



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Roosevelt Lofts Historic Rehabilitation San Angelo, TX	Report No.	One (1)
OWNER:	Overland Property Group 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	April 25, 2024
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	22-3281
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

- 1) Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions to eliminate the 2nd floor roof top deck:
 - a. Door 217 has been eliminated and will become a Window Type 'M'.
 - b. Eliminate ramp and handrail on the second floor, in Stair 2.
 - c. Eliminate the roof paver system, planters, trellis(s) and guardrails.
 - d. Eliminate interior roof drains below roof deck. Build up area of roof to be sloped towards parapet drains as shown on revised sheet A5.1
 - e. Eliminate exterior light switches, light fixtures and outlets associated with roof top deck.
- 2) Details on sheet A10.4 have been adjusted to correlate with the historically reviewed/approved window details for the Pella Traditional Windows.
- 3) Low head heights exist at Stair S2 – at the landing between floors 1 and 2. Due to existing beam locations, care will need to be taken to ensure head heights are met. Details have been adjusted on sheet A6.3 and Detail H has been added. Enlarged Ceiling Detail has been added on Sheet A7.1 (Detail C).

Attachments:

1. Revised Sheets D2.1, A2.1, A2.4, A2.6, A5.1, A5.2, A5.3, A6.3, A7.1, A10.2, A10.4

Issued by:

Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Maggie Gillam, Project Manager 785-827-0386 mgillam@jgrarchitects.com

Copies to:

MCP Group - Eric Hubener, Will Allen
OPG - Dan Maximuk, April Engstrom
JGR Architect/Project Manager - Maggie Gillam
LST - Brian Ochs
Structural - Brent Engelland

DEMOLITION NOTES

GENERAL NOTES

- WHERE EXISTING BLDG. COMPONENTS ARE TO BE REMOVED; PATCH & REPAIR THE SURFACES TO MATCH EXISTING FINISH, UNLESS NEW FINISHES ARE CALLED FOR IN THE FINISH SCHEDULE.
- REMOVE EXISTING BLDG. COMPONENTS AS INDICATED, IMPLIED OR AS REQUIRED SCHEMATICALLY SHOWN AS DASHED LINES. FIELD VERIFY ALL LOCATIONS.
- THE ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CORE DRILLING FOR PIPING & CONDUIT INSTALLATION.
- ALL OTHER CUTTING, PATCHING & FINISHING, U.N.O. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- SHORING OF EXISTING STRUCTURE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ASBESTOS AND LEAD TESTING HAVE BEEN CONDUCTED ON SITE AND IT HAS BEEN DETERMINED THAT THERE ARE SOME AREAS OF CONCERN ON SITE. REFERENCE SPECIFICATIONS FOR ASBESTOS AND LEAD REPORTS. CONTRACTOR TO INCLUDE IN THEIR BID, COSTS FOR ABATEMENT, REMEDIATION, CLEARING AND PROPER DISPOSAL OF ANY HAZARDOUS MATERIAL.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE DEMOLITION BY DIFFERING TRADES.
- CONTRACTOR COORDINATE SCHEDULE & LOCATION OF ANY OR ALL EXISTING RECEPTACLES, SWITCHES, DEVICES, ETC. PRIOR TO DEMOLITION, RELOCATE OR ABANDON ACCORDINGLY.
- EXISTING SALVAGED BRICK TO BE STOCK PILED FOR RE-USE.
- COORDINATE & REFERENCE MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS AND DETAILS.
- REMOVE ALL EXISTING EQUIPMENT, LIGHTS, CONDUIT, DEBRIS, PIPING, DUCTWORK, ETC. THAT REMAINS IN THE BUILDING, ROOF AND EXTERIOR WALLS.
- MEDIA BLAST (PER PRESERVATION BRIEFS) ALL GRAFFITI FROM EXTERIOR AND INTERIOR WALLS.
- REBUILD EXISTING HEAD/SILL/JAMBS AT WINDOW AND DOOR OPENINGS AS NEEDED TO PREP FOR THE INSTALLATION OF NEW DOORS/WINDOWS.

GENERAL & BASEMENT

- REMOVE ALL EQUIPMENT, LIGHTS, CONDUIT, DEBRIS, PIPING, DUCTWORK, ETC.
- MEDIA BLAST GRAFFITI (PER PRESERVATION BRIEFS) OFF ALL WALLS.
- REMOVE ALL EXISTING EQUIPMENT, DEBRIS, ETC. IN BASEMENT. MAKE REPAIRS AT JOISTS, BEAMS, COLUMNS, FOUNDATION WALLS, ETC. AS NEEDED. CLEAN UP FLOOR, WALLS, ETC.
- REPAIR EXISTING STAIRS TO BASEMENT AS NEEDED FOR SAFE ACCESS.
- REMOVE EXISTING DAMAGED TOP STAIR AND PORTION OF CONCRETE SLAB. PREP AREA FOR INSTALLATION AND REPAIR OF SLAB AND TOP STAIR RISER.

ROOF, STAIRS, ELEVATOR, EQUIPMENT

- REMOVE EXISTING ROOFING, VENTS, PIPING, FLASHING, ETC. TO DECK. REPAIR ANY DAMAGE, VOIDS, HOLES, ETC. IN DECK & MAKE WATER TIGHT. PREP FOR NEW FLASHING, INSULATION & ROOFING SYSTEM.
- REMOVE EXISTING MTL GUTTER & DOWNSPOUT. PREP FOR NEW.
- REMOVE EXISTING MTL SCUPPER & DOWNSPOUT. PREP FOR NEW.
- REMOVE EXISTING FIRE ESCAPE, ASSOCIATED BRACKETS, ANCHORS, AND ATTACHMENTS, TUCKPOINT.
- REMOVE EXISTING STEEL STAIR, STRINGERS, PANS, ETC. BETWEEN FLOOR 1 & 2. PREP EXISTING OPENING FOR NEW STAIR & RAILING.
- EXISTING STAIR & RAILING TO REMAIN.
- REMOVE EXISTING SKYLIGHTS. REPAIR OPENING TO MATCH ADJACENT STRUCTURE & MAKE WATER TIGHT. REF. STRUCT.
- REMOVE & SALVAGE PORTION OF EXISTING RAILING FOR NEW STAIR.

WINDOWS

- REMOVE EXISTING WINDOW UNIT, OR REMNANTS OF WINDOW FRAME. CLEAN & PREP MASONRY FOR NEW WINDOW/DOOR INSTALLATION.
- REMOVE EXISTING PLYWOOD/METAL INFILL, CLEAN & PREP ORIGINAL MASONRY OPENING. PREP MASONRY OPENING FOR NEW STOREFRONT, DOOR, WINDOW, ETC.

DOORS

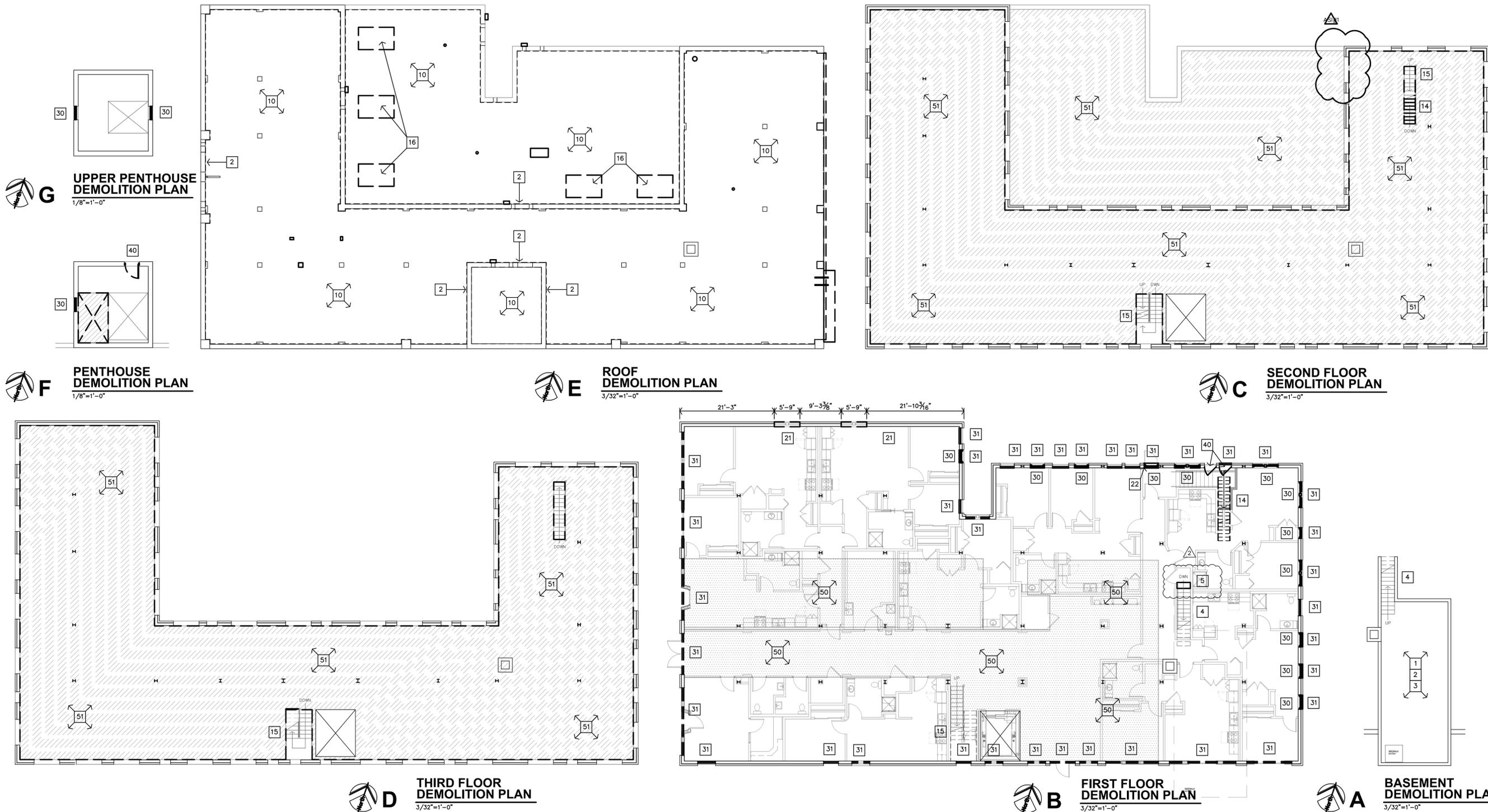
- REMOVE EXISTING DOOR, COMPLETE WITH ATTACHMENTS, HARDWARE, ANCHORS, ETC., FILL HOLES CLEAN & PREP MASONRY FOR NEW WINDOW/DOOR INSTALLATION.

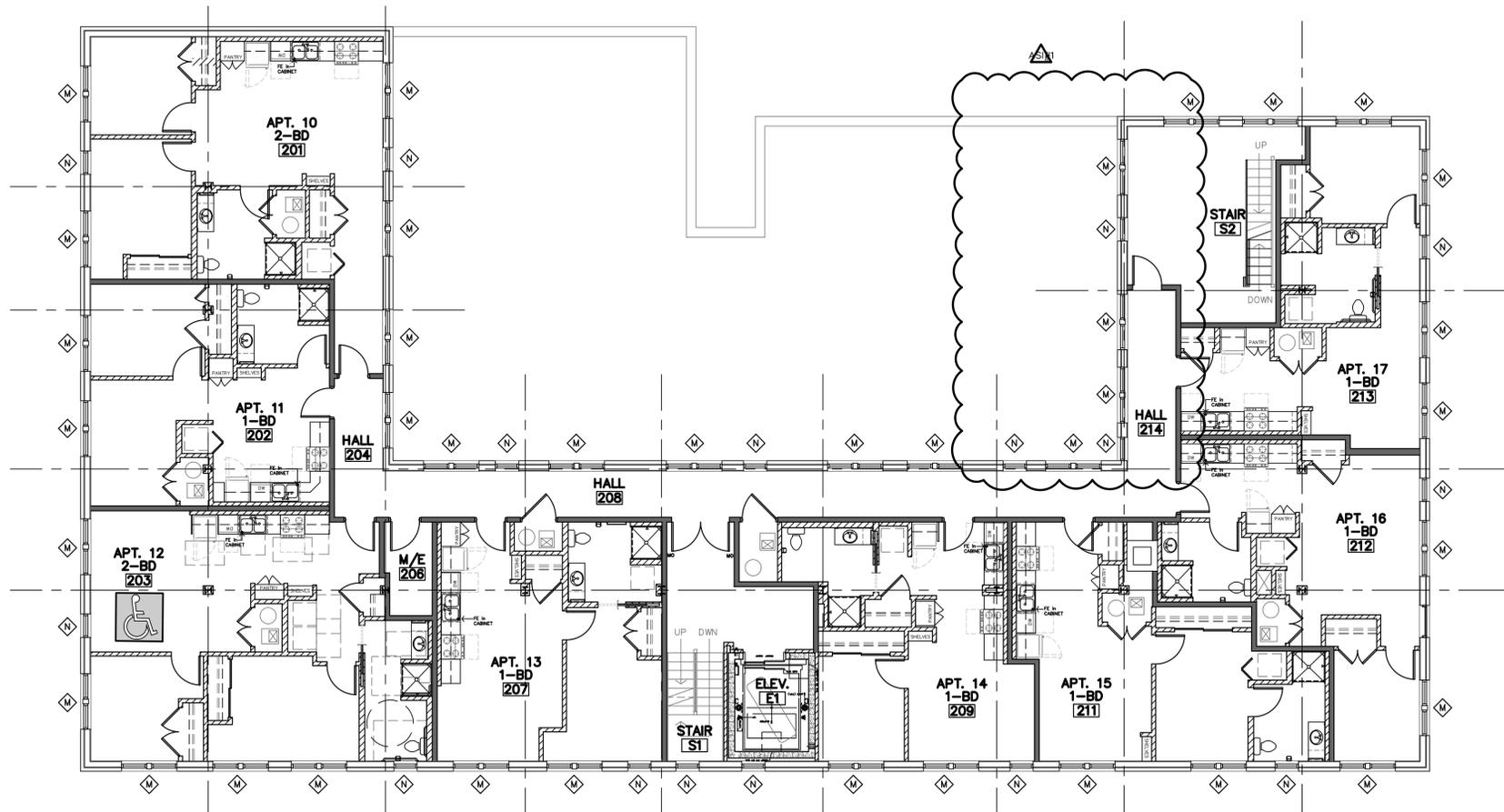
FLOORS

- EXISTING TERRAZZO FLOORING (SHOWN AS DOTTED HATCH) TO BE PROTECTED DURING CONSTRUCTION. SAWCUT/GRIND ANY RAISED AREAS AT REMOVED WALLS. PROTECT, CLEAN, PATCH AND REPAIR AS NEEDED. REMOVE ANY EXISTING FLOORING, GLUE, ETC. TO ORIGINAL TERRAZZO FLOOR. PROTECT, CLEAN & REPAIR AS NEEDED ORIGINAL TERRAZZO FLOOR. REFERENCE TERRAZZO PRESERVATION NOTES ON SHEET A2.0
- REMOVE ENTIRETY OF CONCRETE FLOOR/ROOF SLAB AND MESH REINFORCING AT THE 2ND & 3RD LEVELS (SHOWN AS ANGLED HATCH). PROTECT ADJACENT WALLS, PLASTER FINISH, AND BEAMS/COLUMNS DURING REMOVAL/CONSTRUCTION.

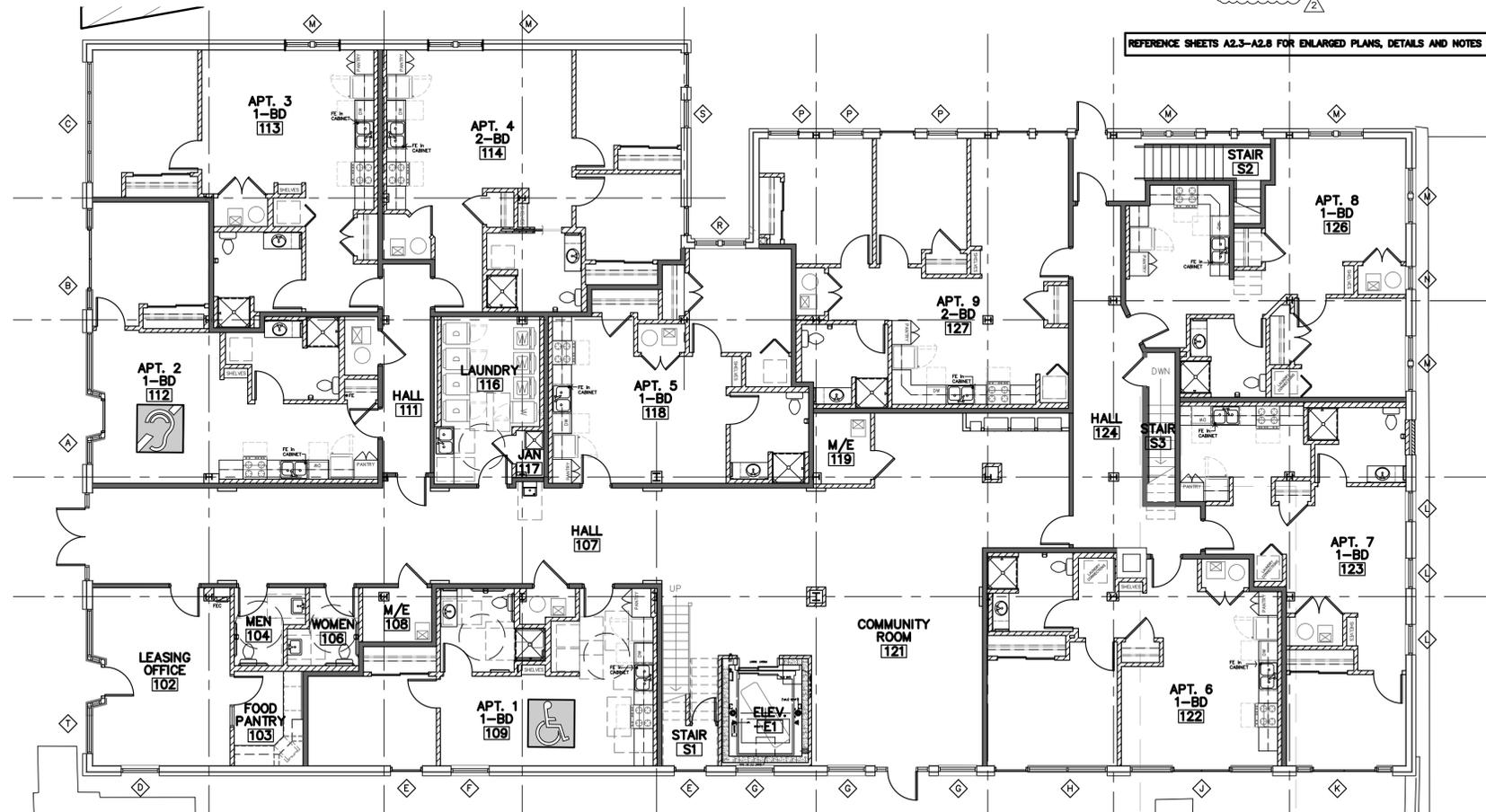
WALLS

- SAWCUT & REMOVE PORTION OF EXISTING BRICK MASONRY AND PLASTER WALL BELOW THE WINDOW OPENING FOR NEW DOOR OPENING TO NEW ROOF TOP PATIO.
- SAWCUT & REMOVE PORTION OF EXISTING BRICK MASONRY AND PLASTER WALL FOR NEW WINDOW OPENING.
- SAWCUT & REMOVE SMALL PORTION OF BRICK ALONG SIDE OF WINDOW OPENING TO PREP WINDOW FOR NEW 3'-4" WIDE FRAME AND 3'-0" WIDE EXIT DOOR.





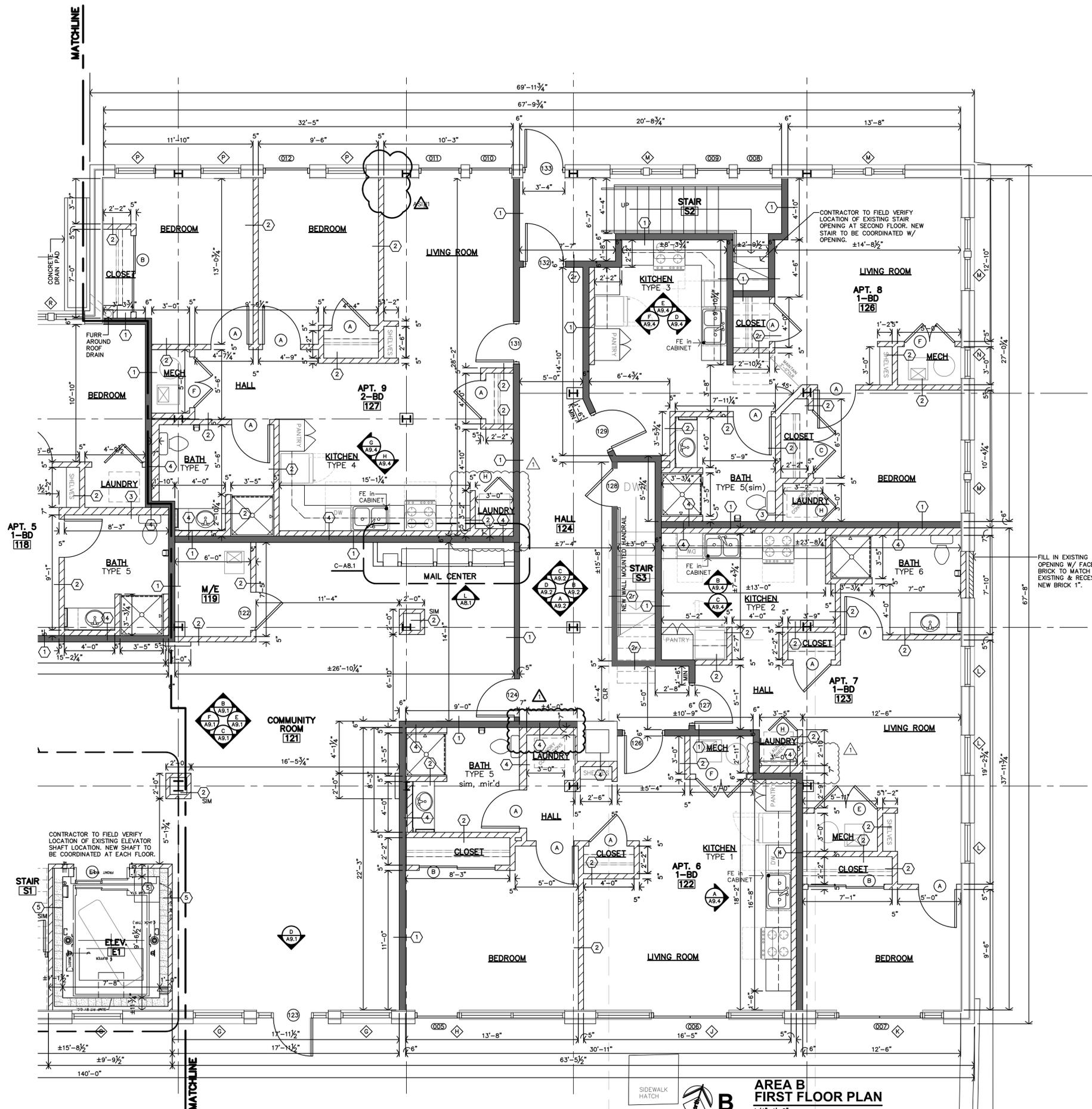
B SECOND FLOOR PLAN
1/8"=1'-0"



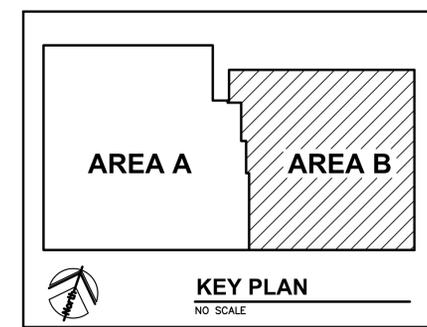
A FIRST FLOOR PLAN
1/8"=1'-0"

REFERENCE SHEETS A2.3-A2.6 FOR ENLARGED PLANS, DETAILS AND NOTES

REVISION:	
	2-23-2024
	4-25-2024
DATE:	1-16-2024
JOB:	22-3281
SHEET NO.:	

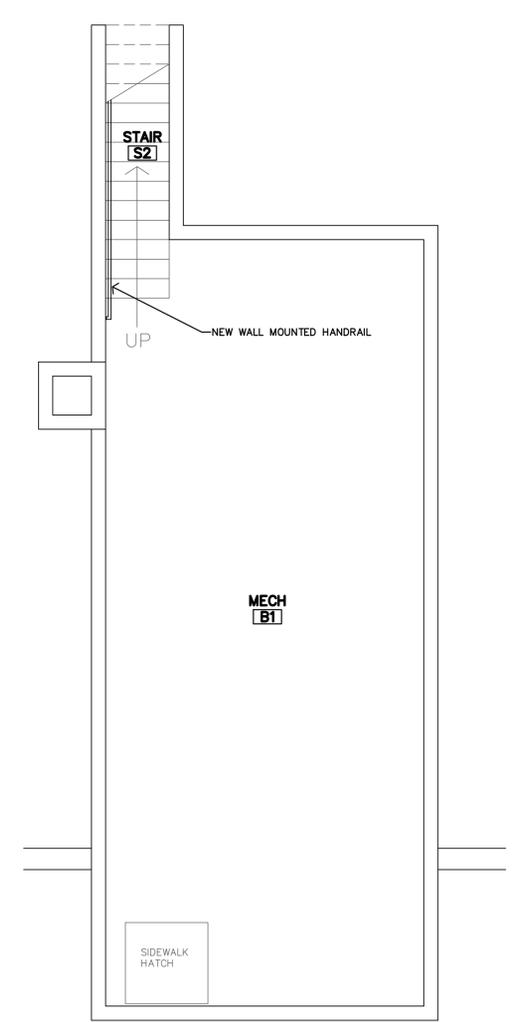


AREA B FIRST FLOOR PLAN
1/4"=1'-0"

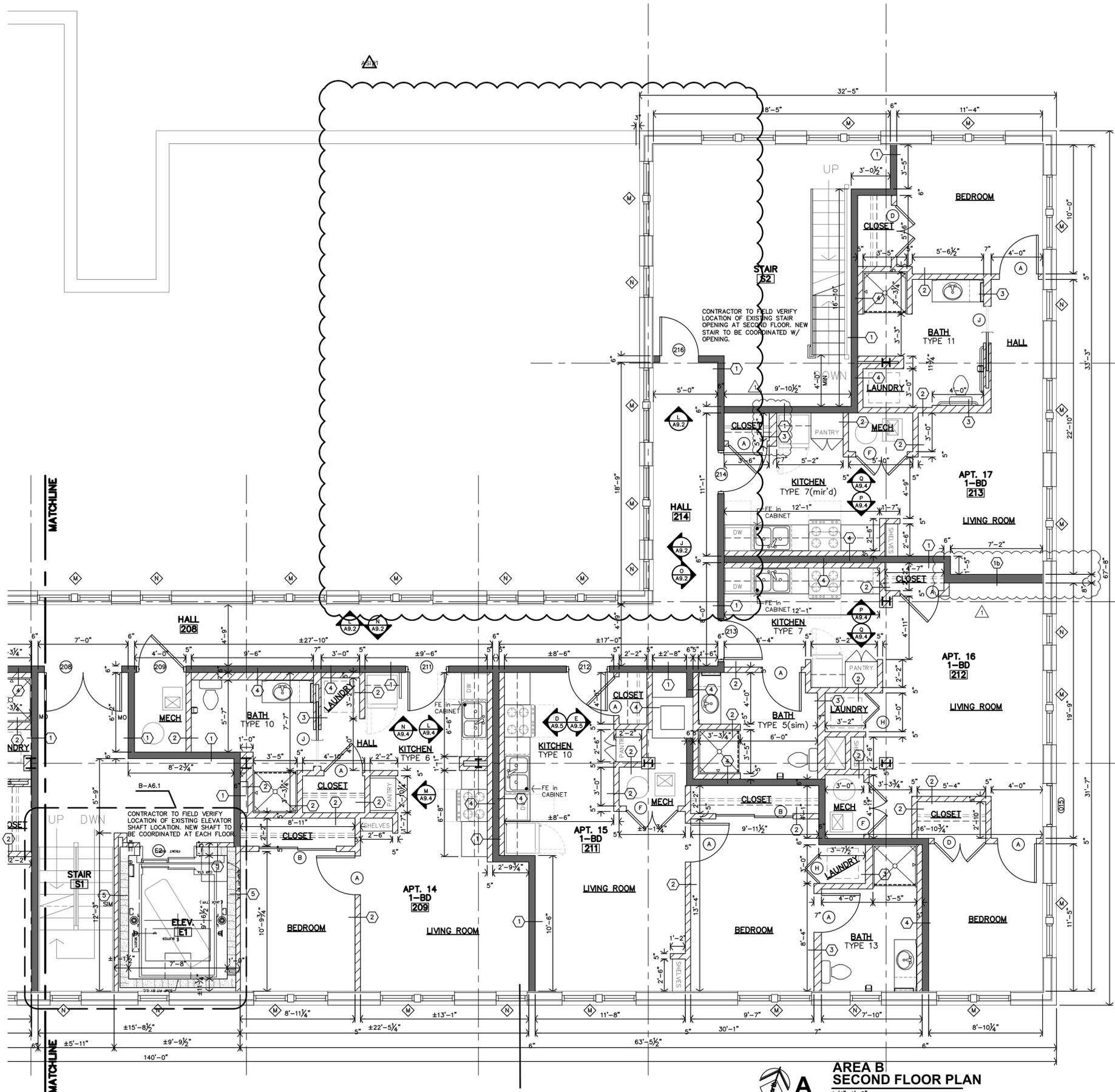


PLAN NOTES

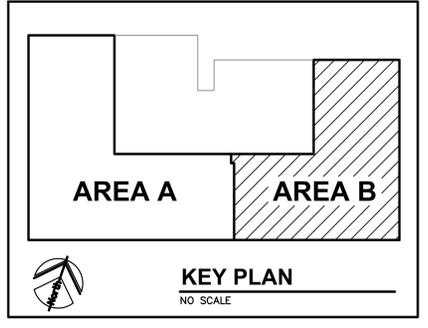
- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.



REVISION:	
	2-20-2024
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AREA B SECOND FLOOR PLAN
1/4"=1'-0"

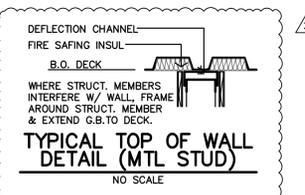
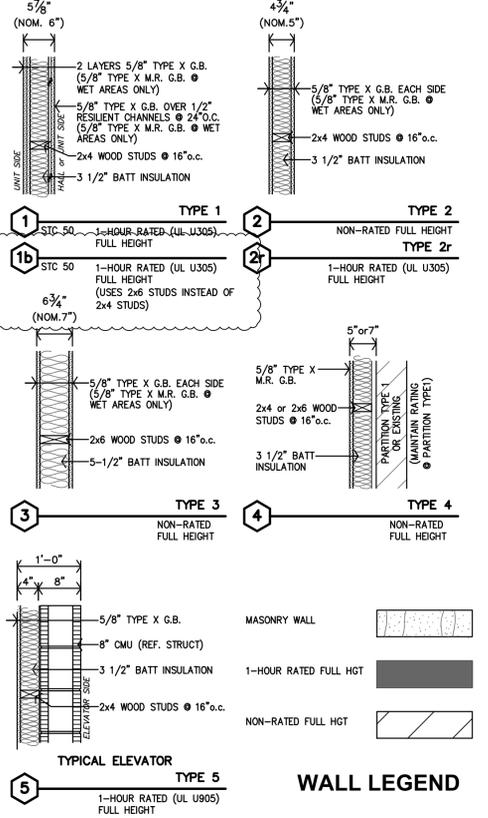


PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

PARTITION SCHEDULE

- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
- LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT.
- REF. SHEETS_CFR_A7.1 & A7.2 FOR RATED WALLS, LOCATIONS, & CODE INFORMATION
- ALTERNATE: INSTALL METAL STUDS IN PLACE OF WOOD STUDS.
 - 2x4 WOOD STUDS = 3-5/8" METAL STUDS
 - 2x6 WOOD STUDS = 6" METAL STUDS



REVISION:	
1	2-20-2024
2	2-23-2024
3	4-25-2024
DATE:	1-16-2024
JOB:	22-3281
SHEET NO.:	

SHEET HAS BEEN ELIMINATED

Tile Tech Inc.
Perimeter Edge Restraint Options

PERIMETER EDGE RESTRAINT OPTIONS
 STEP-DOWN AND GREEN ROOF CONTAINMENT DETAILS

National Distribution Tel: 213-380-5560
 Toll Free: 888-380-5575 Fax: 213-380-5561

STEP-DOWN CONTAINMENT

GREEN ROOF CONTAINMENT

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
 1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH TILE TECH INC PRODUCT SPECIFICATIONS.
 2. DRAWING NOT TO SCALE.
 3. USE OF BUFFER PADS IS MANDATORY.
 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECH-PAVERS.com

8 PERIMETER EDGE RESTRAINT OPT. DETAIL NTS

Tile Tech Inc.
Low Height Pedestal Application

LOW HEIGHT PEDESTAL APPLICATION
 ENLARGED PLAN VIEW & SECTION DETAILS

National Distribution Tel: 213-380-5560
 Toll Free: 888-380-5575 Fax: 213-380-5561

ENLARGED PLAN VIEW

LOW HEIGHT PEDESTAL APPLICATION - SECTION DETAILS

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6 LOW HEIGHT PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
Threshold Pedestal Application

THRESHOLD PEDESTAL APPLICATION
 ENLARGED PLAN VIEW & SECTION DETAILS

National Distribution Tel: 213-380-5560
 Toll Free: 888-380-5575 Fax: 213-380-5561

ENLARGED PLAN VIEW

THRESHOLD PEDESTAL APPLICATION - SECTION DETAILS

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4 THRESHOLD PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
Sample Deck Layout

SAMPLE DECK LAYOUT
 OVERVIEW OF PEDESTAL PLACEMENT

National Distribution Tel: 213-380-5560
 Toll Free: 888-380-5575 Fax: 213-380-5561

SEE ENLARGED SECTION PLANS:

- DOOR THRESHOLD PEDESTAL PLACEMENT
- RADIUS PERIMETER PEDESTAL PLACEMENT
- CORNER PERIMETER PEDESTAL PLACEMENT
- DIAGONAL PERIMETER PEDESTAL PLACEMENT
- LOW THRESHOLD PEDESTAL PLACEMENT
- ROOF DRAIN PEDESTAL PLACEMENT

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2 SAMPLE DECK LAYOUT DETAIL NTS

Tile Tech Inc.
Step-Down Pedestal Application

STEP-DOWN PEDESTAL APPLICATION
 STEP-DOWN PEDESTAL APPLICATION SECTION DETAILS

National Distribution Tel: 213-380-5560
 Toll Free: 888-380-5575 Fax: 213-380-5561

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9 STEP-DOWN PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
Drain Pedestal Application

DRAIN PEDESTAL APPLICATION
 ENLARGED PLAN VIEW & SECTION DETAILS

National Distribution Tel: 213-380-5560
 Toll Free: 888-380-5575 Fax: 213-380-5561

ENLARGED PLAN VIEW

DRAIN PEDESTAL APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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 2. DRAWING NOT TO SCALE.
 3. USE OF BUFFER PADS IS MANDATORY.
 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECH-PAVERS.com

7 DRAIN PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
Corner Pedestal Application

CORNER PEDESTAL APPLICATION
 ENLARGED PLAN VIEW & SECTION DETAILS

National Distribution Tel: 213-380-5560
 Toll Free: 888-380-5575 Fax: 213-380-5561

ENLARGED PLAN VIEW

CORNER PEDESTAL APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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 2. DRAWING NOT TO SCALE.
 3. USE OF BUFFER PADS IS MANDATORY.
 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECH-PAVERS.com

5 CORNER PEDESTAL APP. DETAIL NTS

Tile Tech Inc.
Sample Initial Installation

SAMPLE INITIAL INSTALLATION
 USING "T" SHAPED PATTERN

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 Toll Free: 888-380-5575 Fax: 213-380-5561

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.TILETECH-PAVERS.com

3 SAMPLE INITIAL INST. DETAIL NTS

Tile Tech Inc.
Base Slope Plate

BASE SLOPE PLATE
 BASE SLOPE ADJUSTMENT FROM 0" TO 1" (0-8%) PER FOOT SLOPE.

National Distribution Tel: 213-380-5560
 Toll Free: 888-380-5575 Fax: 213-380-5561

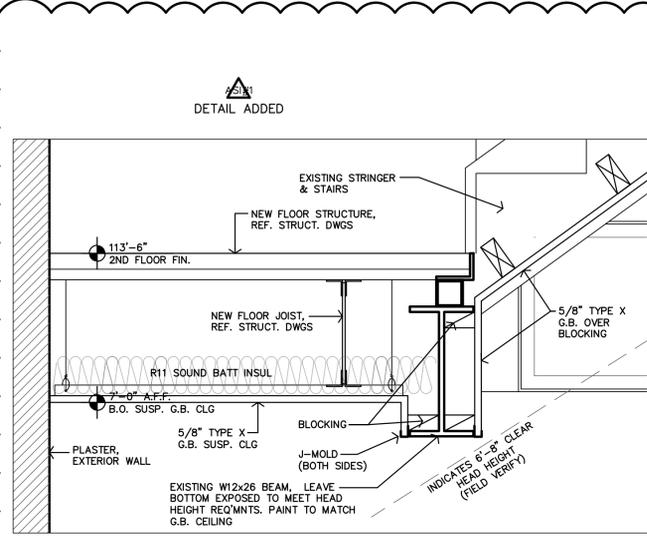
BASE SLOPE PLATE APPLICATION - SECTION DETAILS

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
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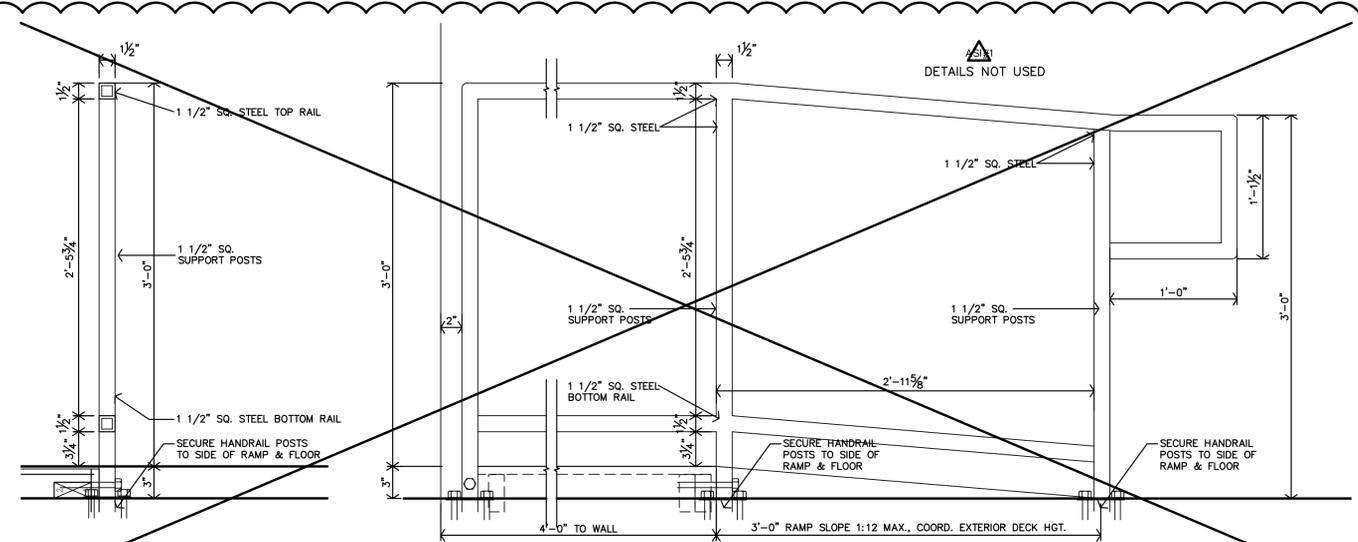
1 BASE SLOPE PLATE DETAIL NTS

PRELIMINARY DRAWING

REVISION: 4-25-2024
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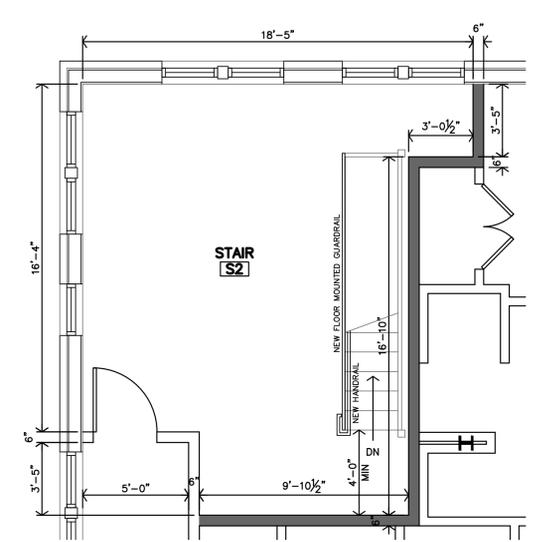


H S2 STAIR LANDING SECTION
1 1/2" = 1'-0"

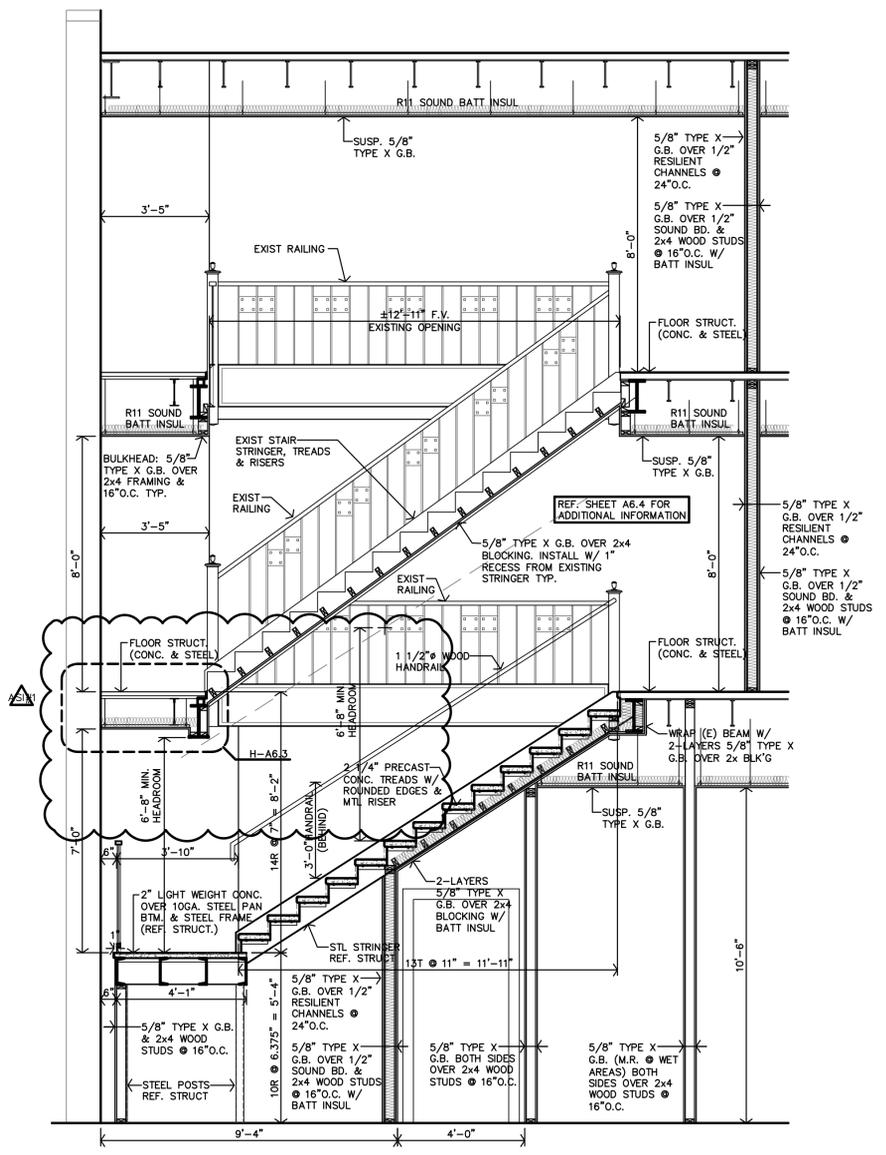


G DOOR 217 RAMP SECTION
1 1/2" = 1'-0"

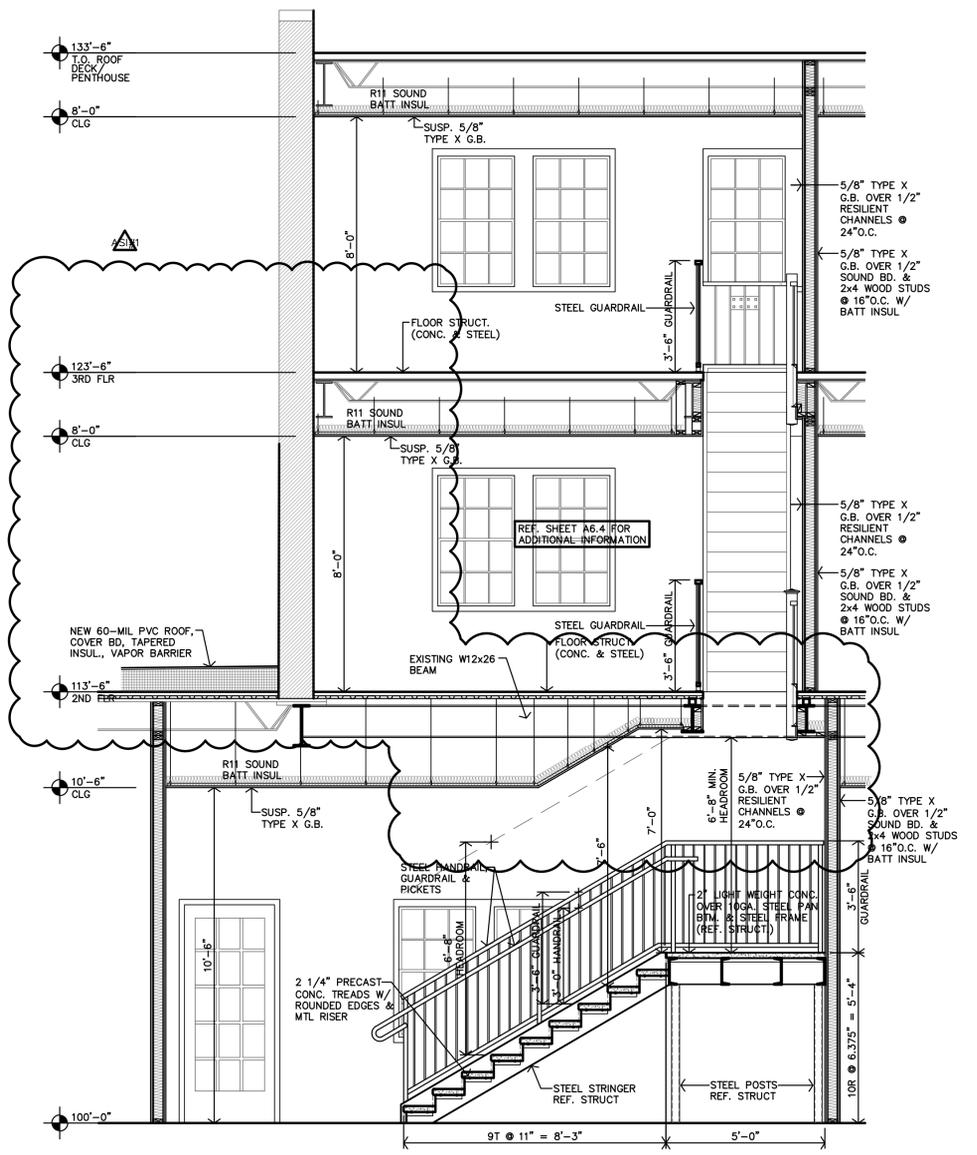
F DOOR 217 RAMP ELEVATION
1 1/2" = 1'-0"



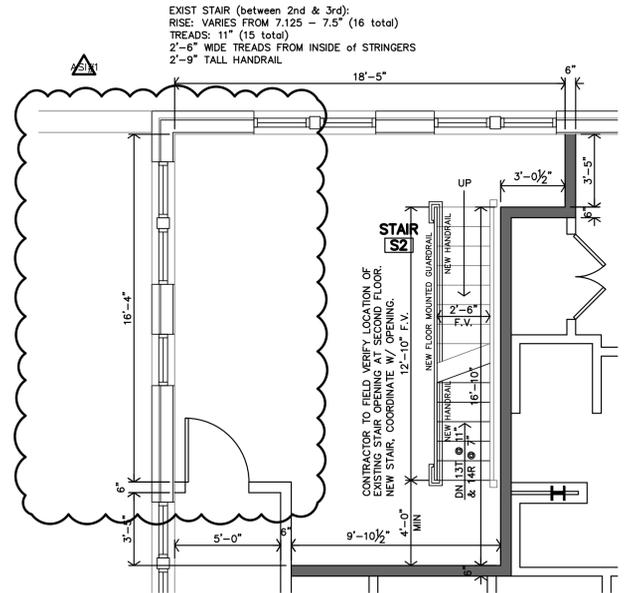
C STAIR S2 ENLARGED 3RD FLR. PLAN
1/4" = 1'-0"



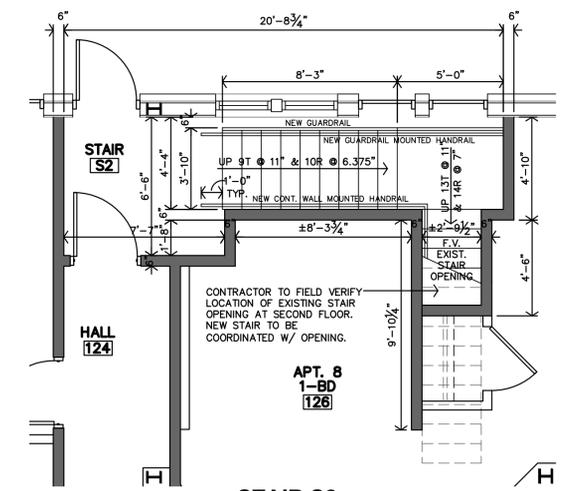
E STAIR S2 SECTION
3/8" = 1'-0"



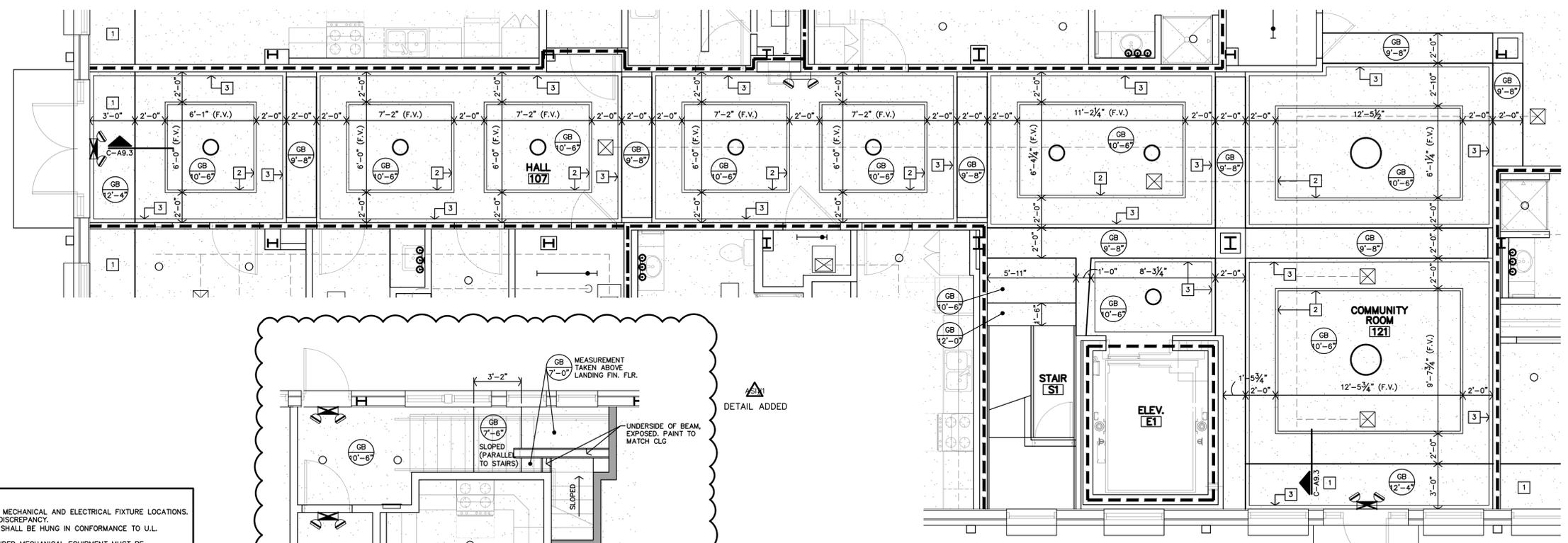
D STAIR S2 SECTION
3/8" = 1'-0"



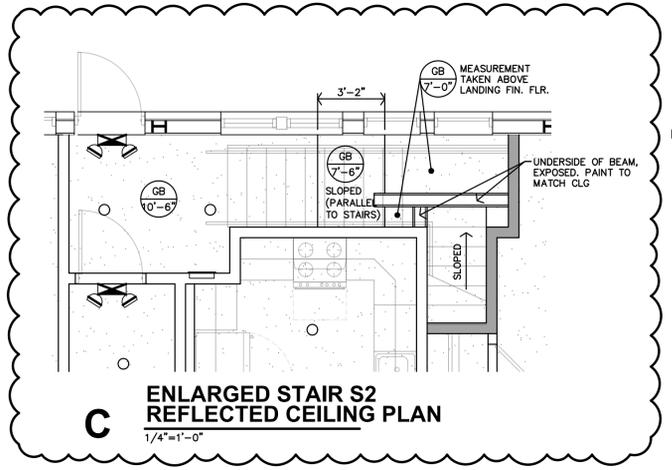
B STAIR S2 ENLARGED 2ND FLR. PLAN
1/4" = 1'-0"



A STAIR S2 ENLARGED FIRST FLR. PLAN
1/4" = 1'-0"



B ENLARGED FIRST FLOOR REFLECTED CEILING PLAN
 1/4"=1'-0"



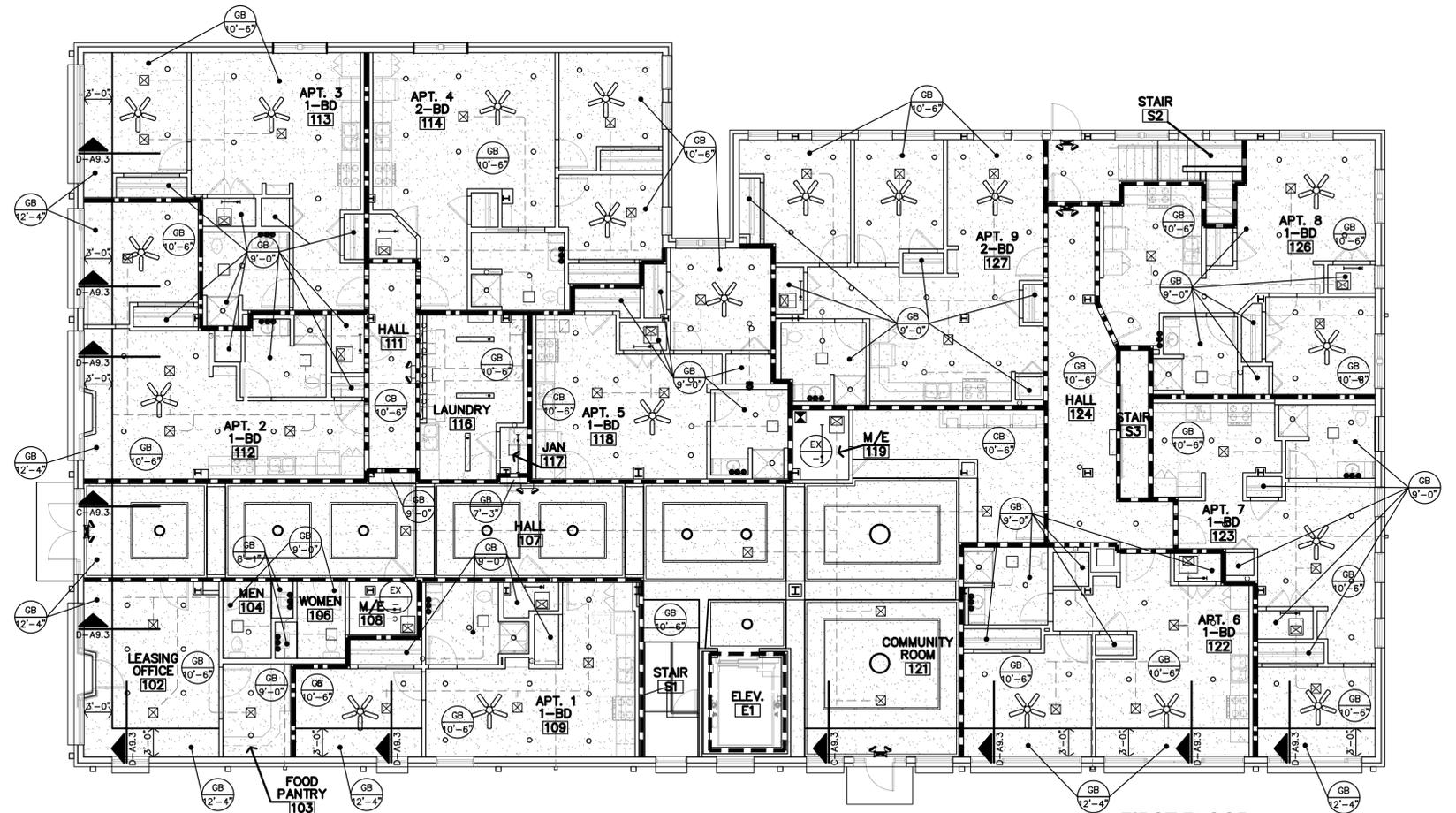
C ENLARGED STAIR S2 REFLECTED CEILING PLAN
 1/4"=1'-0"

CEILING NOTES

GENERAL NOTES		
1. CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.		
2. MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.		
3. CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.		
4. WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.		
5. FIELD VERIFY HEIGHT TO UNDERSIDE OF STRUCTURE, AT ALL NEW GYP. BD. CEILINGS. NOTIFY ARCHITECT TO COORDINATE FINAL FINISHED CEILING HEIGHTS.		
6. ALL LISTED CEILING HEIGHTS ARE AS ANTICIPATED. SUBJECT TO CHANGE BASED ON FIELD VERIFICATION OF UNDERSIDE OF STRUCTURE.		
SPECIFIC NOTES		
1	RECESSED CEILING ALCOVE NEXT TO STOREFRONT & TRANSOM WINDOW.	
2	NEW CEILING-MOUNTED, 2" THICK ACCENT TRIM/MOLDING	
3	NEW CEILING CROWN MOLDING	
CEILING TYPES		
REFER SPECIFICATIONS		
GB	GYP. BD (PAINTED)	NON-RATED WALLS
ST	EXPOSED STRUCTURE	1/2 HOUR FIRE PARTITION; CORRIDOR
P	EXIST./NEW PLASTER (PAINTED)	1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
		1 HOUR SHAFT WALL
SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION, AT RATED WALLS.		
1	CLG. TYPE	INDICATES G.B. CEILING FINISH
8'-8"	CLG. HEIGHT (ASSUMED)	INDICATES A LOWERED SOFFIT/CEILING AREA

CEILING NOTES

GENERAL NOTES		
1. CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.		
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2	NEW CEILING-MOUNTED, 2" THICK ACCENT TRIM/MOLDING	
3	NEW CEILING CROWN MOLDING	
CEILING TYPES		
REFER SPECIFICATIONS		
GB	GYP. BD (PAINTED)	NON-RATED WALLS
ST	EXPOSED STRUCTURE	1/2 HOUR FIRE PARTITION; CORRIDOR
P	EXIST./NEW PLASTER (PAINTED)	1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
		1 HOUR SHAFT WALL
SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION, AT RATED WALLS.		
1	CLG. TYPE	INDICATES G.B. CEILING FINISH
8'-8"	CLG. HEIGHT (ASSUMED)	INDICATES A LOWERED SOFFIT/CEILING AREA

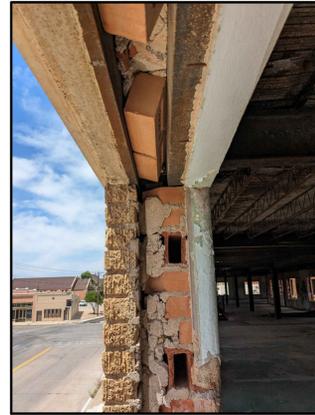


A FIRST FLOOR REFLECTED CEILING PLAN
 1/8"=1'-0"

REVISION:
 4-25-2024
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:



9 PHOTOGRAPH
NO SCALE



8 PHOTOGRAPH
NO SCALE



7 PHOTOGRAPH
NO SCALE



6 PHOTOGRAPH
NO SCALE



5 PHOTOGRAPH
NO SCALE



4 PHOTOGRAPH
NO SCALE



3 PHOTOGRAPH
NO SCALE



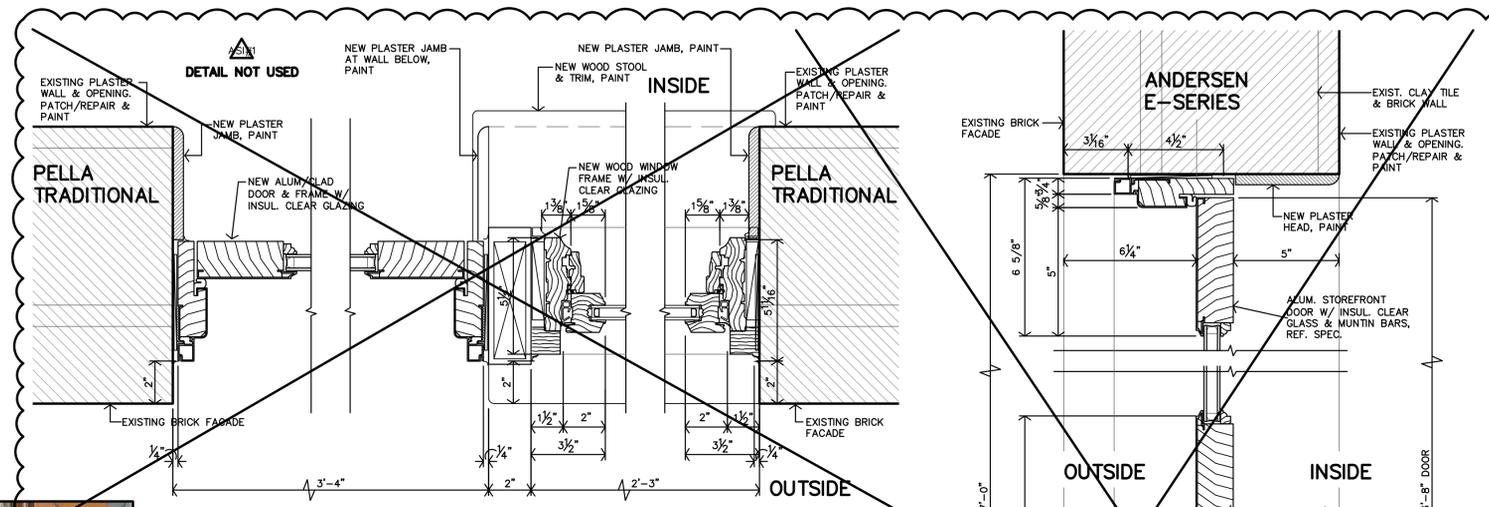
2 PHOTOGRAPH
NO SCALE



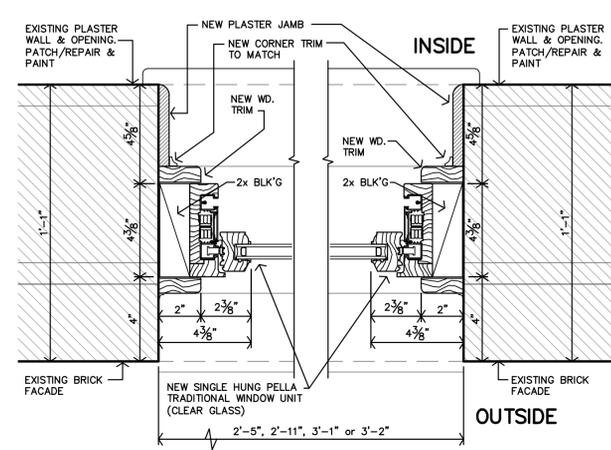
1 PHOTOGRAPH
NO SCALE



HISTORIC PHOTOGRAPH
NO SCALE



E REPLACEMENT WINDOW U & DOOR 217 JAMB/MULLION DETAILS
3"=1'-0"



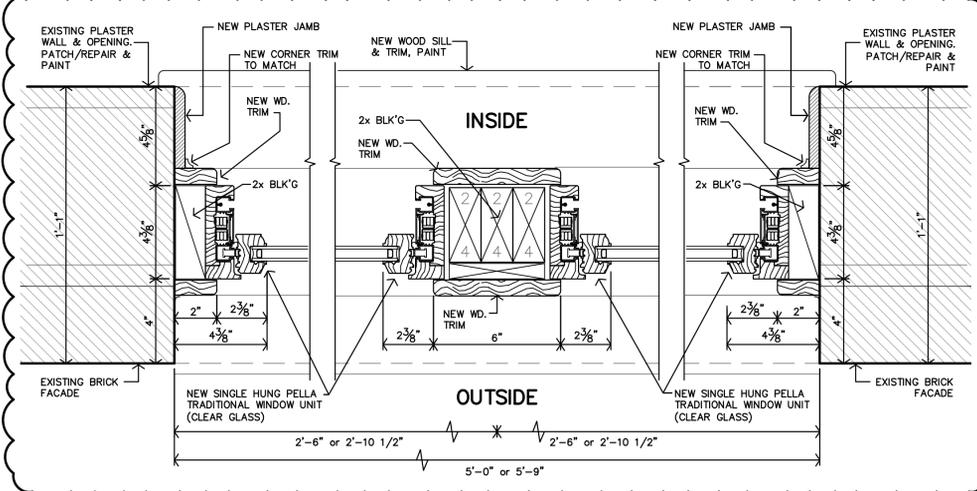
D REPLACEMENT WINDOWS L/N/P/S JAMB/MULLION DETAILS
3"=1'-0"

GENERAL NOTES REPLACEMENT WINDOWS
REMOVE & REPLACE, Confirm location of EXISTING windows

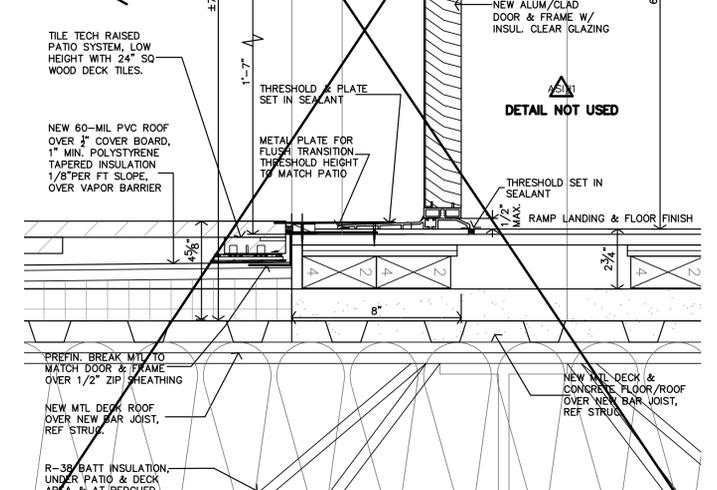
BASIC SCOPE & MAINTENANCE

- Removal of EXISTING caulking, window, frame, anchors etc.
- Protect adjacent substrate, siding, stone, brick, stucco, etc. from damage
- Clean, repair, patch, opening to be solid secure & ready for new window
- Repainting & sealing opening to match original
- Caulking new window to EXISTING opening, high quality elastomeric caulk.

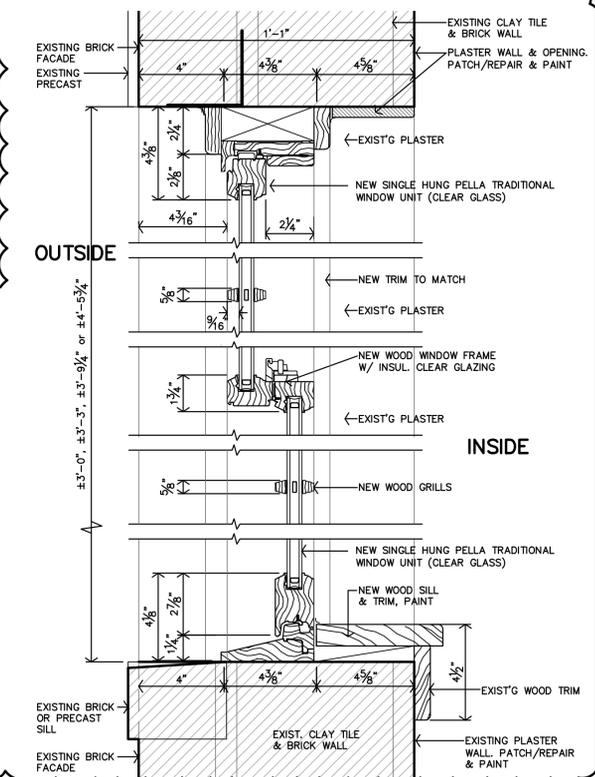
WEATHERIZATION
Caulking & sealing around the masonry openings, installing weatherstripping
All exterior openings to receive liquid-applied flashing membrane per specifications.



C REPLACEMENT/NEW WINDOWS M/R JAMB/MULLION DETAILS
3"=1'-0"



B REPLACEMENT DOOR 217 HEAD & SILL DETAILS
3"=1'-0"



A REPLACEMENT/NEW WINDOWS L/M/N/P/R/S/U HEAD & SILL DETAILS
3"=1'-0"