

ROOSEVELT LOFTS



BP24-0000249
REVIEWED for code
compliance
5/30/2024

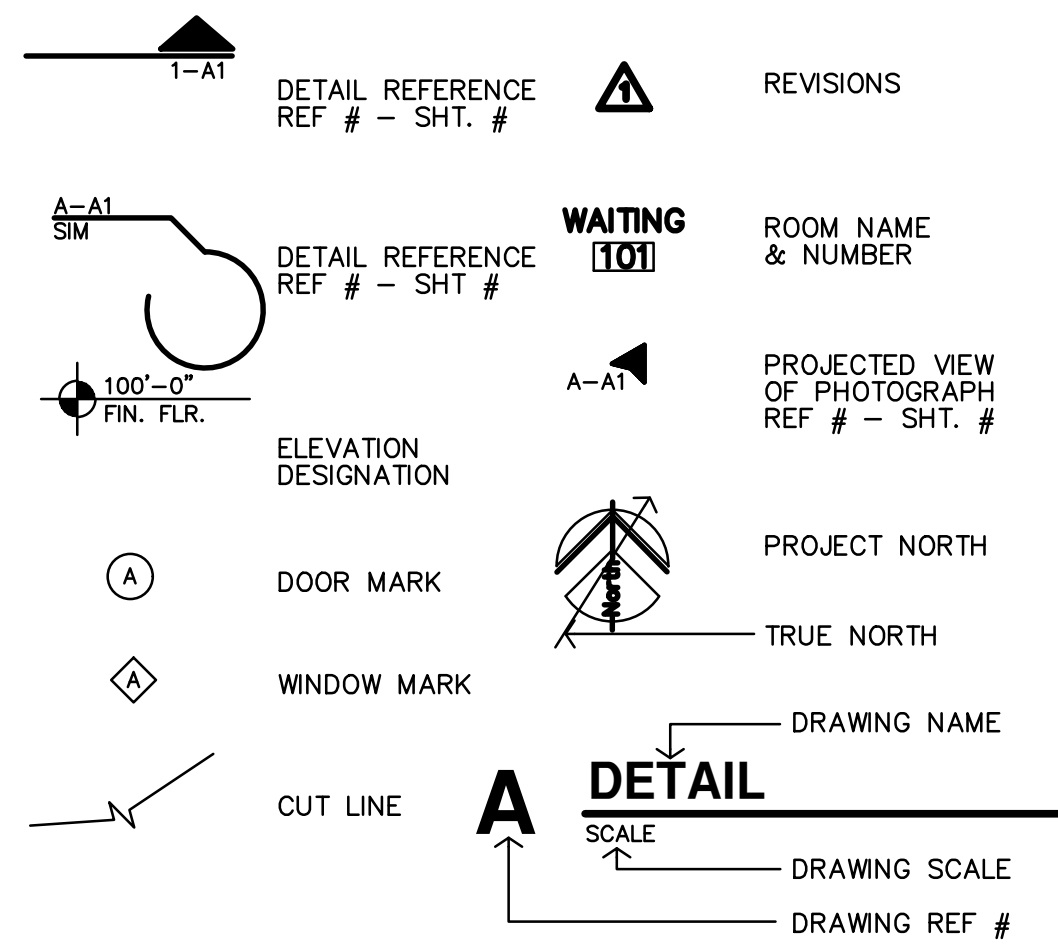
HISTORIC REHABILITATION - APARTMENTS

SAN ANGELO,

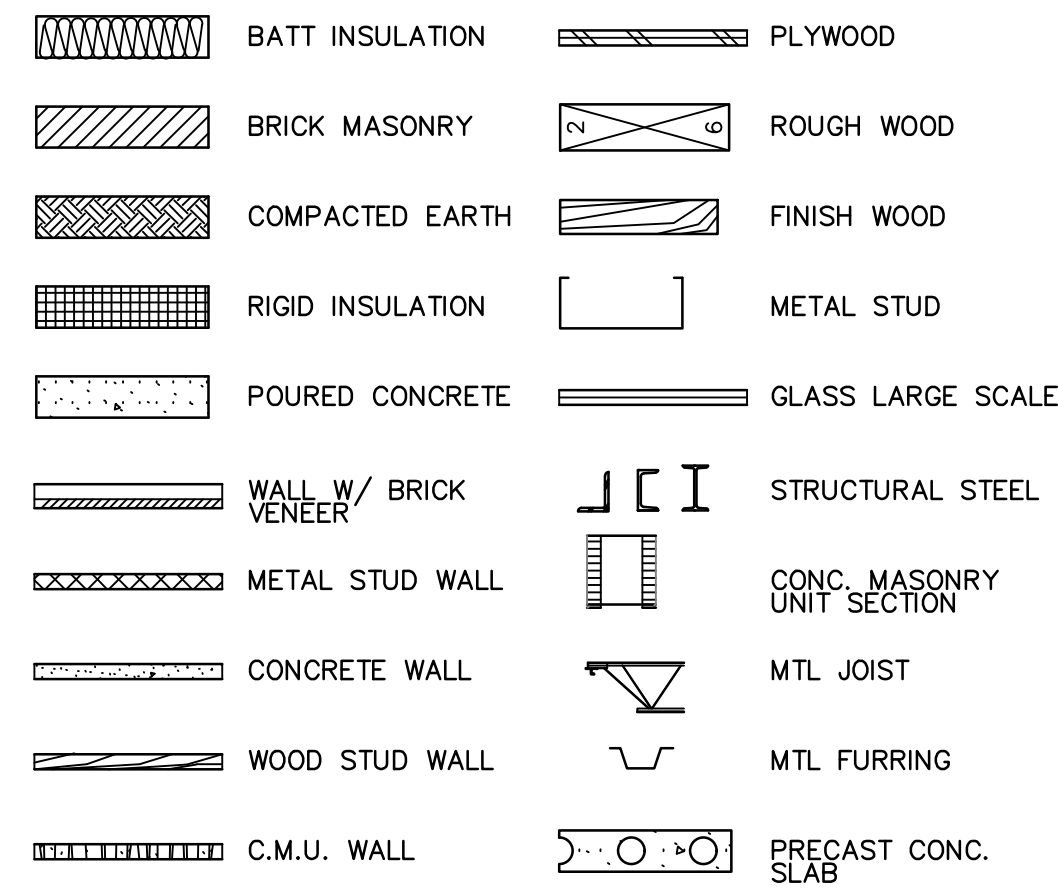
22-3281

TEXAS

REFERENCE LEGEND



MATERIAL LEGEND



ABBREVIATIONS

&	AND	Cntr.	Center	Exp.	Expansion	Hr.	Hour	N.I.C.	North	Reinf.	Reinforced	Temp.	Tempered
@	Angle	Col.	Column	Ext.	Exterior	Hgt.	Height	Not In Contract	Not In Contract	Req'd	Required	T.&G.	Tongue & Groove
∅	Centerline	Conc.	Concrete	F.A.	Fire Alarm	I.D.	Inside Diameter	No. or Number	Nominal	Resil.	Resilient	Thk.	Thick
∅	Diameter or Round	C.T.	Ceramic Tile	F.D.	Fire Alarm	Insul.	Insulation	Nom.	Nominal	Rm.	Room	I.O.M.	Top Of Masonry
#	Pound or Number	CMU	Concrete Masonry Unit	Fdn.	Foundation	Int.	Interior	N.T.S.	Not To Scale	R.O.	Rough Opening	T.P.	Top Of Pavement
Acous.	Acoustical	Dbl.	Double	F.E.C.	Fire Extinguisher	Jan	Janitor	O/	On or Over	S.	South	T.P.D.	Toilet Paper Dispenser
Adj.	Adjustable	Det.	Detail	F.F.	Fire Cabinet	Jt.	Joint	Obs.	Obscure	S.B.	Spill Block	T.V.	Television
A.F.F.	Above Finished Floor	D.F.	Drinking Fountain	Fl.	Finish	Kit.	Kitchen	O.C.	On Center	S.C.	Solid Core	T.O.S.	Top Of Steel
Aggr.	Aggregate	Dia.	Diameter	Fl.	Flashing	Lab.	Laboratory	O.D.	Office	Sched.	Schedule	T.P.	Top Of Pavement
Al.	Aluminum	Dim.	Dimension	Fl.	Flow line	Lam.	Laminate	Ong.	Opening	Sect.	Section	Typ.	Typical
Arch.	Architect or Architectural	Dr.	Down	Ft.	Foot or feet	Lav.	Lavatory	Opp.	Opposite	Sh.	Shower	Trd.	Tread
Asb.	Asbestos	Ds.	Door	Ftg.	Footing	Lk.	Lock	S.	Sheet	Sht.	Sheet	U.O.N.	Unless Otherwise Noted
Asph.	Asphalt	Dwg.	Downspout	Furr.	Furring	Lt.	Locker	S.B.	Sanitary Napkin Disp.	Sim.	Similar	Ur.	Urinal
A.V.	Audio Visual	Dwr.	Drawer	Fut.	Future	Lt.	Light	S.N.D.	Sanitary Napkin Recep.	S.N.R.	Sanitary Napkin Recep.	V.C.T.	Vinyl Composition Tile
Bd.	Board	(E)	Existing	Ga.	Gauge	Mas.	Masonry	P.	Paint	Spec.	Specification	V.T.	Vinyl Tile
Bitum.	Bituminous	Exp.	East or Existing	Galv.	Galvanized	Max.	Maximum	P.Lam.	Plastic Laminate	Sq.	Square	V.B.	Vapor Barrier
Bldg.	Building	Ea.	Each	G.B.	Grab Bar	M.C.	Medicine Cabinet	Plas.	Plaster	S.S.	Stainless Steel	Vert.	Vertical
Blk.	Block	E.J.	Expansion Joint	Gl.	Glass	Mech.	Mechanical	Plywd.	Plywood	Std.	Standard	Vest.	Vestibule
Blk'g.	Blocking	El.	Elevation	Gr.	Grade	Memb.	Membrane	P.	Pair	Stl.	Steel	Vyl.	Vinyl
Bm.	Beam	Elc.	Electrical	Gyp.	Gypsum	Met.	Metal	Pt.	Point	Str.	Structure	W.	West
Bot.	Bottom	Elev.	Elevator	H.B.	Hose Bibb	Mfr.	Manufacturer	P.T.D.	Paper Towel Dispenser	Susp.	Suspended	W/C	Without
Bot.	By OWNER	Eq.	Equipment	H.C.	Hollow Core	Mn.	Manhole	P.T.R.	Paper Towel Receptacle	Sym.	Symmetrical	Wd.	Wood
Brg.	Bearing	Eqp.	Equipment	Hwd.	Hardwood	Mir.	Mirror	Q.T.	Quarry Tile	Tex.	Texture	Wp.	Waterproof
Brk.	Brick	E.W.	Each Way	Hwr.	Hardware	Misc.	Miscellaneous	R.	Riser	T.B.	Towel Bar	Wdw.	Window
Cab.	Cabinet	Exist.	Existing	H.M.	Hollow Metal	M.O.	Masonry Opening	Rad.	Radius	T.B.	Towel Bar	Wsc.	Wainscot
Cig.	Ceiling	Expo.	Exposed	Horiz.	Horizontal	Mtd.	Mounted	Ref.	Reference	T.Bd.	Tack Board	Wt.	Weight
Cir.	Clear												



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BUILDING PERMIT & BID SET (1-16-2024)

CODE INFORMATION

OCCUPANCY OVERALL: R-2 MIXED-USE

OCCUPANCY GROUPS: B OFFICE
R APARTMENTS

CONSTRUCTION TYPE: III-B (EXISTING BUILDING)

AREA ALLOWED PER FLOOR: R-2 (S13R) 16,000 SF
(TABLE 506.2)

ACTUAL BUILDING AREA:
BASEMENT 532 SF*
FIRST FLOOR 9,994 SF
SECOND FLOOR 7,117 SF
+ OCCUPIED ROOF 527 SF*
THIRD FLOOR 7,117 SF
TOTAL BLDG AREA 24,228 SF

*BASEMENT AND OCCUPIED ROOF NOT INCLUDED IN OVERALL CALCULATIONS PER 503.1.4 & 506.1.3

ALLOWABLE HEIGHT (S): 60' **ACTUAL HEIGHT:** 52'-8"
(PER IBC TABLE 504.3)

ALLOWABLE STORIES (S): 4 **ACTUAL STORIES:** 3
(PER IBC TABLE 504.4)

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS: III-B
EXTERIOR NON-BEARING WALLS: 1 HOUR*
STRUCTURAL FRAME: 0 HOUR
INTERIOR BEARING WALLS: 0 HOUR
INTERIOR NON-BEARING WALLS: 0 HOUR
FLOOR/CEILING ASSEMBLY: 0 HOUR
CEILING/ROOF ASSEMBLY: 0 HOUR
CORRIDOR (DWELLING UNITS): 1/2 HOUR
SHAFT ENCLOSURE: 2 HOUR
WALLS SEPARATING DWELLING UNITS, OTHER OCCUPANCIES: 1 HOUR
FLR/CLG SEPARATING DWELLING UNITS, OTHER OCCUPANCIES: 1 HOUR

*EXISTING EXTERIOR MASONRY WALLS ARE ASSUMED TO BE NON-BEARING, 2-HR CONSTRUCTION.

ELEVATOR REQUIREMENTS
HOISTWAY OPENING PROTECTION: NOT REQUIRED PER 3006.2.
ELEVATOR HOISTWAY DOES NOT CONNECT MORE THAN 3 STORIES
BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM
AN APPROVED PICTORIAL SIGN OF A STANDARDIZED DESIGN SHALL BE POSTED ADJACENT TO ELEVATOR CALL STATION ON ALL FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATORS IN CASE OF FIRE.
PLUMBING AND MECHANICAL SYSTEMS SHALL NOT BE LOCATED IN AN ELEVATOR HOISTWAY ENCLOSURE (EXCEPTIONS: FLR DRAINS, SUMPS & SUMP PUMPS)
OPENINGS SHALL BE SELF-CLOSING OR AUTOMATIC CLOSING BY SMOKE DETECTION.
PENETRATIONS OTHER THAN THOSE NECESSARY FOR THE PURPOSE OF THE SHAFT SHALL NOT BE PERMITTED.
ELEVATORS SHALL BE PROVIDED WITH PHASE I EMERGENCY RECALL OPERATION AND PHASE II EMERGENCY IN-CAR OPERATION IN ACCORDANCE WITH ASME A17.1/CSA B44 (3003.2)
AN AREA OF REFUGE IS NOT REQUIRED IN BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM. (SECTION 1009.4.2, Exception 2)

OCCUPANCY & INCIDENTAL SEPARATIONS: (NON-SEPARATED USES PER IBC SEC. 508.3)
WALLS SEPARATING DWELLING AND SLEEPING UNITS SHALL HAVE A FIRE-RESISTIVE RATING NOT LESS THAN 1-HR (SECT. 708.3)
HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS SHALL NOT BE LESS THAN 1-HR RATED. (SECT. 711.2.4.3)
LAUNDRY ROOMS OVER 100 SF - 1 HR RATED

ROOF COVERINGS
CLASS C OR BETTER, (TABLE 1505.1)

DRAFTSTOPPING (SECT. 708.4.2)
FIRE PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE ROOF DECK ABOVE.

AUTOMATIC SPRINKLER SYSTEMS
REQUIRED, NFPA 13R SYSTEM PROVIDED

FIRE PUMPS:
WHEN PROVIDED, FIRE PUMPS SHALL BE LOCATED IN ROOM THAT ARE SEPARATED FROM ALL OTHER AREAS BY 2-HR FIRE BARRIER CONSTRUCTION.
EXCEPTION: SEPARATION BY 1-HR FIRE BARRIERS IS PERMITTED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

PORTABLE FIRE EXTINGUISHERS
REQUIRED, PROVIDED AS SPECIFIED BY SECTION 906.1.
EACH DWELLING UNIT IS PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A:10-B:C ON EACH FLOOR (WHILE UNDER CONSTRUCTION)

STANDPIPES:
NOT REQUIRED PER 905.3.1

SMOKE ALARM REQUIREMENTS:
REQUIRED, PROVIDED AS SPECIFIED BELOW ACCORDING TO SECT. 907.2.11.2
- ON THE CEILING OR WALL OUTSIDE EACH SEPARATE SLEEPING AREA
- IN EACH ROOM USED FOR SLEEPING
- ON EACH STORY
SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT AS REQUIRED ABOVE.
WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED, SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS.
WIRING AND ALARM SHALL BE EQUIPPED WITH A BATTERY BACKUP.
OCCUPIED ROOF: SHALL BE PROVIDED WITH AUTOMATIC SMOKE DETECTION SYSTEM, A FIRE DEPARTMENT COMMUNICATION SYSTEM AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM.

FIRE ALARM REQUIREMENTS:
REQUIRED, PROVIDED - MANUAL FIRE ALARM SYSTEM, 907.2.9.1 & NFPA 72
SIGNALING SYSTEM IS AUDIBLE/VISUAL PER NFPA 72 & ADA INSTALLED THROUGHOUT
INITIATING DEVICES: PULL STATIONS
AUTOMATIC SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES MONITORED.

SPECIAL CONDITIONS:
EXIT & EMERGENCY LIGHTING PROVIDED
EGRESS - NO STEPS EXISTING OR PROPOSED AT REQUIRED EXITS

EMERGENCY POWER SOURCE:
EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP

HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1))
NO HAZARDOUS MATERIALS ARE TO BE STORED

SMOKE CONTROL: SMOKE PARTITIONS:
NOT REQUIRED NOT REQUIRED

EXITING & OCCUPANT LOAD: REFERENCE SHEET CFP2

PROJECTIONS INFORMATION

TYPE OF PROJECT: INTERIOR REMODEL
FACILITY NAME: ROOSEVELT LOFTS
FACILITY ADDRESS: 50 N. CHADBORNE ST.
SAN ANGELO, TEXAS 76903
OWNER: OPG - ROOSEVELT LOFTS PARTNERS, LLC
254 N SANTA FE AVE, STE A
SALINA, KS 67401
ph: 913-396-6310

REASON FOR SUBMITTAL: CHANGE IN USE, PRIOR HOTEL TO MULTI-FAMILY HOUSING
COUNTY: TOM GREEN
CITY OF SAN ANGELO
WATER SUPPLY: CITY OF SAN ANGELO
BUILDING INSPECTION DEPT: CITY OF SAN ANGELO
AUTHORITY HAVING JURISDICTION: CITY OF SAN ANGELO

ARCHITECT: JONES GILLAM RENZ ARCHITECTS, INC.
730 N. NINTH ST.
SALINA, KS 67401
ph: 785-827-0386

CODES/REGULATIONS: 2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL PLUMBING CODE
2020 NATIONAL ELECTRICAL CODE
2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
FAIR HOUSING ACT DESIGN MANUAL
2010 ADA STANDARDS for ACCESSIBLE DESIGN
2017 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS and FACILITIES

LEGEND

DESIGNATED EMERGENCY EXIT

68"/24.4" ← EXIT WIDTH (ACTUAL/REQUIRED)
122/340 ← OCCUPANT LOAD (ACTUAL/ALLOWED)

1 HOUR CONSTRUCTION
1/2 HOUR FIRE PARTITION; CORRIDOR (PER IBC TABLE 1018.1)
W/ 20 MIN OPENINGS (PER IBC TABLE 716.5)

1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS & TENANT SPACES
W/ 45 MIN OPENINGS (PER IBC 708.3 & 716.5)

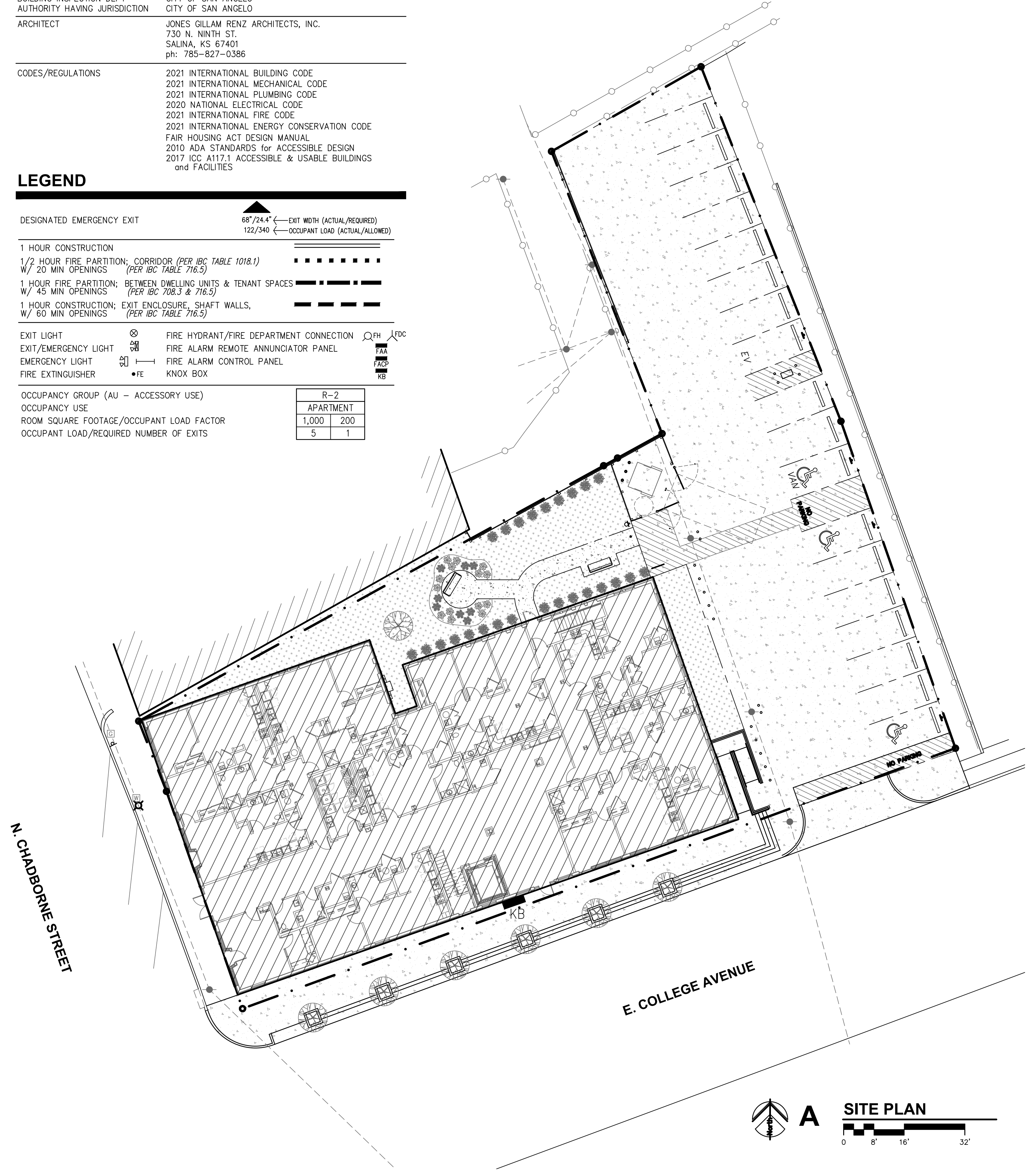
1 HOUR CONSTRUCTION; EXIT ENCLOSURE, SHAFT WALLS,
W/ 60 MIN OPENINGS (PER IBC TABLE 716.5)

EXIT LIGHT
EXIT/EMERGENCY LIGHT
EMERGENCY LIGHT
FIRE EXTINGUISHER

⊗ FIRE HYDRANT/FIRE DEPARTMENT CONNECTION
⊕ FIRE ALARM REMOTE ANNUNCIATOR PANEL
⊖ FIRE ALARM CONTROL PANEL
•FE KNOX BOX

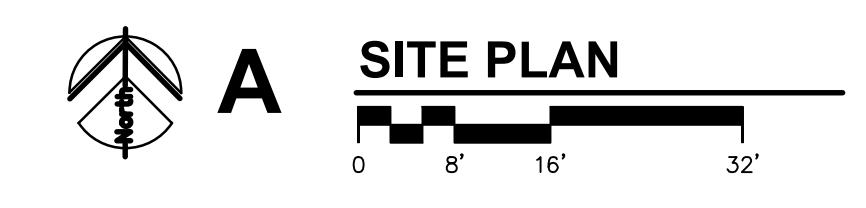
OCCUPANCY GROUP (AU - ACCESSORY USE)
OCCUPANCY USE
ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR
OCCUPANT LOAD/REQUIRED NUMBER OF EXITS

R-2	
APARTMENT	
1,000	200
5	1



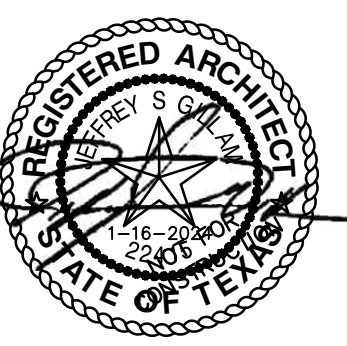
N. CHADBORNE STREET

E. COLLEGE AVENUE



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SAN ANGELO, TEXAS



REVISION:

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JOB: 22-3281
SHEET NO.:

CFP1

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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



REVISION:
 2 2-23-2024
 3 5-8-2024
 4 5-29-2024
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:

CFP2

LEGEND

DESIGNATED EMERGENCY EXIT
 68"/24.4" ← EXIT WIDTH (ACTUAL/REQUIRED)
 122/340 ← OCCUPANT LOAD (ACTUAL/ALLOWED)

1 HOUR CONSTRUCTION
 1/2 HOUR FIRE PARTITION, CORRIDOR (PER IBC TABLE 1020.2)
 W/ 20 MIN OPENINGS (PER IBC TABLE 716.1(2))

1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS & TENANT SPACES
 W/ 45 MIN OPENINGS (PER IBC 708.3 & 716.1(2))

1 HOUR CONSTRUCTION; EXIT ENCLOSURE, SHAFT WALLS,
 W/ 60 MIN OPENINGS (PER IBC TABLE 716.1(2))

EXIT LIGHT
 EXIT/EMERGENCY LIGHT
 EMERGENCY LIGHT
 FIRE EXTINGUISHER

FIRE HYDRANT/FIRE DEPARTMENT CONNECTION
 FIRE ALARM REMOTE ANNUNCIATOR PANEL
 FIRE ALARM CONTROL PANEL
 KNOX BOX

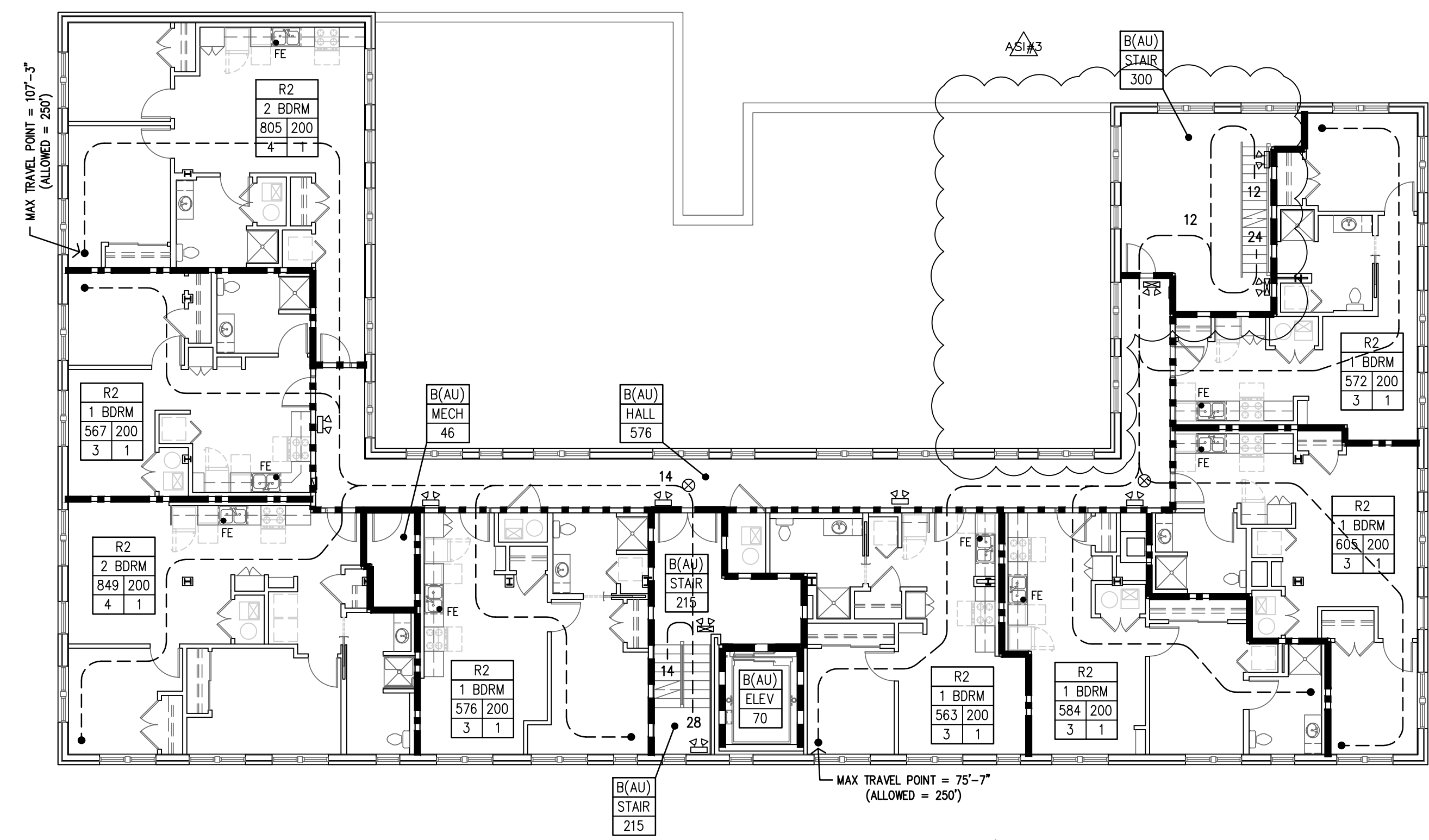
OCCUPANCY GROUP (AU - ACCESSORY USE)
 OCCUPANCY USE
 ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR
 OCCUPANT LOAD/REQUIRED NUMBER OF EXITS

R-2	APARTMENT	1,000	200
5		1	

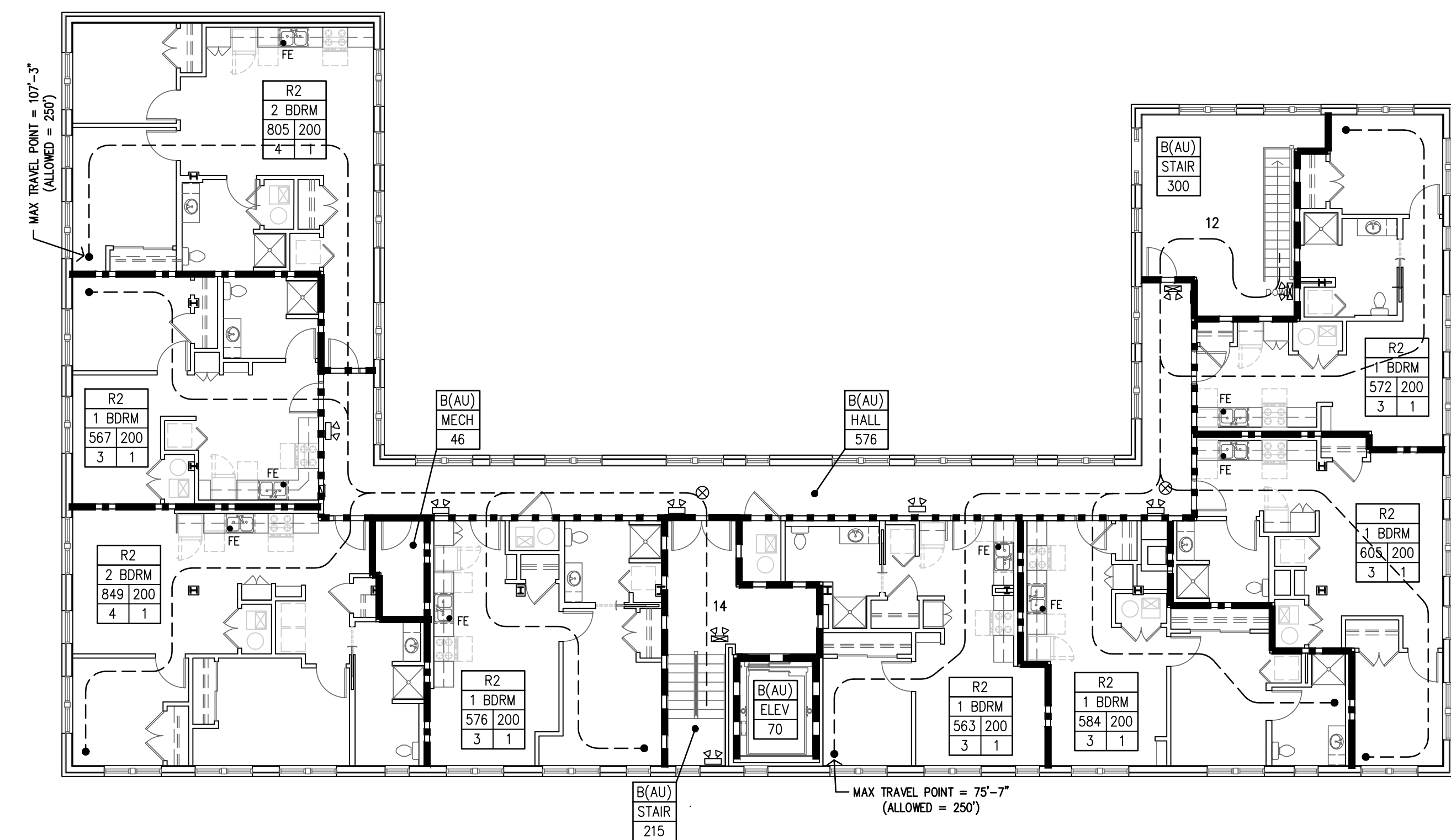
EXITS - REF PLANS ON THIS SHEET
 OCCUPANT LOAD: 146 TOTAL
 FIRST FLOOR: 94 TOTAL
 SECOND FLOOR: 26 TOTAL
 THIRD FLOOR: 26 TOTAL

OCCUPANT LOAD FACTORS

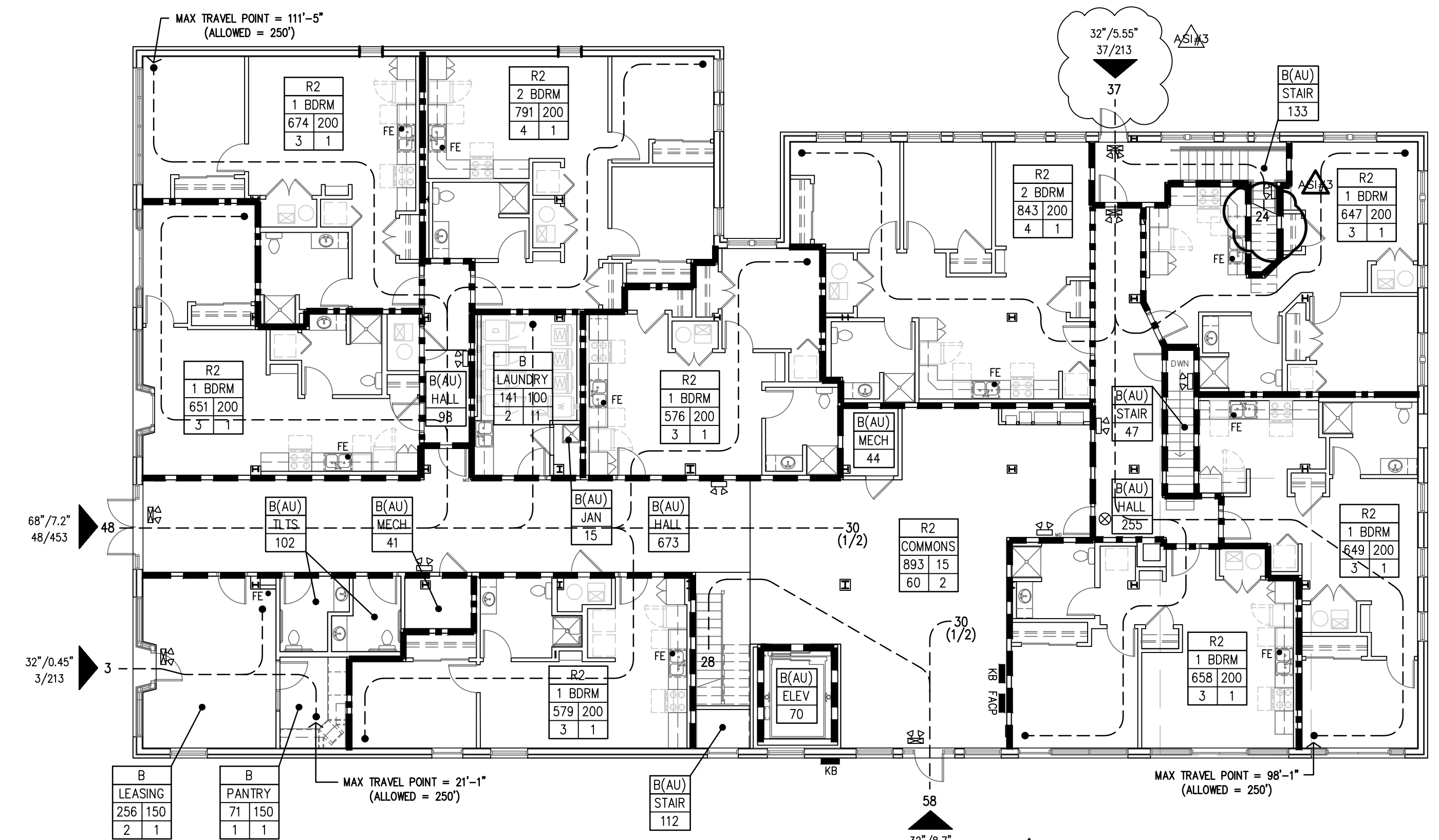
OCCUPANCY	USE	LOAD FACTOR	MAX. OCC LD=1 EXIT
B	COMMONS	15 sf/OCCUPANT	49
B	OFFICE	150 sf/OCCUPANT	49
B	MECH/ELEC	300 sf/OCCUPANT	49
R-2	APARTMENT	200 sf/OCCUPANT	10



B SECOND FLOOR PLAN
 3/32"=1'-0"



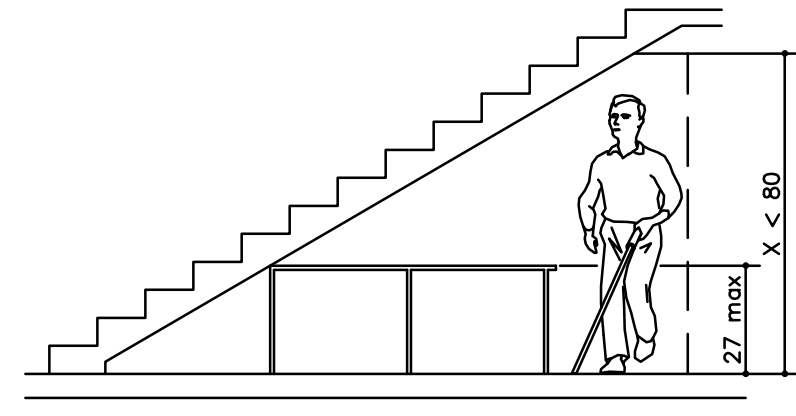
C THIRD FLOOR PLAN
 3/32"=1'-0"



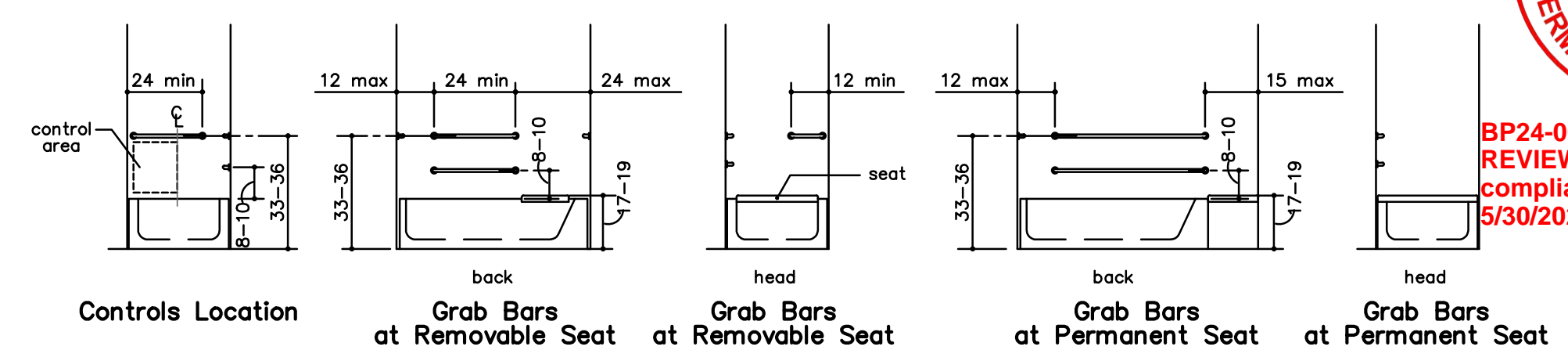
A FIRST FLOOR PLAN
 3/32"=1'-0"

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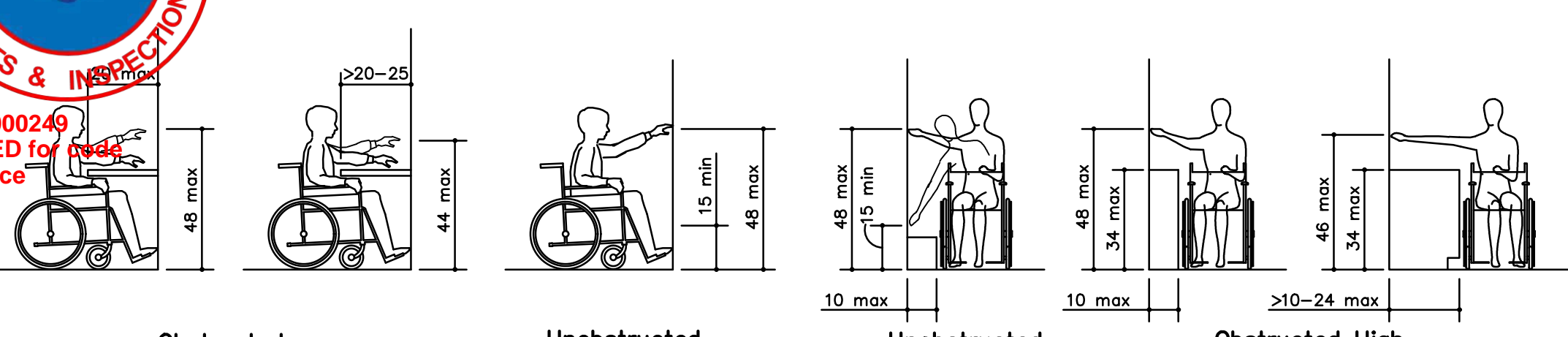
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COMPLIANCE
5/30/2024



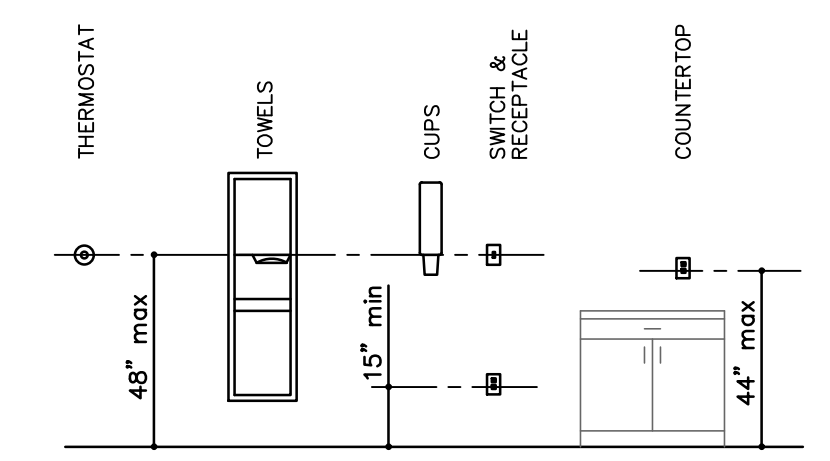
Vertical Clearance



Controls Location
Grab Bars at Removable Seat
Grab Bars at Permanent Seat

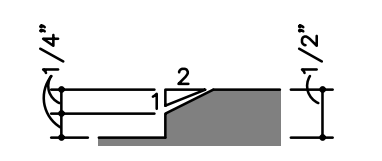


Obstructed High Forward Reach
Unobstructed Forward Reach
Unobstructed Side Reach
Obstructed High Side Reach



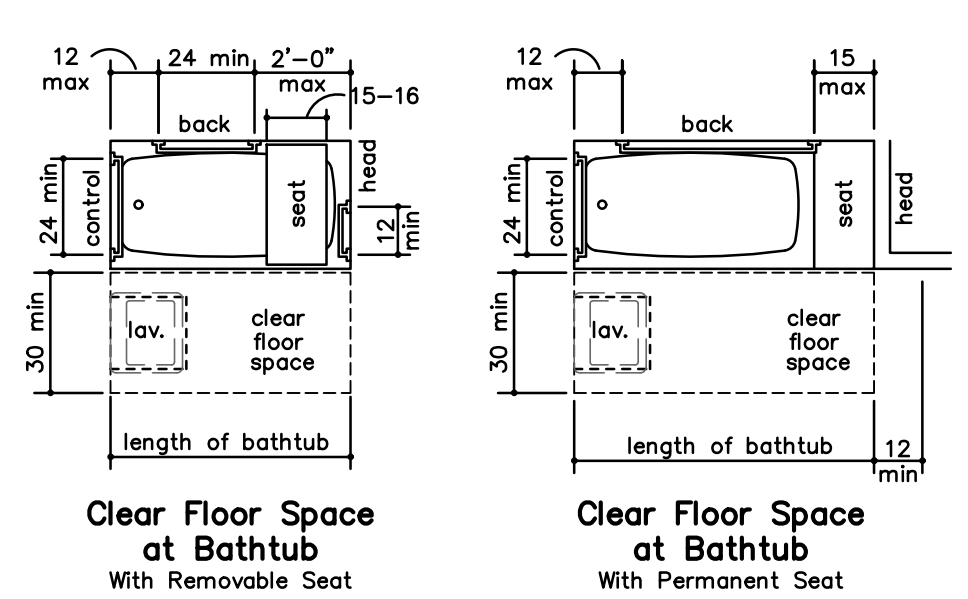
STANDARD CONTROL REACH LIMITATIONS DETAILS
NO SCALE

S STANDARD VERTICAL CLEARANCE
NO SCALE

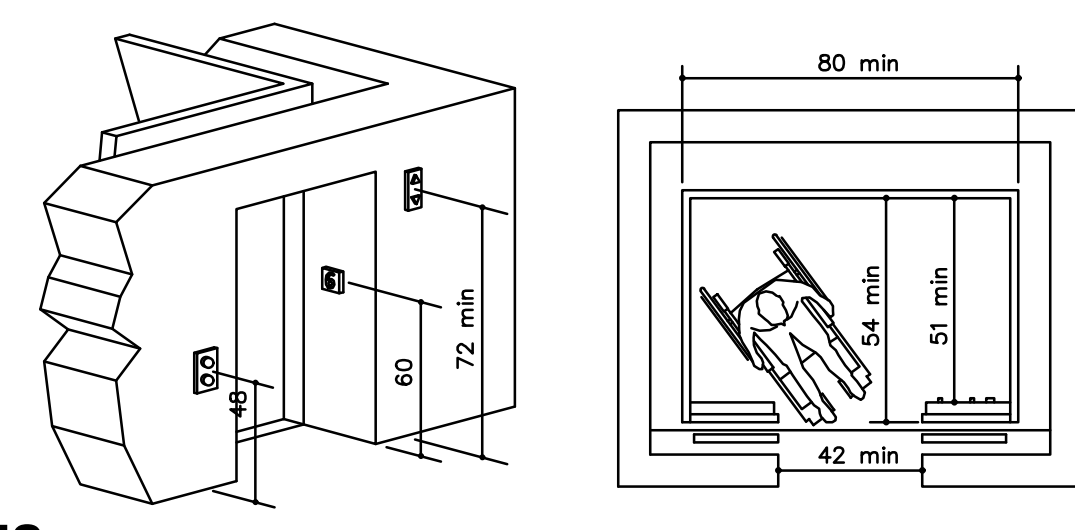


Beveled Change in Level

P THRESHOLD ADA DIAGRAMS
NO SCALE

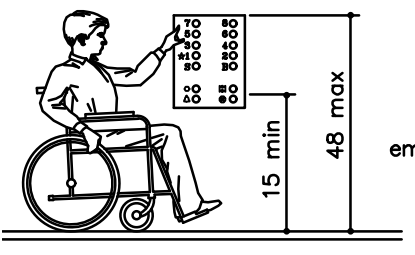


Clear Floor Space at Bathtub With Removable Seat
Clear Floor Space at Bathtub With Permanent Seat

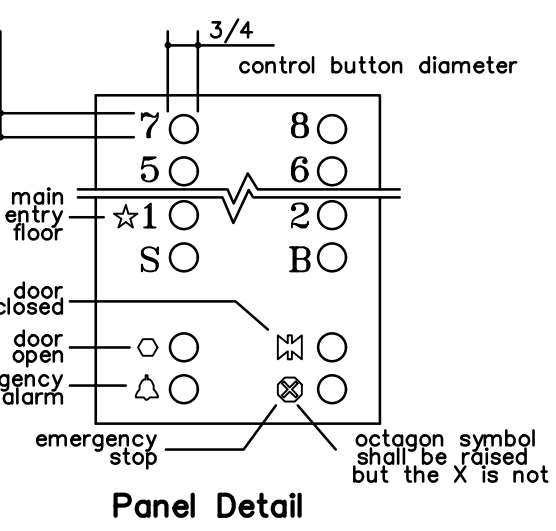


Hoistway and Elevator Entrances

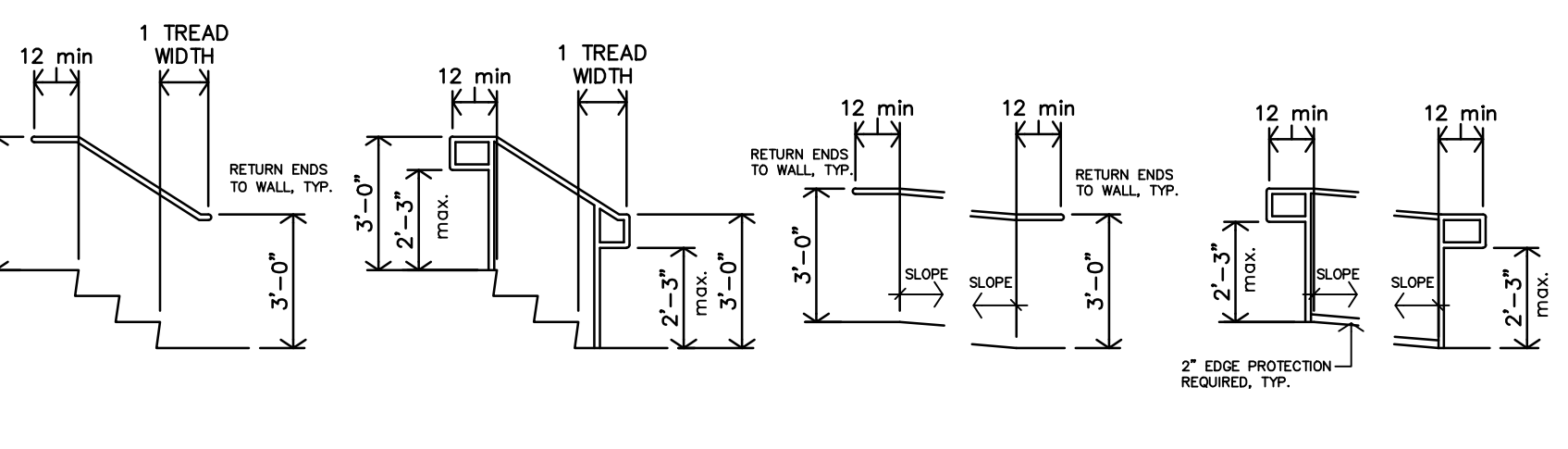
R STANDARD REACH ADA DIAGRAMS
NO SCALE



Car Control Height

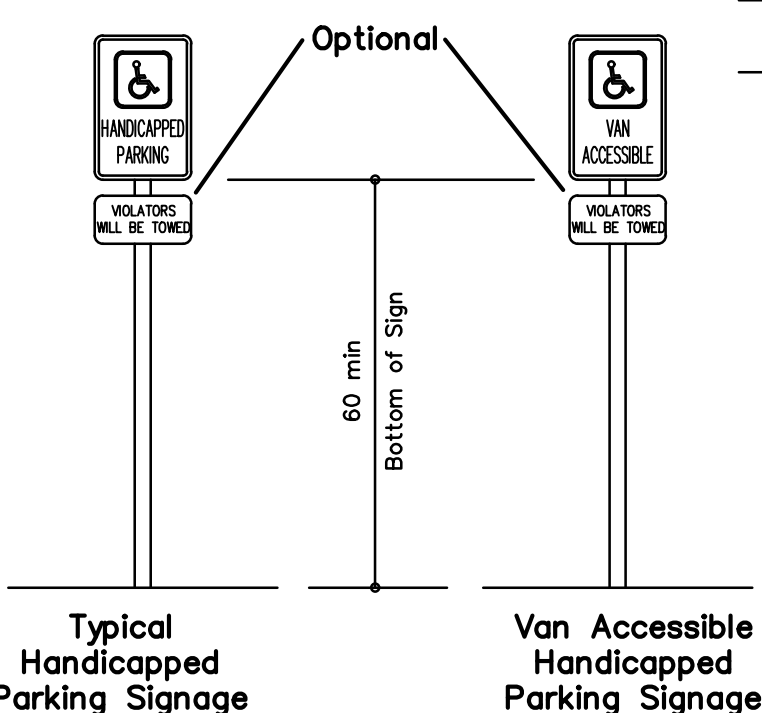


Panel Detail

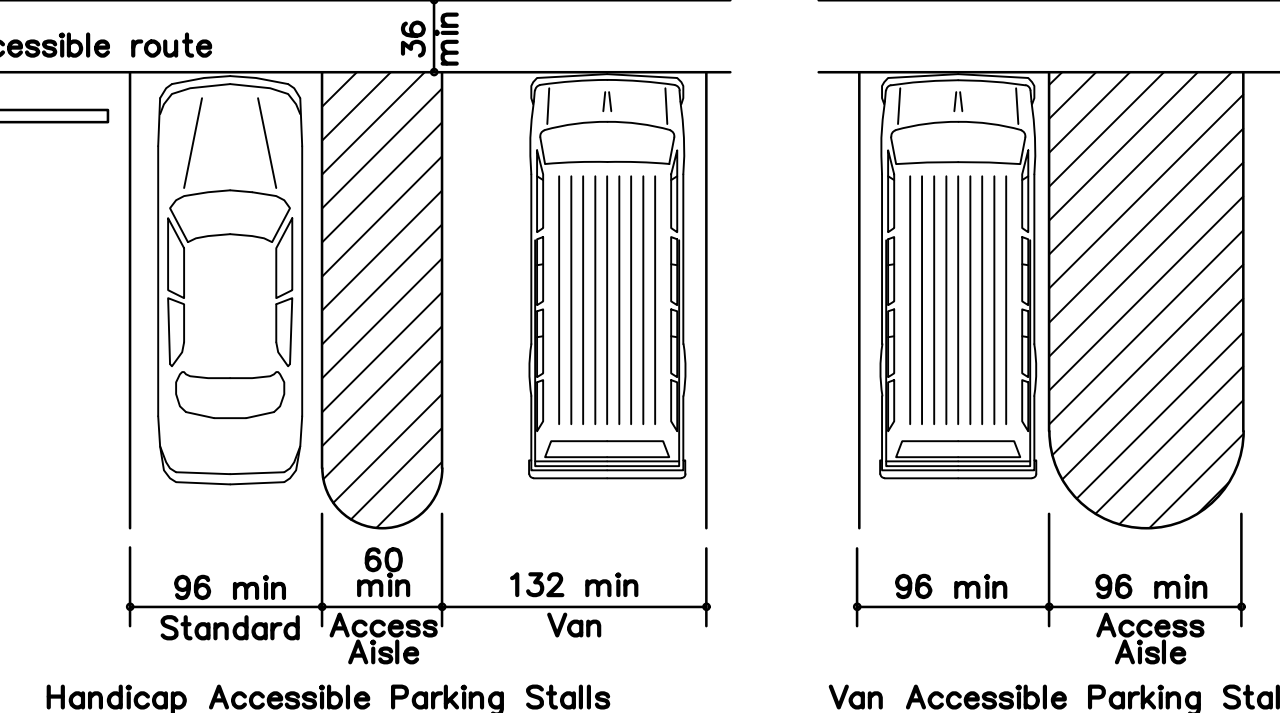


Stair Handrail Extensions at Walls
Stair Handrail Extensions at Freestanding Handrails
Ramp Handrail Extensions at Walls
Ramp Handrail Extensions at Freestanding Handrails

M STANDARD RAMP/STAIR HANDRAIL EXTENSIONS
NO SCALE

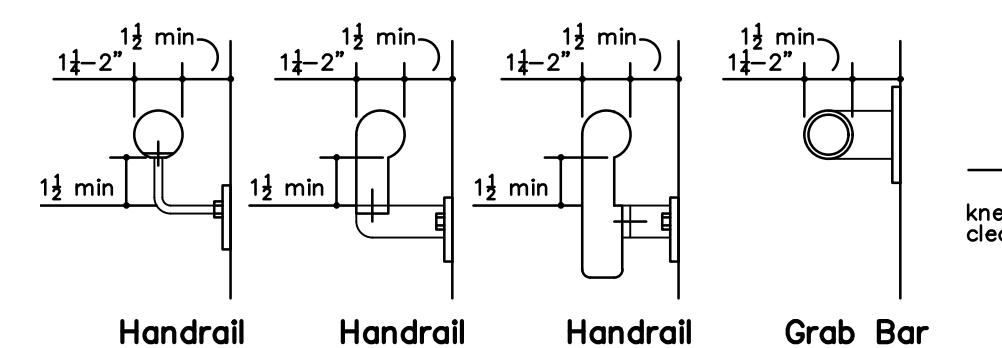


Typical Handicapped Parking Signage
Van Accessible Handicapped Parking Signage

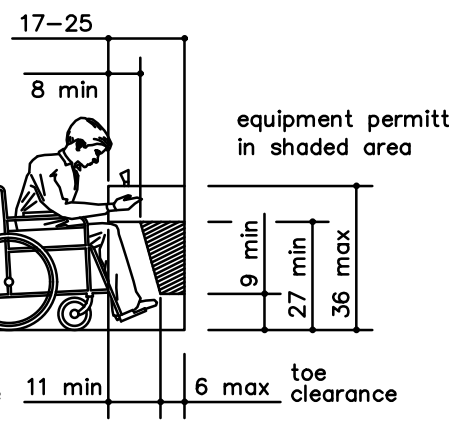


Handicap Accessible Parking Stalls
Van Accessible Parking Stall (per 502.2 exception)

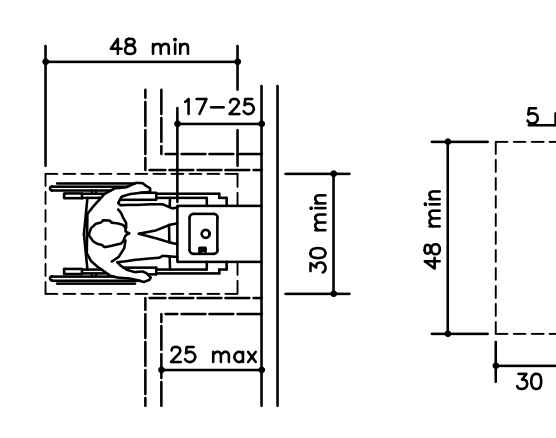
N STANDARD ELEVATOR ADA DIAGRAMS
NO SCALE



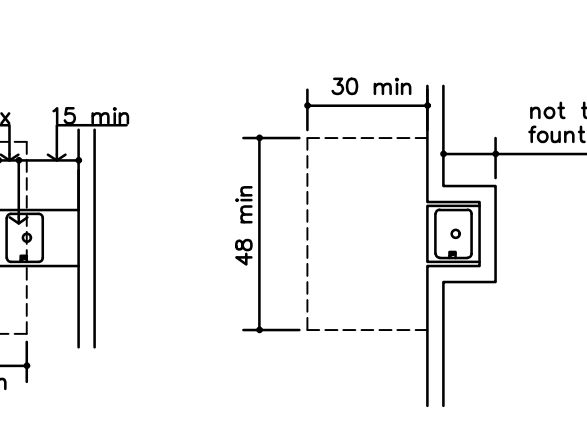
Handrail
Handrail
Handrail
Grab Bar



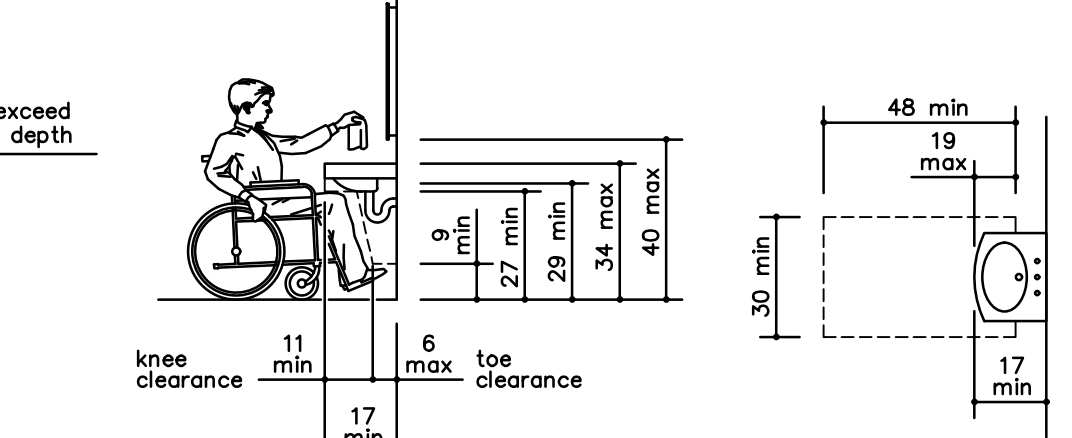
Toe and Knee Clearance Elevation



Toe and Knee Clearance Plan



Drinking Fountain Spout Location



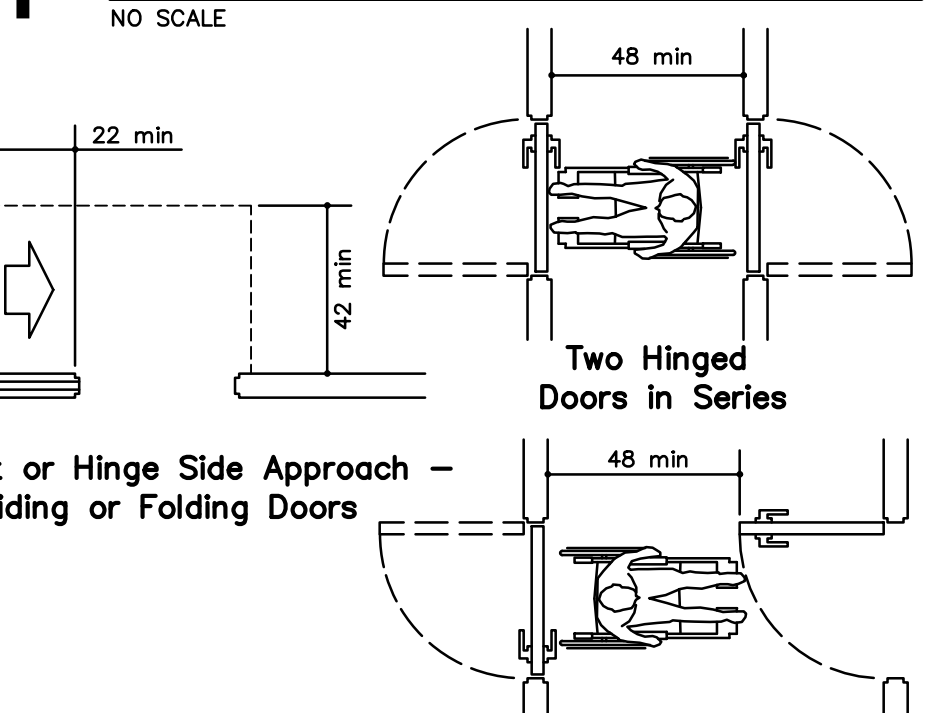
Built-in Fountain or Cooler

K STANDARD HANDRAIL/GRAB BAR DETAILS
NO SCALE

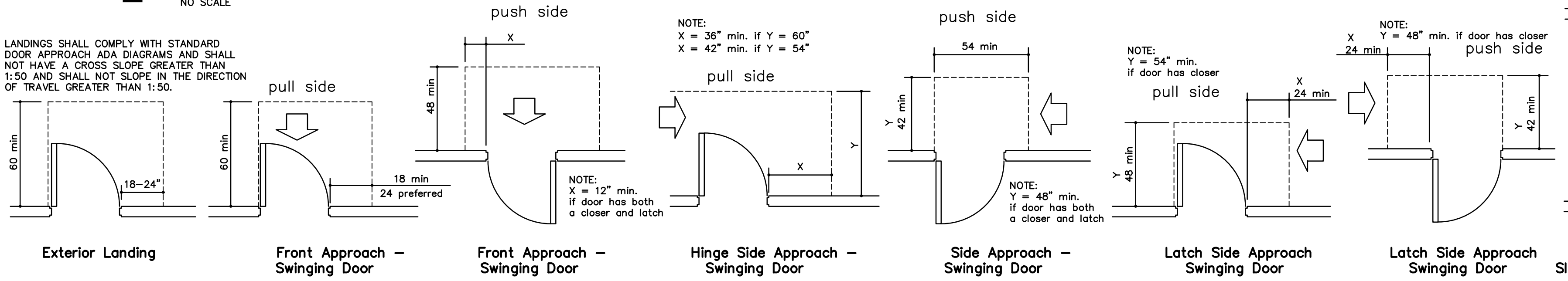


STANDARD DRINKING FOUNTAIN DETAILS
NO SCALE

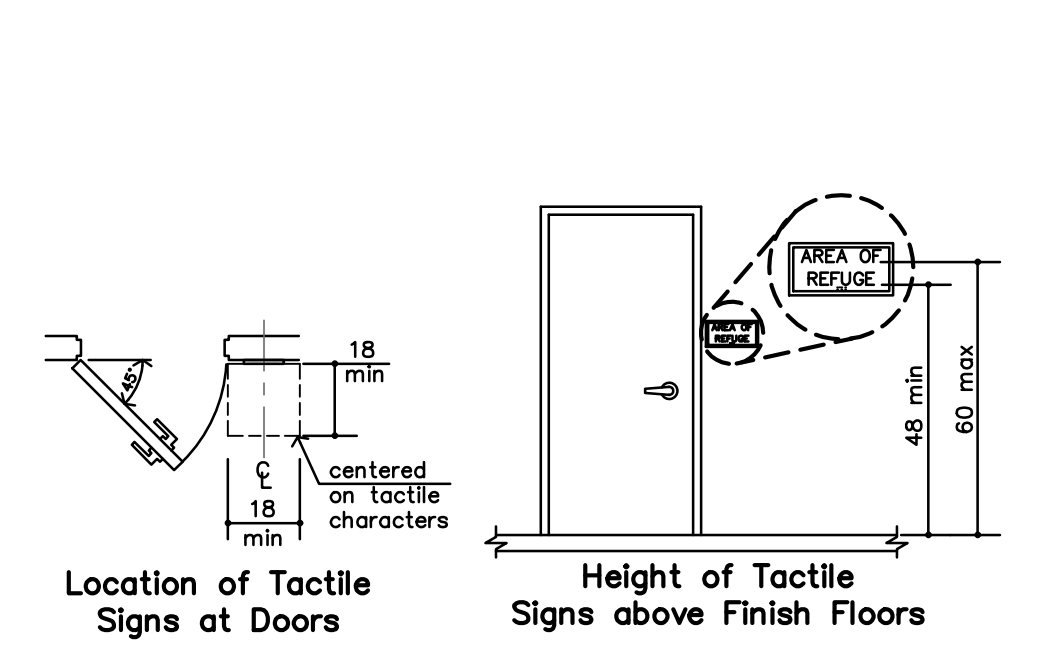
H STANDARD LAVATORY DETAILS
NO SCALE



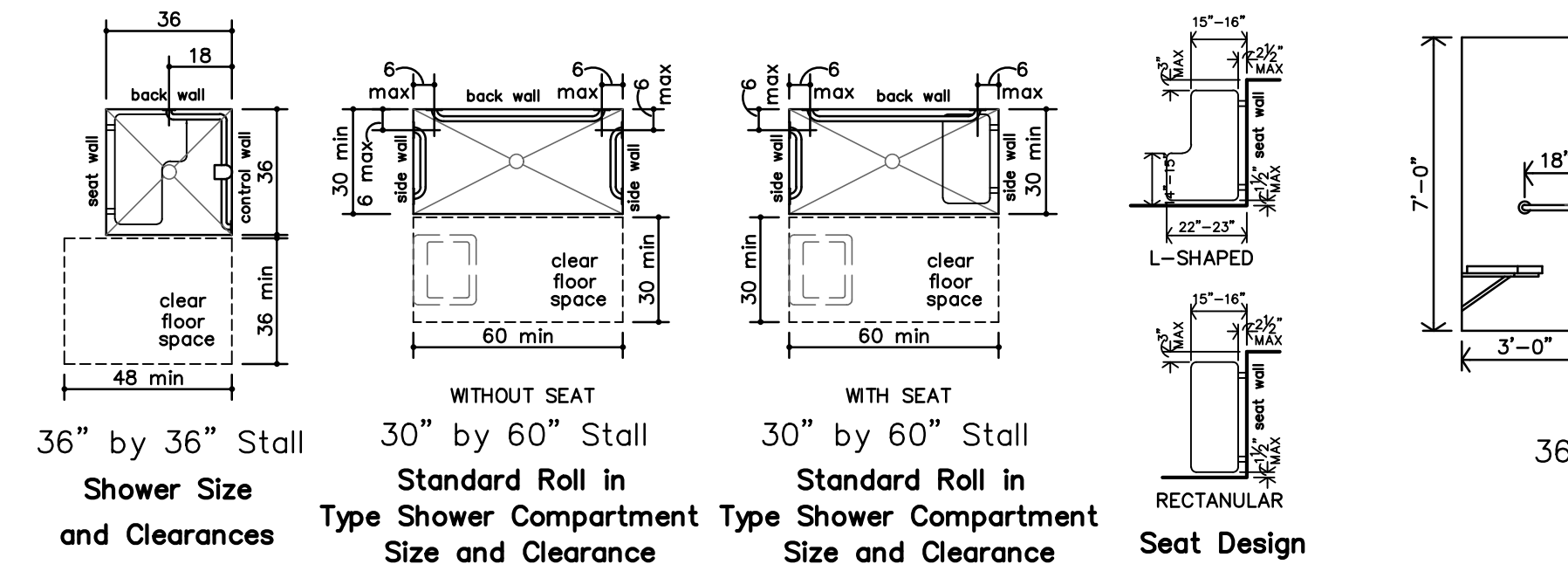
Lavatory Clearances at Lavatories



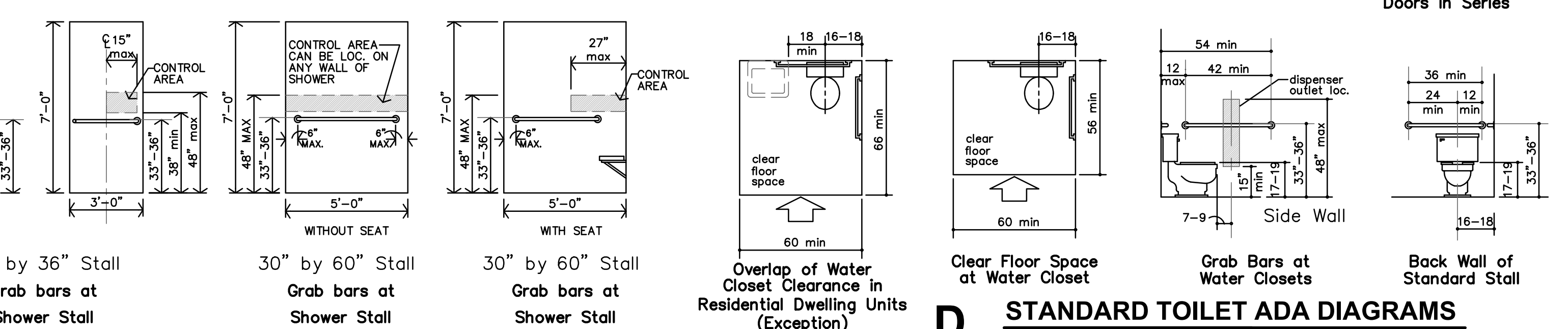
G STANDARD DOOR APPROACH ADA DIAGRAMS
NO SCALE



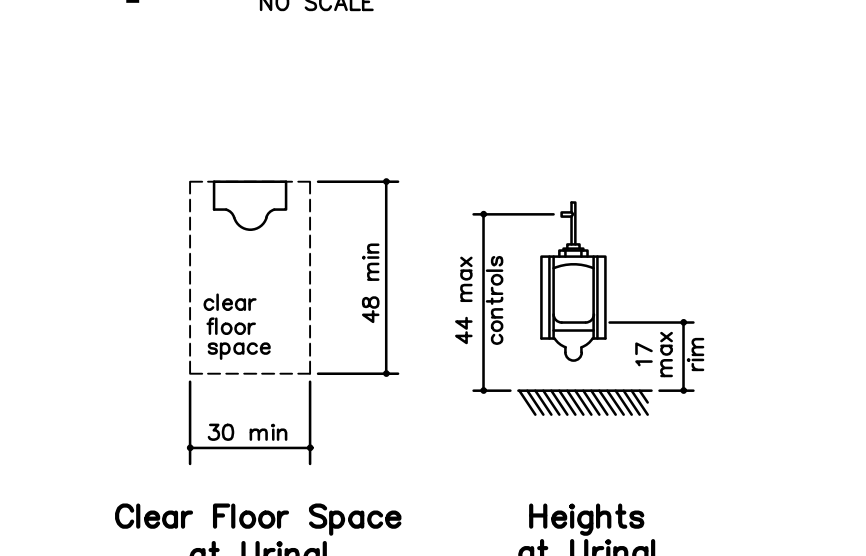
F TACTILE SIGN DIAGRAM
NO SCALE



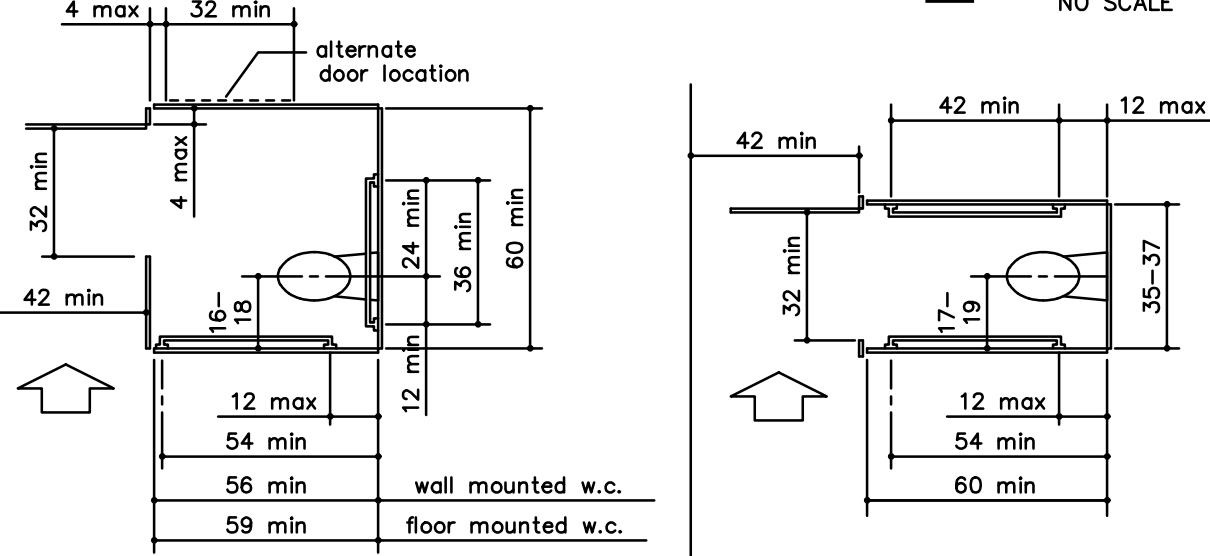
E STANDARD SHOWER ADA DIAGRAMS
NO SCALE



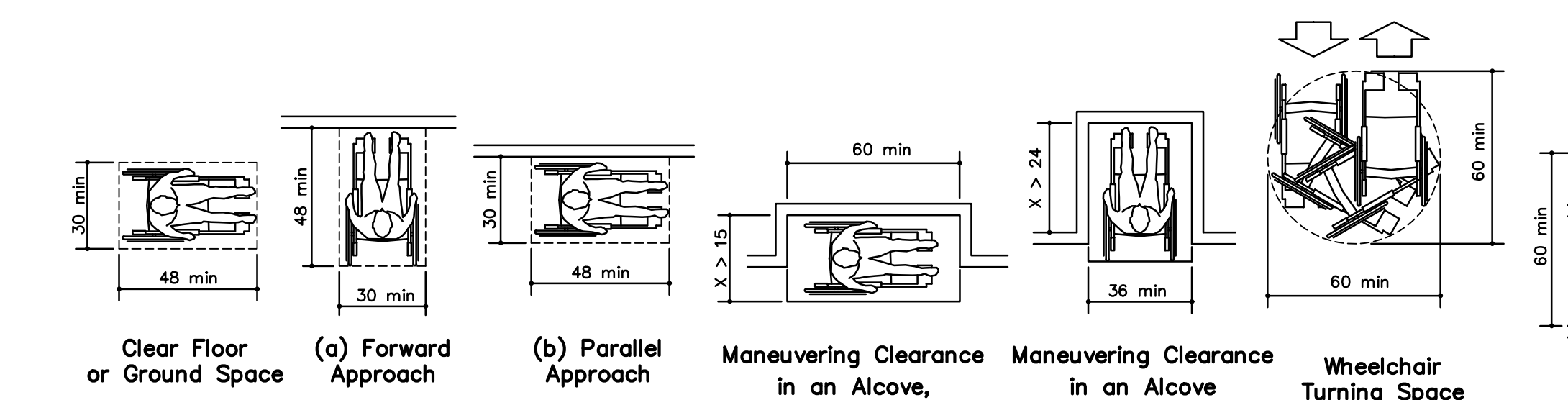
D STANDARD TOILET ADA DIAGRAMS
NO SCALE



C STANDARD URINAL ADA DIAGRAMS
NO SCALE



B STANDARD TOILET STALL ADA DIAGRAMS
NO SCALE



A STANDARD ADA DIAGRAMS
NO SCALE

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ADA



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compliance
5/30/2024

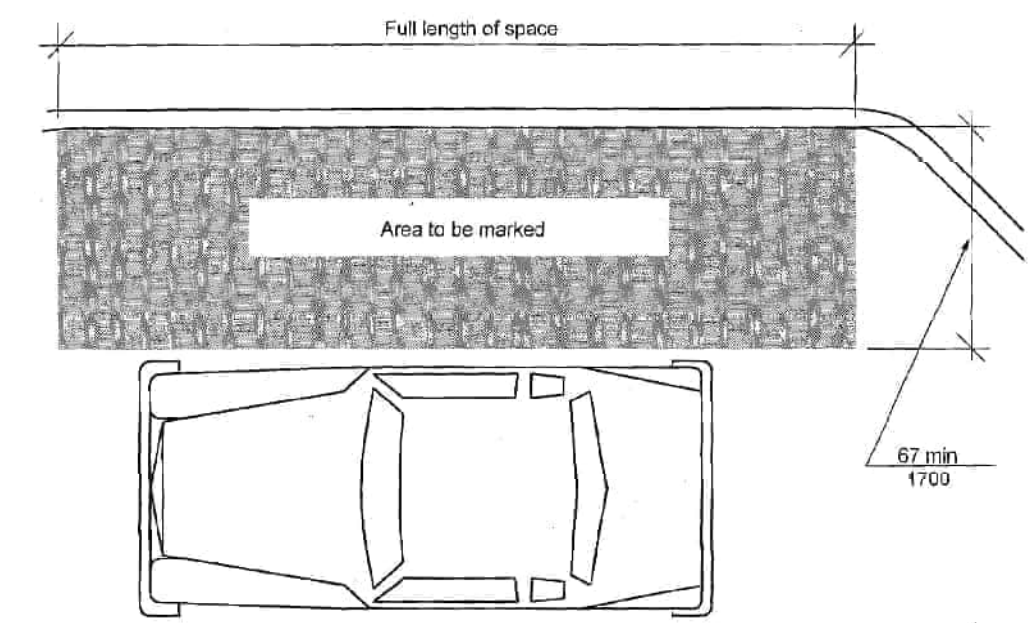
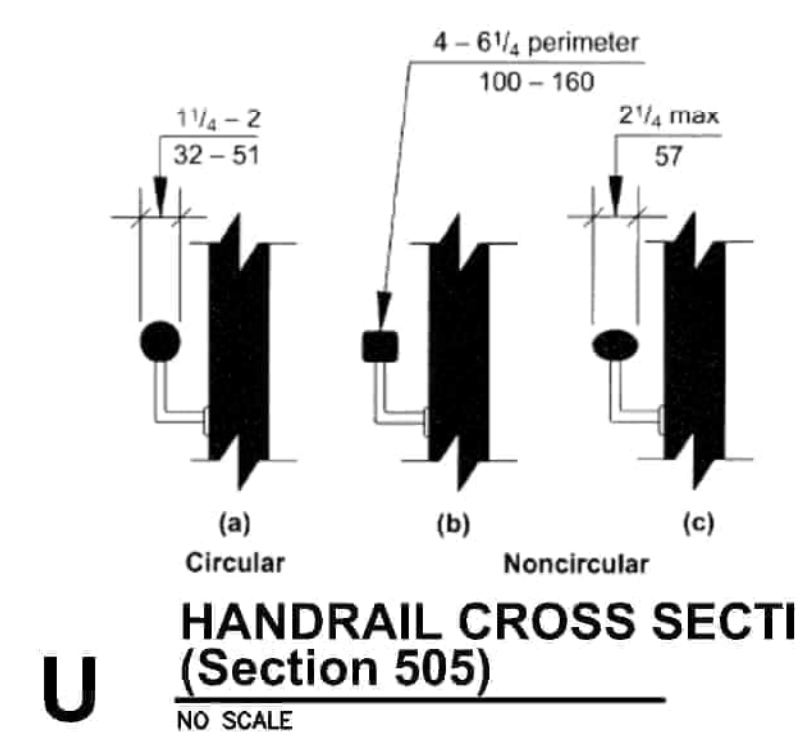
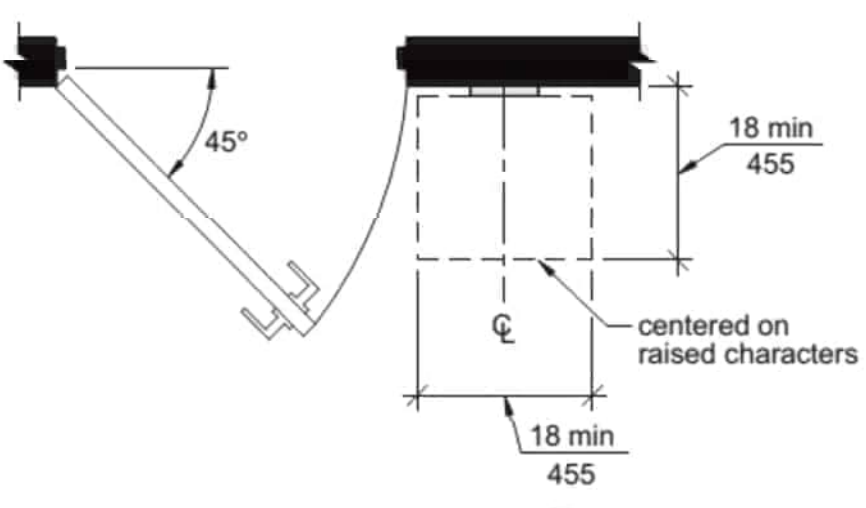
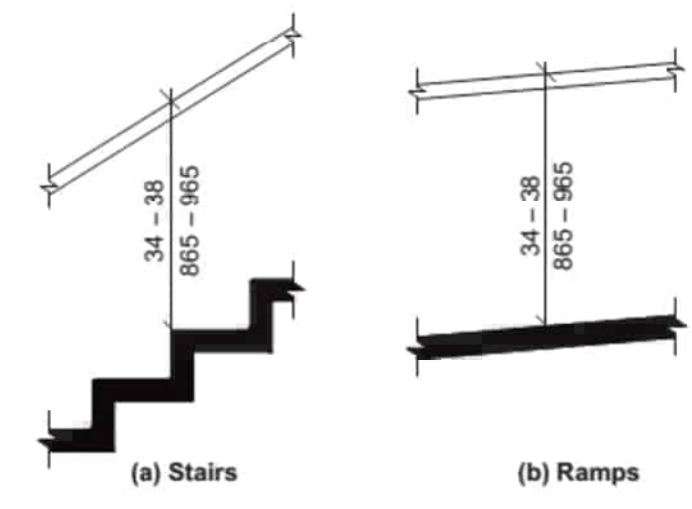


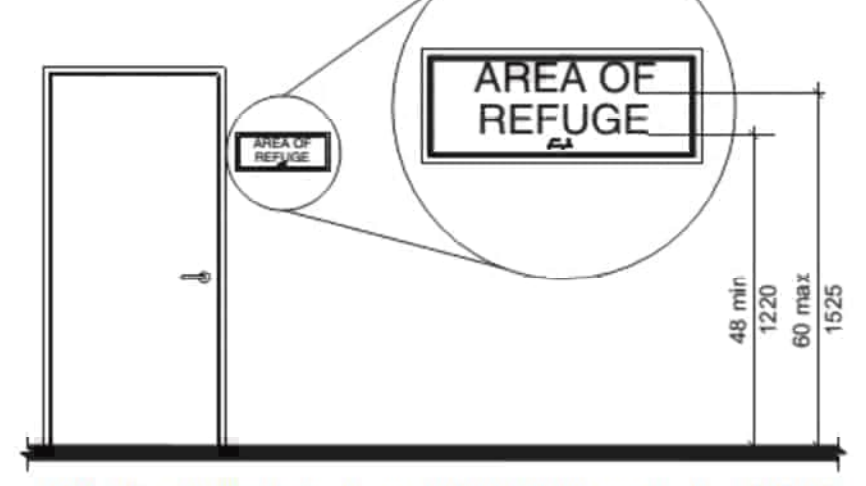
FIGURE 603.3(A)
PASSENGER LOADING ZONE ACCESS AISLE - NEW BUILDINGS
P PASSENGER LOADING ZONE (Section 503)
NO SCALE



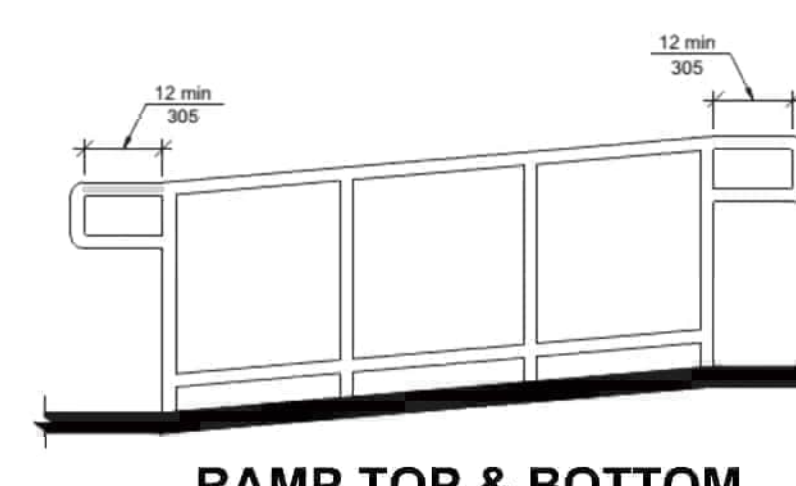
U HANDRAIL CROSS SECTION (Section 505)
NO SCALE



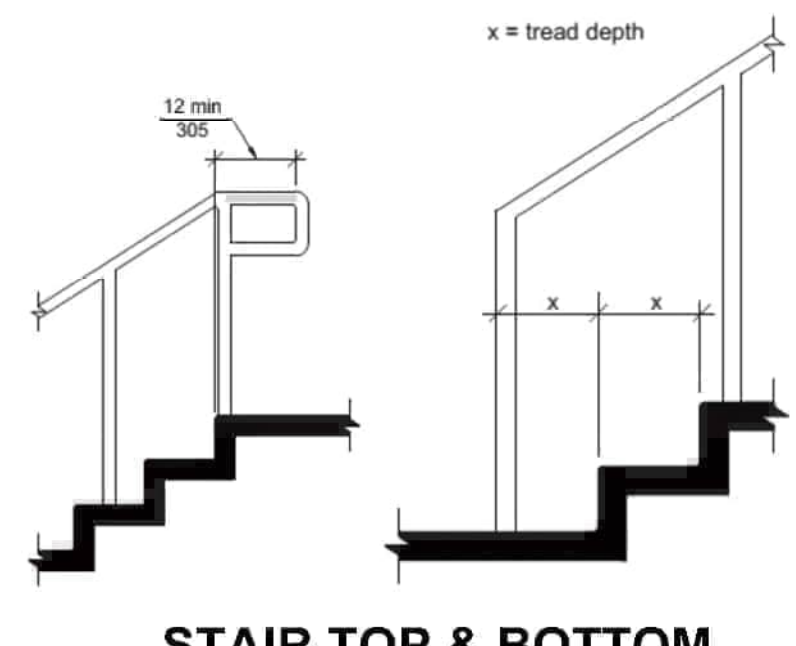
S HANDRAIL HEIGHT (Section 505)
NO SCALE



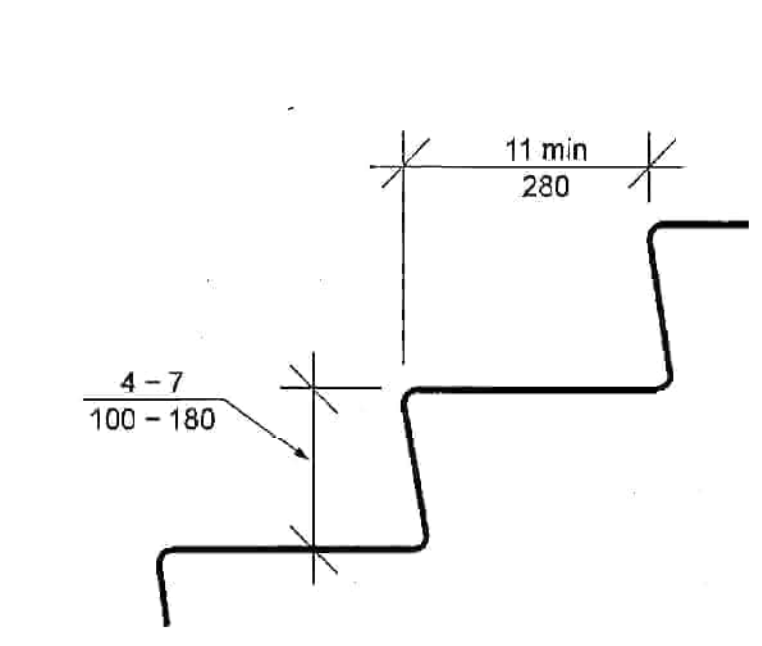
V SIGNAGE (Section 703)
NO SCALE



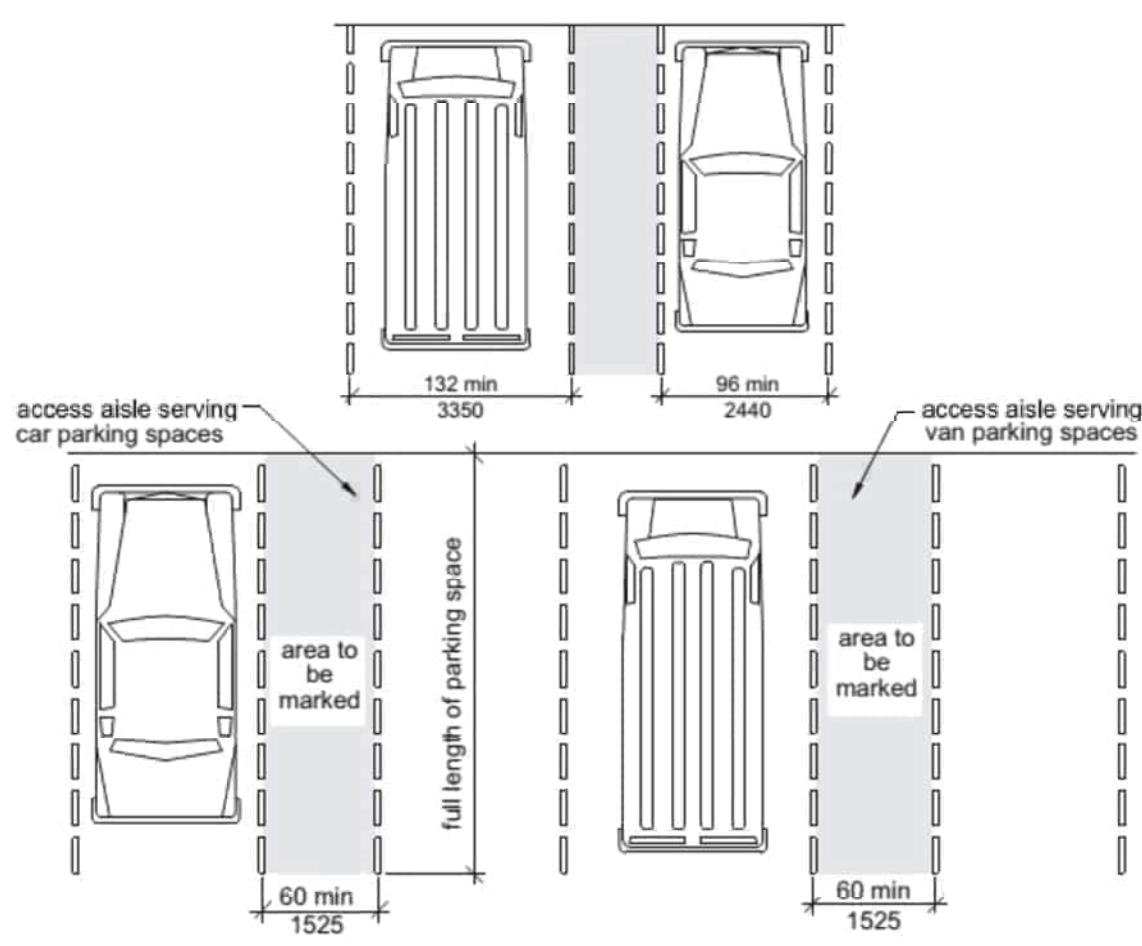
T RAMP TOP & BOTTOM HANDRAIL EXTENSION (Section 505)
NO SCALE



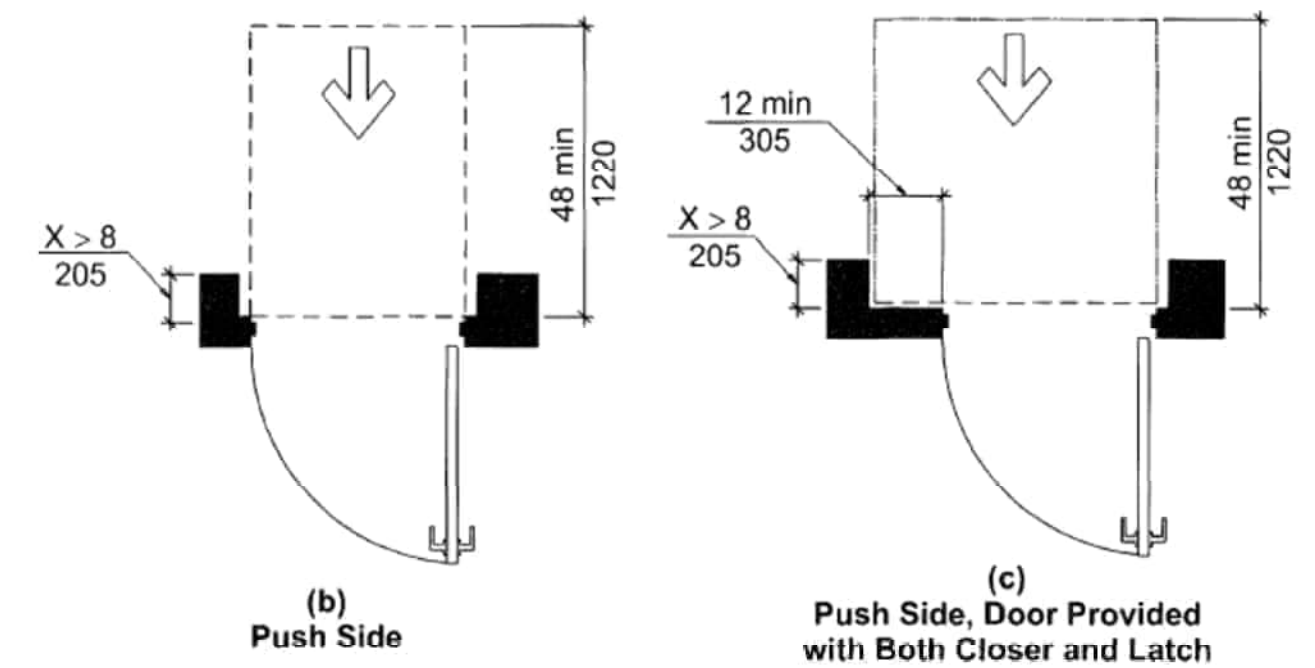
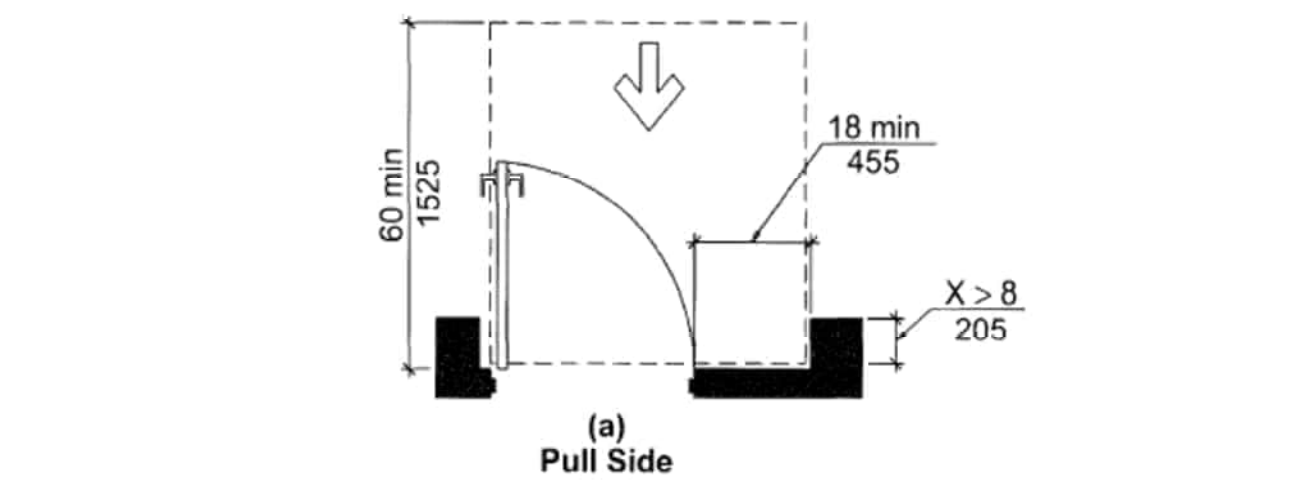
R STAIR TOP & BOTTOM HANDRAIL EXTENSION (Section 505)
NO SCALE



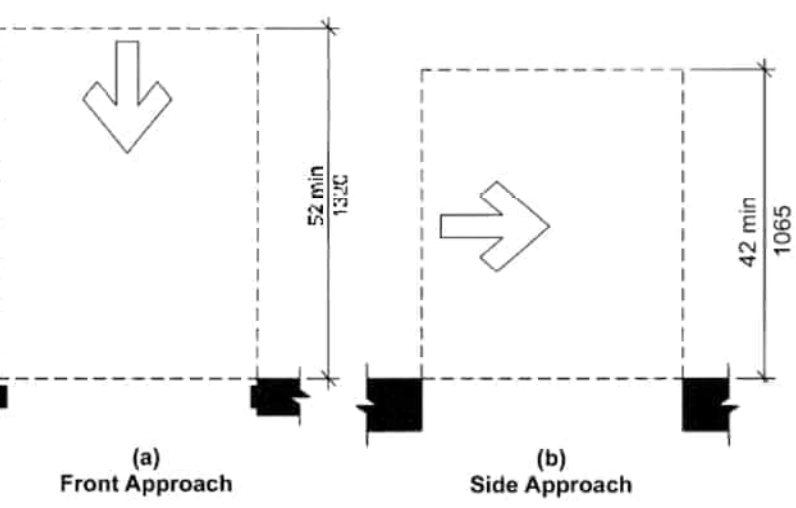
Q STAIR TREAD & RISER (Section 504)
NO SCALE



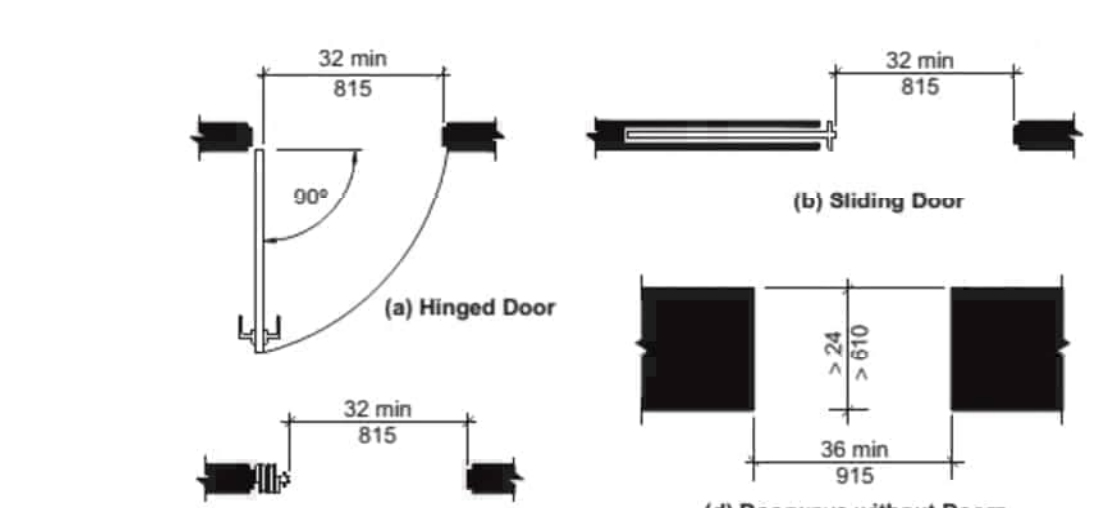
O ACCESSIBLE PARKING SPACES (Section 502)
NO SCALE



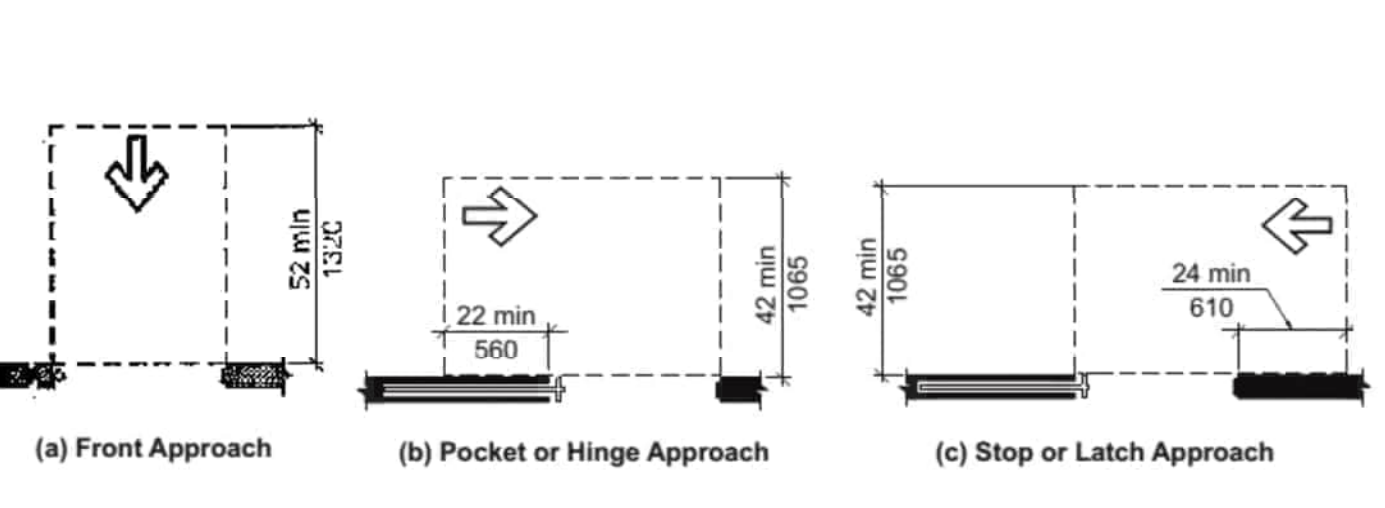
N MANEUVERING CLEARANCES AT RECESSED DOORS (Section 404)
NO SCALE



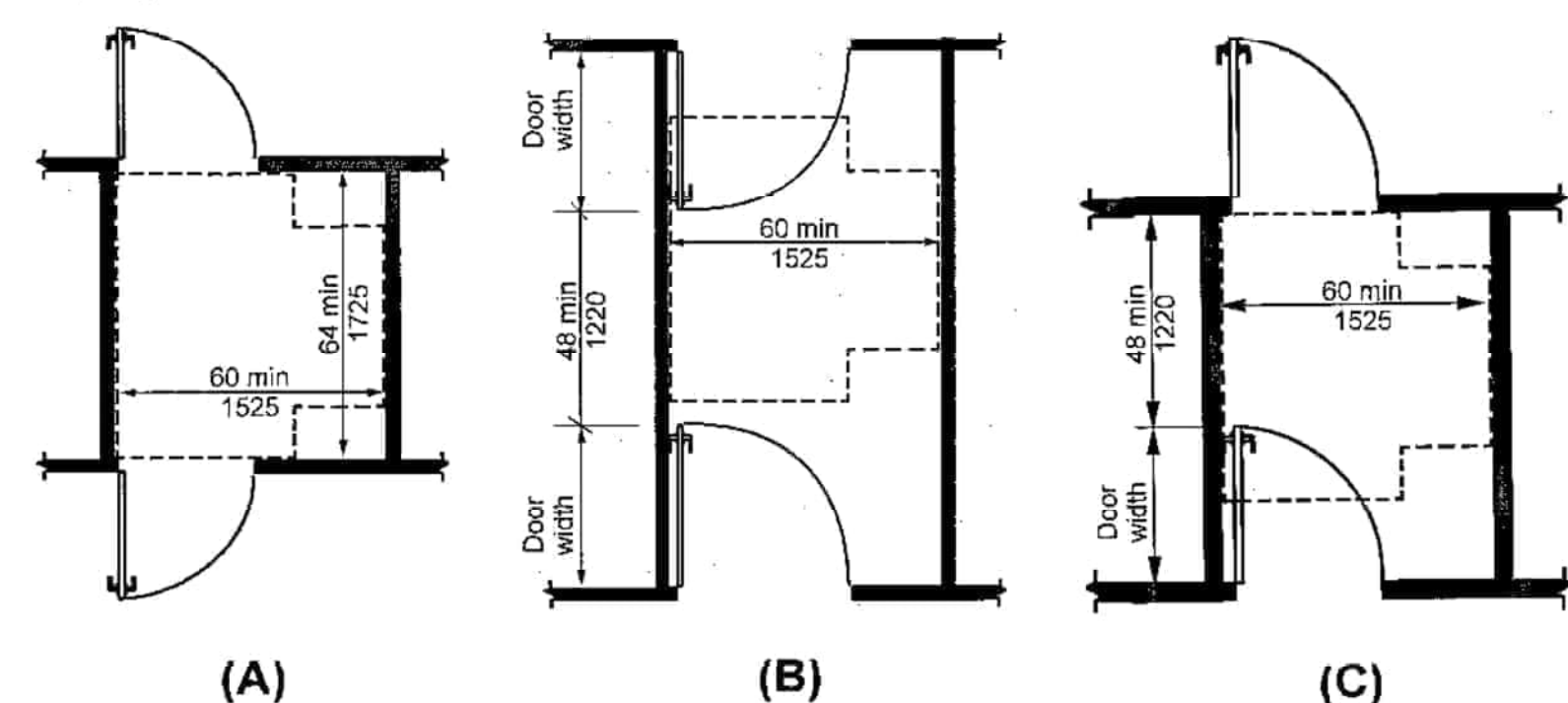
M MANEUVERING CLEARANCES AT DOORWAYS without DOORS (Section 404)
NO SCALE



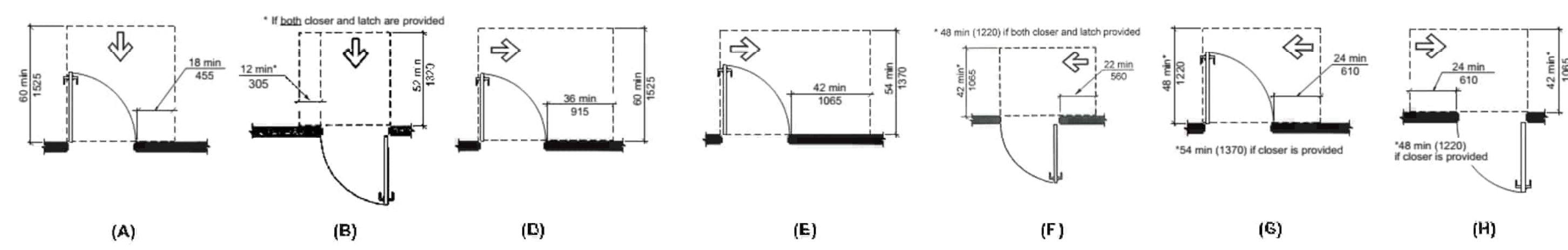
L CLEAR WIDTH OF DOORWAYS (Section 404)
NO SCALE



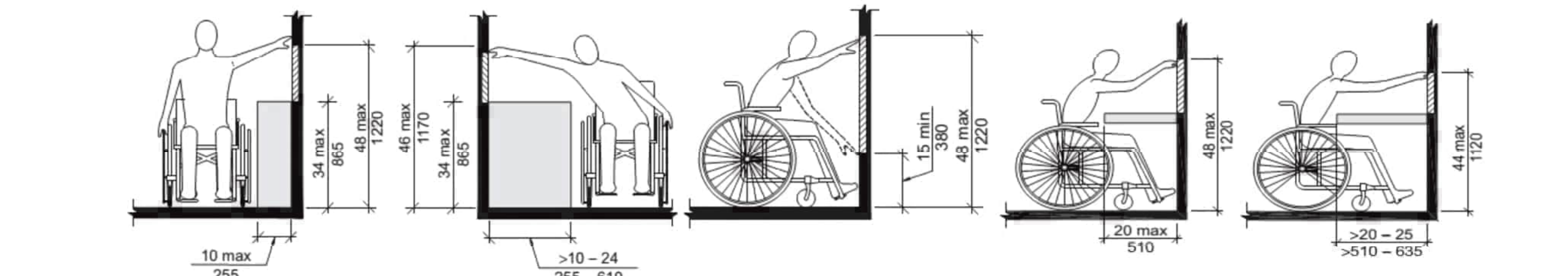
K MANEUVERING CLEARANCES AT SLIDING & FOLDING DOORS (Section 404)
NO SCALE



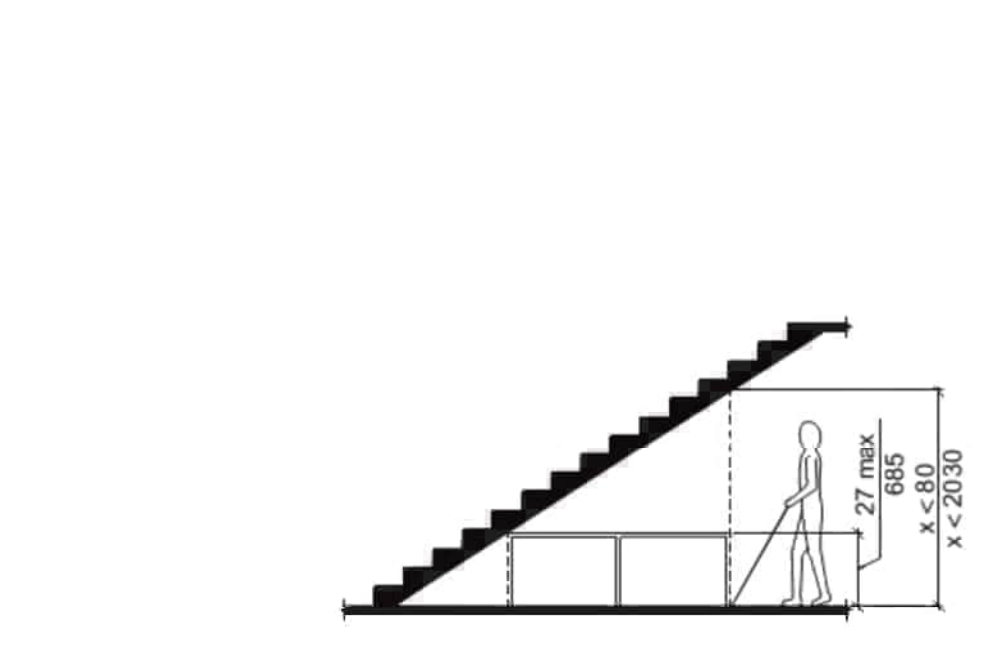
J TWO DOORS IN SERIES (Section 404)
NO SCALE



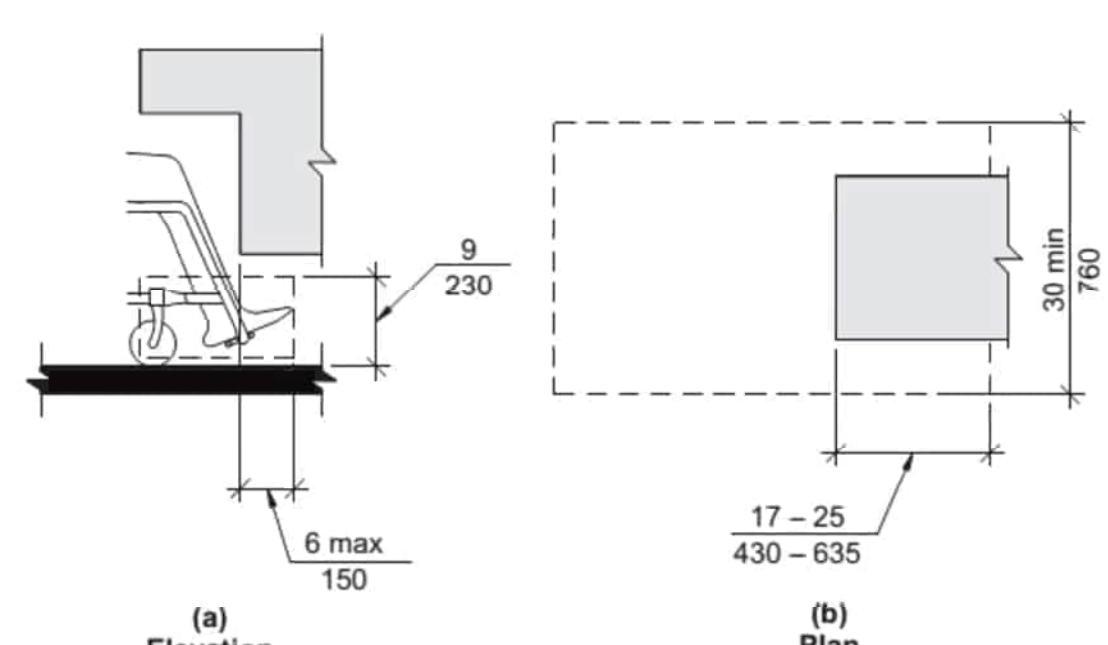
H MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS (Section 404)
NO SCALE



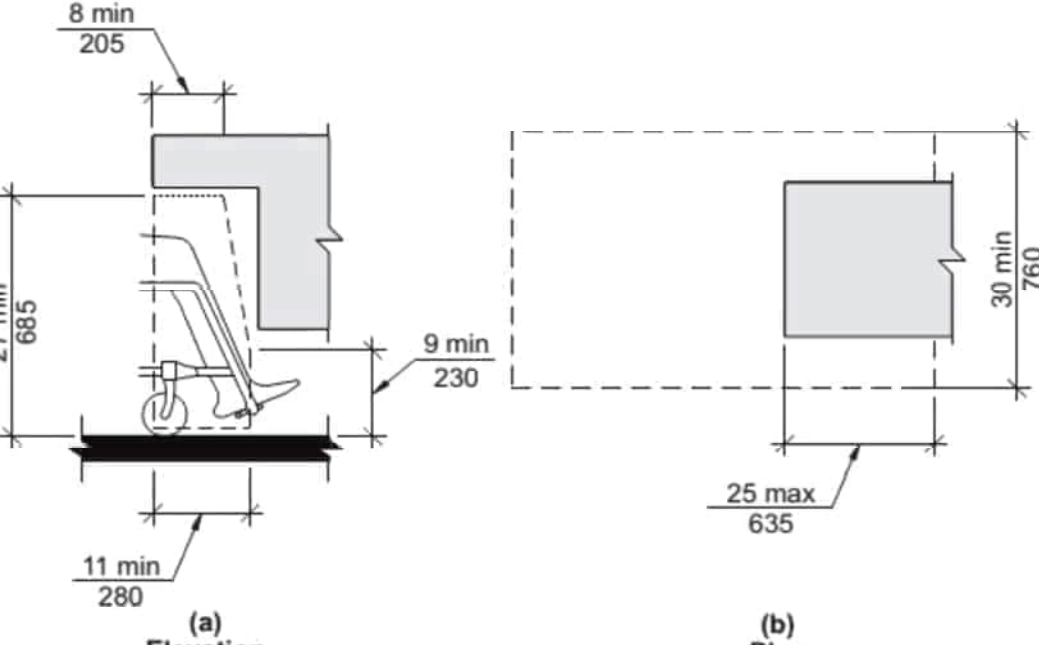
G REACH CLEARANCES (Section 308)
NO SCALE



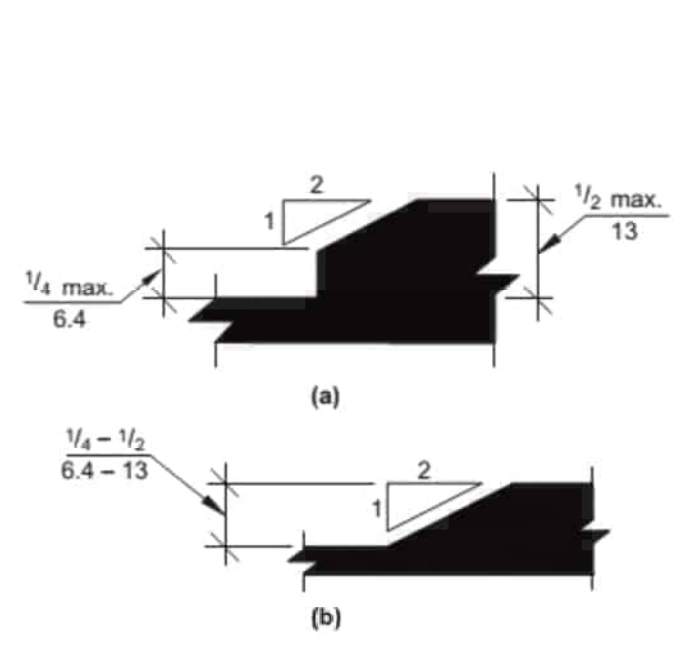
F VERTICAL CLEARANCE (Section 307)
NO SCALE



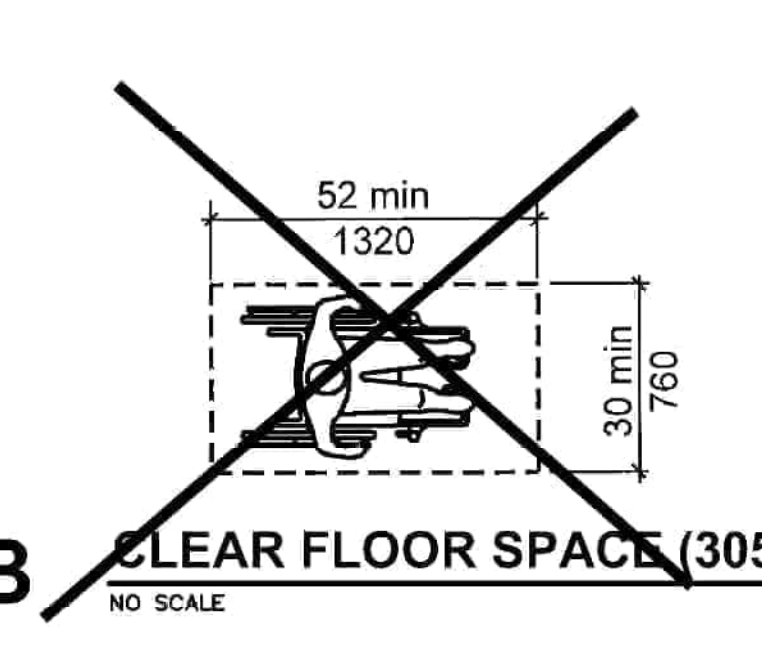
E TOE CLEARANCE (Section 306)
NO SCALE



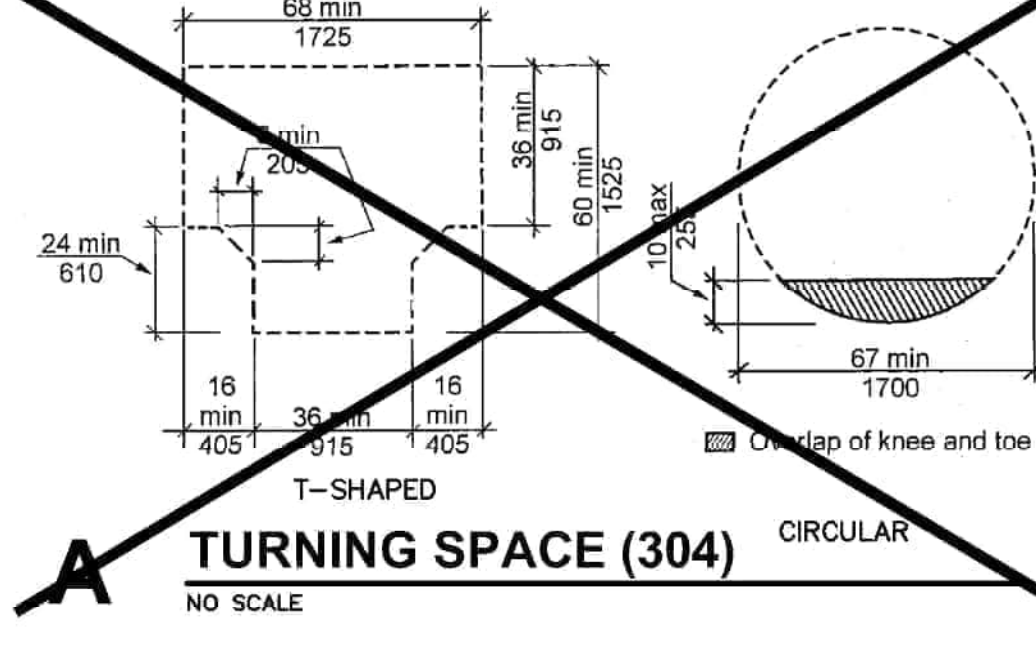
D KNEE CLEARANCE (Section 306)
NO SCALE



C CHANGES IN LEVEL (Section 303)
NO SCALE



B CLEAR FLOOR SPACE (305)
NO SCALE

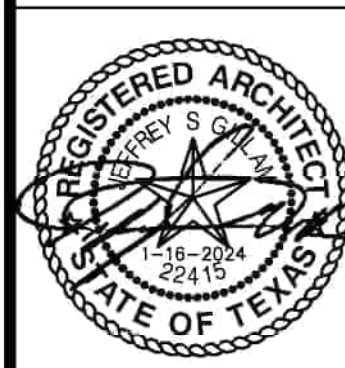


A TURNING SPACE (304)
NO SCALE

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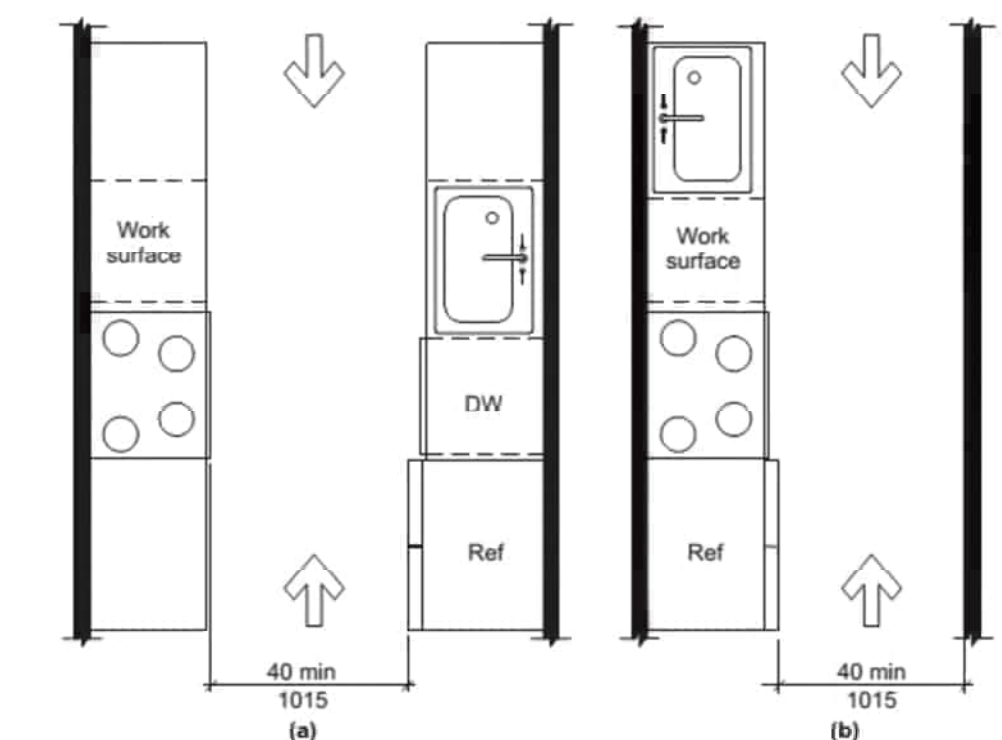
REVISION:
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

ANSI-1

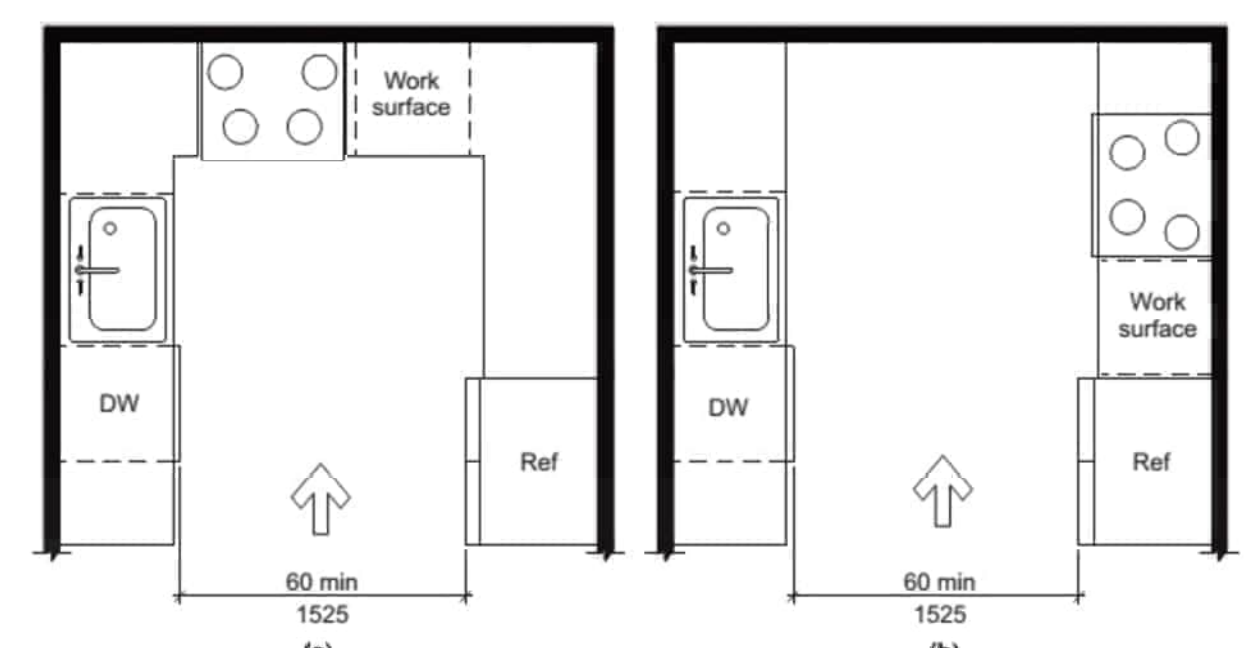
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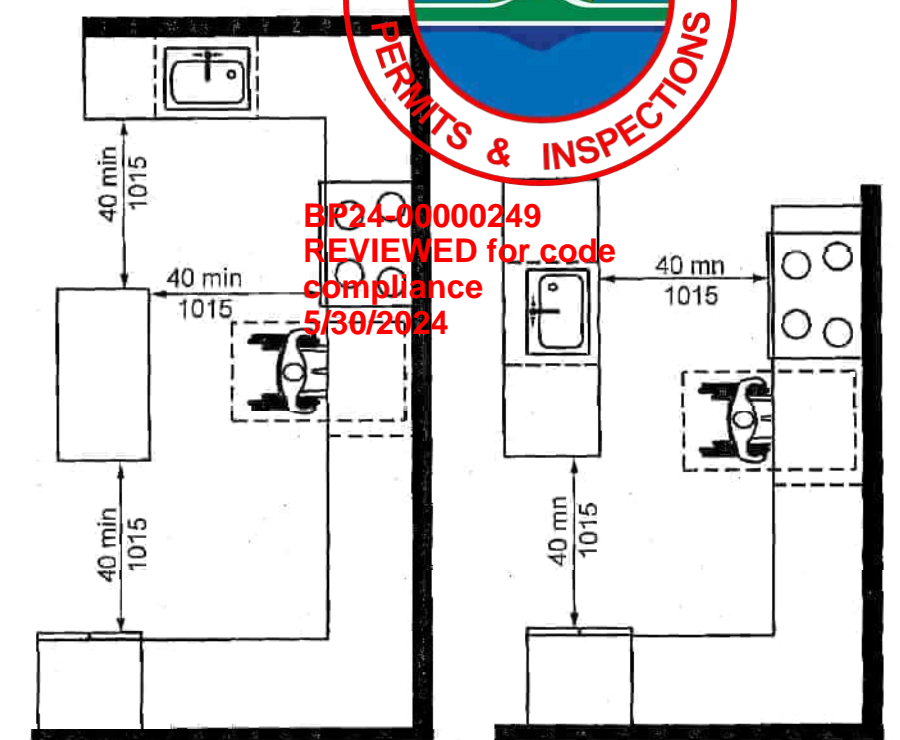
REVIEWED for code compliance
5/30/2024



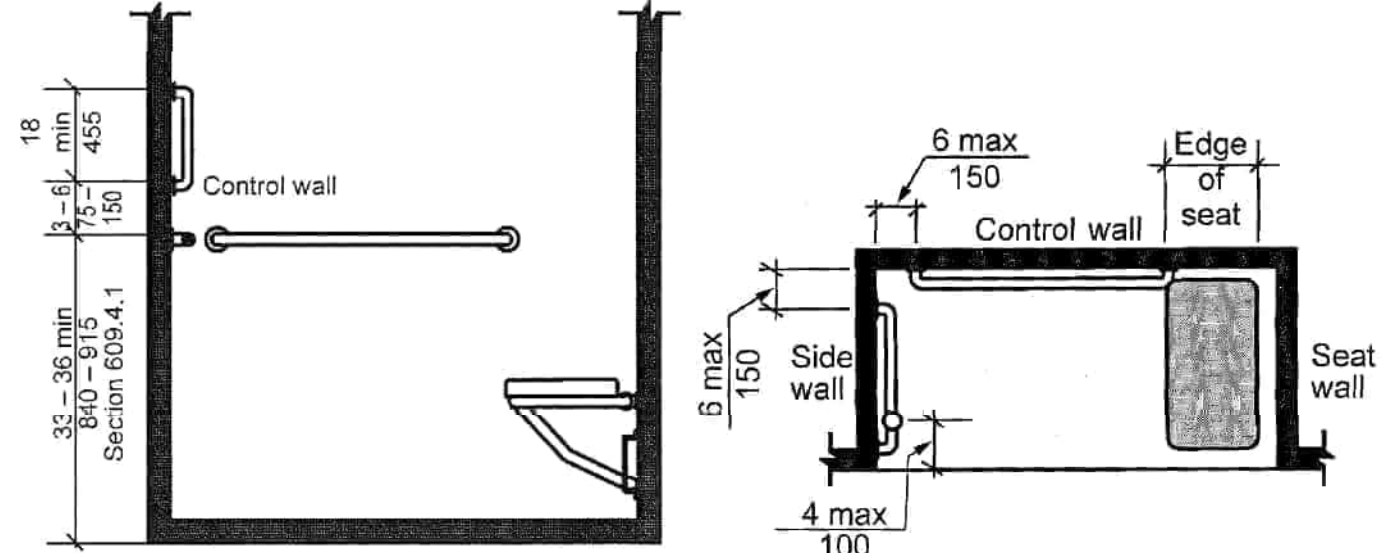
V PASS-THRU KITCHEN CLEARANCE (Section 804)
NO SCALE



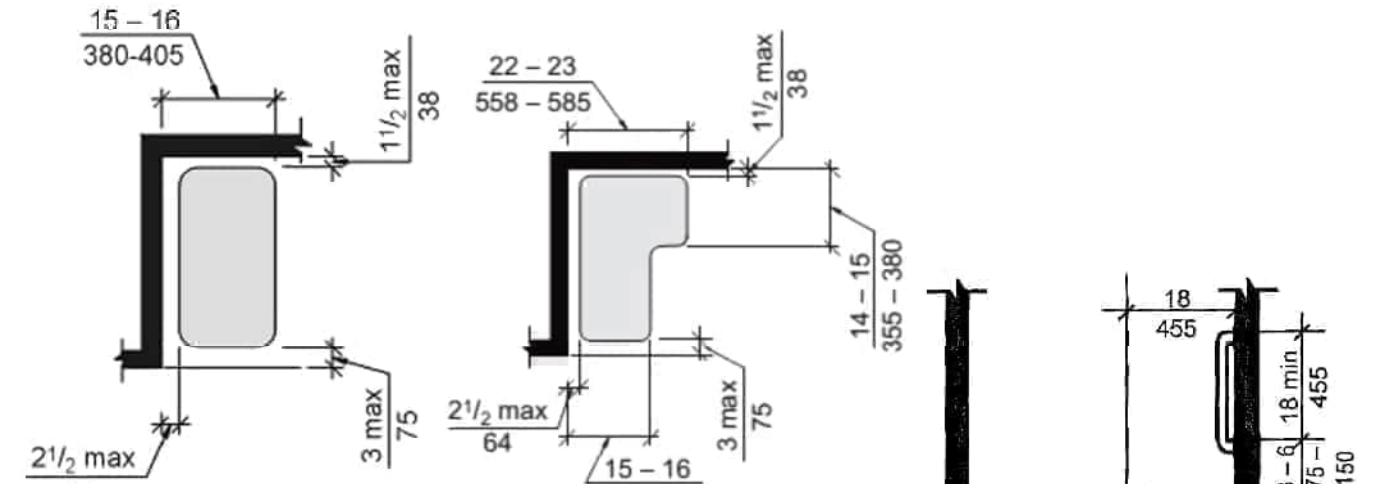
U U-SHAPED KITCHEN CLEARANCE (Section 804)
NO SCALE



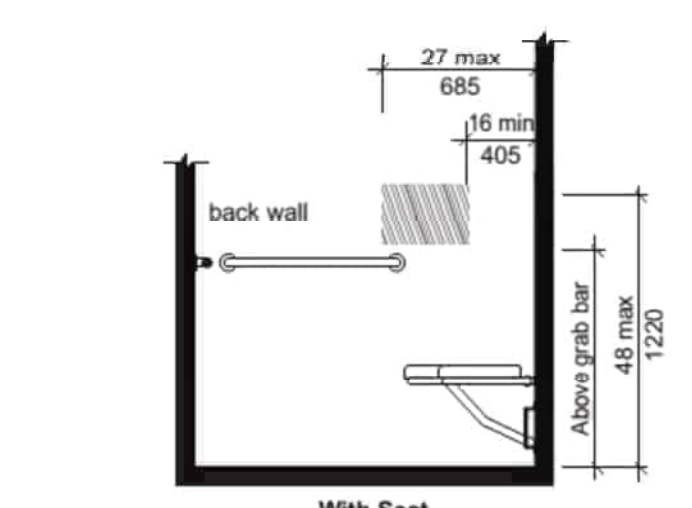
T U-SHAPED KITCHEN CLEARANCE EXCEPTION (Section 804)
NO SCALE



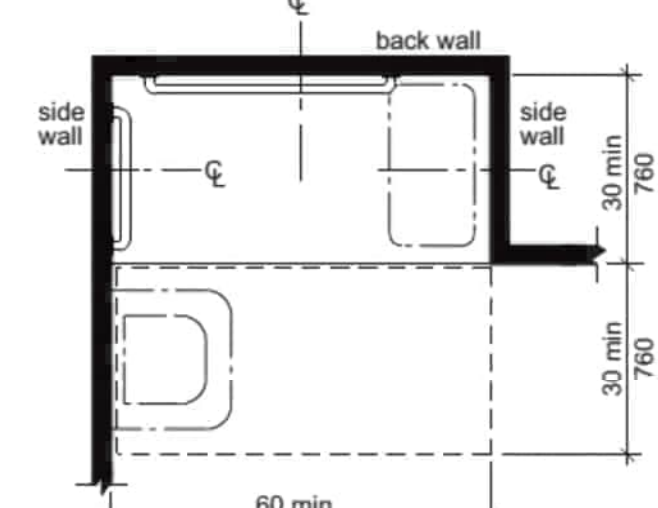
S ROLL-IN SHOWER GRAB BARS (Section 608)
NO SCALE



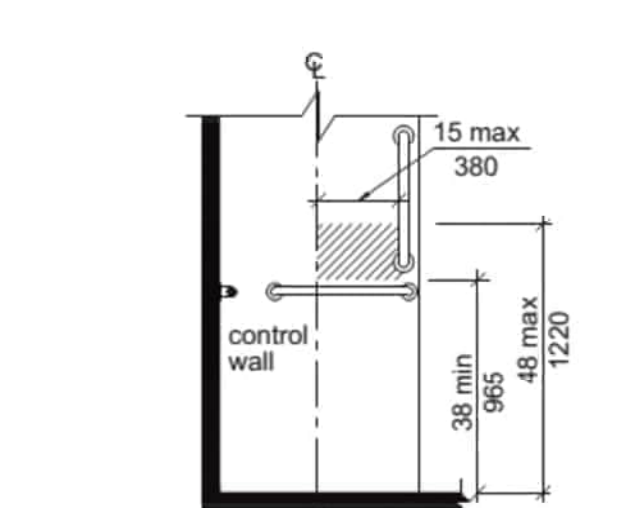
O SHOWER SEATS (Section 610)
NO SCALE



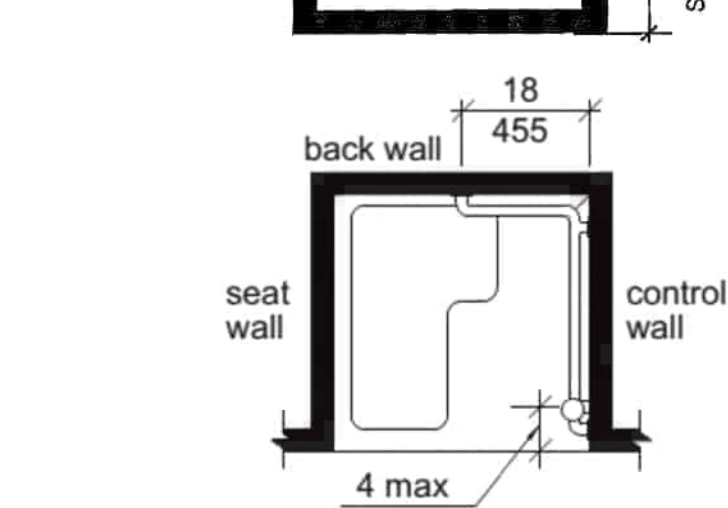
R ROLL-IN SHOWER CONTROLS LOCATION (Section 608)
NO SCALE



Q ROLL-IN SHOWER SIZE & CLEARANCE (Section 608)
NO SCALE



O TRANSFER SHOWER CONTROLS LOCATION (Section 608)
NO SCALE



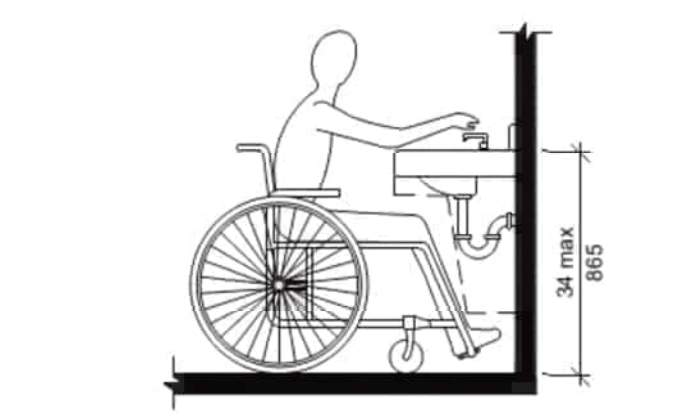
N TRANSFER SHOWER GRAB BARS (Section 608)
NO SCALE

R ROLL-IN SHOWER CONTROLS LOCATION (Section 608)
NO SCALE

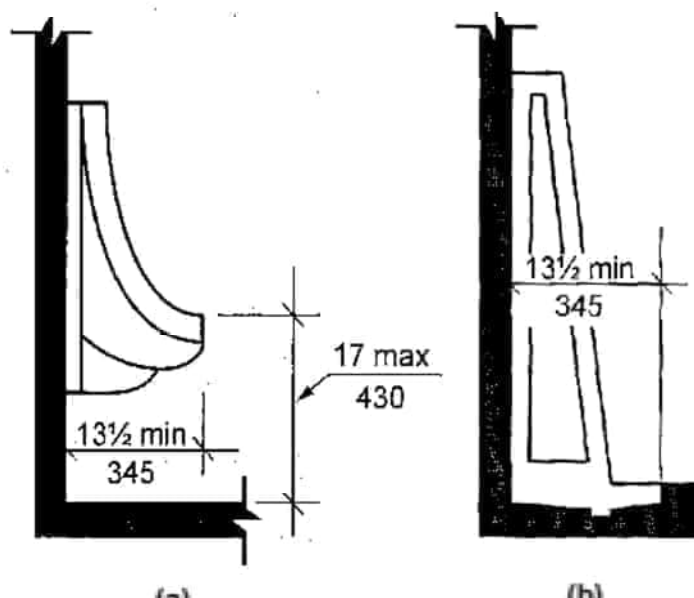
Q ROLL-IN SHOWER SIZE & CLEARANCE (Section 608)
NO SCALE

O TRANSFER SHOWER CONTROLS LOCATION (Section 608)
NO SCALE

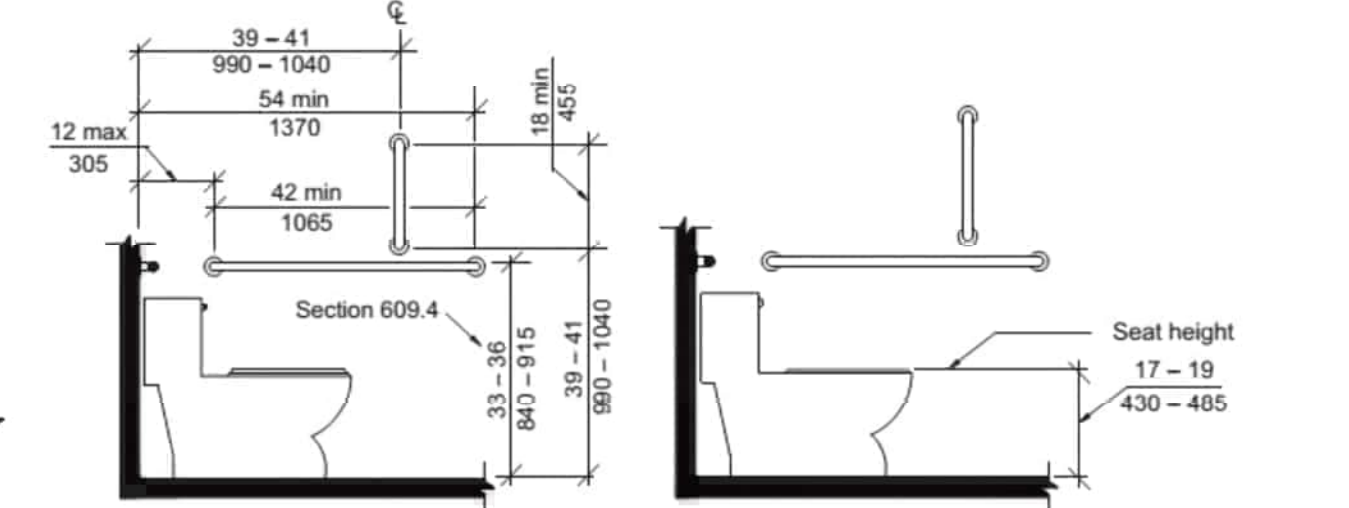
N TRANSFER SHOWER GRAB BARS (Section 608)
NO SCALE



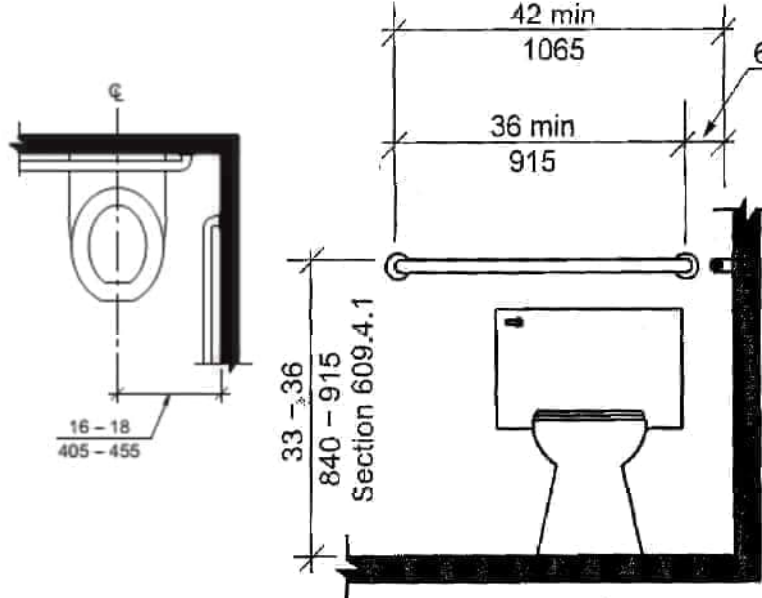
G HEIGHT OF LAVATORIES & SINKS (Section 606)
NO SCALE



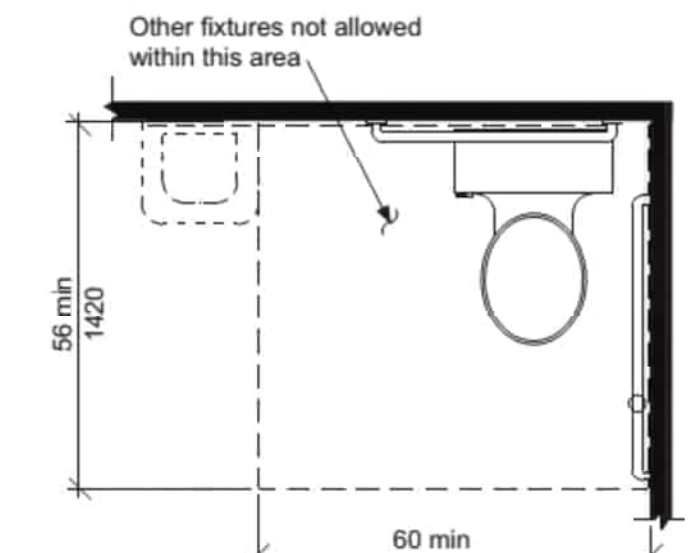
F HEIGHT OF URINALS (Section 605)
NO SCALE



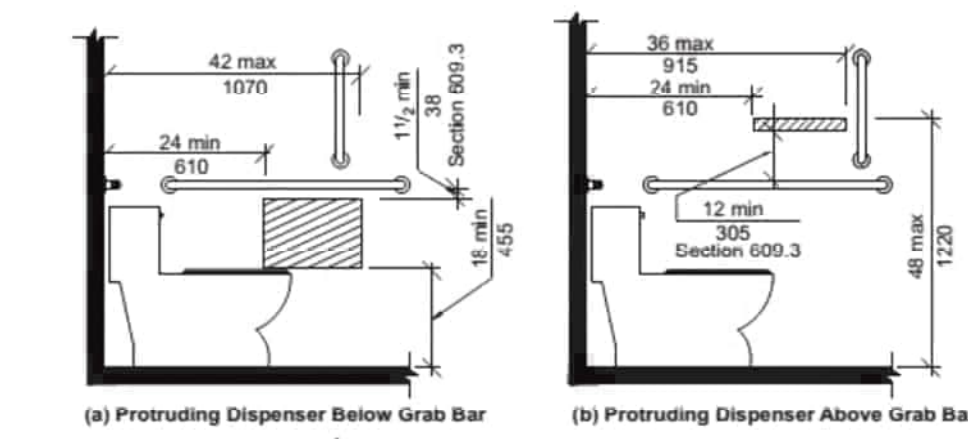
E WATER CLOSET HEIGHT & SIDE WALL GRAB BAR (Section 604)
NO SCALE



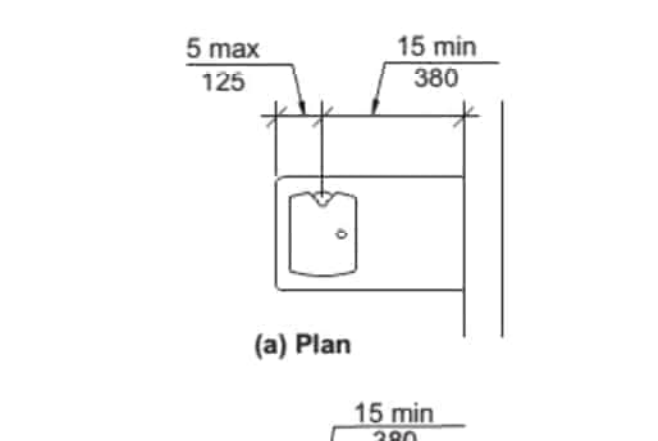
D WATER CLOSET LOCATION & REAR WALL GRAB BAR (Section 604)
NO SCALE



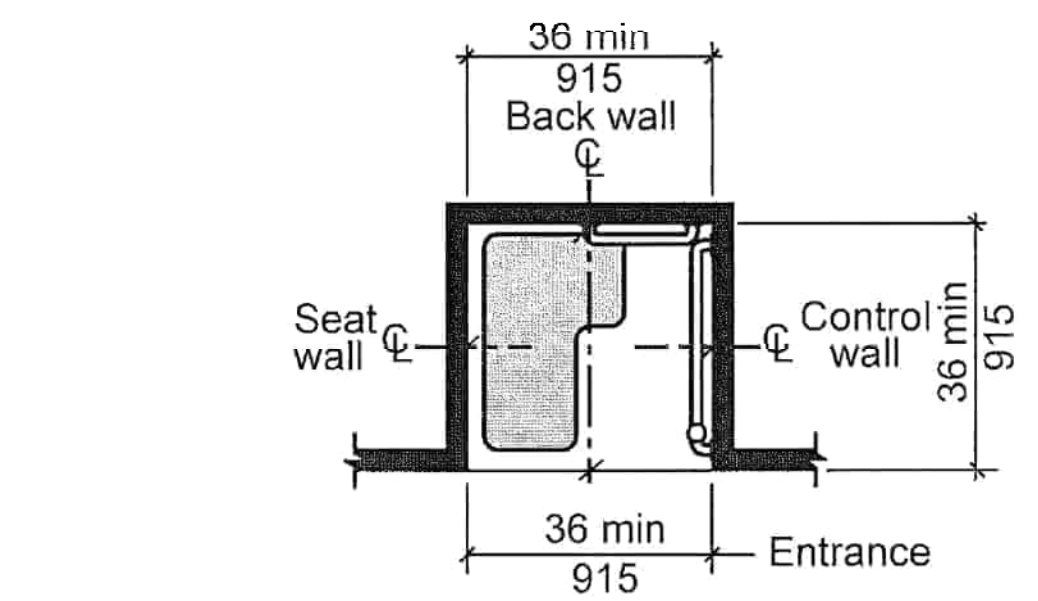
C CLEARANCES AT WATER CLOSET (Section 604)
NO SCALE



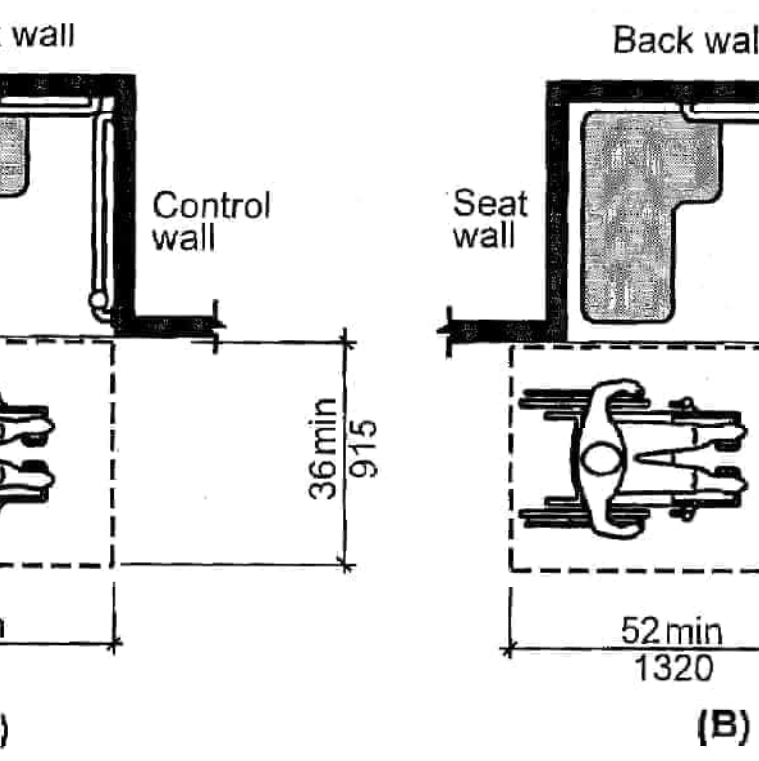
B DISPENSER OUTLET LOCATION (Section 604)
NO SCALE



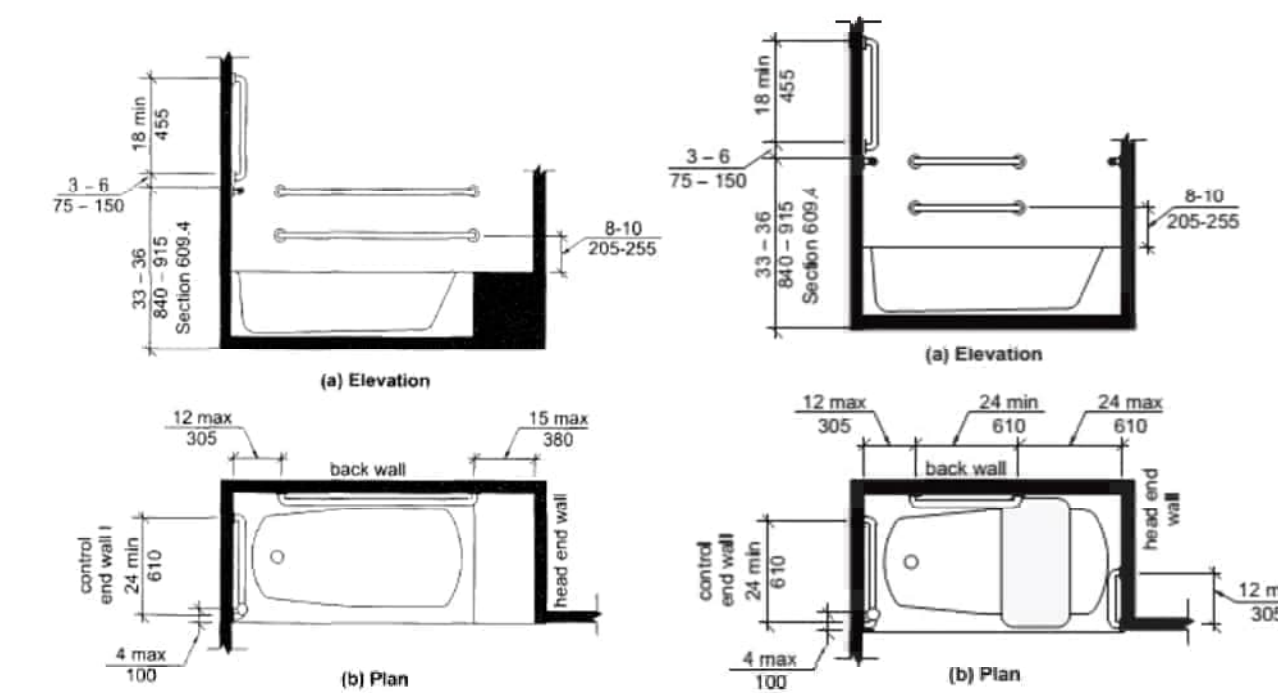
A DRINKING FOUNTAIN (Section 602)
NO SCALE



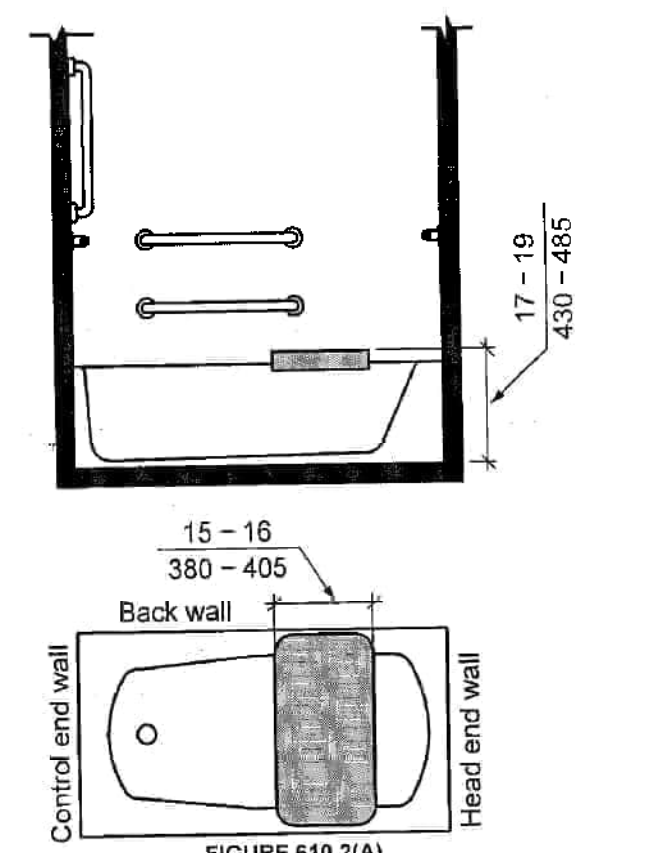
Note: inside finished dimensions measured at the center points of opposing sides



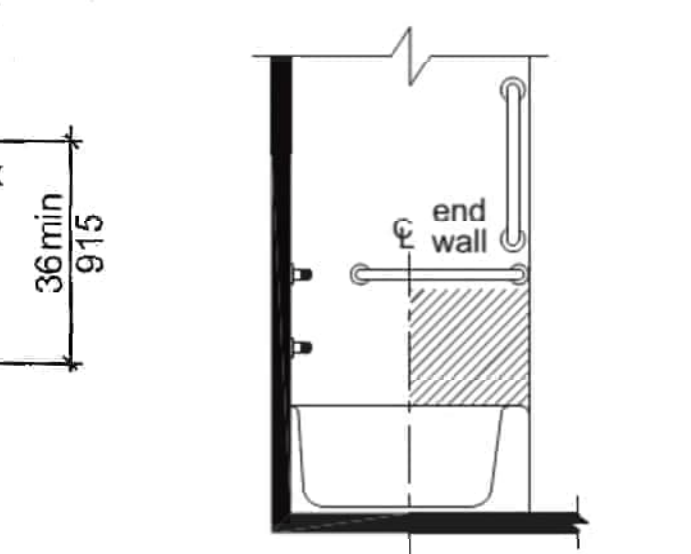
M TRANSFER SHOWER SIZE & CLEARANCE (Section 608)
NO SCALE



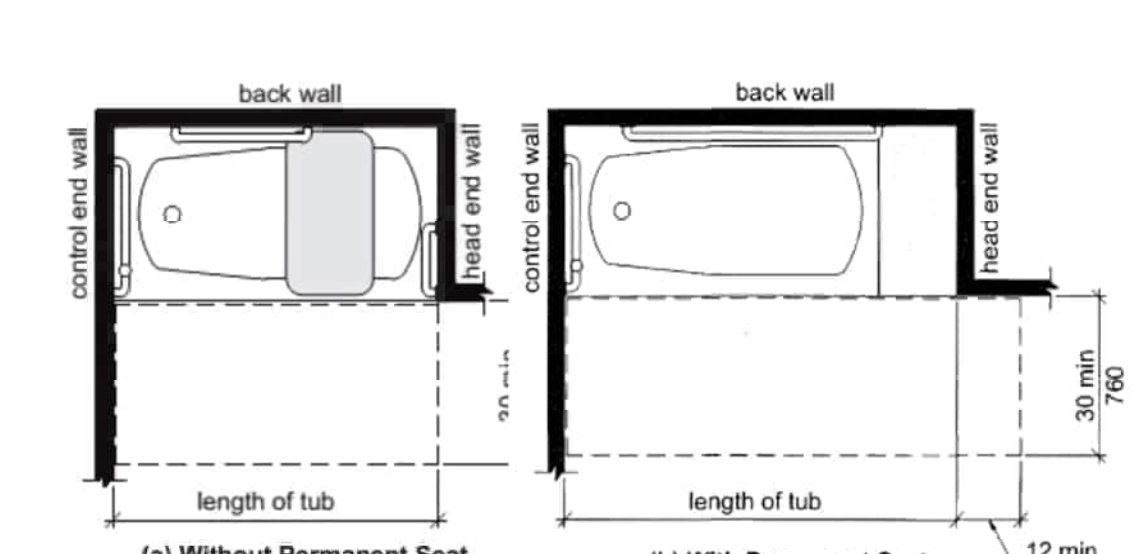
L GRAB BARS FOR BATHTUBS (Section 607)
NO SCALE



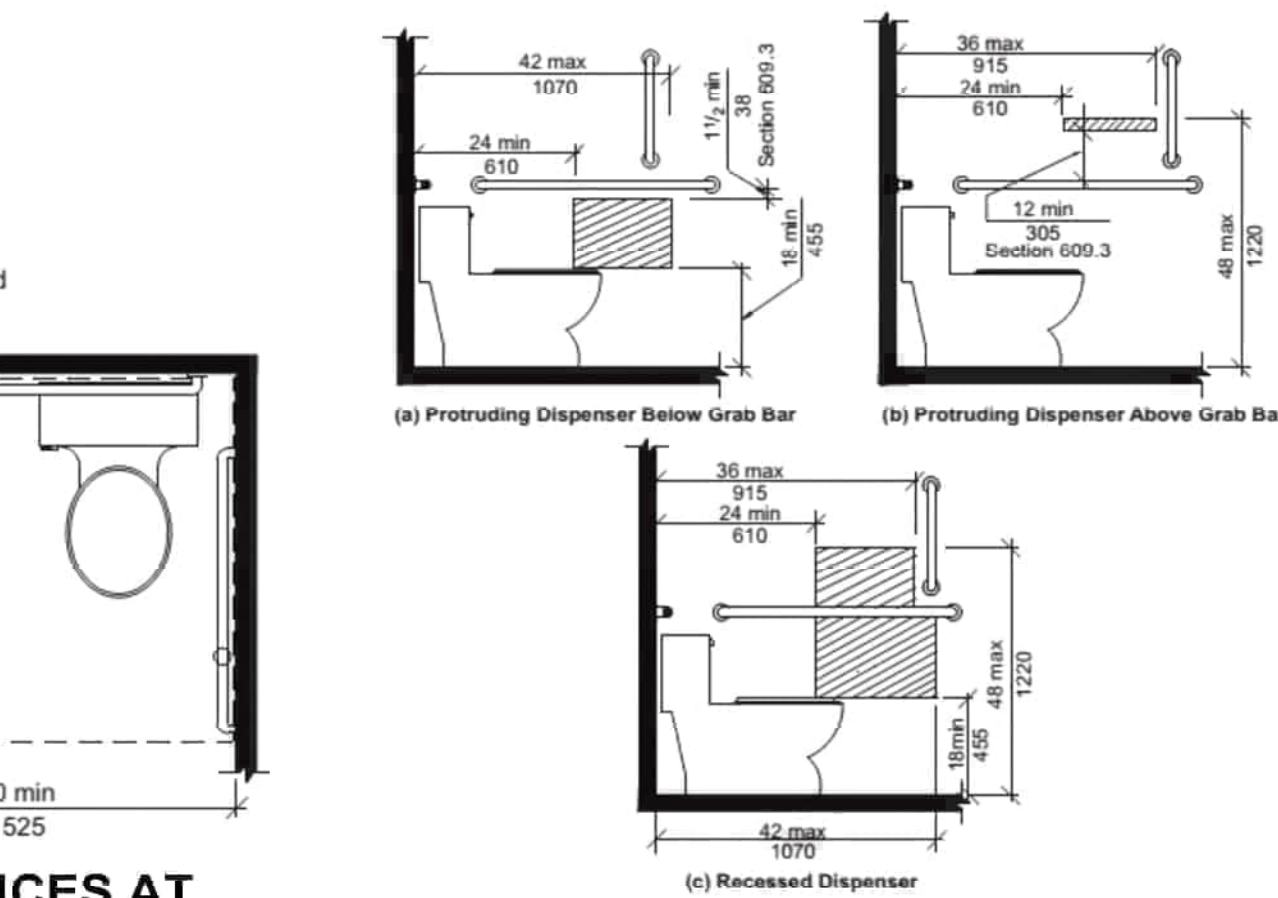
K BATHTUB SEAT (Section 610)
NO SCALE



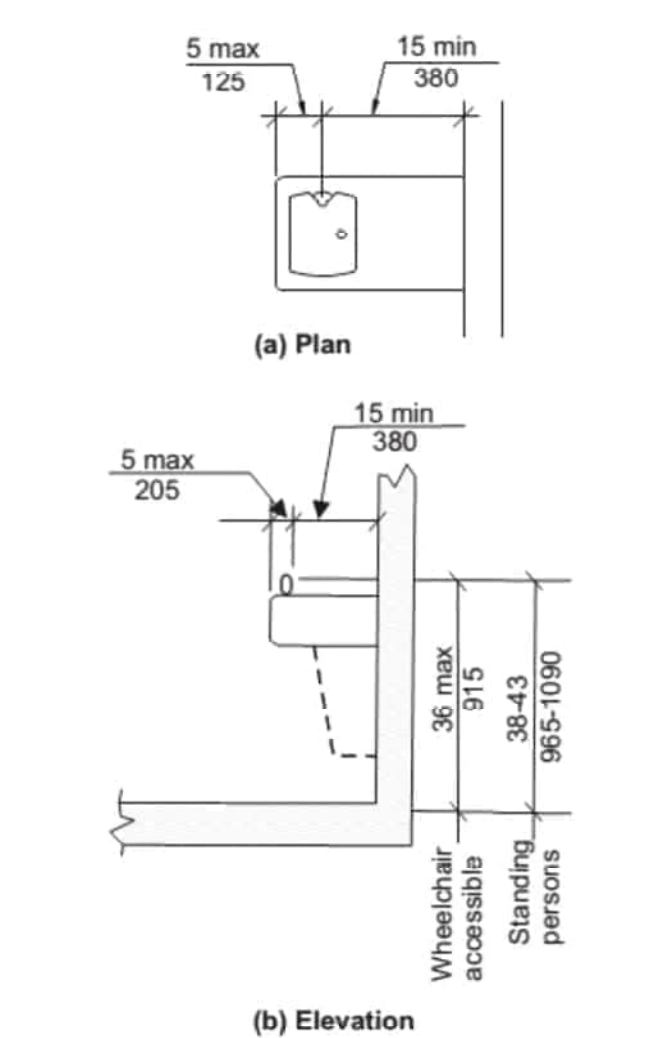
J BATHTUB CONTROLS (Section 607)
NO SCALE



H CLEARANCES FOR BATHTUBS (Section 607)
NO SCALE



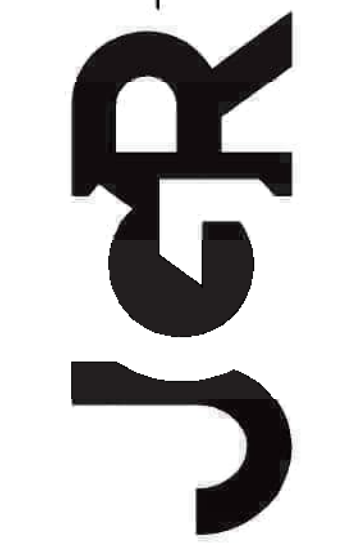
B DISPENSER OUTLET LOCATION (Section 604)
NO SCALE



A DRINKING FOUNTAIN (Section 602)
NO SCALE

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HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



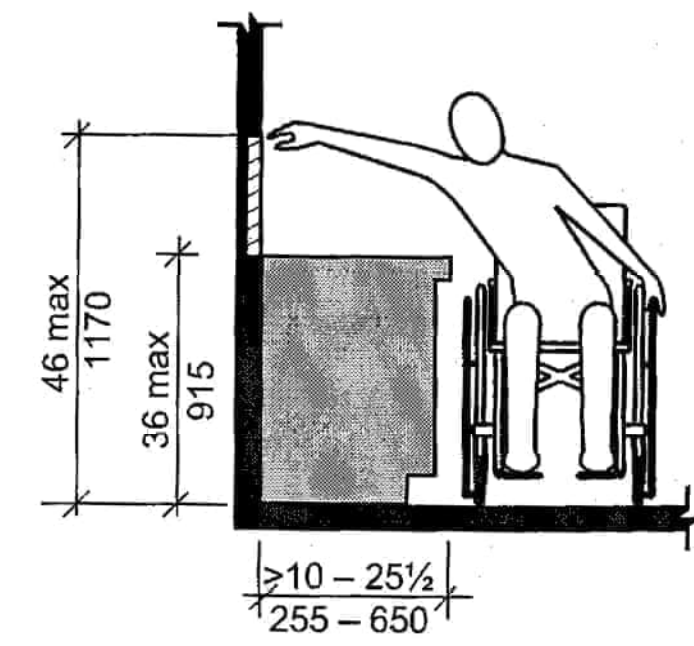
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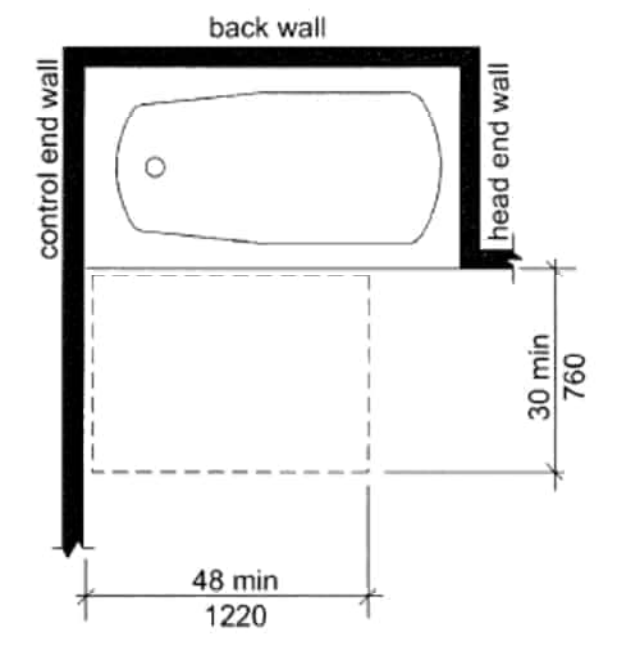
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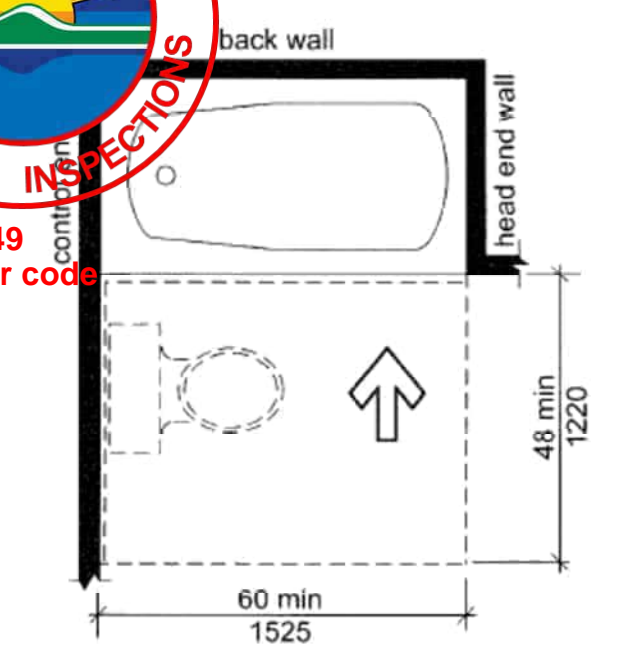
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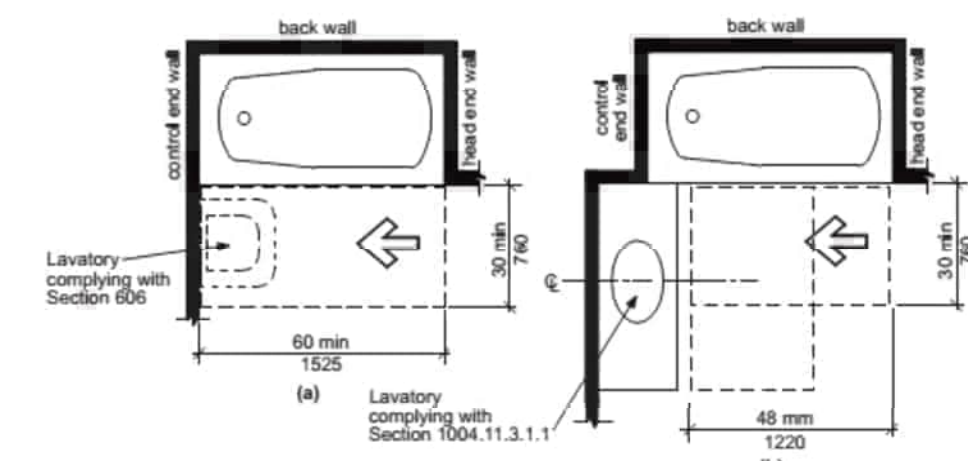
P REACH RANGE OVER KITCHEN or BATH CABINET - TYPE B UNITS (Section 1104)
NO SCALE



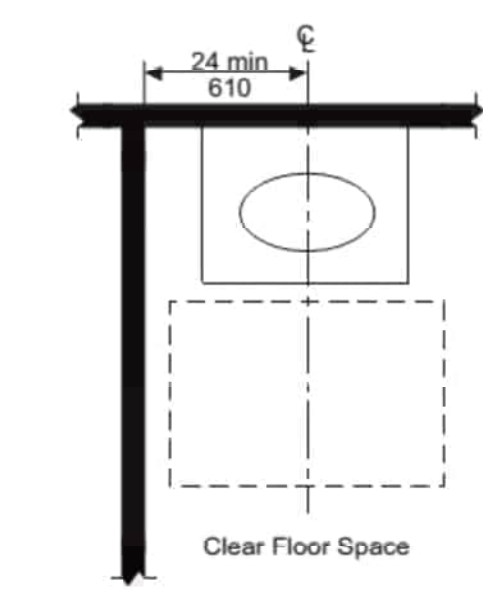
O BATHTUB CLEARANCES AT TYPE B UNITS - OPT B BATH (Section 1104)
NO SCALE



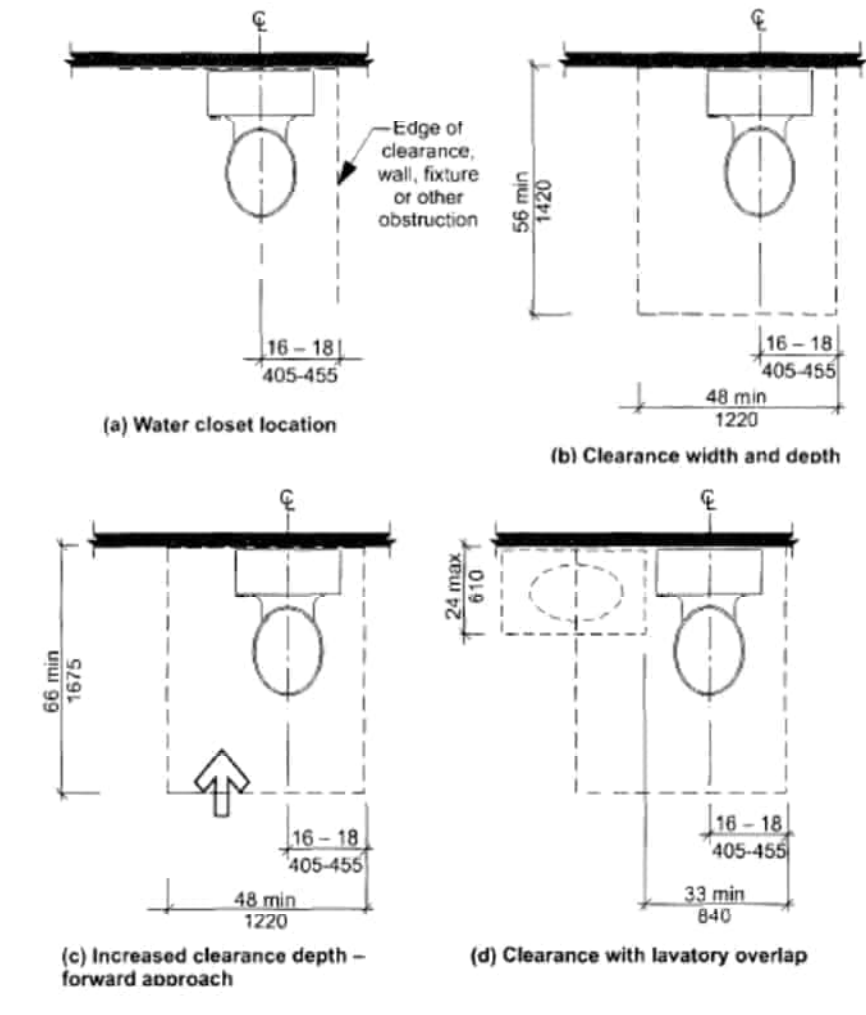
N BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



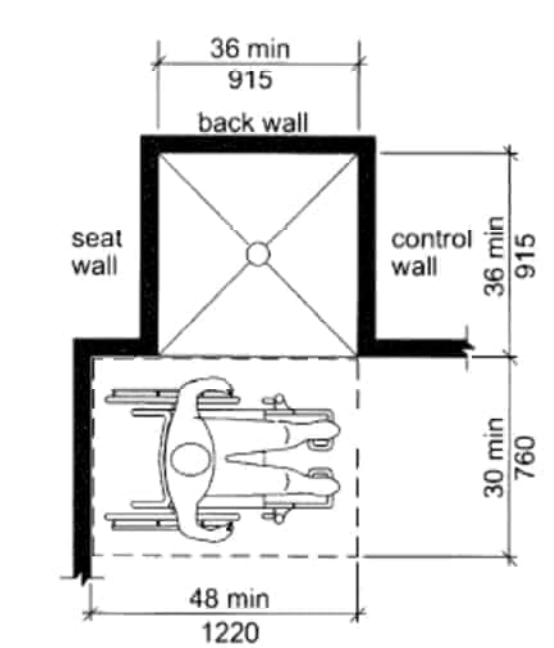
M BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



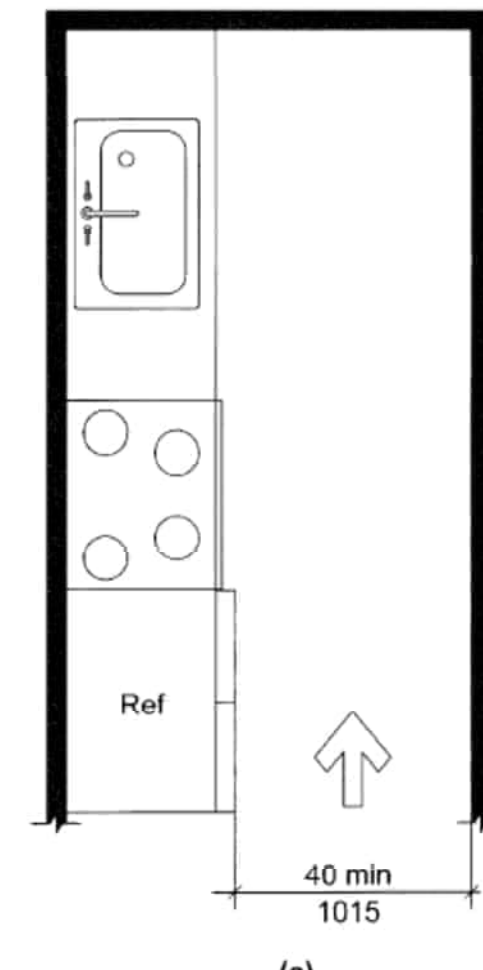
L LAVATORY AT TYPE B UNITS - OPT A BATH (Section 1104)
NO SCALE



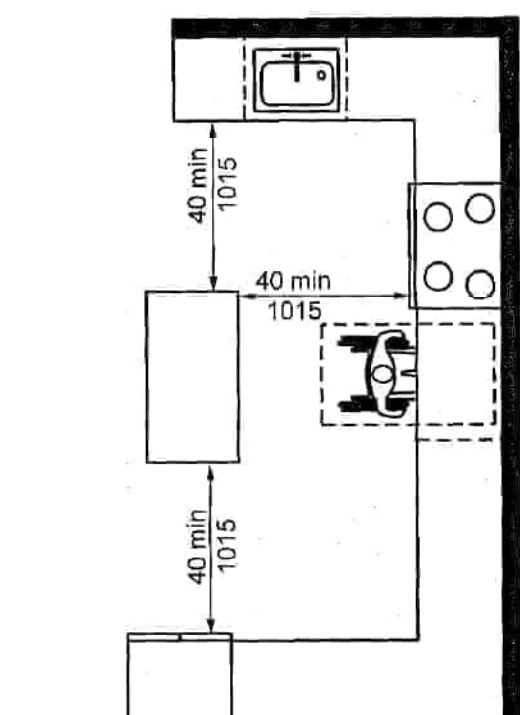
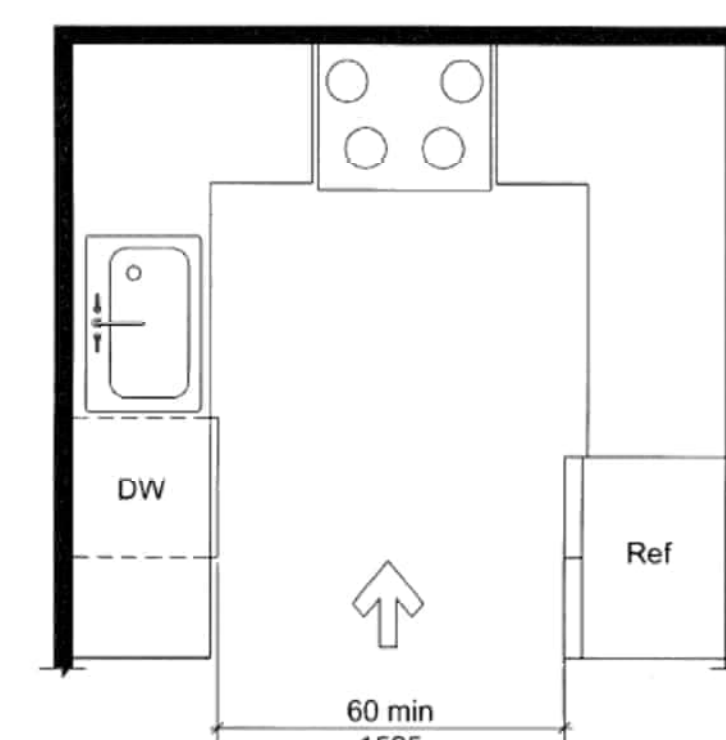
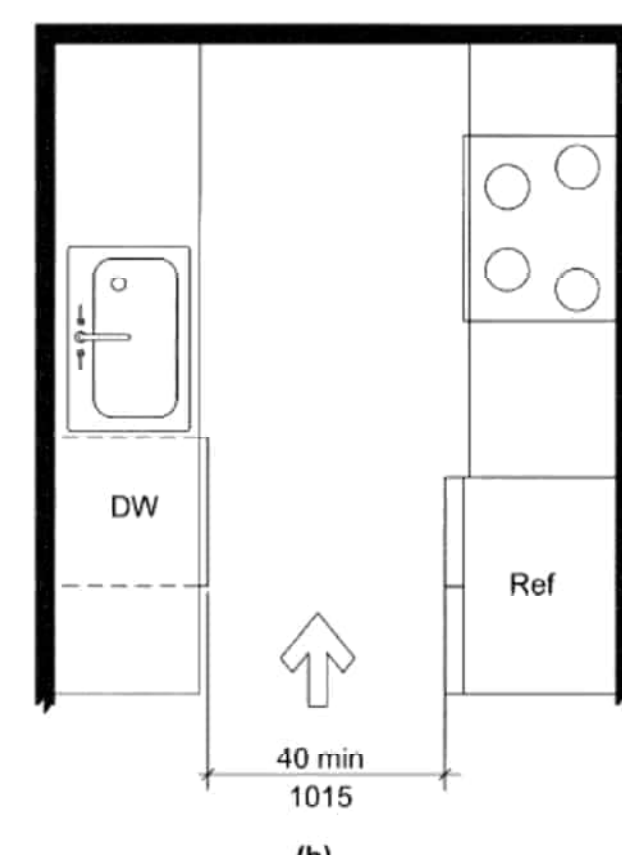
K WATER CLOSET CLEARANCES TYPE B UNITS (Section 1104)
NO SCALE



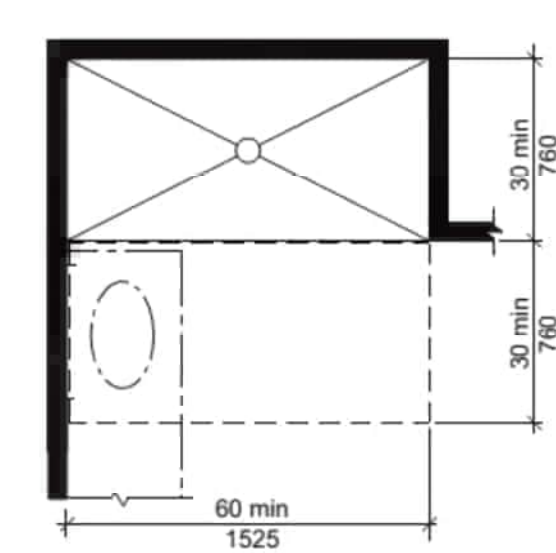
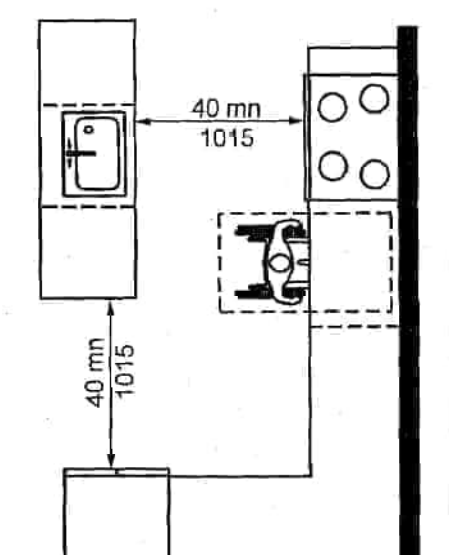
J TRANSFER SHOWER AT TYPE B UNITS (Section 1104)
NO SCALE



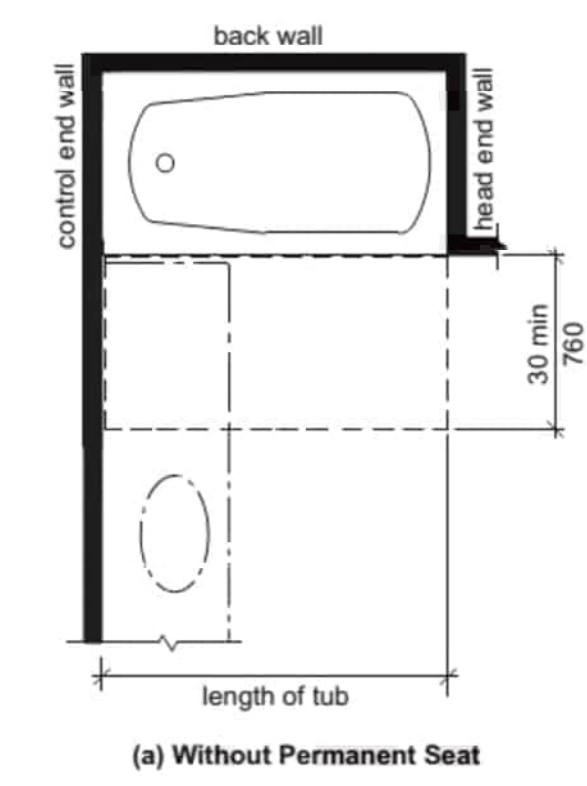
H MIN KITCHEN CLEARANCE - TYPE B UNITS (Section 1104)
NO SCALE



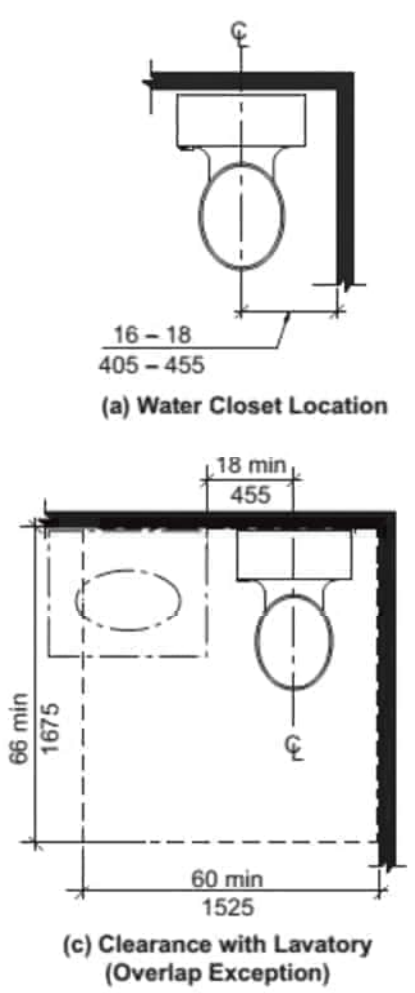
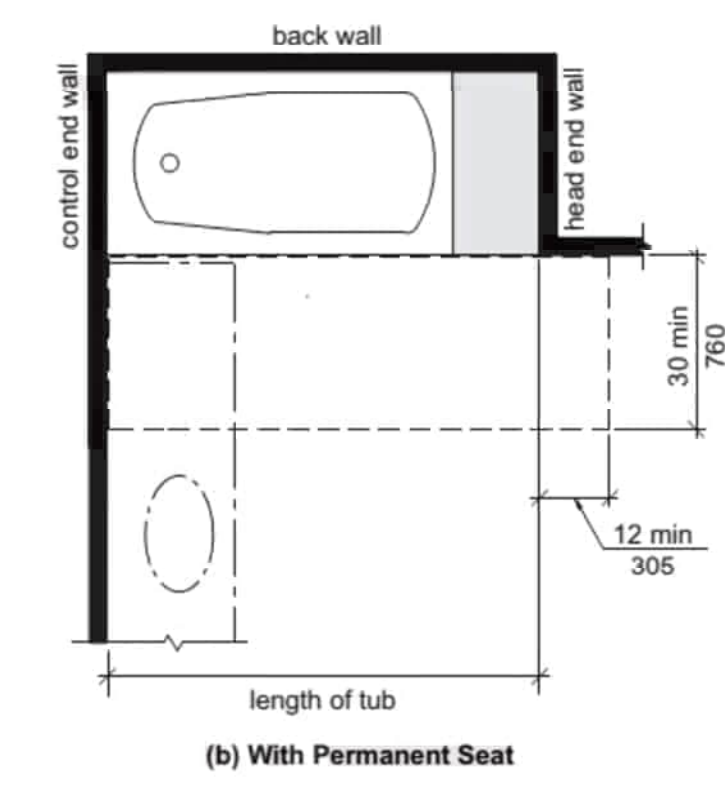
G U-SHAPED KITCHEN CLEARANCE - TYPE B UNITS - EXCEPTION (Section 1104)
NO SCALE



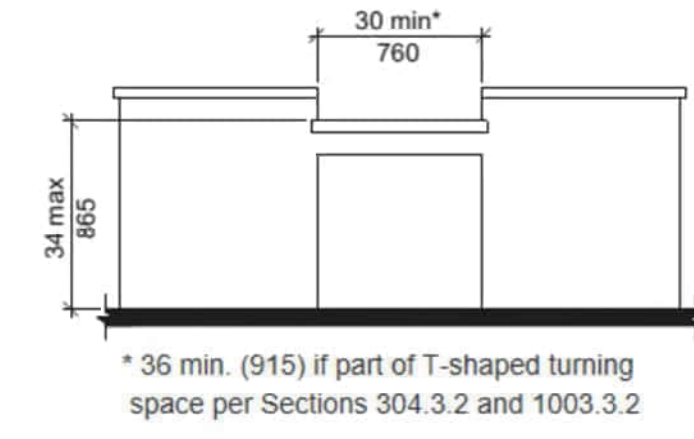
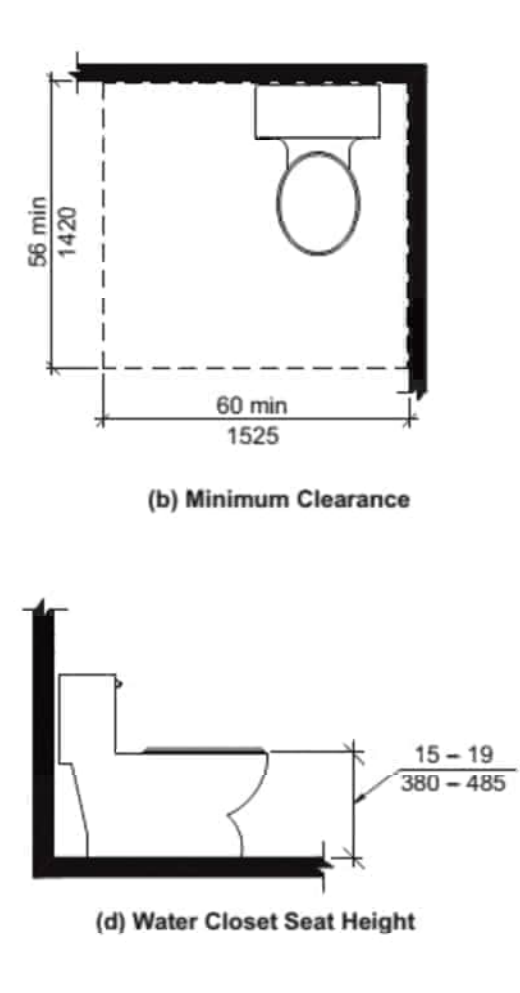
F ROLL-IN SHOWER CLEARANCES TYPE A UNITS (Section 1103)
NO SCALE



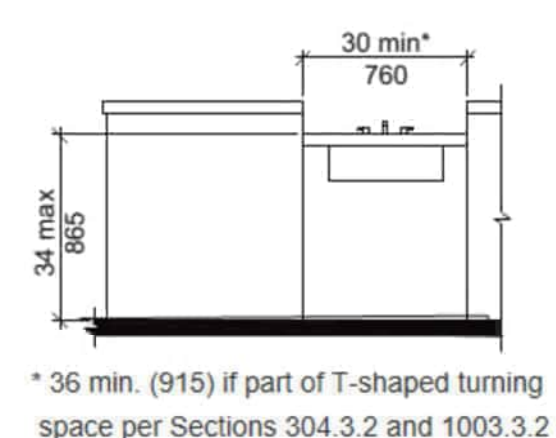
E BATHTUB CLEARANCES TYPE A UNITS (Section 1003)
NO SCALE



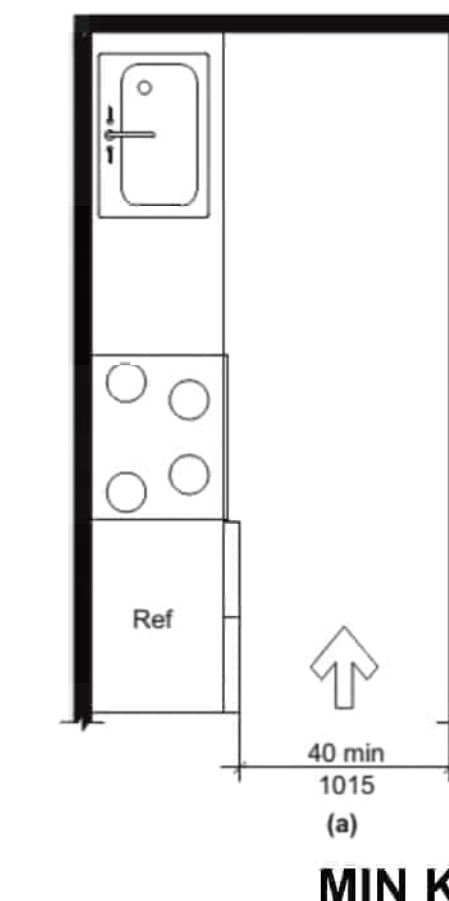
D WATER CLOSET CLEARANCES TYPE A UNITS (Section 1103)
NO SCALE



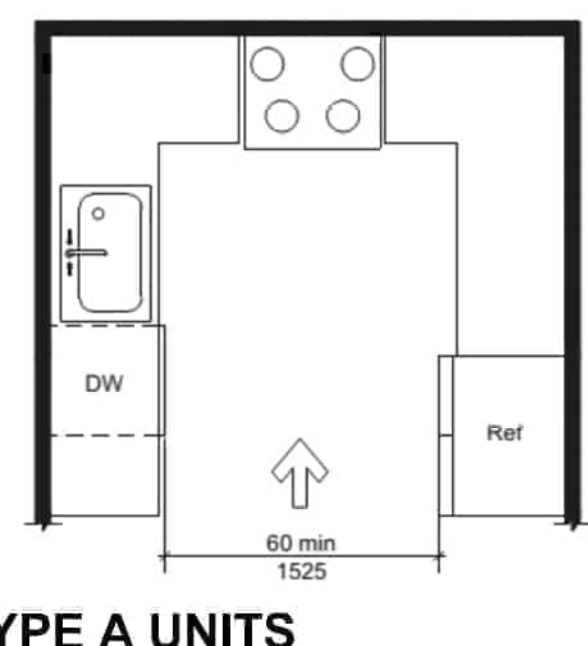
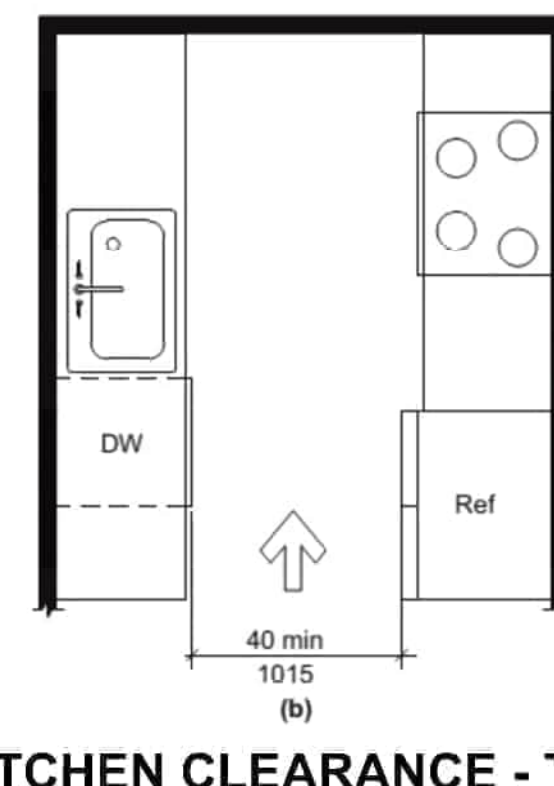
C WORK SURFACE - TYPE A UNITS (Section 1103)
NO SCALE



B KITCHEN SINK - TYPE A UNITS (Section 1103)
NO SCALE



A MIN KITCHEN CLEARANCE - TYPE A UNITS (Section 1103)
NO SCALE



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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



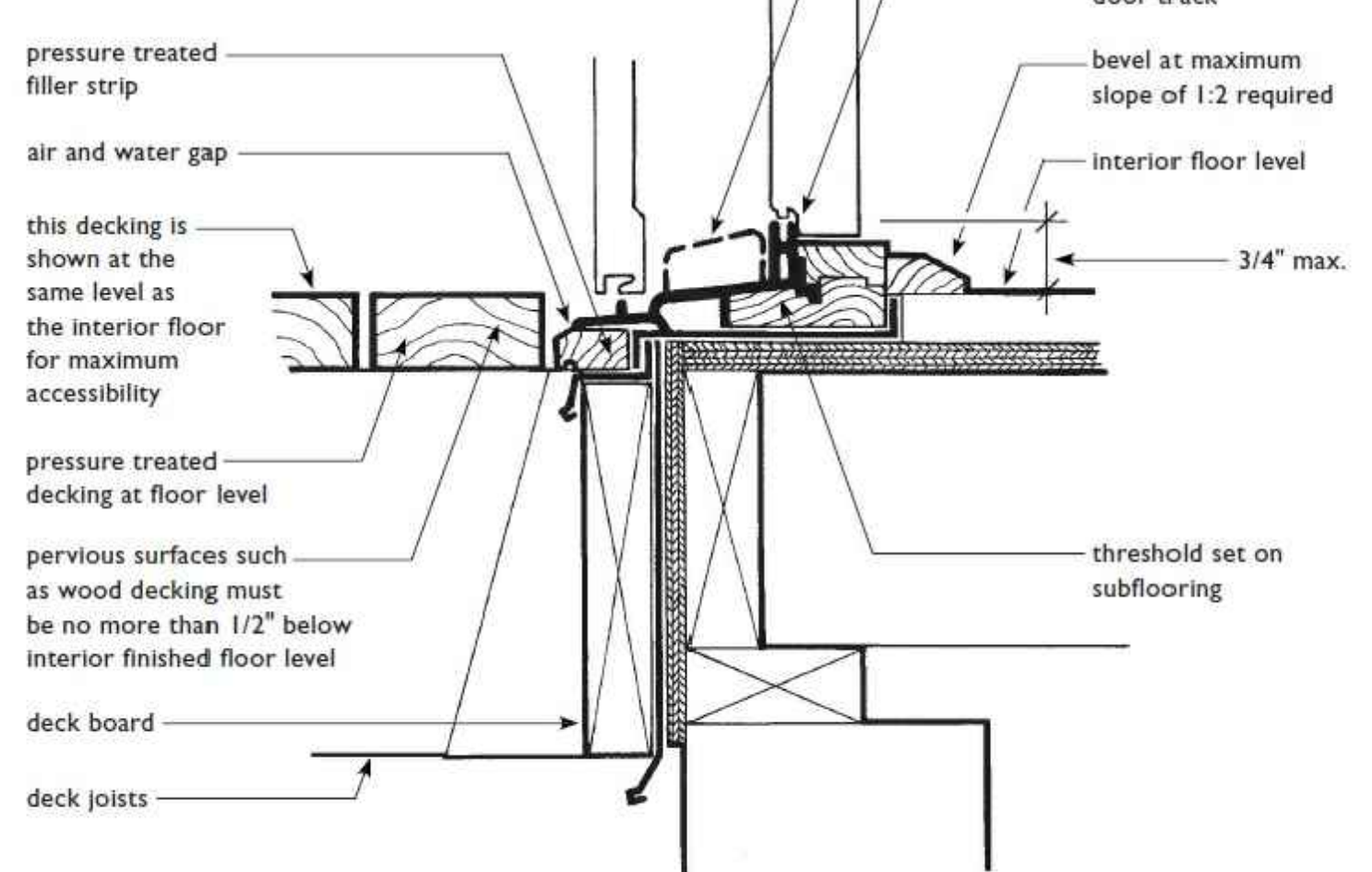
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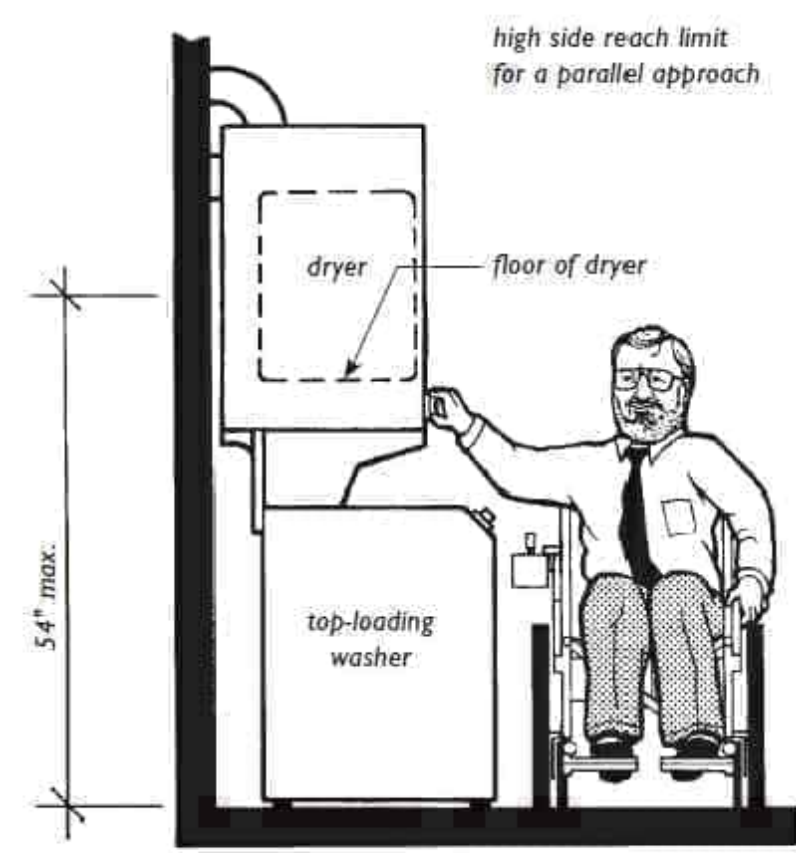
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Sliding Secondary Door at Wood Deck
showing allowable changes in level at exterior sliding glass doors to balcony or patio where 1/2-inch maximum changes in level are permitted.



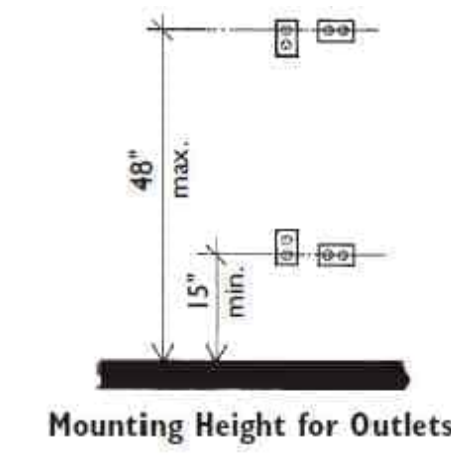
additional recommended continuous filler piece (1:2 or less) at inactive leaf track to eliminate abrupt change in level
standard sliding glass door track
bevel at maximum slope of 1:2 required
interior floor level
3/4" max.
threshold set on subflooring

pressure treated filler strip
air and water gap
this decking is shown at the same level as the interior floor for maximum accessibility
pressure treated decking at floor level
pervious surfaces such as wood decking must be no more than 1/2" below interior finished floor level
deck board
deck joists

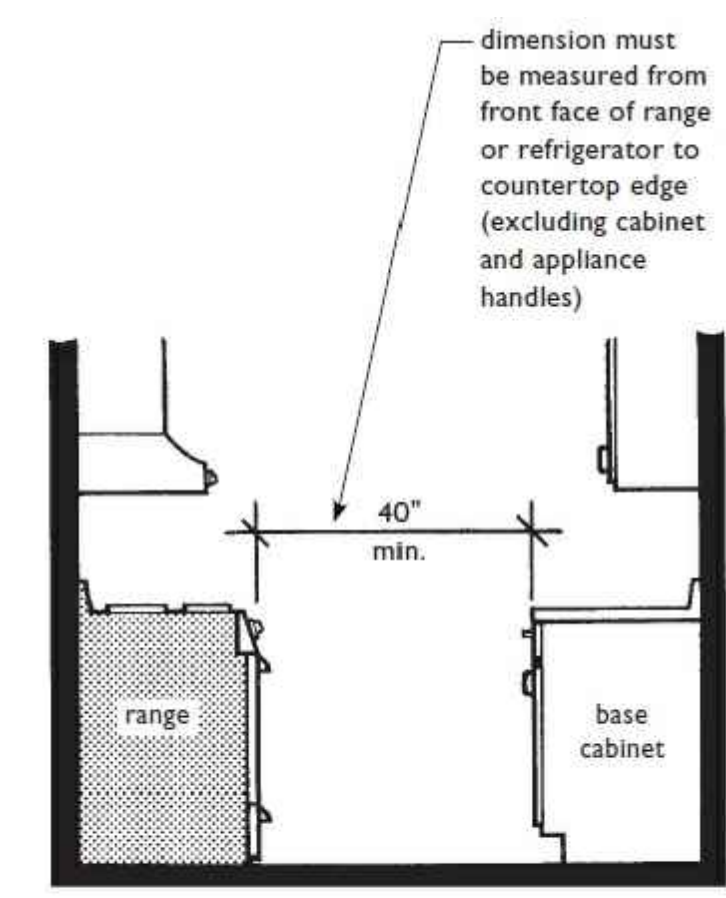


Stacked Washer/Dryer Unit with Dryer and All Controls Within Reach Range of Seated User

high side reach limit for a parallel approach

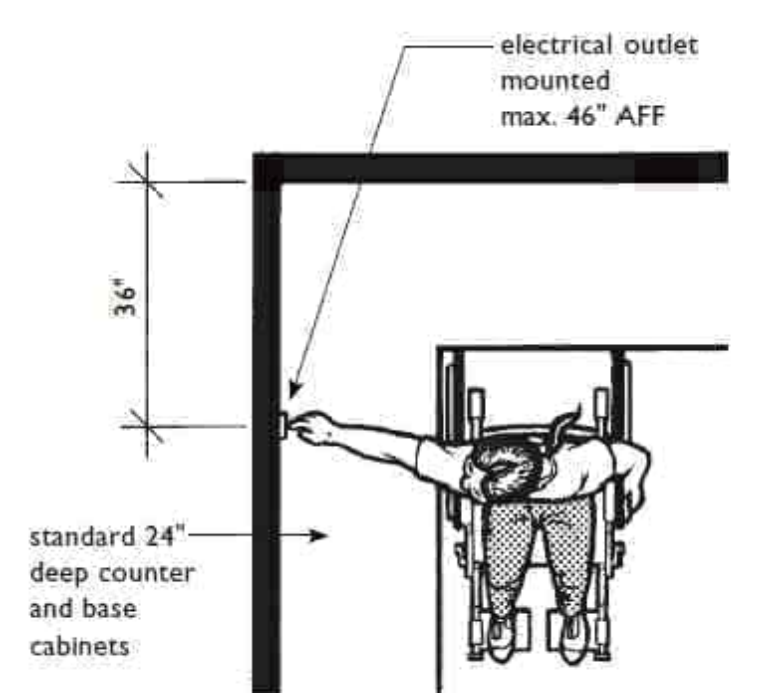


Mounting Height for Outlets



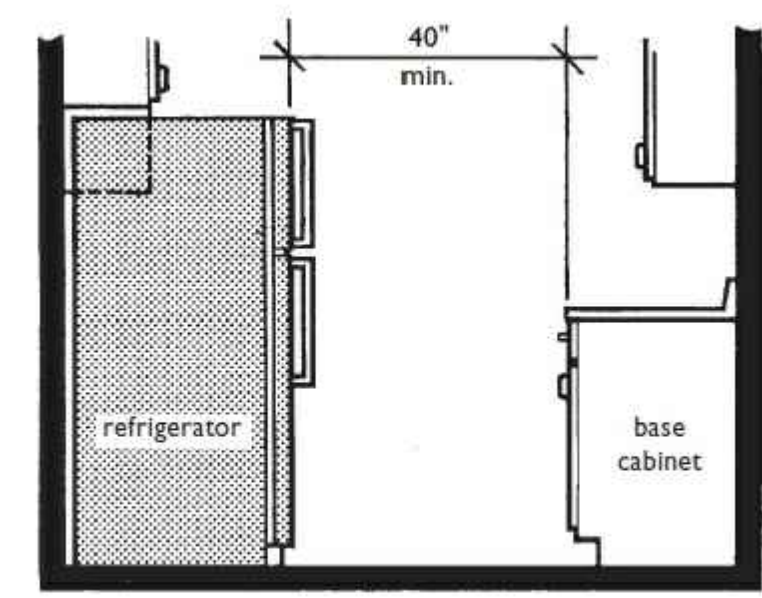
Minimum Clearance between Range and Opposing Base Cabinet

dimension must be measured from front face of range or refrigerator to countertop edge (excluding cabinet and appliance handles)

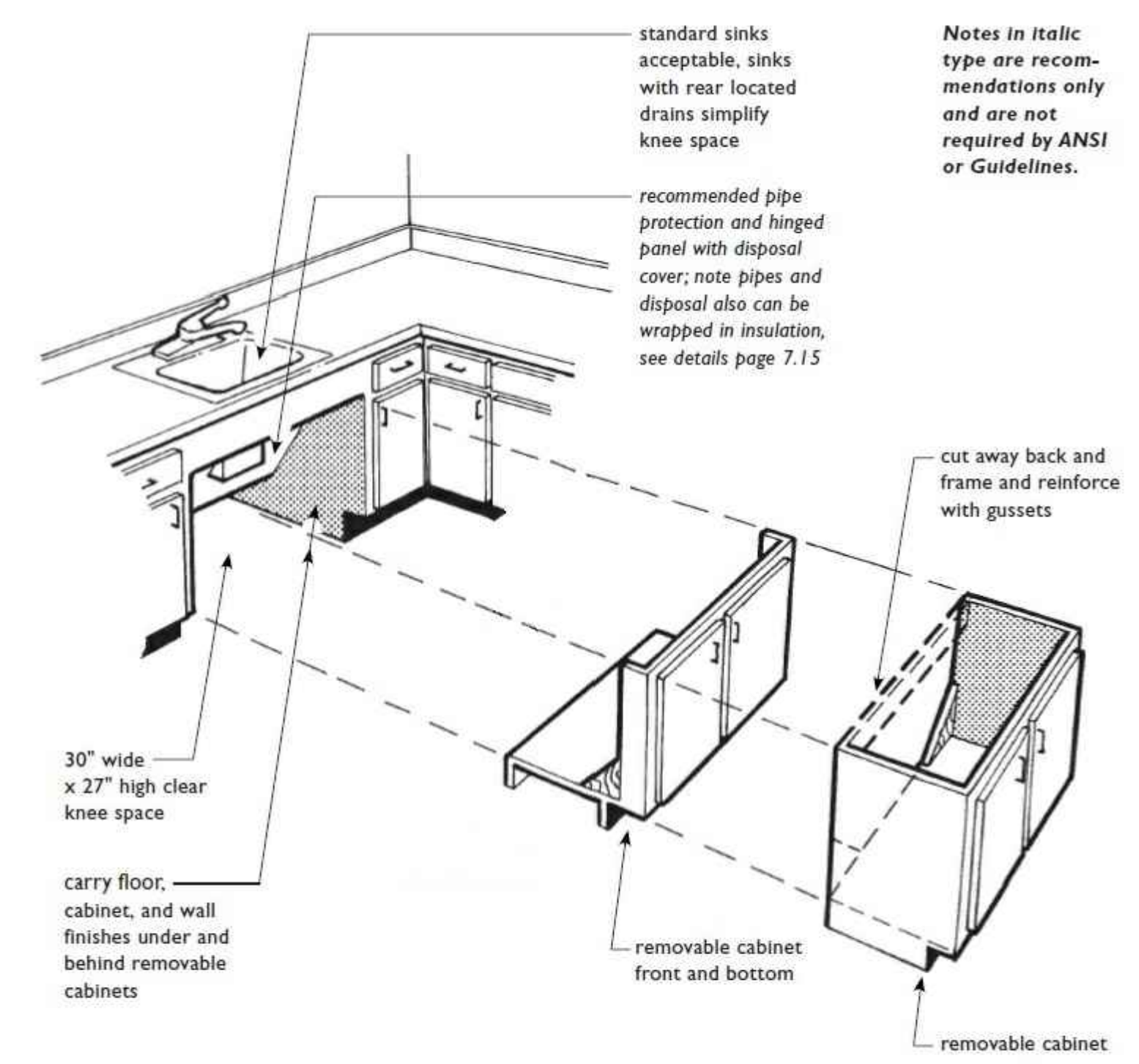


Electrical Outlets on Walls Over Cabinets Must Be a Minimum of 36" from a Corner

electrical outlet mounted max. 46" AFF
standard 24" deep counter and base cabinets



Minimum Clearance between Refrigerator and Opposing Base Cabinet



standard sinks acceptable, sinks with rear located drains simplify knee space
recommended pipe protection and hinged panel with disposal cover; note pipes and disposal also can be wrapped in insulation, see details page 7.15
Notes in *italic type* are recommendations only and are not required by ANSI or Guidelines.
cut away back and frame and reinforce with gussets
30" wide x 27" high clear knee space
carry floor, cabinet, and wall finishes under and behind removable cabinets
removable cabinet front and bottom
removable cabinet

Possible Removable Cabinet Options for Required Knee Spaces at Sinks or Cooktops in Narrow (Less Than 60" Wide) U-Shaped Kitchens

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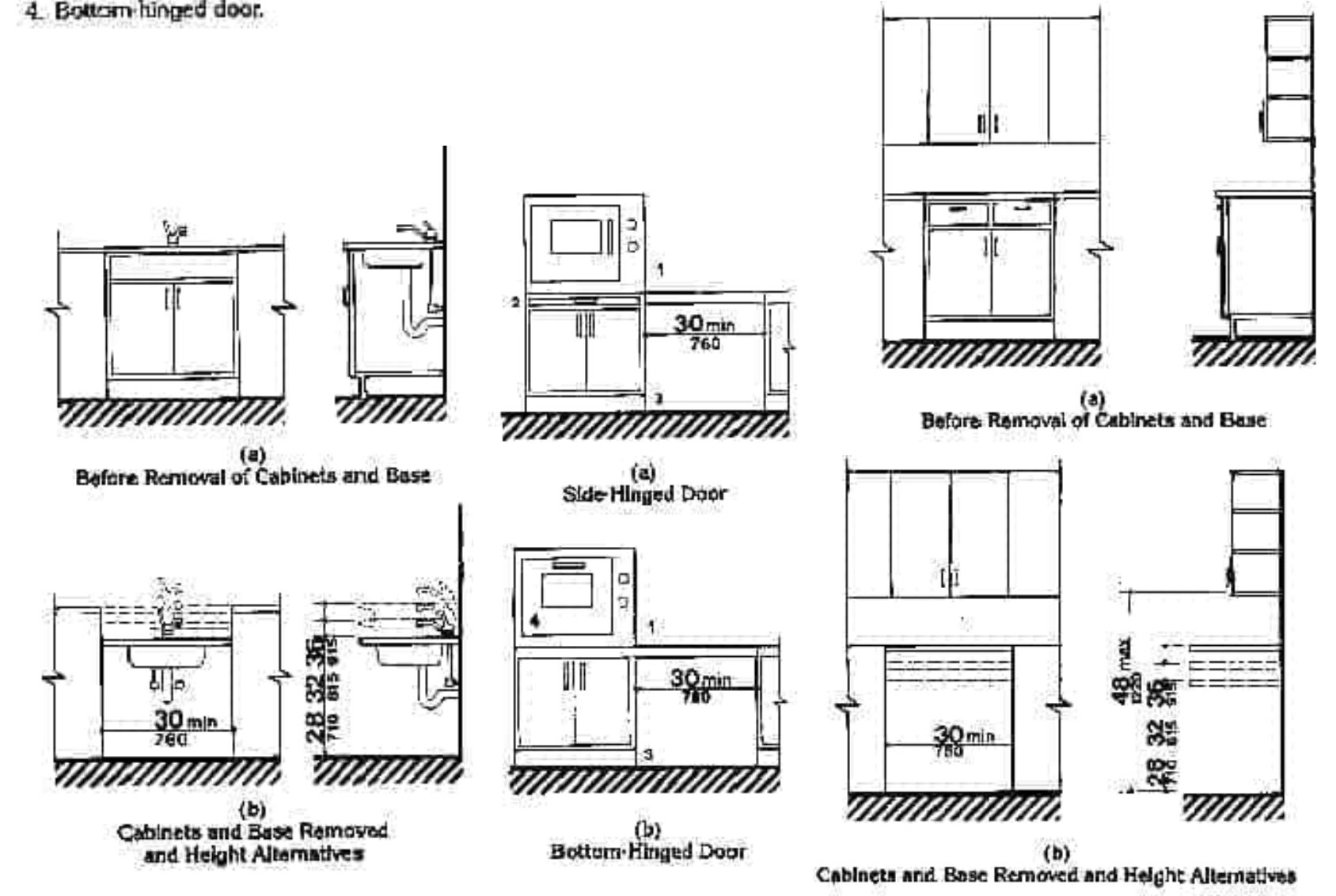


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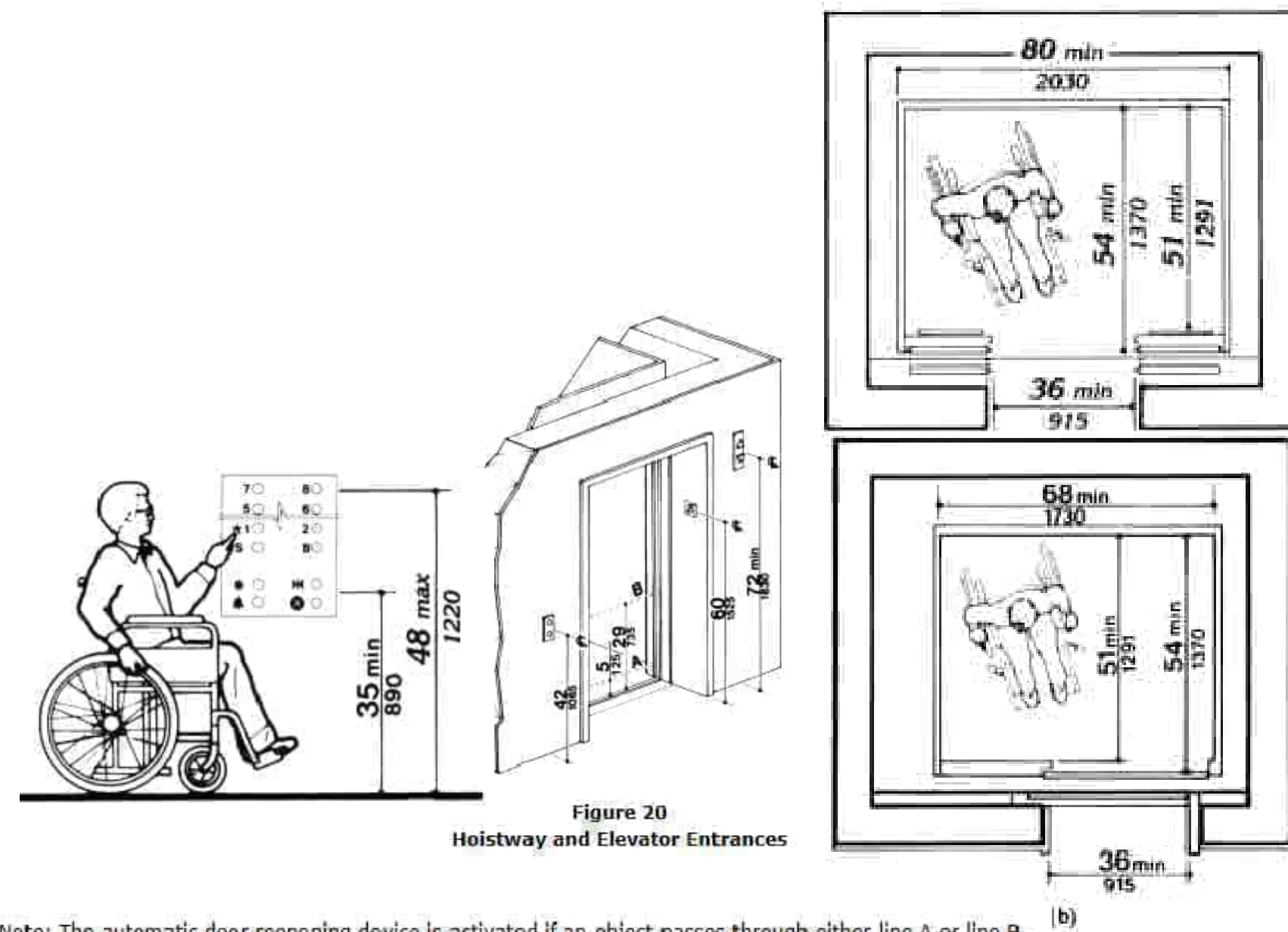


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SYMBOL KEY:
 1. Countertop or wall-mounted oven.
 2. Pull out board preferred with side-opening door.
 3. Clear open space.
 4. Bottom hinged door.



G STANDARD UFAS KITCHEN DIAGRAMS
 NO SCALE



Note: The automatic door reopening device is activated if an object passes through either line A or line B. Line A and line B represent the vertical locations of the door reopening device not requiring contact.

F STANDARD UFAS ELEVATOR DETAILS
 NO SCALE

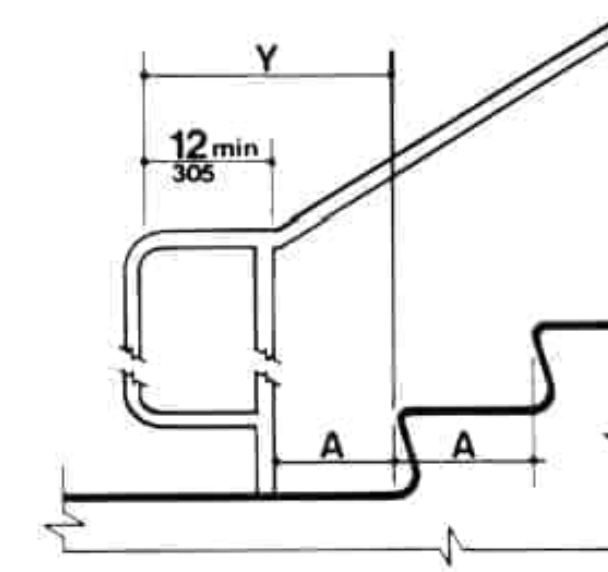


Figure 19(c)
 Stair Handrails - Extension at Bottom of Run

Note: X is the 12 in minimum handrail extension required at each top riser. Y is the minimum handrail extension of 12 in plus the width of one tread that is required at each bottom riser.

E STANDARD UFAS HANDRAILS
 NO SCALE

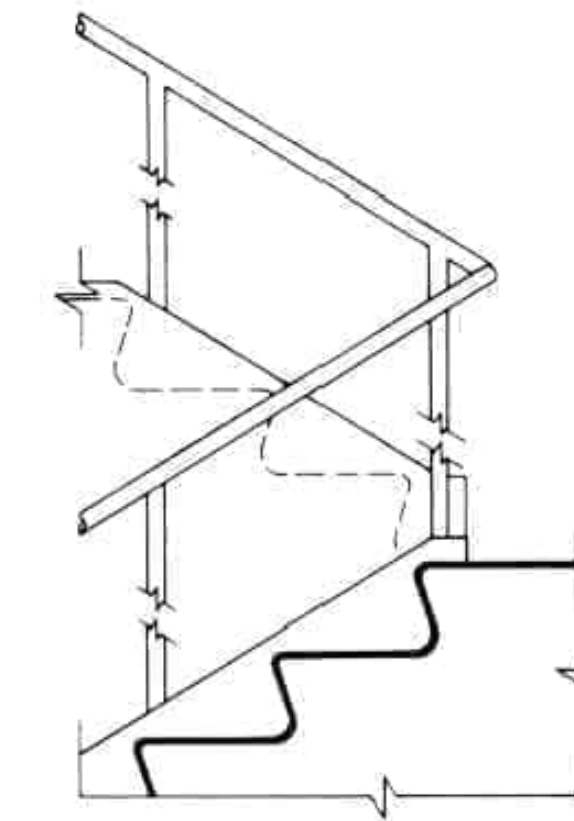
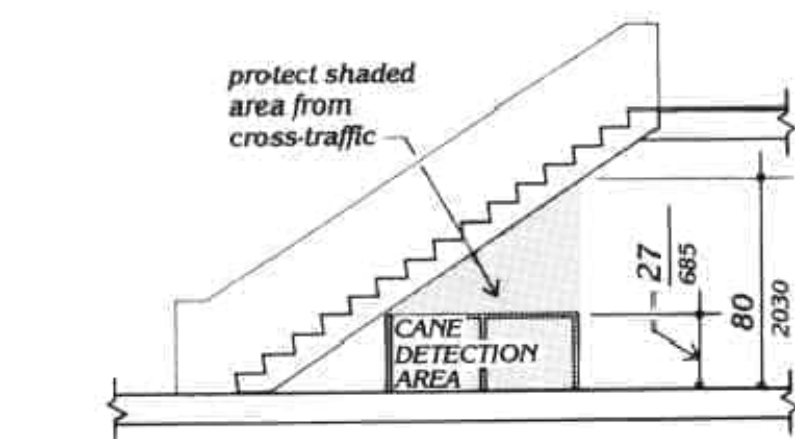
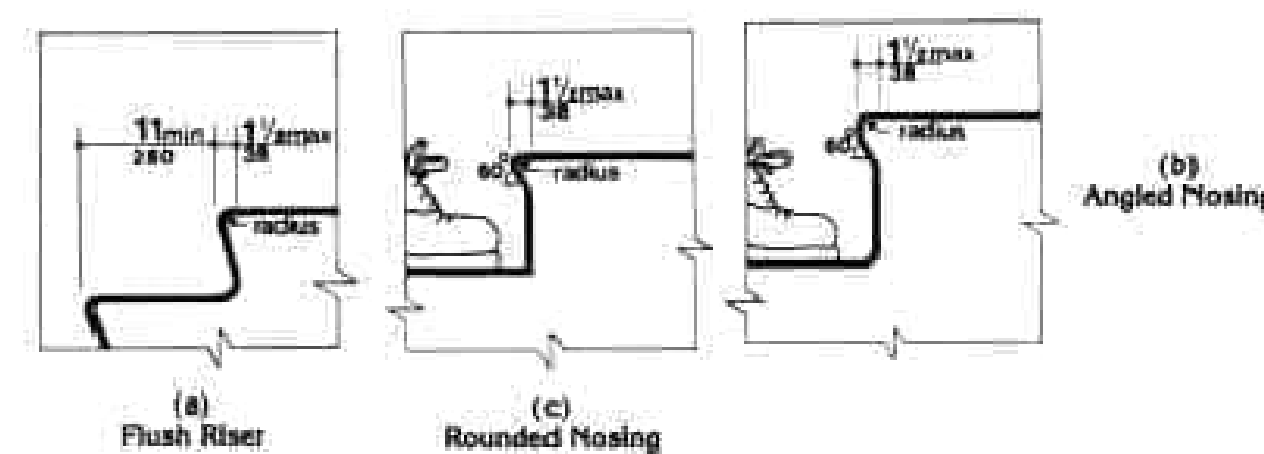


Figure 19(d)
 Stair Handrails - Extension at Top of Run

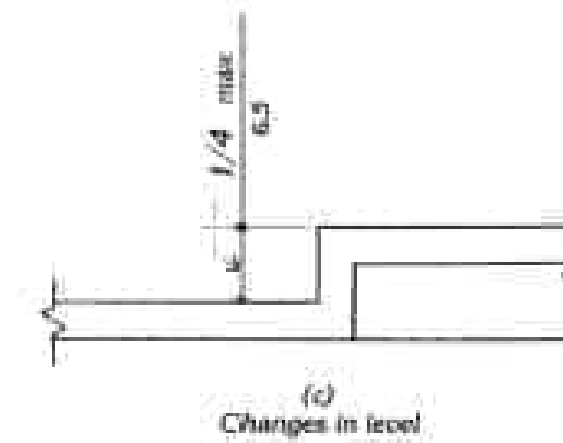
Note: X is the 12 in minimum handrail extension required at each top riser. Y is the minimum handrail extension of 12 in plus the width of one tread that is required at each bottom riser.



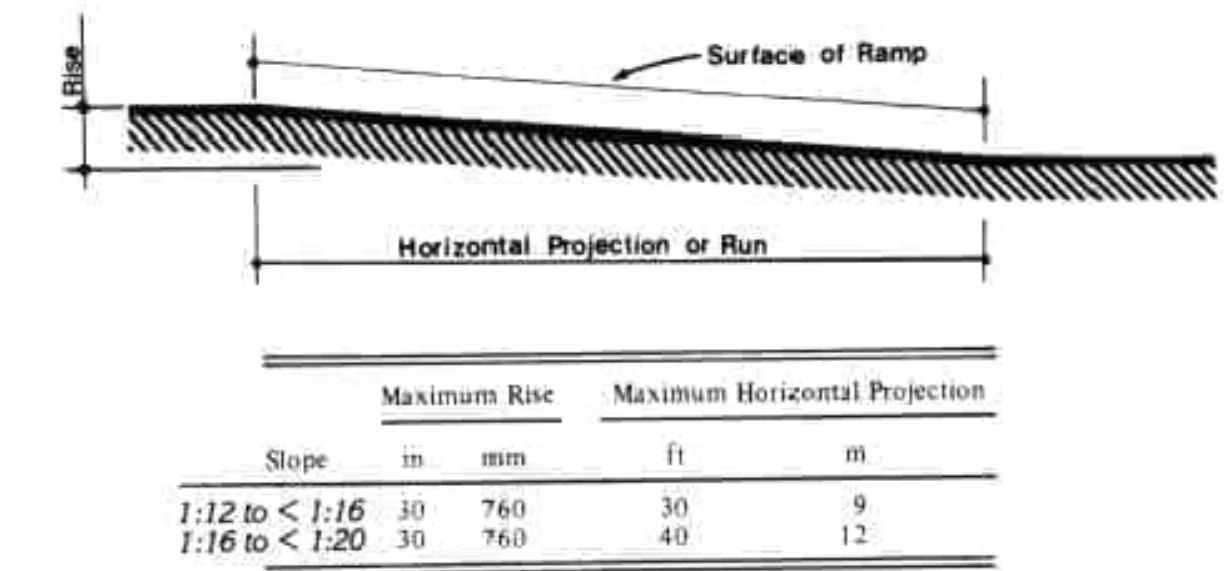
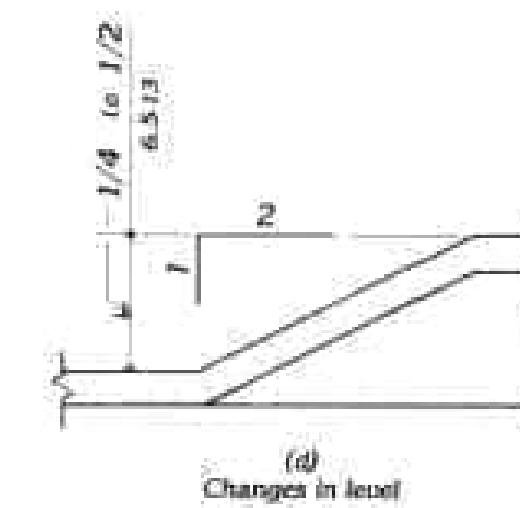
D GENERAL UFAS DIAGRAM
 NO SCALE



C STAIR NOSINGS
 NO SCALE



B UFAS CHANGE IN LEVEL DIAGRAM
 NO SCALE



A SLOPE AND RISE
 NO SCALE

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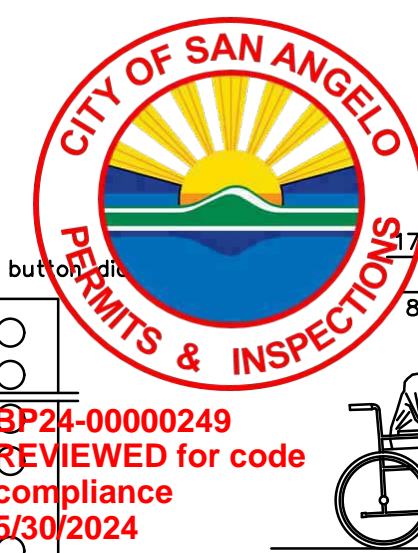
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 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



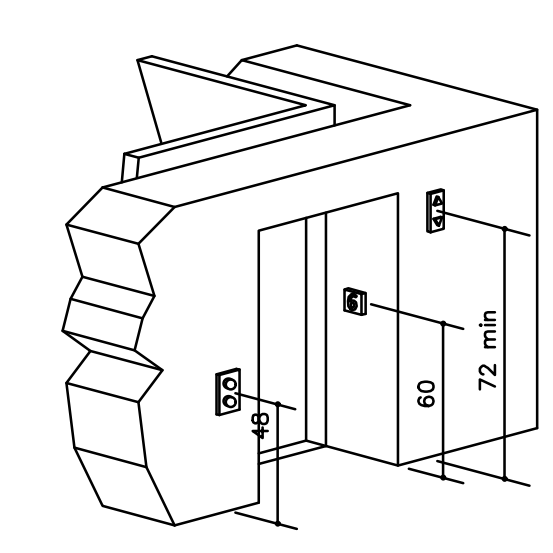
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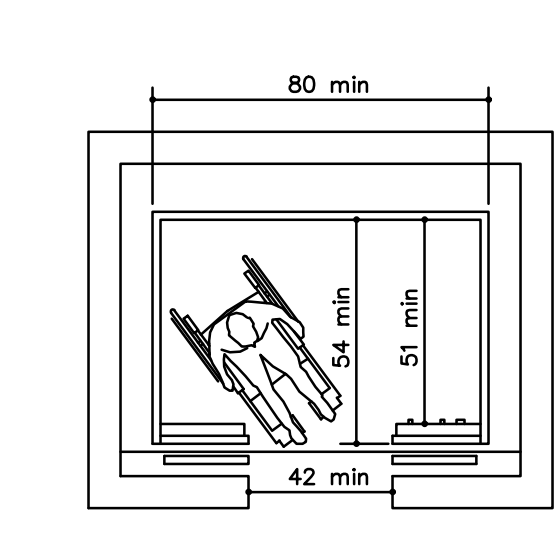
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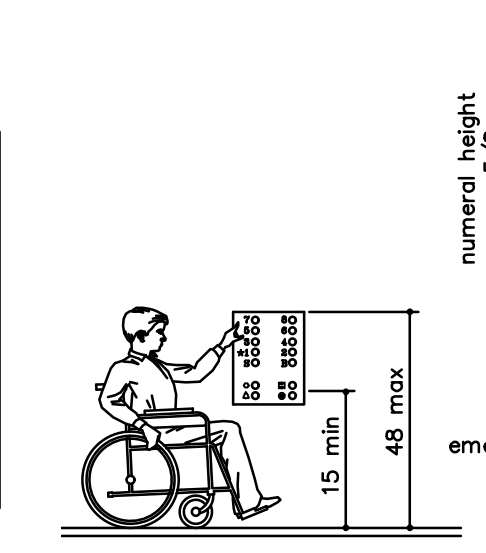
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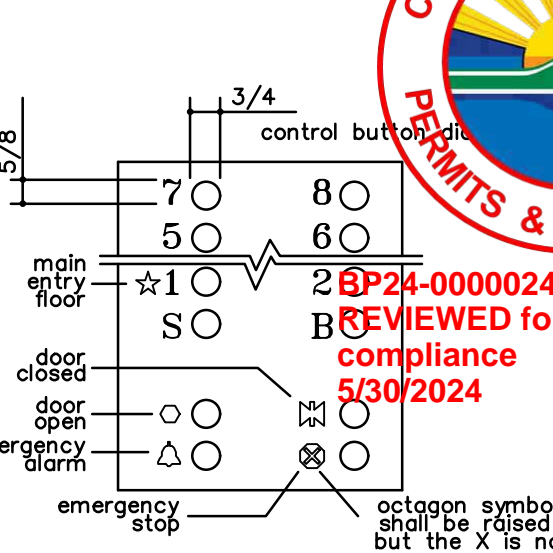
Hoistway and Elevator Entrances



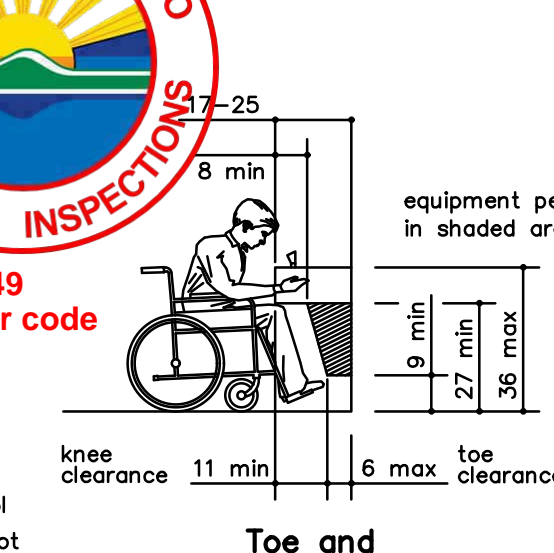
Minimum Dimensions for Elevator Car



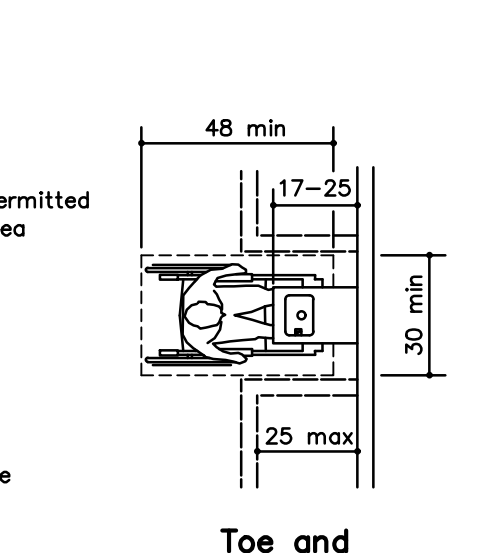
Car Control Height



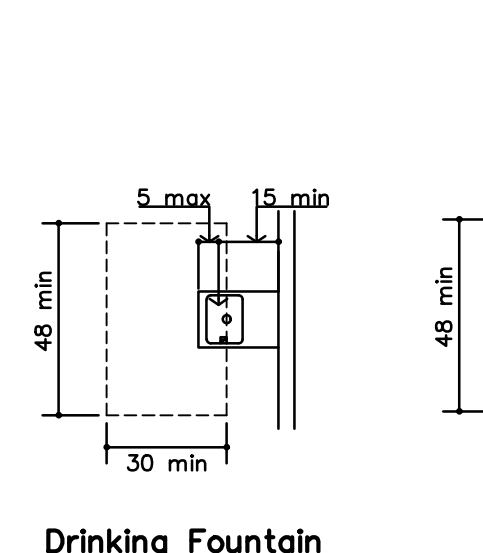
Panel Detail



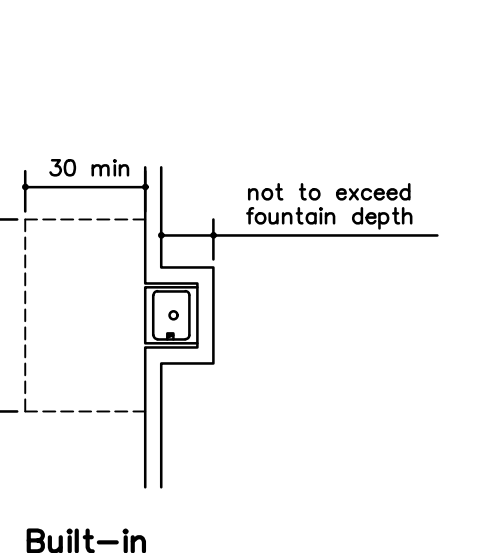
Toe and Knee Clearance Elevation



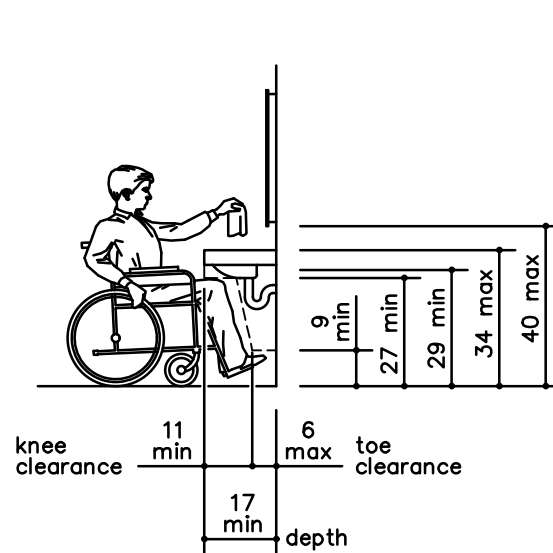
Toe and Knee Clearance Plan



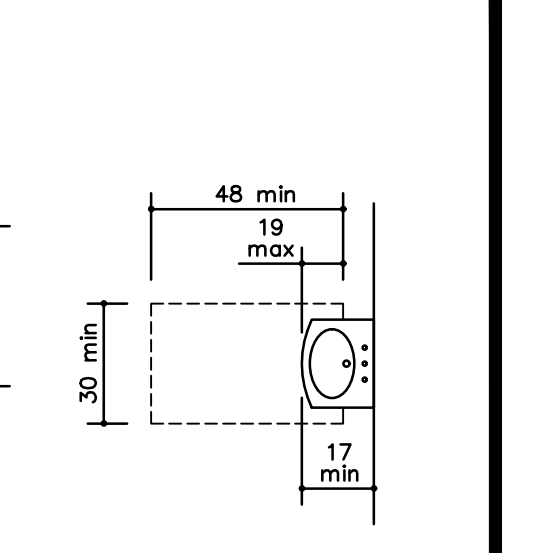
Drinking Fountain Spout Location



Built-in Fountain or Cooler



Lavatory Clearances at Lavatories

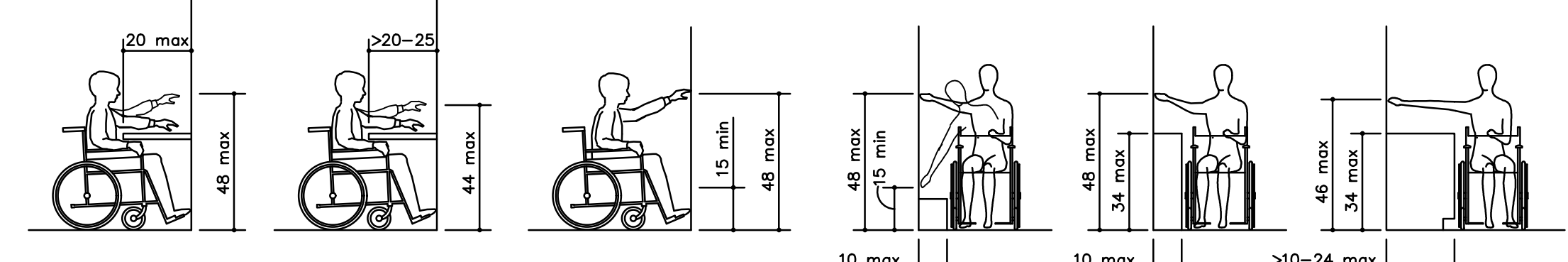


Clear Floor Space at Lavatories

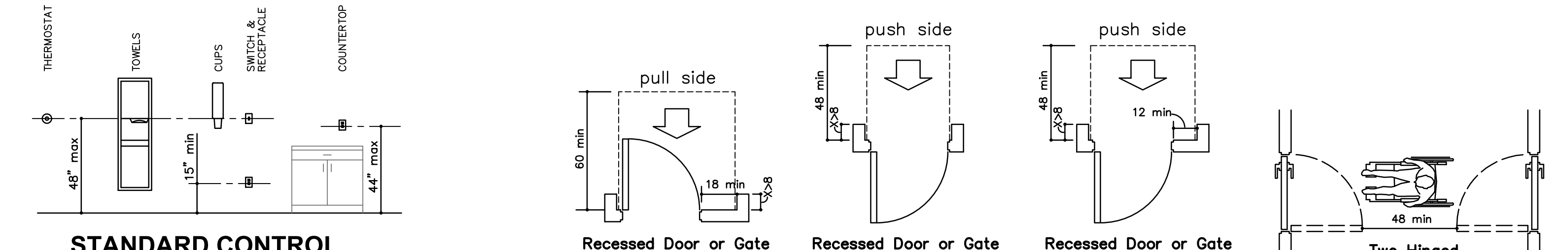
M STANDARD ELEVATOR DIAGRAMS
NO SCALE

L STANDARD DRINKING FOUNTAIN DETAILS
NO SCALE

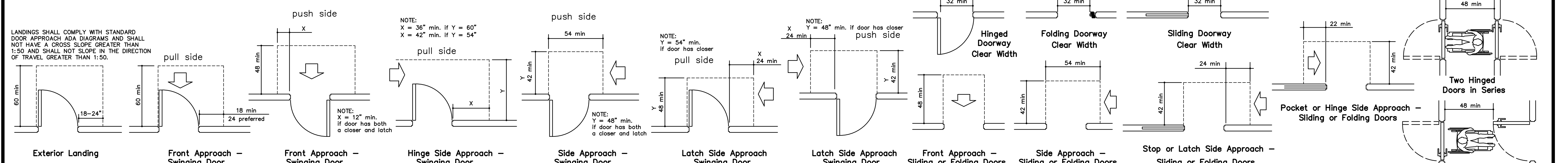
K STANDARD LAVATORY DETAILS
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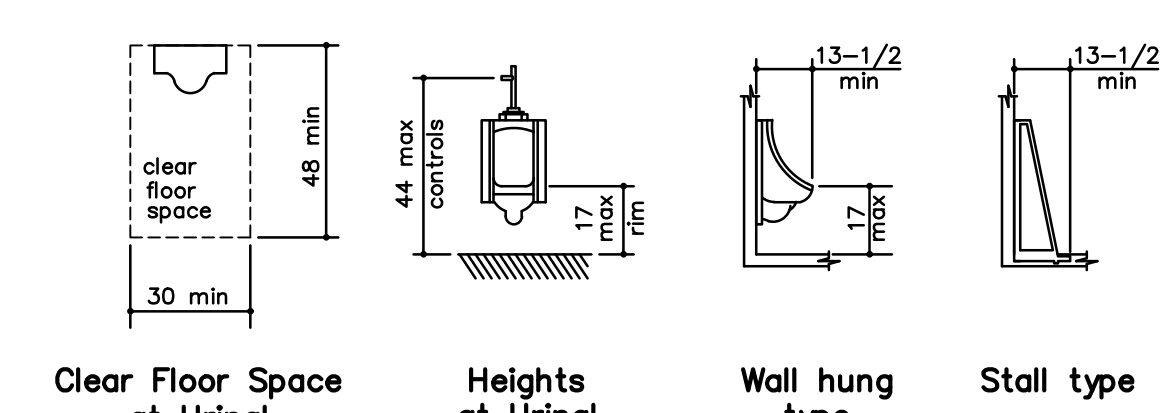
J STANDARD REACH TSA DIAGRAMS
NO SCALE



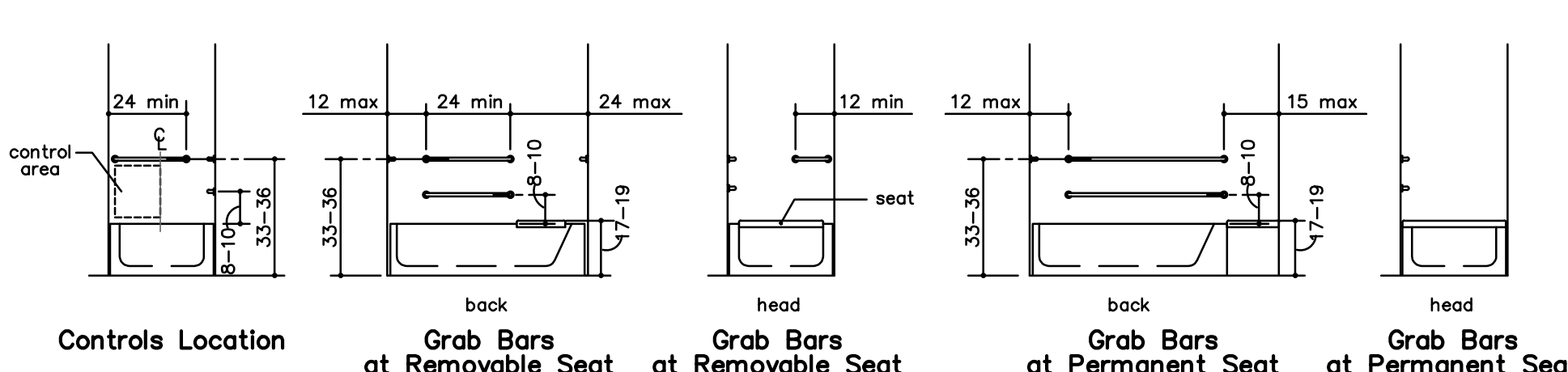
H STANDARD CONTROL REACH LIMITATIONS DETAILS
NO SCALE



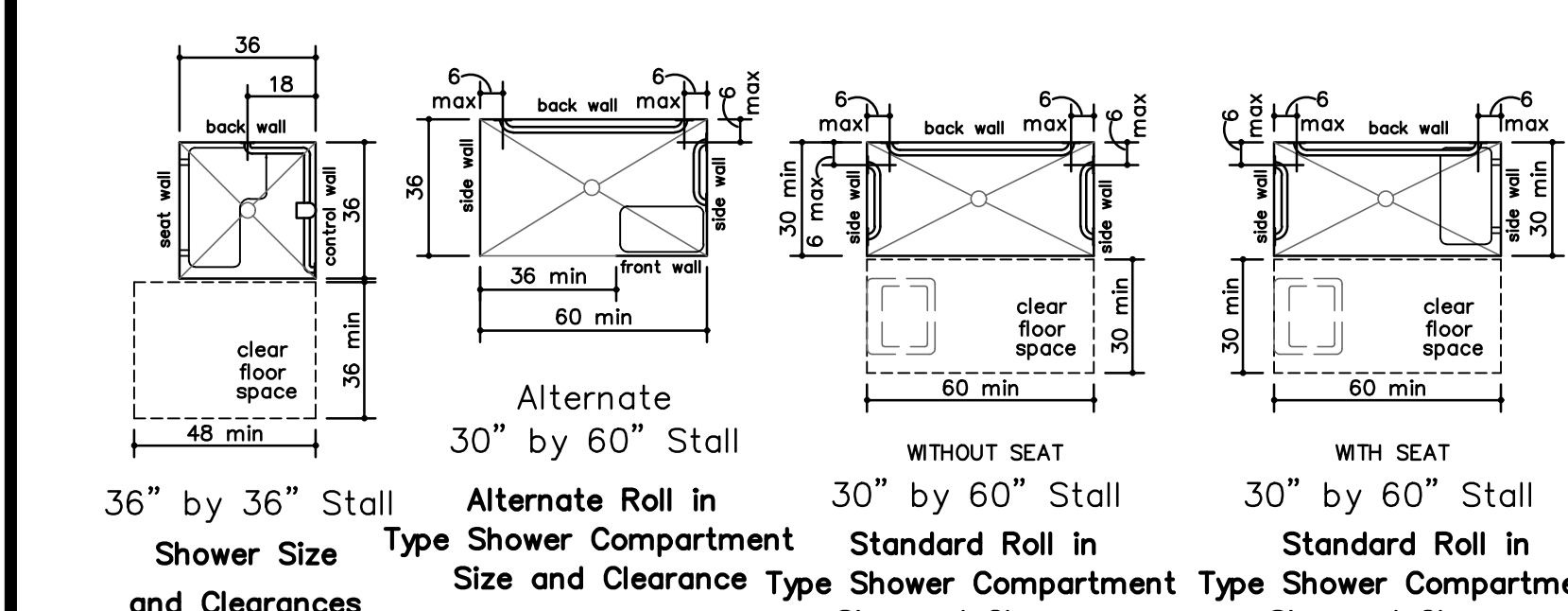
G STANDARD DOOR APPROACH DIAGRAMS
NO SCALE



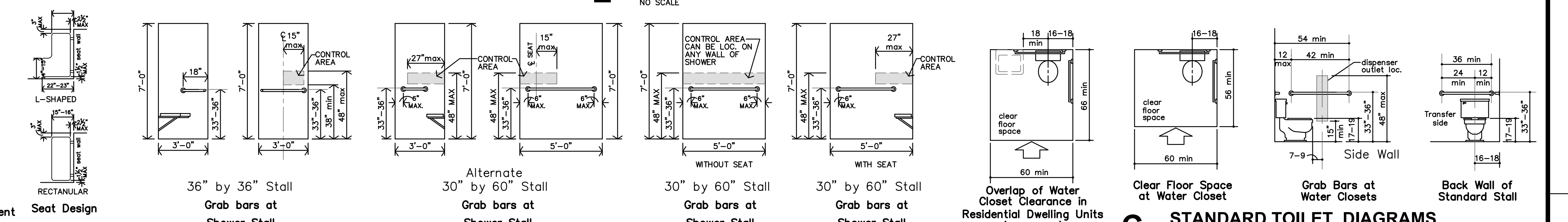
F STANDARD URINAL DIAGRAMS
NO SCALE



E STANDARD BATHROOM/TUB DIAGRAMS
NO SCALE

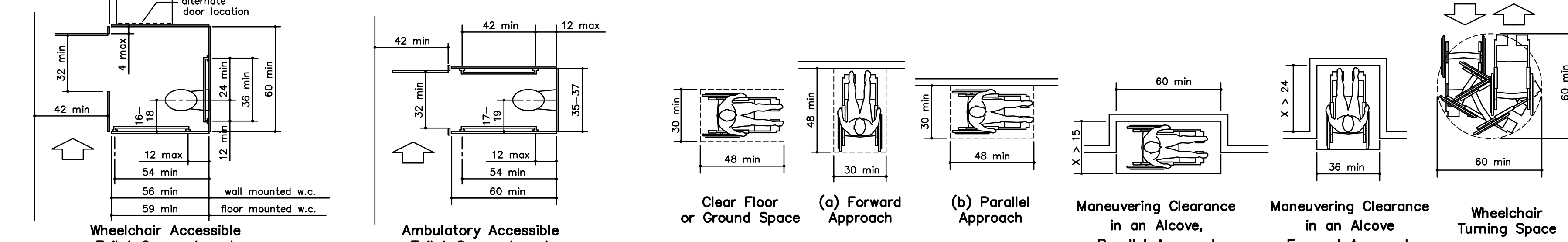


B STANDARD TOILET STALL DIAGRAMS
NO SCALE



D STANDARD SHOWER DIAGRAMS
NO SCALE

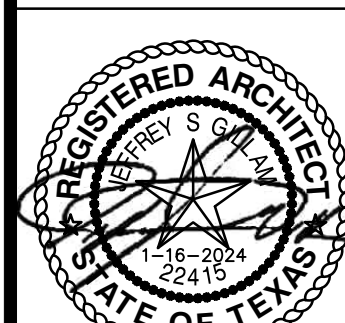
C STANDARD TOILET DIAGRAMS
NO SCALE



B STANDARD TOILET STALL DIAGRAMS
NO SCALE

A STANDARD DIAGRAMS
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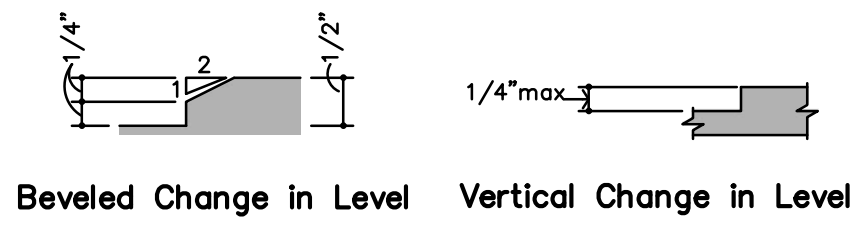


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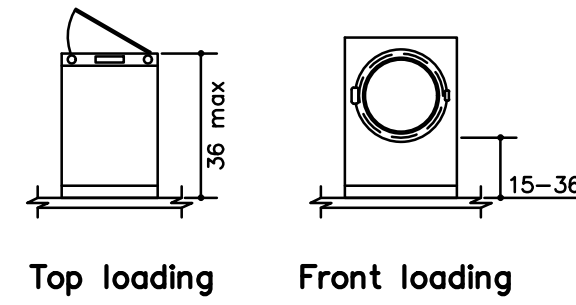
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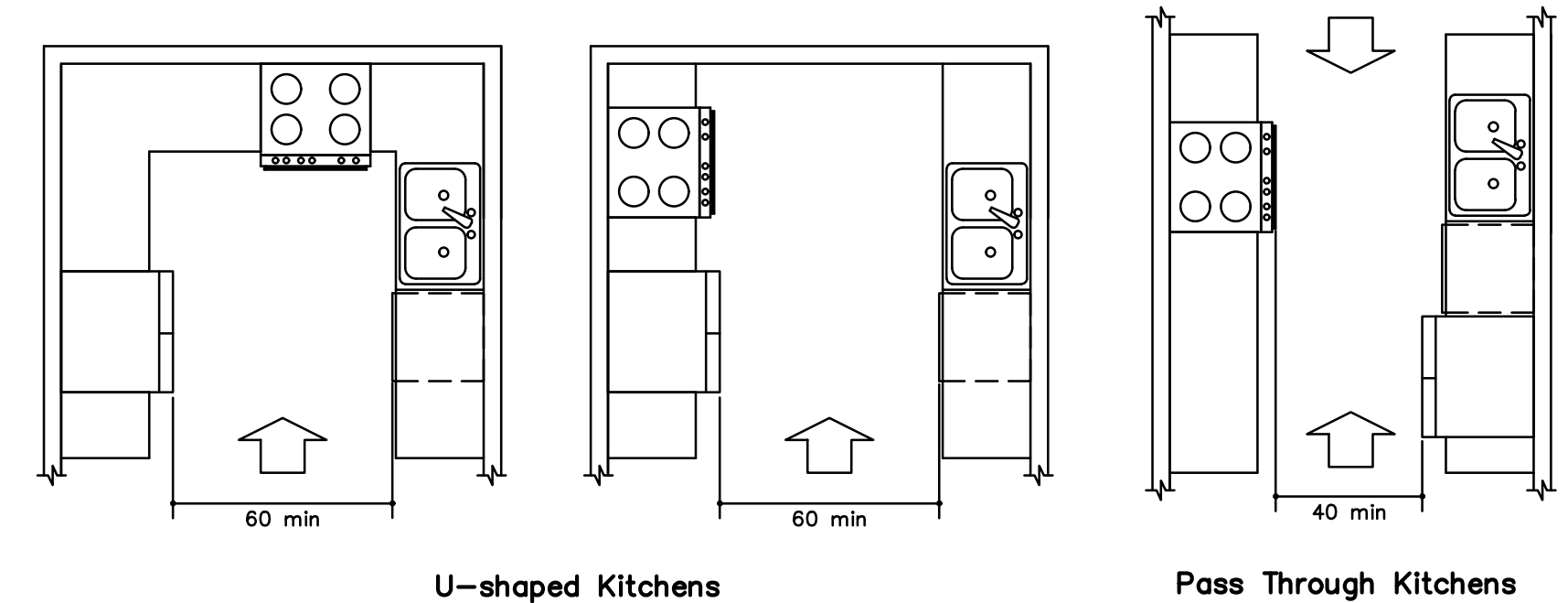
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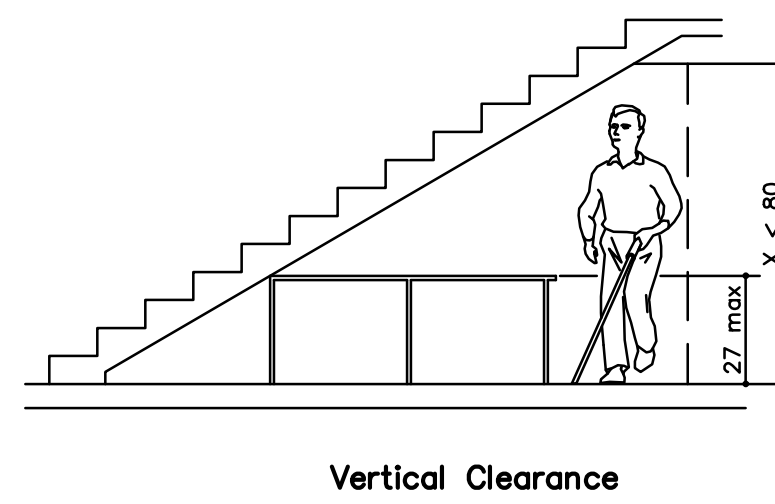
K THRESHOLD DIAGRAMS
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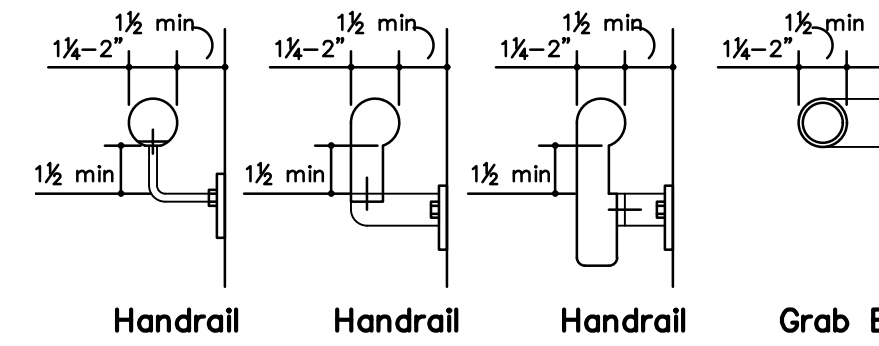
J LAUNDRY
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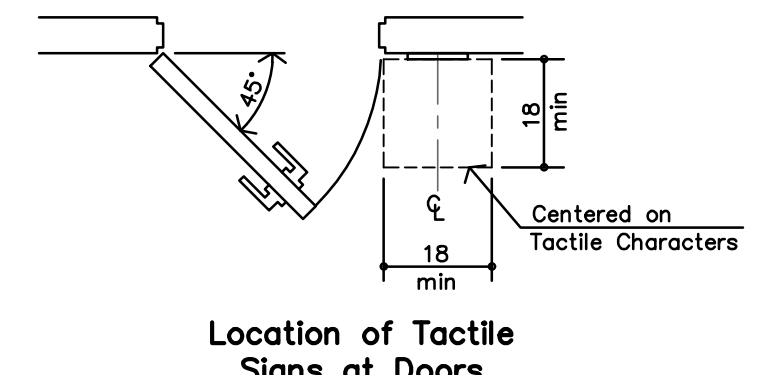
H KITCHENS
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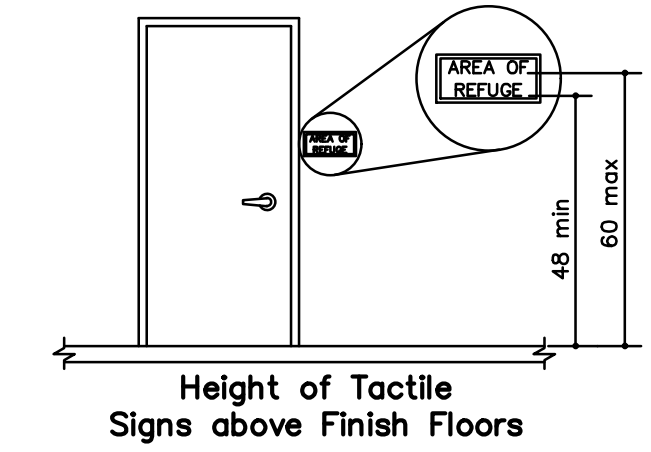
G STANDARD VERTICAL CLEARANCE
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F STANDARD HANDRAIL/GRAB BAR DETAILS
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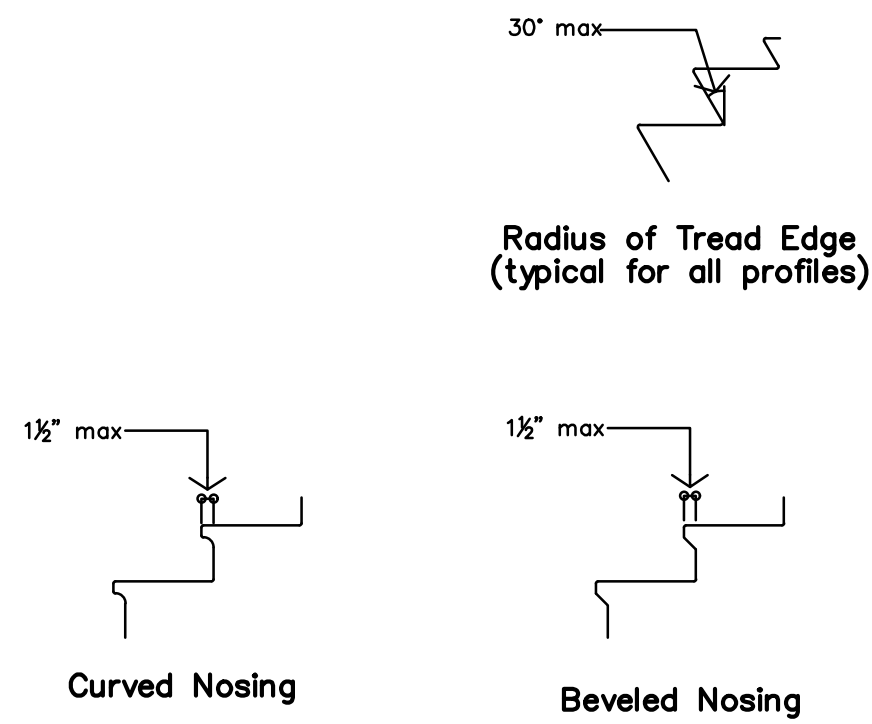


Location of Tactile Signs at Doors

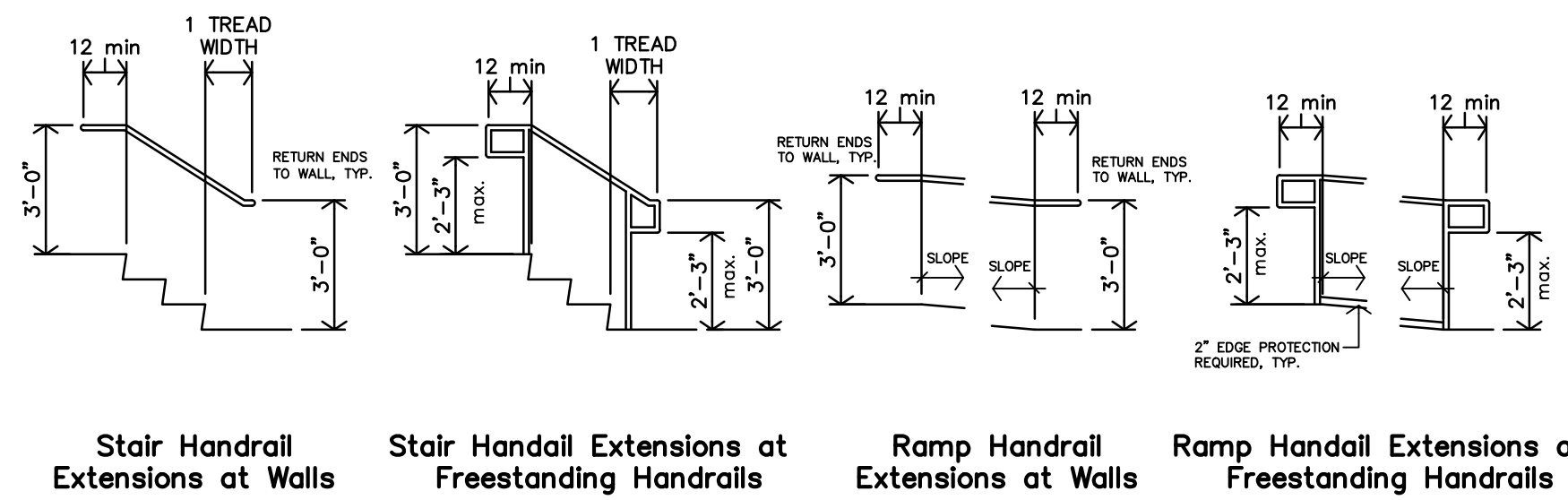


Height of Tactile Signs above Finish Floors

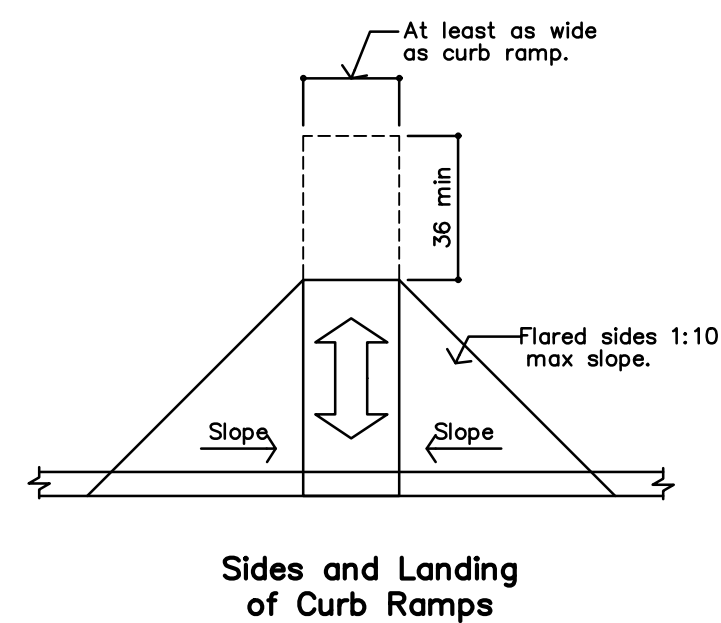
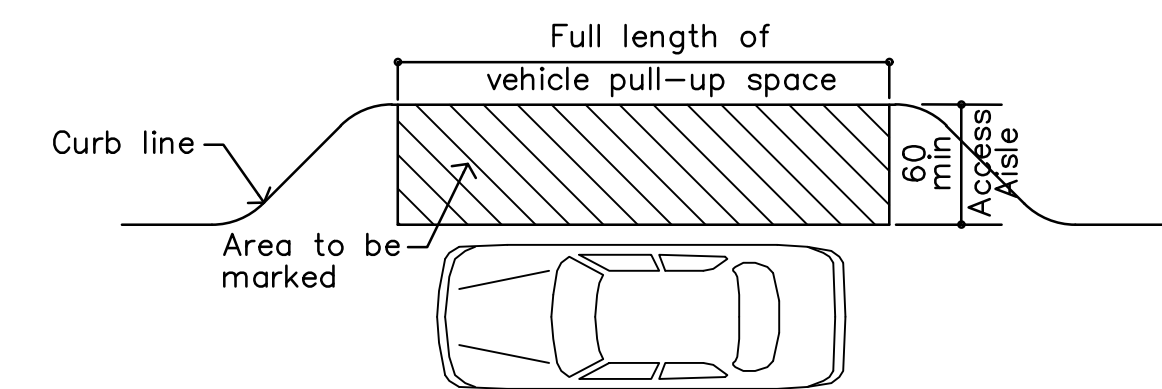
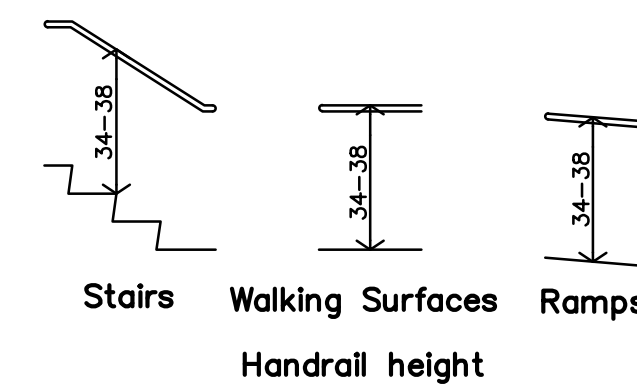
E TACTILE SIGN DIAGRAM
 NO SCALE



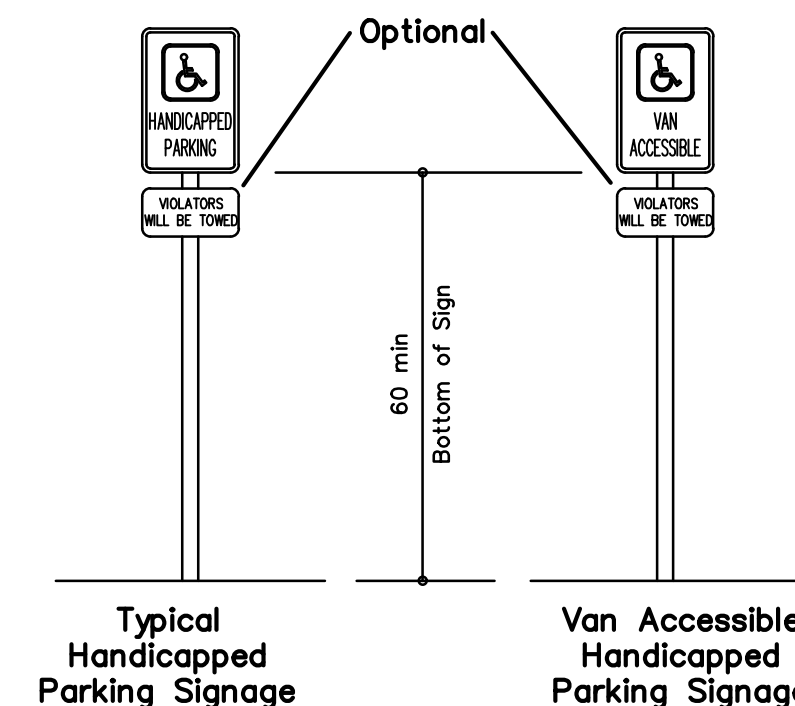
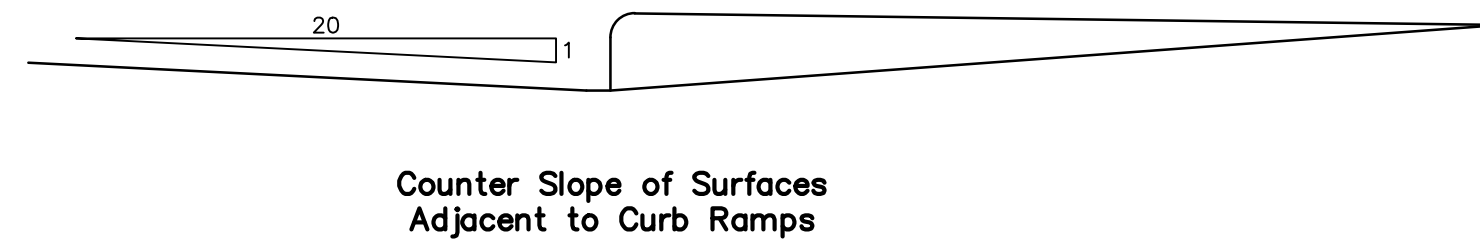
D STANDARD STAIR NOSING DETAILS
 NO SCALE



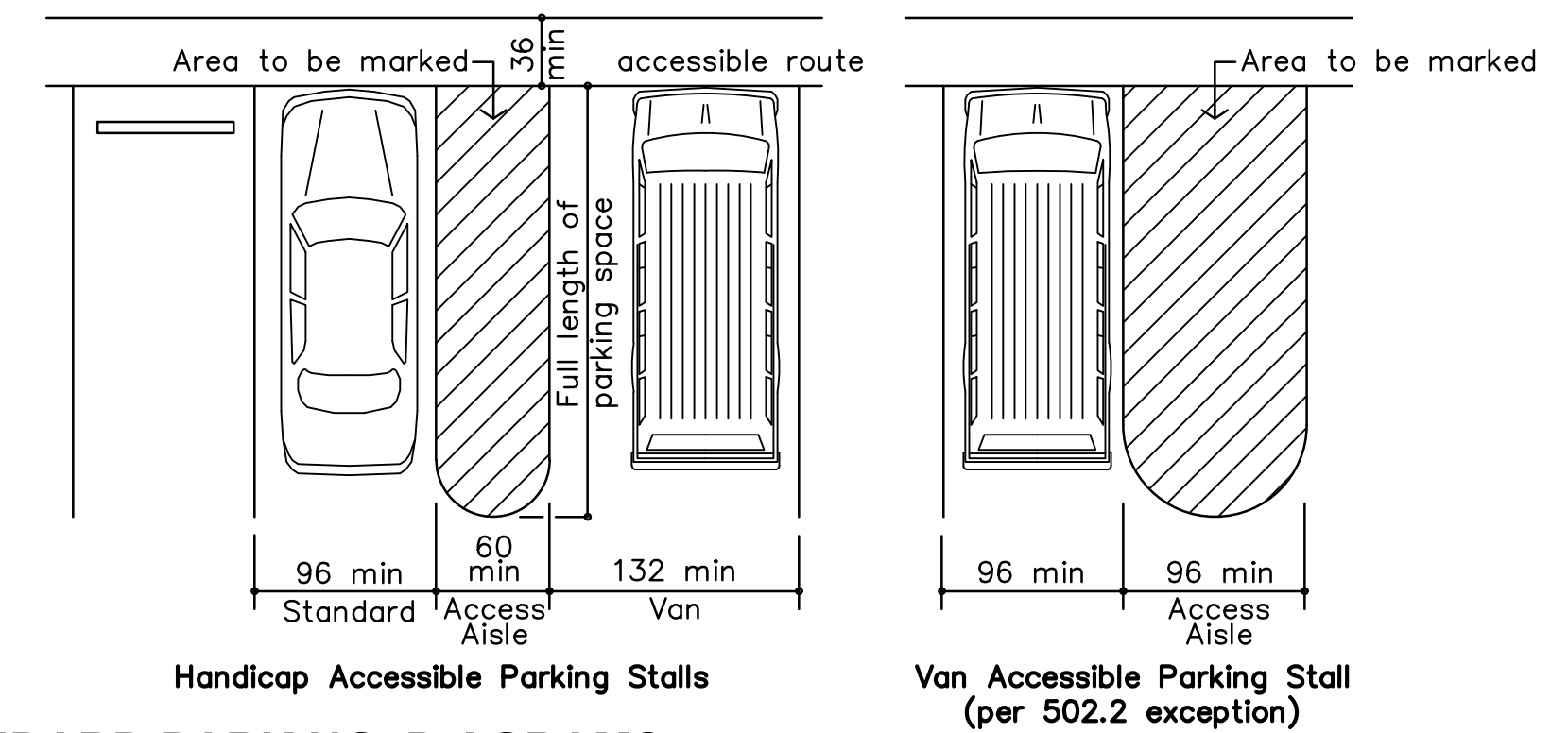
C STANDARD RAMP/STAIR HANDRAIL EXTENSIONS
 NO SCALE



B STANDARD CURB RAMPS DIAGRAMS
 NO SCALE



A STANDARD PARKING DIAGRAMS
 NO SCALE



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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



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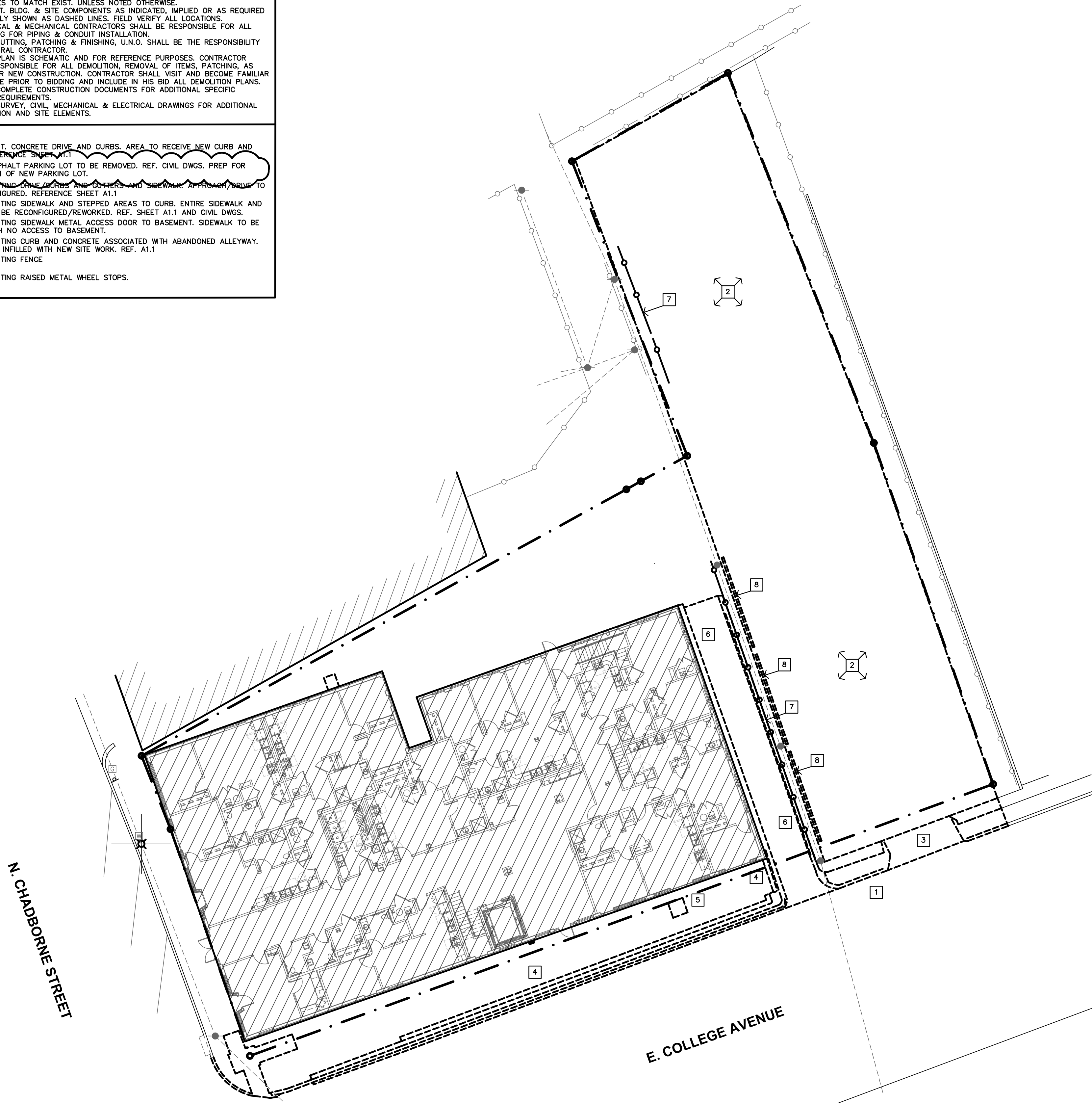
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PLANNING NOTES
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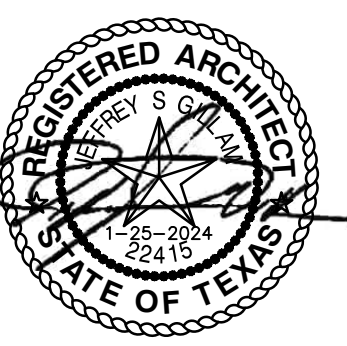
DEMOLITION SITE PLANNING NOTES	
GENERAL	
1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.	
2. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE UTILITY COMPANIES AND THE CITY OF CONROE, TEXAS.	
3. WHERE EXISTING BLDG. & SITE COMPONENTS ARE TO BE REMOVED; PATCH & REPAIR THE SURFACES TO MATCH EXIST, UNLESS NOTED OTHERWISE.	
4. REMOVE EXIST. BLDG. & SITE COMPONENTS AS INDICATED, IMPLIED OR AS REQUIRED SCHEMATICALLY SHOWN AS DASHED LINES. FIELD VERIFY ALL LOCATIONS.	
5. THE ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CORE DRILLING FOR PIPING & CONDUIT INSTALLATION.	
6. ALL OTHER CUTTING, PATCHING & FINISHING, U.N.O. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.	
7. DEMOLITION PLAN IS SCHEMATIC AND FOR REFERENCE PURPOSES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION, REMOVAL OF ITEMS, PATCHING, AS REQUIRED FOR NEW CONSTRUCTION. CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE SITE PRIOR TO BIDDING AND INCLUDE IN HIS BID ALL DEMOLITION PLANS.	
8. REFERENCE COMPLETE CONSTRUCTION DOCUMENTS FOR ADDITIONAL SPECIFIC DEMOLITION REQUIREMENTS.	
9. REFERENCE SURVEY, CIVIL, MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL SITE DEMOLITION AND SITE ELEMENTS.	
SPECIFIC	
1	REMOVE EXIST. CONCRETE DRIVE AND CURBS. AREA TO RECEIVE NEW CURB AND UTILITY REFERENCE SHEET A1.1
2	EXISTING ASPHALT PARKING LOT TO BE REMOVED. REF. CIVIL DWGS. PREP FOR INSTALLATION OF NEW PARKING LOT.
3	REMOVE EXISTING DRIVE / CURBS AND CUTTERS AND SIDEWALK APPROACH DRIVE TO BE RE-CONFIGURED. REFERENCE SHEET A1.1
4	REMOVE EXISTING SIDEWALK AND STEPPED AREAS TO CURB. ENTIRE SIDEWALK AND GRADING TO BE RECONFIGURED/REWORKED. REF. SHEET A1.1 AND CIVIL DWGS.
5	REMOVE EXISTING SIDEWALK METAL ACCESS DOOR TO BASEMENT. SIDEWALK TO BE INFILLED WITH NO ACCESS TO BASEMENT.
6	REMOVE EXISTING CURB AND CONCRETE ASSOCIATED WITH ABANDONED ALLEYWAY. AREA TO BE INFILLED WITH NEW SITE WORK. REF. A1.1
7	REMOVE EXISTING FENCE
8	REMOVE EXISTING RAISED METAL WHEEL STOPS.



A SITE DEMOLITION PLAN
1/16"=1'-0"

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ROOSEVELT LOFTS
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SAN ANGELO, TEXAS



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D1.1

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DEMOLITION NOTES

GENERAL NOTES

- WHERE EXISTING BLDG. COMPONENTS ARE TO BE REMOVED; PATCH & REPAIR THE SURFACES TO MATCH EXISTING FINISH, UNLESS NEW FINISHES ARE CALLED FOR IN THE FINISH SCHEDULE.
- REMOVE EXISTING BLDG. COMPONENTS AS INDICATED, IMPLIED OR AS REQUIRED SCHEMATICALLY SHOWN AS DASHED LINES. FIELD VERIFY ALL LOCATIONS.
- THE ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CORE DRILLING FOR PIPING & CONDUIT INSTALLATION.
- ALL OTHER CUTTING, PATCHING & FINISHING, U.N.O. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- SHORING OF EXISTING STRUCTURE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ASBESTOS AND LEAD TESTING HAVE BEEN CONDUCTED ON SITE AND IT HAS BEEN DETERMINED THAT THERE ARE SOME AREAS OF CONCERN ON SITE. REFERENCE SPECIFICATIONS FOR ASBESTOS AND LEAD REPORTS. CONTRACTOR TO INCLUDE IN THEIR BID, COSTS FOR ABATEMENT, REMEDIATION, CLEARING AND PROPER DISPOSAL OF ANY HAZARDOUS MATERIAL.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE DEMOLITION BY DIFFERING TRADES.
- CONTRACTOR COORDINATE SCHEDULE & LOCATION OF ANY OR ALL EXISTING RECEPTACLES, SWITCHES, DEVICES, ETC. PRIOR TO DEMOLITION, RELOCATE OR ABANDON ACCORDINGLY.
- EXISTING SALVAGED BRICK TO BE STOCK PILED FOR RE-USE.
- COORDINATE & REFERENCE MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS AND DETAILS.
- REMOVE ALL EXISTING EQUIPMENT, LIGHTS, CONDUIT, DEBRIS, PIPING, DUCTWORK, ETC. THAT REMAINS IN THE BUILDING, ROOF AND EXTERIOR WALLS.
- MEDIA BLAST (PER PRESERVATION BRIEFS) ALL GRAFFITI FROM EXTERIOR AND INTERIOR WALLS.
- REBUILD EXISTING HEAD/SILL/JAMBS AT WINDOW AND DOOR OPENINGS AS NEEDED TO PREP FOR THE INSTALLATION OF NEW DOORS/WINDOWS.

GENERAL & BASEMENT

- REMOVE ALL EQUIPMENT, LIGHTS, CONDUIT, DEBRIS, PIPING, DUCTWORK, ETC.
- MEDIA BLAST GRAFFITI (PER PRESERVATION BRIEFS) OFF ALL WALLS.
- REMOVE ALL EXISTING EQUIPMENT, LIGHTS, CONDUIT, DEBRIS, PIPING, DUCTWORK, ETC. FROM BASEMENT. MAKE REPAIRS AT JOISTS, BEAMS, COLUMNS, FOUNDATION WALLS, ETC. NEEDED. CLEAN UP FLOOR, WALLS, ETC.
- REPAIR EXISTING STAIRS TO BASEMENT AS NEEDED FOR SAFE ACCESS.
- REMOVE EXISTING DAMAGED TOP STAIR AND PORTION OF CONCRETE SLAB. PREP AREA FOR INSTALLATION AND REPAIR OF SLAB AND TOP STAIR RISER.

ROOF, STAIRS, ELEVATOR, EQUIPMENT

- REMOVE EXISTING ROOFING, VENTS, PIPING, FLASHING, ETC. TO DECK. REPAIR ANY DAMAGE, VOIDS, HOLES, ETC. IN DECK & MAKE WATER TIGHT. PREP FOR NEW FLASHING, INSULATION & ROOFING SYSTEM.
- REMOVE EXISTING MTL GUTTER & DOWNSPOUT. PREP FOR NEW.
- REMOVE EXISTING MTL SCUPPER & DOWNSPOUT. PREP FOR NEW.
- REMOVE EXISTING FIRE ESCAPE, ASSOCIATED BRACKETS, ANCHORS, AND ATTACHMENTS, TUCKPOINT.
- REMOVE EXISTING STEEL STAIR, STRINGERS, PANS, ETC. BETWEEN FLOOR 1 & 2. PREP EXISTING OPENING FOR NEW STAIR & RAILING.
- EXISTING STAIR & RAILING TO REMAIN.
- REMOVE EXISTING SKYLIGHTS. REPAIR OPENING TO MATCH ADJACENT STRUCTURE & MAKE WATER TIGHT. REF. STRUCT.
- REMOVE & SALVAGE PORTION OF EXISTING RAILING FOR NEW STAIR.

WINDOWS

- REMOVE EXISTING WINDOW UNIT, OR REMNANTS OF WINDOW FRAME. CLEAN & PREP MASONRY FOR NEW WINDOW/DOOR INSTALLATION.
- REMOVE EXISTING PLYWOOD/METAL INFILL, CLEAN & PREP ORIGINAL MASONRY OPENING. PREP MASONRY OPENING FOR NEW STOREFRONT, DOOR, WINDOW, ETC.

DOORS

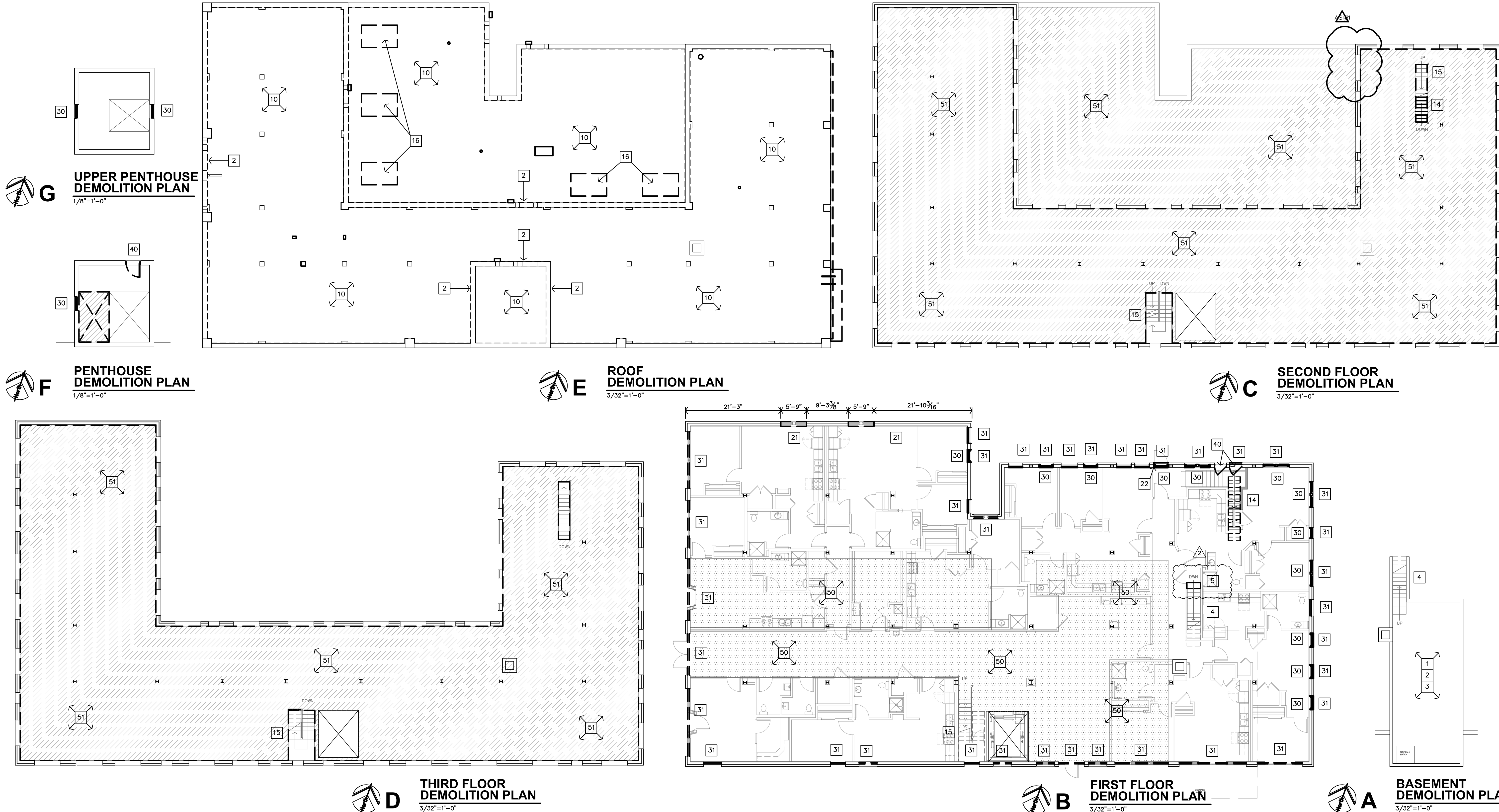
- REMOVE EXISTING DOOR, COMPLETE WITH ATTACHMENTS, HARDWARE, ANCHORS, ETC., FILL HOLES CLEAN & PREP MASONRY FOR NEW WINDOW/DOOR INSTALLATION.

FLOORS

- EXISTING TERRAZZO FLOORING (SHOWN AS DOTTED HATCH) TO BE PROTECTED DURING CONSTRUCTION. SAWCUT/GRIND ANY RAISED AREAS AT REMOVED WALLS. PROTECT, CLEAN, PATCH AND REPAIR AS NEEDED. REMOVE ANY EXISTING FLOORING, GLUE, ETC. TO ORIGINAL TERRAZZO FLOOR. PROTECT, CLEAN & REPAIR AS NEEDED ORIGINAL TERRAZZO FLOOR. REFERENCE TERRAZZO PRESERVATION NOTES ON SHEET A2.0
- REMOVE ENTIRETY OF CONCRETE FLOOR/ROOF SLAB AND MESH REINFORCING AT THE 2ND & 3RD LEVELS (SHOWN AS ANGLED HATCH). PROTECT ADJACENT WALLS, PLASTER FINISH, AND BEAMS/COLUMNS DURING REMOVAL/CONSTRUCTION.

WALLS

- SAWCUT & REMOVE PORTION OF EXISTING BRICK MASONRY AND PLASTER WALL BELOW THE WINDOW OPENING FOR NEW DOOR OPENING TO NEW ROOF TOP PATIO.
- SAWCUT & REMOVE PORTION OF EXISTING BRICK MASONRY AND PLASTER WALL FOR NEW WINDOW OPENING.
- SAWCUT & REMOVE SMALL PORTION OF BRICK ALONG SIDE OF WINDOW OPENING TO PREP WINDOW FOR NEW 3'-4" WIDE FRAME AND 3'-0" WIDE EXIT DOOR.



G UPPER PENTHOUSE DEMOLITION PLAN
1/8"=1'-0"

F PENTHOUSE DEMOLITION PLAN
1/8"=1'-0"

E ROOF DEMOLITION PLAN
3/32"=1'-0"

C SECOND FLOOR DEMOLITION PLAN
3/32"=1'-0"

D THIRD FLOOR DEMOLITION PLAN
3/32"=1'-0"

B FIRST FLOOR DEMOLITION PLAN
3/32"=1'-0"

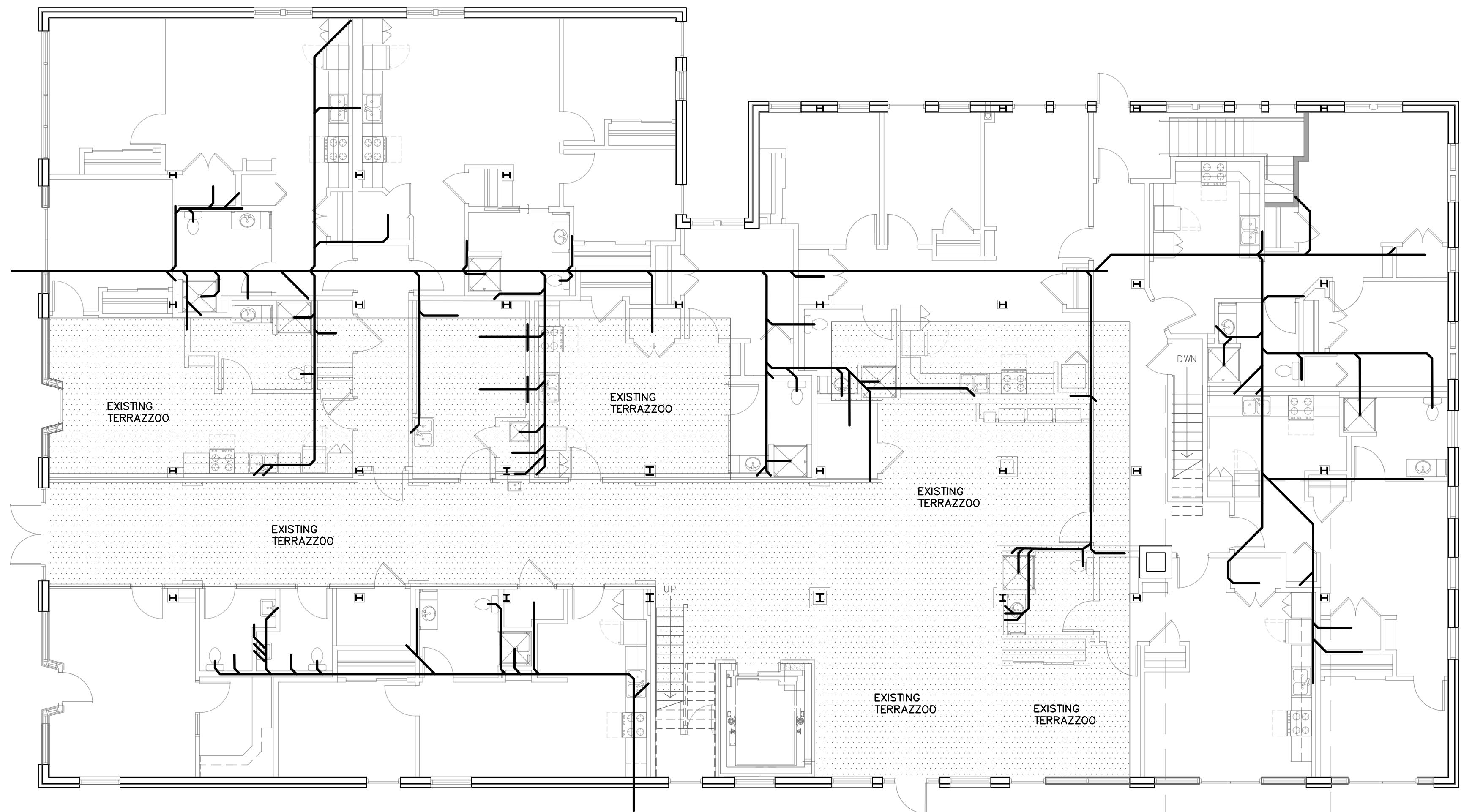
A BASEMENT DEMOLITION PLAN
3/32"=1'-0"



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2	2-23-2024
3	4-25-2024
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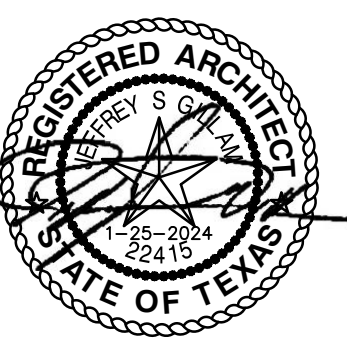


FLOORING TRENCH NOTES

1. "HATCHED"/SHADED AREA REPRESENTS THE AREAS WHERE EXISTING HISTORIC TERRAZZO FLOORING IS.
2. DARK LINES INDICATE LOCATIONS OF NEW UNDER-SLAB PIPES/PLUMBING.
3. ANY AND ALL TRENCHING LOCATED WITHIN THE TERRAZZO AREAS SHALL BE RESTRICTED TO A MAXIMUM OF 12"-16" WDE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY AREAS OF CONCERN PRIOR TO CUTTING.
4. ANY AND ALL TRENCHING LOCATED WITHIN THE TERRAZZO AREAS SHALL BE CAREFULLY CUT WITH PRECISION. CUTS SHALL BE STRAIGHT AND CONSISTENT SO THAT PATCHING AND TRANSITION LINES LOOK CLEAN AND STRAIGHT.
5. WHERE POSSIBLE, TRENCHING WITHIN TERRAZZO AREA SHALL OCCUR BENEATH CABINETS, SHOWERS, NEW WALLS, ETC.
6. ALL AREAS OF TERRAZZO SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.

B FIRST FLOOR
 TRENCHING PLAN
 1/8"=1'-0"

ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



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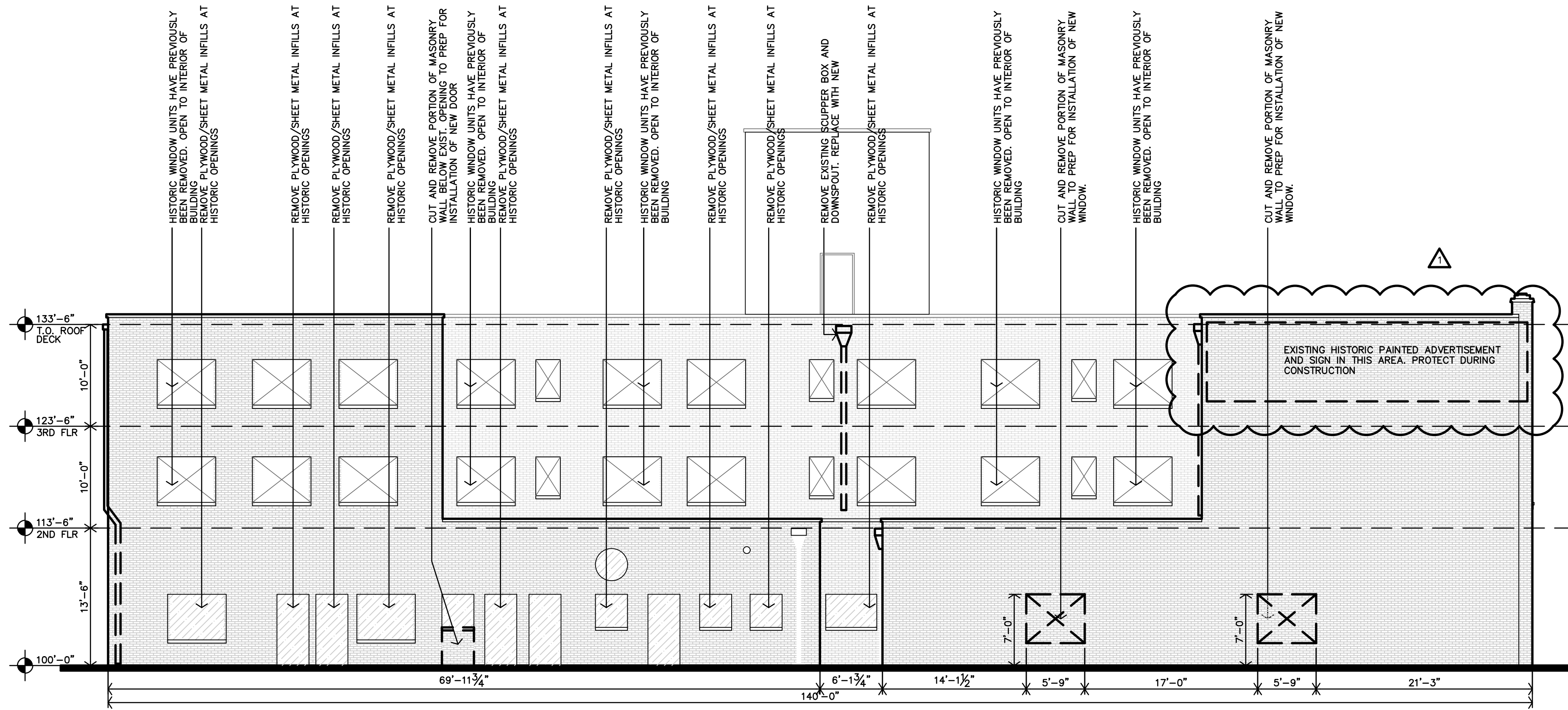
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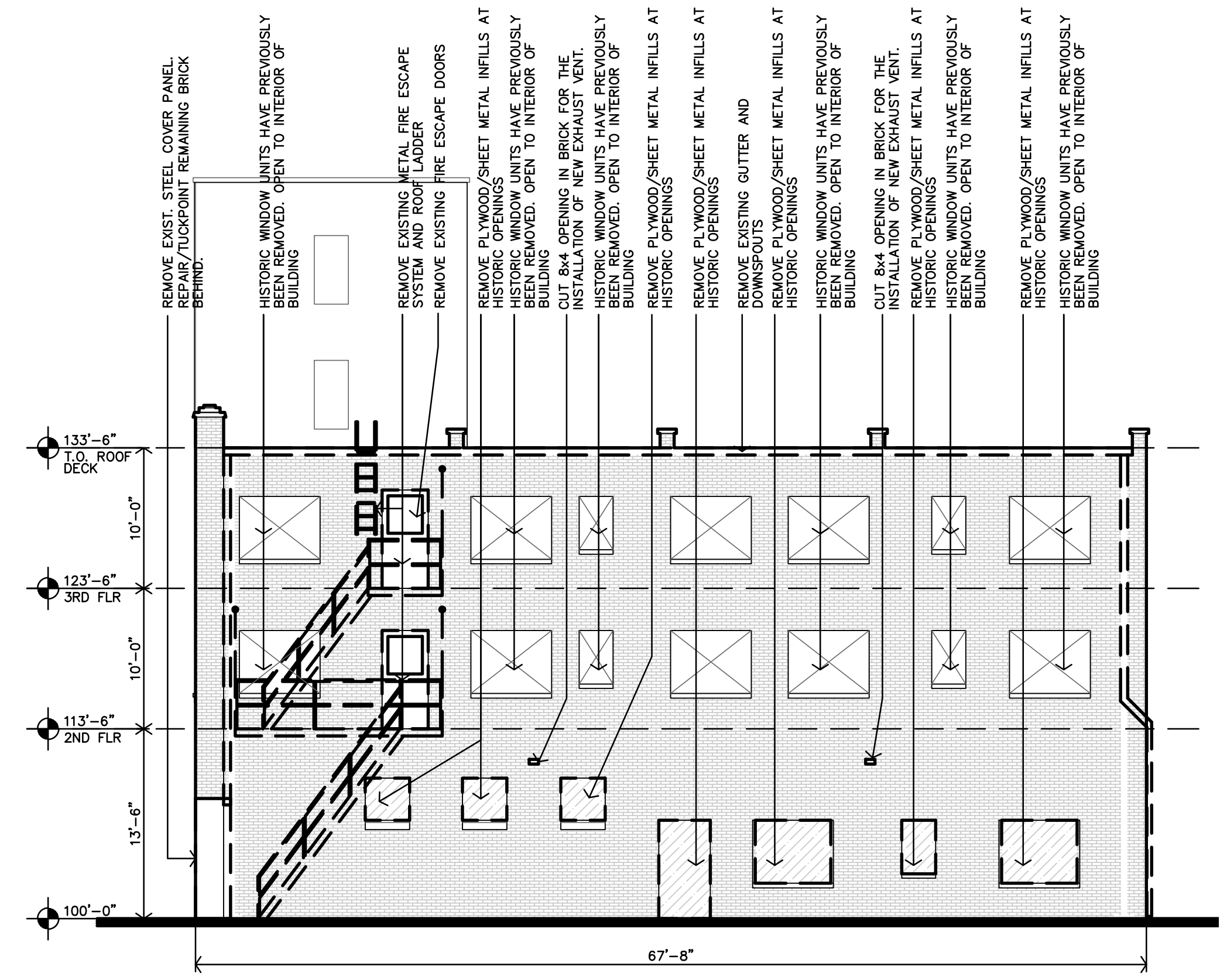
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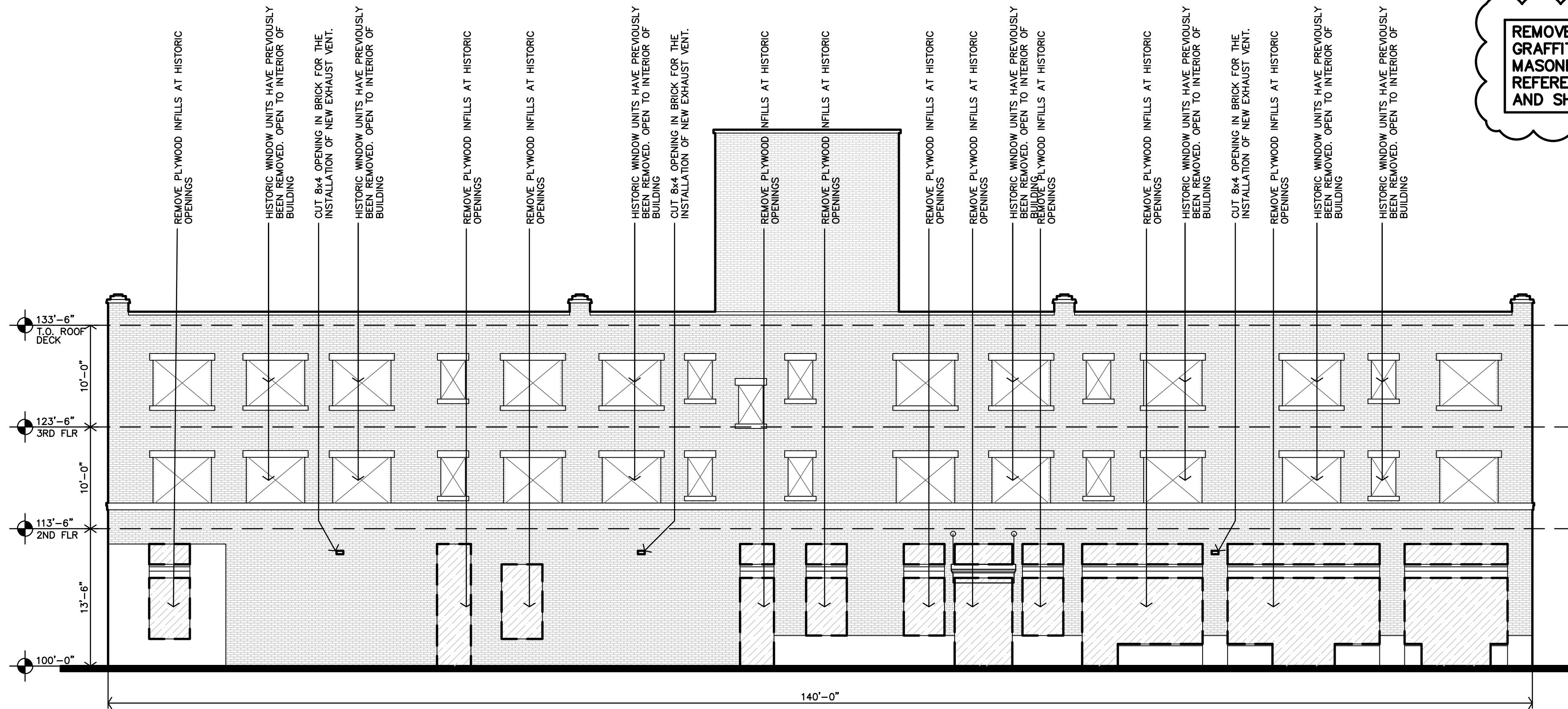
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D DEMOLITION NORTH ELEVATION
1/8"=1'-0"

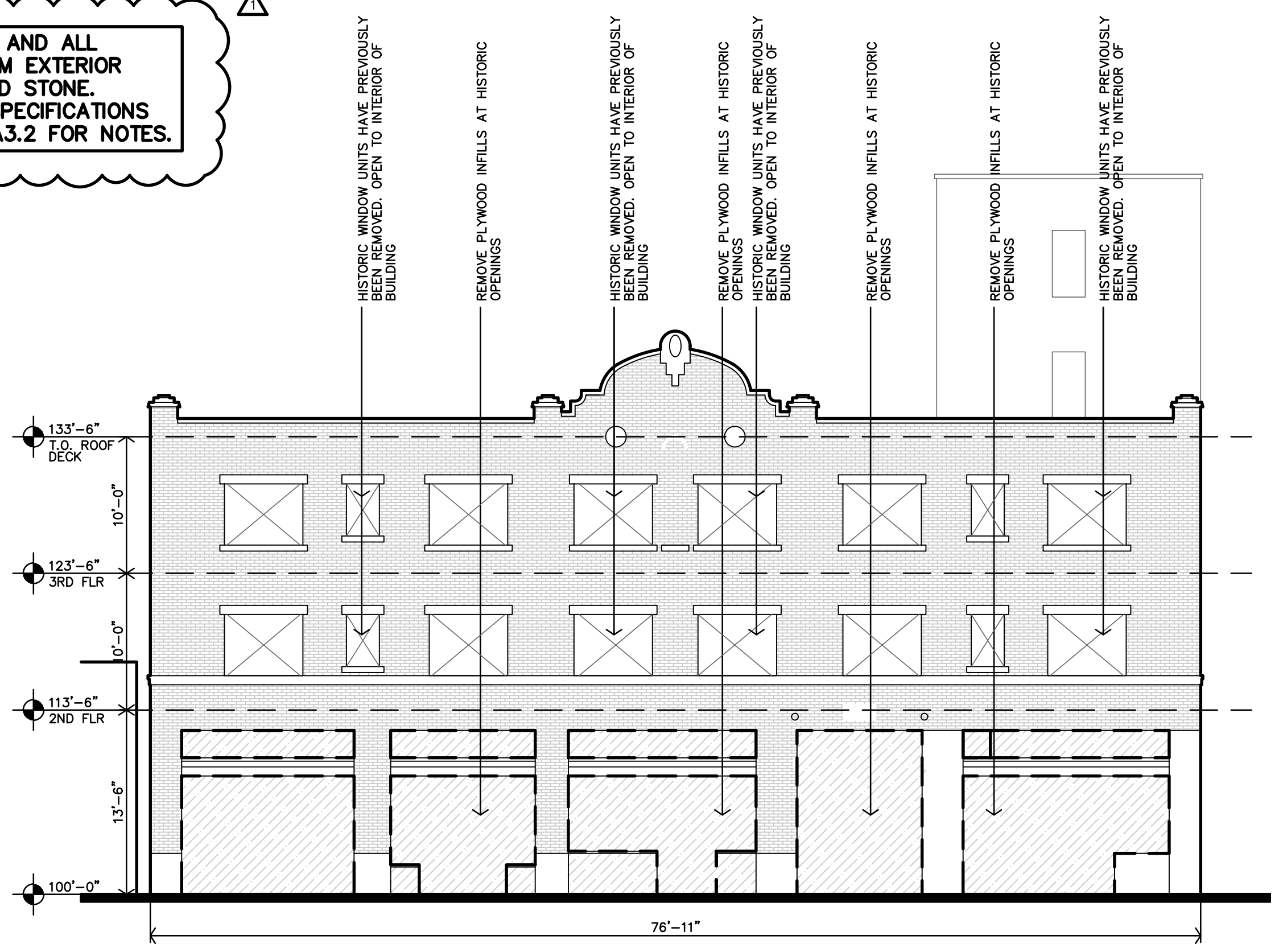


C DEMOLITION EAST ELEVATION
1/8"=1'-0"



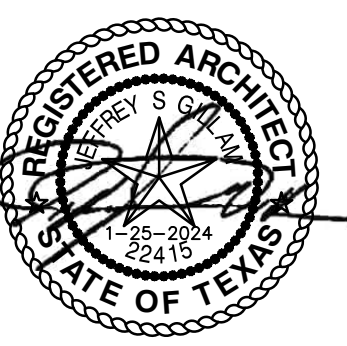
B DEMOLITION SOUTH ELEVATION
1/8"=1'-0"

REMOVE ANY AND ALL GRAFFITI FROM EXTERIOR MASONRY AND STONE. REFERENCE SPECIFICATIONS AND SHEET A3.2 FOR NOTES.



A DEMOLITION WEST ELEVATION
1/8"=1'-0"

ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



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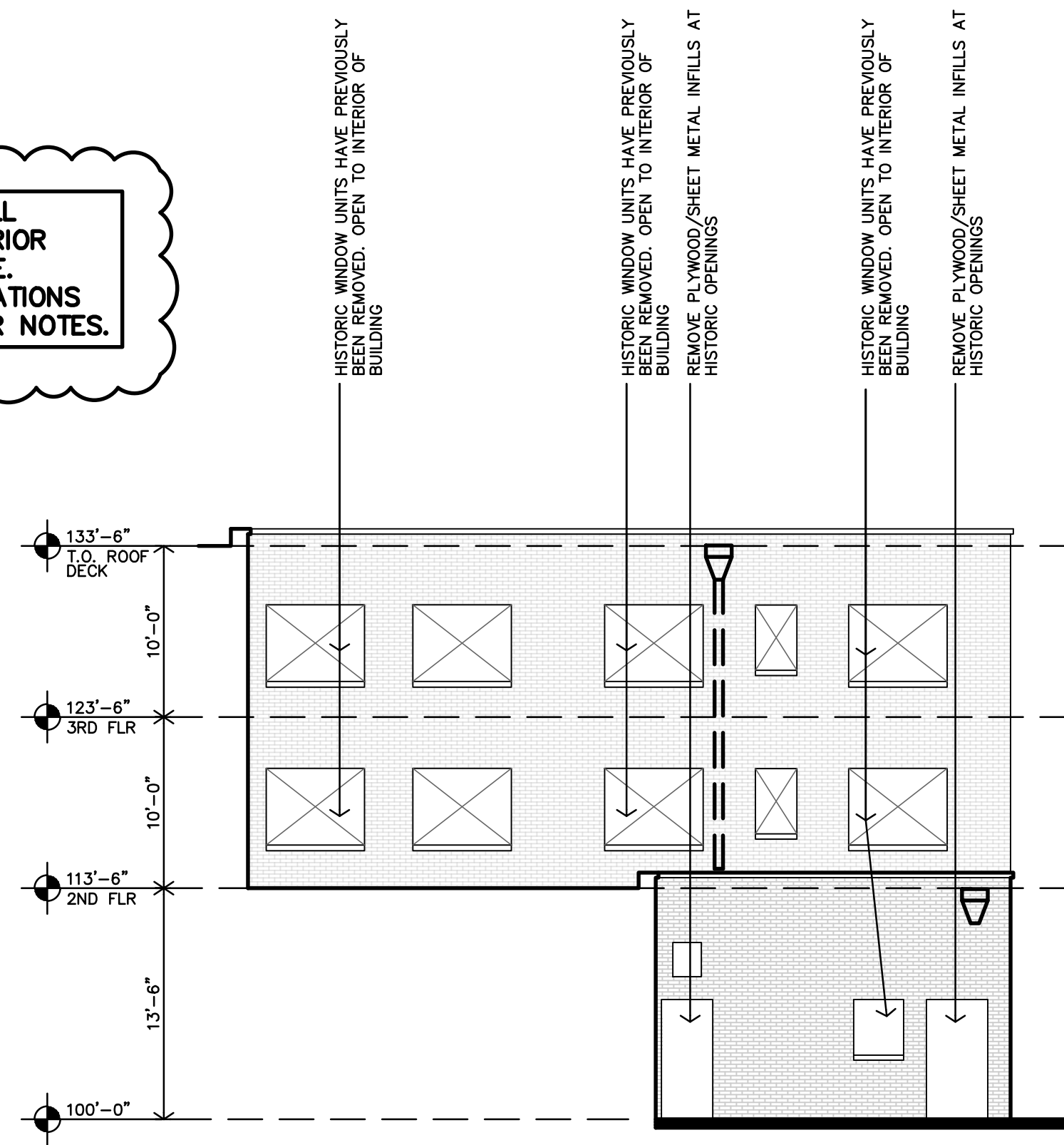


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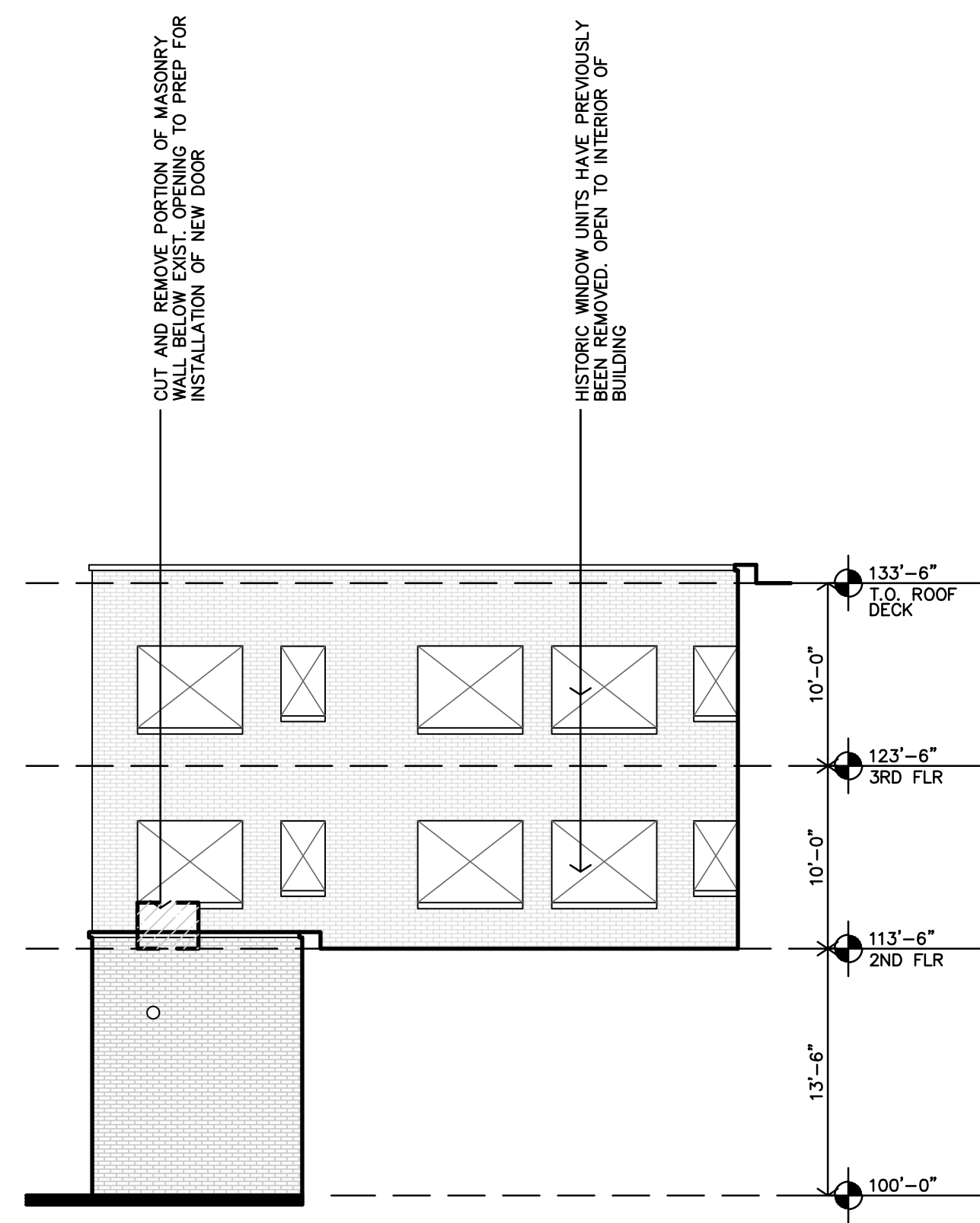


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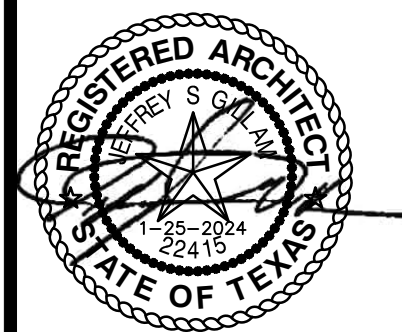
REMOVE ANY AND ALL
 GRAFFITI FROM EXTERIOR
 MASONRY AND STONE.
 REFERENCE SPECIFICATIONS
 AND SHEET A3.2 FOR NOTES.



B DEMOLITION EAST ELEVATION
 1/8"=1'-0"



A DEMOLITION WEST ELEVATION
 1/8"=1'-0"



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ROOSEVELT LOFTS
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GENERAL SITE PLAN NOTES

- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.
- INSTALL MATERIALS AND FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR FINISH INSTALLATION.
- WHERE NEW CONCRETE ABUTS THE BUILDING, PROVIDE 1/2" EXPANSION JOINT & SEAL TOP WITH EPOXY SEALER.
- INSTALL EXPANSION JOINTS IN CONCRETE SIDEWALK PAVING AT ±60" O.C. PROVIDE FILLER MATERIAL AND SEALANT. COORDINATE WITH ARCHITECT FOR FINAL LOCATIONS OF EXPANSION JOINTS.
- INSTALL CONTROL JOINTS IN CONCRETE ROUGHLY SQUARE AND AREAS NOT TO EXCEED 100 S.F.
- EXTERIOR DOOR LANDINGS SHALL BE WITHIN 1/2" OF INTERIOR FINISH FLOOR ELEVATION. MAXIMUM SLOPE IN ANY DIRECTION SHALL BE 1:50.
- FINISH FLOOR ELEVATION SHALL BE VERIFIED BY GENERAL CONTRACTOR AND CONFIRMED W/ PROPOSED GRADING TO PROVIDE DRAINAGE AWAY FROM THE BUILDING.
- LANDSCAPING, SEEDING, PLANTINGS, ETC. TO BE BY OTHERS. ALL AREAS AROUND THE SITE AND AS INDICATED ON THE SITE PLAN SHALL BE FINE GRADED WITH MIN. 2" TOP SOIL AREAS SHALL BE FREE OF ROCKS AND CLUMPS AS SUITABLE FOR SEEDING OR SOODING.
- NEW PEDESTRIAN SIDEWALKS SHALL NOT HAVE A CROSS SLOPE GREATER THAN 1:50 AND SHALL NOT SLOPE IN THE DIRECTION OF TRAVEL GREATER THAN 1:20.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE UTILITY COMPANIES AND THE CITY OF CONROE.
- ALL DAMAGED PAVING AND LANDSCAPING CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- DO NOT CONSTRUCT ANY PART OF THE TRASH PAD, ENCLOSURE AND/OR ACCESS TO, TILL AFTER CONFIRMATION AND COORDINATION OF LOCAL TRASH SERVICE. DUE TO DIFFERENT TRASH COMPANIES, TRUCKS AND PICK-UP PROCESSES, CONFIRMATION OF THE TRASH SERVICE AND COORDINATION OF THE DESIGN AND LAYOUT OF THE PAD, ENCLOSURE AND ACCESS MUST BE COMPLETED.
- AT ALL AREAS OF CONCRETE/ASPHALT SIDEWALK, PATIO, PARKING, ETC. THAT ARE EXISTING TO REMAIN:
 - CONTRACTOR TO MAKE REPAIRS AND CORRECTIONS AS REQUIRED TO MAINTAIN THE ADA ACCESSIBLE ROUTE AND MEET ALL ADA STANDARDS FOR PARKING AND ACCESSIBLE ROUTES.
 - CONTRACTOR TO CLEAN-UP AND REPAIR CRACKS, DE-WEED, AND TIDY-UP ALL EXISTING CONCRETE/ASPHALT.
- REF. SHEETS A2.1 - A2.8 FOR LOCATION OF ACCESSIBLE UNITS & HEARING IMPAIRED UNITS.
- EXISTING PLANTER AREAS/BED - CLEAN OUT ALL WEEDS, DEBRIS, OLD MULCH, ETC. ADD NEW LANDSCAPE FABRIC WHERE MISSING & 2" BLACK MULCH (OR OTHER AS SPECIFIED BY OWNER). COORDINATE WITH LOCATION OF NEW PLANTINGS. REF. L1.1

ZONING NOTES

THIS PROPERTY IS LOCATED IN THE DOWNTOWN DEVELOPMENT DISTRICT AND IS ZONED CBD (CENTRAL BUSINESS DISTRICT). HOUSEHOLD LIVING (RESIDENTIAL OCCUPANCY OF A DWELLING BY A "HOUSEHOLD") IS AN ALLOWED USE WITHIN THE CBD ZONING REGULATIONS. THIS IS AN EXISTING, HISTORIC STRUCTURE.

SAN ANGELO, TX, CODE OF ORDINANCES, ZONING ORDINANCE:

SECTION 304.E.
THE CBD (CENTRAL BUSINESS DISTRICT) IS INTENDED TO PROVIDE OPPORTUNITIES TO PROMOTE THE TRADITIONAL DOWNTOWN OF SAN ANGELO AS A MARKETPLACE WHICH SERVES A VARIETY OF NEEDED IN A RELATIVELY CONFINED AREA. THE CENTRAL BUSINESS DISTRICT IS INTENDED TO INCLUDE OFFICE, RETAIL SALES, REPAIR AND SERVICE BUSINESSES, COMMERCIAL RECREATION AND ENTERTAINMENT, AS WELL AS RESIDENTIAL USES. DEVELOPMENT SHOULD COMPLEMENT NEIGHBORING ACTIVITIES IN THE AREA AND PROMOTE A VARIETY MARKETPLACE CONCEPT.

SECTION 313.E - USE TABLE
HOUSEHOLD LIVING (RESIDENTIAL OCCUPANCY OF A DWELLING BY A "HOUSEHOLD") IS AN ALLOWED USE WITHIN THE CBD ZONING REGULATIONS.

SECTION 316.B - RESIDENTIAL USE CATEGORIES
HOUSEHOLD LIVING
1) CHARACTERISTICS: HOUSEHOLD LIVING IS CHARACTERIZED BY THE RESIDENTIAL OCCUPANCY OF A DWELLING UNIT BY A HOUSEHOLD. TENANCY IS ARRANGED ON A MONTH TO MONTH OR LONGER BASIS. USES WHERE TENANCY MAY BE ARRANGED FOR A SHORTER PERIOD ARE NOT CONSIDERED RESIDENTIAL.

SECTION 502.A. - RESIDENTIAL USES IN NONRESIDENTIAL DISTRICT
EXCEPTION - WHEREVER A RESIDENTIAL USE IS LOCATED IN A CBD DISTRICT, THAT RESIDENTIAL USE SHALL CONFORM TO DEVELOPMENT STANDARDS OF THE CBD DISTRICT.

SECTION 502.B - NON RESIDENTIAL DISTRICT BULK REGULATIONS
MAXIMUM FLOOR AREA RATIO = 3.20
MAXIMUM HEIGHT = N/A
MINIMUM LOT AREA = 6,000 SF
MINIMUM LOT WIDTH = 50 FT
MINIMUM LOT DEPTH = 80 FT
MINIMUM FRONT YARD = EXEMPT
MINIMUM SIDE/REAR YARD = NONE REQ'D UNLESS ABUTTING RESIDENTIAL DISTRICT OR USE, WHERE MIN. OF 10 FT IS REQ'D.

SITE PLAN KEY NOTES

(A)	TRASH ENCLOSURE REF. A1.3
(B)	KNOX BOX COORD. W/ FIRE DEPT. (TYP)
(C)	NEW BENCH, REF. INFORMATION A1.3
(D)	POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(E)	POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(F)	DASHED LINE INDICATES ACCESSIBLE PATH
(G)	PAINTED STRIPPING @ ACCESSIBLE ROUTE
(H)	BUILDING METER CENTER REF. ELECT. DWGS
(J)	6'-0" TALL WOOD PRIVACY FENCE
(K)	S-WAVE BIKE RACK, (1 TOTAL), REF. INFORMATION A1.3
(M)	GRASS/SOD (SHOWN AS HATCHED)
(N)	LANDSCAPED AREA
(O)	ELECTRICAL VEHICLE CHARGE STATION
(P)	POLE MOUNTED "ELECTRIC VEHICLE PARKING ONLY" SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(Q)	DOG WASTE STATION (1) REF. F-A1.3
(R)	6" BOLLARDS, REF. G-A1.3

LOT COVERAGE

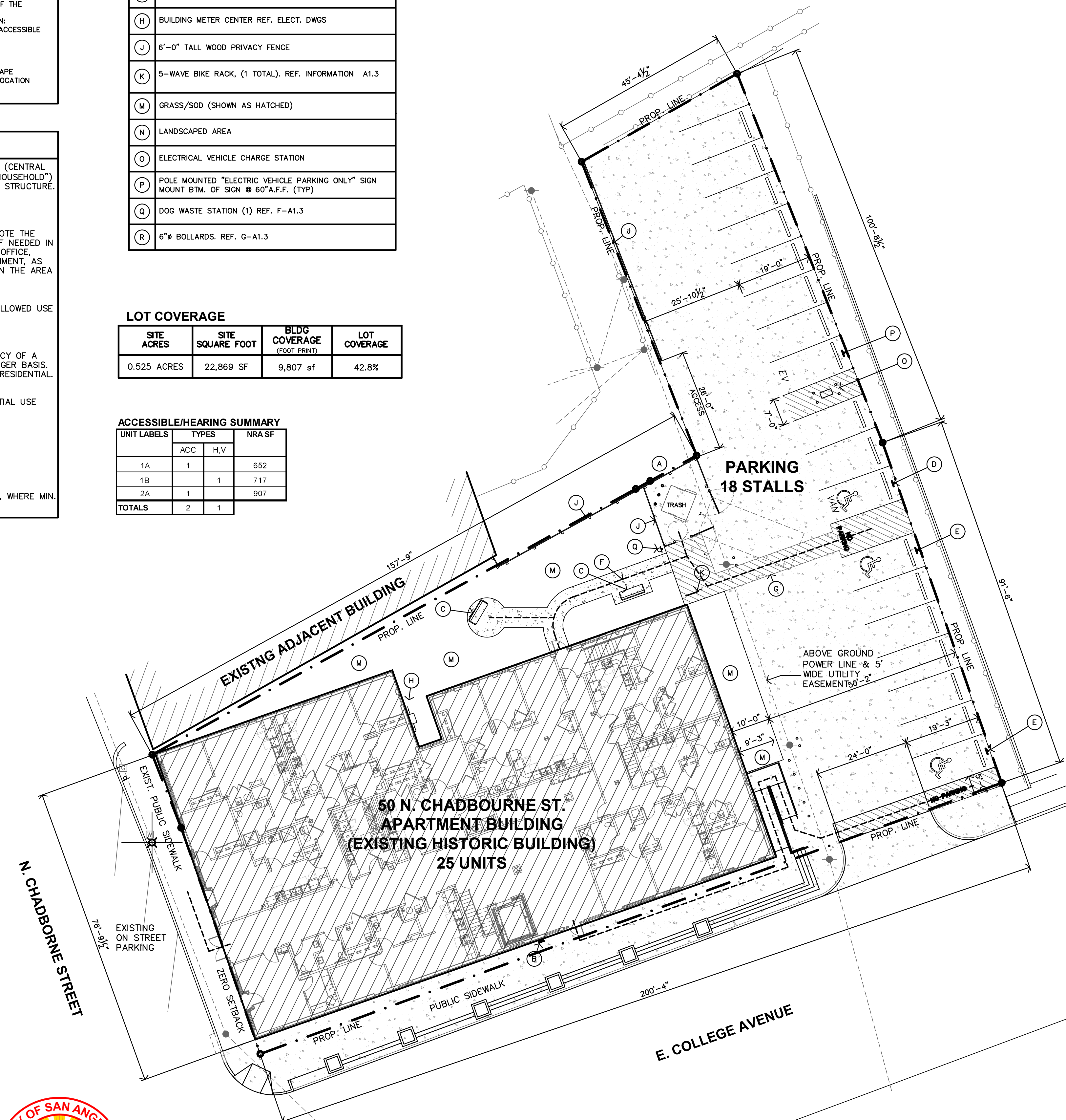
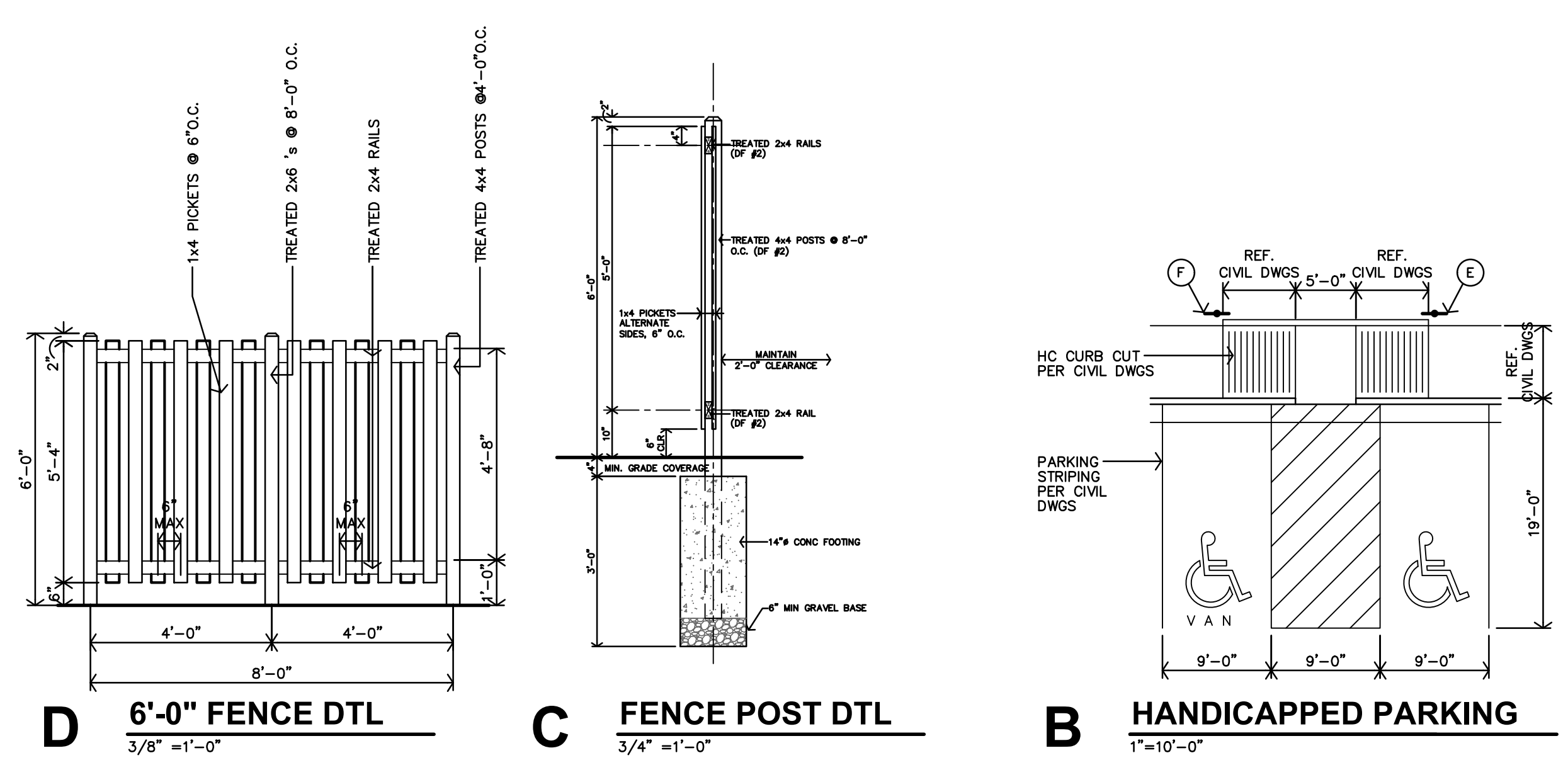
SITE ACRES	SITE SQUARE FOOT	BLDG COVERAGE (FOOT PRINT)	LOT COVERAGE
0.525 ACRES	22,869 SF	9,807 sf	42.8%

ACCESSIBLE/HEARING SUMMARY

UNIT LABELS	TYPES		NRA SF
	ACC	H.V	
1A	1		652
1B		1	717
2A	1		907
TOTALS	2	1	

PARKING SUMMARY

ACCESSIBLE PARKING STALLS	STANDARD	2	LOCAL PARKING REQUIREMENTS
	VAN	1	SECTION 511.B.4 - EXCEPTIONS: PARKING IN THE CENTRAL BUSINESS DISTRICT. NO OFF-STREET PARKING SHALL BE REQUIRED IN THE CENTRAL BUSINESS DISTRICT. HOWEVER, SHOULD OFF-STREET PARKING BE PROVIDED, IT SHALL COMPLY WITH THE MINIMUM OFF-STREET PARKING & LOADING STANDARDS REQUIRED UNDER SECTIONS 511 & 512.
STANDARD PARKING STALLS UNCOVERED		15	
TOTAL PROVIDED PARKING STALLS		18	
PARKING RATIO (STALLS/UNITS)		0.64	



A OVERALL SITE PLAN
1/16" = 1'-0"

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jgr@jgarchitects.com

JGR

ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS

REGISTERED ARCHITECT
STATE OF TEXAS

REVISION:

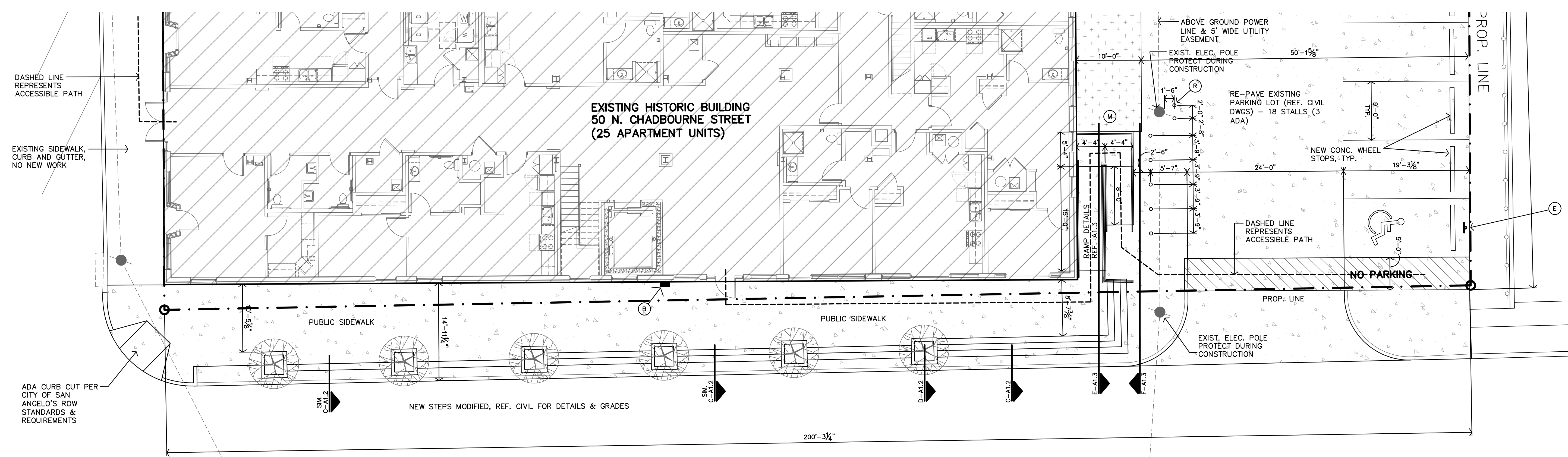
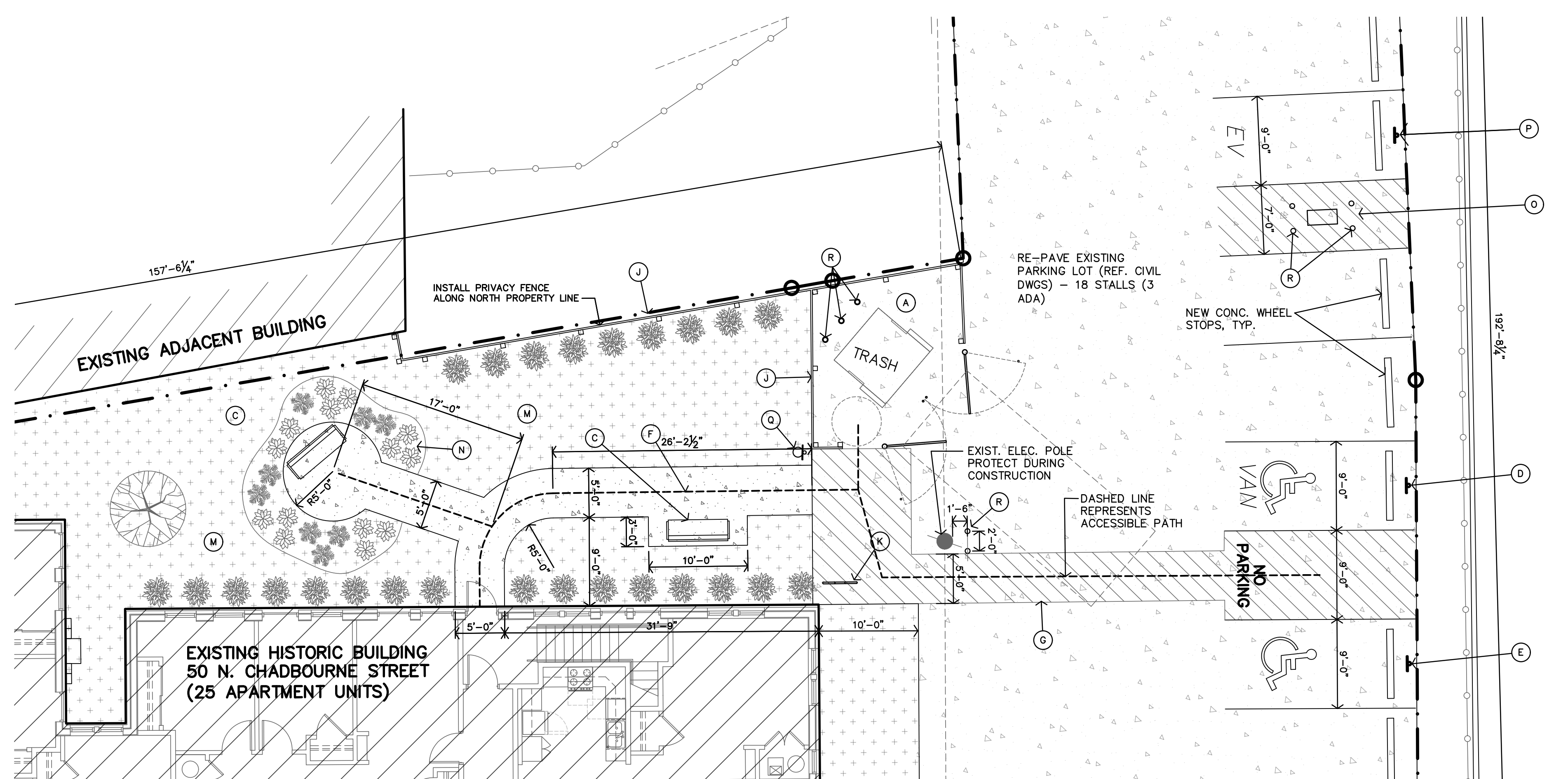
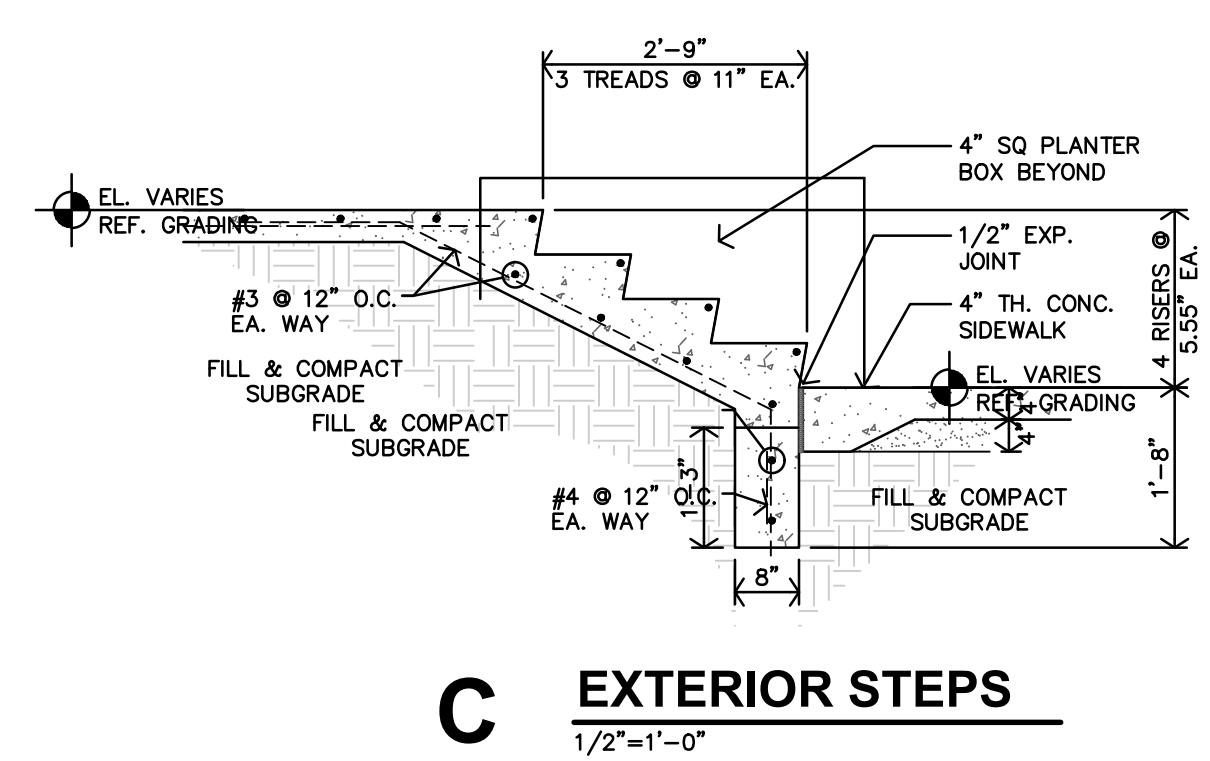
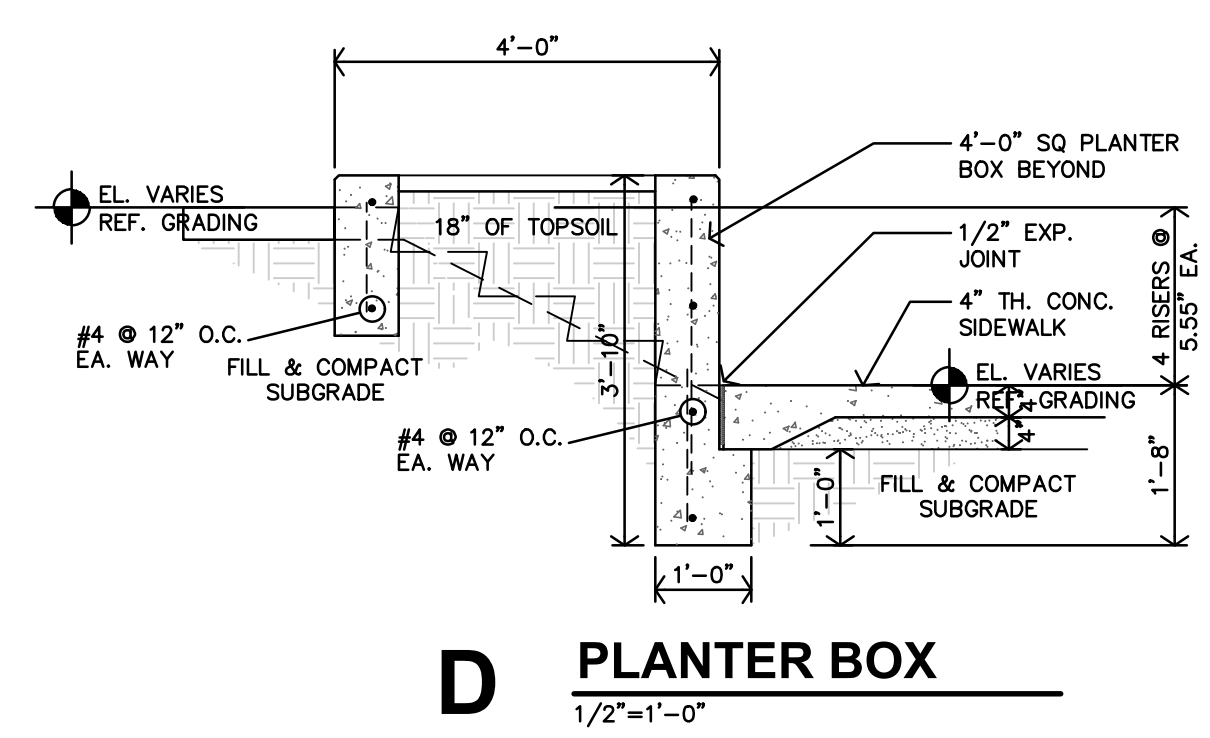
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JOB: 22-3281
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A1.1

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JOB:	22-3281
SHEET NO.:	



CITY OF SAN ANGELO
 DEPARTMENT OF PUBLIC WORKS

- ACCEPTED
- ACCEPTED AS NOTED

Drawing as to design only. Dimensions and location are not verified, contractor to verify as to plans and/or installation requirements.

DATE 2/2/2024

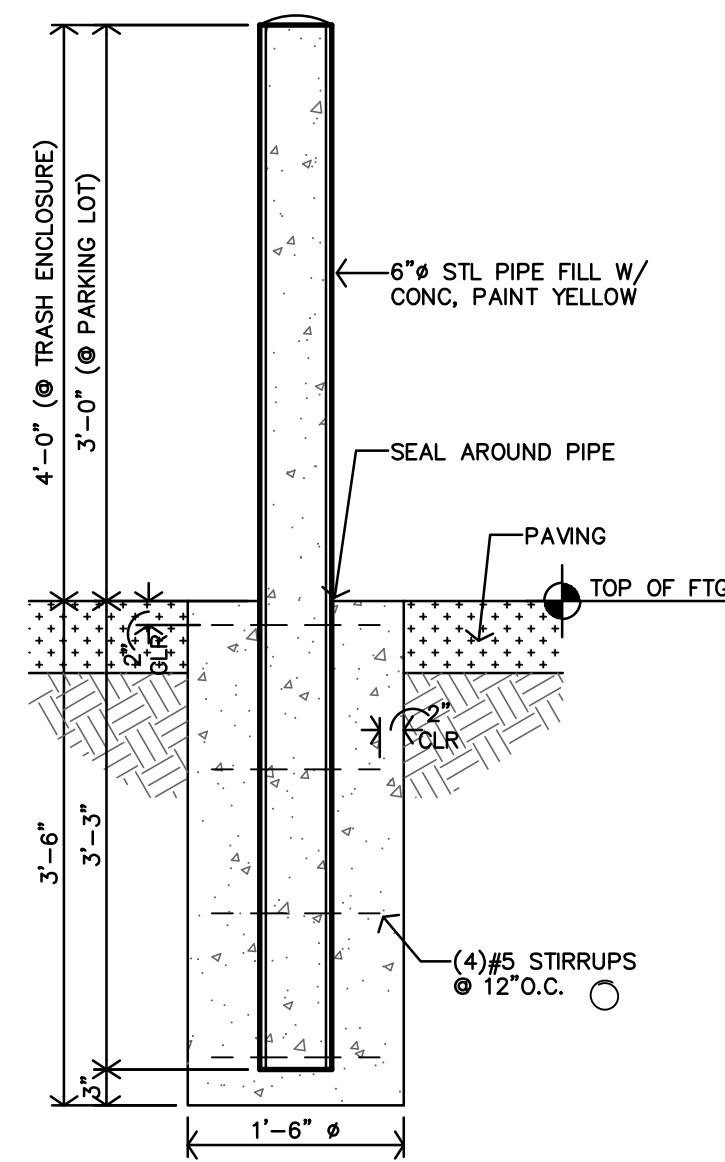
ACCEPTED
ACCEPTED AS NOTED

Drawing as to design only. Dimensions and location are not verified, contractor to verify as to plans and/or installation requirements.

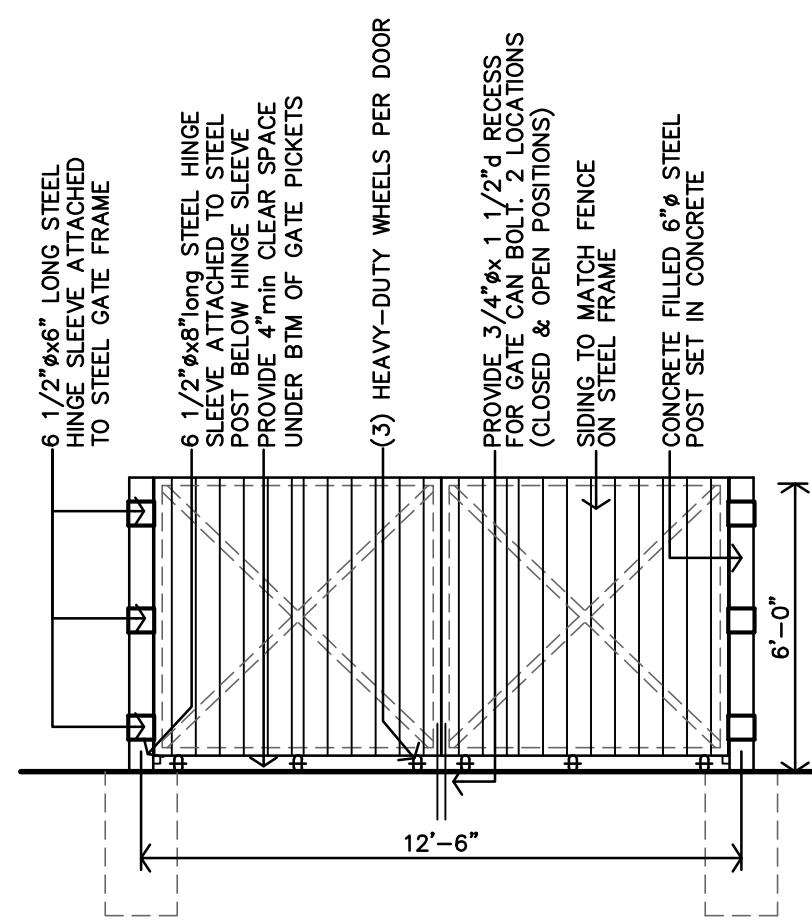
DATE 2/2/2024



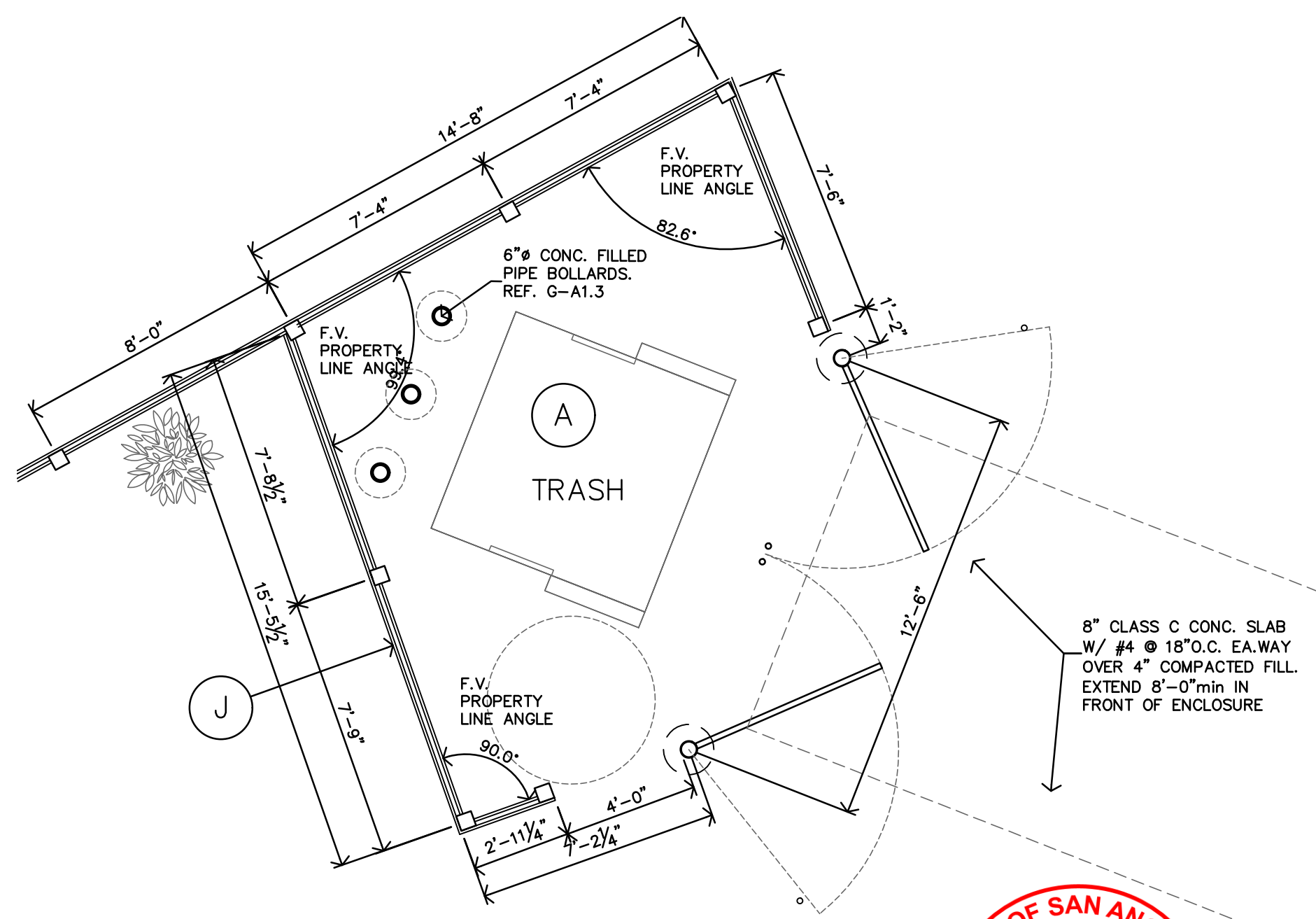
H DOG WASTE STATION
NO SCALE



G BOLLARD DETAIL
3/4" = 1'-0"



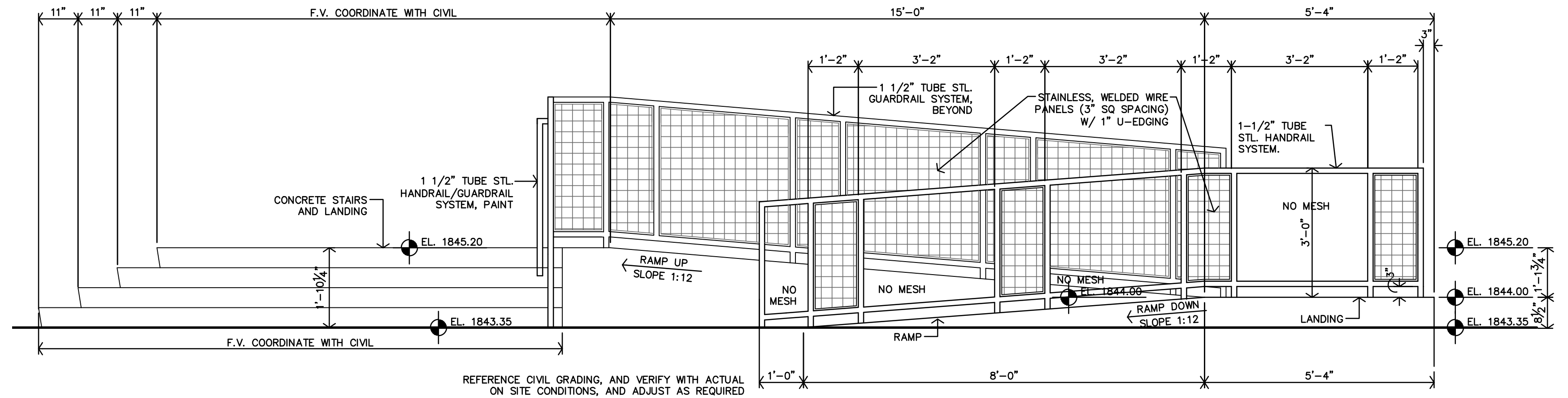
D TRASH GATE DTL
1/4" = 1'-0"



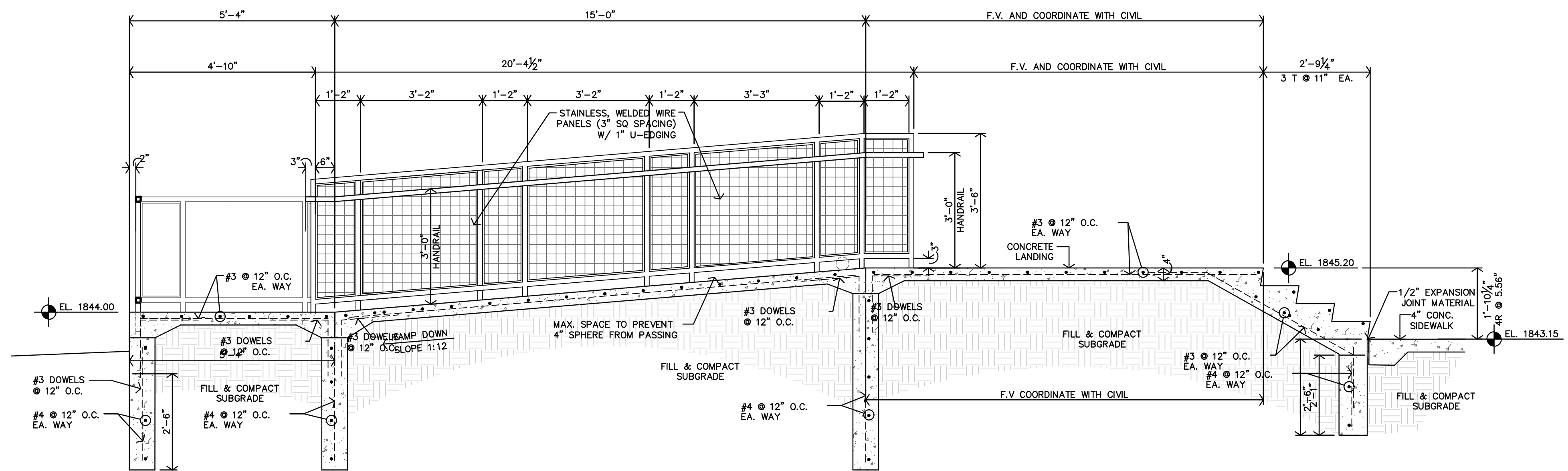
C TRASH ENCLOSURE
1/4" = 1'-0"



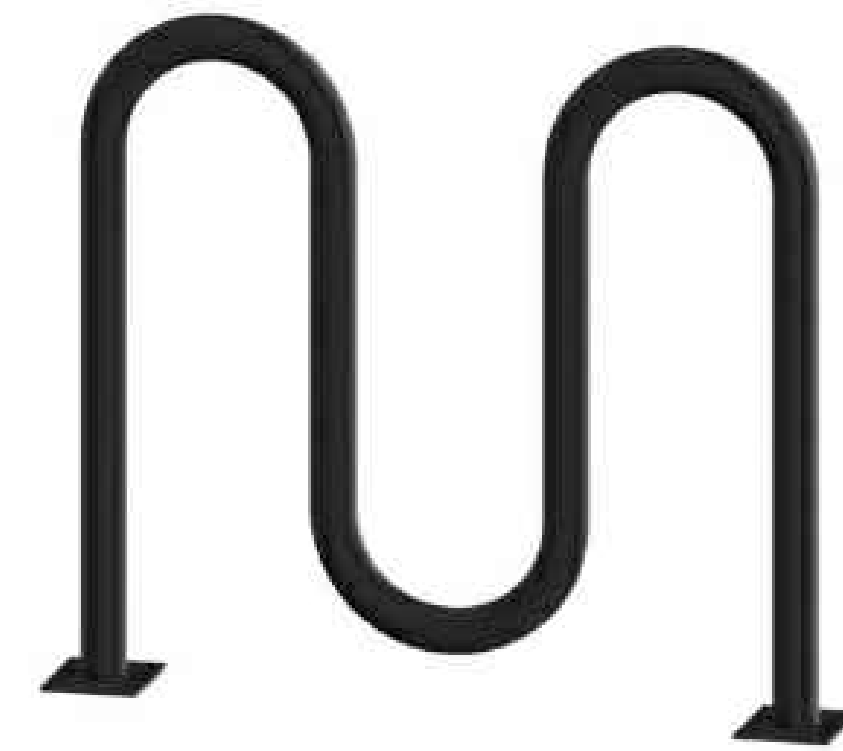
EN23-50000066
2/2/2024



F RAMP ELEVATION & SECTION
1/4" = 1'-0"



E RAMP ELEVATION & SECTION
1/4" = 1'-0"



B BIKE RACK (5)
NO SCALE



A OUTDOOR BENCH
NO SCALE



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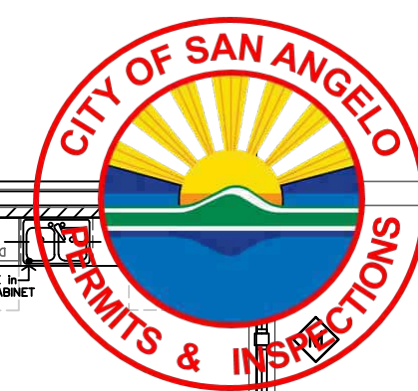
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JOB: 22-3281

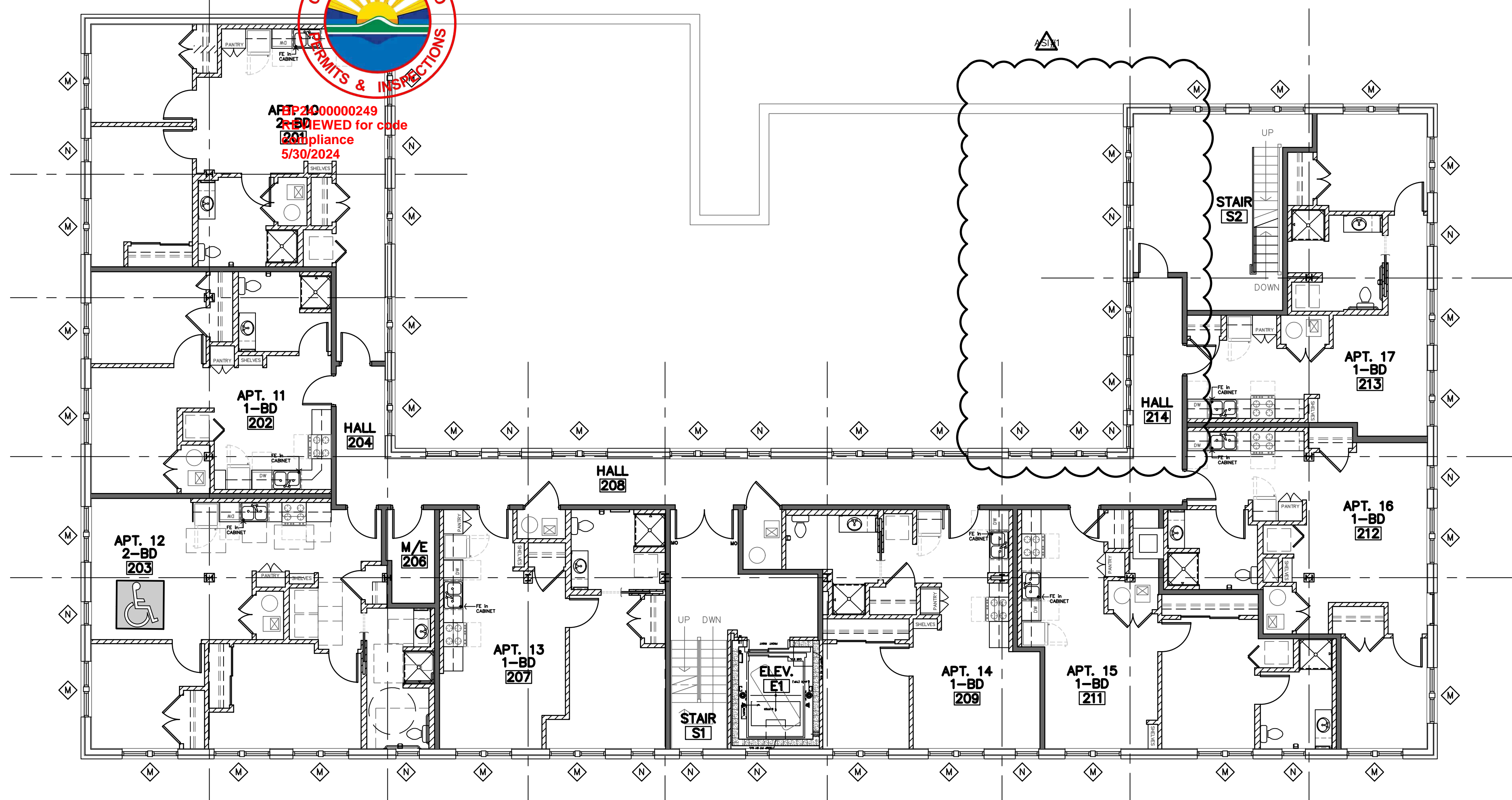
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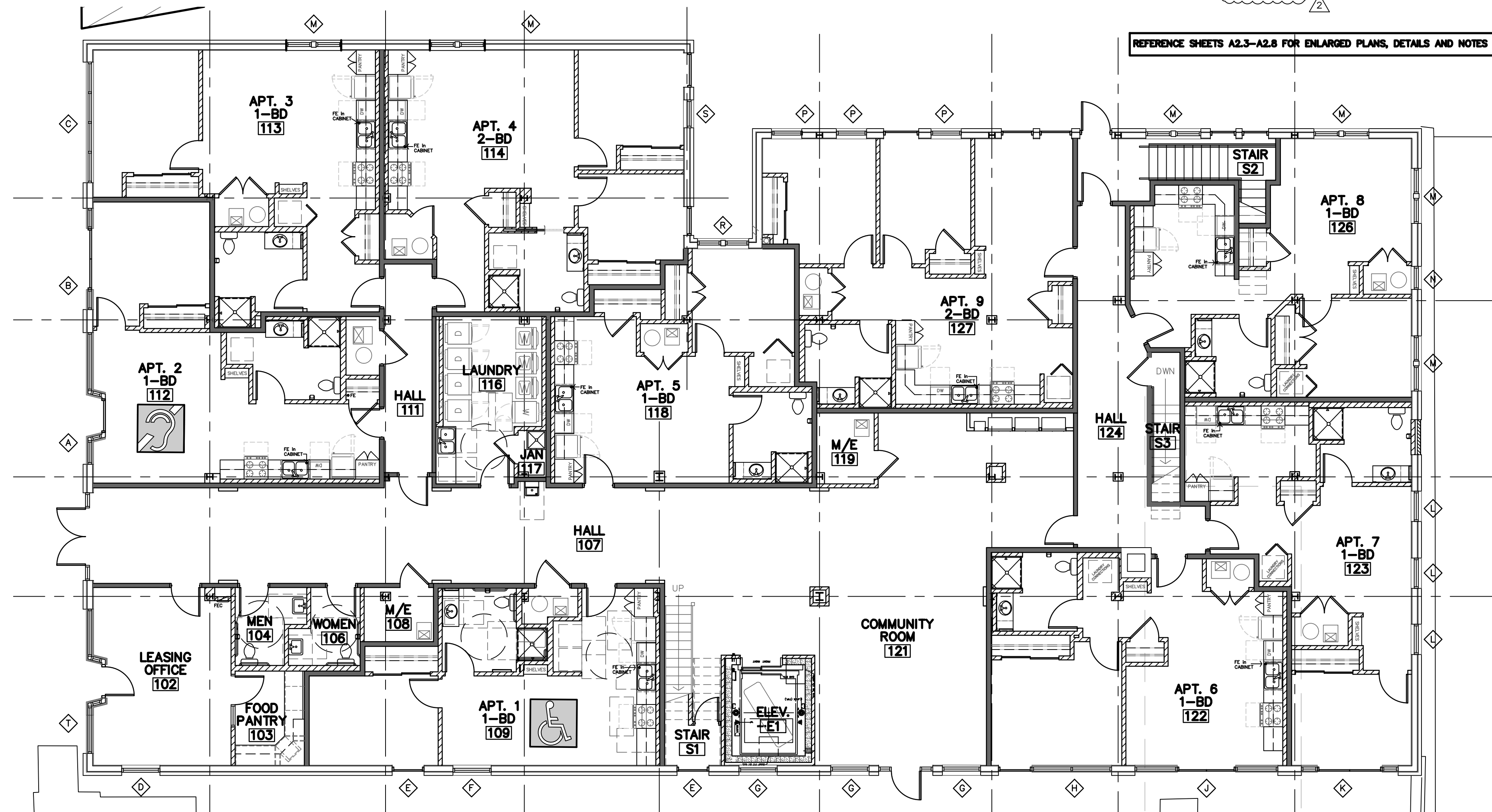
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ARC # M-1035-2



APR 2000000249
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 201 compliance
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B SECOND FLOOR PLAN
 1/8"=1'-0"



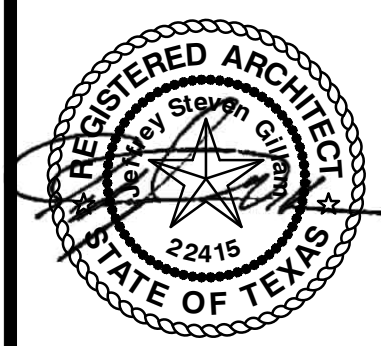
A FIRST FLOOR PLAN
 1/8"=1'-0"

REFERENCE SHEETS A2.3-A2.6 FOR ENLARGED PLANS, DETAILS AND NOTES

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ROOSEVELT LOFTS
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JOB:	22-3281
SHEET NO.:	

A2.1

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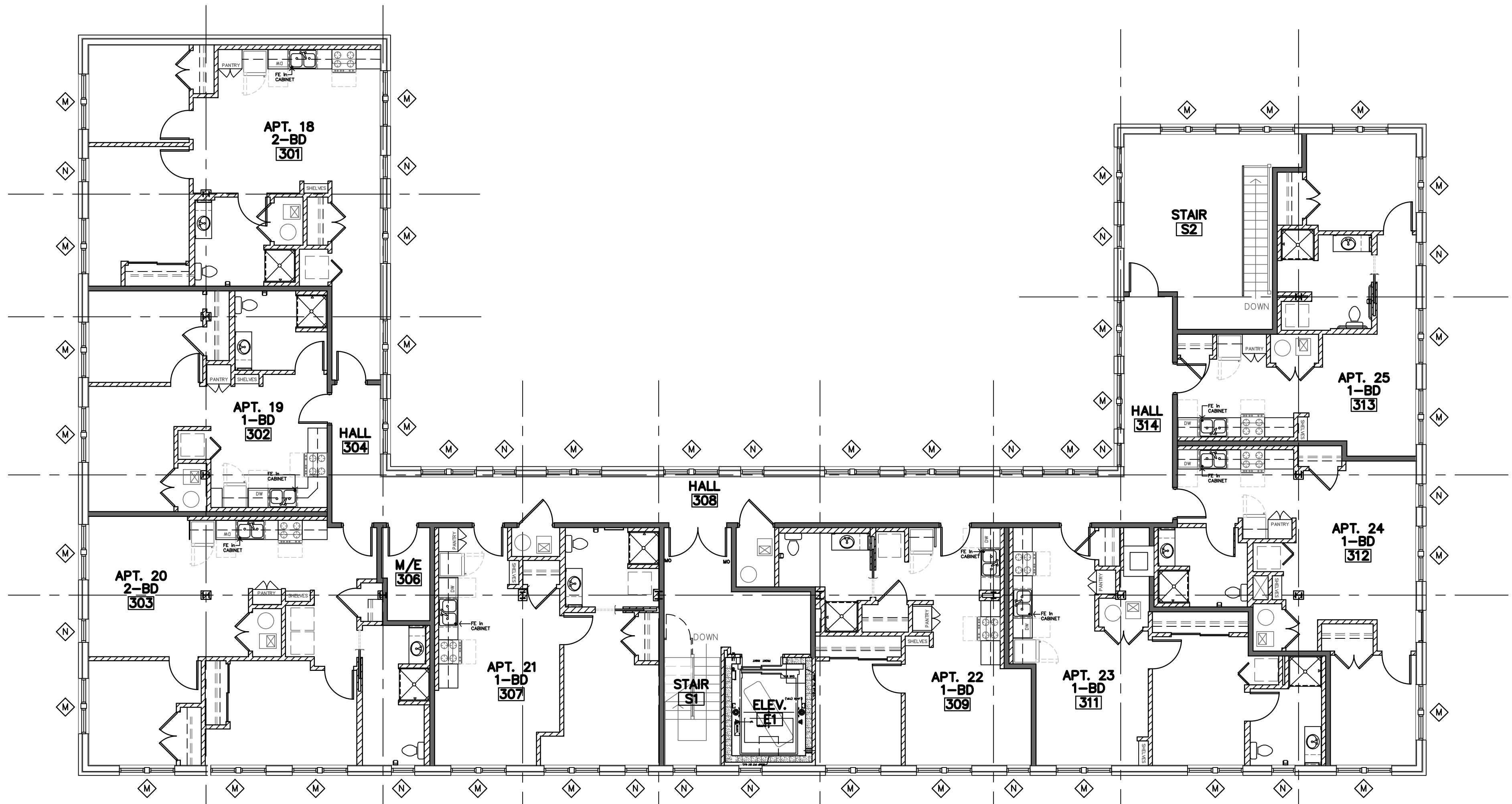


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REVIEWED for code
compliance
5/30/2024

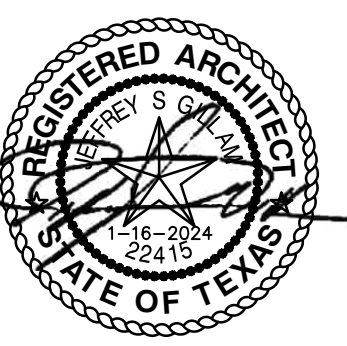
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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO,
TEXAS

REFERENCE SHEETS A2.3-A2.6 FOR ENLARGED PLANS, DETAILS AND NOTES



A **THIRD FLOOR PLAN**
1/8"=1'-0"



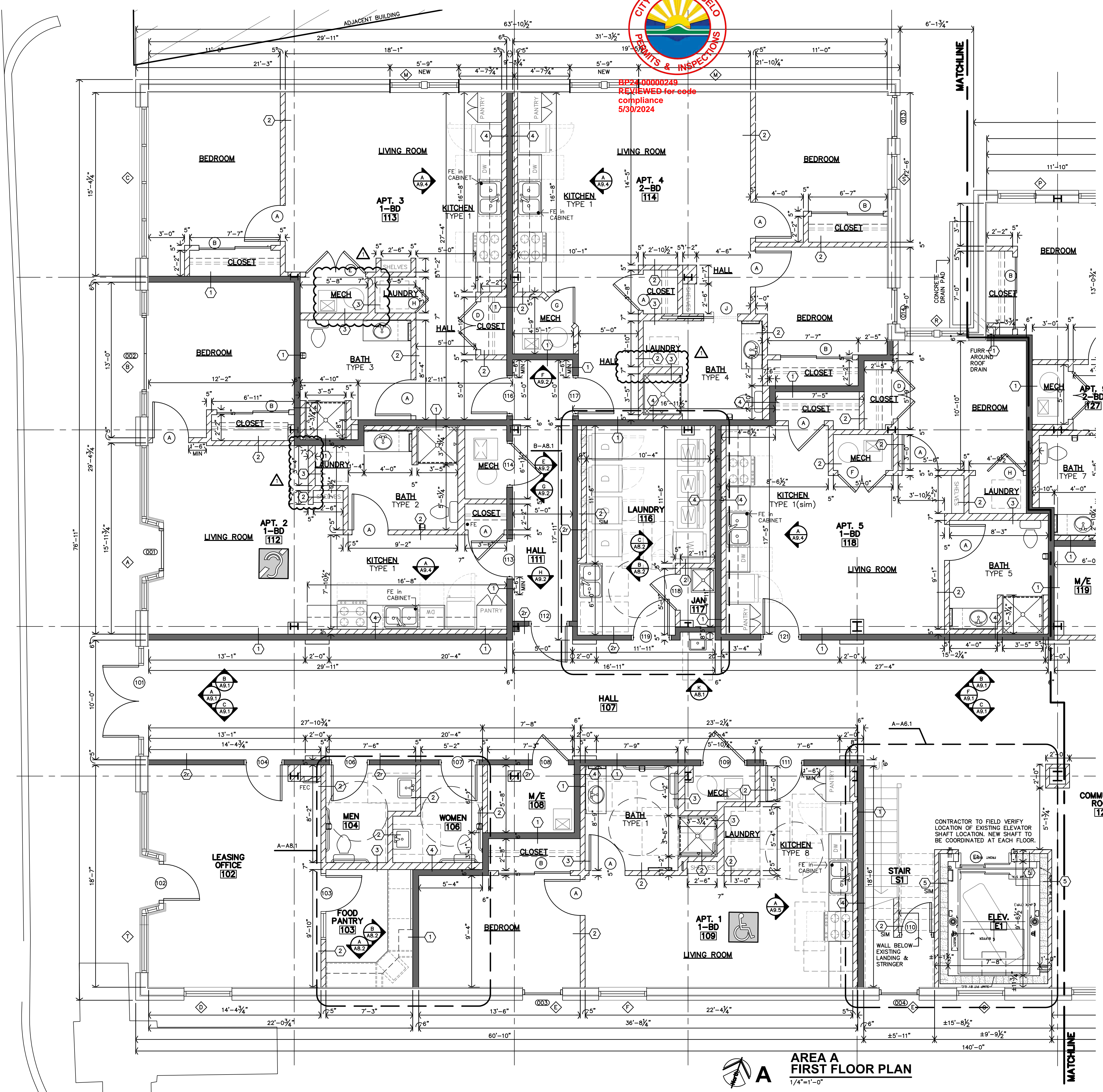
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JOB: 22-3281
SHEET NO.:

A2.2

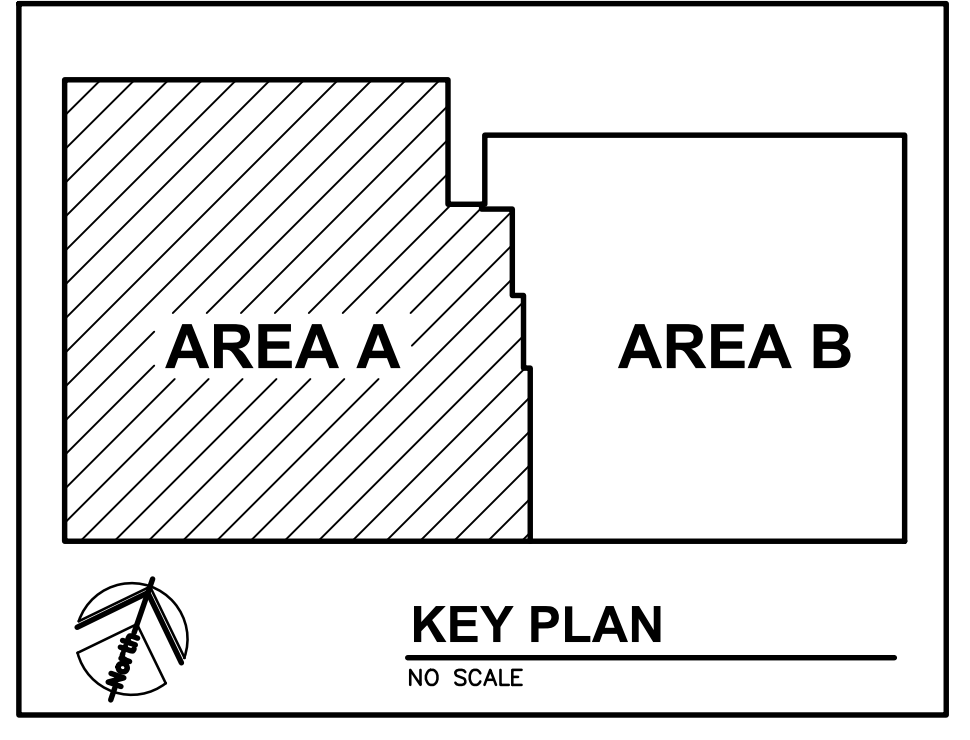
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**AREA A
 FIRST FLOOR PLAN**
 1/4"=1'-0"

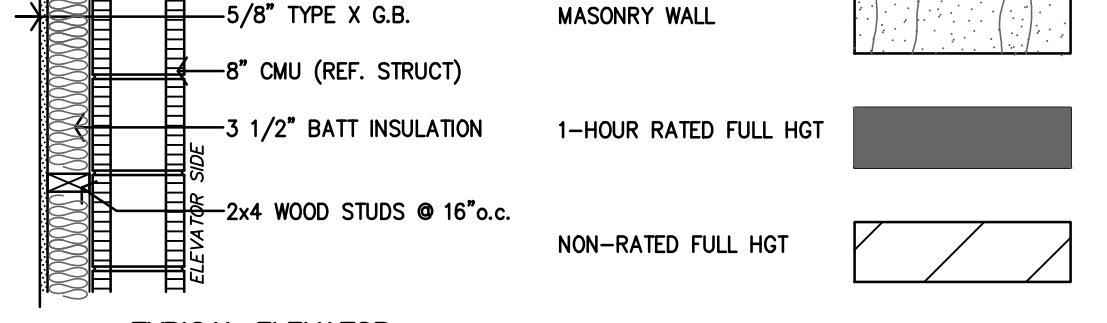
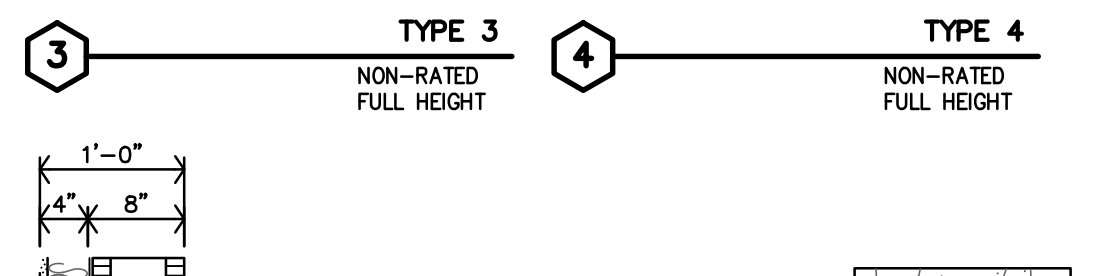
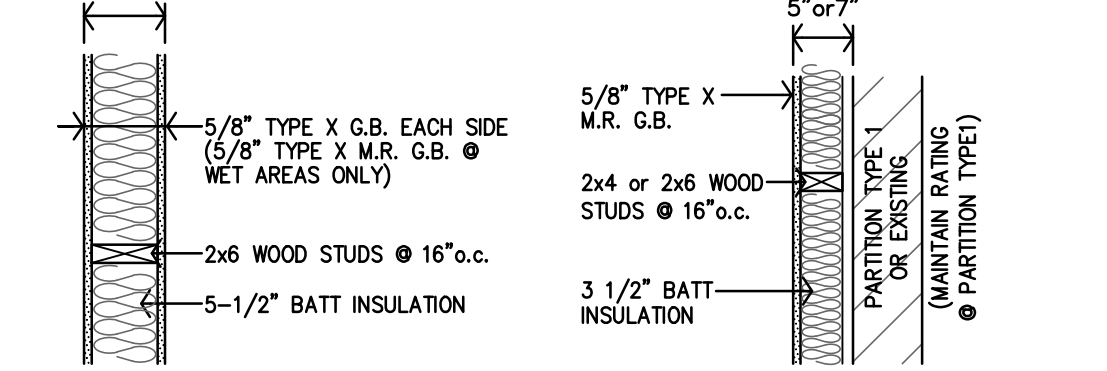
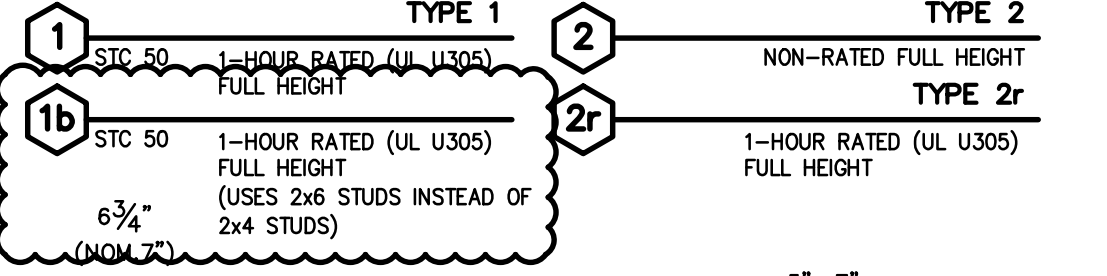
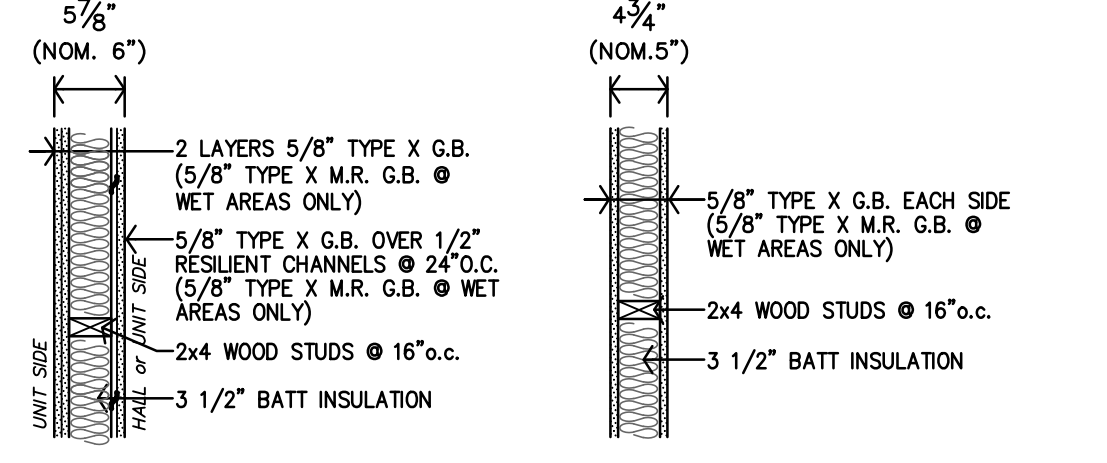


PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

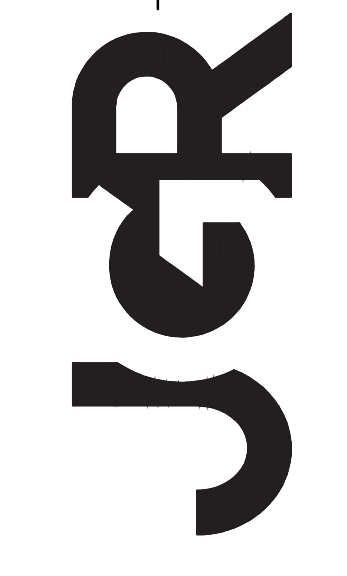
PARTITION SCHEDULE

- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
- LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT, WET AREAS ONLY
- ALTERNATE: INSTALL METAL STUDS IN PLACE OF WOOD STUDS.
 - 2x4 WOOD STUDS = 3-5/8" METAL STUDS
 - 2x6 WOOD STUDS = 6" METAL STUDS

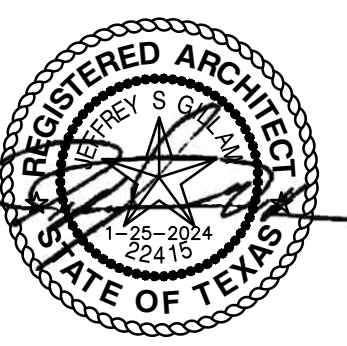


WALL LEGEND

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 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



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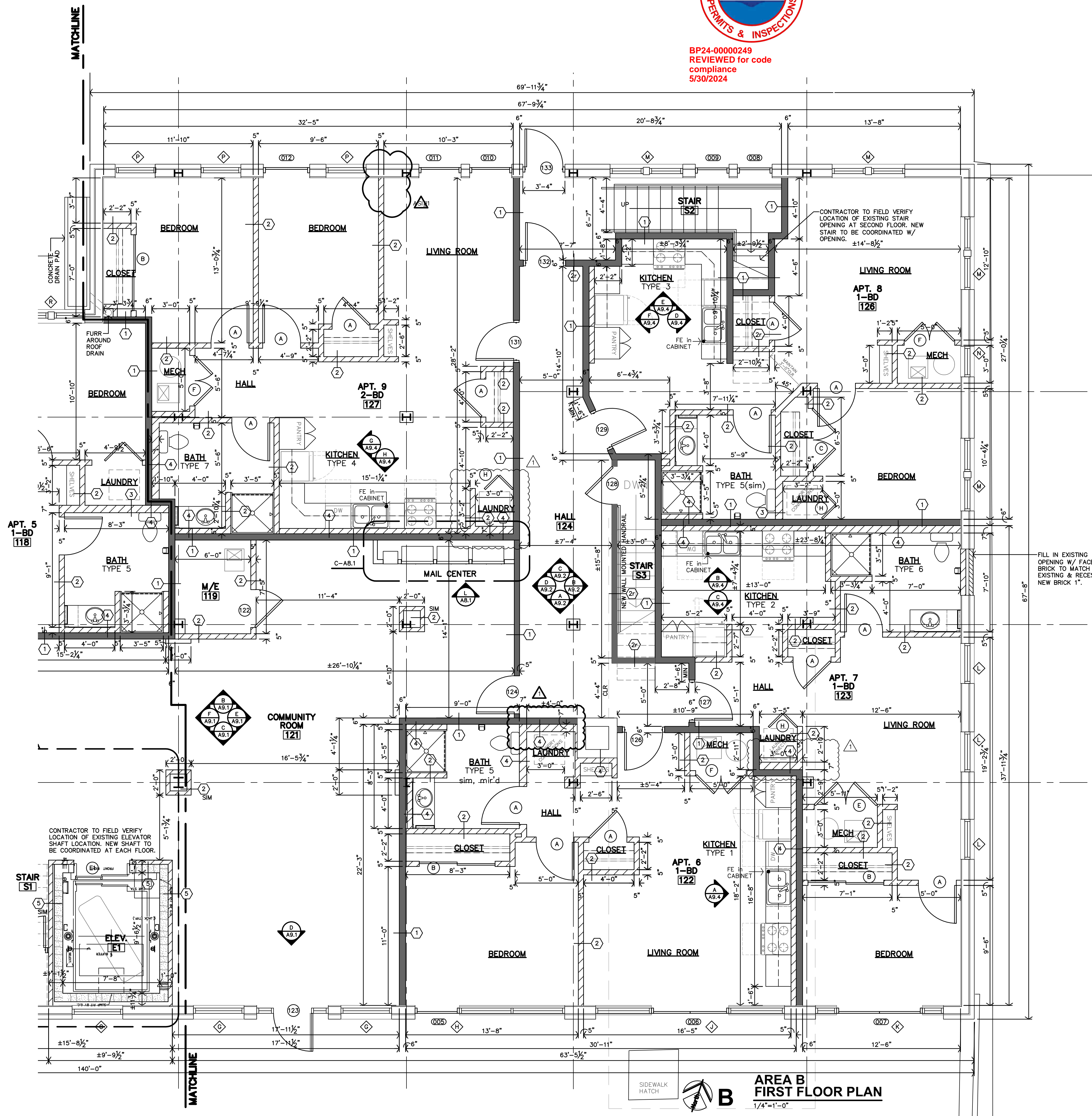
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 JOB: 22-3281
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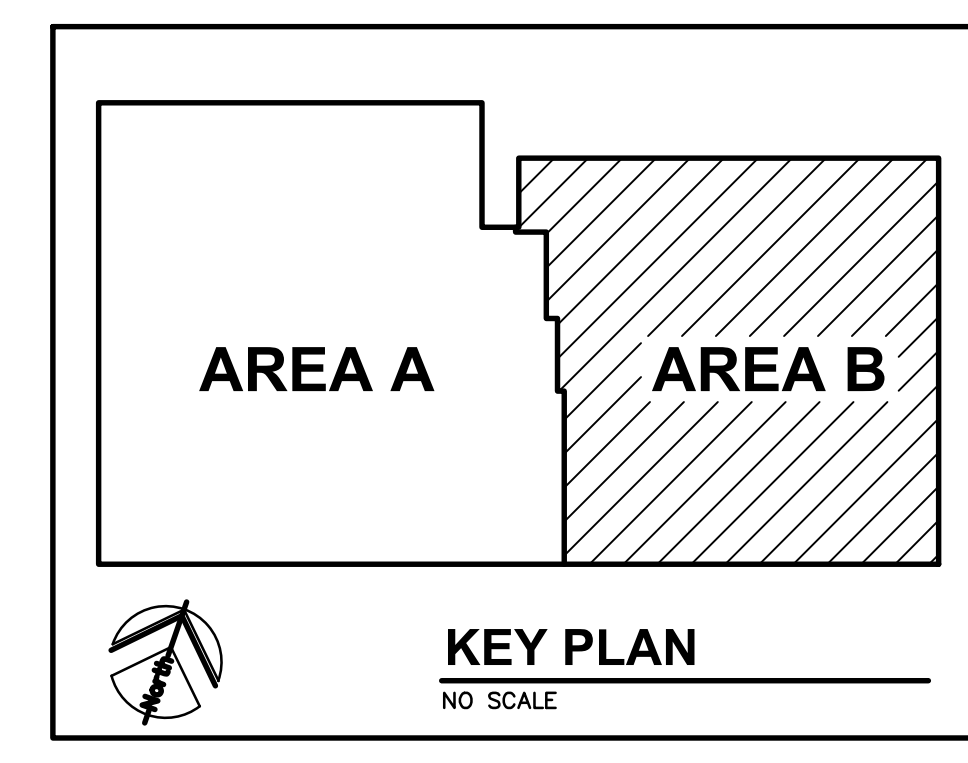
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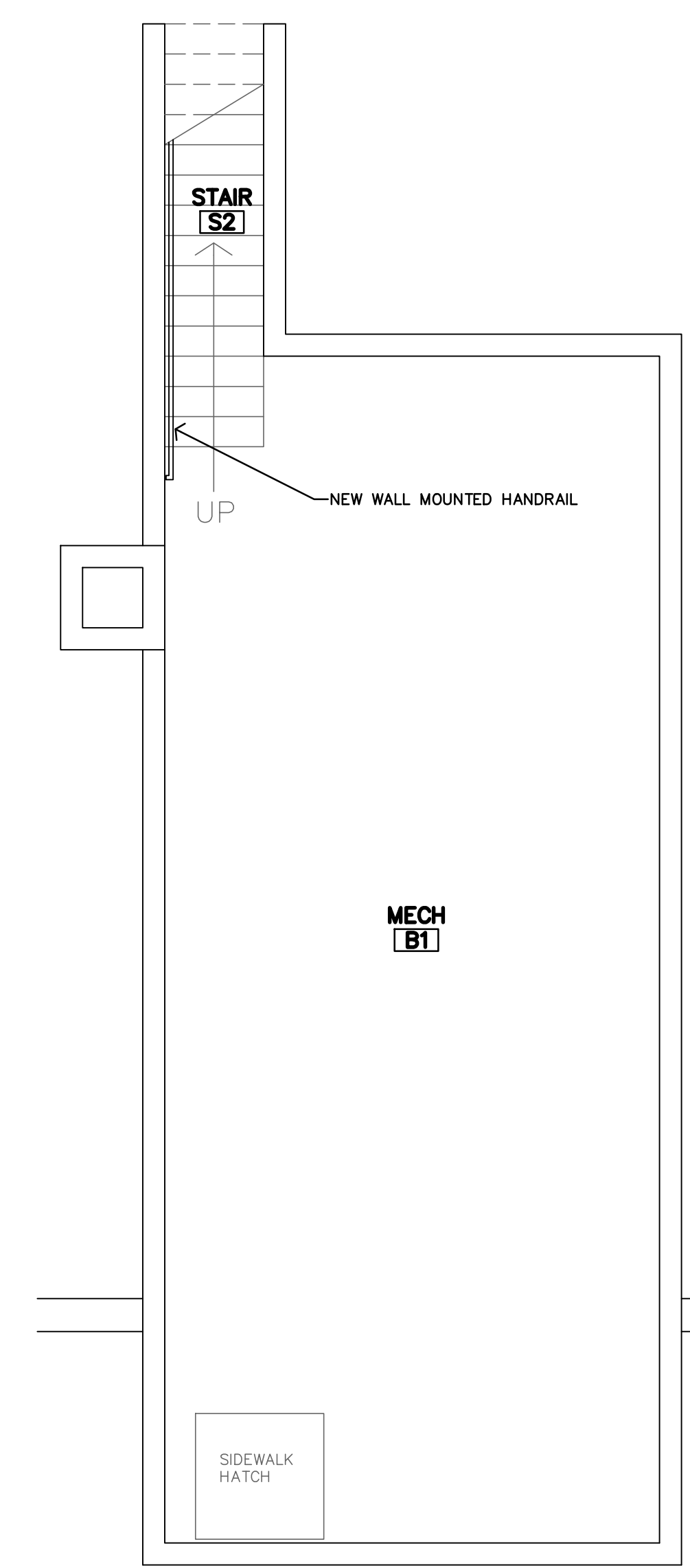


AREA B FIRST FLOOR PLAN
 1/4"=1'-0"



PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

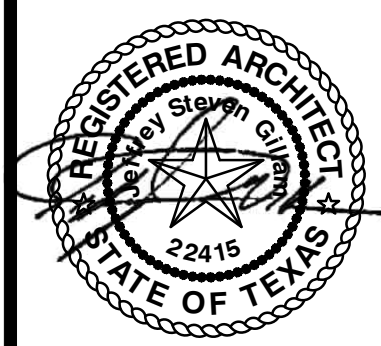


BASEMENT PLAN
 1/8"=1'-0"

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 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



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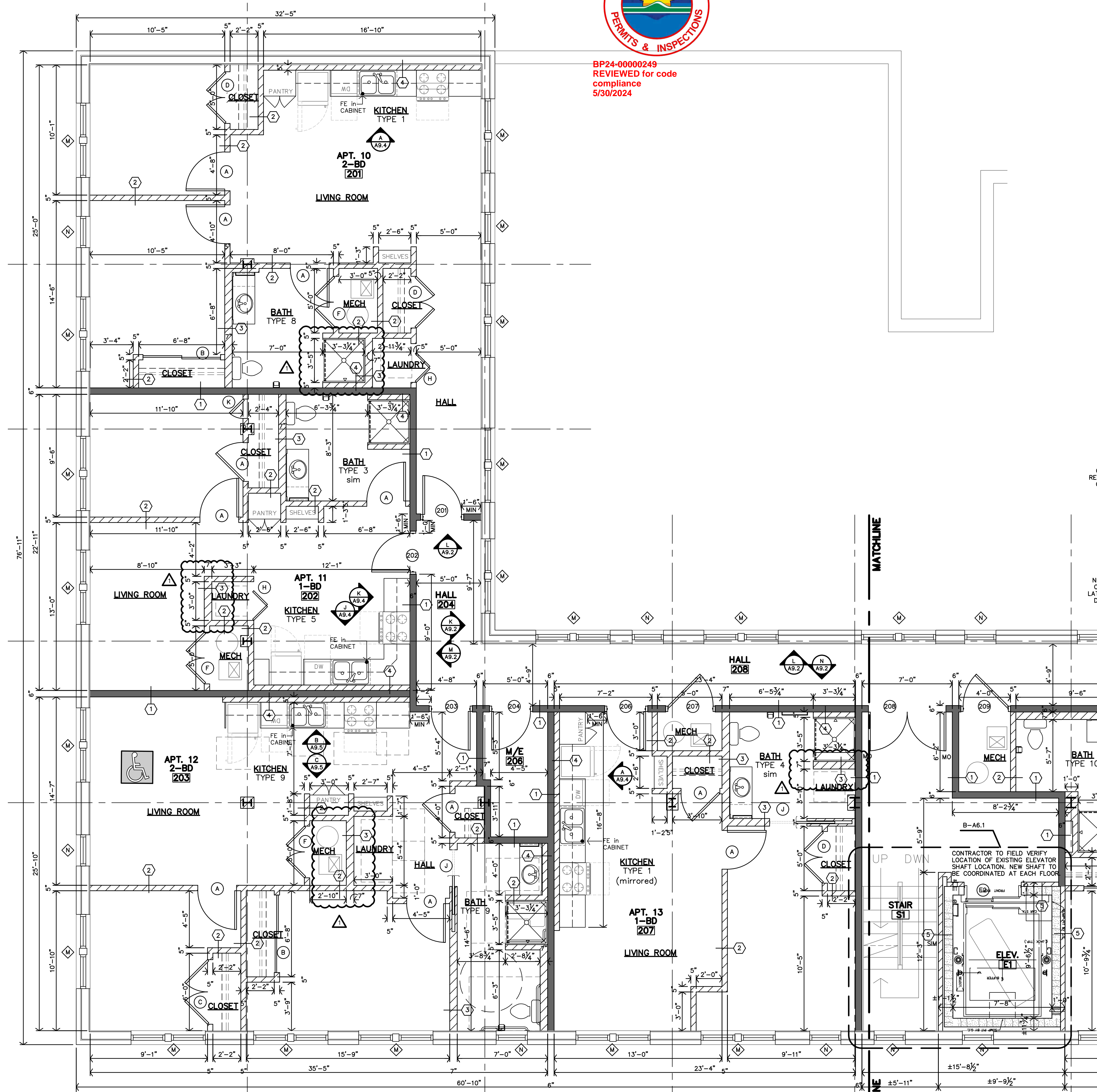
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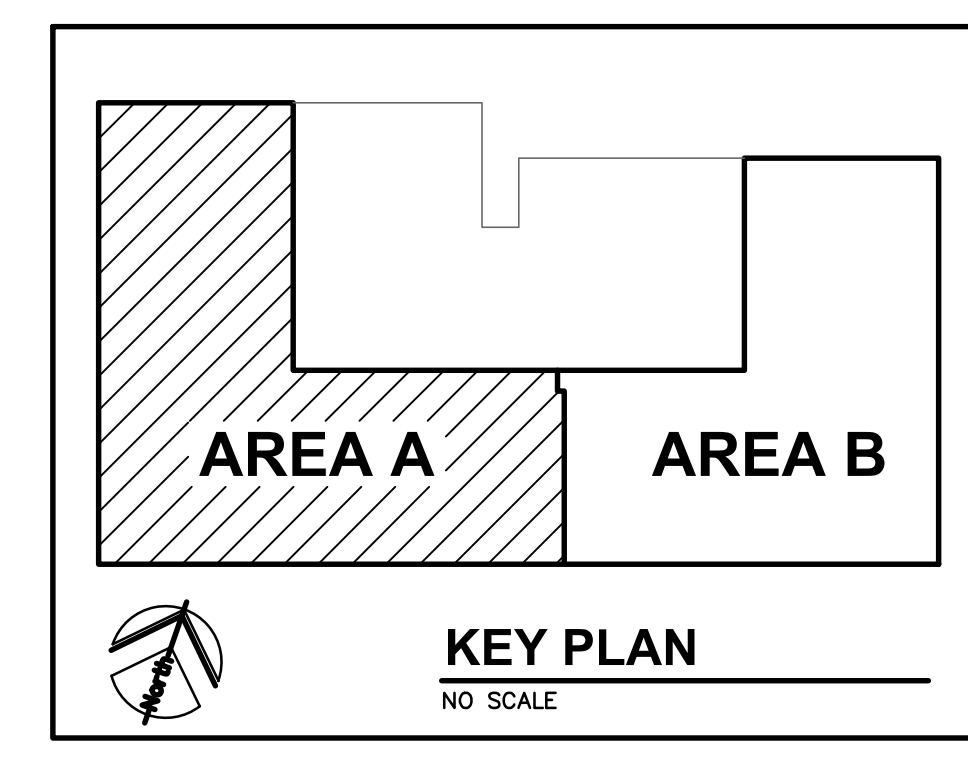
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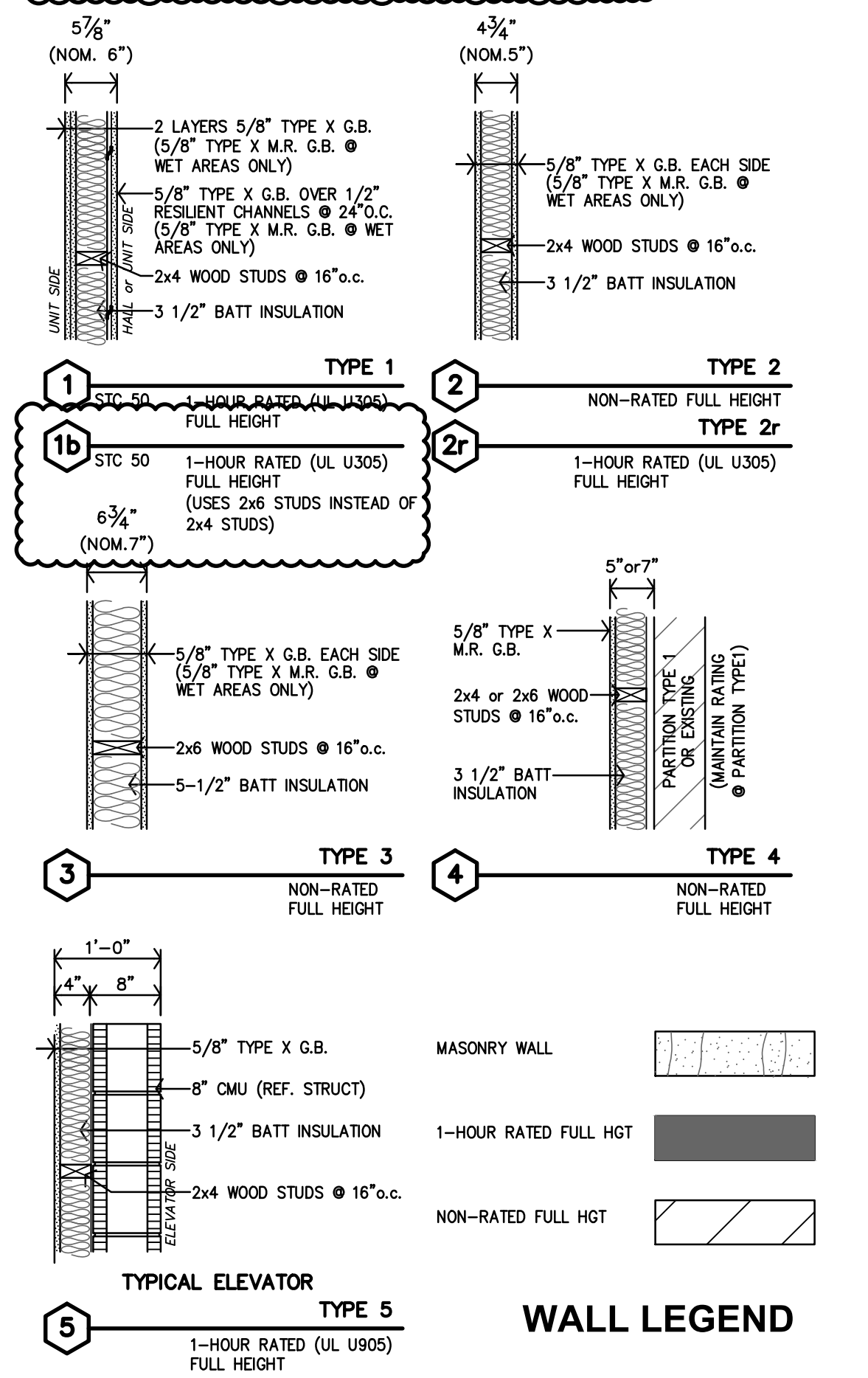
**AREA A
 SECOND FLOOR PLAN**
 1/4"=1'-0"



PLAN NOTES
 1. REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

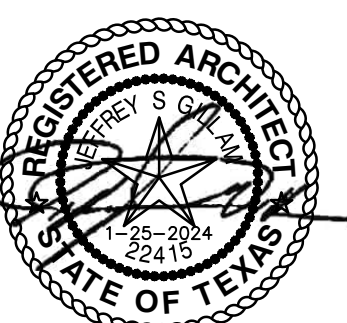
PARTITION SCHEDULE

- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
- LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT.
- ALTERNATE: INSTALL METAL STUDS IN PLACE OF WOOD STUDS. CODE INFORMATION
- 2x4 WOOD STUDS = 3-5/8" METAL STUDS
- 2x6 WOOD STUDS = 6" METAL STUDS



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ROOSEVELT LOFTS
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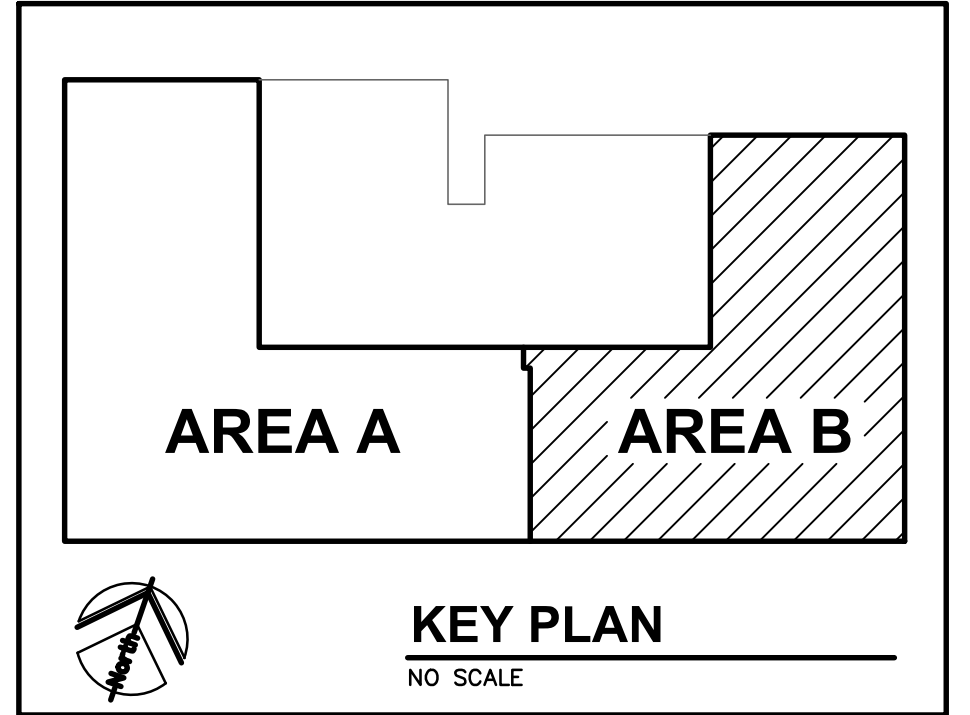
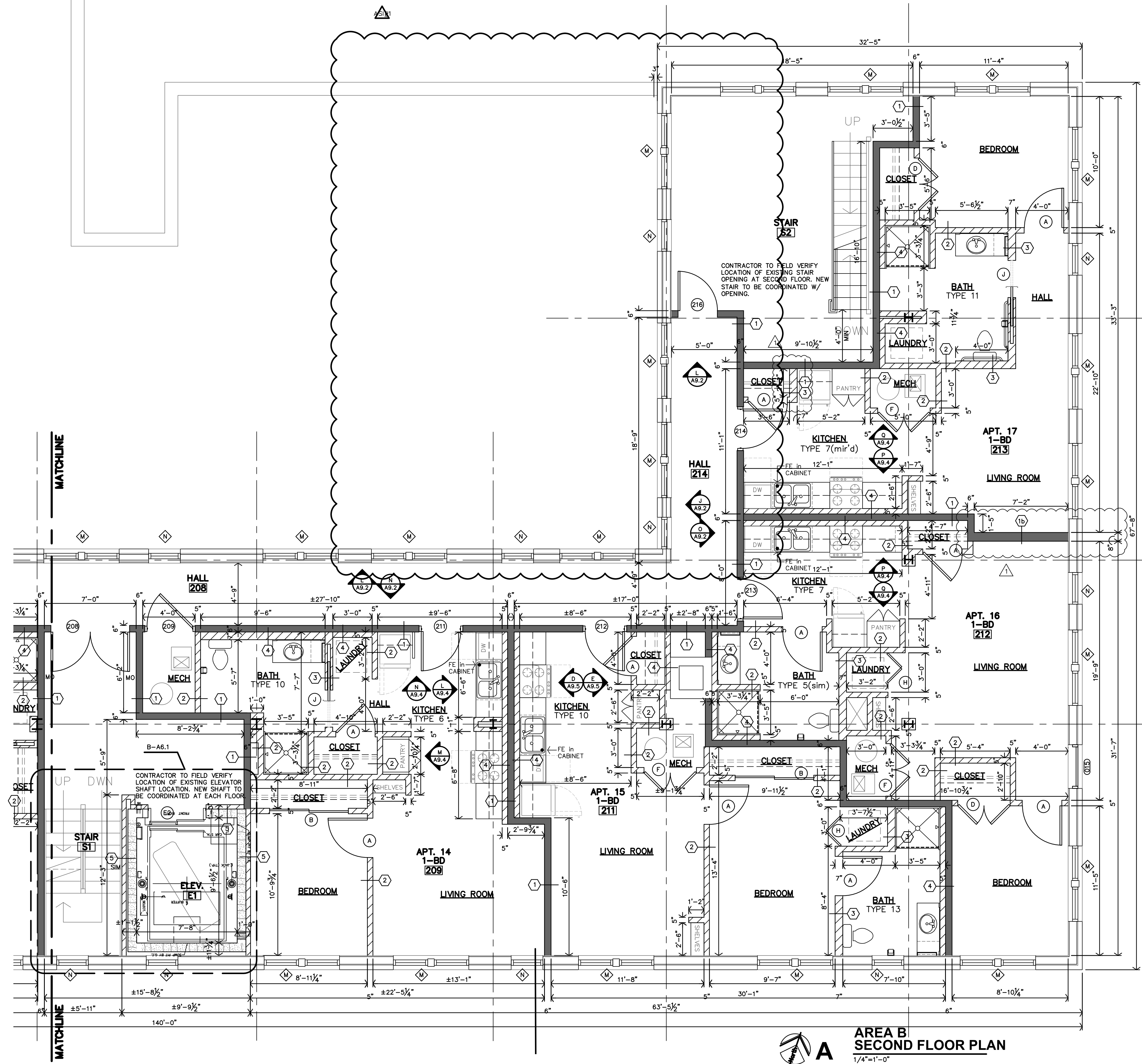
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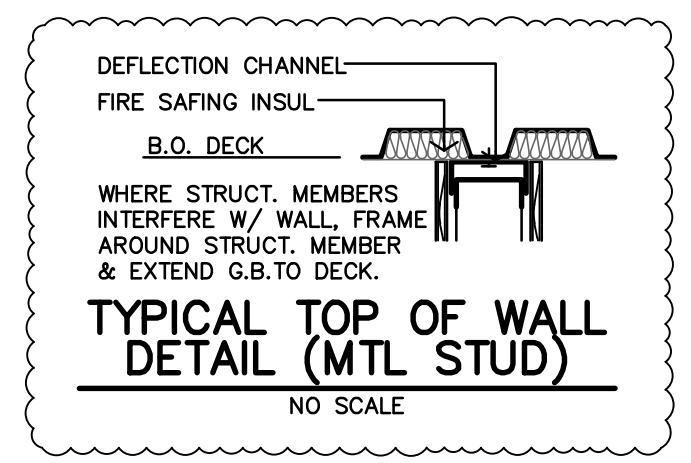
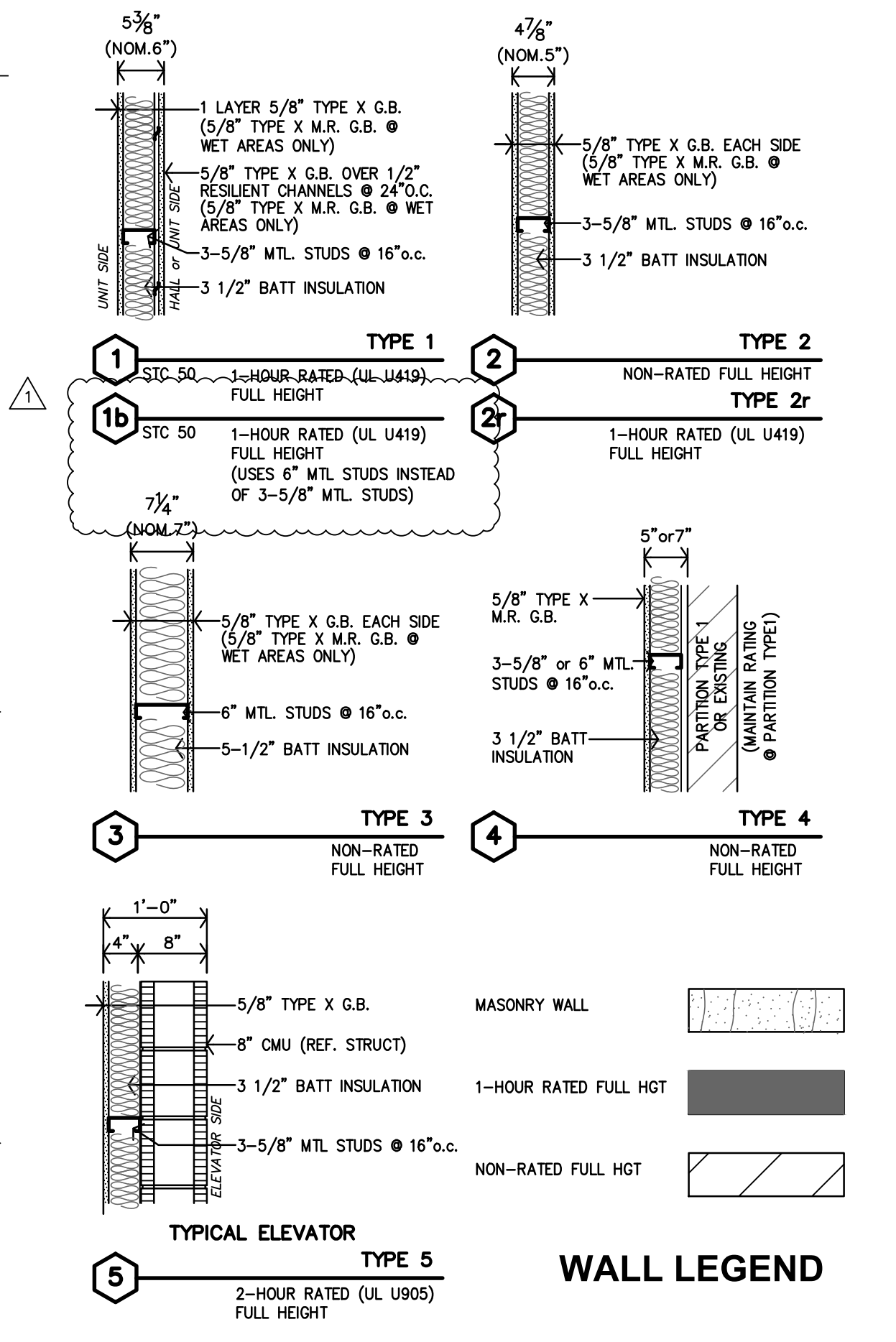


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PLAN NOTES
 1. REF SHEET A2.0 FOR UNIT GENERAL NOTES
 PARTITION SCHEDULE, KITCHEN/BATH
 MATRIX AND STANDARD DETAILS.

- PARTITION SCHEDULE**
- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
 - LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT.
 - REF. SHEETS_CFR_A7.1 & A7.2 FOR RATED WALLS, LOCATIONS, & CODE INFORMATION
 - ALTERNATE: INSTALL METAL STUDS IN PLACE OF WOOD STUDS.
 - 2x4 WOOD STUDS = 3-5/8" METAL STUDS
 - 2x6 WOOD STUDS = 6" METAL STUDS



AREA B SECOND FLOOR PLAN
 1/4"=1'-0"

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2	2-23-2024
3	4-25-2024

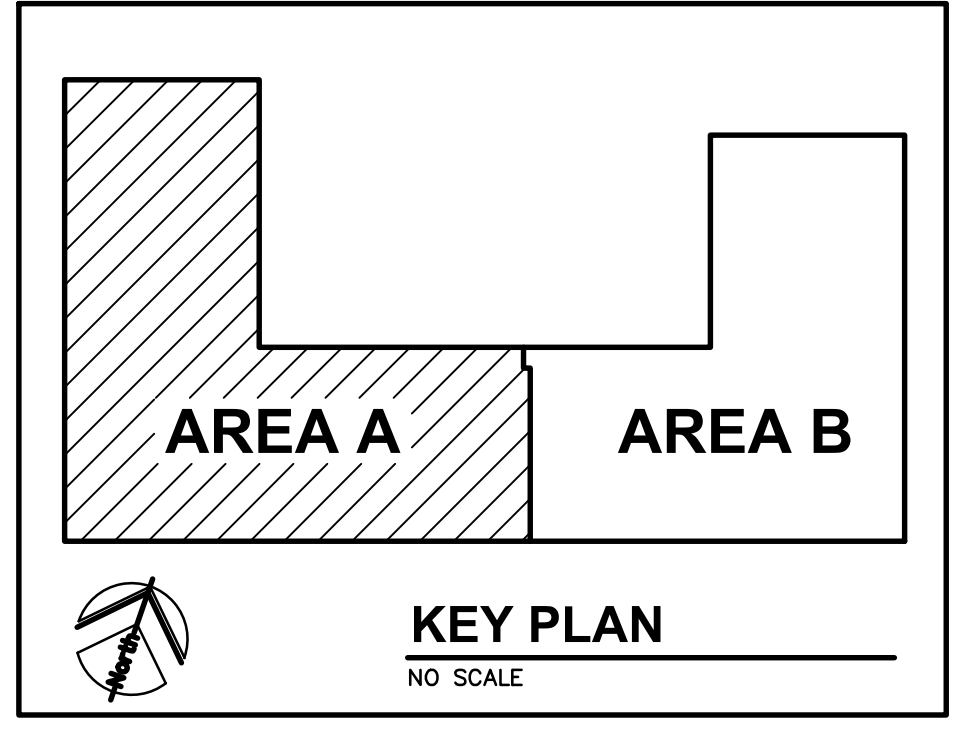
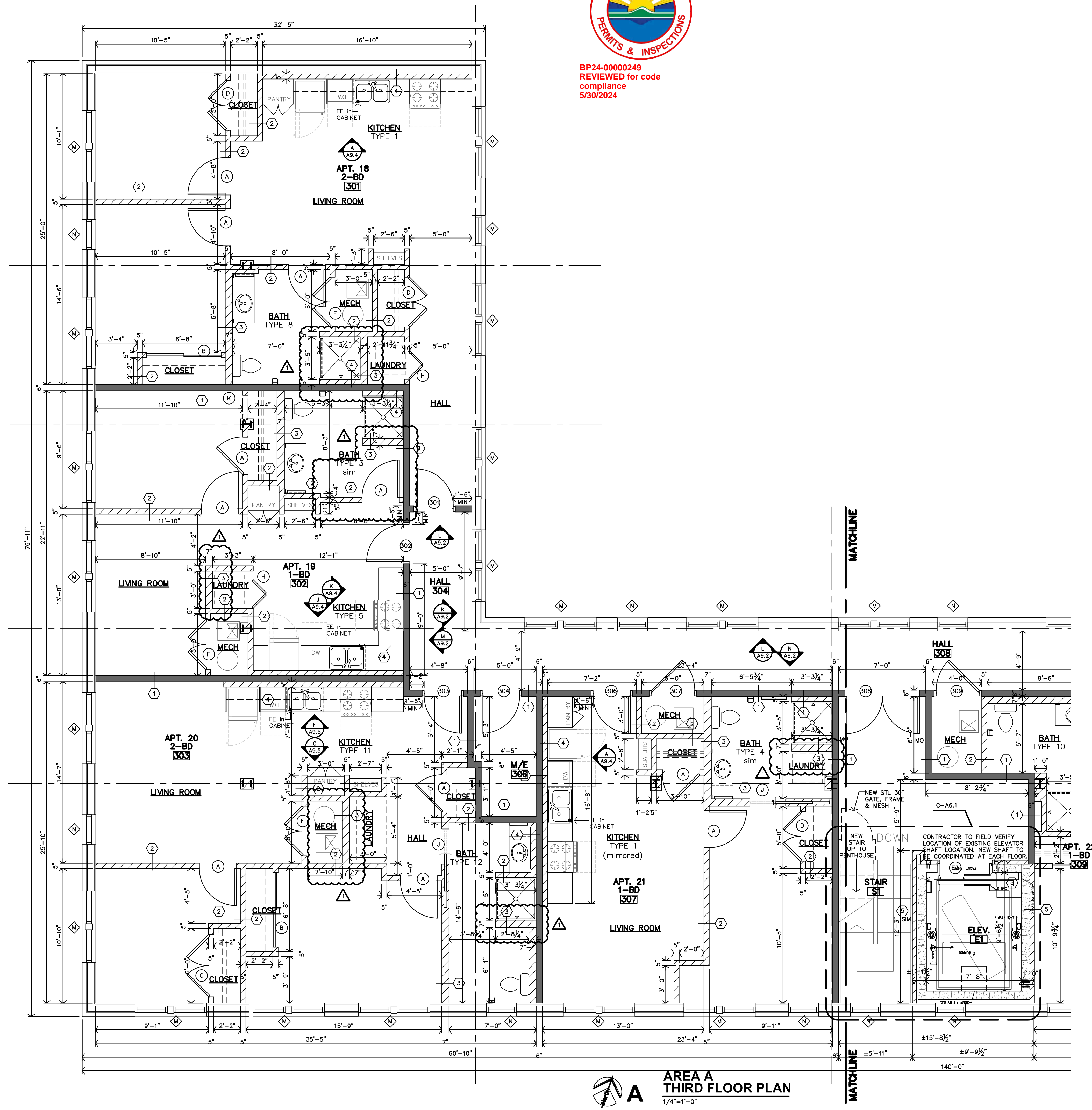
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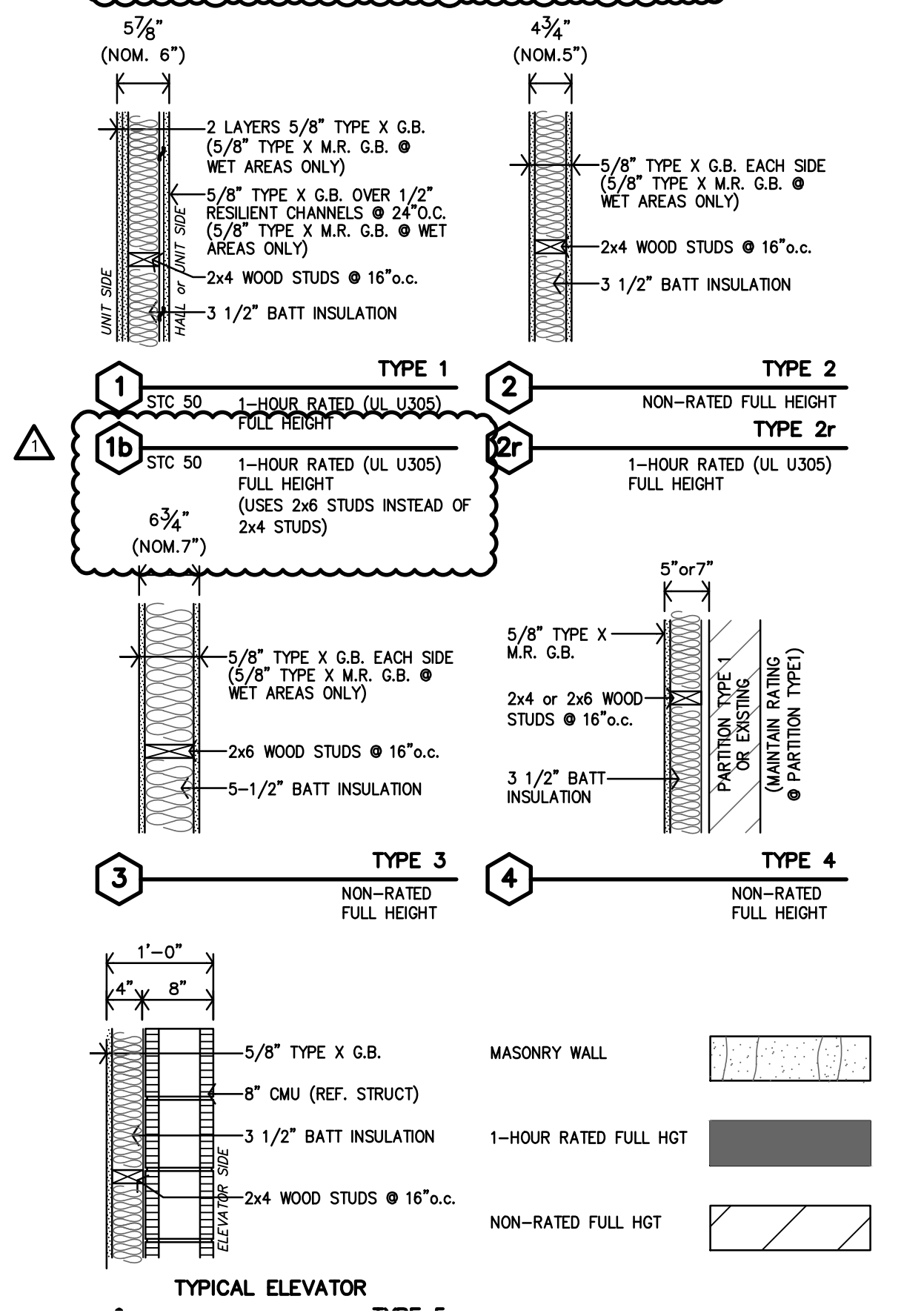


PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

PARTITION SCHEDULE

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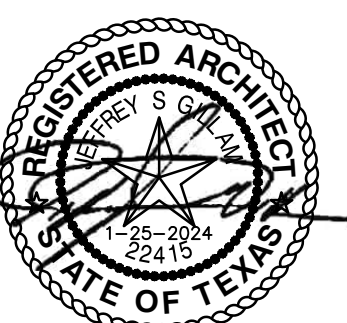


AREA A
THIRD FLOOR PLAN
 1/4"=1'-0"

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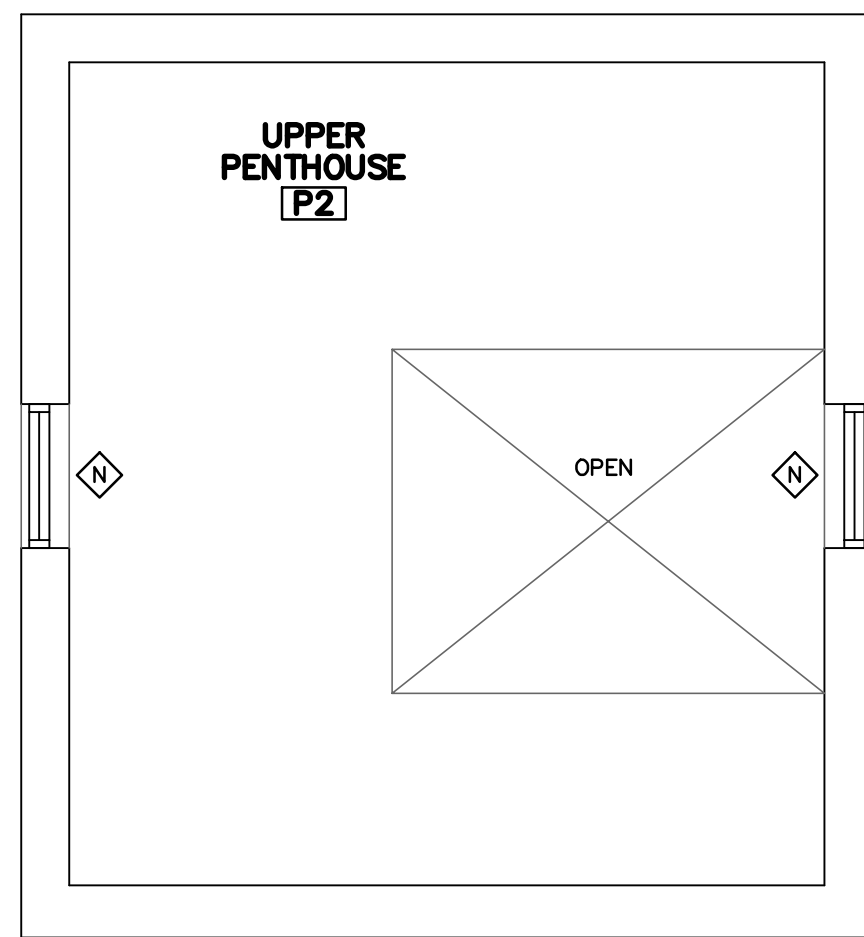
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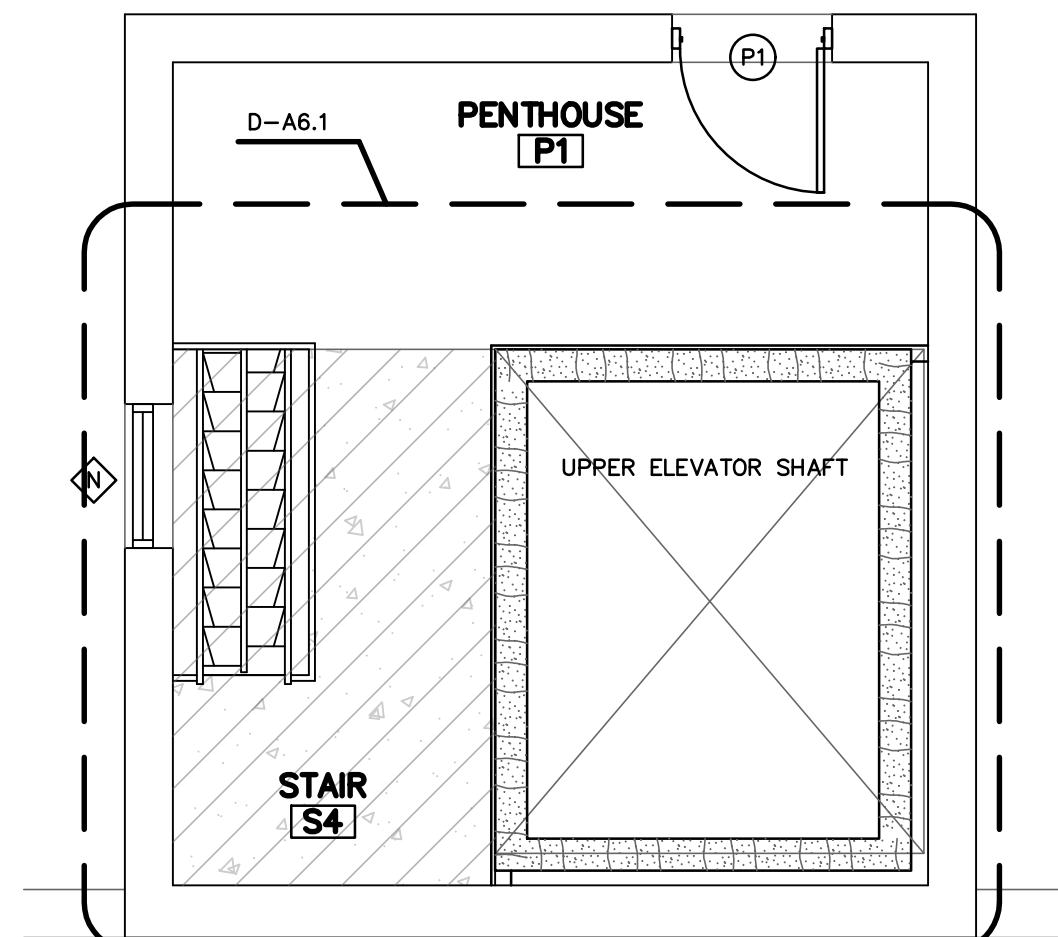
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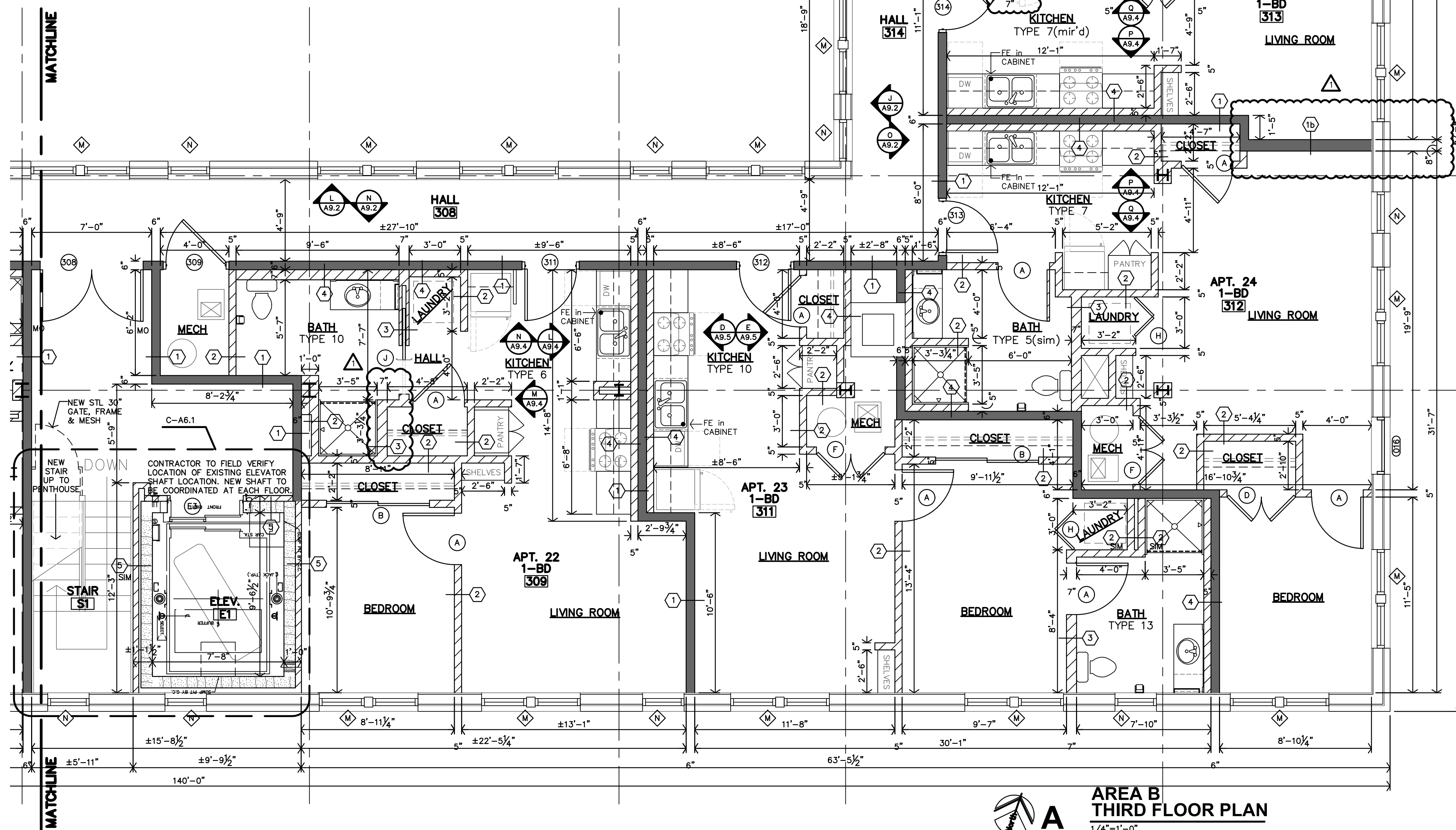
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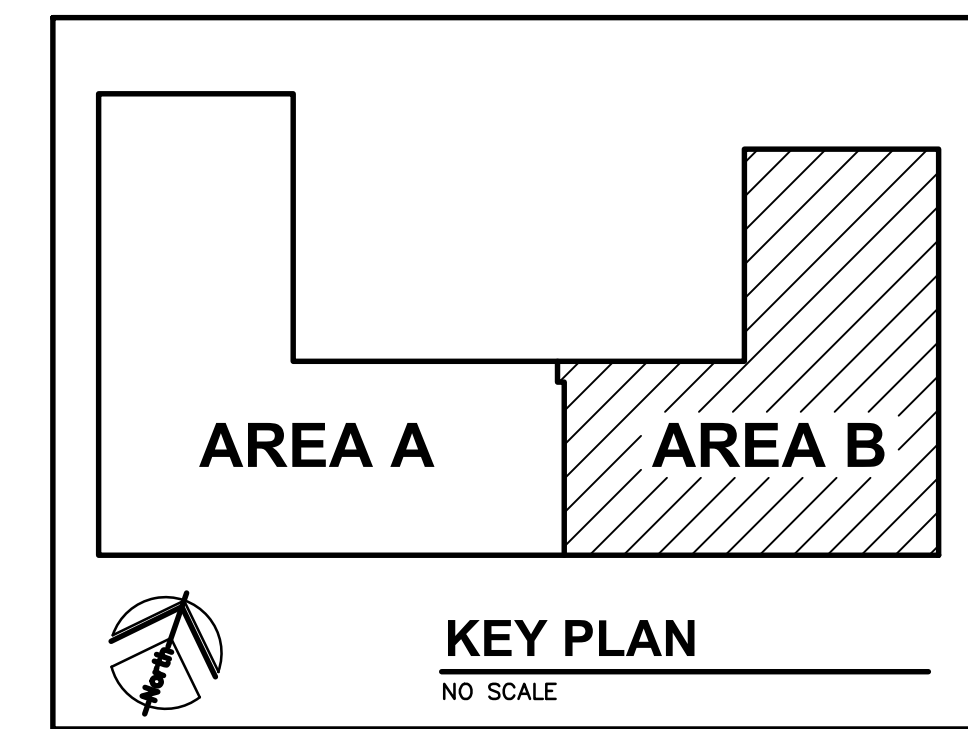
C UPPER PENTHOUSE PLAN
 1/4"=1'-0"



B PENTHOUSE PLAN
 1/4"=1'-0"



A AREA B THIRD FLOOR PLAN
 1/4"=1'-0"

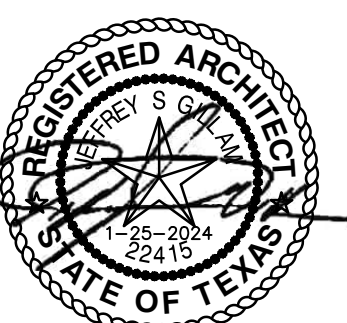
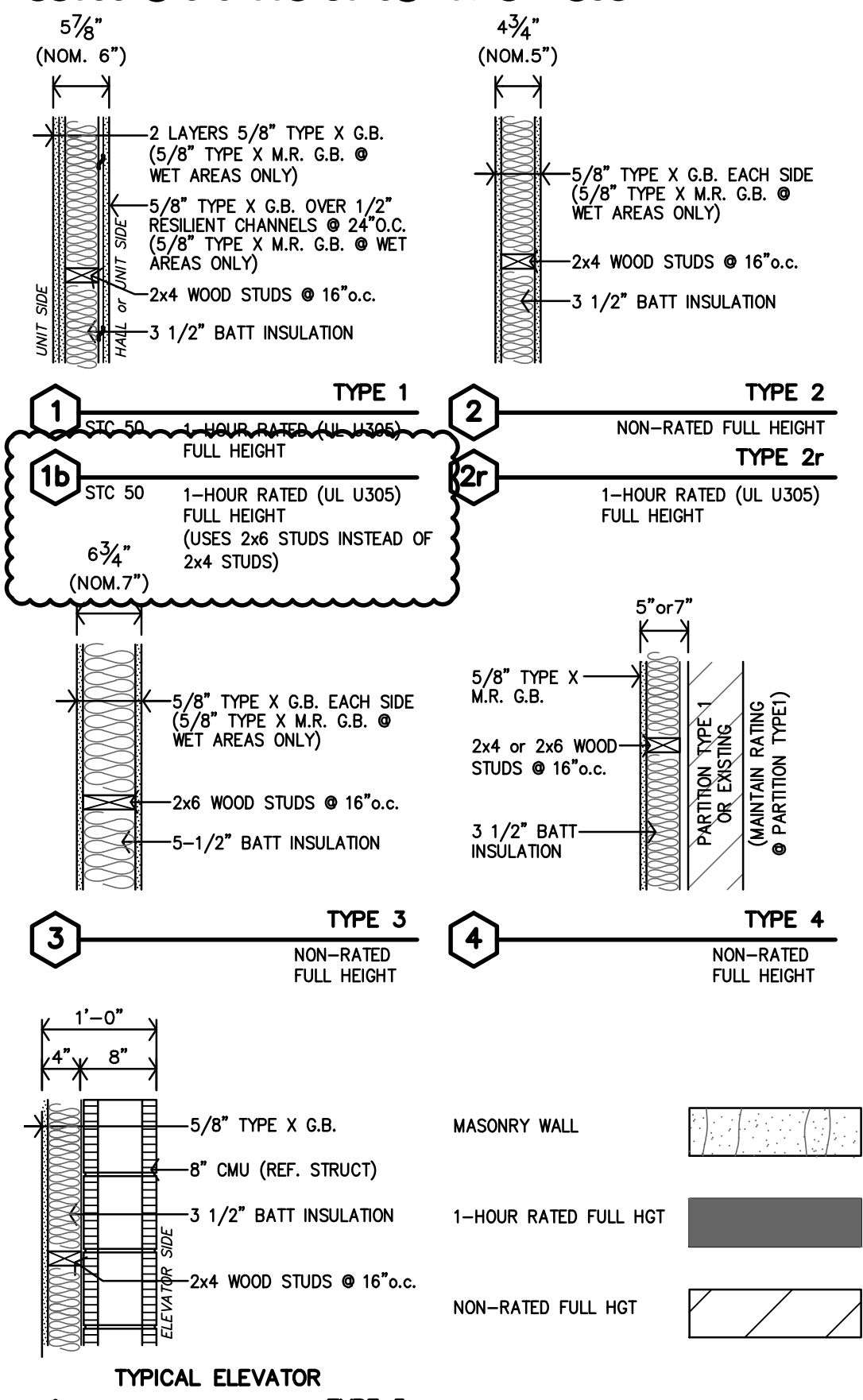


PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

PARTITION SCHEDULE

- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
- LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT.
- REF SHEETS A2.1 & A2.2 FOR RATED WALLS LOCATIONS & CODE INFORMATION
- ALTERNATE: INSTALL METAL STUDS IN PLACE OF WOOD STUDS.
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 - 2x6 WOOD STUDS = 6" METAL STUDS



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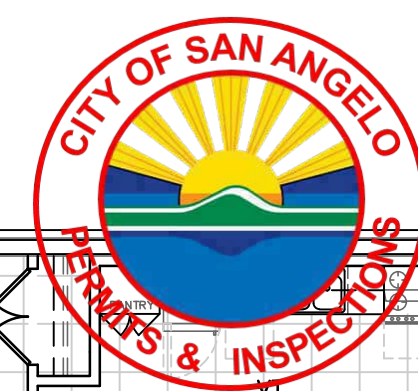
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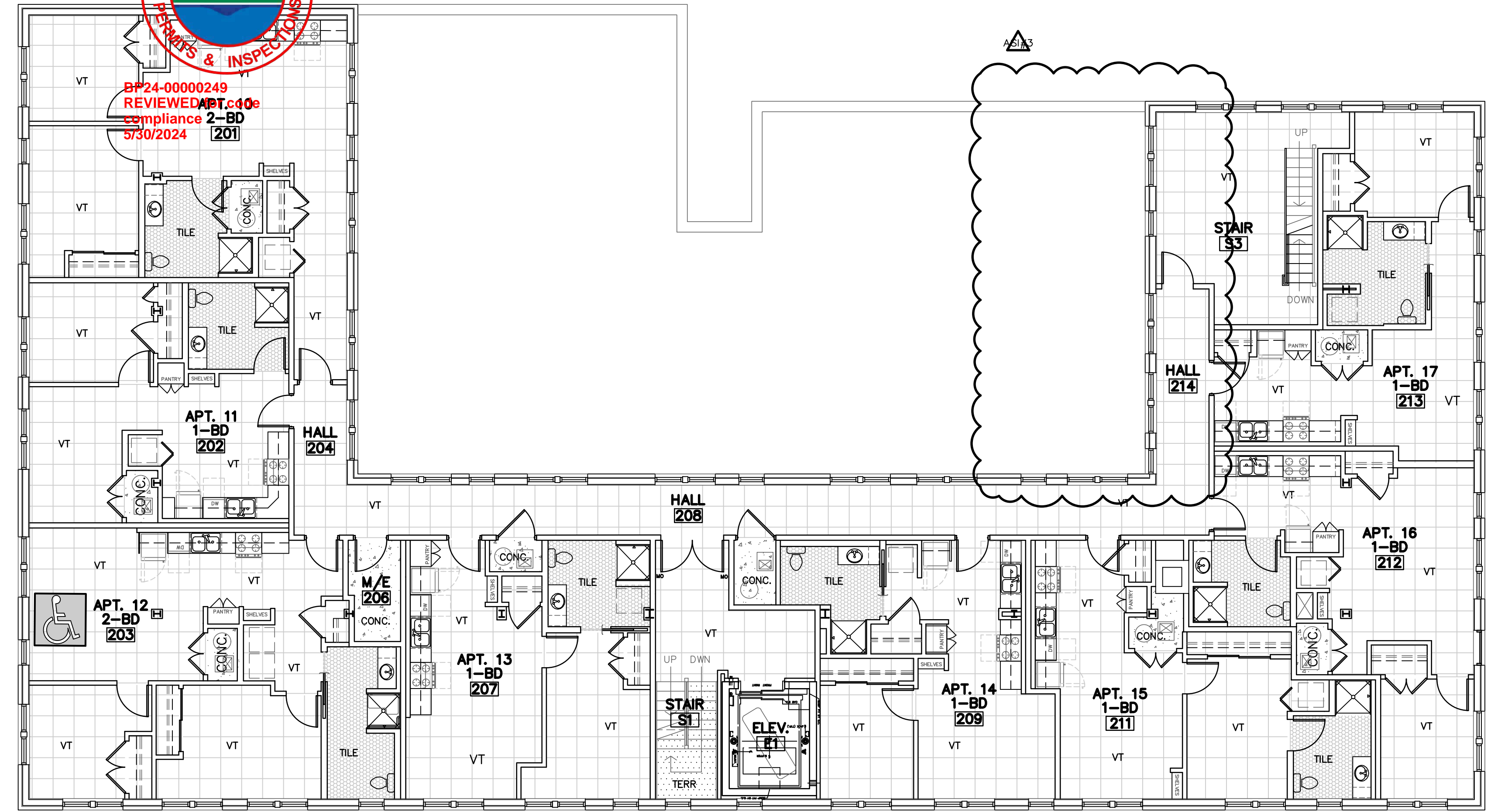


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B SECOND FLOOR FLOOR FINISH PLAN
 3/32"=1'-0" THIRD FLOOR SIMILAR

FLOORING GENERAL NOTES

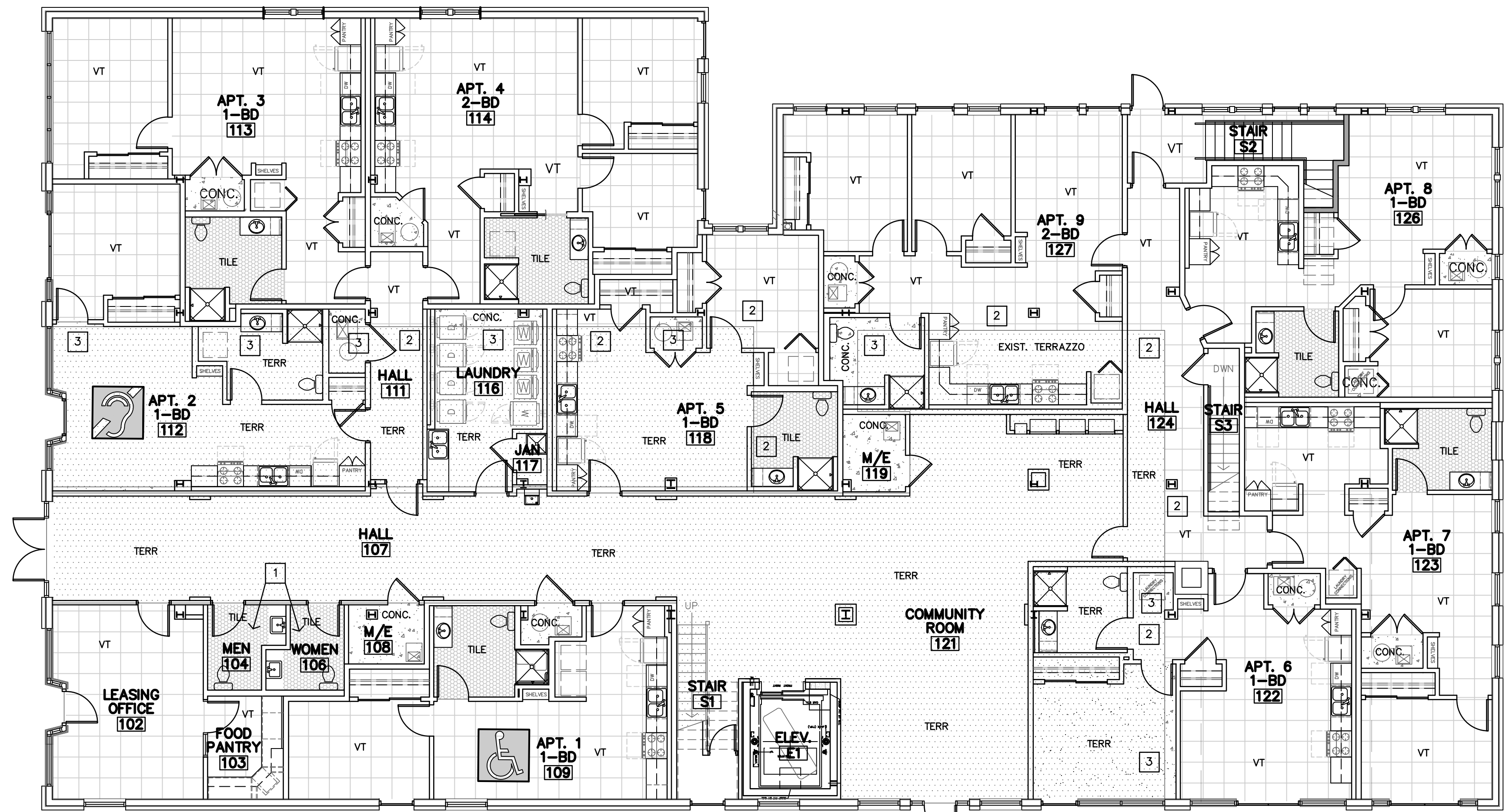
- FLOORING CONTRACTOR SHALL VERIFY THAT SUBFLOOR IS LEVEL AND PROPERLY PREPPED PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS.
- CONTRACTOR SHALL VERIFY THAT FLOORS ARE PREPPED/"FLOORSTONED" FOR LEVEL TRANSITION BETWEEN DIFFERING MATERIALS.
- CONTRACTOR SHALL COORDINATE WITH INTERIOR ELEVATIONS, FLOOR PLANS AND MISCELLANEOUS DETAILS TO VERIFY ALL AESTHETIC ACCENTS AND DETAILS.
- CUT TILE TIGHT AROUND DOOR FRAMES, AT VT FLOORS INSTALL CLEAR SILICONE SEALANT AT THE FLOOR/FRAME TRANSITION.
- INSTALL METAL SCHLUTER TRANSITION BETWEEN FLOOR & WALL MATERIAL TRANSITIONS UNLESS BULLNOSE OR WOOD TRIM IS INDICATED.
- ADD REDUCER STRIP AT ALL FLOORING TRANSITIONS.
- UNIT KITCHEN & BATH: AT REMOVABLE CABINET FRONTS, WALLS TO BE FINISHED & FLOORING CONTINUOUS UNDERNEATH. NO PLUMBING MODIFICATIONS ALLOWED AFTER CABINET FRONT IS REMOVED.
- VINYL TILE: PATCH, FILL VOIDS AND ENSURE FLOOR IS LEVEL & READY FOR NEW INSTALLATION APPROVED BY THE FLOOR MANUFACTURER.
- CARPET: PATCH, FILL VOIDS, SAND AND LEVEL, BEFORE INSTALLING

SPECIFIC NOTES

- AT MEN'S #104 AND WOMEN'S #106 - MOSAIC FLOORING PATTERN, REFERENCE DETAIL U-AB.1
- VINYL & CERAMIC TILE TO TERRAZZO TRANSITIONS: CUT/TRIM TERRAZZO SO THAT A STRAIGHT CLEAN LINE IS CREATED. USE A STAINLESS STEEL SCHLUTER SCHIENE TRIM (OR EQUIVALENT) BETWEEN THE TERRAZZO AND VINYL TILE.
- AT AREAS WHERE TERRAZZO DOESN'T MEET WALLS, AND SMALL PORTION OF SUB FLOORING IS EXPOSED. INSTALL SEALED CONCRETE. CONCRETE TO HAVE SIMILAR TEXTURE AND COLOR AS ORIGINAL TERRAZZO FLOOR. INSTALL NEW CONCRETE IN A SIMILAR FASHION TO REPLACEMENT TERRAZZO. REFERENCE SHEET A10.1 FOR ADDITIONAL DETAILS.

FLOORING LEGEND

	NEW VINYL TILE		EXISTING TERRAZZO
	NEW MOSAIC TILE		SEALED CONCRETE



A FIRST FLOOR FLOOR FINISH PLAN
 1/8"=1'-0"



REVISION:
 5-8-2024

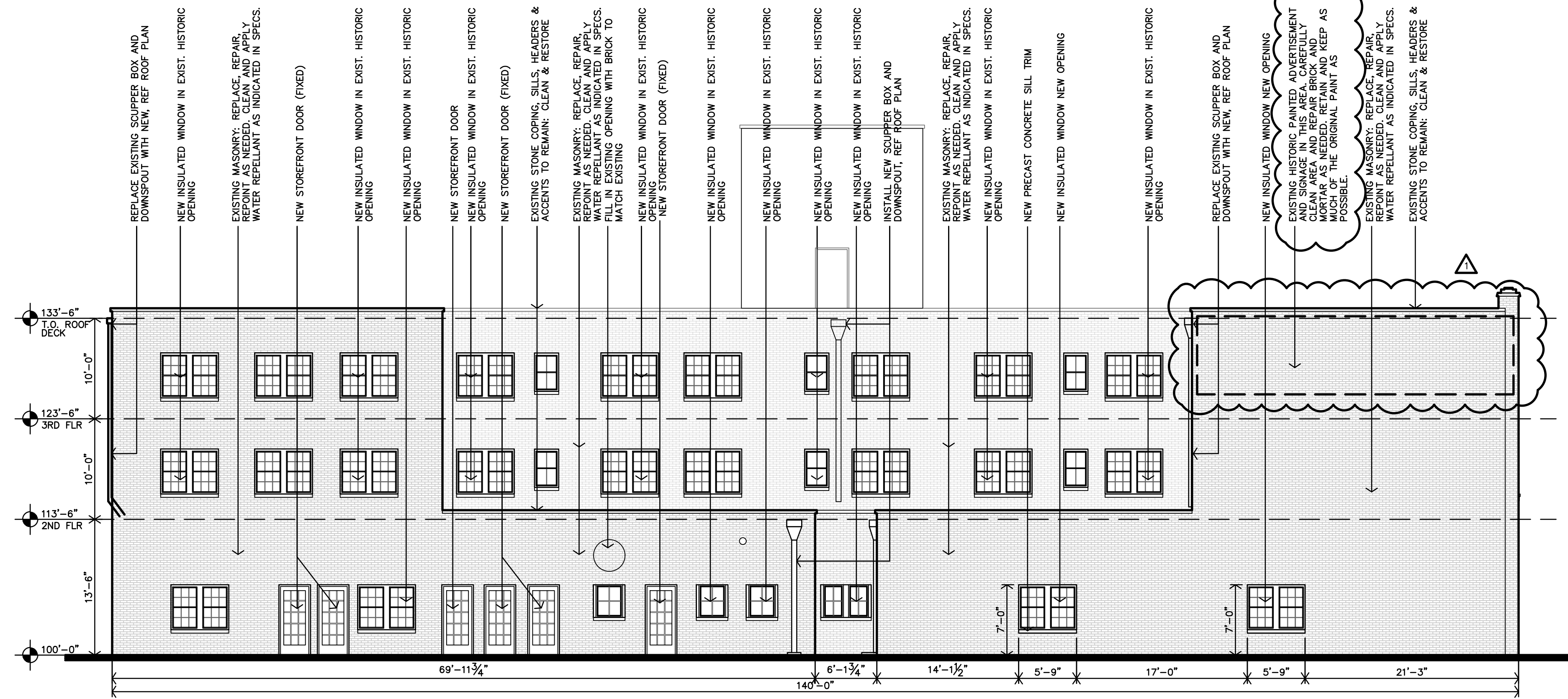
DATE: 1-16-2024
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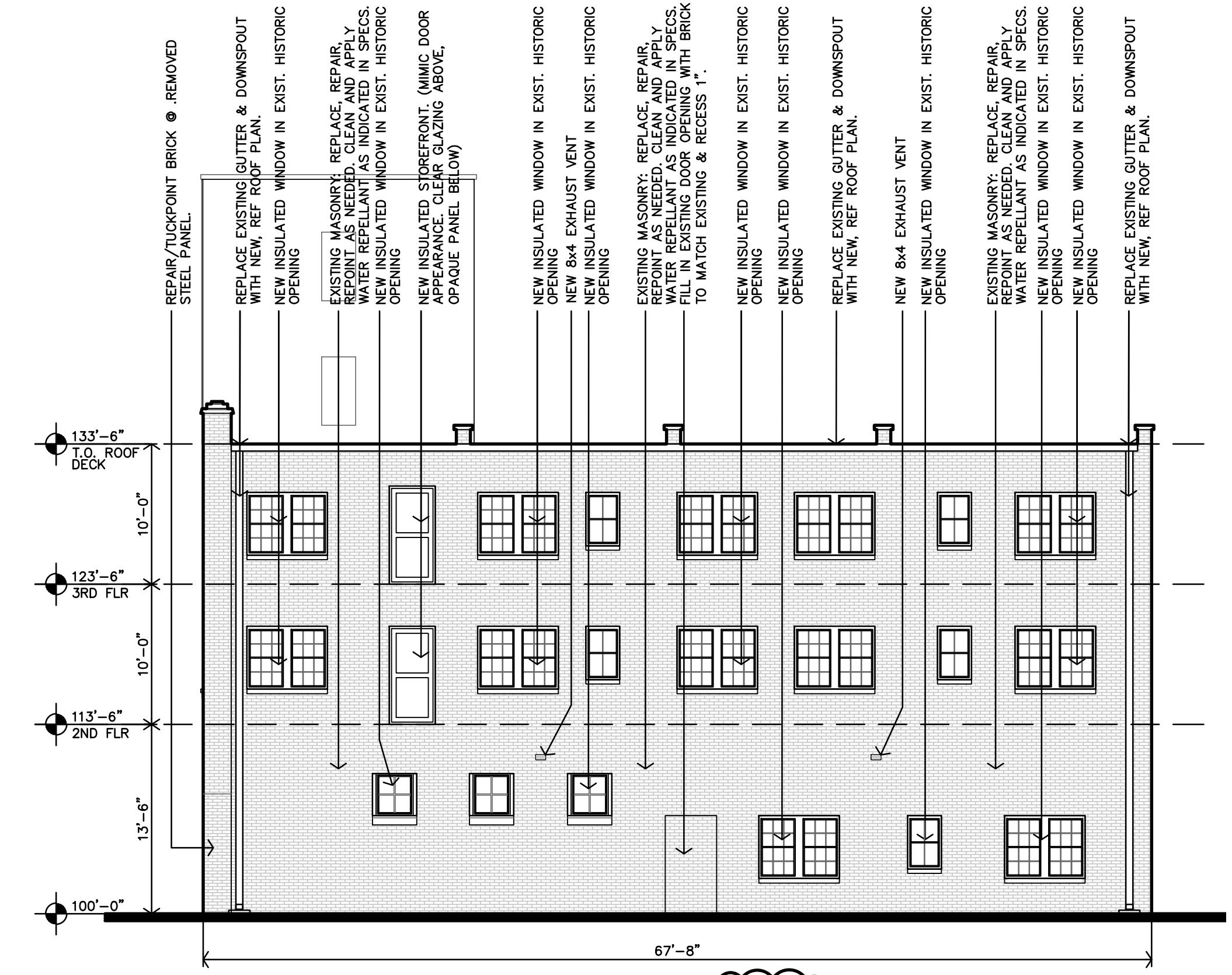


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compliance
5/30/2024

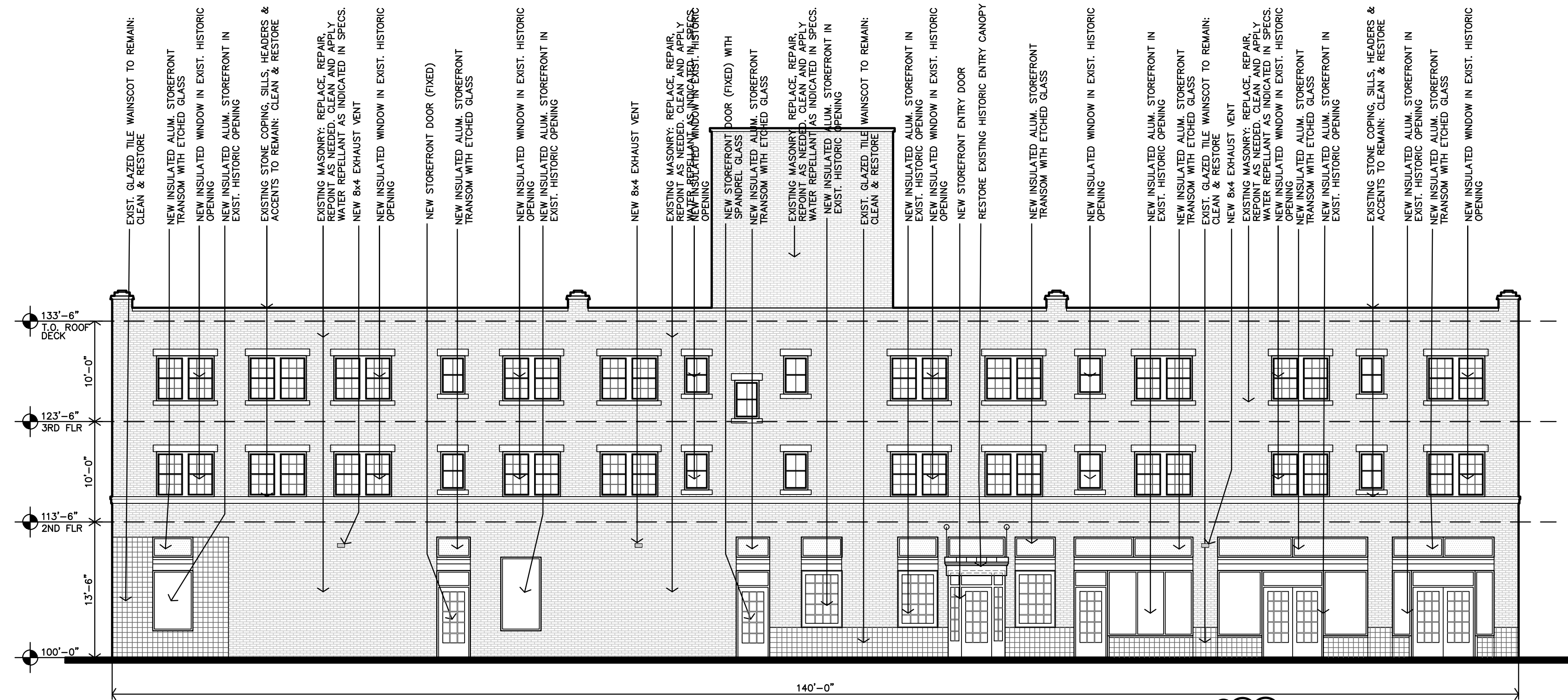
HISTORIC PRESERVATION AND
RESTORATION NOTES CAN BE
FOUND ON SHEET A3.2



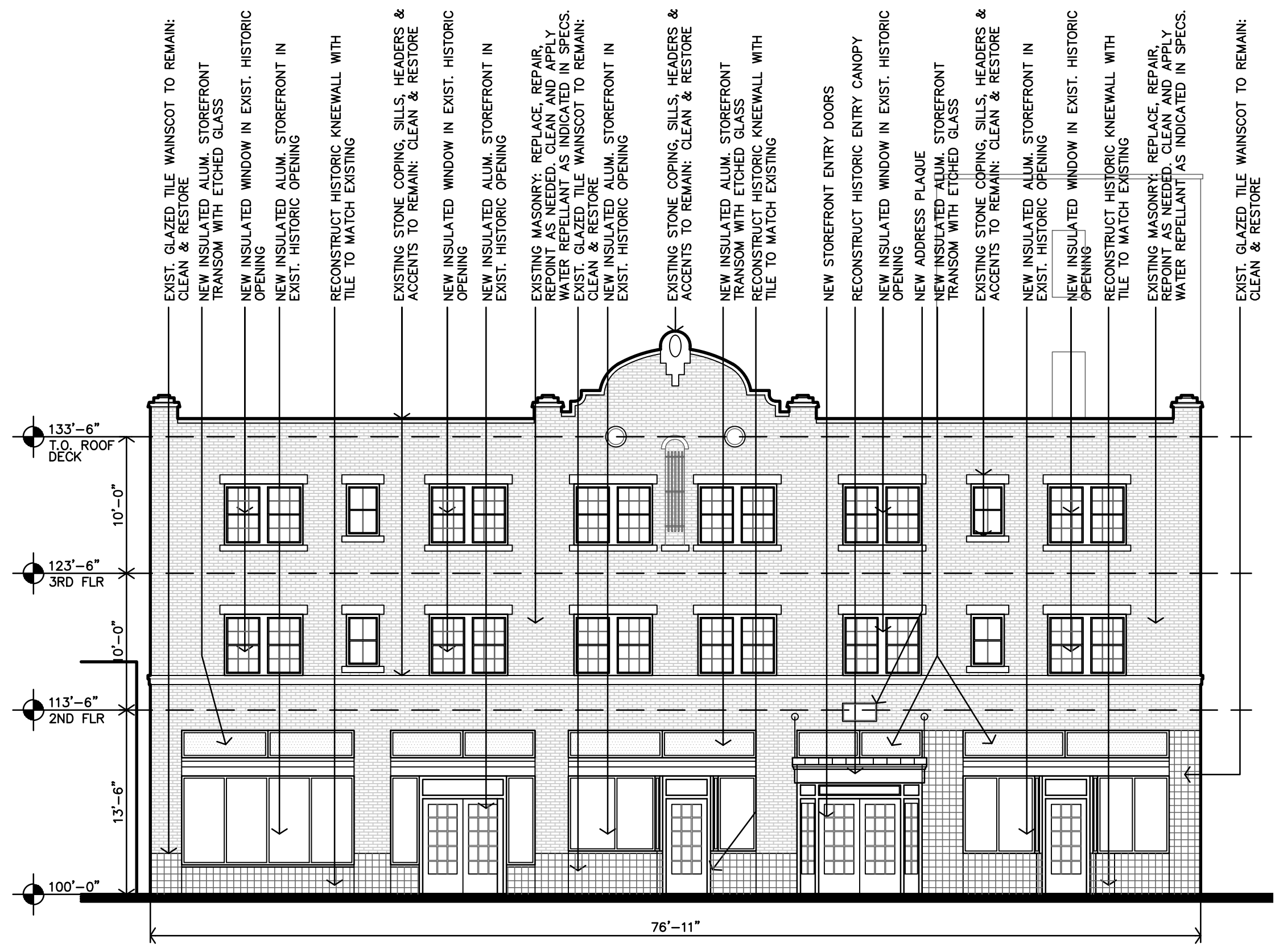
D PROPOSED
NORTH ELEVATION
1/8"=1'-0"



C PROPOSED
EAST ELEVATION
1/8"=1'-0"



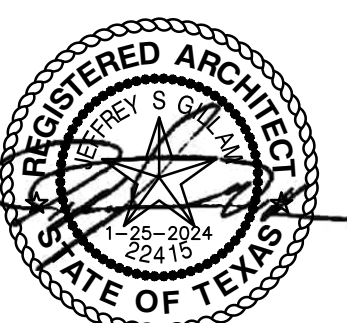
B PROPOSED
SOUTH ELEVATION
1/8"=1'-0"



A PROPOSED
WEST ELEVATION
1/8"=1'-0"

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION:
2-20-2024
DATE: 1-16-2024
JOB: 22-3281
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A3.1

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GENERAL NOTES REGARDING CLEANING, ASSESSING MASONRY
Reference Specifications & Preservation Briefs

IDENTIFY WHAT IS TO BE REMOVED
BP2-10000248
REVISION 01-2024
5/30/2024
The nature and source of dirt or soiling material on a building must be identified. Remove it in the gentlest means possible—that is, in the most conservative, yet least harmful, manner. Soot and smoke, for example, require a different cleaning agent to remove than oil stains or metallic stains. Other common cleaning problems include biological growth such as mold or mildew, and organic matter such as the tendrils left on masonry after removal of ivy.

CONSIDER THE PRACTICALITIES OF CLEANING OR PAINT REMOVAL
Some gypsum or sulfate crusts may have become integral with the stone and, if cleaning could result in removing some of the stone surface, it may be preferable not to clean. Even where unpainted masonry is appropriate, the retention of the paint may be more practical than removal in terms of long range preservation of the masonry. In some cases, however, removal of the paint may be desirable. For example, the old paint layers may have built up to such an extent that removal is necessary to ensure a sound surface to which the new paint will adhere.

STUDY THE MASONRY
Although not always necessary, in some instances it can be beneficial to have the coating or paint type, color, and layering on the masonry researched before attempting its removal. Analysis of the nature of the soiling or of the paint to be removed from the masonry, as well as guidance on the appropriate cleaning method, may be provided by professional consultants, including architectural conservators, conservation scientists, and preservation architects. The State Historic Preservation Office (SHPO), local historic district commissions, architectural review boards, and preservation-oriented websites may also be able to supply useful information on masonry cleaning techniques.

IDENTIFY PRIOR TREATMENTS
Previous treatments of the building and its surroundings should be researched and building maintenance records should be obtained, if available. Sometimes if streaked or spotty areas do not seem to get cleaner following an initial cleaning, closer inspection and analysis may be warranted. The discoloration may turn out not to be dirt but the remnant of a water-repellent coating applied long ago which has darkened the surface of the masonry over time. Successful removal may require testing several cleaning agents to find something that will dissolve and remove the coating. Complete removal may not always be possible. Repairs may have been stained to match a dirty building, and cleaning may make these differences apparent. De-icing salts used near the building that have dissolved can migrate into the masonry. Cleaning may draw the salts to the surface, where they will appear as efflorescence (a powdery, white substance), which may require a second treatment to be removed. Allowances for dealing with such unknown factors, any of which can be a potential problem, should be included when investigating cleaning methods and materials. Just as more than one kind of masonry on a historic building may necessitate multiple cleaning approaches, unknown conditions that are encountered may also require additional cleaning treatments.

CHOOSE THE APPROPRIATE CLEANER
The importance of testing cleaning methods and materials cannot be over emphasized. Applying the wrong cleaning agents to historic masonry can have disastrous results. Acidic cleaners can be extremely damaging to acid-sensitive stones, such as marble and limestone, resulting in etching and dissolution of these stones. Other kinds of masonry can also be damaged by incompatible cleaning agents, or even by cleaning agents that are usually compatible. There are also numerous kinds of sandstone, each with a considerably different geological composition. While an acid-based cleaner may be safely used on some sandstones, others are acid-sensitive and can be severely etched or dissolved by an acid cleaner. Some sandstones contain water-soluble minerals and can be eroded by water cleaning. And, even if the stone type is correctly identified, stones, as well as some bricks, may contain unexpected impurities, such as iron particles, that may react negatively with a particular cleaning agent and result in staining. Thorough understanding of the physical and chemical properties of the masonry will help avoid the inadvertent selection of damaging cleaning agents. Other building materials also may be affected by the cleaning process. Some chemicals, for example, may have a corrosive effect on paint or glass. The portions of building elements most vulnerable to deterioration may not be visible, such as embedded ends of iron window bars. Other totally unseen items, such as iron cramps or ties which hold the masonry to the structural frame, also may be subject to corrosion from the use of chemicals or even from plain water. The only way to prevent problems in these cases is to study the building construction in detail and evaluate proposed cleaning methods with this information in mind. However, due to the very likely possibility of encountering unknown factors, any cleaning project involving historic masonry should be viewed as unique to that particular building.

GENERAL NOTES, REGARDING TUCKPOINTING
Reference Specifications & Preservation Briefs

PROTECTION
Remove gutters and downspouts and associated hardware adjacent to masonry and prepare for replacement. Install new after tuckpointing is complete.
• Provide temporary rain drainage during work to direct water away from building.
• Protect windows, stairs, utilities, etc. during work.

REPOINTING MASONRY
Rake out and repoint joints to the following extent:
All joints in areas indicated, joints indicated to receive sealant-filled. Seal these joints according to Section 079200 "Joint Sealants."

- Joints at locations of the following defects:
- Holes and missing mortar.
 - Cracks that can be penetrated 1/4 inch (6 mm) or more by a knife blade 0.027 inch (0.7 mm) thick.
 - Cracks 1/16 inch (1.6 mm) or more in width and of any depth.
 - Hollow-sounding joints when tapped by metal object.
 - Eroded surfaces 1/4 inch (6 mm) or more deep.
 - Deterioration to point that mortar can be easily removed by hand, without tools.
 - Joints filled with substances other than mortar.

Do not rake out and repoint joints where not indicated, required or instructed. Rake out joints as follows, according to procedures demonstrated in approved mockup:

- Remove mortar from joints to 2 times joint width, but not less than 3/4 inch (20 mm) or not less than that required to expose sound, unweathered mortar. Do not remove unsound mortar more than 2 inches (50 mm) deep; consult Architect or Engineer for direction.
- Remove mortar from masonry surfaces within raked-out joints to provide reveals with square backs and to expose masonry for contact with pointing mortar. Brush, vacuum, or flush joints to remove dirt and loose debris.
- Do not spoil edges of masonry units or widen joints. Replace or patch damaged masonry units as directed by Architect.

Notify Architect of unforeseen detrimental conditions including voids in mortar joints, cracks, loose masonry units, rotted wood, rusted metal, and other deteriorated items.

POINTING WITH MORTAR

- Rinse joint surfaces with water to remove dust and mortar particles. Time rinsing application so, at time of pointing, joint surfaces are damp but free of standing water. If rinse water dries, dampen joint surfaces before pointing.
- Apply pointing mortar first to areas where existing mortar was removed to depths greater than surrounding areas. Apply in layers not greater than 3/8 inch (9 mm) until a uniform depth is formed. Fully compact each layer, and allow it to become thumbprint hard before applying next layer.
- After deep areas have been filled to same depth as remaining joints, point joints by placing mortar in layers not greater than 3/8 inch (9 mm). Fully compact each layer and allow to become thumbprint hard before applying next layer. Where existing masonry units have worn or rounded edges, slightly recess finished mortar surface below face of masonry to avoid widened joint faces. Take care not to spread mortar beyond joint edges onto exposed masonry surfaces or to feather edge the mortar.
- When mortar is thumbprint hard, tool joints to match original appearance of joints as demonstrated in approved mockup. Remove excess mortar from edge of joint by brushing.
- Cure mortar by maintaining in thoroughly damp condition for at least 72 consecutive hours, including weekends and holidays.

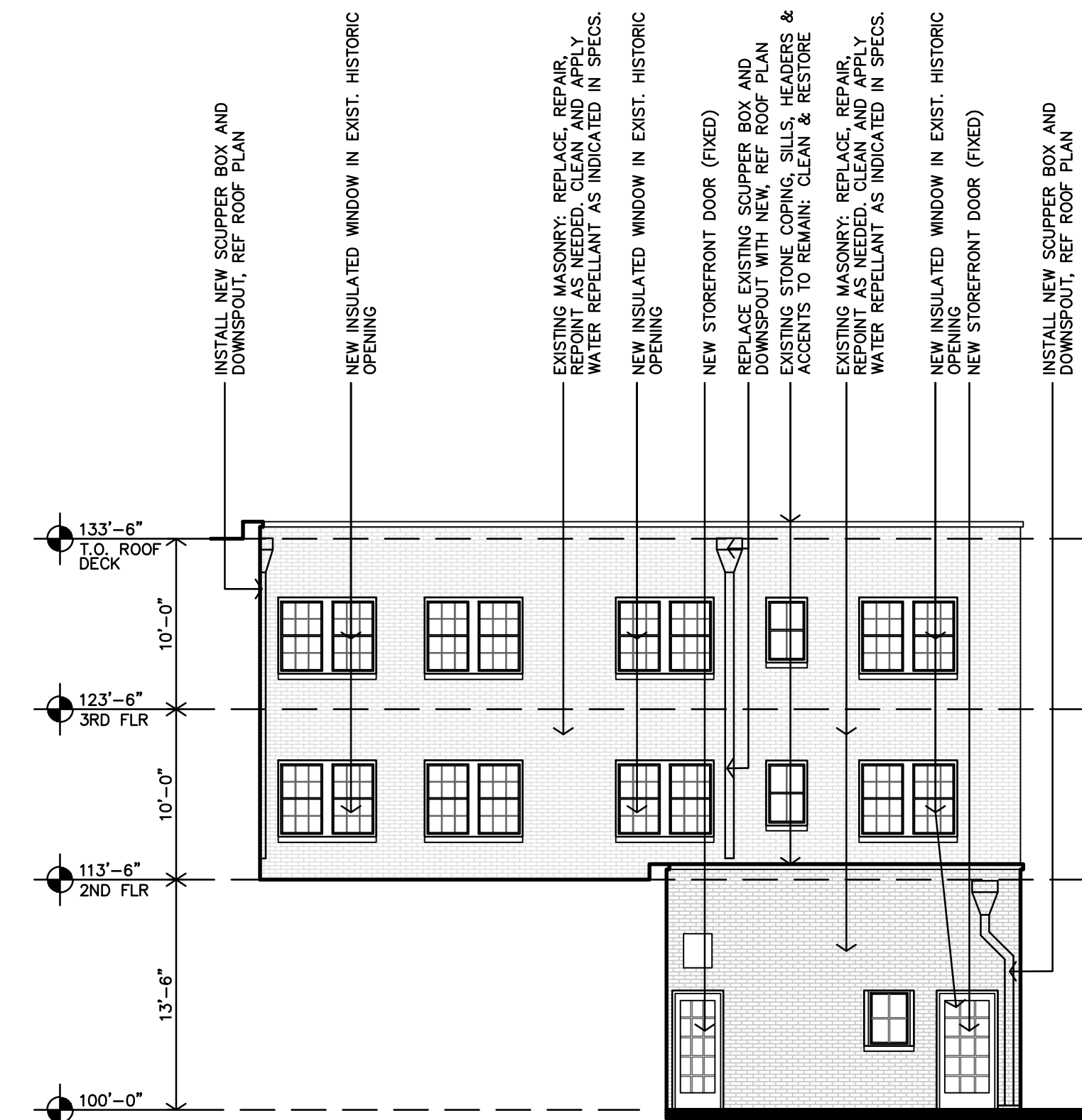
Hairline cracking within mortar or mortar separation at edge of a joint is unacceptable. Completely remove such mortar and repoint. Where repointing work precedes cleaning of existing masonry, allow mortar to harden at least 30 days before beginning cleaning work.

FINAL CLEANING
After mortar has fully hardened, thoroughly clean exposed masonry surfaces of excess mortar and foreign matter; use wood scrapers, stiff-nylon or -fiber brushes, and clean water, applied by low pressure spray.
• Do not use metal scrapers or brushes.
• Do not use acidic or alkaline cleaners.

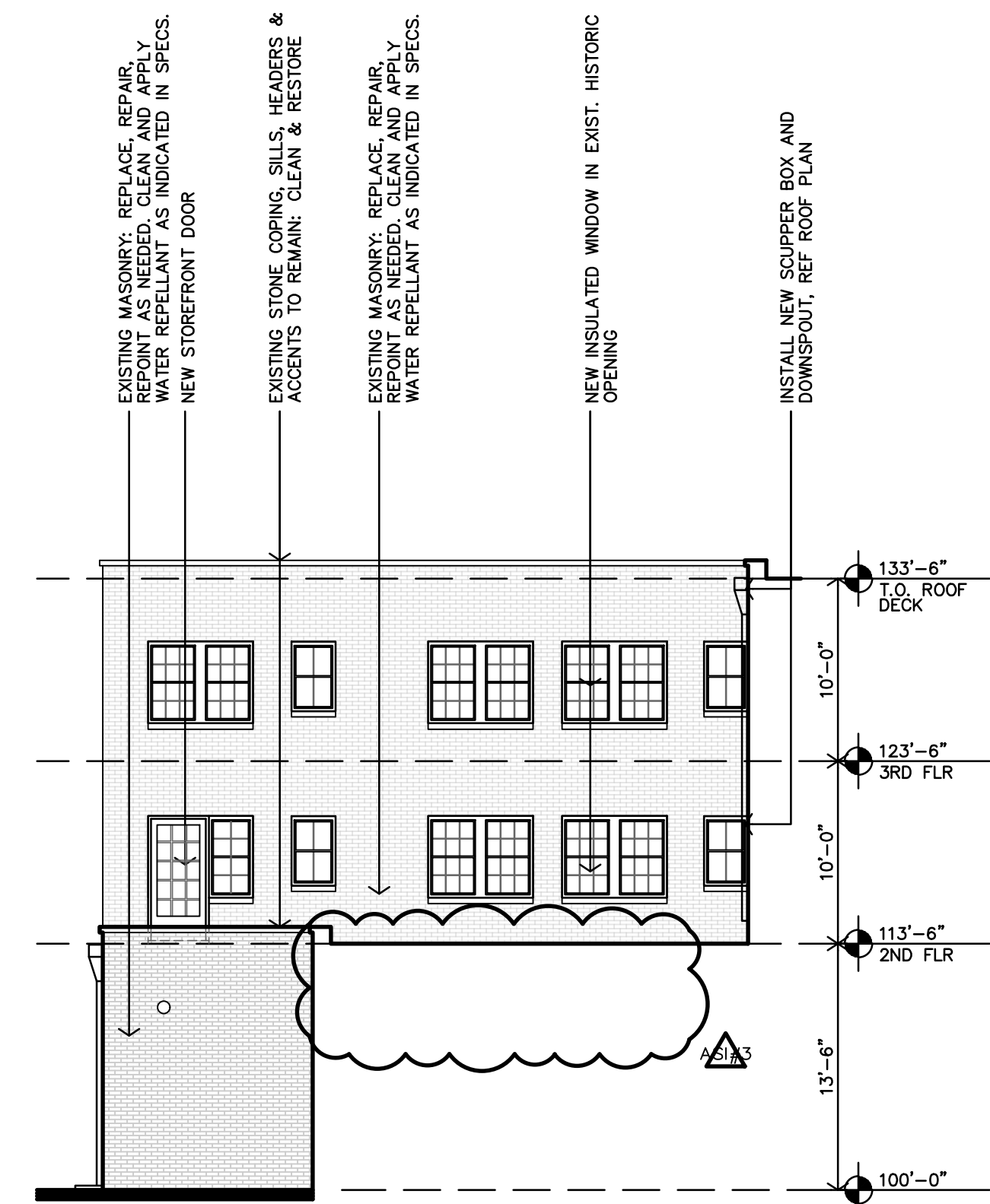
REMOVING GRAFFITI FROM HISTORIC MASONRY
Reference Specifications & Preservation Briefs

Removing graffiti as soon as it appears is the key to its elimination—and recurrence. Thus, the intent of this Preservation Brief is to help owners and managers of historic masonry structures find the best way to remove exterior, surface-applied graffiti* quickly, effectively, and safely. The Brief will discuss the variety of materials used to apply graffiti, and offer guidance on how to remove graffiti from all types of historic masonry without harming either the surface or the substrate. Suggestions will also be given regarding the use of physical barriers to protect masonry surfaces from graffiti, and the application of barrier coatings to facilitate graffiti removal. Building managers and owners of historic properties will be advised on the importance of being prepared for rapid graffiti removal by testing different cleaning techniques in advance in order to select the most appropriate and sensitive cleaning technique. Health and safety and environmental concerns are addressed, as well as regulatory matters. Removing graffiti without causing damage to historic masonry is a job for trained maintenance crews, and in some cases, professional conservators, and generally should not be attempted by untrained workers, property owners or building managers. Although the focus of this Preservation Brief is on historic masonry, the same guidance may be applied equally to removing graffiti from non-historic masonry.

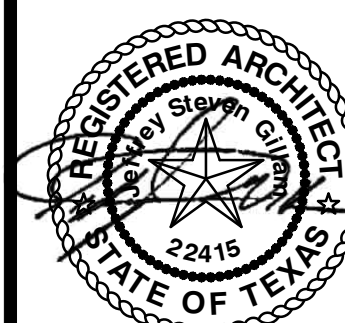
Preservation Brief 38 includes information regarding removing graffiti, means and methods, testing, protection, and other information. Reference entire brief for direction on how to safely remove graffiti from brick and stone (both exterior and interior)



B PROPOSED EAST ELEVATION
1/8"=1'-0"



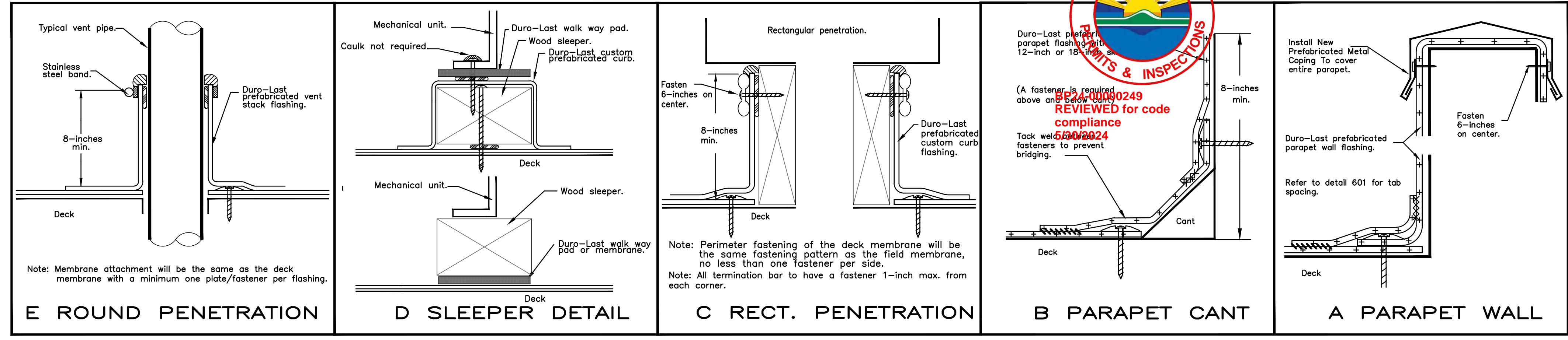
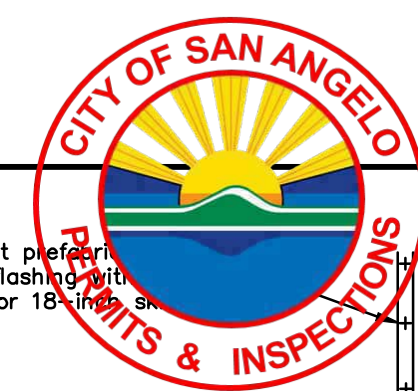
A PROPOSED WEST ELEVATION
1/8"=1'-0"



REVISION:

1	2-20-2024
2	5-8-2024

DATE: 1-16-2024
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GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING. CONTACT ARCHITECT IMMEDIATELY W/ ANY DISCREPANCIES.
- ROOFING INSTALLATION: MANUFACTURER'S DETAILS ARE GENERIC/GENERAL. CONTRACTOR SHALL COMPLY TO SPECIFICATIONS, MANUFACTURER'S DETAILS & RECOMMENDATIONS & THOSE RECOMMENDED BY NRCA'S "THE ROOFING & WATERPROOFING MANUAL."
- CONTRACTOR MUST COMPLY W/ ALL STATE & LOCAL CODES & REGULATIONS.
- CONTRACTOR TO REPLACE ALL EXISTING VENT BOOTS EXISTING VENTS & FLASHINGS TO REMAIN. PROTECT DURING CONSTRUCTION.
- CAULK & SEAL WATER TIGHT ALL JOINTS & TRANSITIONS.
- DIMENSIONS ON ROOF PLAN REFLECT DIMENSIONS PARALLEL WITH FLOOR PLANE. ACTUAL ROOF AREA IS LARGER DUE TO ROOF SLOPE.
- ALL METAL MATERIALS (I.E. FLASHINGS, ETC...) SHALL BE .0217" (26 GA.) THICK PREFINISHED GALVANIZED OR ALUM. ZINC ALLOY. ALL FASTENERS MUST BE COMPATIBLE WITH ASSOCIATED METALS/MATERIALS. METALS MUST BE INSTALLED PER SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL."
- EXISTING ROOFING MUST BE REMOVED, INSPECT AND REPAIR DAMAGED DECKING PRIOR TO PROCEEDING WITH NEW ROOF ASSEMBLY.

LEGEND

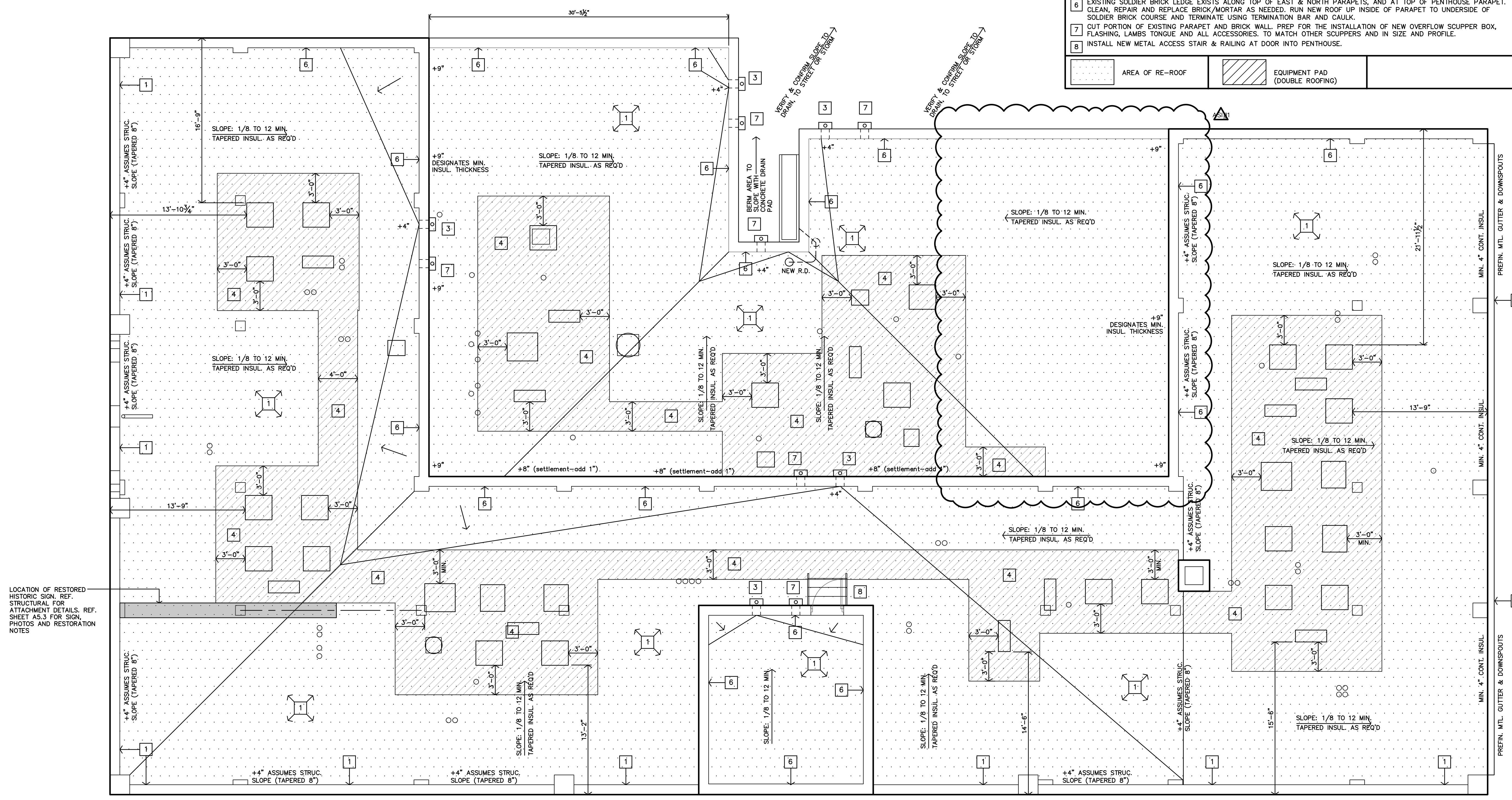
- REMOVE EXISTING ROOFING ASSEMBLY, COVER BOARDS, INSULATION, RELATED ITEMS & MATERIALS. MECHANICALLY ATTACH NEW 60-MIL PVC ROOF MEMBRANE OVER 5/8" DENS DECK, 4.0" MIN. POLYSTYRENE RIGID INSULATION (MIN. R-25ci PER 2021 IECC), & TAPERED INSULATION WHERE REQ'D FOR 1/8" PER FT SLOPE, OVER VAPOR BARRIER, 1/2" COVER BOARD. PROVIDE ALL NEW TERMINATION BARS, FLASHINGS, SEALANT, & CAULKING. ENTIRE ROOF ASSEMBLY SHALL BE PROVIDED AND INSTALLED AS REQUIRED & RECOMMENDED BY MANUFACTURER FOR A 20-YEAR FULL COVERAGE WARRANTY.
- NEW 60-MIL PVC ROOF MEMBRANE OVER 1/2" COVER BD., 1.0" MIN. POLYSTYRENE TAPERED INSULATION, FOR 1/8" PER FT SLOPE, OVER VAPOR BARRIER, PROVIDE ALL NEW TERMINATION BARS, FLASHINGS, SEALANT, & CAULKING. ENTIRE ROOF ASSEMBLY SHALL BE PROVIDED AND INSTALLED AS REQUIRED & RECOMMENDED BY MANUFACTURER FOR A 20-YEAR FULL COVERAGE WARRANTY.
- EXISTING GUTTERS, SCUPPERS & DOWNSPOUTS TO BE REMOVED & REPLACED WITH NEW, SAME SIZE & SHAPE
- REMOVE EXISTING SCUPPERS, DOWNSPOUTS, PANS, THRU WALL FLASHING, ETC. REPLACE WITH NEW METAL SCUPPER BOX, DOWNSPOUT AND FLASHING PER ROOF MANUFACTURER
- AT ALL ROOF TOP EQUIPMENT INSTALL WALK OR TRAFFIC MEMBRANE AROUND.
- EXISTING DECORATIVE STONE COPING EXISTS ALONG TOP OF WEST & SOUTH PARAPET. CLEAN, REPAIR AND REPLACE AS NEEDED. RUN NEW ROOF UP INSIDE OF PARAPET TO UNDERSIDE OF COPING AND TERMINATE USING TERMINATION BAR AND CAULK.
- EXISTING SOLDIER BRICK LEDGE EXISTS ALONG TOP OF EAST & NORTH PARAPETS, AND AT TOP OF PENTHOUSE PARAPET. CLEAN, REPAIR AND REPLACE BRICK/MORTAR AS NEEDED. RUN NEW ROOF UP INSIDE OF PARAPET TO UNDERSIDE OF SOLDIER BRICK COURSE, AND TERMINATE USING TERMINATION BAR AND CAULK.
- CUT PORTION OF EXISTING PARAPET AND BRICK WALL. PREP FOR THE INSTALLATION OF NEW OVERFLOW SCUPPER BOX, FLASHING, LAMBS TONGUE AND ALL ACCESSORIES. TO MATCH OTHER SCUPPERS AND IN SIZE AND PROFILE.
- INSTALL NEW METAL ACCESS STAIR & RAILING AT DOOR INTO PENTHOUSE.

AREA OF RE-ROOF EQUIPMENT PAD (DOUBLE ROOFING)

MANUFACTURER'S-ROOFING DETAILS, CONDITIONS VARY

- TYPICAL MANUFACTURER'S DETAILS ACTUAL CONDITIONS MAY VARY. REFER AND COORDINATE W/ BUILDING DETAILS PROVIDING THE MANUFACTURER'S MOST STRINGENT REQUIREMENTS, RECOMMENDATIONS, NECESSARY TO ACHIEVE COMPLETE WATER TIGHT WARRANTY.
- A WOOD NAILER IS REQUIRED WHEN INSULATION IS GREATER THAN 1" COORDINATE WITH MANUFACTURER'S REQUIREMENTS TOP OF WOOD ATTACH WOOD NAILERS SHALL BE SPACED NO GREATER THAN 18" O.C.

B MANUFACTURES DETAILS
NO SCALE



LOCATION OF RESTORED HISTORIC SIGN. REF. STRUCTURAL FOR ATTACHMENT DETAILS. REF. SHEET A5.3 FOR SIGN, PHOTOS AND RESTORATION NOTES

A ROOF PLAN
3/16"=1'-0"

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



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SHEET HAS BEEN ELIMINATED

Tile Tech Inc.
 PERIMETER EDGE RESTRAINT OPTIONS
 STEP-DOWN AND GREEN ROOF CONTAINMENT DETAILS

STEP-DOWN CONTAINMENT

GREEN ROOF CONTAINMENT

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
 1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH TILE TECH INC PRODUCT SPECIFICATIONS.
 2. DRAWING NOT TO SCALE.
 3. USE OF BUFFER PADS IS MANDATORY.
 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECHPAVERS.com

8 PERIMETER EDGE RESTRAINT OPT. DETAIL NTS

Tile Tech Inc.
 1 E LOW HEIGHT PEDESTAL APPLICATION
 ENLARGED PLAN VIEW & SECTION DETAILS

ENLARGED PLAN VIEW

LOW HEIGHT PEDESTAL APPLICATION - SECTION DETAILS

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6 LOW HEIGHT PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
 1 A THRESHOLD PEDESTAL APPLICATION
 ENLARGED PLAN VIEW & SECTION DETAILS

ENLARGED PLAN VIEW

THRESHOLD PEDESTAL APPLICATION - SECTION DETAILS

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4 THRESHOLD PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
 1 SAMPLE DECK LAYOUT
 OVERVIEW OF PEDESTAL PLACEMENT

SEE ENLARGED SECTION PLANS:

- DOOR THRESHOLD PEDESTAL PLACEMENT
- RADIUS PERIMETER PEDESTAL PLACEMENT
- CORNER PERIMETER PEDESTAL PLACEMENT
- DIAGONAL PERIMETER PEDESTAL PLACEMENT
- LOW THRESHOLD PEDESTAL PLACEMENT
- ROOF DRAIN PEDESTAL PLACEMENT

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2 SAMPLE DECK LAYOUT DETAIL NTS

Tile Tech Inc.
 2 STEP-DOWN PEDESTAL APPLICATION
 STEP-DOWN PEDESTAL APPLICATION SECTION DETAILS

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9 STEP-DOWN PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
 1 F DRAIN PEDESTAL APPLICATION
 ENLARGED PLAN VIEW & SECTION DETAILS

ENLARGED PLAN VIEW

DRAIN PEDESTAL APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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7 DRAIN PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
 1 C CORNER PEDESTAL APPLICATION
 ENLARGED PLAN VIEW & SECTION DETAILS

ENLARGED PLAN VIEW

CORNER PEDESTAL APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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5 CORNER PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
 2 SAMPLE INITIAL INSTALLATION
 USING "T" SHAPED PATTERN

DETERMINE CAVITY HEIGHT AT ALL THRESHOLDS, DRAINS AND HIGH POINTS. DEDUCT THE THICKNESS OF THE PAVERS FROM THE MEASURED DISTANCE BETWEEN THE TOP OF THE MEMBRANE AND THE TOP OF THE PAVERS TO DETERMINE THE PEDESTAL HEIGHT NEEDED FOR EACH LOCATION. USE A LASER LEVEL TO MARK THE TOP OF PEDESTAL ELEVATION AROUND THE DECK. PLAN PAVES & PEDESTAL LAYOUT PATTERN BEFORE STARTING. BY MARKING GUIDELINES ON THE ROOF IF NEEDED. USING THE GUIDELINES INSTALL A "T" SHAPED PORTION OF THE NEW DECK STARTING FROM THE THRESHOLD OR HIGH POINT. PAVERS ON BOTH ROWS OF THE "T" SHOULD BE ADJUSTED TO THE CORRECT HEIGHT AND LEVELLED BEFORE PROCEEDING. INSTALLATION ON ALL SIDES OF THE "T" CAN THEN PROCEED AT THE SAME TIME.

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
 1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH TILE TECH INC PRODUCT SPECIFICATIONS.
 2. DRAWING NOT TO SCALE.
 3. USE OF BUFFER PADS IS MANDATORY.
 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECHPAVERS.com

3 SAMPLE INITIAL INST. DETAIL NTS

Tile Tech Inc.
 BASE SLOPE PLATE
 BASE SLOPE ADJUSTMENT FROM 0" TO 1" (0-8%) PER FOOT SLOPE.

FOR BASE LEVELING, BASE SLOPE PLATES (BSP) CAN BE STACKED UNDER UNI-BASE AND EACH PLATE COMPENSATES FOR 1/4" PER FOOT (2%) SLOPE AND ADDS 3/8" TO THE OVERALL HEIGHT OF PEDESTAL. A MAXIMUM OF FOUR PLATES MAY BE STACKED BELOW A PEDESTAL IN ORDER TO COMPENSATE FOR UP TO 1" PER FOOT (8%) SLOPE. ALWAYS USE A BUFFER PAD UNDER COMPLETE PEDESTAL ASSEMBLY.

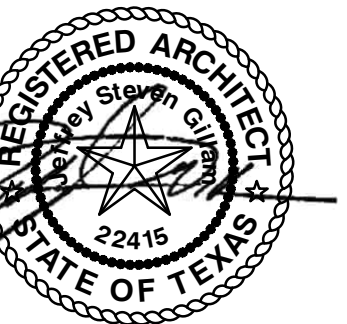
BASE SLOPE PLATE APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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 2. DRAWING NOT TO SCALE.
 3. USE OF BUFFER PADS IS MANDATORY.
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1 BASE SLOPE PLATE DETAIL NTS

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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



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PHOTO EXISTING SIGN CONDITION
 N.T.S.



PHOTO EXISTING SIGN CONDITION
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PHOTO EXISTING SIGN CONDITION
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PHOTO EXISTING SIGN CONDITION
 N.T.S.

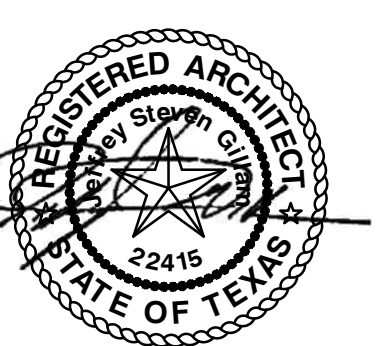
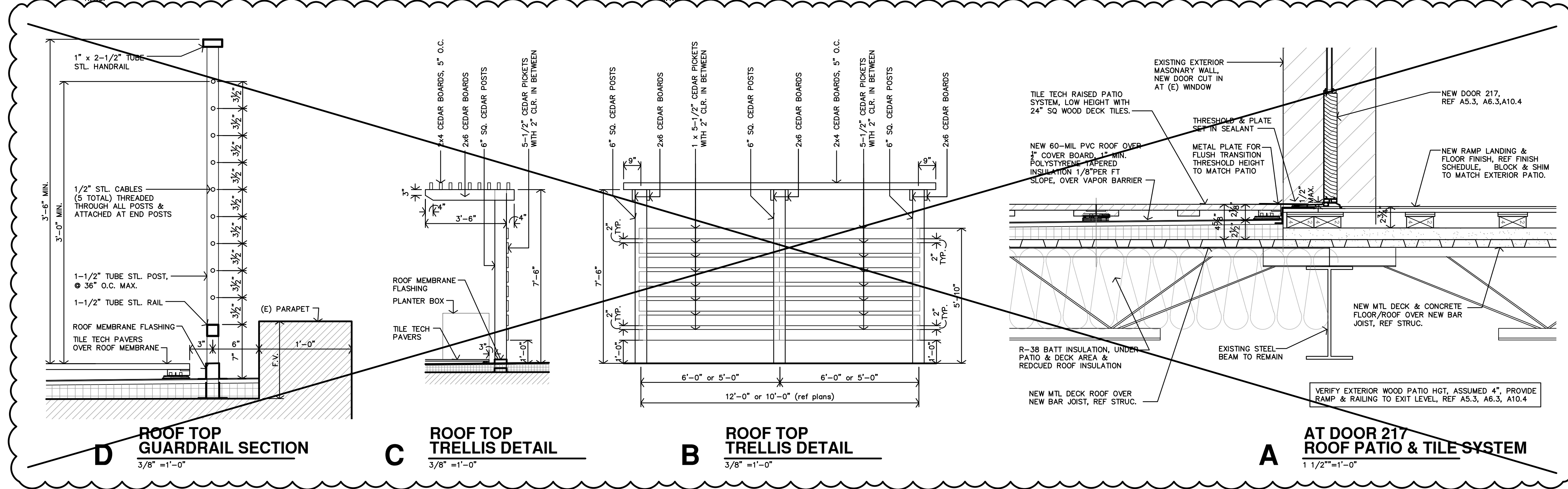


PHOTO EXISTING SIGN CONDITION
 N.T.S.



HISTORIC PHOTO ORIGINAL SIGN LOCATION
 N.T.S.

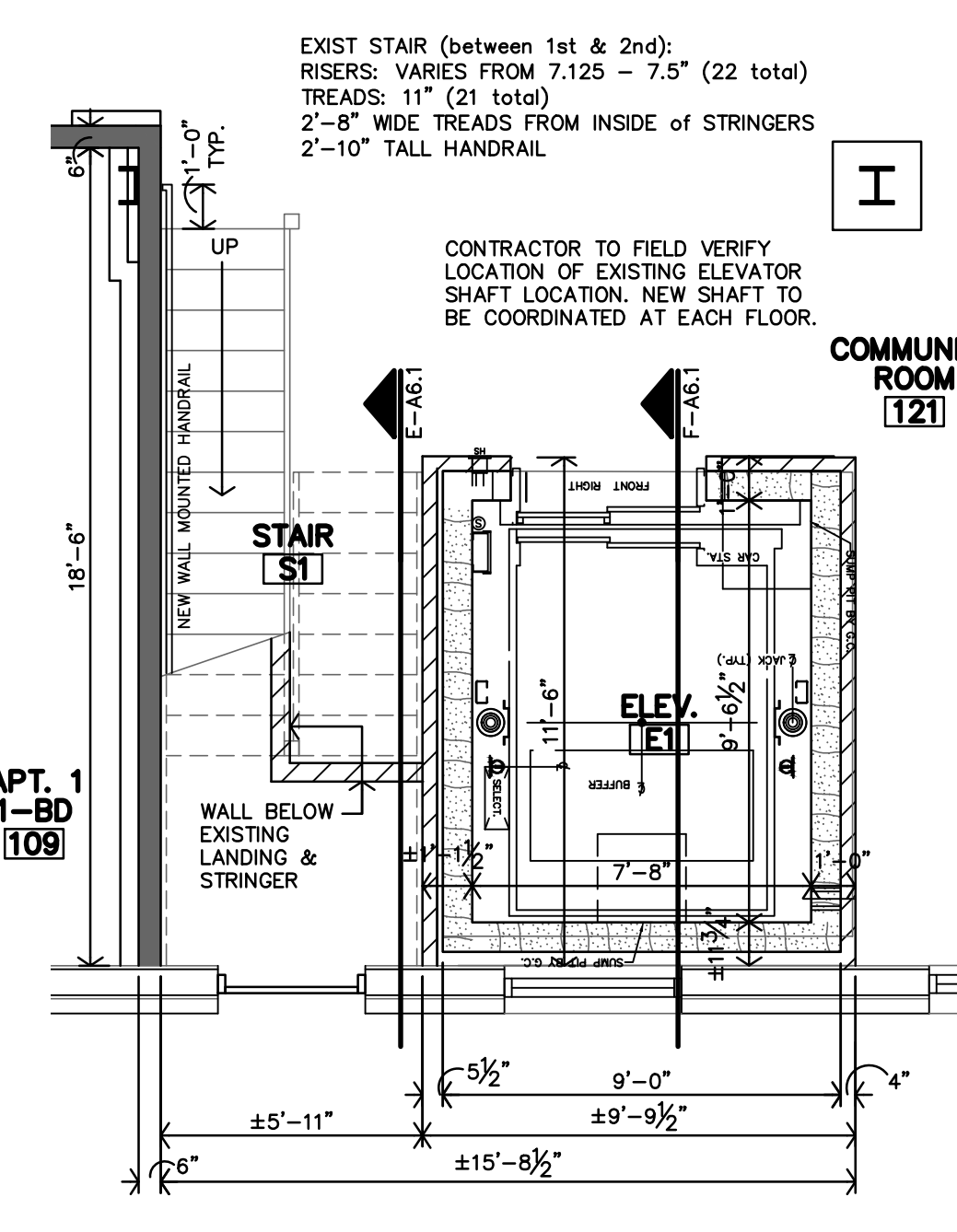
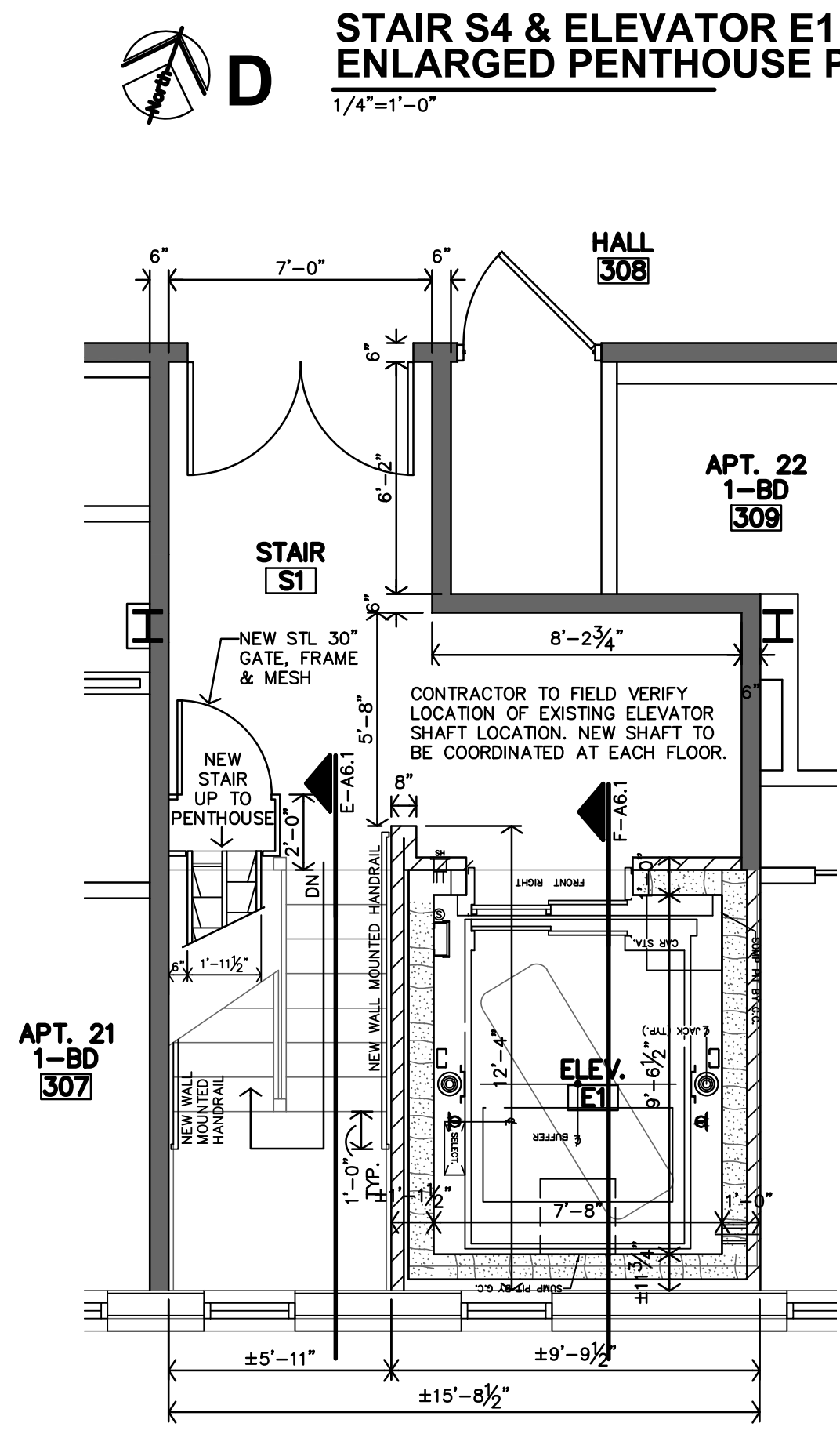
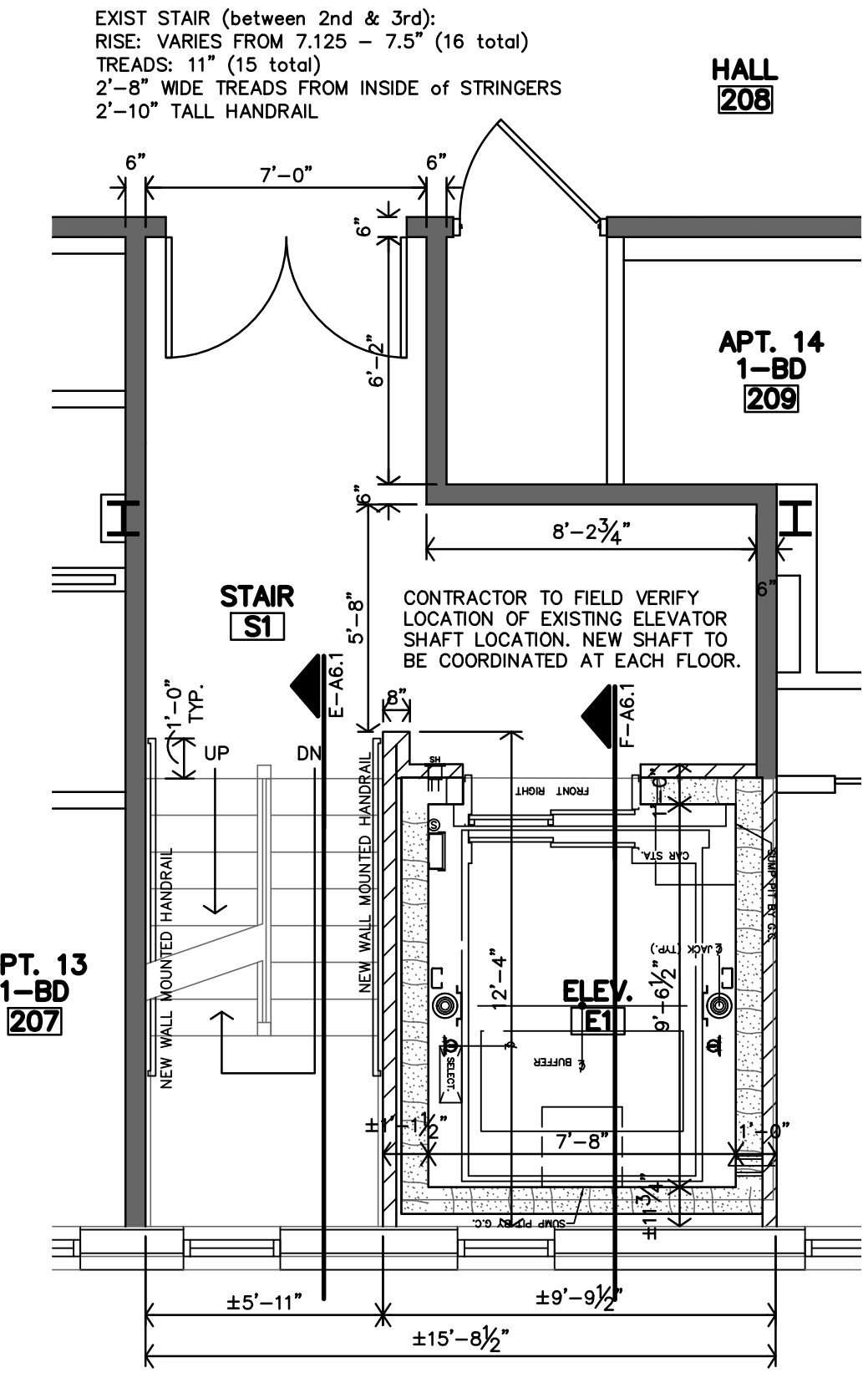
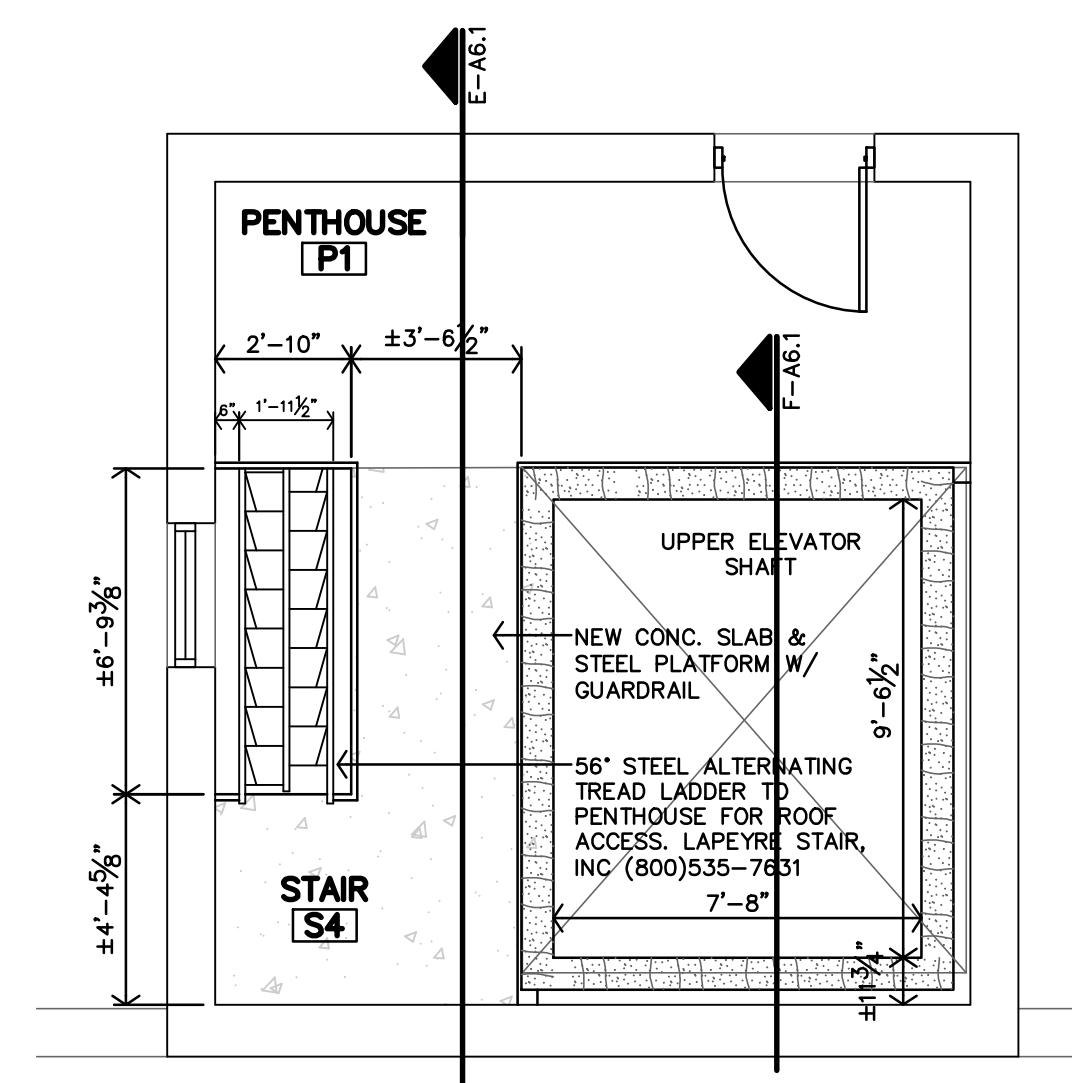
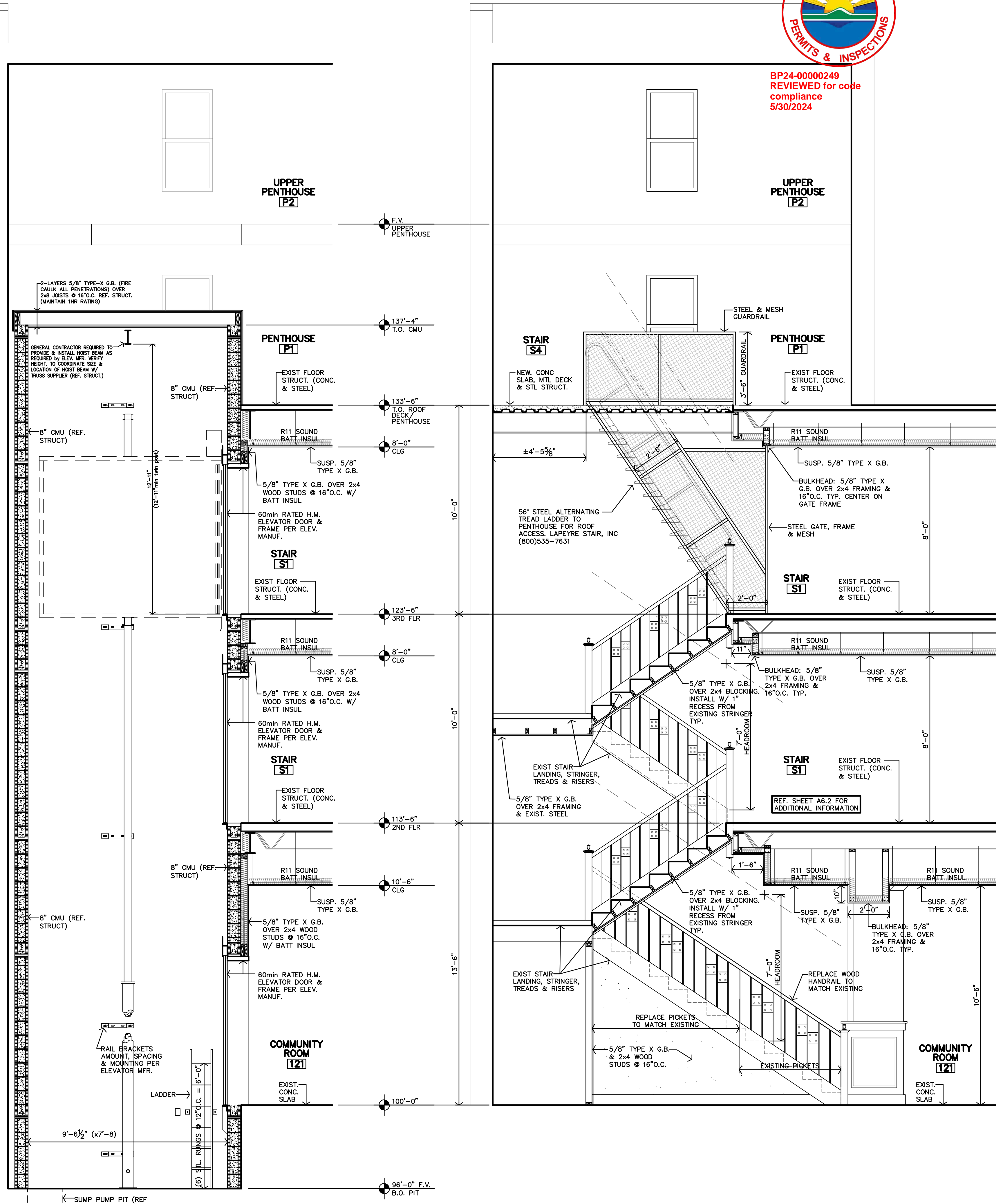
- HISTORIC ROOFTOP SIGN NOTES**
1. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING. CONTACT ARCHITECT IMMEDIATELY W/ ANY DISCREPANCIES.
 2. SIGN IS BEING STORED AT H&S RENTAL & SERVICES (ph: 325-245-7517), 818 LAKE VIEW HEROS DRIVE, SAN ANGELO, TEXAS, 76903.
 3. SIGN IS APPROXIMATELY 16'-0" TALL BY 22'-0" WIDE AND MOST CONSTRUCTION CONSISTS OF ANGLE IRON AND SHEET METAL. CONTRACTOR TO FIELD VERIFY MEASUREMENTS, CONSTRUCTION AND CONDITION.
 4. SIGN IS TO BE RELOCATED BACK TO SITE, RESTORED AND REINSTALLED ON TOP OF ROOF AS SHOWN ON SHEET A5.1.
 5. SIGN COMPONENTS, ACCESSORIES, STRUCTURAL ELEMENTS, ETC. ARE TO BE REPLACED, REPAIRED AND RESTORED AS NECESSARY FOR STRUCTURAL STABILITY AND COMPLETE SIGN RESTORATION.
 6. REMOVE ANY AND ALL EXISTING LIGHTING AND NEON COMPONENTS REMAINING ON THE SIGN.
 7. REMOVE 'HOTEL' 3-D BOX LETTERS. STRUCTURAL STRUTS AND SUPPORTS TO REMAIN AND PREPARED FOR THE INSTALLATION OF NEW LETTERS.
 8. INSTALL NEW 'LOFTS' STEEL PLATE LETTERS IN PLACE OF THE 'HOTEL' LETTERS. SIZE AND FONT OF LETTERS TO BE SIMILAR TO EXISTING.
 9. ATTACHMENT DETAILS CAN BE FOUND ON STRUCTURAL DRAWINGS.
 10. ENTIRE SIGN TO BE REPAINTED. PAINT COLORS ARE TO BE SIMILAR TO EXISTING.



REVISION:
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:



BP24-0000249
 REVIEWED for code
 compliance
 5/30/2024



F ELEVATOR SECTION
 3/8"=1'-0"

E STAIR S1 SECTION
 3/8"=1'-0"

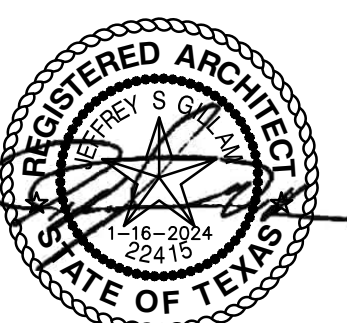
C STAIR S1/S4 & ELEVATOR E1 ENLARGED 3RD FLR. PLAN
 1/4"=1'-0"

A STAIR S1 & ELEVATOR E1 ENLARGED FIRST FLR. PLAN
 1/4"=1'-0"

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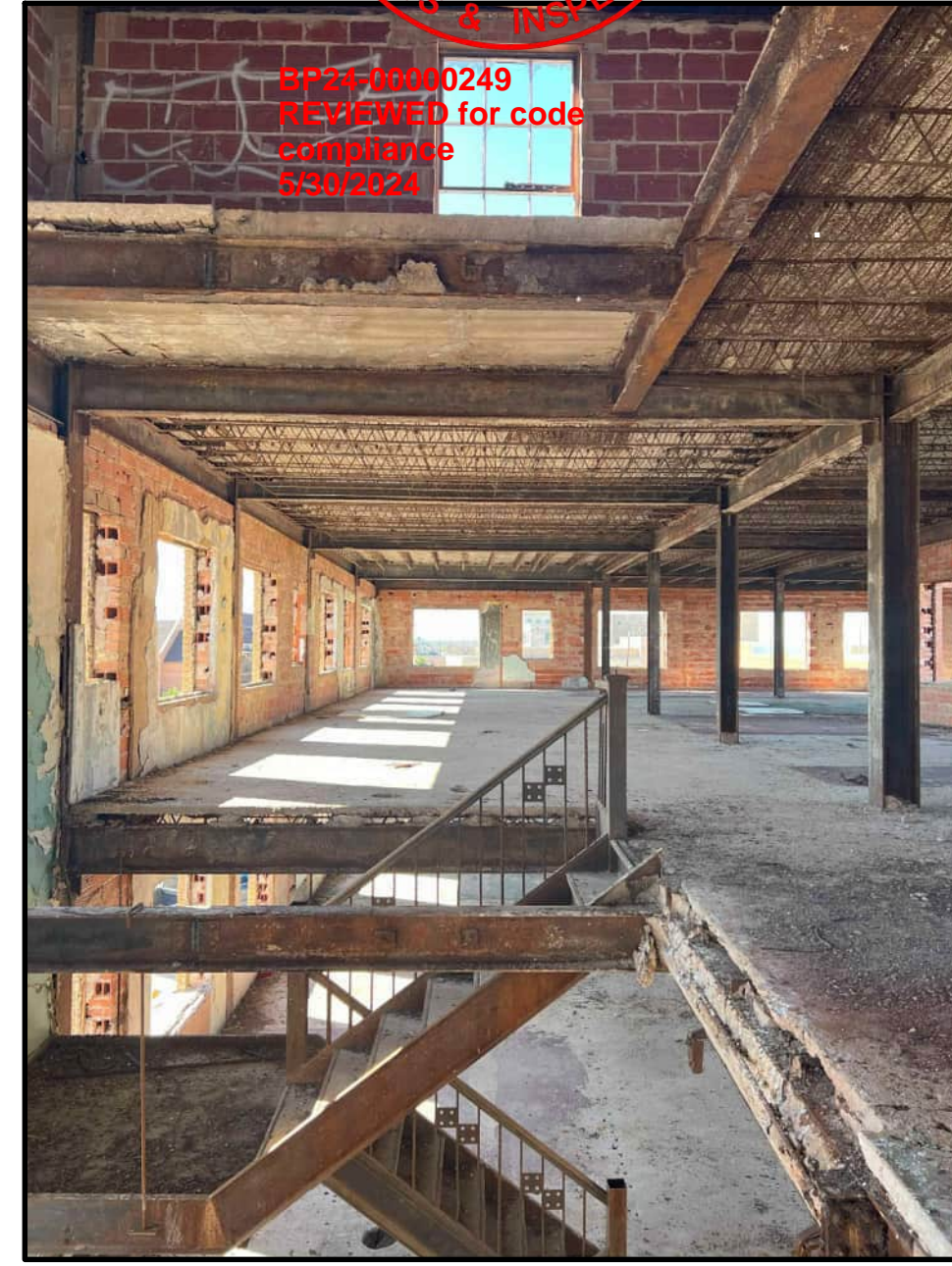
ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



REVISION:
 DATE: 1-16-2024
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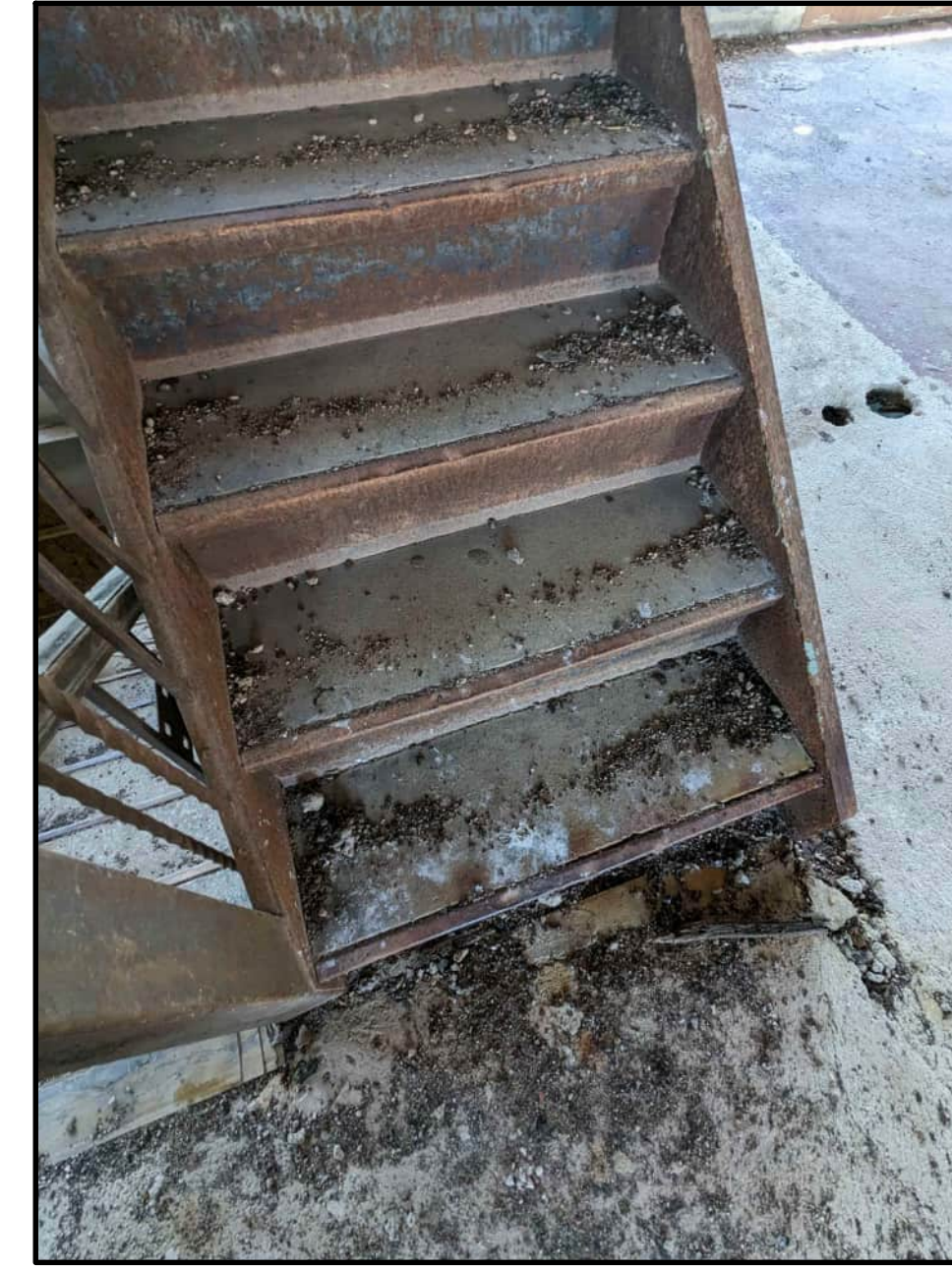
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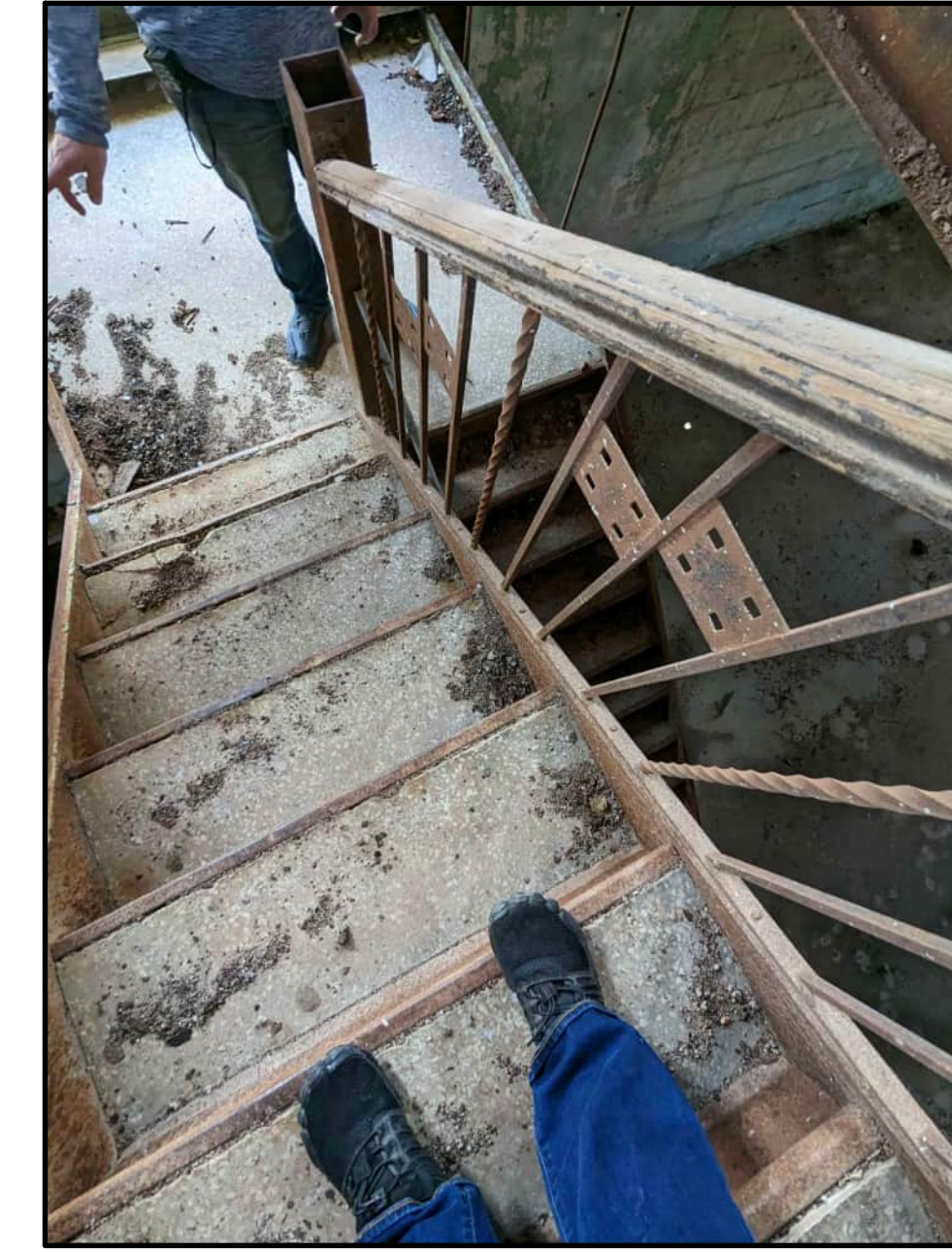
1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING CONCRETE STAIR TREADS AND LANDING. FILL HOLES AND GAPS. CLEAN AND SEAL.
3. RAILINGS: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATIVE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
5. METAL POSTS AT LANDINGS: REPAIR AS NEEDED. CLEAN & PAINT BLACK.
6. REPLACE MISSING METAL POST TOPPERS (TO MATCH EXISTING). CLEAN AND REPAIR EXISTING POST TOPPERS. PAINT. COLOR TBD.
7. RAIL AT TOP OF STAIR: REMOVE, PREP FOR INSTALLATION NEW STAIR TO PENTHOUSE.

H PHOTO STAIR S1 - 3RD FLOOR
1/4"=1'-0"



1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING TERRAZZO STAIR TREADS AND LANDING. FILL HOLES AND GAPS. CLEAN AND SEAL.
3. RAILINGS: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATIVE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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7. NEW FIRE-RATED WALLS TO BE INSTALLED ALONG WEST SIDE AND EAST SIDE OF STAIR. INSTALL NEW WALL MOUNTED HANDRAILS, WOOD STAIN TO MATCH EXISTING HANDRAIL.

G PHOTO STAIR S1 - 2ND FLOOR
1/4"=1'-0"



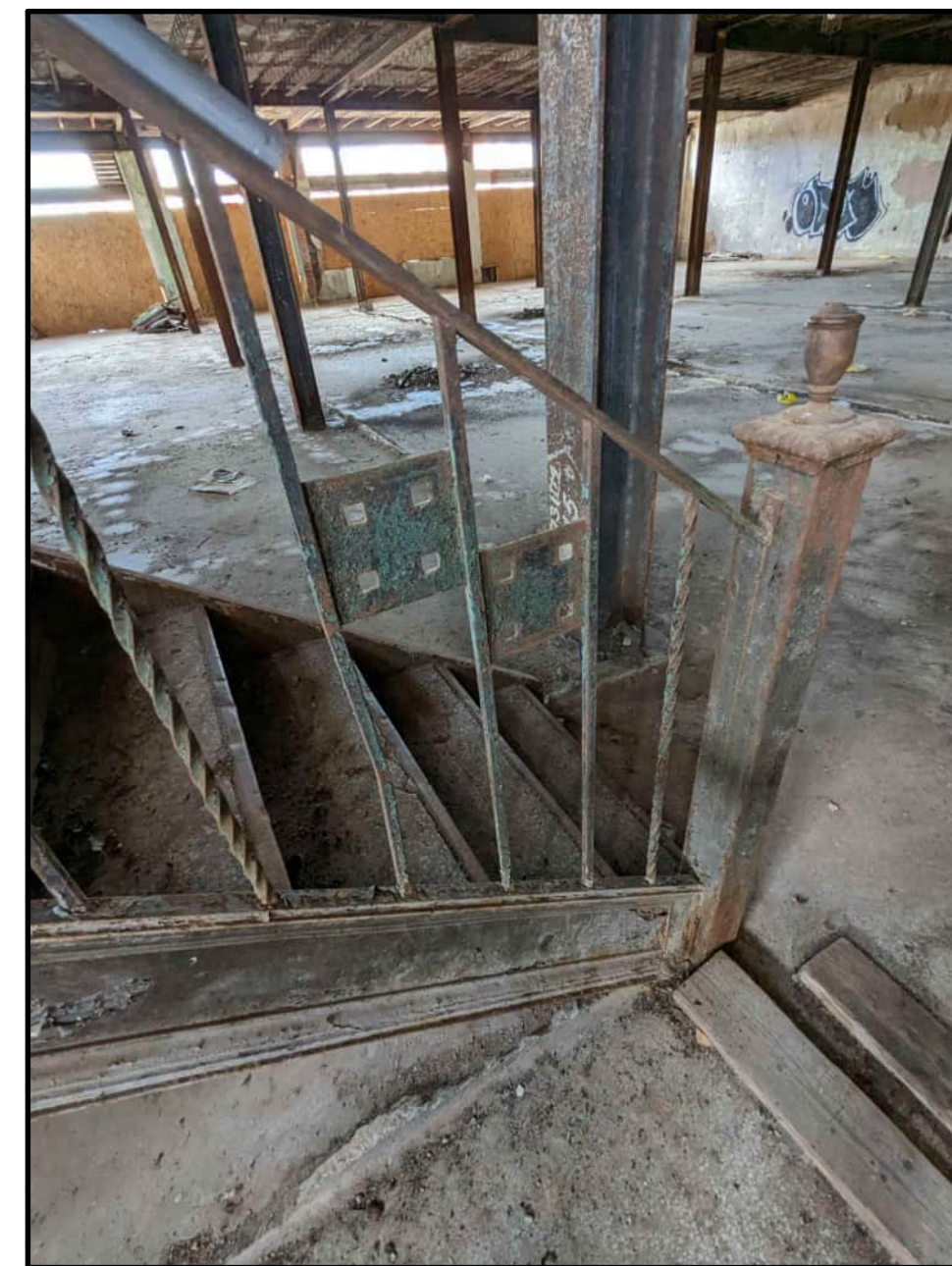
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2. REPAIR EXISTING TERRAZZO STAIR TREADS AND LANDING. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING FROM LANDING TO 2ND FLOOR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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6. NEW FIRE-RATED WALLS TO BE INSTALLED ALONG WEST SIDE AND EAST SIDE OF STAIR. INSTALL NEW WALL MOUNTED HANDRAILS, WOOD STAIN TO MATCH EXISTING HANDRAIL.

F PHOTO STAIR S1 - 2ND FLOOR TO LANDING
1/4"=1'-0"



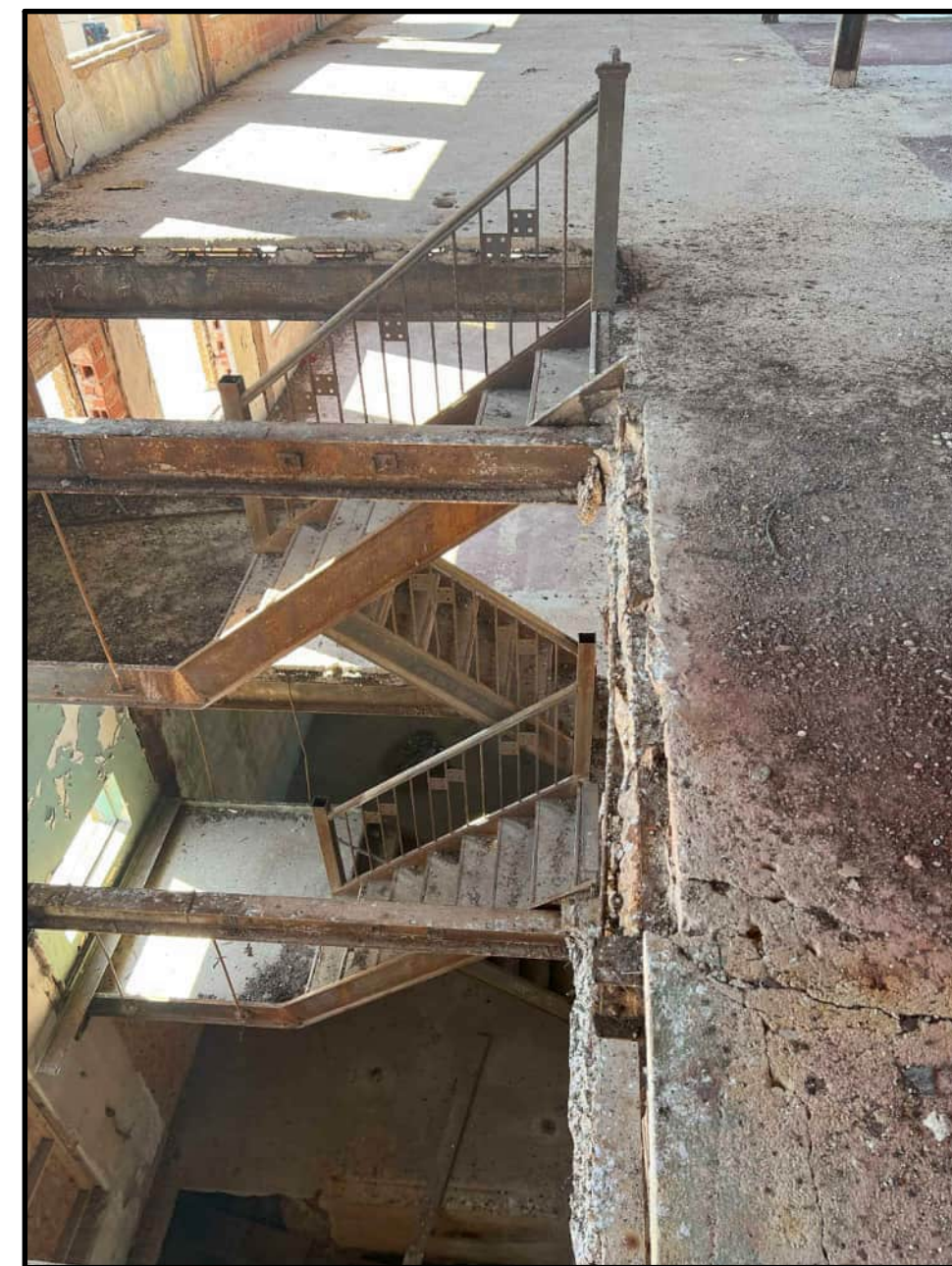
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2. REPAIR EXISTING TERRAZZO STAIR TREADS AND LANDING. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING FROM 1ST FLOOR TO LANDING: REMOVE AND SALVAGE. PREP STRINGER FOR NEW RAILING, DESIGNED TO MATCH EXISTING.
4. RAILING FROM LANDING TO 2ND FLOOR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
5. METAL POST AT LANDINGS: REPAIR AS NEEDED. CLEAN & PAINT BLACK.
6. REPLACE MISSING METAL POST TOPPERS (TO MATCH EXISTING). CLEAN AND REPAIR EXISTING POST TOPPERS. PAINT. COLOR TBD.
7. NEW FIRE-RATED WALLS TO BE INSTALLED ALONG WEST SIDE AND EAST SIDE OF STAIR. INSTALL NEW WALL MOUNTED HANDRAILS, WOOD STAIN TO MATCH EXISTING HANDRAIL.

E PHOTO STAIR S1 - LANDING BTWN 1ST & 2ND
1/4"=1'-0"



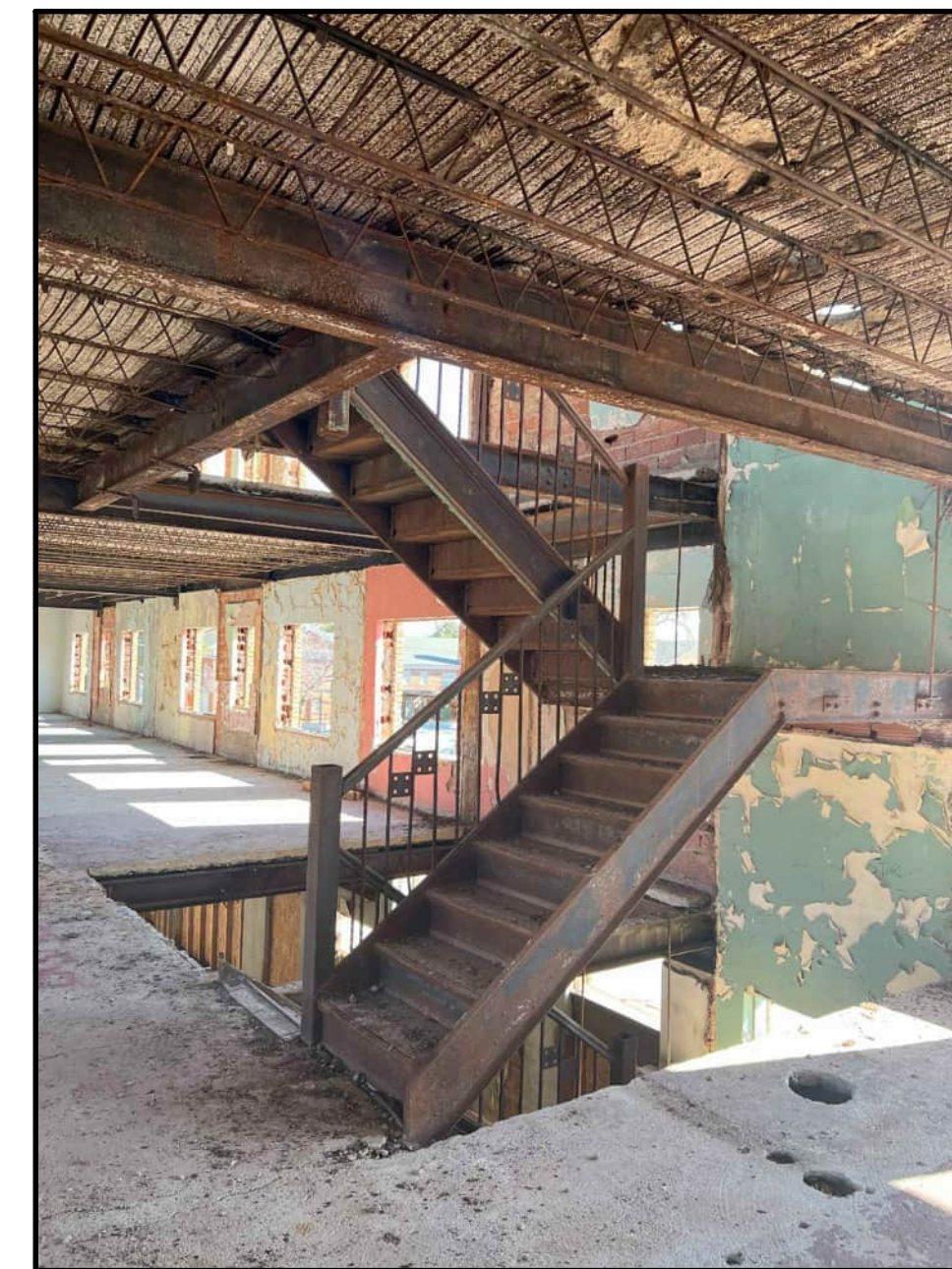
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2. REPAIR EXISTING TERRAZZO STAIR TREADS AND LANDING. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING FROM 1ST FLOOR TO LANDING: REMOVE AND SALVAGE. PREP STRINGER FOR NEW RAILING, DESIGNED TO MATCH EXISTING.
4. METAL POST AT BOTTOM OF STAIR: REPAIR AS NEEDED. CLEAN & PAINT BLACK.
5. CLEAN AND REPAIR EXISTING POST TOPPER. STAIN. COLOR TBD.
6. NEW FIRE-RATED WALLS TO BE INSTALLED ALONG WEST SIDE AND EAST SIDE OF STAIR. INSTALL NEW WALL MOUNTED HANDRAILS, WOOD STAIN TO MATCH EXISTING HANDRAIL.

D PHOTO STAIR S1 - 1ST FLOOR
1/4"=1'-0"



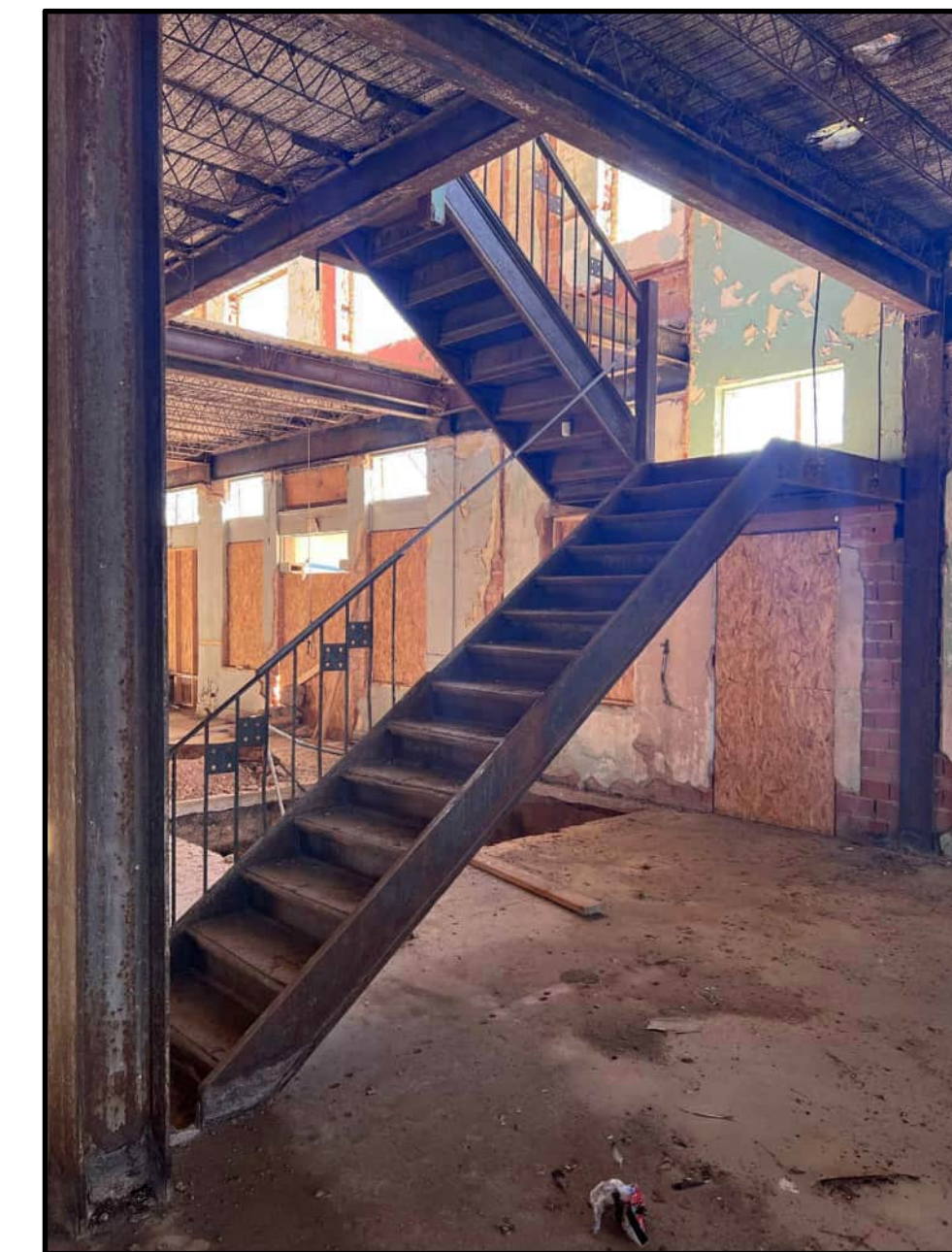
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8. RAIL AT TOP OF STAIR: REMOVE, PREP FOR INSTALLATION NEW STAIR TO PENTHOUSE.

C PHOTO STAIR S1 - 3RD FLOOR
1/4"=1'-0"



1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
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B PHOTO STAIR S1 - 2ND TO 3RD FLOOR
1/4"=1'-0"



1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING TERRAZZO STAIR TREADS AND LANDING. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING FROM 1ST FLOOR TO LANDING: REMOVE AND SALVAGE. PREP STRINGER FOR NEW RAILING, DESIGNED TO MATCH EXISTING.
4. RAILING FROM LANDING TO 2ND FLOOR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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A PHOTO STAIR S1 - 1ST TO 2ND FLOOR
1/4"=1'-0"

STAIR S1



REVISION:

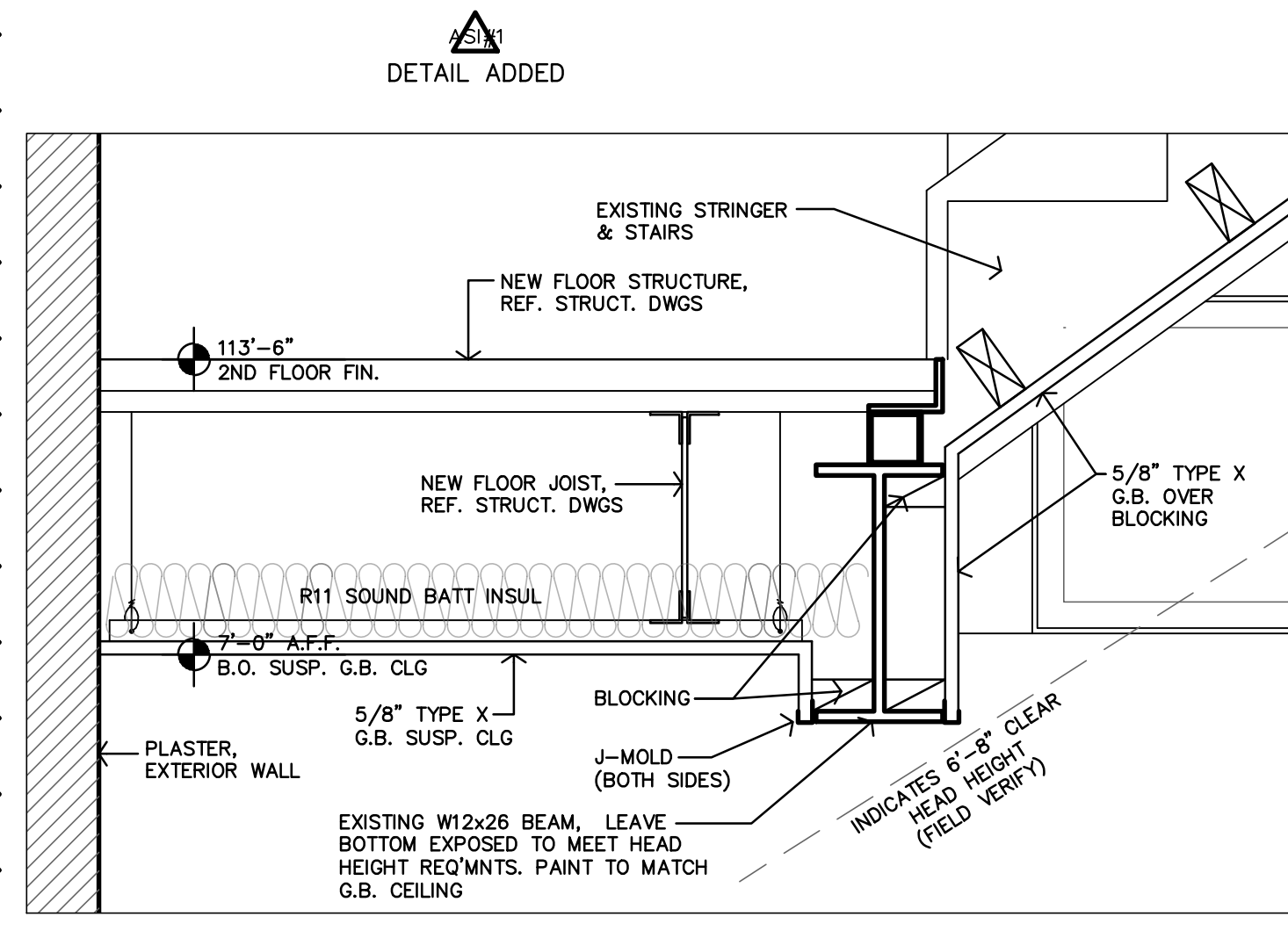
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

JGR
Jones Gillam Renz
1881 Main Street, Suite 301
Salina, KS 67401
785.827.0386
jgr@jgarchitects.com

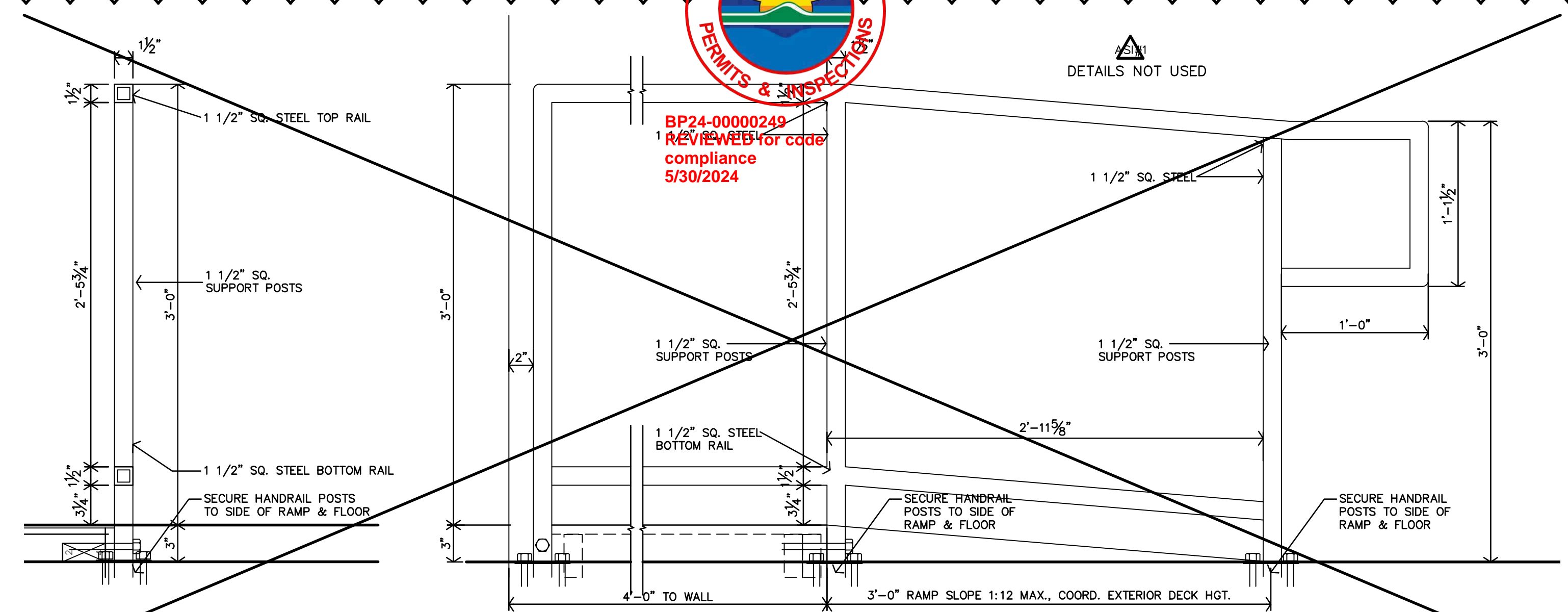
ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



BP24-0000249
 REVIEWED for code compliance
 5/30/2024

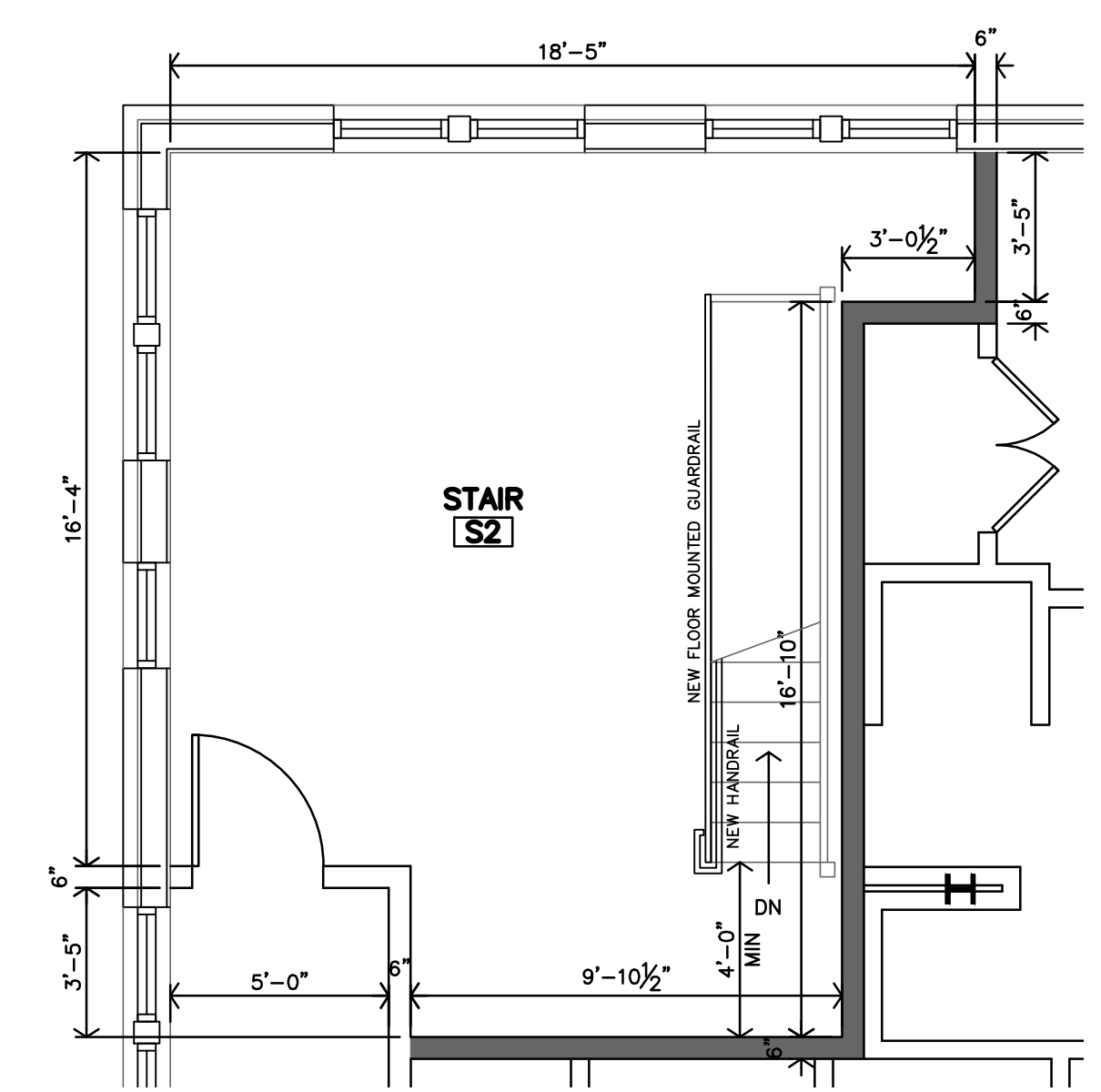


H S2 STAIR LANDING SECTION
 1 1/2" = 1'-0"

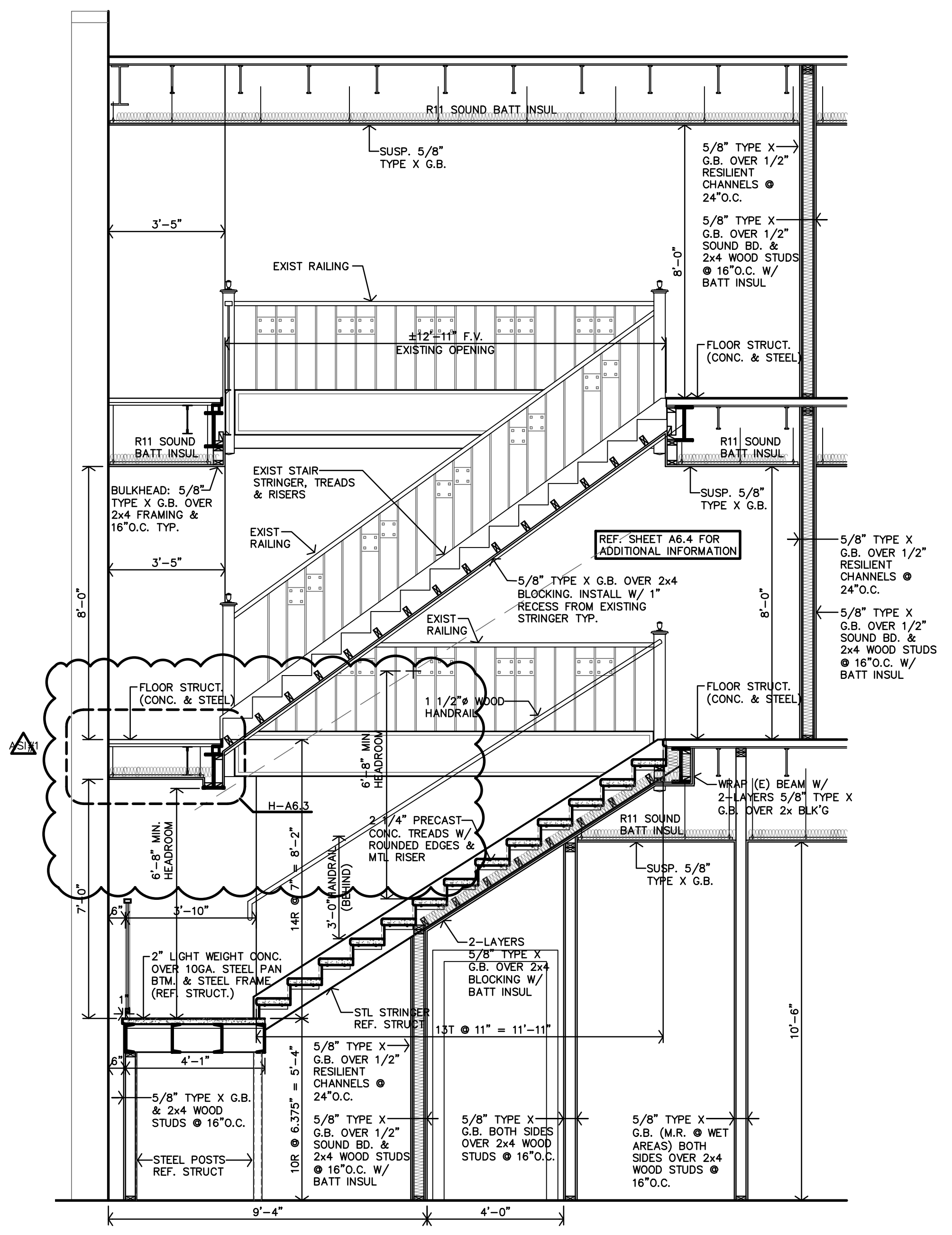


G DOOR 217 RAMP SECTION
 1 1/2" = 1'-0"

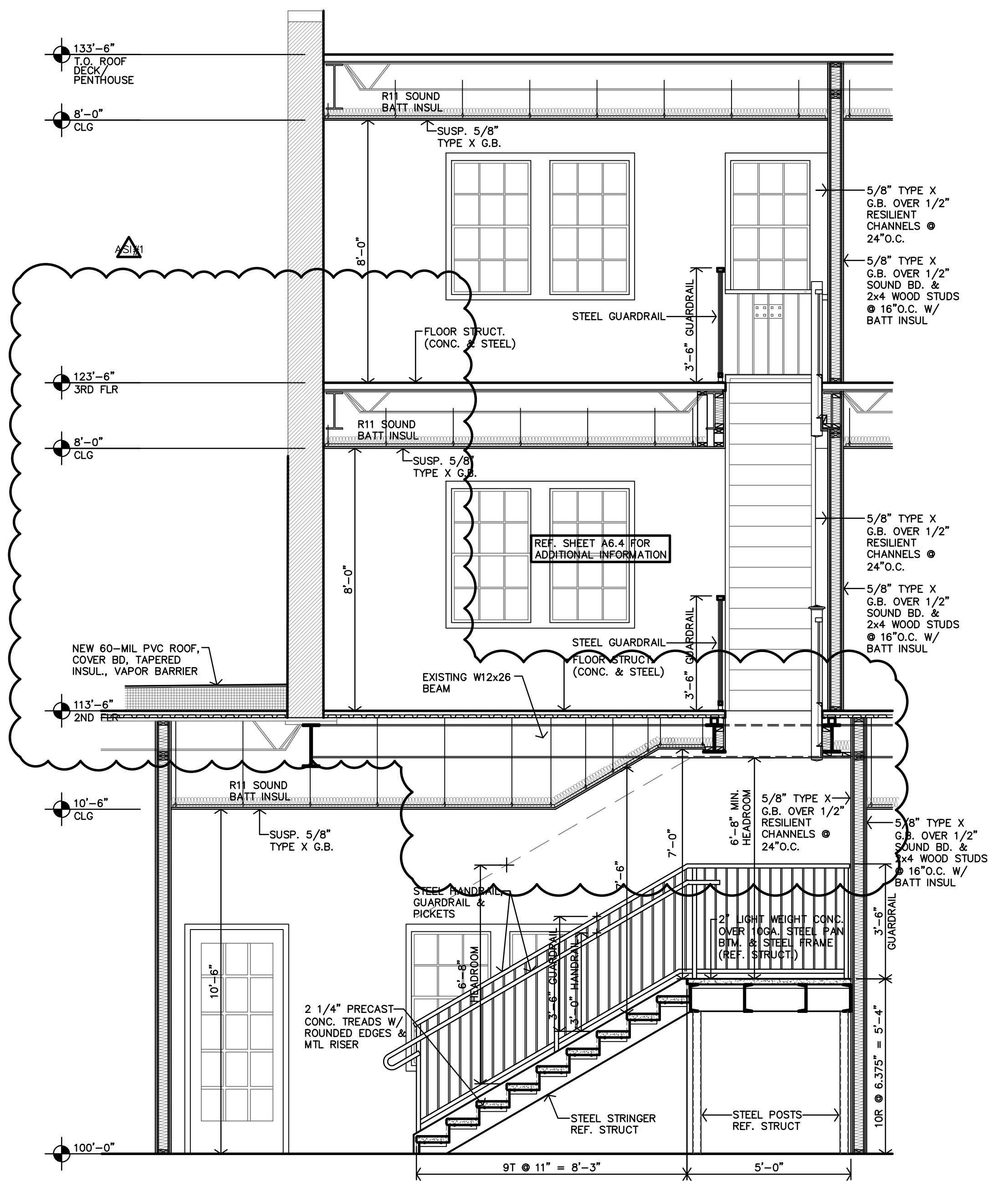
F DOOR 217 RAMP ELEVATION
 1 1/2" = 1'-0"



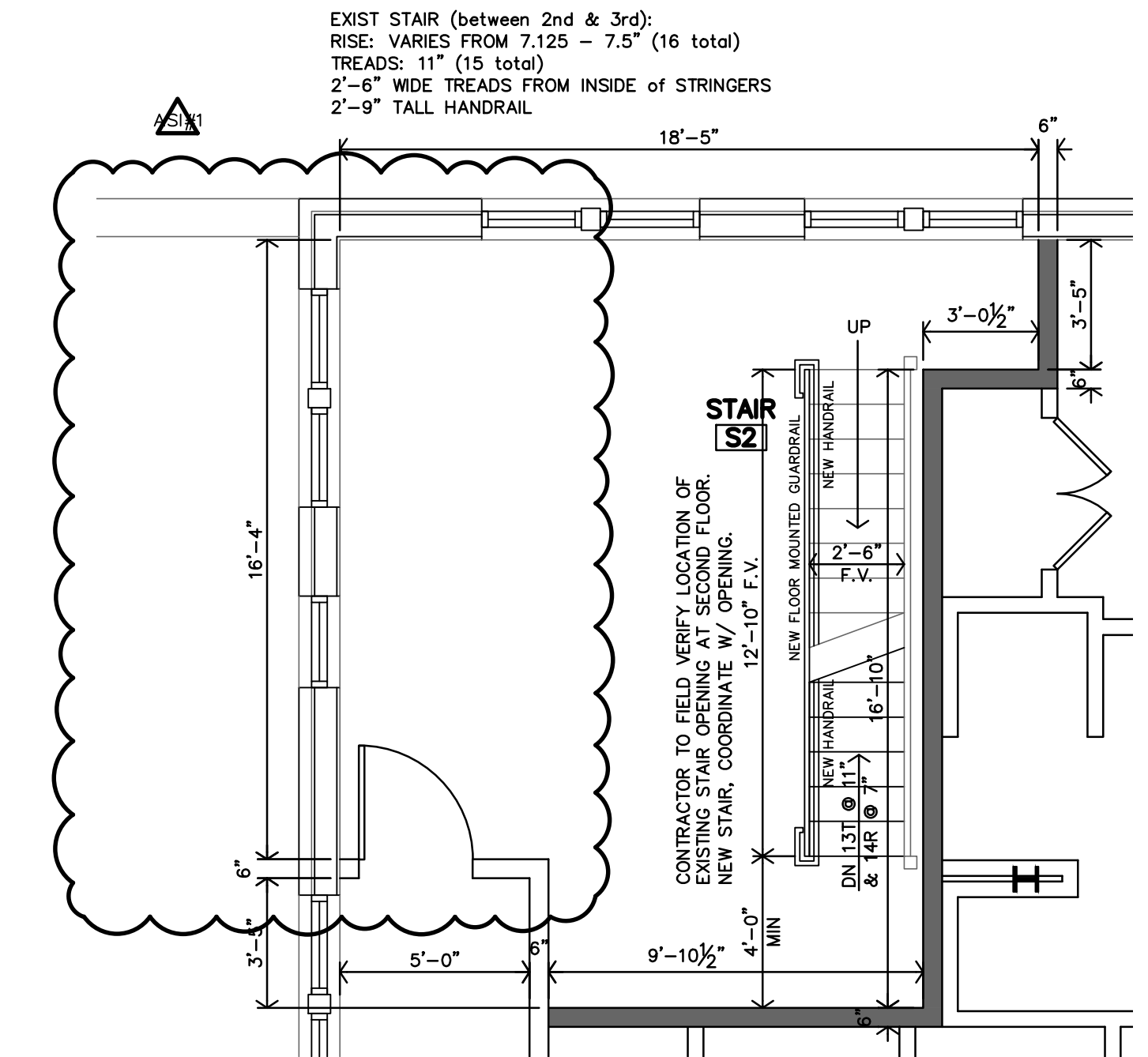
C STAIR S2 ENLARGED 3RD FLR. PLAN
 1/4" = 1'-0"



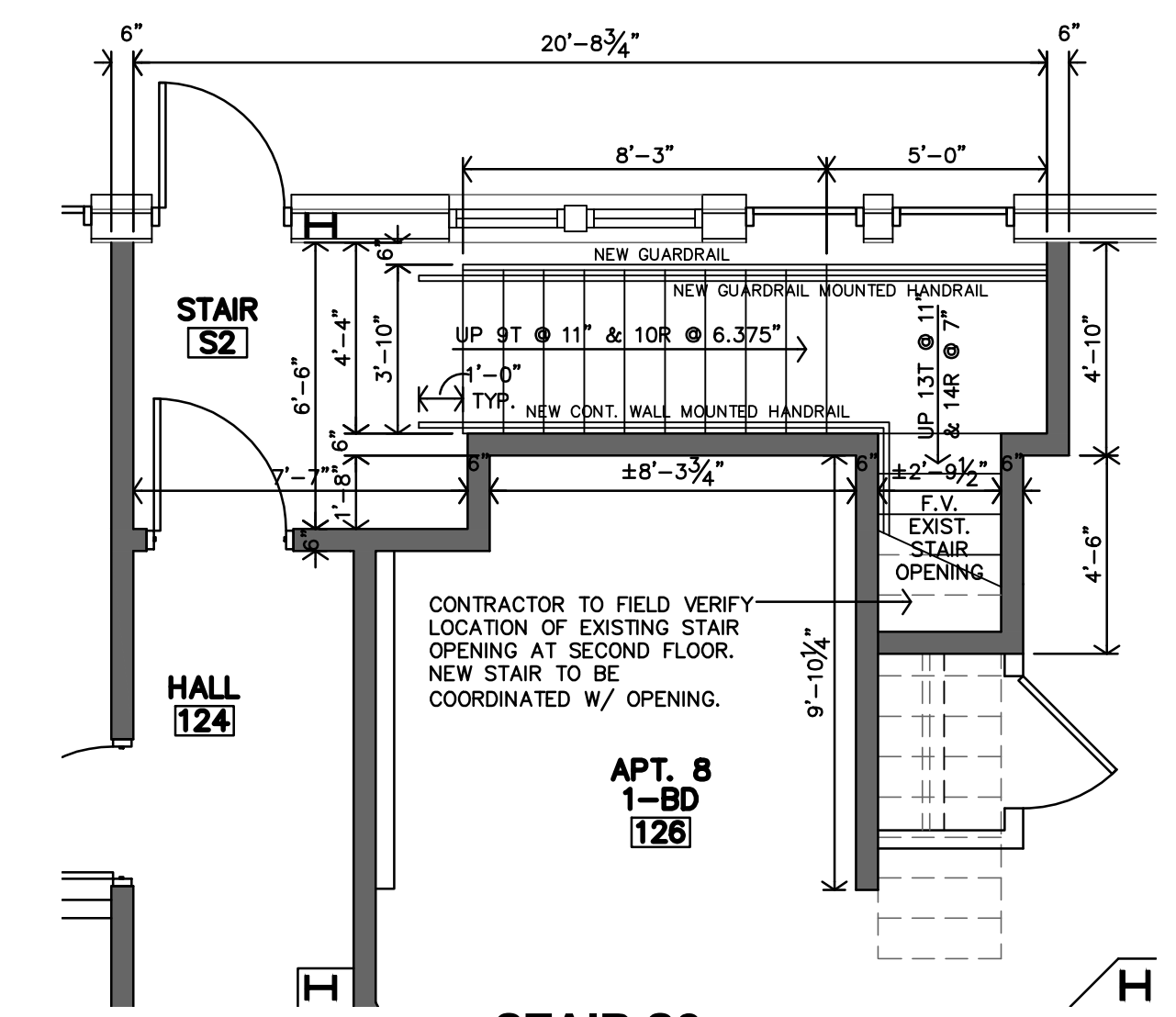
E STAIR S2 SECTION
 3/8" = 1'-0"



D STAIR S2 SECTION
 3/8" = 1'-0"



B STAIR S2 ENLARGED 2ND FLR. PLAN
 1/4" = 1'-0"



A STAIR S2 ENLARGED FIRST FLR. PLAN
 1/4" = 1'-0"

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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



REVISION:
 4-25-2024

DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:

A6.3

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1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING CONCRETE STAIR TREADS. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING ALONG EAST & NORTH SIDE OF STAIR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
4. REPLACE METAL POST & WOOD TOPPER AT NORTHWEST CORNER OF STAIR. MATCH EXISTING.
5. METAL POSTS AT LANDINGS: REPAIR AS NEEDED. CLEAN & PAINT BLACK.
6. REPLACE MISSING METAL POST TOPPERS (TO MATCH EXISTING). CLEAN AND REPAIR EXISTING POST TOPPERS. PAINT, COLOR TBD
7. NEW GUARDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.
8. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED DOWN WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

J PHOTO STAIR S1 - 3RD FLOOR
1/4"=1'-0"



1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
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H PHOTO STAIR S1 - 3RD FLOOR
1/4"=1'-0"



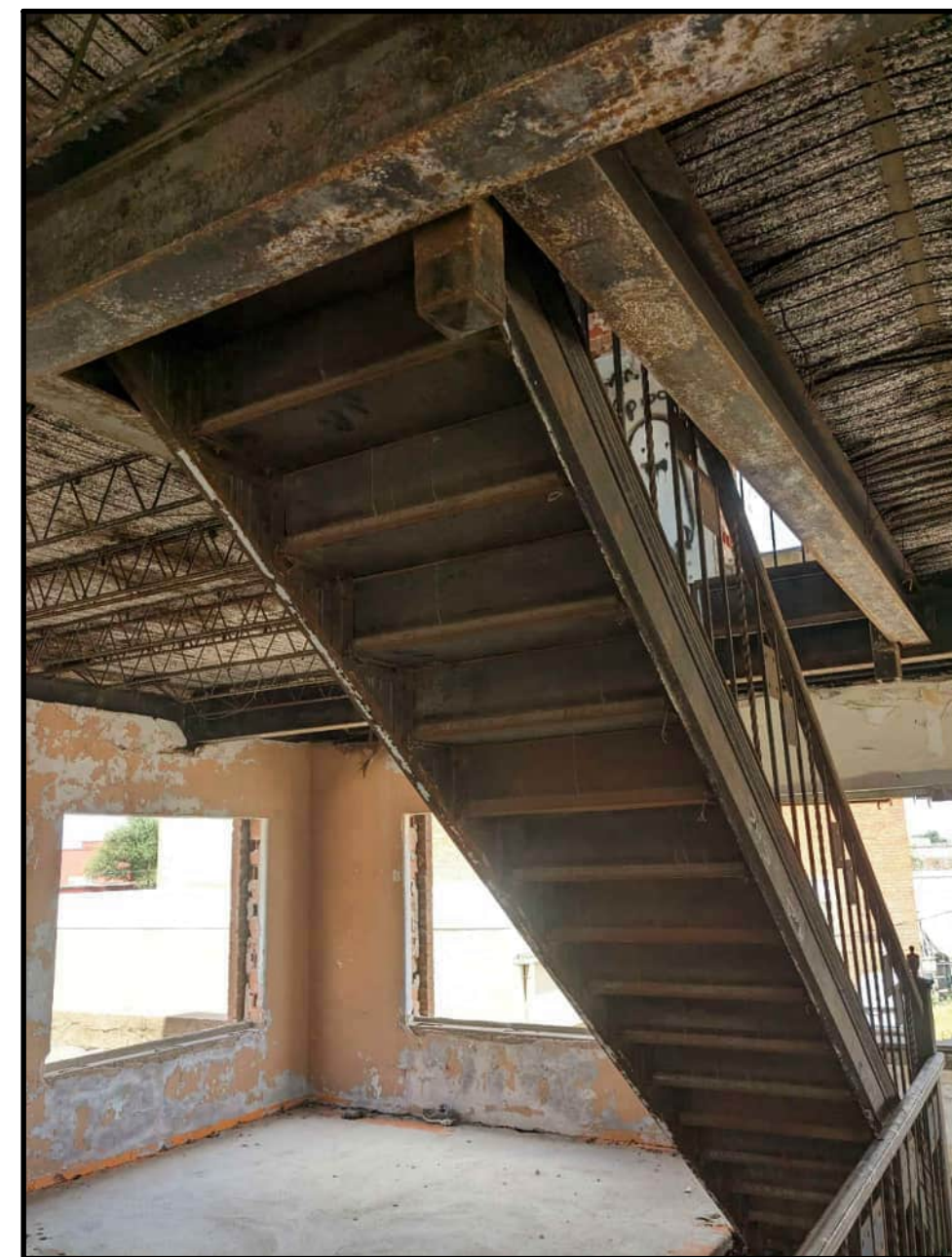
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2. REPAIR EXISTING CONCRETE STAIR TREADS. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING ALONG EAST SIDE OF STAIR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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6. NEW GUARDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.
7. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED UP WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

G PHOTO STAIR S1 - 2ND TO 3RD FLOOR
1/4"=1'-0"



1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
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3. RAILING ALONG EAST SIDE OF STAIR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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7. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED UP WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

F PHOTO STAIR S1 - 2ND TO 3RD FLOOR
1/4"=1'-0"



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E PHOTO STAIR S2 - 2ND TO 3RD FLOOR
1/4"=1'-0"



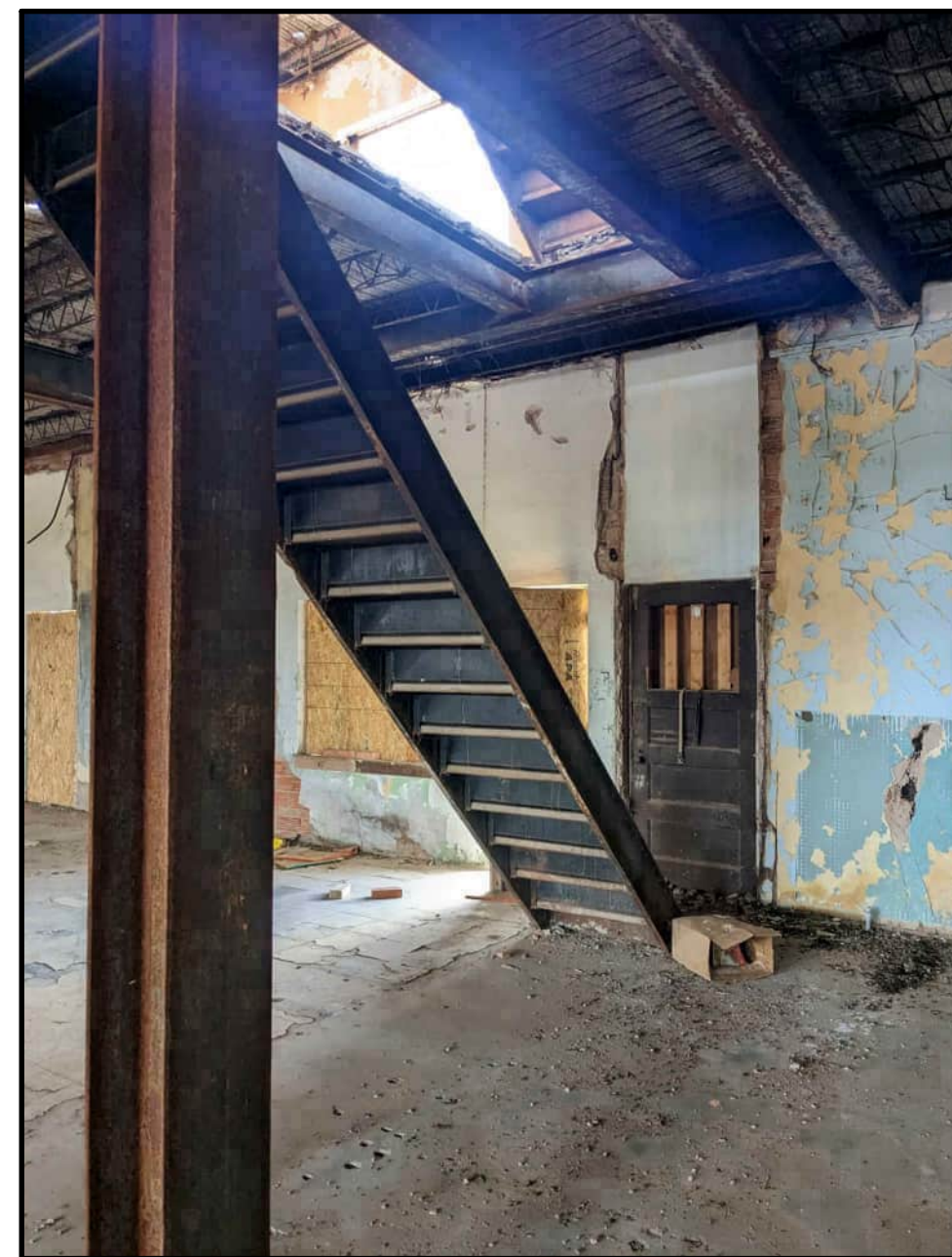
1. REPAIR EXISTING STEEL STRINGERS AND STAIR PANS AS NEEDED. CLEAN AND PAINT BLACK.
2. REPAIR EXISTING CONCRETE STAIR TREADS. FILL HOLES AND GAPS WITH CONCRETE THAT MATCHES IN COLOR. CLEAN AND SEAL.
3. RAILING ALONG EAST SIDE OF STAIR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
4. METAL POSTS AT LANDINGS: REPAIR AS NEEDED. CLEAN & PAINT BLACK.
5. REPLACE MISSING METAL POST TOPPERS (TO MATCH EXISTING). CLEAN AND REPAIR EXISTING POST TOPPERS. PAINT - COLOR TBD
6. NEW GUARDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.
7. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED UP WEST SIDE OF STRINGER TO 3RD FLOOR. DESIGN TO COMPLIMENT EXISTING.

D PHOTO STAIR S2 - 2ND TO 3RD FLOOR
1/4"=1'-0"



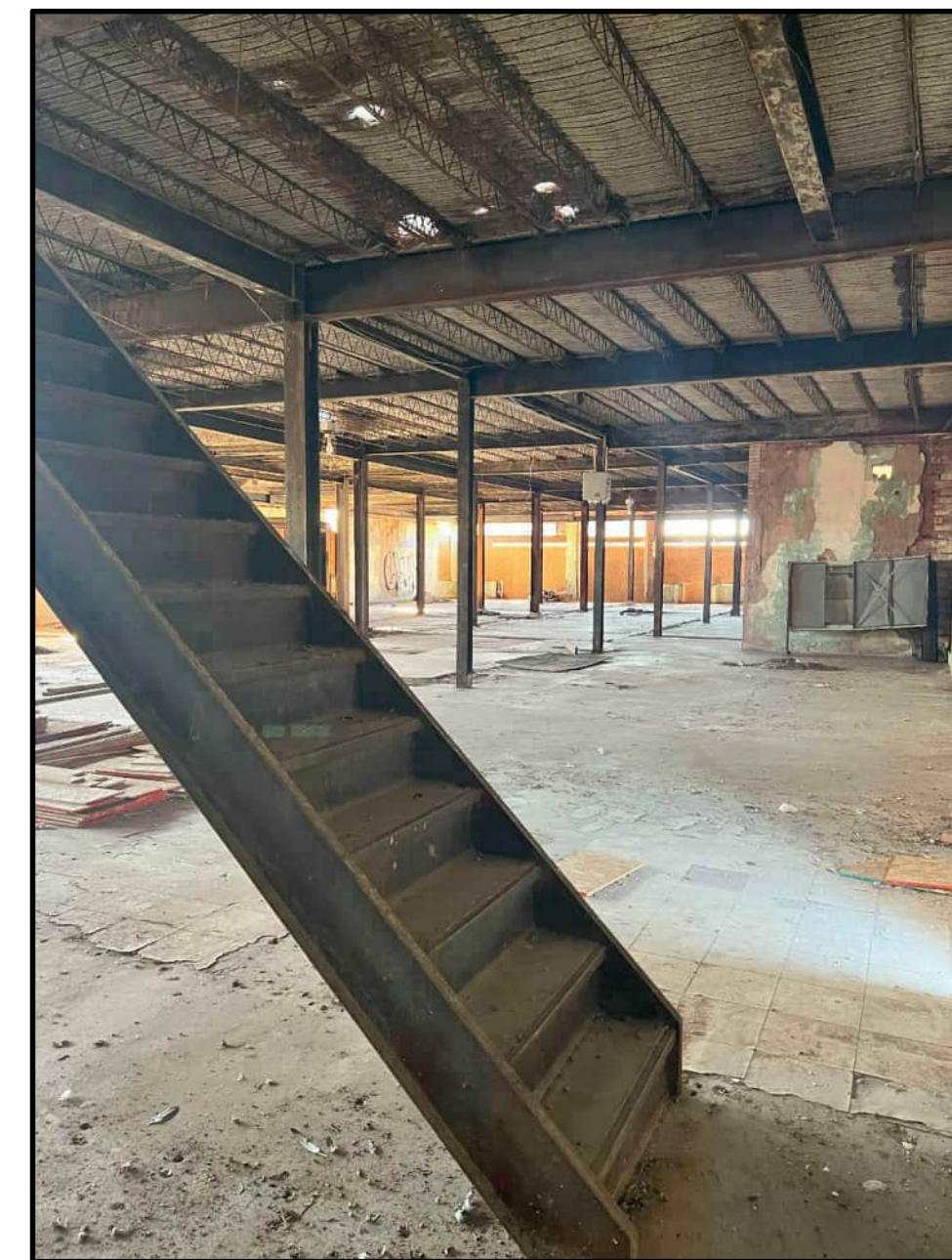
1. STRINGERS, RISERS, TREADS, PANS, HANDRAILS, ETC. FROM THE FIRST FLOOR TO THE 2ND FLOOR SHALL BE REMOVED. STAIR IS TOO STEEP TO BE SALVAGED. NEW STAIR WILL BE CONSTRUCTED IN AN "L" SHAPE. REFERENCES PLANS.
2. OPENING AT 2ND FLOOR SHALL BE RETAINED. NEW STAIR SHALL BE CONSTRUCTED USING THE EXISTING, HISTORIC OPENING IN THE FLOOR/STRUCTURE.
3. RAILING ALONG EAST SIDE OF STAIR: REPAIR, STRAIGHTEN AND REPLACE RAILS AS NEEDED. STABILIZE & STRENGTHEN ENTIRE SYSTEM. CLEAN ALL RAILS, DECORATIVE PLATES, AND WOOD HANDRAIL. PAINT RAILS & DECORATE PLATES BLACK. STAIN WOOD HANDRAIL. STAIN COLOR TBD.
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6. NEW GUARDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.
7. NEW GUARDRAIL & HANDRAIL SHALL BE INSTALLED ALONG WEST SIDE OF STAIR OPENING. DESIGN TO COMPLIMENT EXISTING.

C PHOTO STAIR S2 - 2ND FLOOR
1/4"=1'-0"



1. STRINGERS, RISERS, TREADS, PANS, HANDRAILS, ETC. FROM THE FIRST FLOOR TO THE 2ND FLOOR SHALL BE REMOVED. STAIR IS TOO STEEP TO BE SALVAGED. NEW STAIR WILL BE CONSTRUCTED IN AN "L" SHAPE. REFERENCES PLANS.
2. OPENING AT 2ND FLOOR SHALL BE RETAINED. NEW STAIR SHALL BE CONSTRUCTED USING THE EXISTING, HISTORIC OPENING IN THE FLOOR/STRUCTURE.

B PHOTO STAIR S2 - 1ST TO 2ND FLOOR
1/4"=1'-0"



1. STRINGERS, RISERS, TREADS, PANS, HANDRAILS, ETC. FROM THE FIRST FLOOR TO THE 2ND FLOOR SHALL BE REMOVED. STAIR IS TOO STEEP TO BE SALVAGED. NEW STAIR WILL BE CONSTRUCTED IN AN "L" SHAPE. REFERENCES PLANS.
2. OPENING AT 2ND FLOOR SHALL BE RETAINED. NEW STAIR SHALL BE CONSTRUCTED USING THE EXISTING, HISTORIC OPENING IN THE FLOOR/STRUCTURE.

A PHOTO STAIR S2 - 1ST TO 2ND FLOOR
1/4"=1'-0"

STAIR S2

ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



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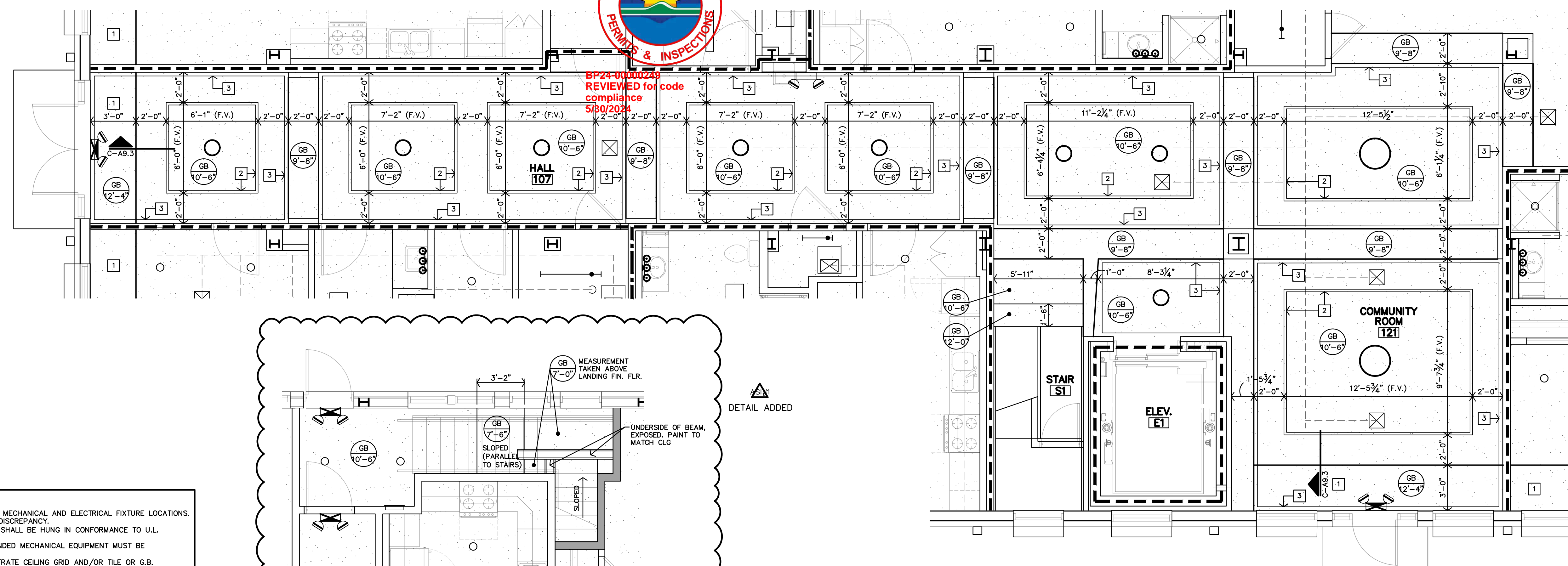
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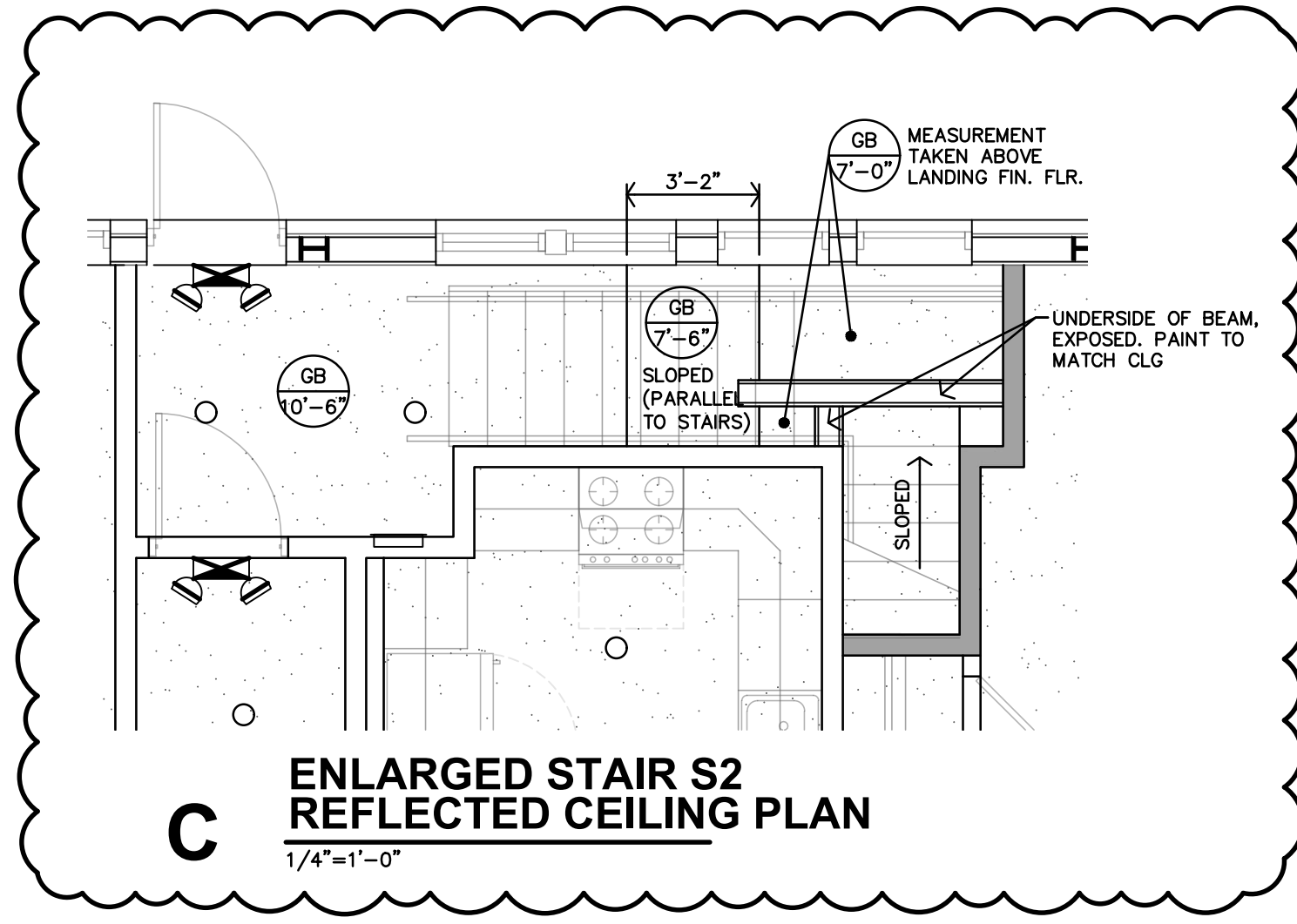
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B ENLARGED FIRST FLOOR REFLECTED CEILING PLAN
 1/4"=1'-0"



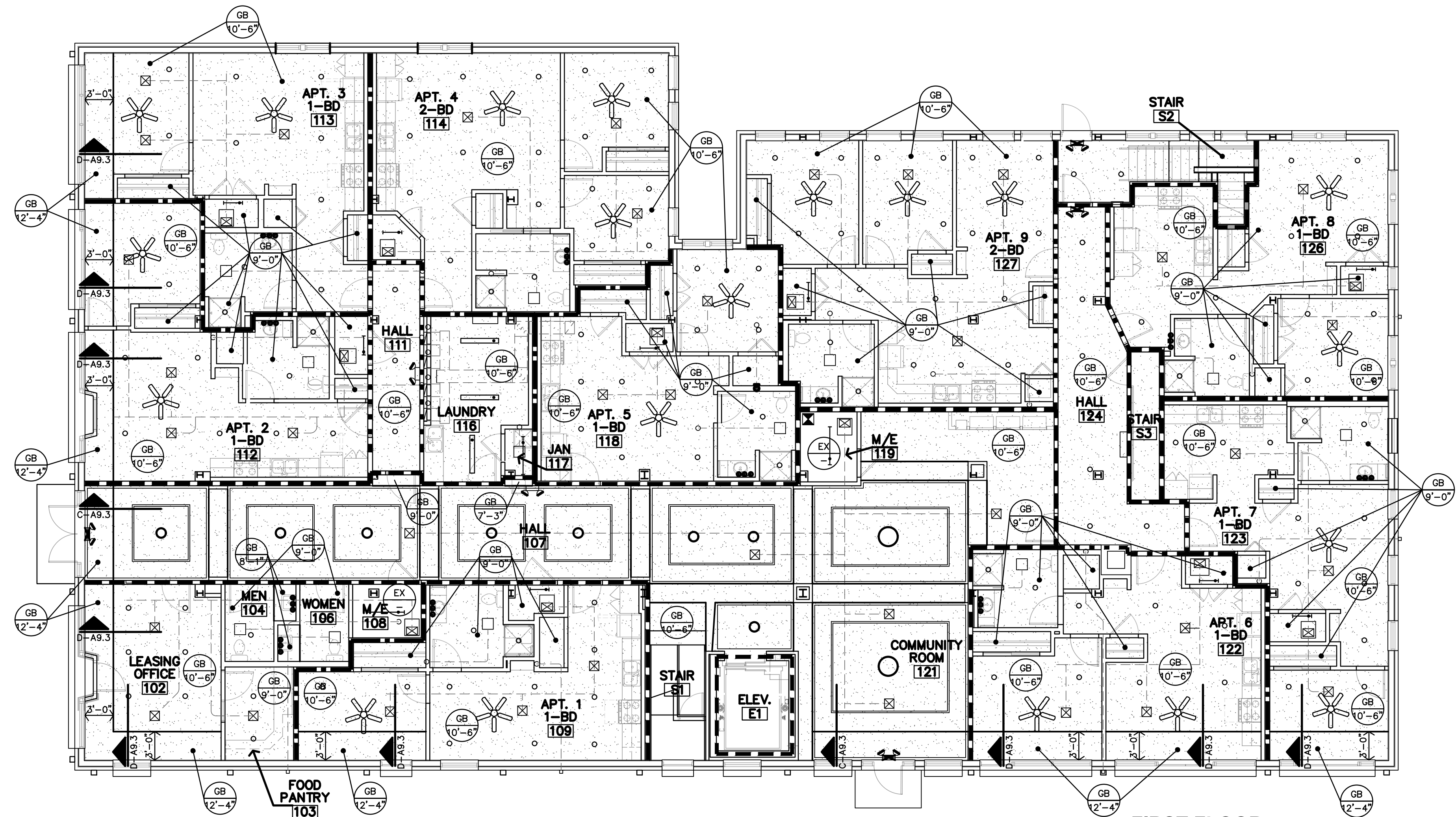
C ENLARGED STAIR S2 REFLECTED CEILING PLAN
 1/4"=1'-0"

CEILING NOTES

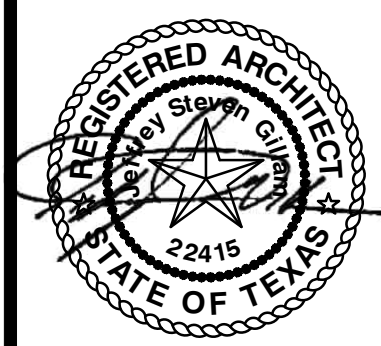
GENERAL NOTES			
1. CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.			
2. MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.			
3. CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.			
4. WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.			
5. FIELD VERIFY HEIGHT TO UNDERSIDE OF STRUCTURE, AT ALL NEW GYP. BD. CEILINGS. NOTIFY ARCHITECT TO COORDINATE FINAL FINISHED CEILING HEIGHTS.			
6. ALL LISTED CEILING HEIGHTS ARE AS ANTICIPATED. SUBJECT TO CHANGE BASED ON FIELD VERIFICATION OF UNDERSIDE OF STRUCTURE.			
SPECIFIC NOTES			
1	RECESSED CEILING ALCOVE NEXT TO STOREFRONT & TRANSOM WINDOW.		
2	NEW CEILING-MOUNTED, 2" THICK ACCENT TRIM/MOLDING		
3	NEW CEILING CROWN MOLDING		
CEILING TYPES		REFER SPECIFICATIONS	
GB	GYP. BD (PAINTED)	---	NON-RATED WALLS
ST	EXPOSED STRUCTURE	---	1/2 HOUR FIRE PARTITION; CORRIDOR
P	EXIST./NEW PLASTER (PAINTED)	---	1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
		---	1 HOUR SHAFT WALL
1	CLG. TYPE		SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION, AT RATED WALLS.
8'-8"	CLG. HEIGHT (ASSUMED)		INDICATES G.B. CEILING FINISH
			INDICATES A LOWERED SOFFIT/CEILING AREA

CEILING NOTES

GENERAL NOTES			
1. CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.			
2. MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.			
3. CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.			
4. WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.			
5. FIELD VERIFY HEIGHT TO UNDERSIDE OF STRUCTURE, AT ALL NEW GYP. BD. CEILINGS. NOTIFY ARCHITECT TO COORDINATE FINAL FINISHED CEILING HEIGHTS.			
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1	RECESSED CEILING ALCOVE NEXT TO STOREFRONT & TRANSOM WINDOW.		
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CEILING TYPES		REFER SPECIFICATIONS	
GB	GYP. BD (PAINTED)	---	NON-RATED WALLS
ST	EXPOSED STRUCTURE	---	1/2 HOUR FIRE PARTITION; CORRIDOR
P	EXIST./NEW PLASTER (PAINTED)	---	1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
		---	1 HOUR SHAFT WALL
1	CLG. TYPE		SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION, AT RATED WALLS.
8'-8"	CLG. HEIGHT (ASSUMED)		INDICATES G.B. CEILING FINISH
			INDICATES A LOWERED SOFFIT/CEILING AREA



A FIRST FLOOR REFLECTED CEILING PLAN
 1/8"=1'-0"



REVISION:
 4-25-2024

DATE: 1-16-2024
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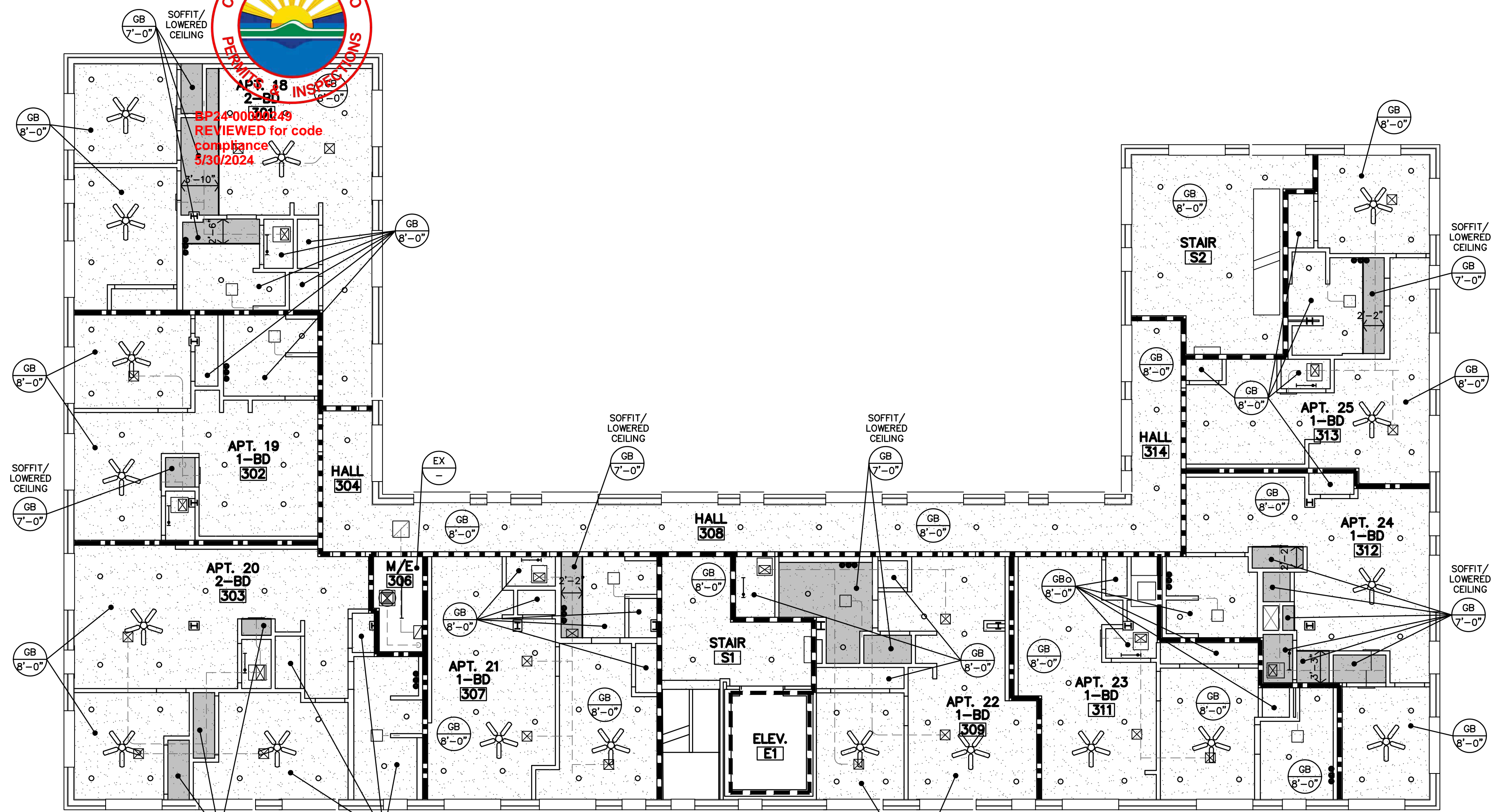
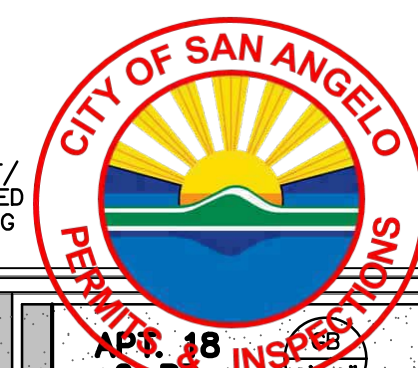
CEILING NOTES

- GENERAL NOTES**
- CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.
 - MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.
 - CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.
 - WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.
 - FIELD VERIFY HEIGHT TO UNDERSIDE OF STRUCTURE, AT ALL NEW GYP. BD. CEILINGS. NOTIFY ARCHITECT TO COORDINATE FINAL FINISHED CEILING HEIGHTS.
 - ALL LISTED CEILING HEIGHTS ARE AS ANTICIPATED. SUBJECT TO CHANGE BASED ON FIELD VERIFICATION OF UNDERSIDE OF STRUCTURE.

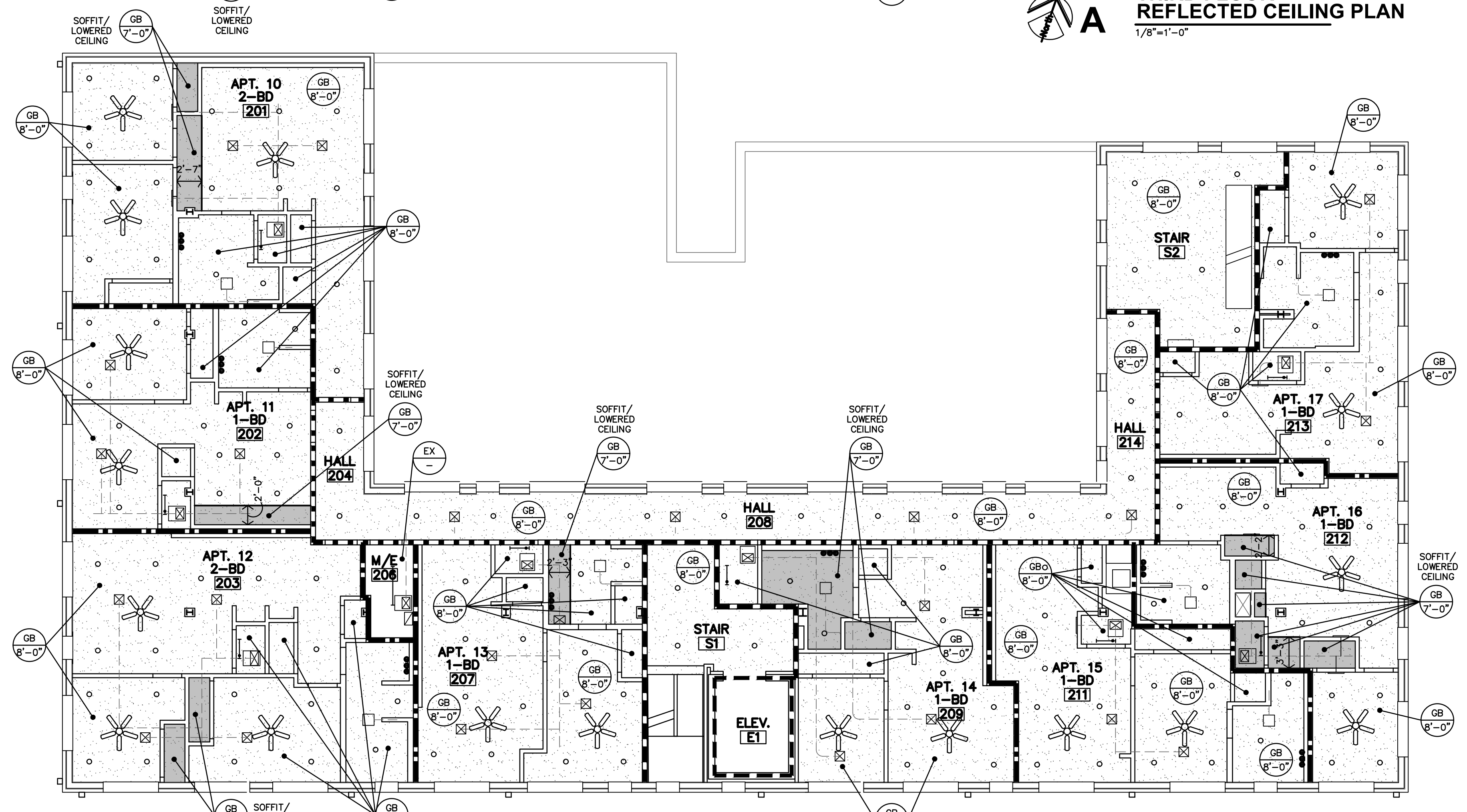
- SPECIFIC NOTES**
- RECESSED CEILING ALCOVE NEXT TO STOREFRONT & TRANSOM WINDOW.
 - NEW CEILING-MOUNTED, 2" THICK ACCENT TRIM/MOLDING
 - NEW CEILING CROWN MOLDING

CEILING TYPES		NON-RATED WALLS	
GB	GYP. BD (PAINTED)	---	1/2 HOUR FIRE PARTITION; CORRIDOR
ST	EXPOSED STRUCTURE	---	1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
P	EXIST./NEW PLASTER (PAINTED)	---	1 HOUR SHAFT WALL
SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.		---	

CLG. TYPE	CLG. HEIGHT (ASSUMED)	INDICATES G.B. CEILING FINISH	INDICATES A LOWERED SOFFIT/CEILING AREA
1	8'-6"	GB 8'-0"	GB 7'-0"



A THIRD FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"



B SECOND FLOOR REFLECTED CEILING PLAN
3/32"=1'-0"

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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



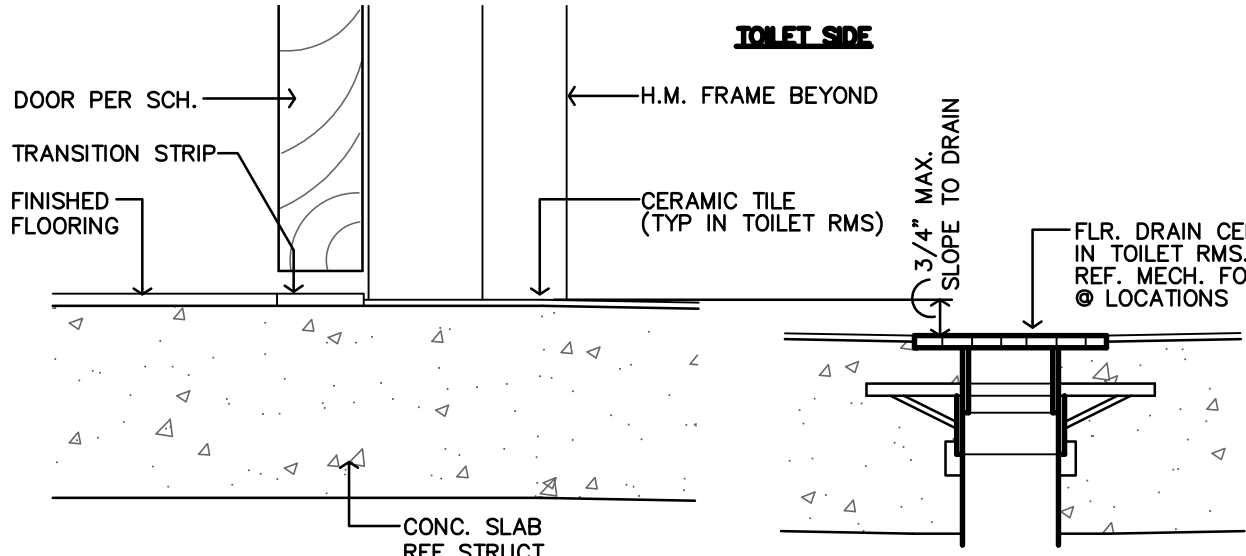
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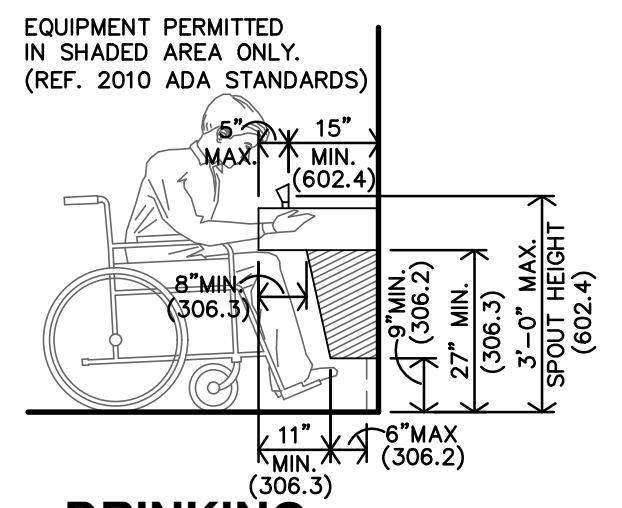
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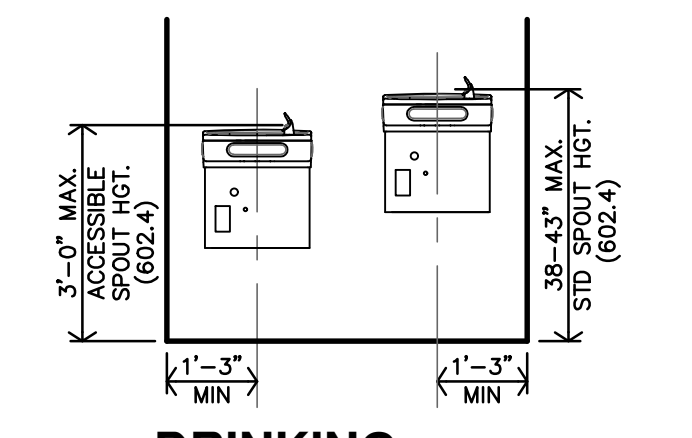
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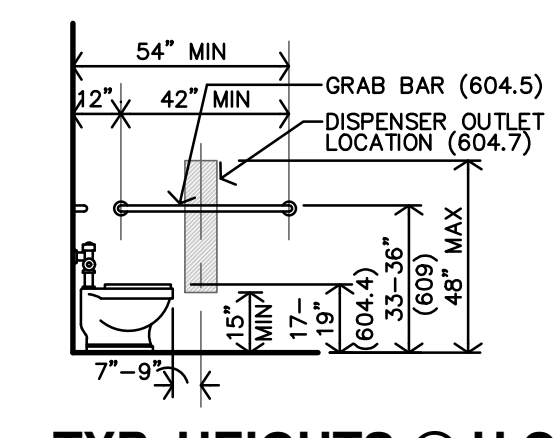
T FLOOR DRAIN DETAIL
 3/8"=1'-0"



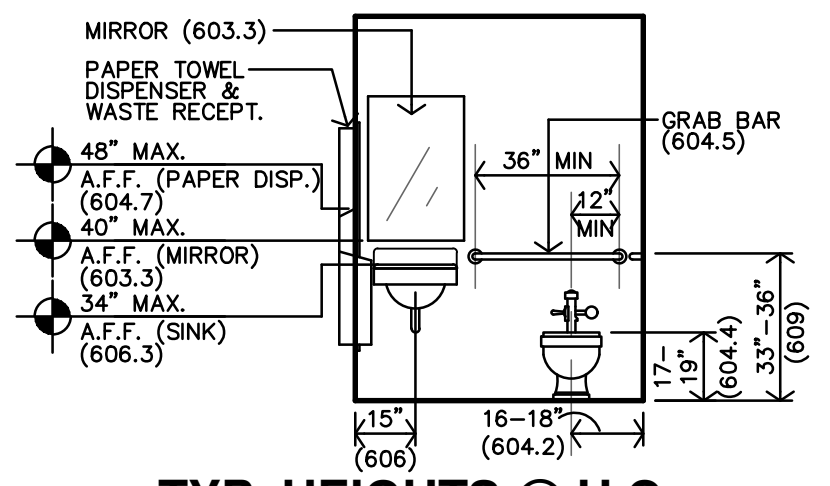
S DRINKING FOUNTAIN DETAIL
 3/8"=1'-0" FOR HC HEIGHTS & LOCATION ONLY



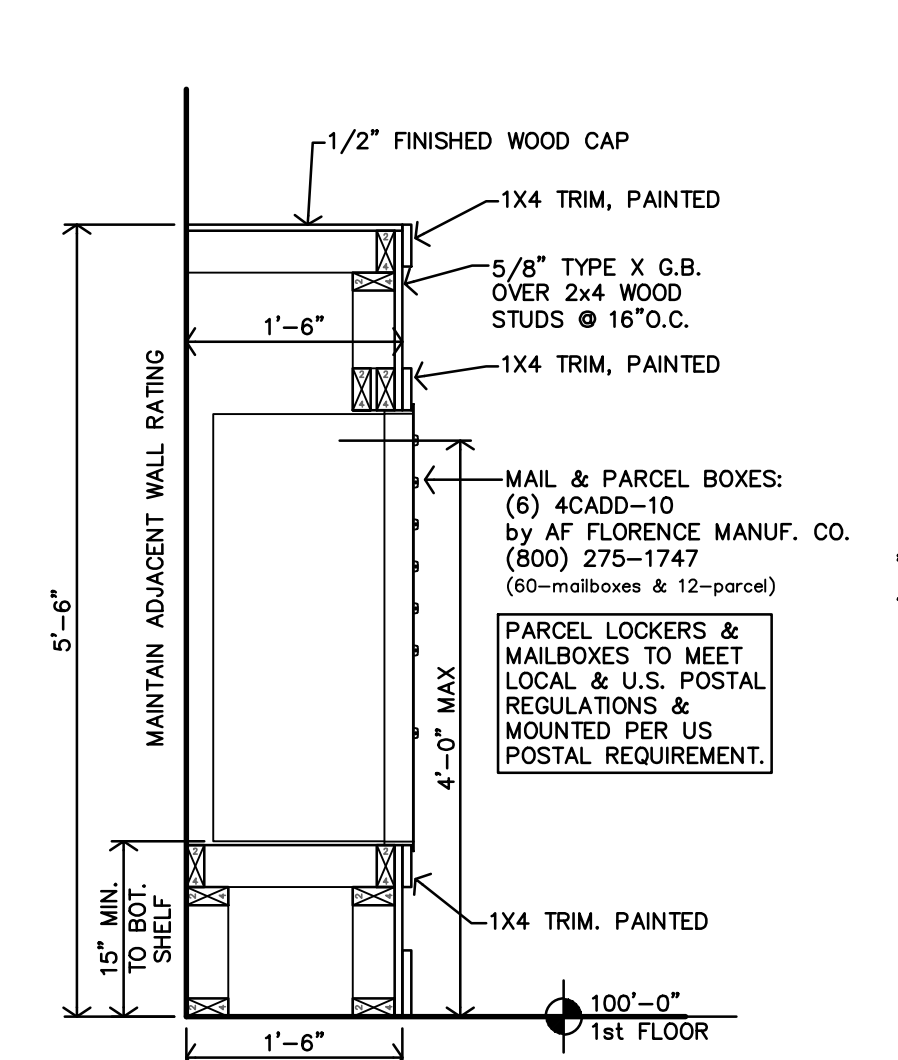
R DRINKING FOUNTAIN ELEVATION
 3/8"=1'-0" FOR HC HEIGHTS & LOCATION ONLY



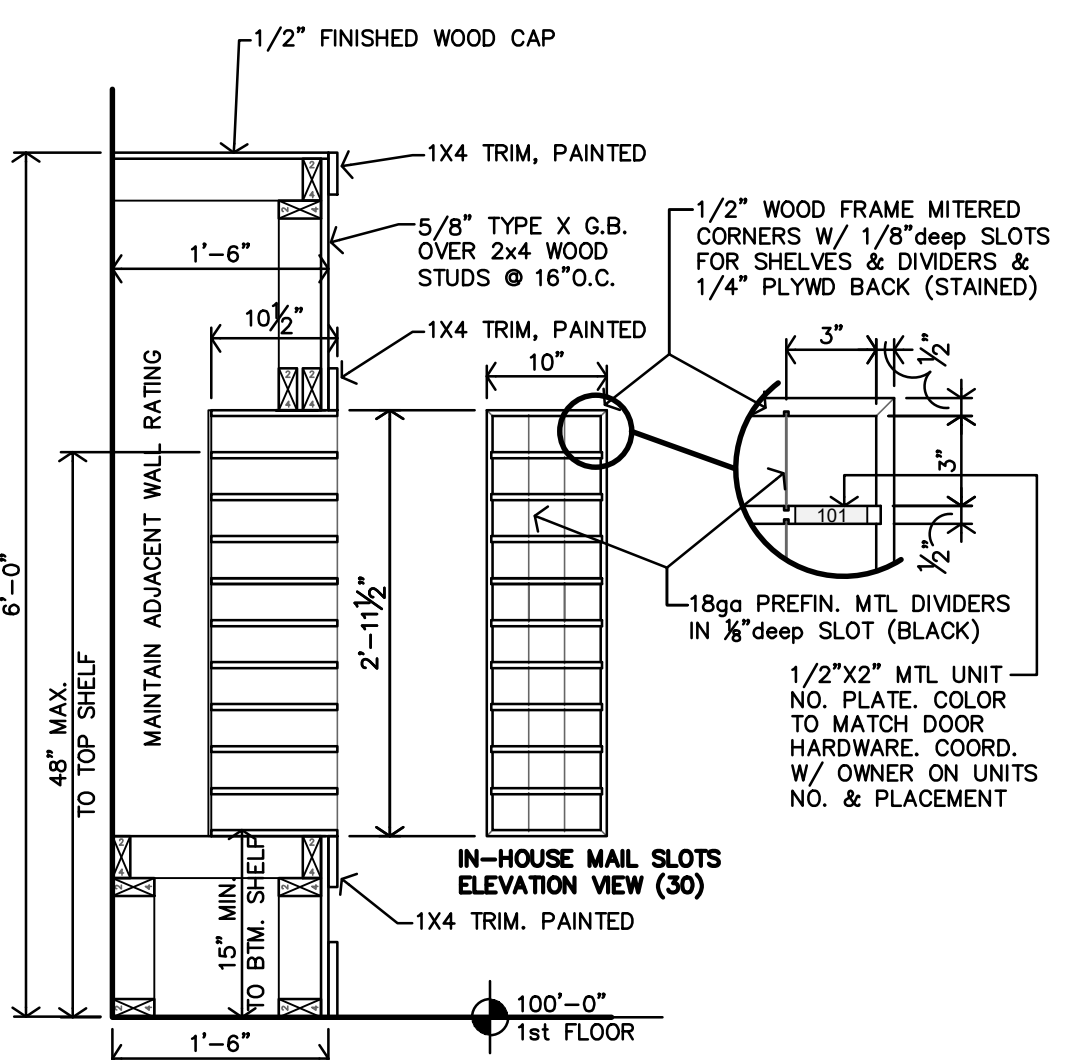
Q TYP. HEIGHTS @ H.C. TOILET SIDE WALL
 1/4"=1'-0" FOR HC HEIGHTS & LOCATION ONLY



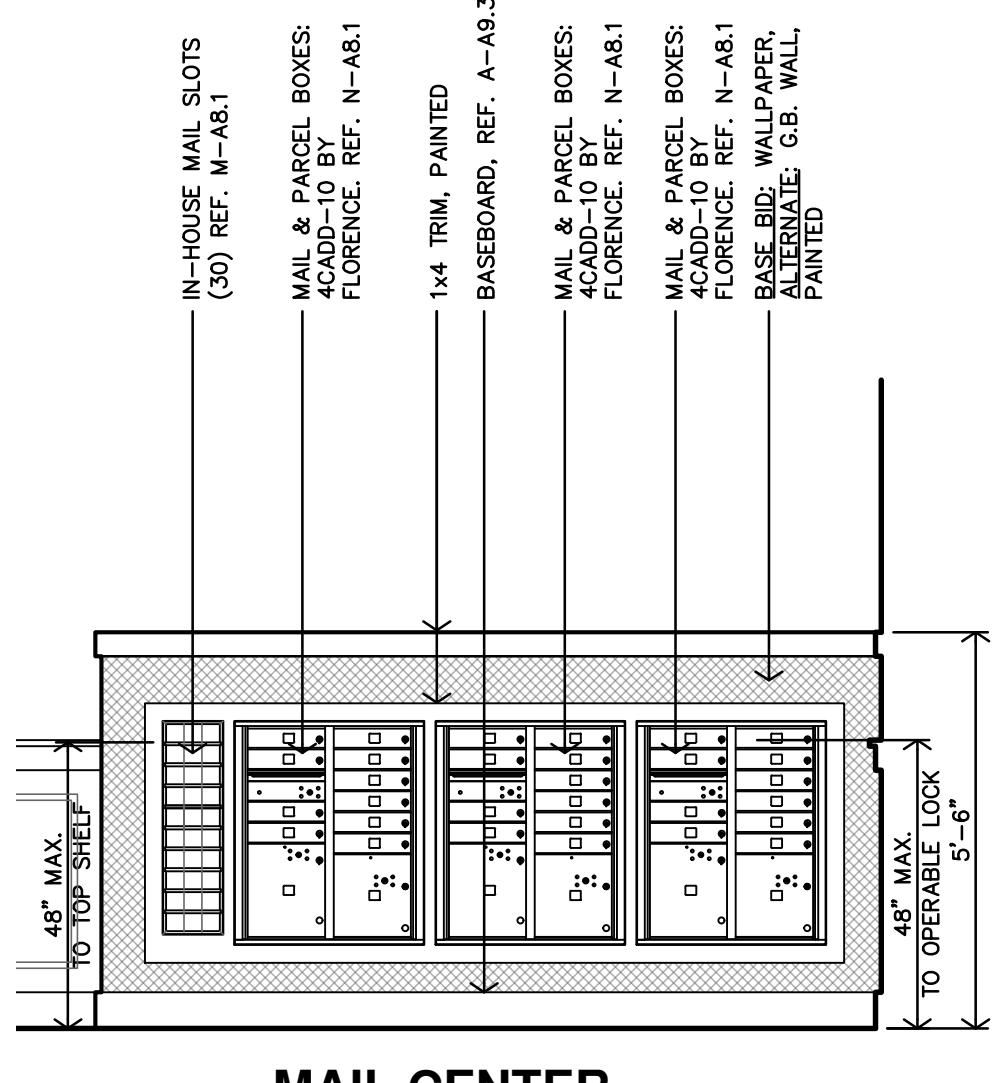
P TYP. HEIGHTS @ H.C. TOILET BACK WALL
 1/4"=1'-0" FOR HC HEIGHTS & LOCATION ONLY



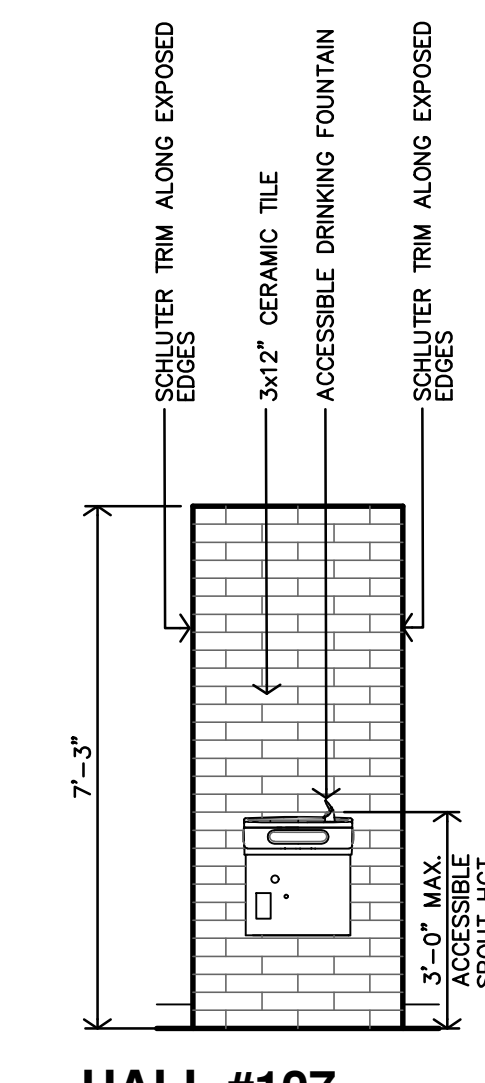
N WALL SECTION @ MAIL CENTER
 3/4"=1'-0"



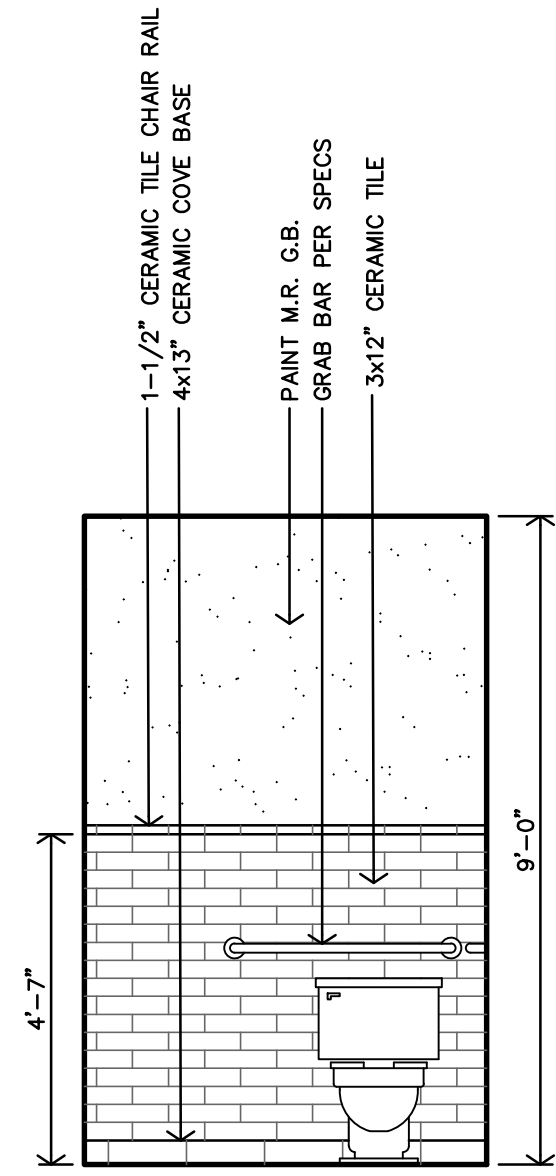
M IN-HOUSE MAIL SLOTS SECTION
 3/4"=1'-0"



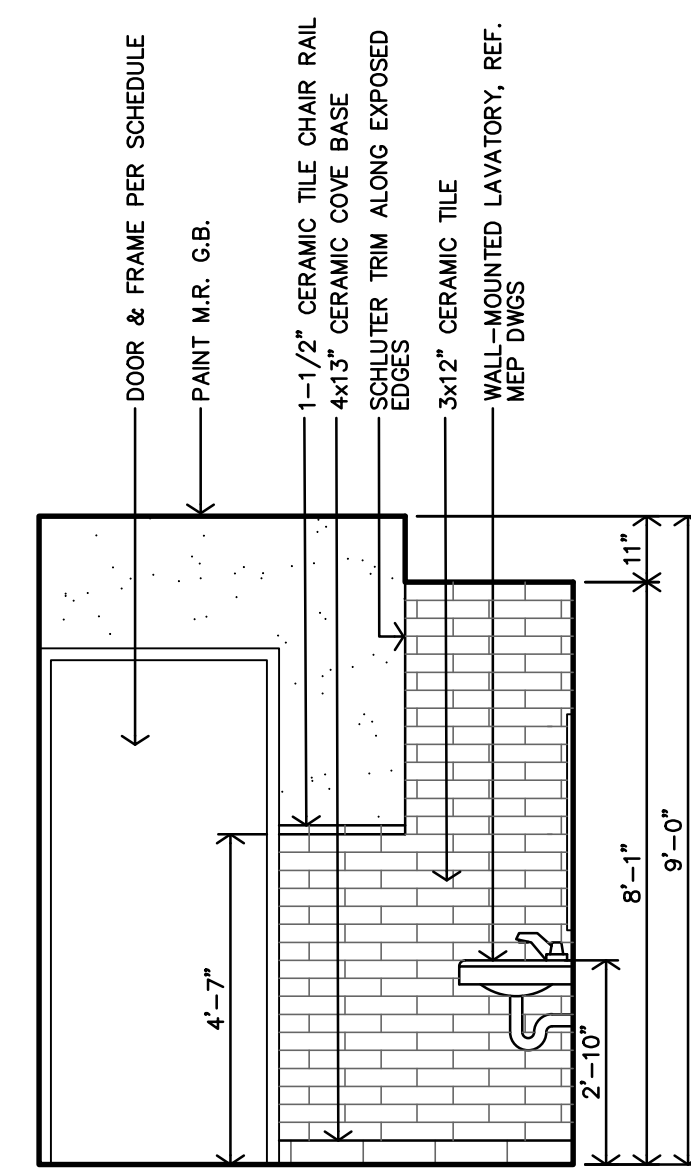
L MAIL CENTER INTERIOR ELEVATION
 3/8"=1'-0"



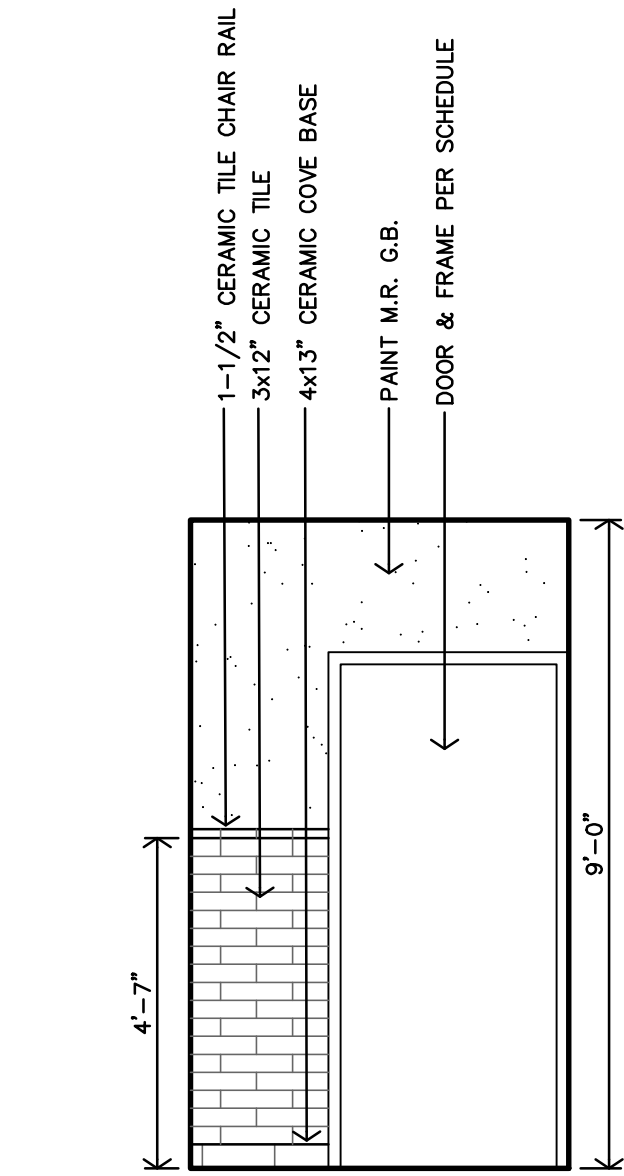
K HALL #107 INTERIOR ELEVATION
 3/8"=1'-0"



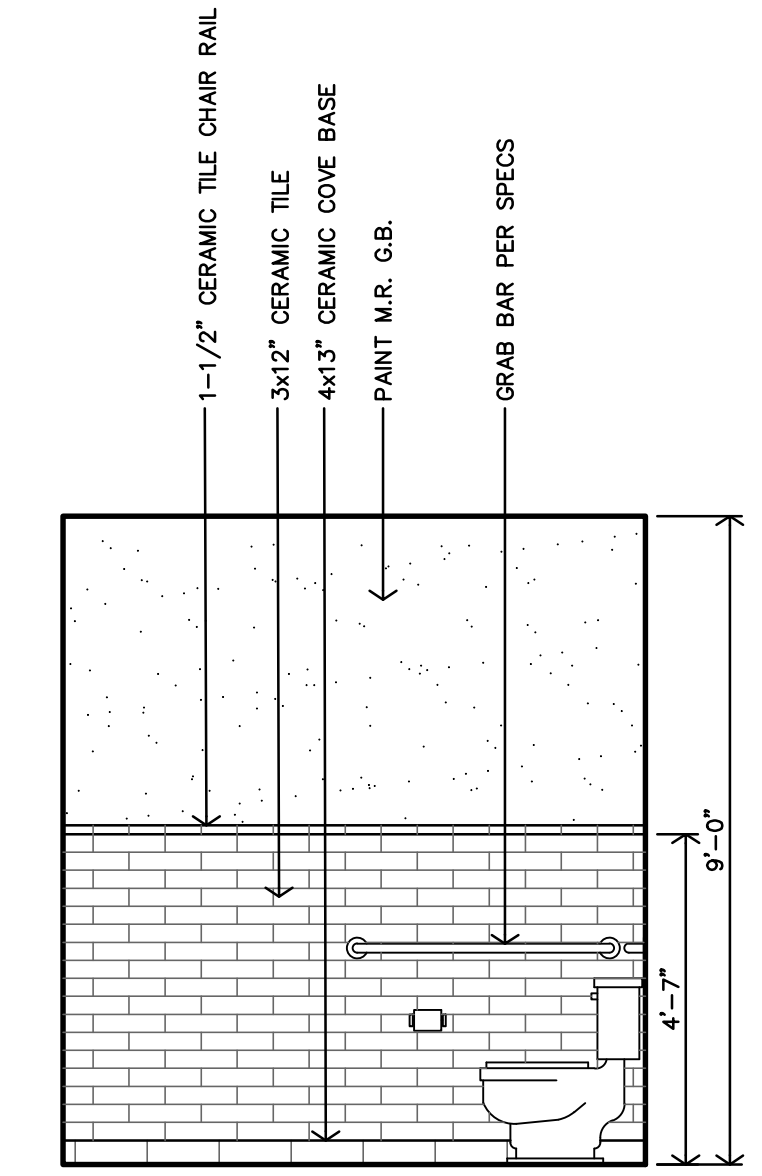
J MEN #104 INTERIOR ELEVATION
 3/8"=1'-0"



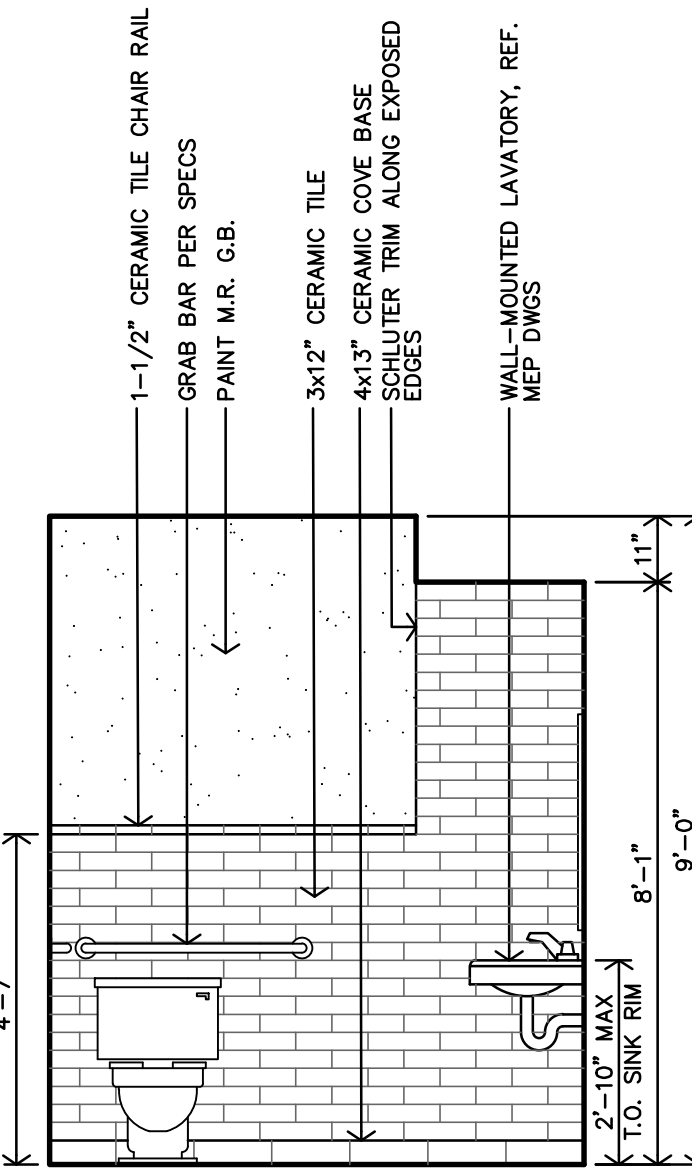
H MEN #104 INTERIOR ELEVATION
 3/8"=1'-0"



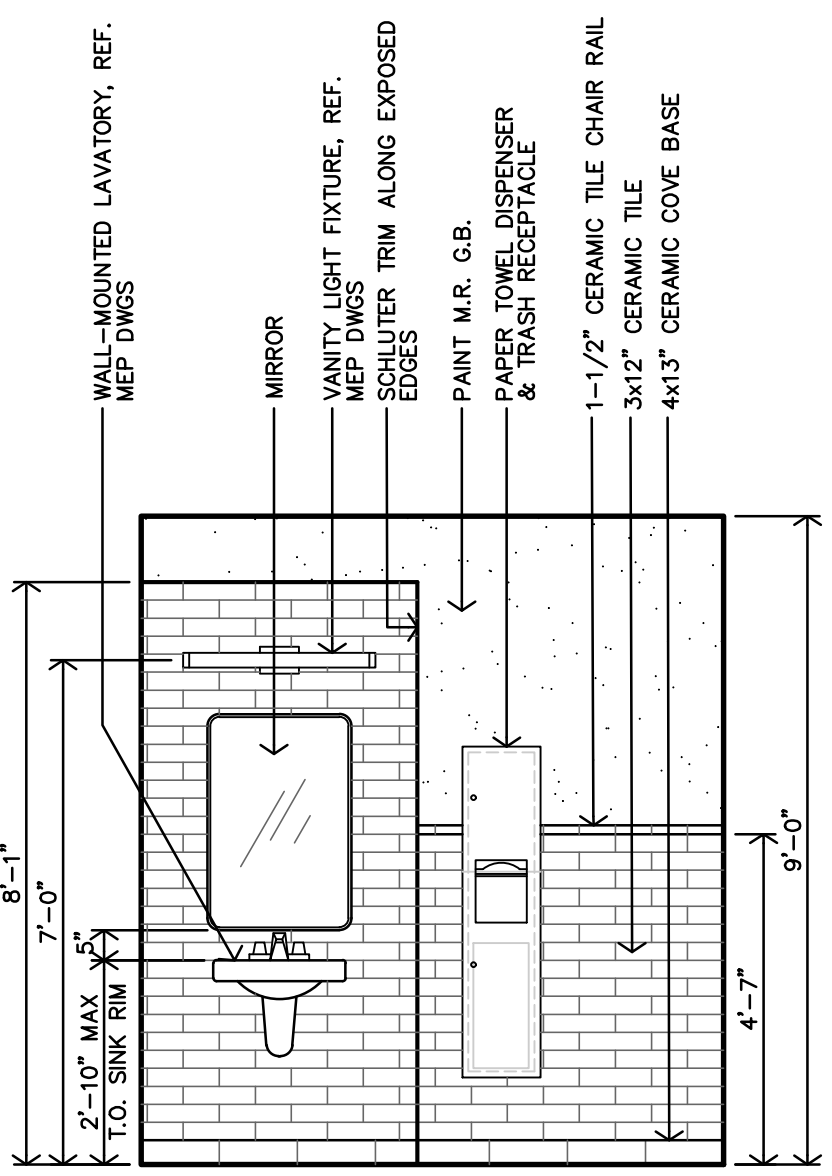
G WOMEN #106 INTERIOR ELEVATION
 3/8"=1'-0"



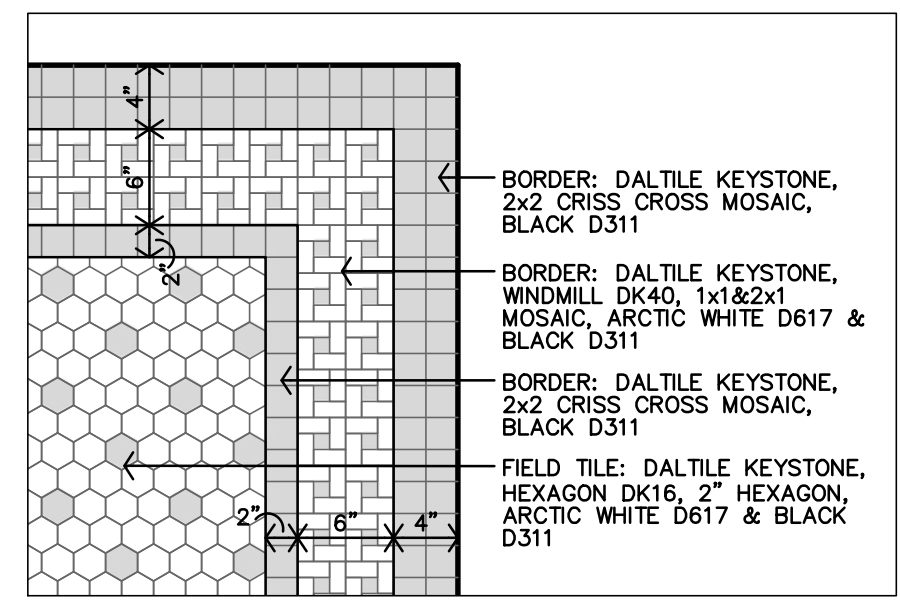
F WOMEN #106 INTERIOR ELEVATION
 3/8"=1'-0" MEN #104 MIRR'D



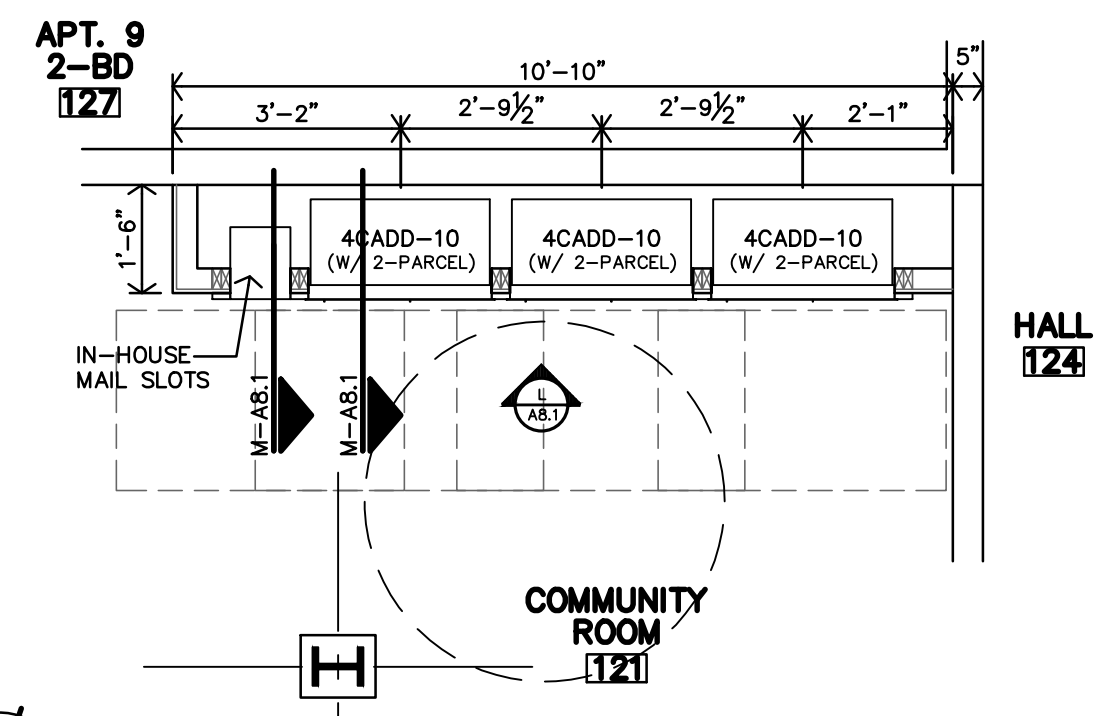
E WOMEN #106 INTERIOR ELEVATION
 3/8"=1'-0"



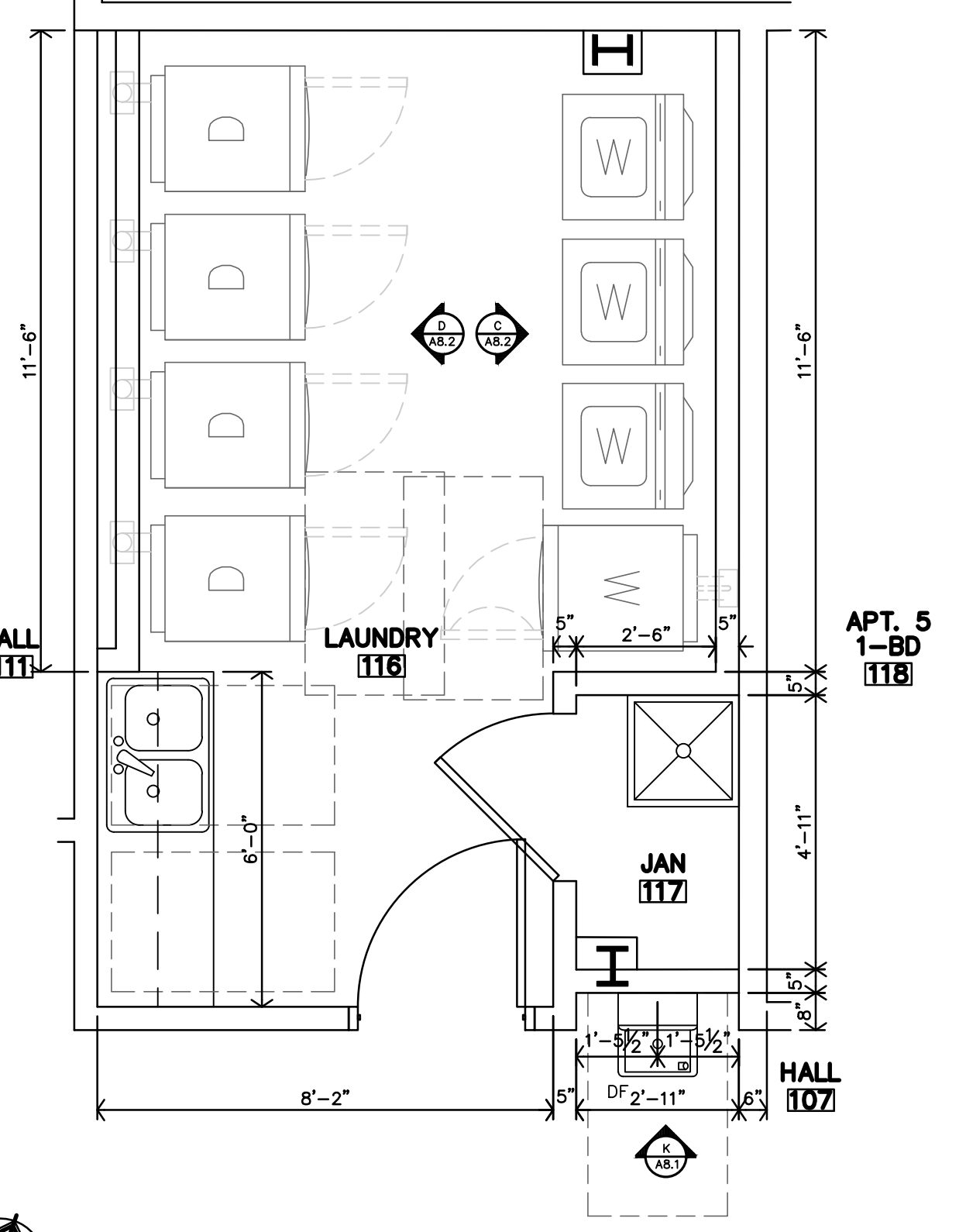
D WOMEN #106 INTERIOR ELEVATION
 3/8"=1'-0" MEN #104 MIRR'D



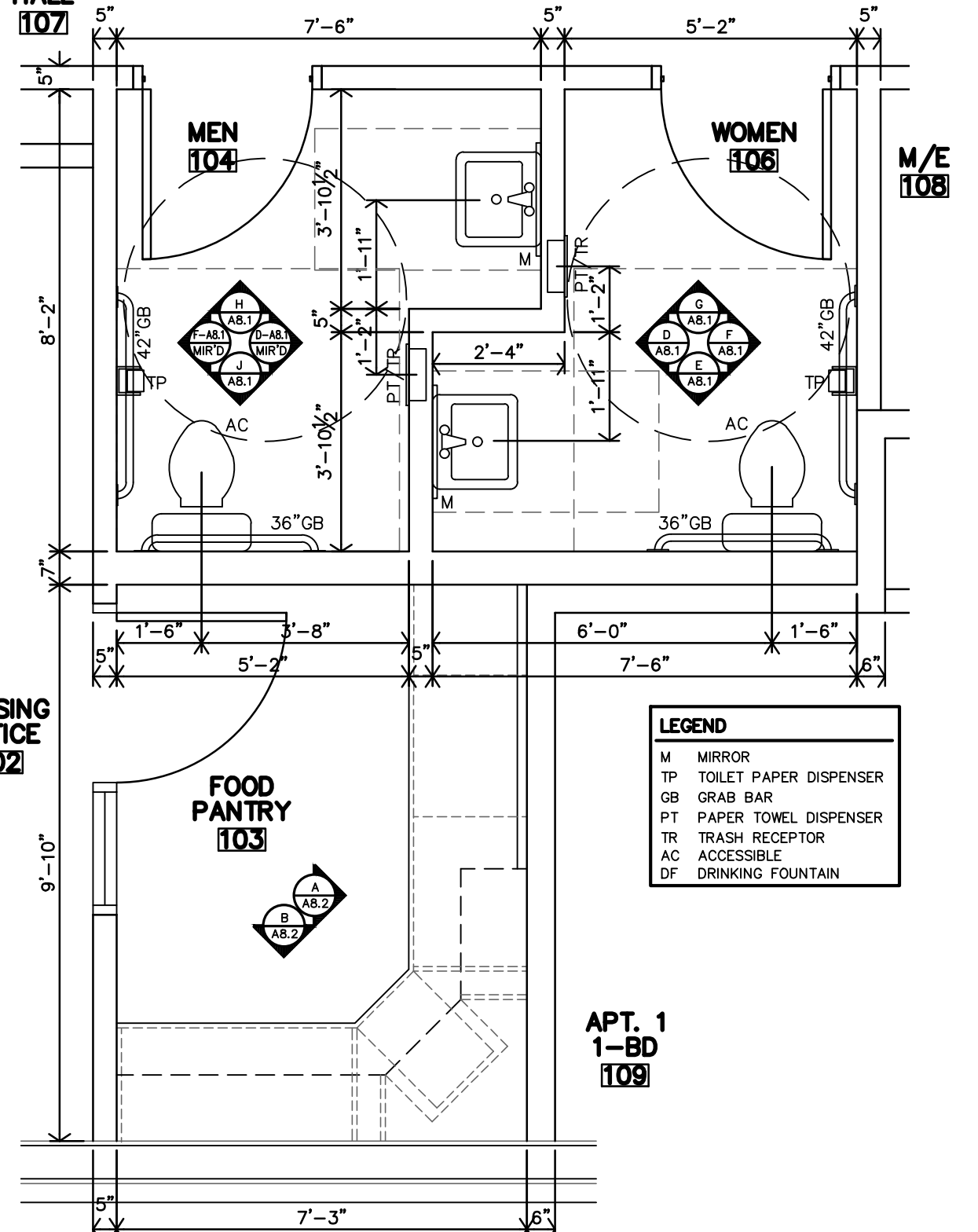
U MEN #104 & WOMEN #106 FLOOR TILE DETAIL
 1"=1'-0"



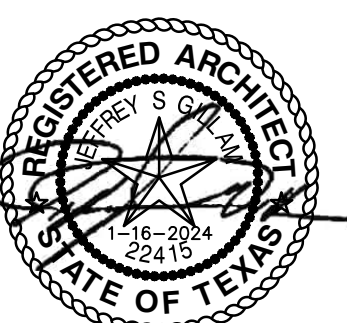
C ENLARGED MAIL CENTER PLAN
 3/8"=1'-0"



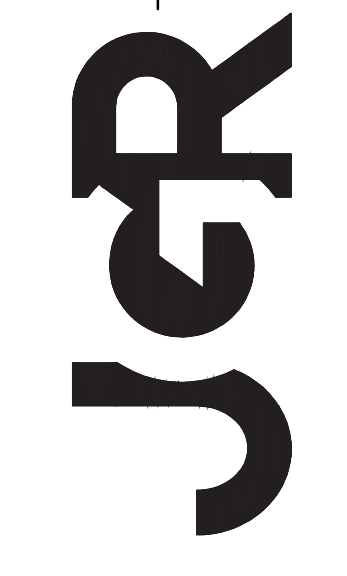
B ENLARGED PUBLIC LAUNDRY PLAN
 3/8"=1'-0"



A ENLARGED PUBLIC RESTROOM PLAN
 3/8"=1'-0"



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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS

REVISION:
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:

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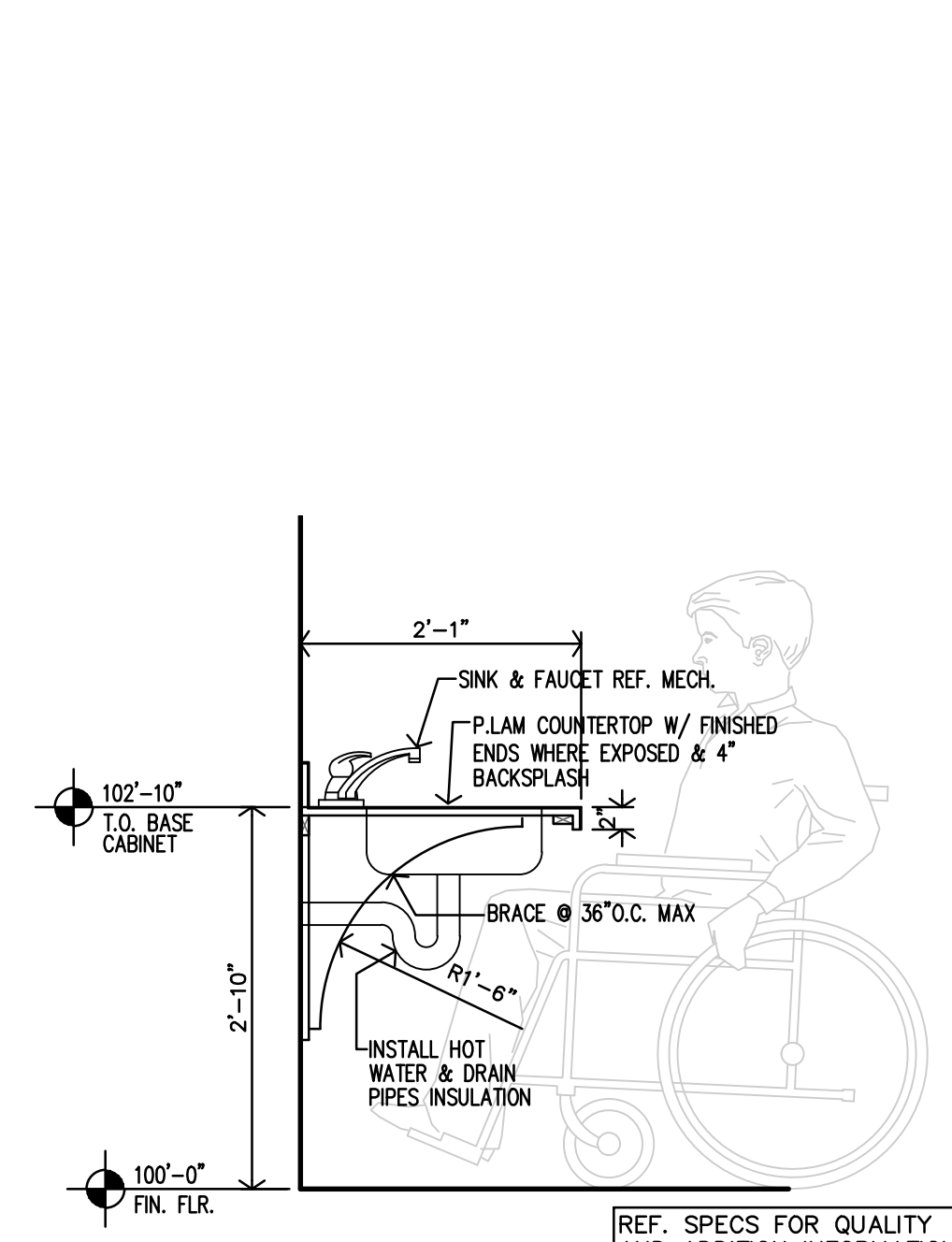


BP24-0000249
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 compliance
 5/30/2024

- ### CASEWORK NOTES
1. PLASTIC LAMINATE ON ALL EXPOSED SURFACES UNLESS NOTED OTHERWISE.
 2. PLASTIC LAMINATE AT ALL EXPOSED EDGES UNLESS NOTED OTHERWISE.
 3. ENTIRE CABINET DOOR (INTERIOR & EXTERIOR) TO BE PLASTIC LAMINATE.
 4. INTERIOR UNEXPOSED SURFACES TO BE "BLACK" MELAMINE UNLESS NOTED OTHERWISE.
 5. COUNTERTOPS & BACKSPLASHES TO BE PLASTIC LAMINATE W/ EASED EDGES.
 6. PROVIDE ALL NECESSARY FILLERS OF MATCHING MATERIALS. INSTALL CONTINUOUS FINISH FLOORING BASE @ CASEWORK TOE/KICK.
 7. ALL ADJUSTABLE SHELVING SHALL BE 3/4" THICK MATERIAL.
 8. ALL ADJUSTABLE UNEXPOSED MELAMINE SHELVING SHALL HAVE ALL FOUR EDGES TAPED.
 9. EXPOSED ADJUSTABLE SHELVING SHALL HAVE FULL THICKNESS PLASTIC LAMINATE AT ALL EXPOSED SURFACES AND ALL FOUR EDGES. TAPE IS NOT ACCEPTABLE.
 10. COUNTERTOPS SHALL RECEIVE 1/8" W x 3mm EDGE BAND.
 11. ALL UPPER CABINETS SHALL HAVE (2) ADJUSTABLE SHELVES PER EACH, UNLESS NOTED OTHERWISE.
 12. REFERENCE ELEVATIONS FOR NUMBER OF ADJUSTABLE SHELVES AT LOWER CABINET UNITS.
 13. STAINING AND PAINTING OF ALL HARDWOOD TRIM SHALL BE PER THE PAINTER.
 14. MULTIPLE LAMINATES (PREMIUM FINISHES AS WELL) WILL BE SELECTED BY ARCHITECT.
 15. CABINETS TO BE FLUSH OVERLAY UNLESS NOTED OTHERWISE.
 16. PROVIDE BLOCKING BEHIND WALL FOR SUPPORT OF CABINETRY.
 17. PROVIDE & INSTALL ANGLE SUPPORT BRACKETS WHERE COUNTERTOP SPAN EXCEEDS 36" IN WIDTH.

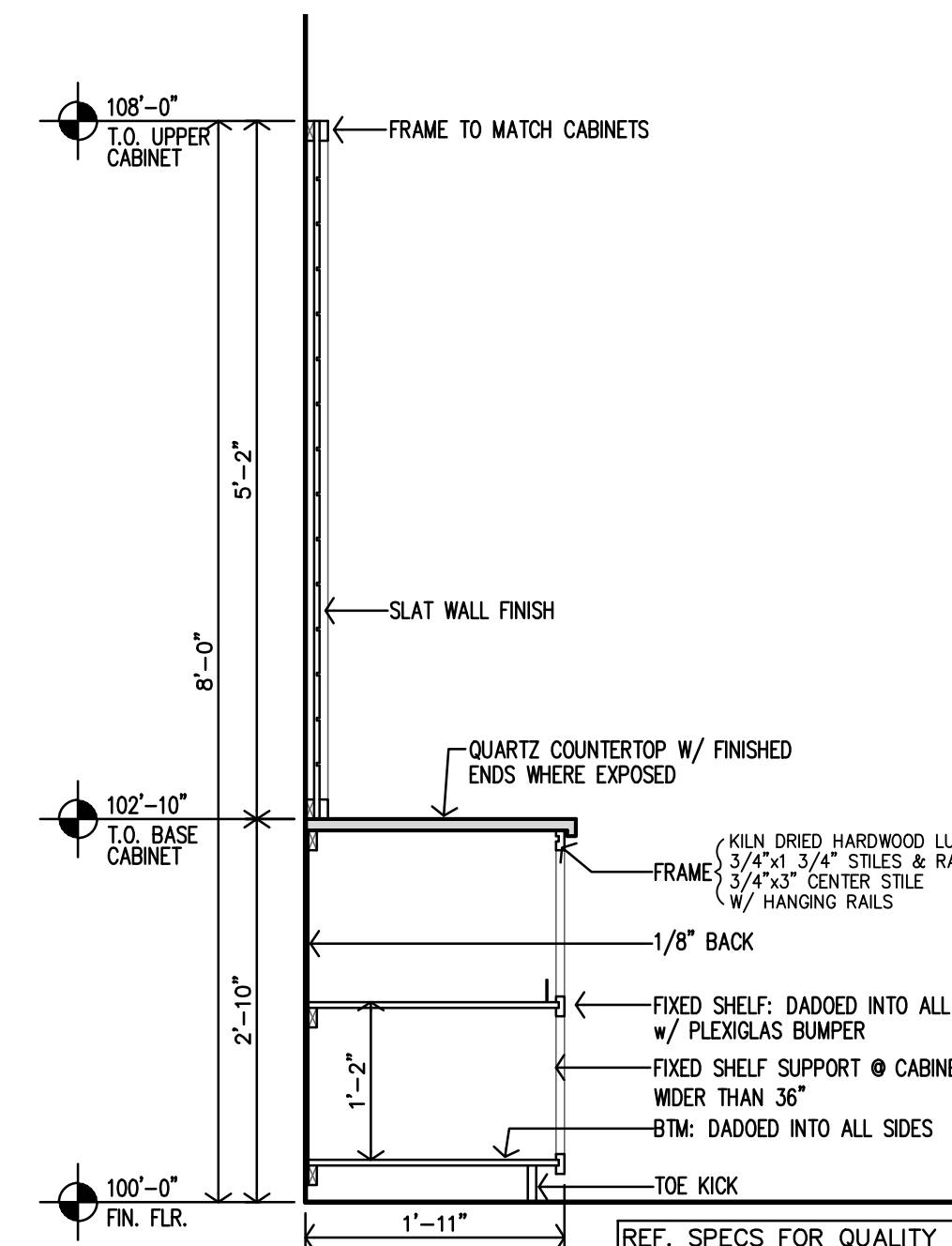


FOOD PANTRY #103 CASEWORK INSPIRATION



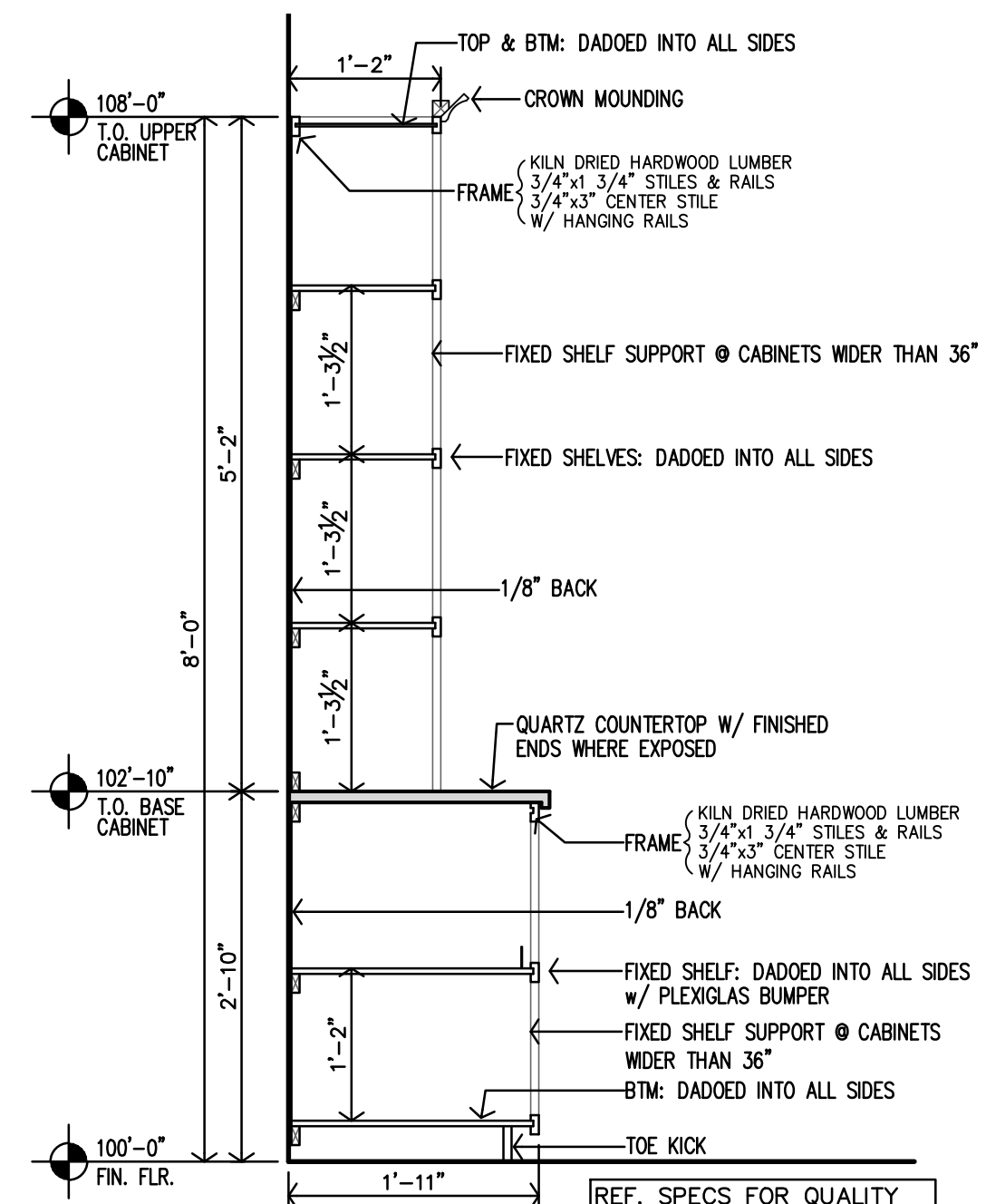
NOTES:
 1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.
 3. QUARTZ COUNTERTOP - SILICONE SEALANT TYP @ MATERIAL TRANSITIONS

G LAUNDRY #116 CASEWORK SECTION
 3/8"=1'-0"



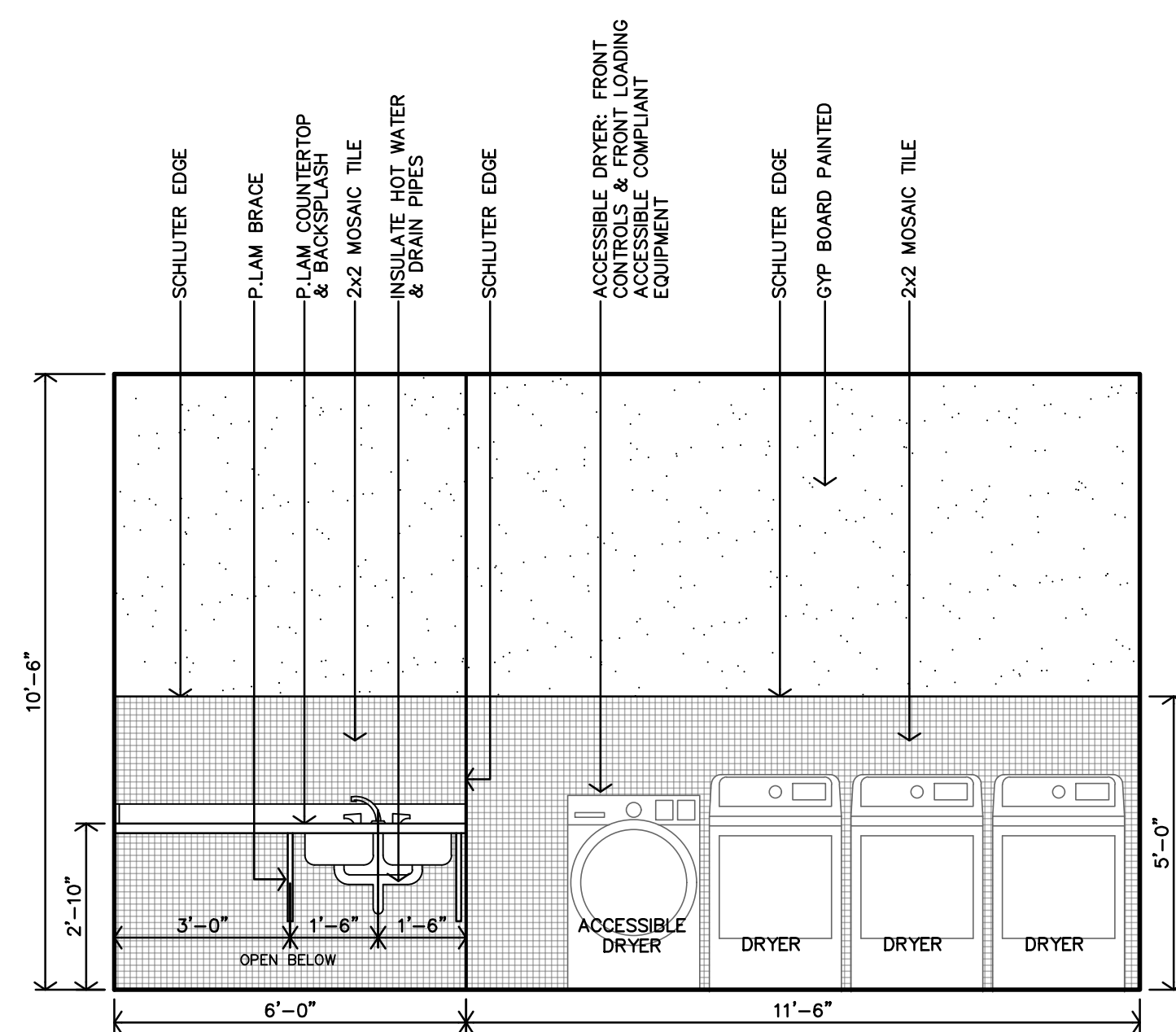
NOTES:
 1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.
 3. QUARTZ COUNTERTOP - SILICONE SEALANT TYP @ MATERIAL TRANSITIONS

F FOOD PANTRY #103 CASEWORK SECTION
 3/4"=1'-0"

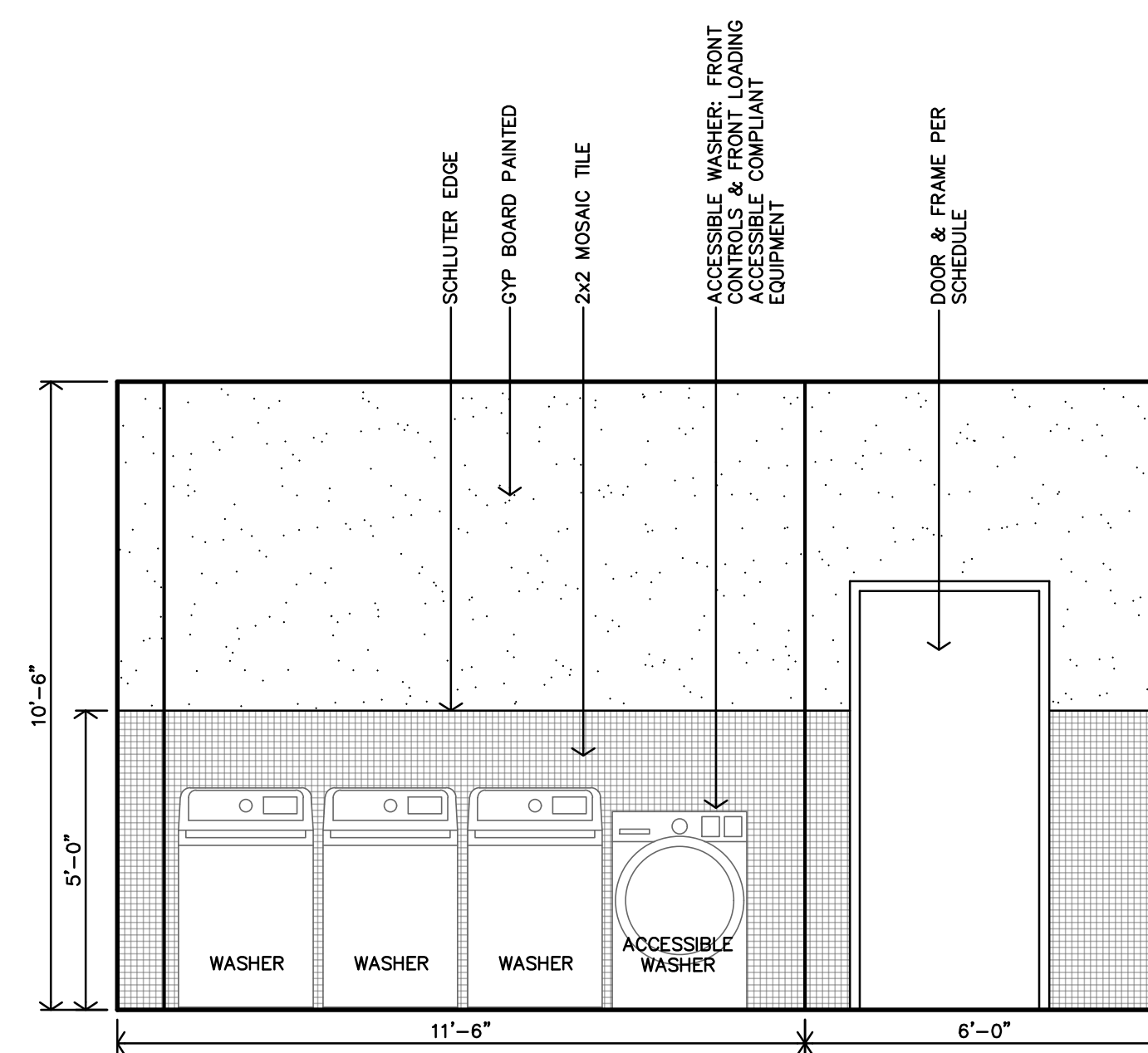


NOTES:
 1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.
 3. QUARTZ COUNTERTOP - SILICONE SEALANT TYP @ MATERIAL TRANSITIONS

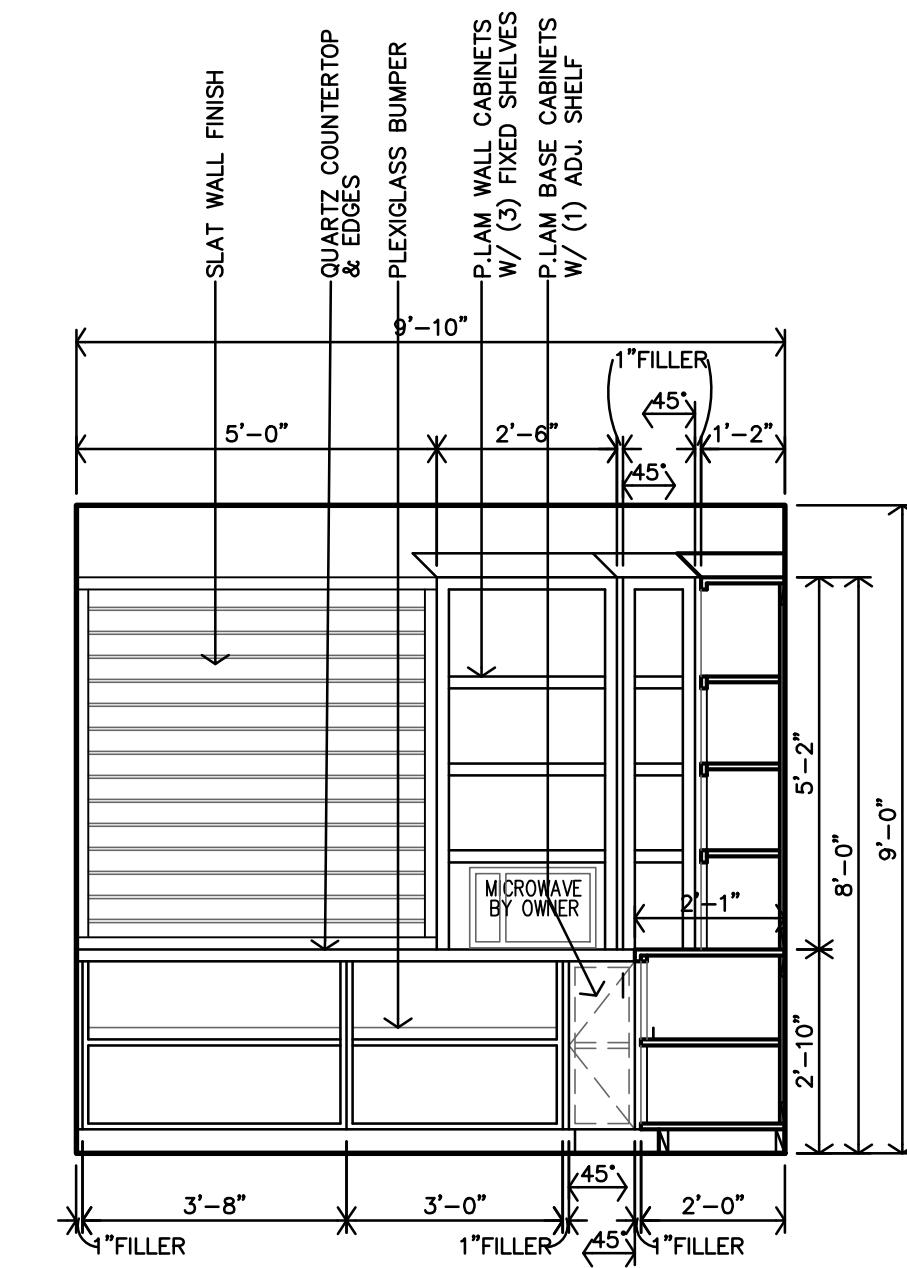
E FOOD PANTRY #103 CASEWORK SECTION
 3/4"=1'-0"



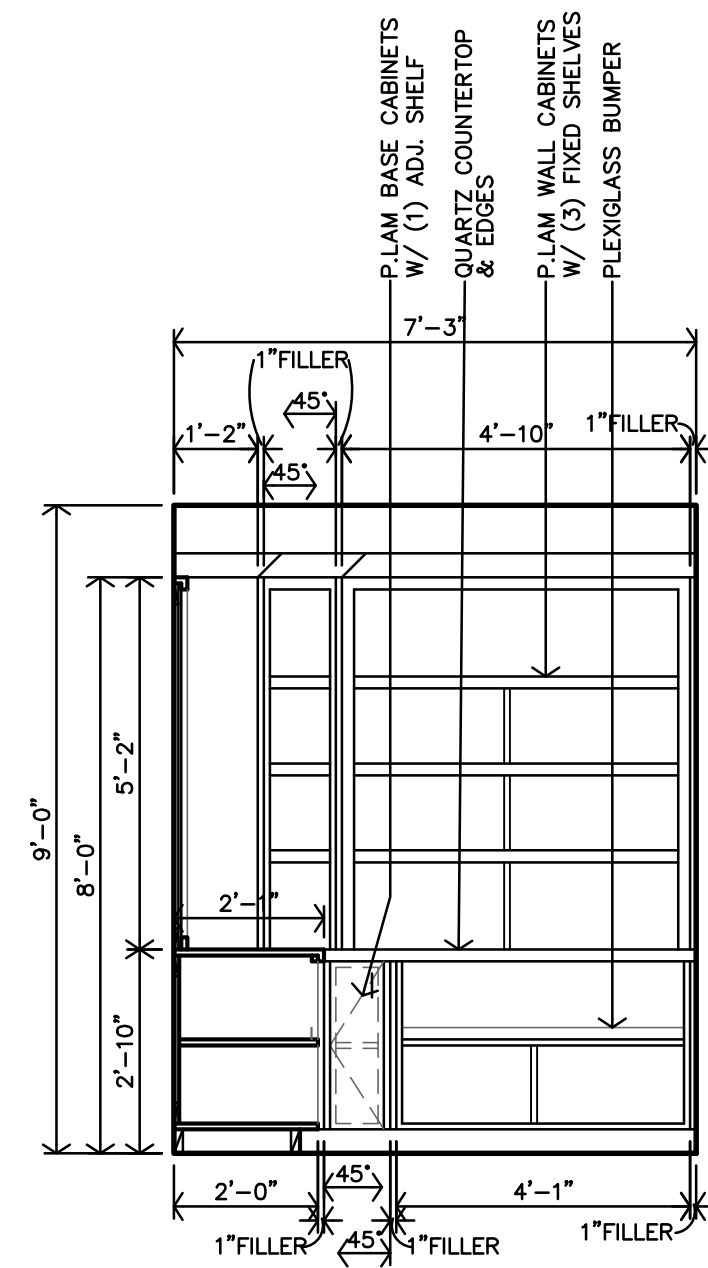
D LAUNDRY #116 INTERIOR ELEVATION
 3/8"=1'-0"



C LAUNDRY #116 INTERIOR ELEVATION
 3/8"=1'-0"



B FOOD PANTRY #103 INTERIOR ELEVATION
 3/8"=1'-0"



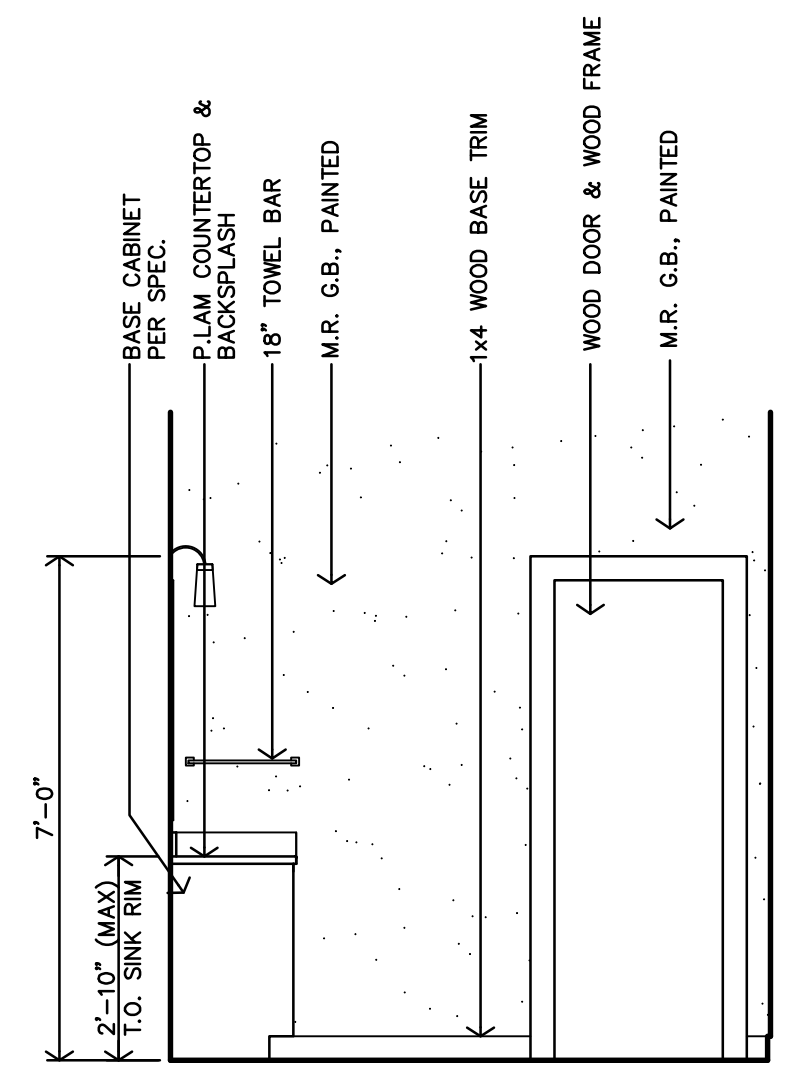
A FOOD PANTRY #103 INTERIOR ELEVATION
 3/8"=1'-0"



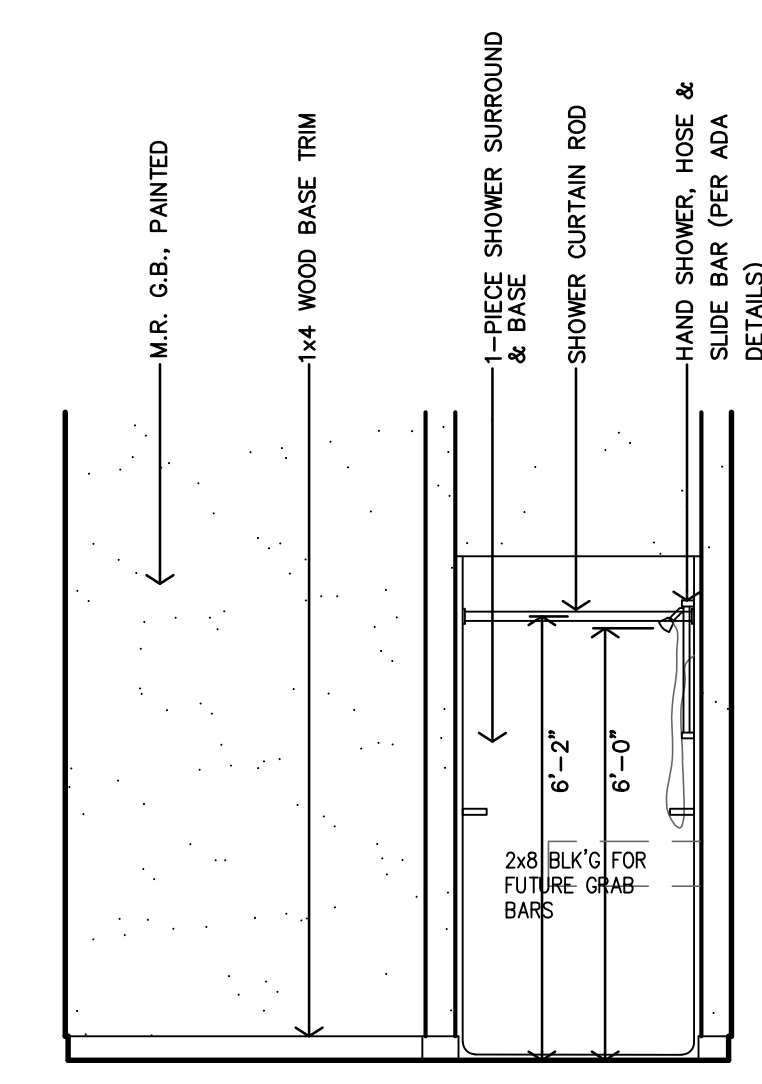
REVISION:
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:



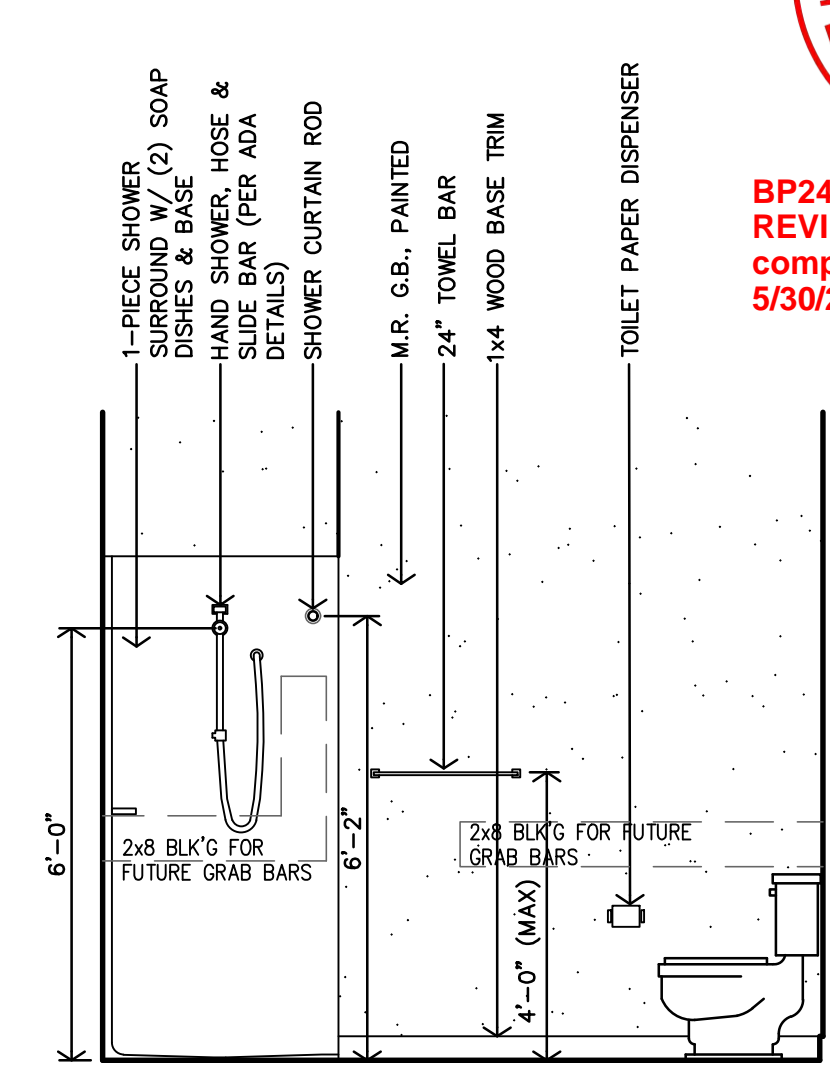
BP24-0000249
 REVIEWED for code
 compliance
 5/30/2024



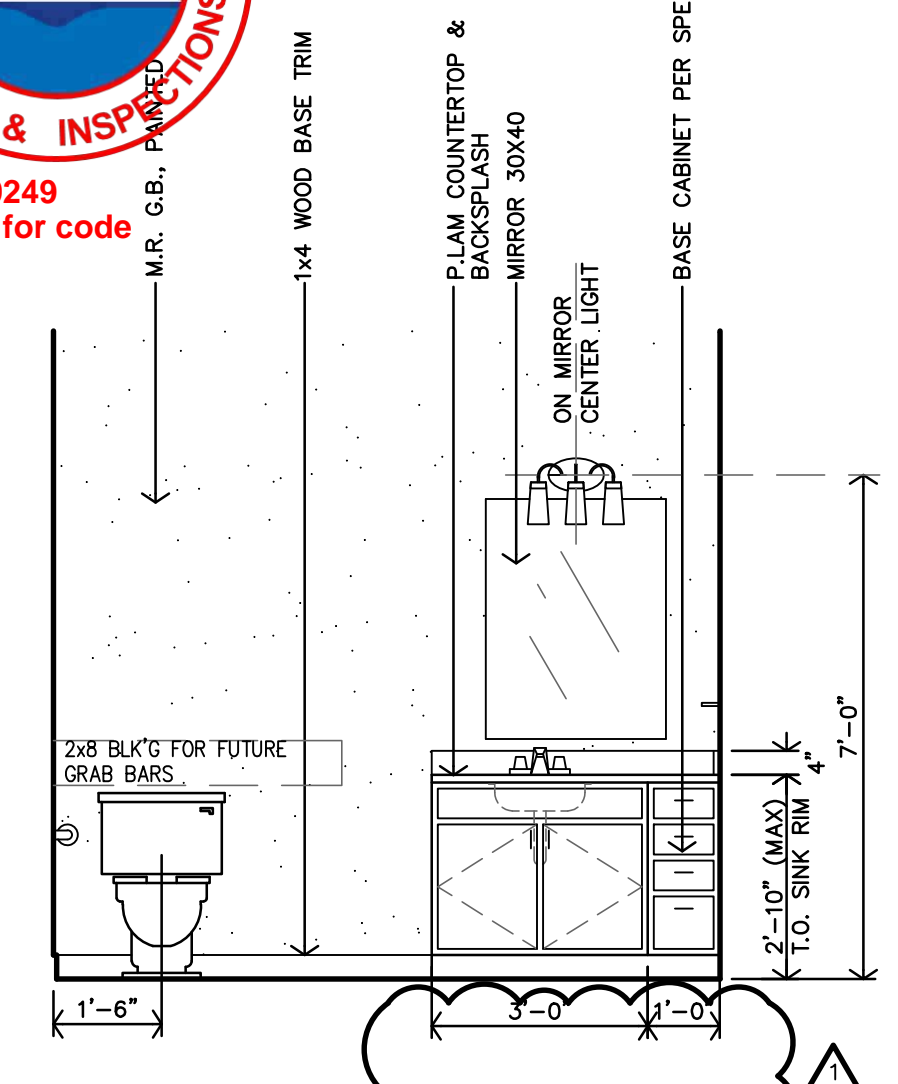
R
 ADAPTABLE BATH - TYPE #3
 INTERIOR ELEVATION
 3/8"=1'-0"



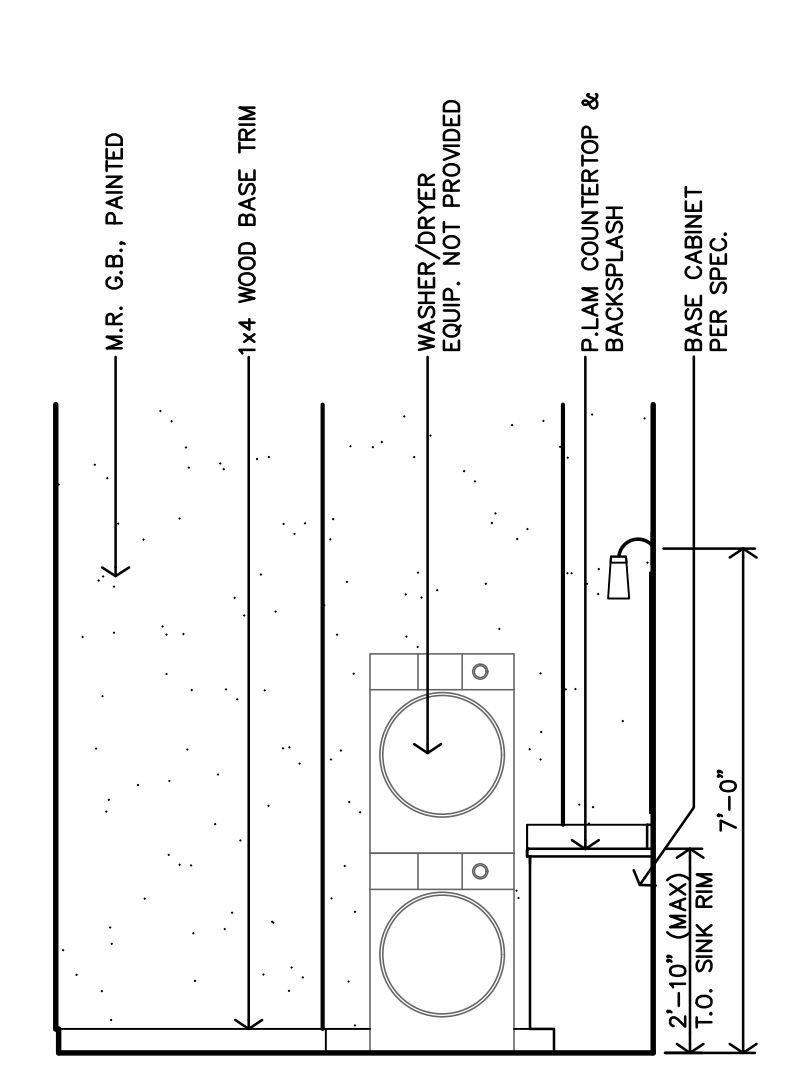
Q
 ADAPTABLE BATH - TYPE #3
 INTERIOR ELEVATION
 3/8"=1'-0"



P
 ADAPTABLE BATH - TYPE #3
 INTERIOR ELEVATION
 3/8"=1'-0"



N
 ADAPTABLE BATH - TYPE #3
 INTERIOR ELEVATION
 3/8"=1'-0"

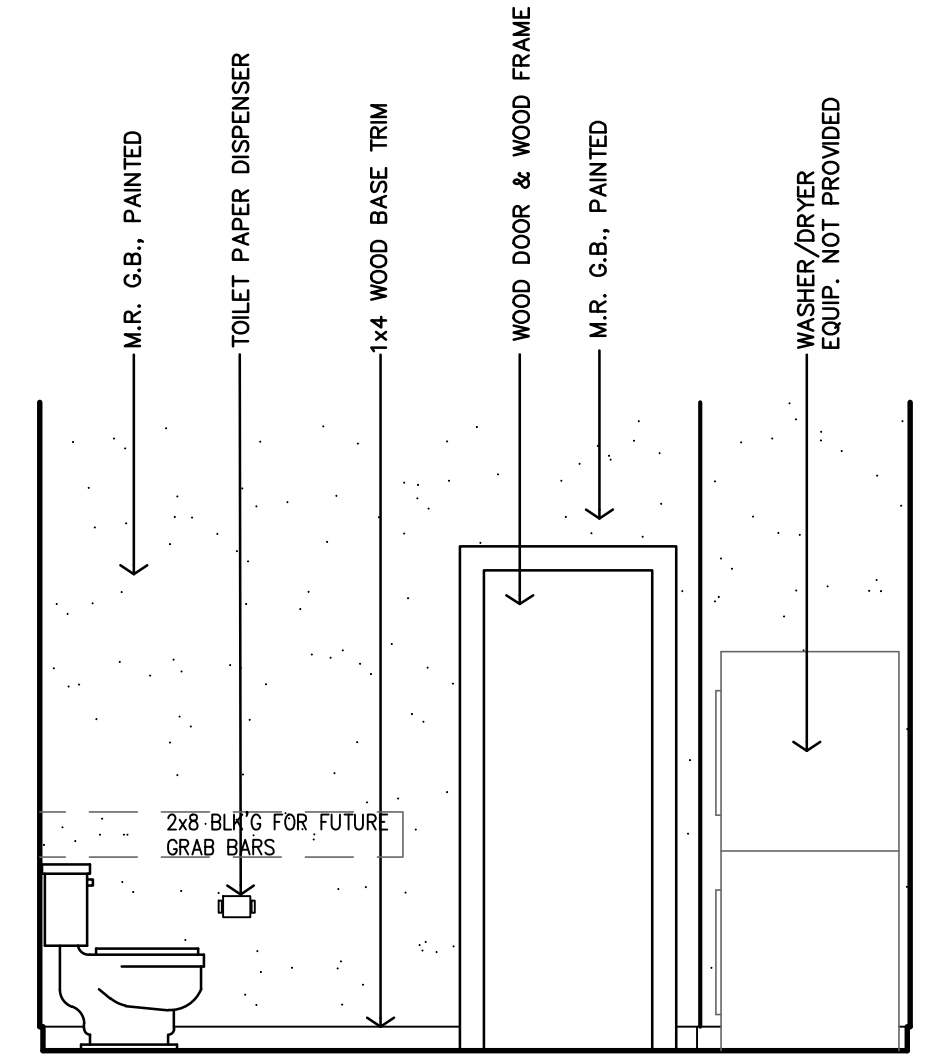


M
 ADAPTABLE BATH - TYPE #2
 INTERIOR ELEVATION
 3/8"=1'-0"

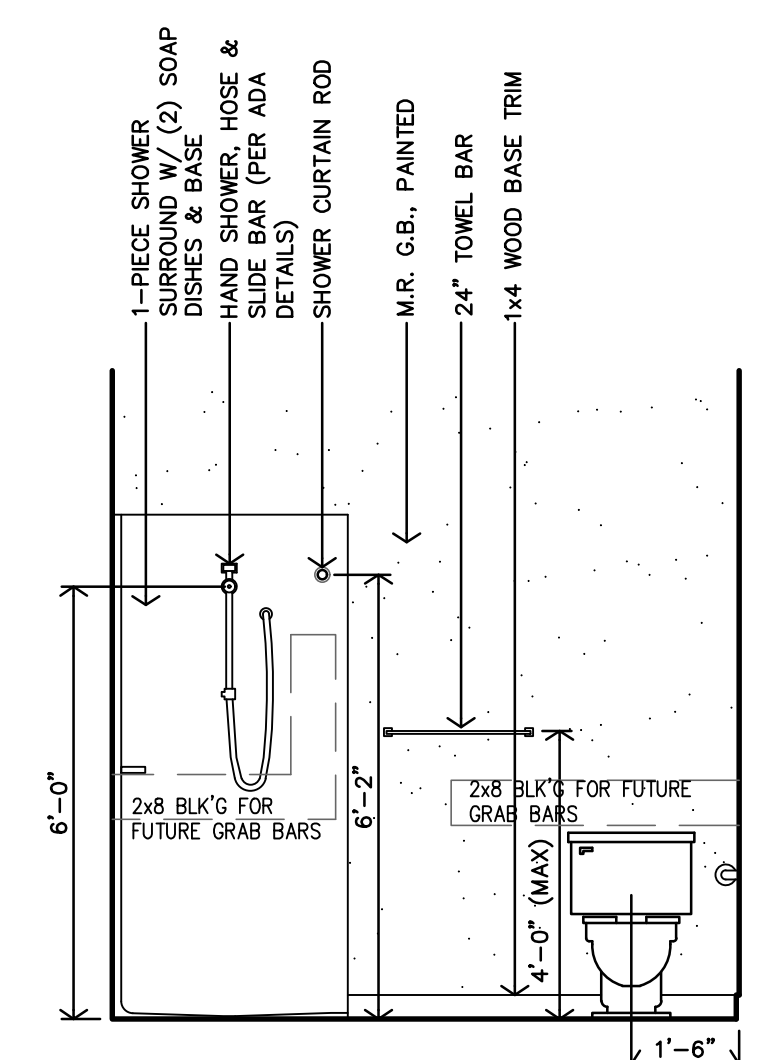
ENLARGED BATH GENERAL NOTES:

- REF UNIT GENERAL NOTES FOR ADDITIONAL DIRECTION ON SHEET A2.0.
- ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
- CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, TOWEL BARS & FUTURE GRABS BARS, FUTURE SHOWER SEAT AS REQ'D. (REF. SHEET AAB.3).
- SHOWER SEAT TO BE INSTALLED PER TENANT REQUEST IN ADAPTABLE UNITS.
- REMOVABLE CABINETS TO PROVIDE 30" CLEAR MIN. FLOORING & WALL FINISH TO BE CONTINUOUS UNDER CABINET.
- ALL APARTMENT LAUNDRY AREAS: HOOK-UPS TO BE PROVIDED. WASHING MACHINES AND DRYER EQUIPMENT ARE NOT PART OF THIS CONTRACT.

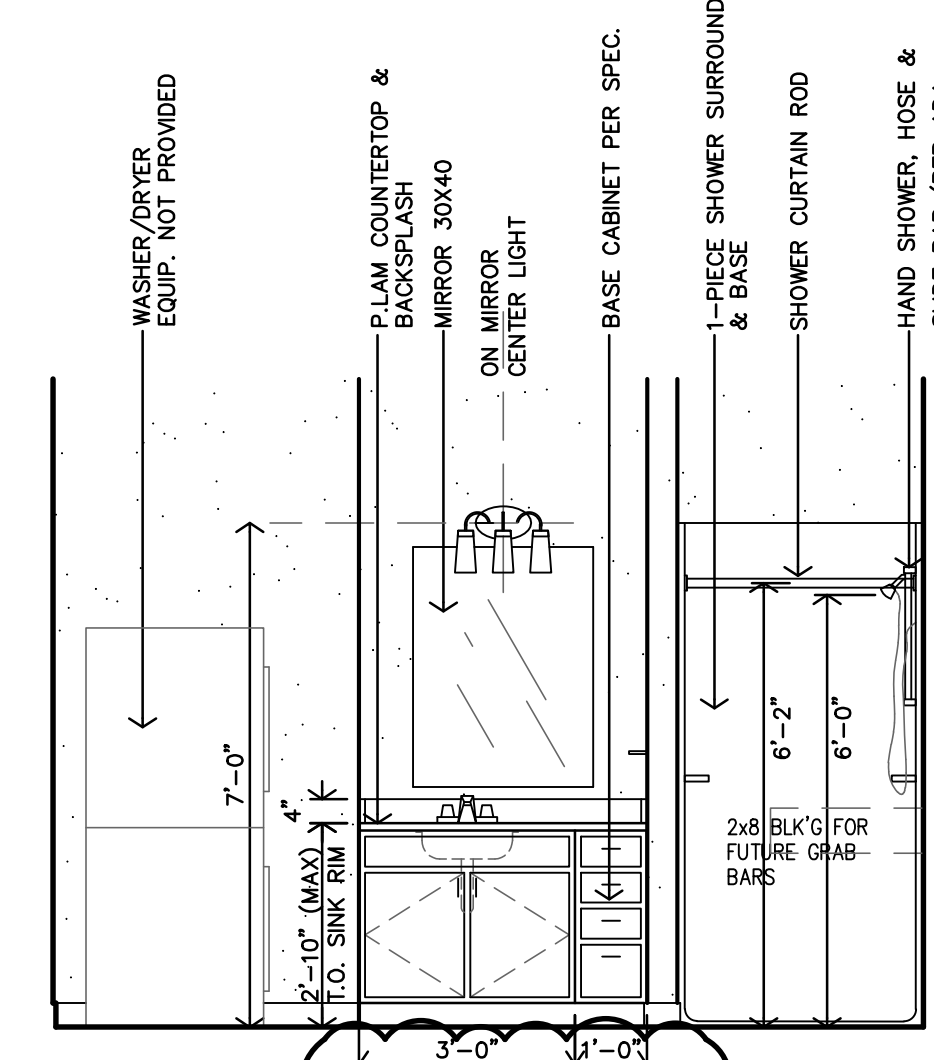
BATH KEYNOTES:	LEGEND
1) VERIFY ROUGH OPENING SIZE w/ SHOWER UNIT REF. MECH DWGS	M MIRROR
2) PLASTIC COATED WIRE SHELF & ROD @ 69" O.C. AFF	TP TOILET PAPER DISPENSER
3) PLASTIC COATED WIRE SHELF & ROD @ 47" O.C. AFF (ACCESSIBLE UNITS)	TB TOWEL BAR
4) WATER HEATER & FURNACE - REF. MECH. DRAWINGS	SR SHOWER ROD
5) 12" DEEP PLASTIC COATED WIRE SHELVES WITH ADJUSTABLE BRACKETS (5 TOTAL)	CL CORNER LEDGE
6) REMOVABLE CABINET	SH SHOWER HEAD
7) ELECTRICAL, WATER, ETC. HOOK-UPS FOR SIDE-BY-SIDE WASHER AND DRYER (ACCESSIBLE). (WASHER & DRYER EQUIPMENT NOT PROVIDED)	SS SHOWER SEAT
8) ELECTRICAL, WATER, ETC. HOOK-UPS FOR STACKED WASHER AND DRYER. (WASHER & DRYER EQUIPMENT NOT PROVIDED)	GB GRAB BAR



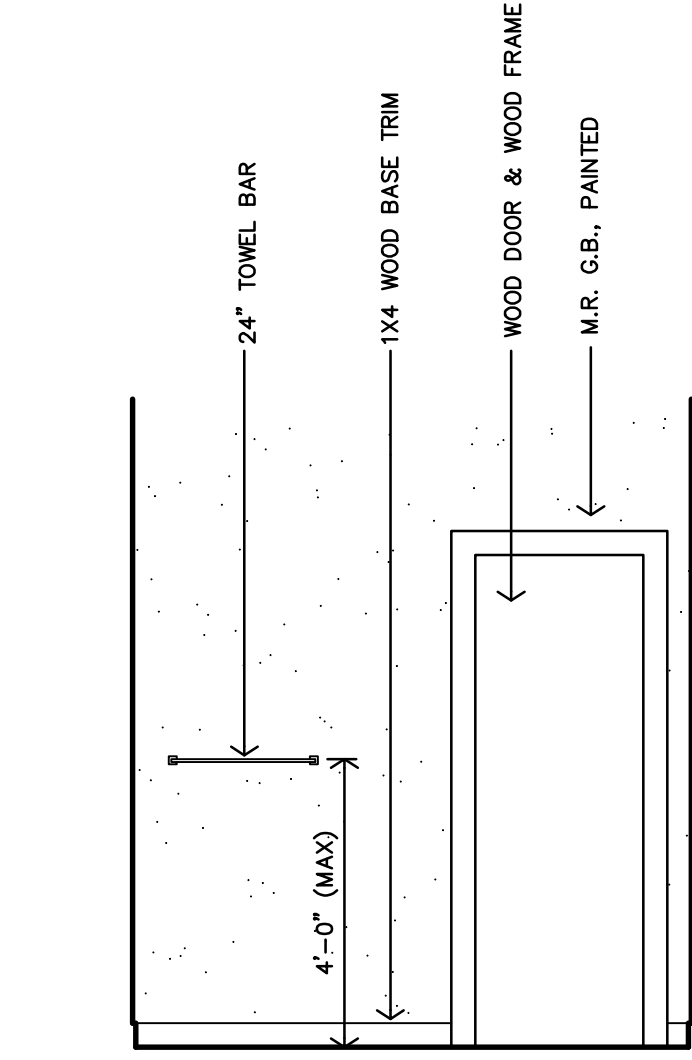
L
 ADAPTABLE BATH - TYPE #2
 INTERIOR ELEVATION
 3/8"=1'-0"



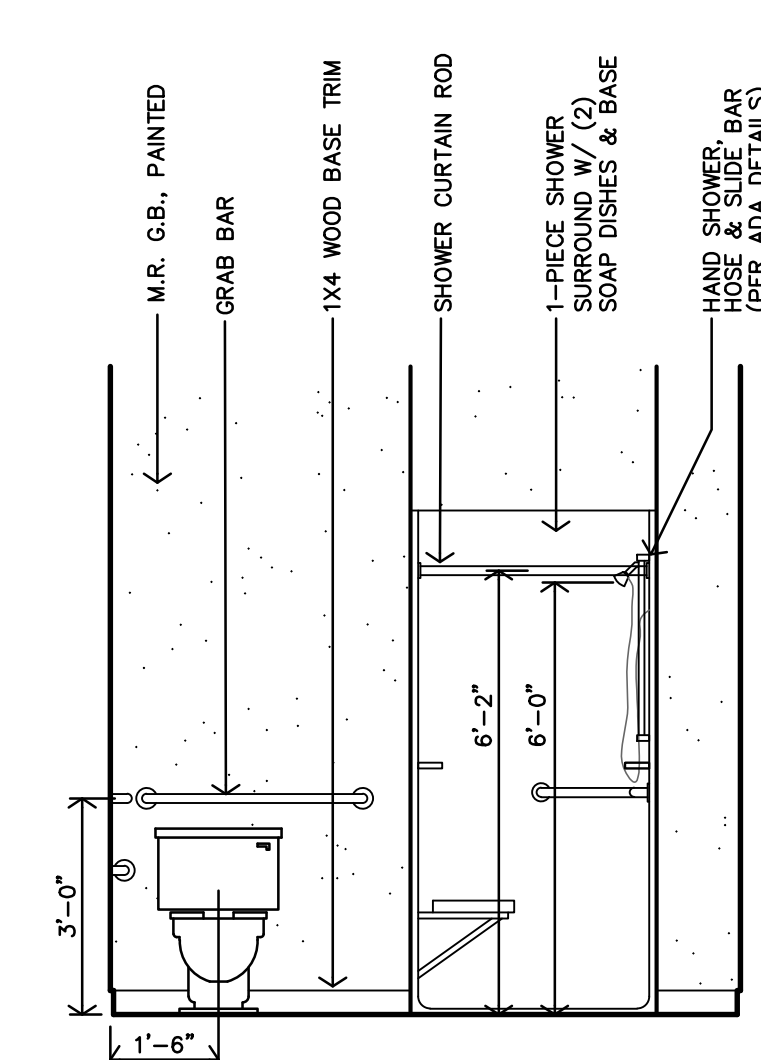
K
 ADAPTABLE BATH - TYPE #2
 INTERIOR ELEVATION
 3/8"=1'-0"



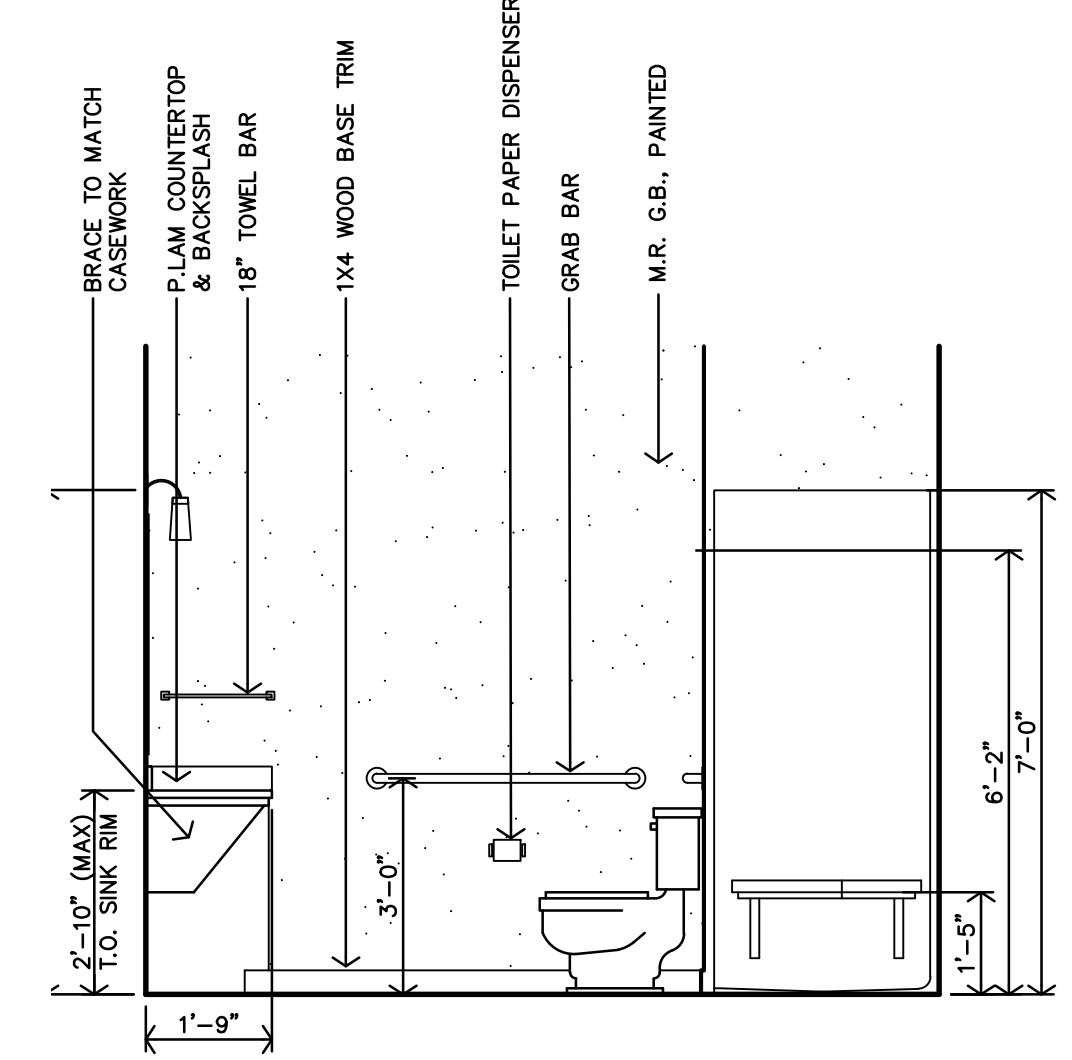
J
 ADAPTABLE BATH - TYPE #2
 INTERIOR ELEVATION
 3/8"=1'-0"



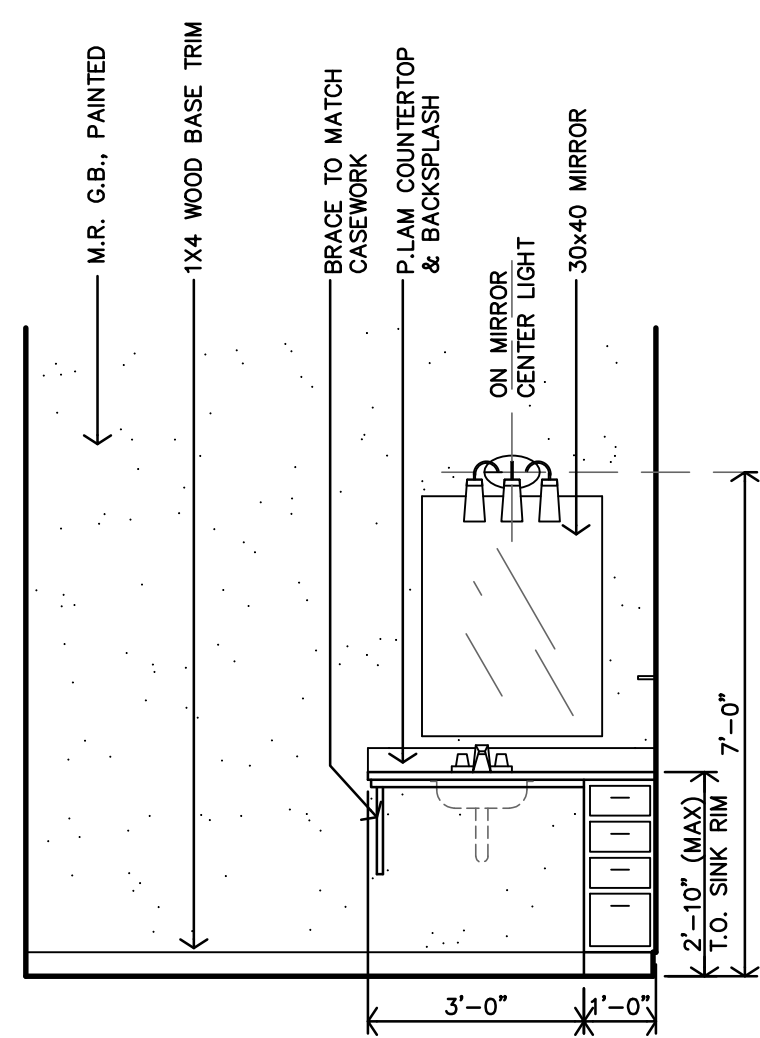
H
 ACCESSIBLE BATH - TYPE #1
 INTERIOR ELEVATION
 3/8"=1'-0"



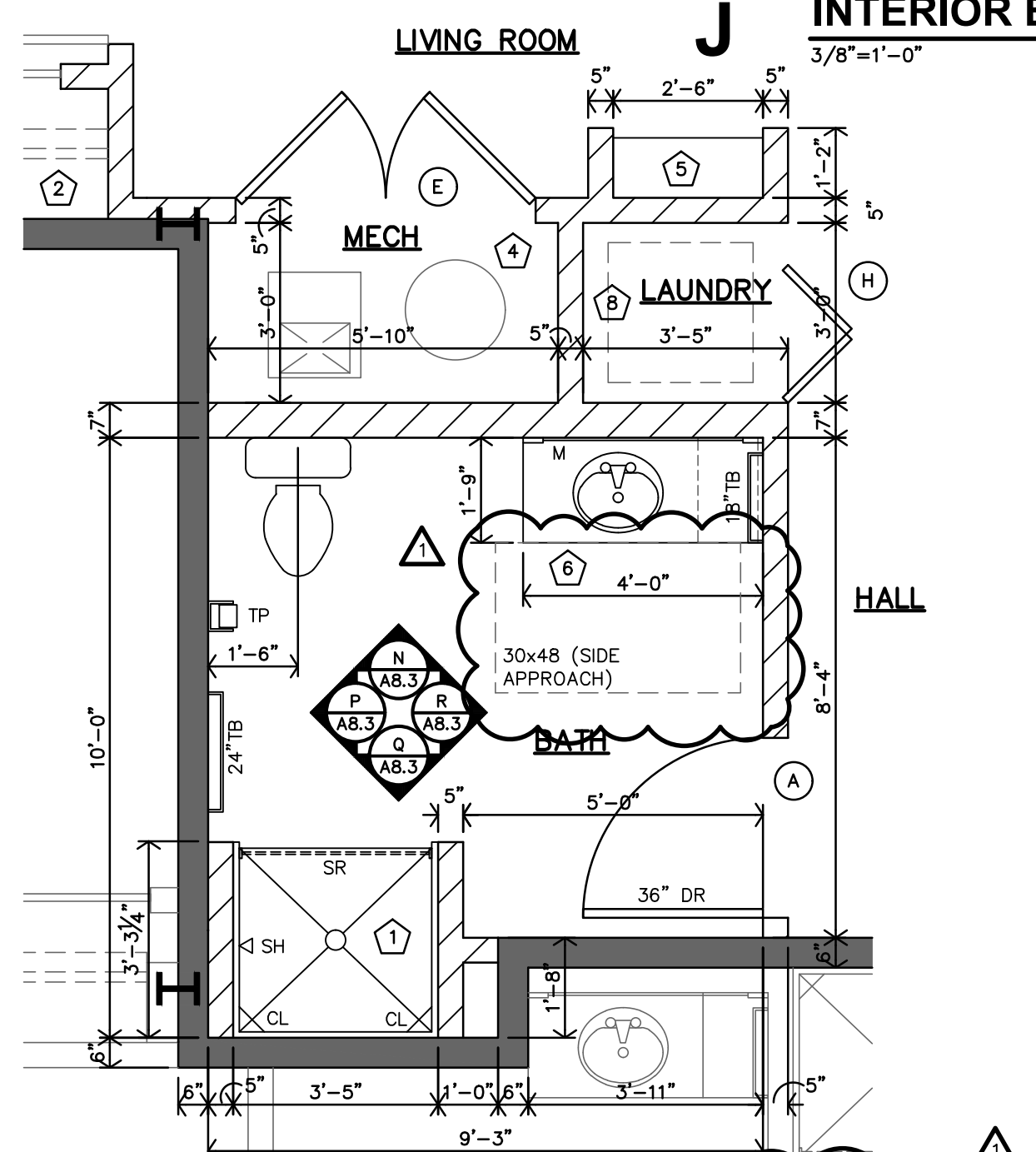
G
 ACCESSIBLE BATH - TYPE #1
 INTERIOR ELEVATION
 3/8"=1'-0"



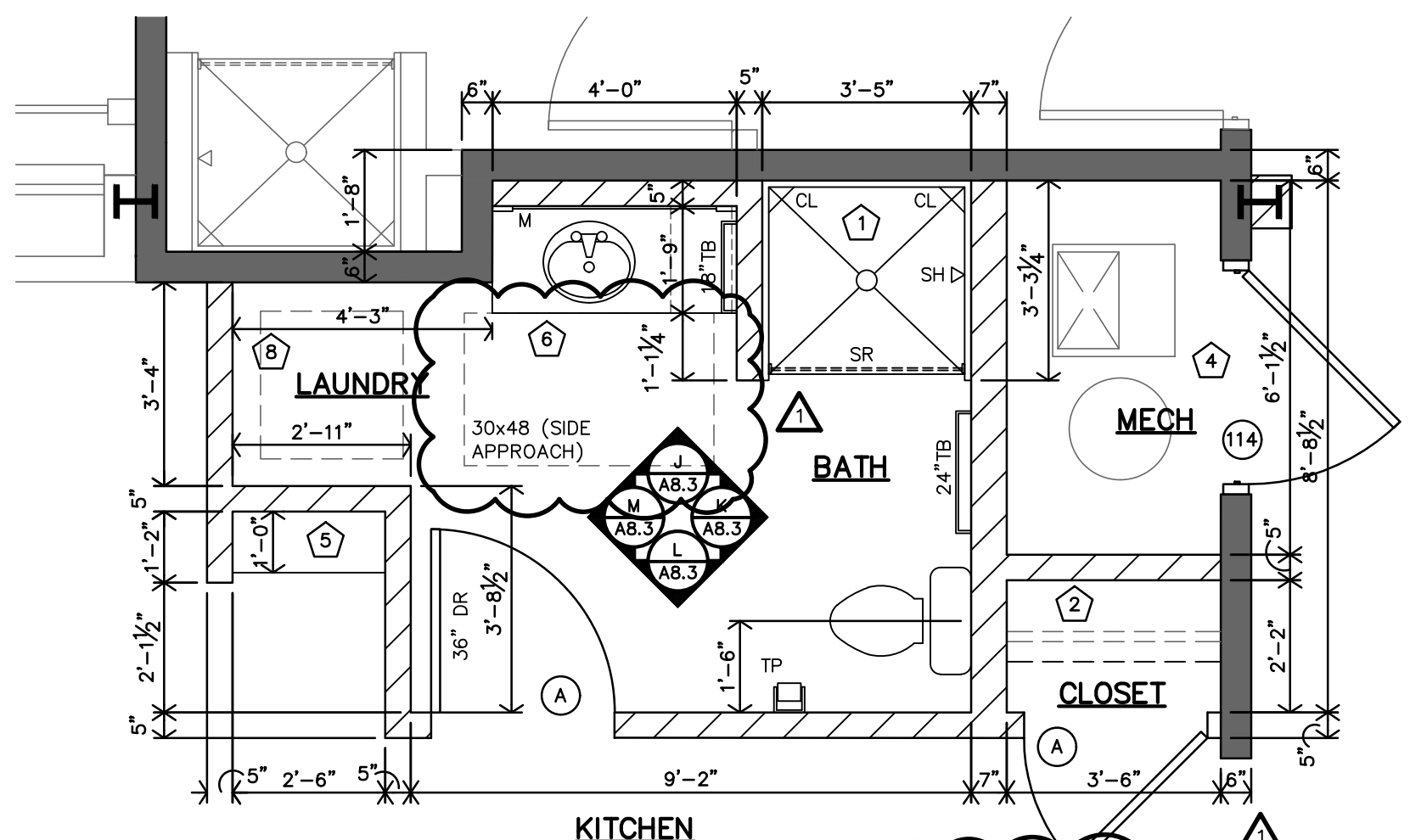
F
 ACCESSIBLE BATH - TYPE #1
 INTERIOR ELEVATION
 3/8"=1'-0"



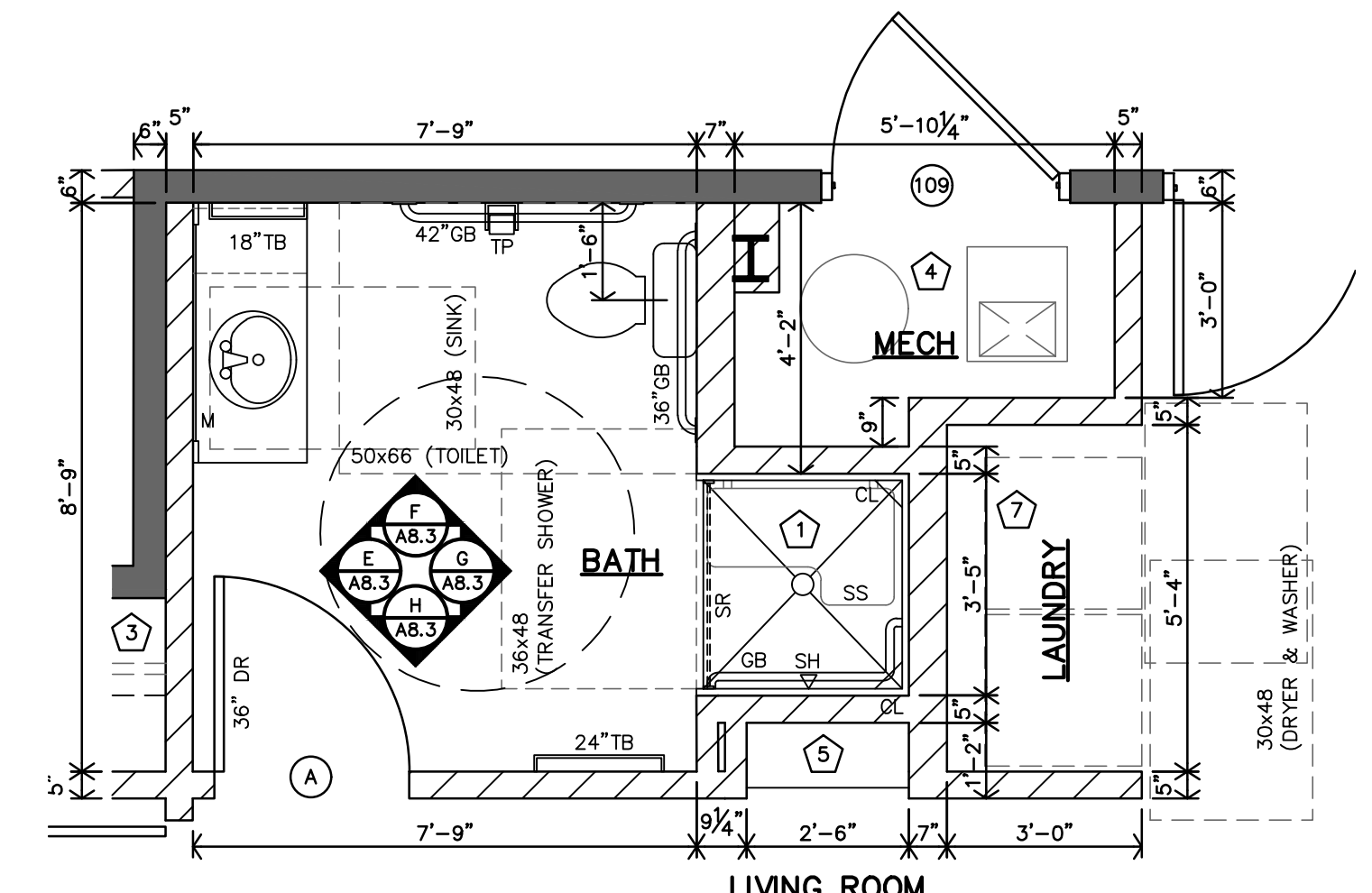
E
 ACCESSIBLE BATH - TYPE #1
 INTERIOR ELEVATION
 3/8"=1'-0"



C
 TYPE 3 - ADAPTABLE (TYPE B UNIT)
 ENLARGED BATH PLAN
 3/8"=1'-0"
 APT 3 (#113)
 SIMILAR: APT. 11 (#202), APT. 19 (#302)



B
 TYPE 2 - ADAPTABLE (TYPE B UNIT)
 ENLARGED BATH PLAN
 3/8"=1'-0"
 APT 2 (#112)



A
 TYPE 1 (ACCESSIBLE)
 ENLARGED BATH PLAN
 3/8"=1'-0"
 APT 1 (#109)

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ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



REVISION:

2-20-2024

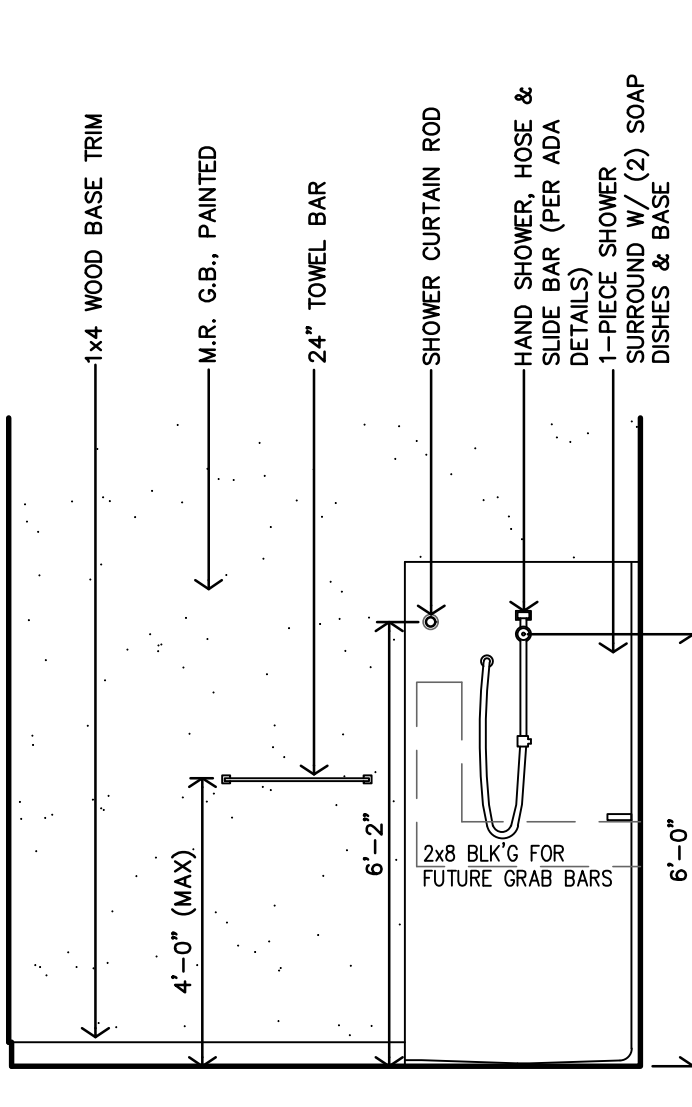
DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:

A8.3

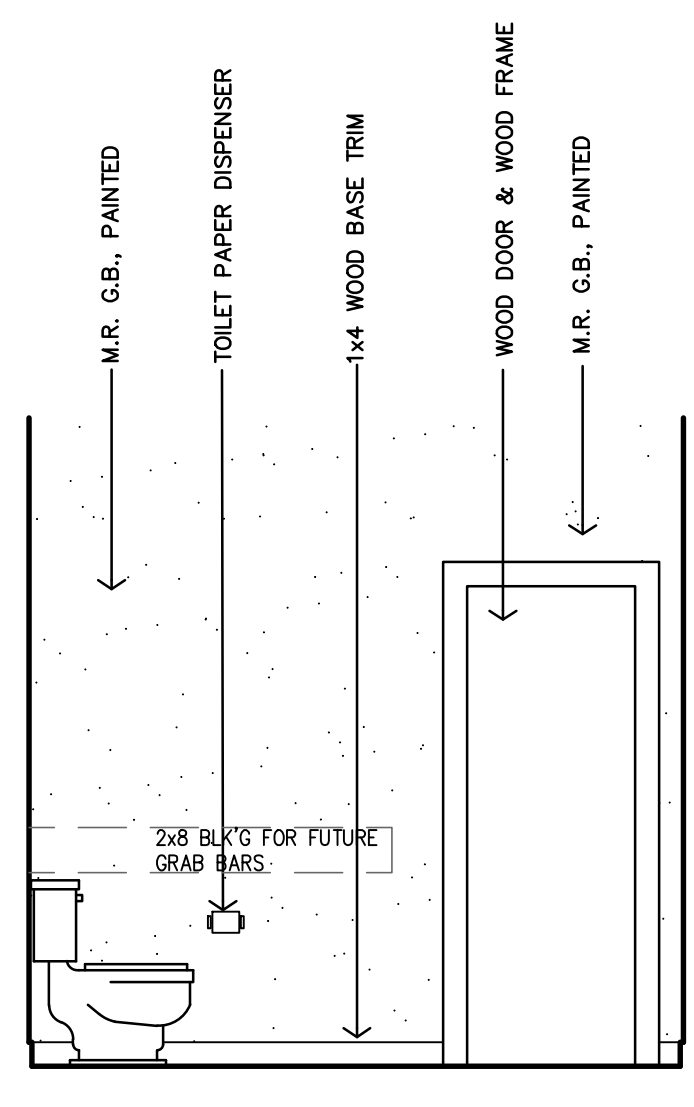
COPYRIGHTED



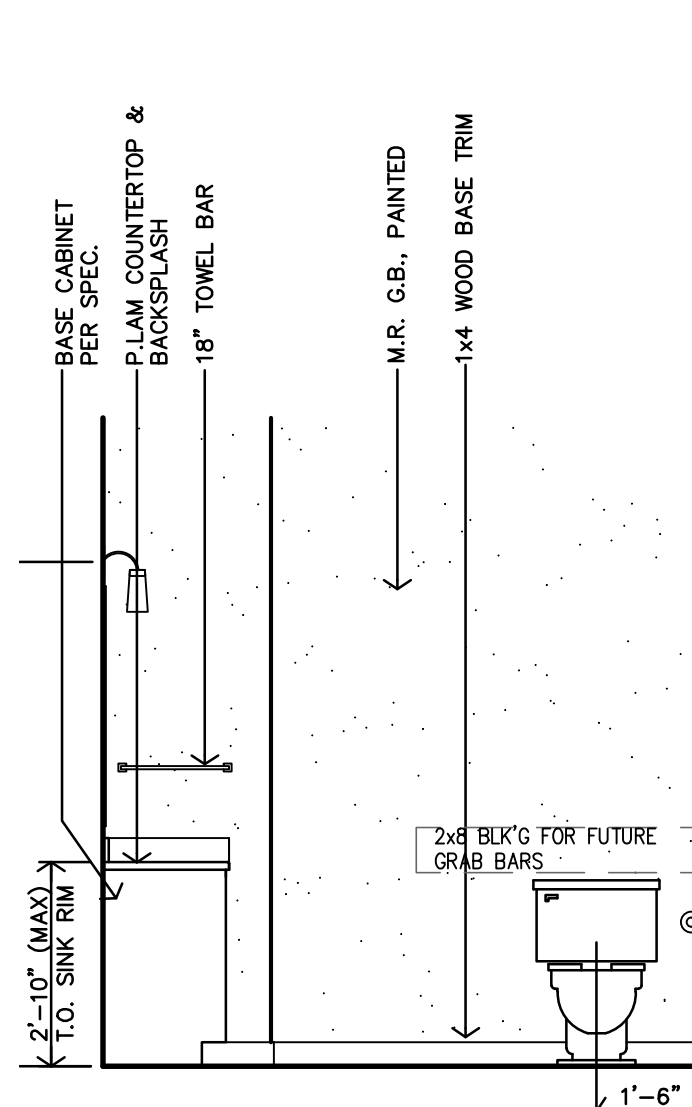
REVIEWED FOR CODE COMPLIANCE
5/30/2024



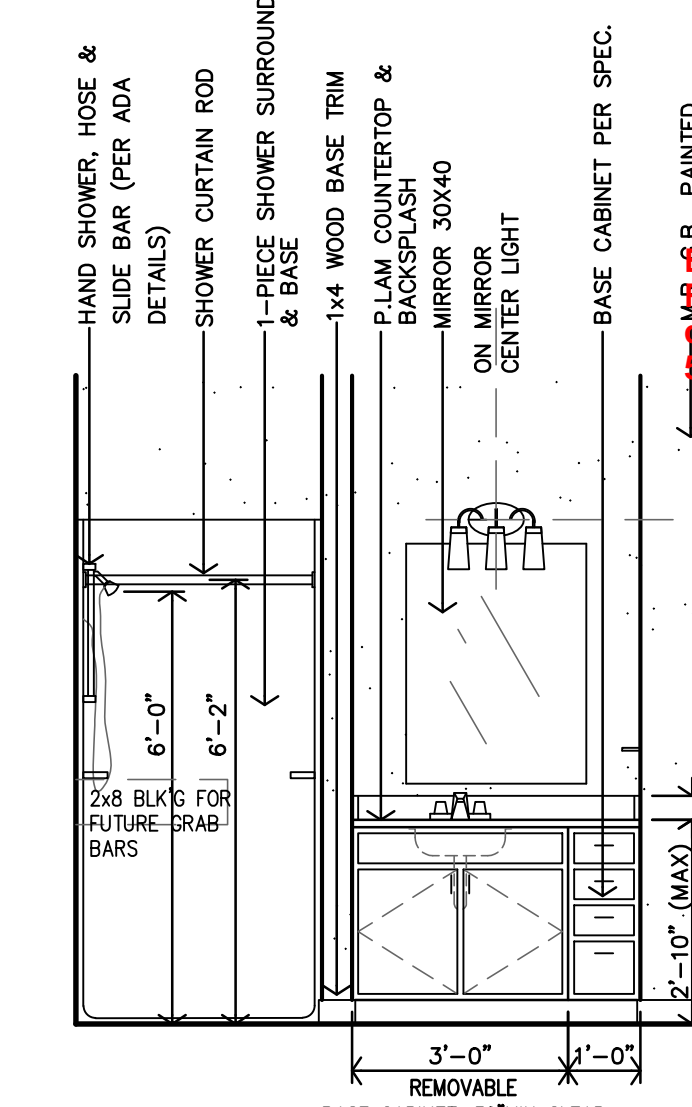
V ADAPTABLE BATH - TYPE #7 INTERIOR ELEVATION
3/8"=1'-0"



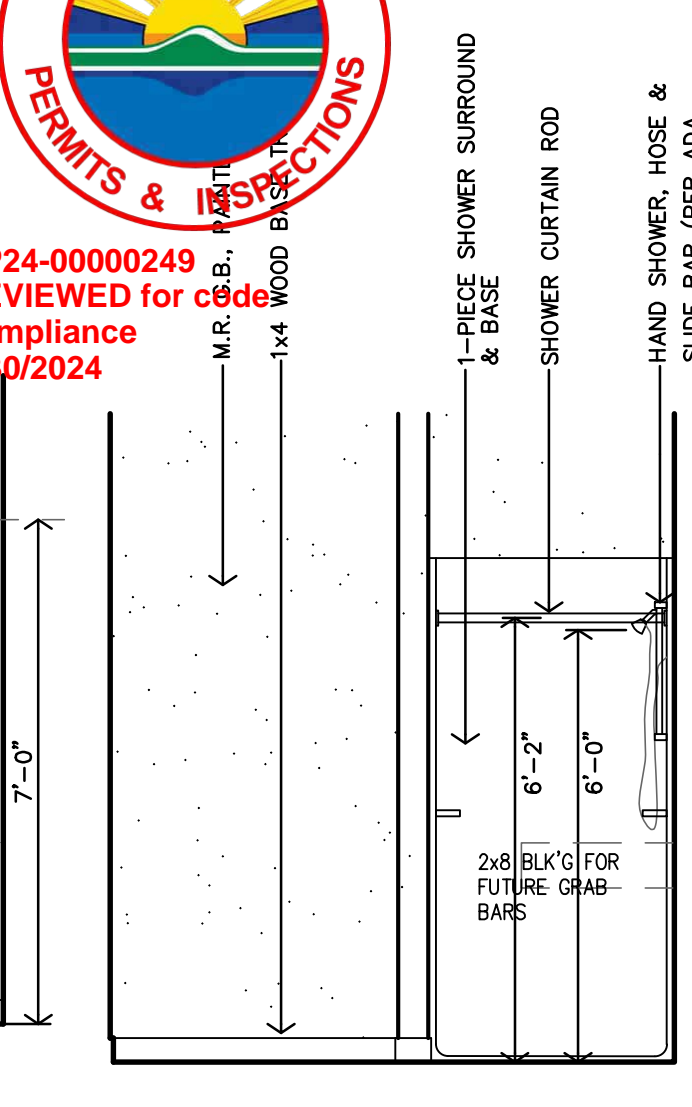
U ADAPTABLE BATH - TYPE #7 INTERIOR ELEVATION
3/8"=1'-0"



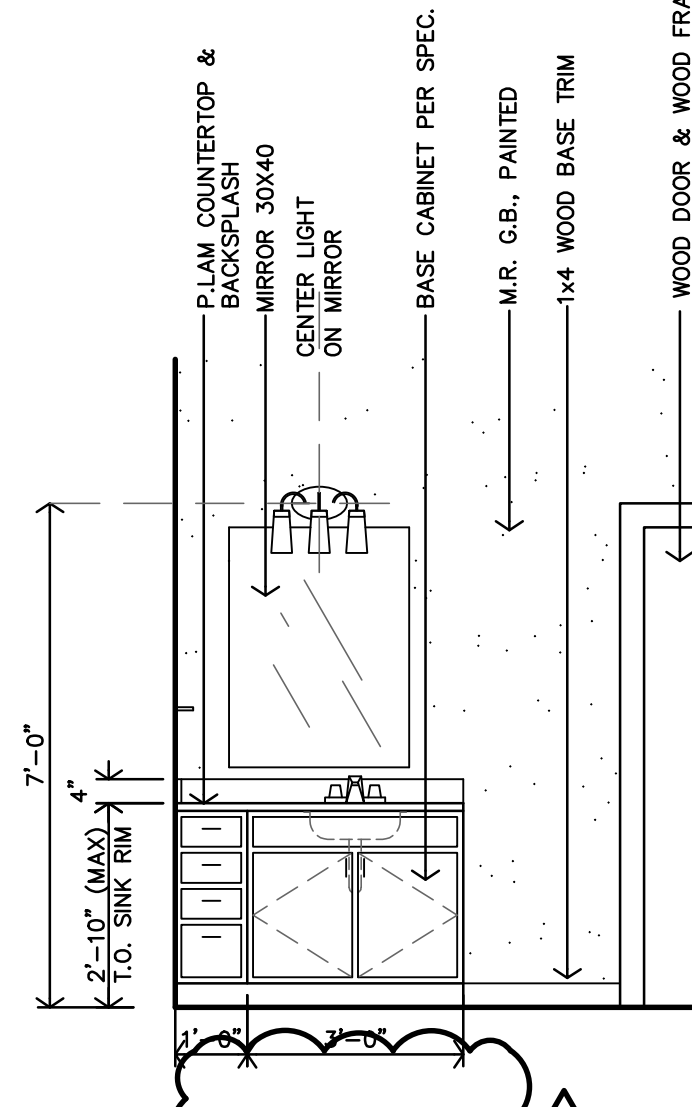
T ADAPTABLE BATH - TYPE #7 INTERIOR ELEVATION
3/8"=1'-0"



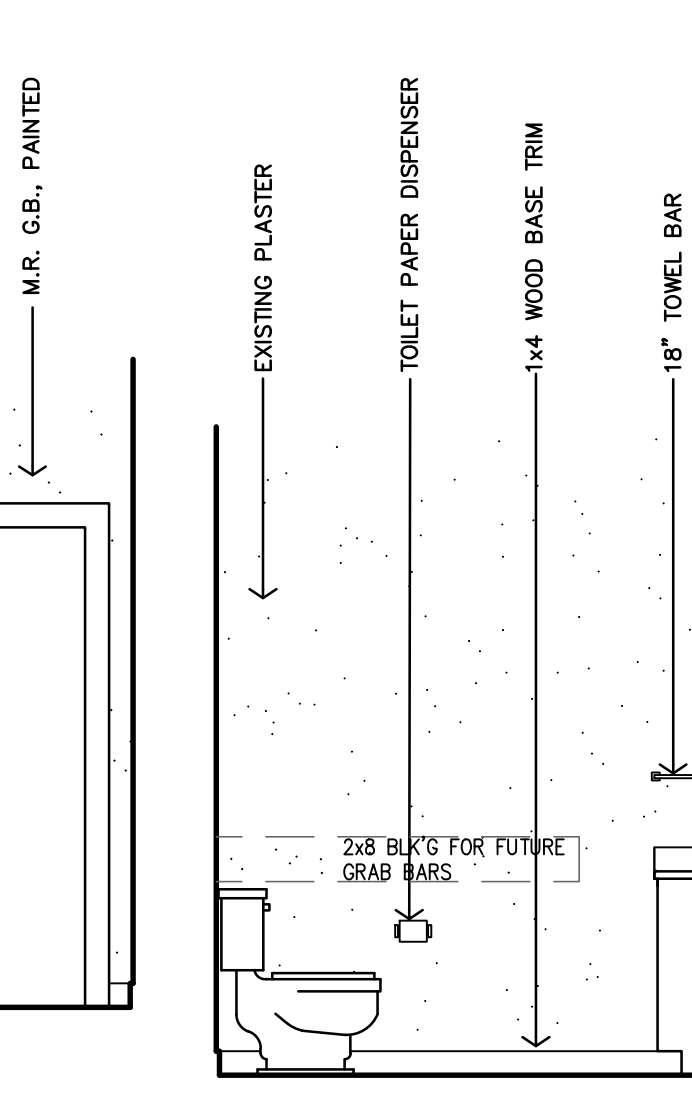
S ADAPTABLE BATH - TYPE #7 INTERIOR ELEVATION
3/8"=1'-0"



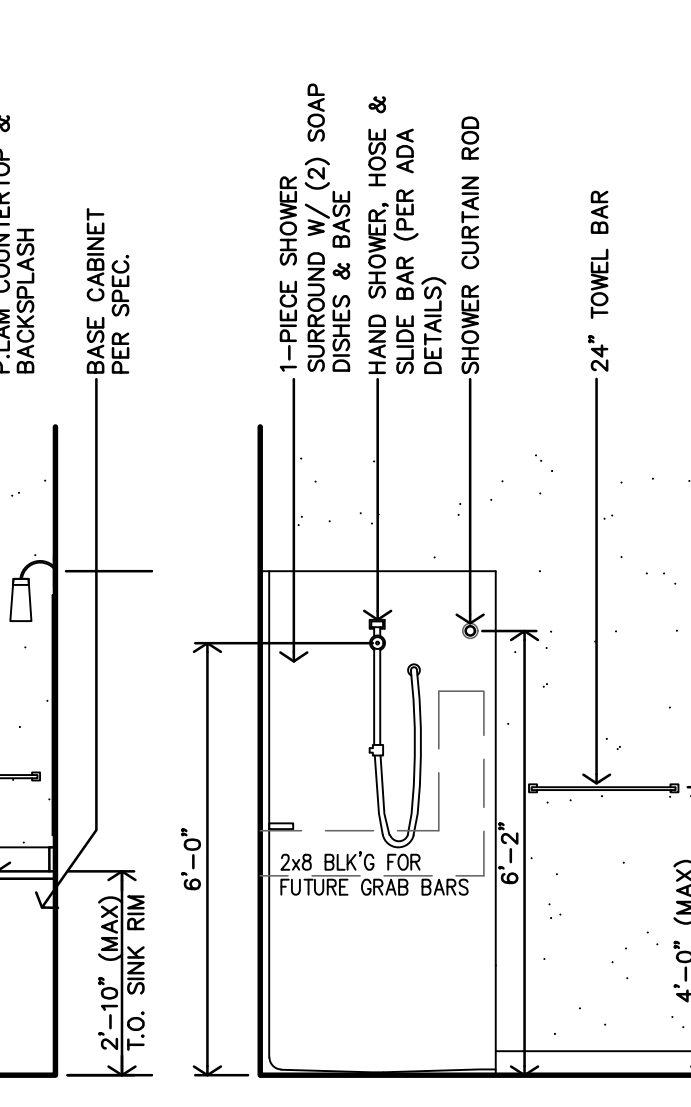
R ADAPTABLE BATH - TYPE #6 INTERIOR ELEVATION
3/8"=1'-0"



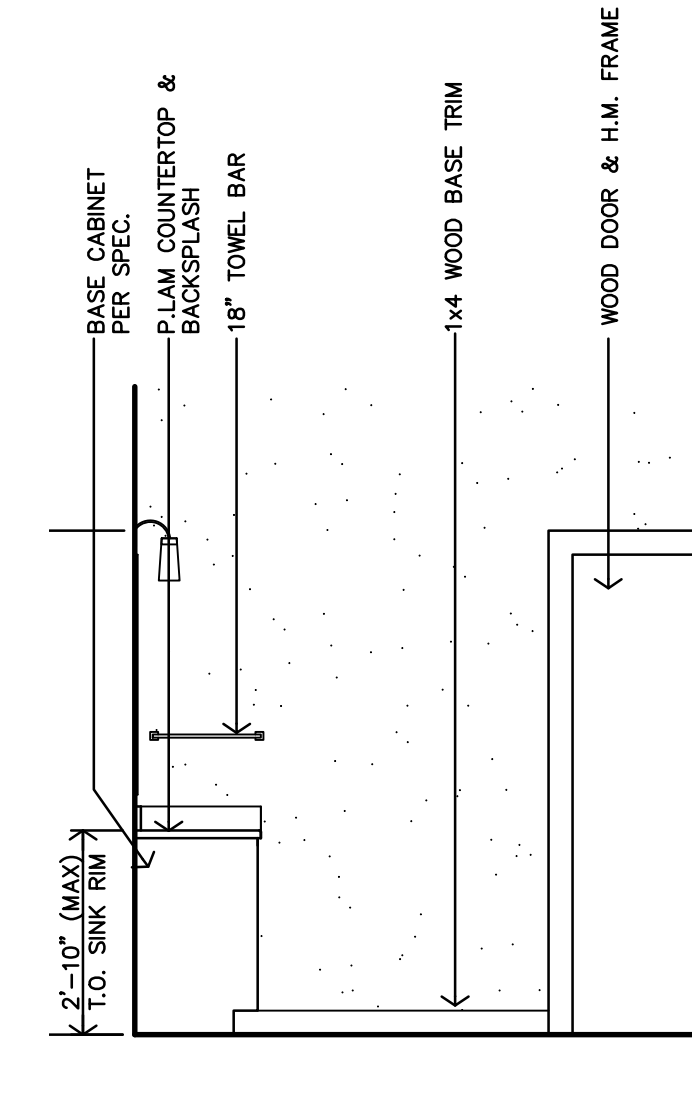
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3/8"=1'-0"



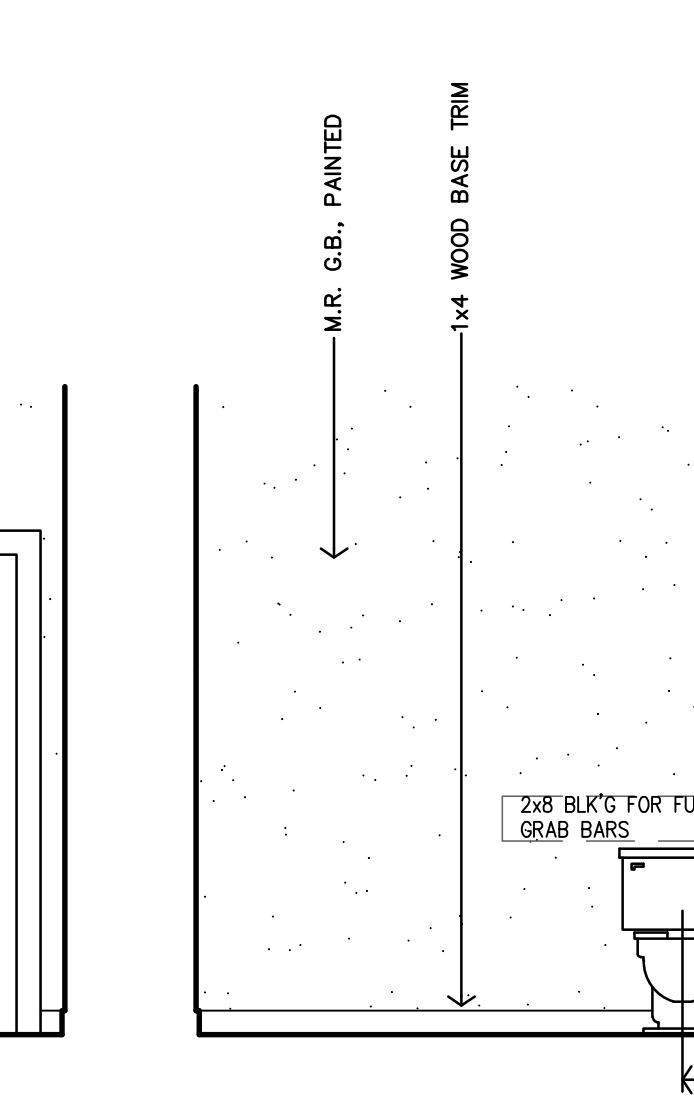
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3/8"=1'-0"



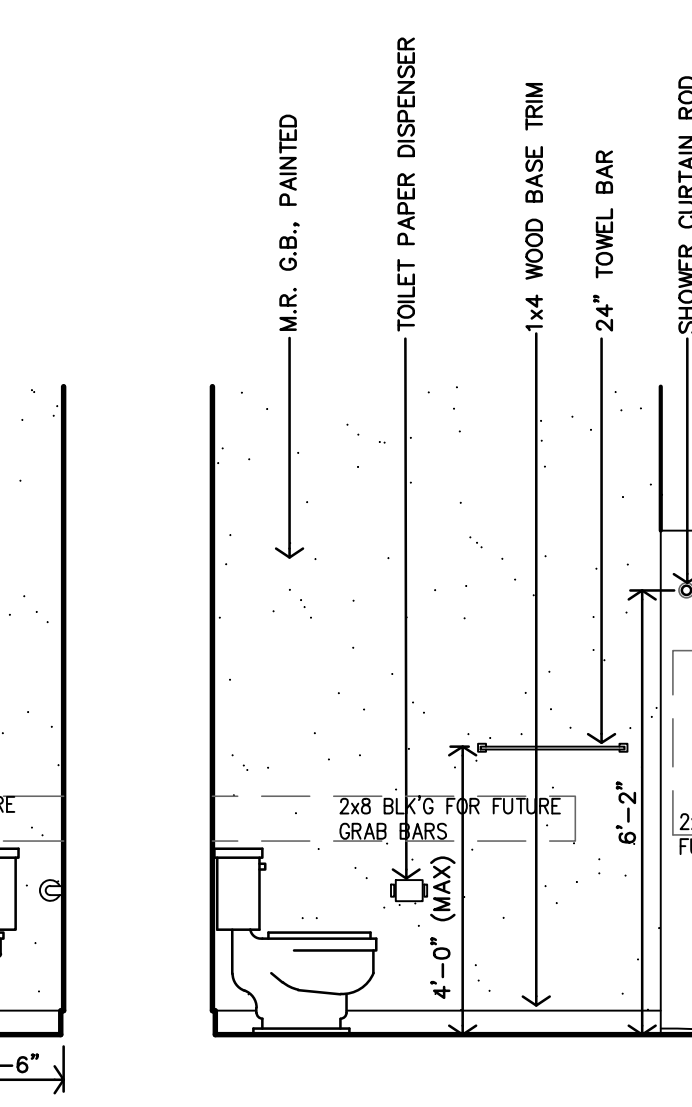
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3/8"=1'-0"



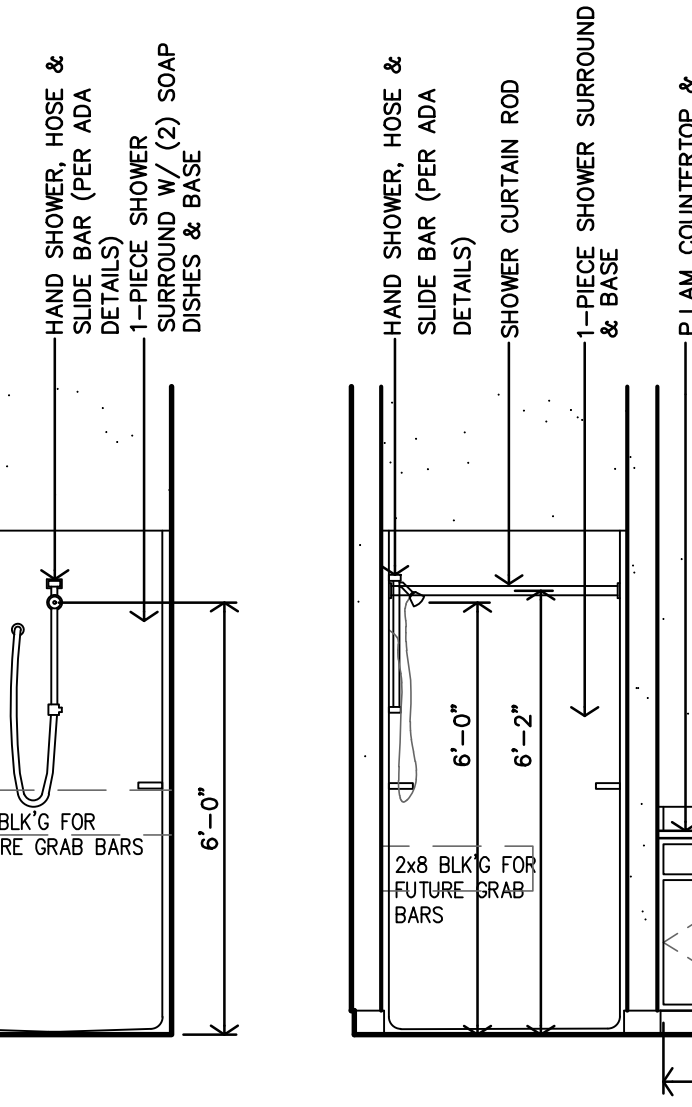
M ADAPTABLE BATH - TYPE #5 INTERIOR ELEVATION
3/8"=1'-0"



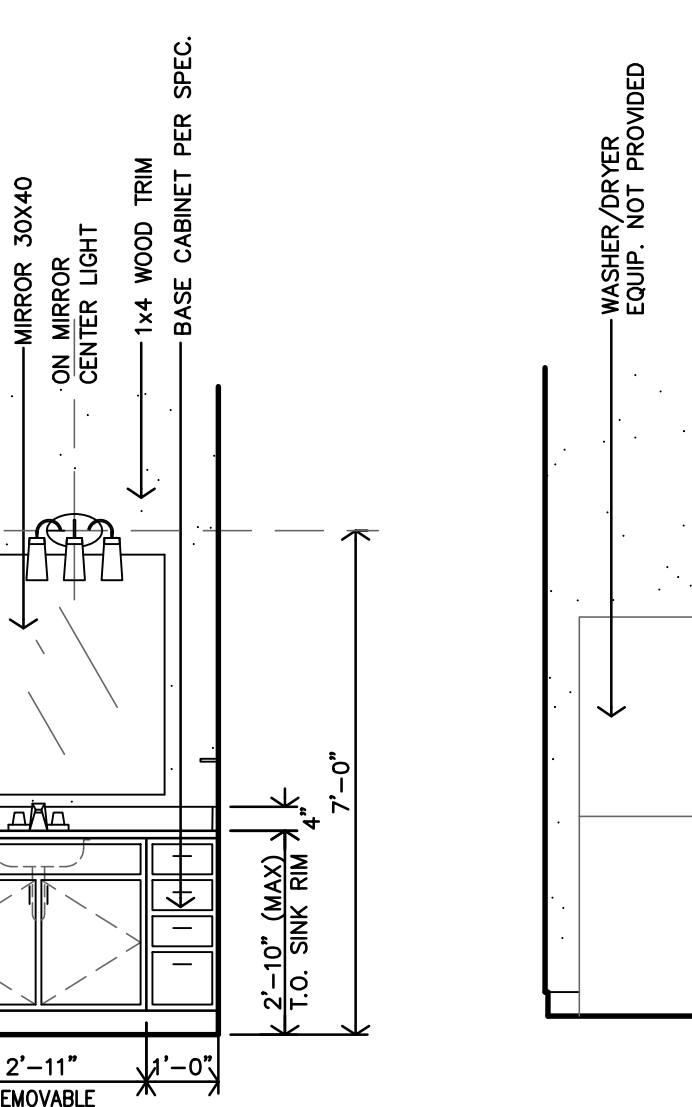
L ADAPTABLE BATH - TYPE #5 INTERIOR ELEVATION
3/8"=1'-0"



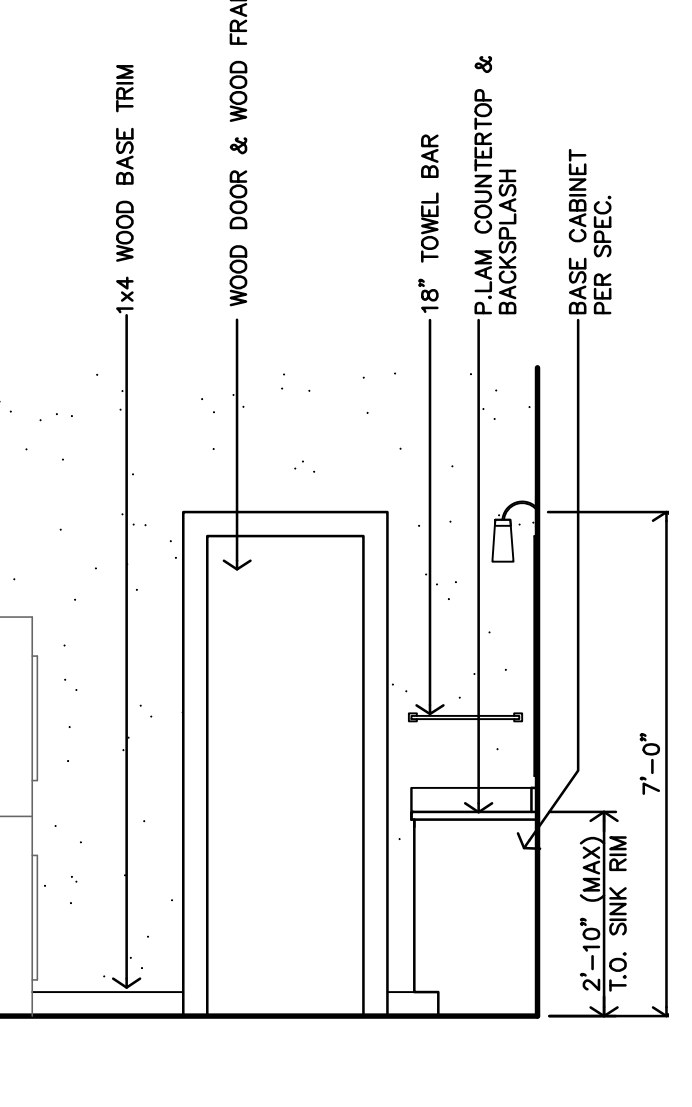
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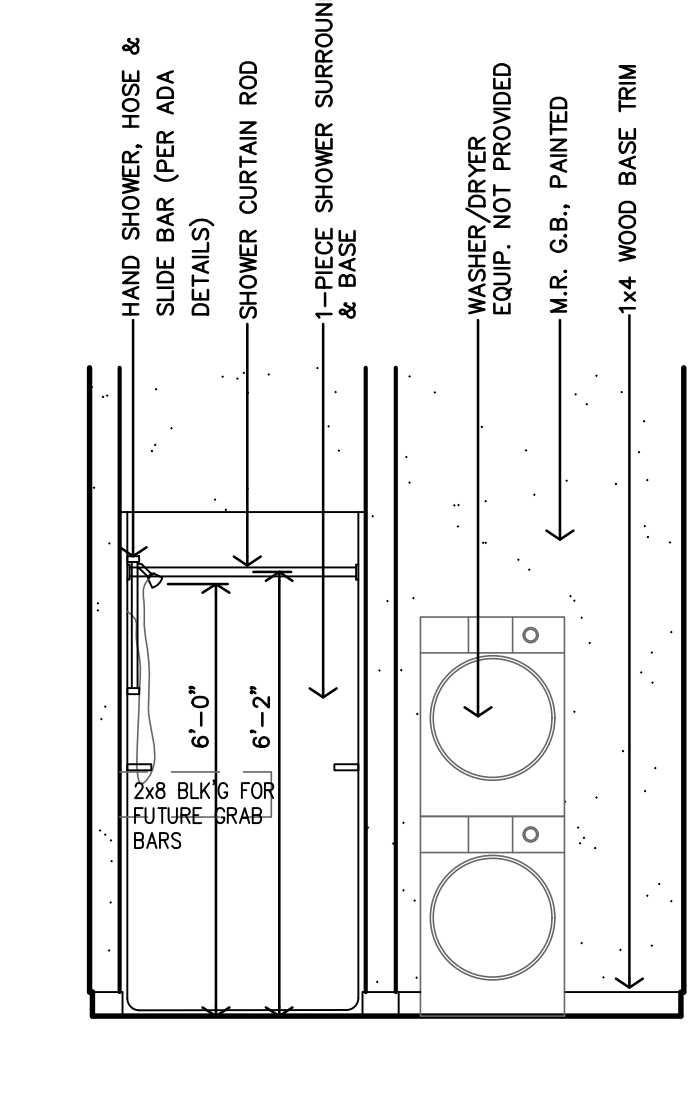
J ADAPTABLE BATH - TYPE #5 INTERIOR ELEVATION
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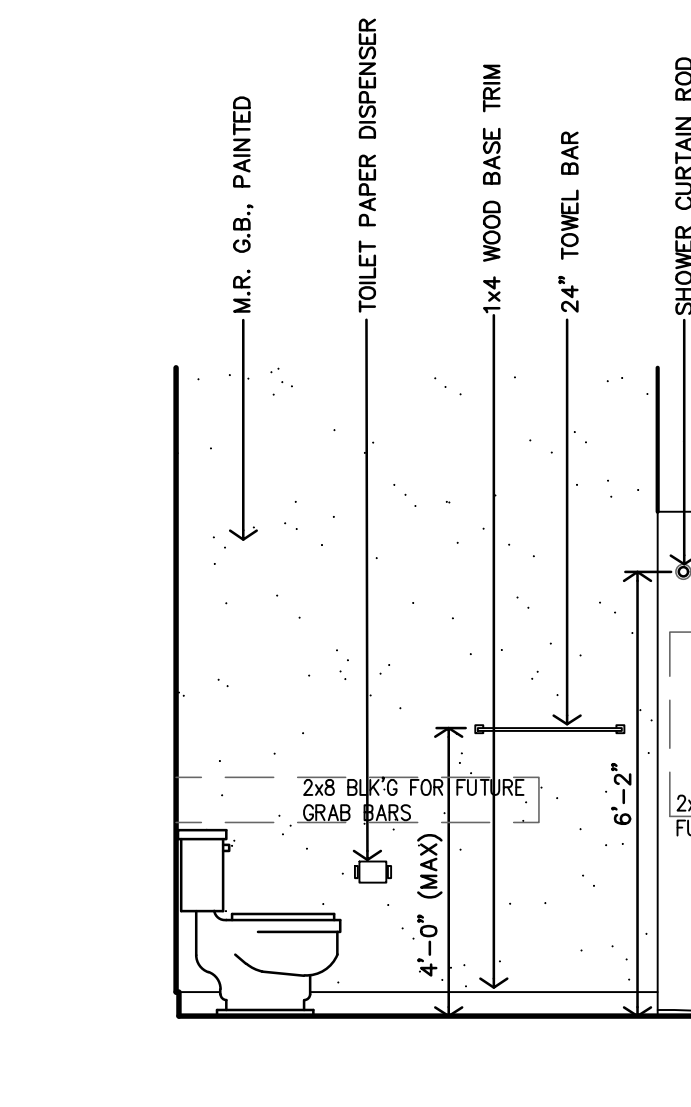
H ADAPTABLE BATH - TYPE #4 INTERIOR ELEVATION
3/8"=1'-0"



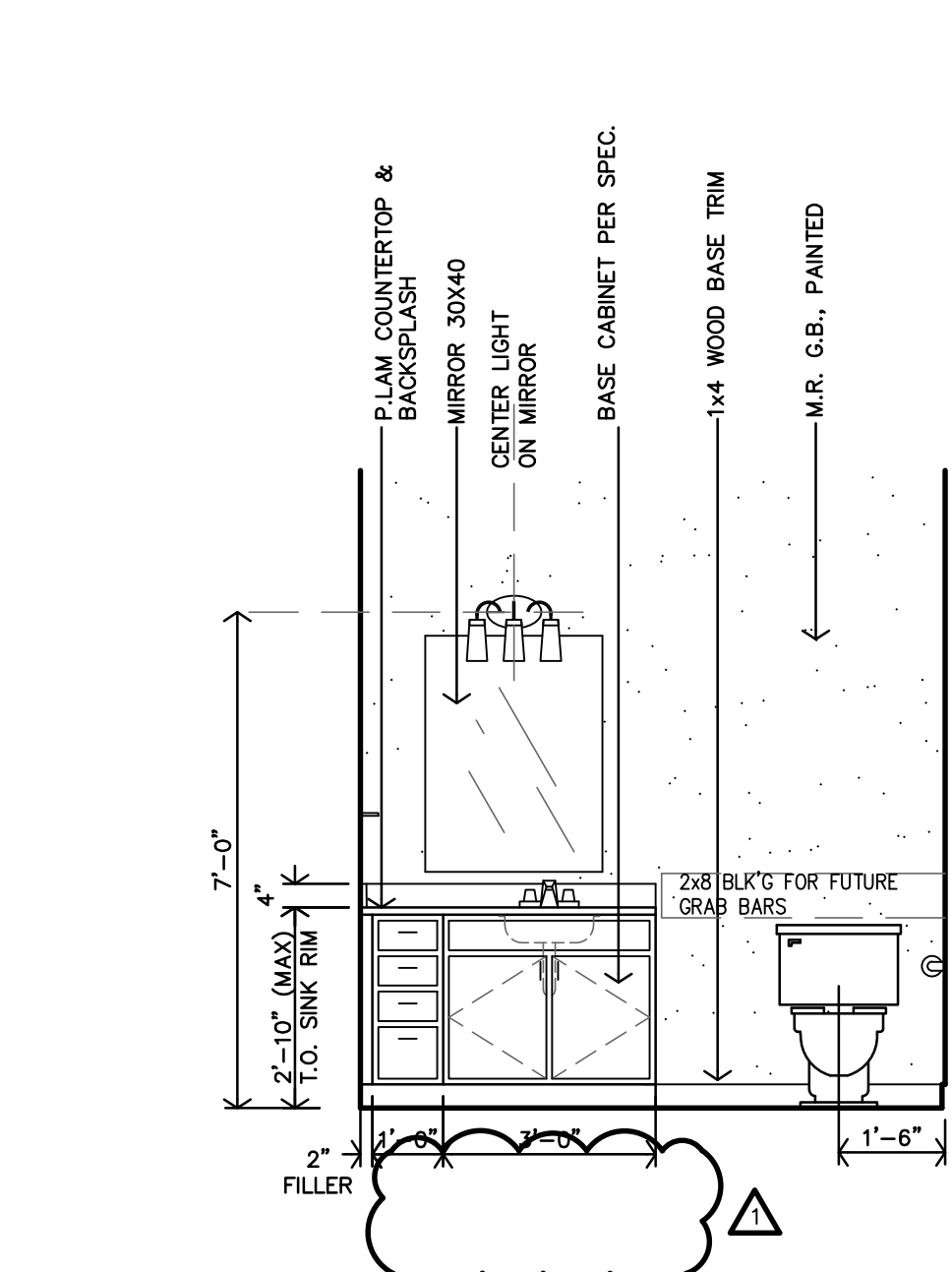
G ADAPTABLE BATH - TYPE #4 INTERIOR ELEVATION
3/8"=1'-0"



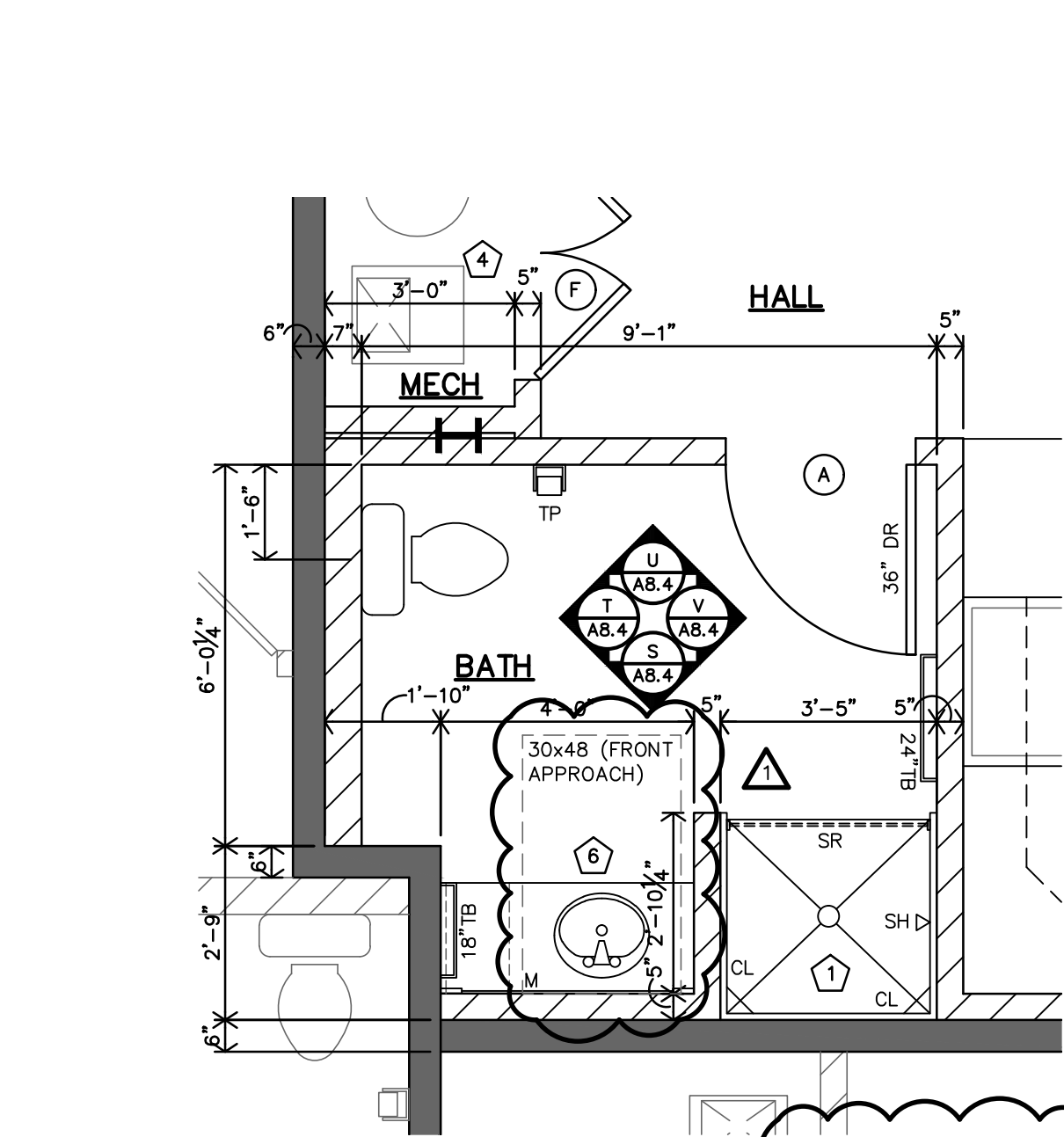
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3/8"=1'-0"



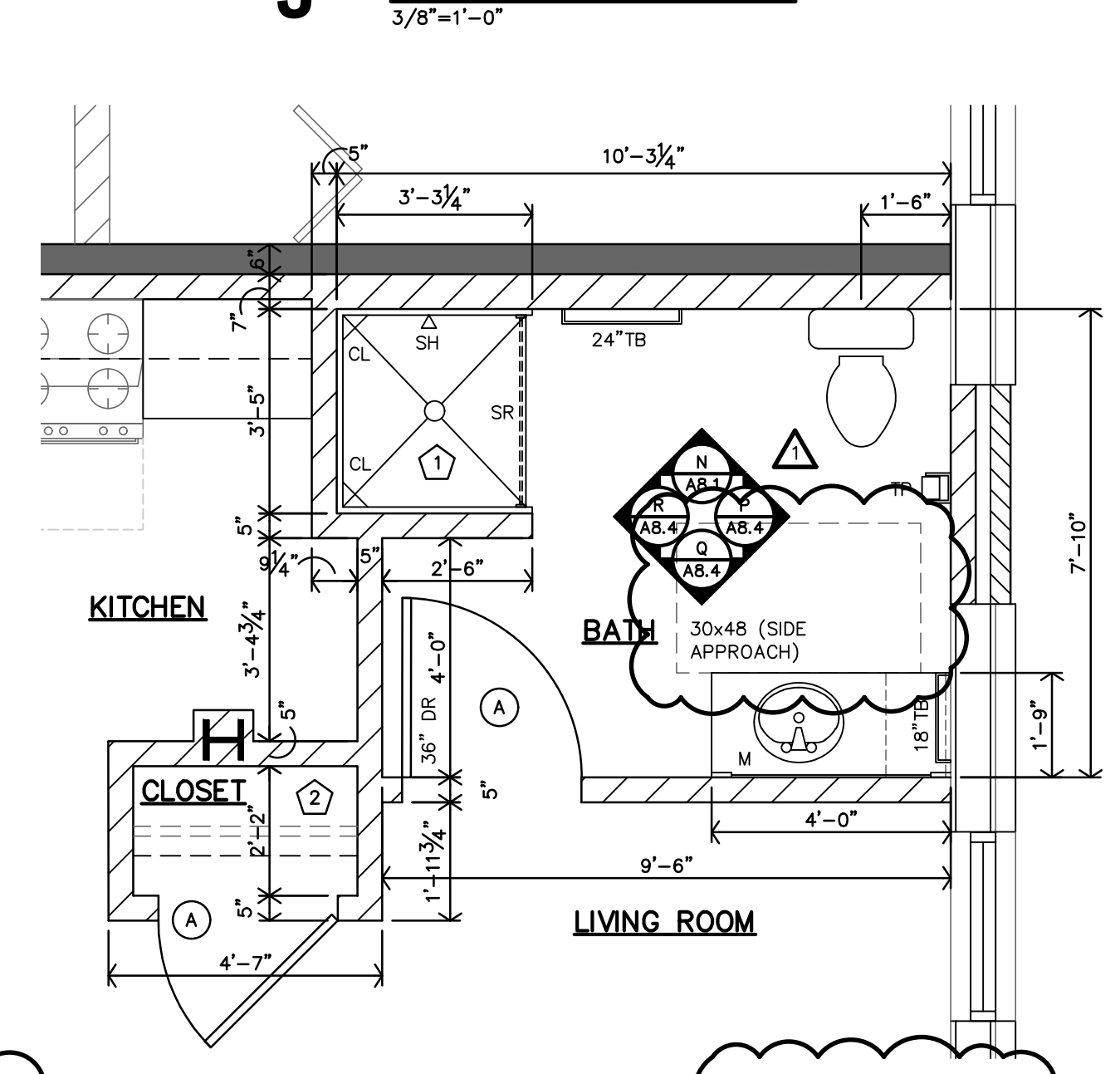
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3/8"=1'-0"



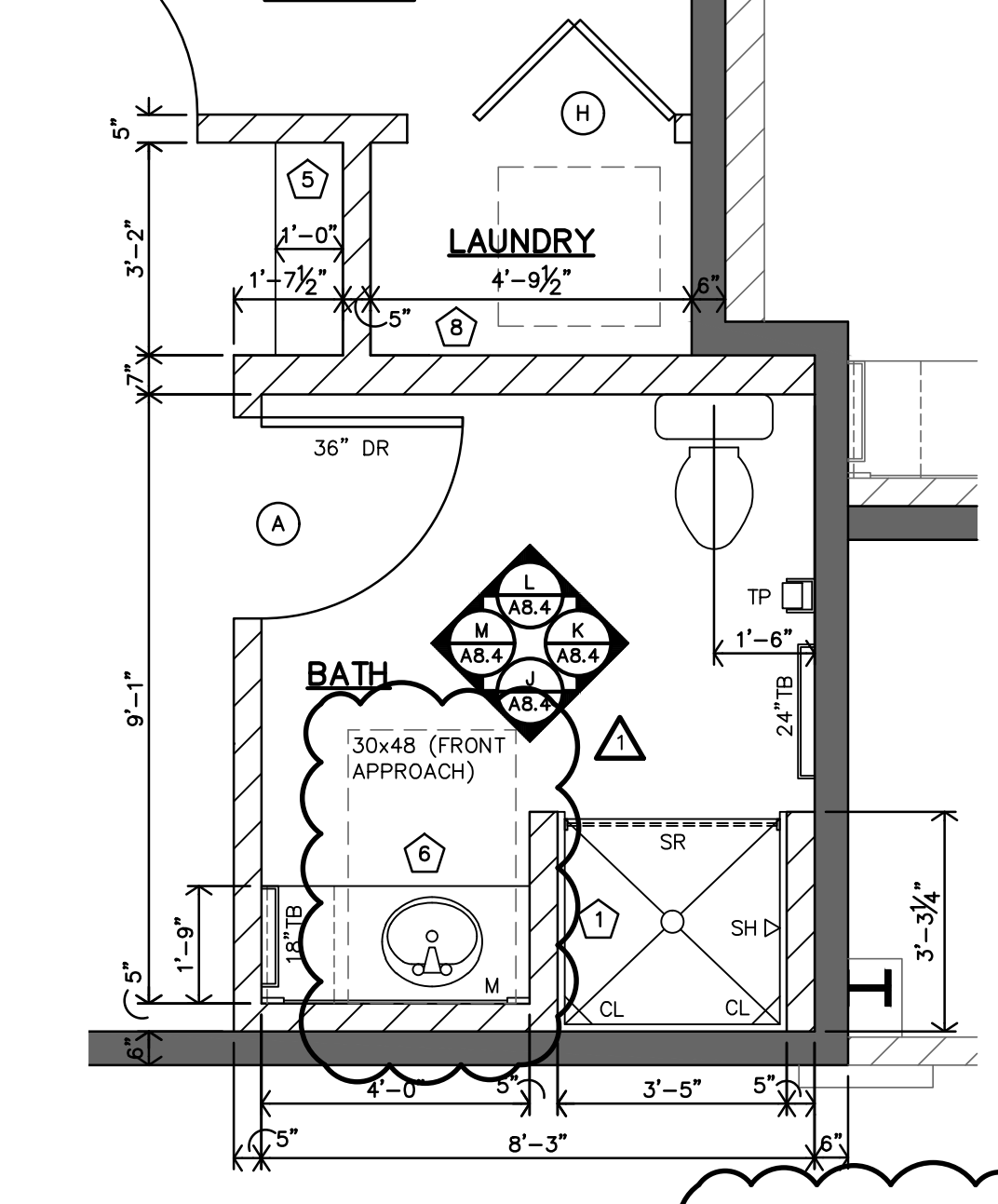
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3/8"=1'-0"



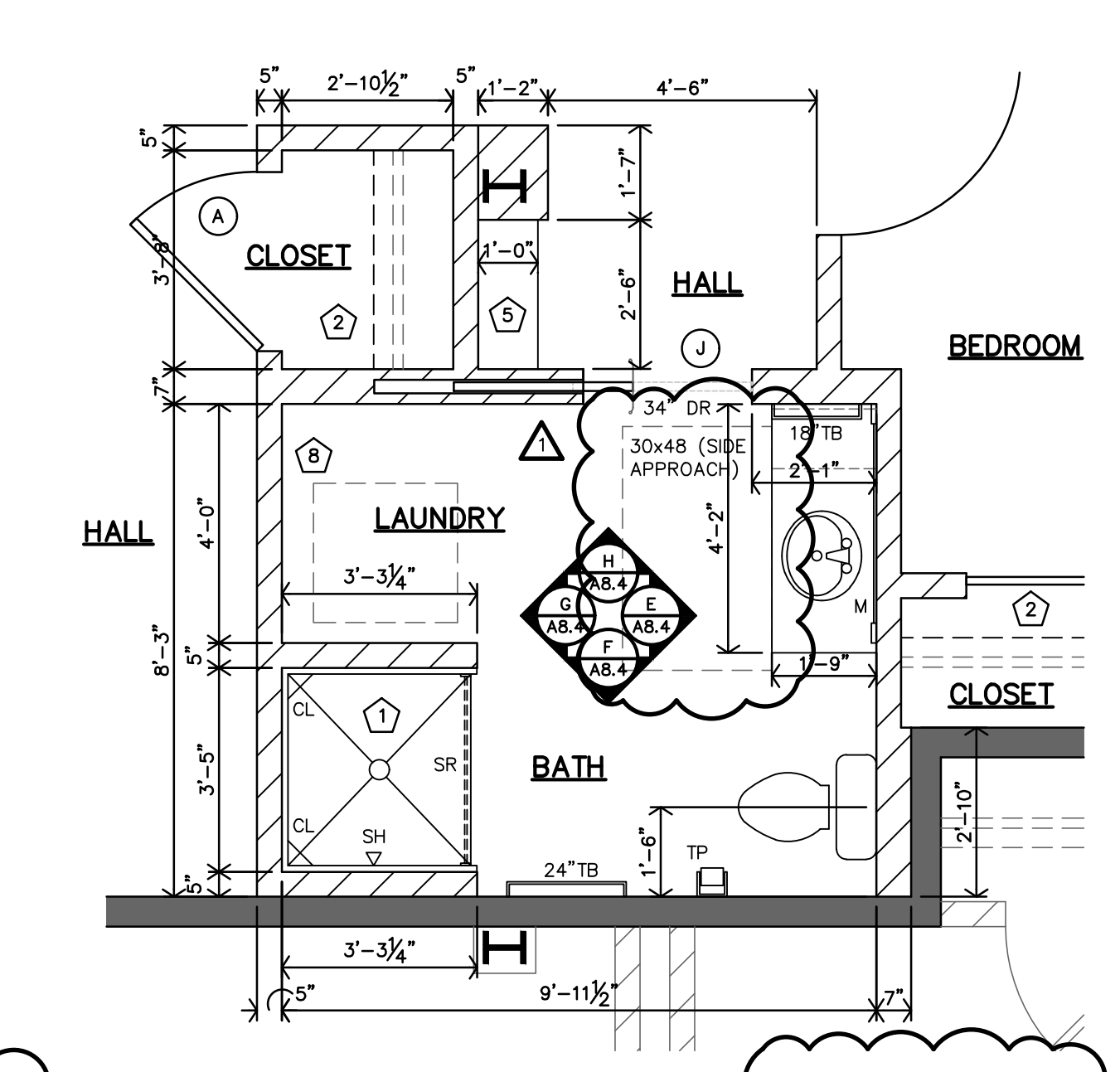
D TYPE 7 - ADAPTABLE (TYPE B UNIT) ENLARGED BATH PLAN
3/8"=1'-0"



C TYPE 6 - ADAPTABLE (TYPE B UNIT) ENLARGED BATH PLAN
3/8"=1'-0"



B TYPE 5 - ADAPTABLE (TYPE B UNIT) ENLARGED BATH PLAN
3/8"=1'-0"



A TYPE 4 - ADAPTABLE (TYPE B UNIT) ENLARGED BATH PLAN
3/8"=1'-0"

REVISION: 2-20-2024



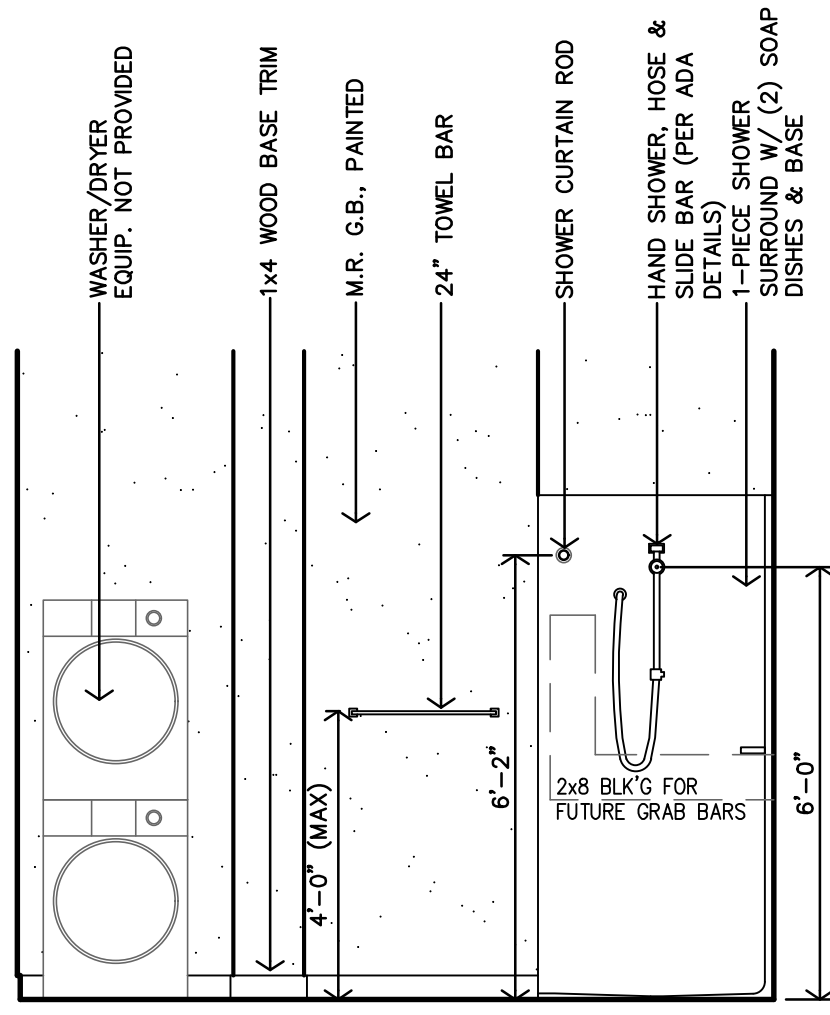
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

A8.4

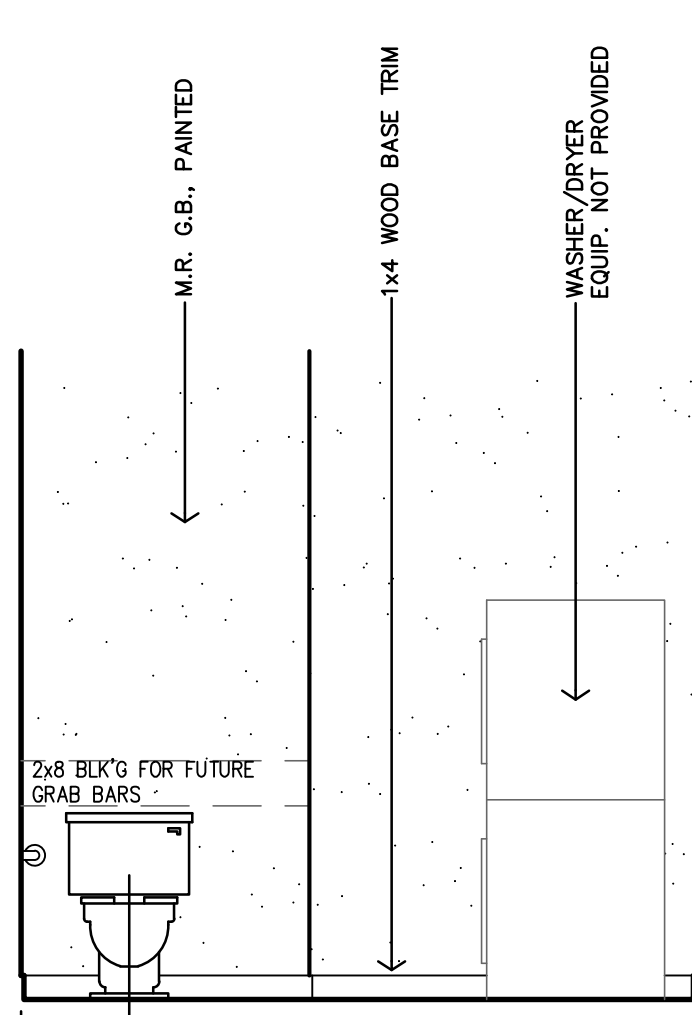
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jgr@jgarchitects.com

ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS

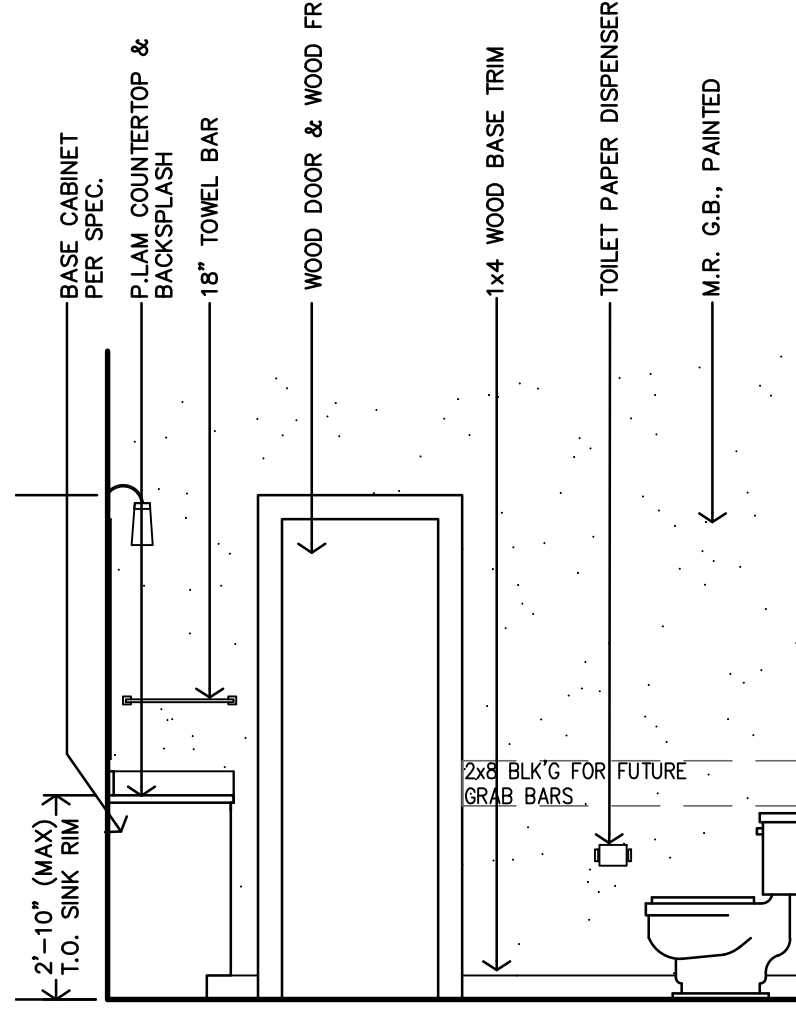
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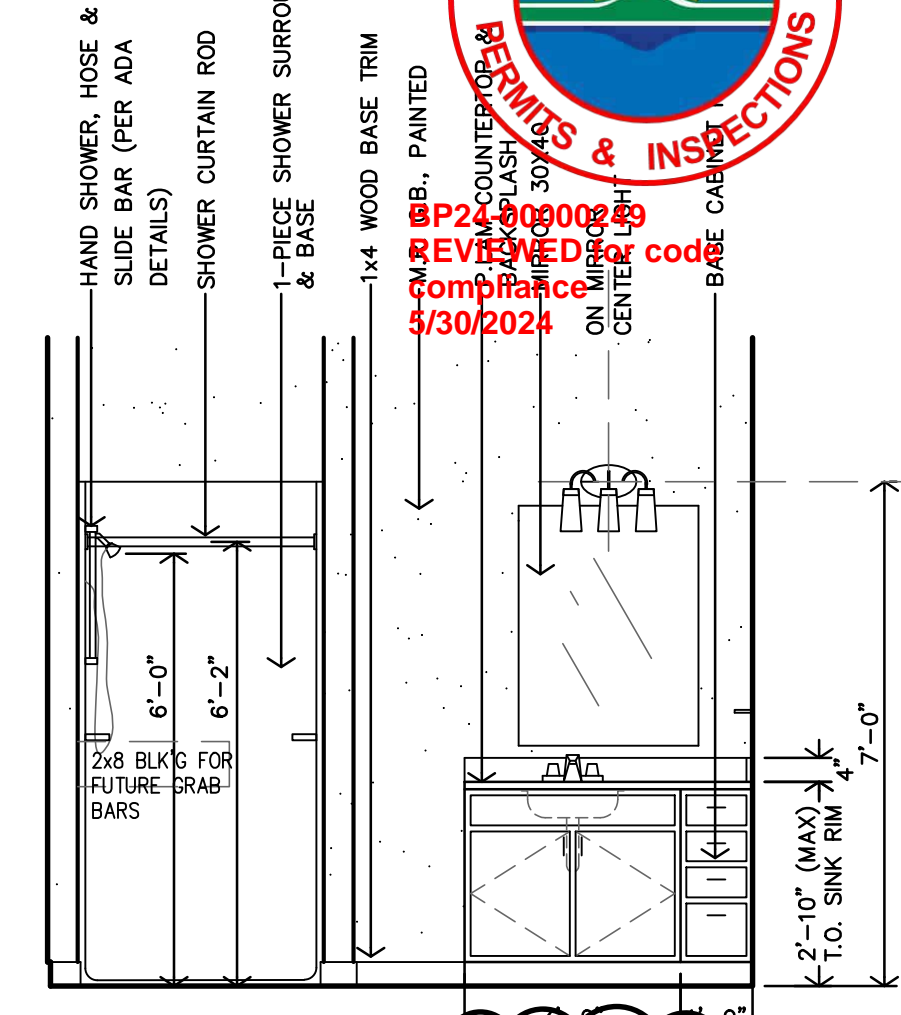
V ADAPTABLE BATH - TYPE #11 INTERIOR ELEVATION
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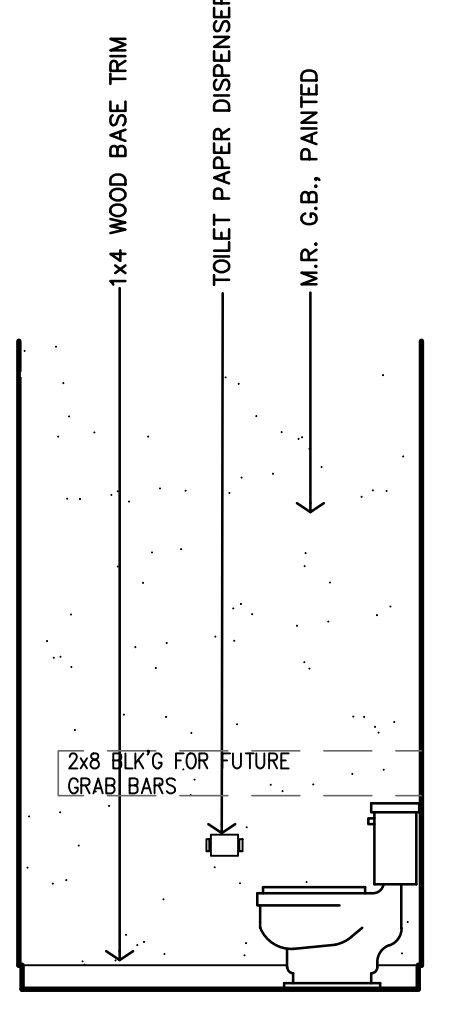
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3/8"=1'-0"



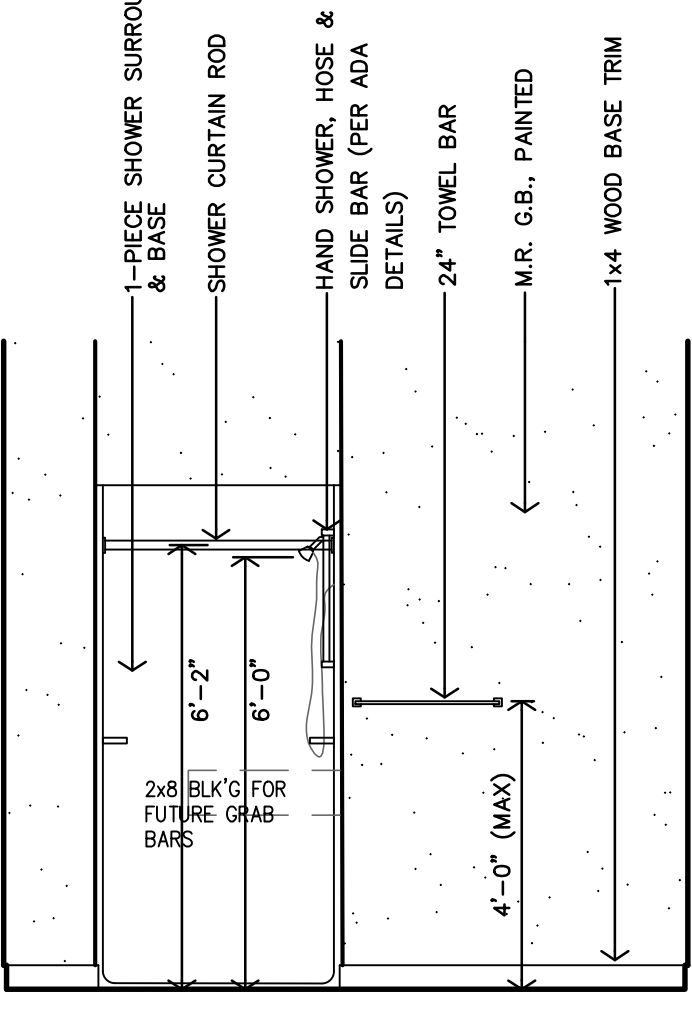
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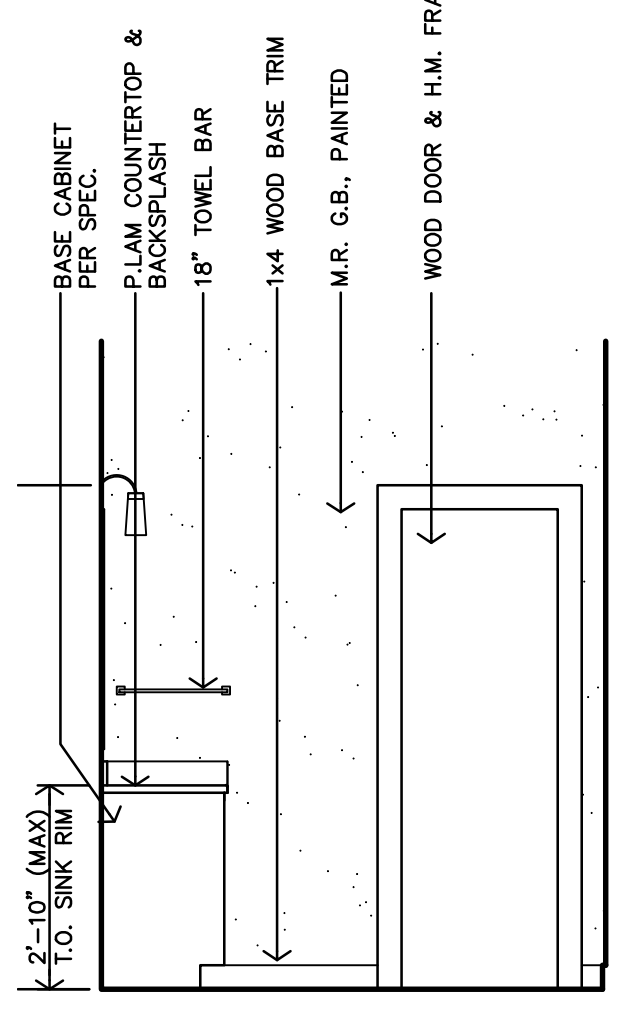
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3/8"=1'-0"



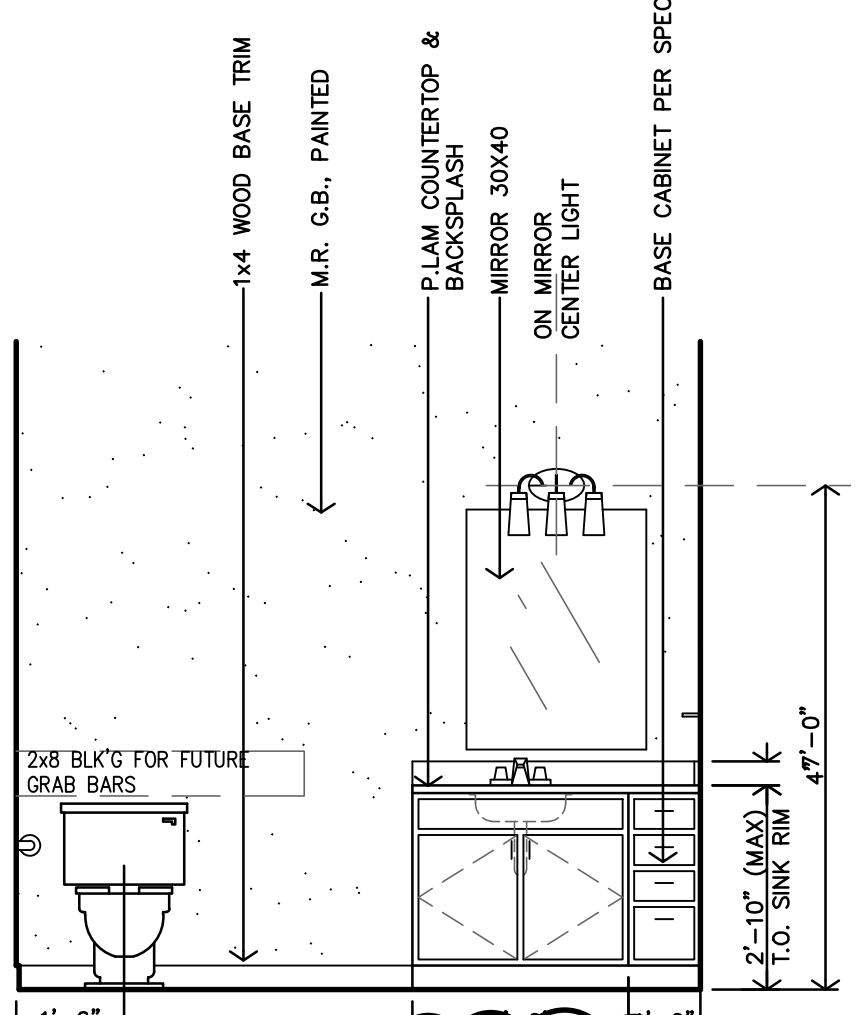
R ADAPTABLE BATH - TYPE #10 INTERIOR ELEVATION
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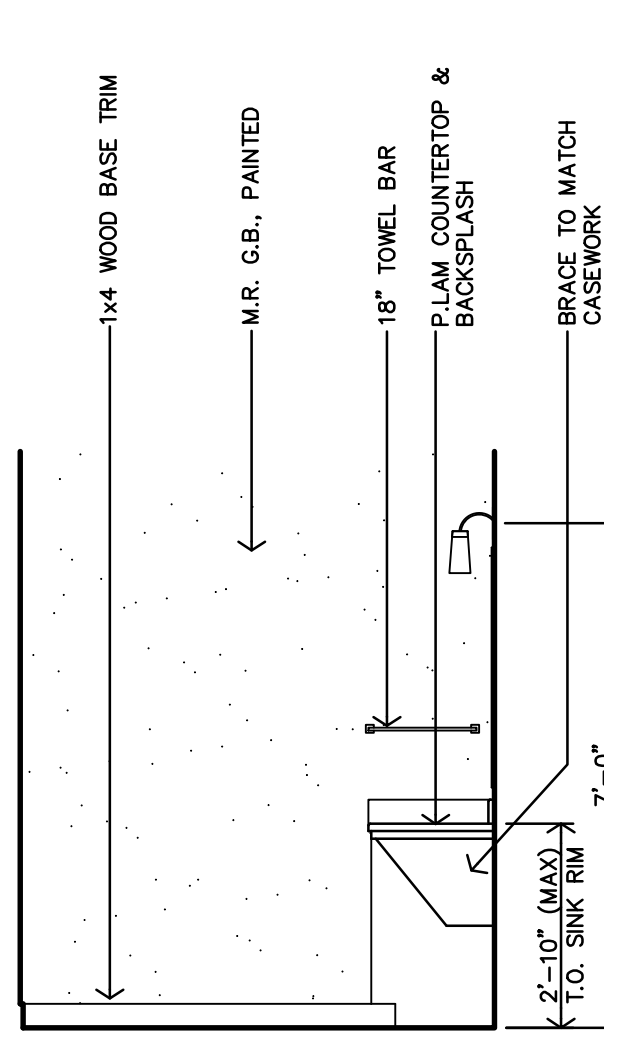
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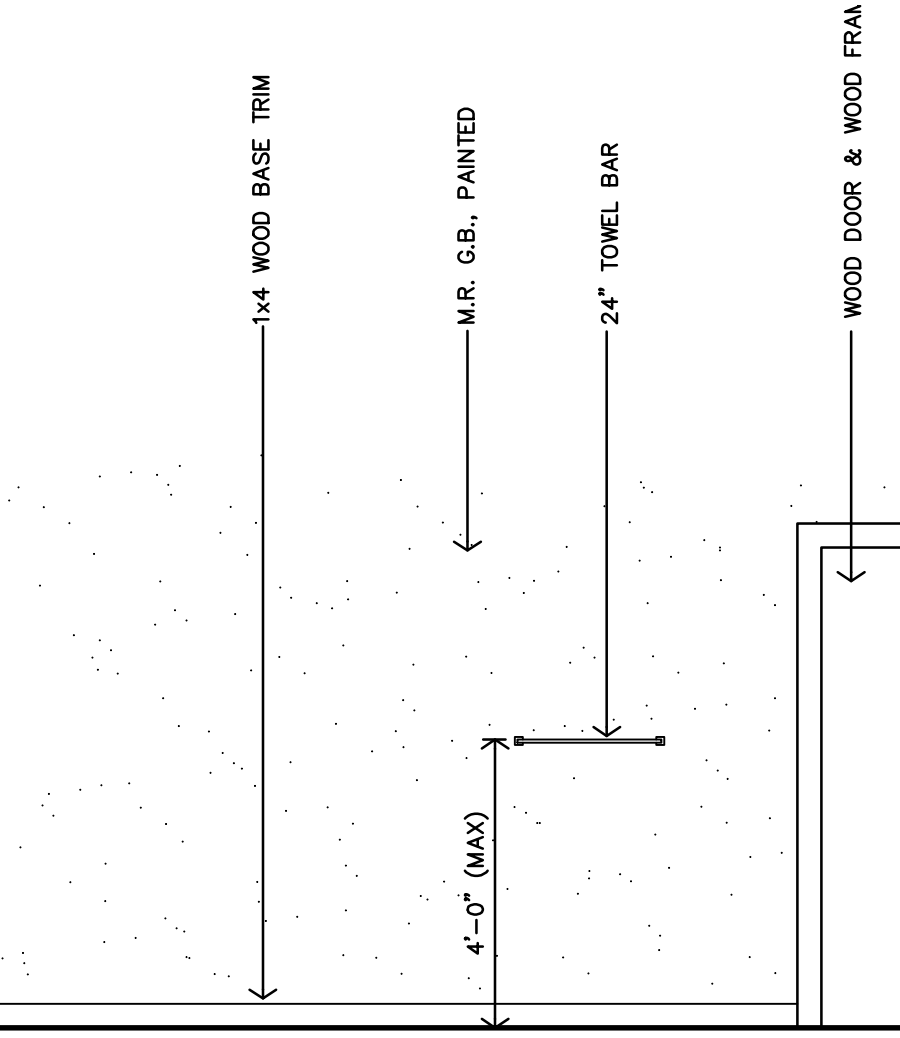
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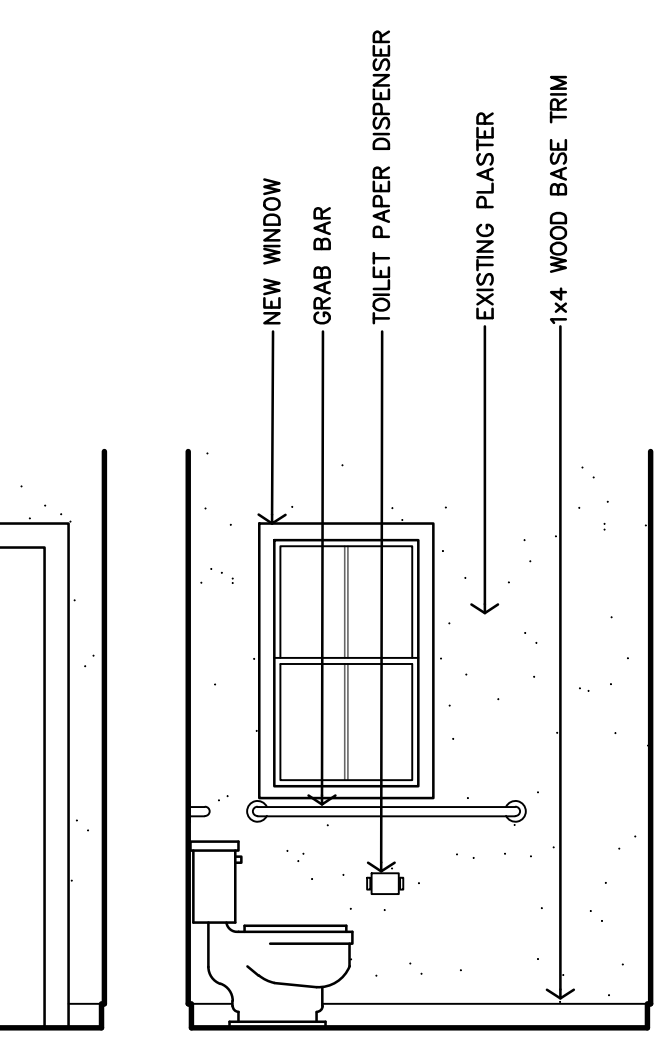
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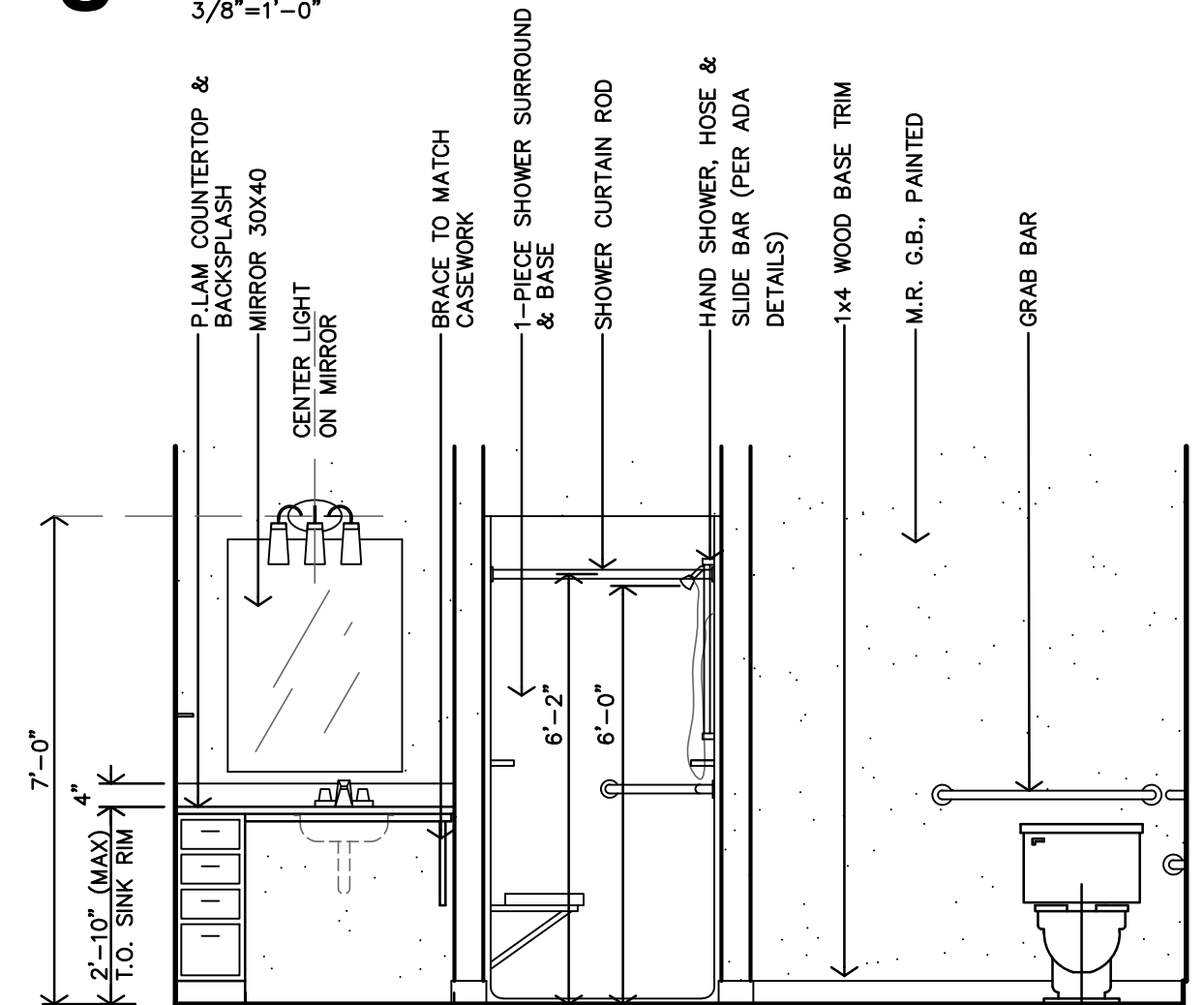
M ACCESSIBLE BATH - TYPE #9 INTERIOR ELEVATION
3/8"=1'-0"



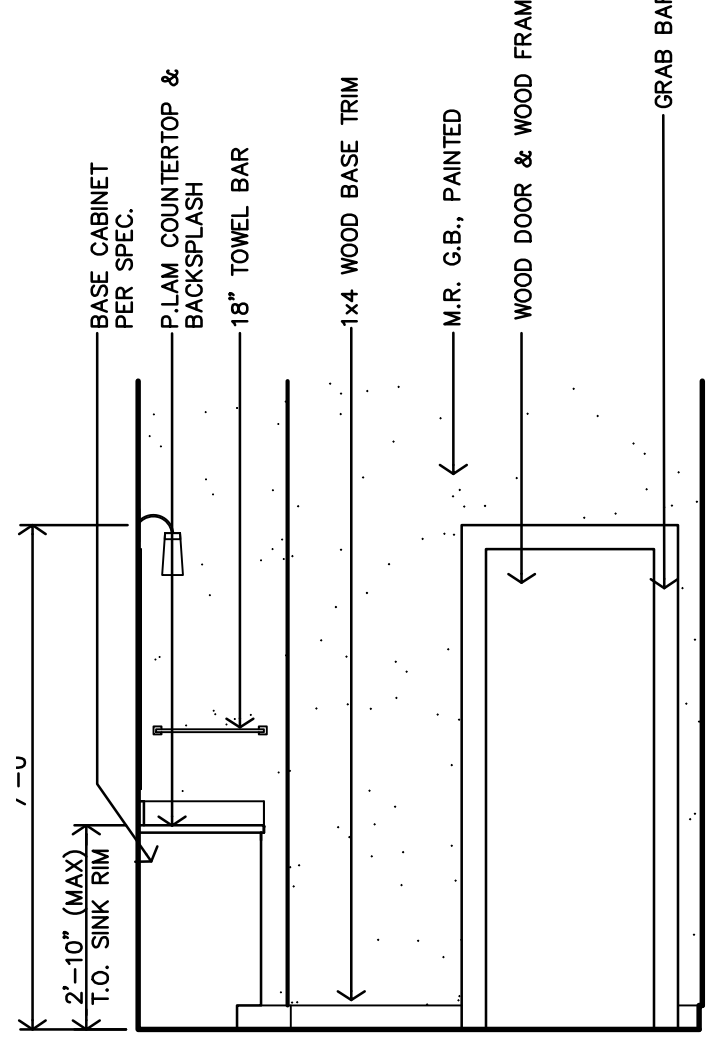
L ACCESSIBLE BATH - TYPE #9 INTERIOR ELEVATION
3/8"=1'-0"



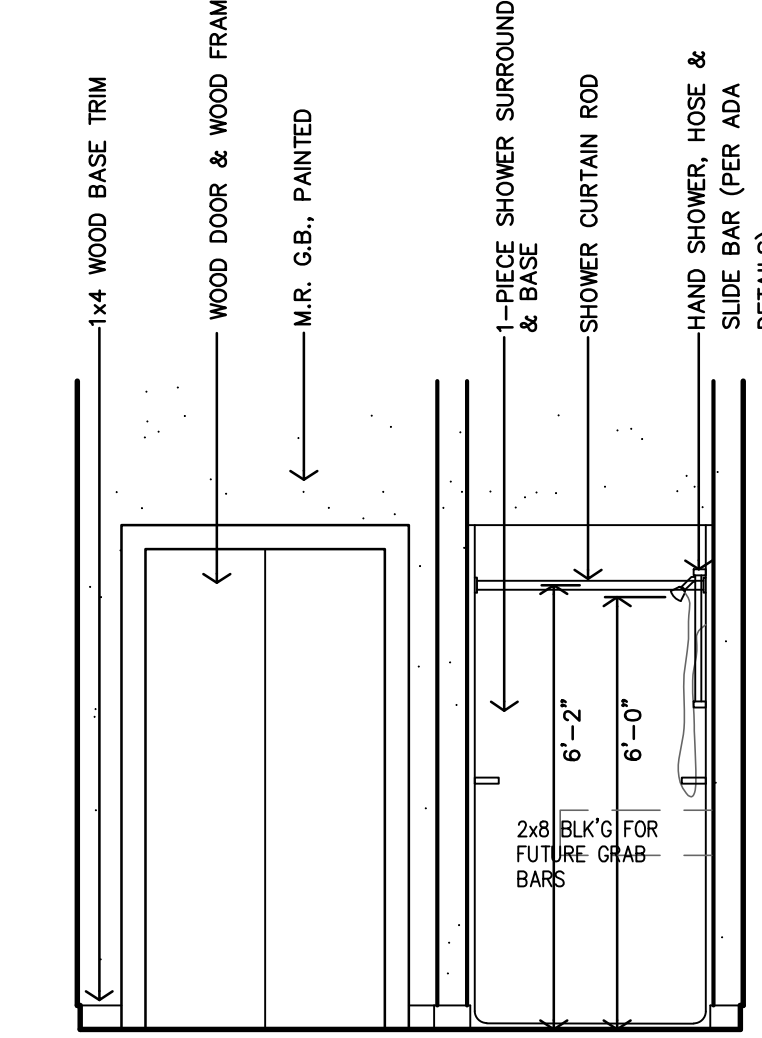
K ACCESSIBLE BATH - TYPE #9 INTERIOR ELEVATION
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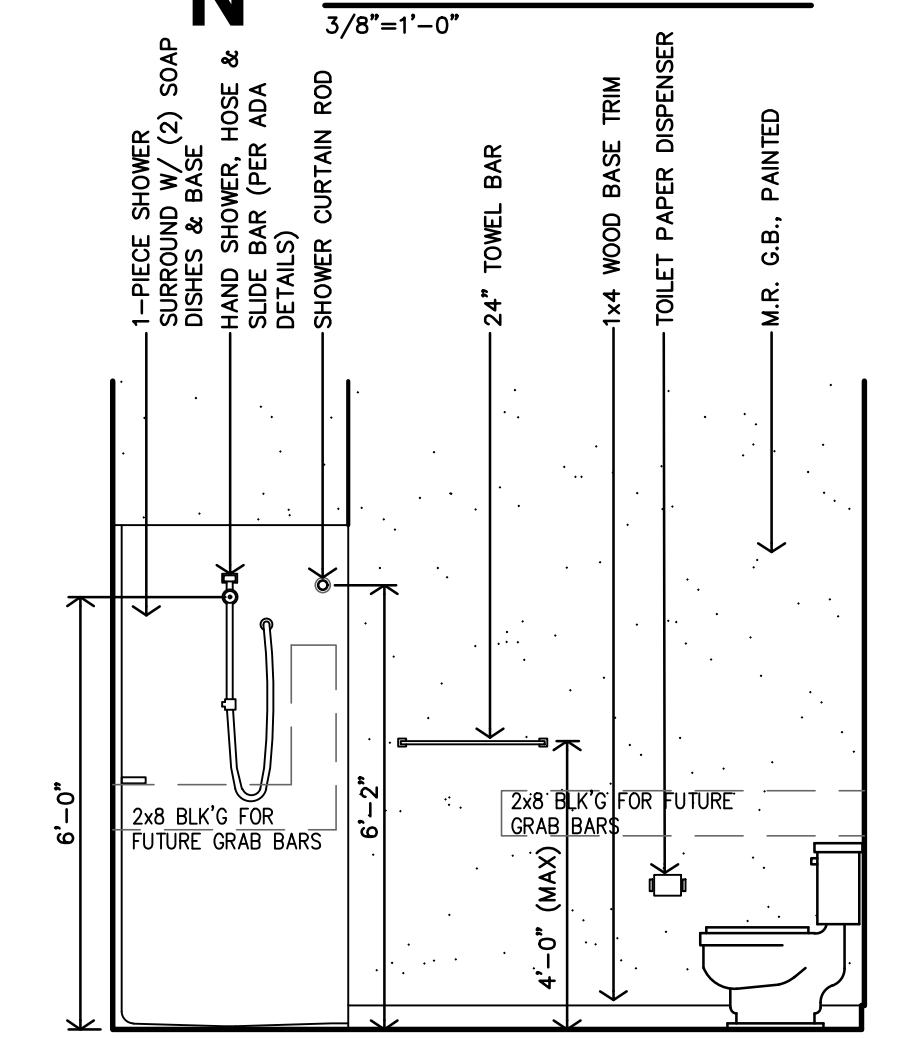
J ACCESSIBLE BATH - TYPE #9 INTERIOR ELEVATION
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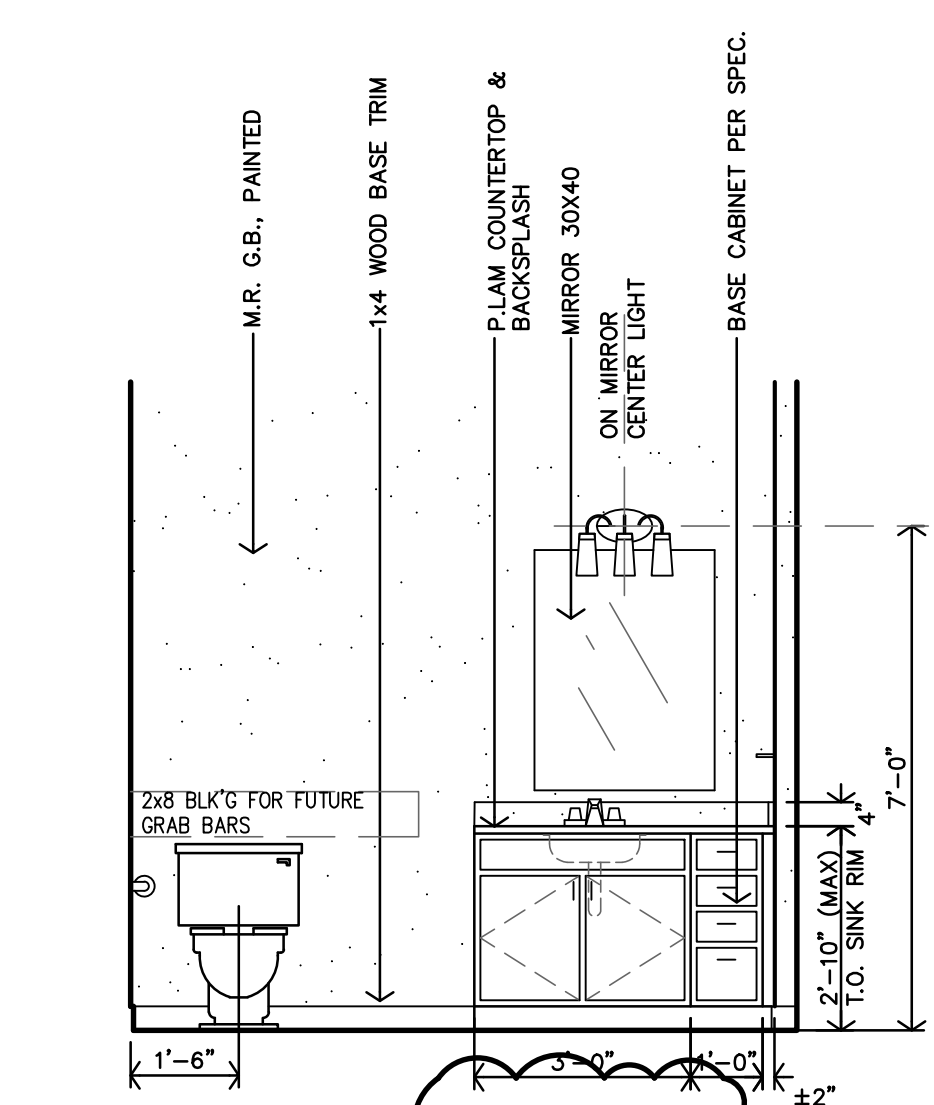
H ADAPTABLE BATH - TYPE #8 INTERIOR ELEVATION
3/8"=1'-0"



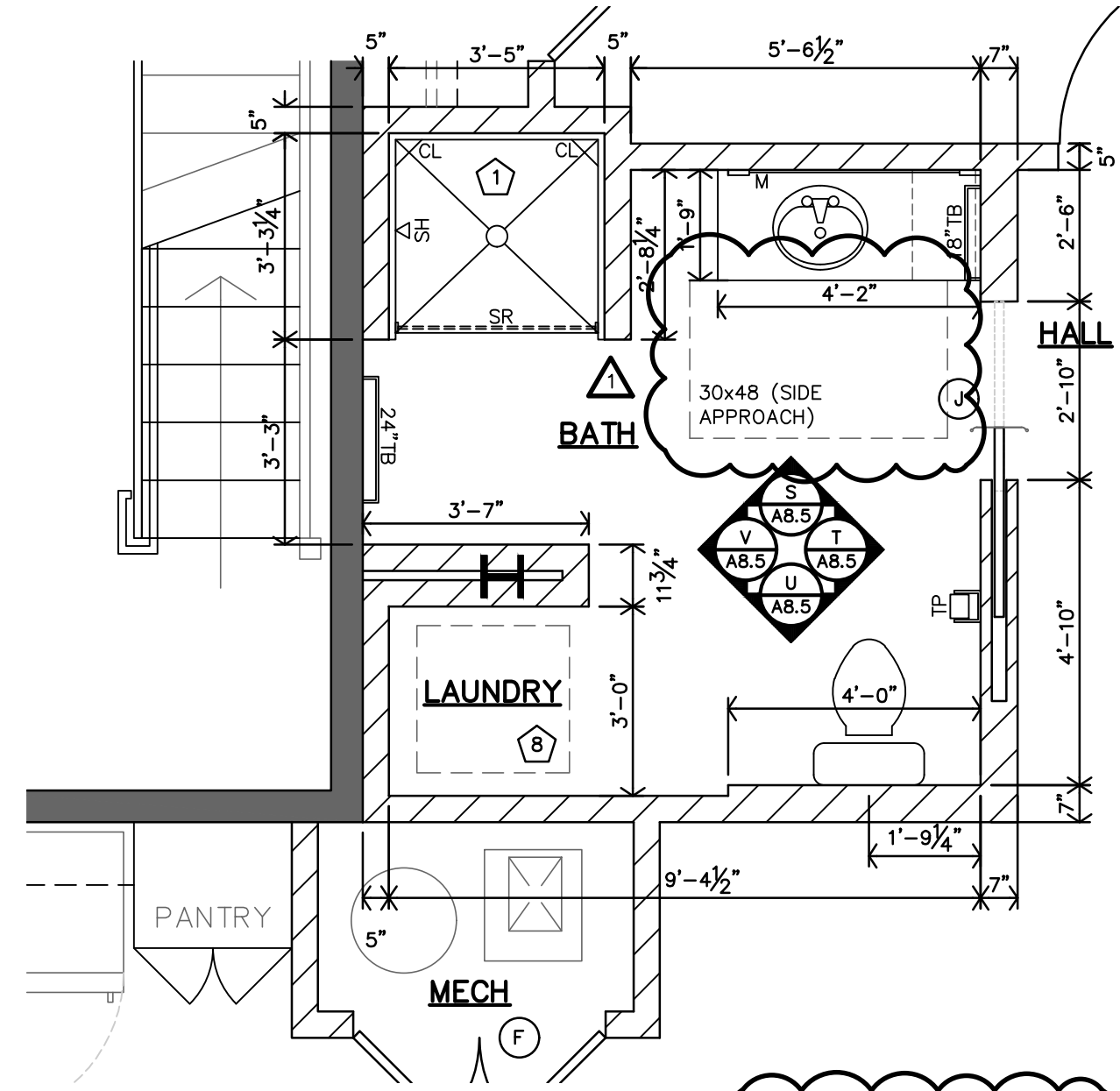
G ADAPTABLE BATH - TYPE #8 INTERIOR ELEVATION
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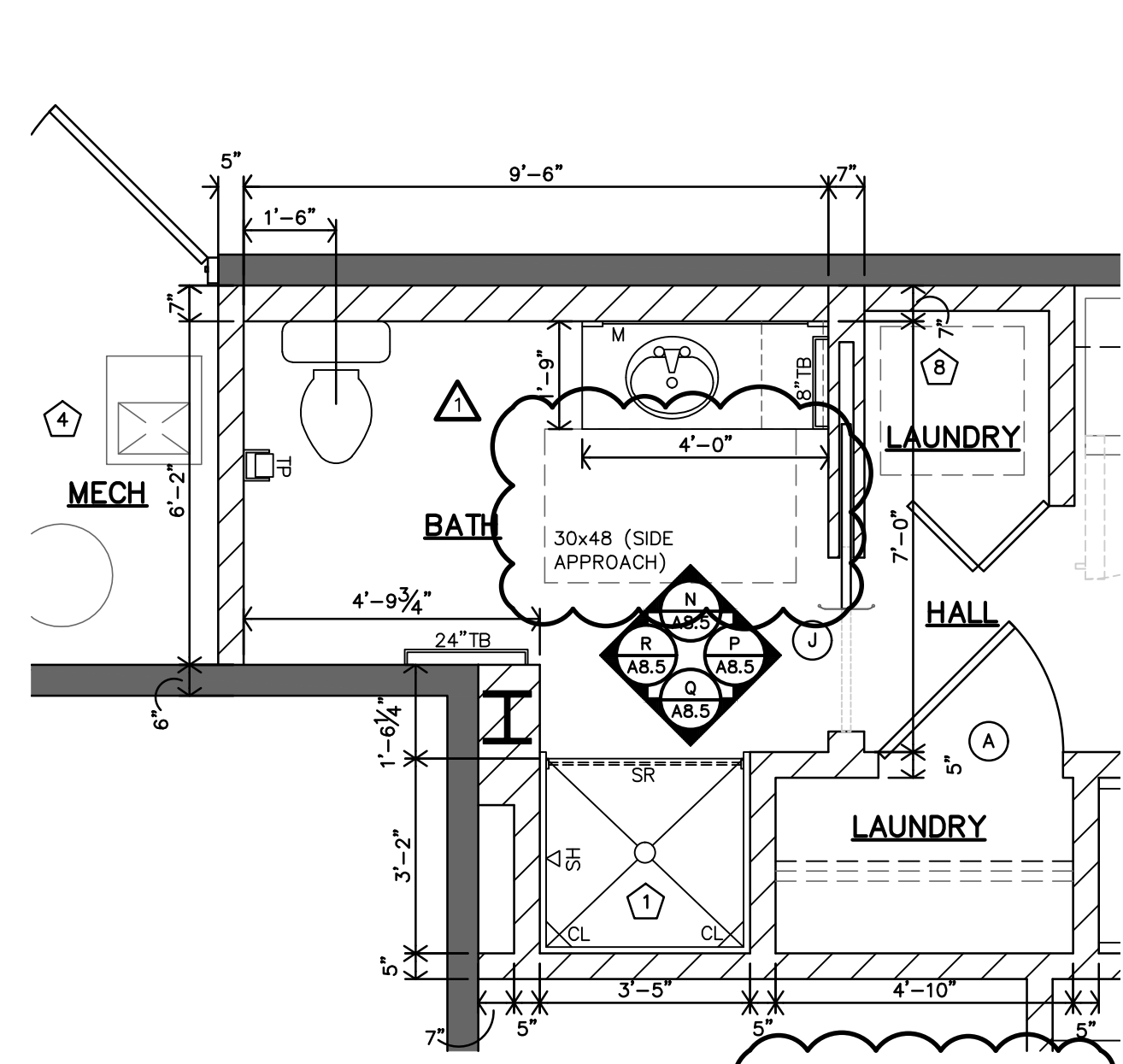
F ADAPTABLE BATH - TYPE #8 INTERIOR ELEVATION
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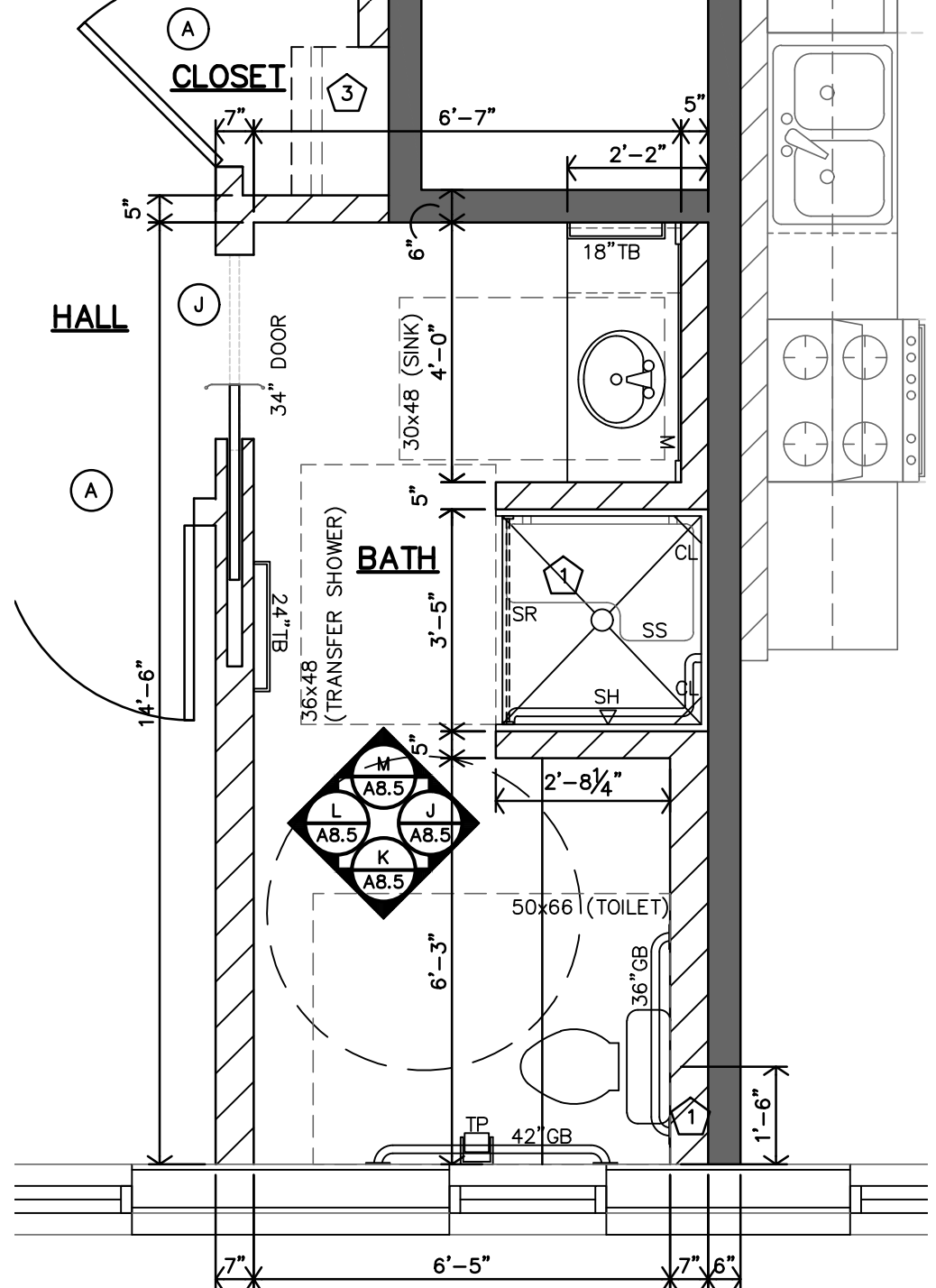
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3/8"=1'-0"



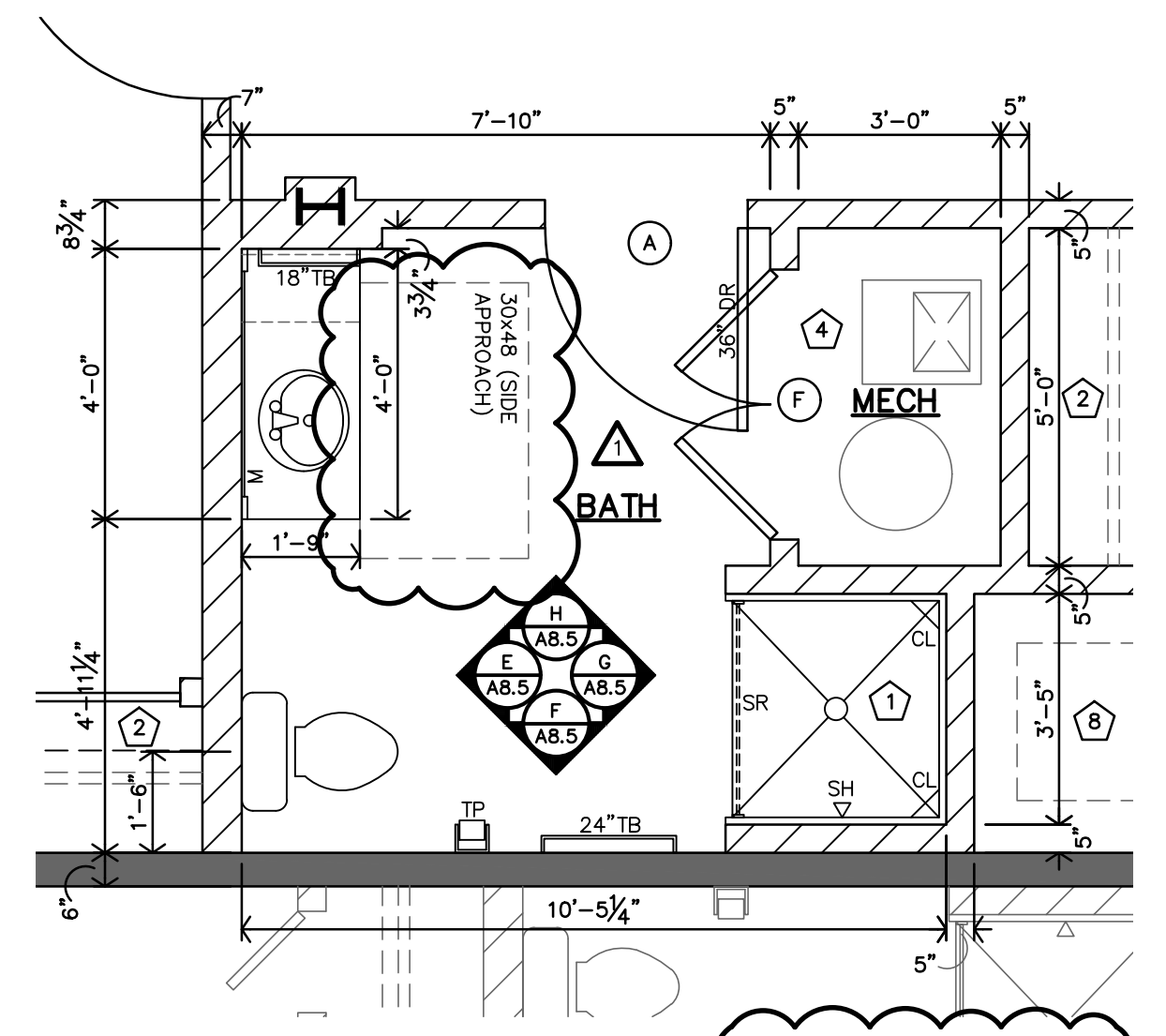
D TYPE 11 - ADAPTABLE (TYPE B UNIT) ENLARGED BATH PLAN
APT 17 (#213)
SIMILAR: APT. 25 (#313)



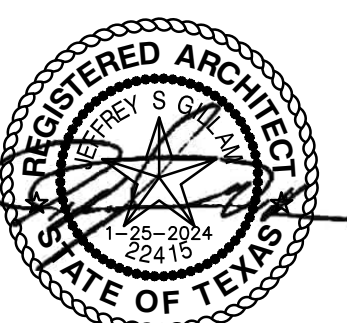
C TYPE 10 - ADAPTABLE (TYPE B UNIT) ENLARGED BATH PLAN
APT 14 (#205)
SIMILAR: APT. 22 (#309)



B TYPE 9 - ACCESSIBLE ENLARGED BATH PLAN
3/8"=1'-0"
APT 12 (#203)



A TYPE 8 - ADAPTABLE (TYPE B UNIT) ENLARGED BATH PLAN
3/8"=1'-0"
APT 10 (#201)
SIMILAR: APT. 18 (#301)



REVISION: 2-20-2024
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

A8.5

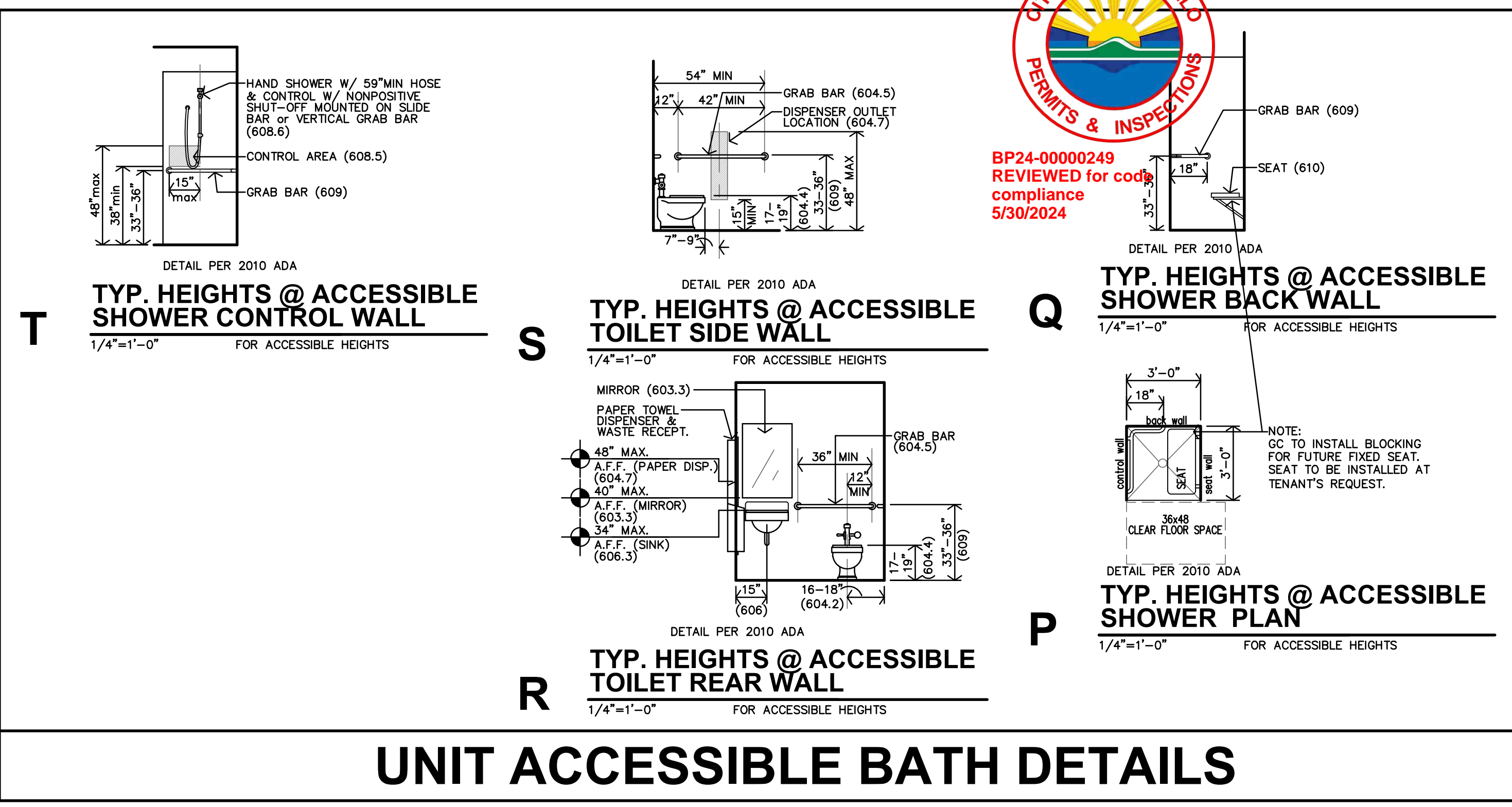
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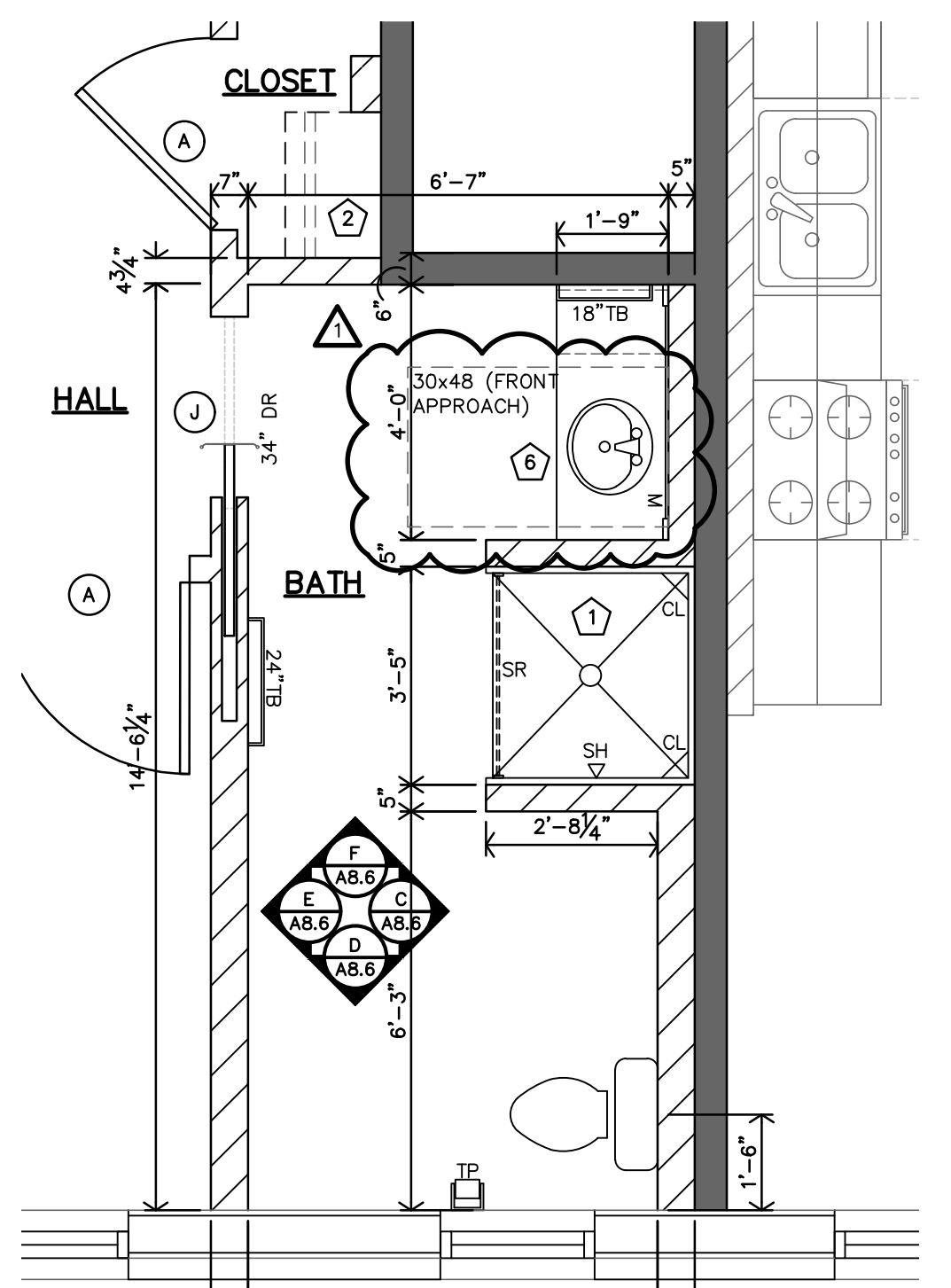
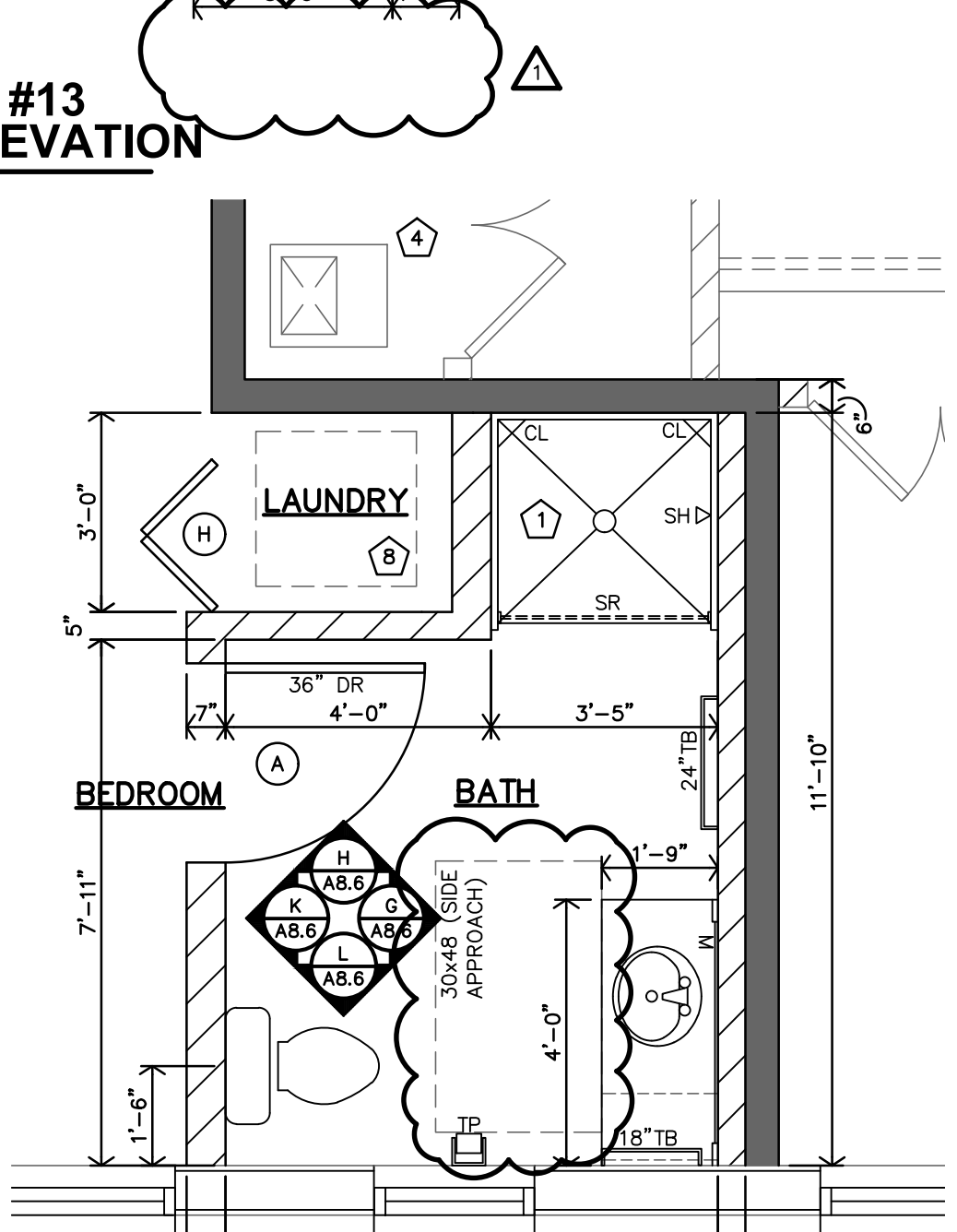
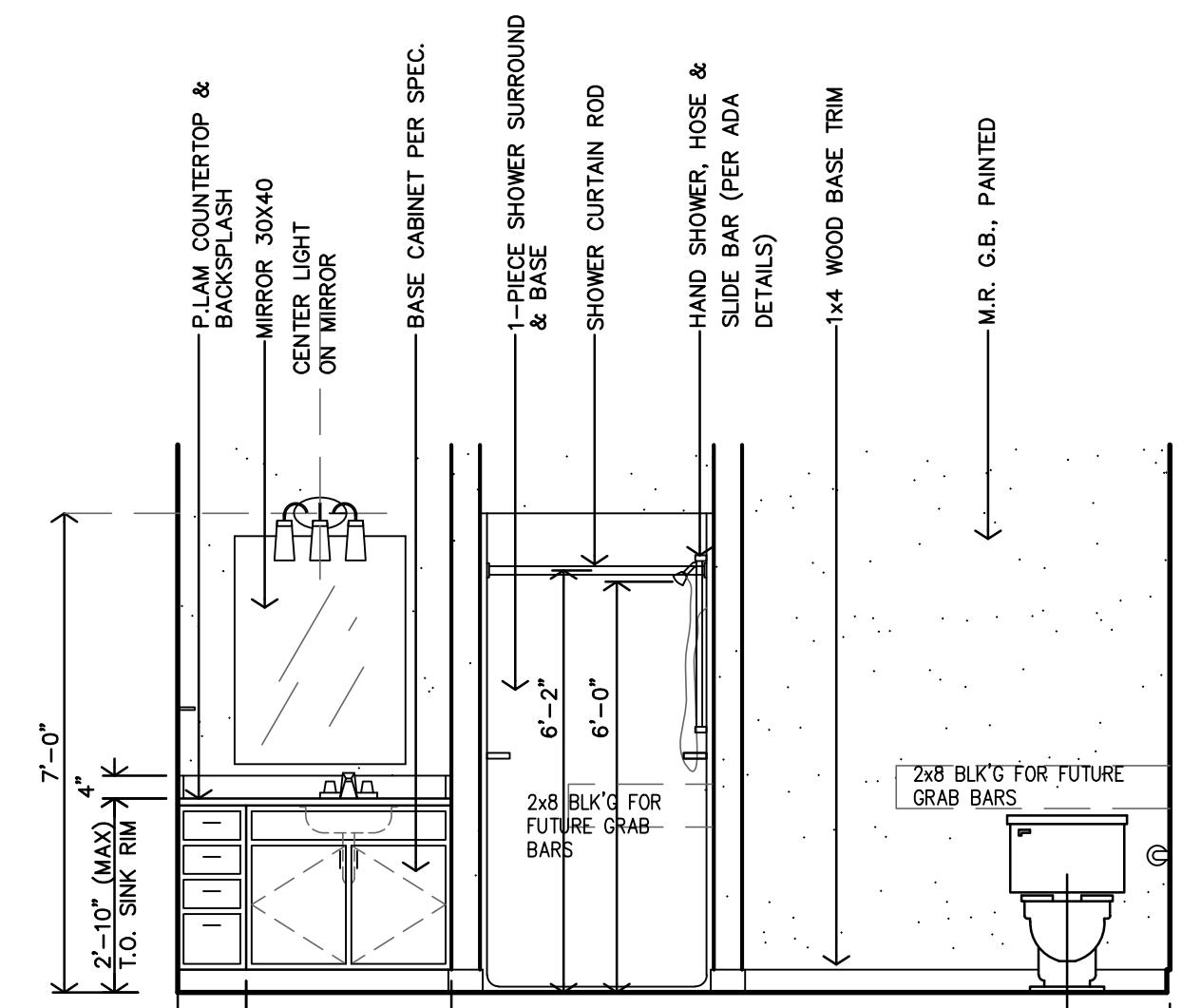
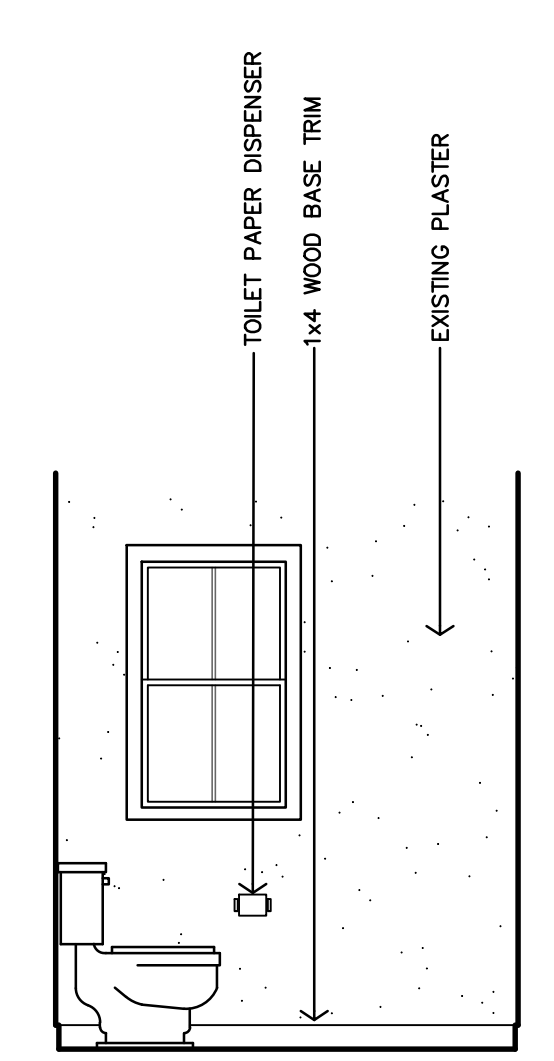
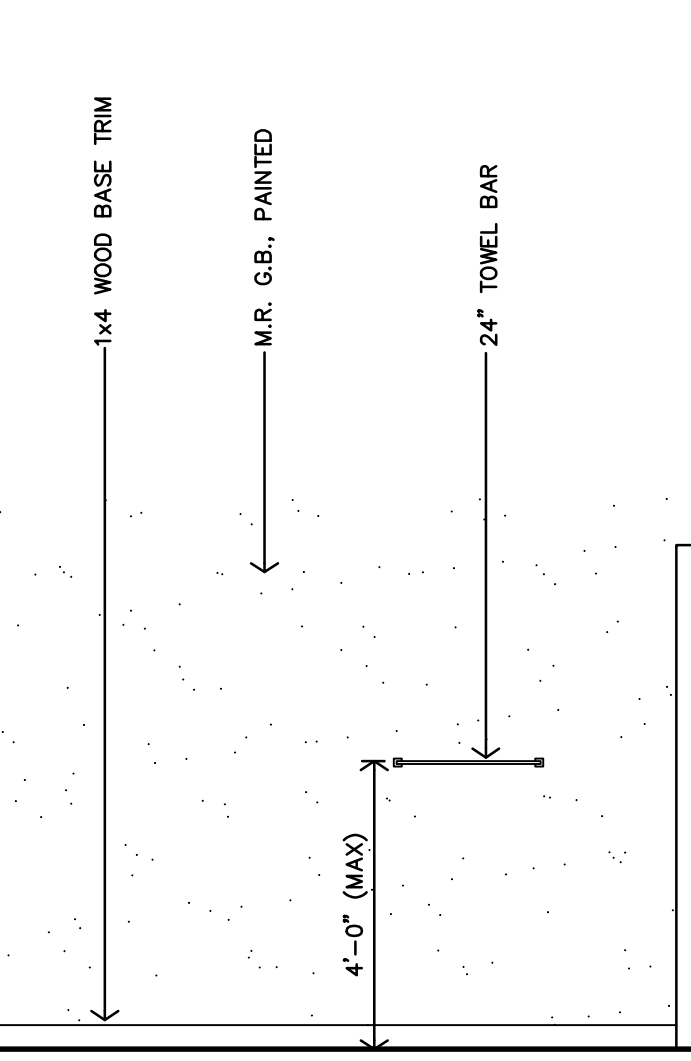
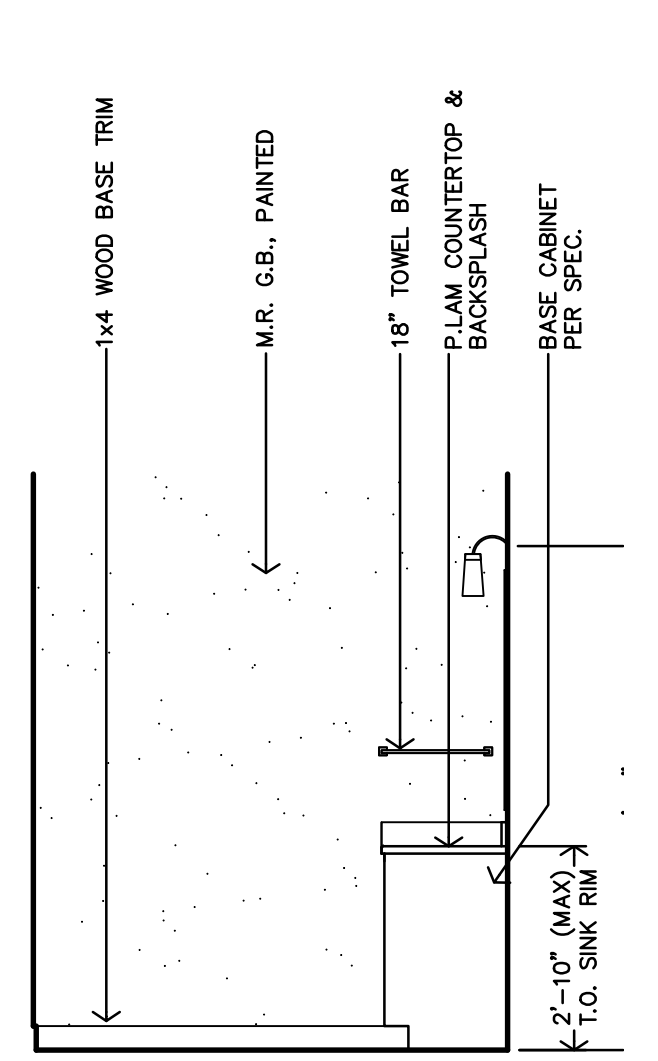
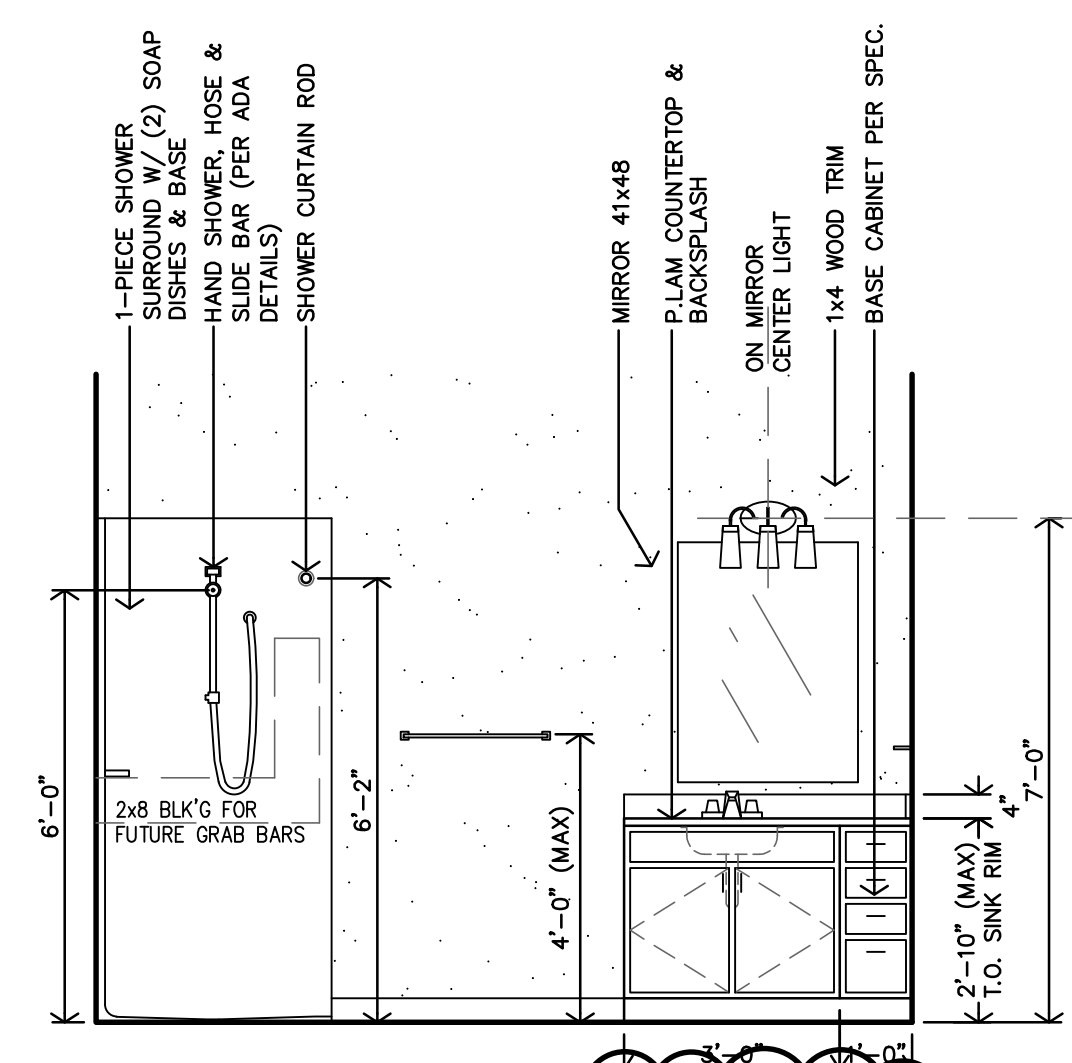
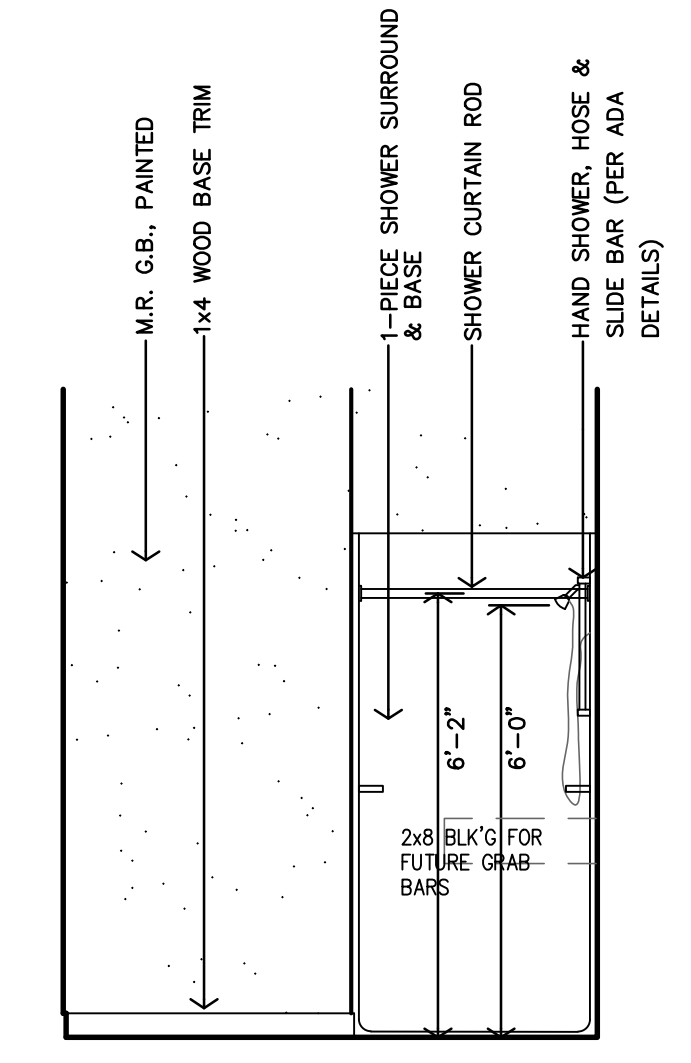
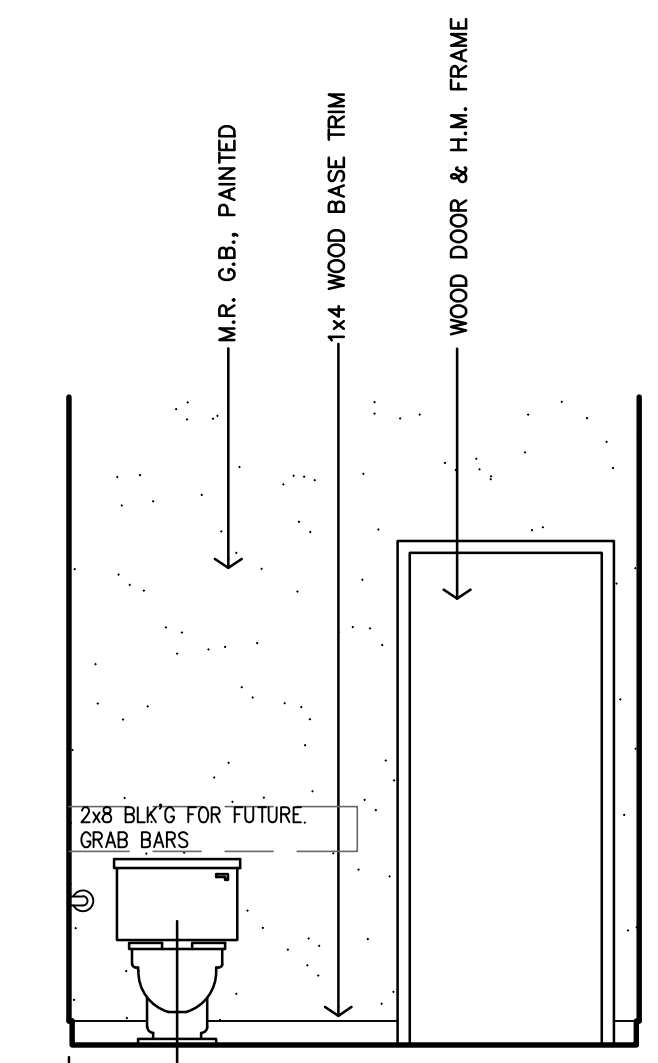
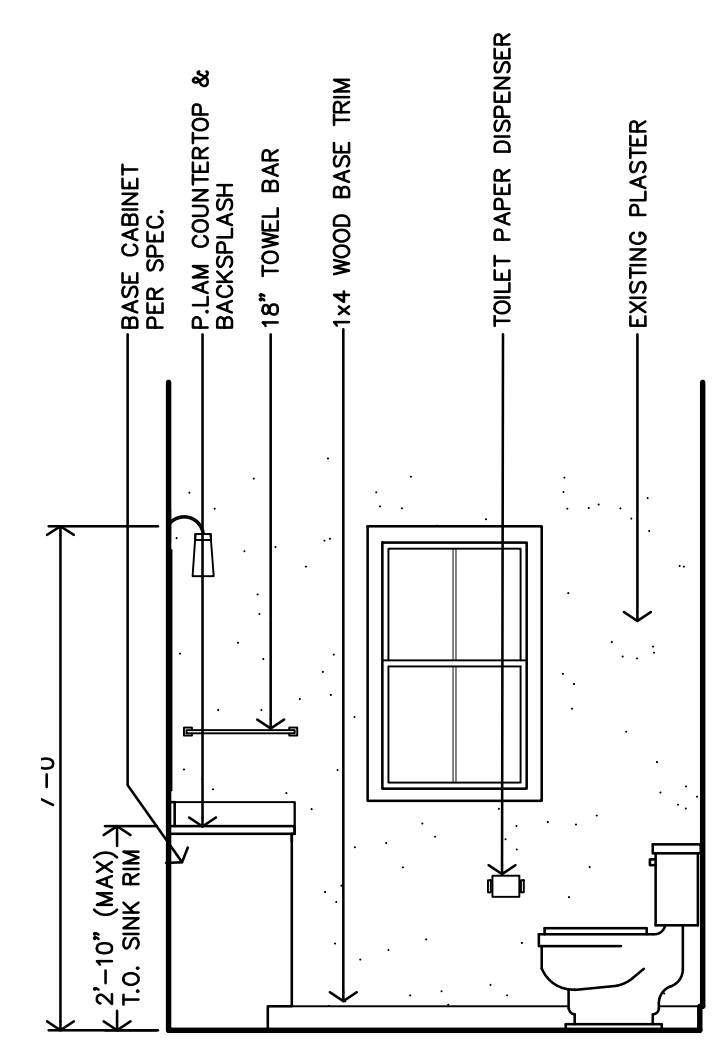
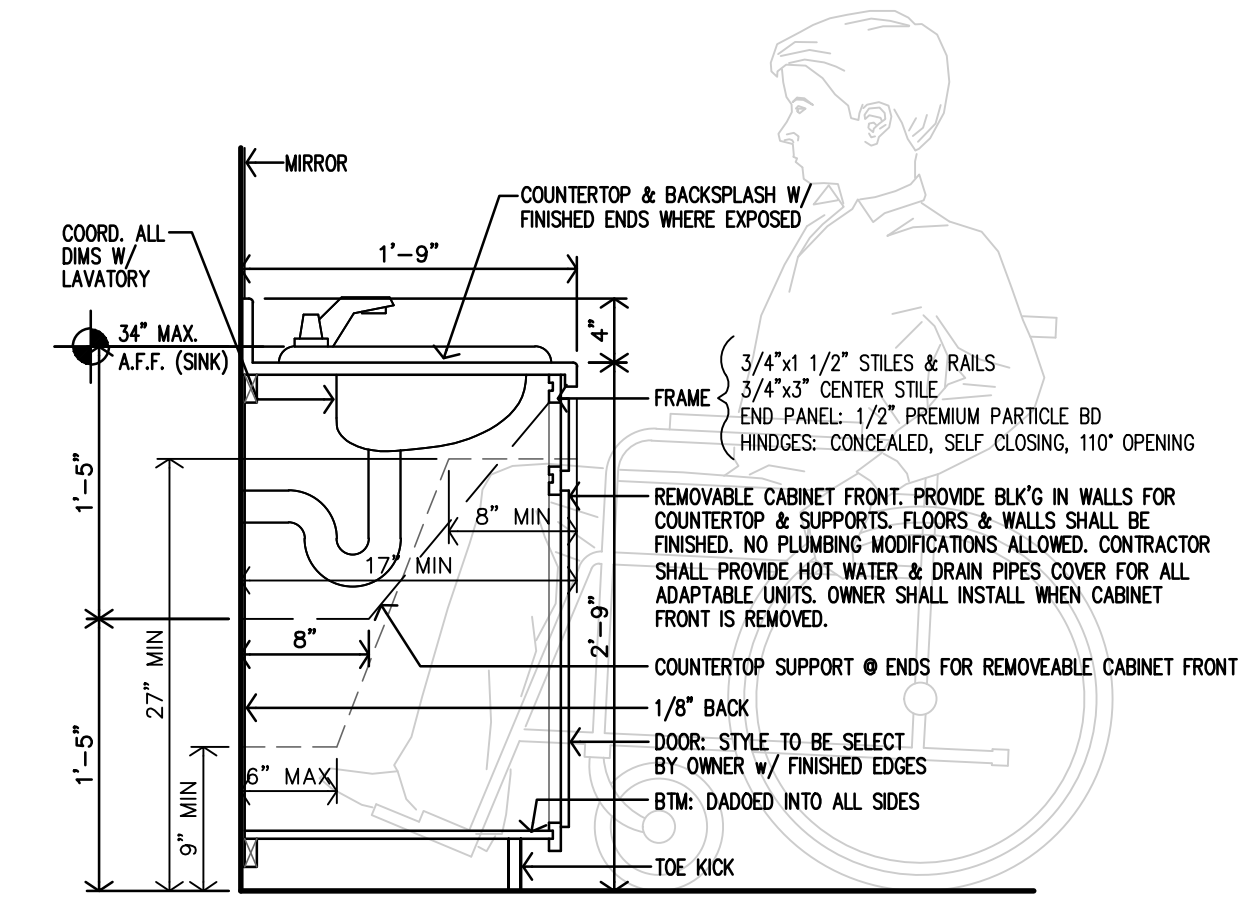
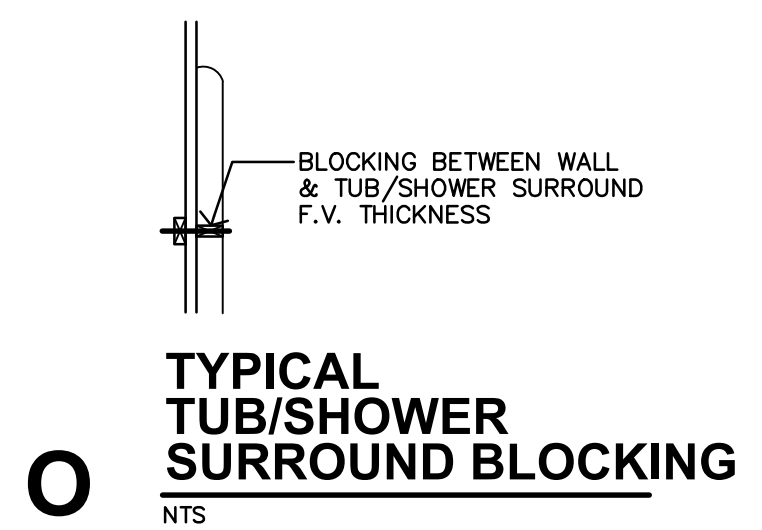
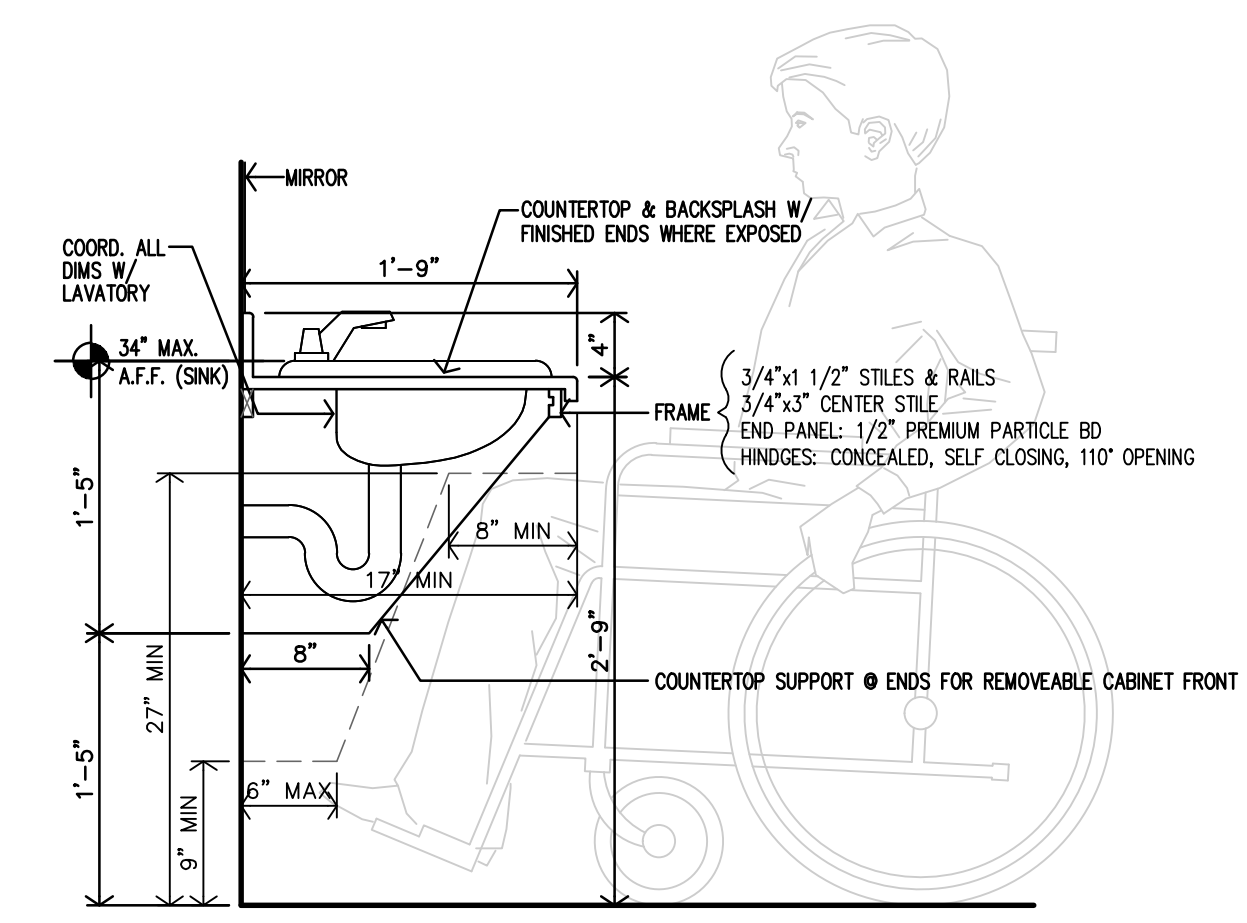
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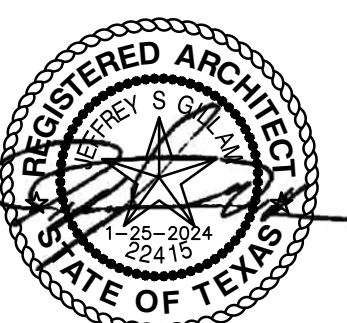


UNIT ACCESSIBLE BATH DETAILS



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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION:
2-20-2024

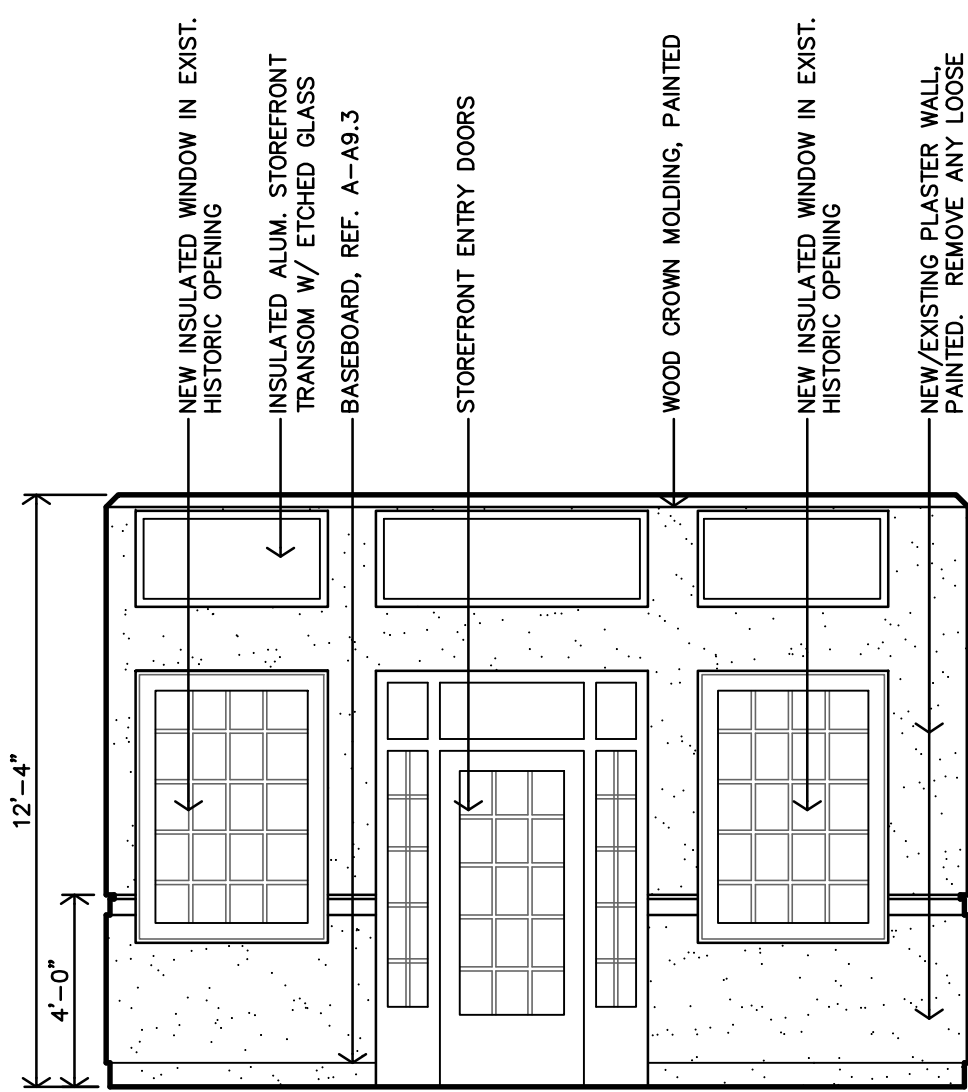
DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

A8.6

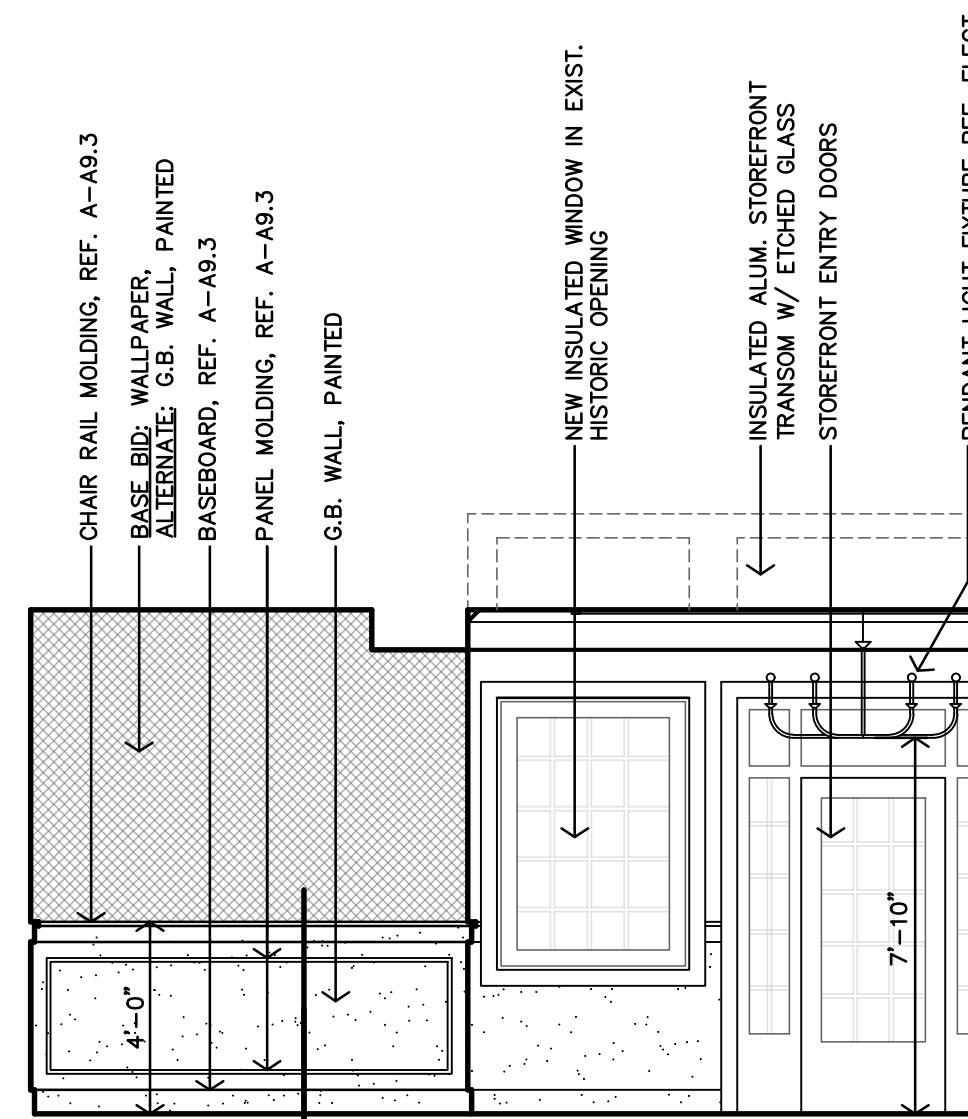
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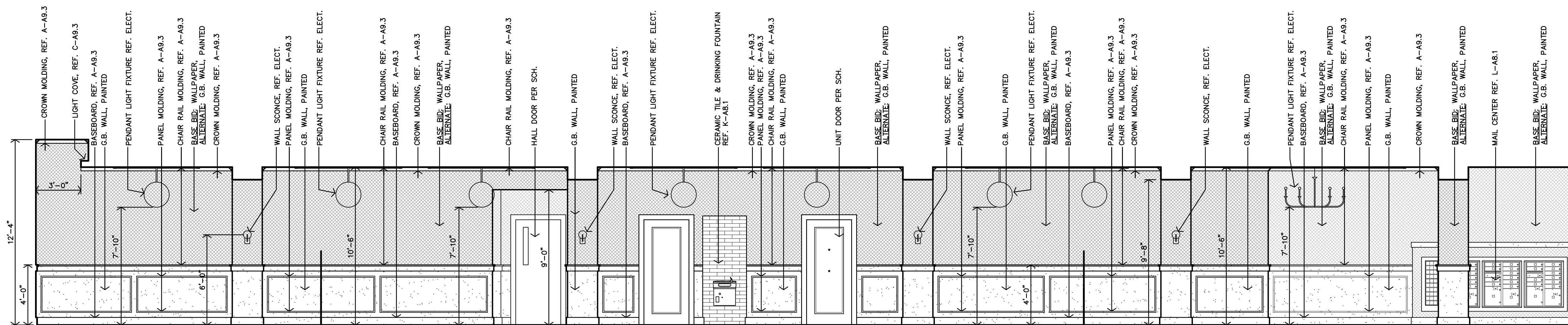
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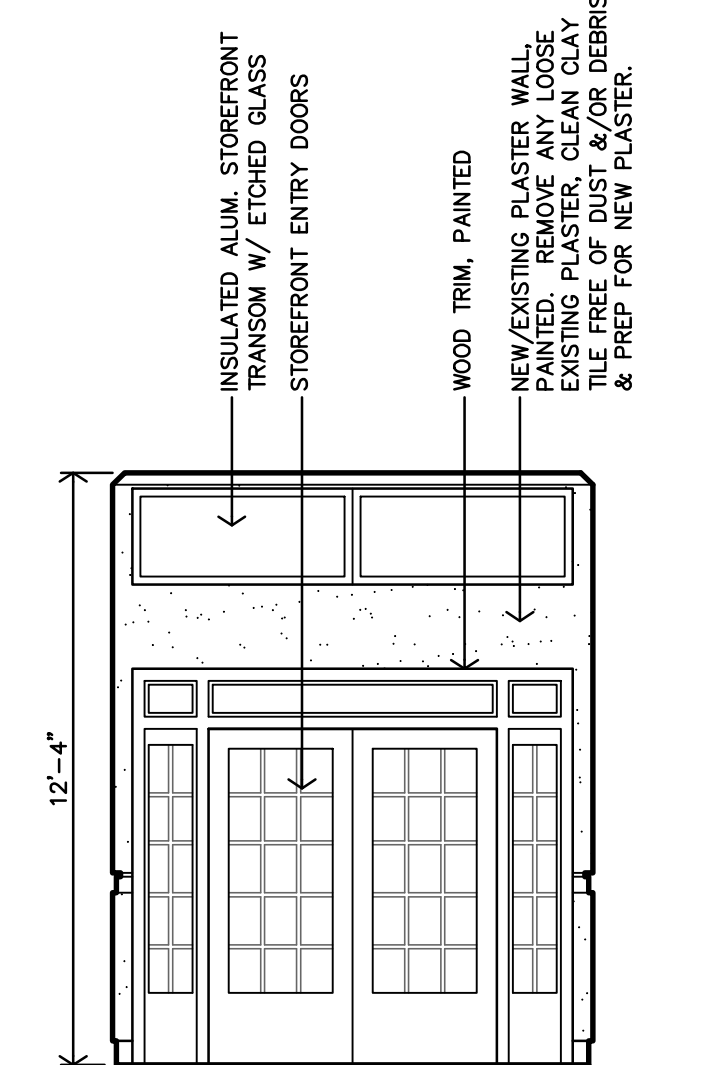
D COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



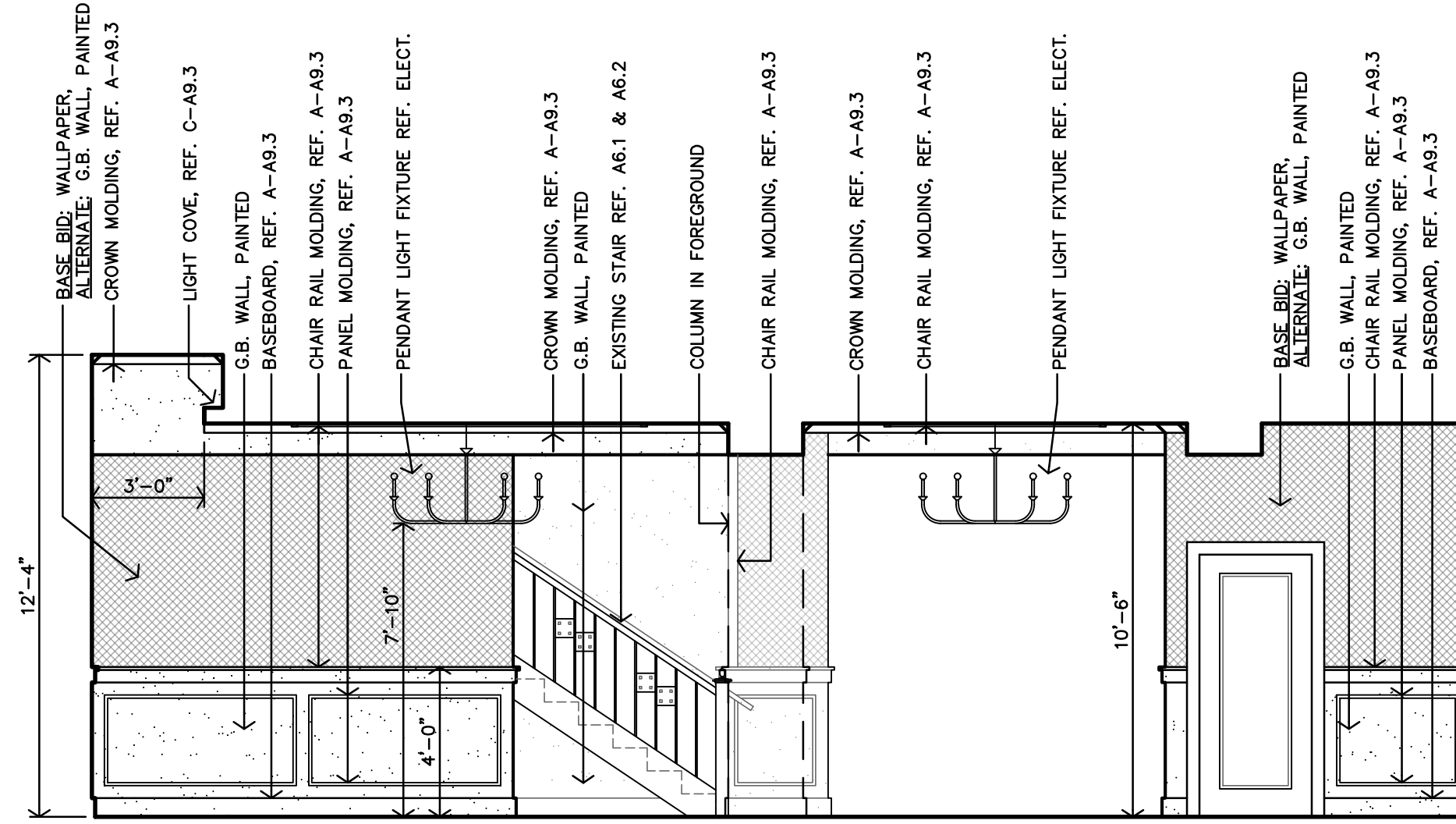
C HALL 107/COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



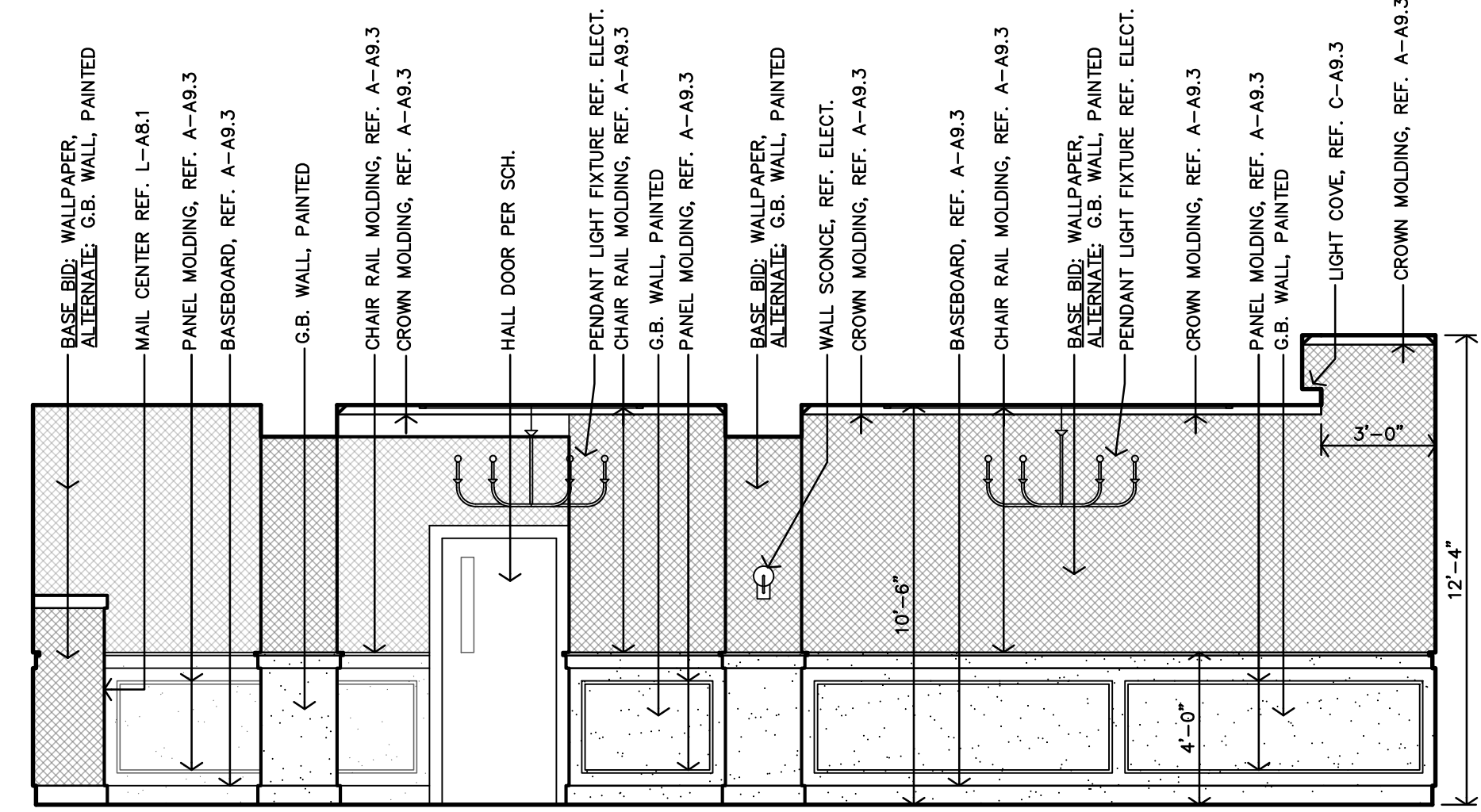
B HALL 107/COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



A HALL 107
 INTERIOR ELEVATION
 1/4"=1'-0"



F COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



E COMMUNITY ROOM 121
 INTERIOR ELEVATION
 1/4"=1'-0"



REVISION: _____
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:

A9.1

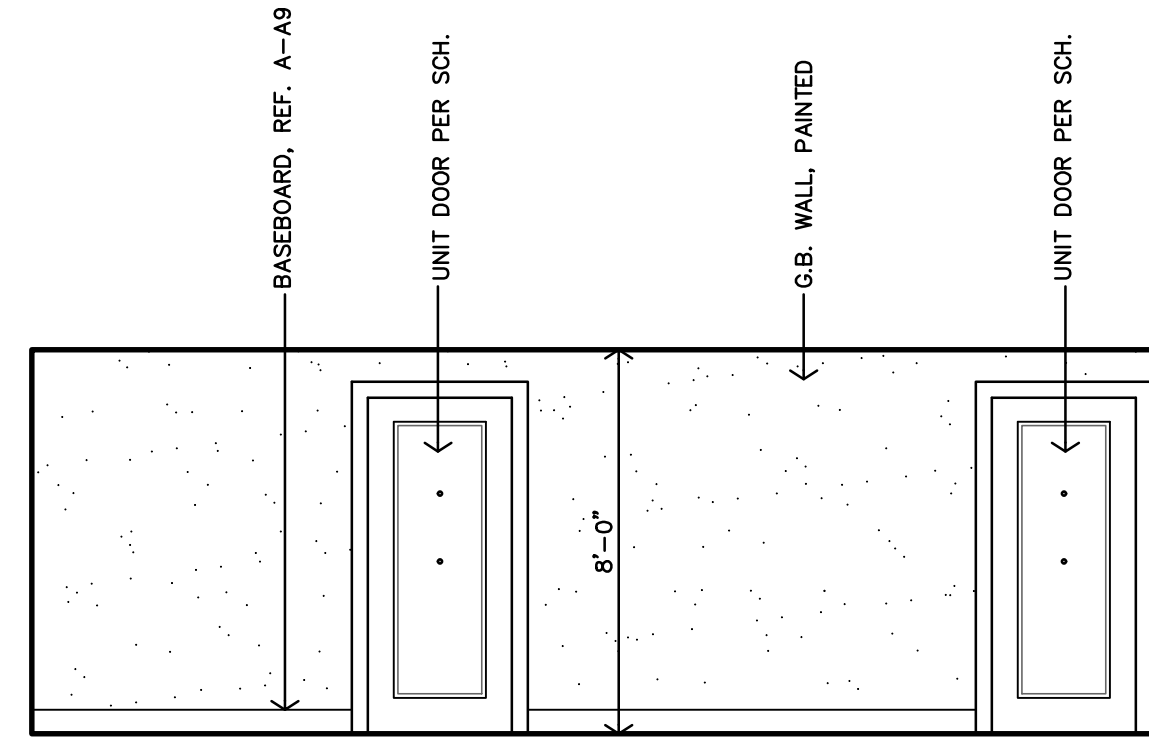
JGR JonesGillamRenz
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 785.827.0386
 1881 Main Street, Suite 301
 Kansas City, MO 64108
 jgr@jgarchitects.com

ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS

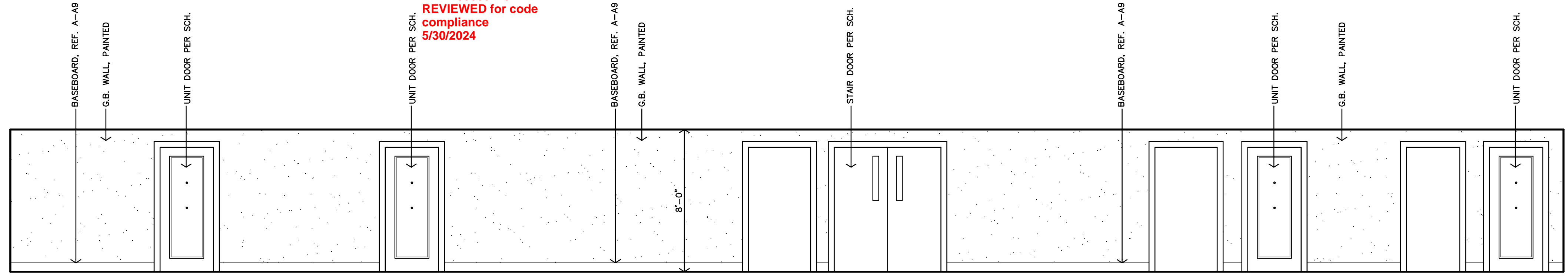
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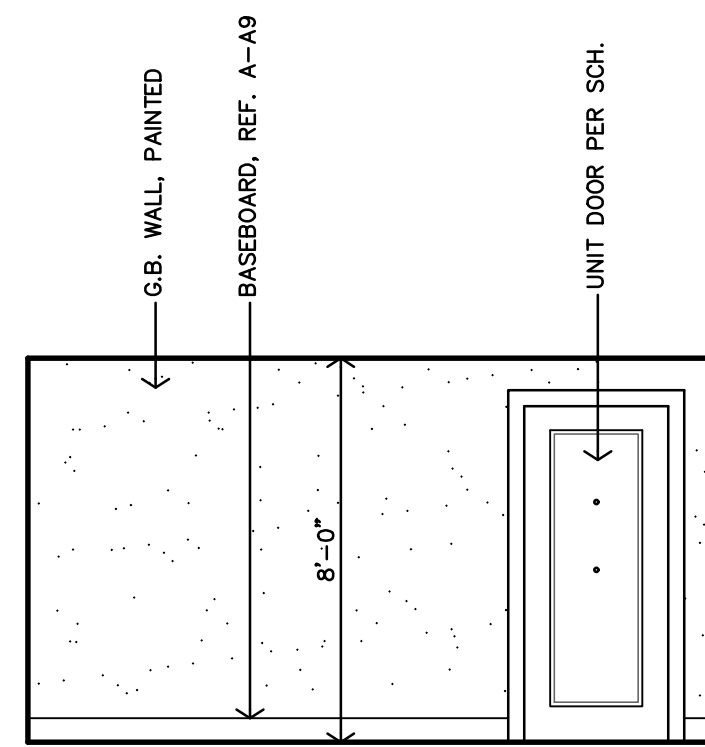
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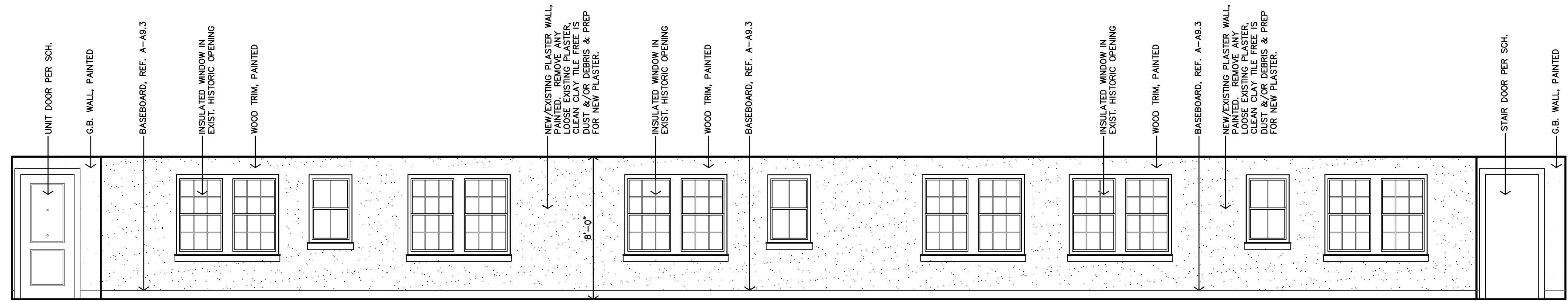
O HALL 214 & 314
INTERIOR ELEVATION
1/4"=1'-0"



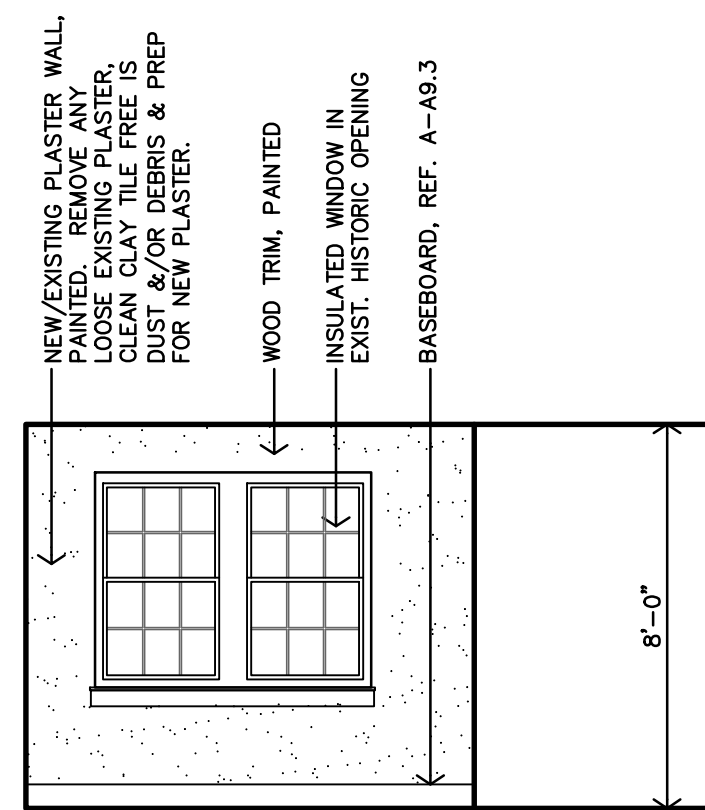
N HALL 208 & 308
INTERIOR ELEVATION
1/4"=1'-0"



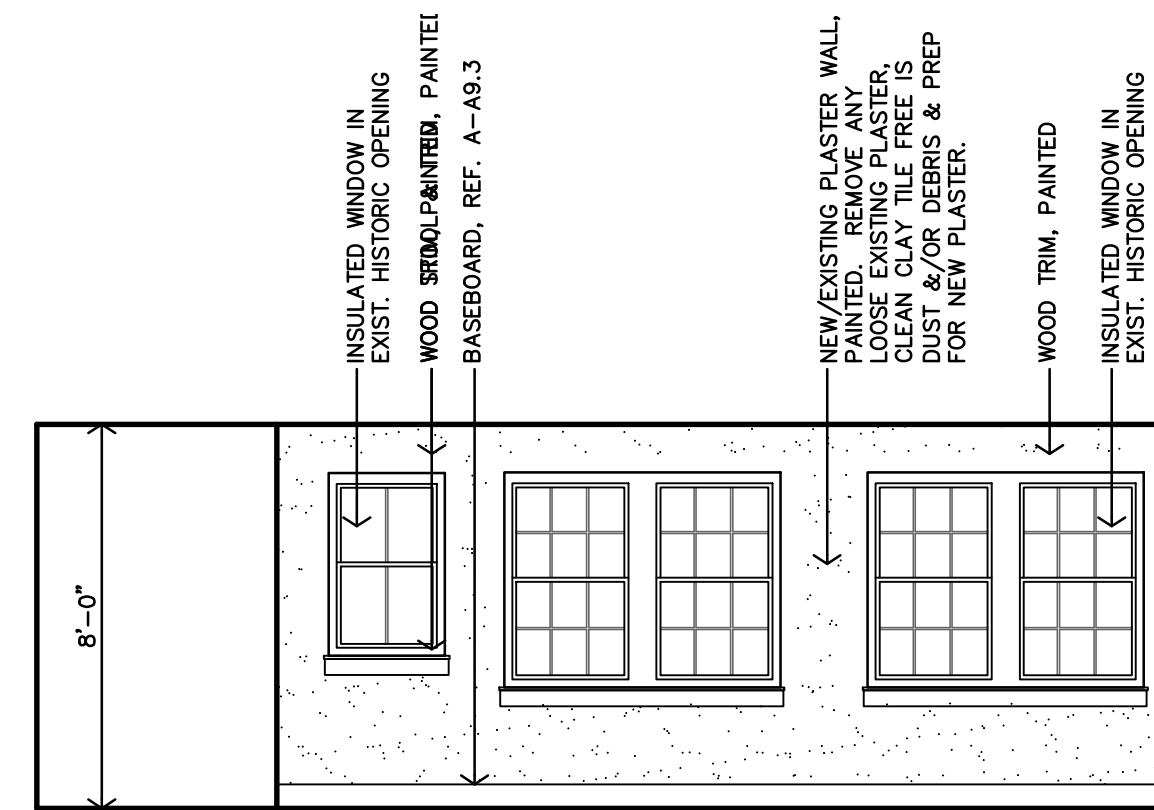
M HALL 204 & 304
INTERIOR ELEVATION
1/4"=1'-0"



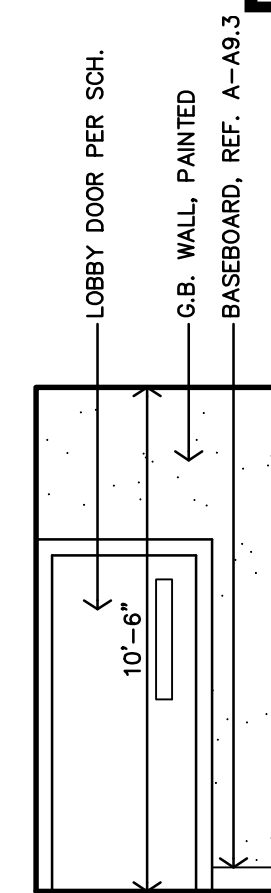
L HALL 208 & 308
INTERIOR ELEVATION
1/4"=1'-0"



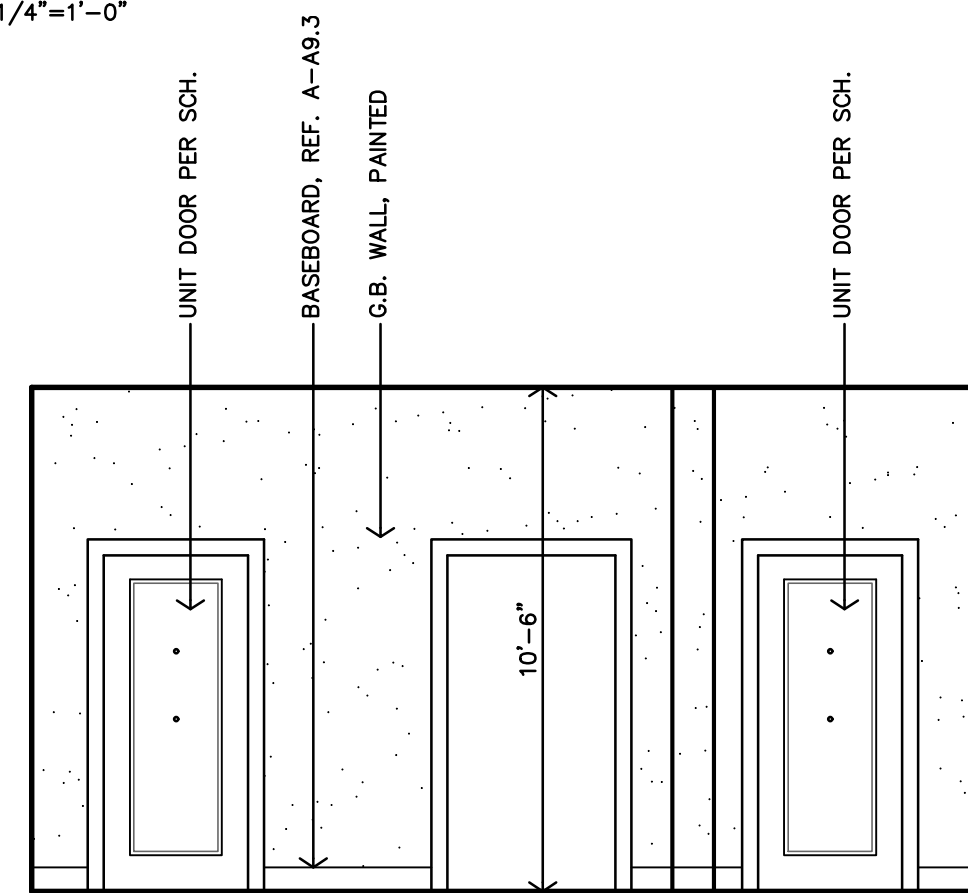
K HALL 204 & 304
INTERIOR ELEVATION
1/4"=1'-0"



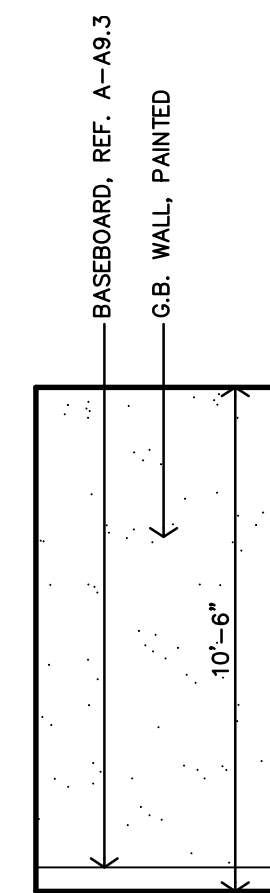
J HALL 214 & 314
INTERIOR ELEVATION
1/4"=1'-0"



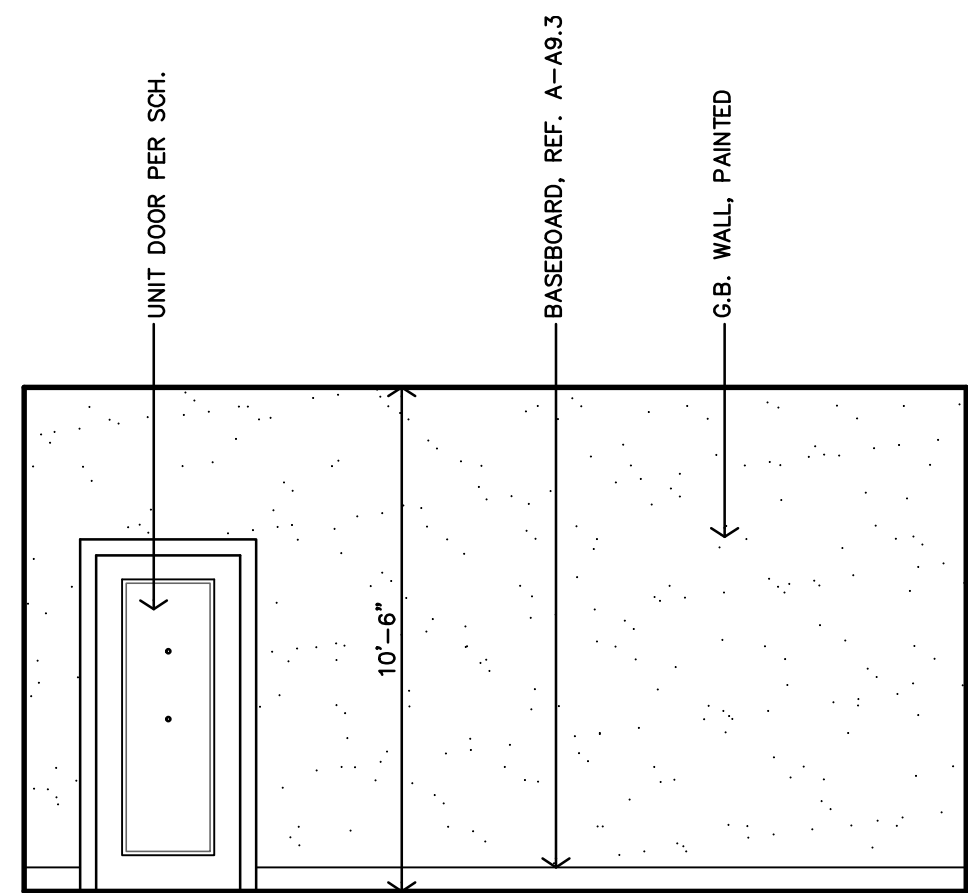
H HALL 111
INTERIOR ELEVATION
1/4"=1'-0"



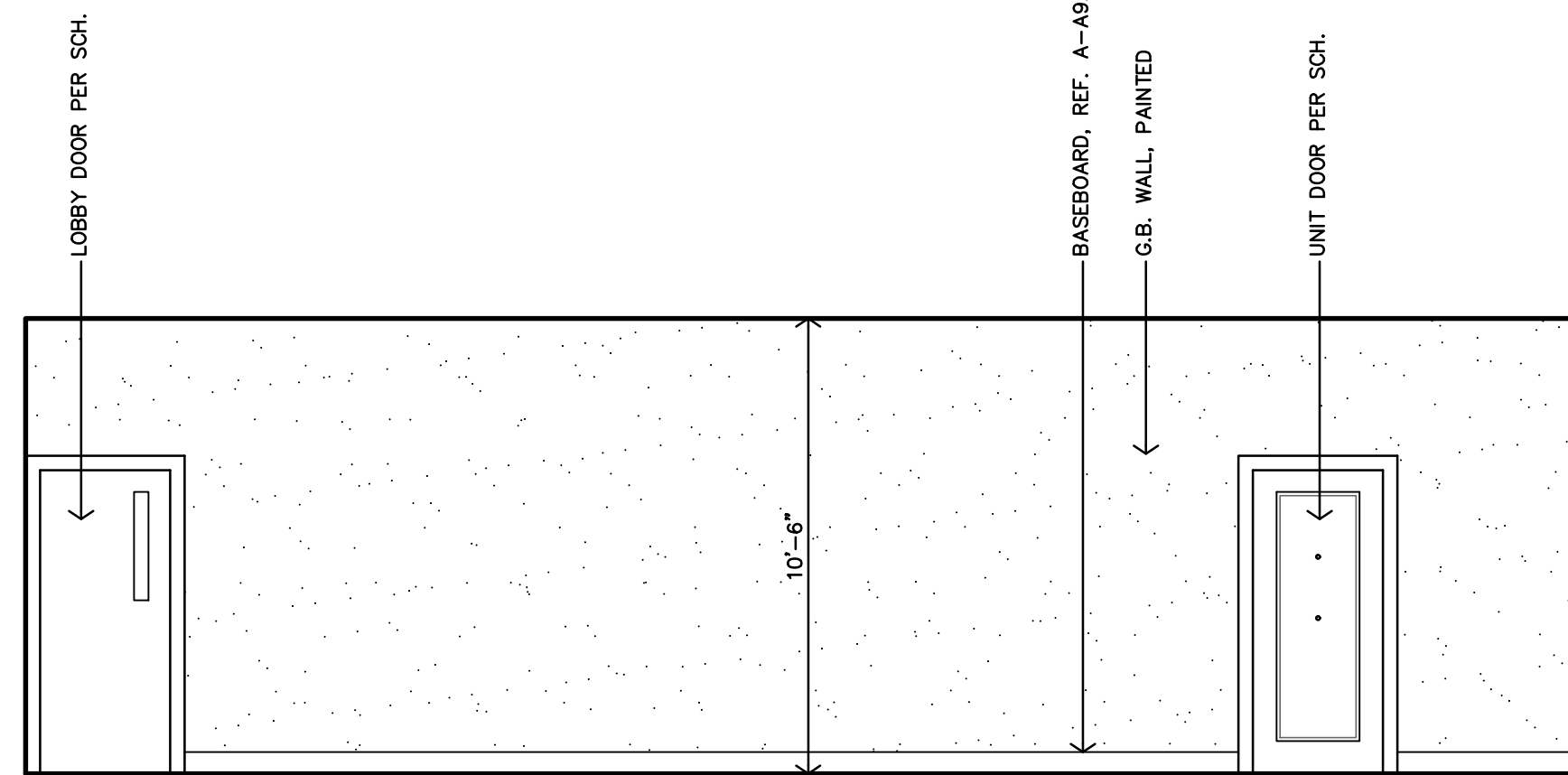
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INTERIOR ELEVATION
1/4"=1'-0"



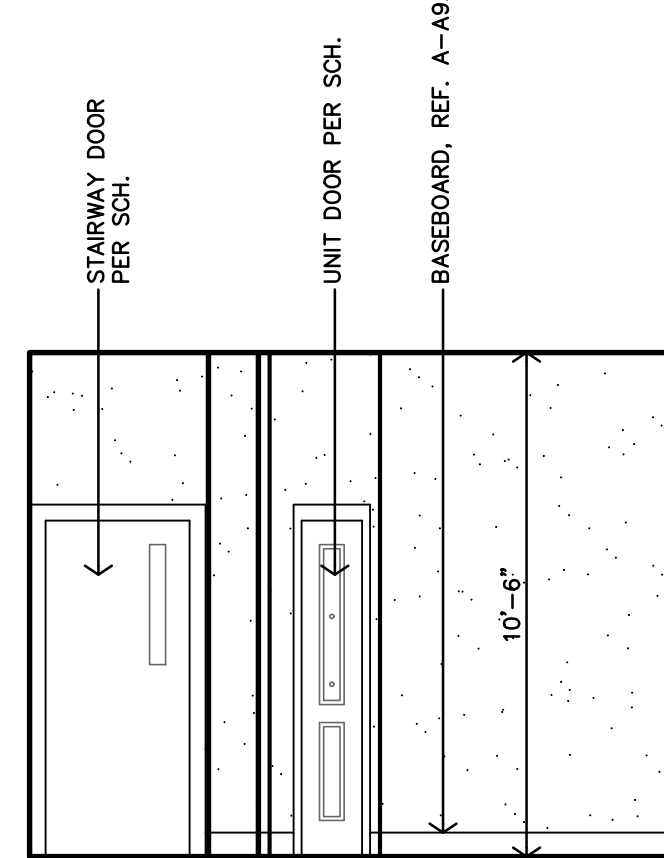
F HALL 111
INTERIOR ELEVATION
1/4"=1'-0"



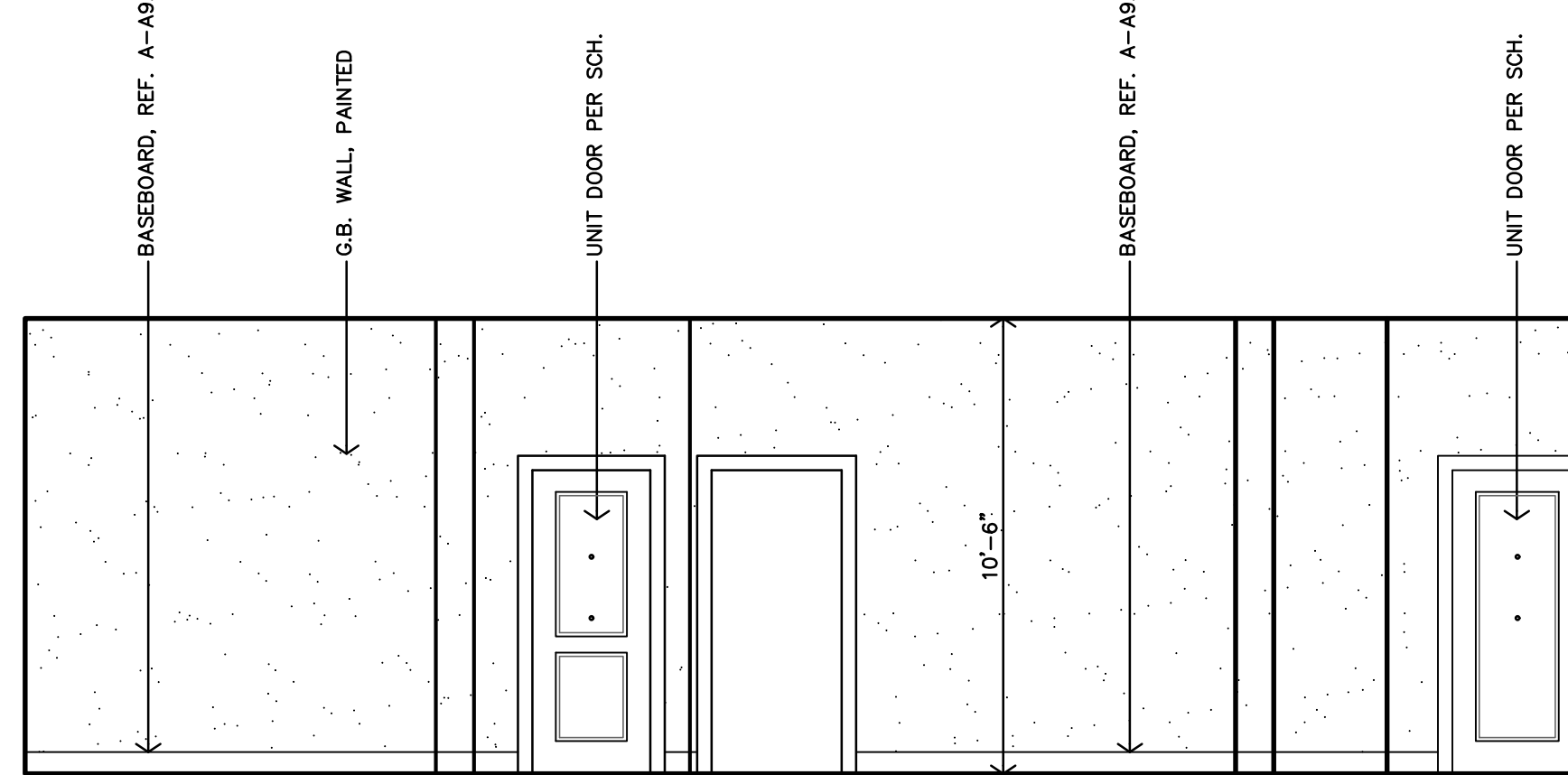
E HALL 111
INTERIOR ELEVATION
1/4"=1'-0"



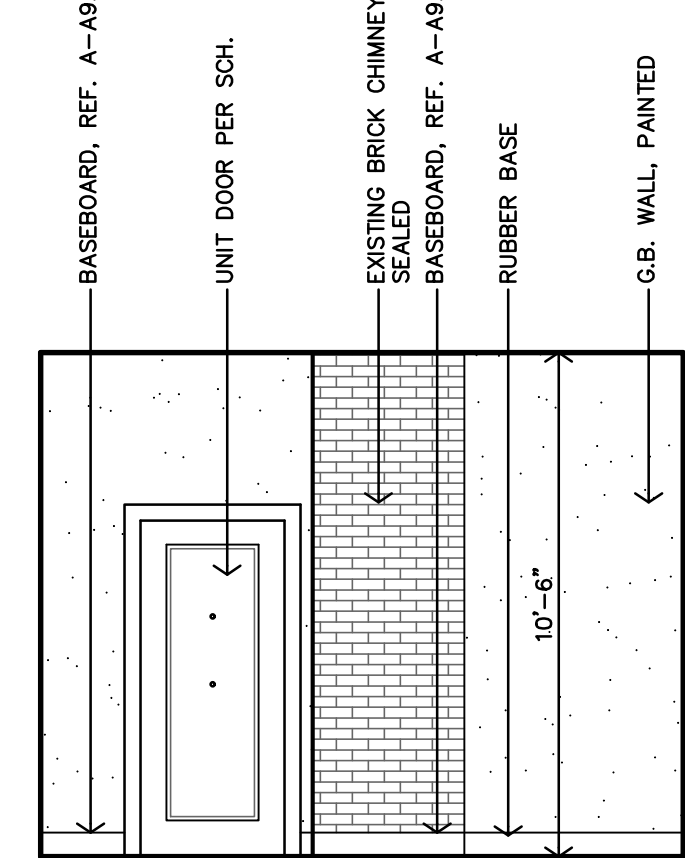
D HALL 124
INTERIOR ELEVATION
1/4"=1'-0"



C HALL 124
INTERIOR ELEVATION
1/4"=1'-0"



B HALL 124
INTERIOR ELEVATION
1/4"=1'-0"



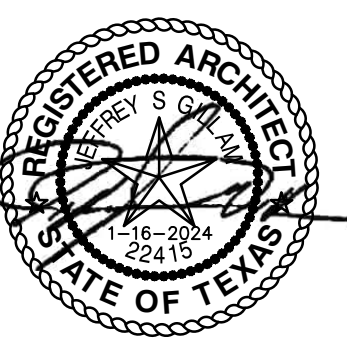
A HALL 124
INTERIOR ELEVATION
1/4"=1'-0"



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JOB: 22-3281
SHEET NO.:

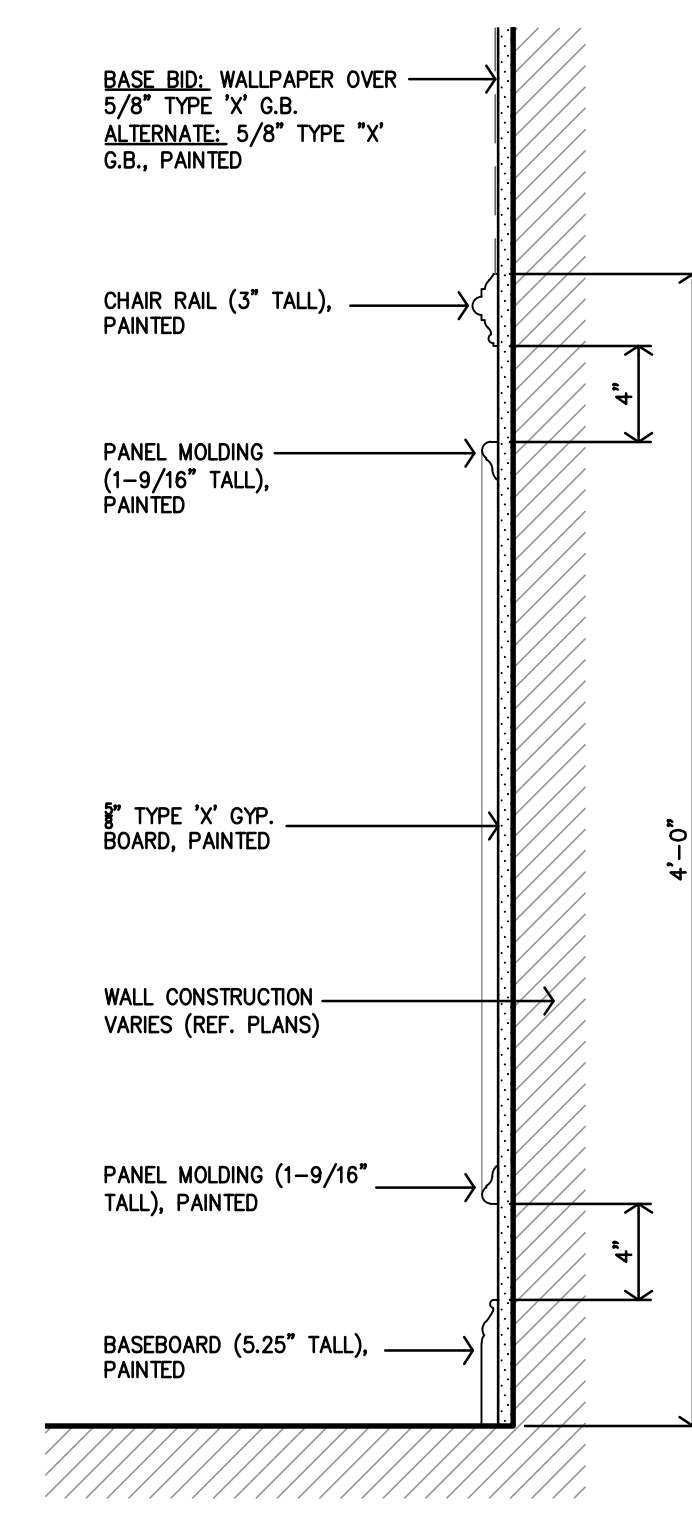


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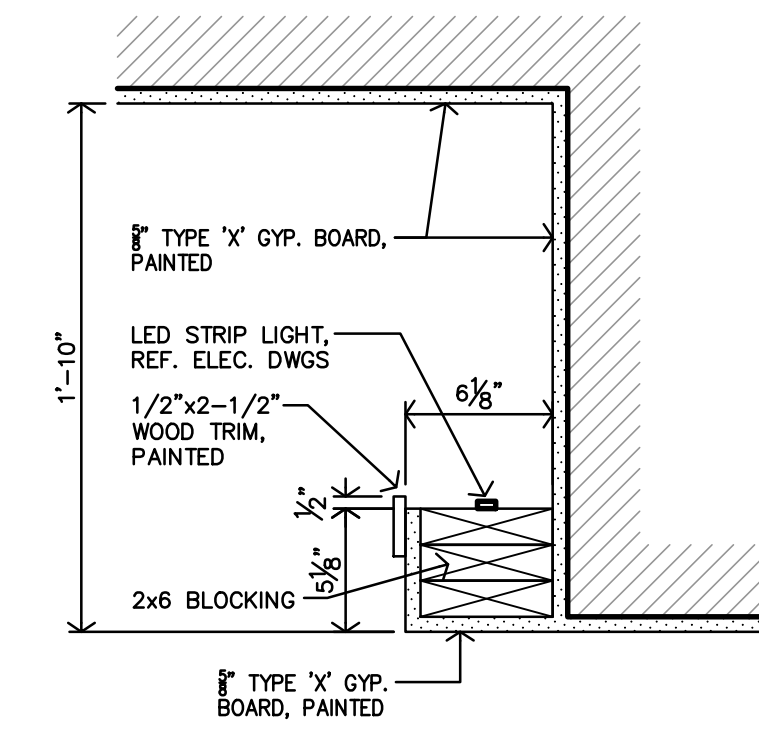


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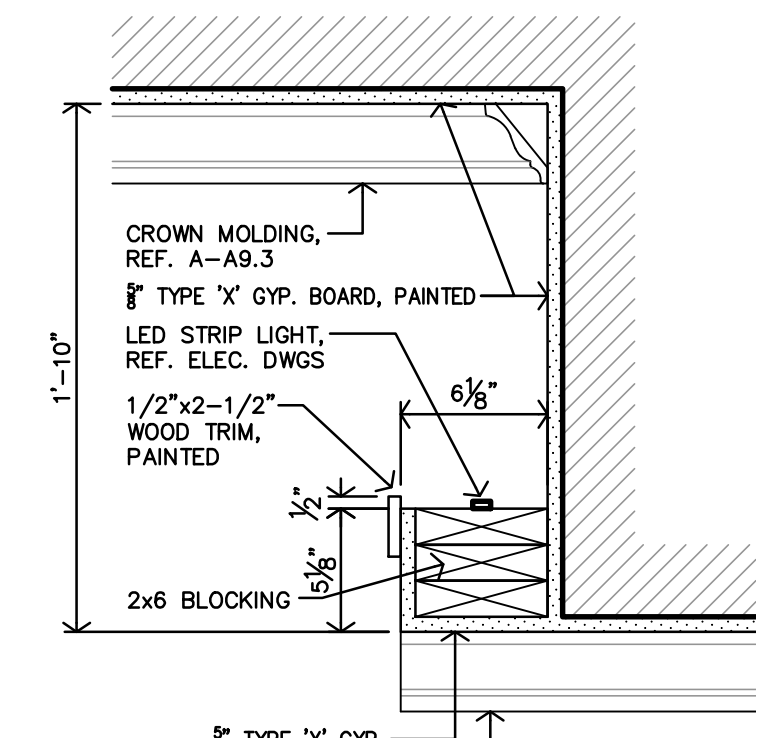
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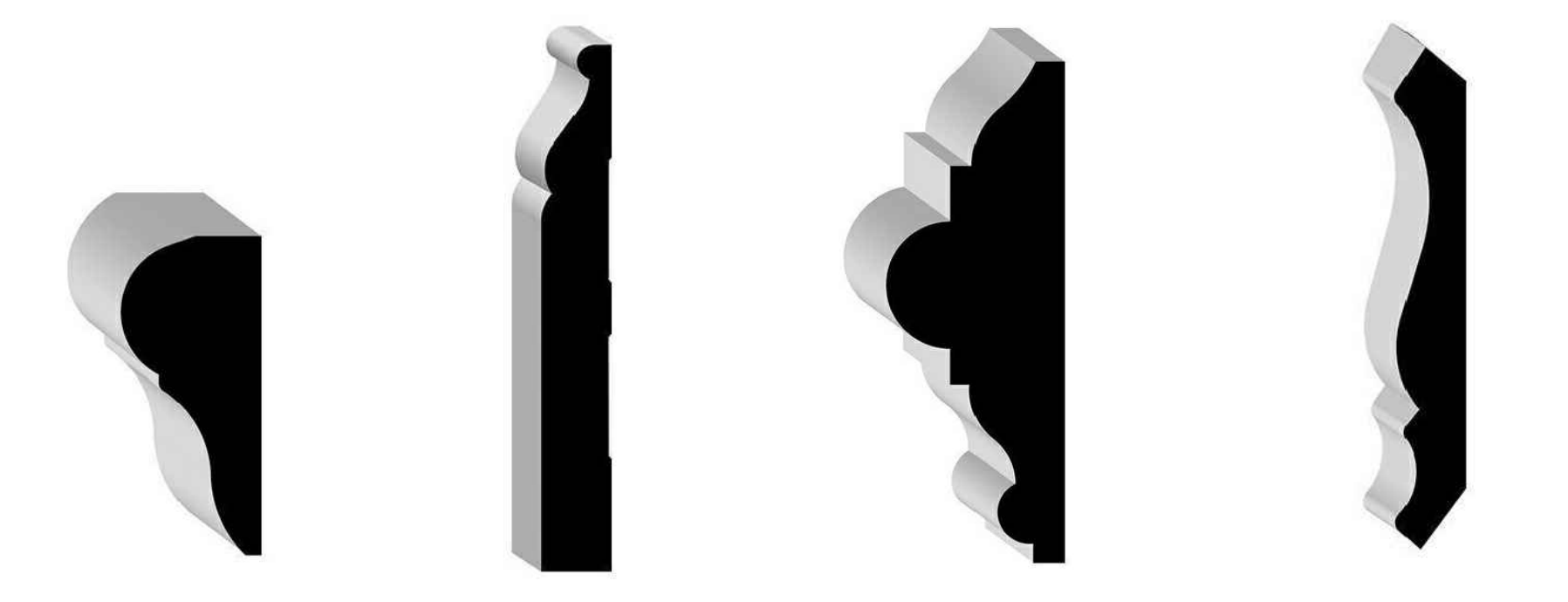
B SECTION @ WALL PANELS
 1-1/2" = 1'-0"



D SECTION @ LIGHT COVE
 1-1/2" = 1'-0"



C SECTION @ LIGHT COVE
 1-1/2" = 1'-0"

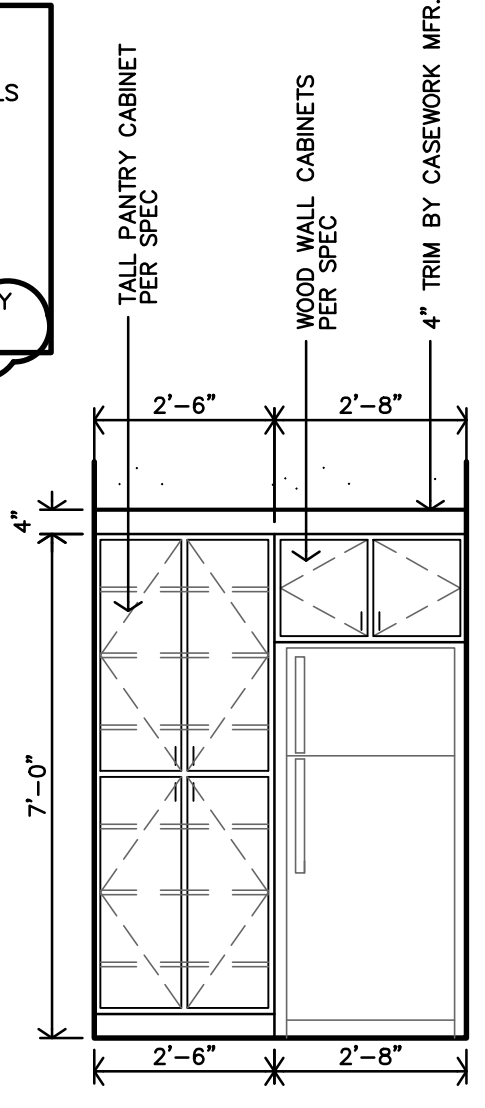


A TRIM AND MOLDING PROFILES
 N.T.S.

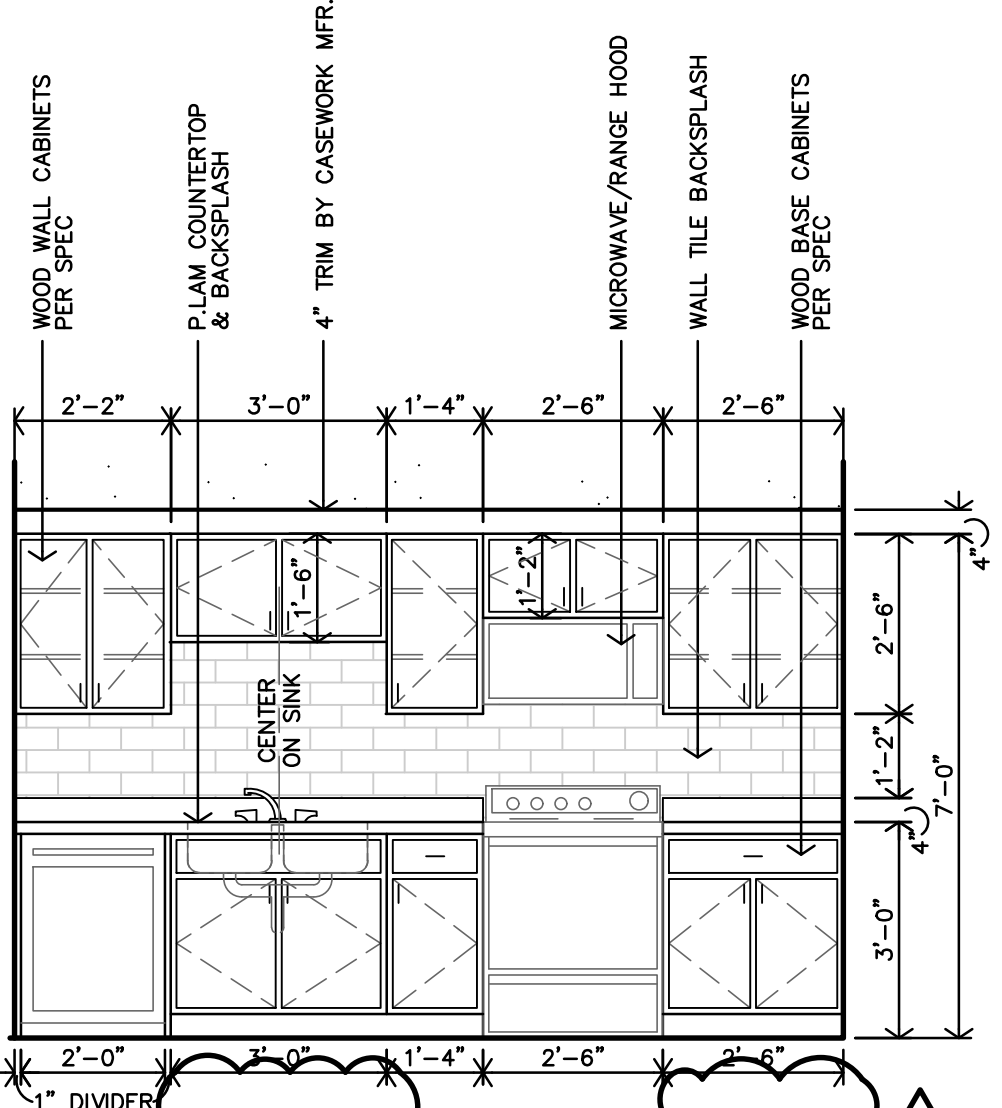


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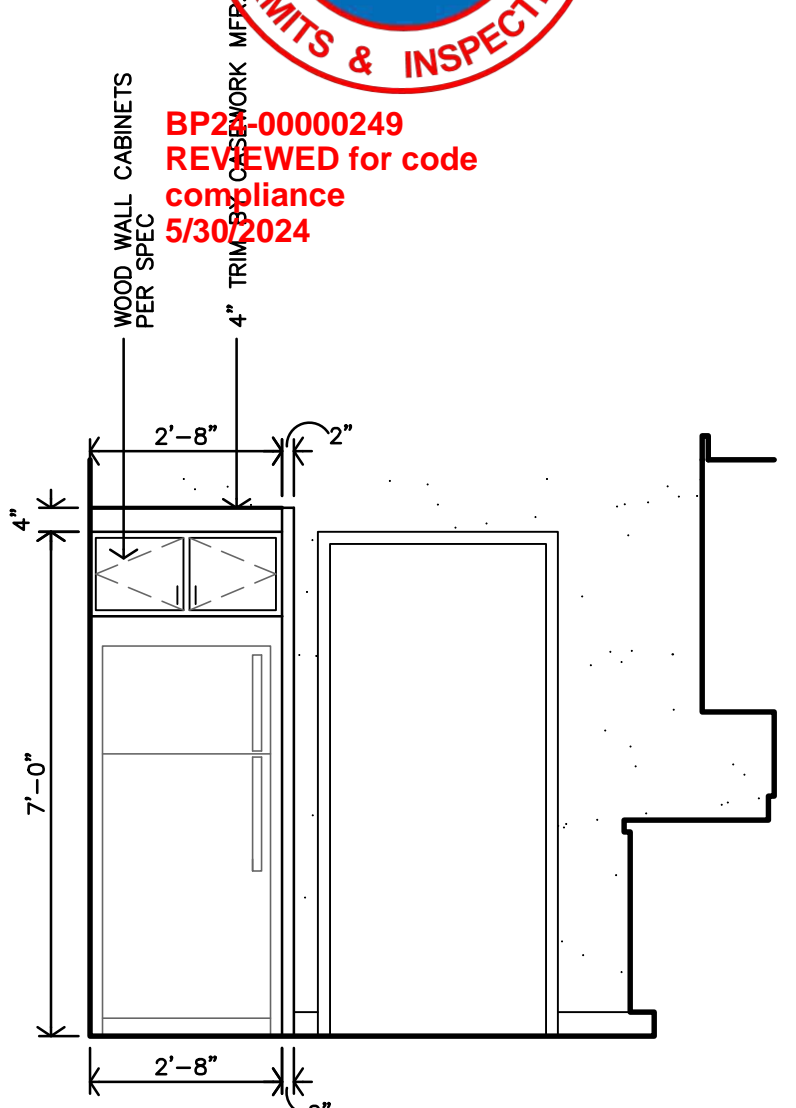
CASEWORK NOTES:
 1. REF SHEET A2.0 FOR GENERAL NOTES.
 2. CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS, BRACES, ETC.
 3. REMOVABLE CABINETS TO PROVIDE 30" CLEAR MIN. FLOORING & WALL FINISH TO BE CONTINUOUS AT REMOVABLE CABINETS & APPLIANCES.
 4. REF. CASEWORK SECTIONS ON SHEET A9.5 FOR REMOVABLE CABINETS TO BE USED.
 5. TYPE B UNITS (ADAPTABLE) - REMOVABLE CABINETS ARE ONLY REQUIRED AT SINKS WITH A REQUIRED FRONT APPROACH.



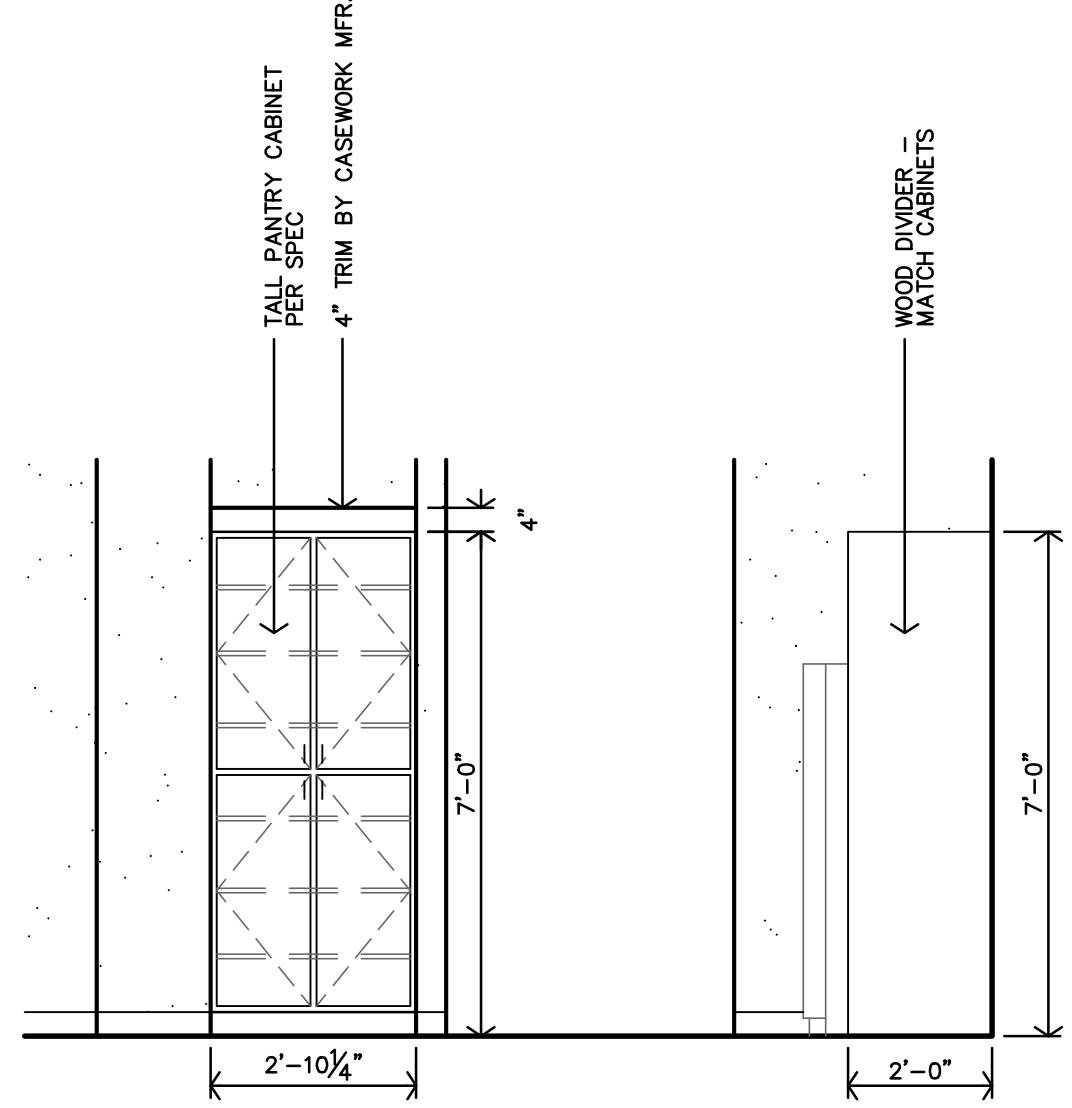
Q
ADAPTABLE KITCHEN - TYPE #7 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 16 (#212), APT. 17 (#213), APT. 24 (#312), APT. 25 (#313)



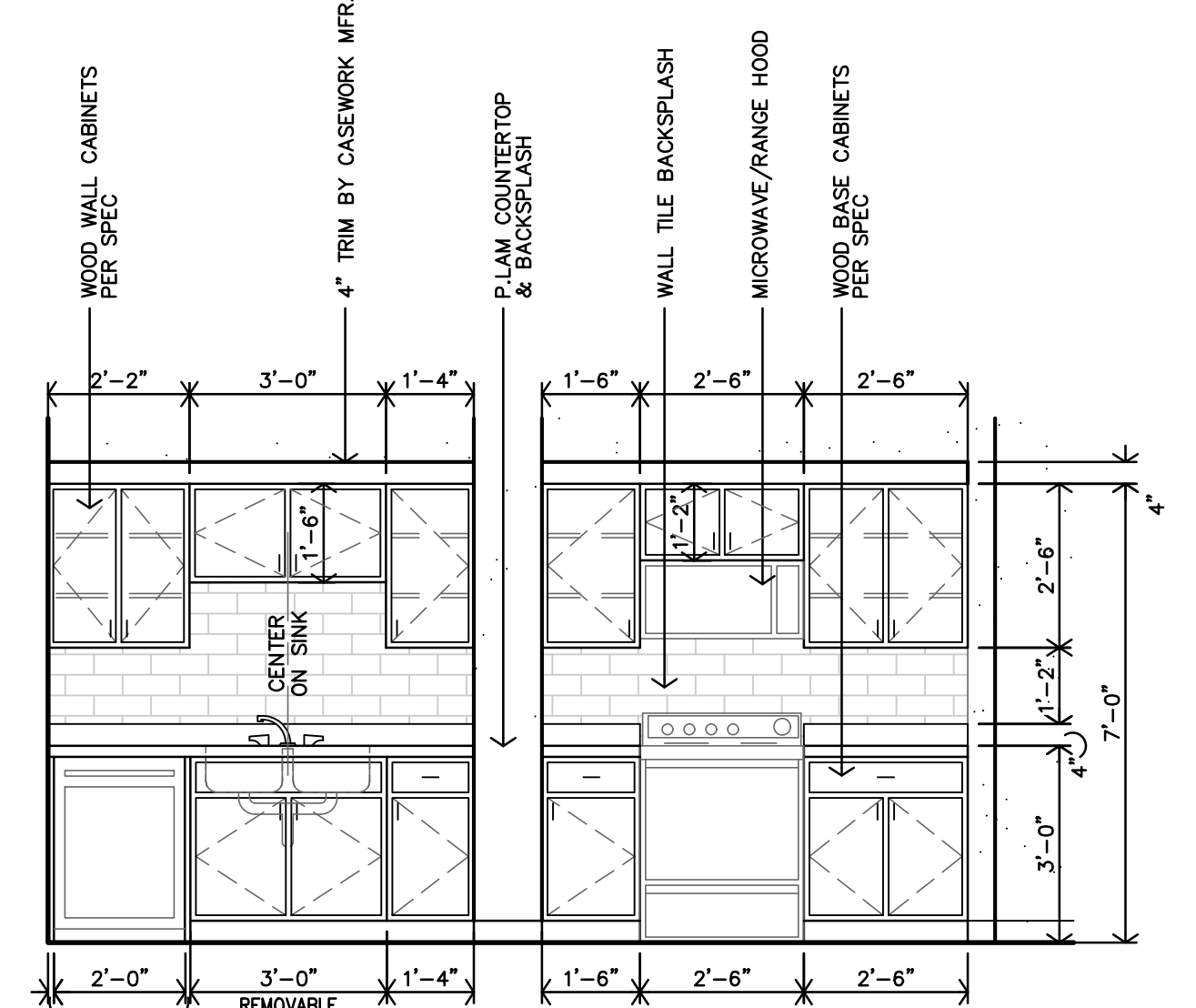
P
ADAPTABLE KITCHEN - TYPE #7 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 16 (#212), APT. 17 (#213), APT. 24 (#312), APT. 25 (#313)



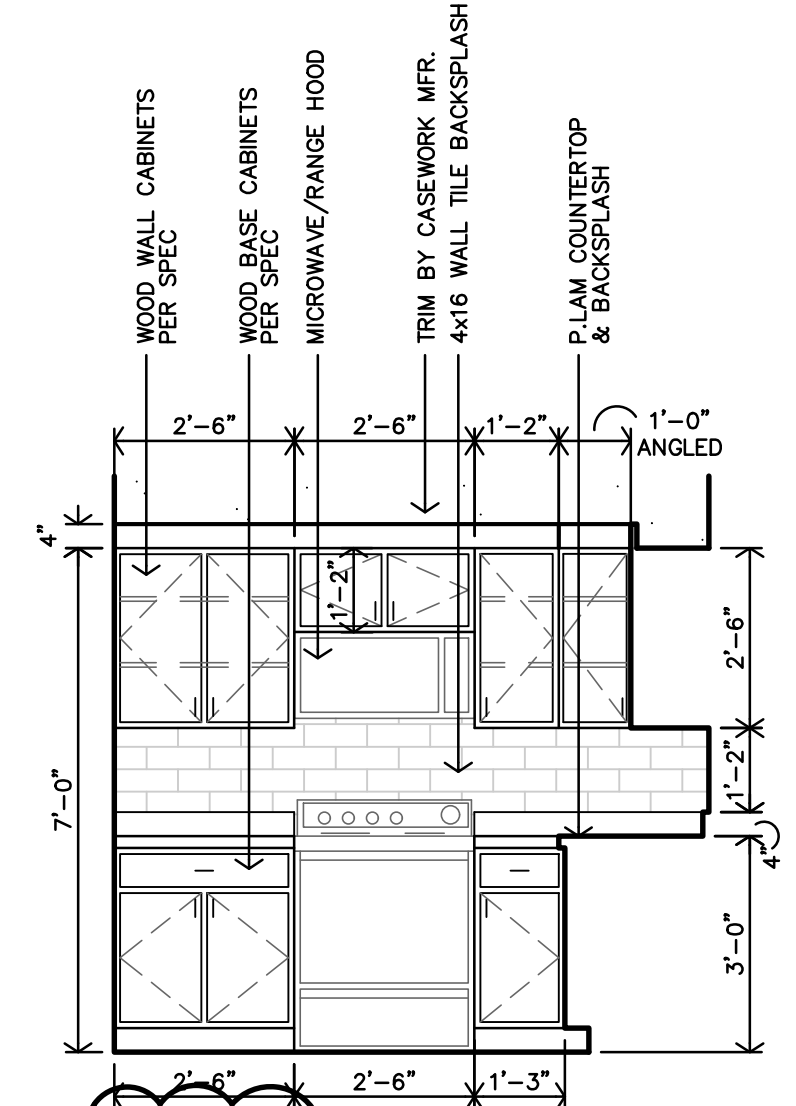
N
ADAPTABLE KITCHEN - TYPE #6 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 14 (#209), APT. 22 (#309)



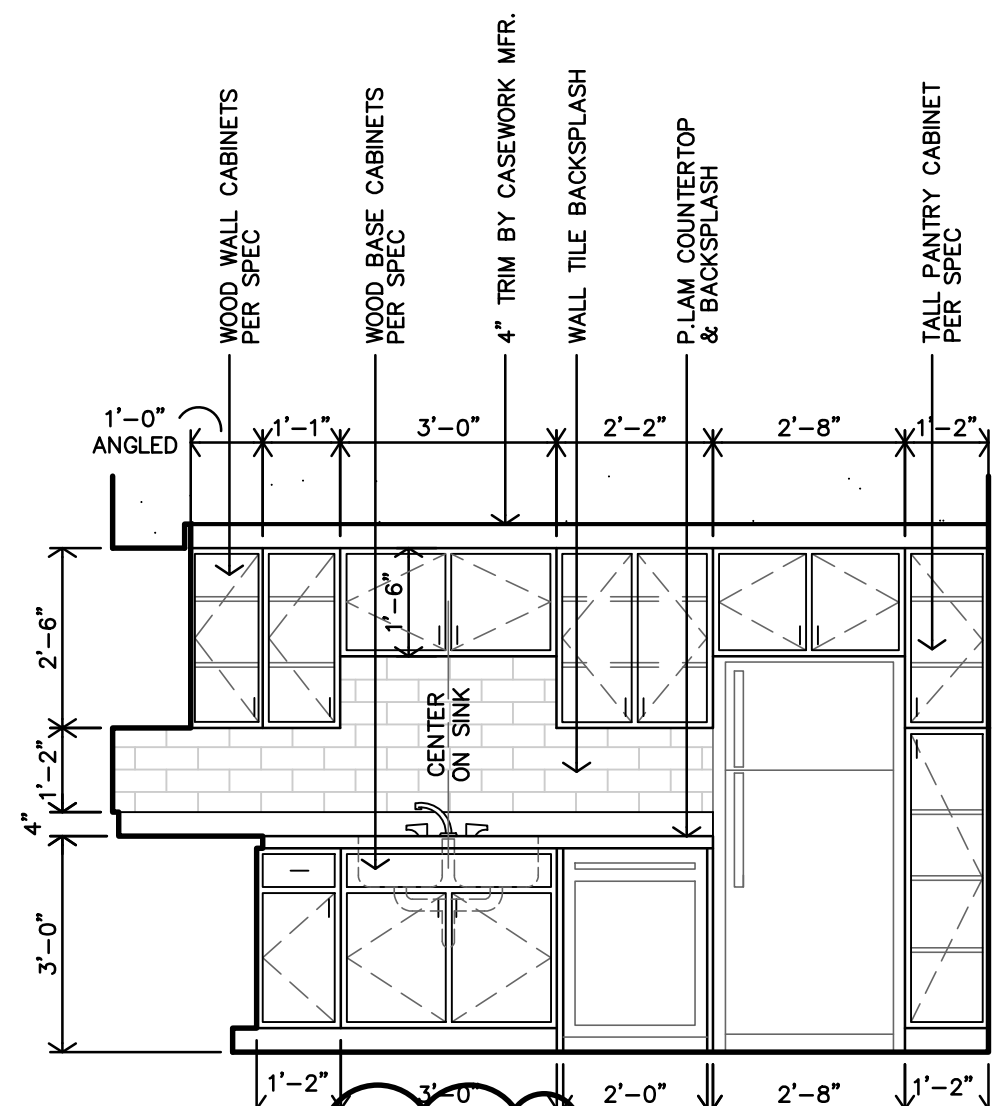
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ADAPTABLE KITCHEN - TYPE #6 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 14 (#209), APT. 22 (#309)



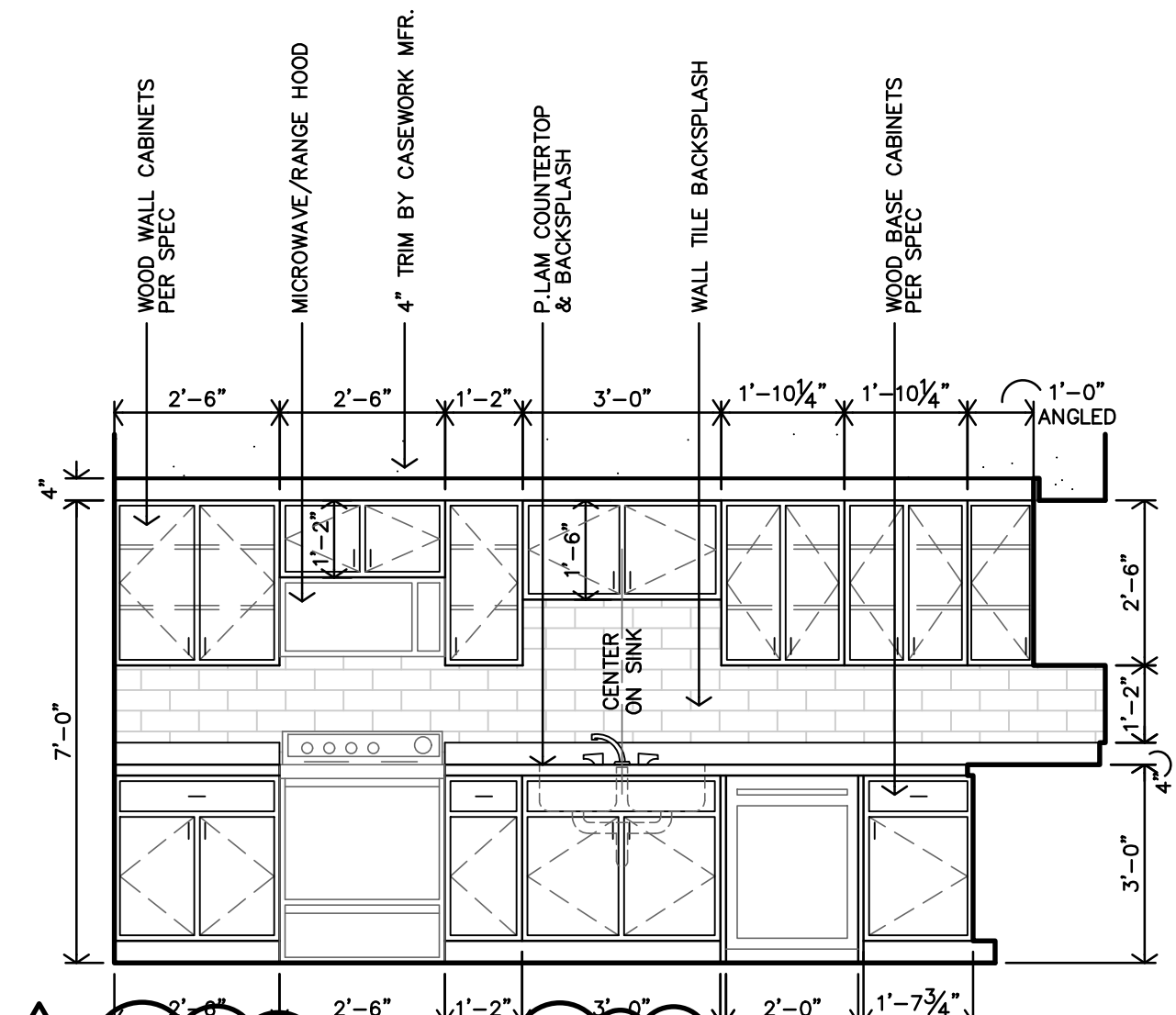
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ADAPTABLE KITCHEN - TYPE #6 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 14 (#209), APT. 22 (#309)



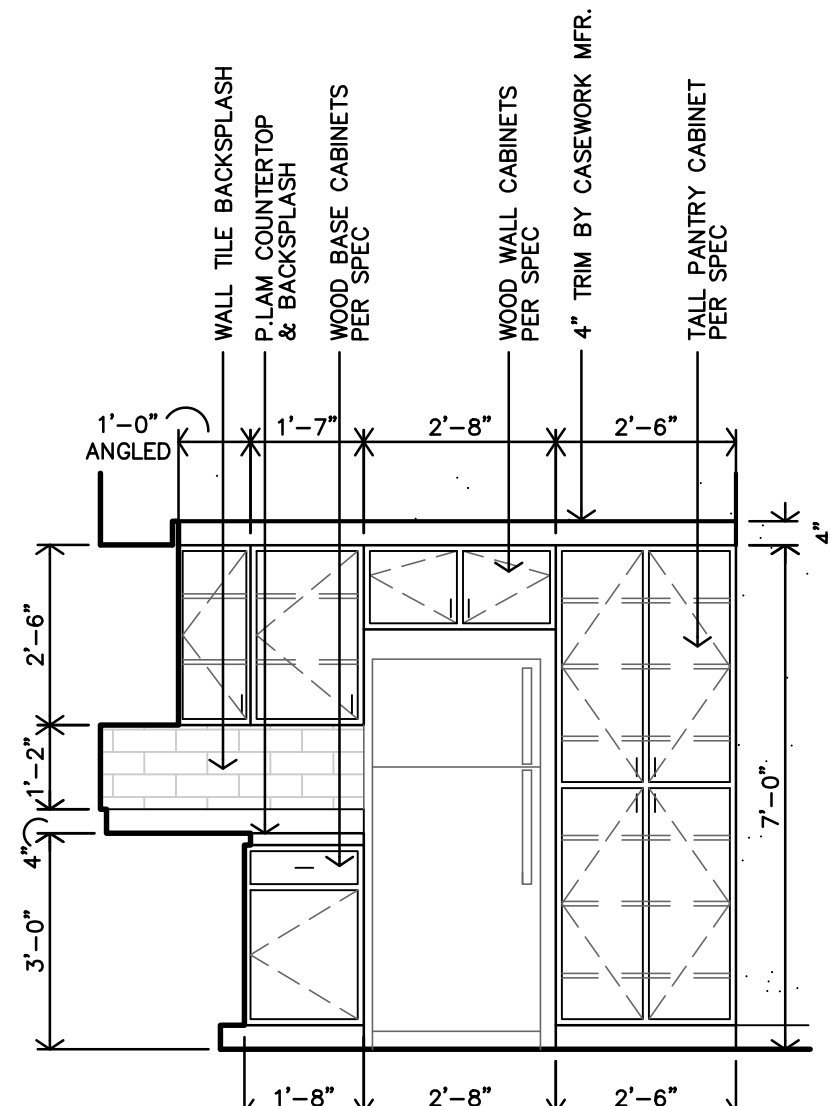
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ADAPTABLE KITCHEN - TYPE #5 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 11 (#202), APT. 19 (#302)



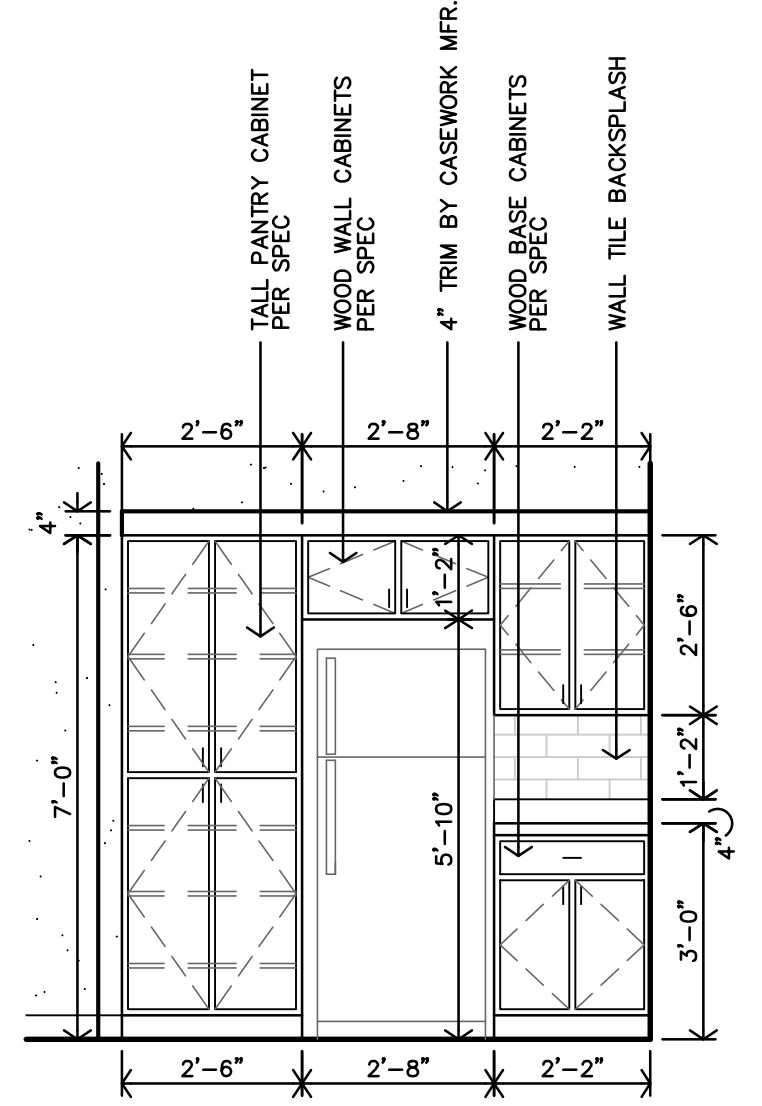
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ADAPTABLE KITCHEN - TYPE #5 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 11 (#202), APT. 19 (#302)



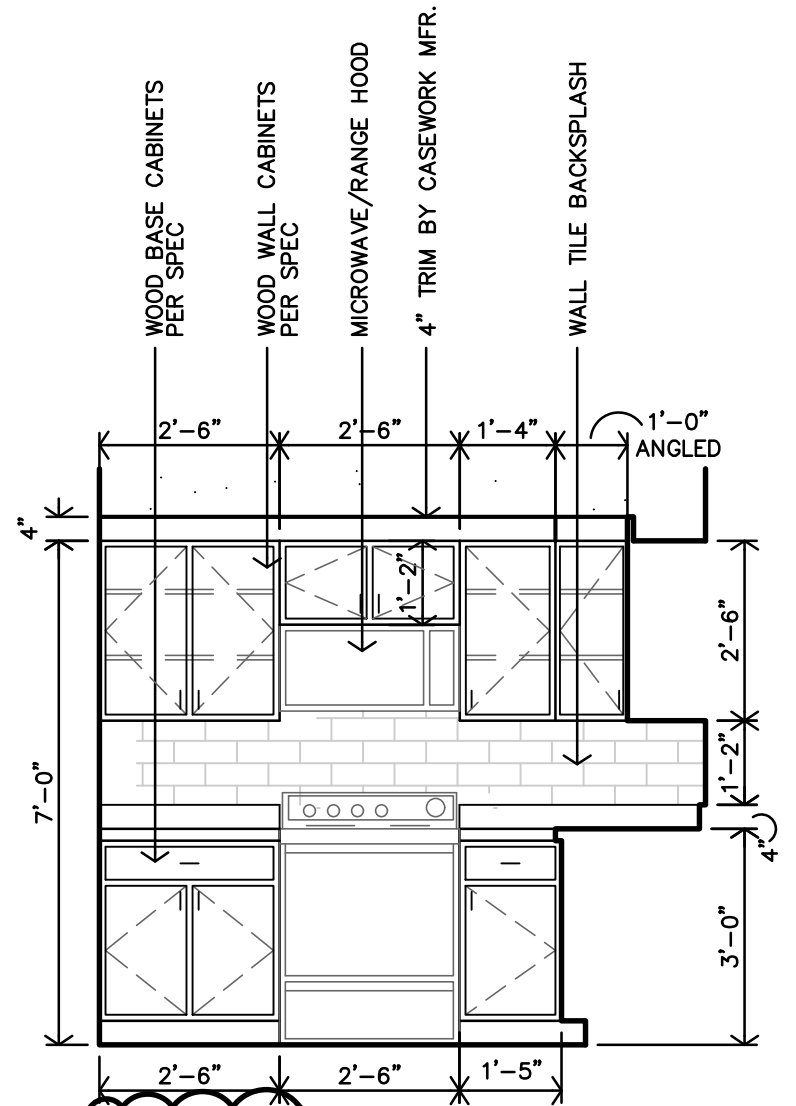
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ADAPTABLE KITCHEN - TYPE #4 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 9 (#127)



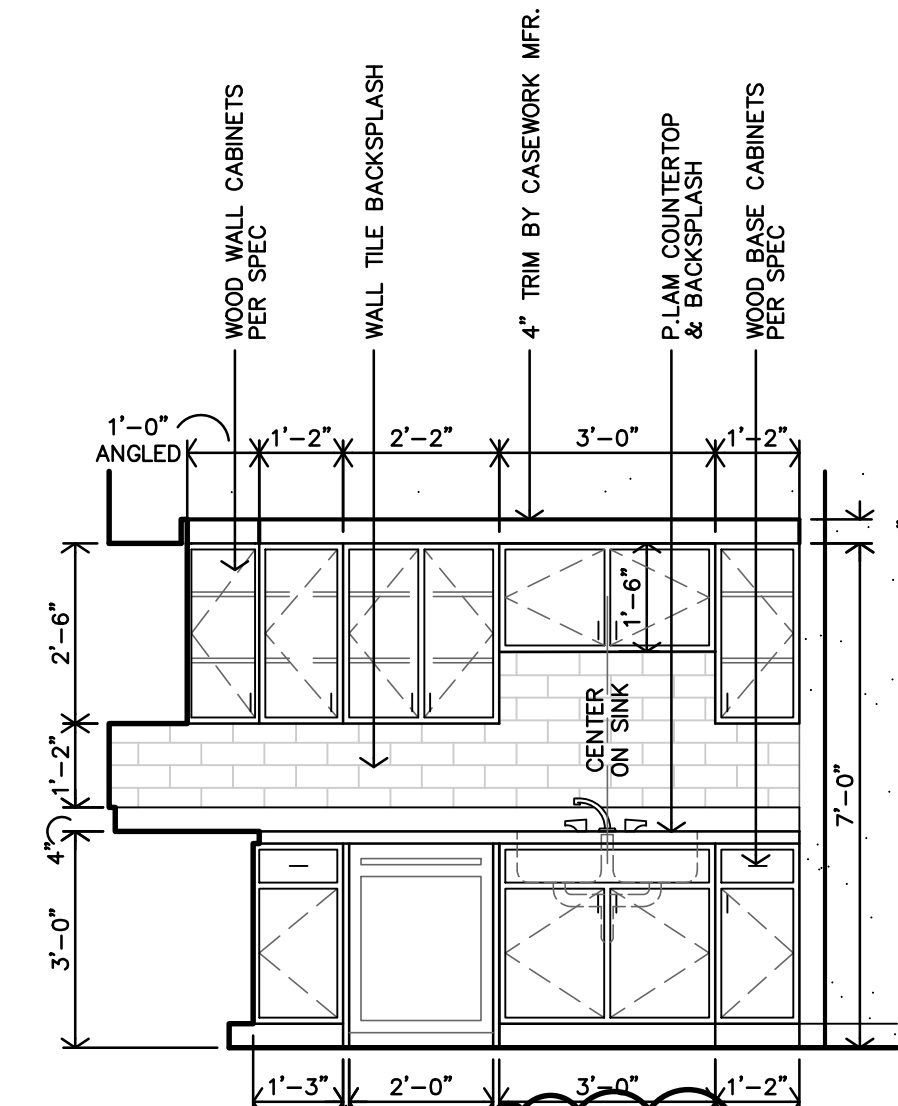
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ADAPTABLE KITCHEN - TYPE #4 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 9 (#127)



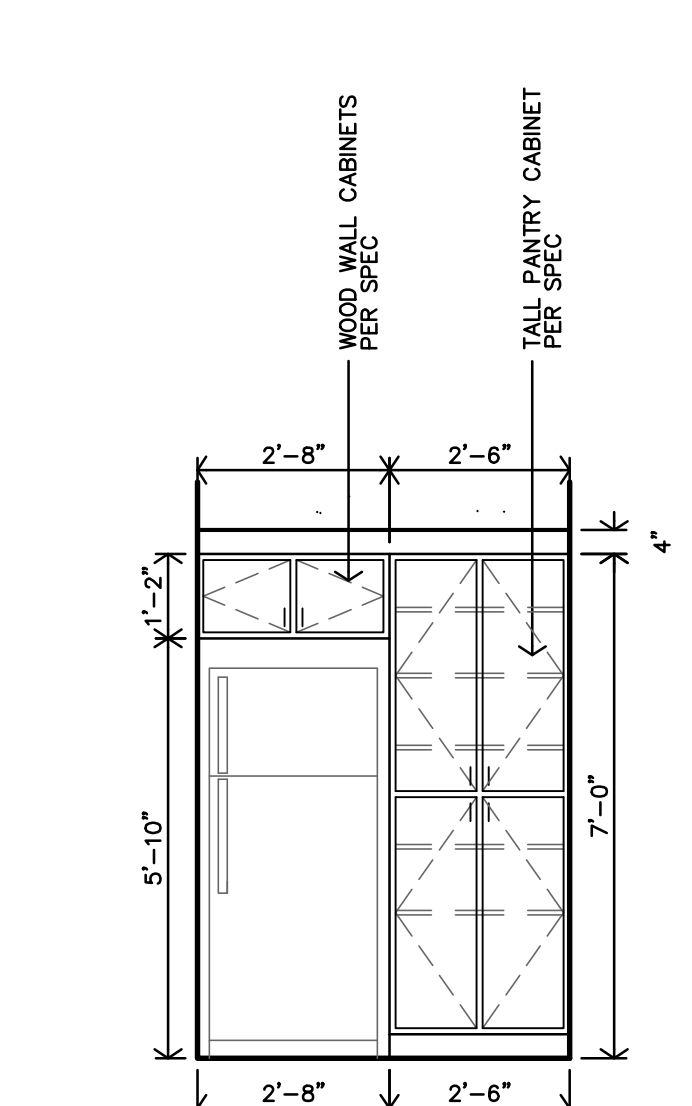
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ADAPTABLE KITCHEN - TYPE #3 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 8 (#126)



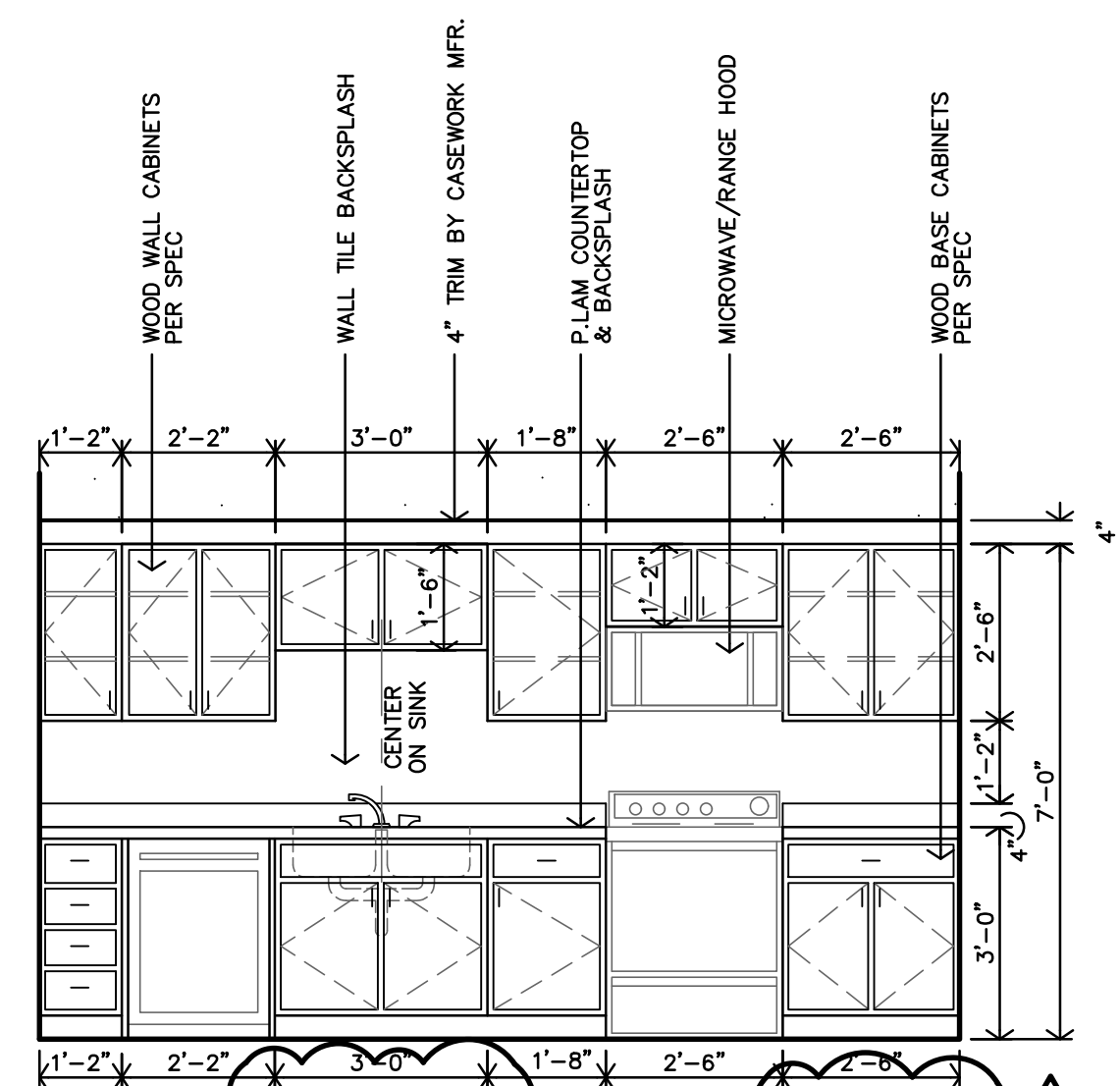
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ADAPTABLE (TYPE B UNIT) KITCHEN - TYPE #3 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 8 (#126)



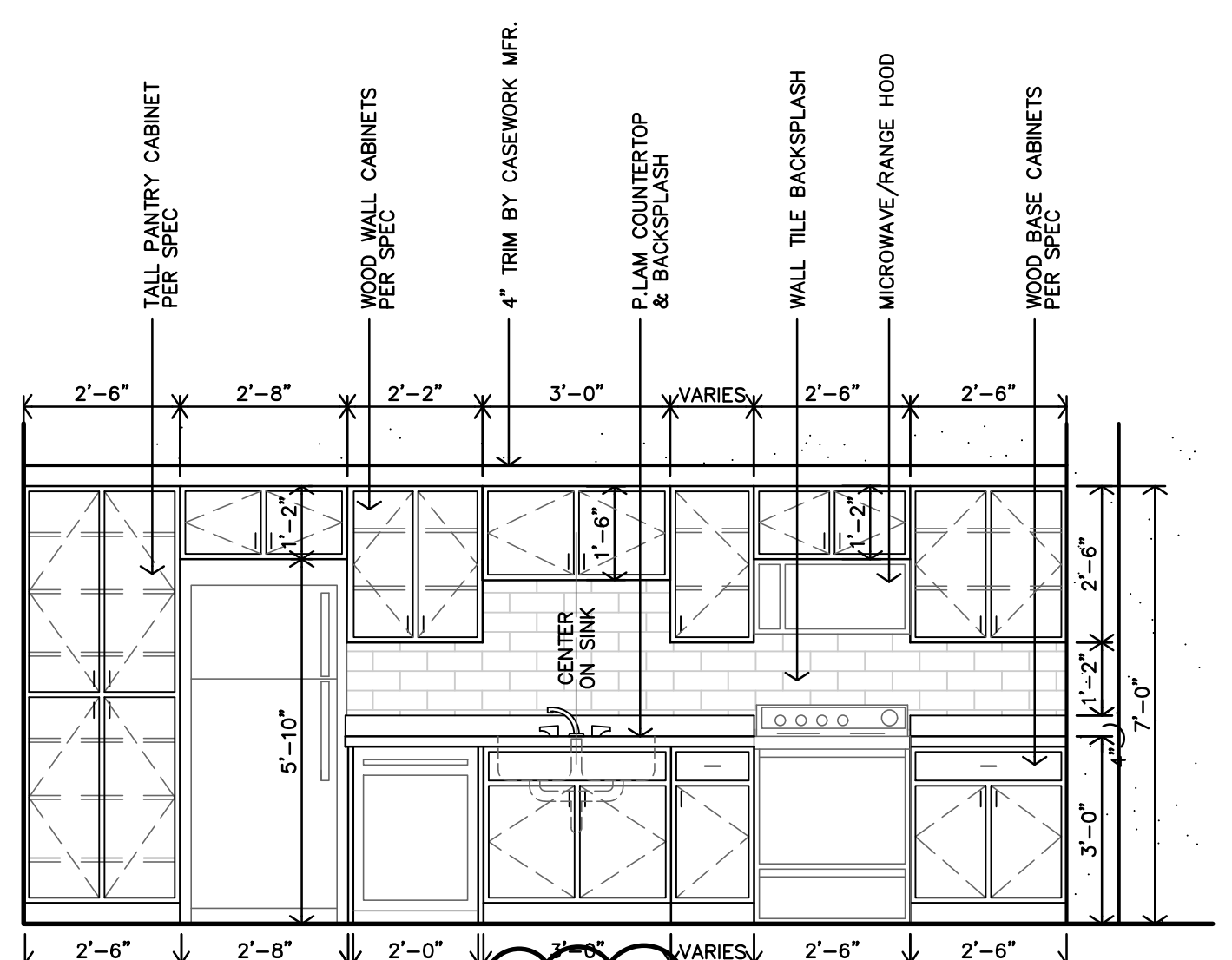
D
ADAPTABLE KITCHEN - TYPE #3 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 8 (#126)



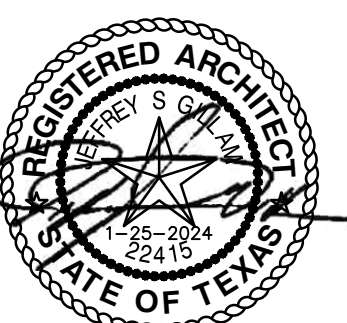
C
ADAPTABLE KITCHEN - TYPE #2 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 7 (#311)



B
ADAPTABLE KITCHEN - TYPE #2 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 7 (#311)



A
ADAPTABLE KITCHEN - TYPE #1 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 2 (#112), APT. 3 (#113), APT. 4 (#114), APT. 5 (#118), APT. 6 (#122), APT. 10 (#201), APT. 13 (#207), APT. 18 (#301), APT. 21 (#307)



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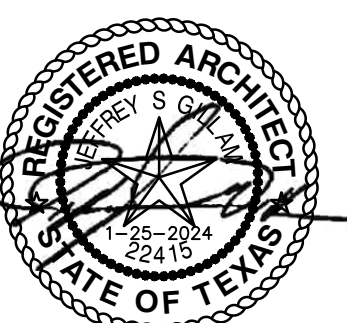


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 Kansas City, MO 64108
 jgr@jgarchitects.com



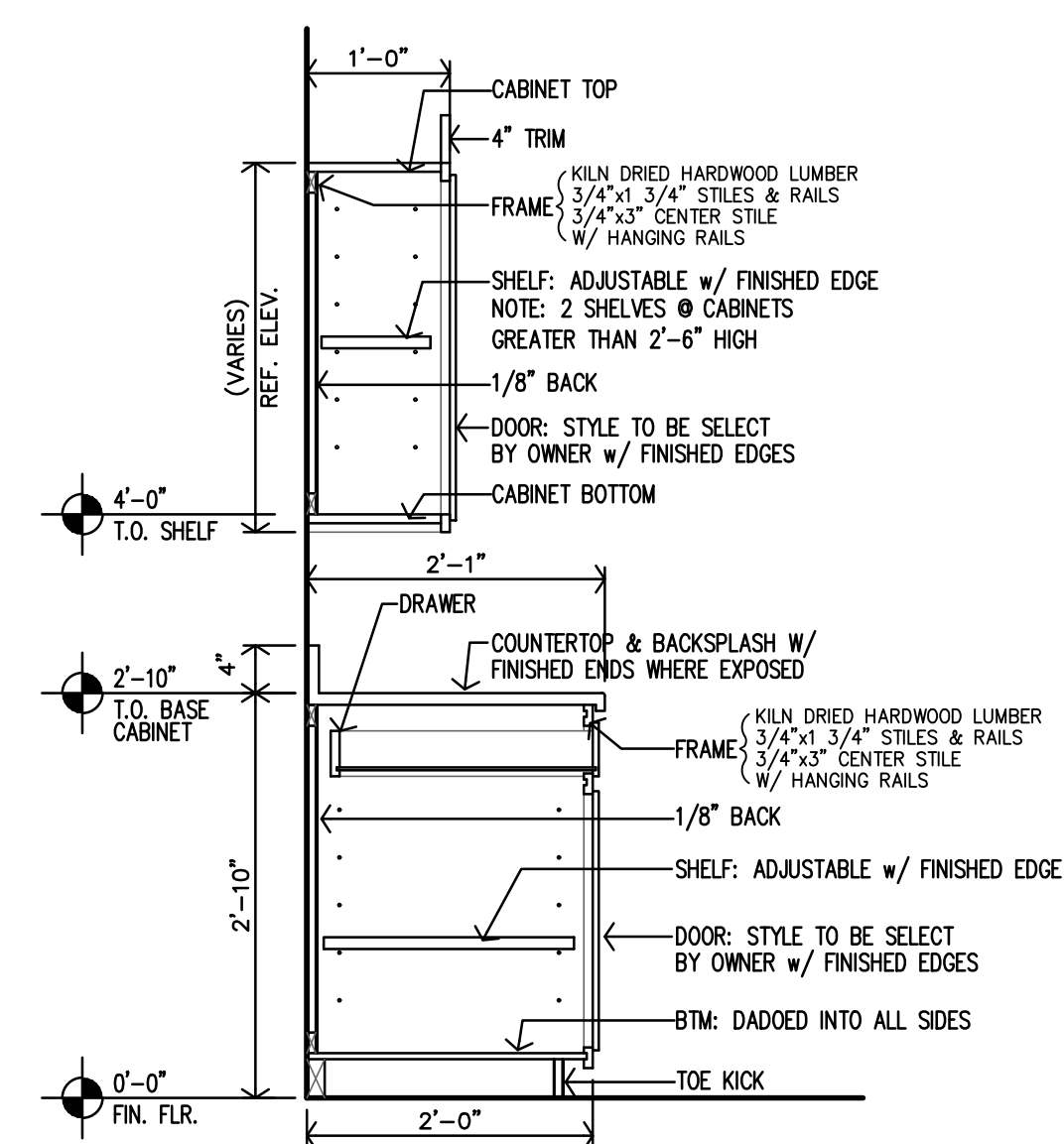
ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



REVISION:
 2-20-2024
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:

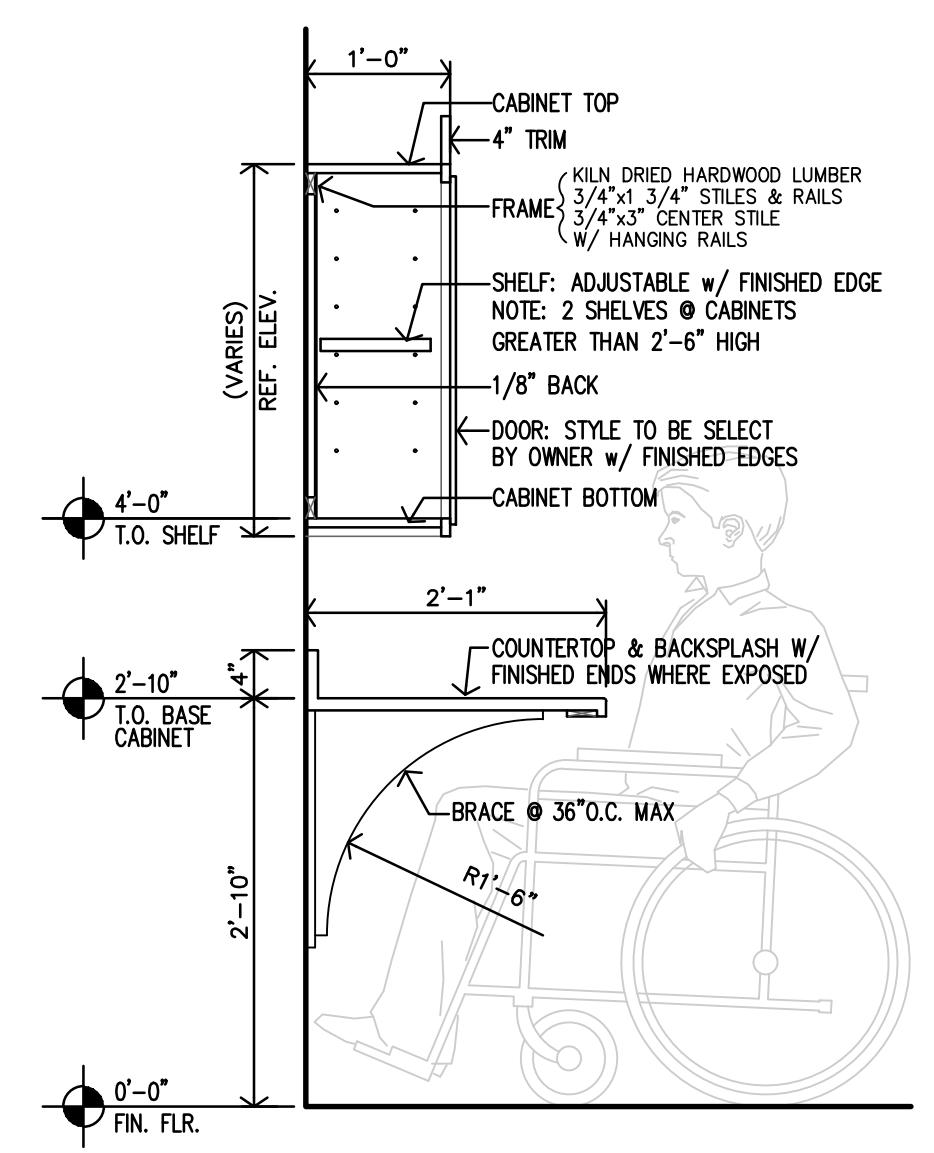
A9.5

CASEWORK NOTES:
 1. REF SHEET A2.0 FOR GENERAL NOTES.
 2. CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS, BRACES, ETC.
 3. REMOVABLE CABINETS TO PROVIDE 30" CLEAR MIN.
 4. FLOORING & WALL FINISH TO BE CONTINUOUS AT REMOVABLE CABINETS & APPLIANCES.
 5. REF. CASEWORK SECTIONS ON SHEET A9.5
 6. ALL BLOCKING TO BE 2x8 FINE FINISHED.
 7. TYPE B UNITS (ADAPTABLE) - REMOVABLE CABINETS ARE ONLY REQUIRED AT SINKS WITH A REQUIRED FRONT APPROACH.



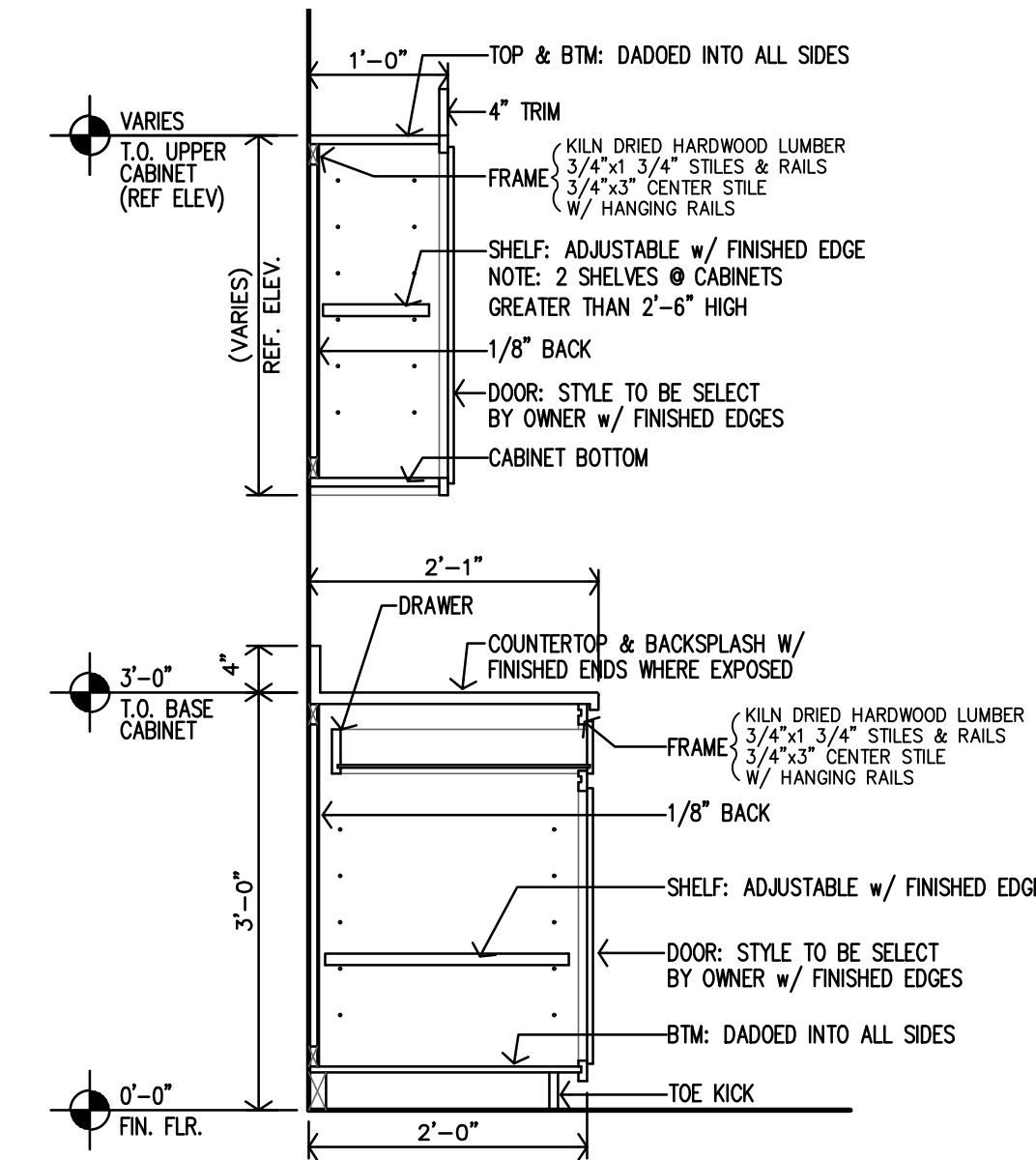
NOTES:
 1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.

K ACCESSIBLE KITCHEN CASEWORK SECTION
 3/4"=1'-0"



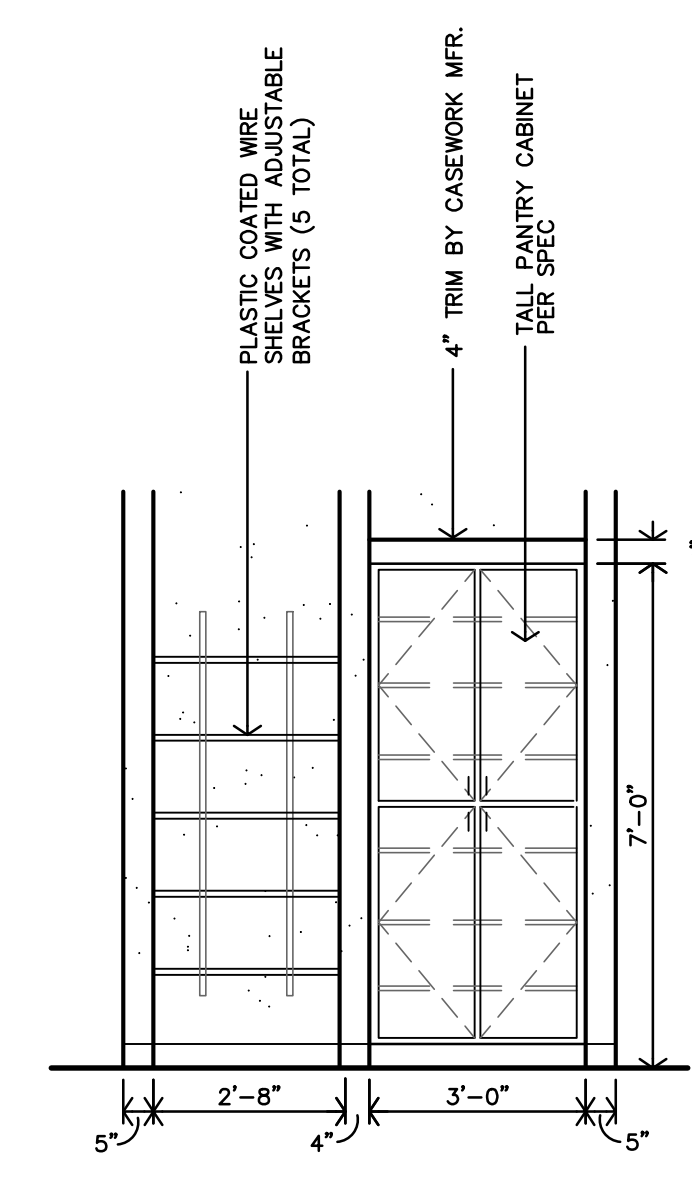
NOTES:
 1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.

J ACCESSIBLE KITCHEN CASEWORK SECTION
 3/4"=1'-0"

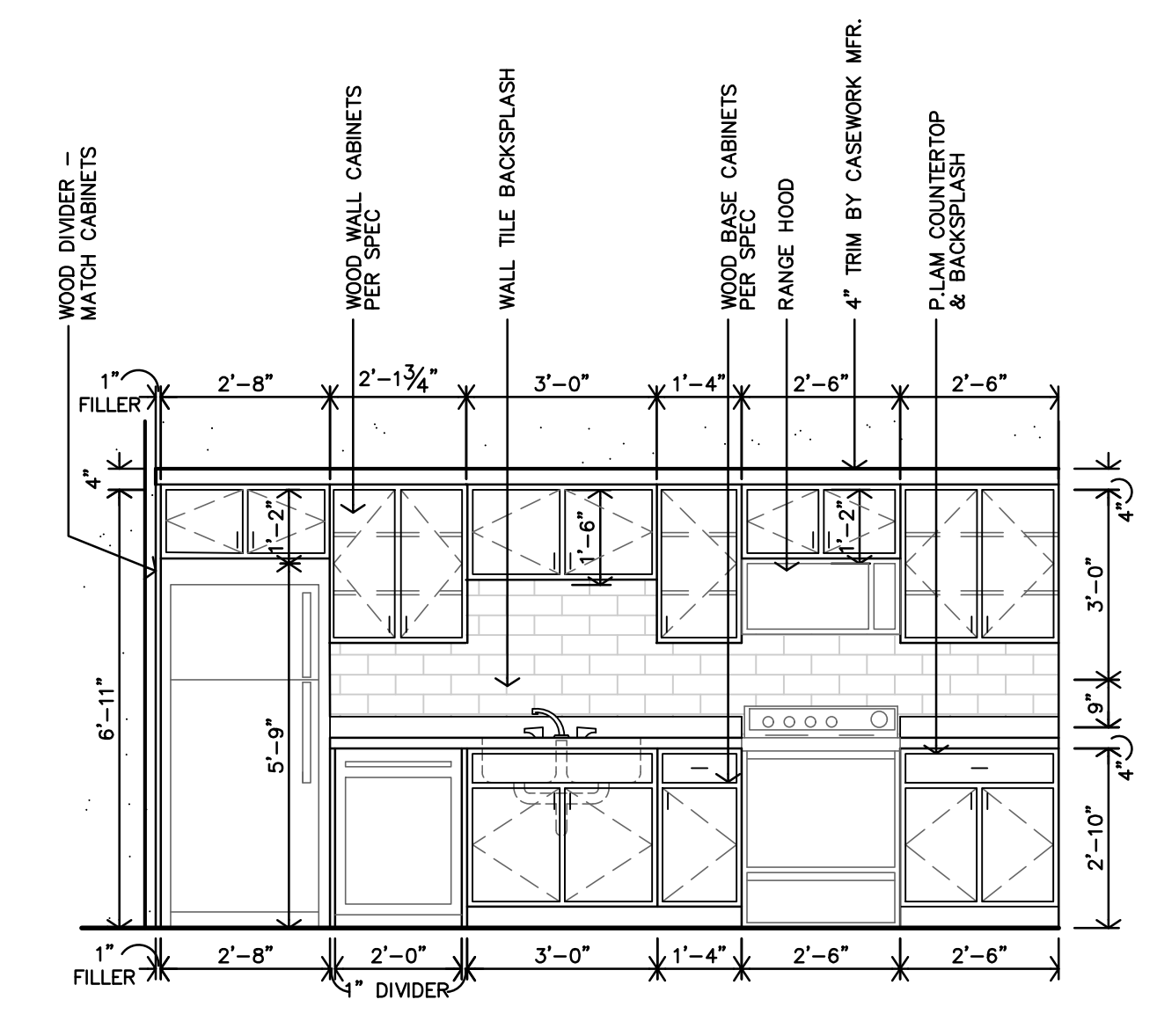


NOTES:
 1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. MANUFACTURER SHALL PROVIDE ALL FILLERS/BRACES TO MATCH CABINETS.

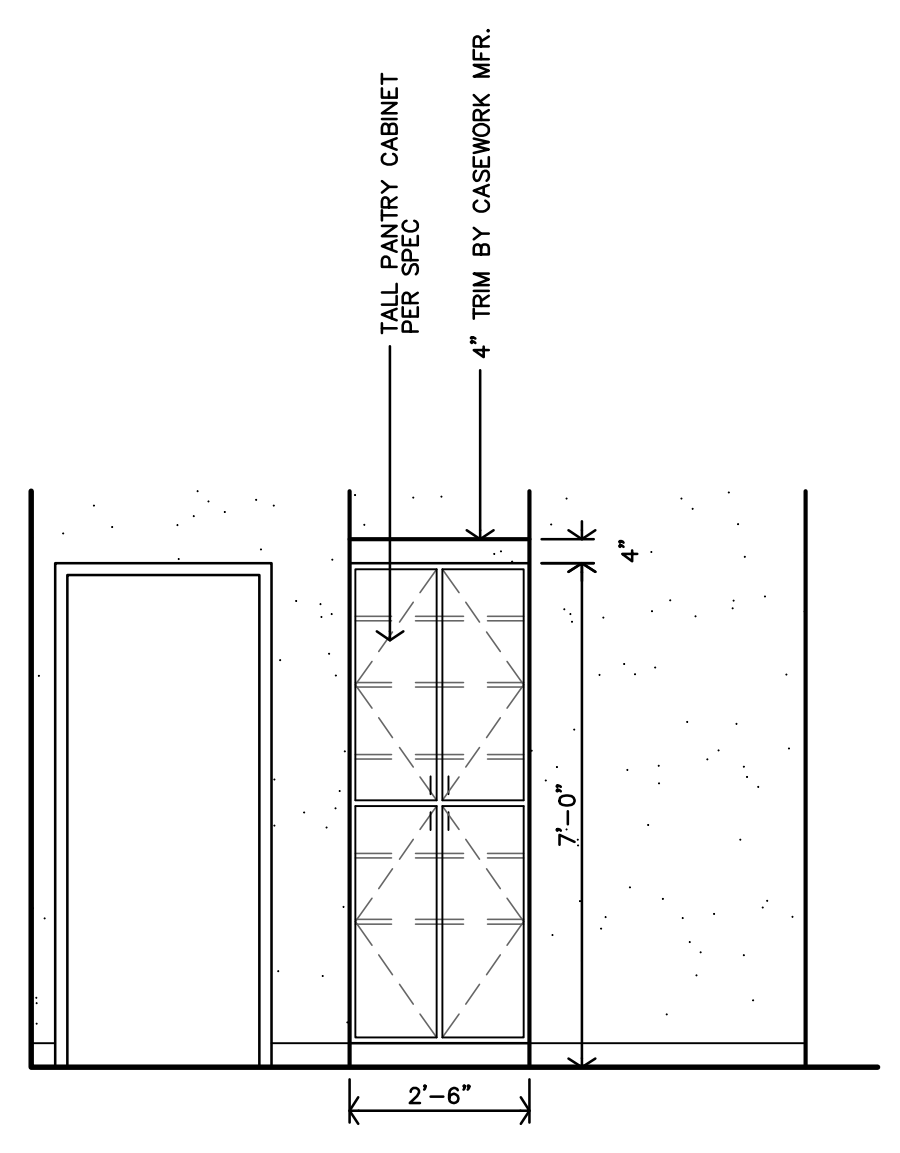
H ADAPTABLE KITCHEN CASEWORK SECTION
 3/4"=1'-0"



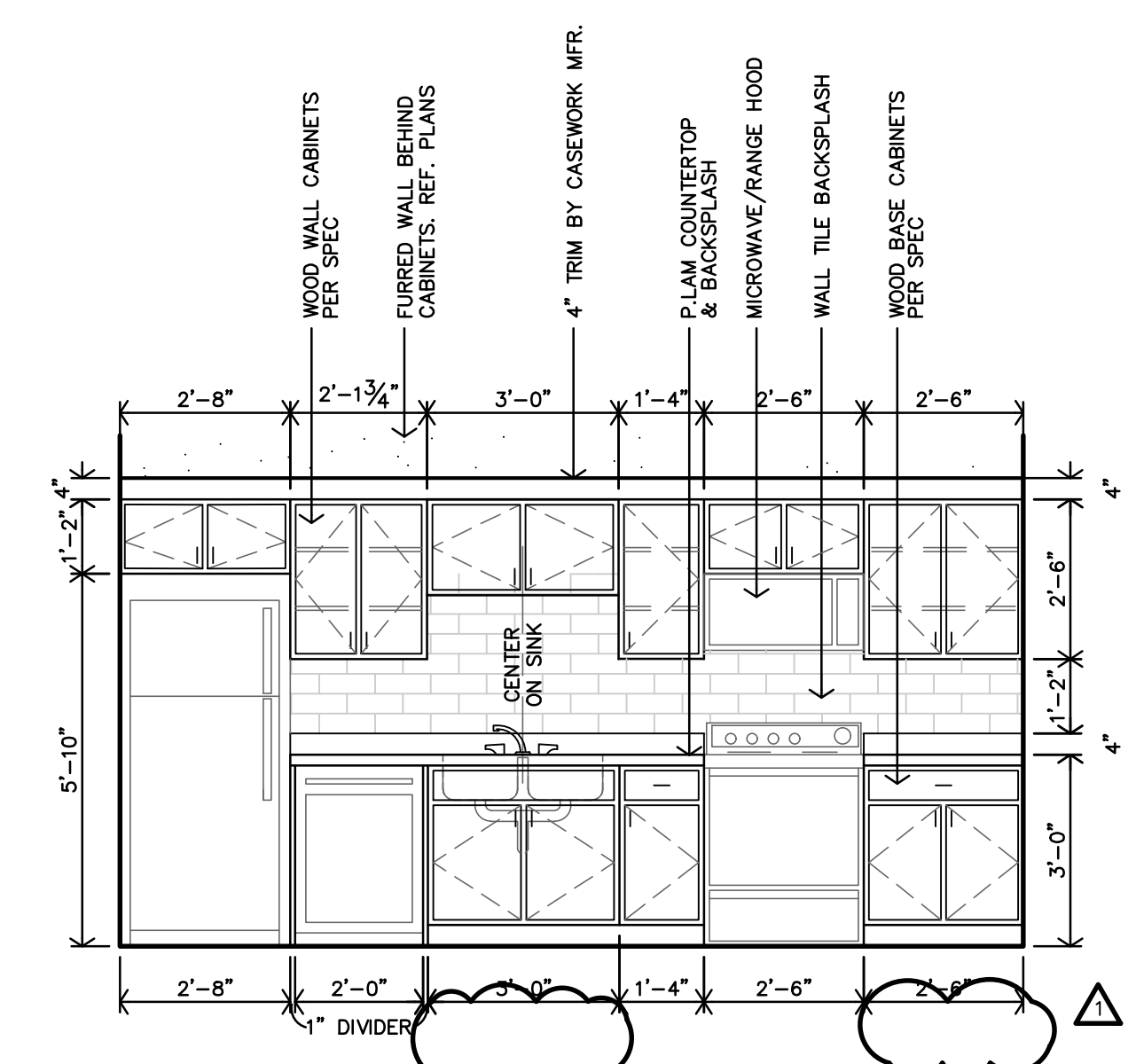
G ADAPTABLE KITCHEN - TYPE #10 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 20 (#303)



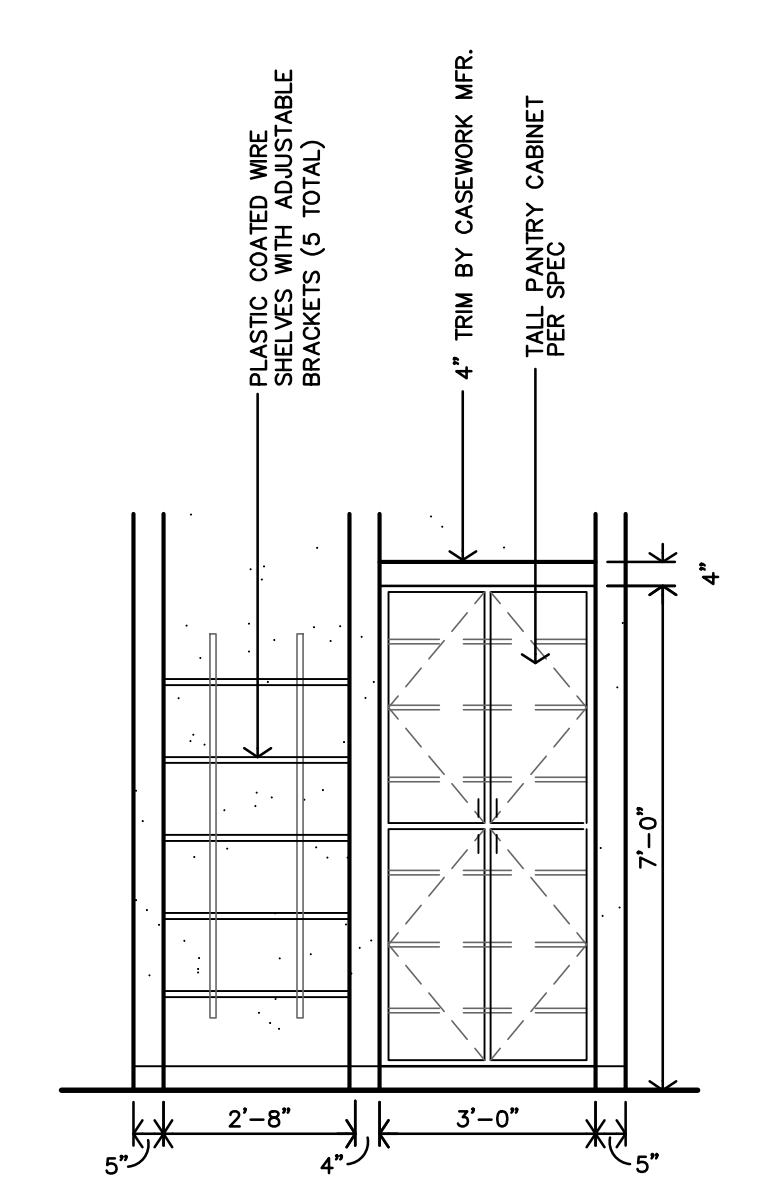
F ADAPTABLE KITCHEN - TYPE #10 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 20 (#303)



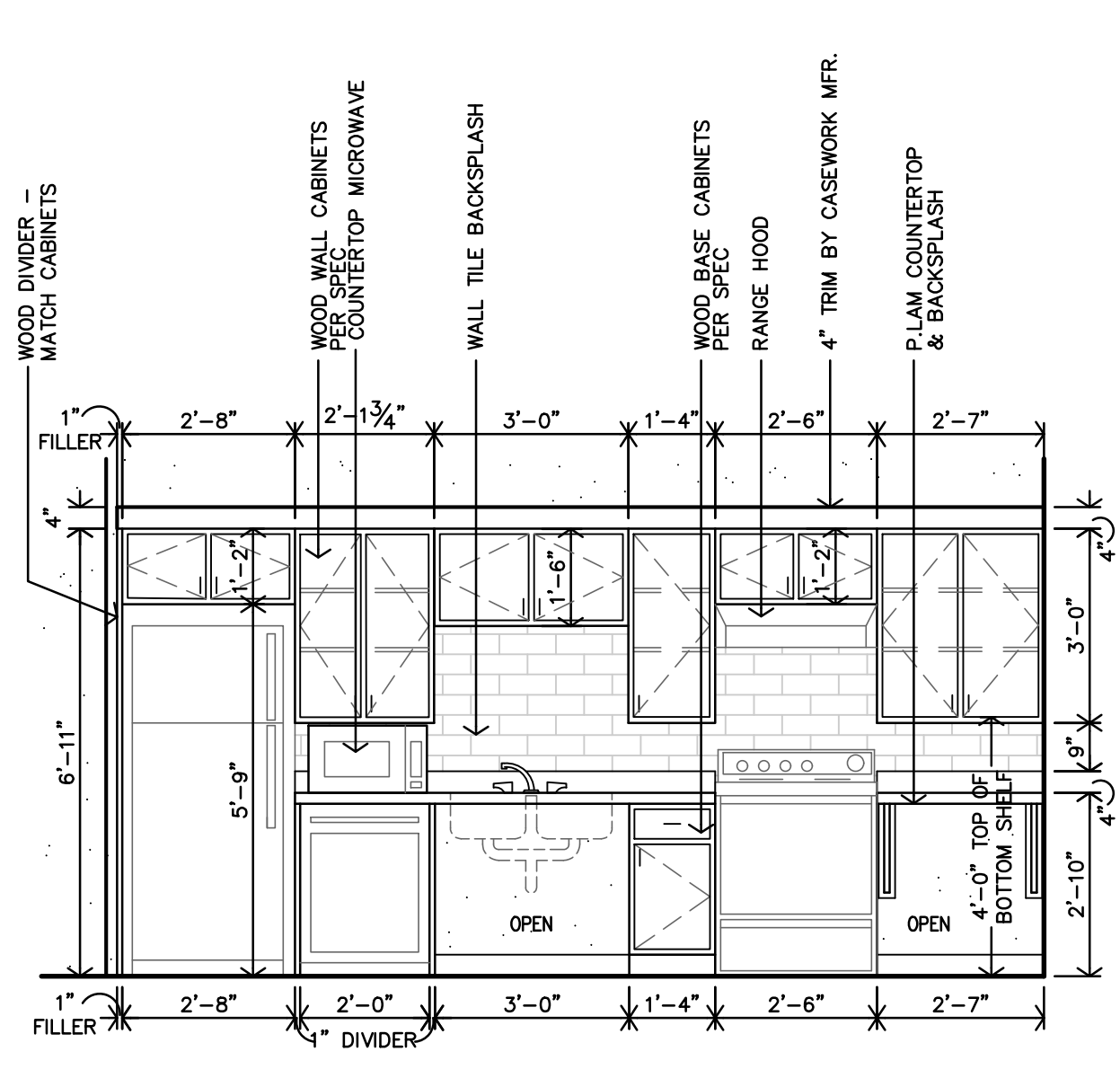
E ADAPTABLE KITCHEN - TYPE #10 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 15 (#211), APT. 23 (#311)



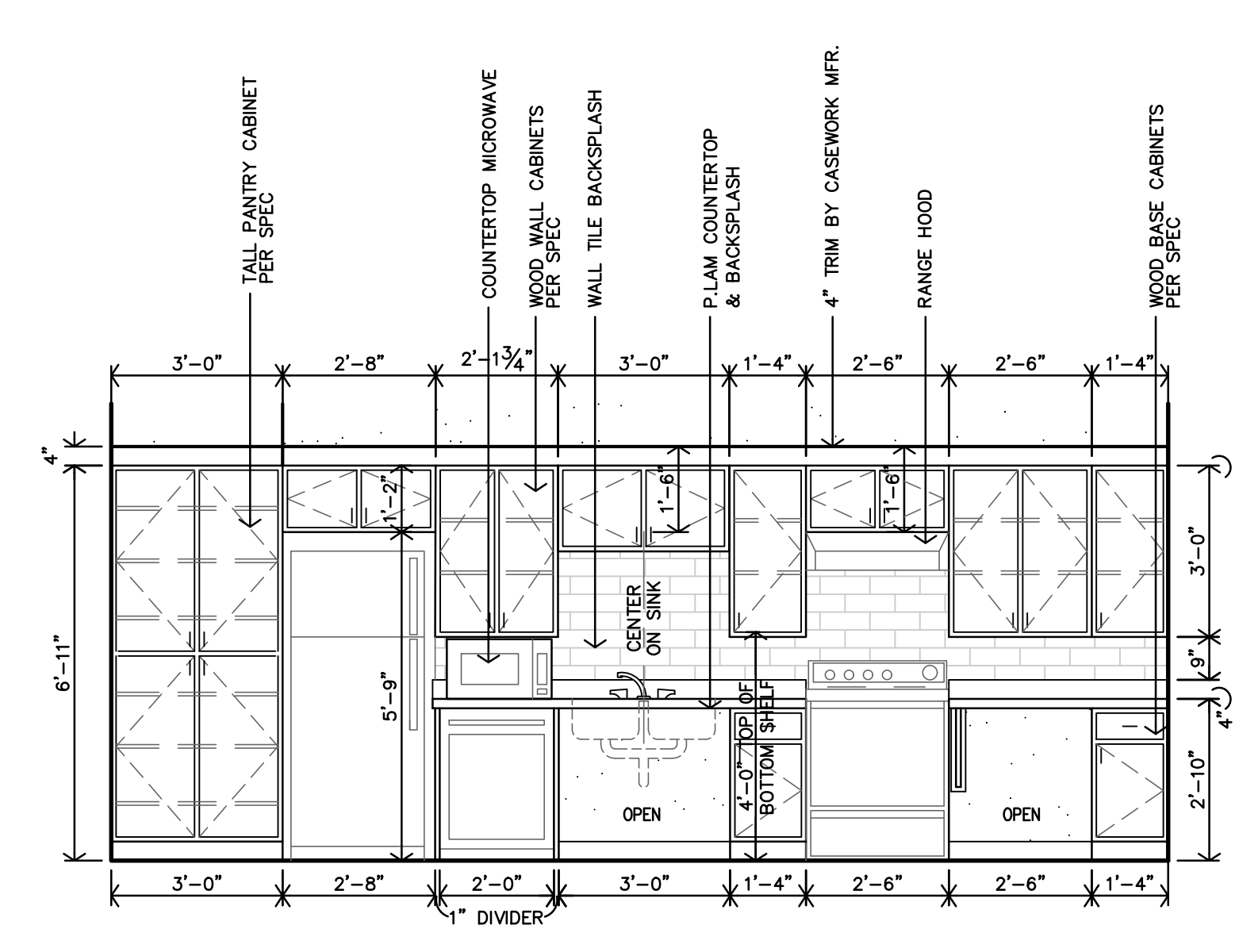
D ADAPTABLE KITCHEN - TYPE #10 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 15 (#211), APT. 23 (#311)



C ACCESSIBLE KITCHEN - TYPE #9 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 12 (#203)



B ACCESSIBLE KITCHEN - TYPE #9 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 12 (#203)



A ACCESSIBLE KITCHEN - TYPE #8 INTERIOR ELEVATION
 3/8"=1'-0" UNITS: APT. 1 (#109)

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GENERAL NOTES REPLACEMENT WINDOWS

REMOVE & REPLACE, Confirm location of EXISTING windows

BASIC SCOPE & MAINTENANCE

- Removal of EXISTING caulking, window, frame, anchors etc.
- Protect adjacent substrate, siding, stone, brick, stucco, etc. from damage
- Clean, repair, patch, opening to be solid secure & ready for new window
- Repainting & sealing opening to match original
- Caulking new window to EXISTING opening, high quality elastomeric caulk.

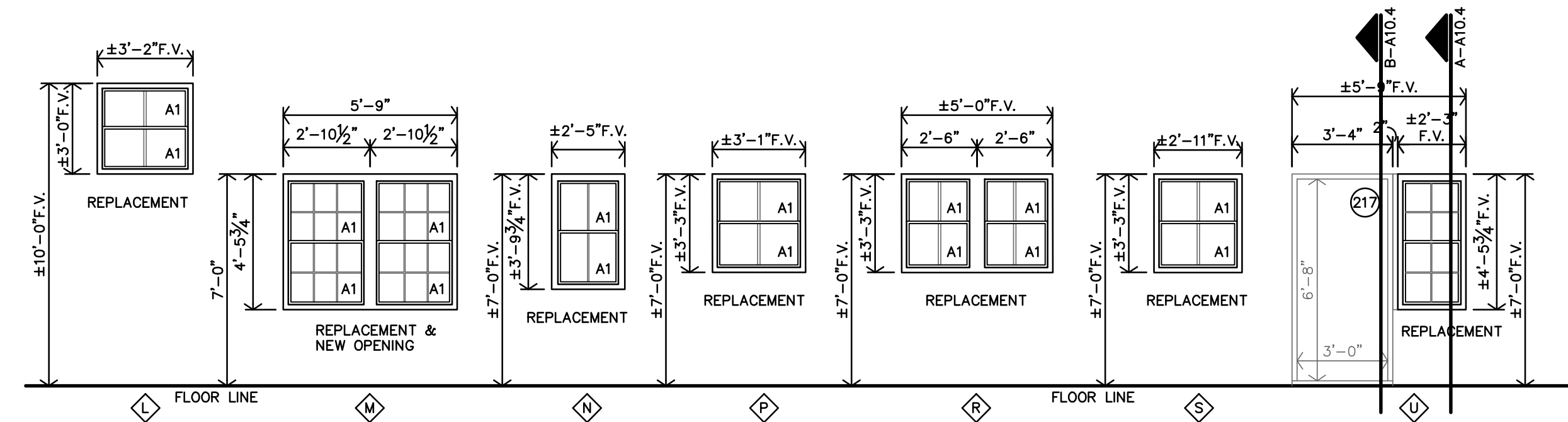
WEATHERIZATION

Caulking & sealing around the masonry openings, installing weatherstripping
 All exterior openings to receive liquid-applied flashing membrane per specifications.

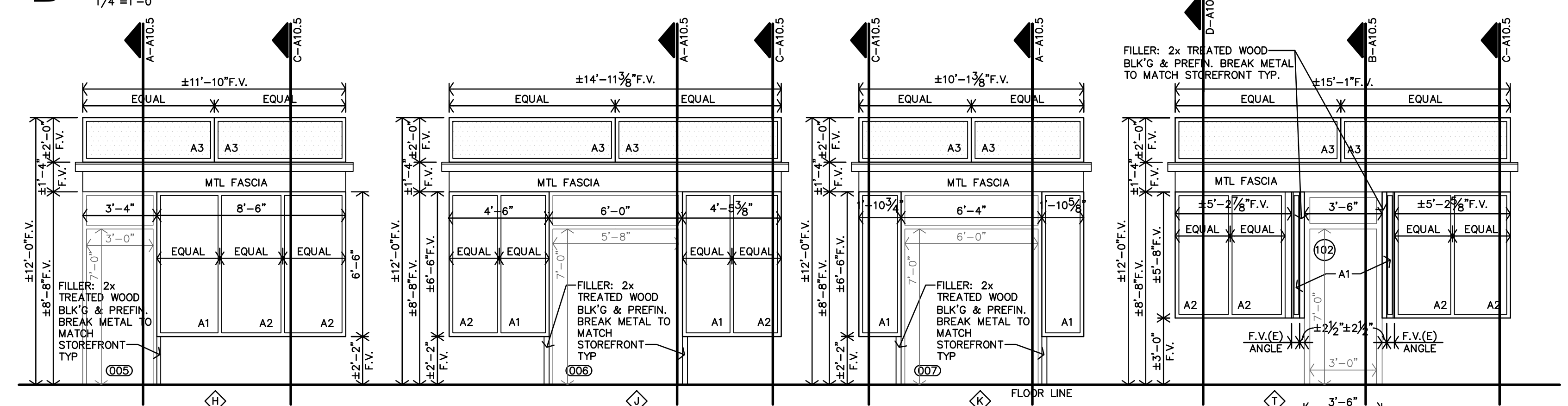
WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	MATERIAL	STYLE			EXTERIOR	INTERIOR	DETAILS
				FIXED	DOUBLE HUNG	CASEMENT			
A	±13'-9 1/4" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
B	±13'-9 1/4" F.V.	±5'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
C	±10'-7" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
D	±10'-7" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
E	±12'-7 1/2" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
F	±12'-7 1/2" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
G	±4'-0" F.V.	±6'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
H	±4'-0" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
I	±4'-0" F.V.	±6'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
J	±3'-4" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
K	±4'-0" F.V.	±7'-4" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
L	±4'-0" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
M	±4'-0" F.V.	±5'-8" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
N	±11'-10" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
O	±11'-10" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
P	±14'-11 3/8" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
Q	±14'-11 3/8" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
R	±10'-1 3/8" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
S	±10'-1 3/8" F.V.	±6'-6" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
T	±3'-2" F.V.	±3'-0" F.V.	ALUM./WOOD CLAD	•	•		•	A/D-A10.4	
U	(2)2'-10 1/2"	4'-5 3/4"	ALUM./WOOD CLAD	•	•		•	A/C-A10.4	
V	2'-5"	3'-9 3/4"	ALUM./WOOD CLAD	•	•		•	A/D-A10.4	
W	±3'-1" F.V.	±3'-3" F.V.	ALUM./WOOD CLAD	•	•		•	A/D-A10.4	
X	(2)2'-6"	3'-3"	ALUM./WOOD CLAD	•	•		•	A/C-A10.4	
Y	±2'-11" F.V.	±3'-3" F.V.	ALUM./WOOD CLAD	•	•		•	A/D-A10.4	
Z	±15'-1" F.V.	±2'-0" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
AA	±15'-1" F.V.	±5'-8" F.V.	ALUM. STOREFRONT SYSTEM	•			•	-	
AB	2'-3"	4'-5 3/4"	ALUM./WOOD CLAD	•	•		•	A/B/E-A10.4	

- NOTES:**
1. CONTRACTOR MUST INSTALL MTL FLASHINGS & CONT. CAULK FOR A WEATHER & WATERTIGHT CONDITIONS @ ALL EXTERIOR WINDOW UNITS.
 2. CONTRACTOR MUST INSTALL 1/4" INSUL. OR THERMAL BREAK, CONTINUOUS AROUND WINDOW.
 3. CONTRACTOR TO PROVIDE & INSTALL MANUFACTURERS COORDINATING PANNING SYSTEM FOR ALUM. WINDOWS.
 4. WINDOWS A & B MUST BE SIZED TO MEET EGRESS REQUIREMENTS.
 5. ALL OPERABLE WINDOWS W/ THE SILL 5'-0" ABOVE GRADE, SHALL BE PROVIDED W/ WINDOW OPENING CONTROL DEVICE PER ASTM F2090 & 2021 IBC SEC. 1030.1.1
 6. PROVIDE & INSTALL SAFETY GLASS AT HAZARDOUS LOCATIONS, PER 2021 IBC CODE 2406.4, IN DOORS, ADJACENT & WITHIN 24" TO DOORS, LESS THAN 16' ABOVE FLOOR, IN GUARDS & HANDRAILS, ADJACENT TO STAIRS AND RAMPS, STAIRS AND RAMPS.
 7. ALL OPERABLE WINDOWS SHALL HAVE INSECT SCREENS.
 8. EMERGENCY ESCAPE & RESCUE PER 2021 IBC SEC. 1030.2. (20" x 24" MIN.) OPENINGS, 5.7sf MIN. AREA
 9. ALL EXTERIOR WINDOW FRAME OPENINGS TO HAVE LIQUID APPLIED FLASHING MEMBRANE PER SPECS.



B REPLACEMENT/NEW ALUMINUM/CLAD WINDOW TYPES
 1/4"=1'-0"



GLAZING SCHEDULE

MARK	EXTERIOR	INTERIOR	3/4" INSULATED	1/4"	CLEAR GLASS	FROSTED	SPANDREL	TEMPERED	FIRE RATED
A1	•	•	•	•	•				
A2	•	•	•	•	•				
A3	•	•	•	•	•				
A4	•	•	•	•	•				
B1	•	•	•	•	•				
B2	•	•	•	•	•				

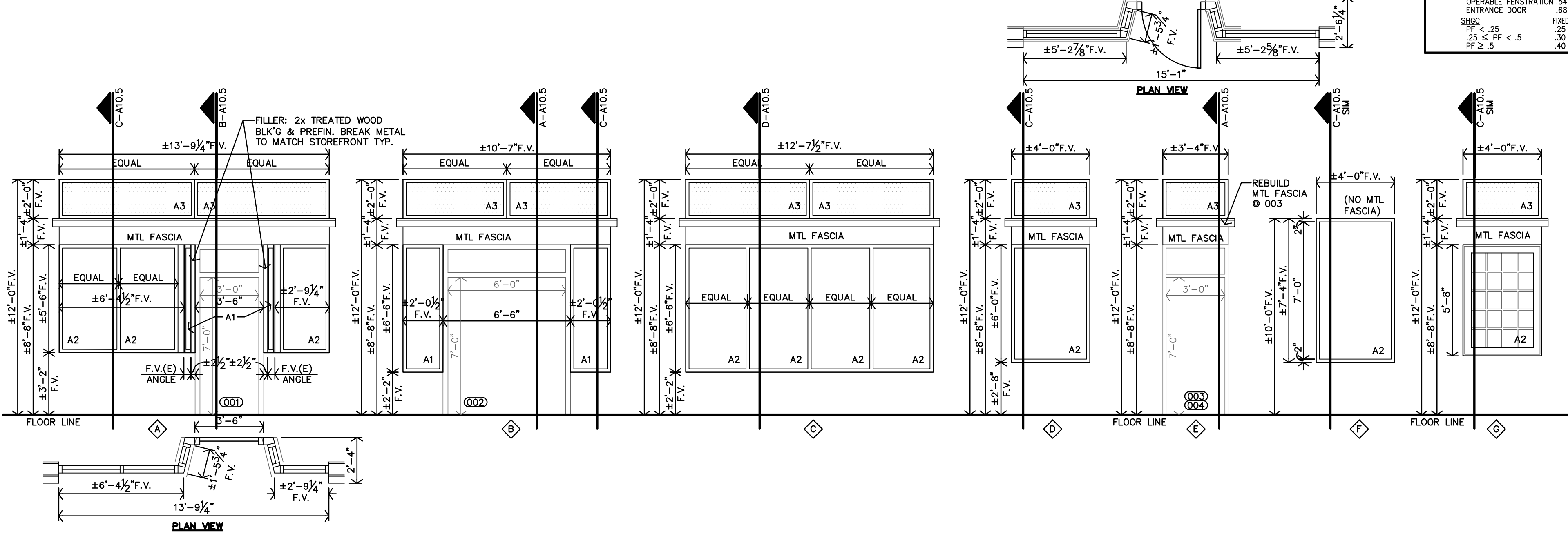
REF. SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS

IECC 2021 REQUIREMENTS

FENESTRATION	U-FACTOR
FIXED FENESTRATION	.42
OPERABLE FENESTRATION	.54
ENTRANCE DOOR	.68

SHG: PF < .25: .25; .25 < PF < .5: .50; PF ≥ .5: .75

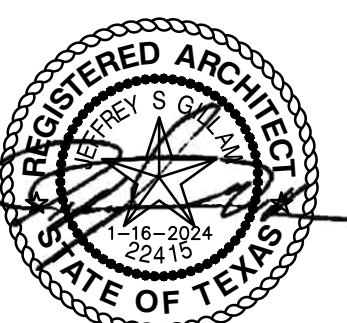
FIXED OPERABLE: .25; .50; .75



A REPLACEMENT ALUMINUM STOREFRONT WINDOW TYPES
 1/4"=1'-0"

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 jgr@jgarchitects.com

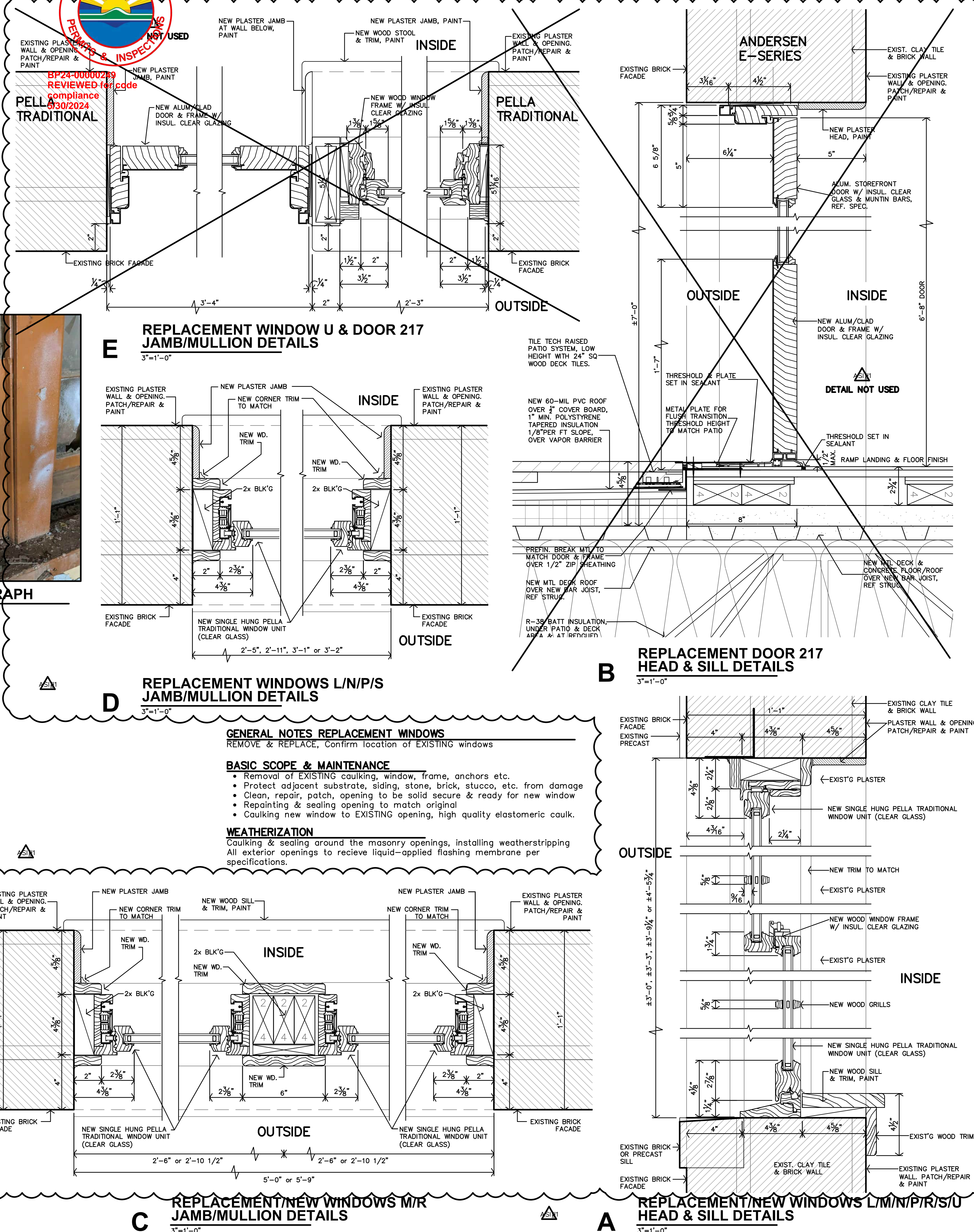
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 SAN ANGELO, TEXAS



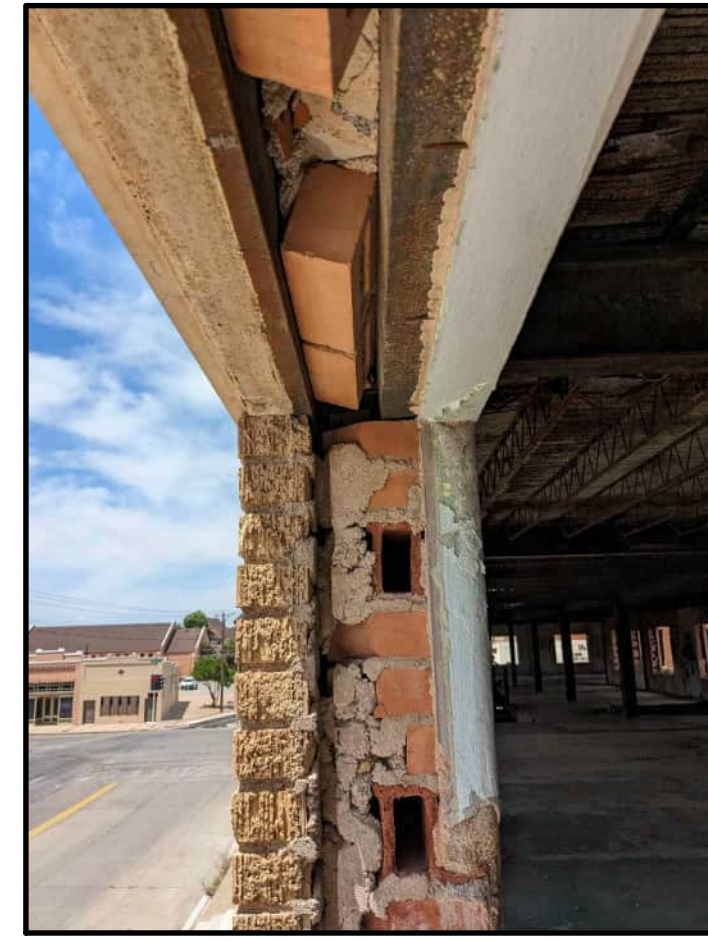
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9 PHOTOGRAPH
NO SCALE



8 PHOTOGRAPH
NO SCALE



7 PHOTOGRAPH
NO SCALE



6 PHOTOGRAPH
NO SCALE



5 PHOTOGRAPH
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4 PHOTOGRAPH
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3 PHOTOGRAPH
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2 PHOTOGRAPH
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1 PHOTOGRAPH
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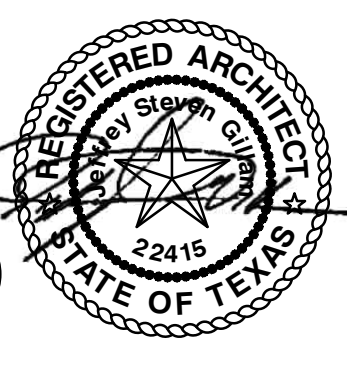


HISTORIC PHOTOGRAPH
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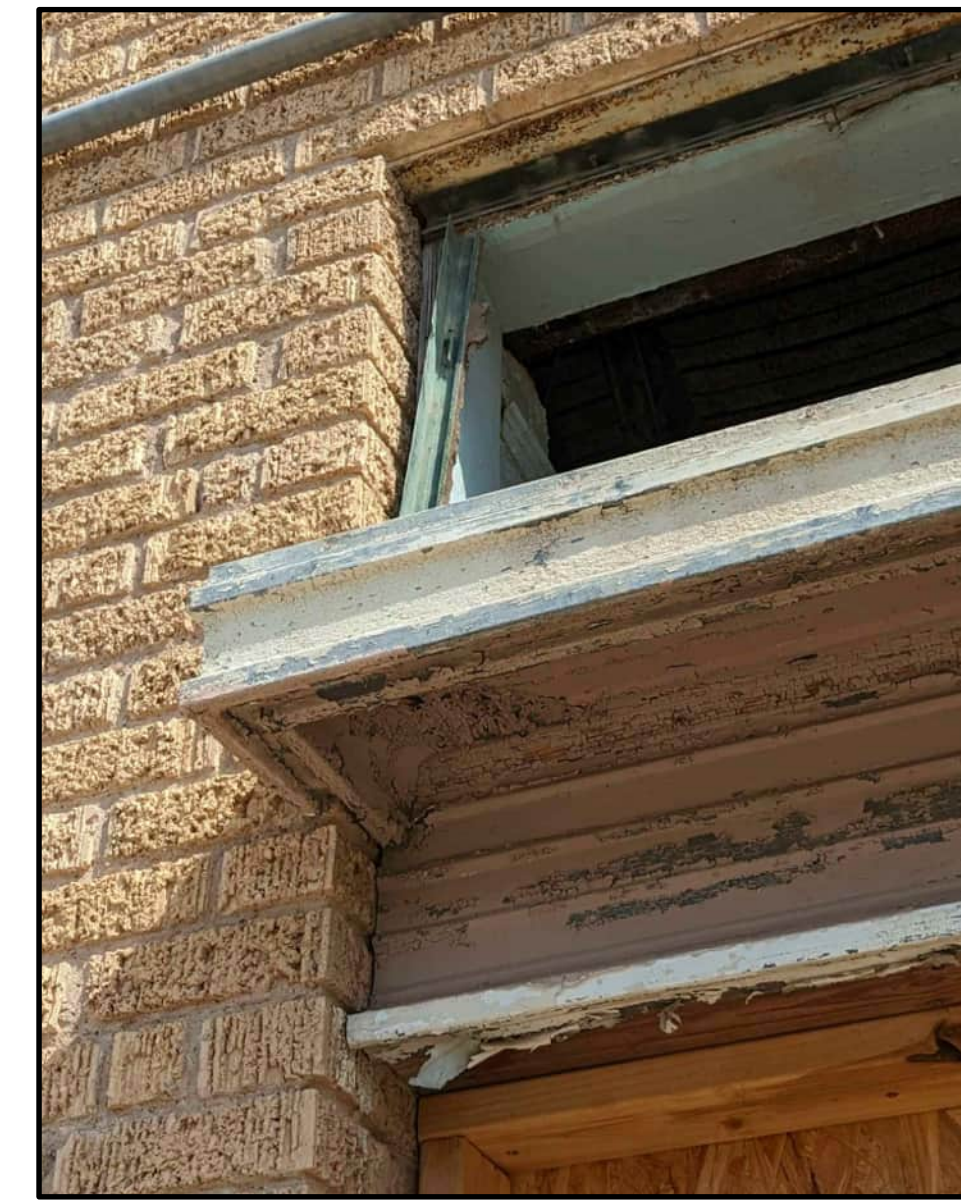
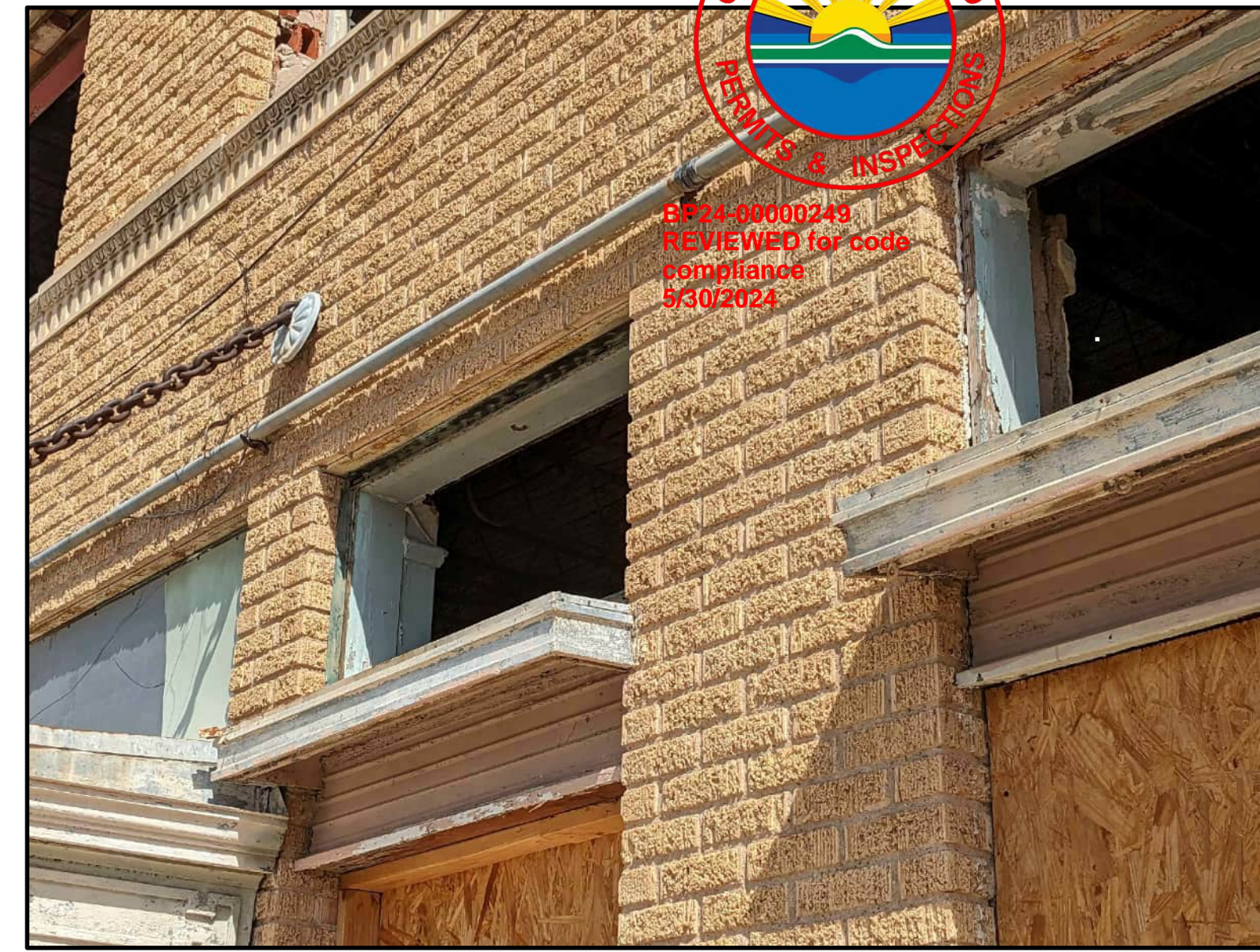
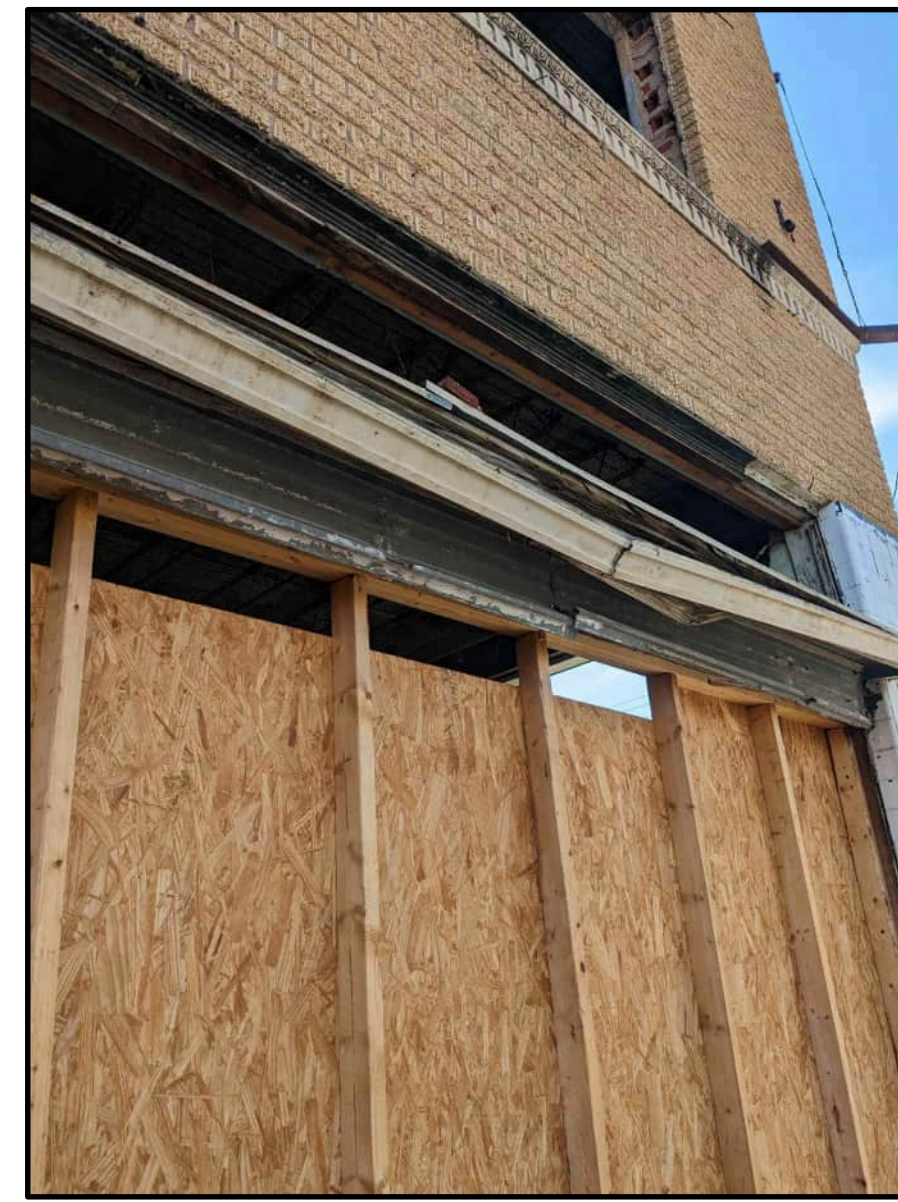
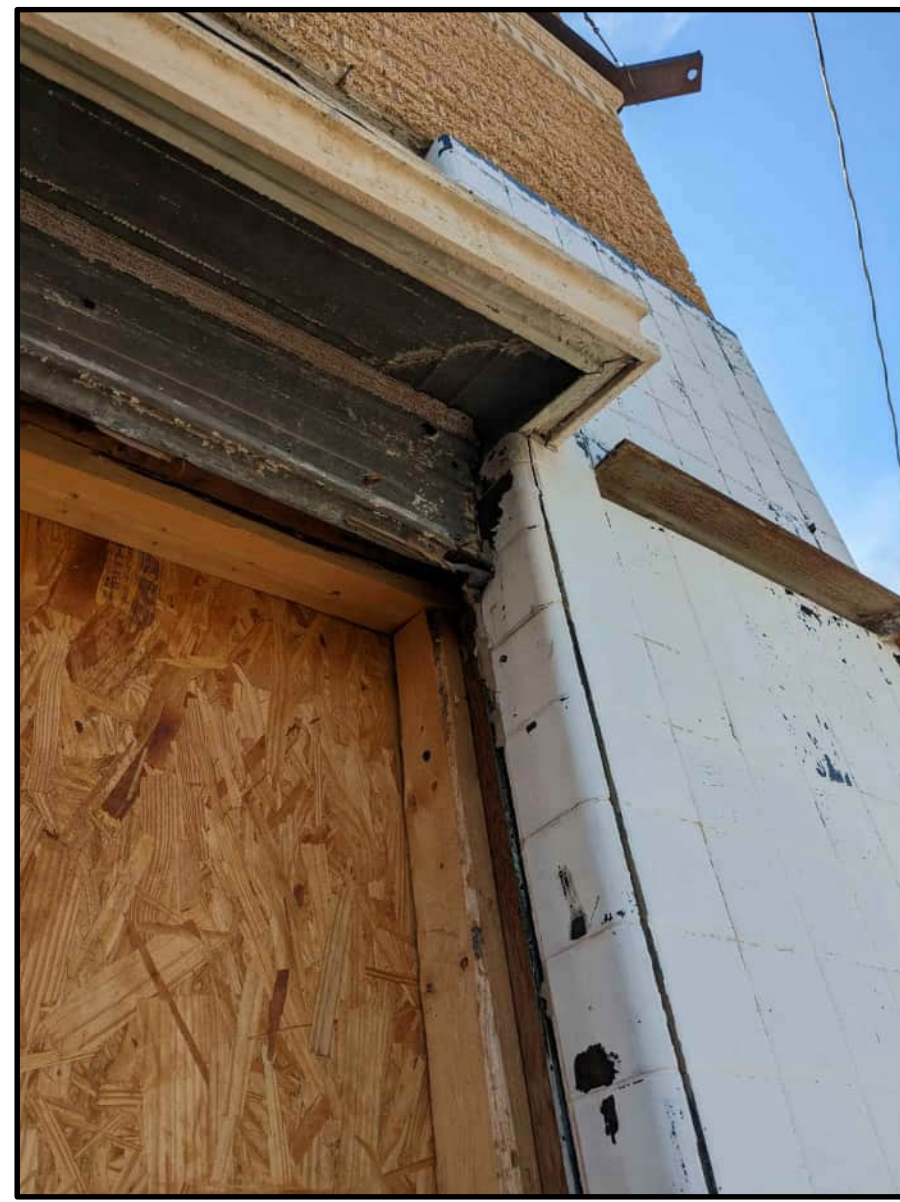
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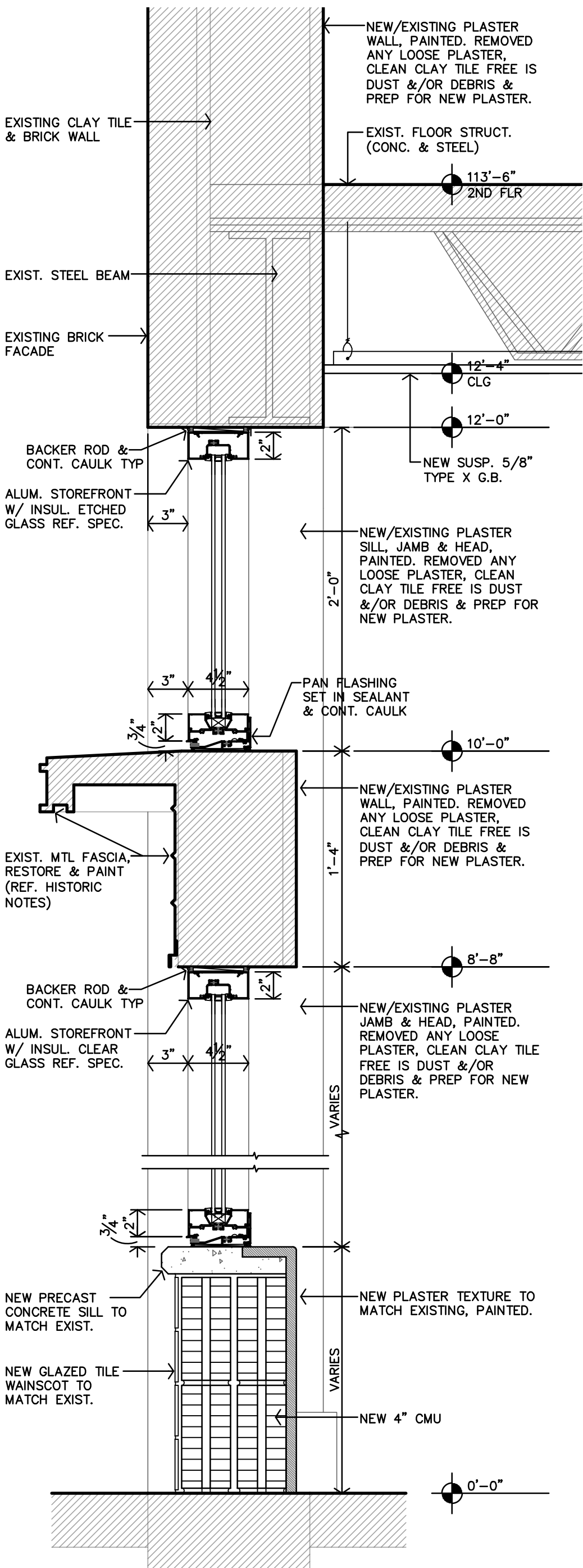
- HISTORIC METAL FASCIA NOTES**
1. REMOVE ALL PAINT, EXCESS CAULKING AND DEBRIS (REF. THE PRESERVATION BRIEF'S FOR MEANS AND METHODS). CLEAN.
 2. REPAIR AND REPLACE PIECES AND ELEMENTS AS NEEDED TO FULLY RESTORE FASCIA TO ORIGINAL APPEARANCE.
 3. REMOVE UNNECESSARY NAILS, BOLTS, ANCHORS & ACCESSORIES FROM PREVIOUS NON-HISTORIC INFILL.
 4. CLEAN AND PREP HISTORIC OPENINGS ABOVE AND BELOW FOR THE INSTALLATION OF NEW ALUM. STOREFRONT AND TRANSOM.
 5. FASCIA THAT ARE IN A STATE OF DISREPAIR SHALL BE CAREFULLY REMOVED AND NEW FASCIA SHALL BE CONSTRUCTED TO MATCH THE EXISTING.
 6. MISSING FASCIA SHALL BE RECONSTRUCTION TO MATCH EXISTING.
 7. FASCIA FINAL FINISH SHALL BE PAINTED, COLOR TO BE DETERMINED.

GENERAL NOTES REPLACEMENT WINDOWS
 REMOVE & REPLACE, Confirm location of EXISTING windows

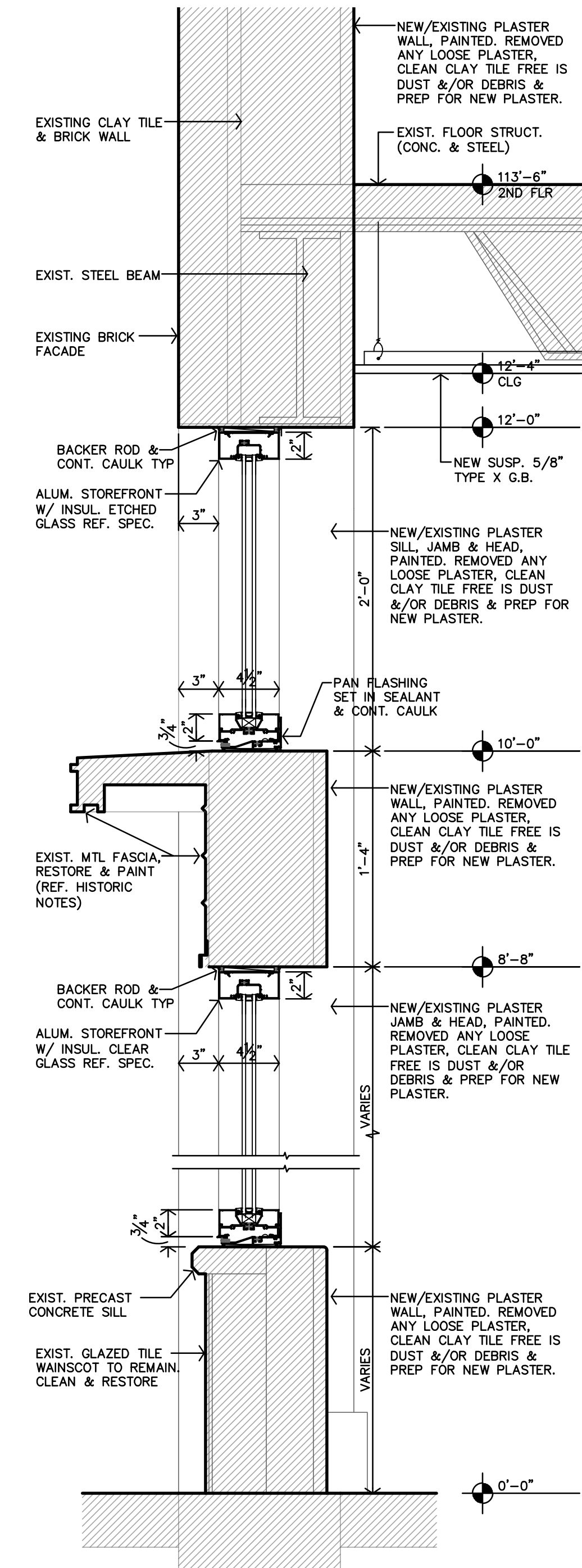
- BASIC SCOPE & MAINTENANCE**
- Removal of EXISTING caulking, window, frame, anchors etc.
 - Protect adjacent substrate, siding, stone, brick, stucco, etc. from damage
 - Clean, repair, patch, opening to be solid secure & ready for new window
 - Repainting & sealing opening to match original
 - Caulking new window to EXISTING opening, high quality elastomeric caulk.

WEATHERIZATION
 Caulking & sealing around the masonry openings, installing weatherstripping All exterior openings to receive liquid-applied flashing membrane per specifications.

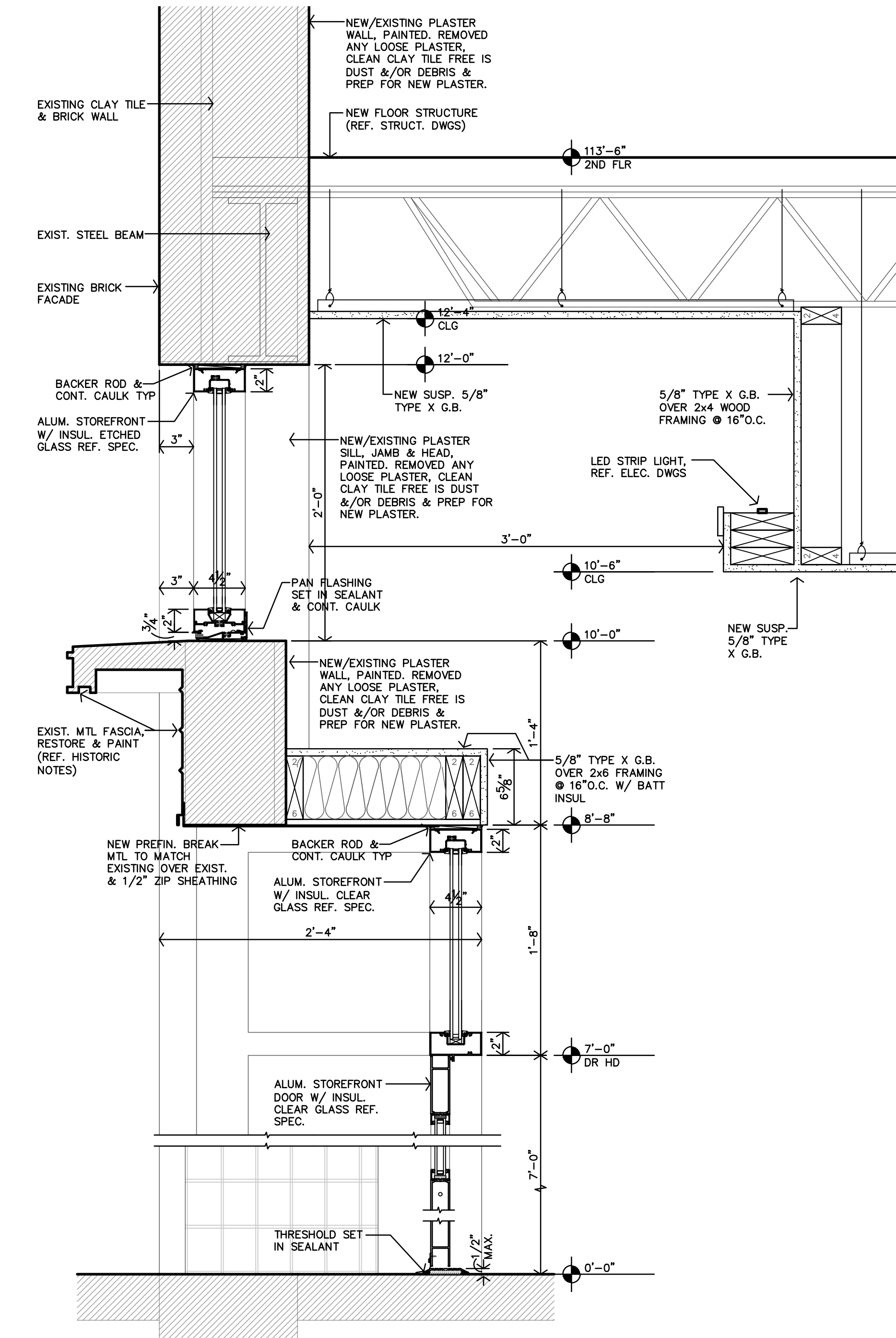
HISTORIC METAL FASCIA PHOTOGRAPHS
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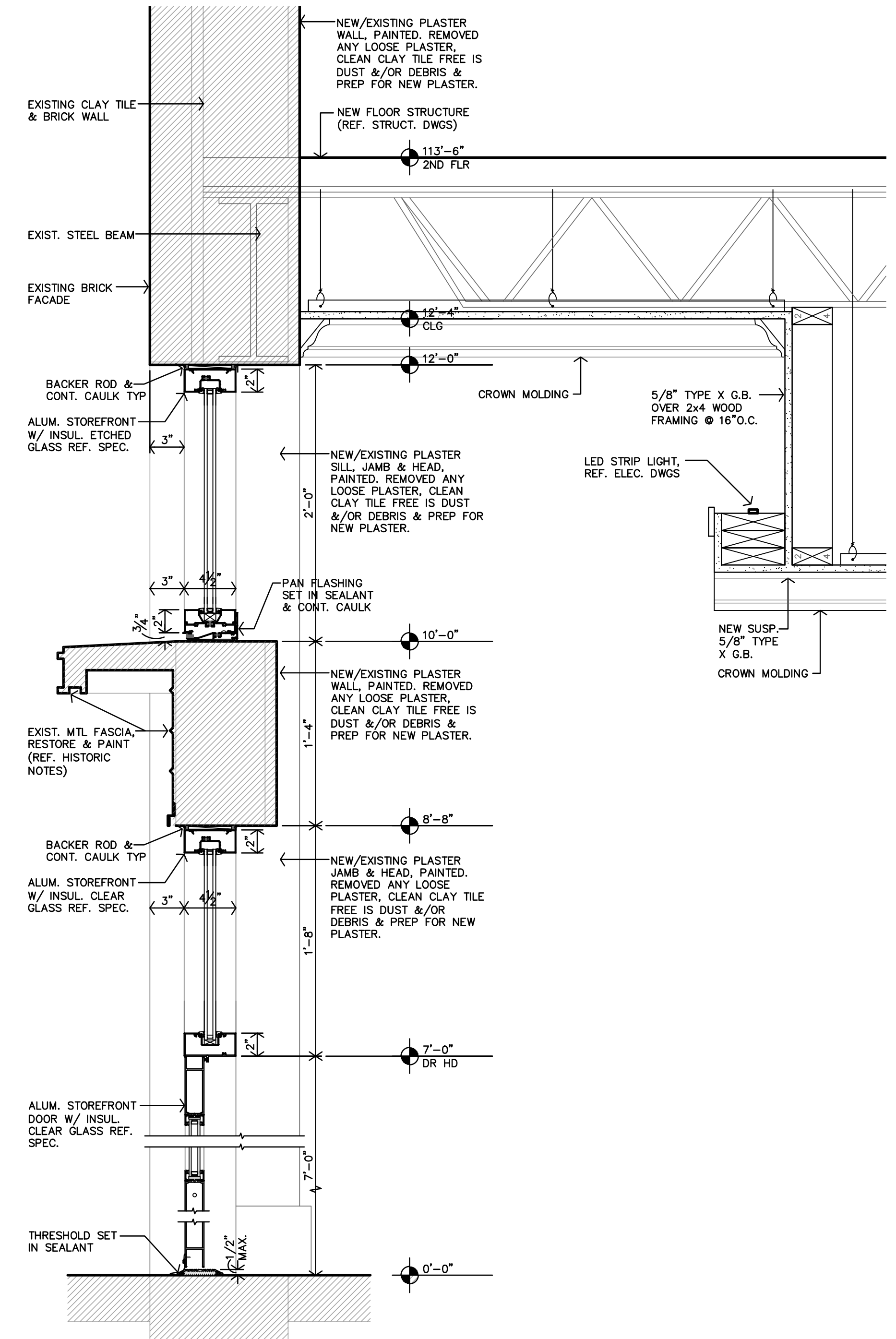
D WINDOW/CLEARSTORY DETAILS
 1 1/2"=1'-0"



C WINDOW/CLEARSTORY DETAILS
 1 1/2"=1'-0"

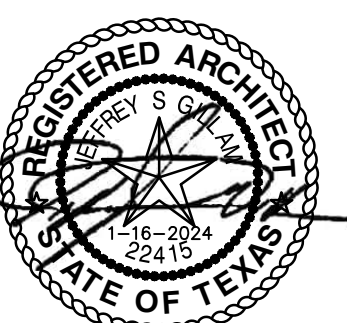


B DOOR/CLEARSTORY DETAILS
 1 1/2"=1'-0"



A DOOR/CLEARSTORY DETAILS
 1 1/2"=1'-0"

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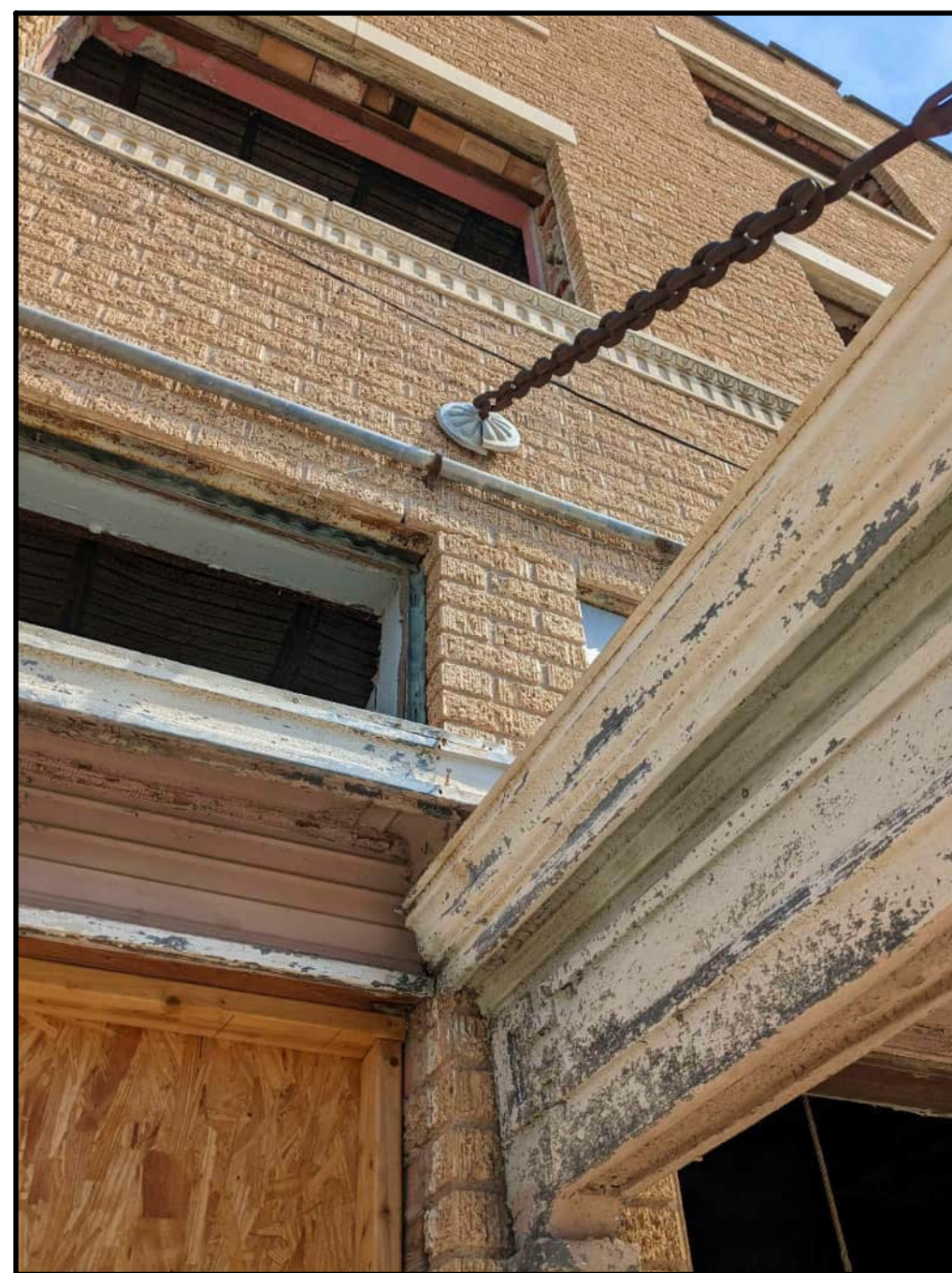
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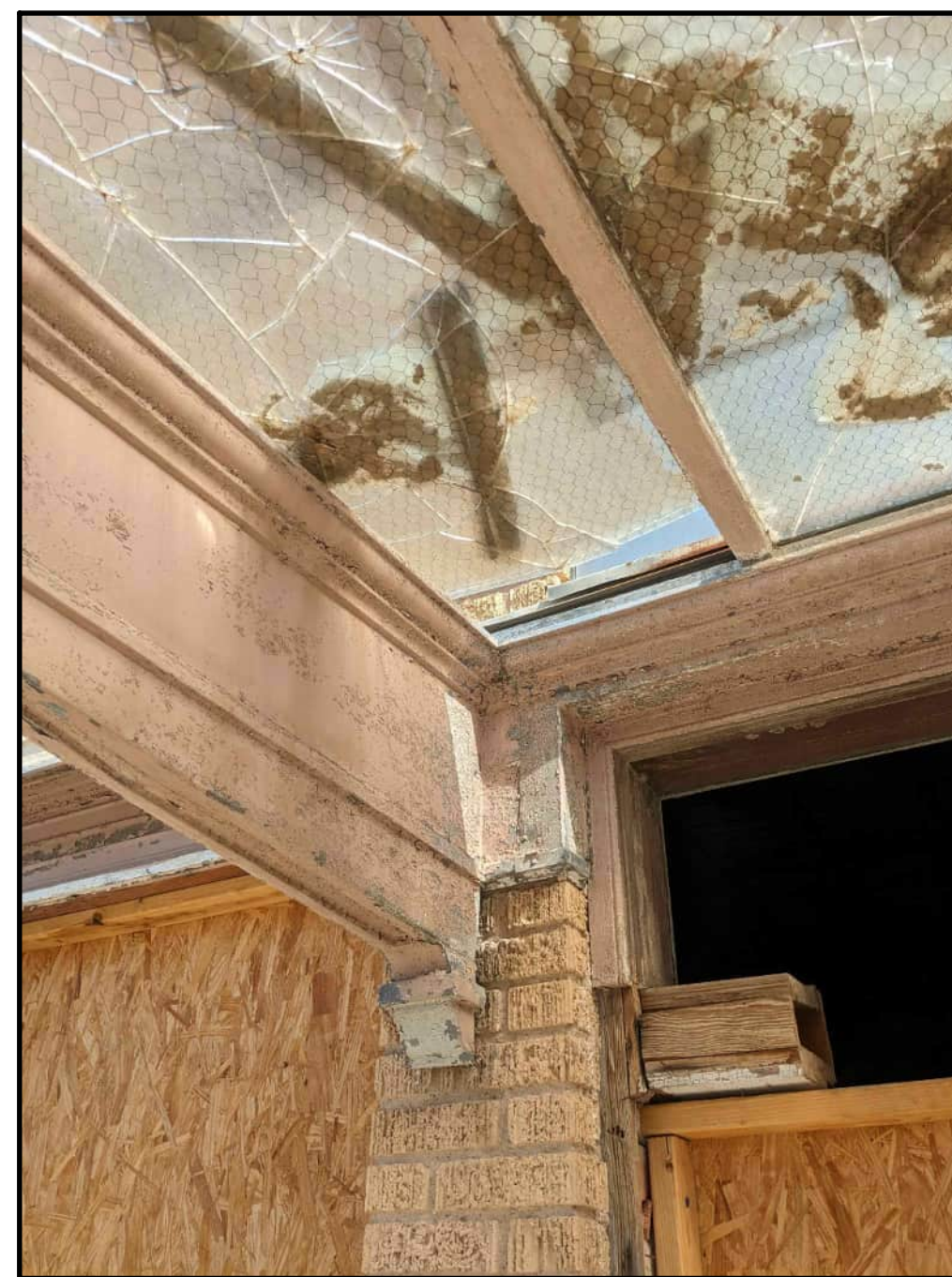
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- EXISTING CANOPY (SOUTH) NOTES**
1. REMOVE ALL PAINT, EXCESS CAULKING AND DEBRIS (REF. THE PRESERVATION BRIEFS FOR MEANS AND METHODS). CLEAN.
 2. REPAIR AND REPLACE PIECES AND ELEMENTS AS NEEDED TO FULLY RESTORE CANOPY TO ORIGINAL APPEARANCE.
 3. REMOVE ALL CRACKED AND DAMAGED GLASS ON TOP OF CANOPY. PREP CANOPY FOR THE INSTALLATION OF NEW GLASS TOP.
 4. REMOVE UNNECESSARY NAILS, BOLTS, ANCHORS & ACCESSORIES FROM PREVIOUS NON-HISTORIC INFILL AND REPAIRS.
 5. REMOVE ANY CONDUIT, WIRES, ALARMS, LIGHTS, ETC.
 6. CLEAN AND PREP HISTORIC OPENINGS ABOVE AND BELOW FOR THE INSTALLATION OF NEW ALUM. STOREFRONT AND TRANSOM.
 7. STRUCTURAL ENGINEER TO EVALUATE CANOPY AND IF NECESSARY, PROVIDE RECOMMENDATION FOR FURTHER REPAIR AND STABILIZATION.
 8. CANOPY FINAL FINISH SHALL BE PAINTED, COLOR TO BE DETERMINED.

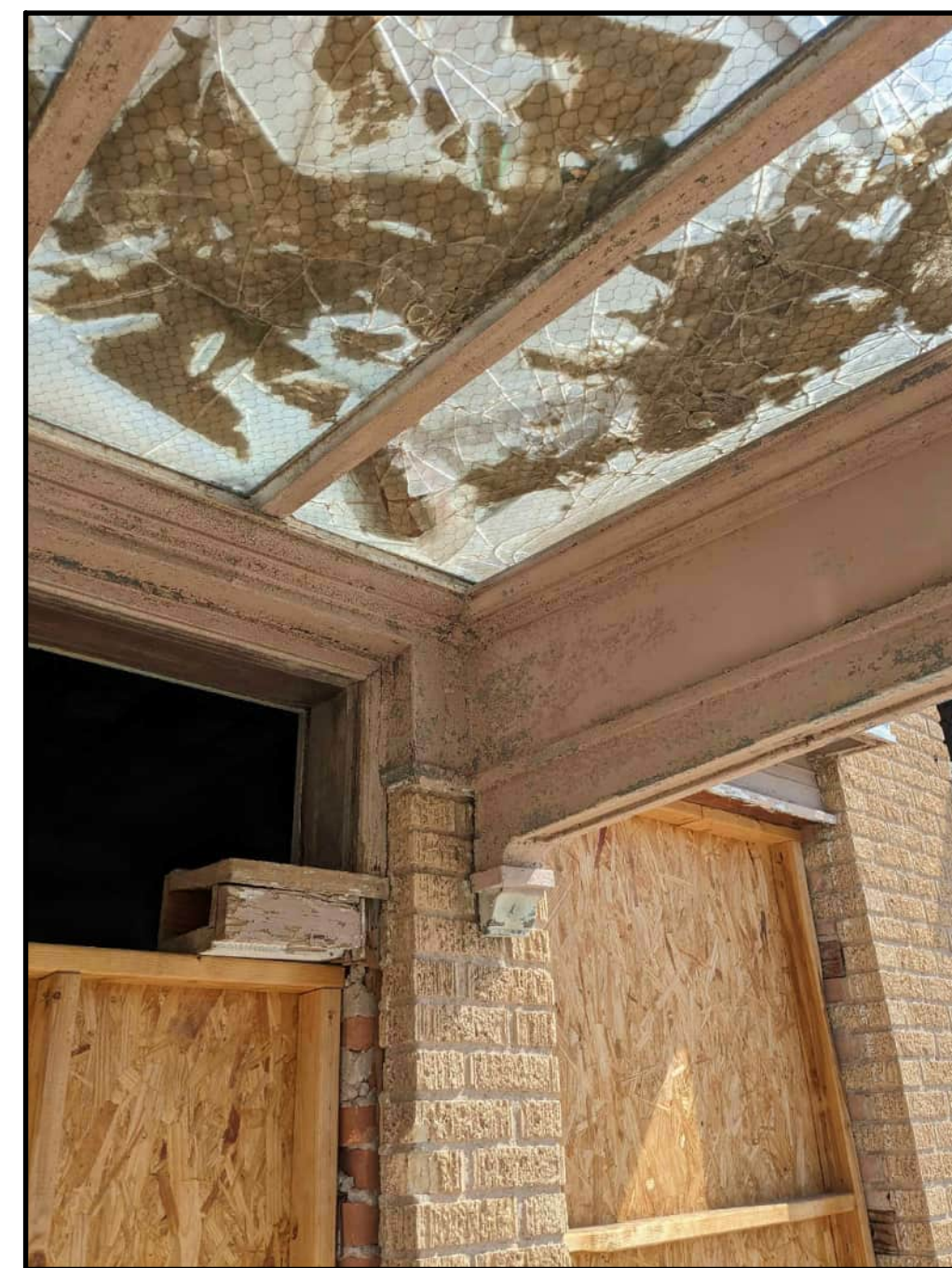
NEW CANOPY (WEST) NOTES
CONSTRUCT NEW CANOPY TO MATCH EXISTING.



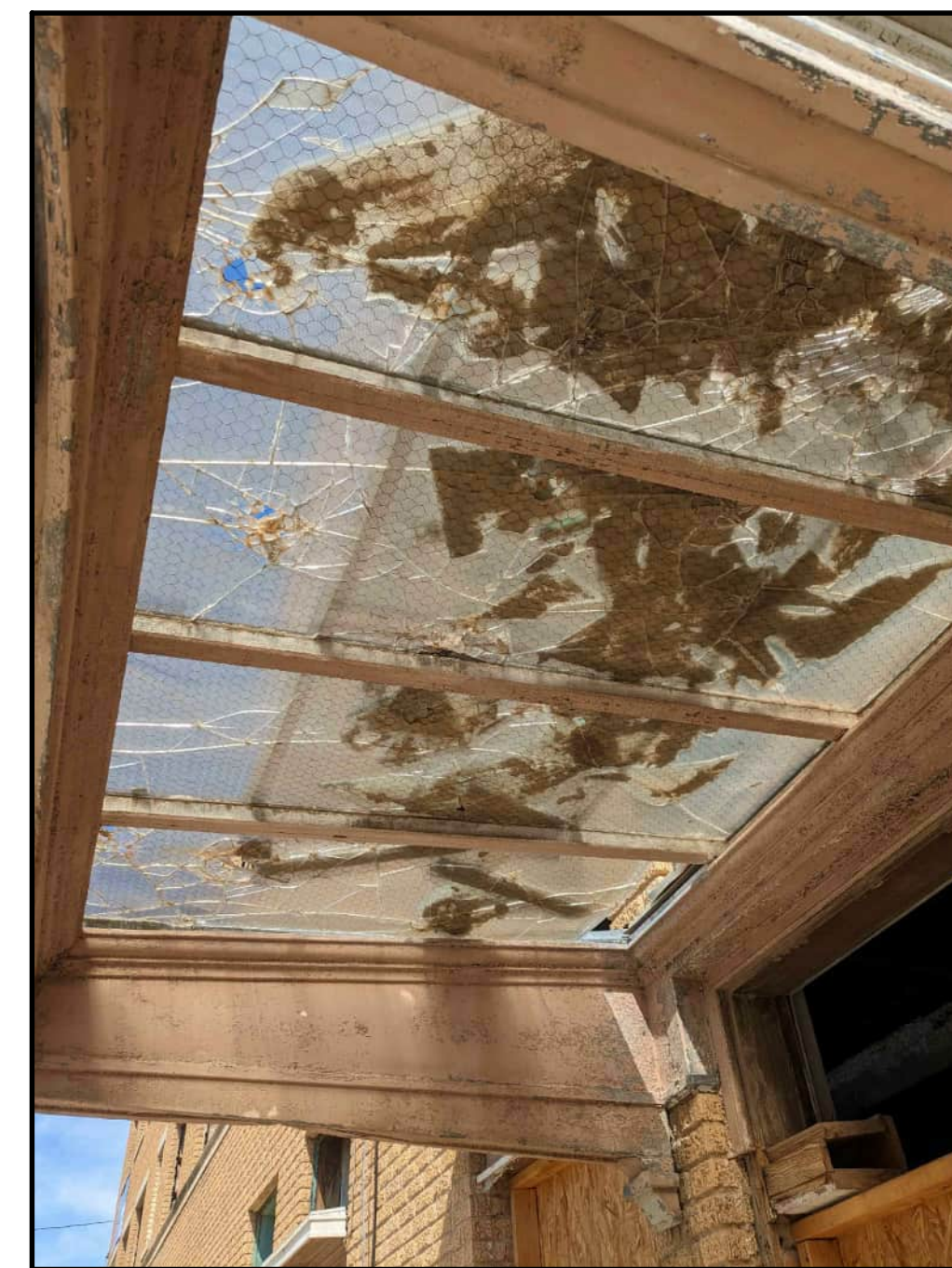
**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
NO SCALE



**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
NO SCALE



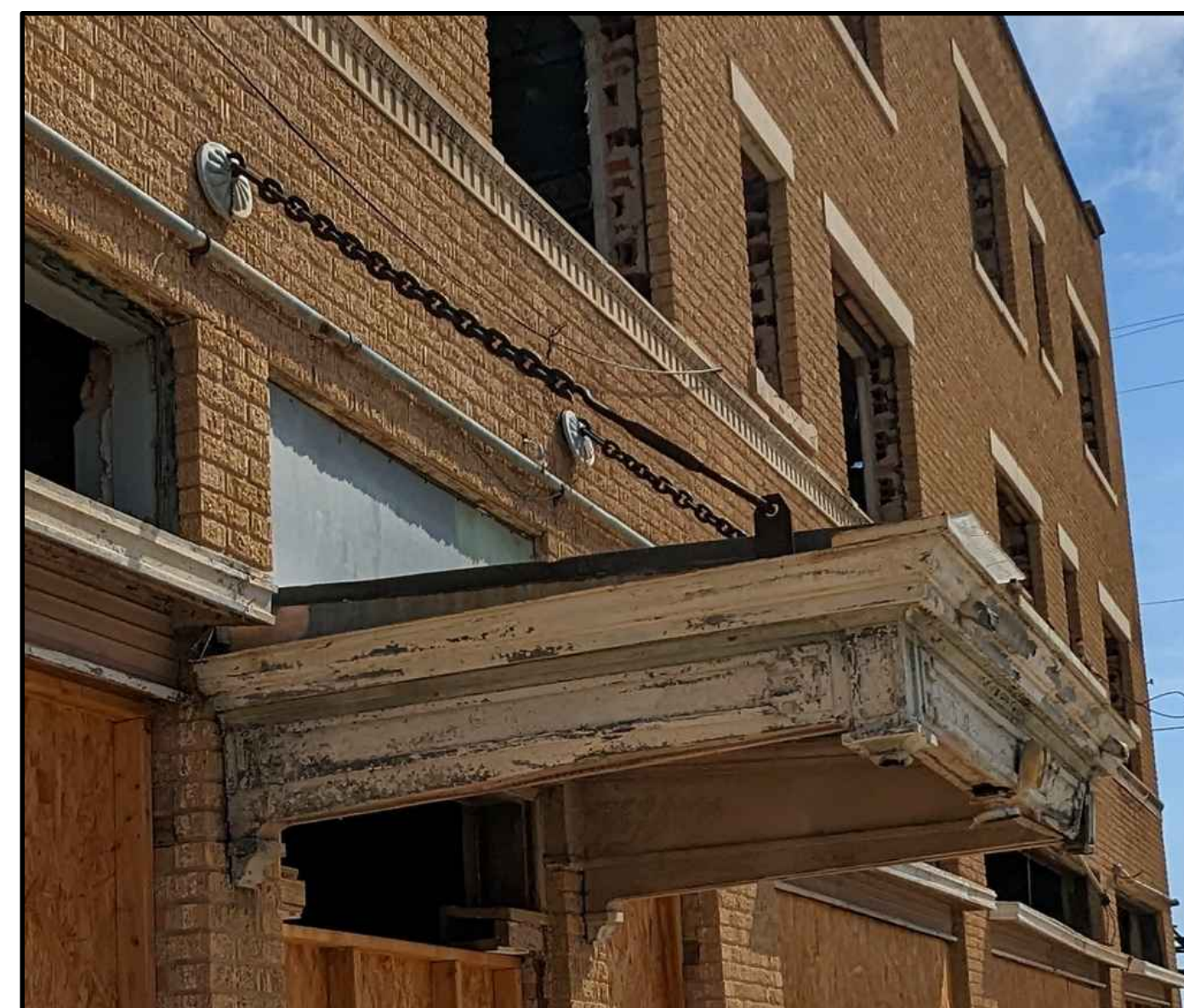
**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
NO SCALE



**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
NO SCALE



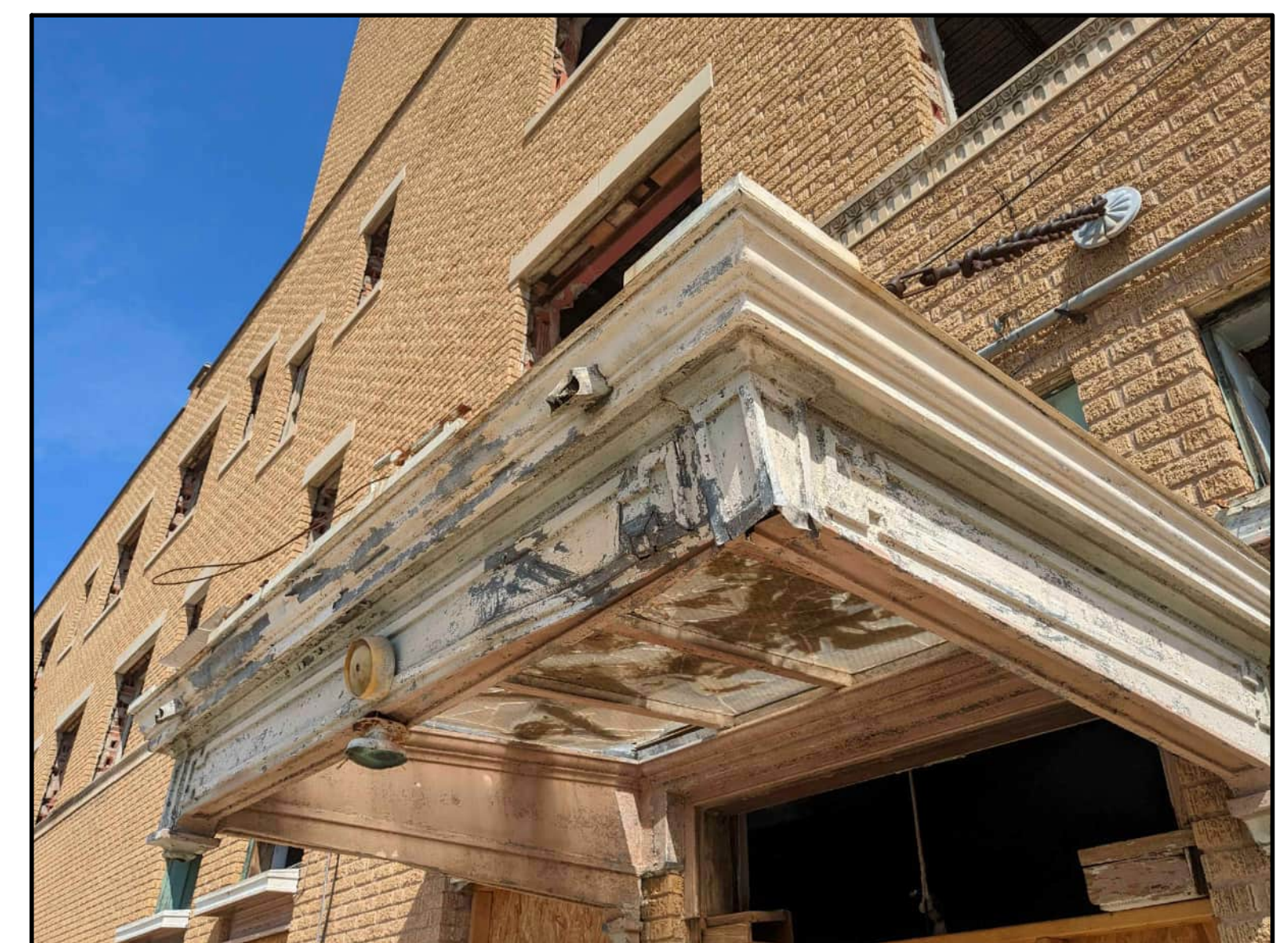
**N. CHADBORNE STREET (DR #101)
HISTORIC ENTRANCE PHOTOGRAPH**
NO SCALE



**E. COLLEGE AVENUE
HISTORIC ENTRANCE CANOPY**
NO SCALE



**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
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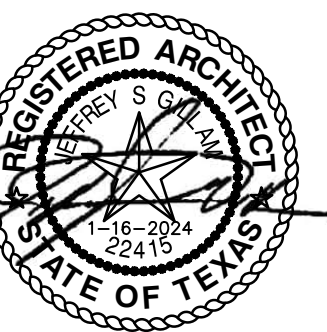


**E. COLLEGE AVENUE (DR #123)
HISTORIC ENTRANCE CANOPY**
NO SCALE

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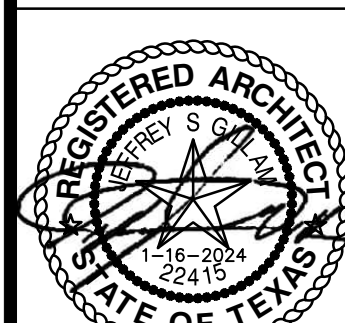


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