



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Roosevelt Lofts Historic Rehabilitation San Angelo, TX	Report No.	Ten (10)
OWNER:	Overland Property Group 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	Feb. 27, 2025
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	22-3281
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

Contractor to make adjustments as needed and required per the modifications as indicated on revised attached drawings and in the below descriptions.

1. First Floor – Finished Floor Changes
 - a. Apartment 2 (#112)
 - i. Concrete along south wall of living room is shown wider, at approx. 12".
 - ii. Concrete underneath kitchen cabinets, is wider, shown approx. 4" past the cabinets.
 - iii. Concrete runs across from kitchen to back wall of bathroom, shown approx. 16" wide.
 - iv. Concrete across back of laundry alcove, shown approx. 12" wide.
 - b. Hall #107
 - i. Concrete along alcove & door opening into Hall #111, approx. 14" wide
 - c. Laundry #116
 - i. Concrete along south wall is shown wider, at approx. 12".
 - ii. Concrete along west wall is shown approx. 18" wide.
 - iii. Concrete patches under washing machines (2 shown), approx. 48" x 24".
 - d. Apartment 5 (#118)
 - i. Concrete along south wall is shown wider, at approx. 12".
 - e. Community Room #121
 - i. S1 – Concrete underneath stair, adjacent to Elev.
 - ii. New Terrazzo patch to match existing along south wall, adjacent to entry door.
 - iii. New Terrazzo patch to match existing around column in NE corner.
 - iv. New Terrazzo patch to match existing along east wall, at door opening into Hall #124.
 - f. Apartment 6 (#122)
 - i. Concrete along south wall of bedroom, approx. 24" wide.
 - ii. Concrete along north wall, behind laundry alcove, approx. 12" wide.
 - iii. Mosaic Ceramic tile in bathroom, to match other apartment bathrooms.
 - g. Apartment 9 (#127)
 - i. Vinyl Tile extended further into Kitchen area, approx. 12" additional.
 - ii. Concrete strip at kitchen, extending from VT area to south wall, approx. 16" wide.
 - iii. Mosaic Ceramic Tile in bathroom, to match other apartment bathrooms.

Attachments:

1. Revised Sheet A2.9

Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
 Maggie Gillam, Project Manager 785-827-0386 mgillam@jgrarchitects.com

Copies to:

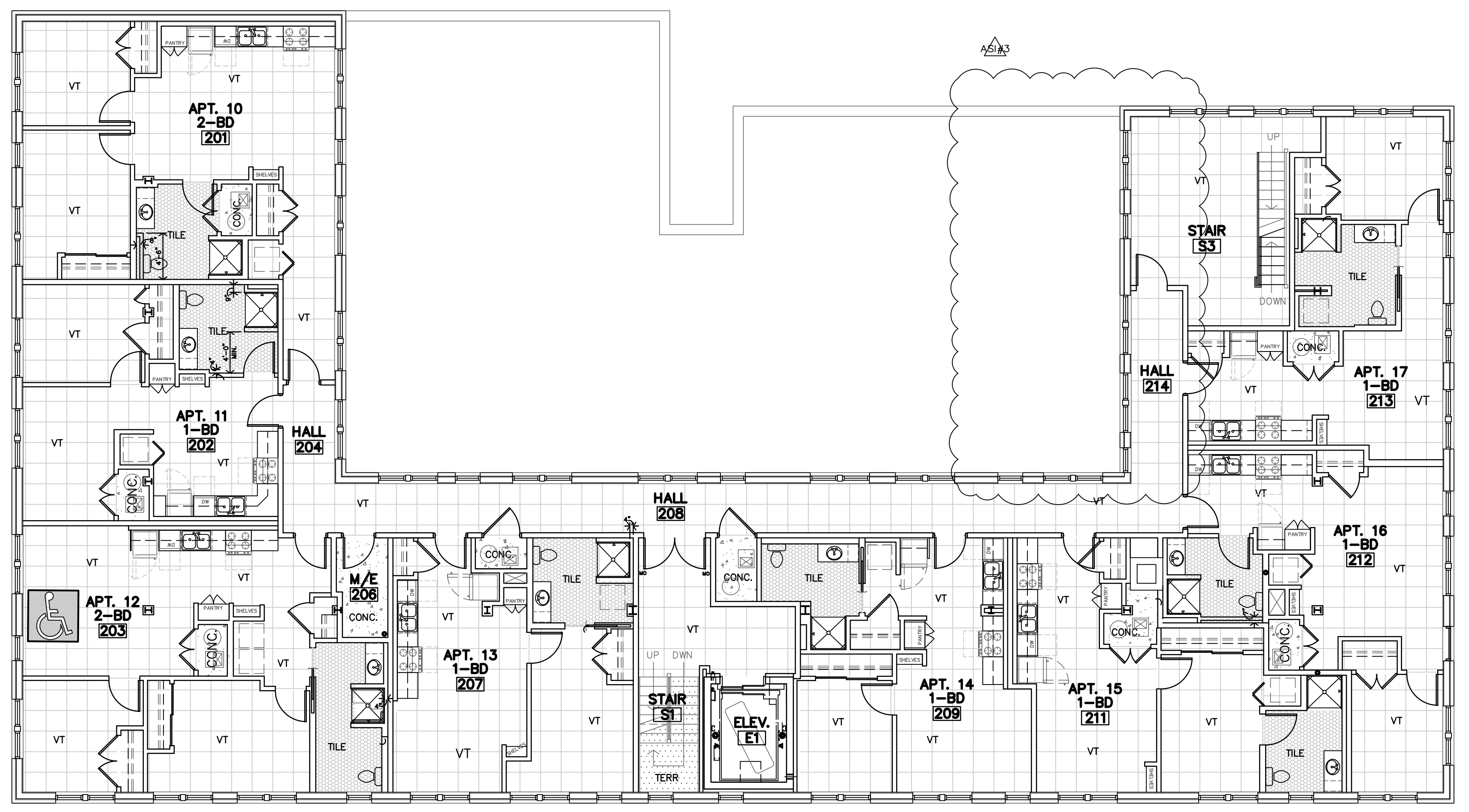
MCP Group - Eric Hubener, Will Allen, Jackson Luff
 OPG - Dan Maximuk, Amanda Klaus, April Engstrom, Caroline Hurst
 LST - Brian Ochs
 Structural - Brent Engelland



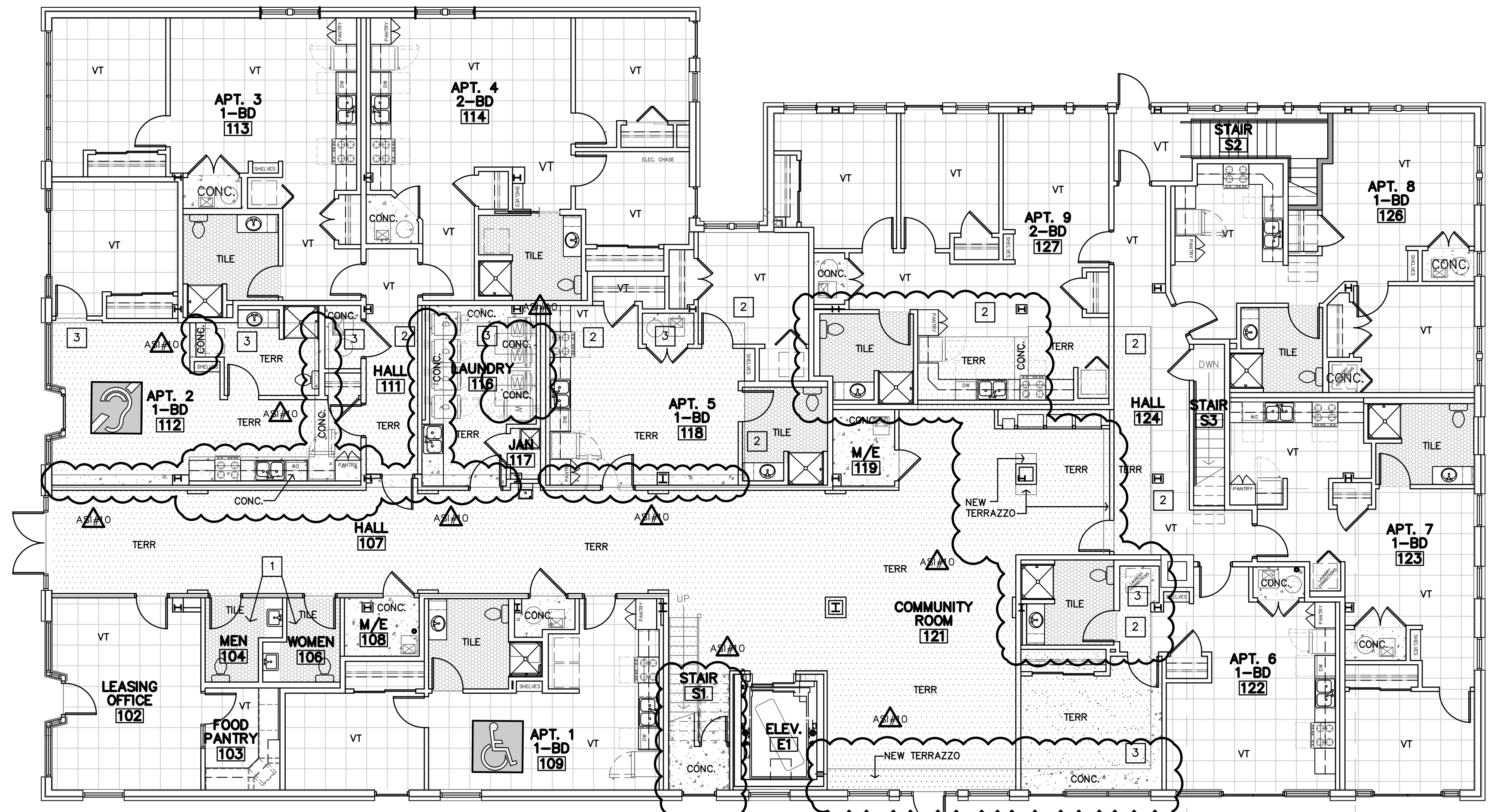
REVISION:

AS/A3	5-8-2024
AS/A0	2-24-2025

DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:



B SECOND FLOOR FLOOR FINISH PLAN
 3/32"=1'-0" THIRD FLOOR SIMILAR



A FIRST FLOOR FLOOR FINISH PLAN
 1/8"=1'-0"

FLOORING GENERAL NOTES

- FLOORING CONTRACTOR SHALL VERIFY THAT SUBFLOOR IS LEVEL AND PROPERLY PREPPED PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS.
- CONTRACTOR SHALL VERIFY THAT FLOORS ARE PREPPED/"FLOORSTONED" FOR LEVEL TRANSITION BETWEEN DIFFERING MATERIALS.
- CONTRACTOR SHALL COORDINATE WITH INTERIOR ELEVATIONS, FLOOR PLANS AND MISCELLANEOUS DETAILS TO VERIFY ALL AESTHETIC ACCENTS AND DETAILS.
- CUT TILE TIGHT AROUND DOOR FRAMES, AT VT FLOORS INSTALL CLEAR SILICONE SEALANT AT THE FLOOR/FRAME TRANSITION.
- INSTALL METAL SCHLUTER TRANSITION BETWEEN FLOOR & WALL MATERIAL TRANSITIONS UNLESS BULLNOSE OR WOOD TRIM IS INDICATED.
- ADD REDUCER STRIP AT ALL FLOORING TRANSITIONS.
- UNIT KITCHEN & BATH: AT REMOVABLE CABINET FRONTS, WALLS TO BE FINISHED & FLOORING CONTINUOUS UNDERNEATH. NO PLUMBING MODIFICATIONS ALLOWED AFTER CABINET FRONT IS REMOVED.
- VINYL TILE: PATCH, FILL VOIDS AND ENSURE FLOOR IS LEVEL & READY FOR NEW INSTALLATION APPROVED BY THE FLOOR MANUFACTURER.
- CARPET: PATCH, FILL VOIDS, SAND AND LEVEL, BEFORE INSTALLING.

SPECIFIC NOTES

- AT MEN'S #104 AND WOMEN'S #106 - MOSAIC FLOORING PATTERN, REFERENCE DETAIL U-AB.1
- VINYL & CERAMIC TILE TO TERRAZZO TRANSITIONS: CUT/TRIM TERRAZZO SO THAT A STRAIGHT CLEAN LINE IS CREATED. USE A STAINLESS STEEL SCHLUTER SCHIENE TRIM (OR EQUIVALENT) BETWEEN THE TERRAZZO AND VINYL TILE.
- AT AREAS WHERE TERRAZZO DOESN'T MEET WALLS, AND SMALL PORTION OF SUB FLOORING IS EXPOSED. INSTALL SEALED CONCRETE. CONCRETE TO HAVE SIMILAR TEXTURE AND COLOR AS ORIGINAL TERRAZZO FLOOR. INSTALL NEW CONCRETE IN A SIMILAR FASHION TO REPLACEMENT TERRAZZO. REFERENCE SHEET A10.1 FOR ADDITIONAL DETAILS.

