



Jones Gillam Renz Architects

Address

730 N 9th St.
Salina, KS 67401

1881 Main St., Suite 301
Kansas City, MO 64108

Contact

jgr@jgrarchitects.com
(785) 827-0386

Web

jgrarchitects.com

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Roosevelt Lofts Historic Rehabilitation San Angelo, TX	Report No.	Two (2)
OWNER:	Overland Property Group 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	April 29, 2024
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	22-3281
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

- 1) Contractor to make adjustments as needed and required per the modifications as indicated on revised attached drawings and in the below descriptions.
 - a. Alternate #3 has been selected and all interior partitions will use metal studs in lieu of wood studs.
 - b. Sheet A2.0, Partition Schedule:
 - i. Partition Type 1 and 1b has been modified to show 3-5/8" (or 6") metal studs with 1 layer of sheet rock on unit side and 1 layer of sheet rock over 1/2" resilient channels on the hall or unit side. This assembly is a UL U419, with an STC rating of 50.
 - ii. Partition Type 2 and 2r has been modified to show 3-5/8" metal studs. Type 2r is 1-hour rated and is a UL U419 assembly.
 - iii. Partition Type 3 has been modified to show 6" metal studs.
 - iv. Partition Type 4 has been modified to show 3-5/8" (or 6") metal studs.
 - v. Partition Type 5 has been modified to show 3-5/8" metal studs furred out from a 8" CMU system. This assembly is 2-hr rated and is a UL U905 assembly.
 - c. Sheet A2.0 – detail A has been modified to show metal studs in lieu of wood studs.
 - d. Sheet A2.0 - Apartment General Notes, Note 6 has been modified to reflect changes to removable cabinet locations in the adaptable units.
 - e. Clarification – per addendum #2 – Typical Top of Wall Detail (Metal Stud) was added to the Partition Schedule on Sheet A2.0. This detail was also added to the Partition Schedules on Sheets A2.3, A2.5, A2.6, A2.7 and A2.8.

Attachments:

1. Revised Sheets A2.0

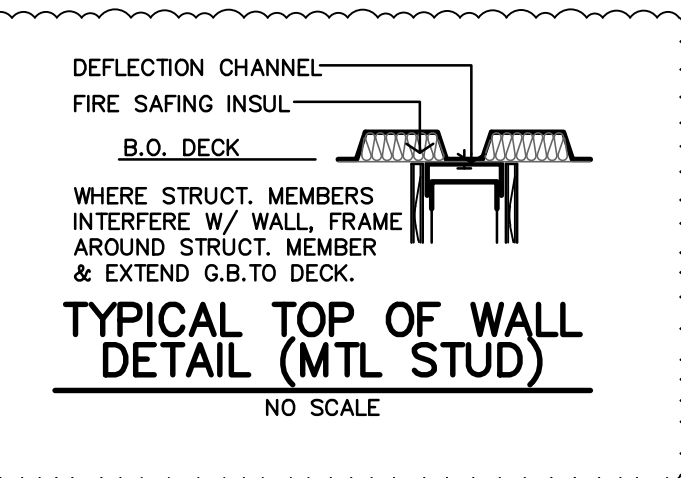
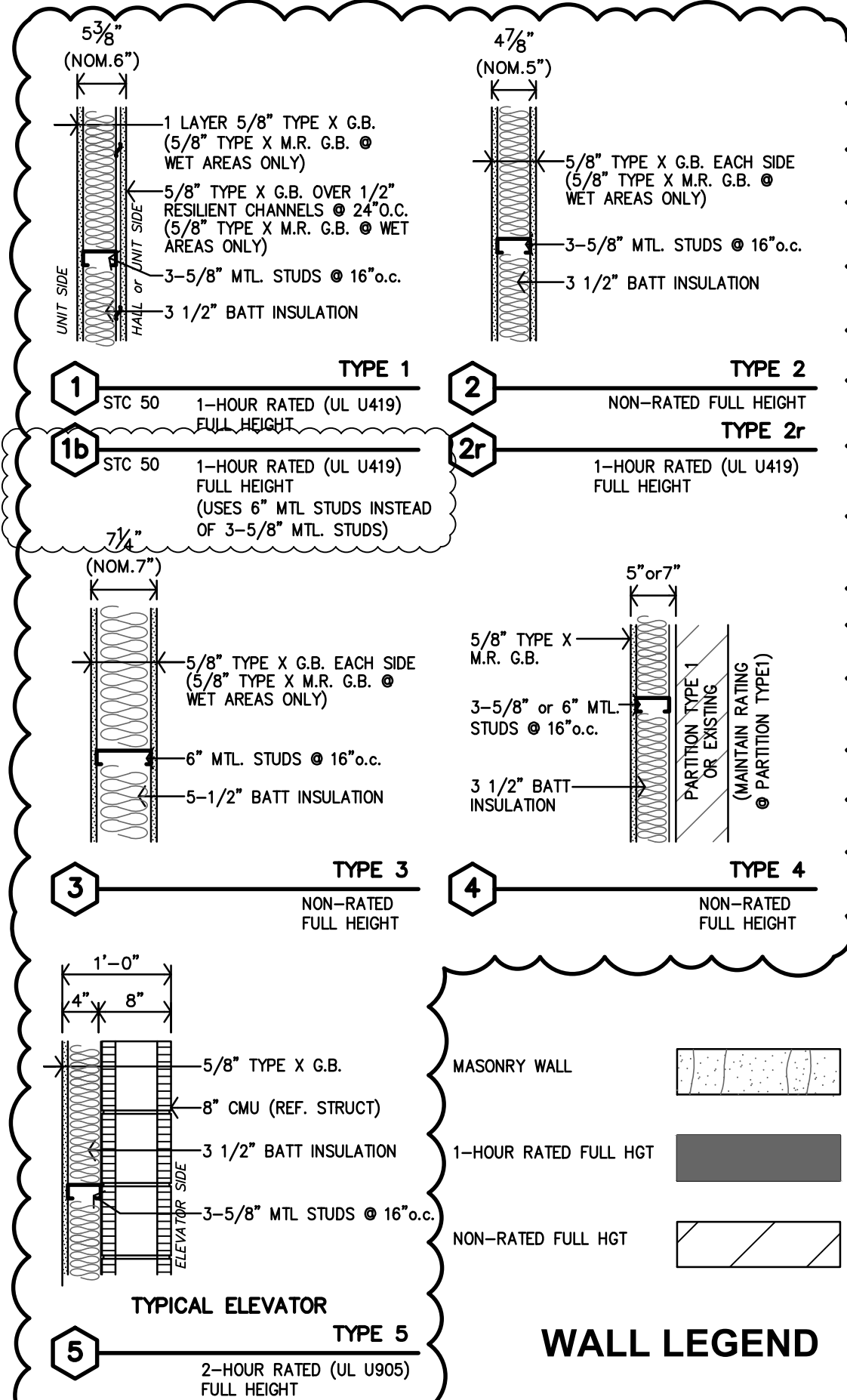
Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Maggie Gillam, Project Manager 785-827-0386 mgillam@jgrarchitects.com

Copies to:

MCP Group - Eric Hubener, Will Allen
OPG - Dan Maximuk, April Engstrom
JGR Architect/Project Manager - Maggie Gillam
LST - Brian Ochs
Structural - Brent Engelland

PARTITION SCHEDULE

- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
- LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT DURING CONSTRUCTION.
- REF. SHEETS A9.1 & A9.2 FOR RATED WALLS, LOCATIONS & CODE INFORMATION
- ALTERNATE: INSTALL METAL STUDS IN PLACE OF WOOD STUDS.
 - 2x4 WOOD STUDS = 3-5/8" METAL STUDS
 - 2x6 WOOD STUDS = 6" METAL STUDS



APT. KITCHEN MATRIX REF. SHEETS A9.4-A9.5

TYPE	UNIT NO.	SIMILAR	MIRRORED
ACCESSIBLE TYPE 1	109		
TYPE 2	112,113,114,118,122,201,301		207,307
TYPE 3 (NOT USED)			
TYPE 4	127		
TYPE 5	123		
TYPE 6	126		
ACCESSIBLE TYPE 7	203	303	
TYPE 8	202,302		
TYPE 9	209,309		
TYPE 10	211,311		
TYPE 11	212,213,312,313		

APT. BATH MATRIX REF. SHEETS A8.3-A8.6

TYPE	UNIT NO.	SIMILAR
ACCESSIBLE TYPE 1	109	
TYPE 2	112	118,122,126,212,312
TYPE 3	113	
TYPE 4	202,302	201,301
TYPE 5	127	
TYPE 6	123	
ACCESSIBLE TYPE 7	203	303
TYPE 8	207,307	114
TYPE 9	209,309	
TYPE 10	211,311	
TYPE 11	213,313	

HISTORIC PRESERVATION NOTES

- STRUCTURE, MASONRY AND EXTERIOR WALLS**
- WORK SHALL NOT DAMAGE ANY EXISTING MASONRY, ORNAMENT OR CHARACTER-DEFINING FEATURES. CONTRACTOR TO PROTECT DURING CONSTRUCTION.
 - MASONRY REHABILITATION SHALL CONSIST OF SPOT REPOINTING AND REPAIR/REPLACEMENT OF ISOLATED DETERIORATION. ALL WORK SHALL CONFORM TO PRESERVATION STANDARDS OUTLINED IN THE NATIONAL PARK SERVICE PRESERVATION BRIEFS 1.2 & 6. DETERIORATED MORTAR SHOULD BE REMOVED TO SOUND MORTAR. NEW MORTAR SHOULD MATCH EXISTING IN COLOR, TEXTURE, COMPOSITION, AND JOINT PROFILE.
 - NATIONAL PARK SERVICE PRESERVATION BRIEF 2 SPECIFIES THE RECOMMENDED COMPOSITION OF MORTARS USED IN HISTORIC BUILDINGS.
 - ANY EXISTING BRICK/STONE TO BE REMOVED SHOULD BE SALVAGED FOR REUSE. IF EXISTING STONE IS DAMAGED BEYOND REPAIR, NEW MATERIAL MUST MATCH THE HISTORIC/EXISTING IN SIZE, COLOR, AND TEXTURE.
 - IF IT IS NECESSARY TO REMOVE PARCH, SOLING, OR BIO GROWTH FROM EXTERIOR BRICK/STONE, IT SHOULD BE ACCOMPLISHED USING THE GENTLEST MEANS POSSIBLE TO AVOID DAMAGING THE HISTORIC MASONRY. CONTACT AND REFER TO HISTORIC CONSULTANTS/SPECIALISTS FOR TREATMENT OPTIONS.
 - STUCCO REPAIR SHOULD BE ACCOMPLISHED IN ACCORDANCE WITH NATIONAL PARK SERVICE PRESERVATION BRIEF 2.2.

- WINDOWS**
- ANY REMAINING WINDOWS ARE TO BE REMOVED AND REPLACED AS INDICATED ON THE DRAWINGS AND SPECIFIC NOTES PER BUILDING LOCATION. NEW WINDOWS MUST MATCH EXISTING AS CLOSELY AS POSSIBLE IN CONFIGURATION, PROFILE, AND DIMENSION.
 - NEW WINDOWS MAY BE ALUMINUM OR ALUMINUM-CLAD WOOD.
 - GLASS IN WINDOWS MUST BE CLEAR, COLORLESS, AND NON-REFLECTIVE WITH NO LESS THAN 69% VLT AND NO GREATER THAN 11% VLR.

- ALUM. STOREFRONT**
- THE MISSING STOREFRONT & TILE WAINSCOT AT THE FIRST FLOOR ALONG CHADBOURNE & COLLEGE AVE. ARE CHARACTER DEFINING FEATURES AND SHOULD BE RETAINED OR REPLACED IF MISSING, TO MATCH EXISTING.
 - ALL TRANSOMS ABOVE STOREFRONT SHALL BE REPLACED WITH NEW ALUMINUM STOREFRONT AND ETCHED/FROSTED GLAZING.
 - ALL DECORATIVE WOOD TRANSOM CANOPIES SHALL BE REPAIRED OR REPLACED.
 - WOOD CANOPY & ATTACHMENT ACCESSORIES AT THE SOUTH ENTRANCE IS TO BE RESTORED AND REPAIRED. NEW CANOPY IS TO BE INSTALLED AT THE WEST ENTRANCE TO MATCH THE EXISTING SOUTH CANOPY.

- INTERIOR**
- NEW PARTITIONS SHOULD NOT INTERSECT WINDOWS. ANY PARTITION OR DROPPED CEILING THAT JOGS IN FRONT OF WINDOWS SHOULD BE HELD BACK A MIN. OF 3 FEET.
 - INTERIOR PLASTER WALLS SHALL REMAIN, BE REPAIRED AND REPLACED, FISHED TEXTURE, AND THICKENS TO MATCH EXISTING..
 - TERRAZZO FLOORS ON FIRST FLOOR SHALL BE GRINDED DOWN AT AREAS WHERE WALLS WERE REMOVED, CLEANED AND REPAIRED.
 - STAIR STRINGERS, PANS, RAILS (WEAR REMAINING) SHALL BE RETAINED IN MOST AREAS (REFERENCE PLAN). REPLACE MISSING RAILINGS, POSTS AND TOPPERS. CLEAN & REPAIR.

MECHANICAL, ELECTRICAL, PLUMBING

- NEW HVAC SHALL RUN ABOVE CEILINGS AND DUCTS ARE NOT TO BE EXPOSED.
- ROOFTOP EQUIPMENT SHALL NOT BE VISIBLE FROM GROUND.
- ELECTRICAL CONDUIT SHALL RUN ABOVE CEILINGS AND WITHIN WALLS (EXCEPT AT PLASTER WALLS). EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT SURFACES.
- NEW PLUMBING SHALL NOT BE EXPOSED.

- ROOF**
- REPAIR OR REPLACE ROOF SURFACE AS NEEDED. NEW FLASHING AT BRICK/STONE PARAPET SHALL MATCH BRICK/STONE IN COLOR.
 - ANY NEW STRUCTURES, HVAC EQUIPMENT SHALL BE HELD BACK FROM THE PARAPET SO THAT IT IS MINIMALLY, IF AT ALL, VISIBLE FROM THE GROUND.

ARCHITECTURAL FLOOR PLAN NOTES

- CONTRACTOR TO ENSURE THAT ALL PLUMBING WALLS AT EACH UNIT STACK FROM FLOOR TO FLOOR.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & EXISTING CONDITIONS.
- INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
- ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
- ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MIN. CLEARANCE REQUIRED.
- IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
- NEW DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA.
- MIO = INDICATES DOOR WITH MAGNETIC HOLD OPEN
- ECC = FIRE EXTINGUISHER CABINET & EE = FIRE EXTINGUISHER.
- FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2021 IBC, SECTION 906.1. REF. SHEET A2.1 CONTRACTOR TO VERIFY EXISTING FIRE EXTINGUISHER CABINET LOCATIONS AND SIZE WILL MEET FOR NEW EXTINGUISHER.
- CONTRACTOR TO VERIFY EXISTING FIRE EXTINGUISHER CABINET LOCATIONS AND SIZE WILL MEET FOR NEW EXTINGUISHER.
- FURNITURE SHOWN IS BY OWNER OR TENANT.
- SUBMIT VERIFICATION THAT ALL CONSTRUCTION MATERIAL WILL MEET US EPA CRITERIA PARTICULARLY MATERIALS THAT WILL BE OBTAINED FROM INTERNATIONAL SOURCES. ALSO PROVIDE VERIFICATION THAT THE CONSTRUCTION WILL NOT RESULT IN OR CONTAIN HAZARDOUS MATERIALS.
- ALL BLOCKING TO BE 2x8 FIRE TREATED

APARTMENT GENERAL NOTES

- ALL WALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT NEW PARTY WALL AT 10'-0" O.C., TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT ALL BACK TO BACK ELECTRICAL OUTLETS. PROVIDED AND INSTALL ALL FIRE BLOCKING AND DRAFTSTOPS PER 2021 IBC, SECTION 716.2.
- ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED U.L. DESIGNS.
- FE = FIRE EXTINGUISHER, WALL MOUNTED. LOCATION TO BE APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2021 IBC, SECTION 906.1.
- KITCHEN & BATH - REMOVABLE CABINET FRONTS @ SINKS WHERE INDICATED ON ELEVATIONS. WALLS SHALL BE FINISHED & FLOORING CONTINUOUS UNDERNEATH. NO PLUMBING MODIFICATIONS ALLOWED AFTER CABINET FRONT IS REMOVED.
- WHERE REMOVABLE CABINETS ARE INDICATED, CONTRACTOR SHALL PROVIDE HOT WATER & DRAIN PIPES & DISPOSAL COVERS. OWNER TO INSTALL COVERS AFTER CABINET FRONT IS REMOVED AT LATER DATE. CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL COUNTERTOPS/SUPPORT BRACKETS, SHOWER SURROUND & BASES, FUTURE GRAB BARS AND FUTURE SHOWER SEATS, ETC. AS REQ'D. (REF. SHEET A8.6)
- ALL TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
● INSTALL PLASTIC COATED WIRE CLOTHES SHELF & ROD @ 69" AFF
- ACCESSIBLE UNITS:**
● CONTRACTOR SHALL PROVIDE & INSTALL HOT WATER & DRAIN PIPES & DISPOSAL COVERS WHERE PIPING IS EXPOSED.
● CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL INSTALLED GRAB BARS, COUNTERTOPS/SUPPORT BRACKETS, SHOWER SURROUND & BASES, SHOWER SEATS, ETC. AS REQ'D. (REF. SHEET A8.6)
● ALL TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
● INSTALL PLASTIC COATED WIRE CLOTHES SHELF & ROD. HEIGHT AS NOTED.
- HEARING/VISION IMPAIRED:**
● ALL ADAPTABLE UNITS NOTES
● CONTRACTOR SHALL INSTALL EQUIPMENT REQUIRED PER 2010 ADA SEC. 809.5. & ICC A117.1-2021 [SEC. 1106.]
- PER CODE, A TOTAL OF 2 ACCESSIBLE UNITS ARE PROVIDED. THESE ARE LOCATED ON FLOORS 1 AND 2 OF THE BUILDING.
- ALL UNITS WILL COMPLY WITH THE VISIBILITY REQUIREMENTS AS OUTLINED IN THE TEXAS ACCESSIBILITY STANDARDS
- THE FOLLOWING AMENITIES SHALL BE PROVIDED AT ALL UNITS:
 - ALL BEDROOMS, DINING ROOMS AND LIVING ROOMS TO BE WIRED WITH CURRENT CABLING TECHNOLOGY FOR DATA & PHONE.
 - LAUNDRY CONNECTIONS
 - EXHAUST/VENT FANS (VENTED TO OUTSIDE) IN ALL BATHROOMS
 - SCREENS ON ALL OPERABLE WINDOWS
 - DISPOSAL
 - ENERGY-STAR OR EQUIVALENTLY RATED DISHWASHER
 - ENERGY-STAR OR EQUIVALENTLY RATED REFRIGERATOR WITH ICE MAKER
 - OVEN/RANGE
 - BLINDS OR WINDOW COVERINGS FOR ALL WINDOWS
 - AT LEAST ONE ENERGY-STAR OR EQUIVALENTLY RATED CEILING FAN PER UNIT
 - ENERGY-STAR OR EQUIVALENTLY RATED LIGHTING
 - ALL AREAS OF UNIT WILL BE HEATED AND AIR-CONDITIONED
 - ENERGY STAR OR EQUIVALENTLY RATED WINDOWS
 - COVERED ENTRIES
 - NINE FOOT CEILINGS IN LIVING ROOMS AND ALL BEDROOMS
 - MICROWAVE OVENS
 - SELF-CLEANING OR CONTINUOUS CLEANING OVENS
 - BUILT-IN (RECESSED INTO THE WALL) SHELVING UNIT
 - KITCHEN PANTRY WITH SHELVING
 - HARD FLOOR SURFACES IN OVER 50% OF UNIT NRA.
 - RECESSED LED LIGHTING OR LED LIGHTING FIXTURES IN KITCHEN AND LIVING AREAS
 - ENERGY-STAR OR EQUIVALENTLY RATED CEILING FANS IN ALL BEDROOMS.
 - EPA WATERSENSE OR EQUIVALENTLY QUALIFIED TOILETS IN ALL BATHROOMS.
 - EPA WATERSENSE OR EQUIVALENTLY QUALIFIED SHOWERHEADS AND FAUCETS IN ALL BATHROOMS.

APARTMENT CHART

TYPE OF APARTMENT	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
ACCESSIBLE UNITS	#109	#203		2
ADAPTABLE HEARING/VISION IMPAIRED UNIT	#112			1
ADAPTABLE UNITS	ALL REMAINING UNITS			22
TOTAL	24	14	9	25

109 - 1BED ACCESSIBLE
203 - 2BED ACCESSIBLE
112 - HEARING & VISION

NOTE: UNIT NUMBERS SHOWN ARE FOR CONSTRUCTION PURPOSES ONLY & DO NOT REFLECT FINAL UNIT NUMBERING/LETTERING.

SQUARE FOOTAGE

NO.	UNIT	TDHCA NRA	IBC 2021
#109	APARTMENT 1 (1-bedroom)	630 sf	579 sf
#112	APARTMENT 2 (1-bedroom)	703 sf	651 sf
#113	APARTMENT 3 (1-bedroom)	724 sf	674 sf
#114	APARTMENT 4 (2-bedroom)	844 sf	791 sf
#118	APARTMENT 5 (1-bedroom)	608 sf	576 sf
#122	APARTMENT 6 (1-bedroom)	704 sf	658 sf
#123	APARTMENT 7 (1-bedroom)	706 sf	649 sf
#126	APARTMENT 8 (1-bedroom)	719 sf	642 sf
#127	APARTMENT 9 (2-bedroom)	801 sf	843 sf
#201	APARTMENT 10 (2-bedroom)	877 sf	805 sf
#202	APARTMENT 11 (1-bedroom)	604 sf	567 sf
#203	APARTMENT 12 (2-bedroom)	910 sf	849 sf
#207	APARTMENT 13 (1-bedroom)	620 sf	576 sf
#209	APARTMENT 14 (1-bedroom)	610 sf	563 sf
#211	APARTMENT 15 (1-bedroom)	613 sf	584 sf
#212	APARTMENT 16 (1-bedroom)	655 sf	605 sf
#213	APARTMENT 17 (1-bedroom)	630 sf	572 sf
#301	APARTMENT 18 (2-bedroom)	877 sf	805 sf
#302	APARTMENT 19 (1-bedroom)	604 sf	567 sf
#303	APARTMENT 20 (2-bedroom)	910 sf	849 sf
#307	APARTMENT 21 (1-bedroom)	620 sf	576 sf
#309	APARTMENT 22 (1-bedroom)	610 sf	563 sf
#311	APARTMENT 23 (1-bedroom)	613 sf	584 sf
#312	APARTMENT 24 (1-bedroom)	655 sf	605 sf
#313	APARTMENT 25 (1-bedroom)	630 sf	572 sf

