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9 STEP-DOWN PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
DRAIN PEDESTAL APPLICATION
ENLARGED PLAN VIEW & SECTION DETAILS

National Distribution Tel: 213-380-5560
Toll Free: 888-380-5575 Fax: 213-380-5561

ENLARGED PLAN VIEW

DRAIN PEDESTAL APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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7 DRAIN PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
CORNER PEDESTAL APPLICATION
ENLARGED PLAN VIEW & SECTION DETAILS

National Distribution Tel: 213-380-5560
Toll Free: 888-380-5575 Fax: 213-380-5561

ENLARGED PLAN VIEW

CORNER PEDESTAL APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH TILE TECH INC PRODUCT SPECIFICATIONS.
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4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECHPAVERS.com

5 CORNER PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
SAMPLE INITIAL INSTALLATION
USING "T" SHAPED PATTERN

National Distribution Tel: 213-380-5560
Toll Free: 888-380-5575 Fax: 213-380-5561

DETERMINE CAVITY HEIGHT AT ALL THRESHOLDS, DRAINS AND HIGH POINTS. DEDUCT THE THICKNESS OF THE PAVERS FROM THE MEASURED DISTANCE BETWEEN THE TOP OF THE MEMBRANE AND THE TOP OF THE PAVERS TO DETERMINE THE PEDESTAL HEIGHT NEEDED FOR EACH LOCATION. USE A LASER LEVEL TO MARK THE TOP OF PEDESTAL ELEVATION AROUND THE DECK. PLAN PAVES & PEDESTAL LAYOUT PATTERN BEFORE STARTING. BY MARKING GUIDELINES ON THE ROOF IF NEEDED. USING THE GUIDELINES INSTALL A "T" SHAPED PORTION OF THE NEW DECK STARTING FROM THE THRESHOLD OR HIGH POINT. PAVERS ON BOTH ROWS OF THE "T" SHOULD BE ADJUSTED TO THE CORRECT HEIGHT AND LEVELLED BEFORE PROCEEDING. INSTALLATION ON ALL SIDES OF THE "T" CAN THEN PROCEED AT THE SAME TIME.

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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3. USE OF BUFFER PADS IS MANDATORY.
4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECHPAVERS.com

3 SAMPLE INITIAL INST. DETAIL NTS

Tile Tech Inc.
BASE SLOPE PLATE
BASE SLOPE ADJUSTMENT FROM 0" TO 1" (0-8%) PER FOOT SLOPE.

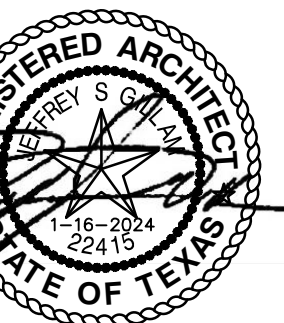
National Distribution Tel: 213-380-5560
Toll Free: 888-380-5575 Fax: 213-380-5561

FOR BASE LEVELING, BASE SLOPE PLATES (BSP) CAN BE STACKED UNDER UNI-BASE AND EACH PLATE COMPENSATES FOR 1/4" PER FOOT (2%) SLOPE AND ADDS 3/8" TO THE OVERALL HEIGHT OF PEDESTAL. A MAXIMUM OF FOUR PLATES MAY BE STACKED BELOW A PEDESTAL IN ORDER TO COMPENSATE FOR UP TO 1" PER FOOT (8%) SLOPE. ALWAYS USE A BUFFER PAD UNDER COMPLETE PEDESTAL ASSEMBLY.

BASE SLOPE PLATE APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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3. USE OF BUFFER PADS IS MANDATORY.
4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECHPAVERS.com

1 BASE SLOPE PLATE DETAIL NTS



REVISION:
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:



BP24-0000243
 REVIEWED for code
 compliance
 4/15/2024



PHOTO EXISTING SIGN CONDITION
 N.T.S.



PHOTO EXISTING SIGN CONDITION
 N.T.S.



PHOTO EXISTING SIGN CONDITION
 N.T.S.



PHOTO EXISTING SIGN CONDITION
 N.T.S.



PHOTO EXISTING SIGN CONDITION
 N.T.S.



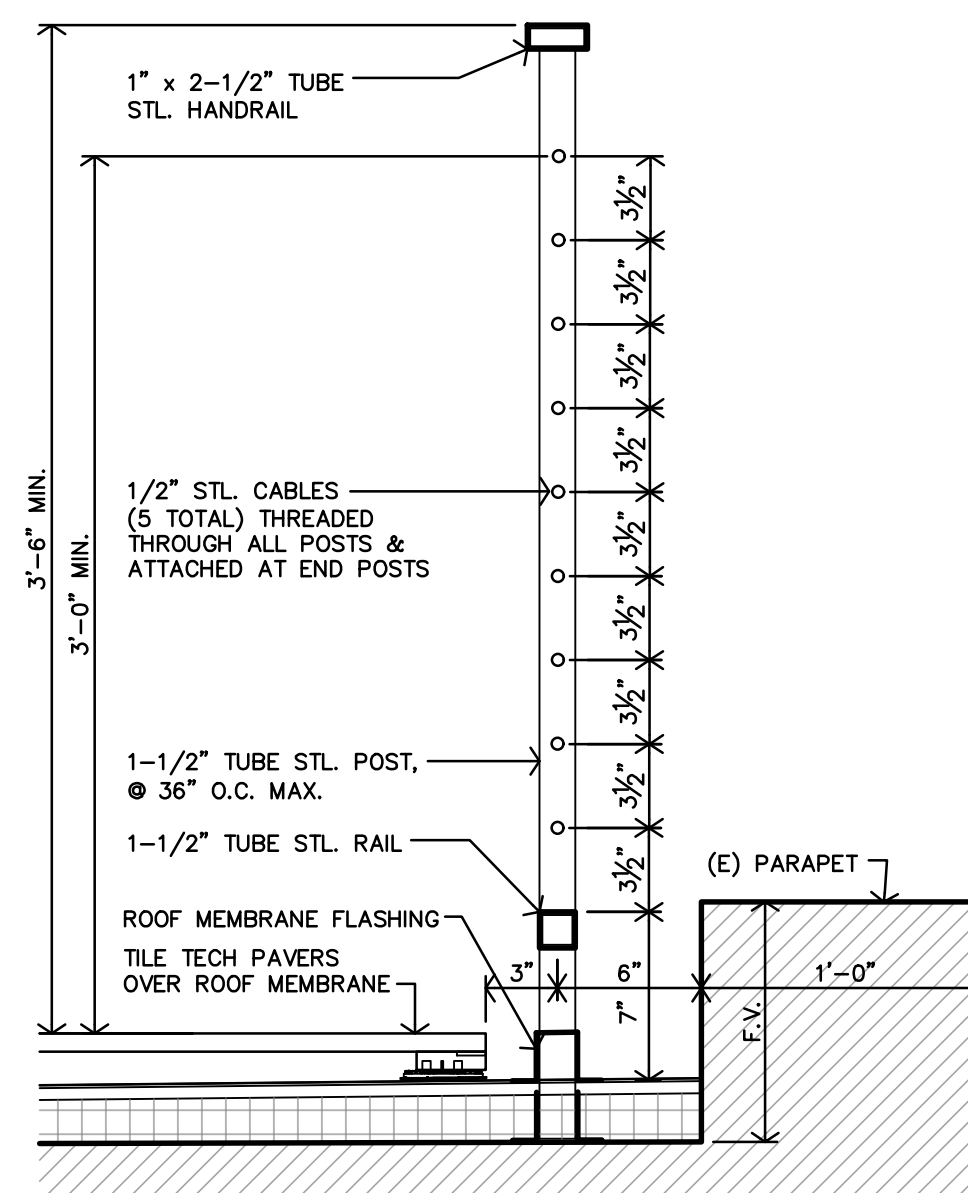
PHOTO EXISTING SIGN CONDITION
 N.T.S.



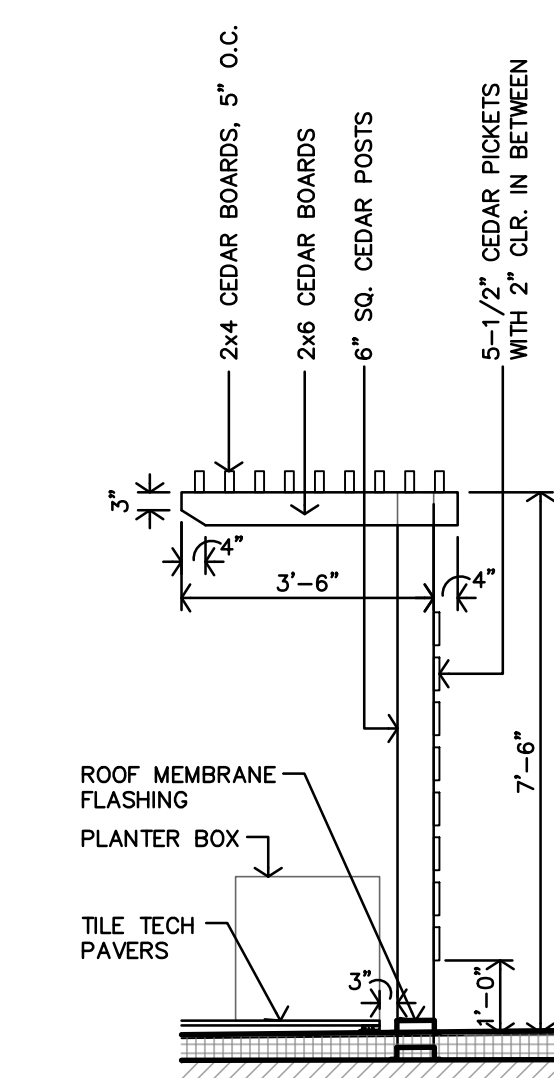
HISTORIC PHOTO ORIGINAL SIGN LOCATION
 N.T.S.

HISTORIC ROOFTOP SIGN NOTES

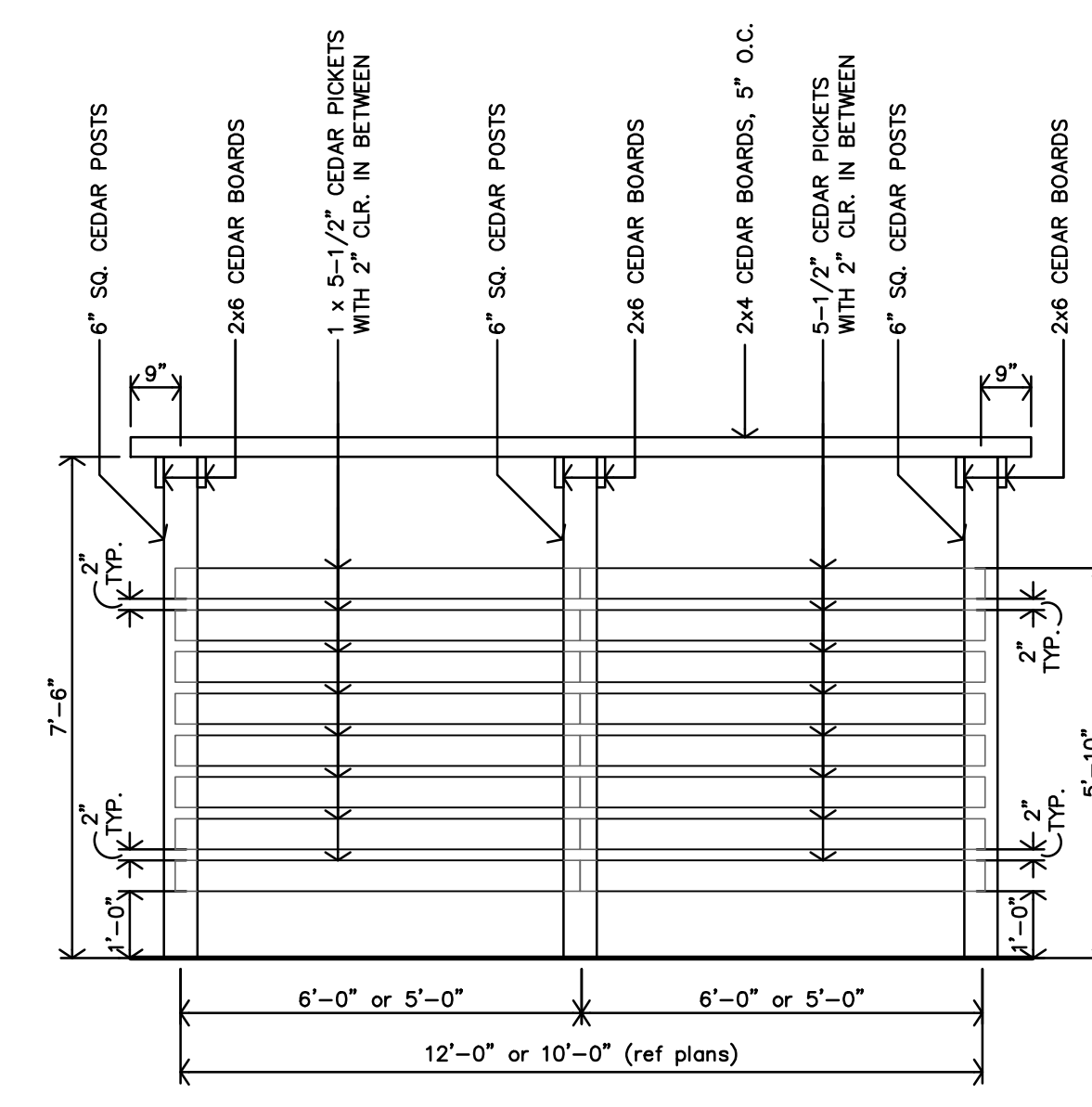
1. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING. CONTACT ARCHITECT IMMEDIATELY W/ ANY DISCREPANCIES.
2. SIGN IS BEING STORED AT H&S RENTAL & SERVICES (ph: 325-245-7517), 818 LAKE VIEW HEROS DRIVE, SAN ANGELO, TEXAS, 76903.
3. SIGN IS APPROXIMATELY 16'-0" TALL BY 22'-0" WIDE AND MOST CONSTRUCTION CONSISTS OF ANGLE IRON AND SHEET METAL. CONTRACTOR TO FIELD VERIFY MEASUREMENTS, CONSTRUCTION AND CONDITION.
4. SIGN IS TO BE RELOCATED BACK TO SITE, RESTORED AND REINSTALLED ON TOP OF ROOF AS SHOWN ON SHEET A5.1.
5. SIGN COMPONENTS, ACCESSORIES, STRUCTURAL ELEMENTS, ETC. ARE TO BE REPLACED, REPAIRED AND RESTORED AS NECESSARY FOR STRUCTURAL STABILITY AND COMPLETE SIGN RESTORATION.
6. REMOVE ANY AND ALL EXISTING LIGHTING AND NEON COMPONENTS REMAINING ON THE SIGN.
7. REMOVE 'HOTEL' 3-D BOX LETTERS. STRUCTURAL STRUTS AND SUPPORTS TO REMAIN AND PREPPED FOR THE INSTALLATION OF NEW LETTERS.
8. INSTALL NEW 'LOFTS' STEEL PLATE LETTERS IN PLACE OF THE 'HOTEL' LETTERS. SIZE AND FONT OF LETTERS TO BE SIMILAR TO EXISTING.
9. ATTACHMENT DETAILS CAN BE FOUND ON STRUCTURAL DRAWINGS.
10. ENTIRE SIGN TO BE REPAINTED. PAINT COLORS ARE TO BE SIMILAR TO EXISTING.



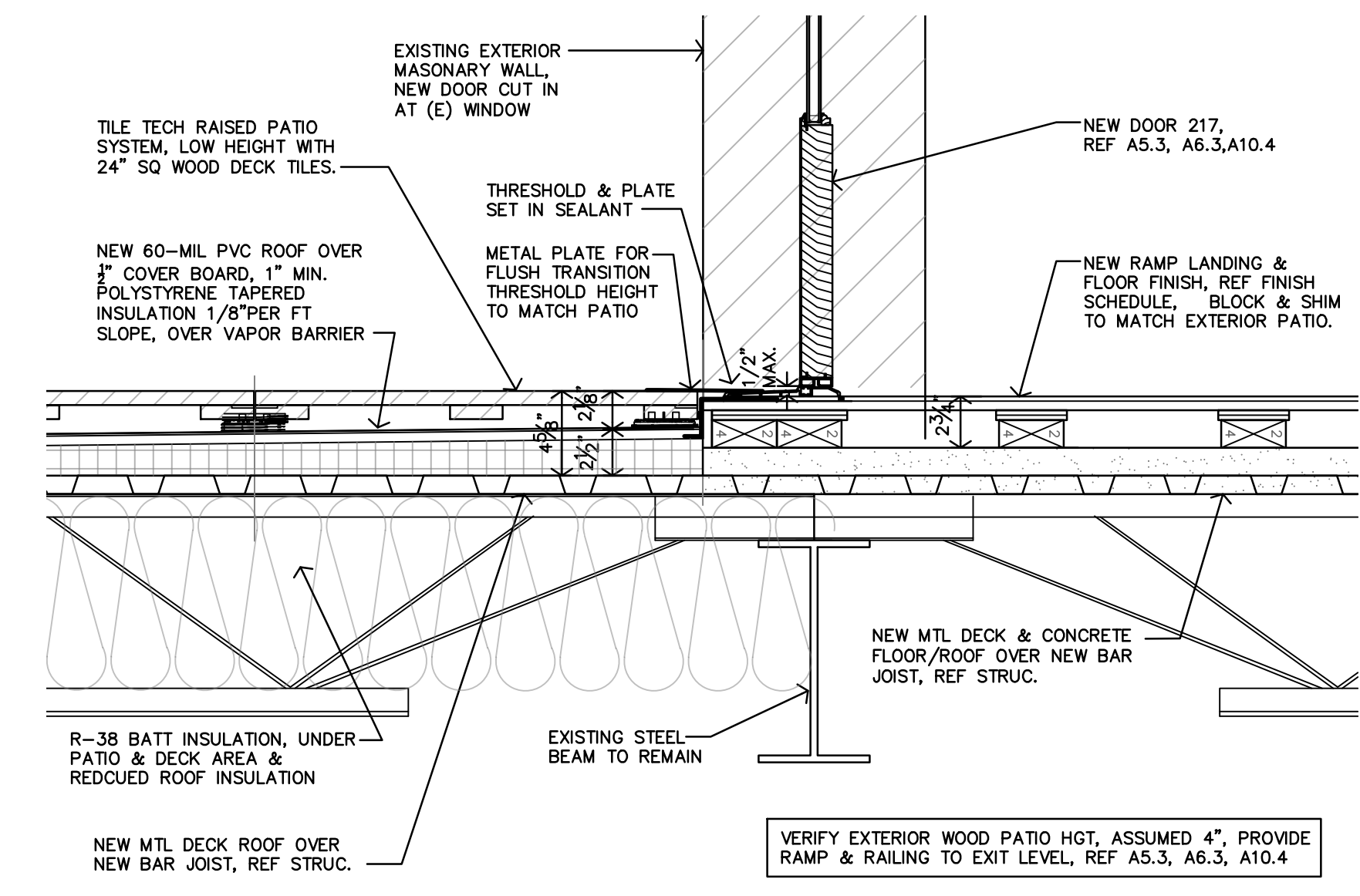
D ROOF TOP GUARDRAIL SECTION
 3/8" = 1'-0"



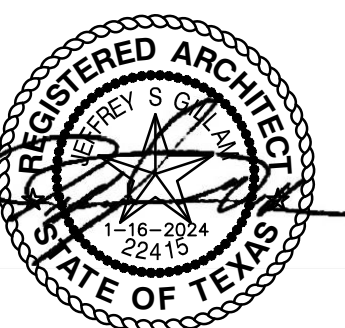
C ROOF TOP TRELLIS DETAIL
 3/8" = 1'-0"



B ROOF TOP TRELLIS DETAIL
 3/8" = 1'-0"



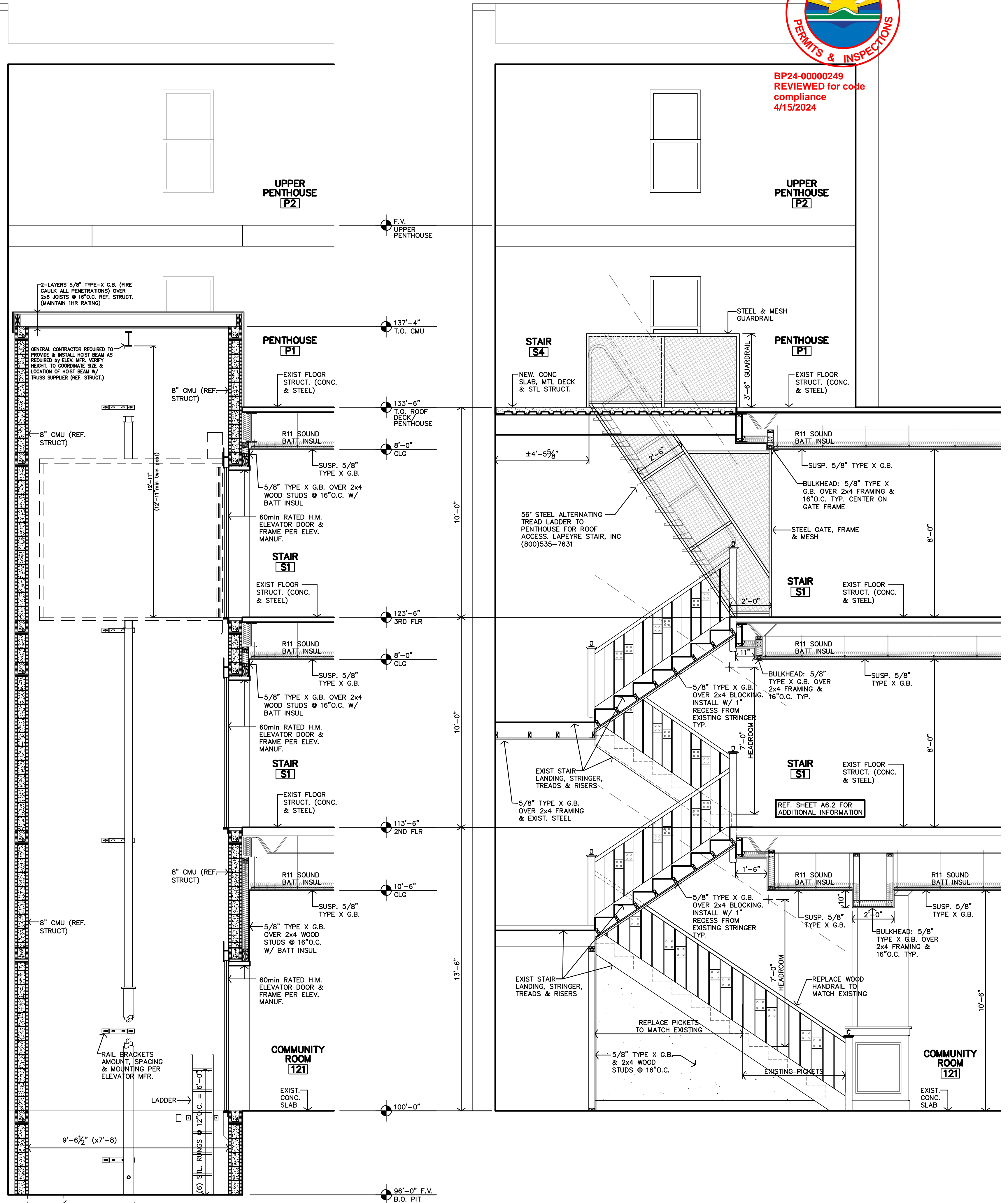
A AT DOOR 217 ROOF PATIO & TILE SYSTEM
 1 1/2" = 1'-0"



REVISION:
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:

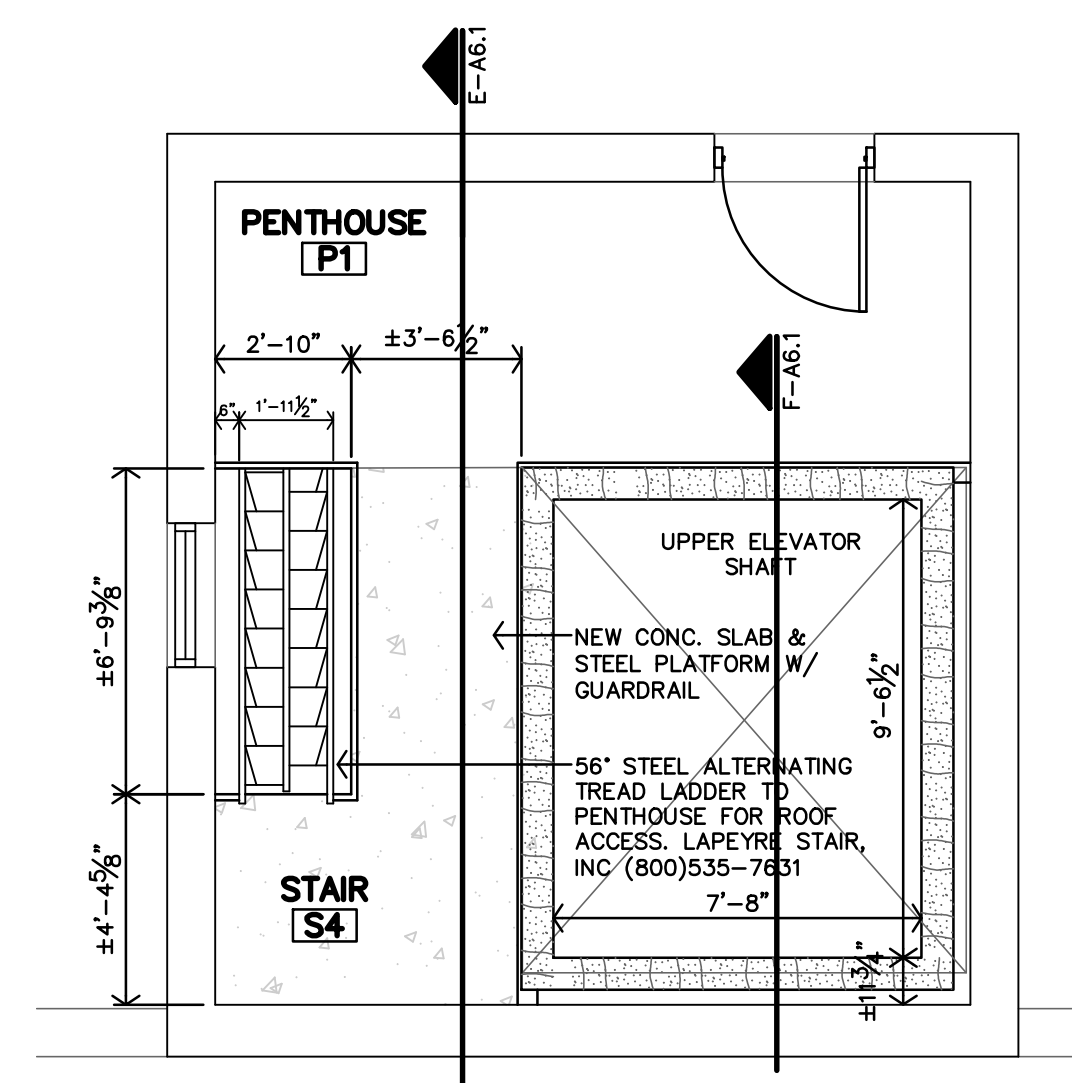


BP24-0000249
REVIEWED for code
compliance
4/15/2024

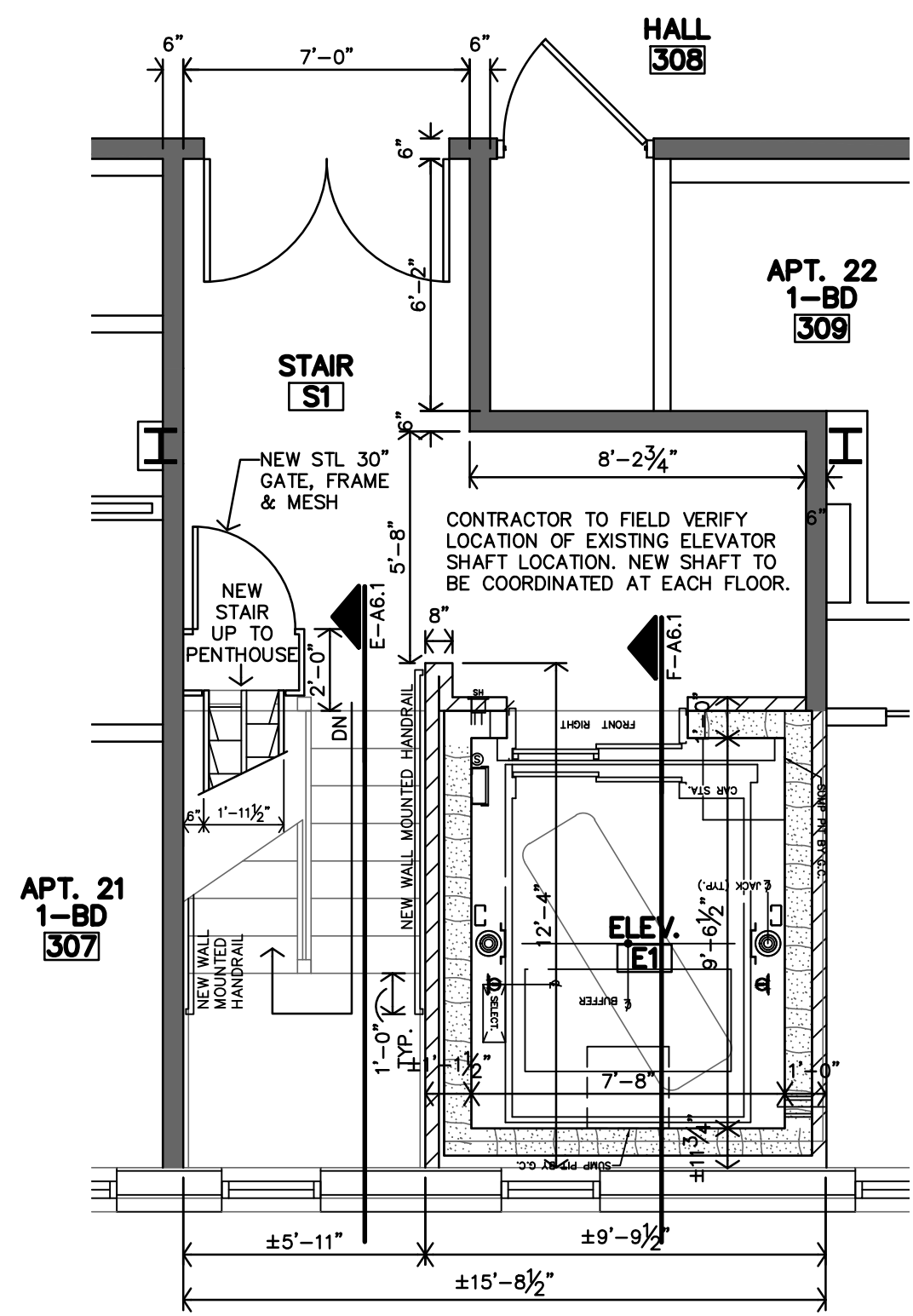


F ELEVATOR SECTION
3/8"=1'-0"

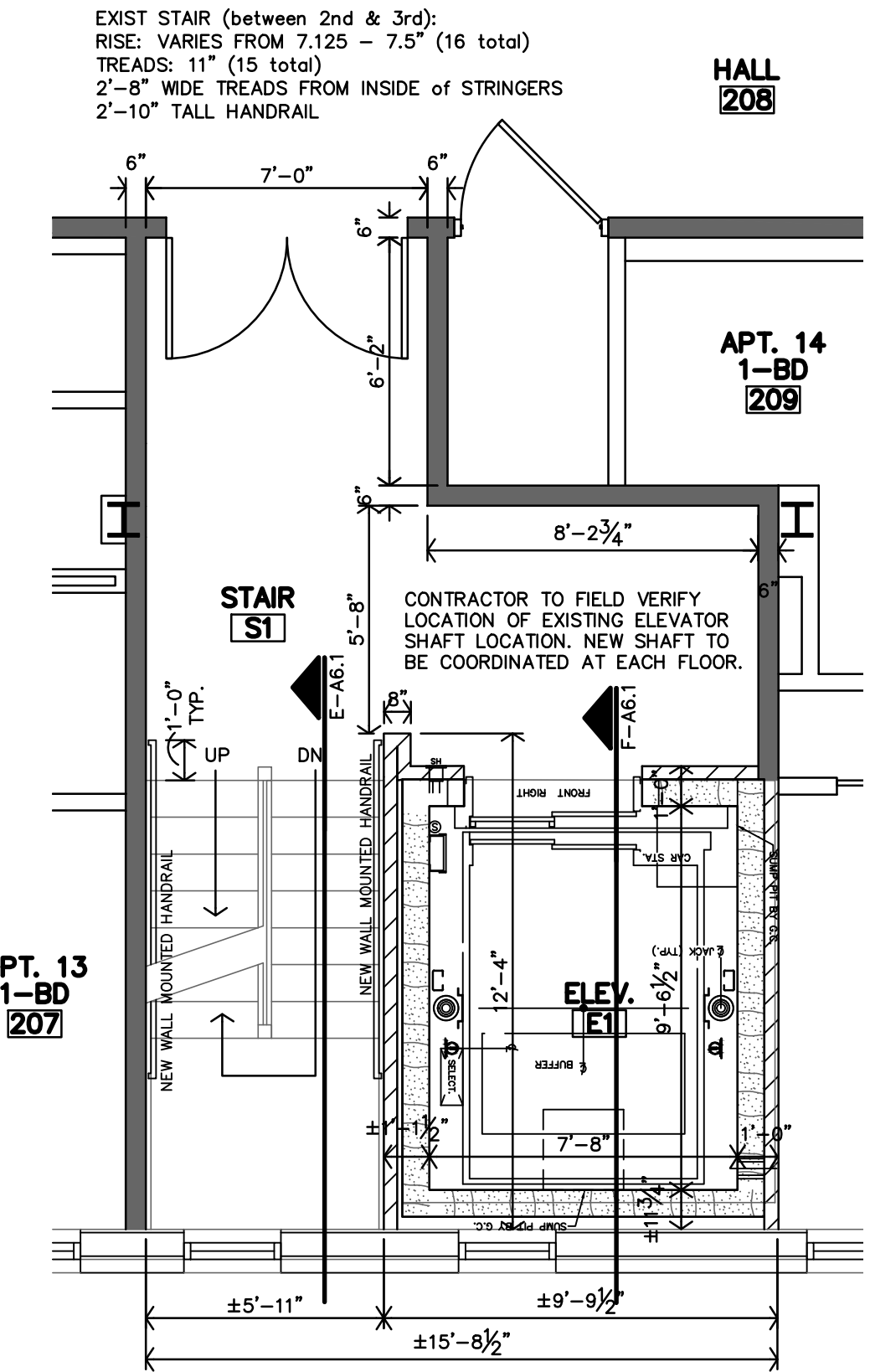
E STAIR S1 SECTION
3/8"=1'-0"



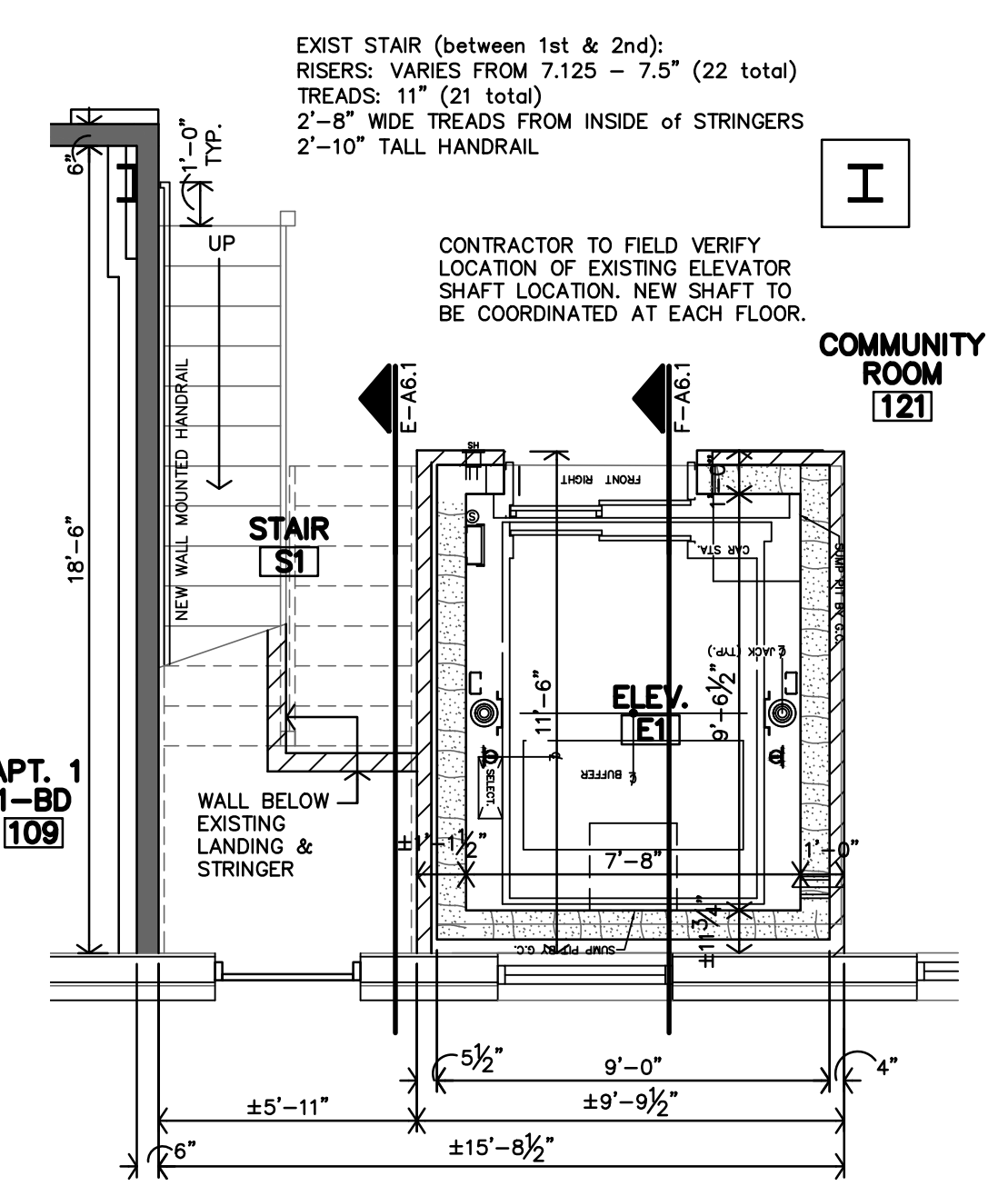
D STAIR S4 & ELEVATOR E1 ENLARGED PENTHOUSE PLAN
1/4"=1'-0"



C STAIR S1/S4 & ELEVATOR E1 ENLARGED 3RD FLR. PLAN
1/4"=1'-0"



B STAIR S1 & ELEVATOR E1 ENLARGED 2ND FLR. PLAN
1/4"=1'-0"

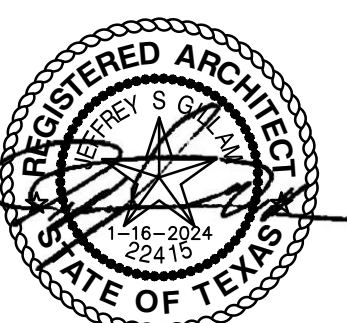


A STAIR S1 & ELEVATOR E1 ENLARGED FIRST FLR. PLAN
1/4"=1'-0"

JonesGillamRenz
1881 Main Street, Suite 301
Salina, KS 67401
785.827.0386
jgr@jgarchitects.com



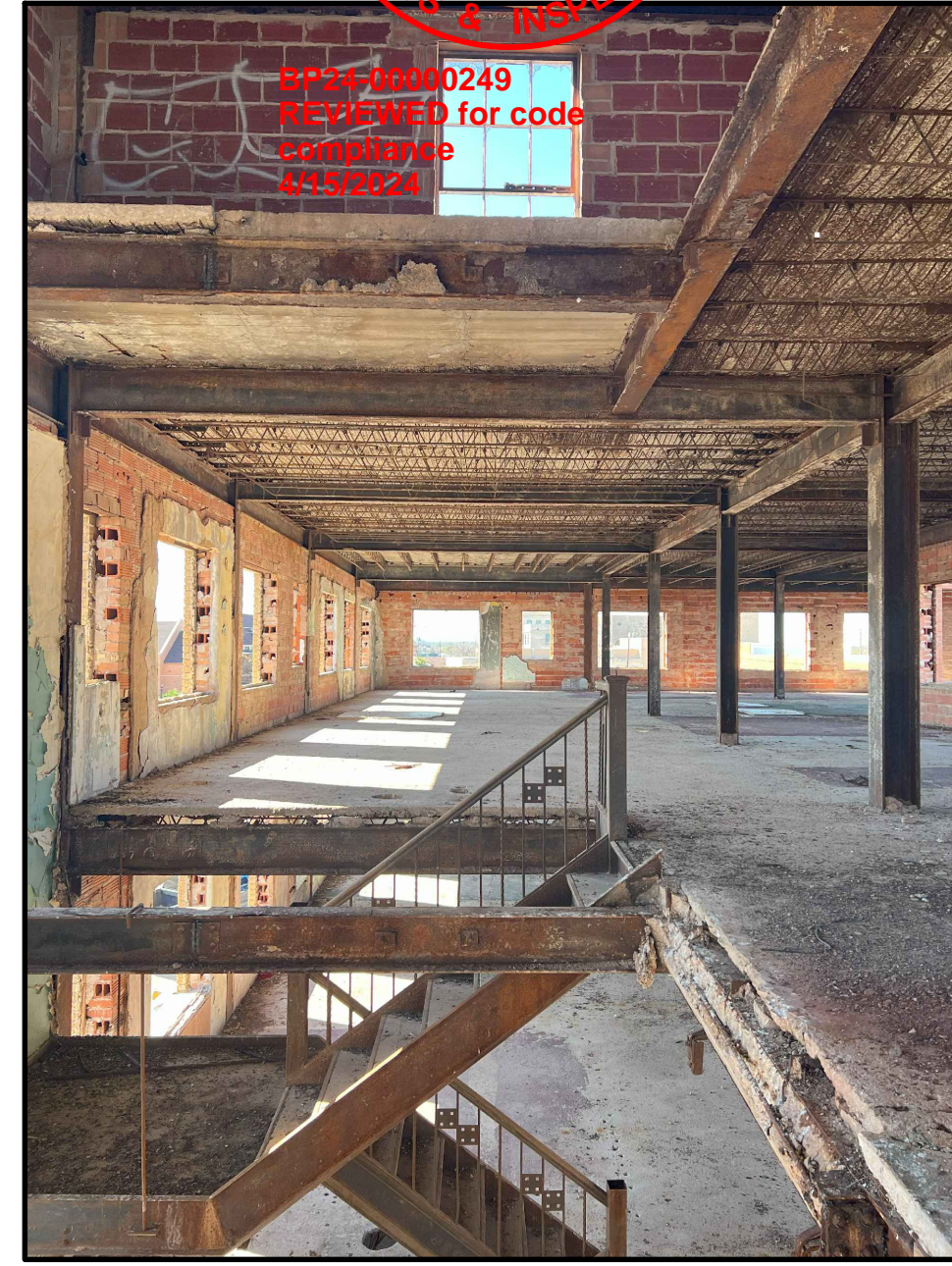
ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION:
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

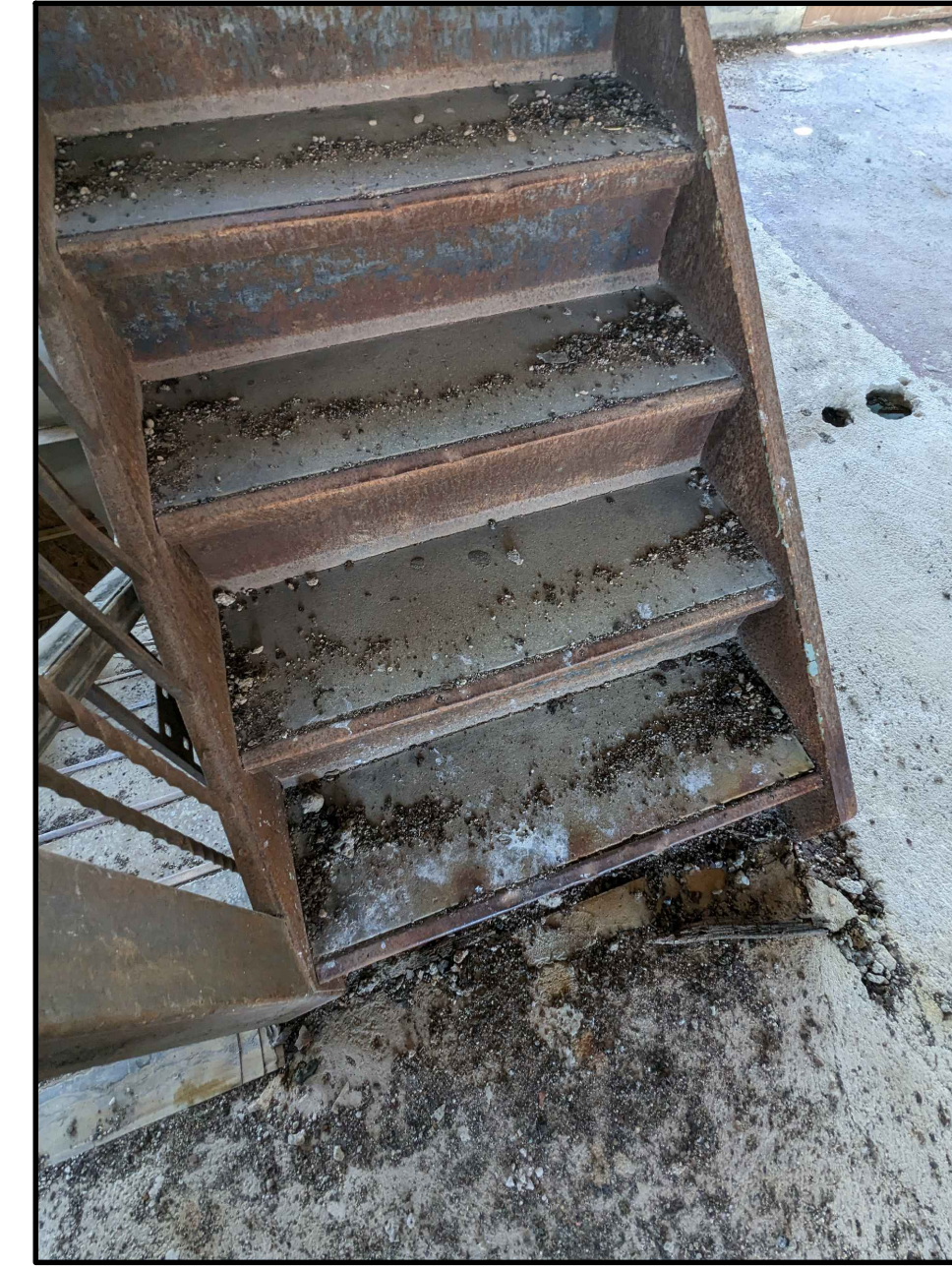
A6.1

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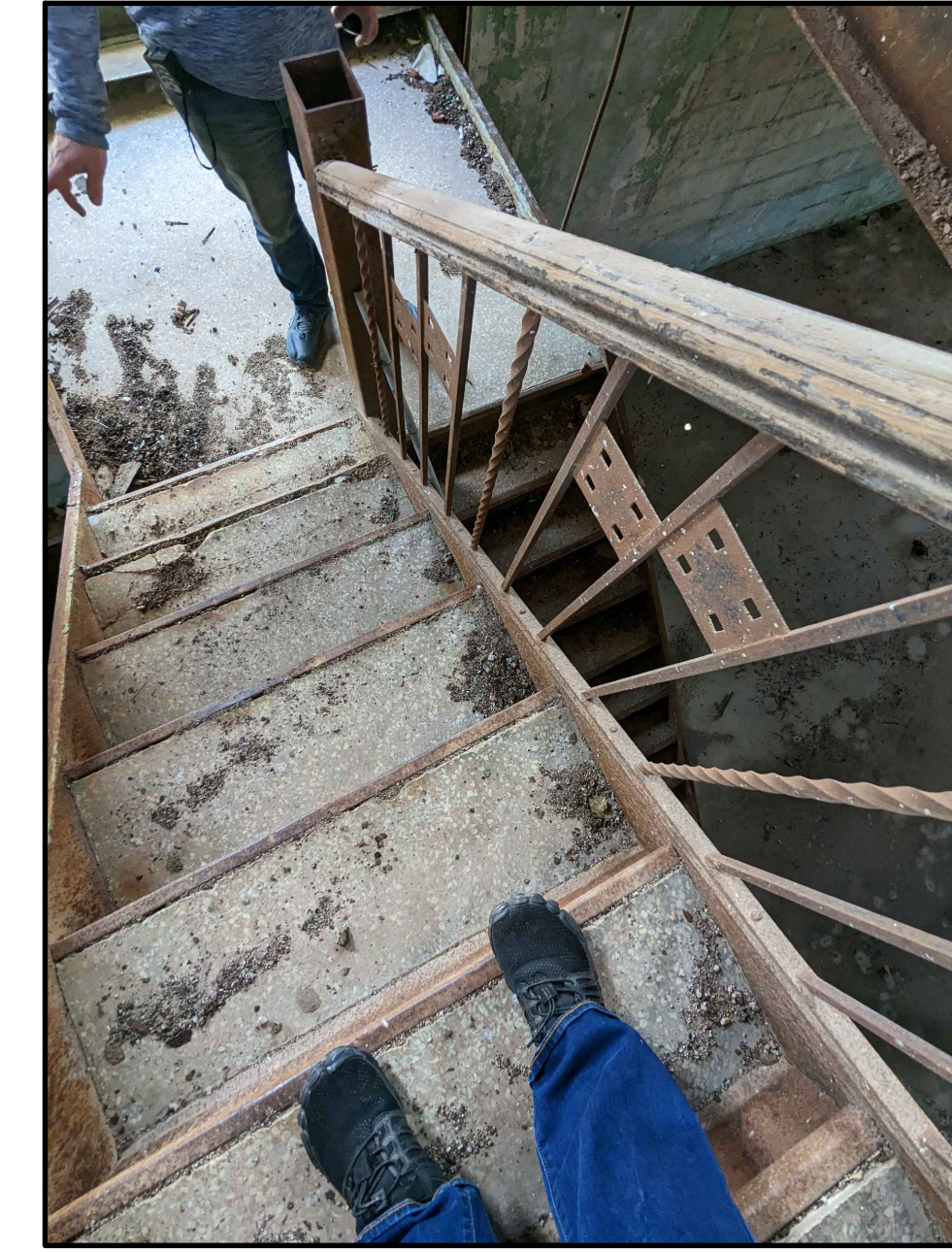
1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING TERRAZZO STAIR TREADS AND LANDING. FILL HOLES AND GAPS. CLEAN AND SEAL.
3. RAILINGS: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATIVE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
5. METAL POSTS AT LANDINGS: REPAIR AS NEEDED. CLEAN & PAINT BLACK.
6. REPLACE MISSING METAL POST TOPPERS (TO MATCH EXISTING). CLEAN AND REPAIR EXISTING POST TOPPERS. PAINT. COLOR TBD.
7. RAIL AT TOP OF STAIR: REMOVE, PREP FOR INSTALLATION NEW STAIR TO PENTHOUSE.

H PHOTO STAIR S1 - 3RD FLOOR
1/4"=1'-0"



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7. NEW FIRE-RATED WALLS TO BE INSTALLED ALONG WEST SIDE AND EAST SIDE OF STAIR. INSTALL NEW WALL MOUNTED HANDRAILS, WOOD STAIN TO MATCH EXISTING HANDRAIL.

G PHOTO STAIR S1 - 2ND FLOOR
1/4"=1'-0"



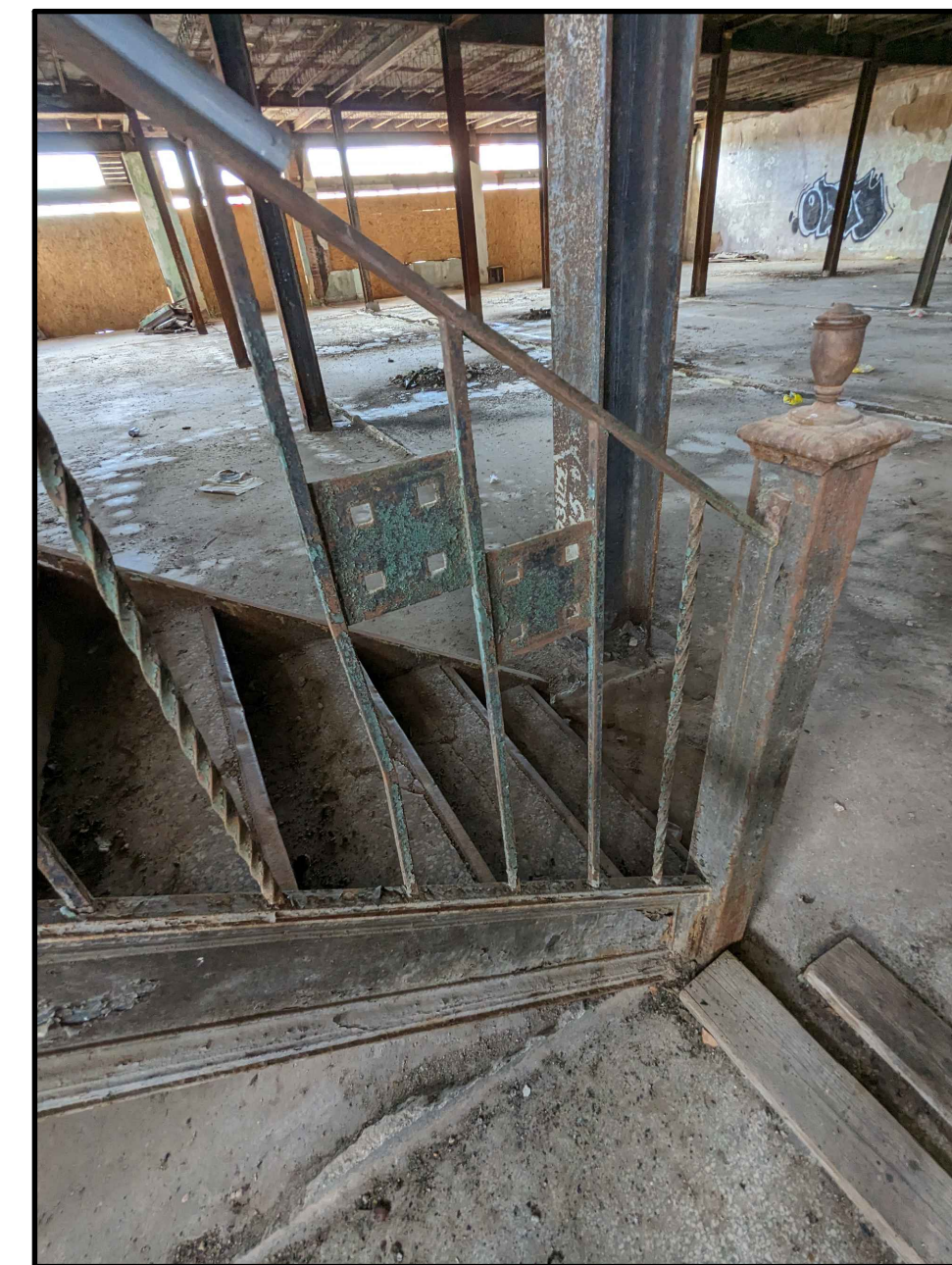
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2. REPAIR EXISTING TERRAZZO STAIR TREADS AND LANDING. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING FROM LANDING TO 2ND FLOOR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATIVE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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F PHOTO STAIR S1 - 2ND FLOOR TO LANDING
1/4"=1'-0"



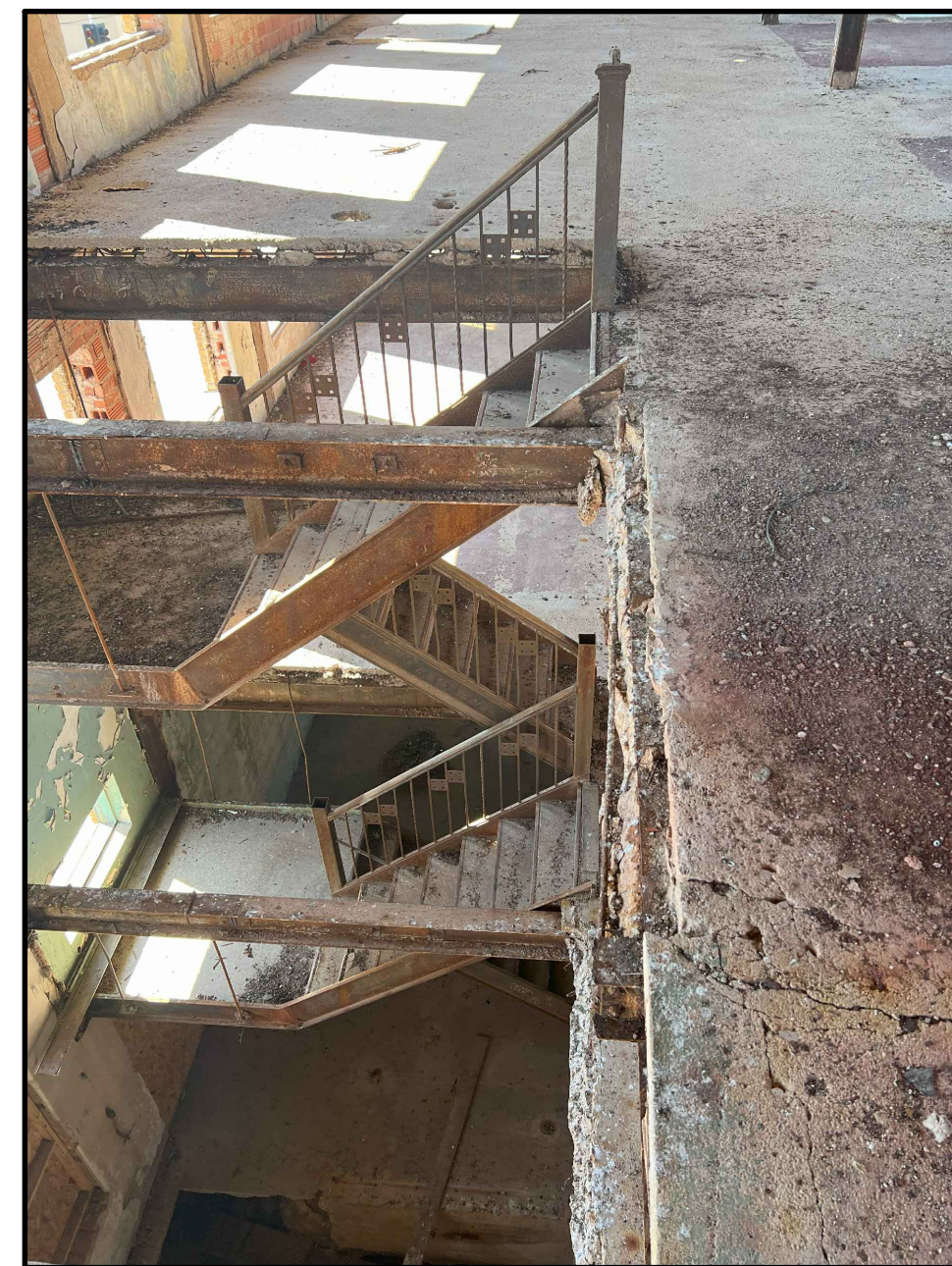
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2. REPAIR EXISTING TERRAZZO STAIR TREADS AND LANDING. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING FROM 1ST FLOOR TO LANDING: REMOVE AND SALVAGE. PREP STRINGER FOR NEW RAILING, DESIGNED TO MATCH EXISTING.
4. RAILING FROM LANDING TO 2ND FLOOR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATIVE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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E PHOTO STAIR S1 - LANDING BTWN 1ST & 2ND
1/4"=1'-0"



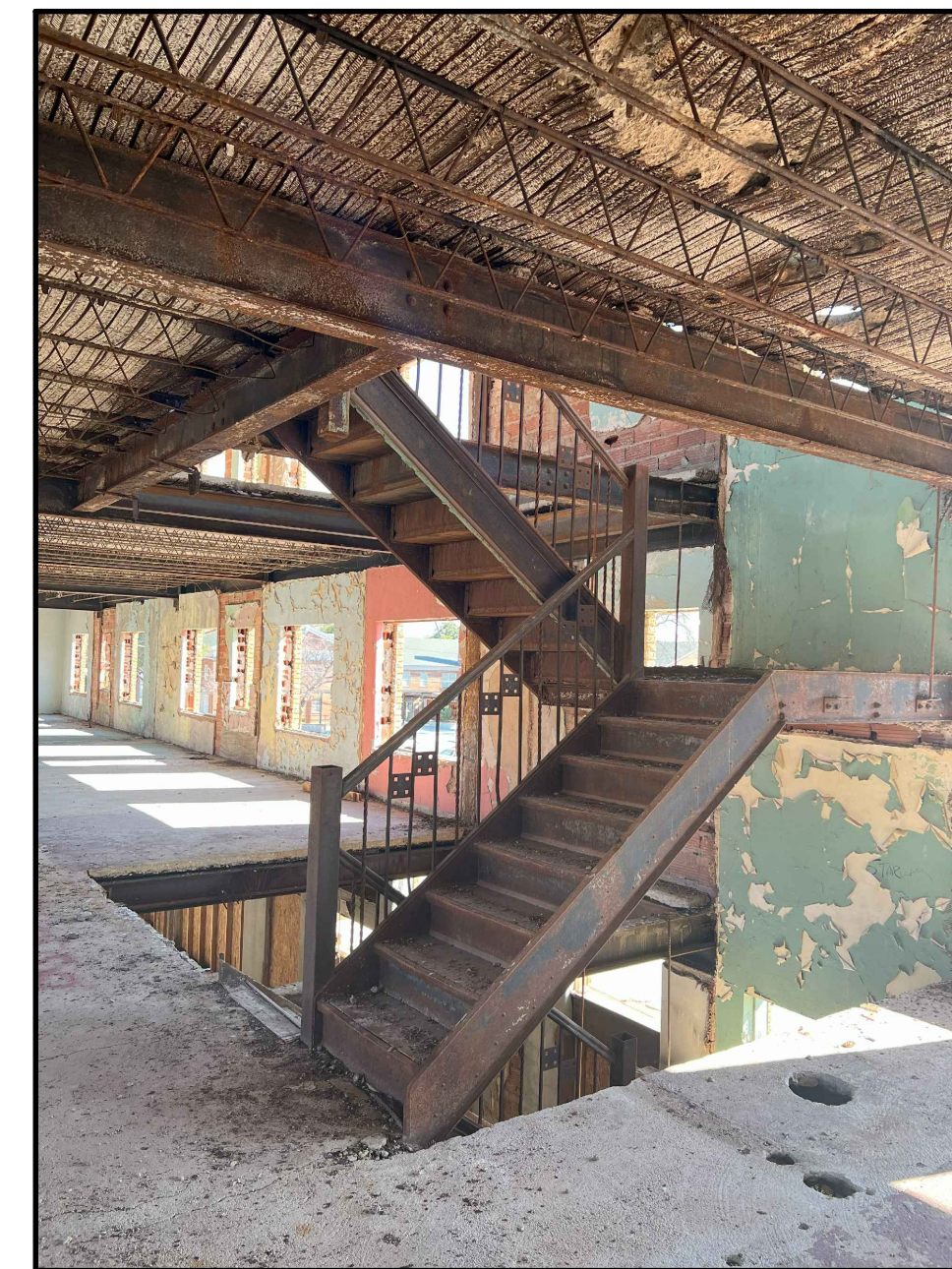
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3. RAILING FROM 1ST FLOOR TO LANDING: REMOVE AND SALVAGE. PREP STRINGER FOR NEW RAILING, DESIGNED TO MATCH EXISTING.
4. METAL POST AT BOTTOM OF STAIR: REPAIR AS NEEDED. CLEAN & PAINT BLACK.
5. CLEAN AND REPAIR EXISTING POST TOPPER. STAIN. COLOR TBD.
6. NEW FIRE-RATED WALLS TO BE INSTALLED ALONG WEST SIDE AND EAST SIDE OF STAIR. INSTALL NEW WALL MOUNTED HANDRAILS, WOOD STAIN TO MATCH EXISTING HANDRAIL.

D PHOTO STAIR S1 - 1ST FLOOR
1/4"=1'-0"



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8. RAIL AT TOP OF STAIR: REMOVE, PREP FOR INSTALLATION NEW STAIR TO PENTHOUSE.

C PHOTO STAIR S1 - 3RD FLOOR
1/4"=1'-0"



1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
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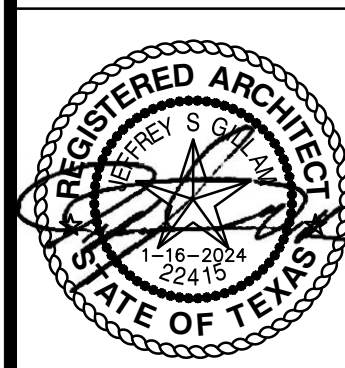
B PHOTO STAIR S1 - 2ND TO 3RD FLOOR
1/4"=1'-0"



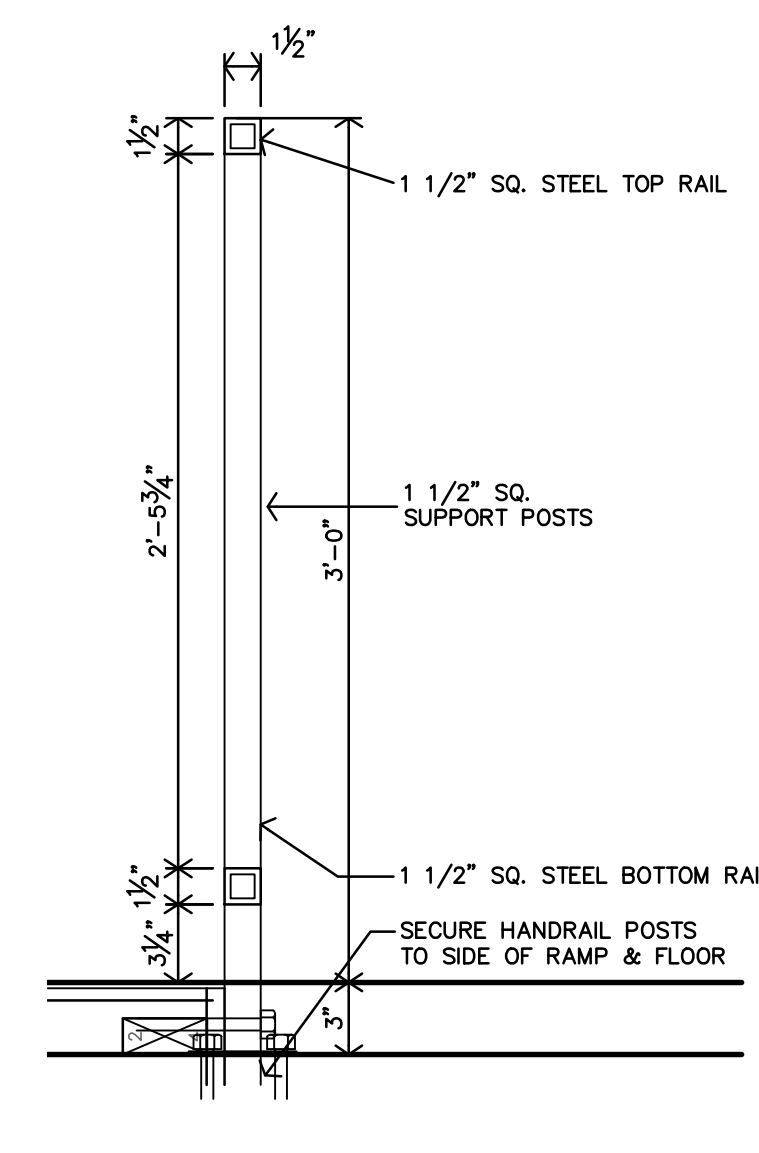
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2. REPAIR EXISTING TERRAZZO STAIR TREADS AND LANDING. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING FROM 1ST FLOOR TO LANDING: REMOVE AND SALVAGE. PREP STRINGER FOR NEW RAILING, DESIGNED TO MATCH EXISTING.
4. RAILING FROM LANDING TO 2ND FLOOR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATIVE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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A PHOTO STAIR S1 - 1ST TO 2ND FLOOR
1/4"=1'-0"

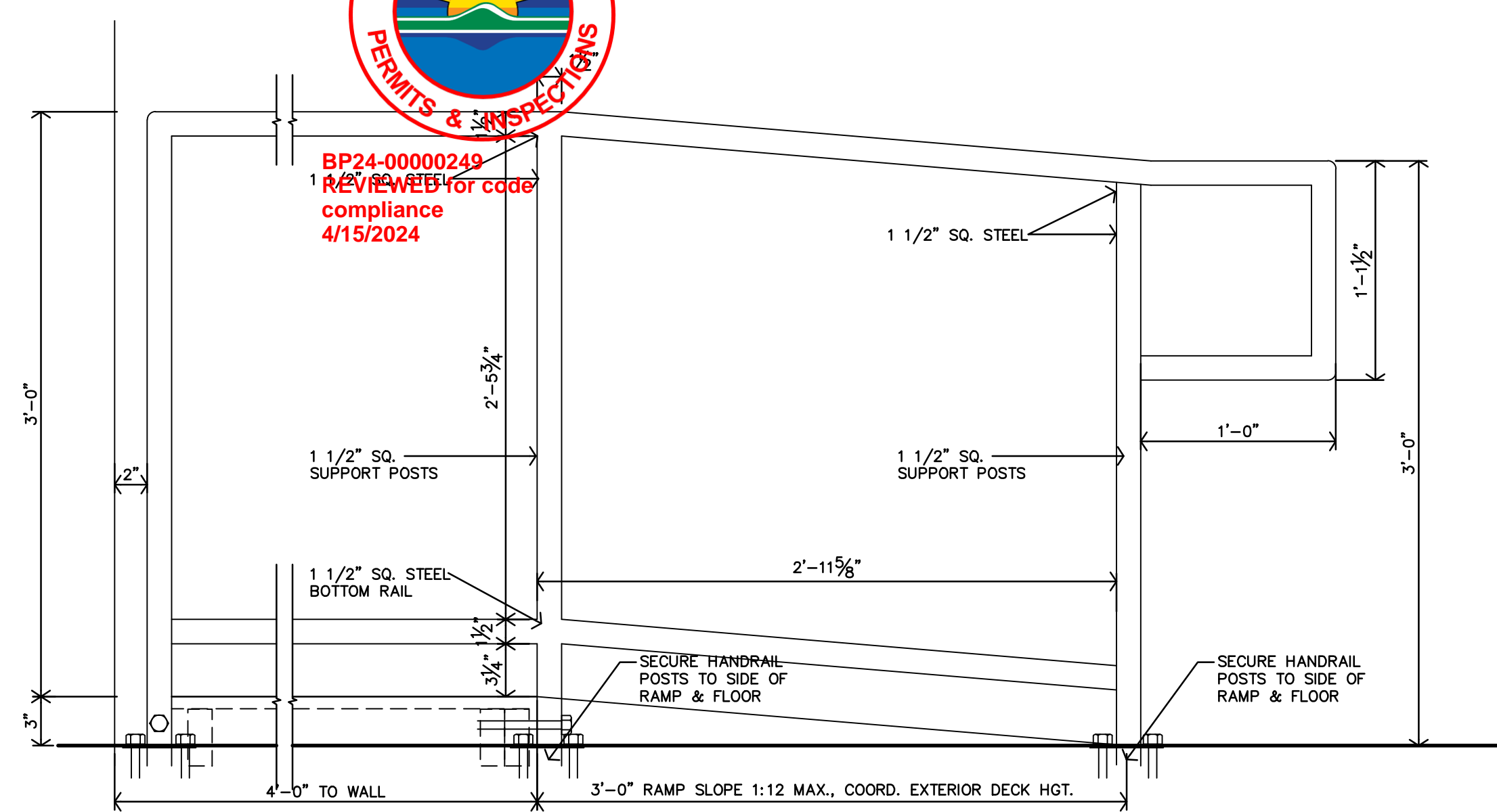
STAIR S1



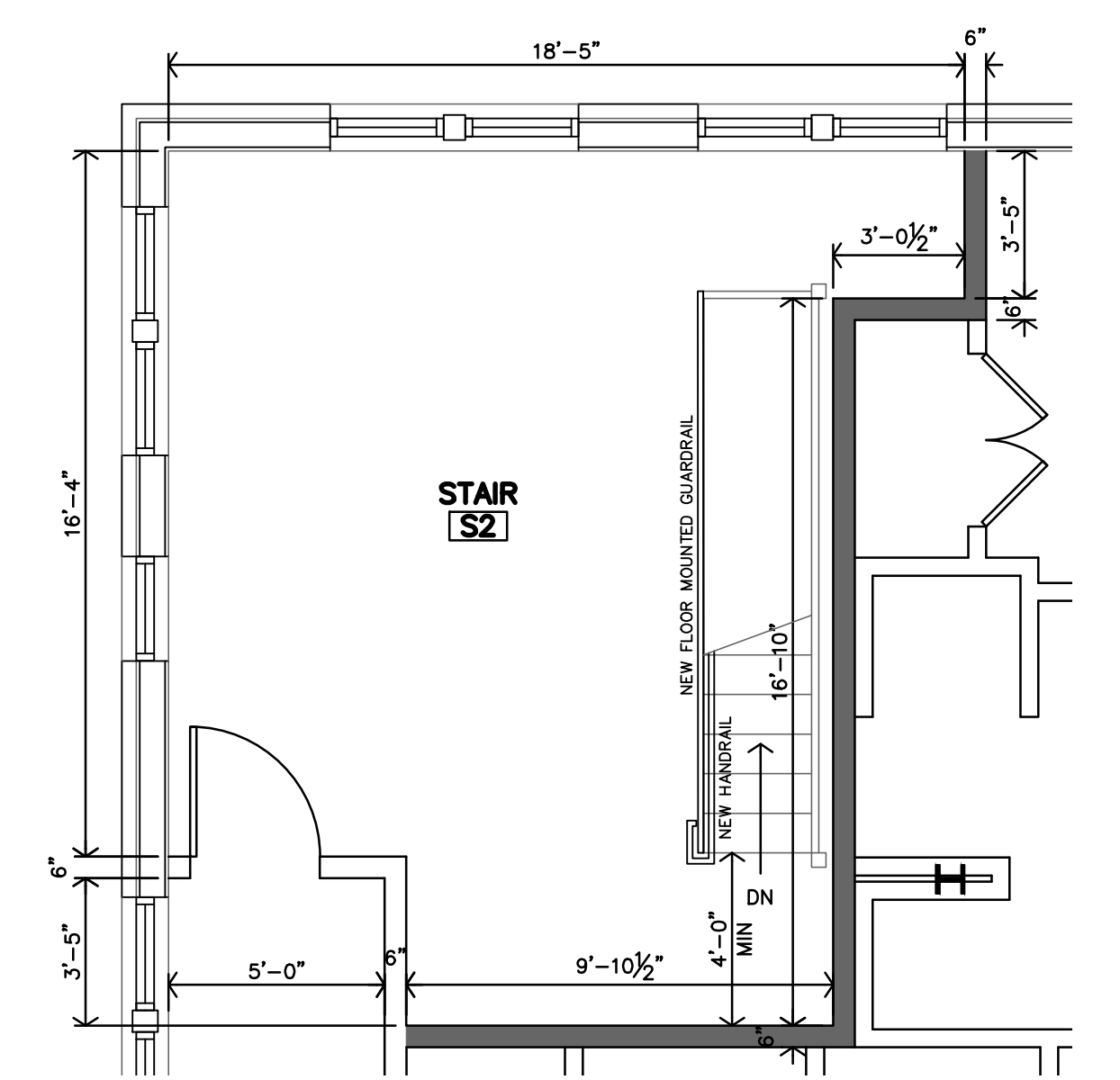
REVISION:	
DATE:	1-16-2024
JOB:	22-3281
SHEET NO.:	



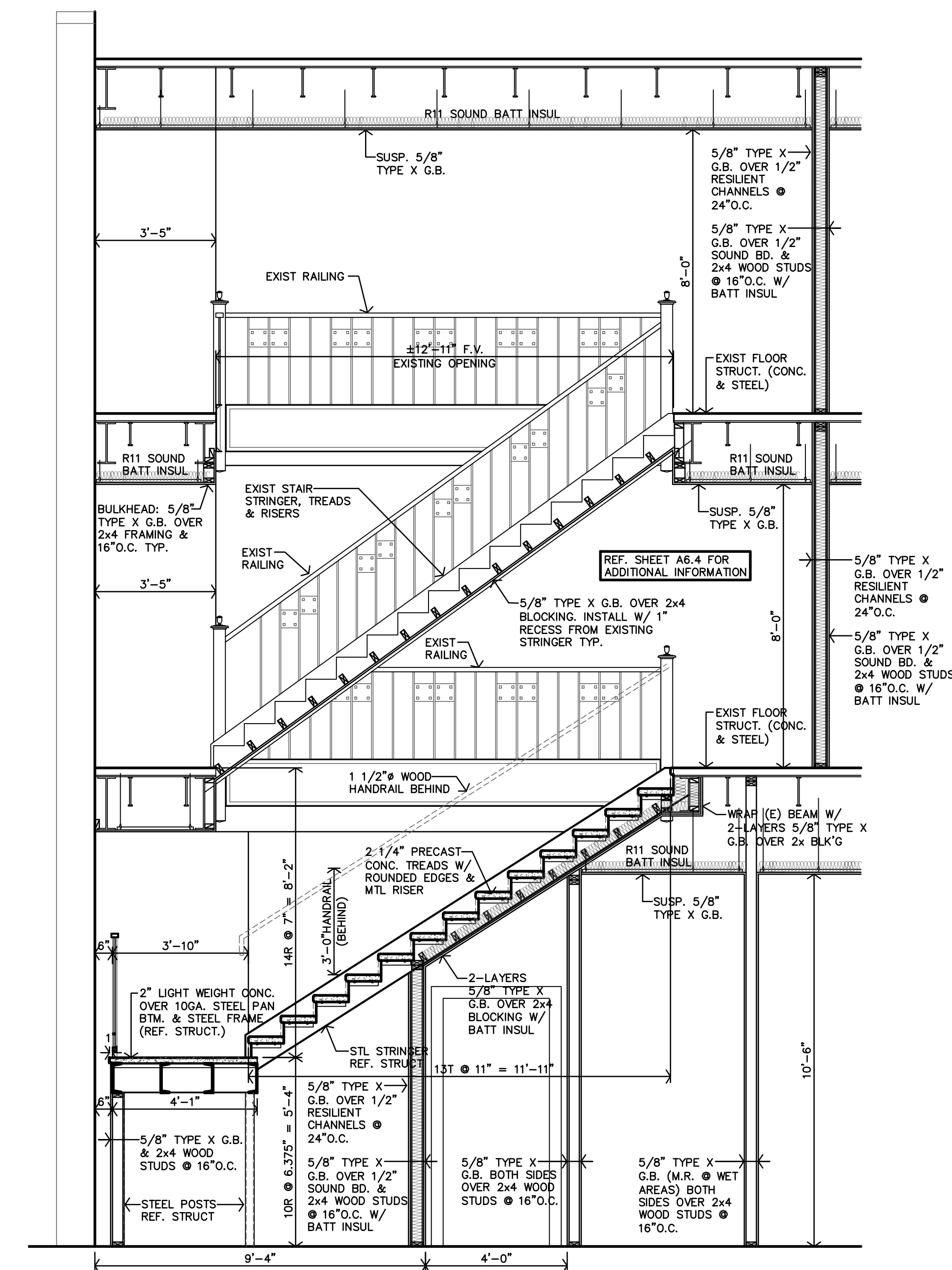
G DOOR 217 RAMP SECTION
1 1/2" = 1'-0"



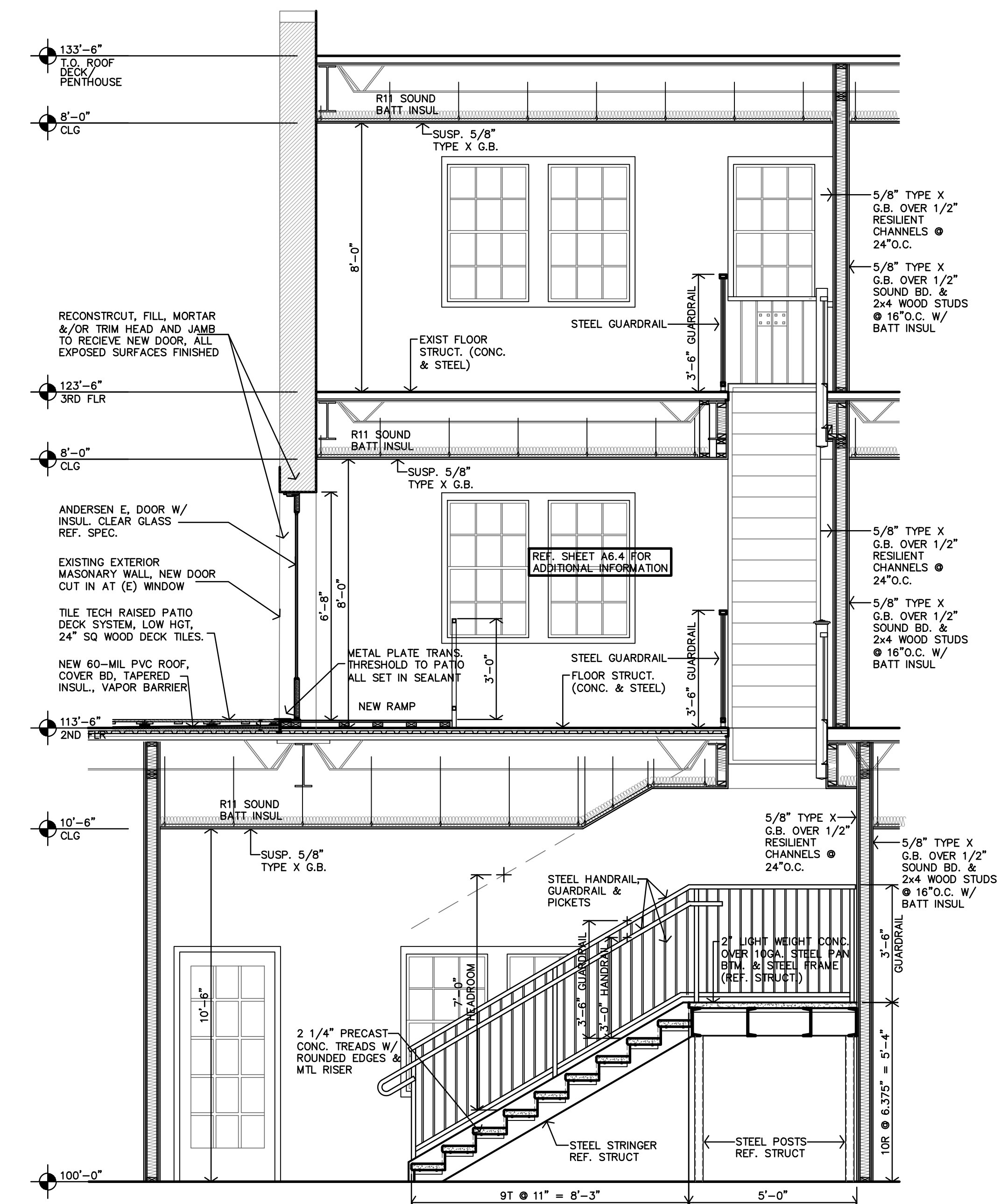
F DOOR 217 RAMP ELEVATION
1 1/2" = 1'-0"



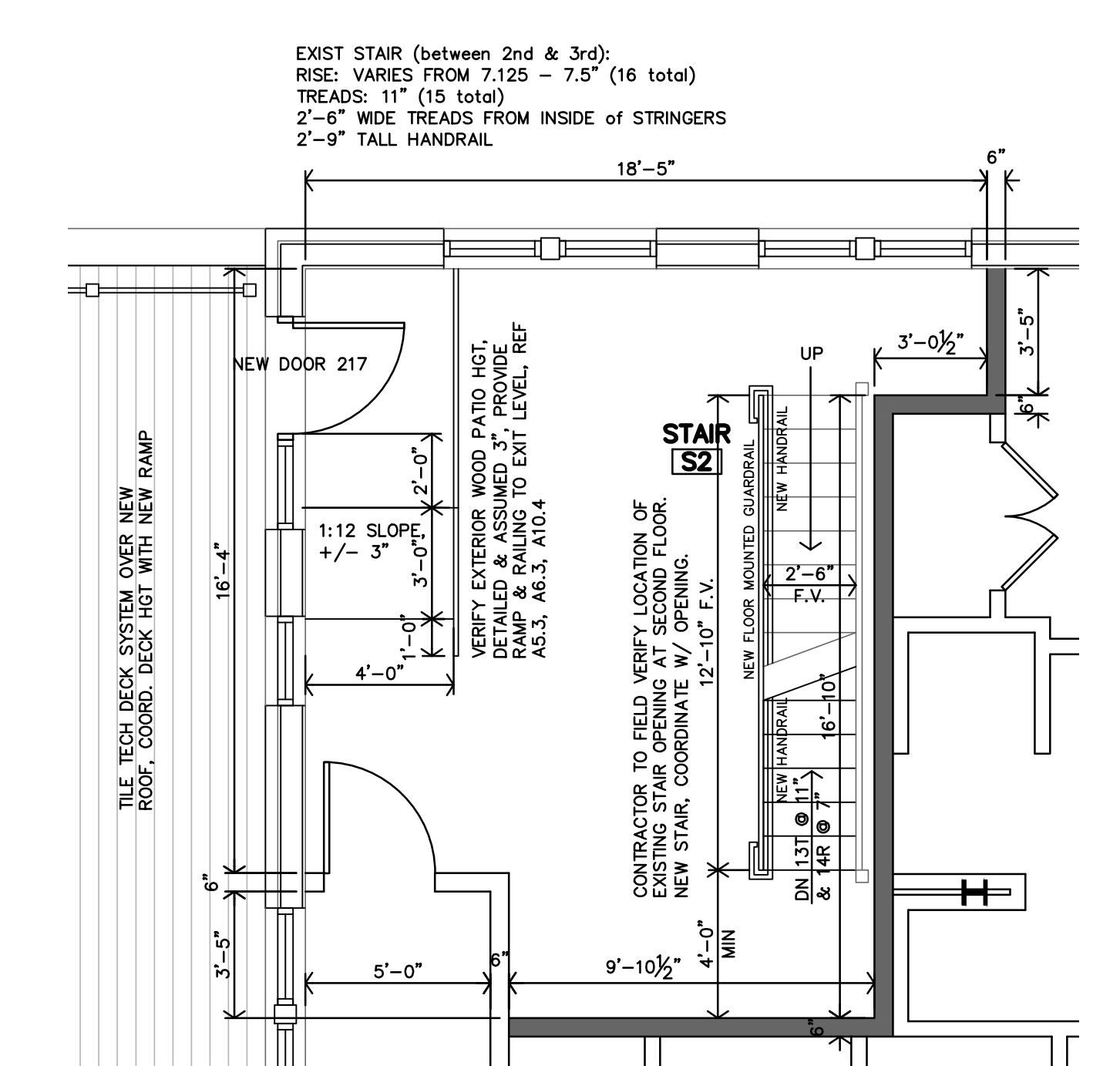
C STAIR S2 ENLARGED 3RD FLR. PLAN
1/4" = 1'-0"



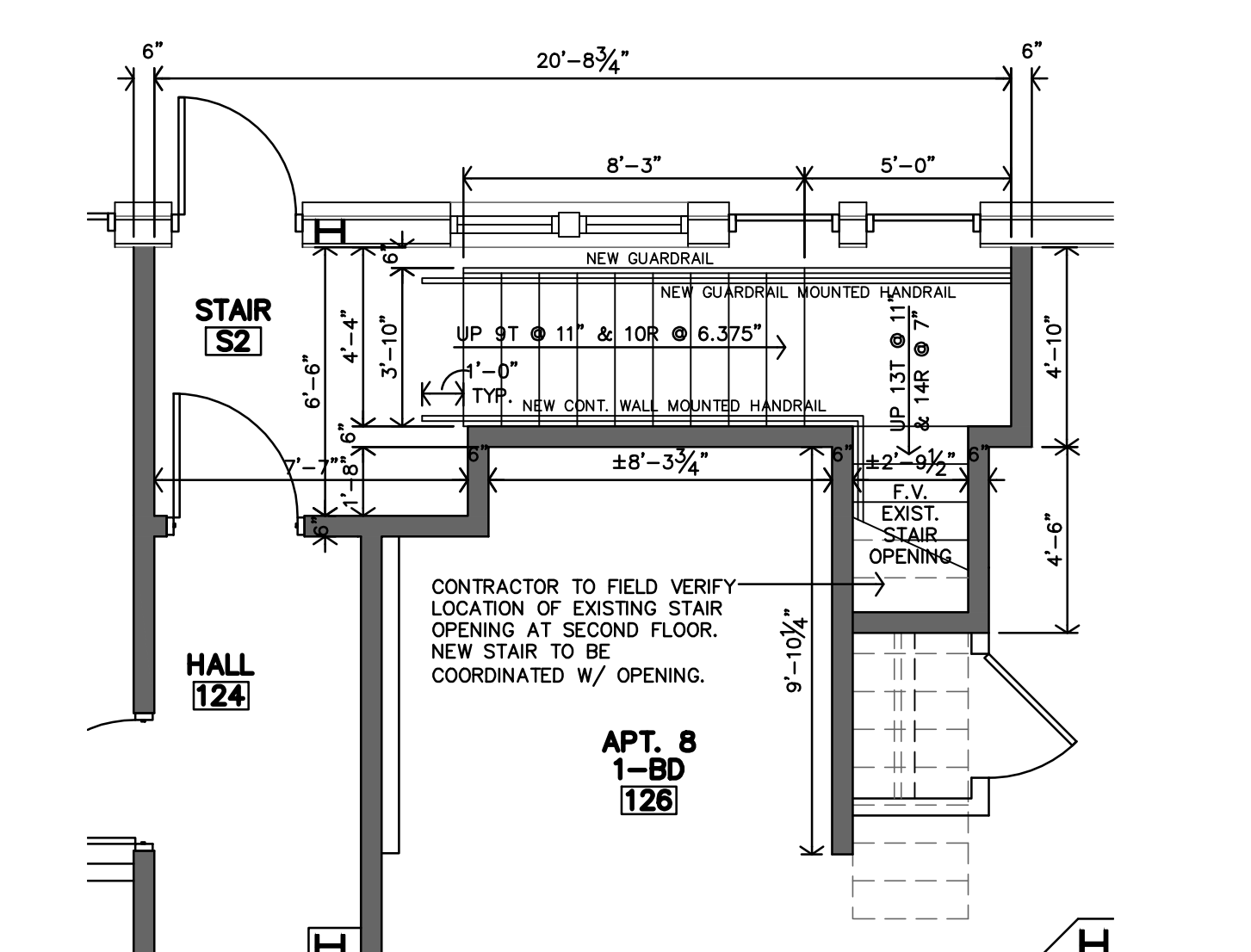
E STAIR S2 SECTION
3/8" = 1'-0"



D STAIR S2 SECTION
3/8" = 1'-0"



B STAIR S2 ENLARGED 2ND FLR. PLAN
1/4" = 1'-0"



A STAIR S2 ENLARGED FIRST FLR. PLAN
1/4" = 1'-0"

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION:
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

A6.3

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1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING CONCRETE STAIR TREADS. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING ALONG EAST & NORTH SIDE OF STAIR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
4. REPLACE METAL POST & WOOD TOPPER AT NORTHWEST CORNER OF STAIR. MATCH EXISTING.
5. METAL POSTS AT LANDINGS: REPAIR AS NEEDED. CLEAN & PAINT BLACK.
6. REPLACE MISSING METAL POST TOPPERS (TO MATCH EXISTING). CLEAN AND REPAIR EXISTING POST TOPPERS. PAINT, COLOR TBD
7. NEW GUARDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.
8. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED DOWN WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

J PHOTO STAIR S1 - 3RD FLOOR
1/4"=1'-0"



1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING CONCRETE STAIR TREADS. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
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8. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED DOWN WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

H PHOTO STAIR S1 - 3RD FLOOR
1/4"=1'-0"



1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING CONCRETE STAIR TREADS. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
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5. REPLACE MISSING METAL POST TOPPERS (TO MATCH EXISTING). CLEAN AND REPAIR EXISTING POST TOPPERS. PAINT, COLOR TBD
6. NEW GUARDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.
7. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED UP WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

G PHOTO STAIR S1 - 2ND TO 3RD FLOOR
1/4"=1'-0"



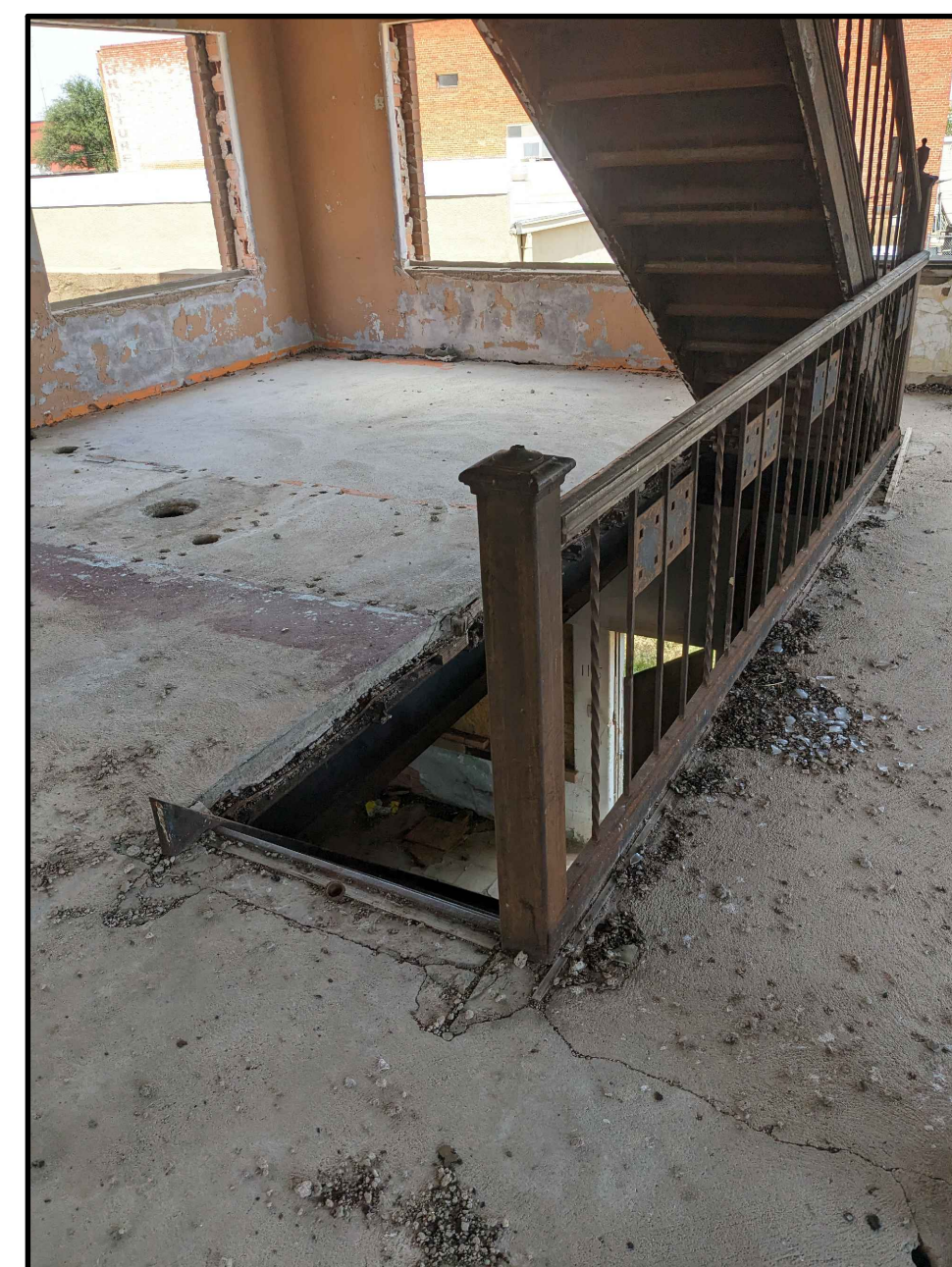
1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
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7. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED UP WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

F PHOTO STAIR S1 - 2ND TO 3RD FLOOR
1/4"=1'-0"



1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING CONCRETE STAIR TREADS. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
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7. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED UP WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

E PHOTO STAIR S2 - 2ND TO 3RD FLOOR
1/4"=1'-0"



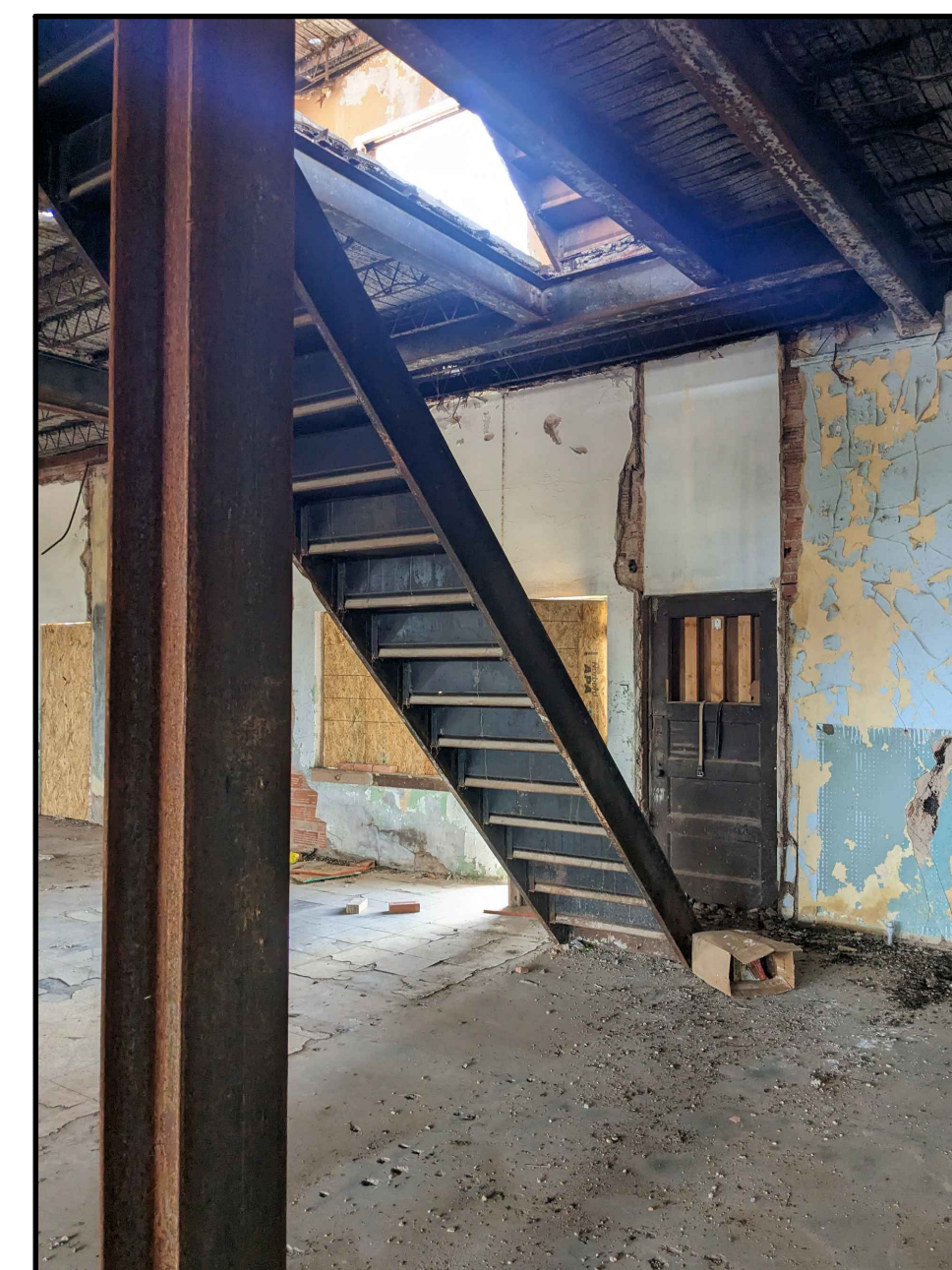
1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING CONCRETE STAIR TREADS. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
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6. NEW GUARDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.
7. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED UP WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

D PHOTO STAIR S2 - 2ND TO 3RD FLOOR
1/4"=1'-0"



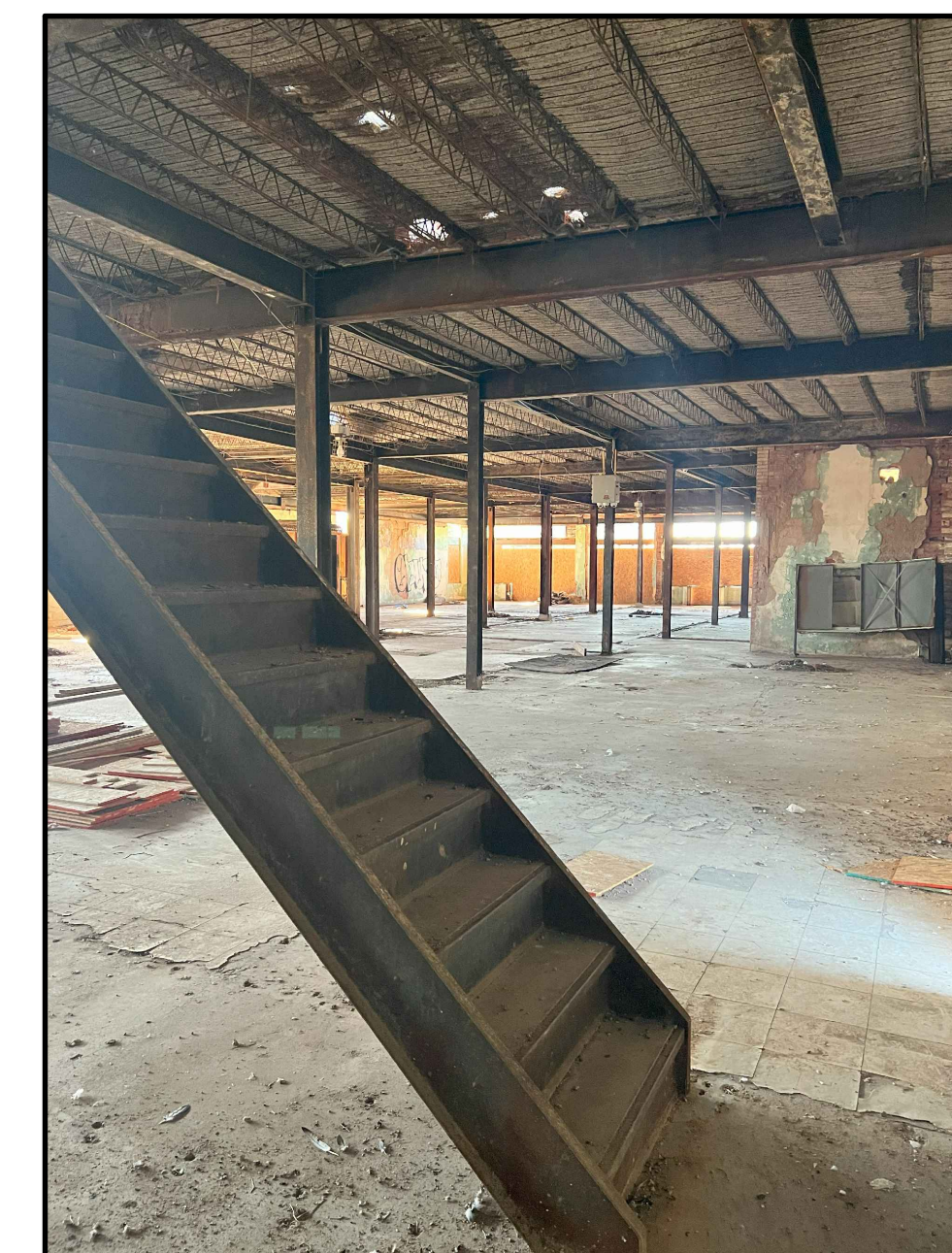
1. STRINGERS, RISERS, TREADS, PANS, HANDRAILS, ETC. FROM THE FIRST FLOOR TO THE 2ND FLOOR SHALL BE REMOVED. STAIR IS TOO STEEP TO BE SALVAGED. NEW STAIR WILL BE CONSTRUCTED IN AN "L" SHAPE. REFERENCES PLANS.
2. OPENING AT 2ND FLOOR SHALL BE RETAINED. NEW STAIR SHALL BE CONSTRUCTED USING THE EXISTING, HISTORIC OPENING IN THE FLOOR/STRUCTURE.
3. RAILING ALONG EAST SIDE OF STAIR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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6. NEW GUARDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.
7. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.

C PHOTO STAIR S2 - 2ND FLOOR
1/4"=1'-0"



1. STRINGERS, RISERS, TREADS, PANS, HANDRAILS, ETC. FROM THE FIRST FLOOR TO THE 2ND FLOOR SHALL BE REMOVED. STAIR IS TOO STEEP TO BE SALVAGED. NEW STAIR WILL BE CONSTRUCTED IN AN "L" SHAPE. REFERENCES PLANS.
2. OPENING AT 2ND FLOOR SHALL BE RETAINED. NEW STAIR SHALL BE CONSTRUCTED USING THE EXISTING, HISTORIC OPENING IN THE FLOOR/STRUCTURE.

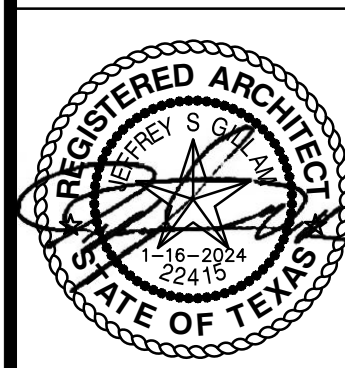
B PHOTO STAIR S2 - 1ST TO 2ND FLOOR
1/4"=1'-0"



1. STRINGERS, RISERS, TREADS, PANS, HANDRAILS, ETC. FROM THE FIRST FLOOR TO THE 2ND FLOOR SHALL BE REMOVED. STAIR IS TOO STEEP TO BE SALVAGED. NEW STAIR WILL BE CONSTRUCTED IN AN "L" SHAPE. REFERENCES PLANS.
2. OPENING AT 2ND FLOOR SHALL BE RETAINED. NEW STAIR SHALL BE CONSTRUCTED USING THE EXISTING, HISTORIC OPENING IN THE FLOOR/STRUCTURE.

A PHOTO STAIR S2 - 1ST TO 2ND FLOOR
1/4"=1'-0"

STAIR S2



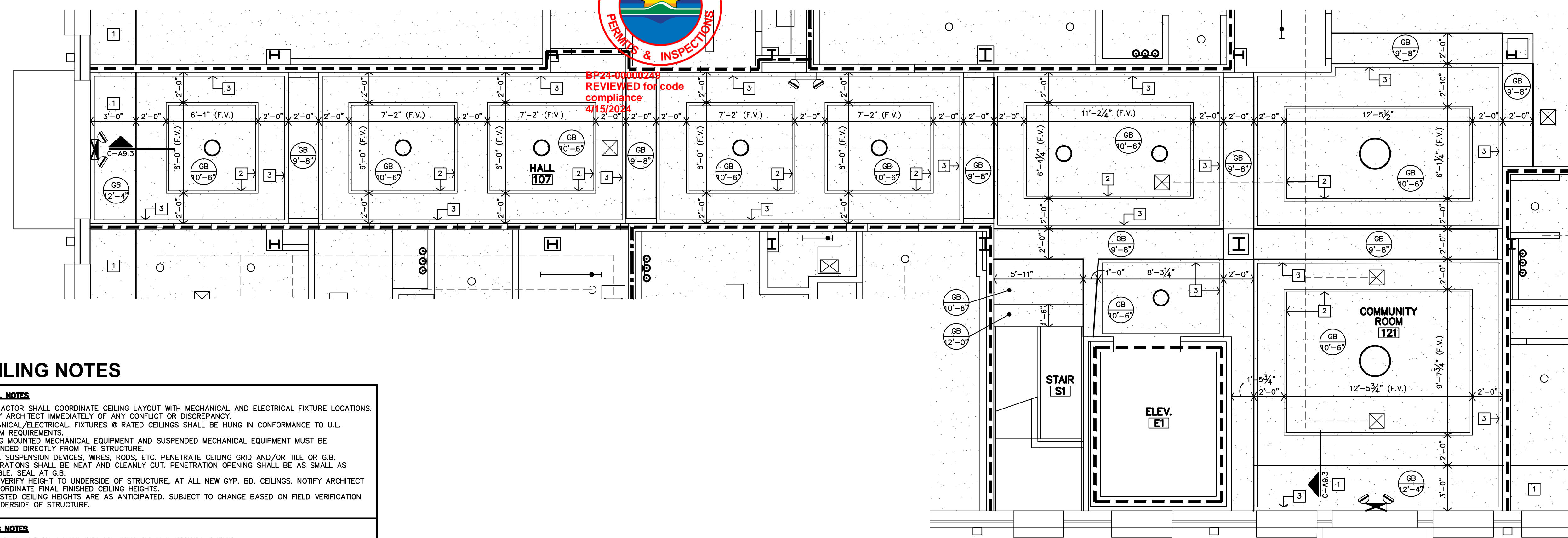
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DATE: 1-16-2024
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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS

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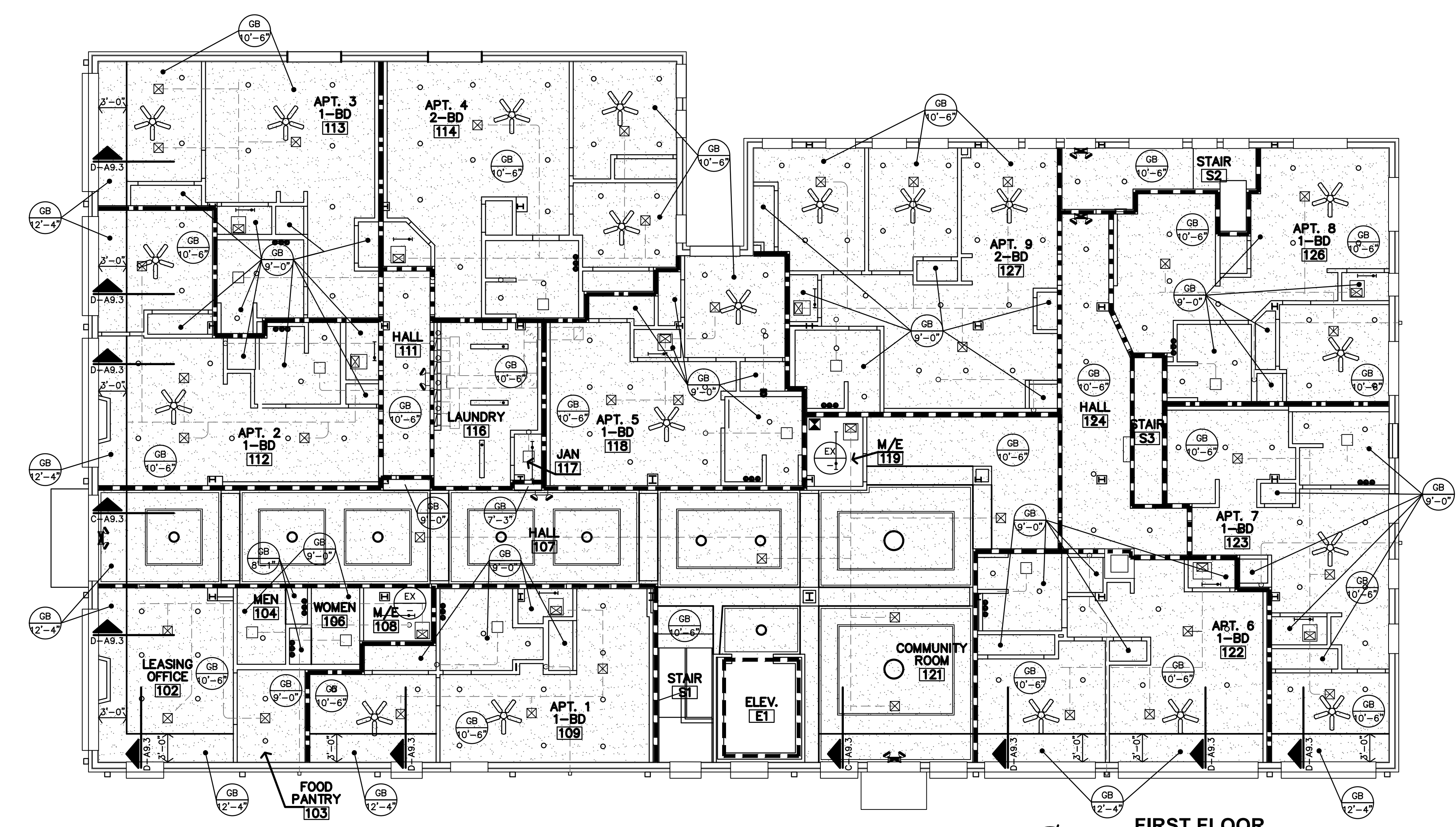
B ENLARGED FIRST FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"

CEILING NOTES

GENERAL NOTES	
1. CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.	
2. MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.	
3. CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.	
4. WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.	
5. FIELD VERIFY HEIGHT TO UNDERSIDE OF STRUCTURE, AT ALL NEW GYP. BD. CEILINGS. NOTIFY ARCHITECT TO COORDINATE FINAL FINISHED CEILING HEIGHTS.	
6. ALL LISTED CEILING HEIGHTS ARE AS ANTICIPATED. SUBJECT TO CHANGE BASED ON FIELD VERIFICATION OF UNDERSIDE OF STRUCTURE.	
SPECIFIC NOTES	
1	RECESSED CEILING ALCOVE NEXT TO STOREFRONT & TRANSOM WINDOW.
2	NEW CEILING-MOUNTED, 2" THICK ACCENT TRIM/MOLDING
3	NEW CEILING CROWN MOLDING
CEILING TYPES	
REFER SPECIFICATIONS	NON-RATED WALLS
GB GYP BD (PAINTED)	1/2 HOUR FIRE PARTITION; CORRIDOR
ST EXPOSED STRUCTURE	1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
P EXIST./NEW PLASTER (PAINTED)	1 HOUR SHAFT WALL
SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.	
CLG. TYPE	INDICATES G.B. CEILING FINISH
CLG. HEIGHT (ASSUMED)	INDICATES A LOWERED SOFFIT/CEILING AREA

CEILING NOTES

GENERAL NOTES	
1. CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.	
2. MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.	
3. CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.	
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SPECIFIC NOTES	
1	RECESSED CEILING ALCOVE NEXT TO STOREFRONT & TRANSOM WINDOW.
2	NEW CEILING-MOUNTED, 2" THICK ACCENT TRIM/MOLDING
3	NEW CEILING CROWN MOLDING
CEILING TYPES	
REFER SPECIFICATIONS	NON-RATED WALLS
GB GYP BD (PAINTED)	1/2 HOUR FIRE PARTITION; CORRIDOR
ST EXPOSED STRUCTURE	1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
P EXIST./NEW PLASTER (PAINTED)	1 HOUR SHAFT WALL
SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.	
CLG. TYPE	INDICATES G.B. CEILING FINISH
CLG. HEIGHT (ASSUMED)	INDICATES A LOWERED SOFFIT/CEILING AREA

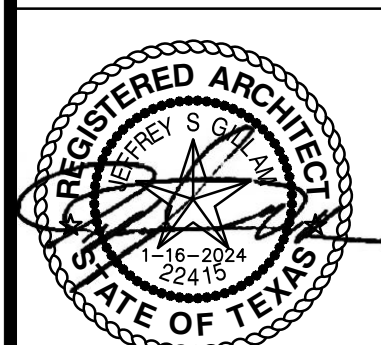


A FIRST FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION:
DATE: 1-16-2024
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SHEET NO.:

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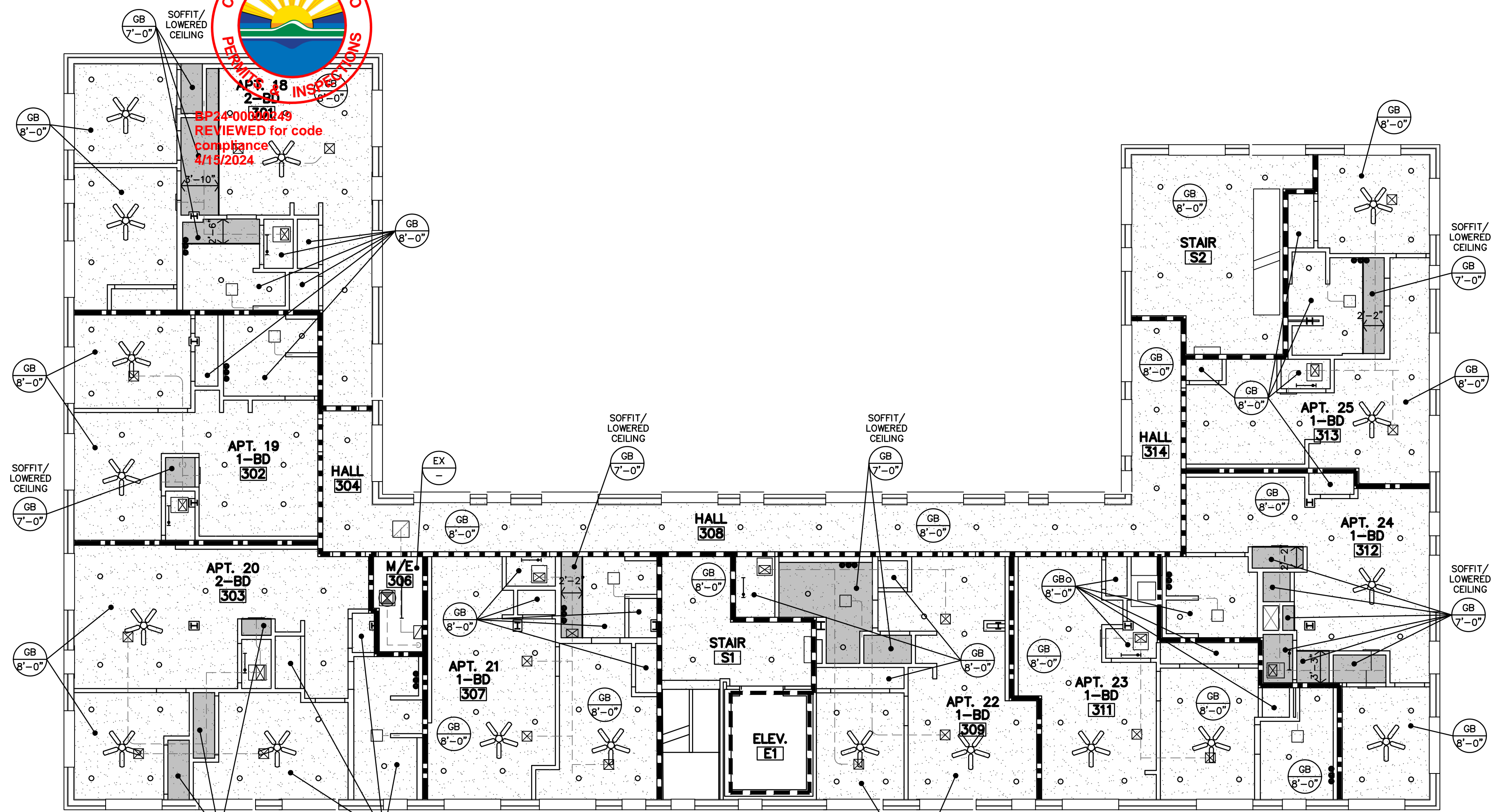
CEILING NOTES

- GENERAL NOTES**
- CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.
 - MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.
 - CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.
 - WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.
 - FIELD VERIFY HEIGHT TO UNDERSIDE OF STRUCTURE, AT ALL NEW GYP. BD. CEILINGS. NOTIFY ARCHITECT TO COORDINATE FINAL FINISHED CEILING HEIGHTS.
 - ALL LISTED CEILING HEIGHTS ARE AS ANTICIPATED. SUBJECT TO CHANGE BASED ON FIELD VERIFICATION OF UNDERSIDE OF STRUCTURE.

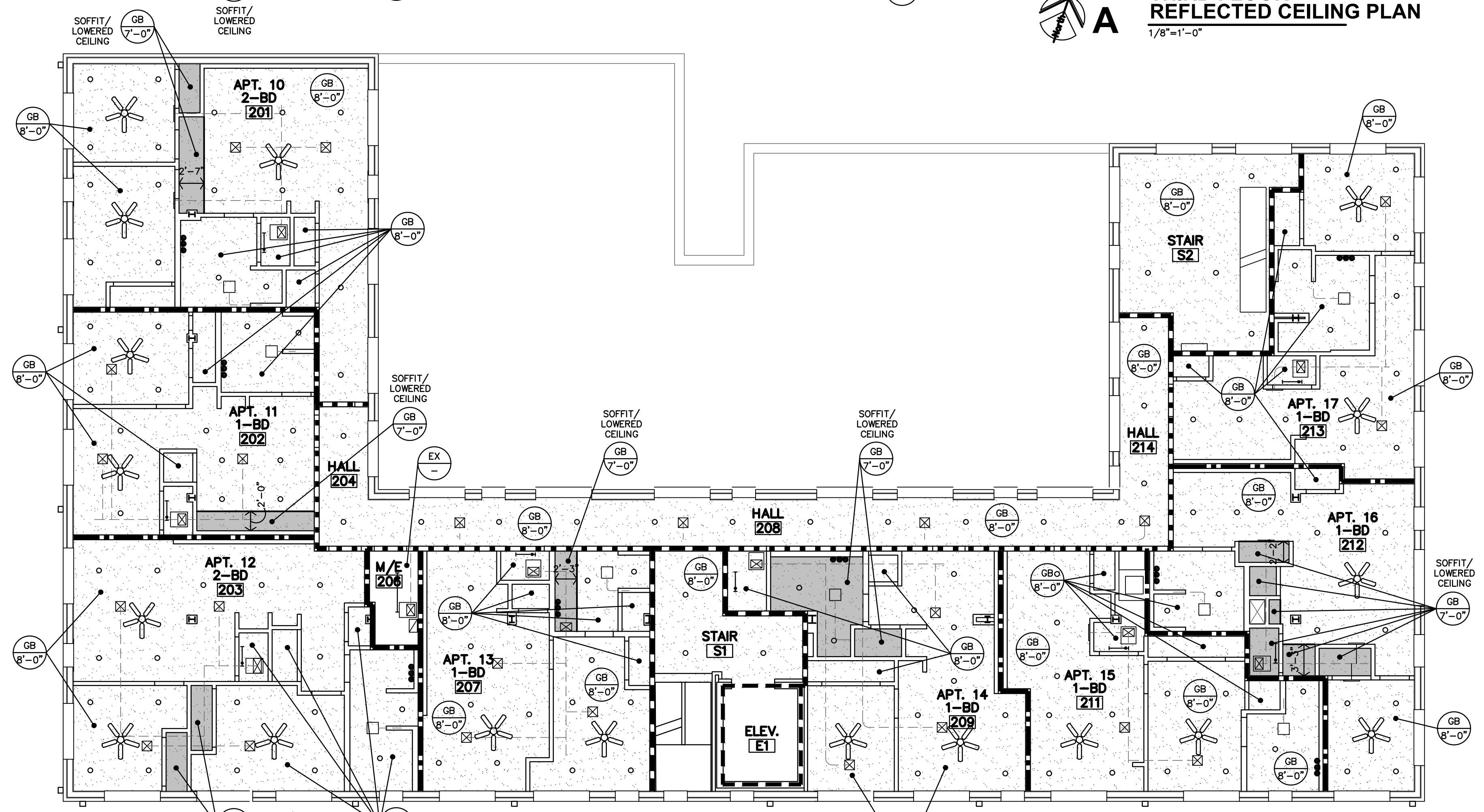
- SPECIFIC NOTES**
- RECESSED CEILING ALCOVE NEXT TO STOREFRONT & TRANSOM WINDOW.
 - NEW CEILING-MOUNTED, 2" THICK ACCENT TRIM/MOLDING
 - NEW CEILING CROWN MOLDING

CEILING TYPES		NON-RATED WALLS	
GB	GYP. BD (PAINTED)	---	1/2 HOUR FIRE PARTITION; CORRIDOR
ST	EXPOSED STRUCTURE	---	1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
P	EXIST./NEW PLASTER (PAINTED)	---	1 HOUR SHAFT WALL
SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.		---	

CLG. TYPE	CLG. HEIGHT (ASSUMED)	INDICATES G.B. CEILING FINISH	INDICATES A LOWERED SOFFIT/CEILING AREA
1	8'-6"		
2	7'-0"		



A THIRD FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"



B SECOND FLOOR REFLECTED CEILING PLAN
3/32"=1'-0"

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



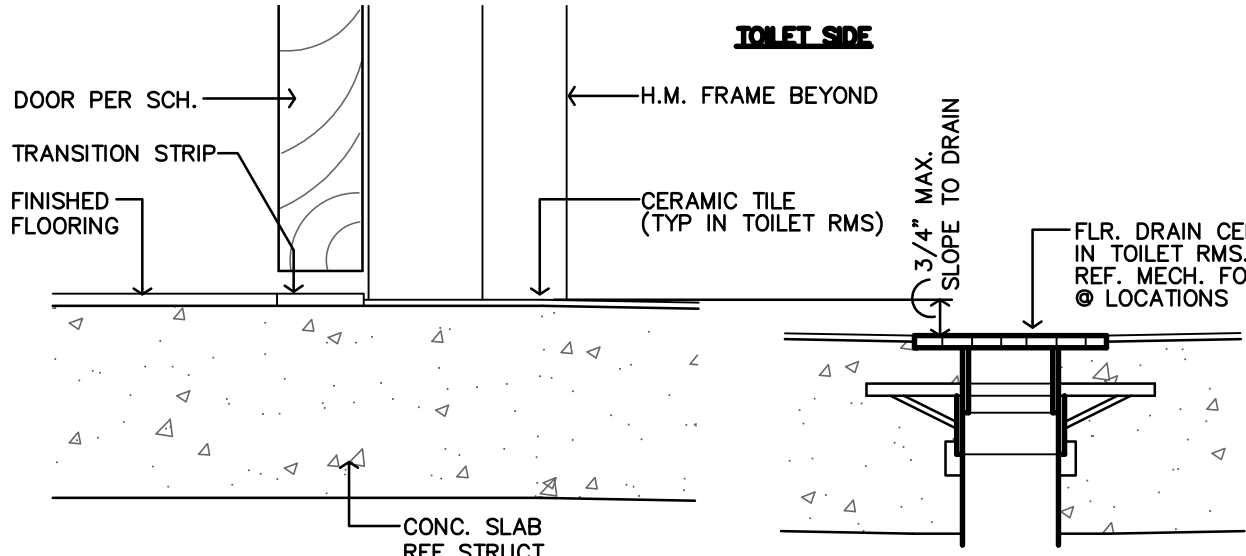
REVISION: _____
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SHEET NO.:

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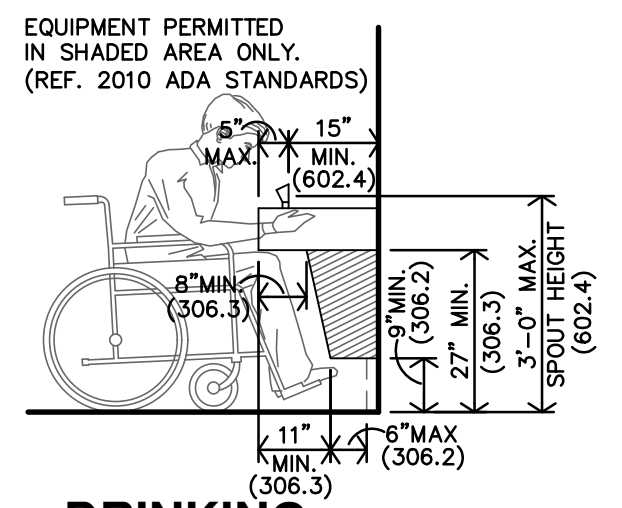
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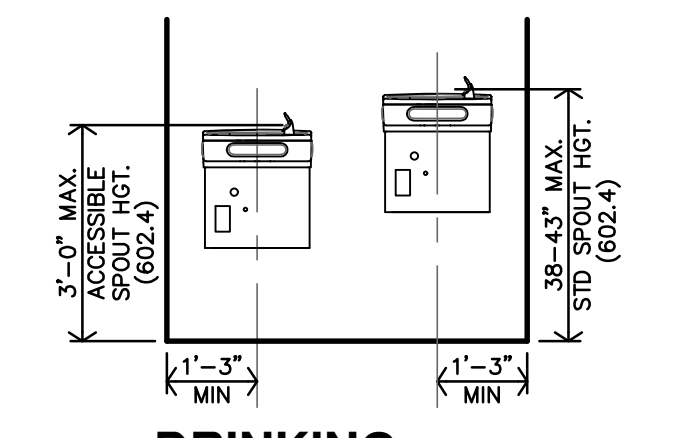
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 compliance
 4/15/2024



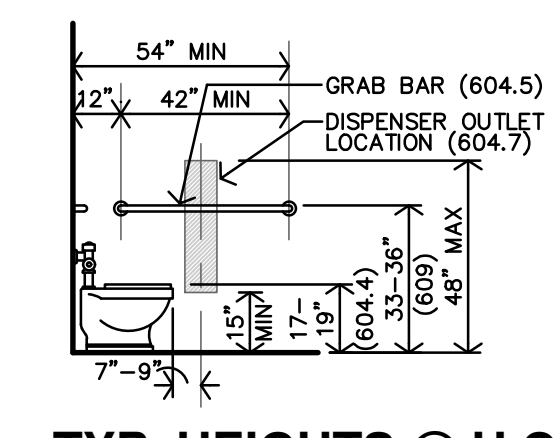
T FLOOR DRAIN DETAIL
 3/8"=1'-0"



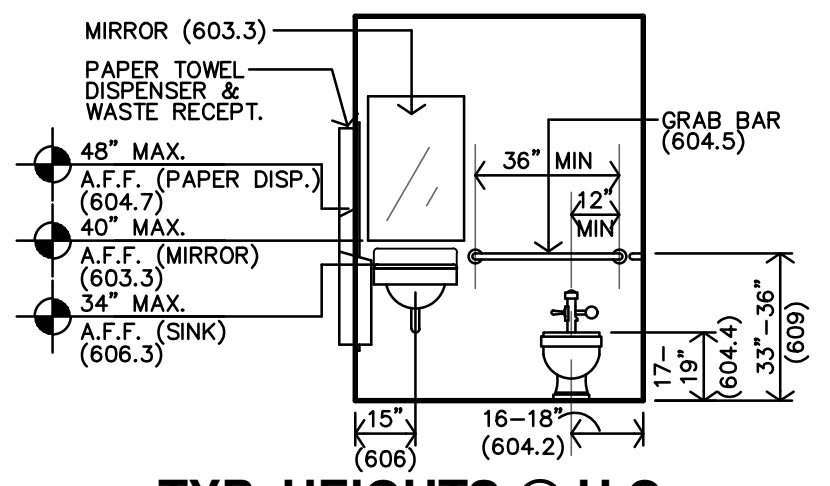
S DRINKING FOUNTAIN DETAIL
 3/8"=1'-0" FOR HC HEIGHTS & LOCATION ONLY



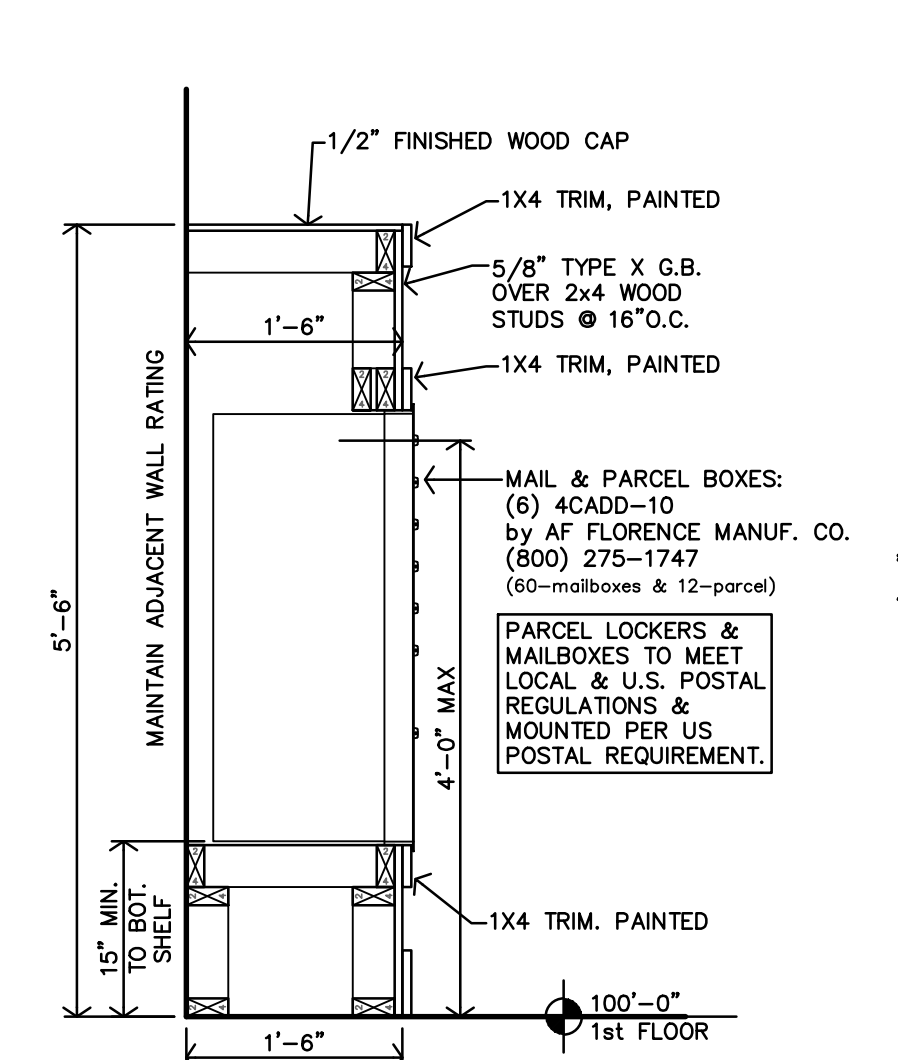
R DRINKING FOUNTAIN ELEVATION
 3/8"=1'-0" FOR HC HEIGHTS & LOCATION ONLY



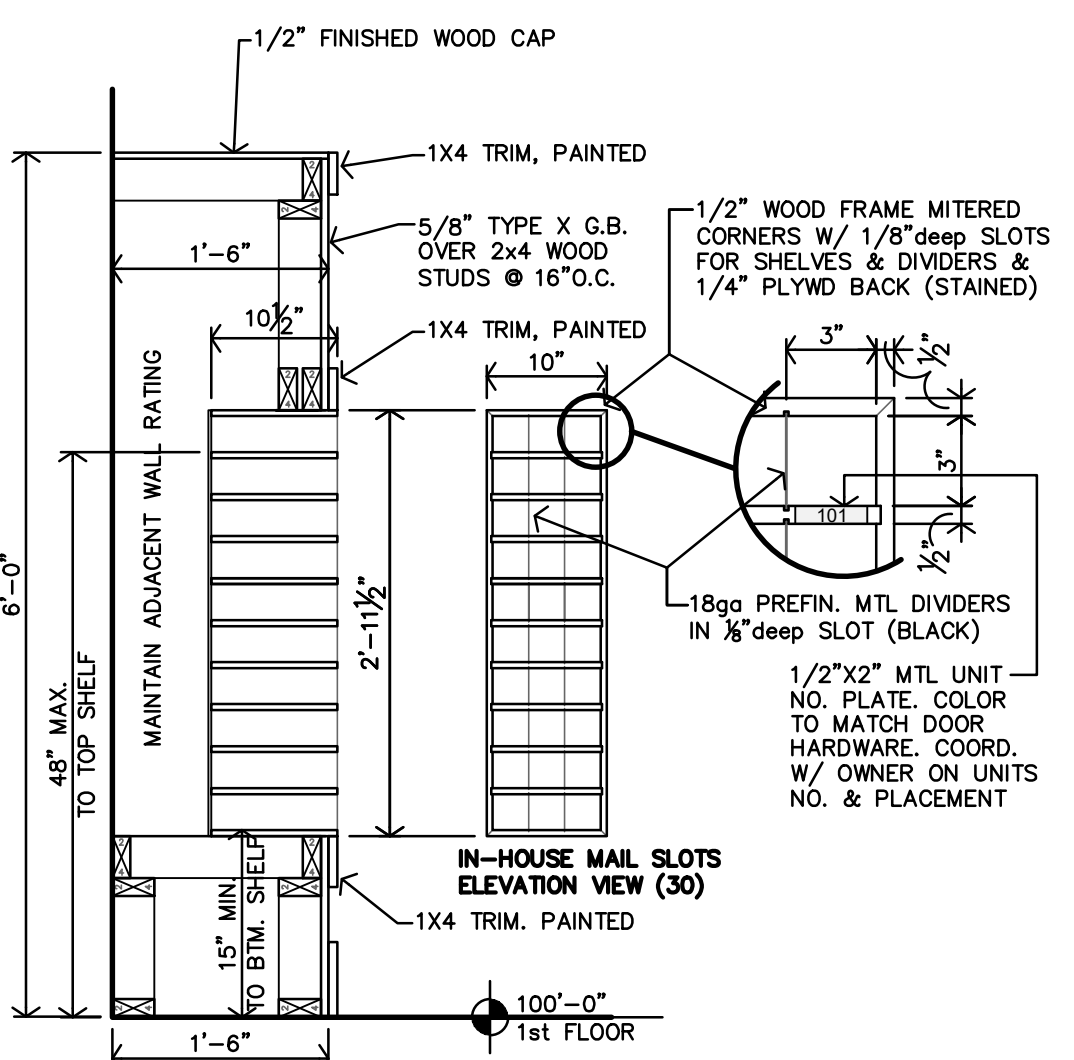
Q TYP. HEIGHTS @ H.C. TOILET SIDE WALL
 1/4"=1'-0" FOR HC HEIGHTS & LOCATION ONLY



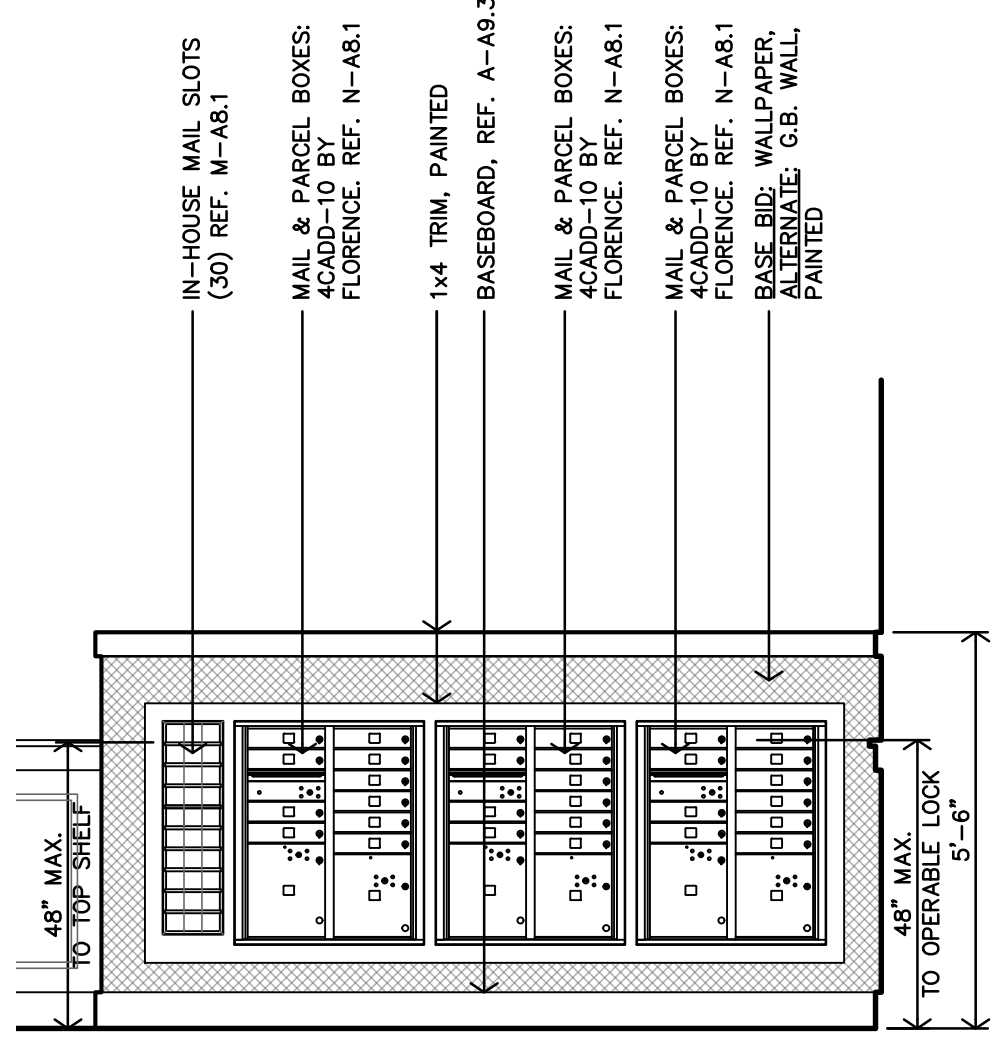
P TYP. HEIGHTS @ H.C. TOILET BACK WALL
 1/4"=1'-0" FOR HC HEIGHTS & LOCATION ONLY



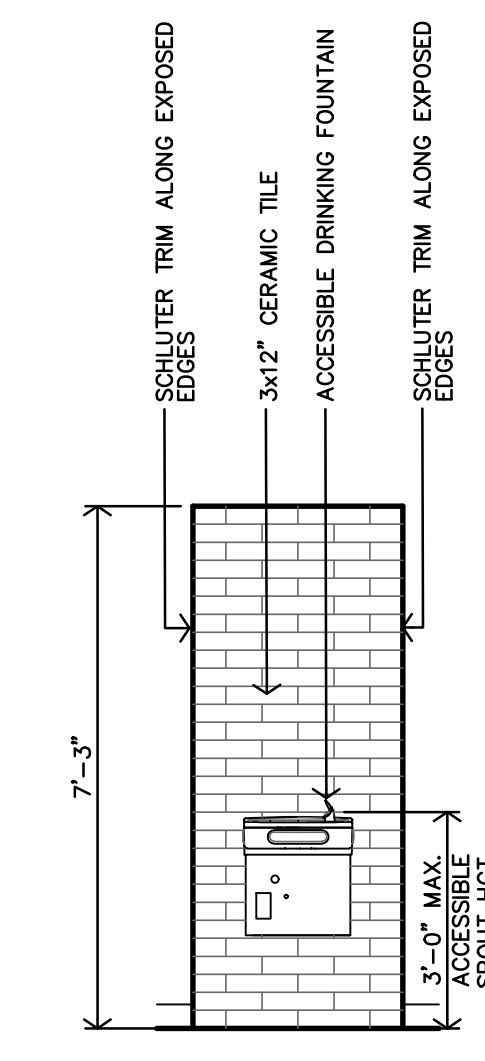
N WALL SECTION @ MAIL CENTER
 3/4"=1'-0"



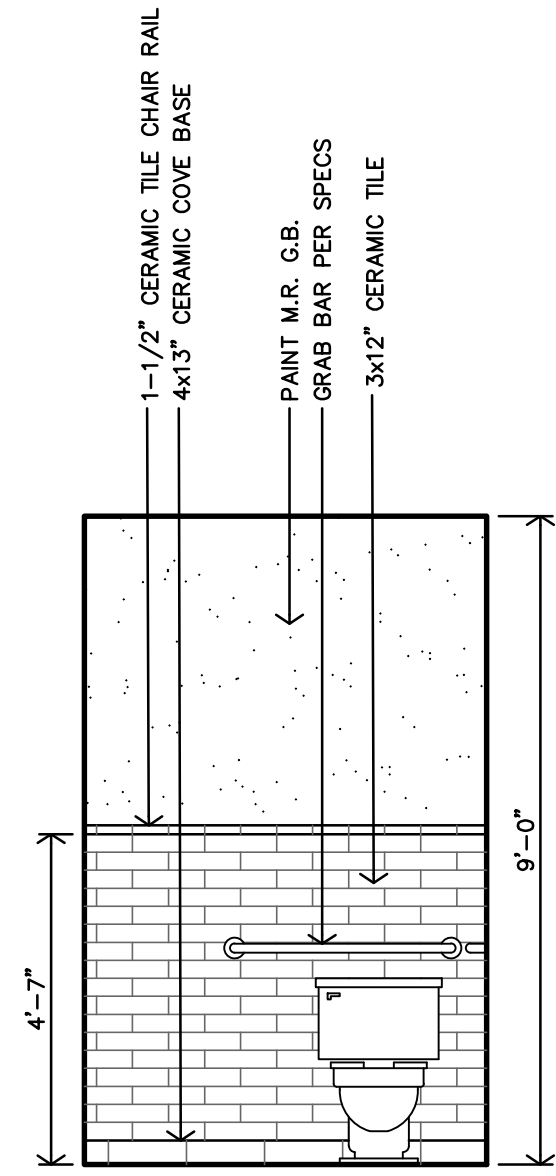
M IN-HOUSE MAIL SLOTS SECTION
 3/4"=1'-0"



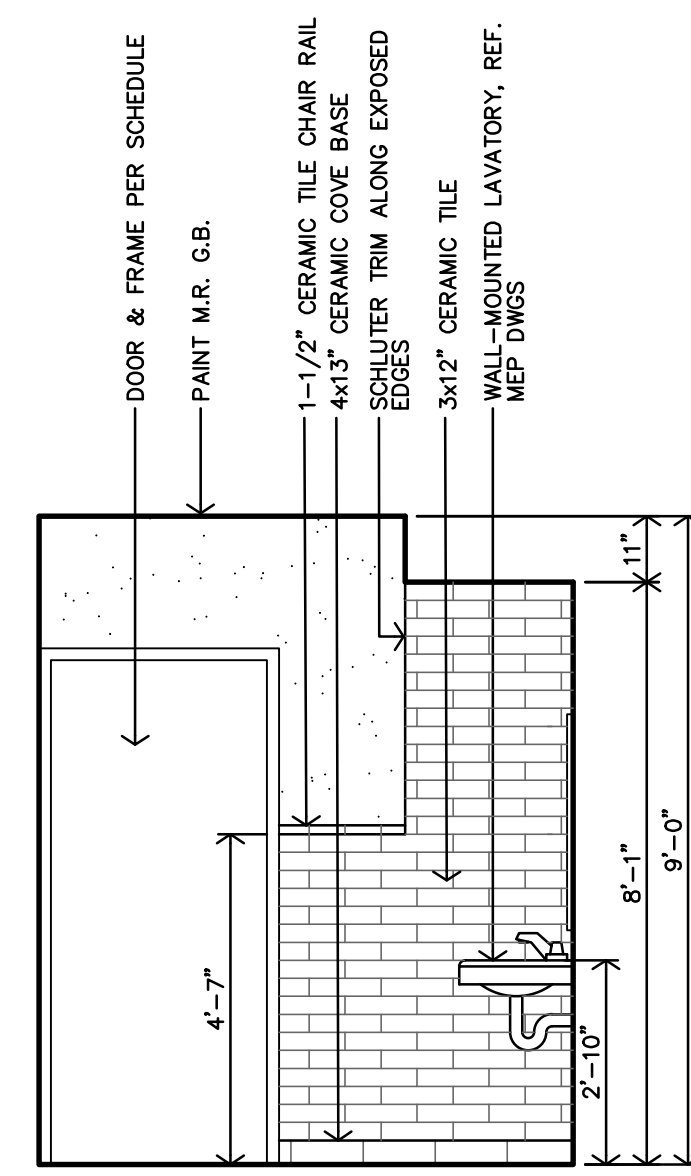
L MAIL CENTER INTERIOR ELEVATION
 3/8"=1'-0"



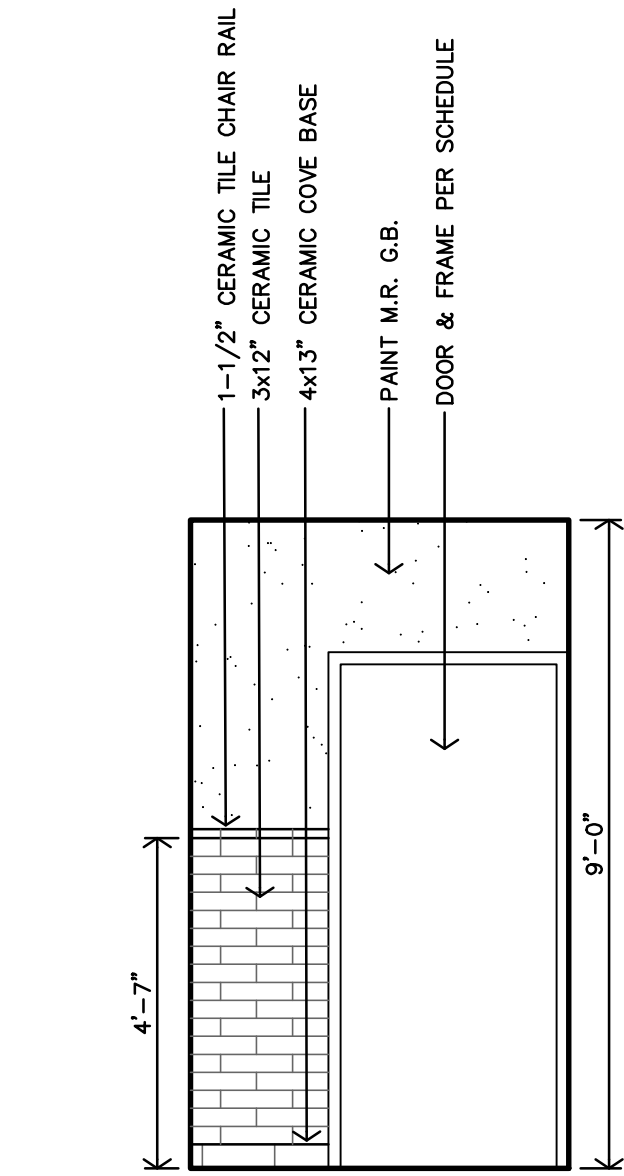
K HALL #107 INTERIOR ELEVATION
 3/8"=1'-0"



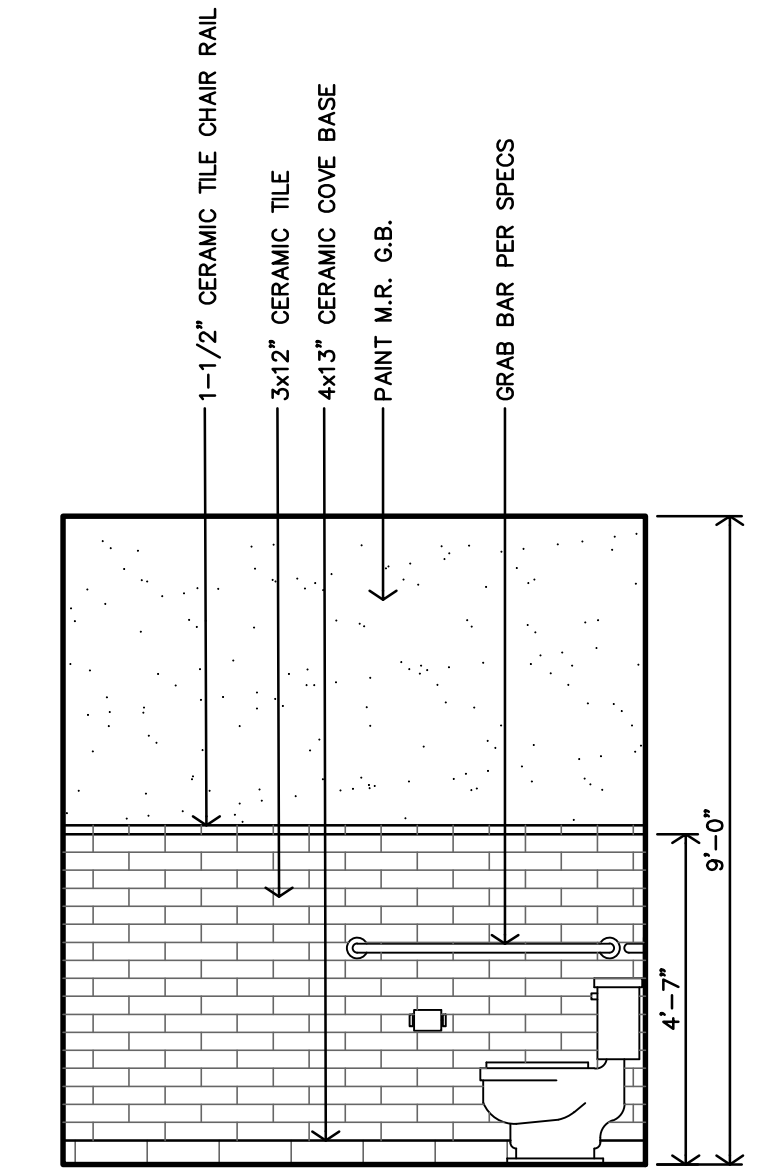
J MEN #104 INTERIOR ELEVATION
 3/8"=1'-0"



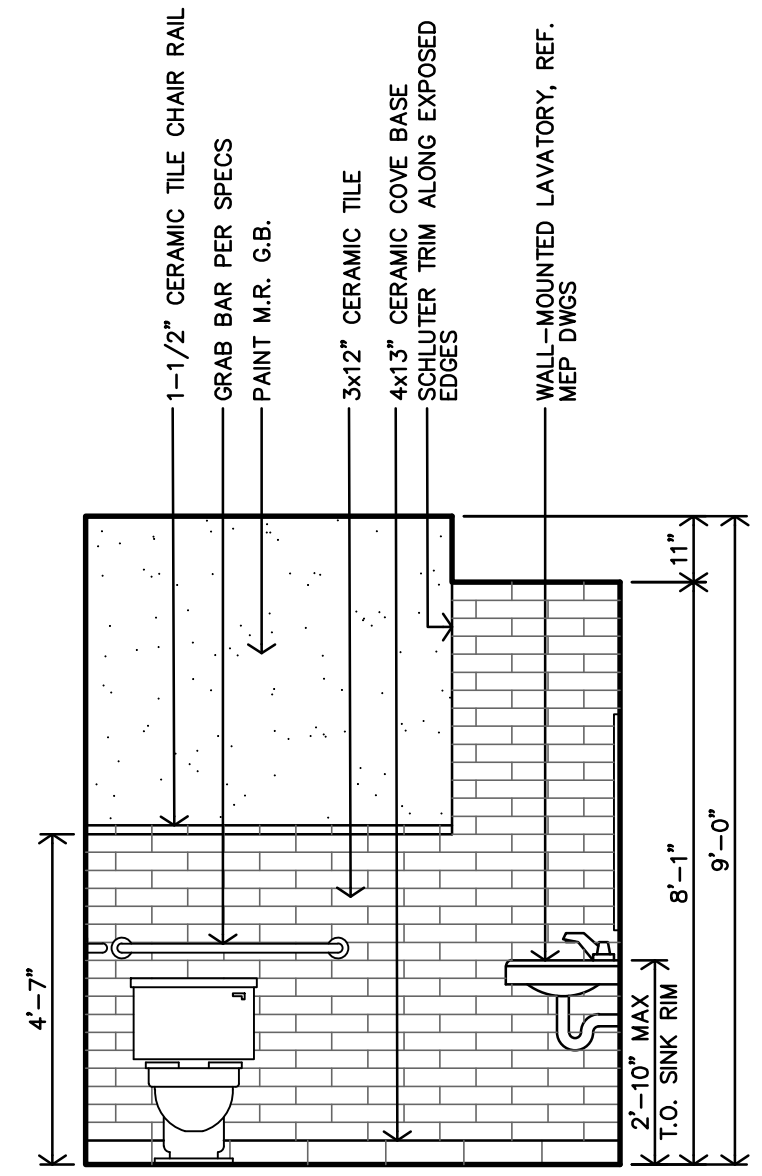
H MEN #104 INTERIOR ELEVATION
 3/8"=1'-0"



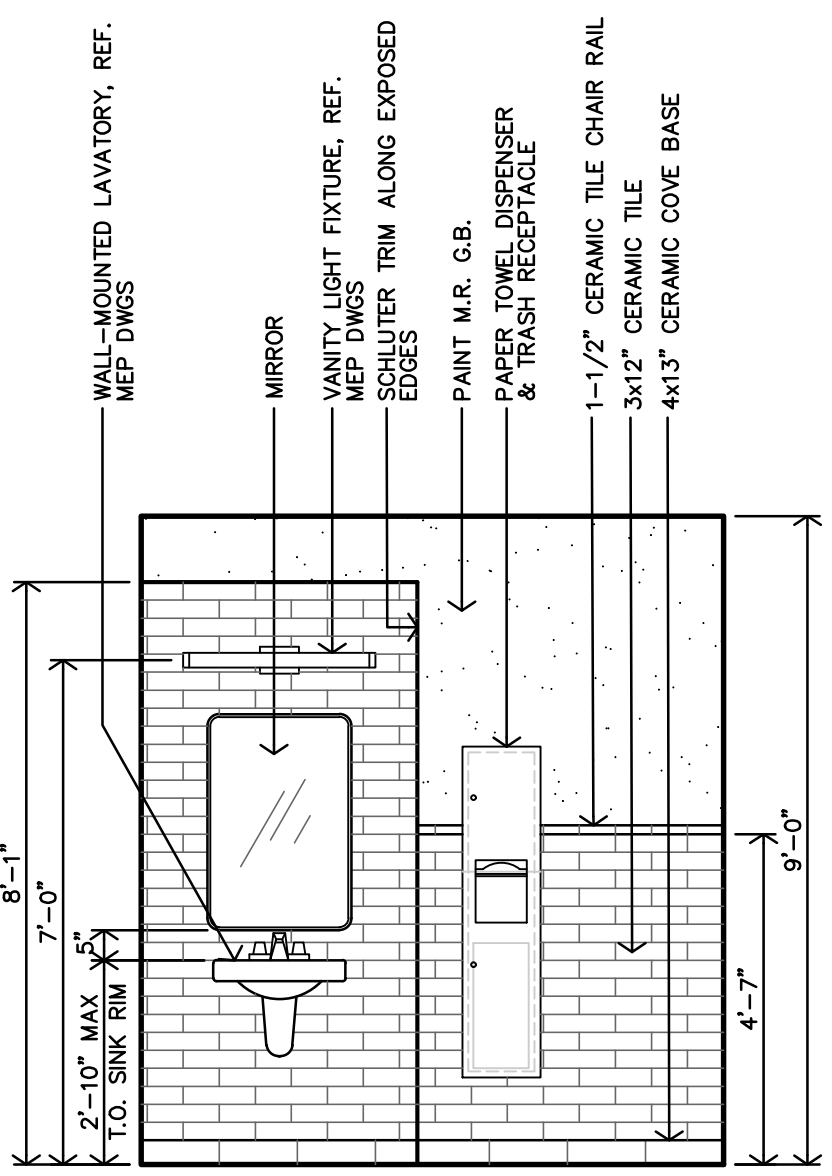
G WOMEN#106 INTERIOR ELEVATION
 3/8"=1'-0"



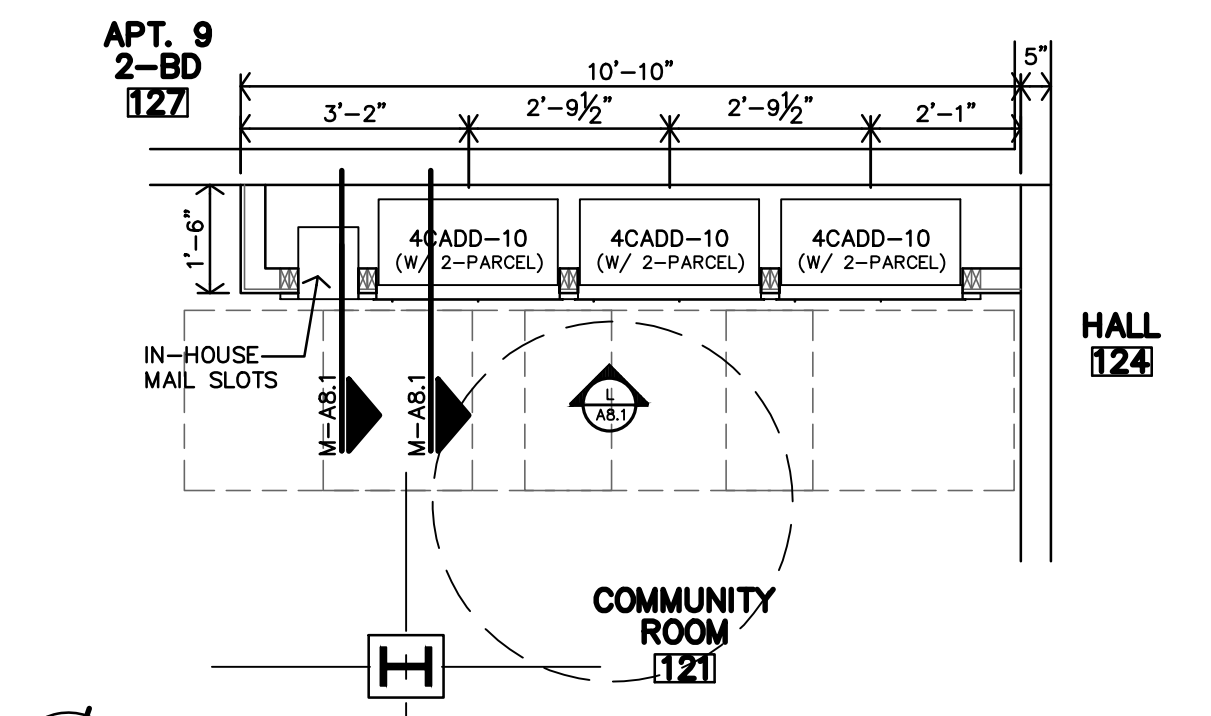
F WOMEN #106 INTERIOR ELEVATION
 3/8"=1'-0" MEN #104 MIRD



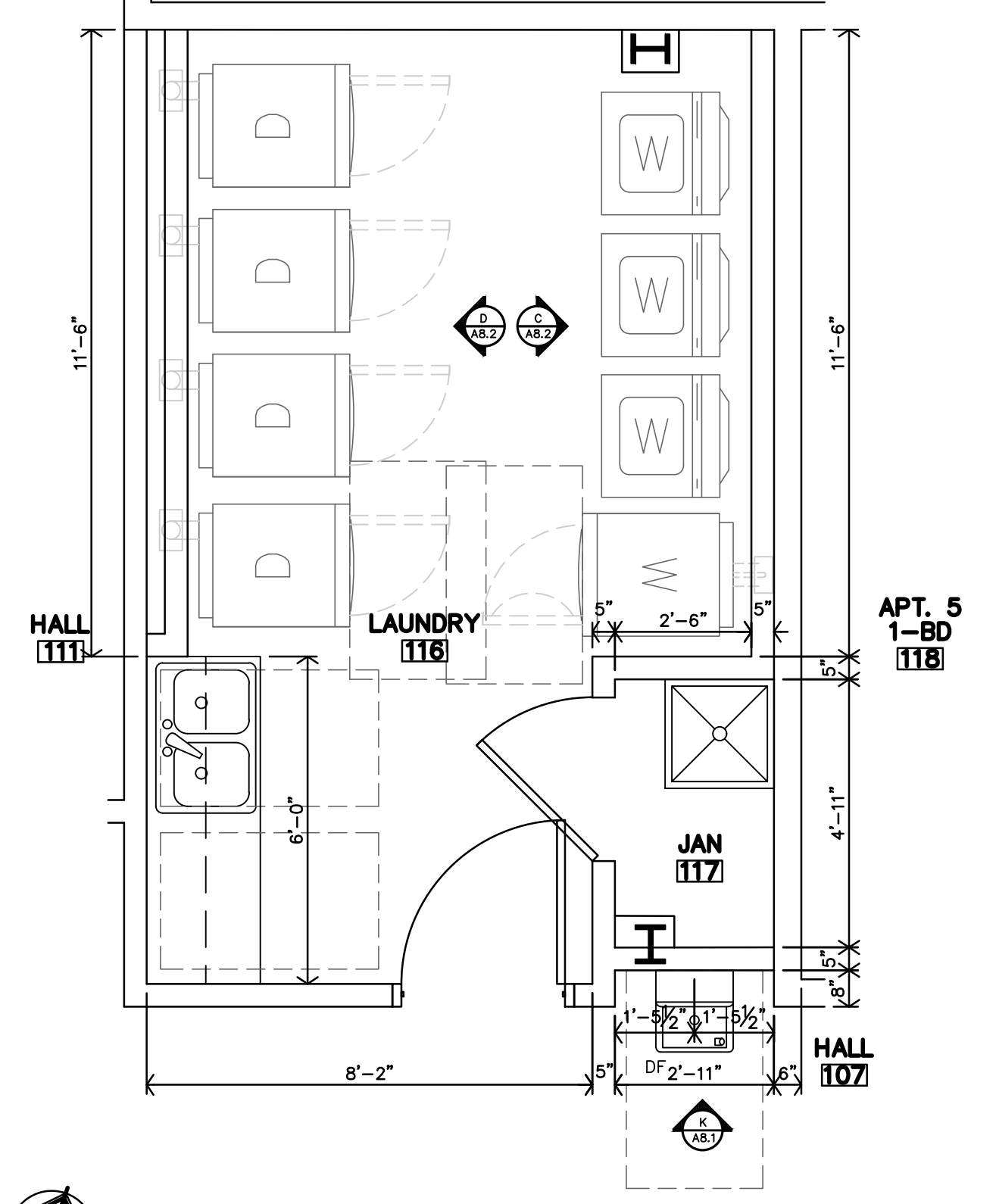
E WOMEN #106 INTERIOR ELEVATION
 3/8"=1'-0"



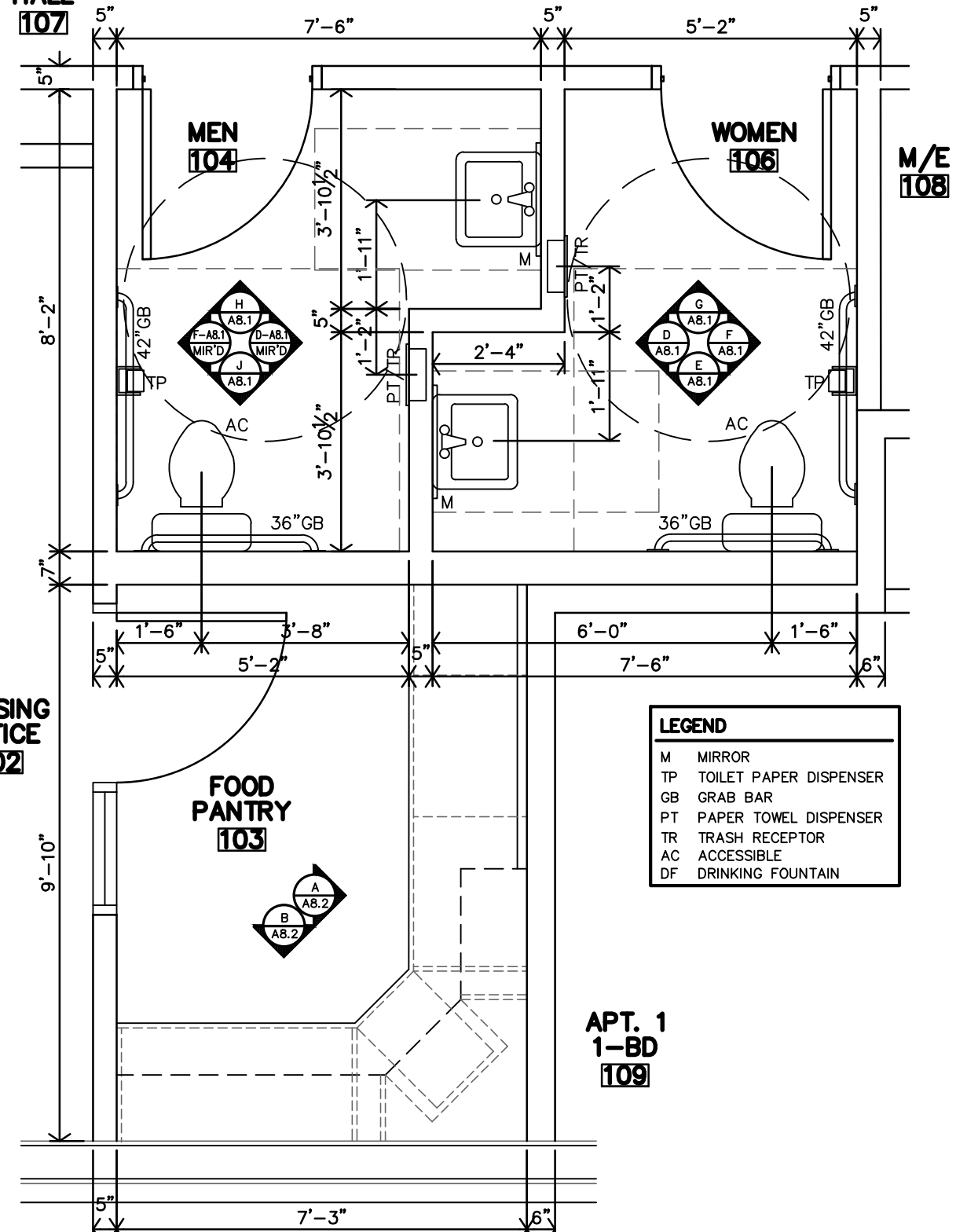
D WOMEN #106 INTERIOR ELEVATION
 3/8"=1'-0" MEN #104 MIRD



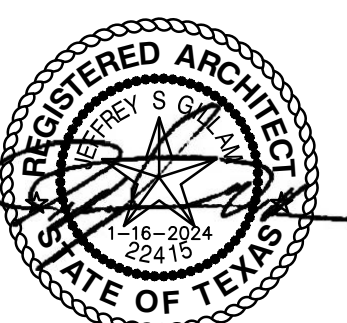
C ENLARGED MAIL CENTER PLAN
 3/8"=1'-0"



B ENLARGED PUBLIC LAUNDRY PLAN
 3/8"=1'-0"



A ENLARGED PUBLIC RESTROOM PLAN
 3/8"=1'-0"



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 JOB: 22-3281
 SHEET NO.:

A8.1

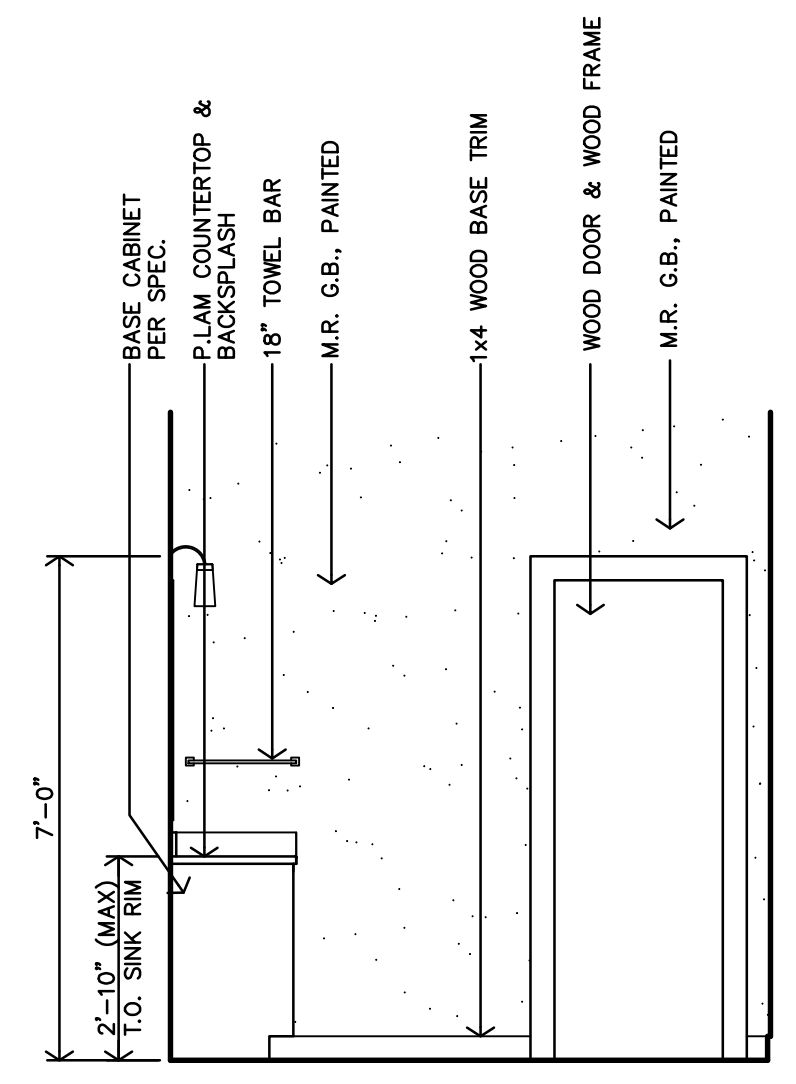
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 jgr@jgarchitects.com

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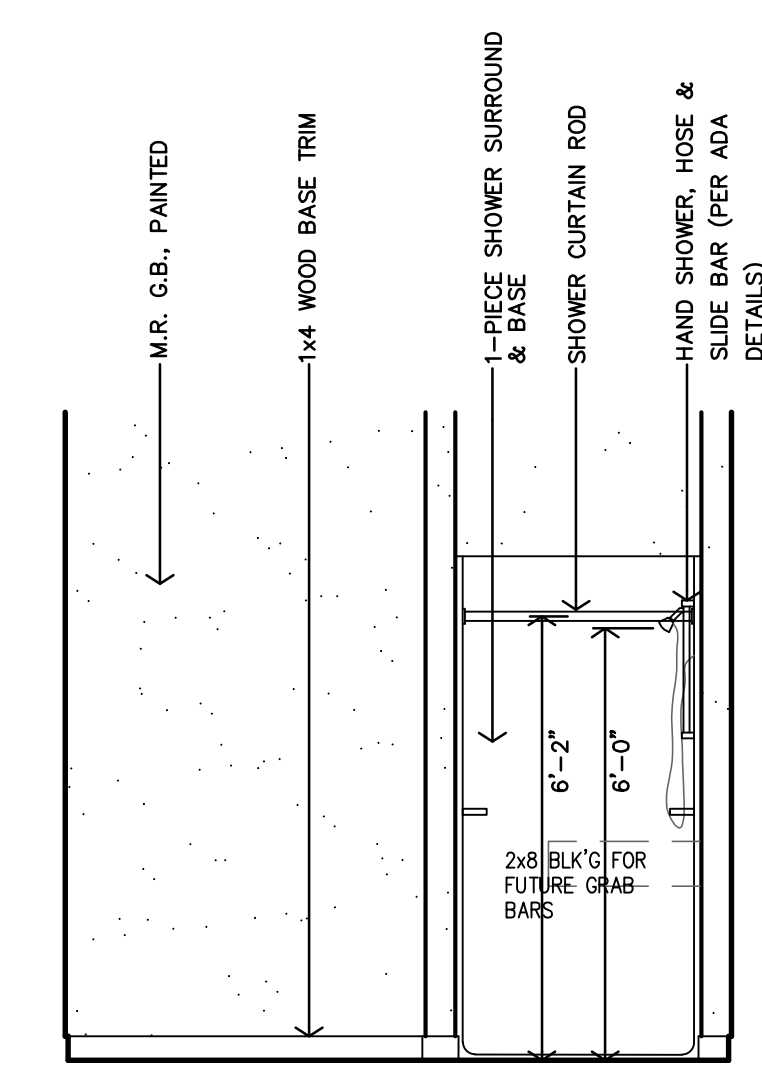
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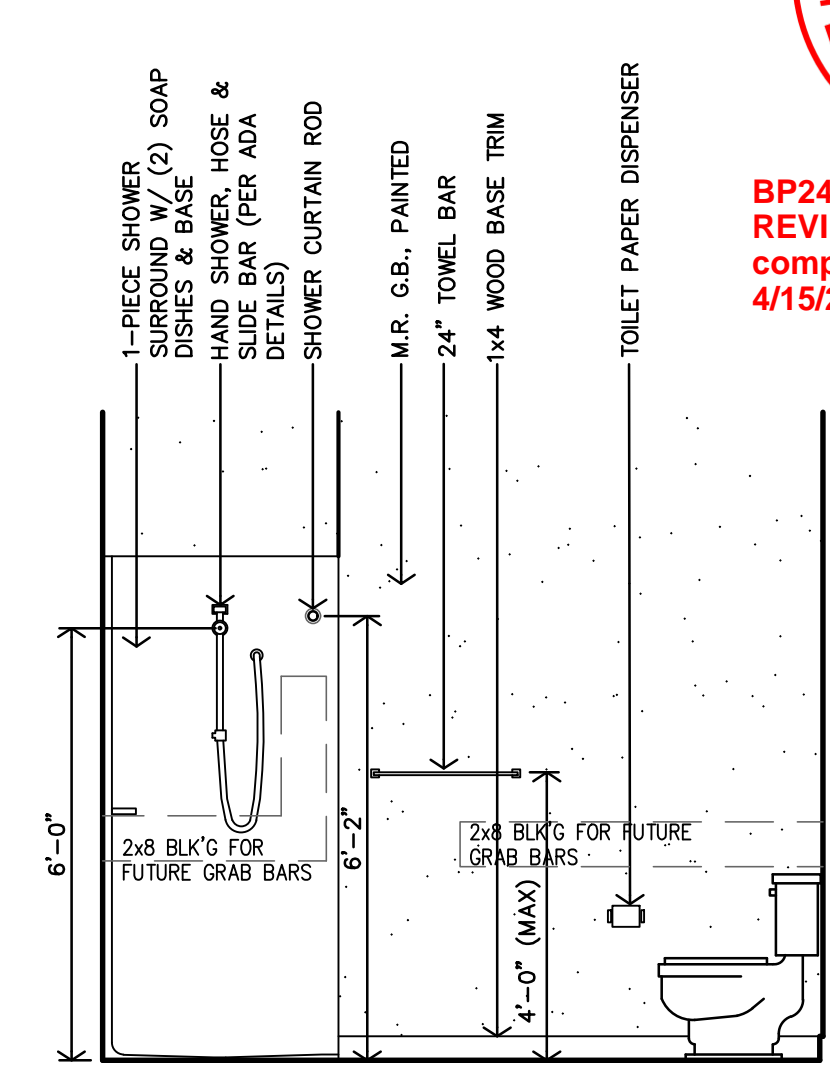
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 compliance
 4/15/2024



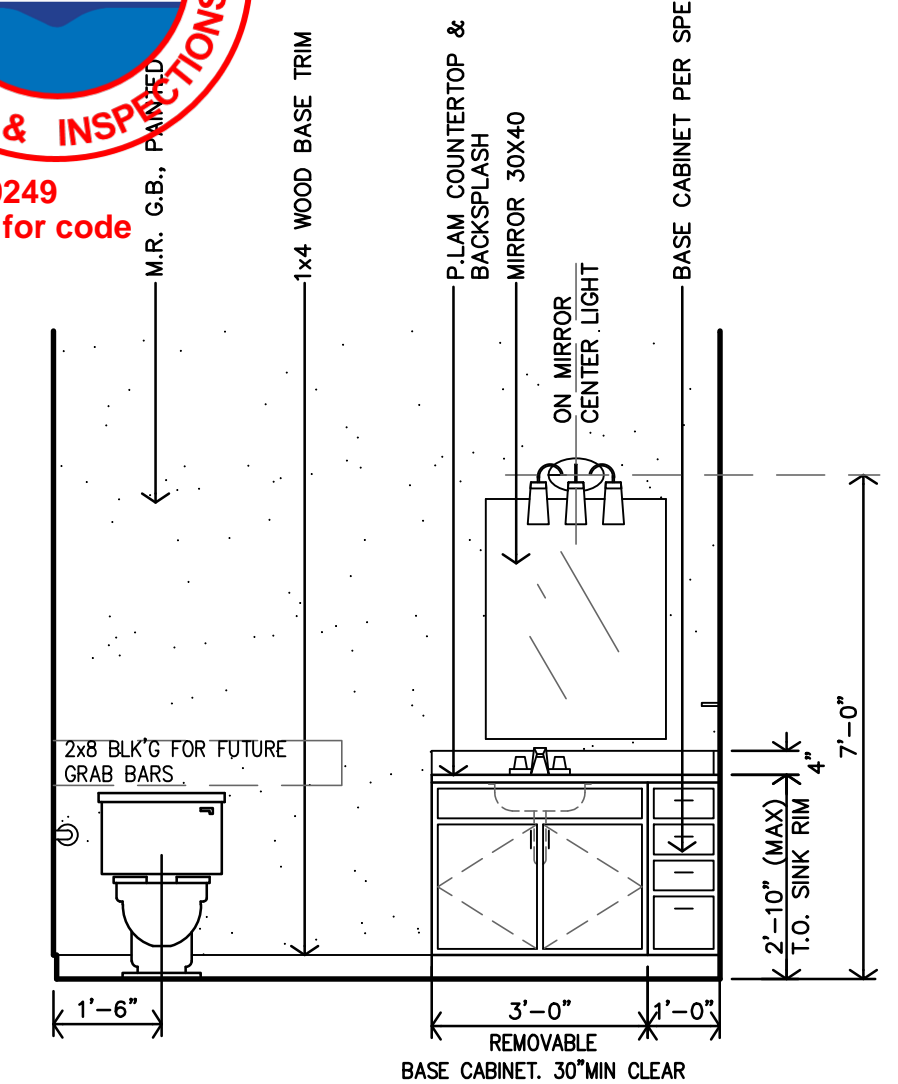
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 ADAPTABLE BATH - TYPE #3
 INTERIOR ELEVATION
 3/8"=1'-0"



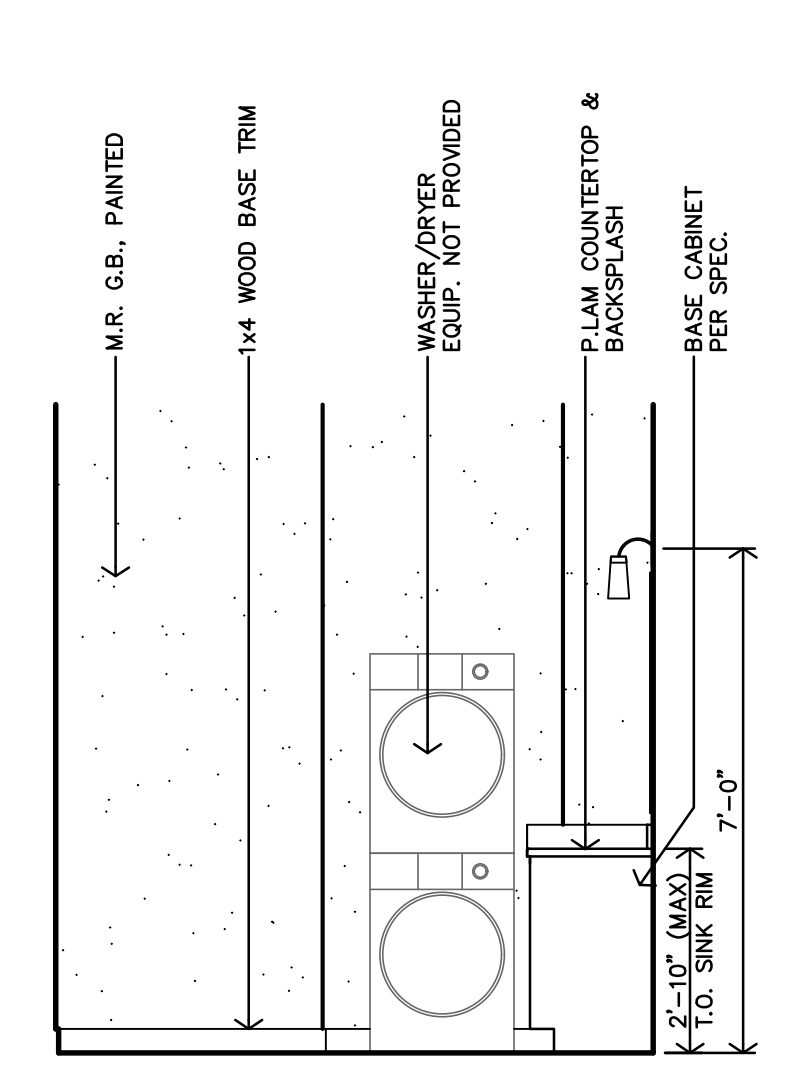
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 INTERIOR ELEVATION
 3/8"=1'-0"



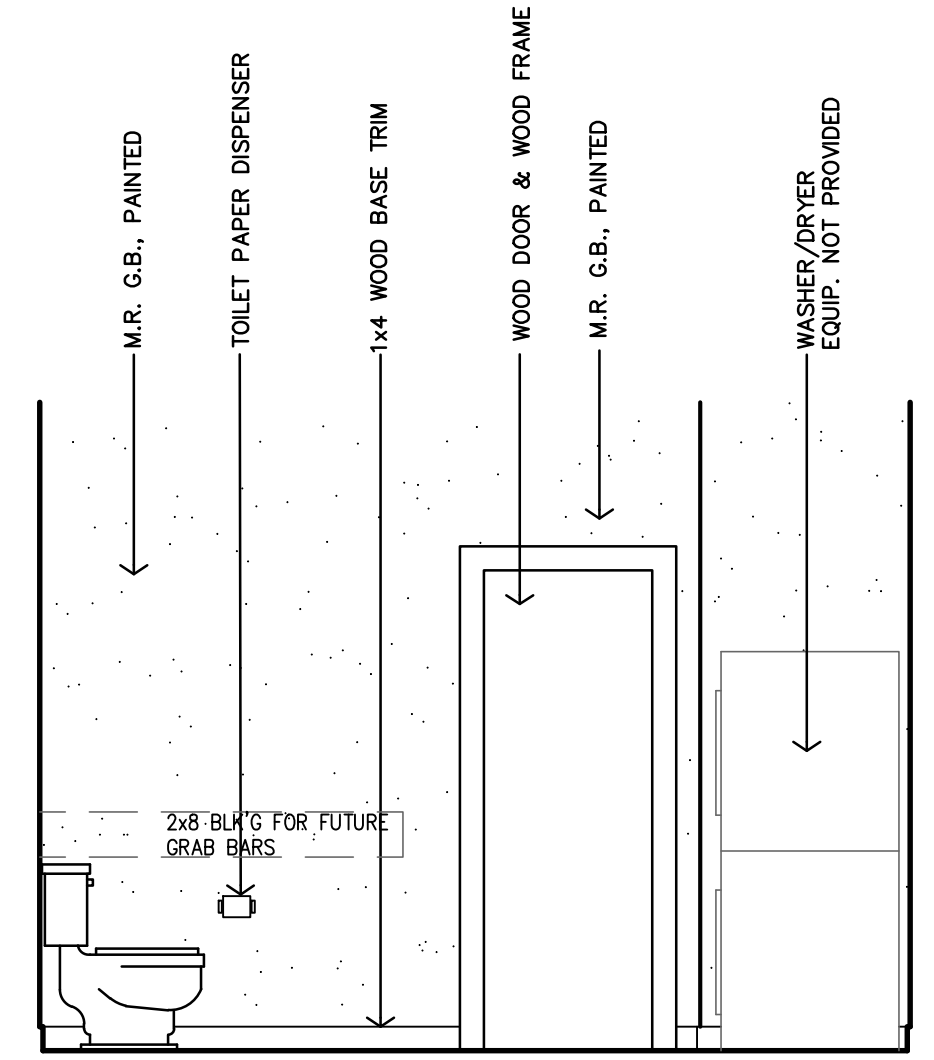
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 ADAPTABLE BATH - TYPE #3
 INTERIOR ELEVATION
 3/8"=1'-0"



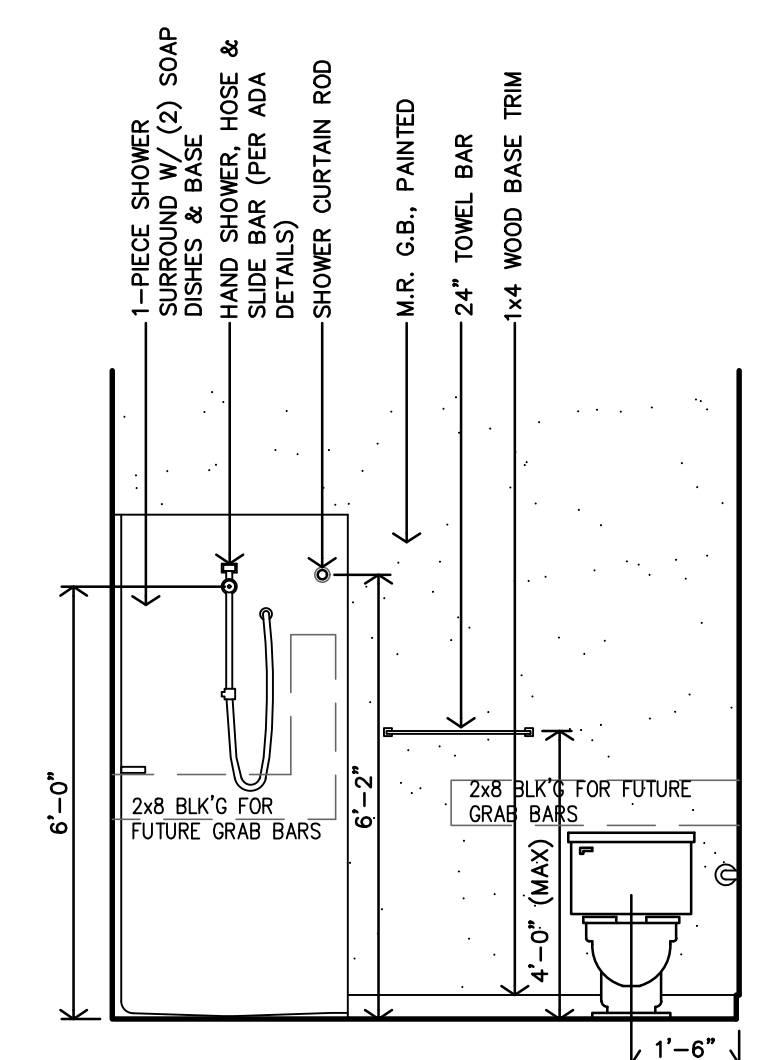
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 ADAPTABLE BATH - TYPE #3
 INTERIOR ELEVATION
 3/8"=1'-0"



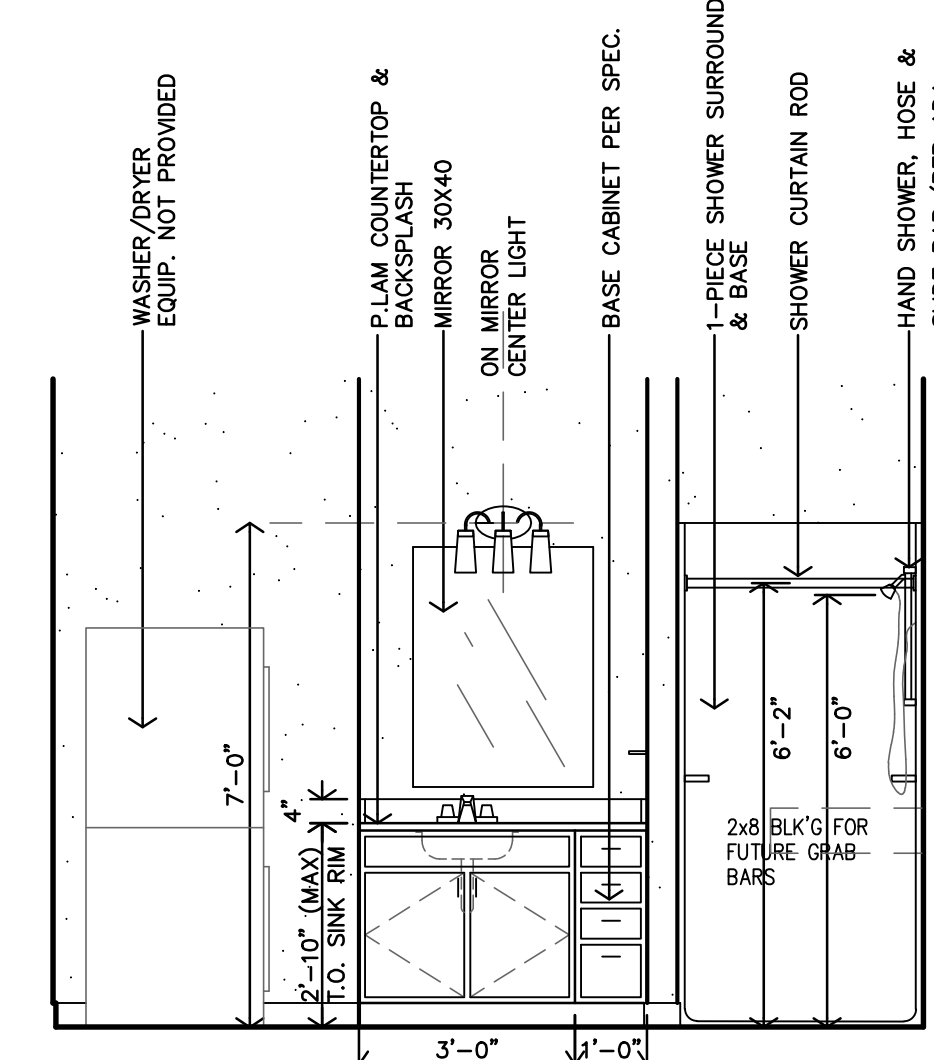
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 ADAPTABLE BATH - TYPE #2
 INTERIOR ELEVATION
 3/8"=1'-0"



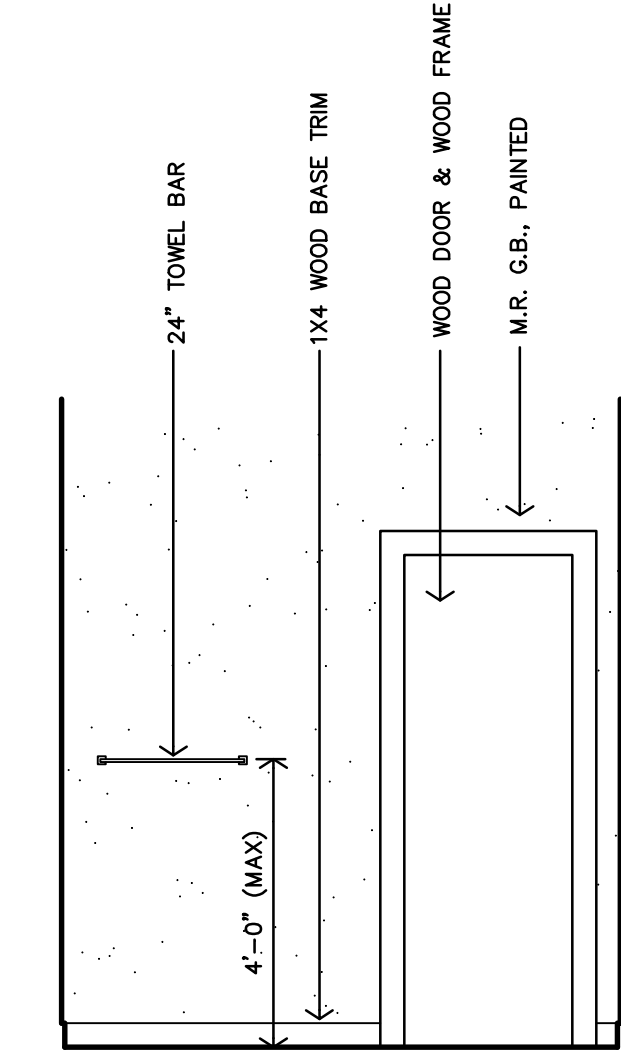
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 ADAPTABLE BATH - TYPE #2
 INTERIOR ELEVATION
 3/8"=1'-0"



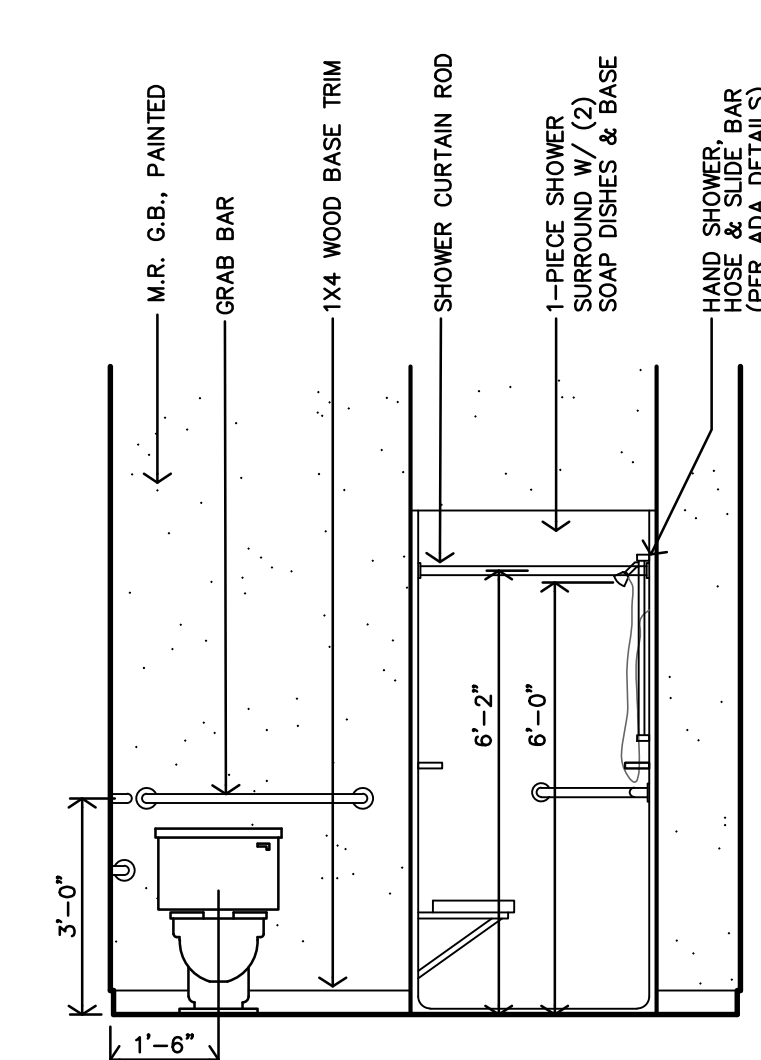
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 ADAPTABLE BATH - TYPE #2
 INTERIOR ELEVATION
 3/8"=1'-0"



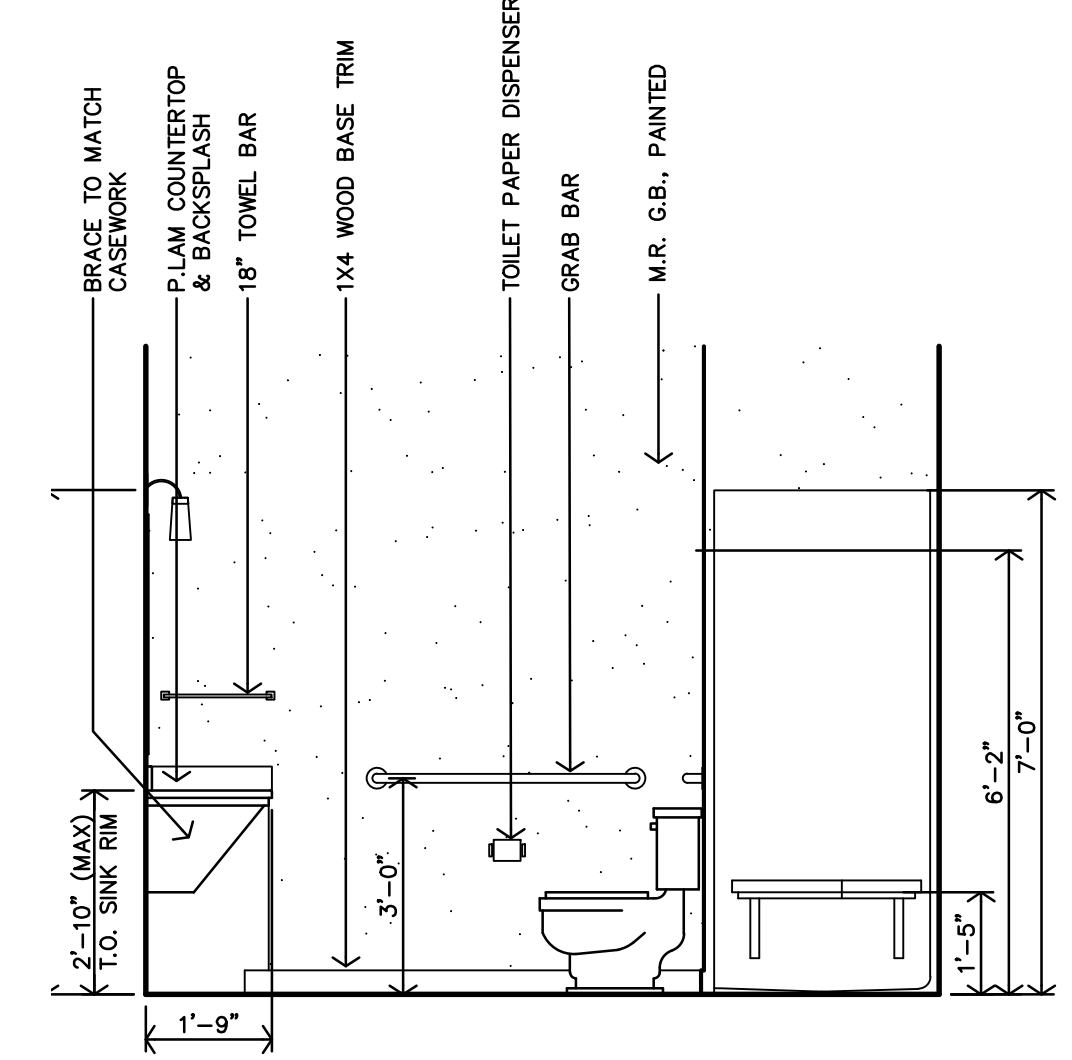
J
 ADAPTABLE BATH - TYPE #2
 INTERIOR ELEVATION
 3/8"=1'-0"



H
 ACCESSIBLE BATH - TYPE #1
 INTERIOR ELEVATION
 3/8"=1'-0"



G
 ACCESSIBLE BATH - TYPE #1
 INTERIOR ELEVATION
 3/8"=1'-0"

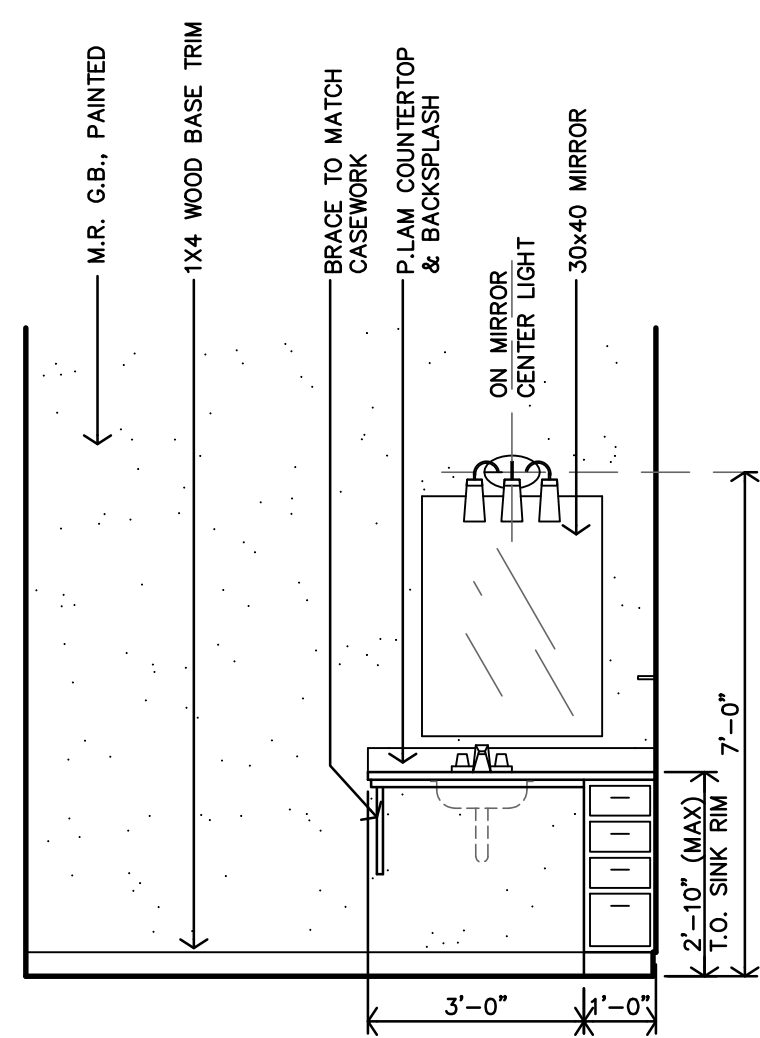


F
 ACCESSIBLE BATH - TYPE #1
 INTERIOR ELEVATION
 3/8"=1'-0"

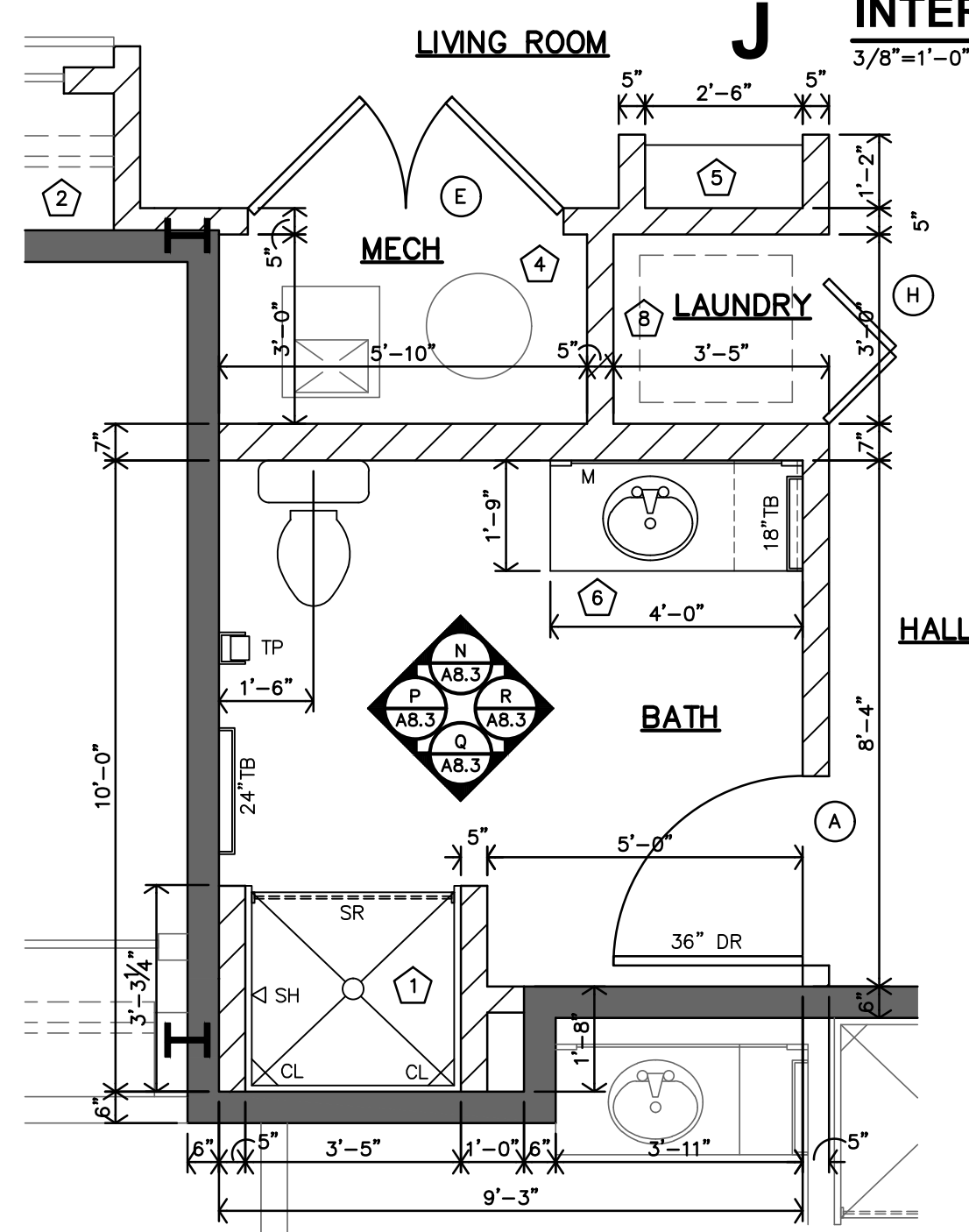
ENLARGED BATH GENERAL NOTES:

- REF. UNIT GENERAL NOTES FOR ADDITIONAL DIRECTION ON SHEET A2.0.
- ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
- CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, TOWEL BARS & FUTURE GRABS BARS, FUTURE SHOWER SEAT AS REQ'D. (REF. SHEET AAB.3).
- SHOWER SEAT TO BE INSTALLED PER TENANT REQUEST IN ADAPTABLE UNITS.
- REMOVABLE CABINETS TO PROVIDE 30" CLEAR MIN. FLOORING & WALL FINISH TO BE CONTINUOUS UNDER CABINET.
- ALL APARTMENT LAUNDRY AREAS: HOOK-UPS TO BE PROVIDED. WASHING MACHINES AND DRYER EQUIPMENT ARE NOT PART OF THIS CONTRACT.

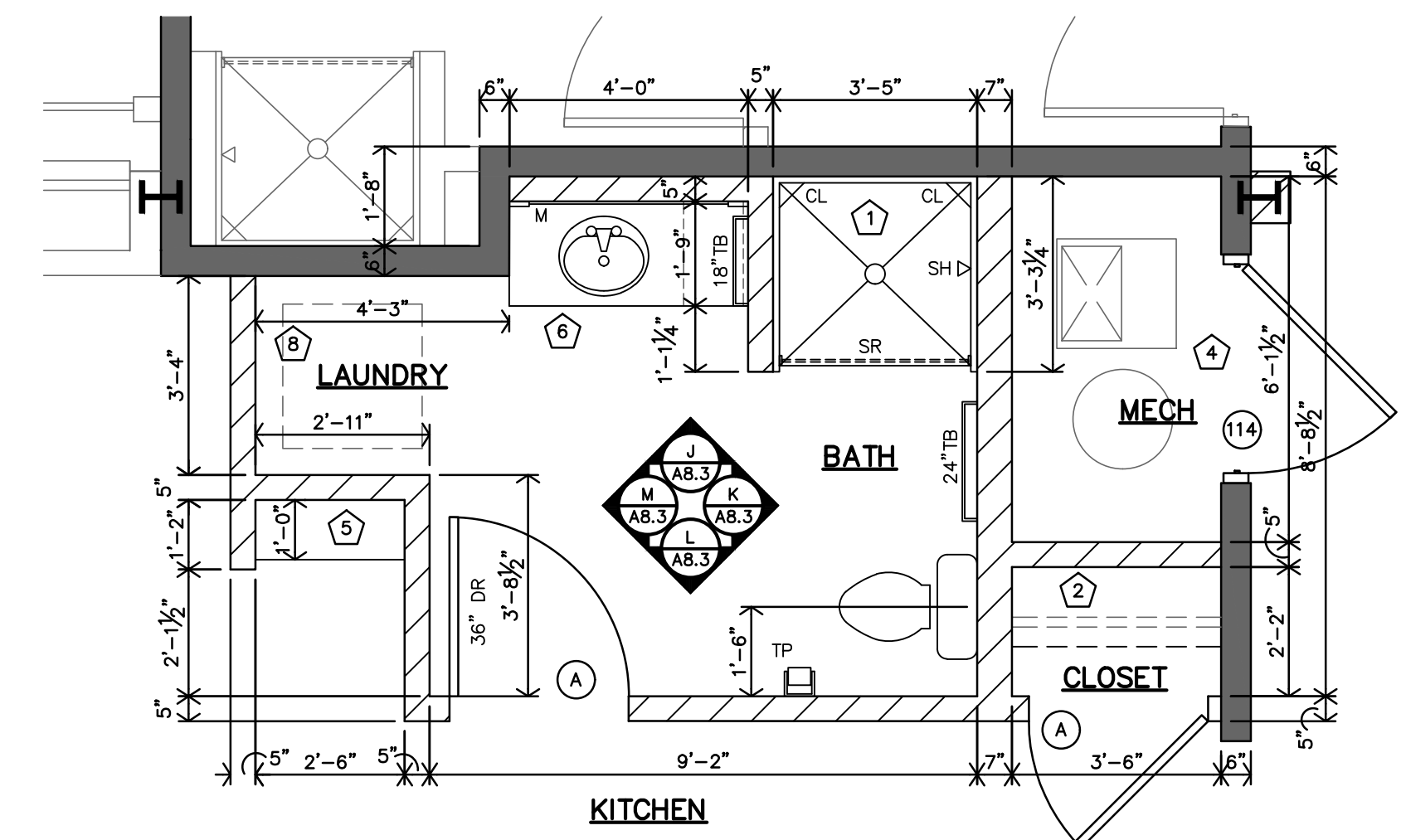
BATH KEYNOTES:	LEGEND
1) VERIFY ROUGH OPENING SIZE w/ SHOWER UNIT REF. MECH DWGS	M MIRROR
2) PLASTIC COATED WIRE SHELF & ROD @ 69" O.C. AFF	TP TOILET PAPER DISPENSER
3) PLASTIC COATED WIRE SHELF & ROD @ 47" O.C. AFF (ACCESSIBLE UNITS)	TB TOWEL BAR
4) WATER HEATER & FURNACE - REF. MECH. DRAWINGS	SR SHOWER ROD
5) 12" DEEP PLASTIC COATED WIRE SHELVES WITH ADJUSTABLE BRACKETS (5 TOTAL)	CL CORNER LEDGE
6) REMOVABLE CABINET	SH SHOWER HEAD
7) ELECTRICAL, WATER, ETC. HOOK-UPS FOR SIDE-BY-SIDE WASHER AND DRYER (ACCESSIBLE). (WASHER & DRYER EQUIPMENT NOT PROVIDED)	SS SHOWER SEAT
8) ELECTRICAL, WATER, ETC. HOOK-UPS FOR STACKED WASHER AND DRYER. (WASHER & DRYER EQUIPMENT NOT PROVIDED)	GB GRAB BAR



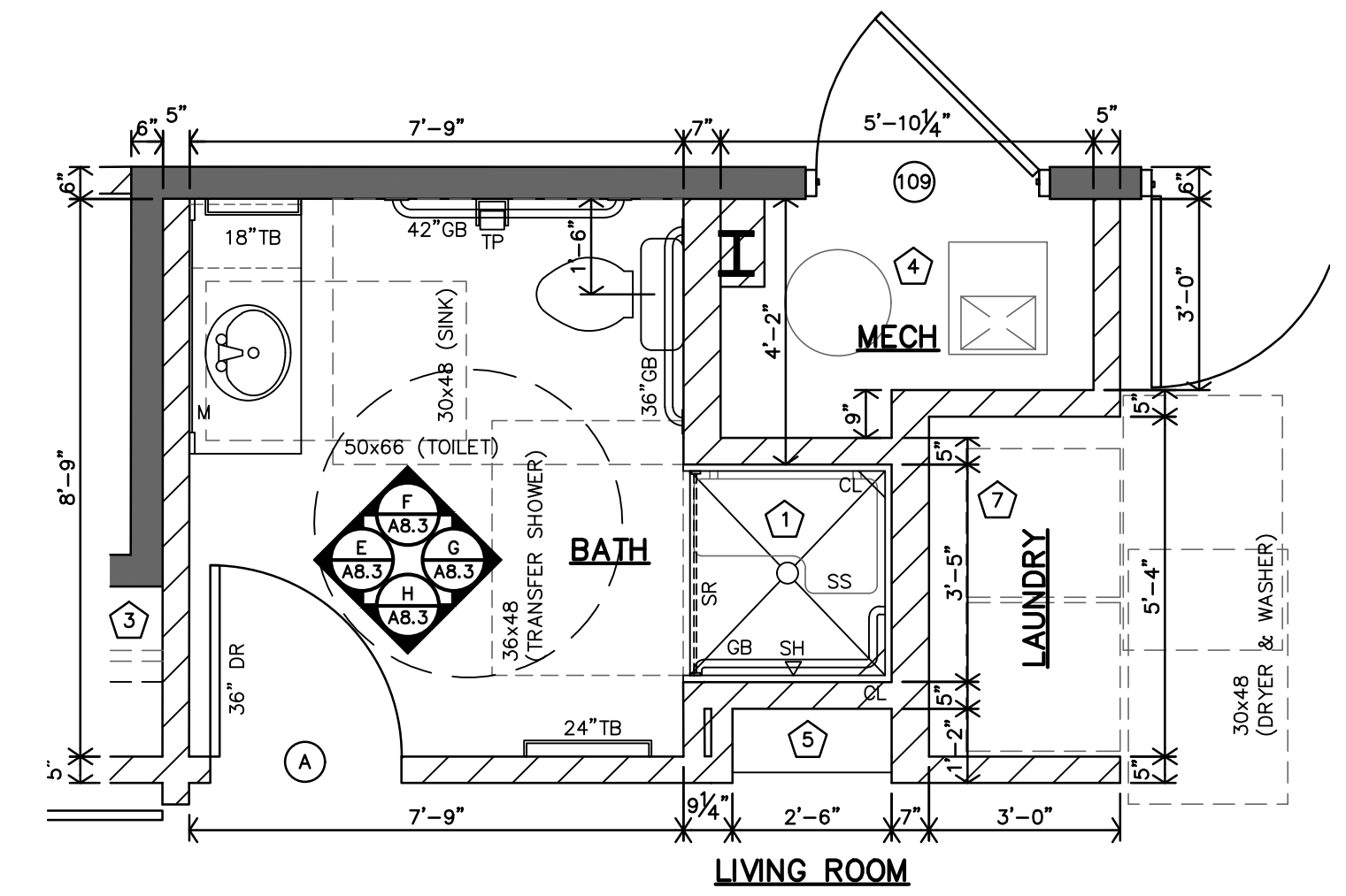
E
 ACCESSIBLE BATH - TYPE #1
 INTERIOR ELEVATION
 3/8"=1'-0"



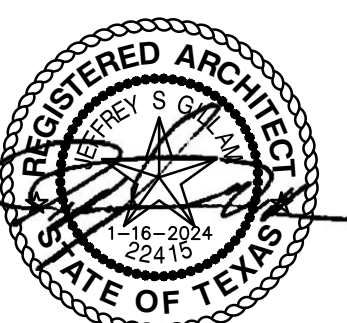
C
 TYPE 3 - ADAPTABLE ENLARGED BATH PLAN
 3/8"=1'-0"



B
 TYPE 2 - ADAPTABLE ENLARGED BATH PLAN
 3/8"=1'-0"



A
 TYPE 1 (ACCESSIBLE) ENLARGED BATH PLAN
 3/8"=1'-0"



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 JOB: 22-3281
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A8.3

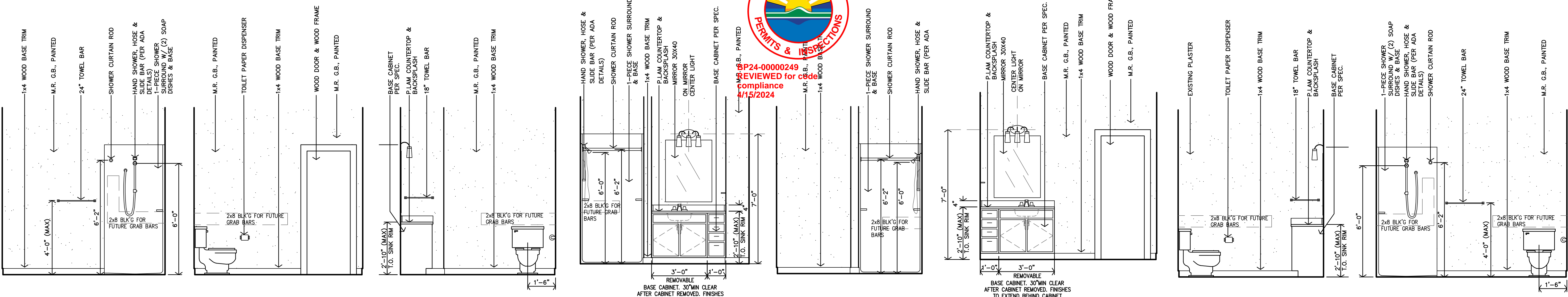
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 jgr@jgarchitects.com

ROOSEVELT LOFTS
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 SAN ANGELO, TEXAS

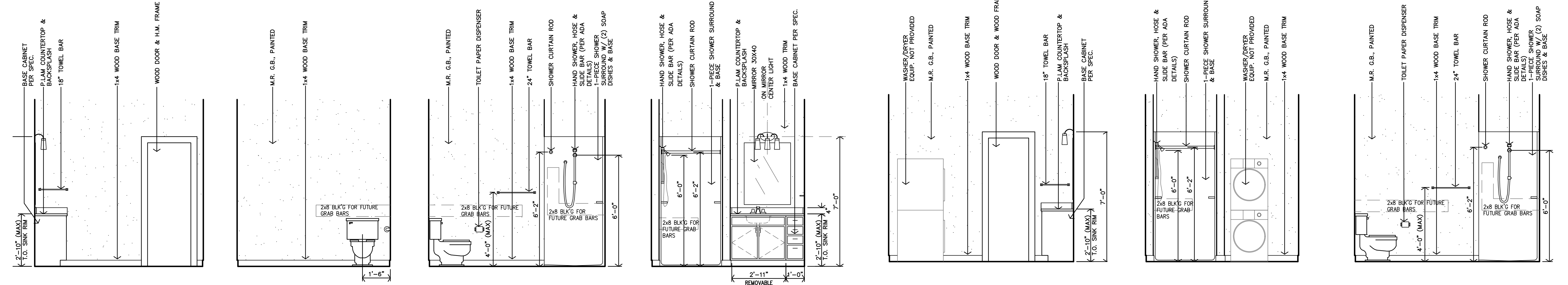
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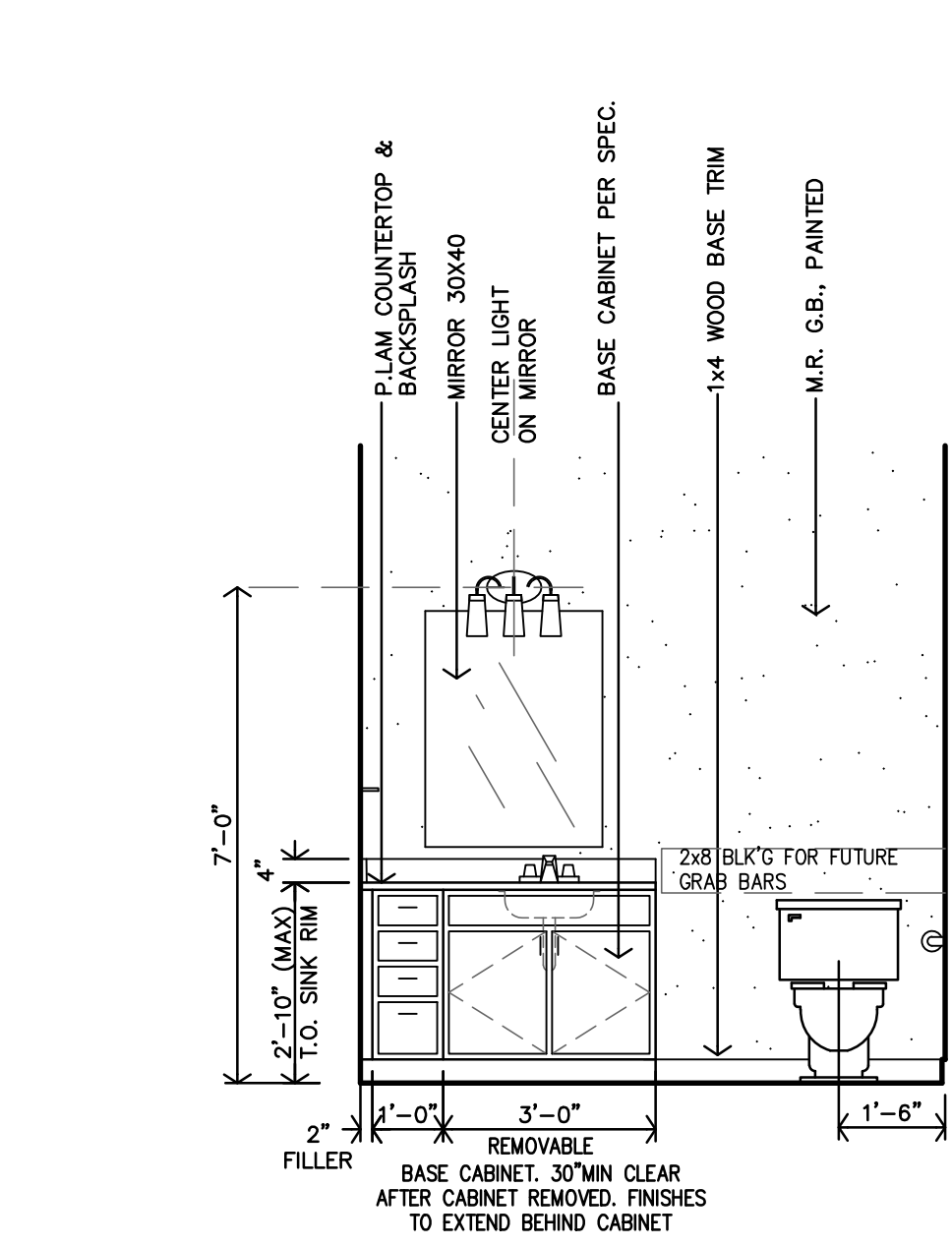
APR 18 2024
 P24-0000249
 REVIEWED FOR CODE COMPLIANCE
 4/15/2024



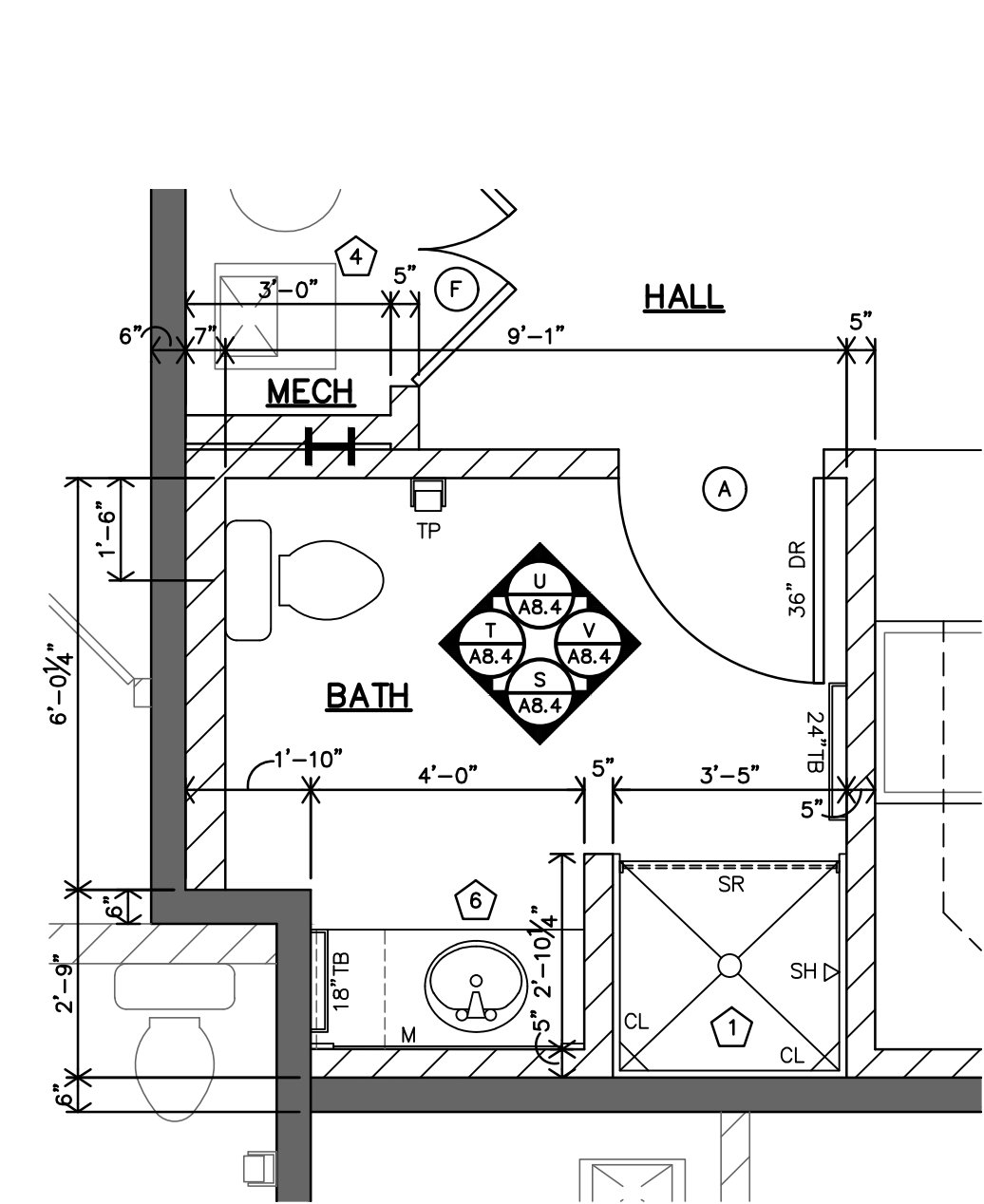
V ADAPTABLE BATH - TYPE #7 INTERIOR ELEVATION 3/8"=1'-0"
U ADAPTABLE BATH - TYPE #7 INTERIOR ELEVATION 3/8"=1'-0"
T ADAPTABLE BATH - TYPE #7 INTERIOR ELEVATION 3/8"=1'-0"
S ADAPTABLE BATH - TYPE #7 INTERIOR ELEVATION 3/8"=1'-0"
R ADAPTABLE BATH - TYPE #6 INTERIOR ELEVATION 3/8"=1'-0"
Q ADAPTABLE BATH - TYPE #6 INTERIOR ELEVATION 3/8"=1'-0"
P ADAPTABLE BATH - TYPE #6 INTERIOR ELEVATION 3/8"=1'-0"
N ADAPTABLE BATH - TYPE #6 INTERIOR ELEVATION 3/8"=1'-0"



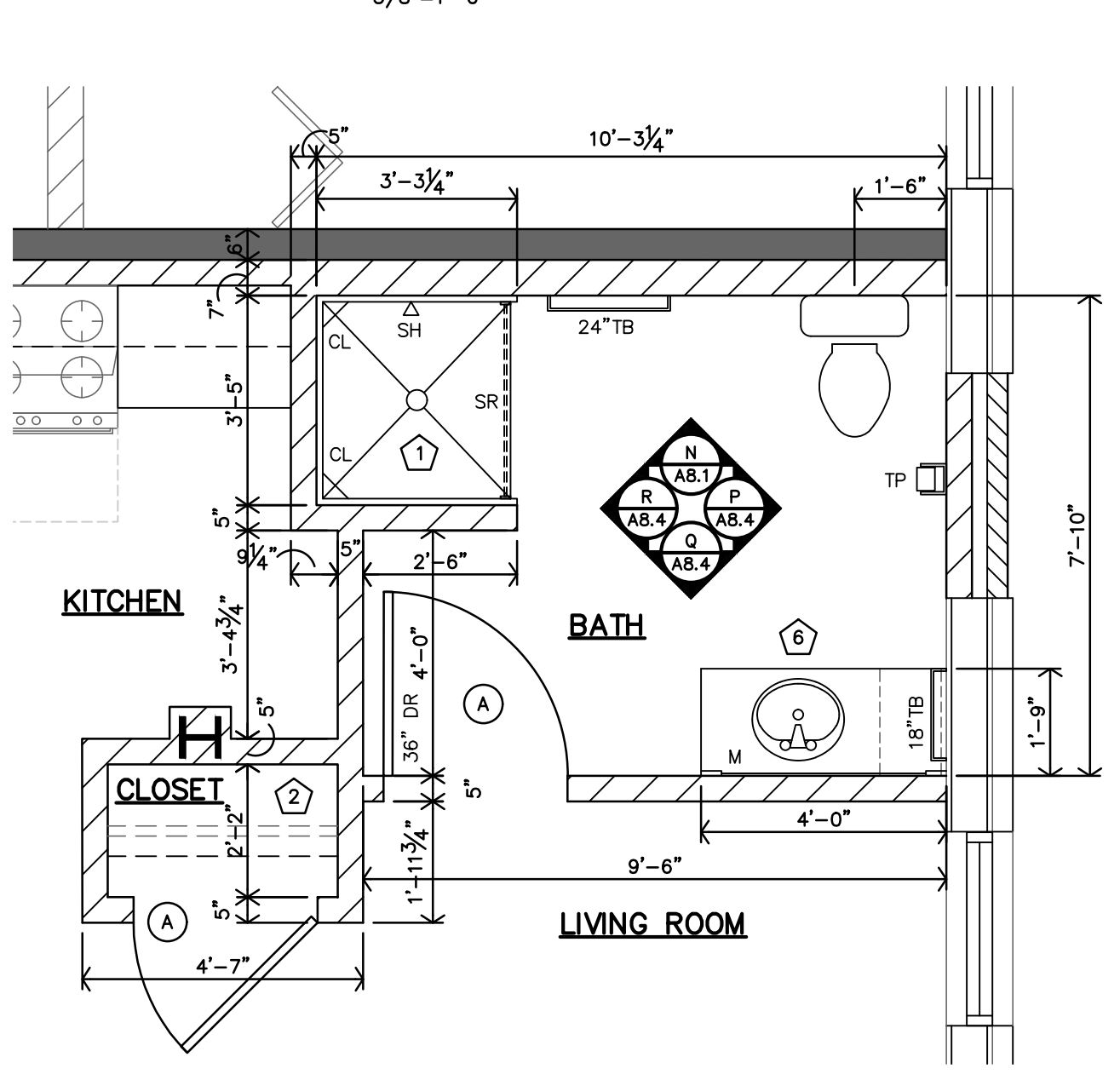
M ADAPTABLE BATH - TYPE #5 INTERIOR ELEVATION 3/8"=1'-0"
L ADAPTABLE BATH - TYPE #5 INTERIOR ELEVATION 3/8"=1'-0"
K ADAPTABLE BATH - TYPE #5 INTERIOR ELEVATION 3/8"=1'-0"
J ADAPTABLE BATH - TYPE #5 INTERIOR ELEVATION 3/8"=1'-0"
H ADAPTABLE BATH - TYPE #4 INTERIOR ELEVATION 3/8"=1'-0"
G ADAPTABLE BATH - TYPE #4 INTERIOR ELEVATION 3/8"=1'-0"
F ADAPTABLE BATH - TYPE #4 INTERIOR ELEVATION 3/8"=1'-0"



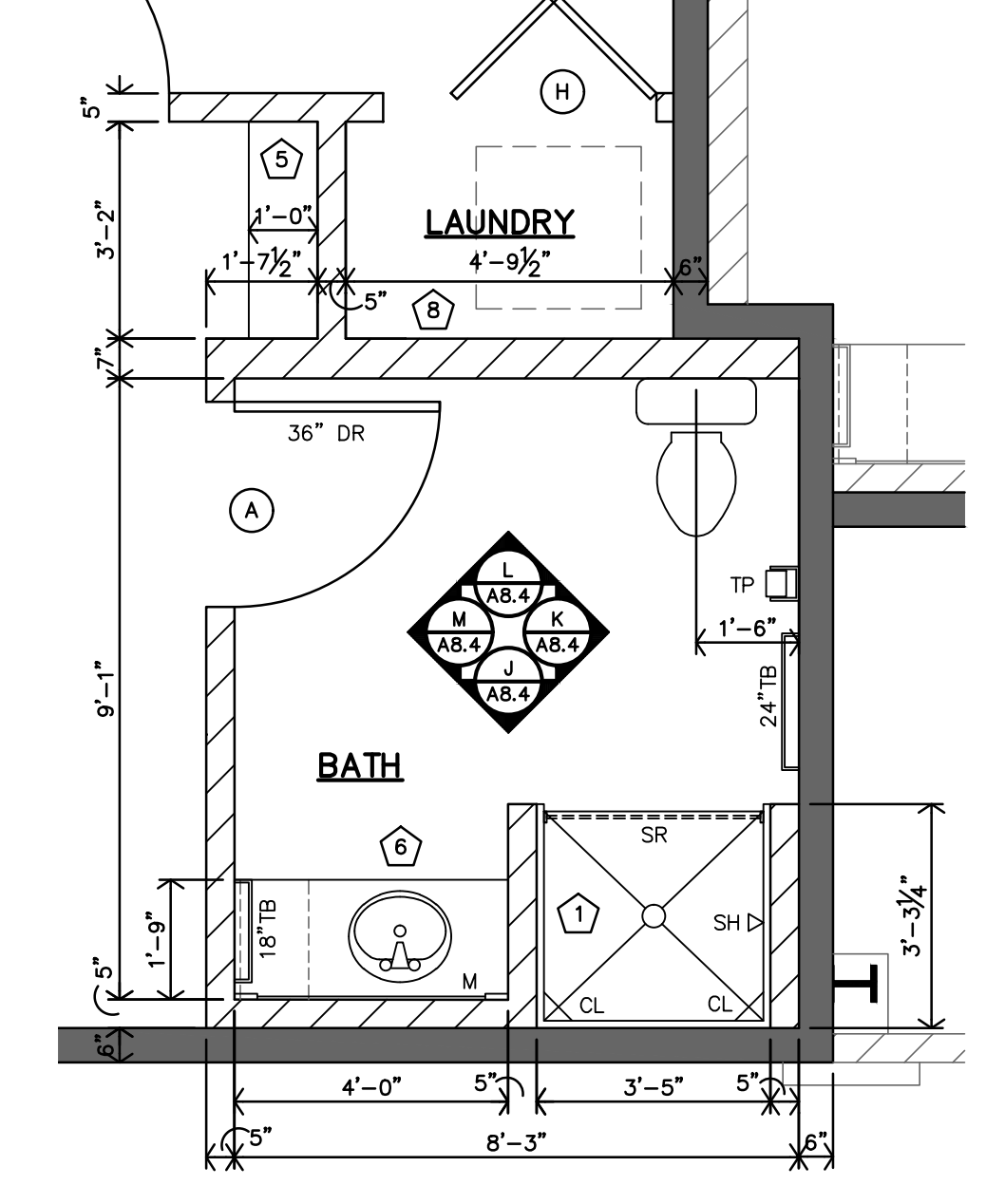
E ADAPTABLE BATH - TYPE #4 INTERIOR ELEVATION 3/8"=1'-0"



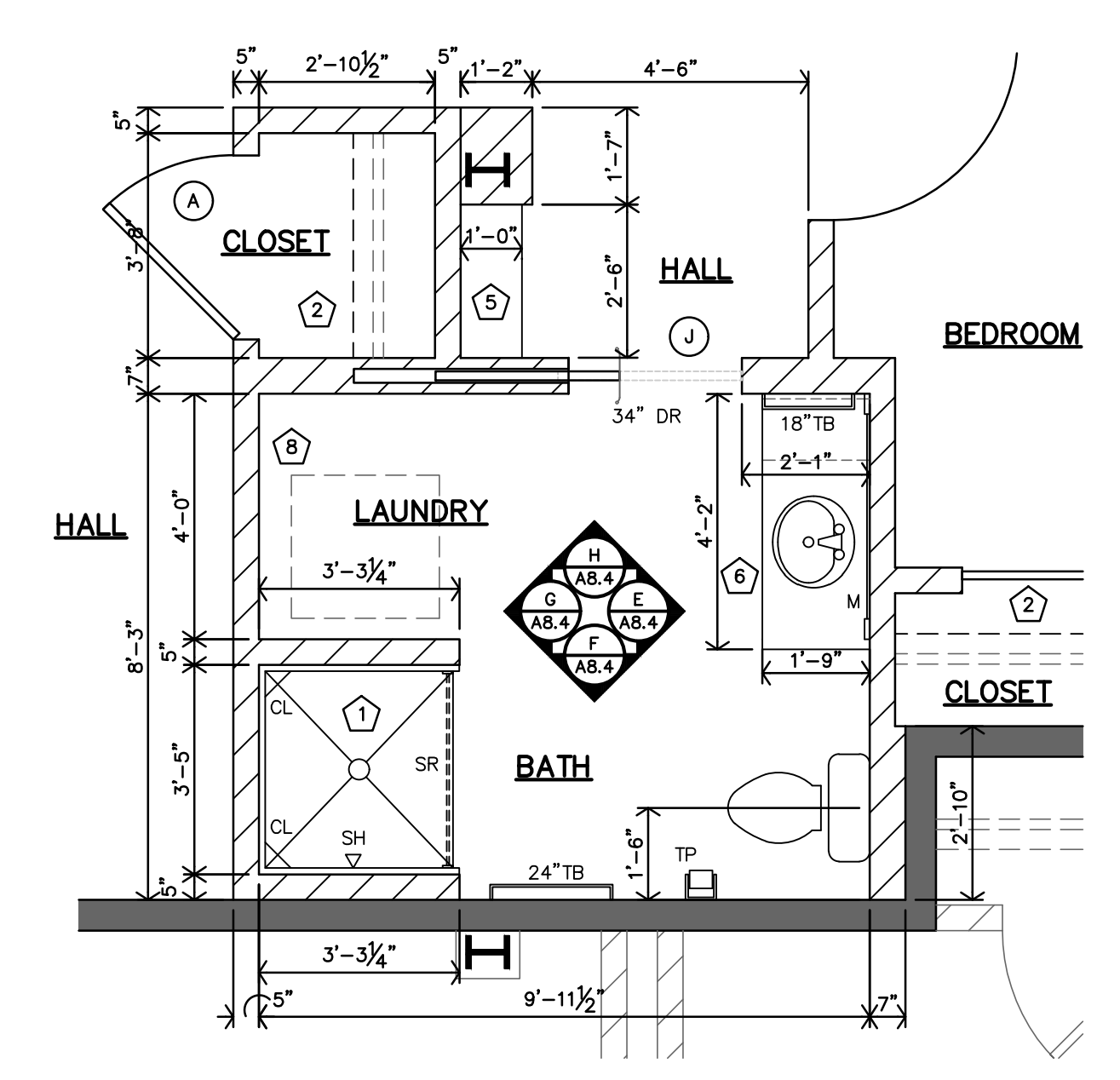
D TYPE 7 - ADAPTABLE ENLARGED BATH PLAN 3/8"=1'-0"
 APT 9 (#127)



C TYPE 6 - ADAPTABLE ENLARGED BATH PLAN 3/8"=1'-0"
 APT 7 (#123)



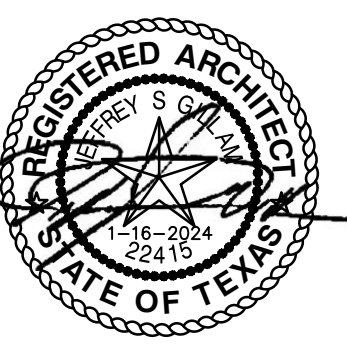
B TYPE 5 - ADAPTABLE ENLARGED BATH PLAN 3/8"=1'-0"
 APT 5 (#118)
 SIMILAR: APT. 6 (#122), APT. 8 (#126), APT. 16 (#212), APT. 24 (#312)



A TYPE 4 - ADAPTABLE ENLARGED BATH PLAN 3/8"=1'-0"
 APT 4 (#114)
 SIMILAR: APT. 13 (#207), APT. 21 (#307)

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 jgr@jgarchitects.com

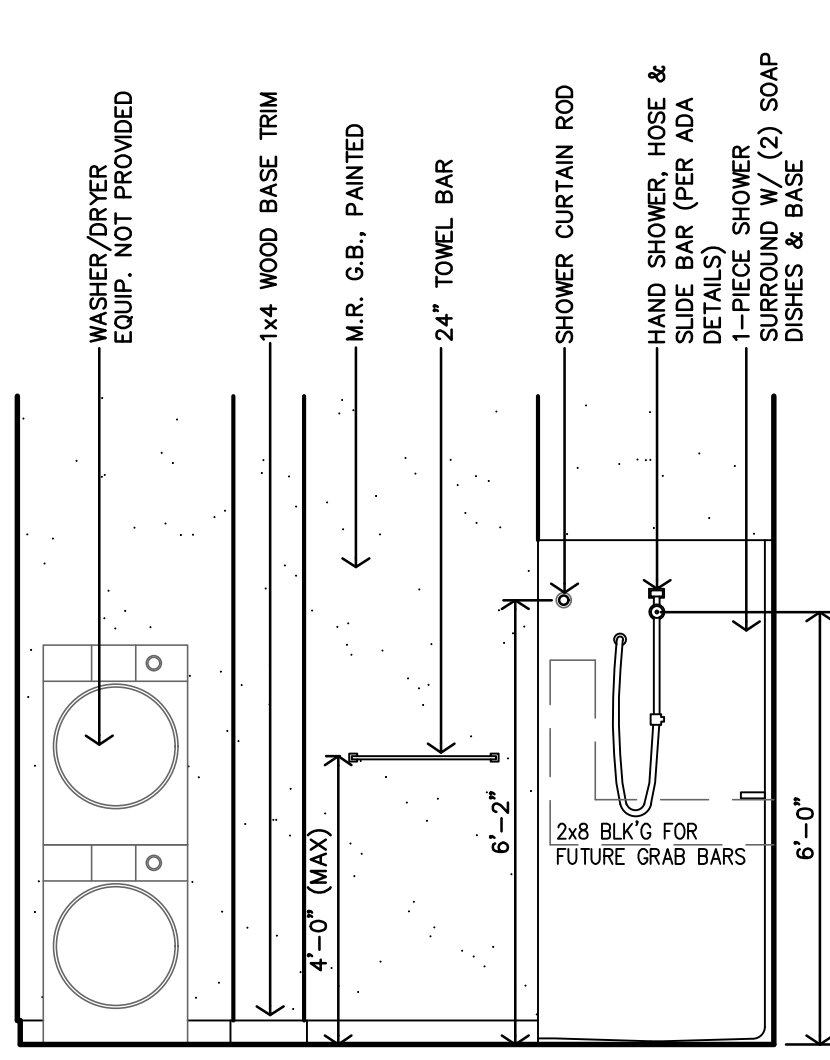
ROOSEVELT LOFTS
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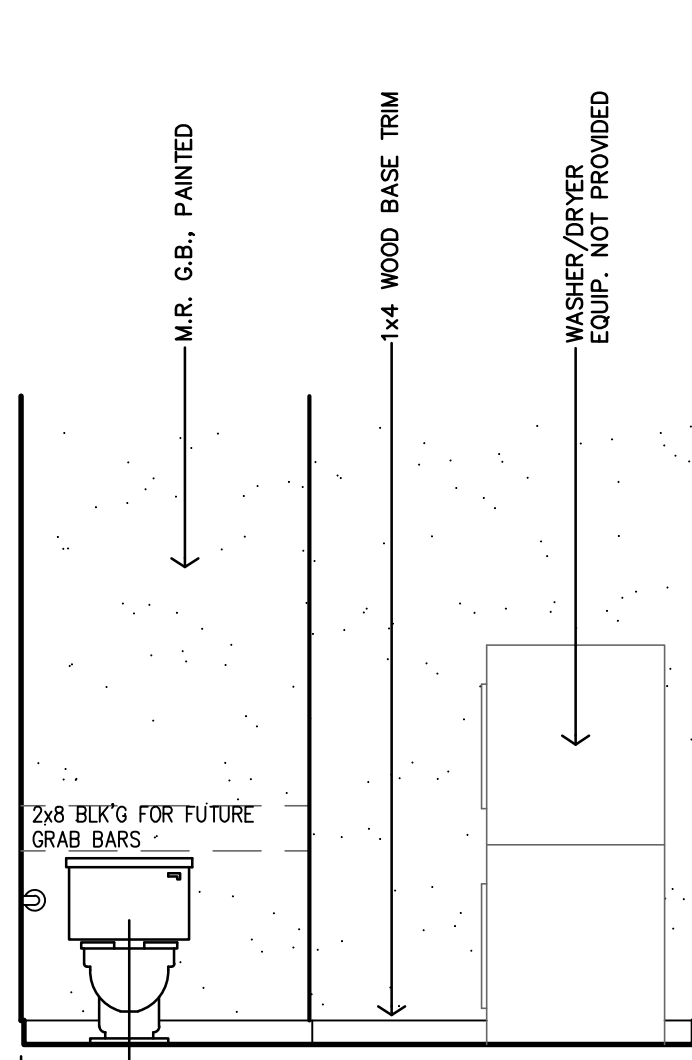
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A8.4

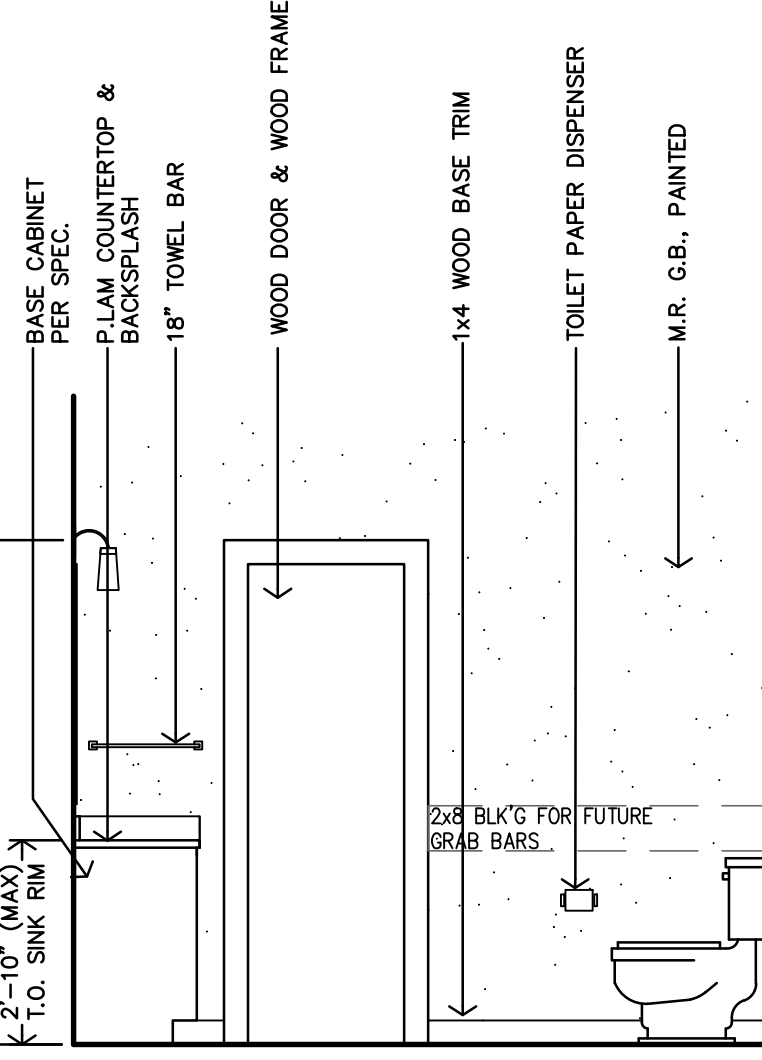
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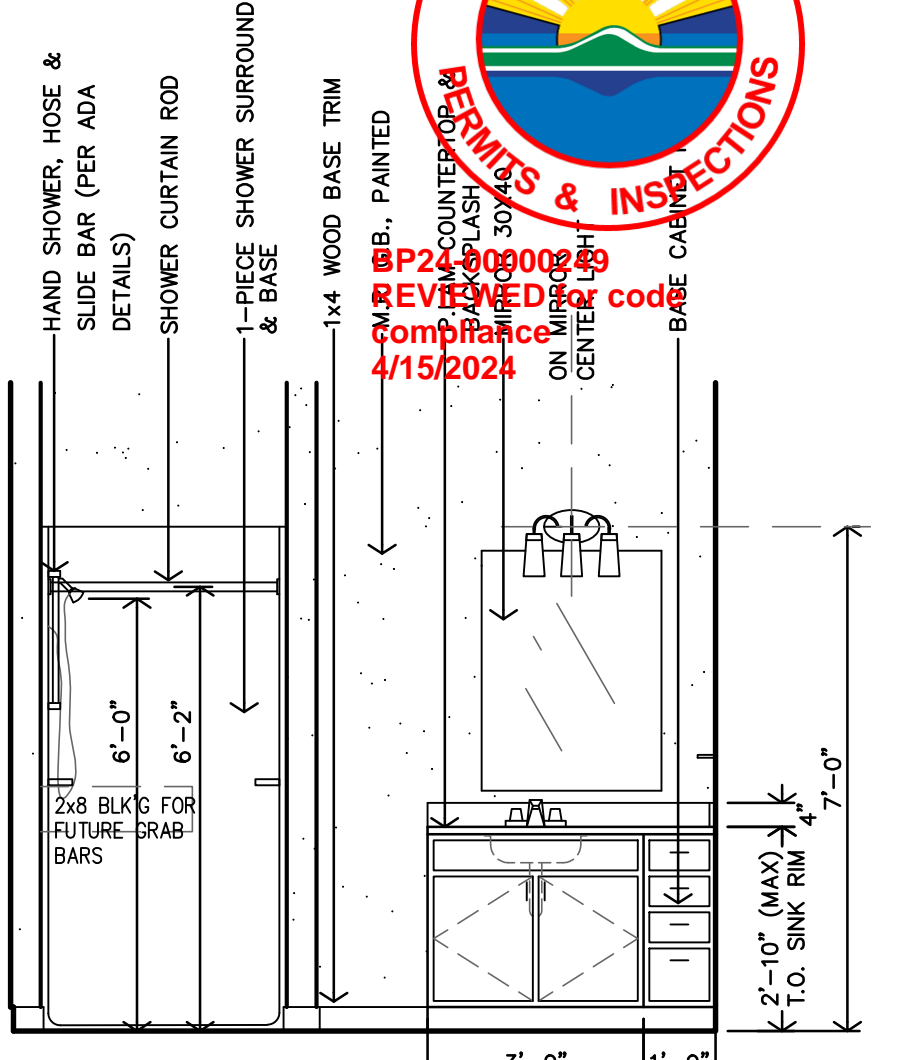
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3/8"=1'-0"



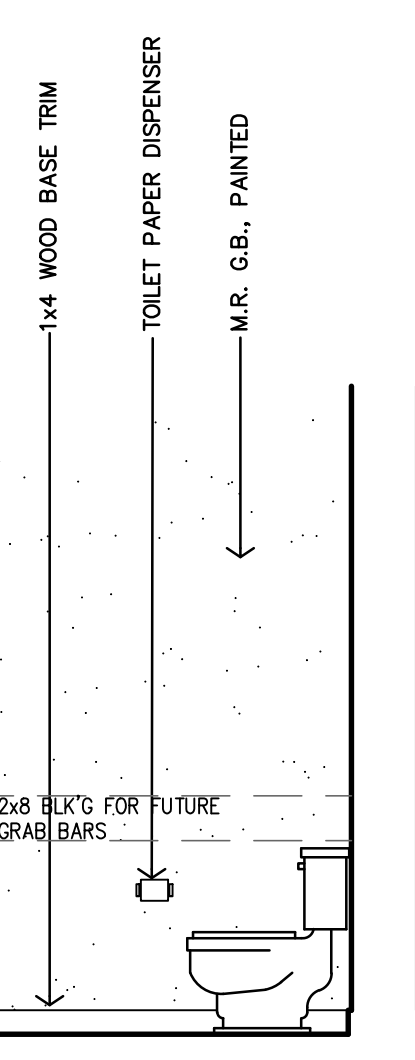
U ADAPTABLE BATH - TYPE #11 INTERIOR ELEVATION
3/8"=1'-0"



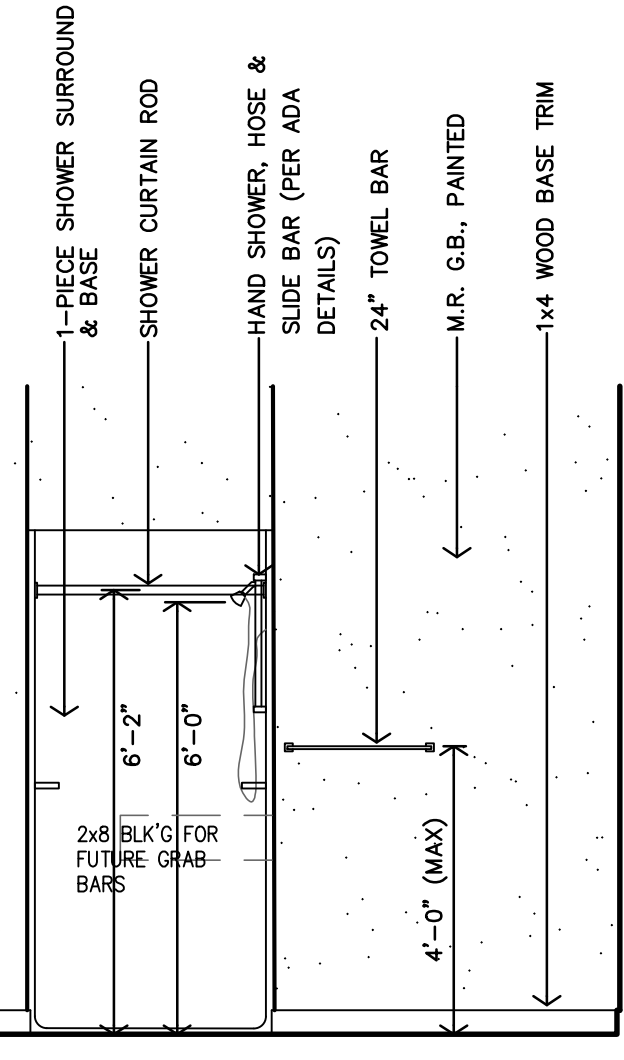
T ADAPTABLE BATH - TYPE #11 INTERIOR ELEVATION
3/8"=1'-0"



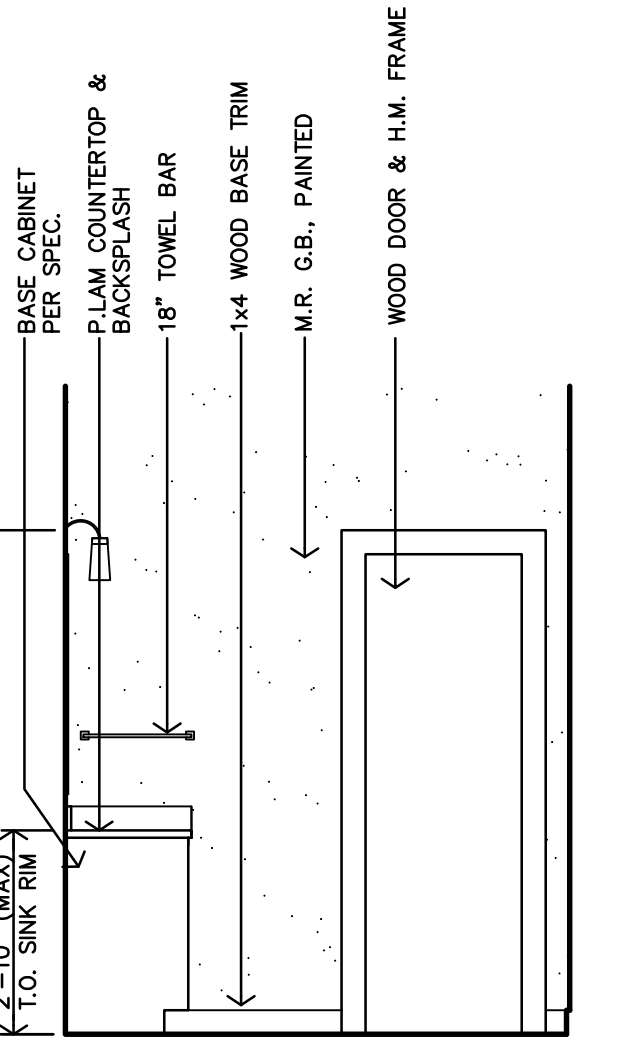
S ADAPTABLE BATH - TYPE #11 INTERIOR ELEVATION
3/8"=1'-0"



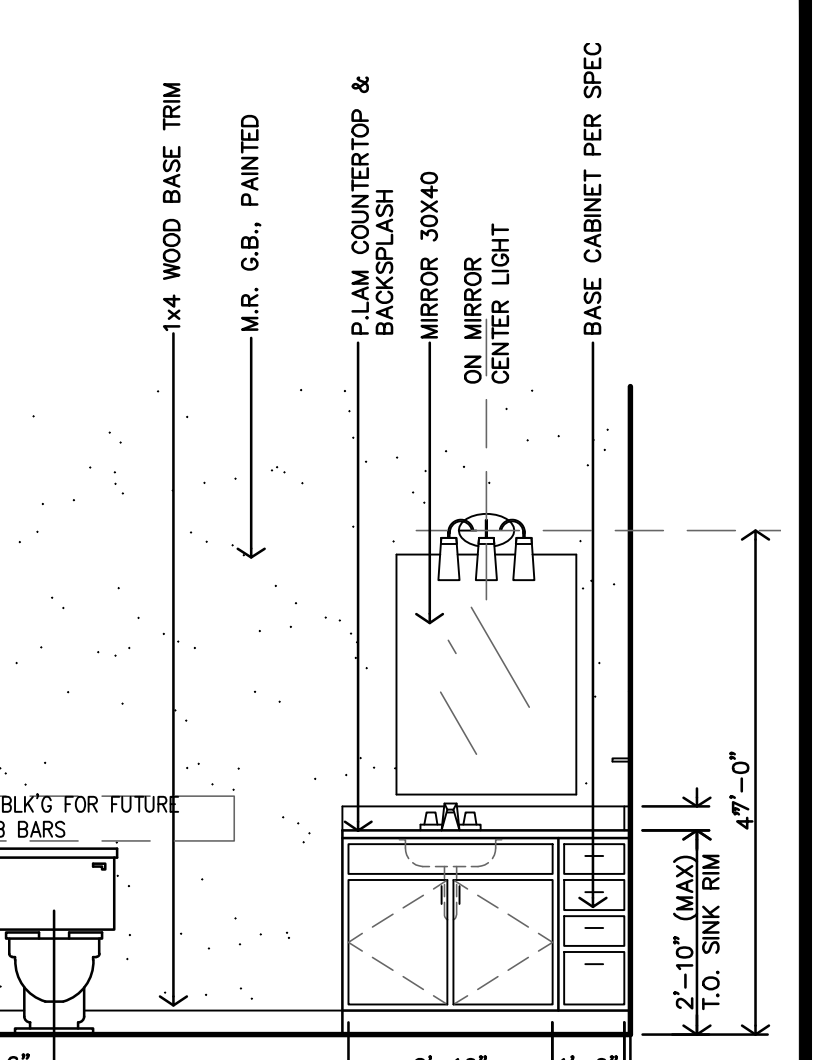
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3/8"=1'-0"



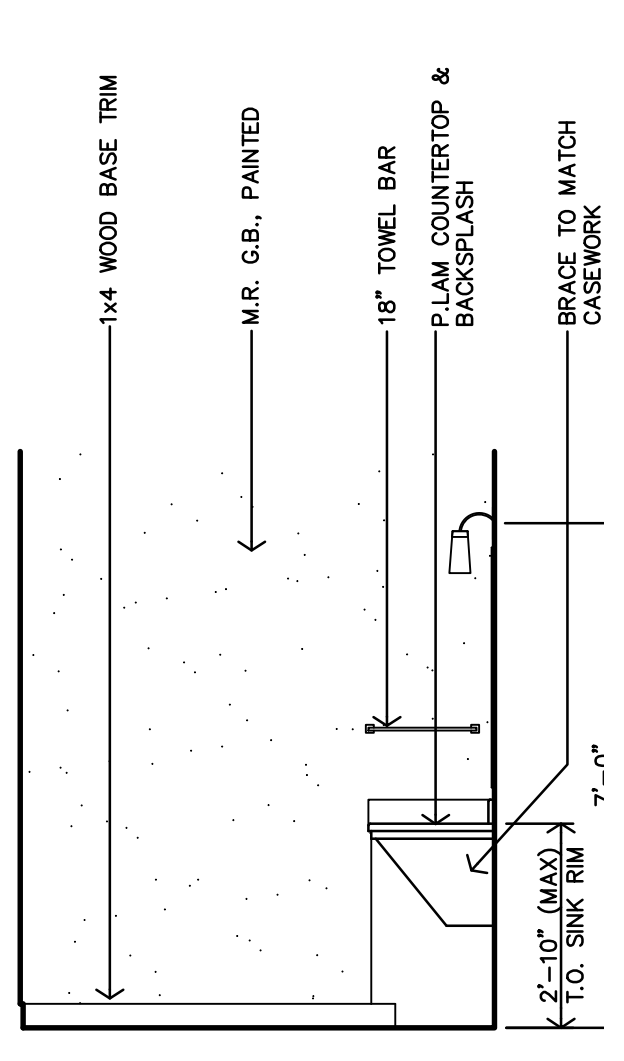
Q ADAPTABLE BATH - TYPE #10 INTERIOR ELEVATION
3/8"=1'-0"



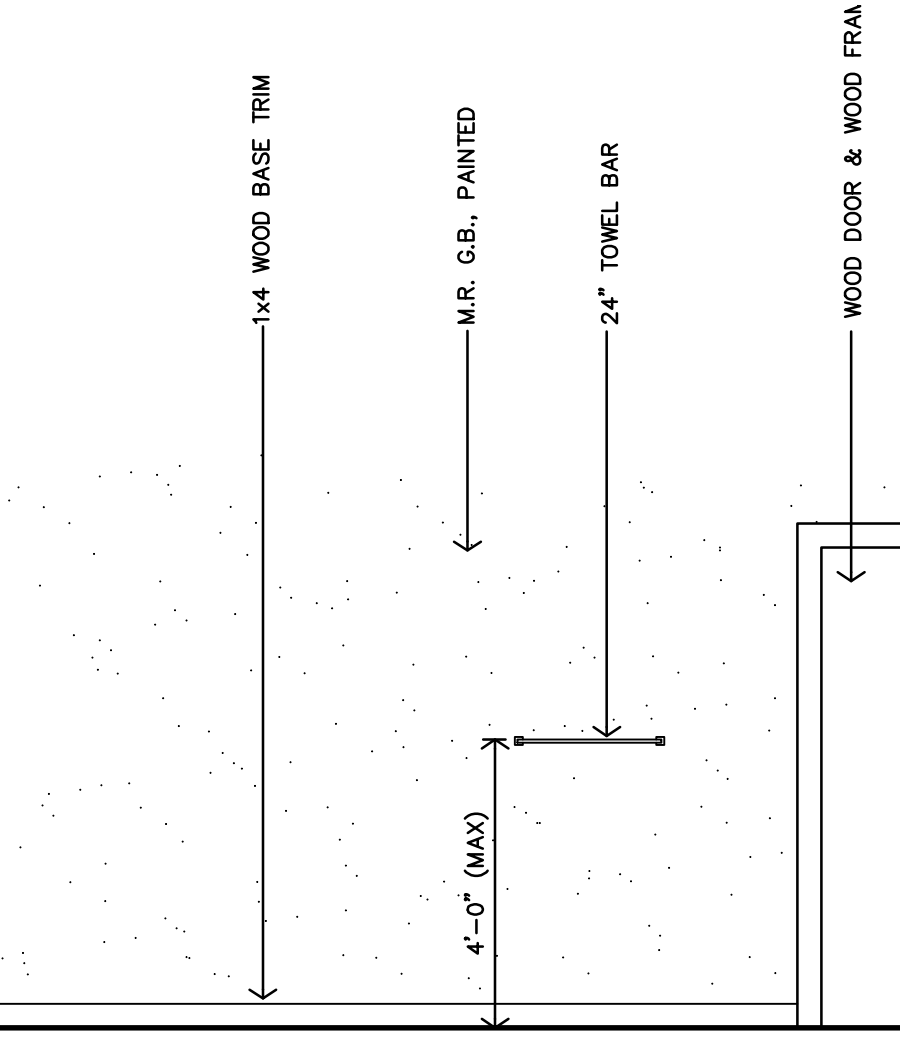
P ADAPTABLE BATH - TYPE #10 INTERIOR ELEVATION
3/8"=1'-0"



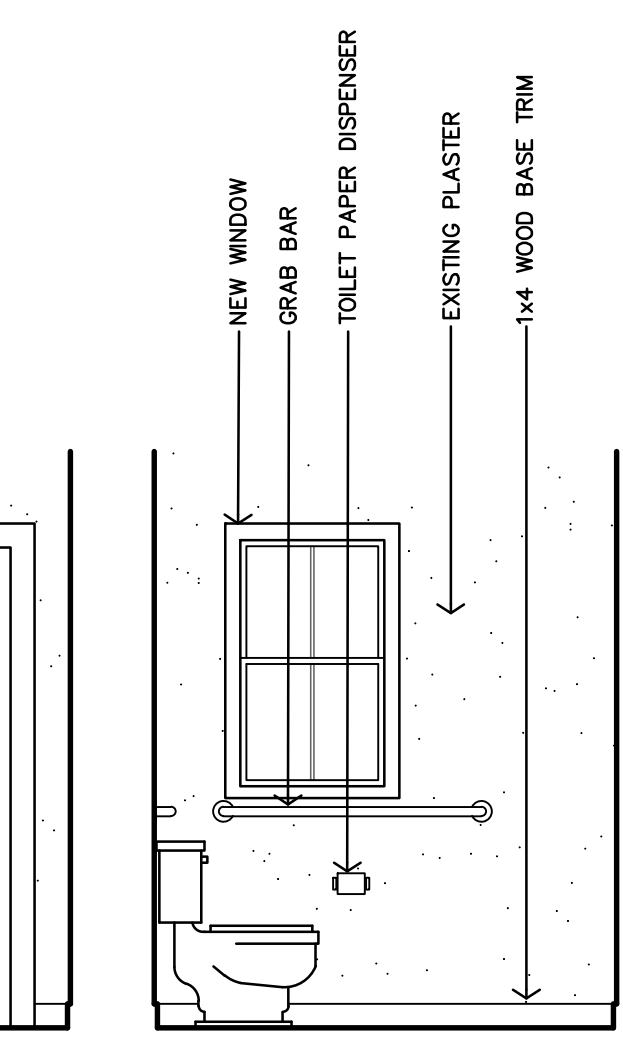
N ADAPTABLE BATH - TYPE #10 INTERIOR ELEVATION
3/8"=1'-0"



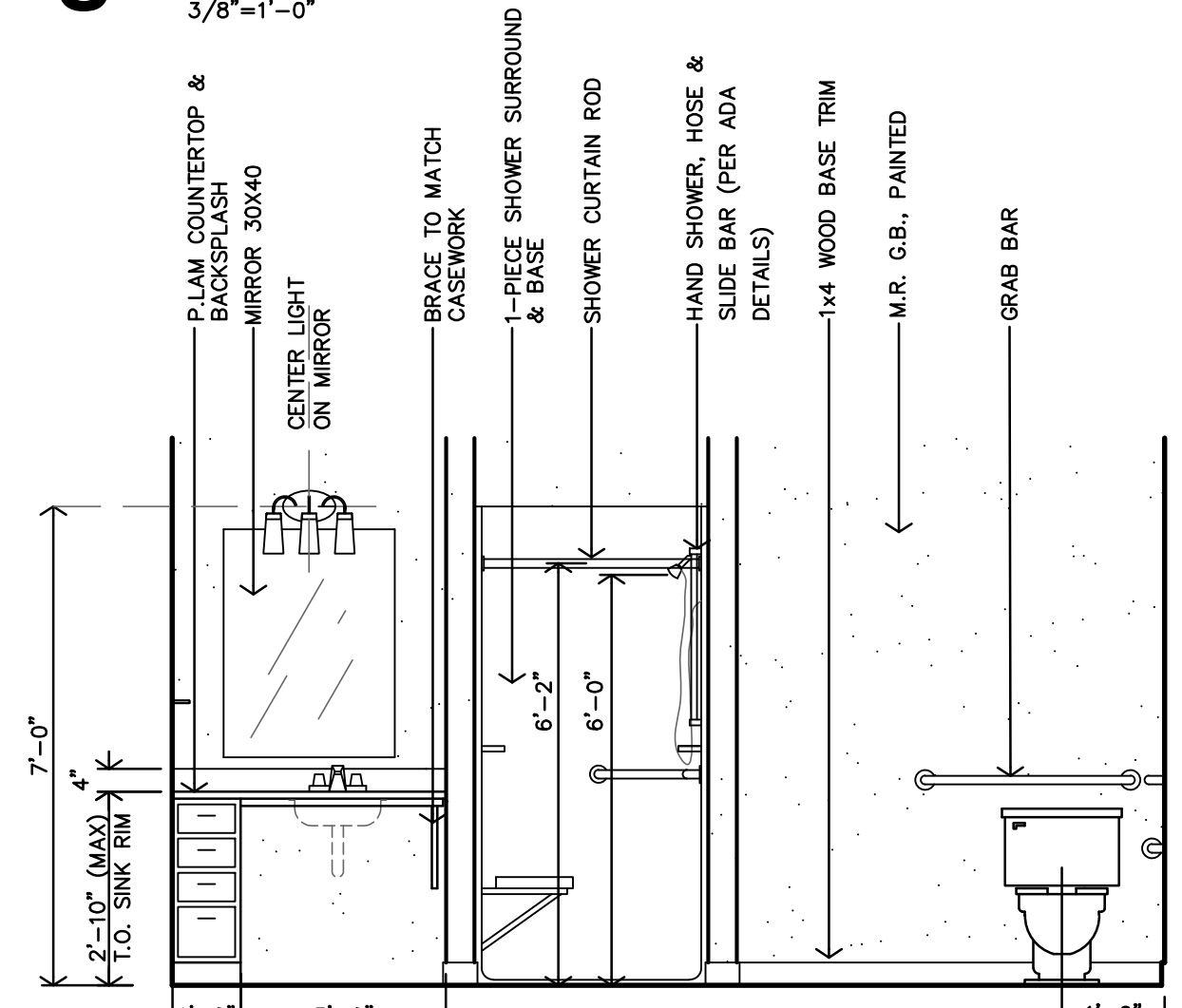
M ACCESSIBLE BATH - TYPE #9 INTERIOR ELEVATION
3/8"=1'-0"



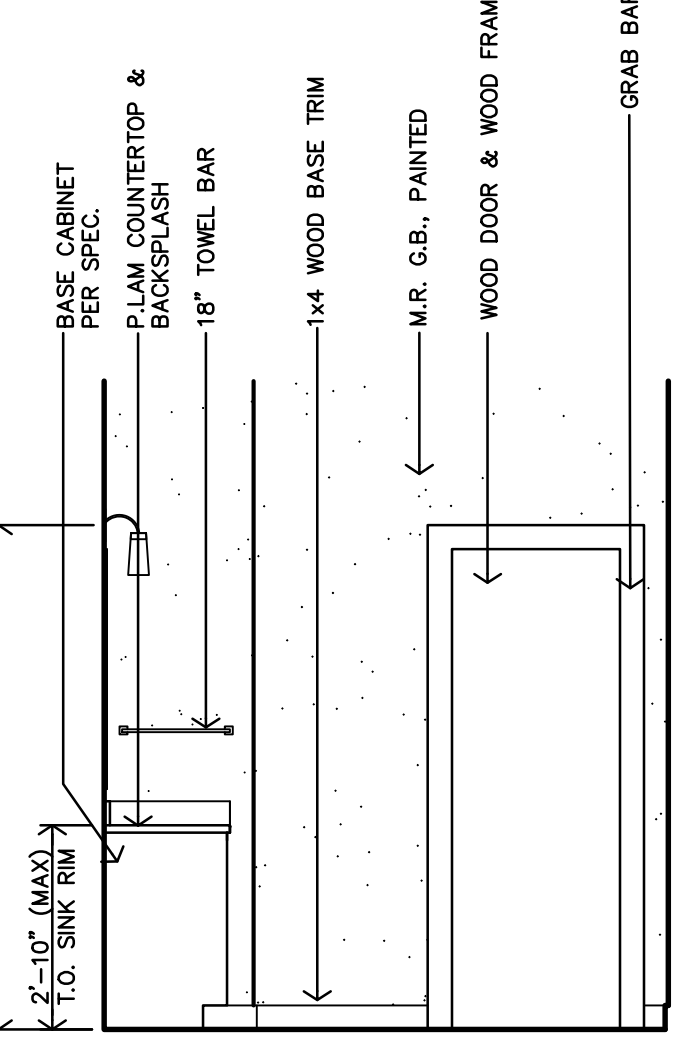
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3/8"=1'-0"



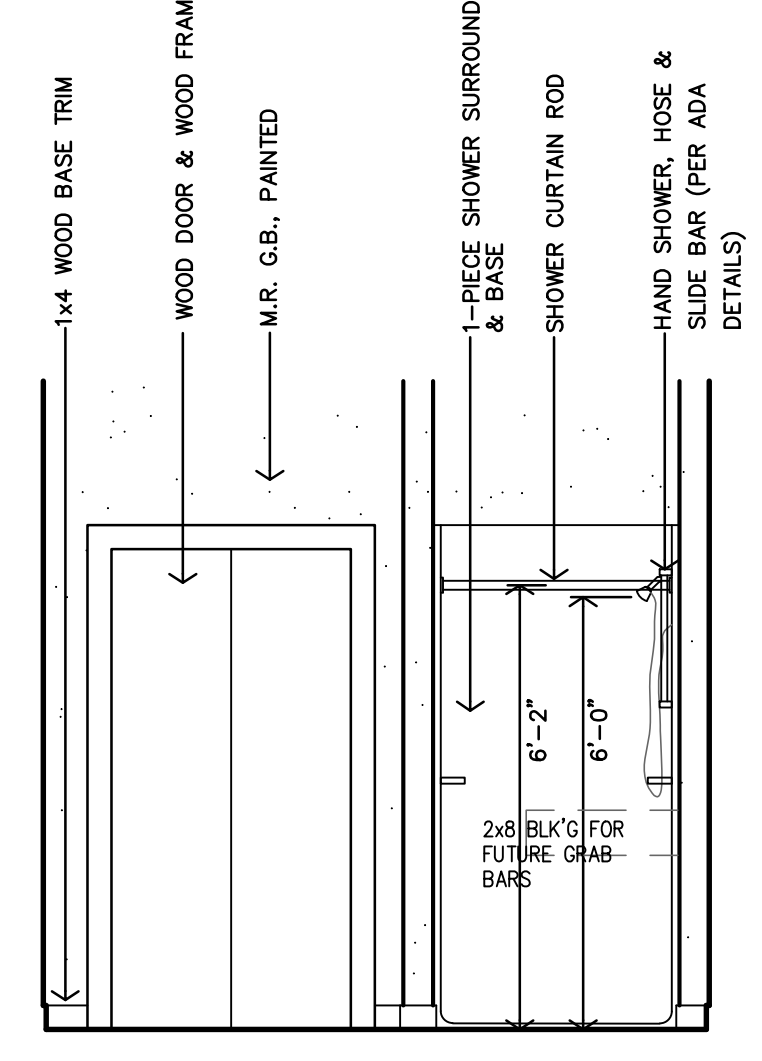
K ACCESSIBLE BATH - TYPE #9 INTERIOR ELEVATION
3/8"=1'-0"



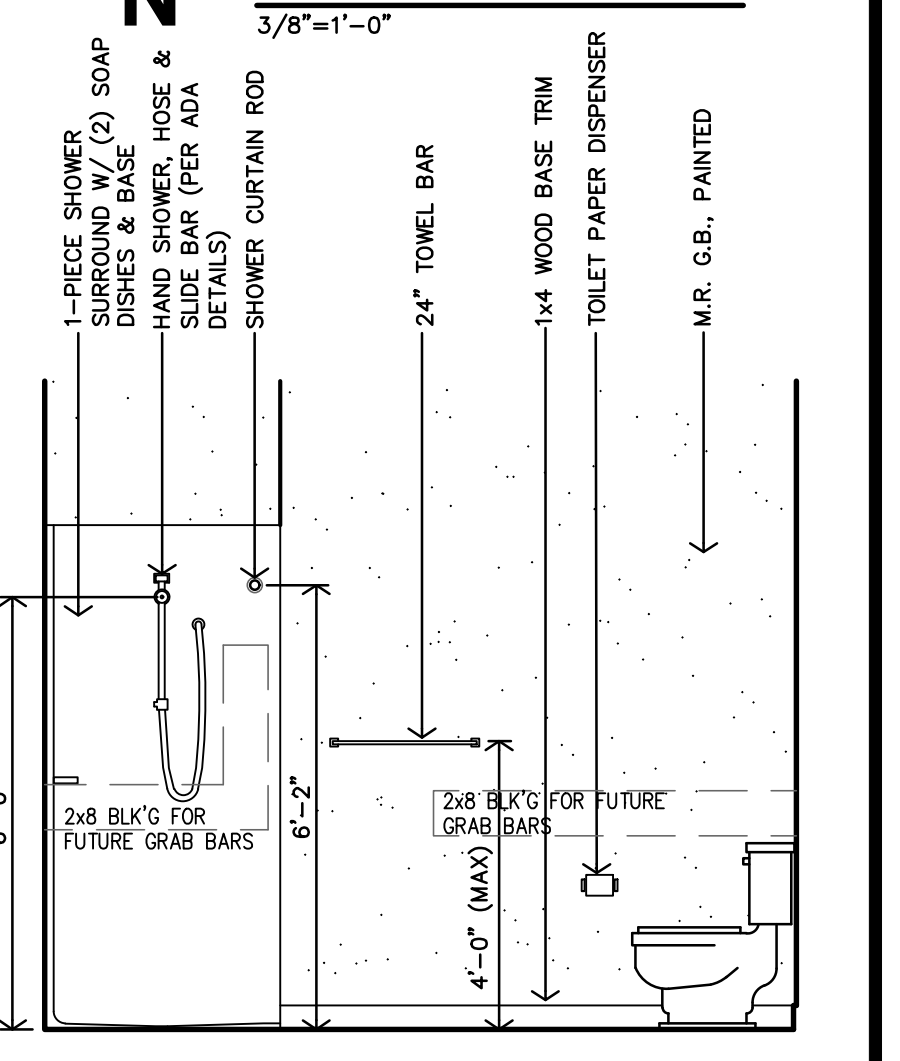
J ACCESSIBLE BATH - TYPE #9 INTERIOR ELEVATION
3/8"=1'-0"



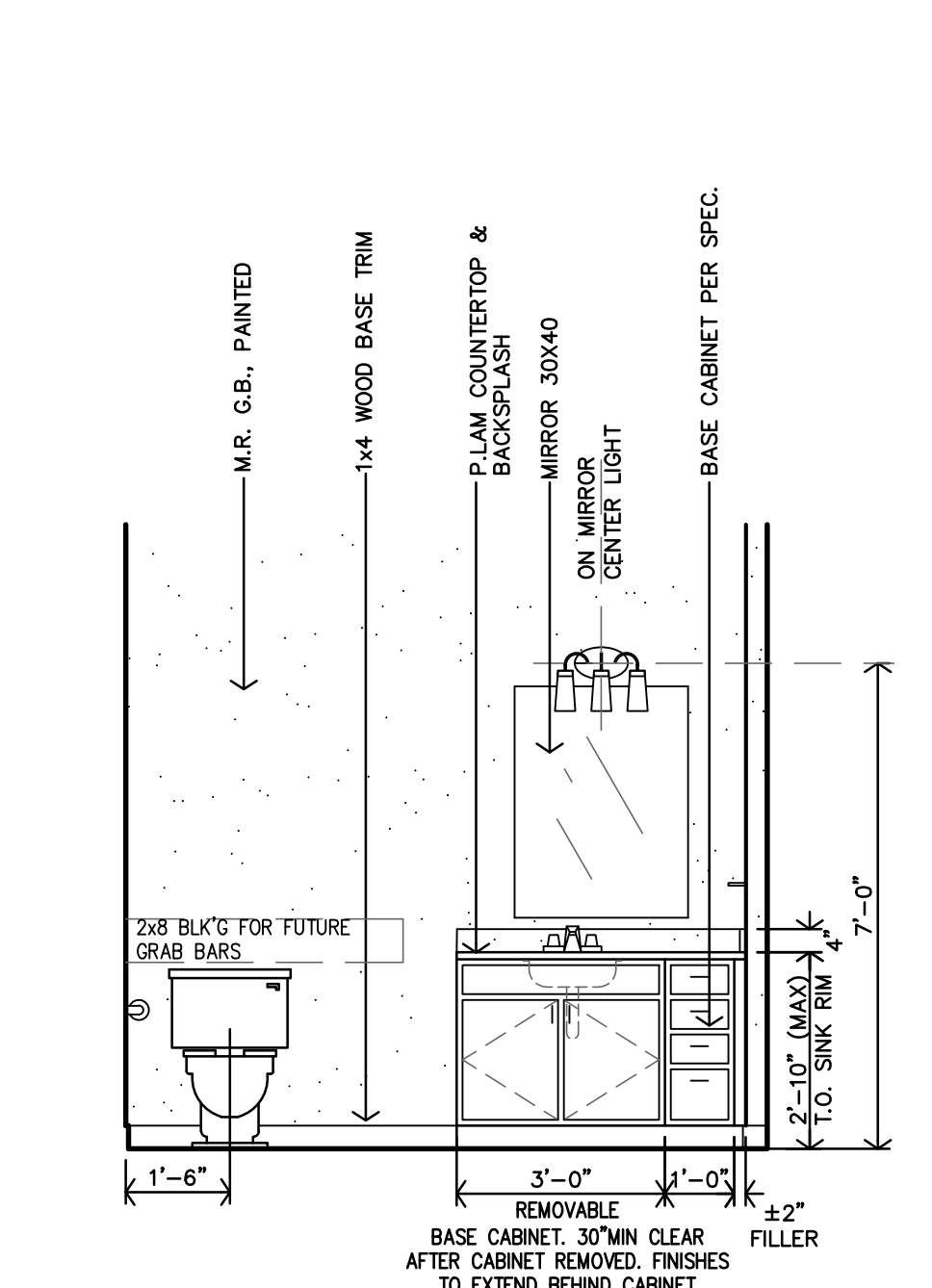
H ADAPTABLE BATH - TYPE #8 INTERIOR ELEVATION
3/8"=1'-0"



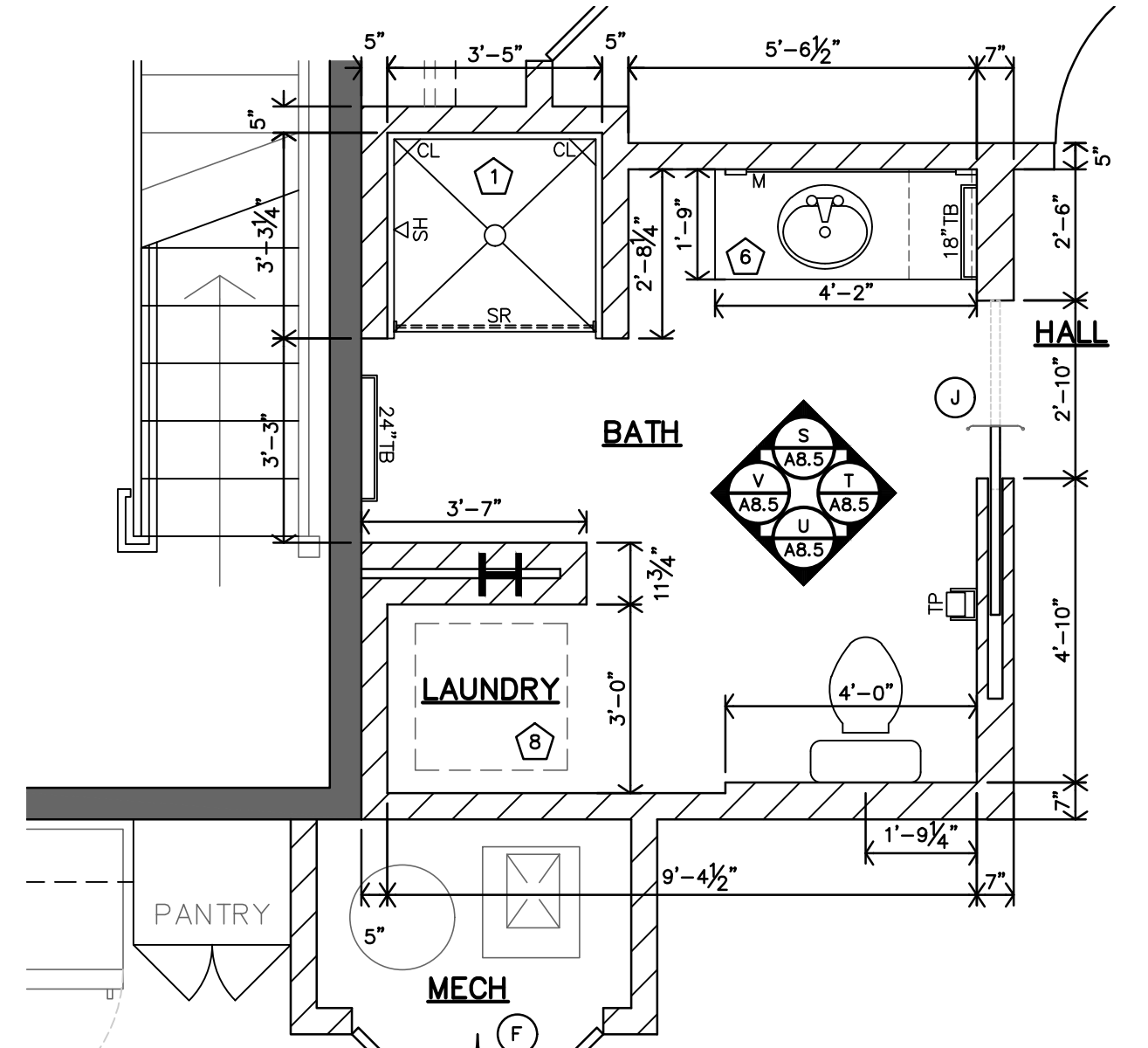
G ADAPTABLE BATH - TYPE #8 INTERIOR ELEVATION
3/8"=1'-0"



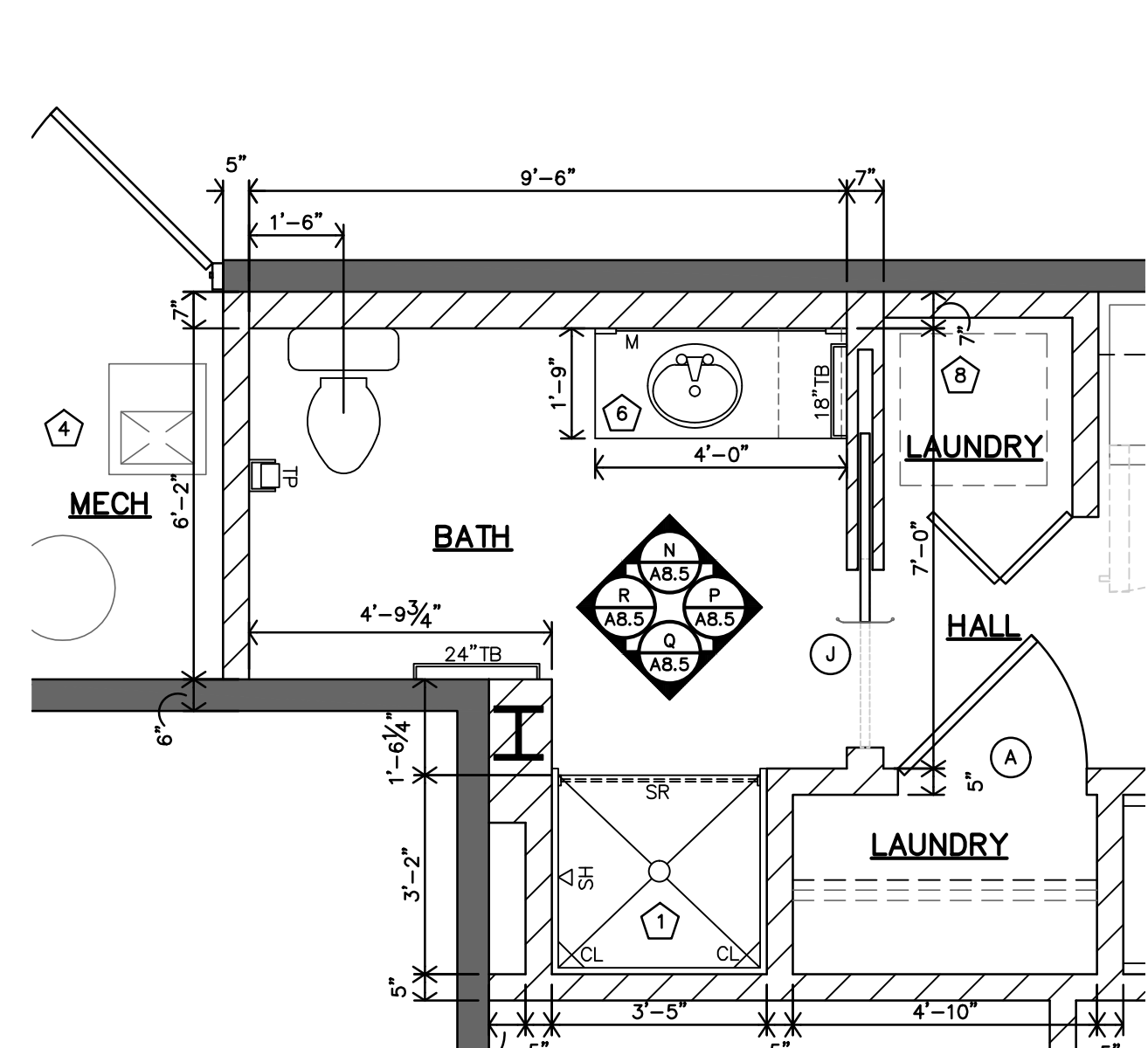
F ADAPTABLE BATH - TYPE #8 INTERIOR ELEVATION
3/8"=1'-0"



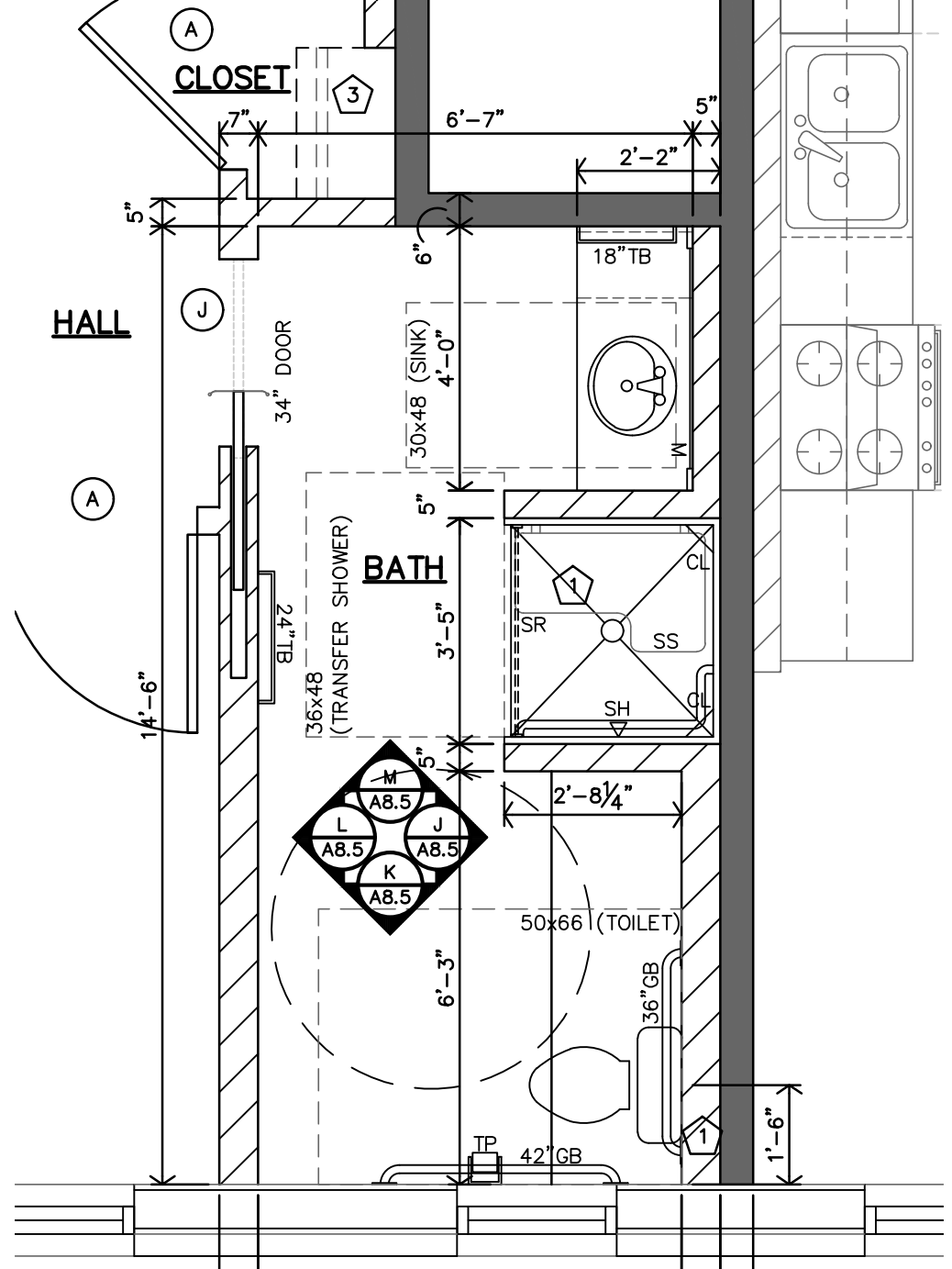
E ADAPTABLE BATH - TYPE #8 INTERIOR ELEVATION
3/8"=1'-0"



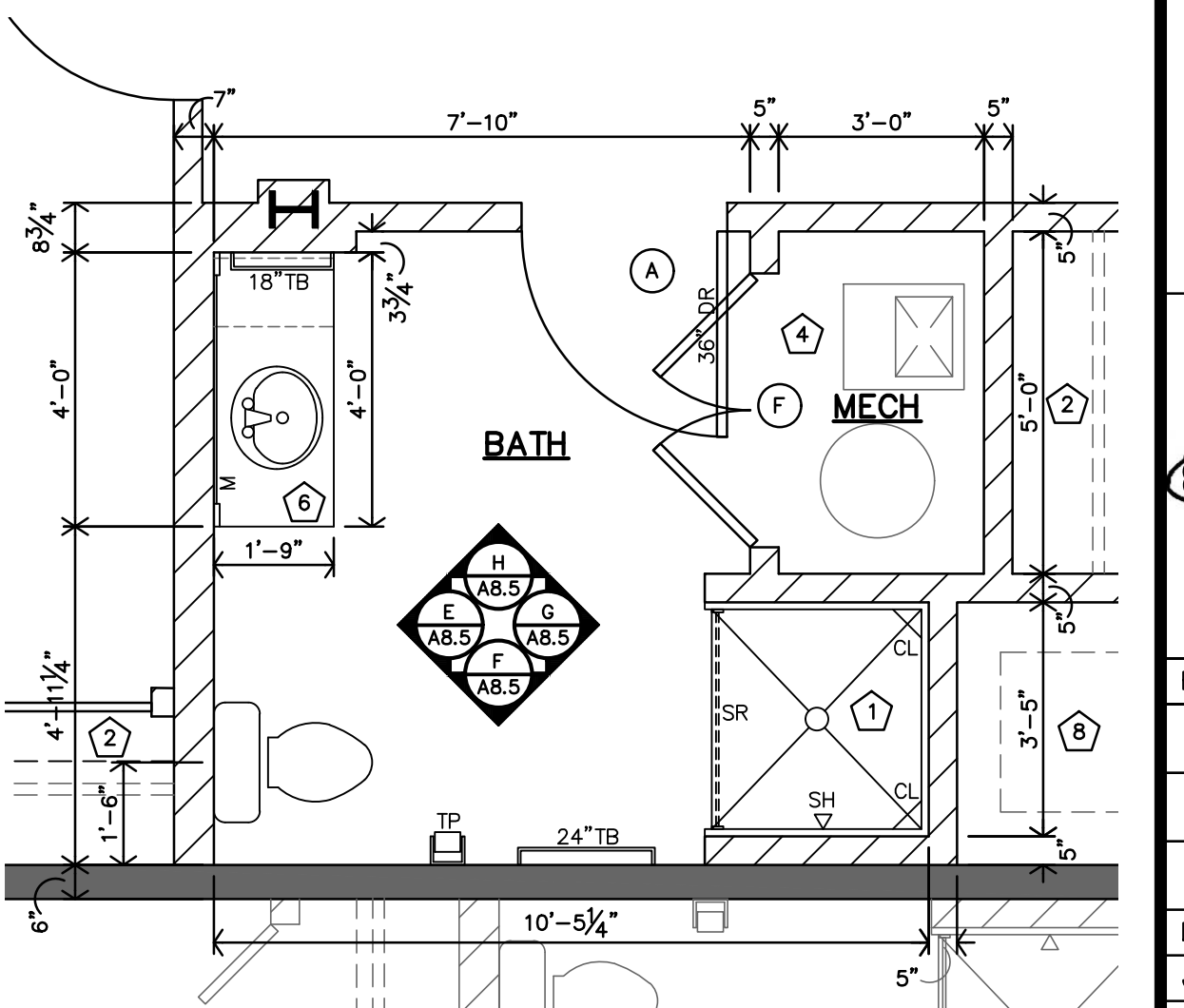
D TYPE 11 - ADAPTABLE ENLARGED BATH PLAN
3/8"=1'-0"
APT 17 (#213)
SIMILAR: APT. 25 (#313)



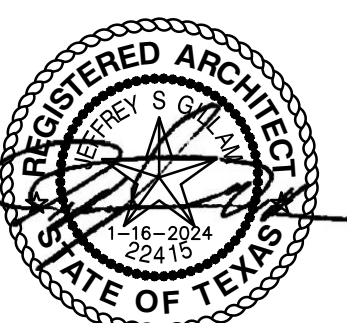
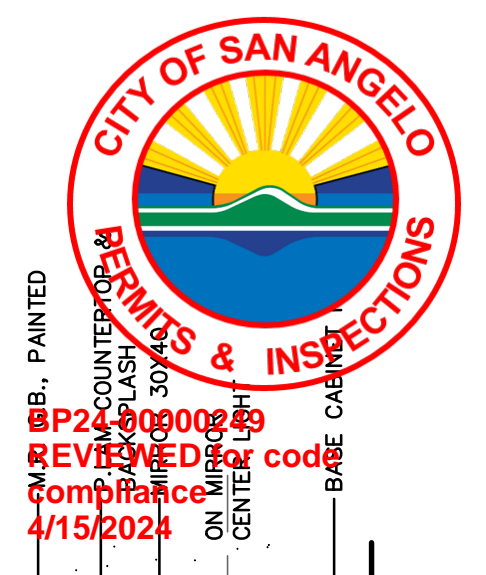
C TYPE 10 - ADAPTABLE ENLARGED BATH PLAN
3/8"=1'-0"
APT 14 (#209)
SIMILAR: APT. 22 (#309)



B TYPE 9 - ACCESSIBLE ENLARGED BATH PLAN
3/8"=1'-0"
APT 12 (#203)

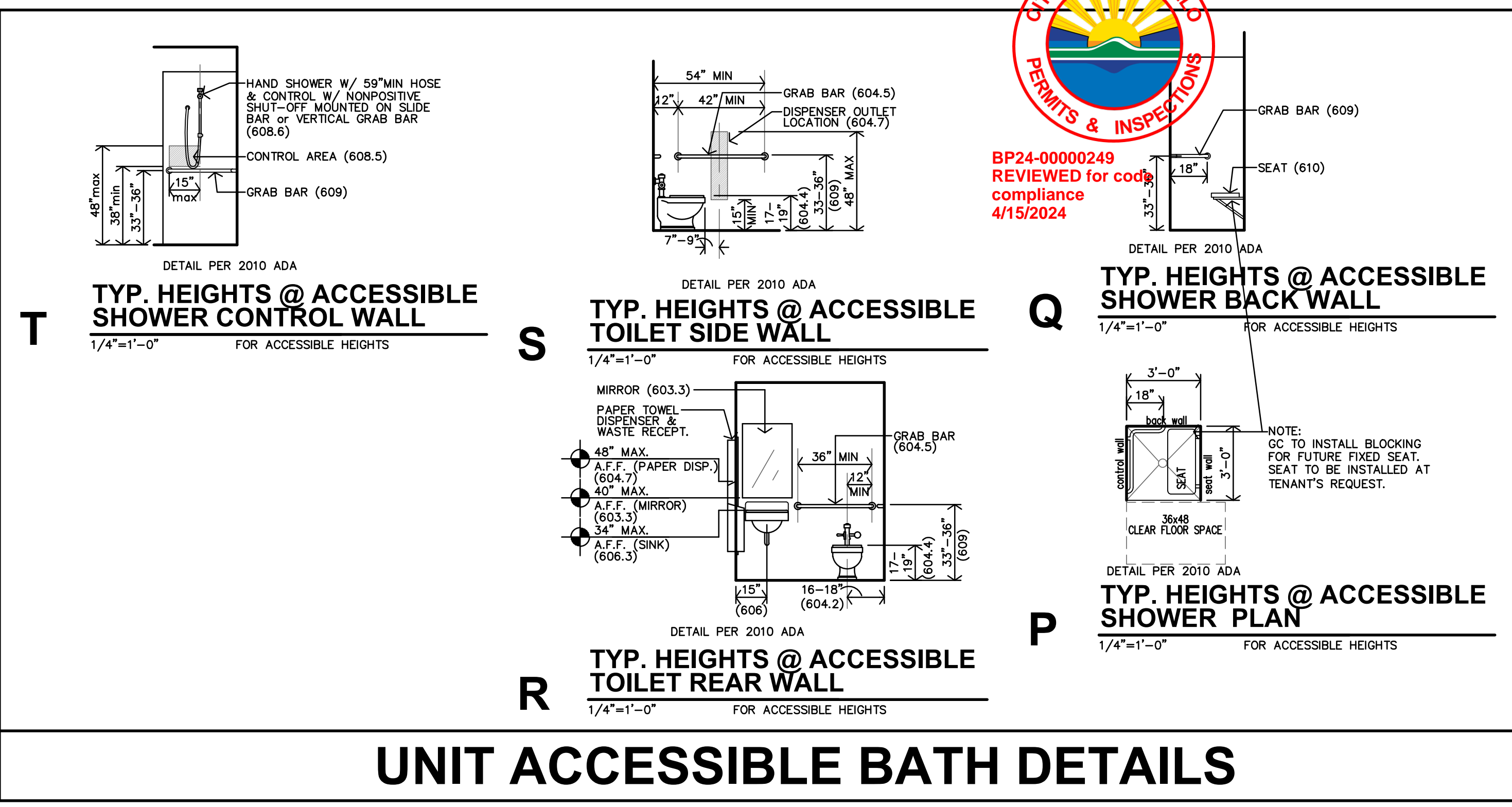


A TYPE 8 - ADAPTABLE ENLARGED BATH PLAN
3/8"=1'-0"
APT 10 (#201)
SIMILAR: APT. 18 (#301)

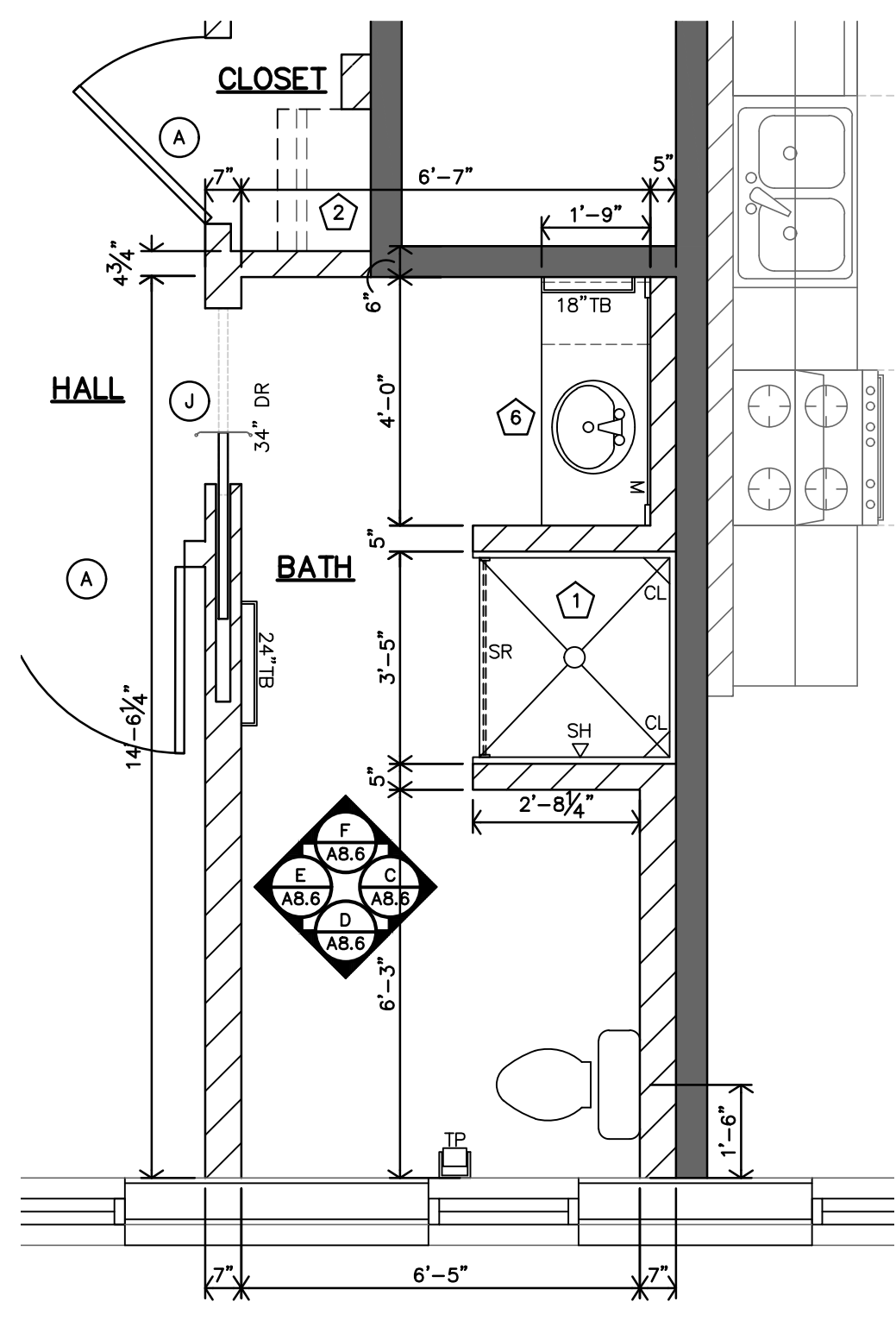
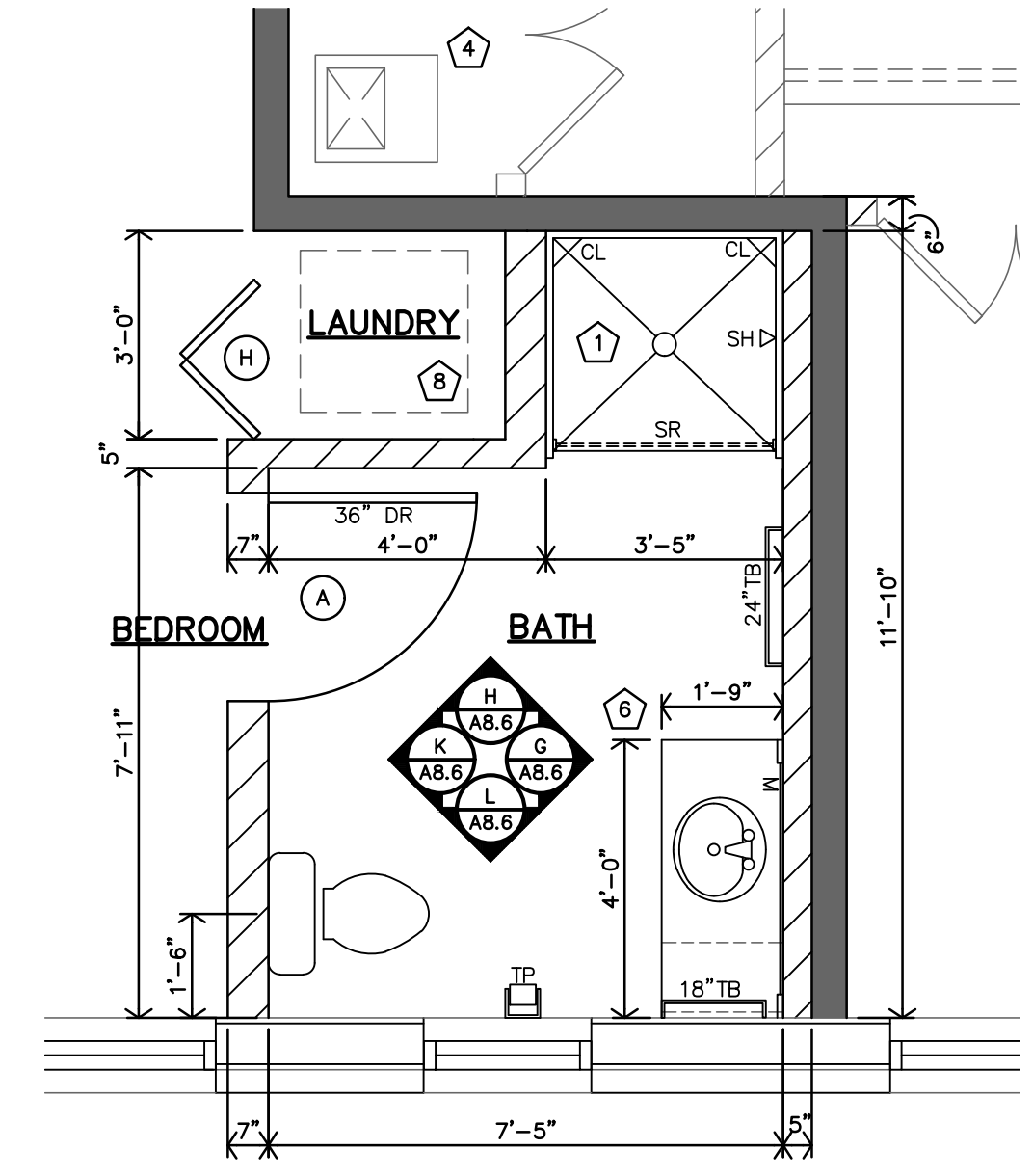
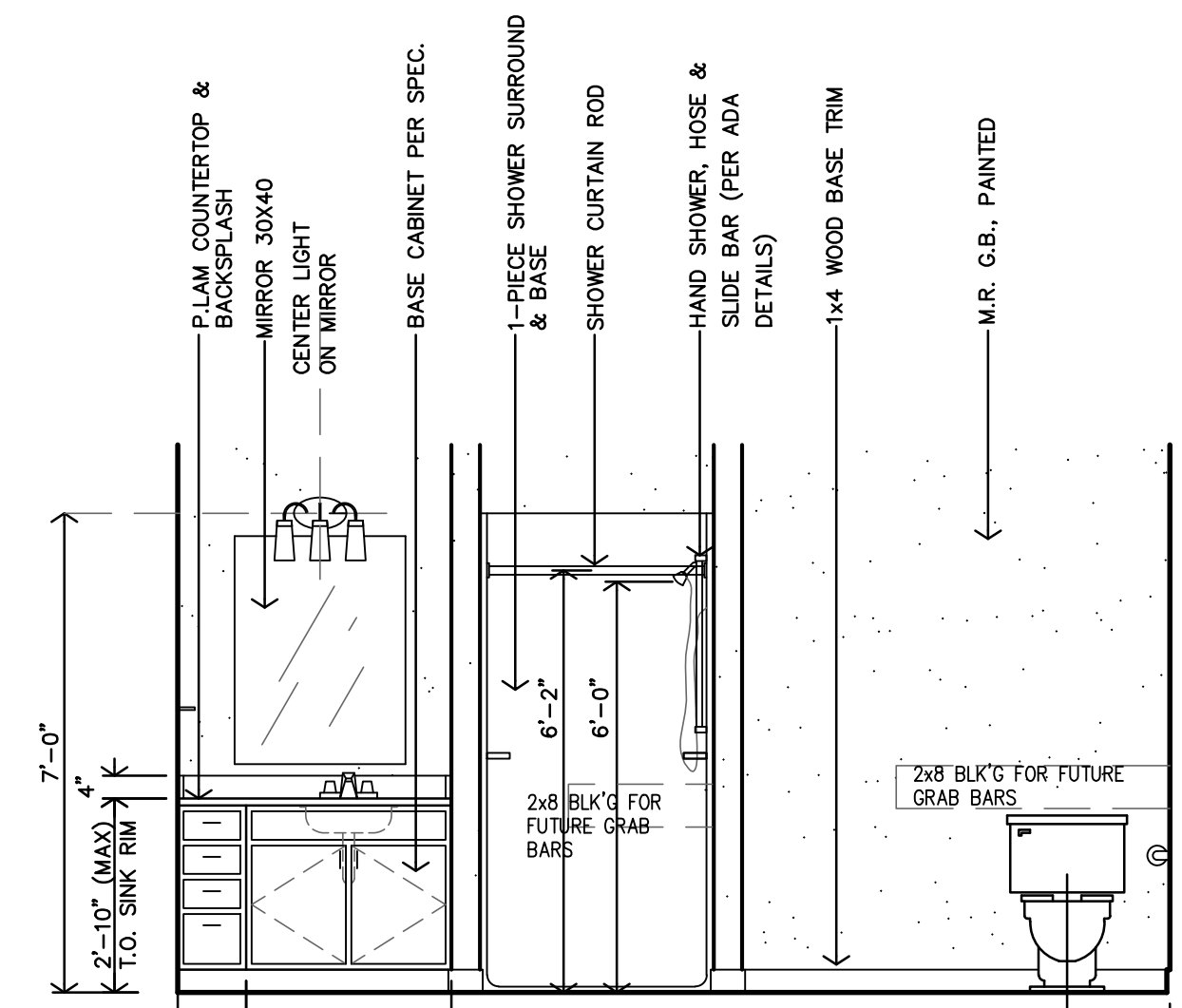
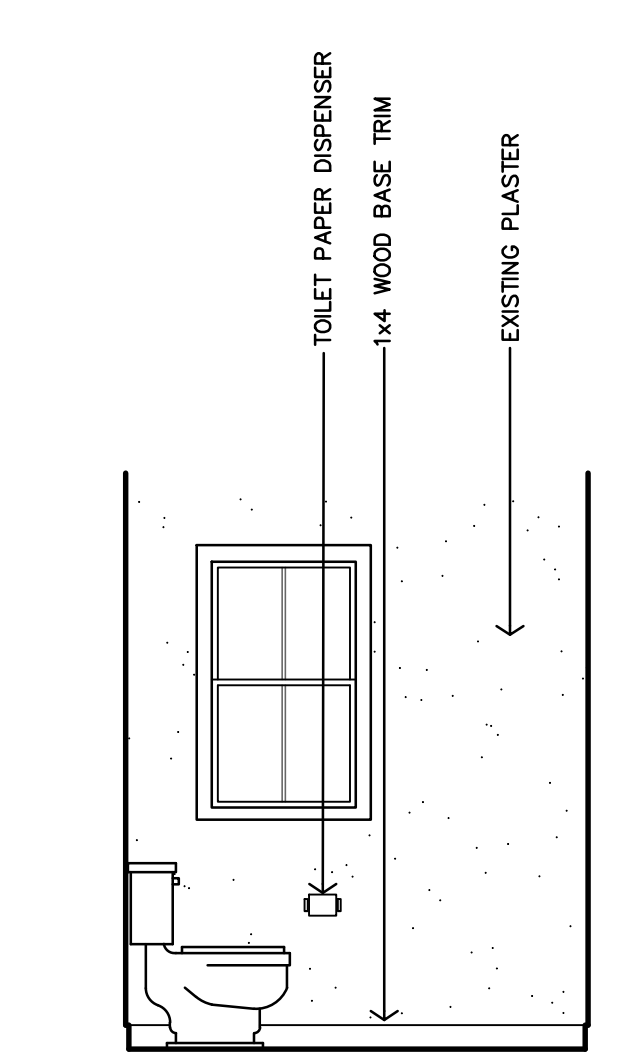
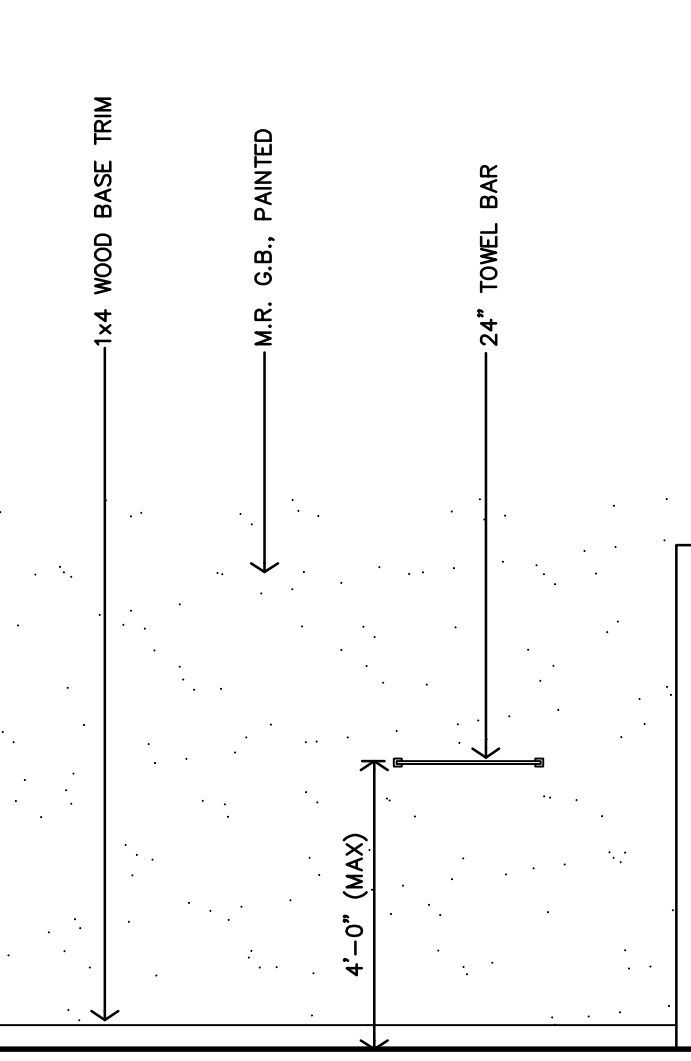
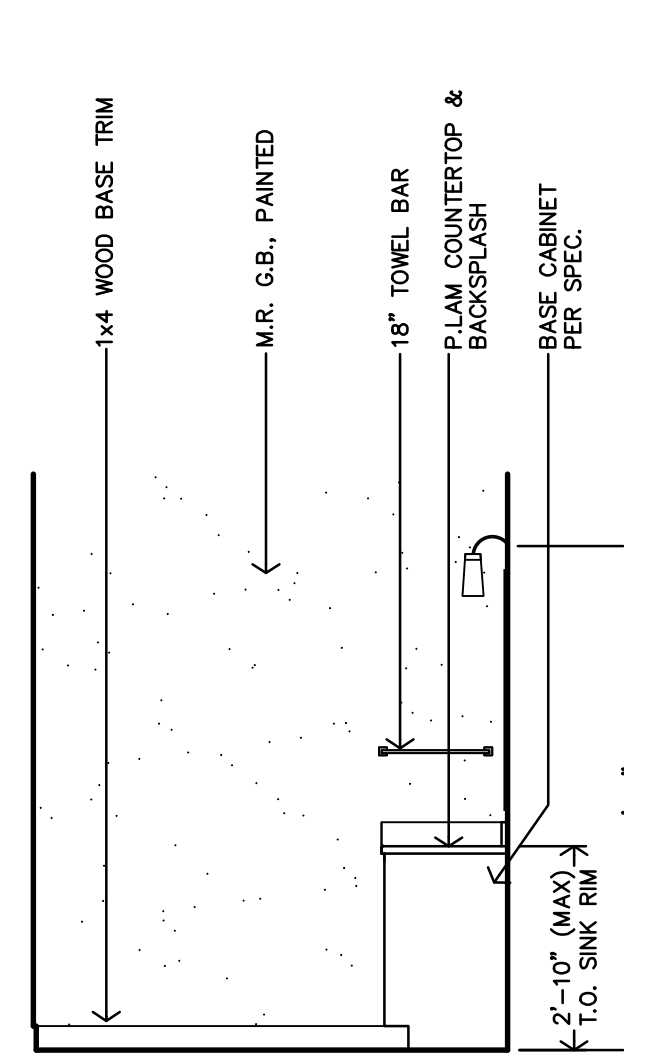
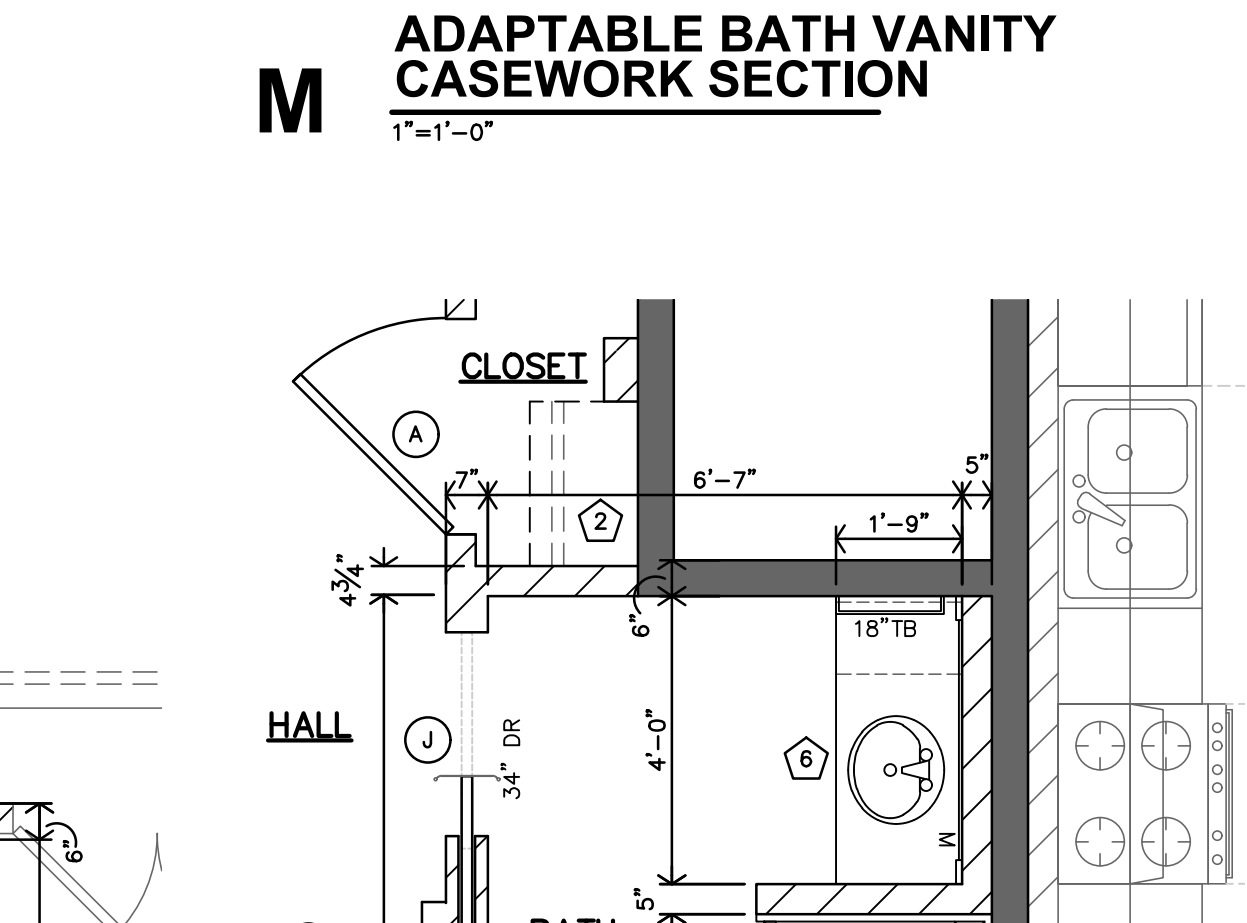
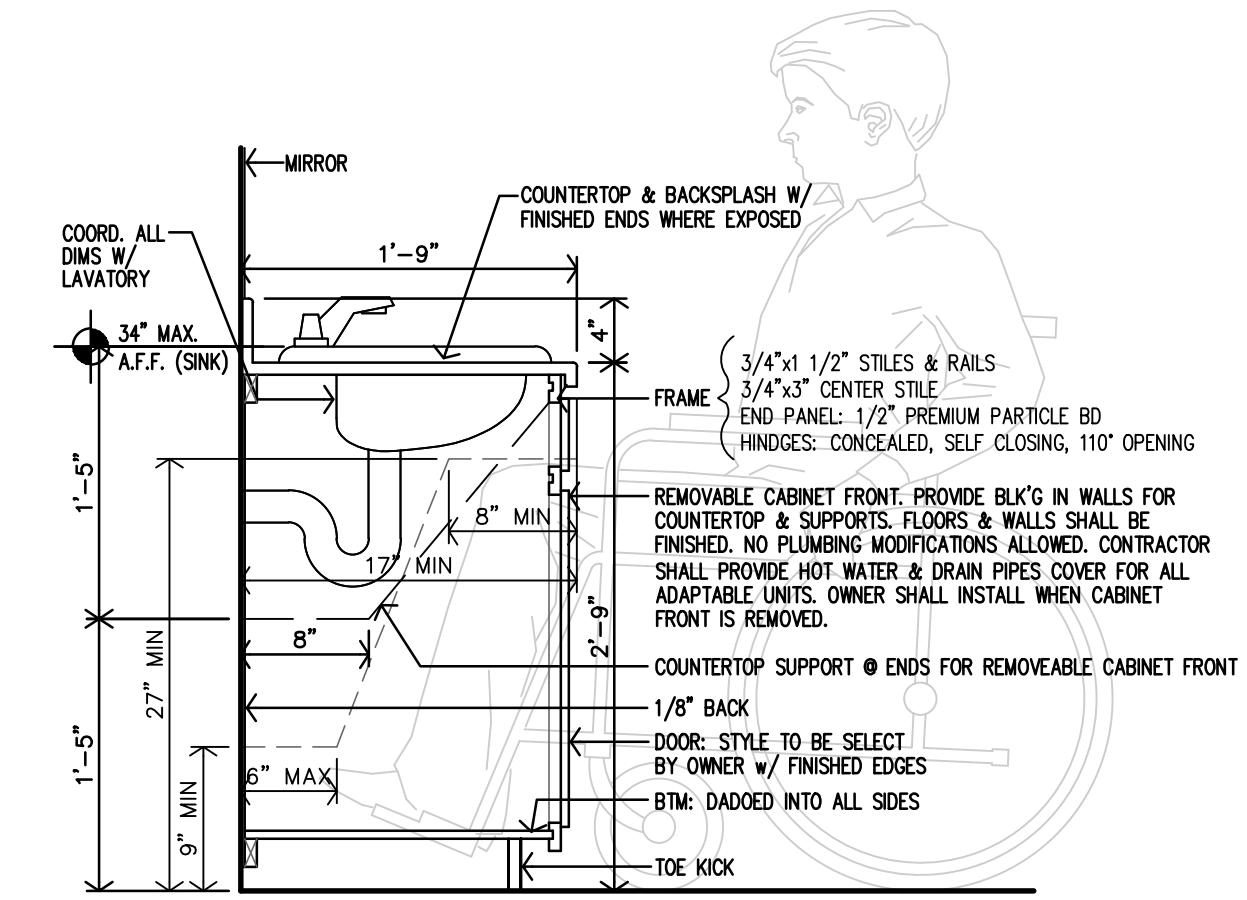
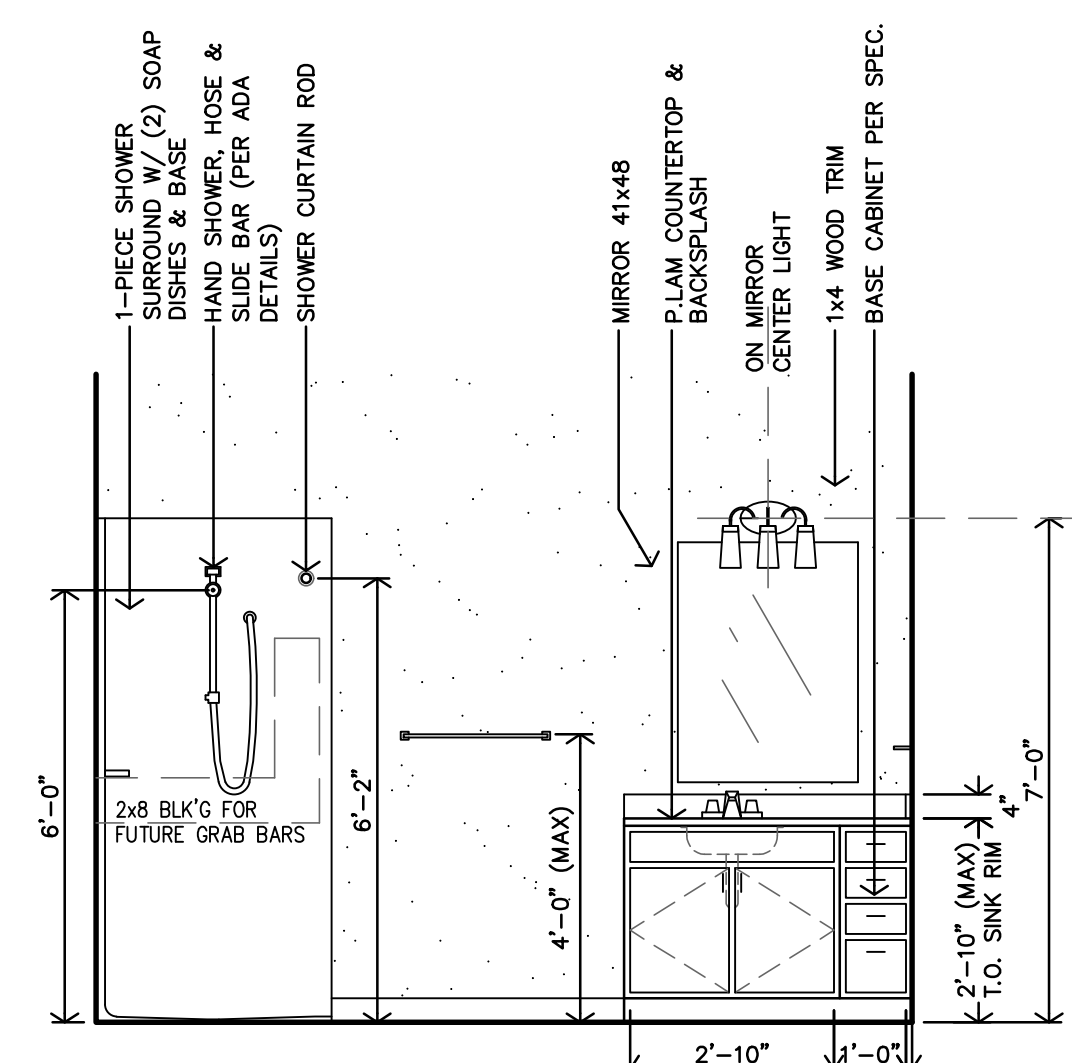
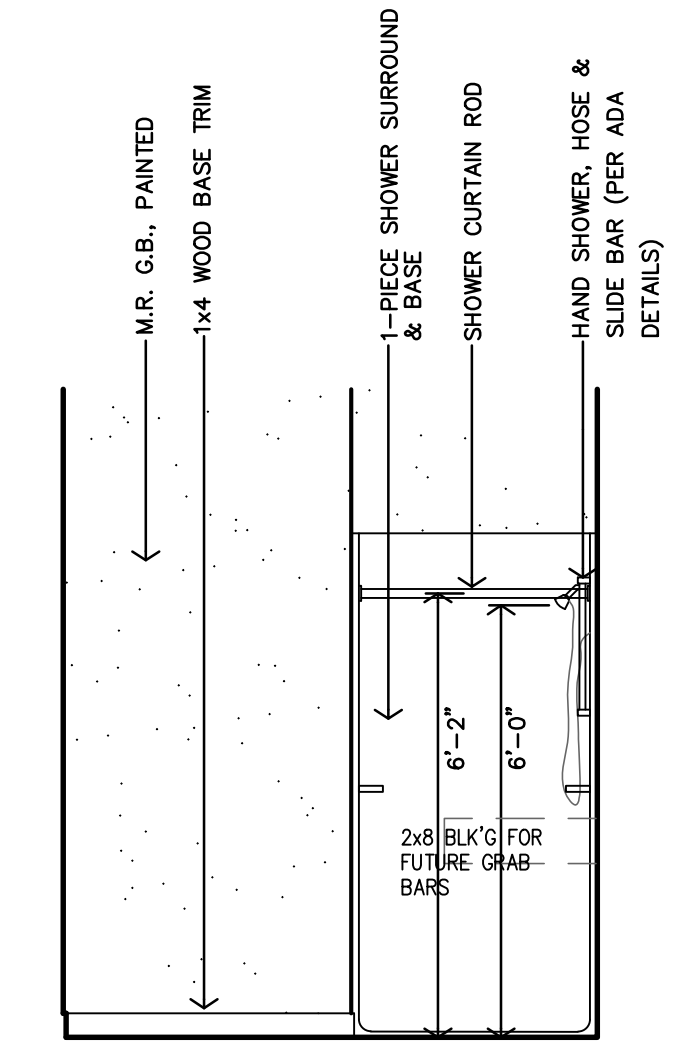
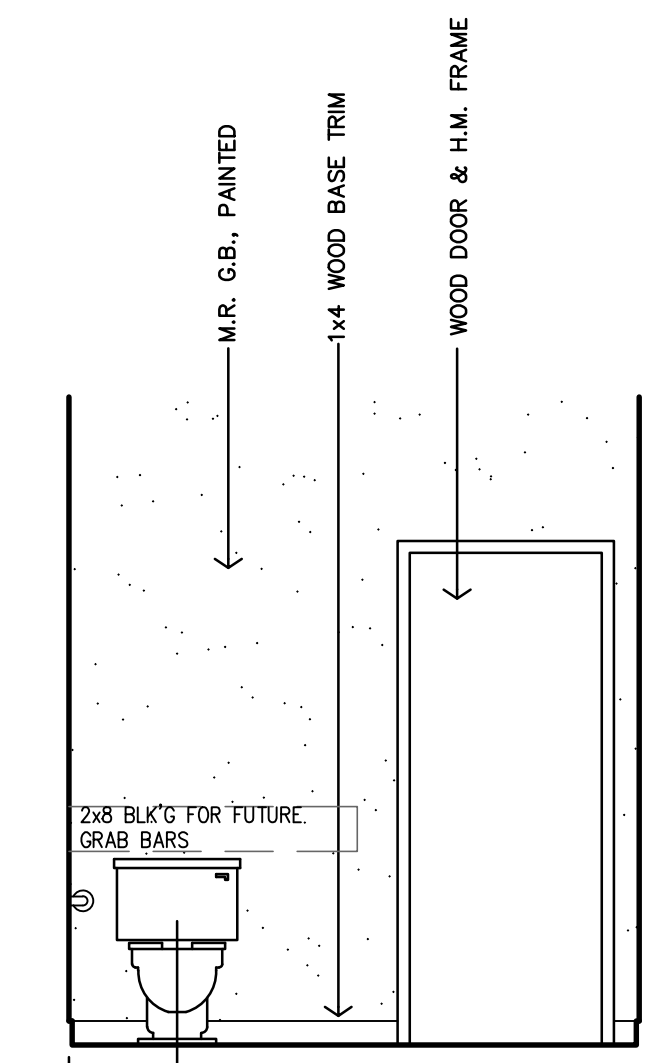
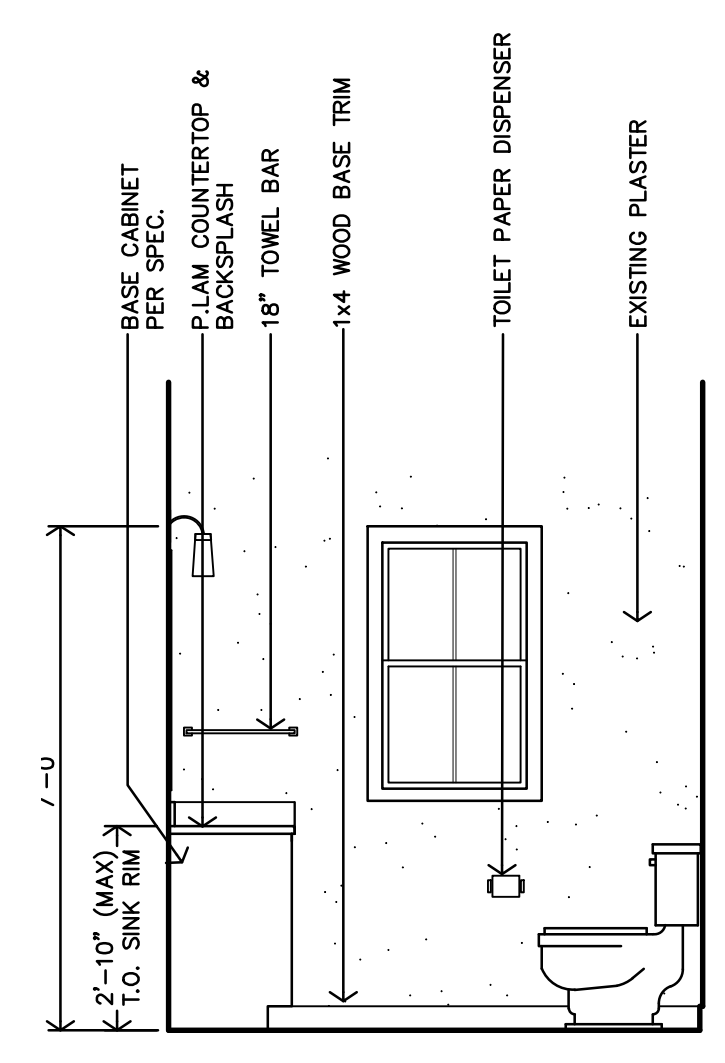




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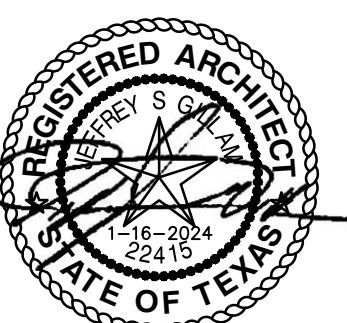


UNIT ACCESSIBLE BATH DETAILS



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ROOSEVELT LOFTS
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SAN ANGELO, TEXAS



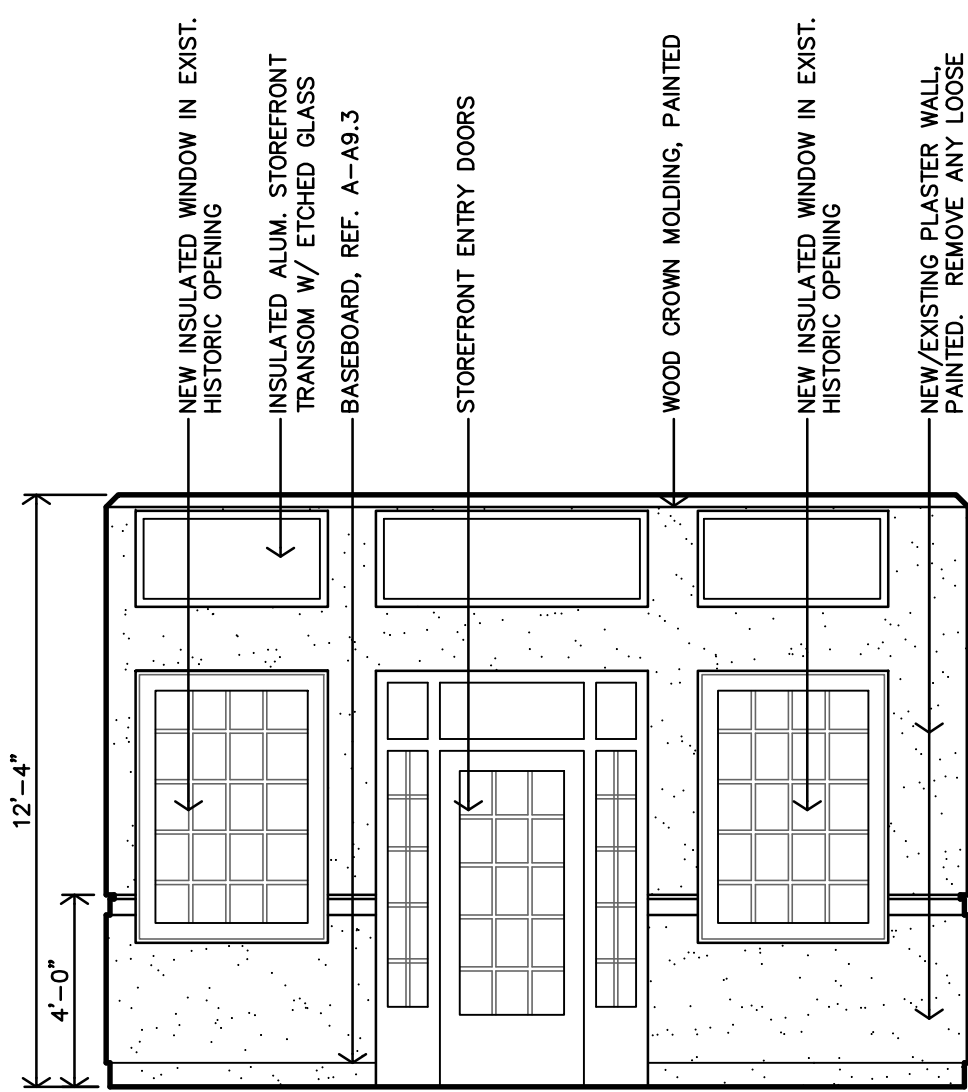
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SHEET NO.:

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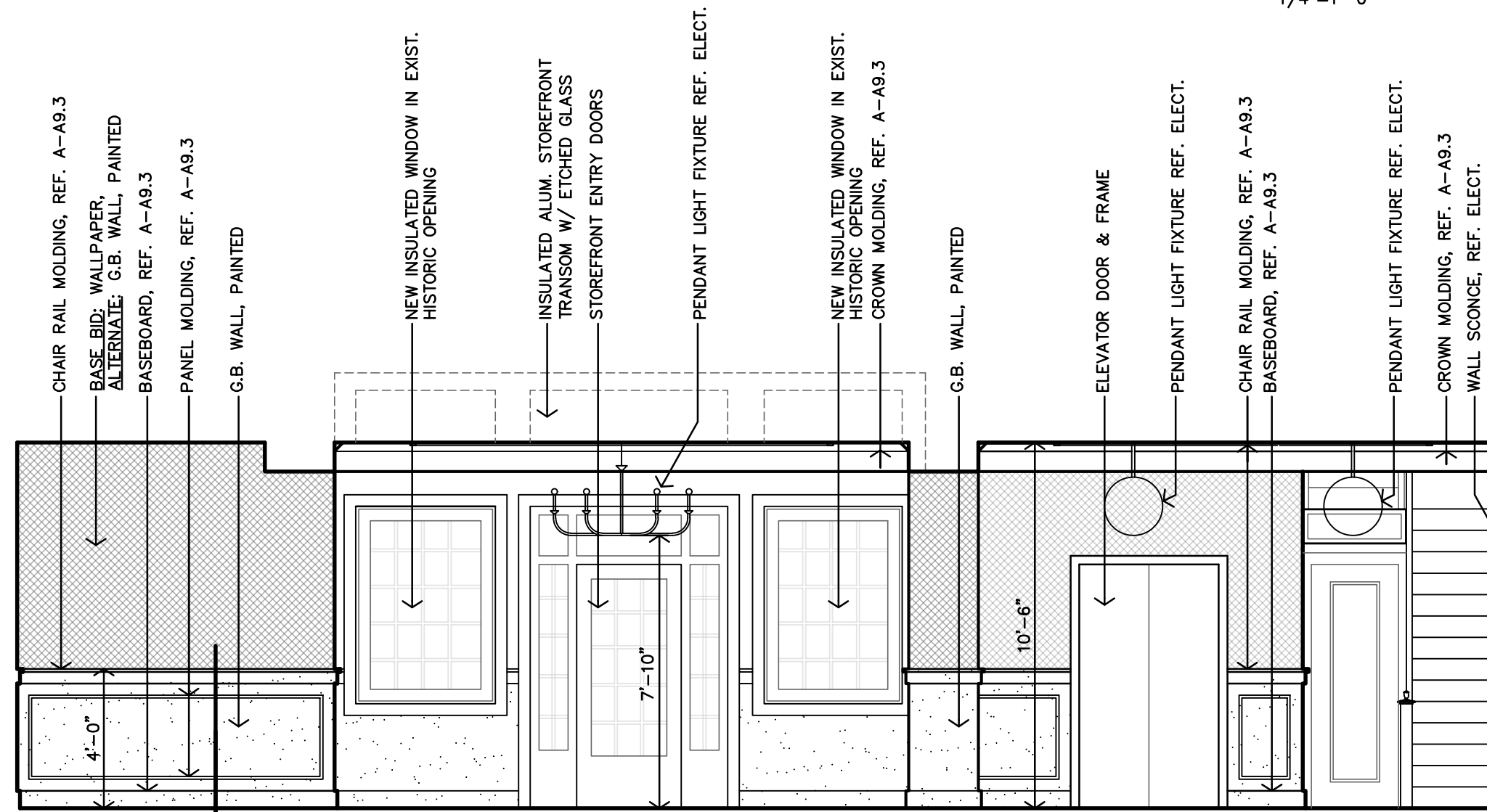
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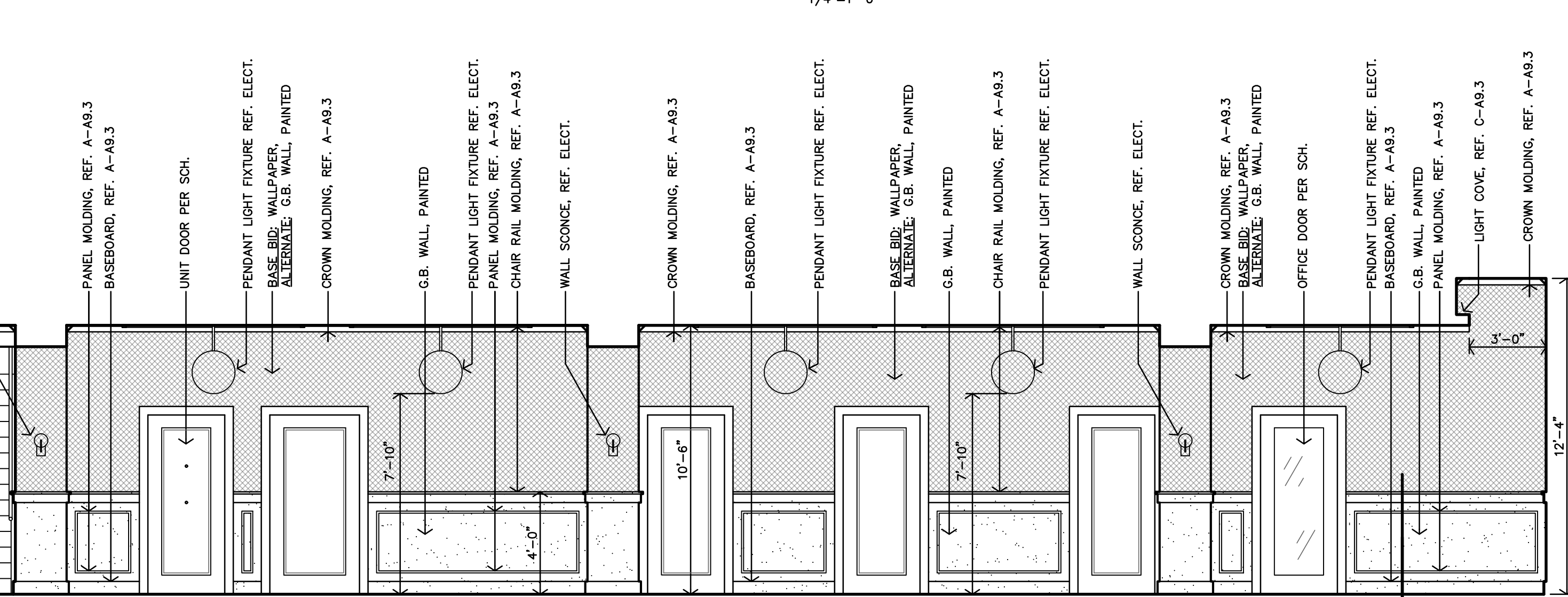
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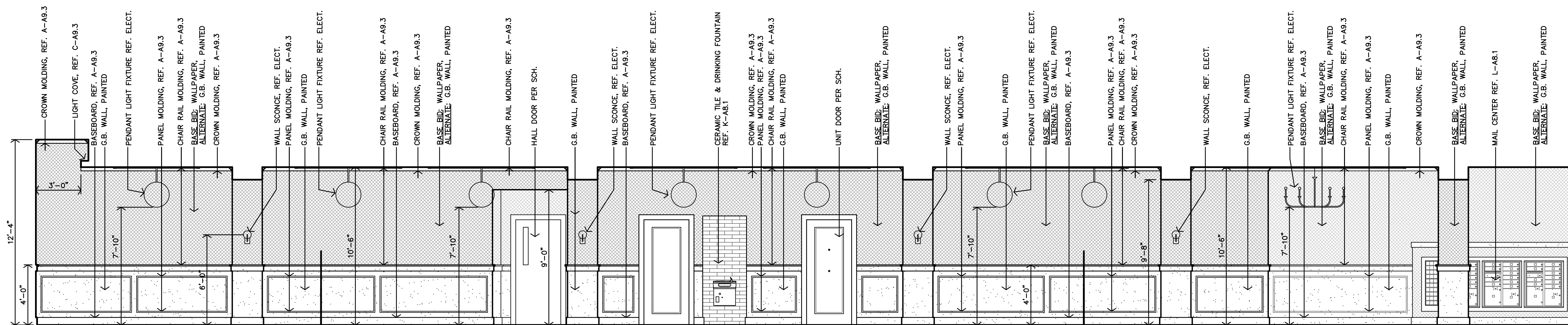
D COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



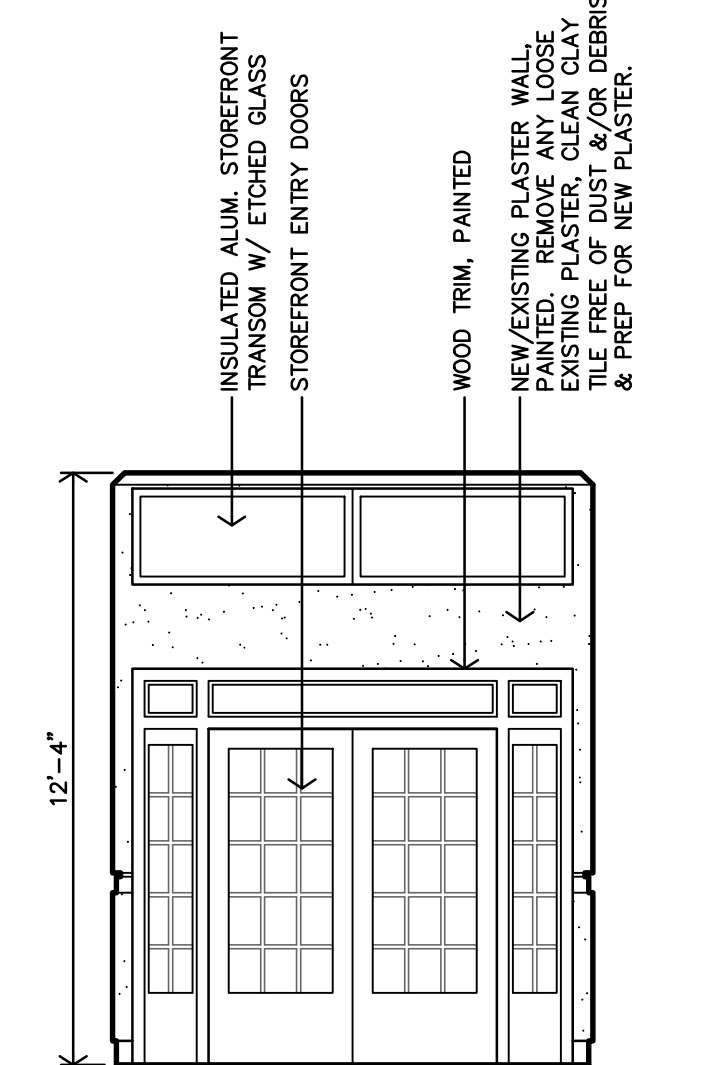
F COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



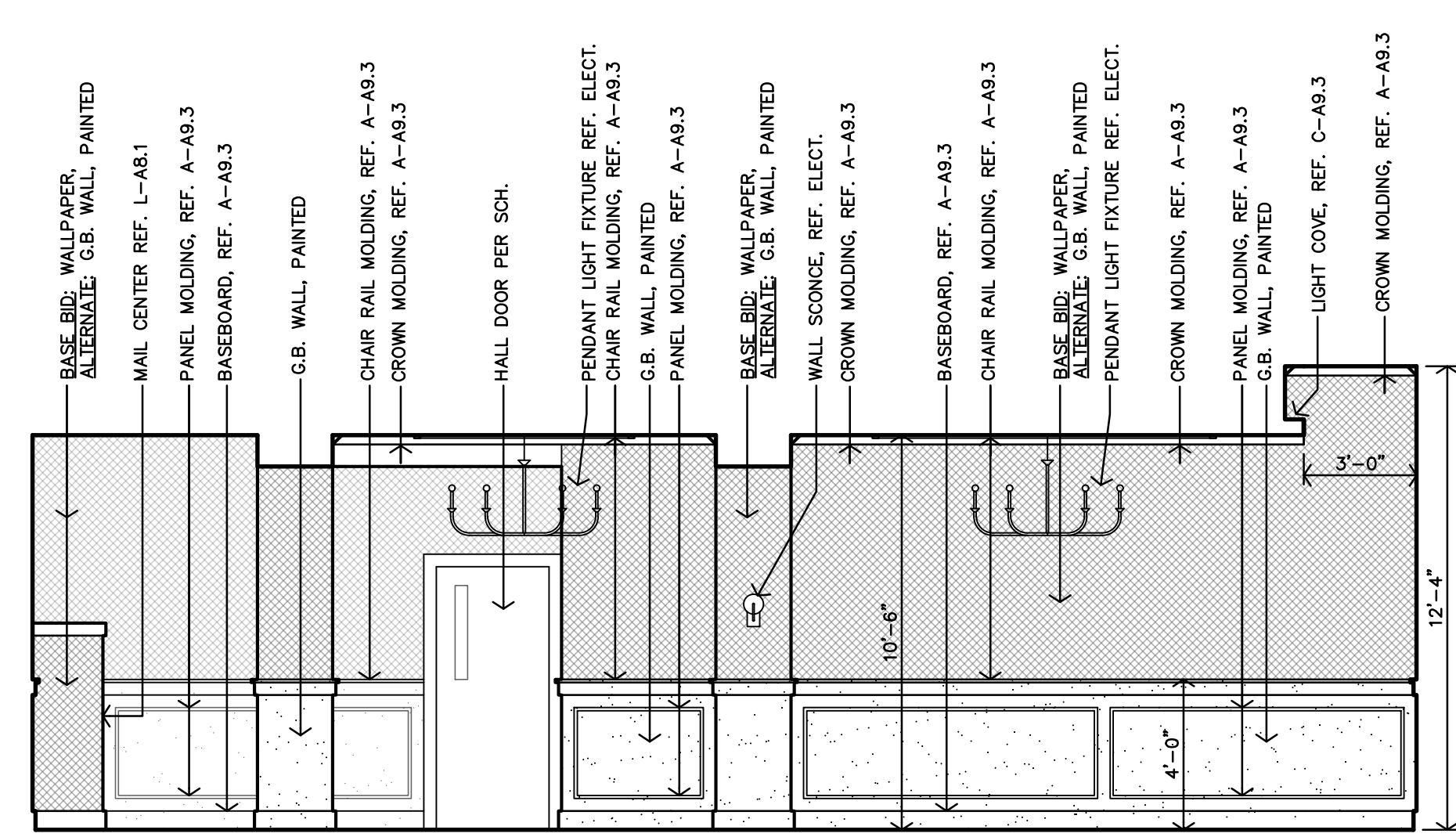
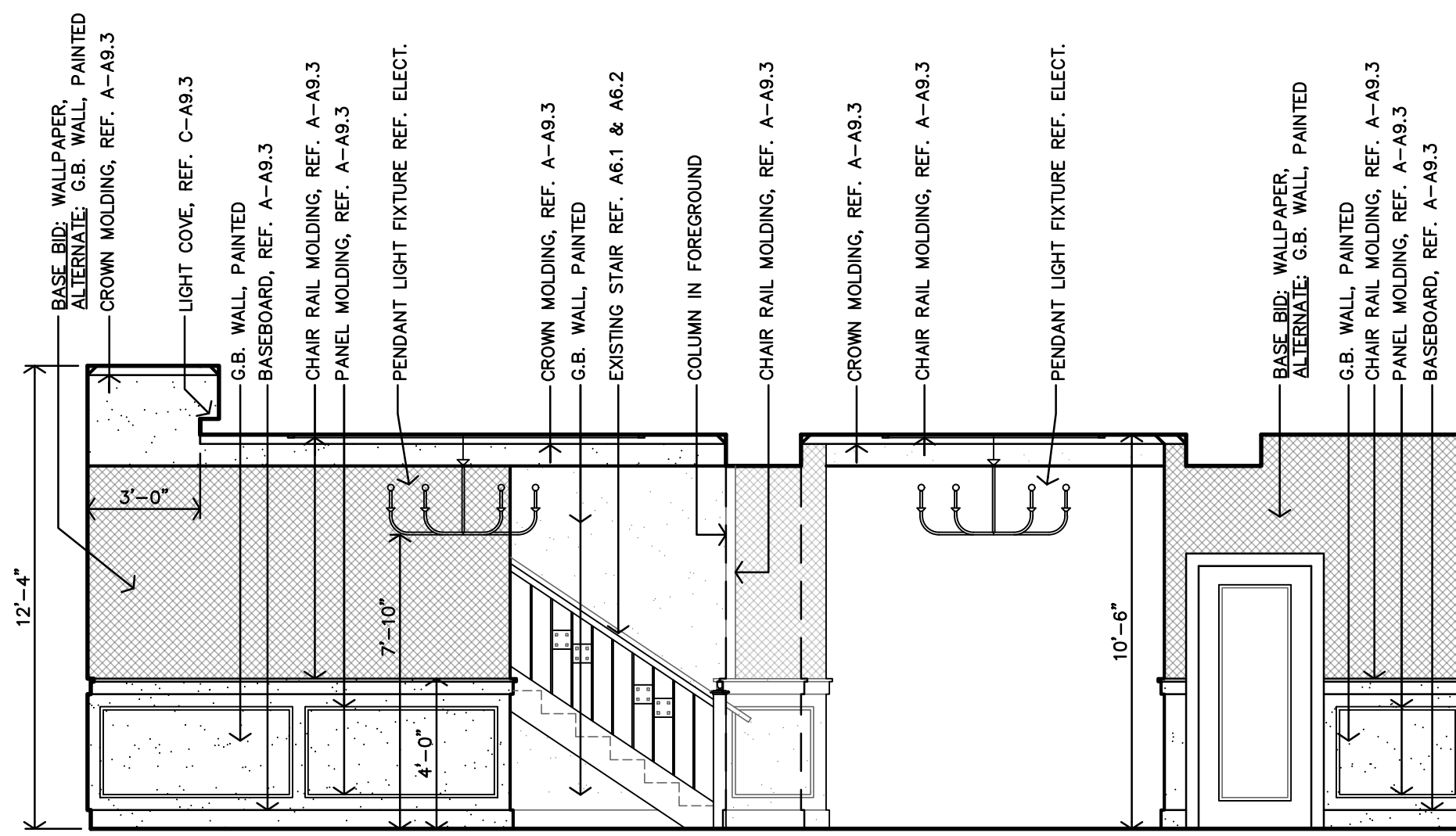
C HALL 107/COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



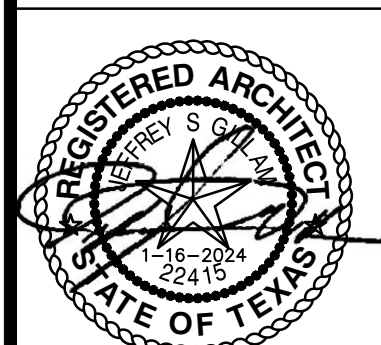
B HALL 107/COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



A HALL 107
 INTERIOR ELEVATION
 1/4"=1'-0"



E COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



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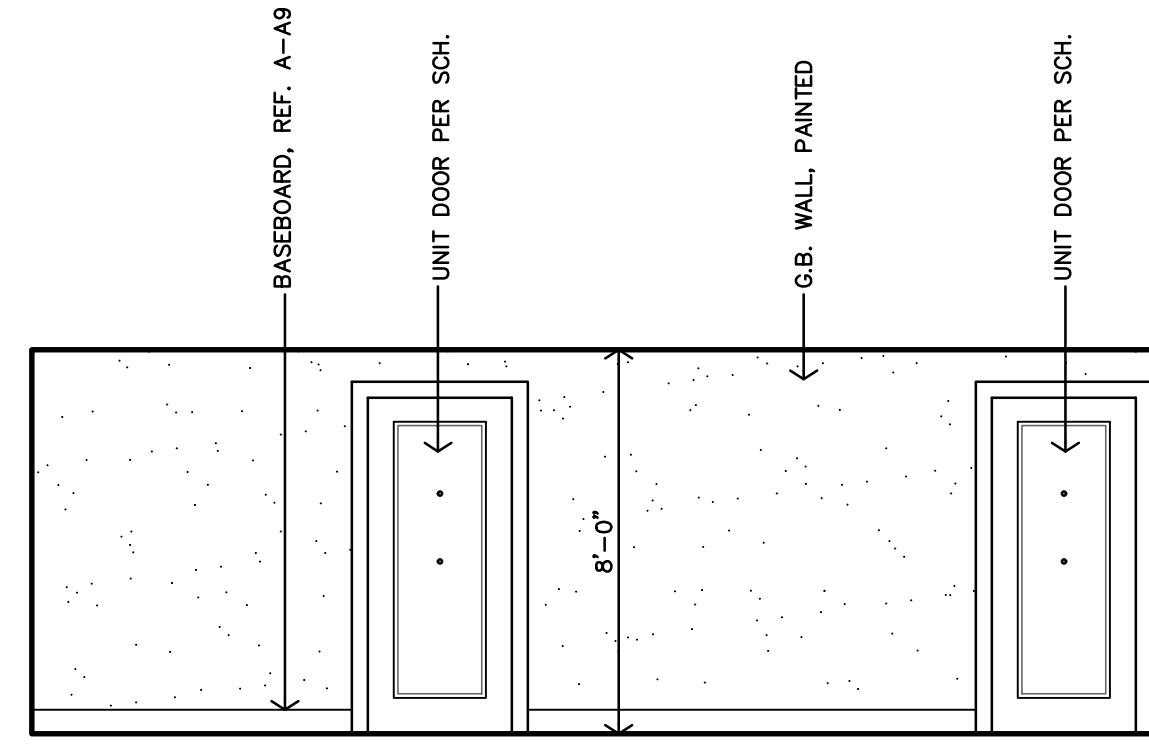
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 SAN ANGELO, TEXAS

A9.1

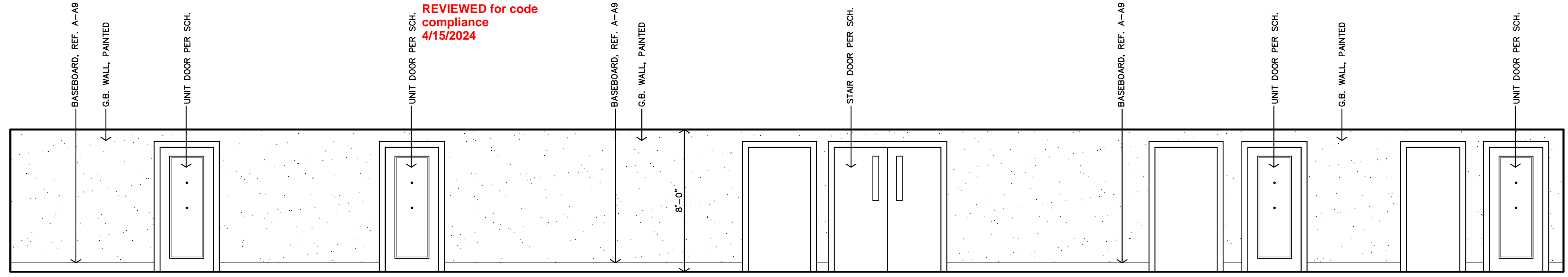
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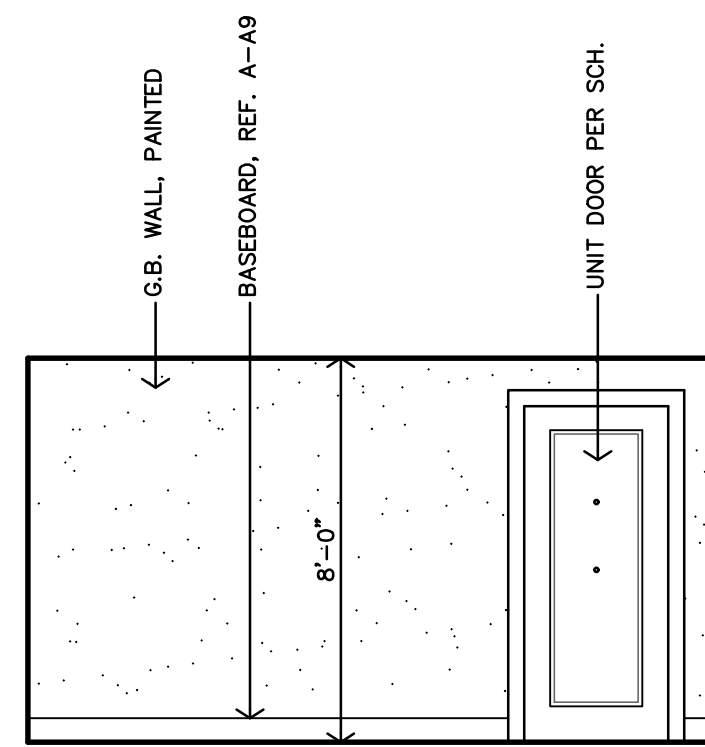
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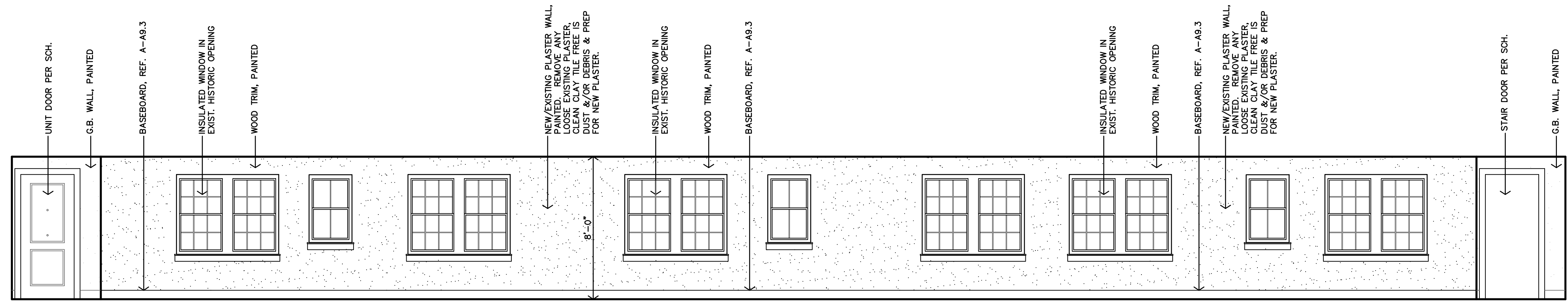
O HALL 214 & 314
INTERIOR ELEVATION
1/4"=1'-0"



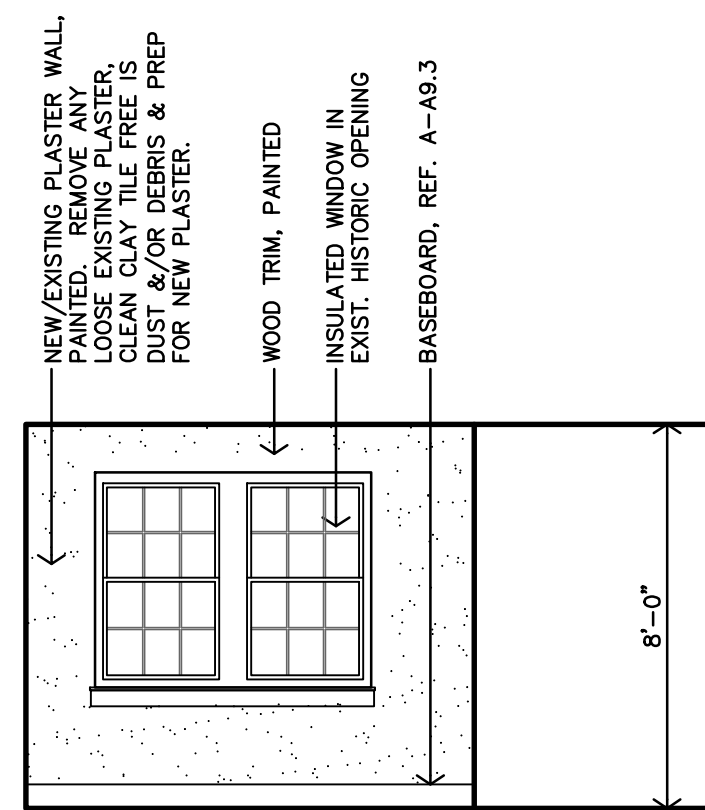
N HALL 208 & 308
INTERIOR ELEVATION
1/4"=1'-0"



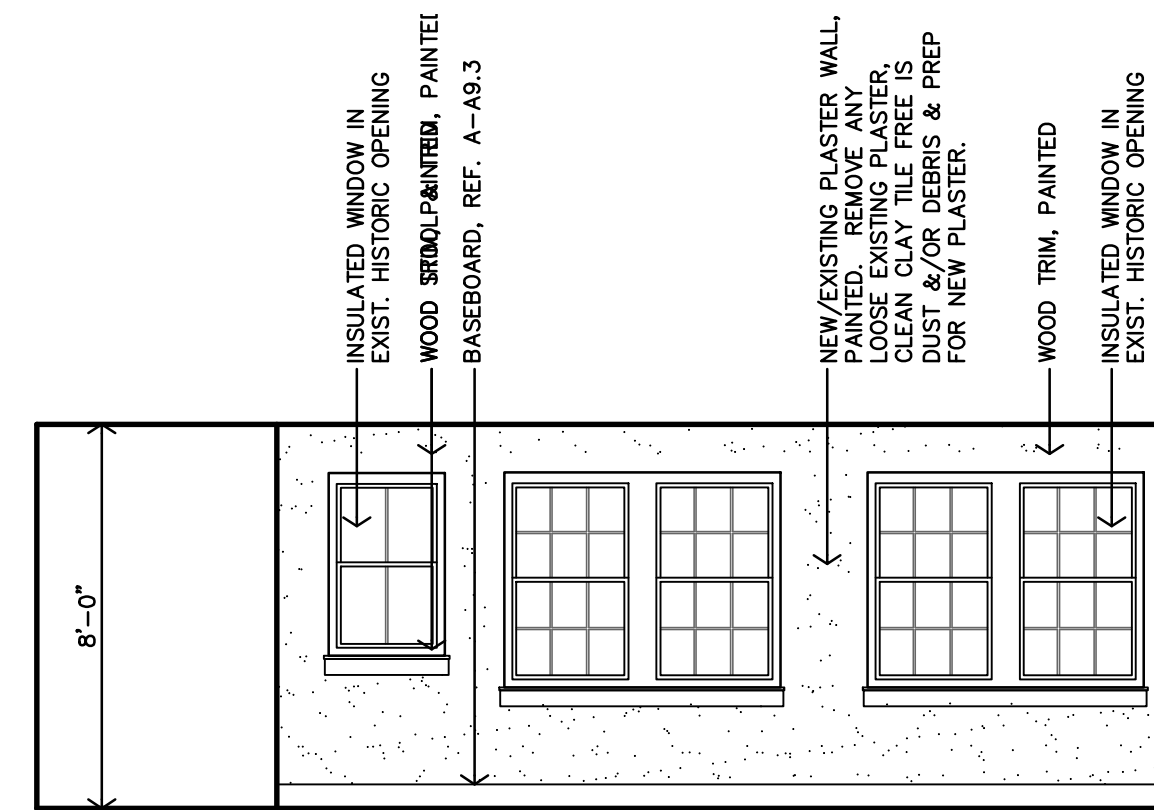
M HALL 204 & 304
INTERIOR ELEVATION
1/4"=1'-0"



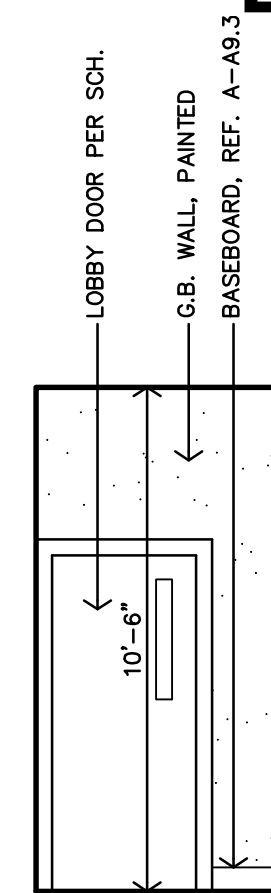
L HALL 208 & 308
INTERIOR ELEVATION
1/4"=1'-0"



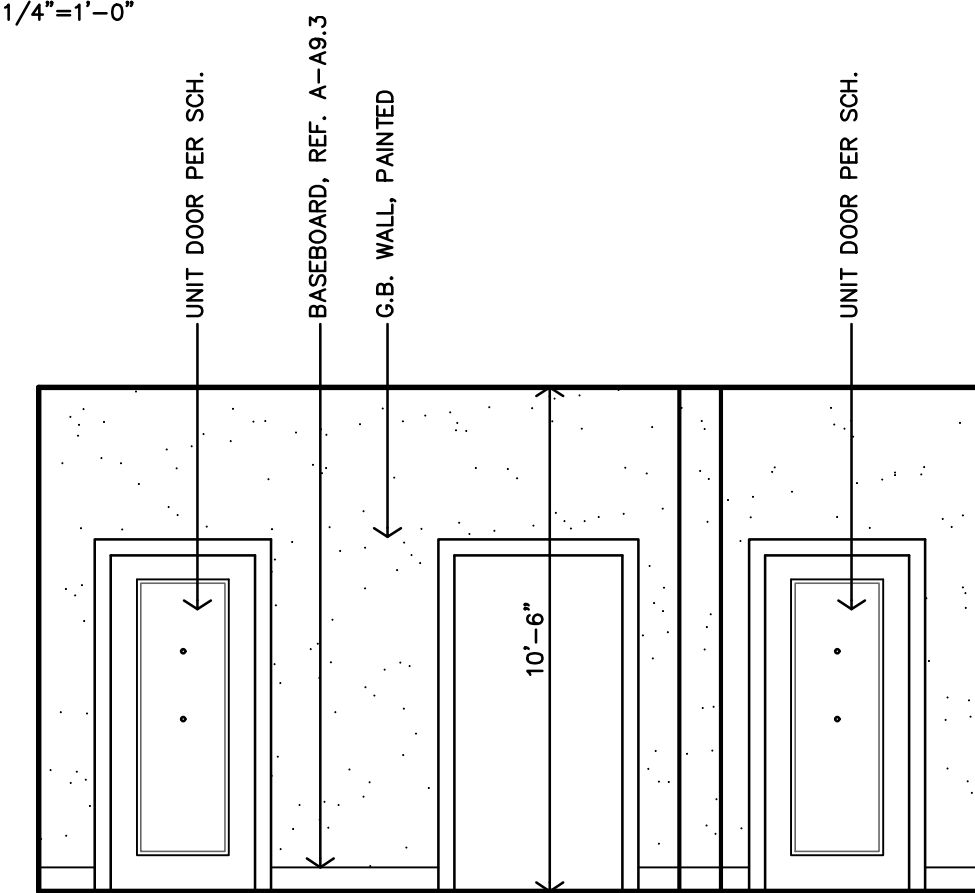
K HALL 204 & 304
INTERIOR ELEVATION
1/4"=1'-0"



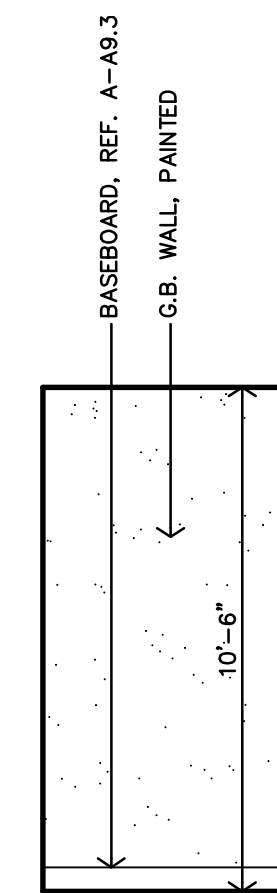
J HALL 214 & 314
INTERIOR ELEVATION
1/4"=1'-0"



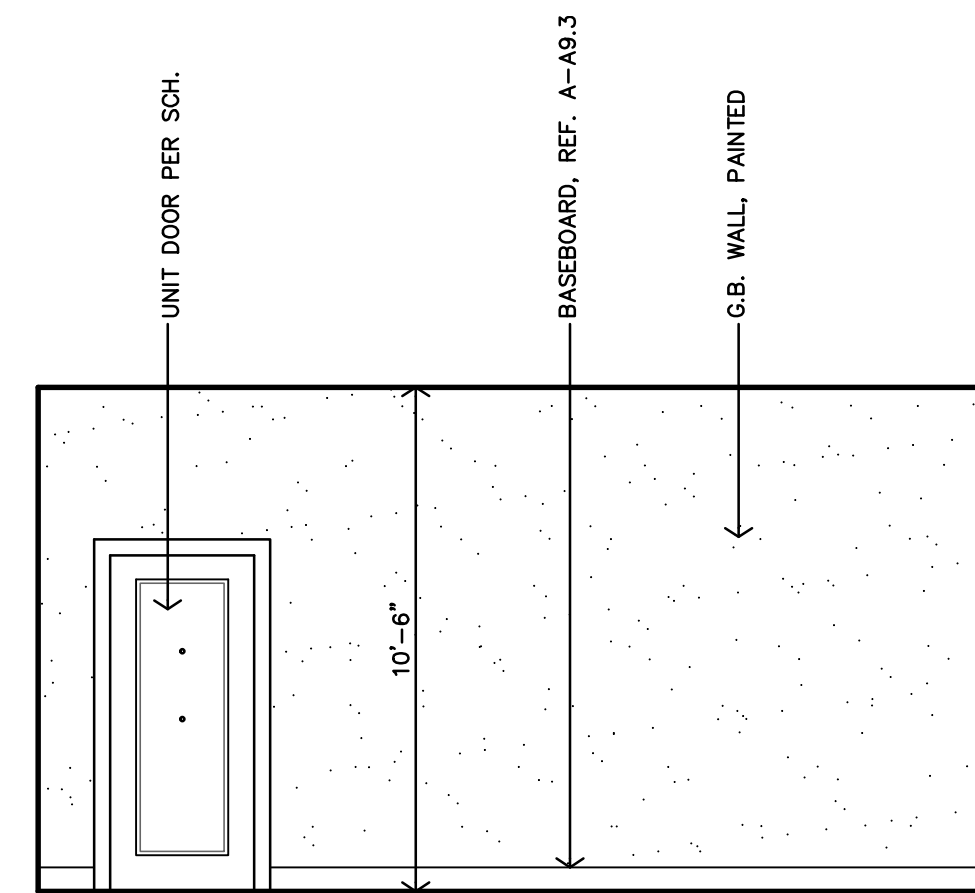
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INTERIOR ELEVATION
1/4"=1'-0"



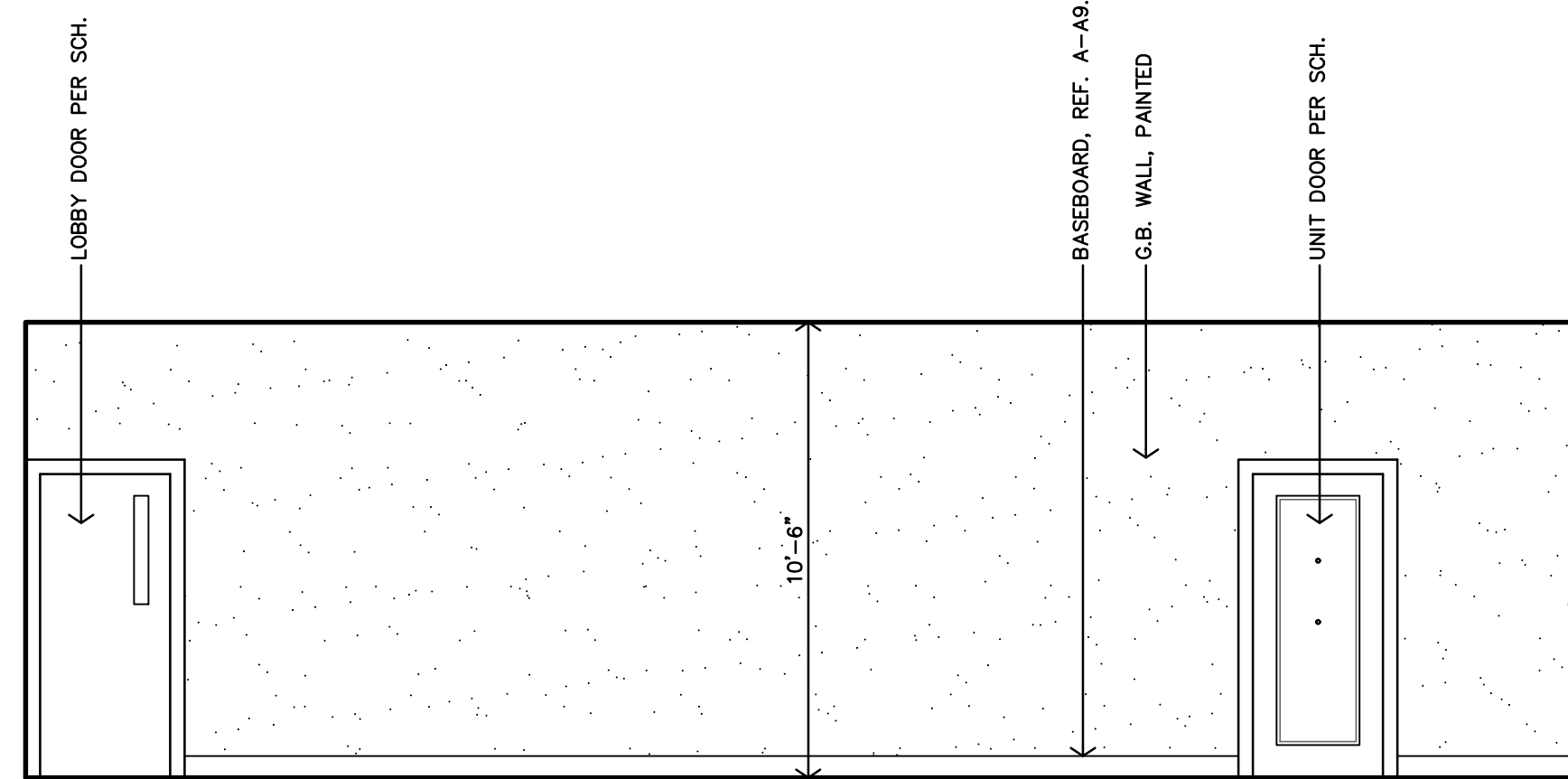
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INTERIOR ELEVATION
1/4"=1'-0"



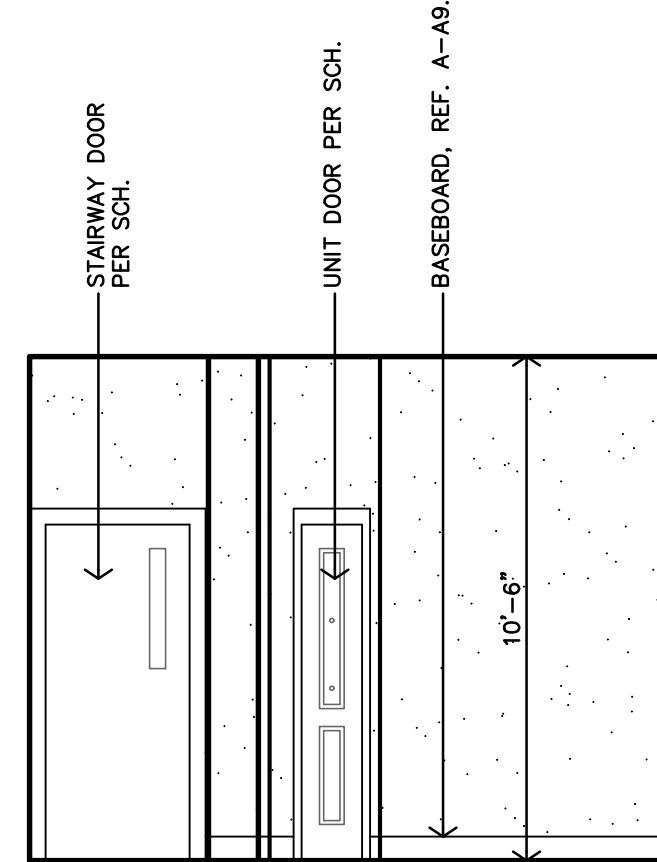
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INTERIOR ELEVATION
1/4"=1'-0"



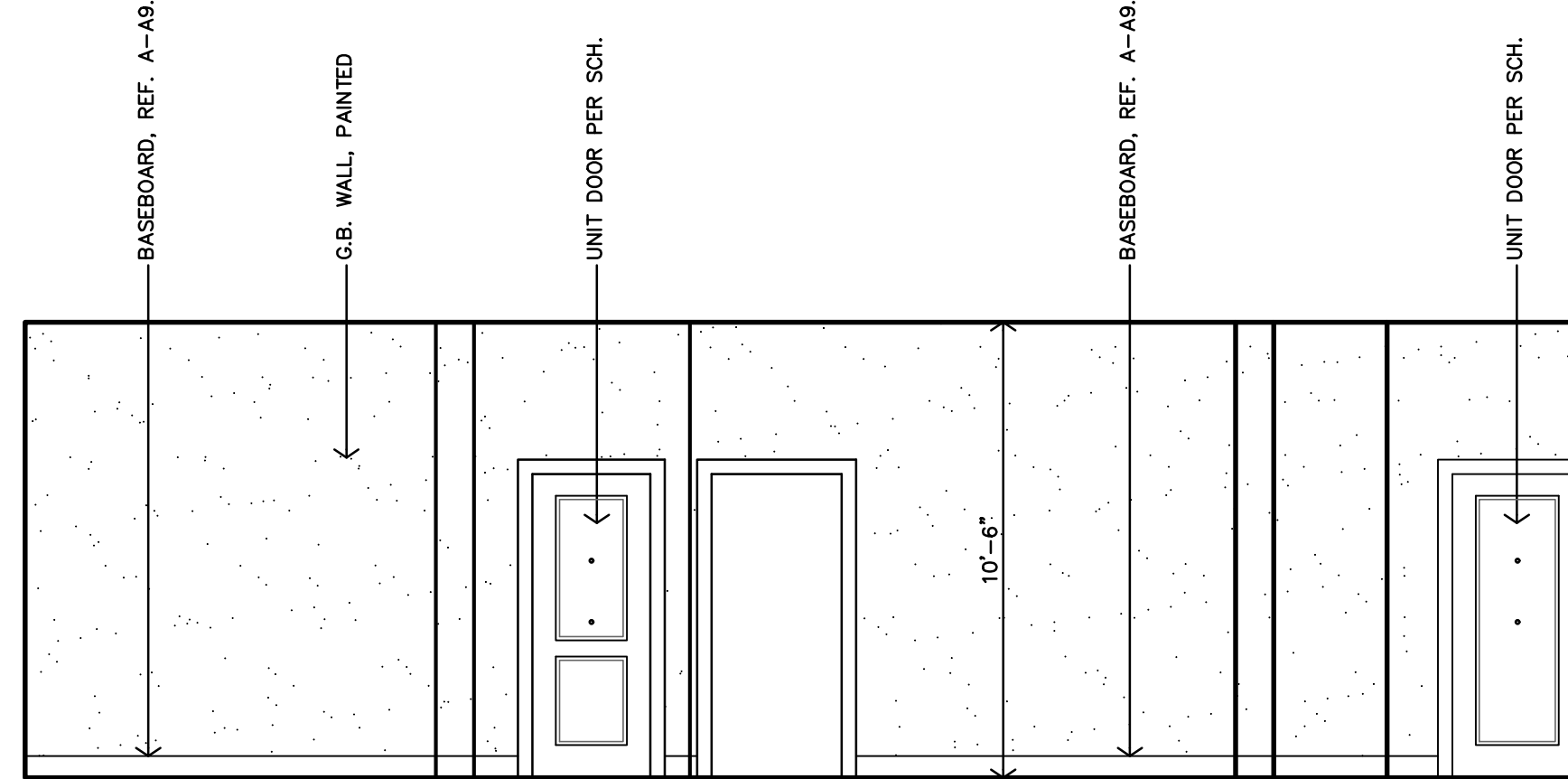
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INTERIOR ELEVATION
1/4"=1'-0"



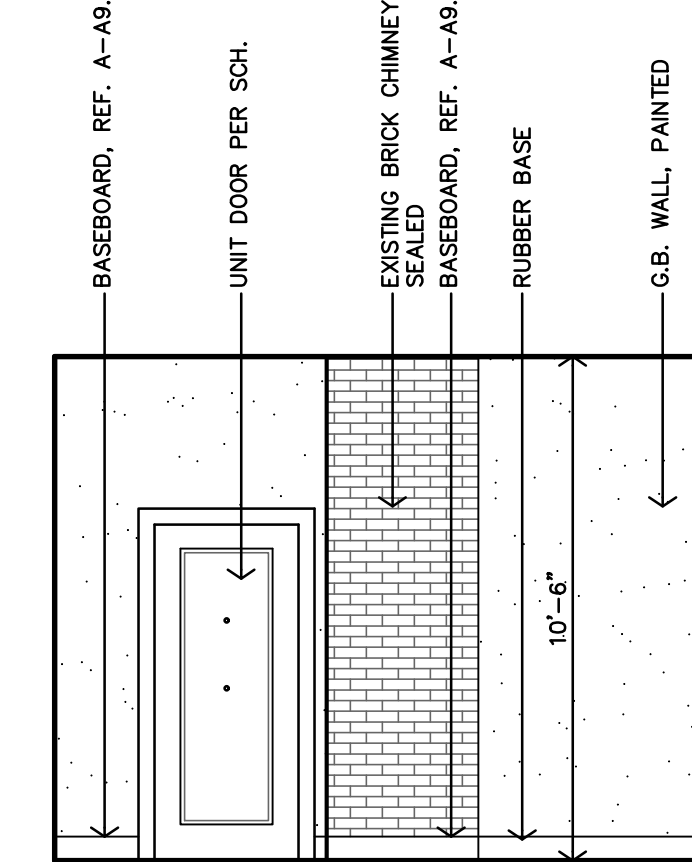
D HALL 124
INTERIOR ELEVATION
1/4"=1'-0"



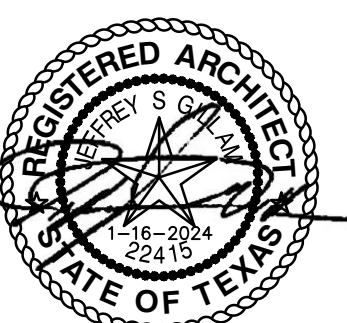
C HALL 124
INTERIOR ELEVATION
1/4"=1'-0"



B HALL 124
INTERIOR ELEVATION
1/4"=1'-0"



A HALL 124
INTERIOR ELEVATION
1/4"=1'-0"



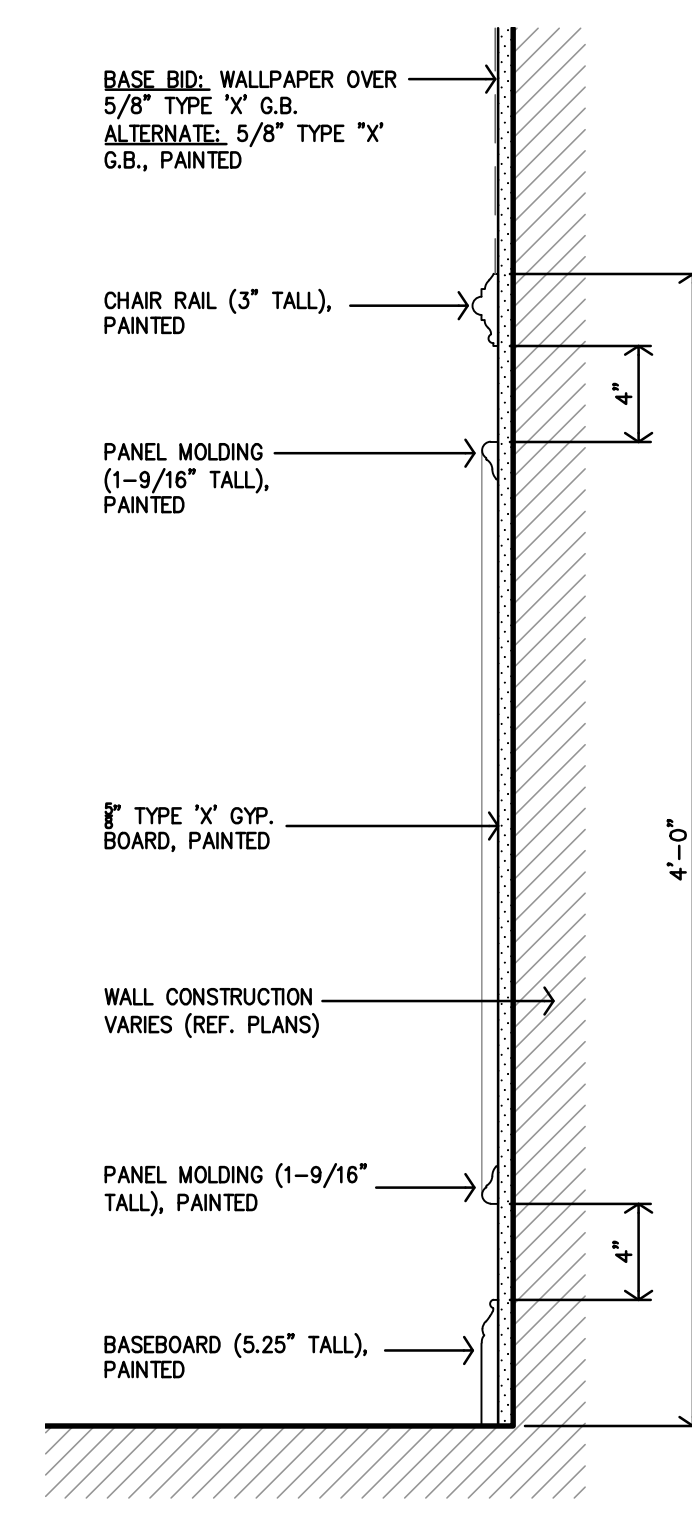
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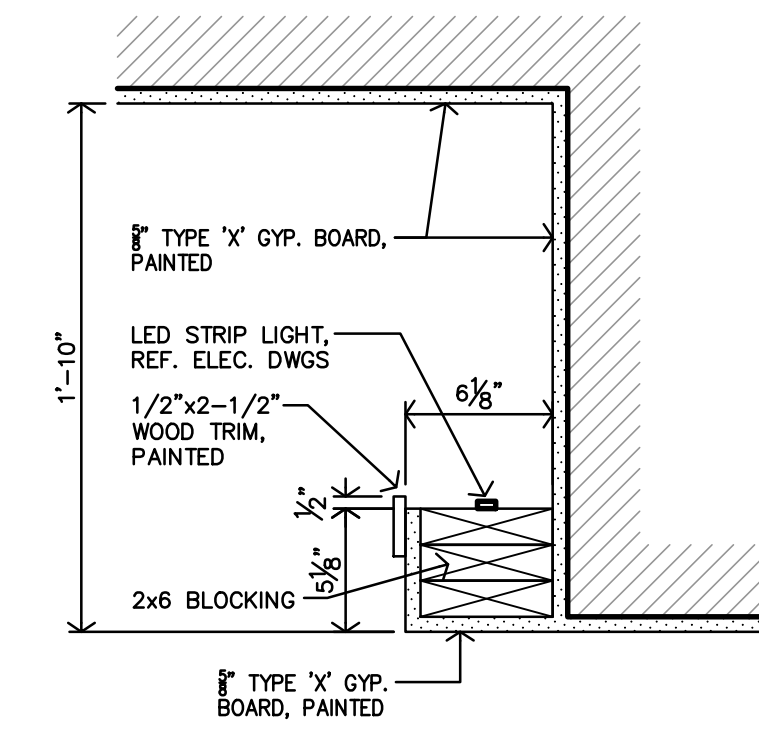
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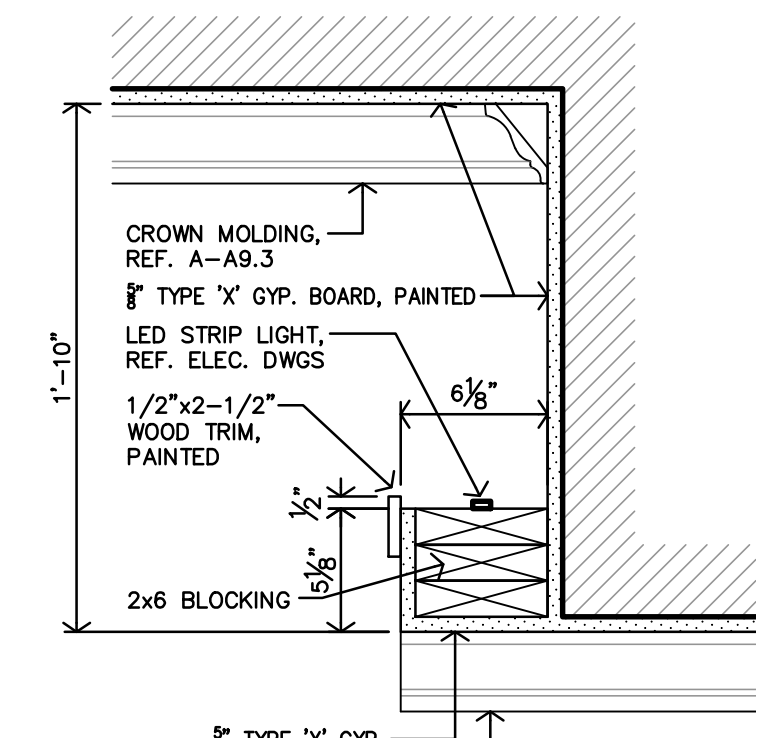
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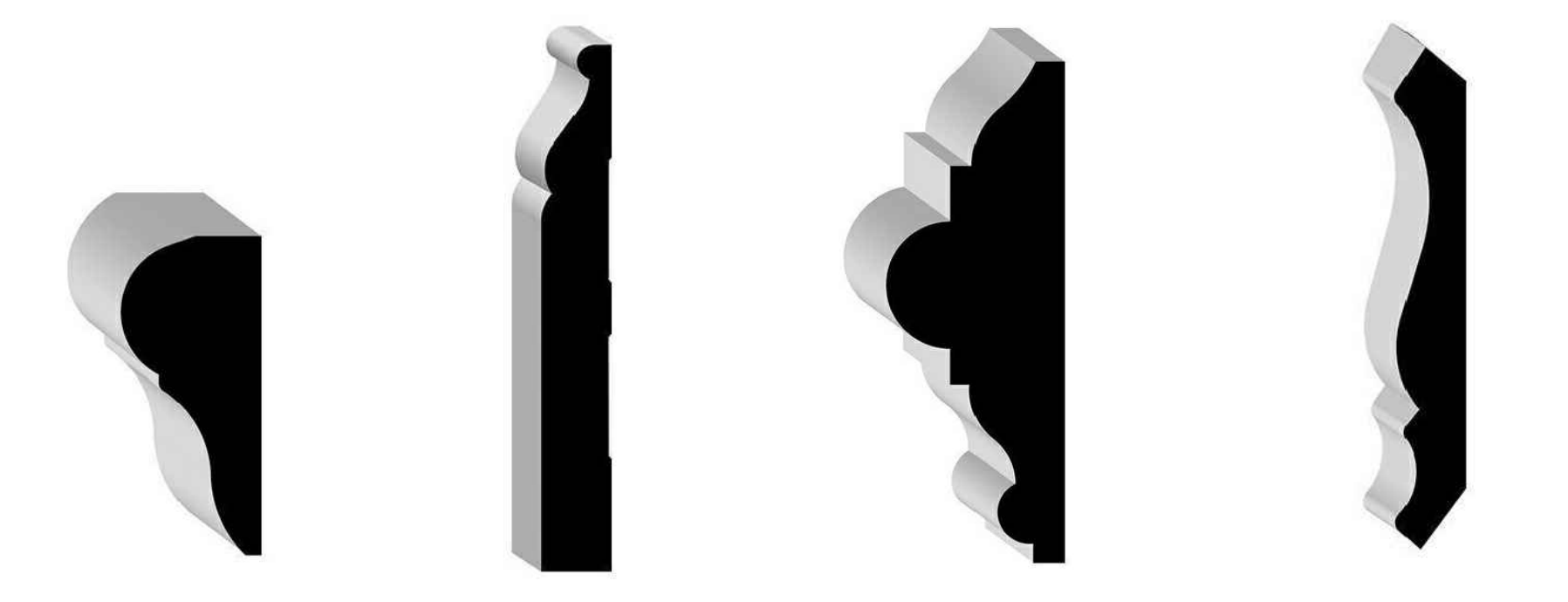
B SECTION @ WALL PANELS
 1-1/2" = 1'-0"



D SECTION @ LIGHT COVE
 1-1/2" = 1'-0"



C SECTION @ LIGHT COVE
 1-1/2" = 1'-0"

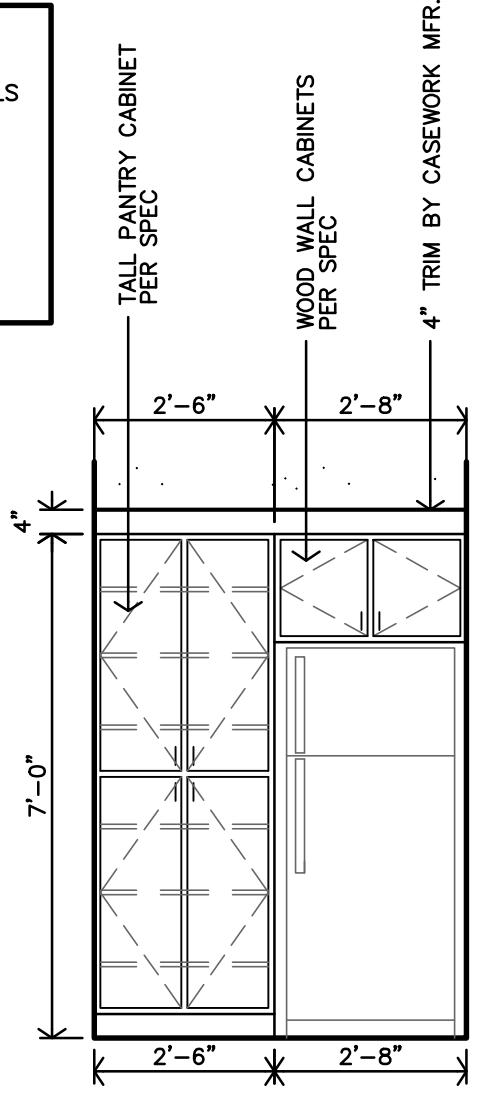


A TRIM AND MOLDING PROFILES
 N.T.S.

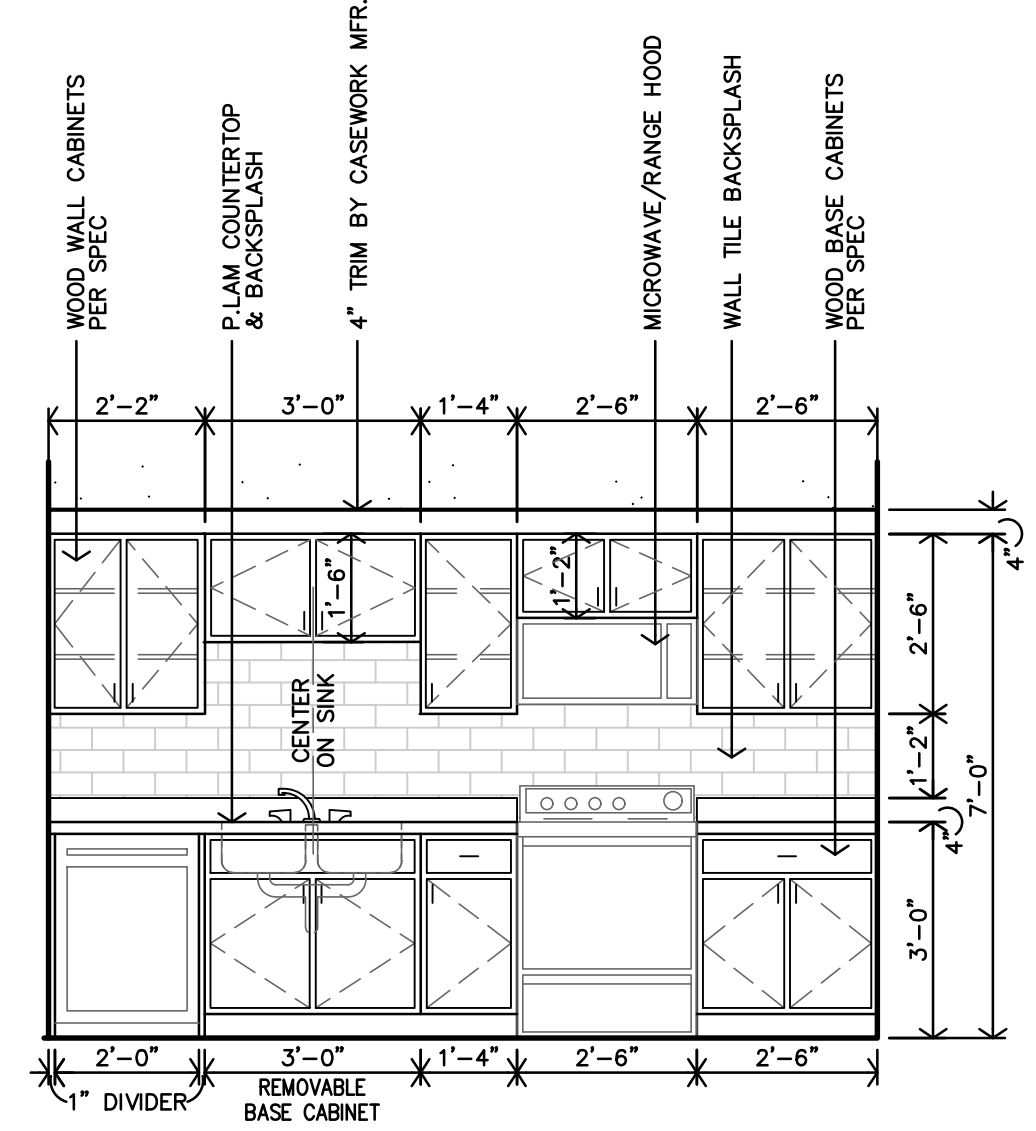


CASEWORK NOTES:

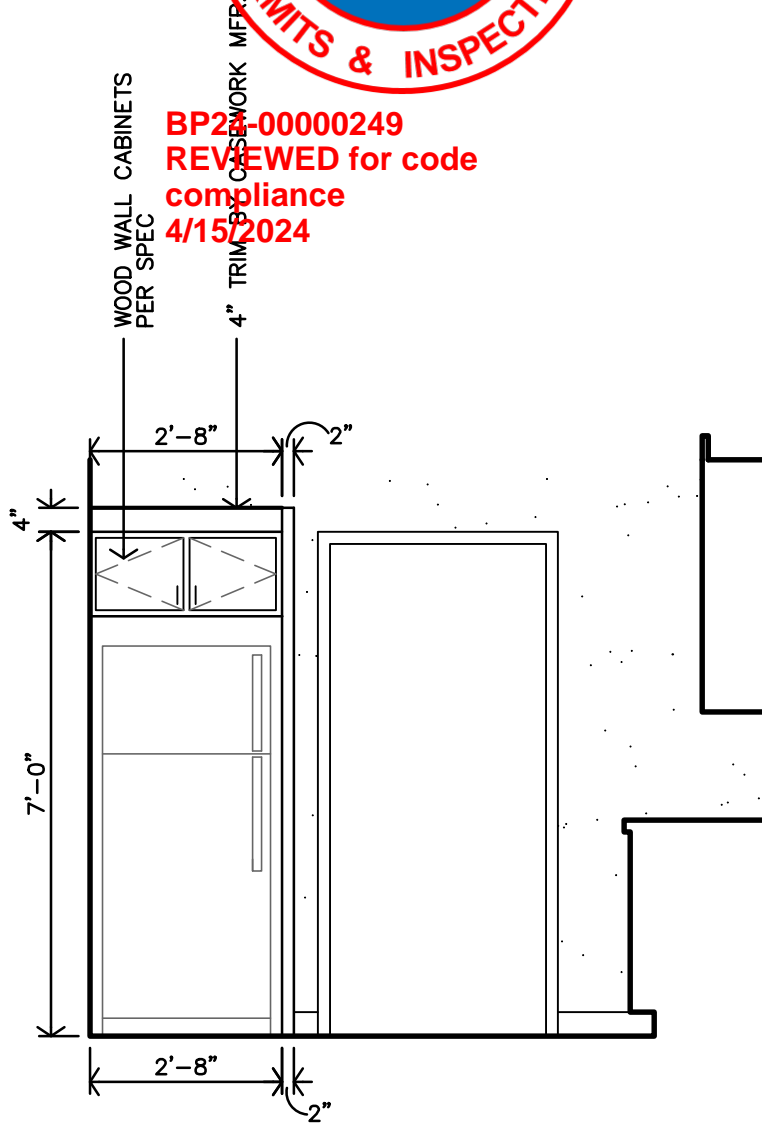
- REF SHEET A2.0 FOR GENERAL NOTES.
- CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS, BRACES, ETC.
- REMOVABLE CABINETS TO PROVIDE 30" CLEAR MIN. FLOORING & WALL FINISH TO BE CONTINUOUS AT REMOVABLE CABINETS & APPLIANCES.
- REF. CASEWORK SECTIONS ON SHEET A9.5
- ALL BLOCKING TO BE 2x8 FIRE TREATED.



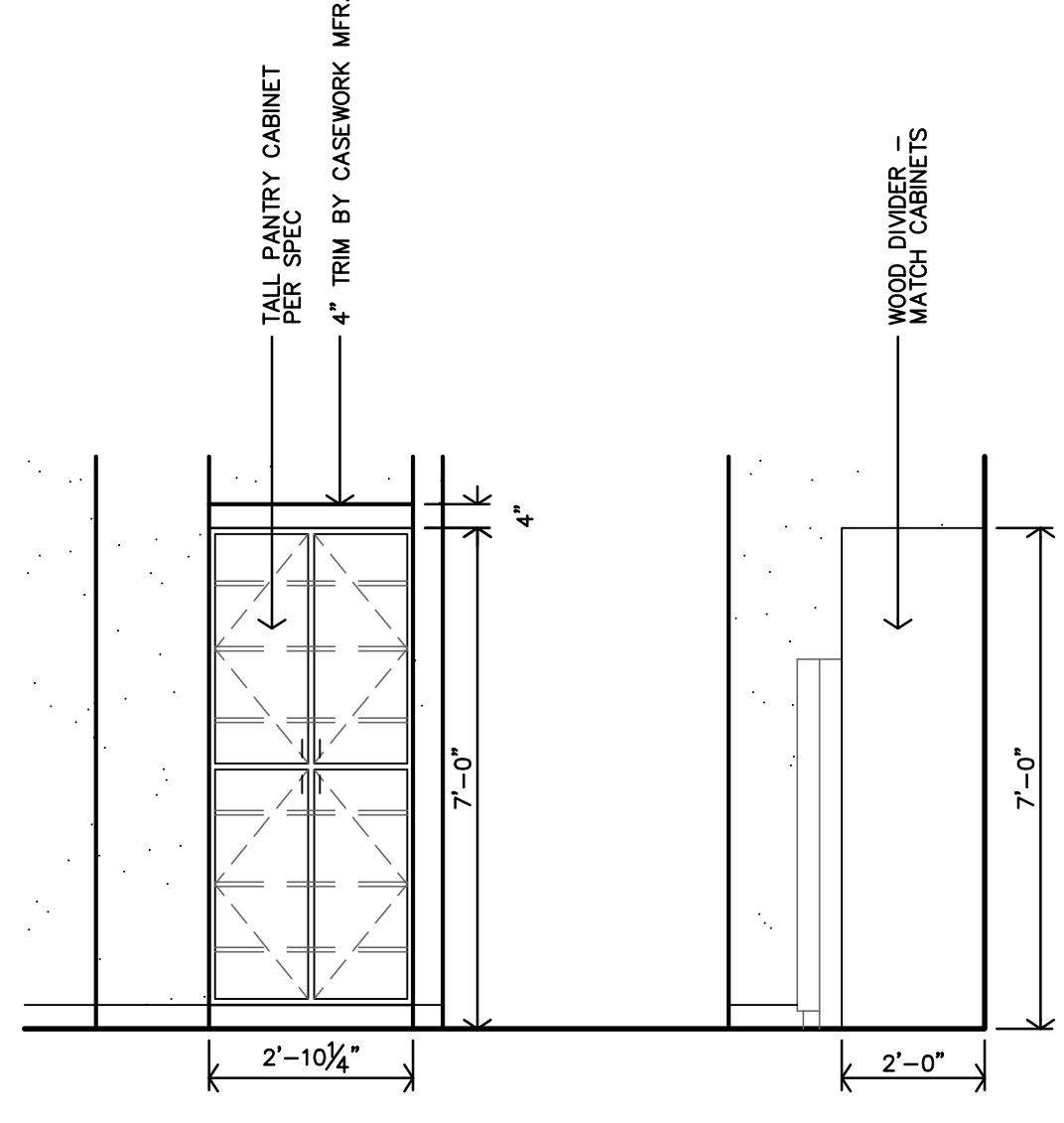
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ADAPTABLE KITCHEN - TYPE #7 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 16 (#212), APT. 17 (#213), APT. 24 (#312), APT. 25 (#313)



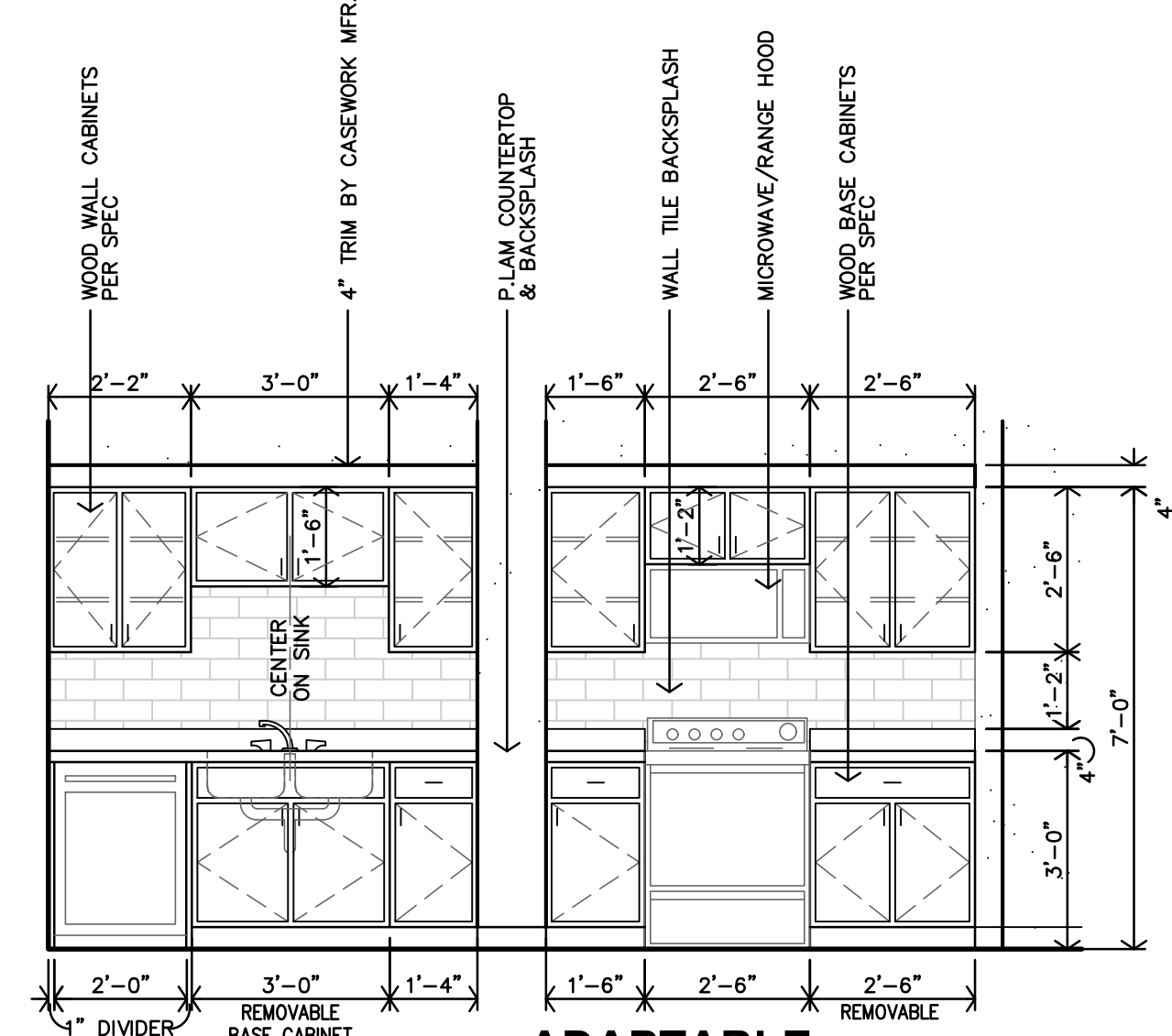
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ADAPTABLE KITCHEN - TYPE #7 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 16 (#212), APT. 17 (#213), APT. 24 (#312), APT. 25 (#313)



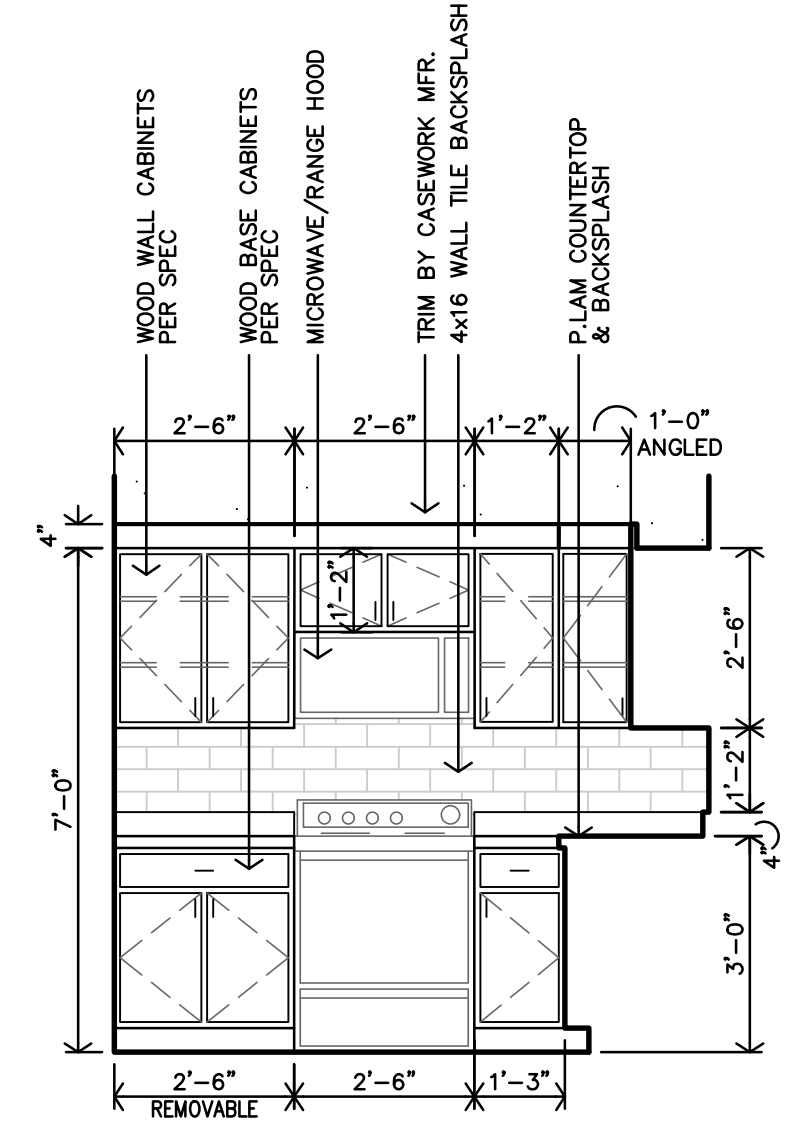
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ADAPTABLE KITCHEN - TYPE #6 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 14 (#209), APT. 22 (#309)



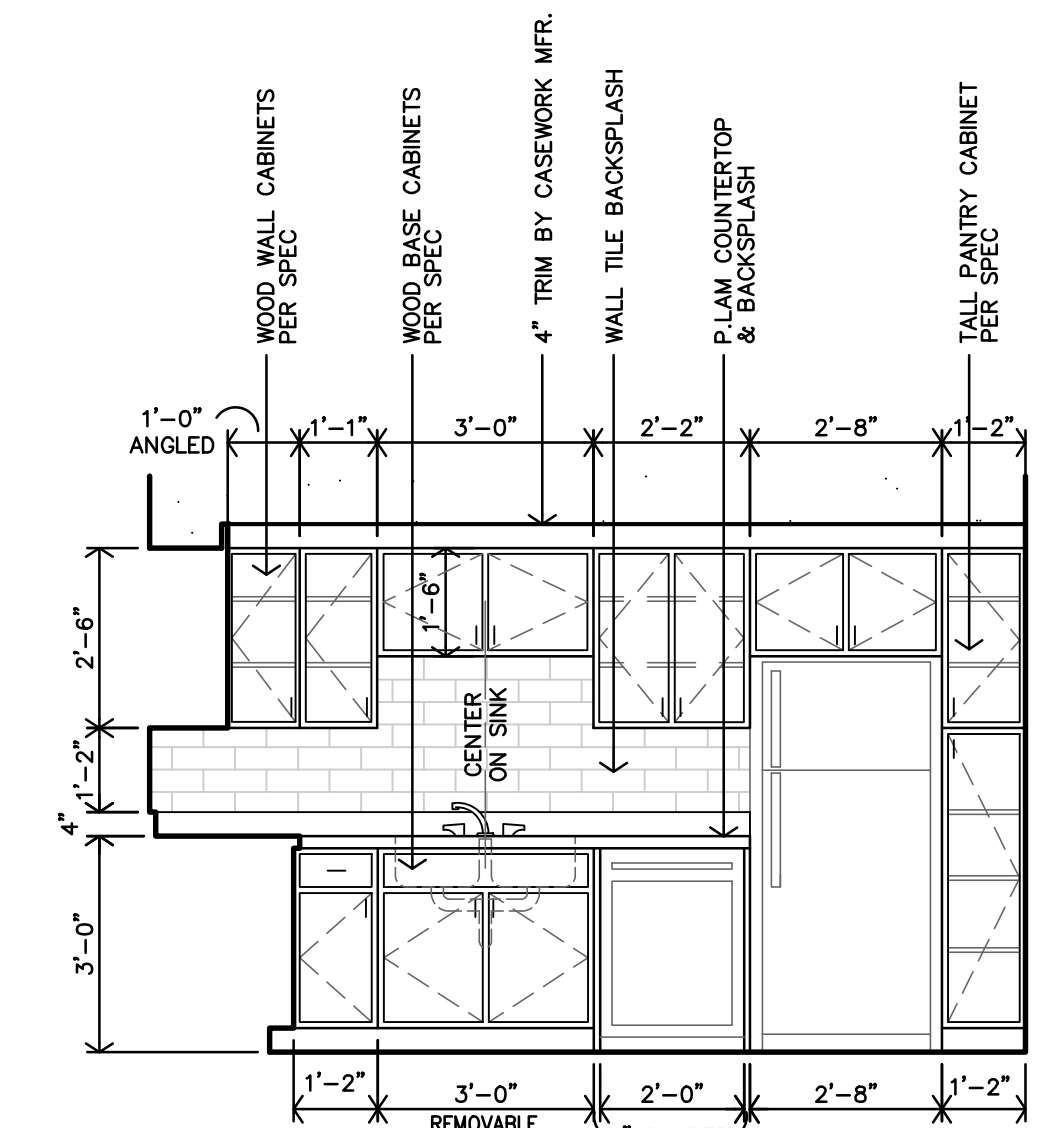
M
ADAPTABLE KITCHEN - TYPE #6 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 14 (#209), APT. 22 (#309)



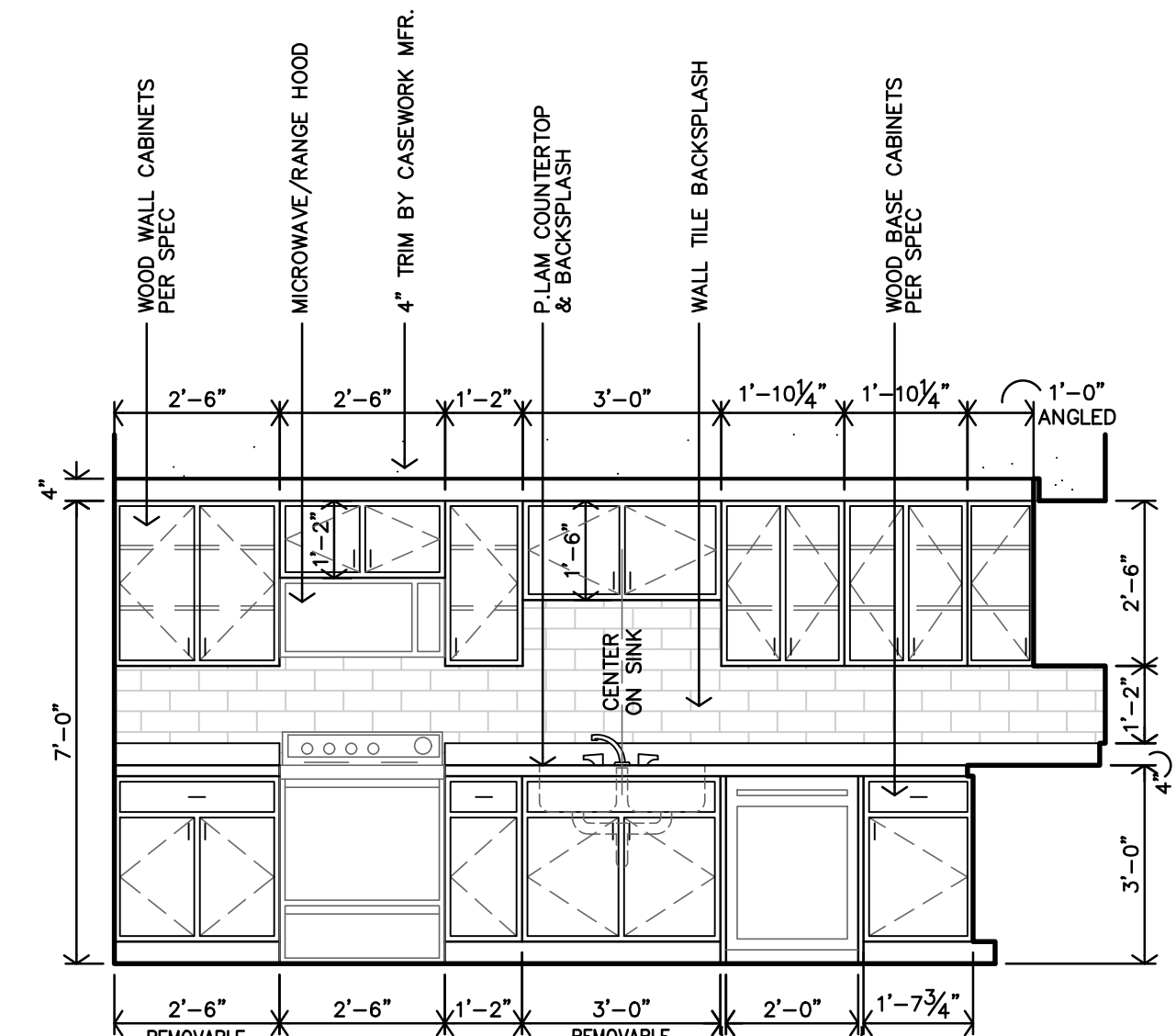
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ADAPTABLE KITCHEN - TYPE #6 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 14 (#209), APT. 22 (#309)



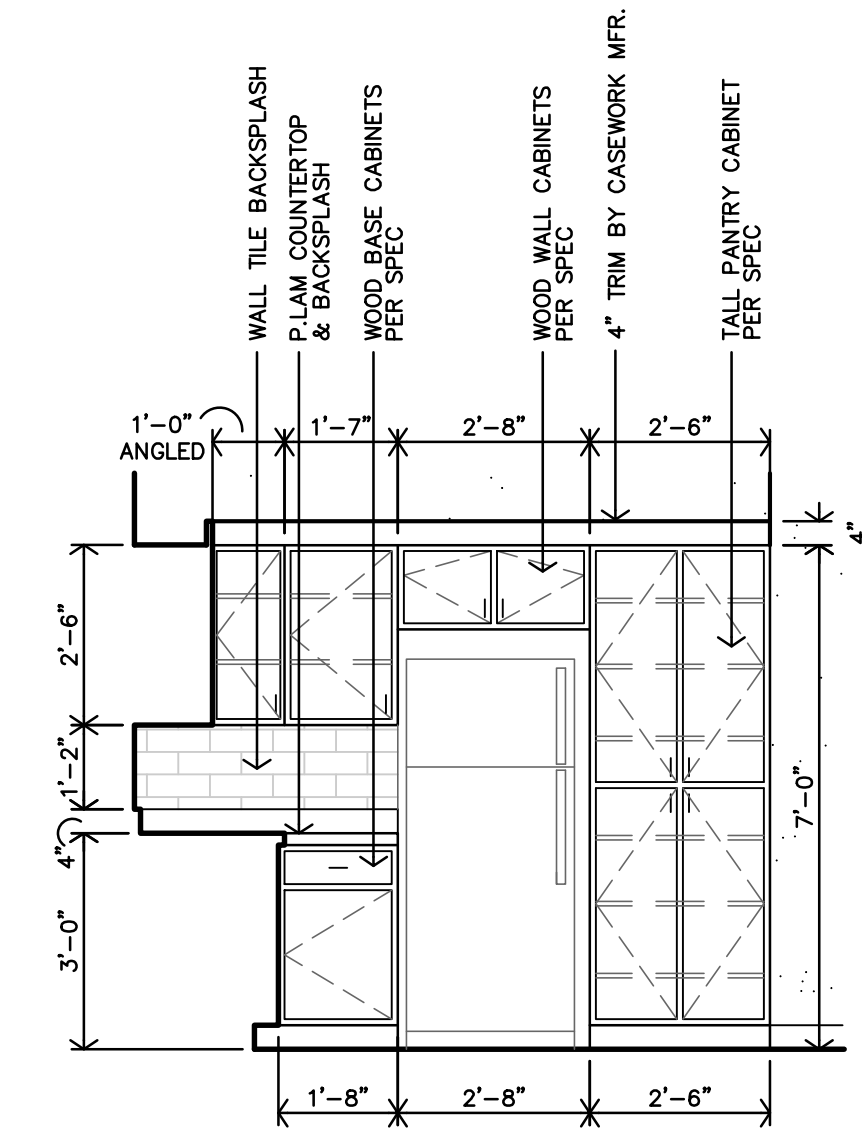
K
ADAPTABLE KITCHEN - TYPE #5 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 11 (#202), APT. 19 (#302)



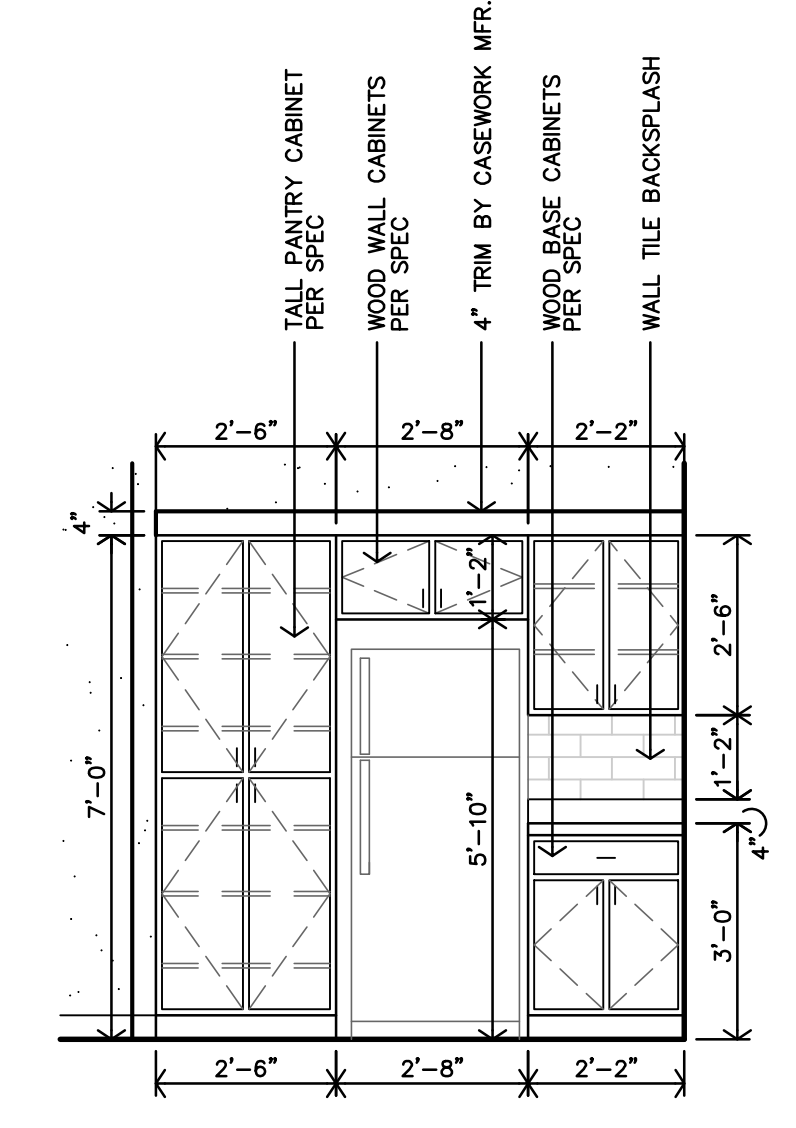
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ADAPTABLE KITCHEN - TYPE #5 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 11 (#202), APT. 19 (#302)



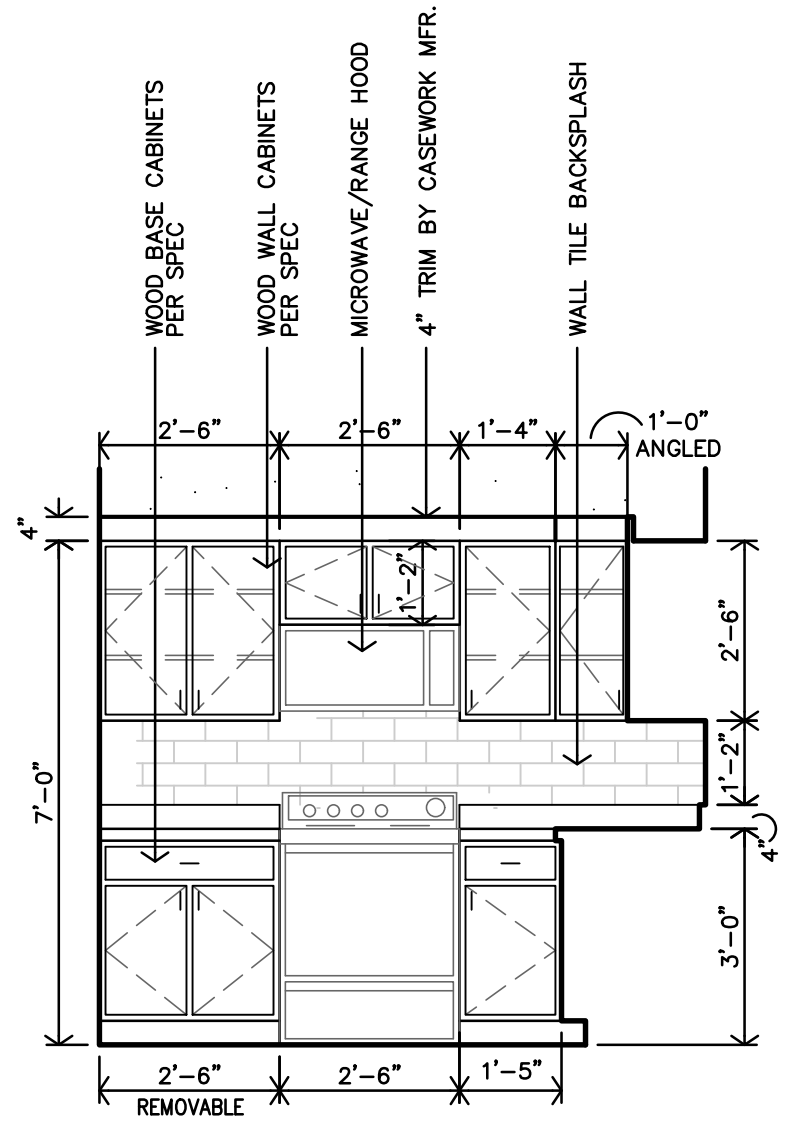
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ADAPTABLE KITCHEN - TYPE #4 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 9 (#127)



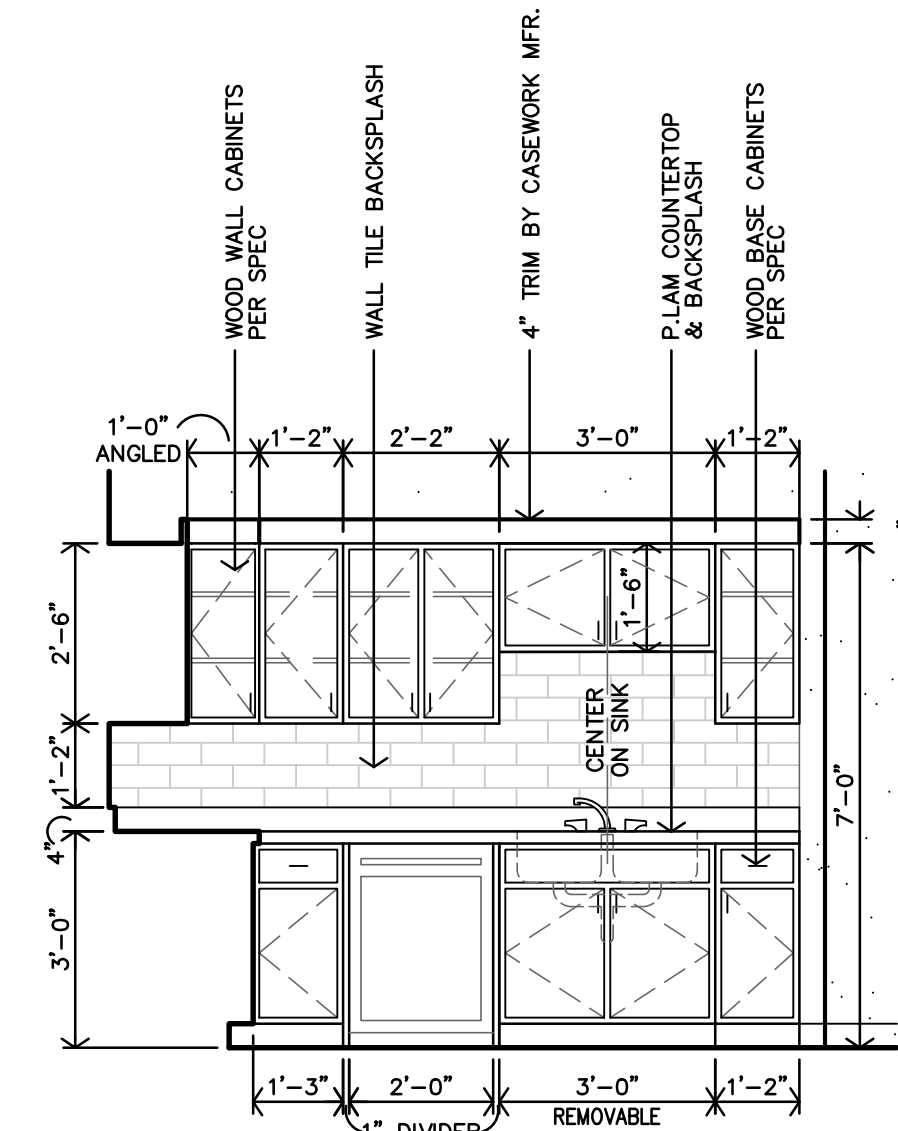
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ADAPTABLE KITCHEN - TYPE #4 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 9 (#127)



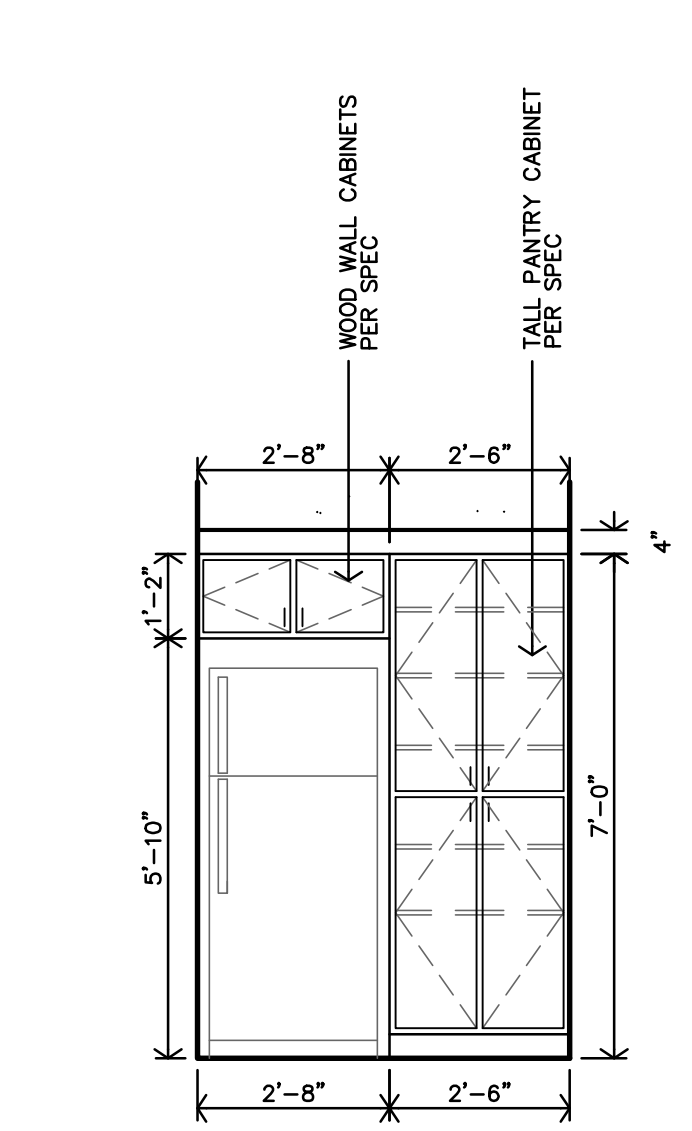
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ADAPTABLE KITCHEN - TYPE #3 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 8 (#126)



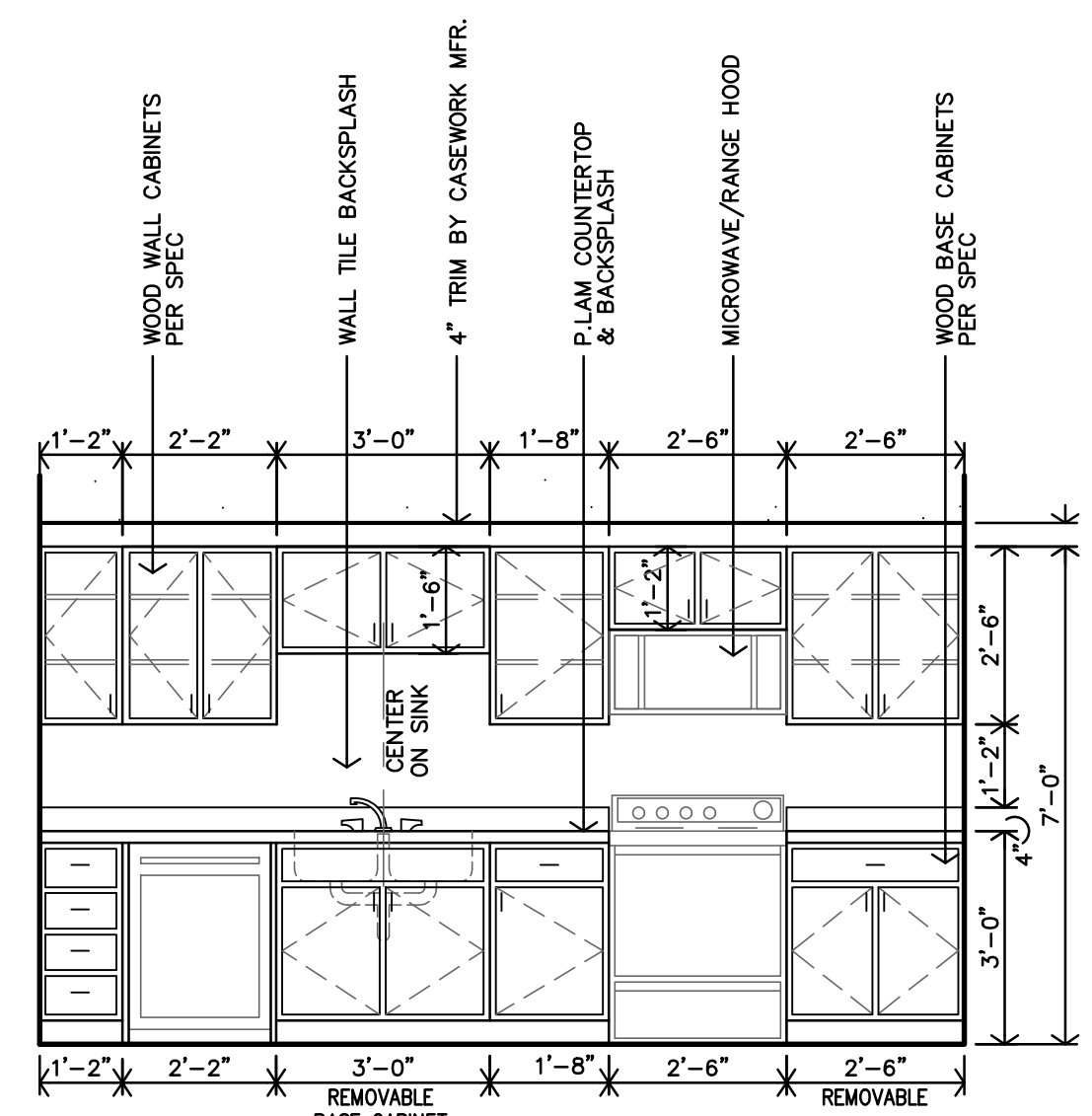
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ADAPTABLE KITCHEN - TYPE #3 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 8 (#126)



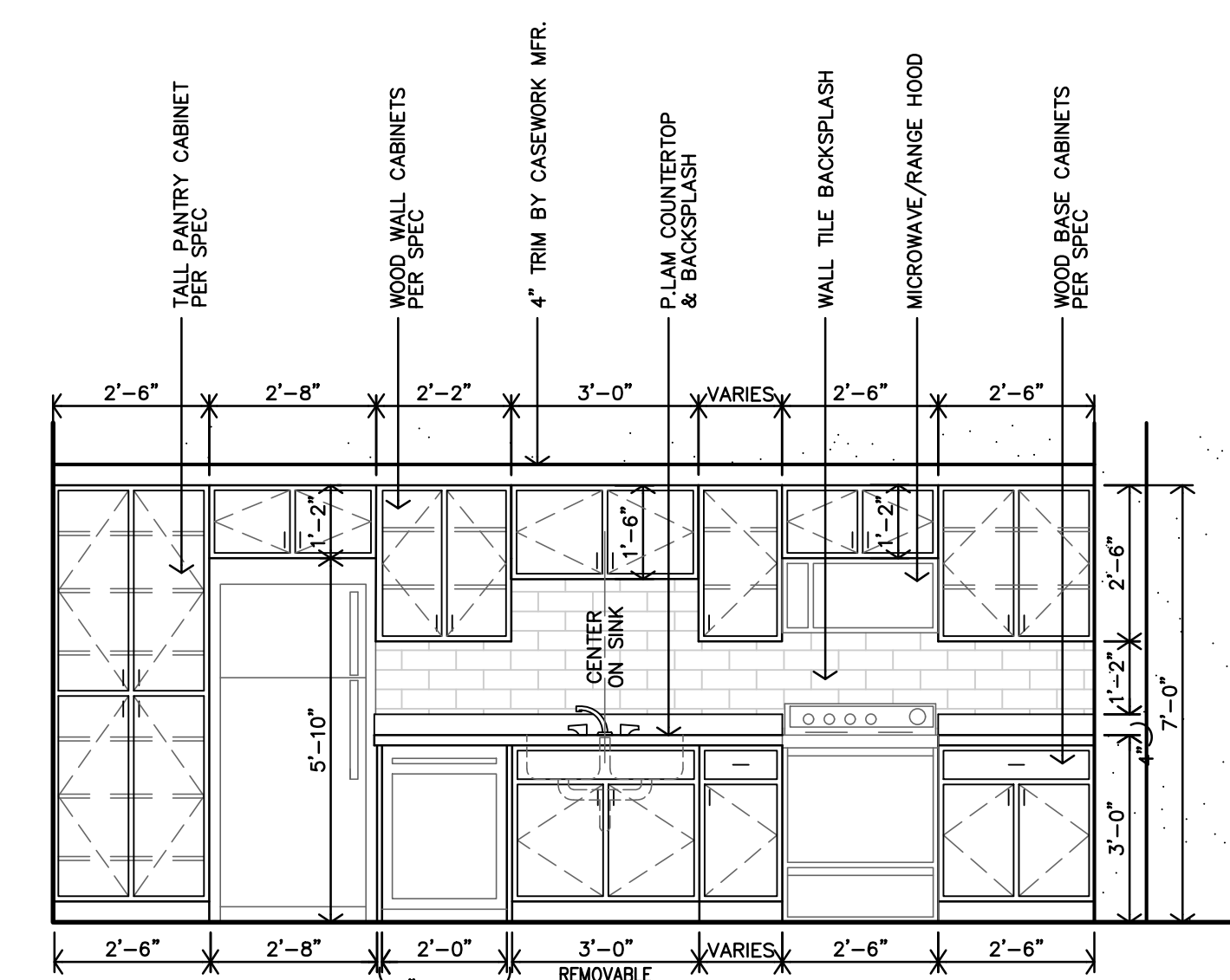
D
ADAPTABLE KITCHEN - TYPE #3 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 8 (#126)



C
ADAPTABLE KITCHEN - TYPE #2 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 7 (#311)

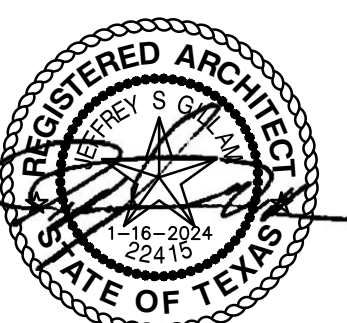


B
ADAPTABLE KITCHEN - TYPE #2 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 7 (#311)



A
ADAPTABLE KITCHEN - TYPE #1 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 2 (#112), APT. 3 (#113), APT. 4 (#114), APT. 5 (#118), APT. 6 (#122), APT. 10 (#201), APT. 13 (#207), APT. 18 (#301), APT. 21 (#307)

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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS

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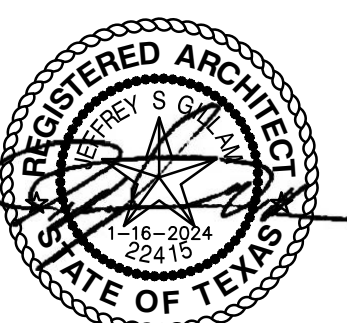


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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS

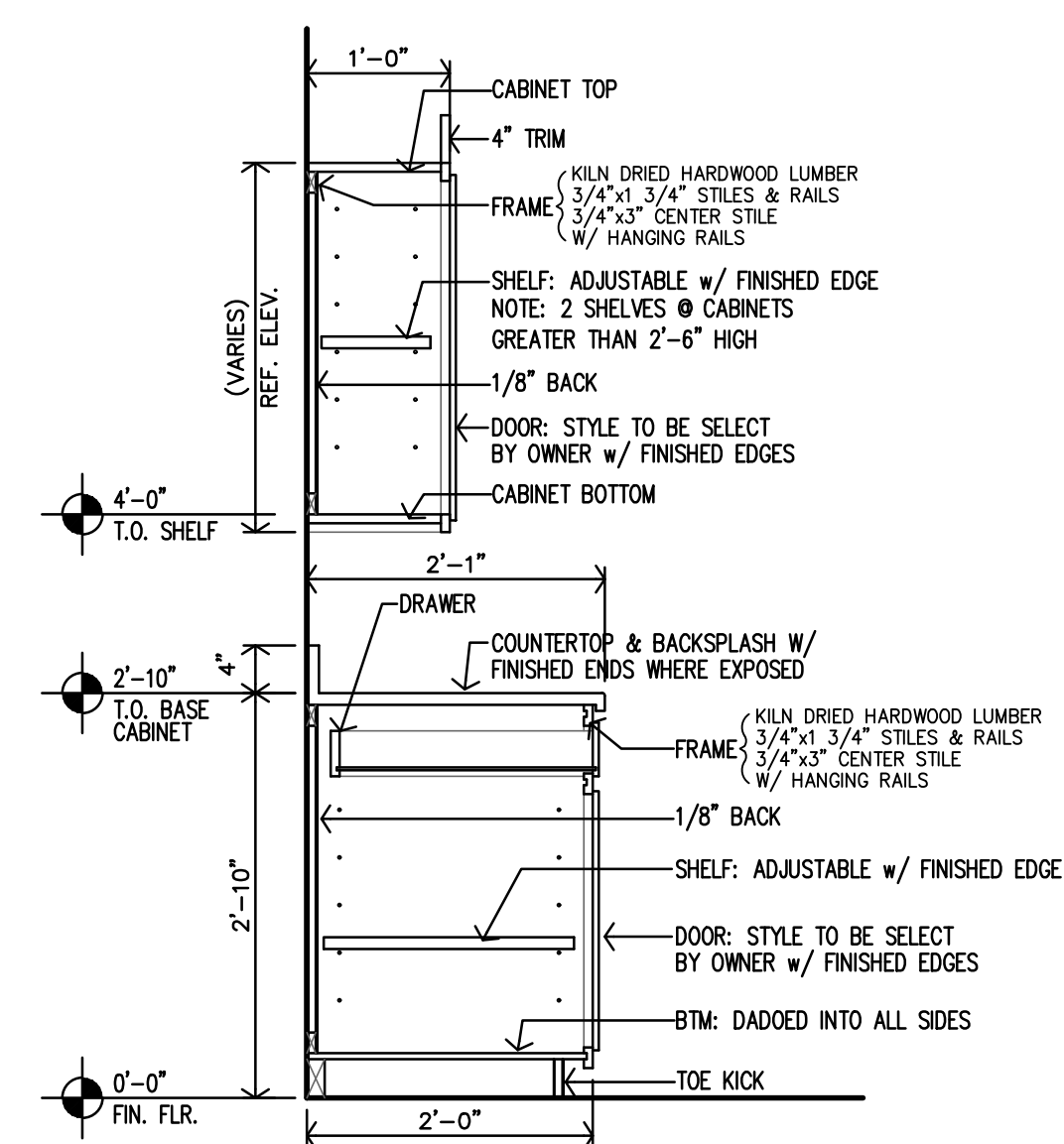


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 SHEET NO.:

A9.5

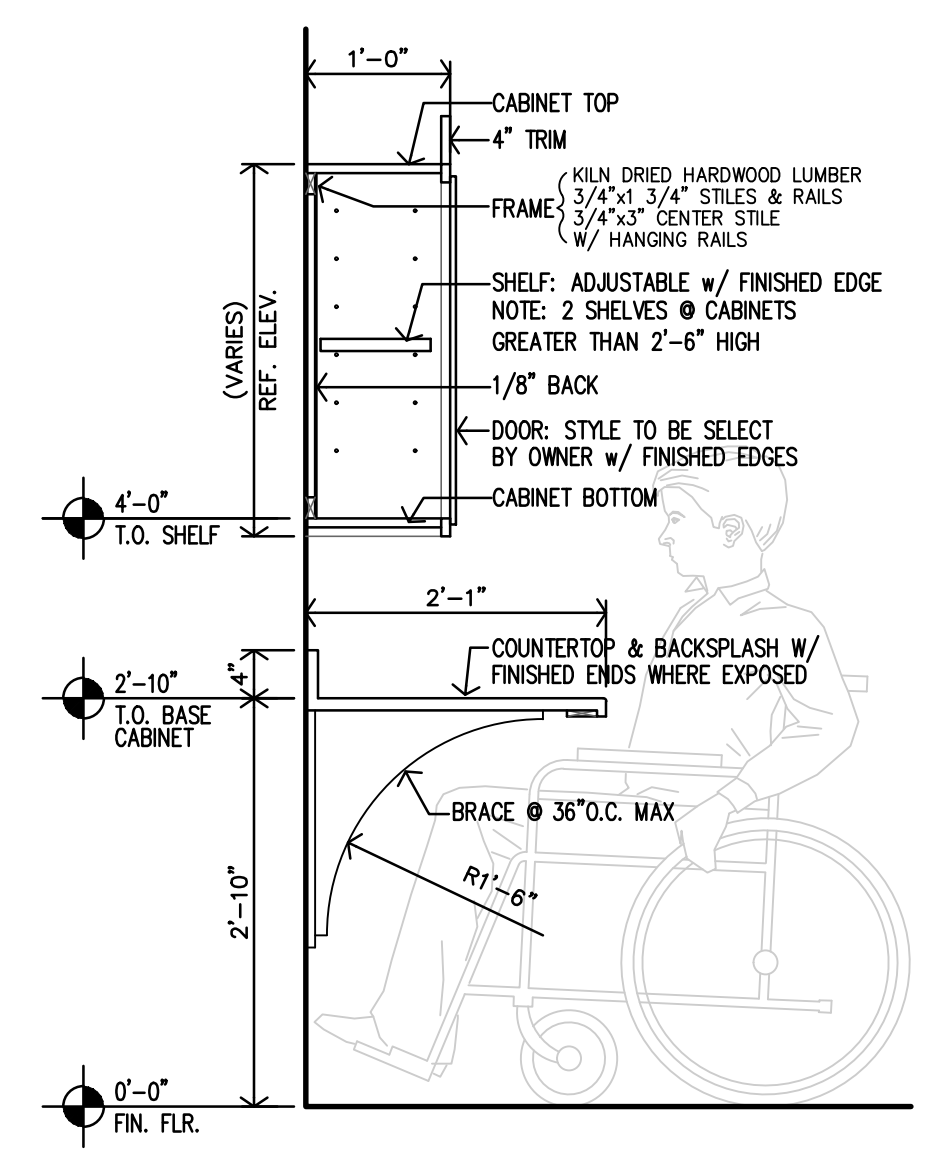
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- CASEWORK NOTES:**
- REF SHEET A2.0 FOR GENERAL NOTES.
 - CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS, BRACES, ETC.
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 - REF CASEWORK SECTIONS ON SHEET A9.5
 - ALL BLOCKING TO BE 2x8 FIRE TREATED.



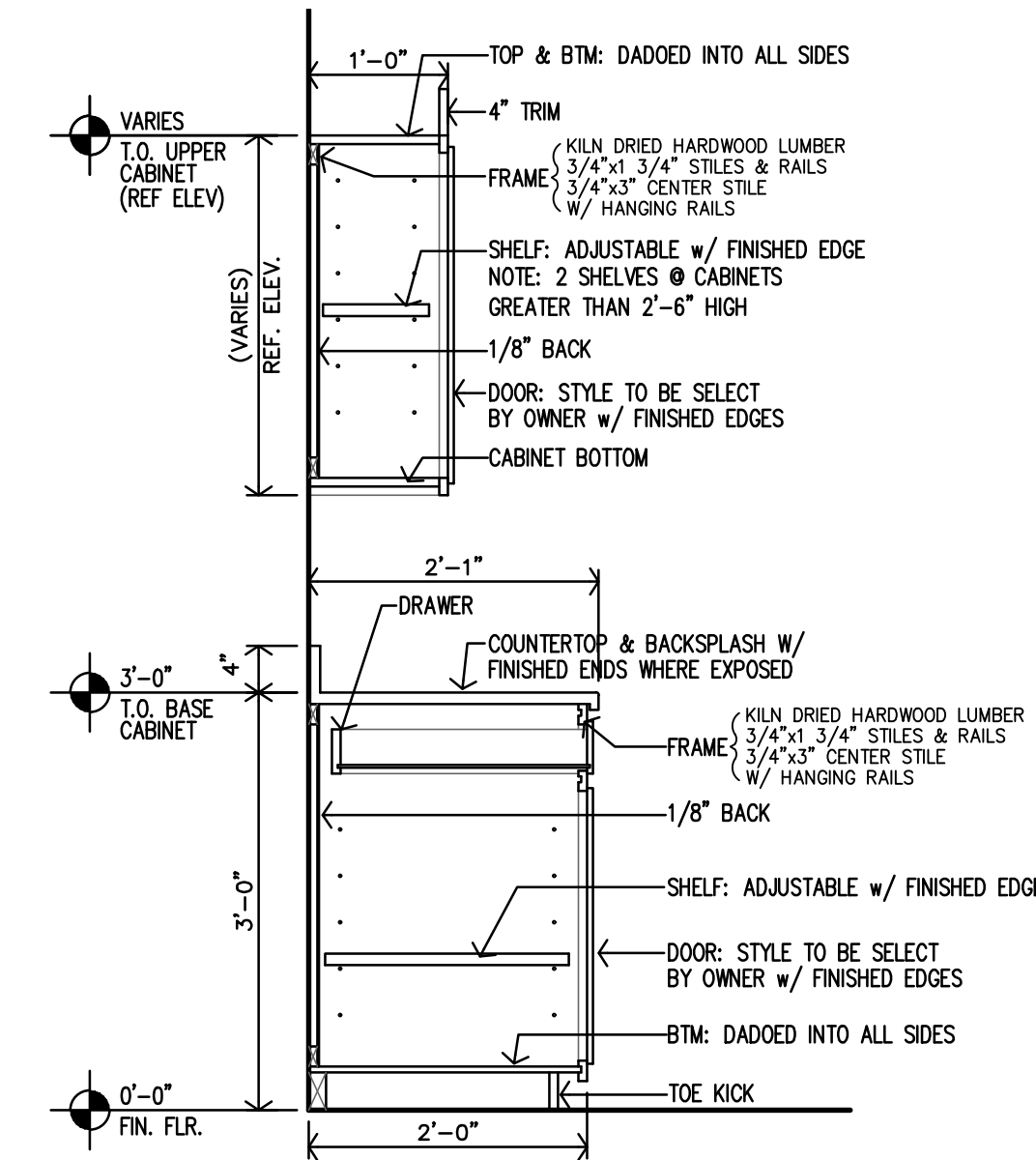
NOTES:
 1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.

K ACCESSIBLE KITCHEN CASEWORK SECTION
 3/4"=1'-0"



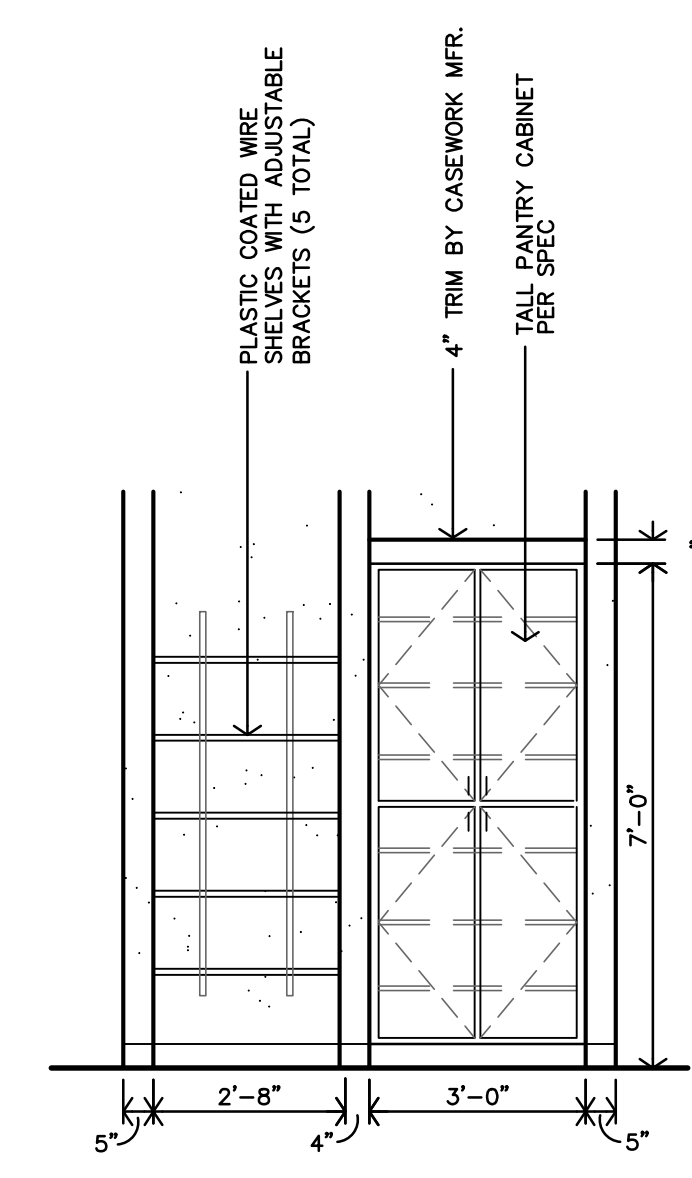
NOTES:
 1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.

J ACCESSIBLE KITCHEN CASEWORK SECTION
 3/4"=1'-0"

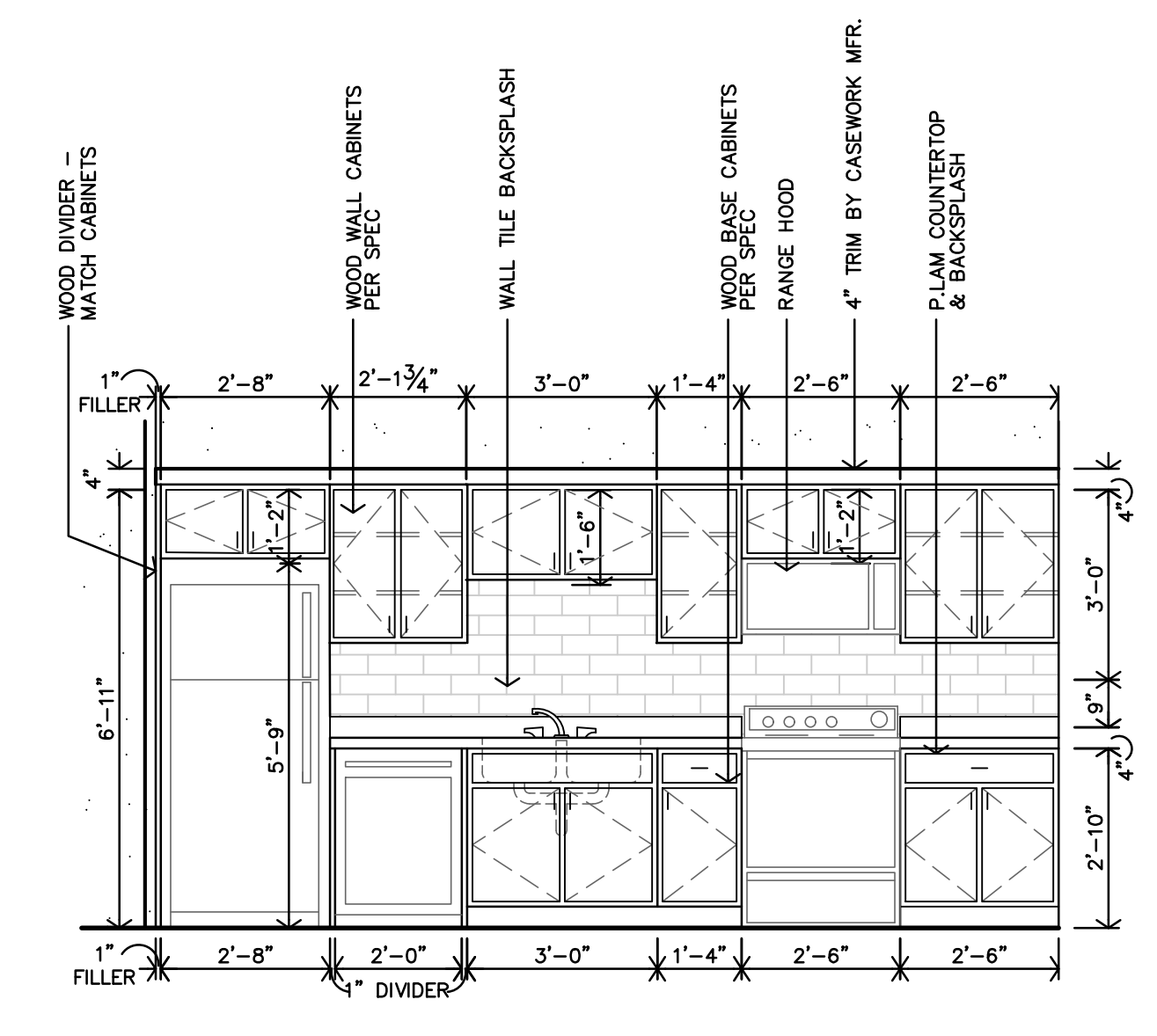


NOTES:
 1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.

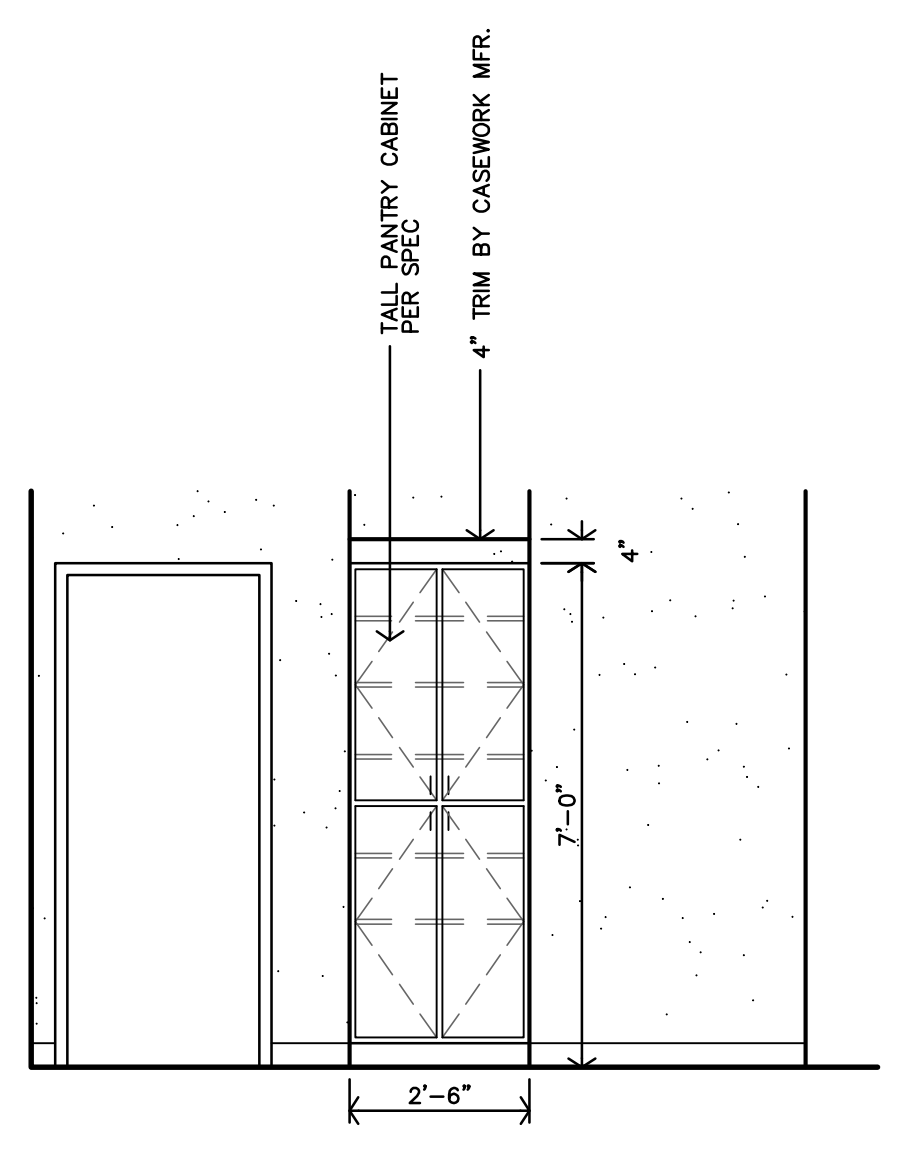
H ADAPTABLE KITCHEN CASEWORK SECTION
 3/4"=1'-0"



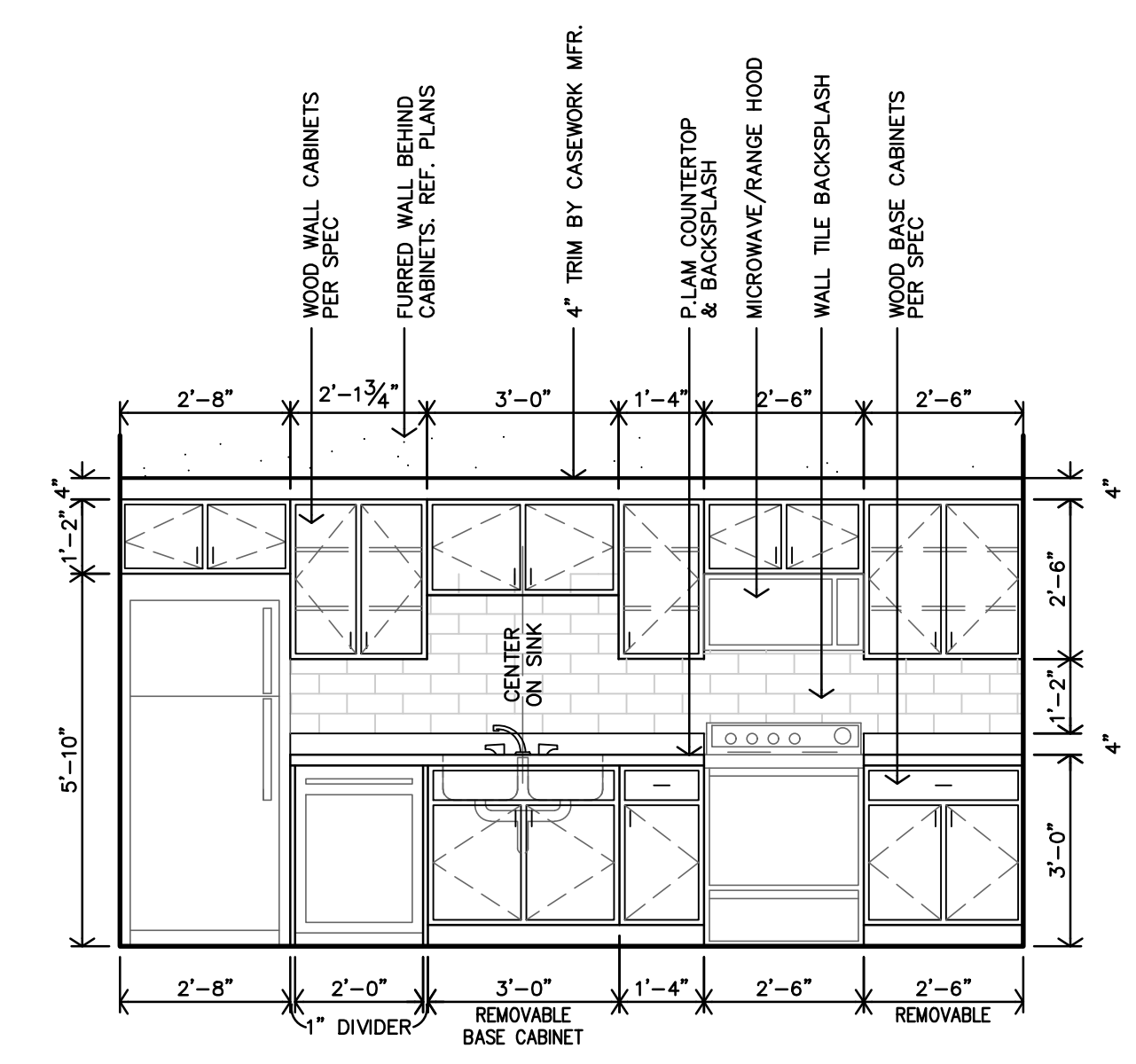
G ADAPTABLE KITCHEN - TYPE #10 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 20 (#303)



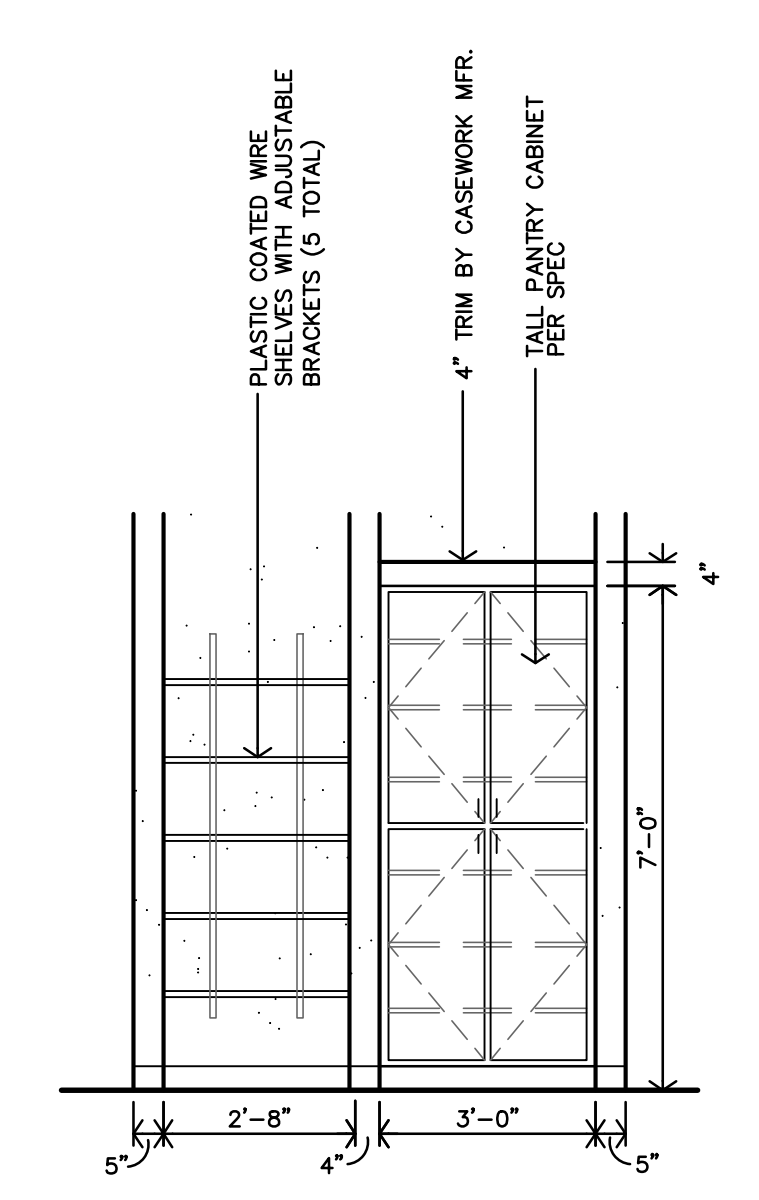
F ADAPTABLE KITCHEN - TYPE #10 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 20 (#303)



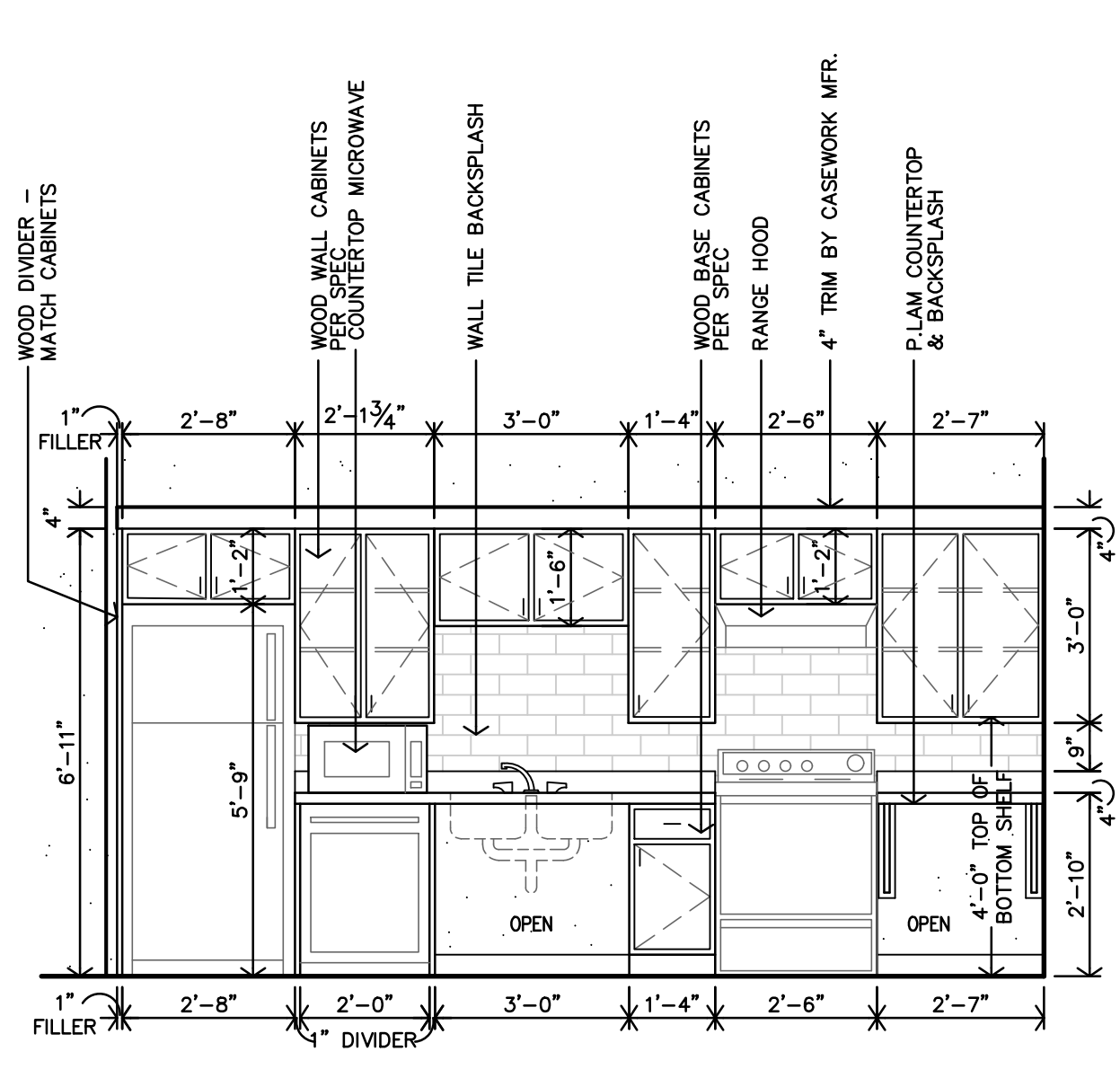
E ADAPTABLE KITCHEN - TYPE #10 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 15 (#211), APT. 23 (#311)



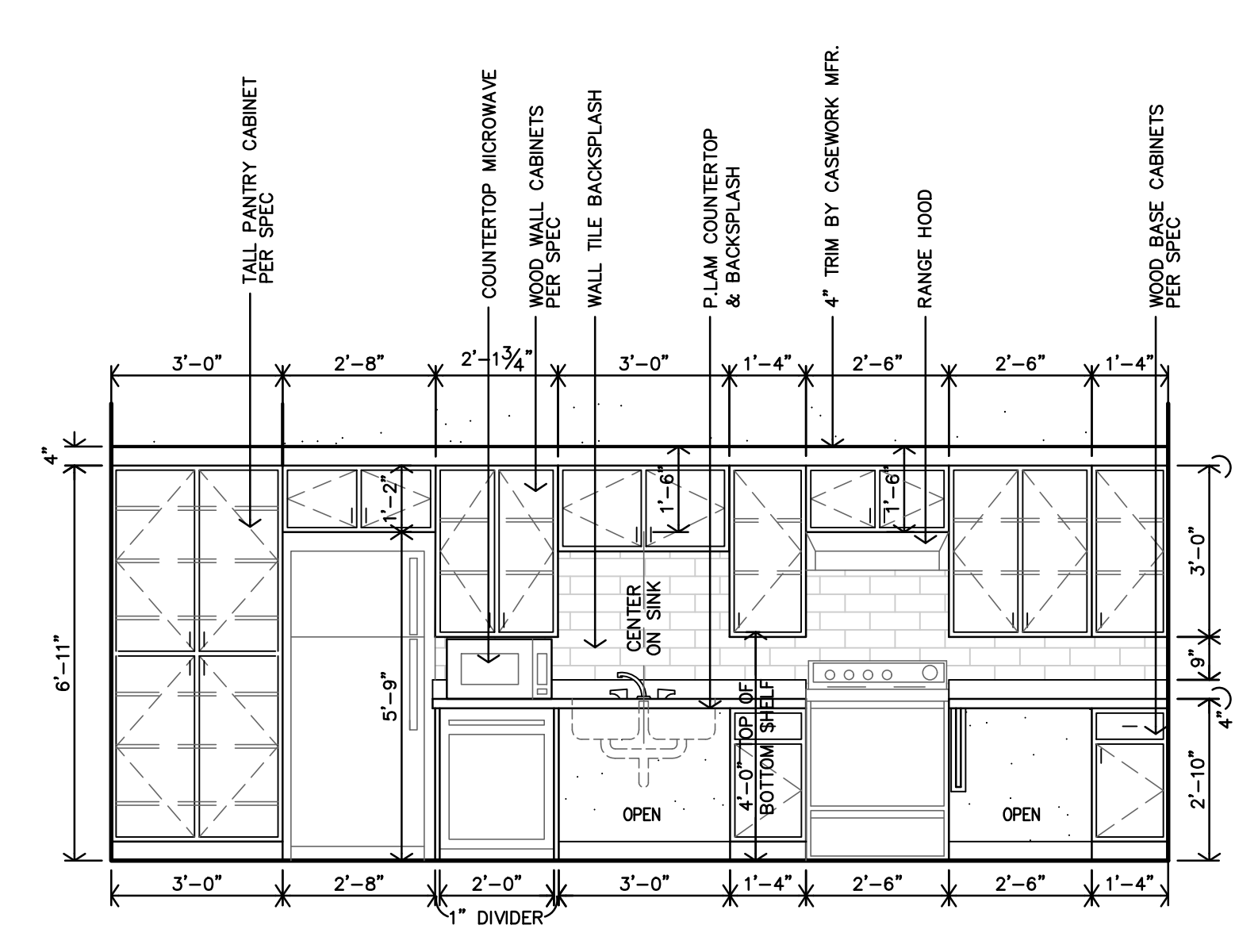
D ADAPTABLE KITCHEN - TYPE #10 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 15 (#211), APT. 23 (#311)



C ACCESSIBLE KITCHEN - TYPE #9 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 12 (#203)



B ACCESSIBLE KITCHEN - TYPE #9 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 12 (#203)



A ACCESSIBLE KITCHEN - TYPE #8 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 1 (#109)

GENERAL NOTES, REPAIRING & CLEANING TERRAZZO

Terrazzo floors are either a cement or epoxy matrix (binder) with a variety of aggregates. Color matching existing aggregates in floors may not be exact, as these are mined products and may alter over time. A meeting to clarify the extent of repairs and expectations is recommended. This includes mapping out cracks and clarifying various repair options. It may be necessary for the contractor to reevaluate conditions once substrates are uncovered, or unknown conditions arise.

Crack Repair

The owner and contractor shall walk the entire floor and identify cracks and agree on NA (No action), RC (Repair Crack) or RT (Replace Terrazzo). Replacement (RT) shall be from architectural break to architectural break.

- Repair Crack (RC): contractor shall clean crack or loose material, dirt or sealer. Fill with resin to match existing. Use aggregate in the crack if crack is wider than 1/4".
- Replace Terrazzo (RT): If repair is not to architectural break or existing terrazzo divider strip, the joining edge shall be a saw tooth (jagged edge). Remove areas to be replaced; clean area and prepare concrete for new terrazzo; repair concrete, fill cracks in concrete substrate as needed. Fill cracks in concrete with hardening epoxy (or employ the use of mesh to cover crack with liquid applied membrane in epoxy systems only); fill area with epoxy or cement/cement matrix and approved mixture/blend.

Initial Grinding

Wet or dry grind with appropriate medium diamonds/stones.

Grouting

Cleanse floor with clean water and rinse. Wet grind with 50 or higher abrasive grit medium diamonds. Remove excess water and machine or hand grind with cement or epoxy material to fill as needed. Allow grout to cure a minimum of 12 hours. Maintain ambient air temperature between 75 degrees F. and 80 degrees F.

Fine (Final) Grinding

Grind with 120 grit carborundum or 200 grit resin bond diamond until grout has been removed from the terrazzo surface.

Cleaning, Sealing & Protection

Rinse with clean water and allow to thoroughly dry. Seal: apply sealer per sealer manufacturer's written directions. Remove protection and clean any adjacent surfaces effected by the refinishing process. General contractor shall protect the finish floor from all site activity until substantial completion.

GENERAL NOTES, REPAIRING HISTORIC PLASTER

If major structural problems are found to be the source of the plaster problem, the structural problem should be corrected. Minor structural problems that will not endanger the building can generally be ignored. Cosmetic damages from minor building movement, holes, or bowed areas can be repaired without the need for wholesale demolition. However, it may be necessary to remove deteriorated plaster for masonry walls to dry out. Repairs made to a wet base will fall again.

Filling Cracks

Hairline cracks in wall and ceiling plaster are not a serious cause for concern as long as the underlying plaster is in good condition. Fill with a patching material. For cracks that reopen bridge the crack with fiberglass mesh tape pressed into the patching material. After the first application of a quick setting joint compound dries, apply a second coat to cover the tape, feathering it at the edges. Apply third coat to even out the surface, followed by light sanding. The area is cleaned off with a damp sponge, then dried to remove any leftover plaster residue or dust. When cracks are larger, the plaster on each side of the crack should be removed to a width of about 6 inches down to the lath. The debris is cleaned out, and metal lath is applied to the cleared area, leaving the EXISTING wood lath in place. The metal lath usually prevents further cracking. The crack is patched with an appropriate plaster in three layers (i.e., base coats and finish coat).

Replacing Delaminated Areas of the Finish Coat

When the finish coat of plaster comes loose from the base coat. Paint a liquid plaster-bonding agent onto the areas of base-coat plaster that will be replastered with a new lime finish coat. To repair small areas of delaminated finish coat can use the methods described in "Patching Materials."

Patching Holes in Walls

For small holes (less than 4 inches in diameter) that involve loss of the brown and finish coats, the repair is made in two applications. First, a layer of base coat plaster is troweled in place and scraped back below the level of the EXISTING plaster. When the base coat has set but not dried, more plaster is applied to create a smooth, level surface. For larger holes where all three coats of plaster are damaged or missing down to the wood lath. Clean out and any loose lath is re-nailed. Next, a water mist is sprayed on the old lath to keep it from twisting when the new, wet plaster is applied or a bonding agent is used. To strengthen the patch, expanded metal lath (diamond mesh) should be attached to the wood lath with tie wires or nailed over the wood lath with lath nails. The plaster is then applied in three layers over the metal lath, lapping each new layer of plaster over the old plaster so that old and new are evenly joined. This stepping is recommended to produce a strong, invisible patch. If patch is made in a plaster wall that is slightly wavy, the contour of the patch should be made to conform to the irregularities of the EXISTING work.

Patching Holes in Ceilings

First, the plaster around the loose plaster should be examined. To patch a hole in the ceiling plaster, metal lath is fastened over the wood lath; then the hole is filled with successive layers of plaster, as described above. When Damaged Plaster Cannot be Repaired-Replacement Options Partial or complete removal may be necessary if plaster is badly damaged, particularly by long-term moisture problems. Workers undertaking demolition should wear OSHA-approved masks. If plaster in adjacent rooms is still in good condition, walls should not be pounded-a small trowel or pry bar is worked behind the plaster carefully in order to pry loose pieces off. When the damaged plaster has been removed, decide whether to replaster over the EXISTING lath or use a different system. This decision should be based in part on the thickness of the original plaster and the condition of the original lath. It is important to ensure that the wood trim around the walls, windows, and doors will have the same "reveal" as before. A lath and plaster system that will give this required depth should be selected.

Replaster Old Wood Lath

When plasterers work with old lath, each lath strip is re-nailed and the chunks of old plaster are cleaned out. Because the old lath is dry, it must be thoroughly soaked before applying the base coats of plaster, or it will warp and buckle; furthermore, because the water is drawn out, the plaster will fail to set properly. As noted earlier, if new metal lath is installed over old wood lath as the base for new plaster, many of these problems can be avoided and the historic lath can be retained. The ceiling should still be sprayed unless a vapor barrier is placed behind the metal lath.

Replaster Over New Metal Lath

Galvanized metal lath. When lathing over open joists, cover the joists with kraft paper or a polyethylene vapor barrier. Three coats of wet plaster are applied consecutively to form a solid, monolithic unit with the lath. The scratch coat keys into the metal lath; the second, or brown, coat bonds to the scratch coat and builds the thickness; the third, or finish coat, consists of lime putty and gauging plaster.

Painting New Plaster

It is best to allow new plaster to cure two to three weeks. A good alkaline-resistant primer, specifically formulated for new plaster, should then be used. A compatible latex or oil-based paint can be used for the final coat.

GENERAL NOTES, PERMANENT HISTORIC CERAMIC TILE

The Secretary of the Interior for the Treatment of Historic Properties emphasizes the preservation of historic building material. Preservation and repair are always preferable to replacement.

Mortar Joint Repair

Deteriorated mortar joints and loose mortar or grout can generally be repaired. First, the entire floor should be checked for loose tiles that need to be regrouted. Damaged mortar should be removed by hand and the joints wetted or a bonding agent applied in preparation for regrouting. When making mortar repairs, it is important to use grout that matches the old in color and consistency as closely as possible.

Tile Repair

Trying to remove one tile can endanger surrounding tiles. Thus, it may be better to preserve and retain an original historic tile that is only slightly damaged, rather than replace it. If a tile is chipped or a small corner or edge is missing, a carefully executed patch of epoxy-mixed with colored enamel, or mortar tinted to blend with the tile, may be less conspicuous than trying to replace every tile that has even the slightest damage. And, it is a better preservation treatment.

Tile Replacement

When an individual tile or a larger portion of an historic ceramic tile floor is missing or so severely damaged that it cannot be repaired, or if it has become a safety hazard, then it should be replaced.

Selective Replacement of Individual Tiles

This cautious approach, typically an attempt to replace only the most seriously damaged tiles, is often taken or considered when only a small number of tiles are involved. Unless old or matching tiles can be found and reused, replacement often requires specially fabricated reproduction tiles. In some instances, individual historic tiles that are damaged may be replaced with matching tiles salvaged from other, less prominent areas of the floor or from other buildings. This is most feasible if the tiles to be replaced are either plain, and easy to match, or decorated with a common historic floor tile pattern.

Replacing a single damaged tile is based on the ability to remove only the deteriorated tile without harming surrounding tiles. To avoid damaging good tiles, all the grout around the tile must be removed. This is best accomplished by an experienced tile installer using a hand tool called a grout saw or, for grout joints wider than 3/8", a dry-cutting diamond blade, mounted in an angle grinder or circular saw.

Other difficulties may be encountered when selectively replacing damaged tiles with reproduction tiles. New tiles, especially encaustic tiles, may be different in thickness and, sometimes, despite the attention to detail of the reproduction process, slightly different in color and design from historic tiles.

Sectional Replacement of Tiles

In some instances, the best approach may be to remove a complete section of damaged original tiles and replace that section of floor in its entirety with new reproduction tiles. Advantages of this method include the ability to lay a level setting bed, as well as achieving a finished product that is uniform in color and pattern match. Although this approach may involve replacing more original tiles with reproduction tiles than may be absolutely necessary, original tiles that remain in good condition can be saved to be reused in other sections where only a few tiles are damaged. This technique is generally most appropriate either when the section being replaced is the most damaged portion of the floor, or is in a relatively inconspicuous location and the tiles that are removed will supply enough salvaged pieces to permit in-kind repair of a more visually prominent area.

When laying a section of reproduction tiles, it may be a good idea to use contemporary materials and installation methods such as expansion joints or flexible expansion material.

PUBLIC FINISH SCHEDULE table with columns for NO., DESCRIPTION, FLOOR, BASE, N.WALL, E.WALL, S.WALL, W.WALL, CEILING, and REMARKS. Includes sections for BASEMENT, FIRST FLOOR, SECOND FLOOR, THIRD FLOOR, PENTHOUSE, and STAIRS/ELEVATORS.

FINISH SCHEDULE NOTES

GENERAL NOTES:

- A. INSTALL VINYL, RUBBER, OR ALUMINUM TRANSITION STRIP BETWEEN FLOOR MATERIAL OF DIFFERING HEIGHTS, INCLUDING BUT NOT LIMITED TO CONCRETE/VCT TRANSITIONS.
- B. ALL GYPSUM BOARD AREAS WHICH ARE ACCESSORIES TO THE ROOM INCLUDING BUT NOT LIMITED TO SOFFITS, BULKHEADS, TRIM, ETC. SHALL BE PAINTED REGARDLESS OF WHETHER IT IS SPECIFICALLY INDICATED PER SCHEDULE.
- C. ALL G.B. WALLS & PERMANENT PARTITIONS SHALL RECEIVE WOOD BASE UNLESS NOTED OTHERWISE.
- D. WALL TYPE SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL COORDINATE WALL MATERIAL W/ DRAWINGS AND FIELD CONDITIONS. ALL AREAS INDICATED TO RECEIVE NEW FINISH SHALL RECEIVE COMPLETE FINISH AS SCHEDULED AT ENTIRE ROOM. CONTRACTOR SHALL COORDINATE FINISHES AND ACCENTS WITH DETAILS AND INTERIOR ELEVATIONS.
- E. FLOORING CONTRACTOR SHALL VERIFY THAT SUBFLOOR IS LEVEL AND PROPERLY PREPPED, PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS.
- F. CONTRACTOR SHALL VERIFY THAT FLOORS ARE PREPPED/"FLOORSTONED" FOR LEVEL TRANSITION BETWEEN DIFFERING MATERIALS.
- G. INSTALL PAINTABLE SILICONE SEALANT AT ALL G.B. TO CMU AND G.B. TO CONCRETE WALL TRANSITIONS.
- H. ALL CONTROL JOINTS AT EXPOSED CONCRETE FLOORS SHALL RECEIVE SEALANT COMPATIBLE W/ FLOOR SEALER.
- I. ALL H.M. DOORS & FRAMES TO BE PAINTED W/ INDUSTRIAL ENAMEL UNLESS NOTED OTHERWISE. H.M. DOORS AND FRAMES SHALL BE SANDED SMOOTH PRIOR TO PAINTING. SPRAY FINISH ONLY, NO BRUSH FINISH.
- J. CONTRACTOR SHALL COORDINATE WITH INTERIOR ELEVATIONS, FLOOR PLANS AND MISCELLANEOUS DETAILS TO VERIFY ALL AESTHETIC ACCENTS AND DETAILS.
- K. REFERENCE INTERIOR ELEVATIONS, WALL SECTIONS AND DETAILS FOR WOOD BASE AND TRIM LOCATIONS.
- L. NOTE NOT USED.
- M. EXISTING PLASTER WALLS: TO REMAIN, CLEAN & REMOVE LOOSE MATERIAL, PATCH TO MATCH AS REQ'D & PREP FOR PAINT.
- N. EXISTING STRUCTURE, COLUMNS, BEAMS, FLOOR JOIST & EXPOSED FLOOR/CEILING DECKING CLEAN & PREPARE FOR PAINT.
- O. LEVEL 4 FINISH WITH ORANGE PEEL TEXTURE AT ALL WALLS & GYP. CEILINGS.
- P. CERAMIC WALL TILE BEHIND DRINKING FOUNTAINS. REFERENCE INTERIOR ELEVATIONS.
- Q. ALL ADAPTABLE KITCHEN & BATH - REMOVABLE CABINET FRONTS @ SINKS & WORK AREA. WALLS SHALL BE FINISHED & FLOORING CONTINUOUS UNDERNEATH. NO PLUMBING MODIFICATIONS ALLOWED AFTER CABINET FRONT IS REMOVED.
- R. REF. A2.7 FOR FLOORING & PATTERNS.
- S. REF. A2.7 FOR CERAMIC TILE PATTERNS.
- T. TYPES OF FLOORING AND LOCATION MAY VARY. REFERENCE FLOOR PLANS FOR MATERIAL CHANGES AND PATTERNS.
- U. FINISHES PER ELEVATOR MANUFACTURER RECOMMENDATIONS AND SELECTIONS. FINAL COLORS TO BE DETERMINED BY OWNER.
- V. EXISTING STAIRS: REMOVE ANY DEBRIS & LOOSE PAINT. REPAIR ANY LOOSE OR MISSING PLASTER, PAINT WALLS & HANDRAILS. VERIFY ANY LOOSE HANDRAILS AND SECURE. REF. A6 SHEETS FOR ADDITIONAL INFORMATION.

SPECIFIC NOTES:

- 1. INSTALL FRP PANEL TO 4'-0" ABOVE MOP SINK & EXTEND 1'-0" MINIMUM BEYOND EDGES OF SINK; CLASS "A" FIRE RESISTIVE MATERIAL.
- 2. EXISTING EXTERIOR WALLS ARE PLASTER FINISH. FOLLOW GUIDELINES ON THIS SHEET TO PATCH AND REPAIR EXISTING PLASTER WALLS. TEXTURE TO MATCH EXISTING.
- 3. EXISTING TERRAZZO FLOORS. FOLLOW GUIDELINES ON THIS SHEET TO CLEAN, PATCH AND REPAIR EXISTING TERRAZZO.
- 4. PUBLIC RESTROOM MOSAIC FLOOR PATTERN, REFERENCE DETAIL U-8.A.1

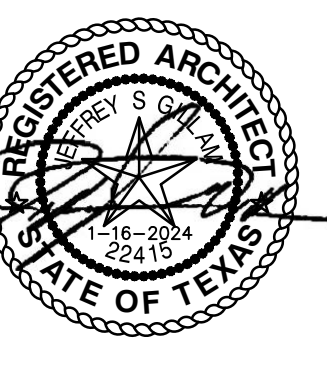
UNIT FINISH SCHEDULE - 25 UNITS

UNIT FINISH SCHEDULE table with columns for DESCRIPTION, FLOOR, BASE, WALLS, CEILING, and REMARKS. Lists finishes for KITCHEN, LIVING ROOM, MECHANICAL, BATH, BEDROOM, CLOSET, and HALL.

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION:
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

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GENERAL NOTES REPLACEMENT WINDOWS

REMOVE & REPLACE, Confirm location of EXISTING windows

BASIC SCOPE & MAINTENANCE

- Removal of EXISTING caulking, window, frame, anchors etc.
- Protect adjacent substrate, siding, stone, brick, stucco, etc. from damage
- Clean, repair, patch, opening to be solid secure & ready for new window
- Repainting & sealing opening to match original
- Caulking new window to EXISTING opening, high quality elastomeric caulk.

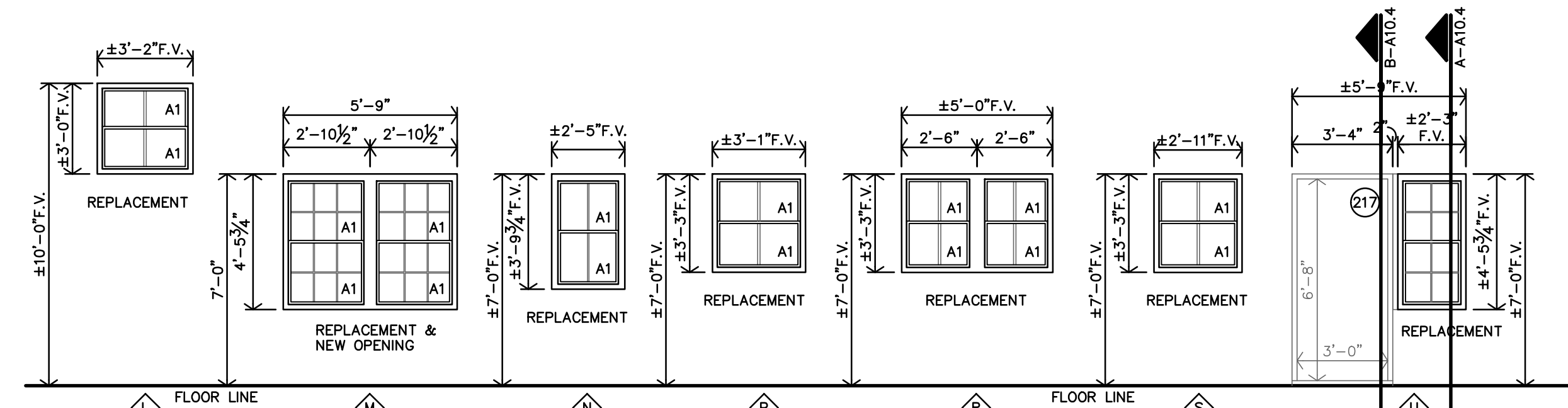
WEATHERIZATION

Caulking & sealing around the masonry openings, installing weatherstripping
 All exterior openings to receive liquid-applied flashing membrane per specifications.

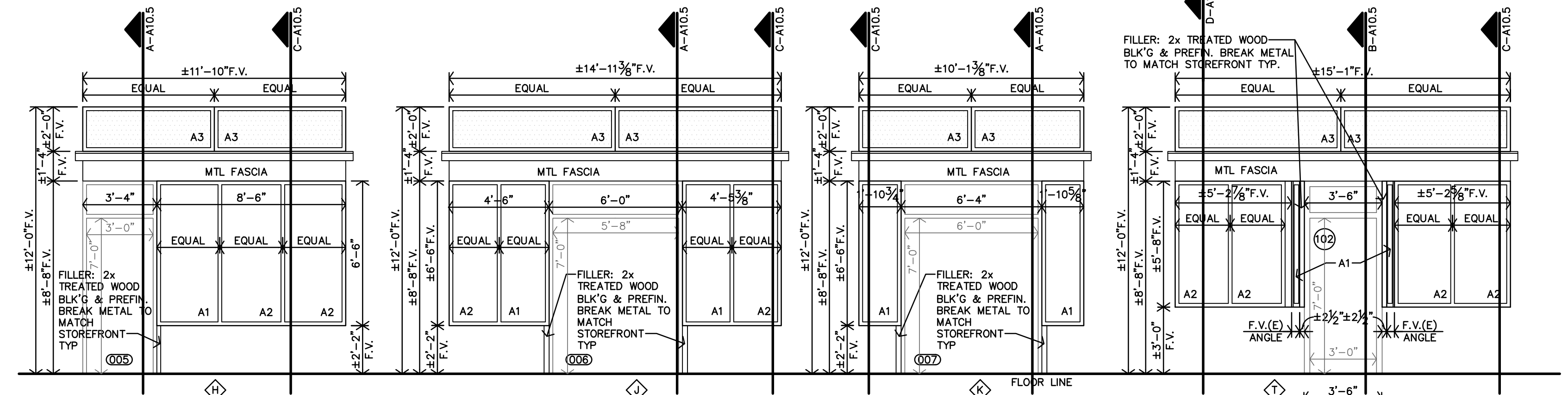
WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	MATERIAL	STYLE			EXTERIOR	INTERIOR	DETAILS
				FIXED	DOUBLE HUNG	CASEMENT			
A	±13'-9 1/4" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
B	±13'-9 1/4" F.V.	±5'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
C	±10'-7" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
D	±10'-7" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
E	±12'-7 1/2" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
F	±12'-7 1/2" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
G	±4'-0" F.V.	±6'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
H	±4'-0" F.V.	±7'-4" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
I	±4'-0" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
J	±11'-10" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
K	±11'-10" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
L	±14'-11 3/8" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
M	±14'-11 3/8" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
N	±10'-1 3/8" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
O	±10'-1 3/8" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
P	±3'-2" F.V.	±3'-0" F.V.	ALUM./WOOD CLAD	•			•	A/D-A10.4	
Q	(2)2'-10 1/2"	4'-5 3/4"	ALUM./WOOD CLAD	•			•	A/C-A10.4	
R	2'-5"	3'-9 3/4"	ALUM./WOOD CLAD	•			•	A/D-A10.4	
S	±3'-1" F.V.	±3'-3" F.V.	ALUM./WOOD CLAD	•			•	A/D-A10.4	
T	(2)2'-6"	3'-3"	ALUM./WOOD CLAD	•			•	A/C-A10.4	
U	±2'-11" F.V.	±3'-3" F.V.	ALUM./WOOD CLAD	•			•	A/D-A10.4	
V	±15'-1" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
W	±15'-1" F.V.	±5'-8" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
X	2'-3"	4'-5 3/4"	ALUM./WOOD CLAD	•			•	A/B/E-A10.4	

- NOTES:**
1. CONTRACTOR MUST INSTALL MTL FLASHINGS & CONT. CAULK FOR A WEATHER & WATERTIGHT CONDITIONS @ ALL EXTERIOR WINDOW UNITS.
 2. CONTRACTOR MUST INSTALL 1/4" INSUL. OR THERMAL BREAK, CONTINUOUS AROUND WINDOW.
 3. CONTRACTOR TO PROVIDE & INSTALL MANUFACTURERS COORDINATING PANNING SYSTEM FOR ALUM. WINDOWS.
 4. WINDOWS A & B MUST BE SIZED TO MEET EGRESS REQUIREMENTS.
 5. ALL OPERABLE WINDOWS W/ THE SILL 5'-0" ABOVE GRADE, SHALL BE PROVIDED W/ WINDOW OPENING CONTROL DEVICE PER ASTM F2090 & 2021 IBC SEC. 1030.1.1
 6. PROVIDE & INSTALL SAFETY GLASS AT HAZARDOUS LOCATIONS, PER 2021 IBC CODE 2406.4, IN DOORS, ADJACENT & WITHIN 24" TO DOORS, LESS THAN 16' ABOVE FLOOR, IN GUARDS & HANDRAILS, ADJACENT TO STAIRS AND RAMPS, STAIRS AND RAMPS.
 7. ALL OPERABLE WINDOWS SHALL HAVE INSECT SCREENS.
 8. EMERGENCY ESCAPE & RESCUE PER 2021 IBC SEC. 1030.2, (20" x 24" MIN.) OPENINGS, 5.7' MIN. AREA
 9. ALL EXTERIOR WINDOW FRAME OPENINGS TO HAVE LIQUID APPLIED FLASHING MEMBRANE PER SPECS.



B REPLACEMENT/NEW ALUMINUM/CLAD WINDOW TYPES
 1/4"=1'-0"



A REPLACEMENT ALUMINUM STOREFRONT WINDOW TYPES
 1/4"=1'-0"

GLAZING SCHEDULE

MARK	EXTERIOR	INTERIOR	3/4" INSULATED	1/4"	CLEAR GLASS	FROSTED	SPANDREL	TEMPERED	FIRE RATED
A1	•	•	•	•	•				
A2	•	•	•	•	•				
A3	•	•	•	•	•				
A4	•	•	•	•	•				
B1	•	•	•	•	•				
B2	•	•	•	•	•				

REF. SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS

IECC 2021 REQUIREMENTS

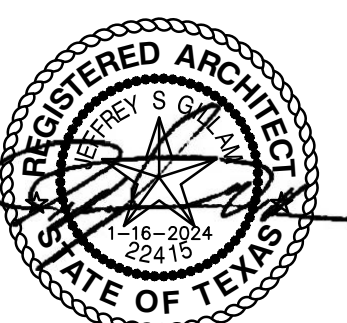
FENESTRATION	U-FACTOR
FIXED FENESTRATION	.42
OPERABLE FENESTRATION	.54
ENTRANCE DOOR	.68

SHGC

SHGC	FIXED OPERABLE
PF < .25	.25 .23
.25 < PF < .5	.30 .28
PF ≥ .5	.40 .37

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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



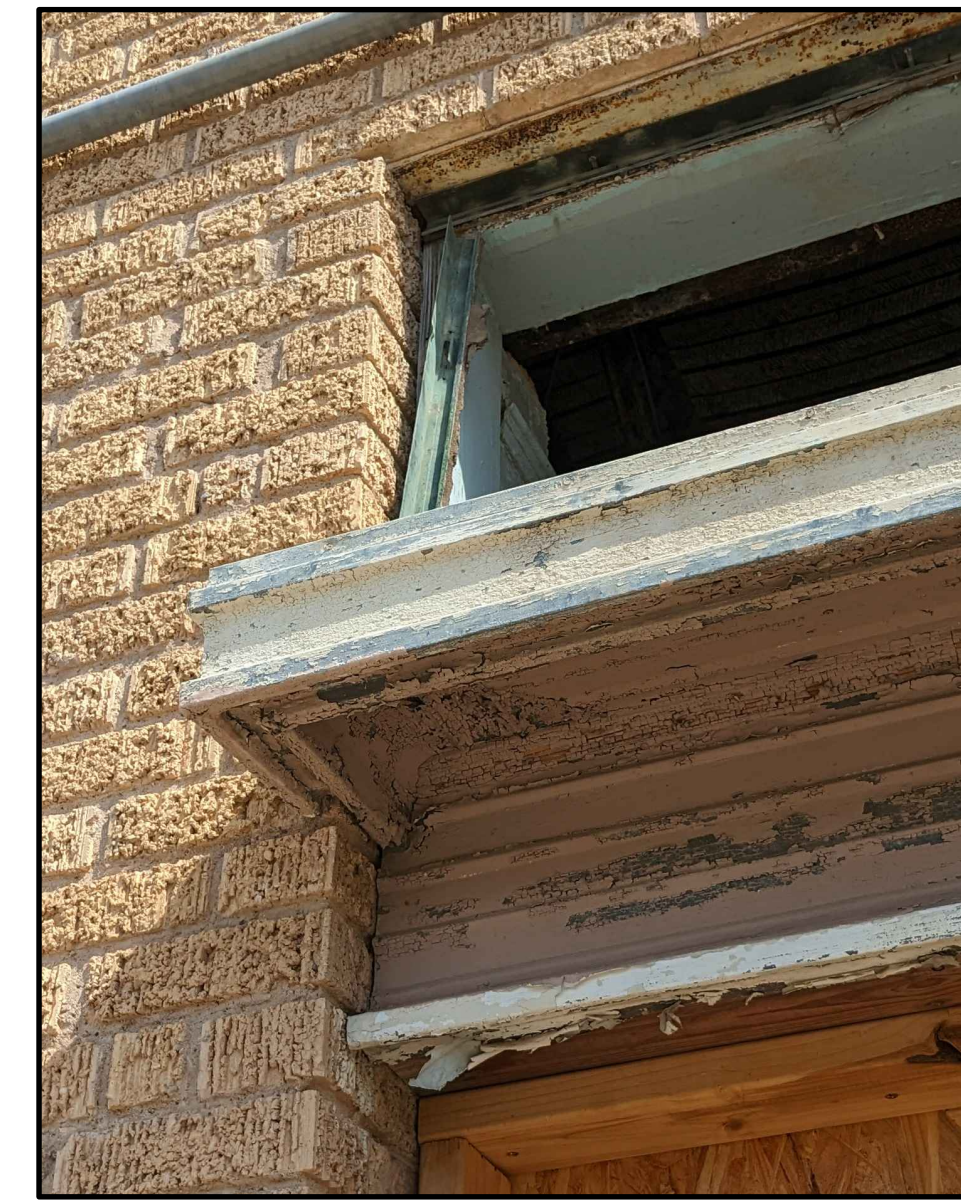
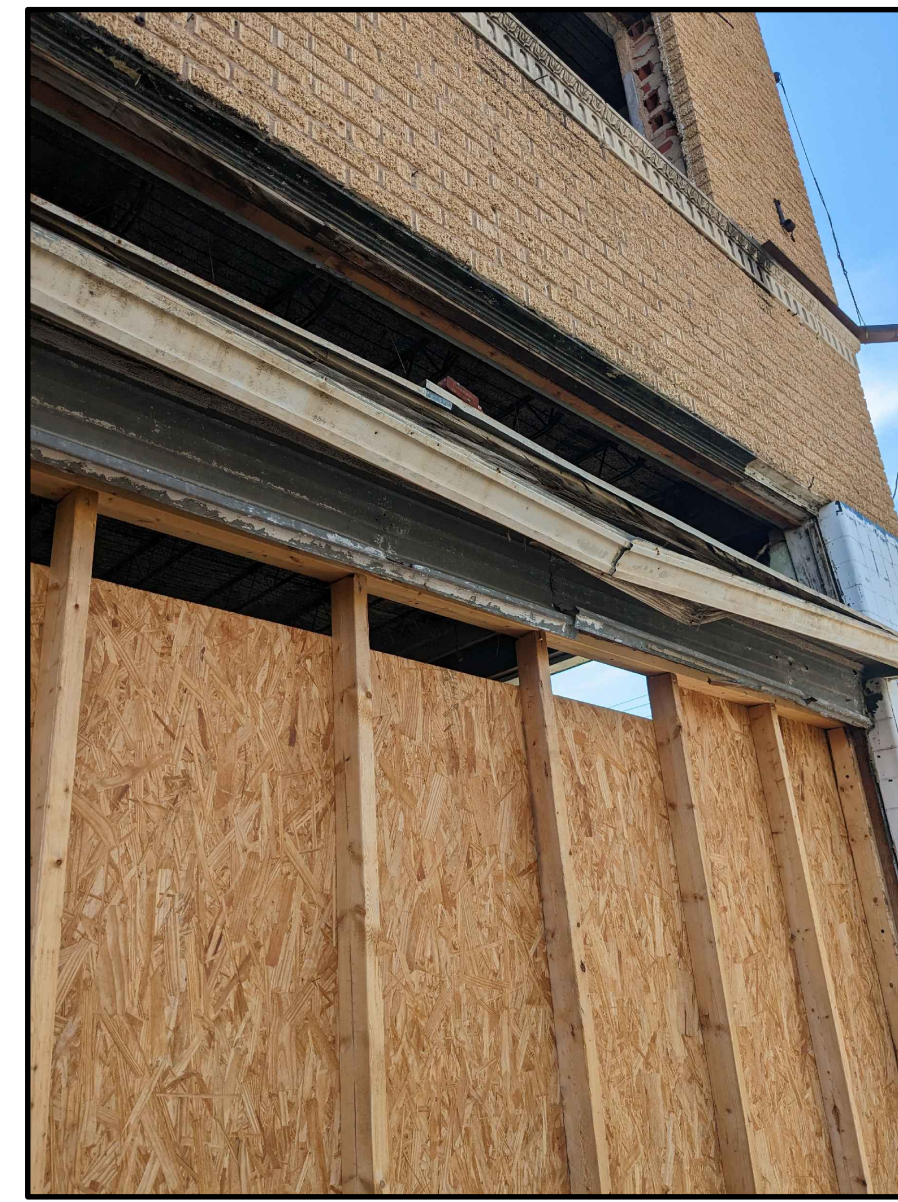
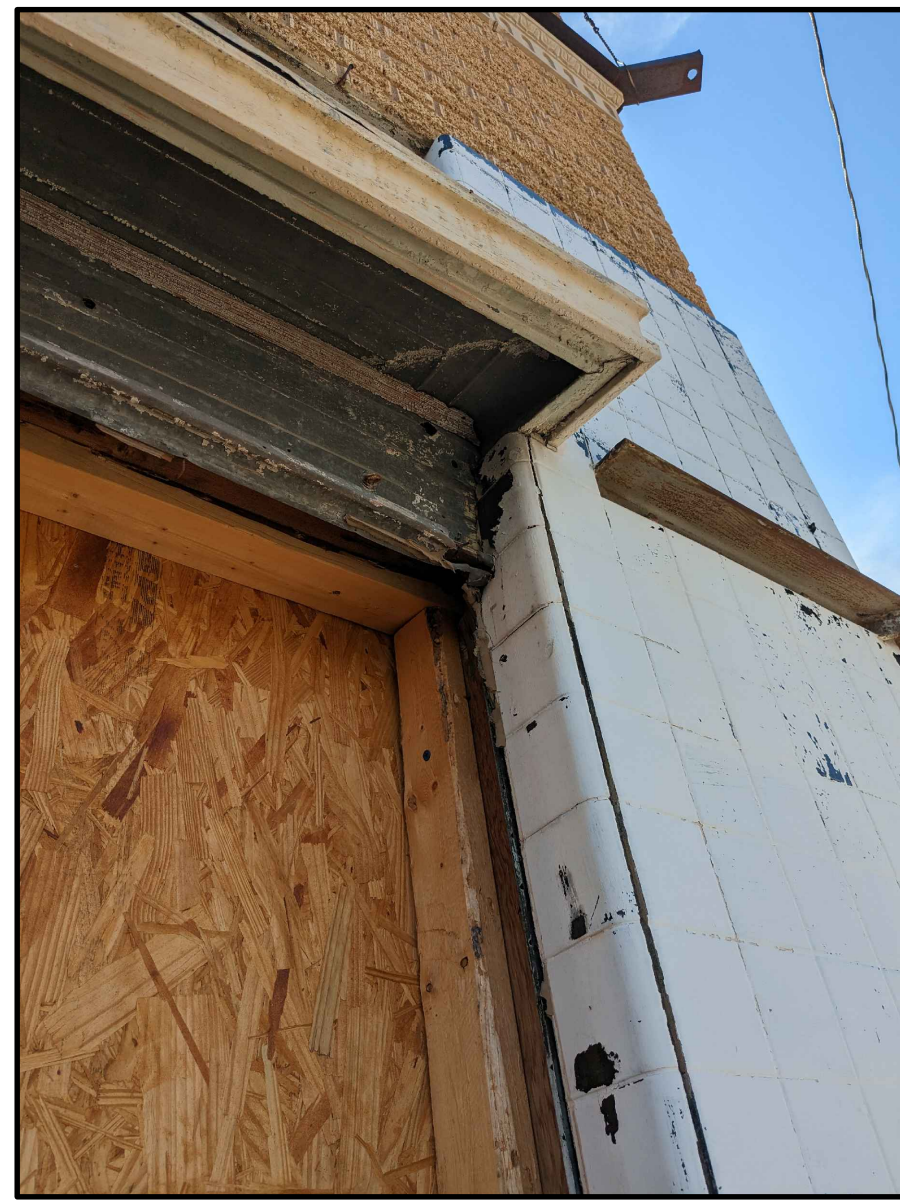
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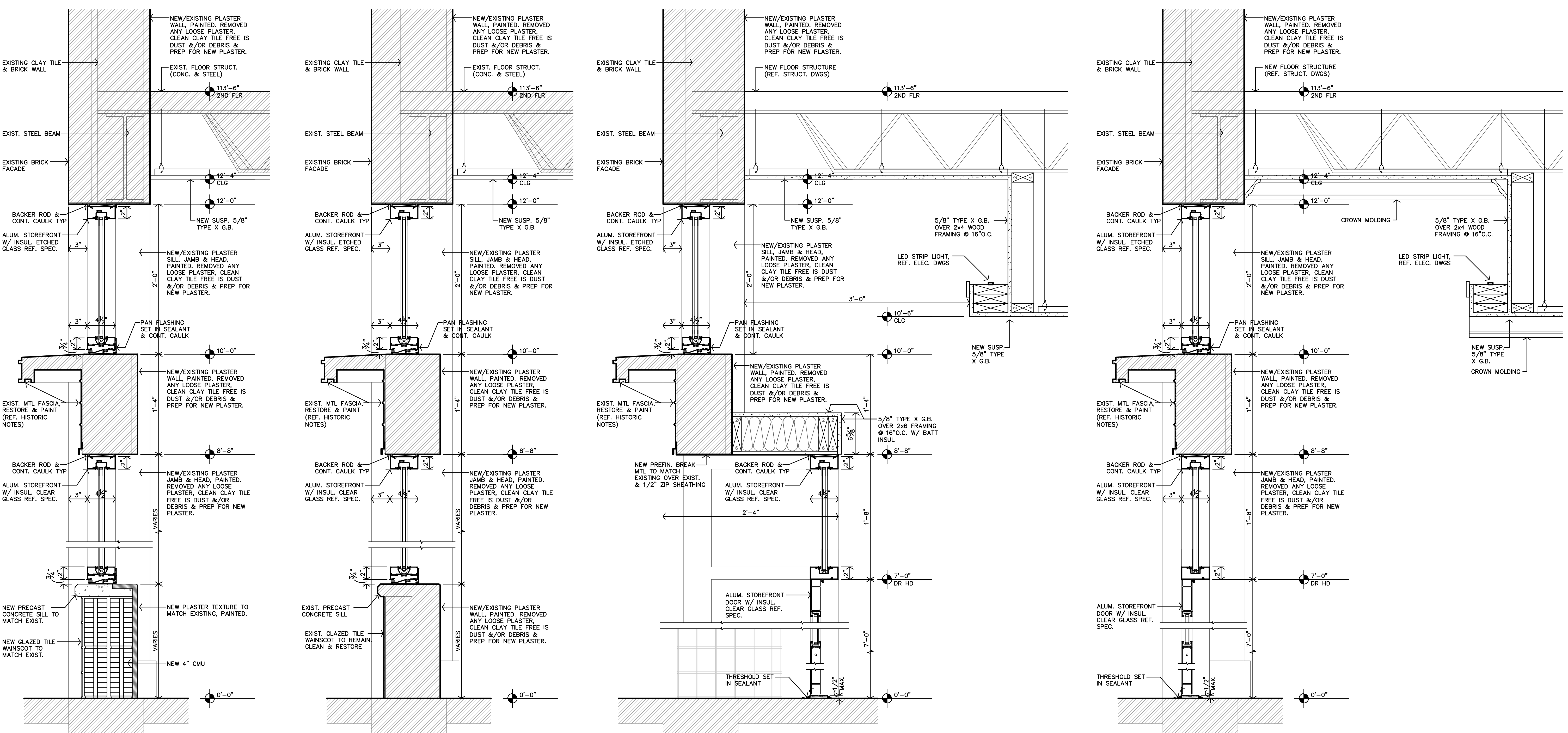
- HISTORIC METAL FASCIA NOTES**
1. REMOVE ALL PAINT, EXCESS CAULKING AND DEBRIS (REF. THE PRESERVATION BRIEF FOR MEANS AND METHODS). CLEAN.
 2. REPAIR AND REPLACE PIECES AND ELEMENTS AS NEEDED TO FULLY RESTORE FASCIA TO ORIGINAL APPEARANCE.
 3. REMOVE UNNECESSARY NAILS, BOLTS, ANCHORS & ACCESSORIES FROM PREVIOUS NON-HISTORIC INFILL.
 4. CLEAN AND PREP HISTORIC OPENINGS ABOVE AND BELOW FOR THE INSTALLATION OF NEW ALUM. STOREFRONT AND TRANSOM.
 5. FASCIA THAT ARE IN A STATE OF DISREPAIR SHALL BE CAREFULLY REMOVED AND NEW FASCIA SHALL BE CONSTRUCTED TO MATCH THE EXISTING.
 6. MISSING FASCIA SHALL BE RECONSTRUCTION TO MATCH EXISTING.
 7. FASCIA FINAL FINISH SHALL BE PAINTED, COLOR TO BE DETERMINED.

GENERAL NOTES REPLACEMENT WINDOWS
 REMOVE & REPLACE, Confirm location of EXISTING windows

- BASIC SCOPE & MAINTENANCE**
- Removal of EXISTING caulking, window, frame, anchors etc.
 - Protect adjacent substrate, siding, stone, brick, stucco, etc. from damage
 - Clean, repair, patch, opening to be solid secure & ready for new window
 - Repainting & sealing opening to match original
 - Caulking new window to EXISTING opening, high quality elastomeric caulk.

WEATHERIZATION
 Caulking & sealing around the masonry openings, installing weatherstripping All exterior openings to receive liquid-applied flashing membrane per specifications.

HISTORIC METAL FASCIA PHOTOGRAPHS
 NO SCALE



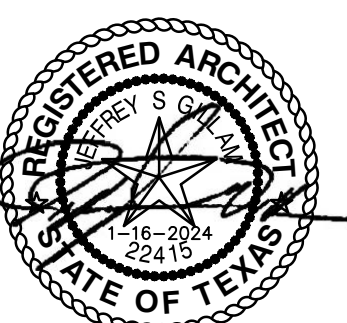
D WINDOW/CLEARSTORY DETAILS
 1 1/2"=1'-0"

C WINDOW/CLEARSTORY DETAILS
 1 1/2"=1'-0"

B DOOR/CLEARSTORY DETAILS
 1 1/2"=1'-0"

A DOOR/CLEARSTORY DETAILS
 1 1/2"=1'-0"

ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



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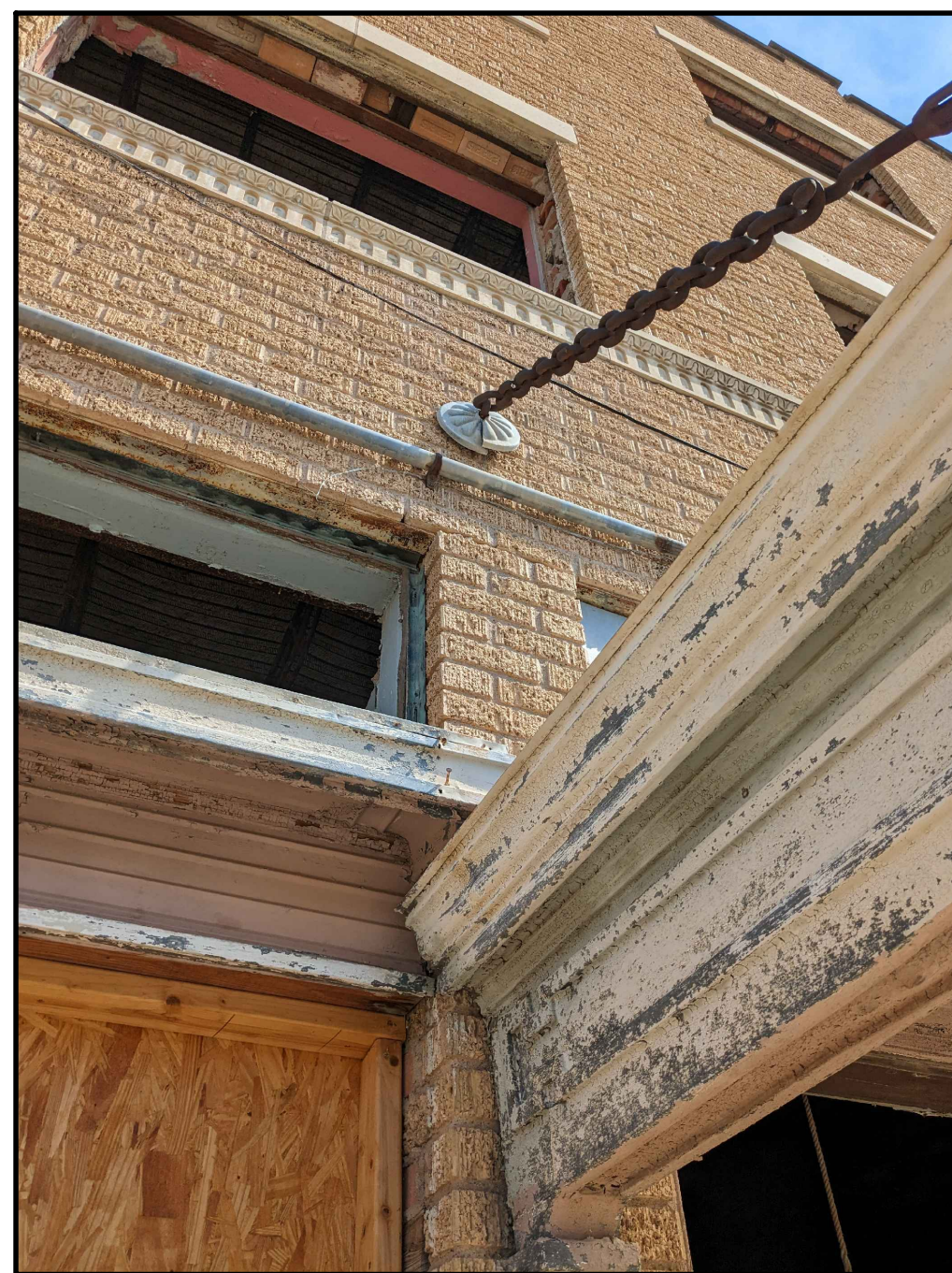
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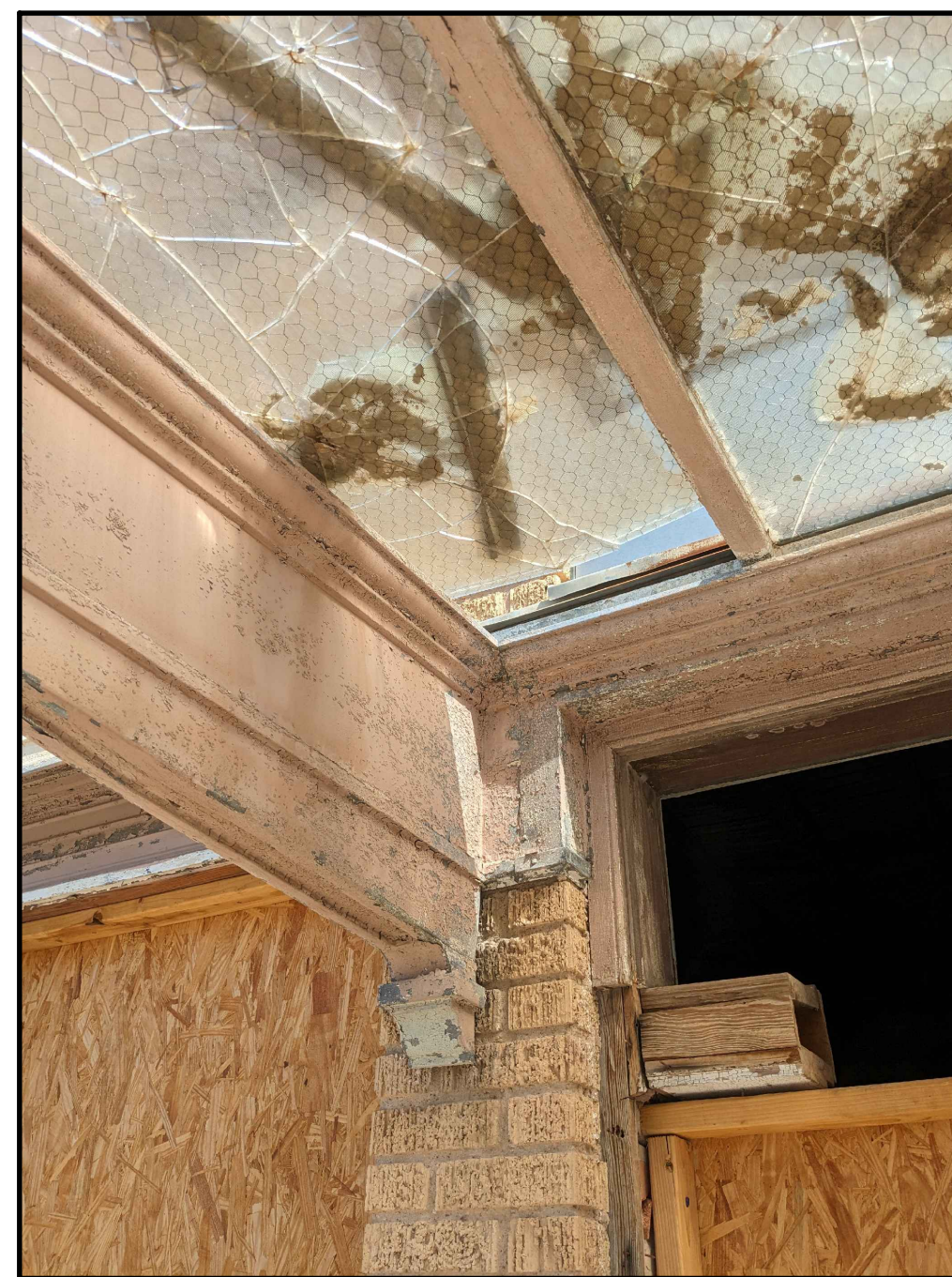
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- EXISTING CANOPY (SOUTH) NOTES**
1. REMOVE ALL PAINT, EXCESS CAULKING AND DEBRIS (REF. THE PRESERVATION BRIEFS FOR MEANS AND METHODS). CLEAN.
 2. REPAIR AND REPLACE PIECES AND ELEMENTS AS NEEDED TO FULLY RESTORE CANOPY TO ORIGINAL APPEARANCE.
 3. REMOVE ALL CRACKED AND DAMAGED GLASS ON TOP OF CANOPY. PREP CANOPY FOR THE INSTALLATION OF NEW GLASS TOP.
 4. REMOVE UNNECESSARY NAILS, BOLTS, ANCHORS & ACCESSORIES FROM PREVIOUS NON-HISTORIC INFILL AND REPAIRS.
 5. REMOVE ANY CONDUIT, WIRES, ALARMS, LIGHTS, ETC.
 6. CLEAN AND PREP HISTORIC OPENINGS ABOVE AND BELOW FOR THE INSTALLATION OF NEW ALUM. STOREFRONT AND TRANSOM.
 7. STRUCTURAL ENGINEER TO EVALUATE CANOPY AND IF NECESSARY, PROVIDE RECOMMENDATION FOR FURTHER REPAIR AND STABILIZATION.
 8. CANOPY FINAL FINISH SHALL BE PAINTED, COLOR TO BE DETERMINED.

NEW CANOPY (WEST) NOTES
CONSTRUCT NEW CANOPY TO MATCH EXISTING.



**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
NO SCALE



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HISTORIC ENTRANCE CANOPY**
NO SCALE



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HISTORIC ENTRANCE CANOPY**
NO SCALE



**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
NO SCALE



**N. CHADBORNE STREET (DR #101)
HISTORIC ENTRANCE PHOTOGRAPH**
NO SCALE



**E. COLLEGE AVENUE
HISTORIC ENTRANCE CANOPY**
NO SCALE



**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
NO SCALE

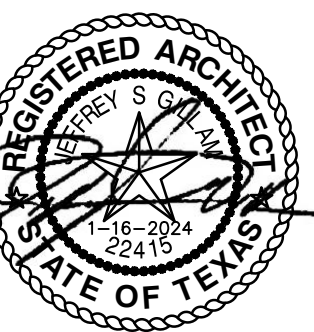


**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
NO SCALE

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION:

DATE: 1-16-2024

JOB: 22-3281

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