



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Roosevelt Lofts Historic Rehabilitation San Angelo, TX	Report No.	Five (5)
OWNER:	Overland Property Group 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	June 5, 2024
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	22-3281
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

Contractor to make adjustments as needed and required per the modifications as indicated on revised attached drawings and in the below descriptions.

1. Apartment 1 (Rm #109) – Kitchen casework, fixtures and appliances have been rearranged to avoid a conflict between the entry door clearances and the refrigerator. Reference revised sheets A2.3, A-A9.5, M1.8, E1.1
2. Apartment 13 (Rm #207) – Kitchen casework, fixtures, appliances, closet & shelves have been arranged to avoid a conflict between the entry door clearances and the refrigerator. Reference revised sheets A2.5, A9.5, A7.2, M1.9, E1.3, E1.10
3. Apartment 21 (Rm #307) - Kitchen casework, fixtures, appliances, closet & shelves have been arranged to avoid a conflict between the entry door clearances and the refrigerator. Reference revised sheets A2.7, A9.5, A7.2, M1.9, E1.3, E1.12
4. Door 121 (into Apt. 5, Rm #118) – shift door & frame 24" to the east, and swing changes to Right-Hand. Revised plan on Sheet A2.3
5. Kitchen Party Wall between Apt. 14 (Rm #209) & Apt. 15 (Rm #211) – shift 6" to the east. Revised plan on Sheet A2.6
6. Kitchen Party Wall between Apt. 22 (Rm #309) & Apt. 23 (Rm #311) – shift 6" to the east. Revised plan on Sheet A2.8

Attachments:

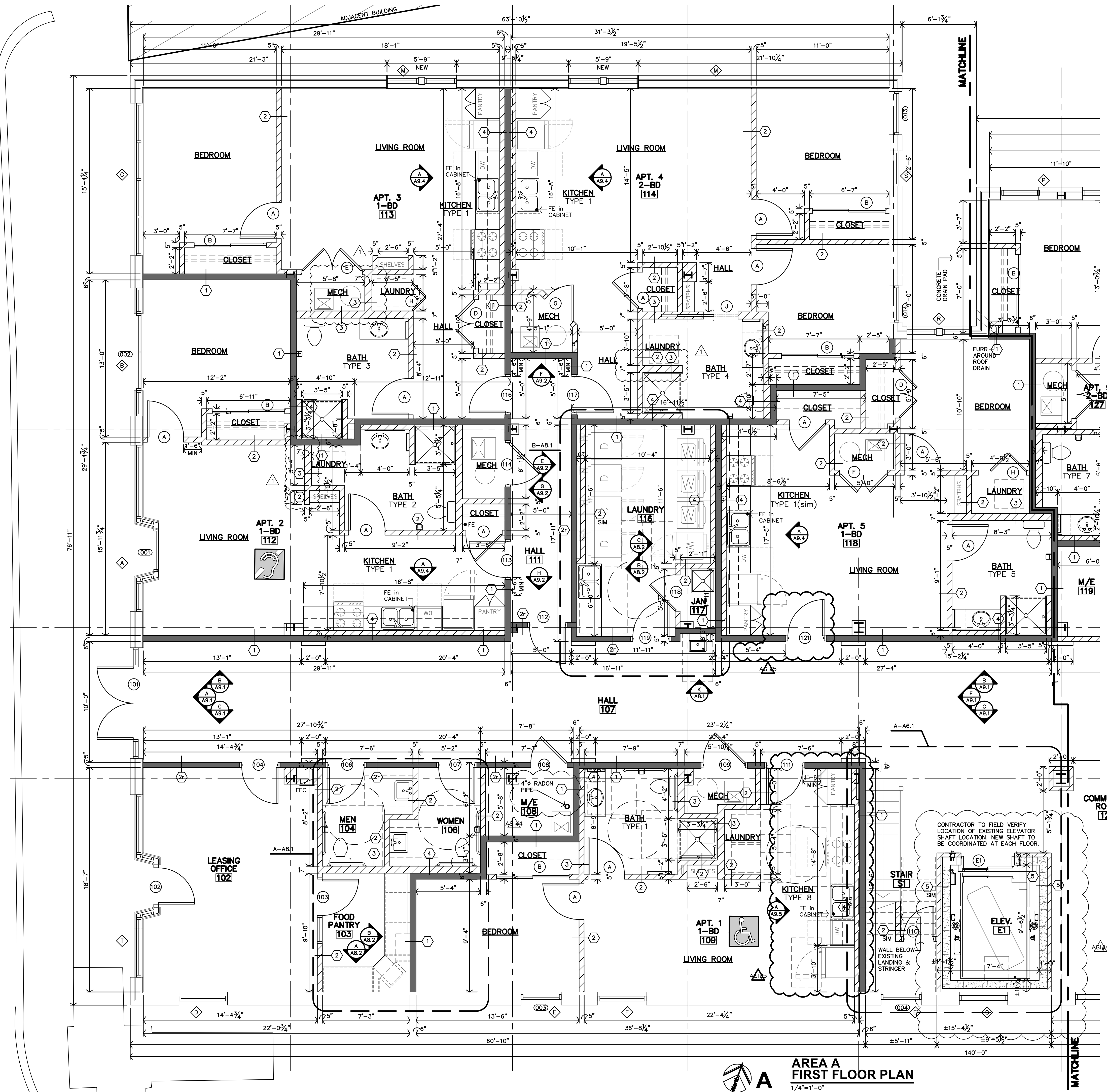
1. Revised Arch Sheets A2.3, A2.5, A2.6, A2.7, A2.8, A7.2 and A9.5
2. Revised MEP Sheets M1.8, M1.9, E1.1, E1.3, E1.10, E1.12

Issued by:

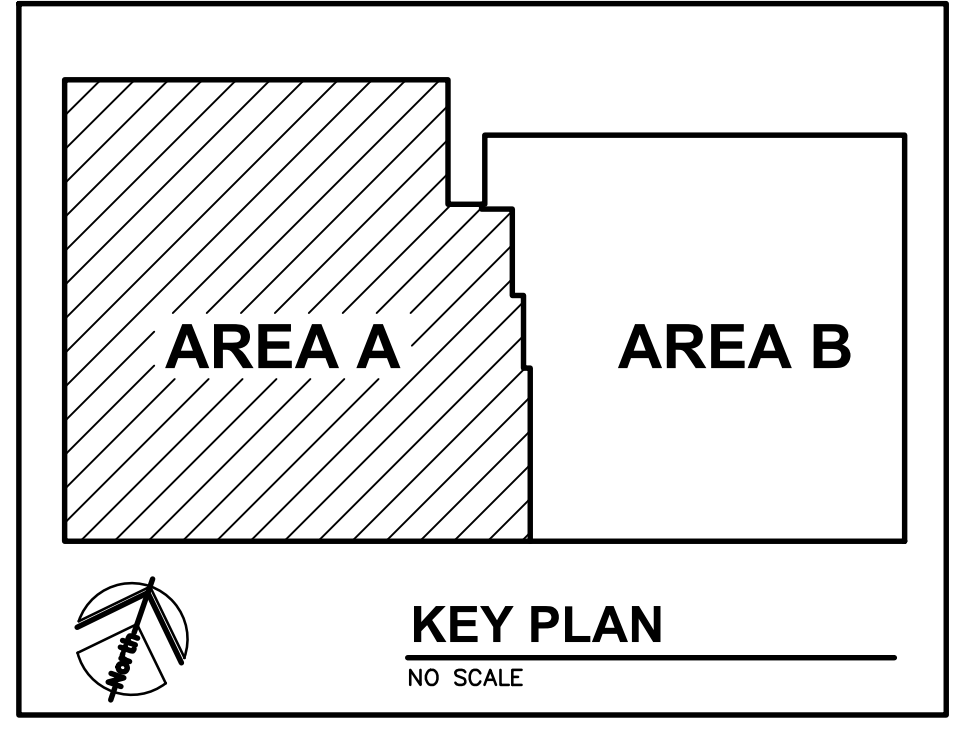
Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Maggie Gillam, Project Manager 785-827-0386 mgillam@jgrarchitects.com

Copies to:

MCP Group - Eric Hubener, Will Allen
OPG - Dan Maximuk, April Engstrom
JGR Architect/Project Manager - Maggie Gillam
LST - Brian Ochs
Structural - Brent Engelland



AREA A FIRST FLOOR PLAN
1/4"=1'-0"

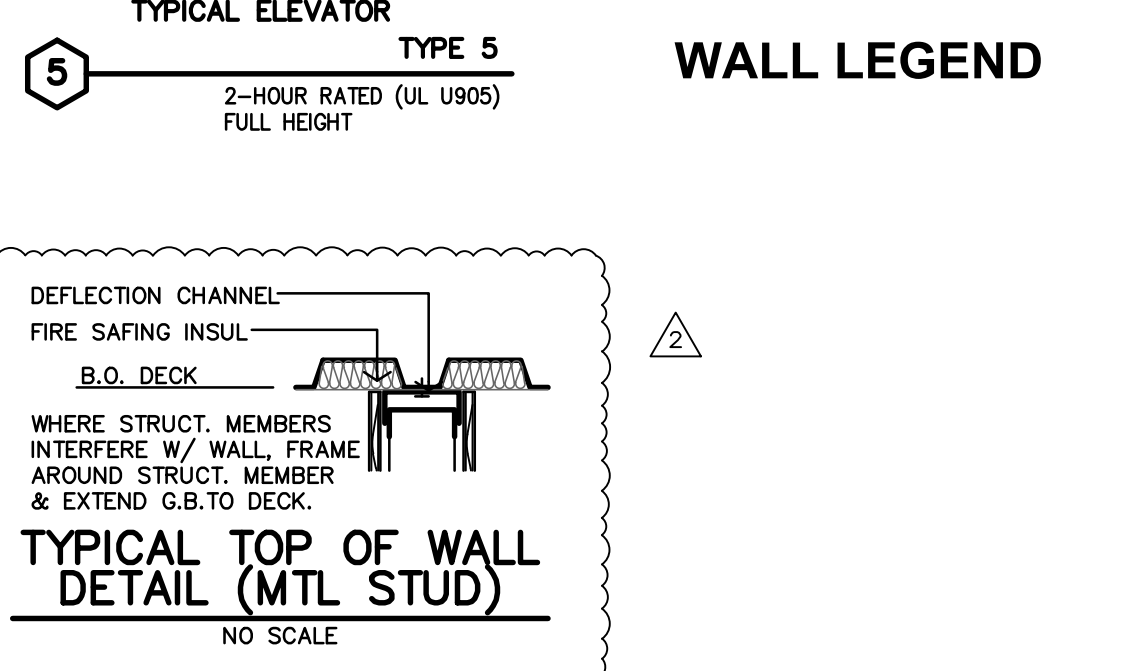
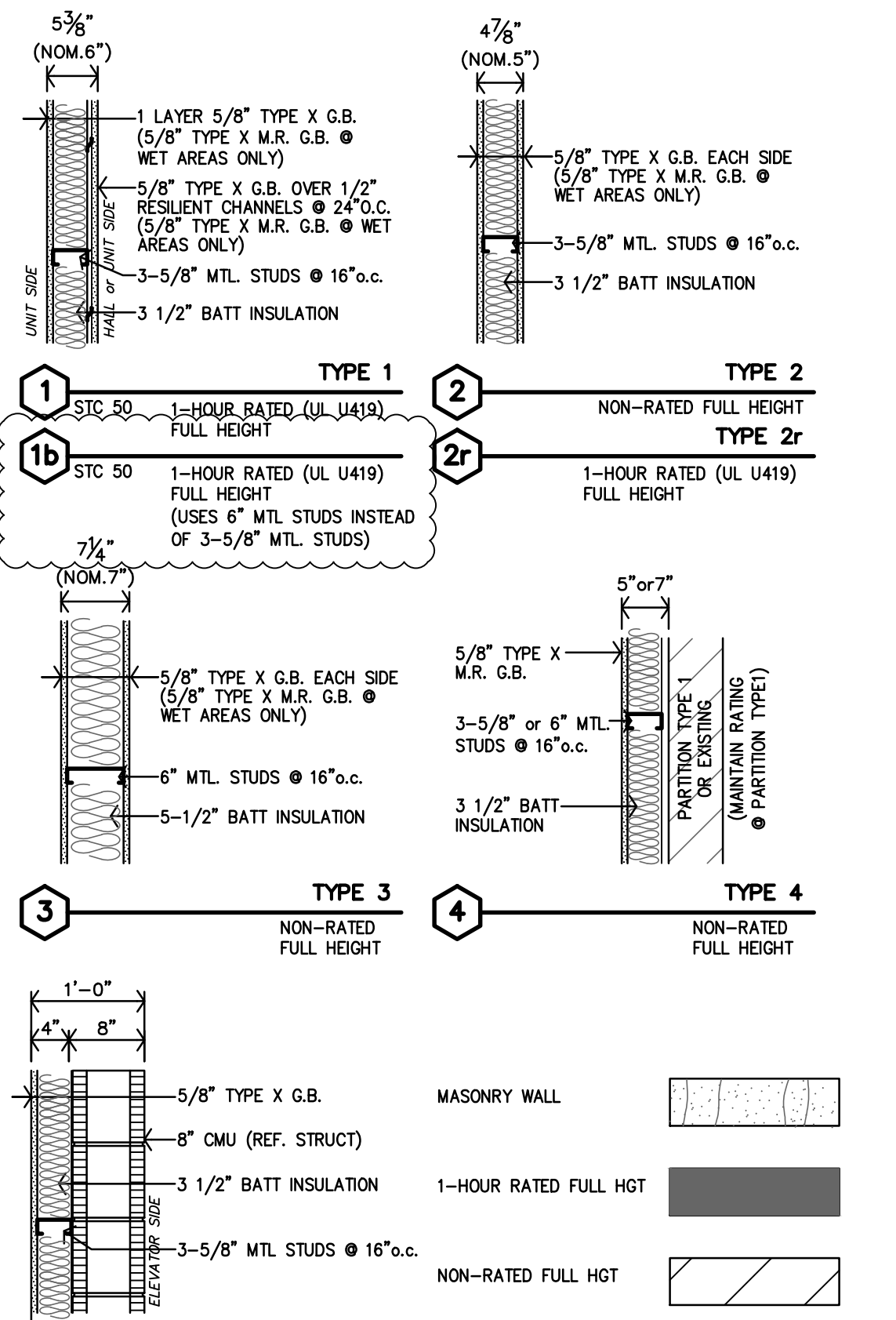


PLAN NOTES

- REF. SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

PARTITION SCHEDULE

- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
- LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT.
- REF. SHEETS G.P., A7.1 & A7.2 FOR BATH WALLS, LOCATIONS & CODE INFORMATION
- ALTERNATE: INSTALL METAL STUDS IN PLACE OF WOOD STUDS.
 - 2x4 WOOD STUDS = 3-5/8" METAL STUDS
 - 2x6 WOOD STUDS = 6" METAL STUDS



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ROOSEVELT LOFTS
HISTORIC REHABILITATION - APARTMENTS
SAN ANGELO, TEXAS



REVISION:
6-5-2024

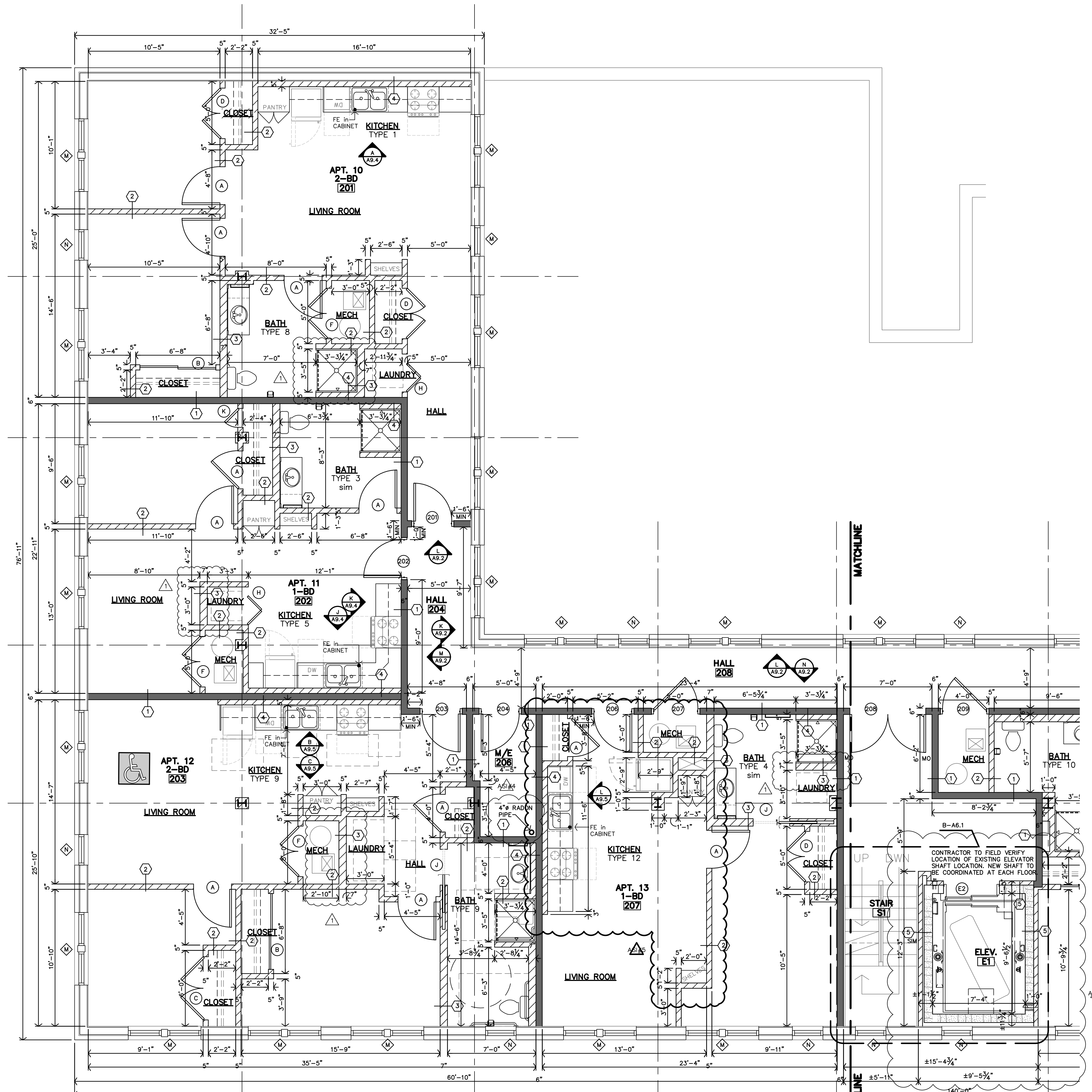
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JOB: 22-3281
SHEET NO.:

PREVIOUS REVISIONS

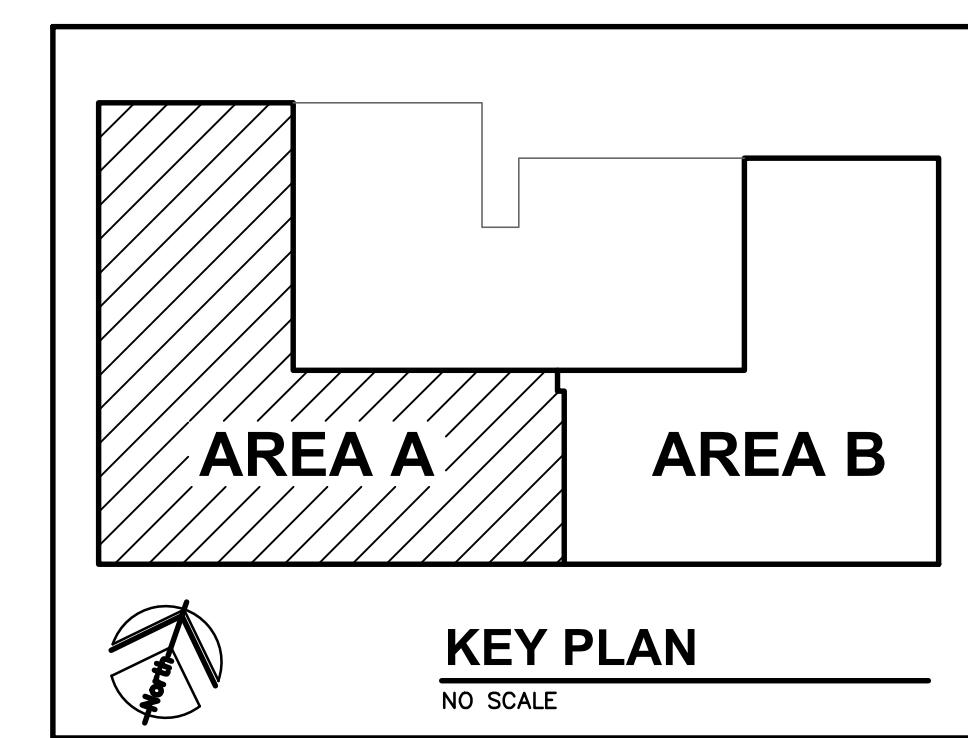
1	2-20-2024
2	2-23-2024
AS14	5-29-2024

A2.3

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AREA A SECOND FLOOR PLAN
1/4"=1'-0"

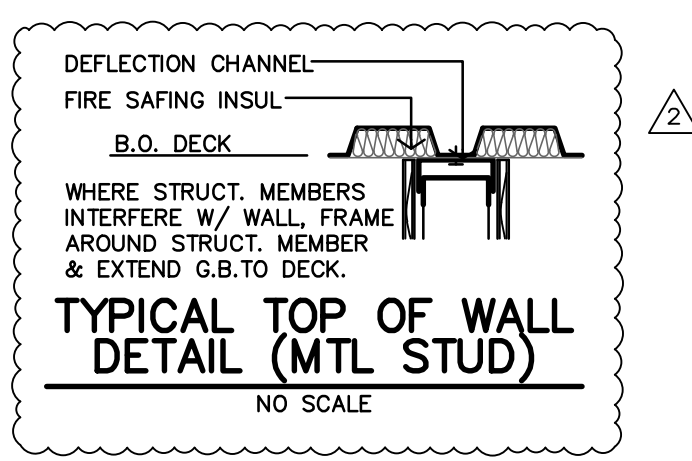
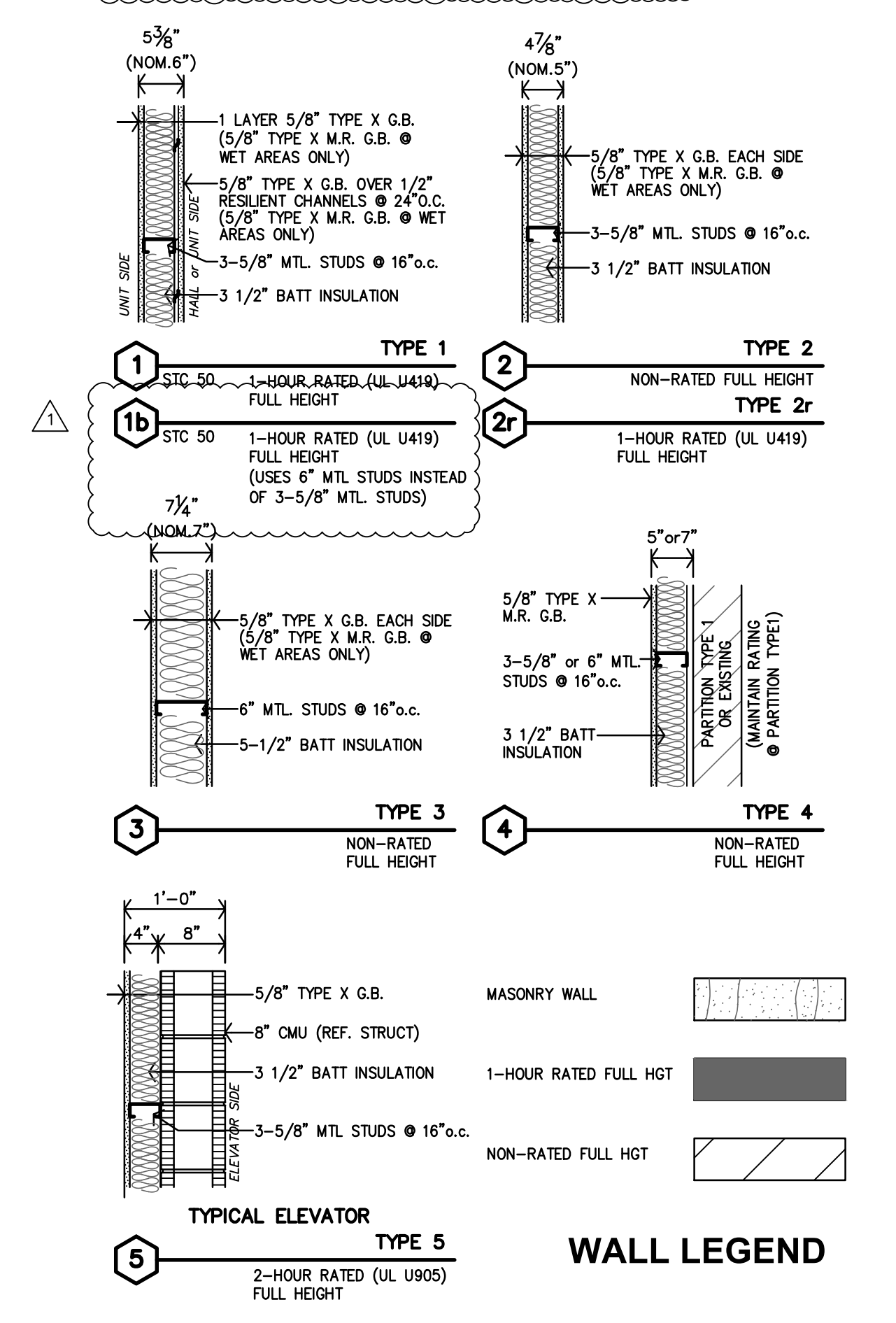


PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

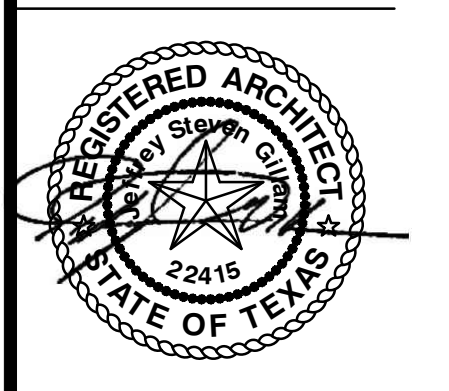
PARTITION SCHEDULE

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- BEE - SHEETS (SFP, A7.1 & A7.2 FOR RATED WALLS, LOCATIONS & CODE INFORMATION
- ALTERNATE: INSTALL METAL STUDS IN PLACE OF WOOD STUDS.
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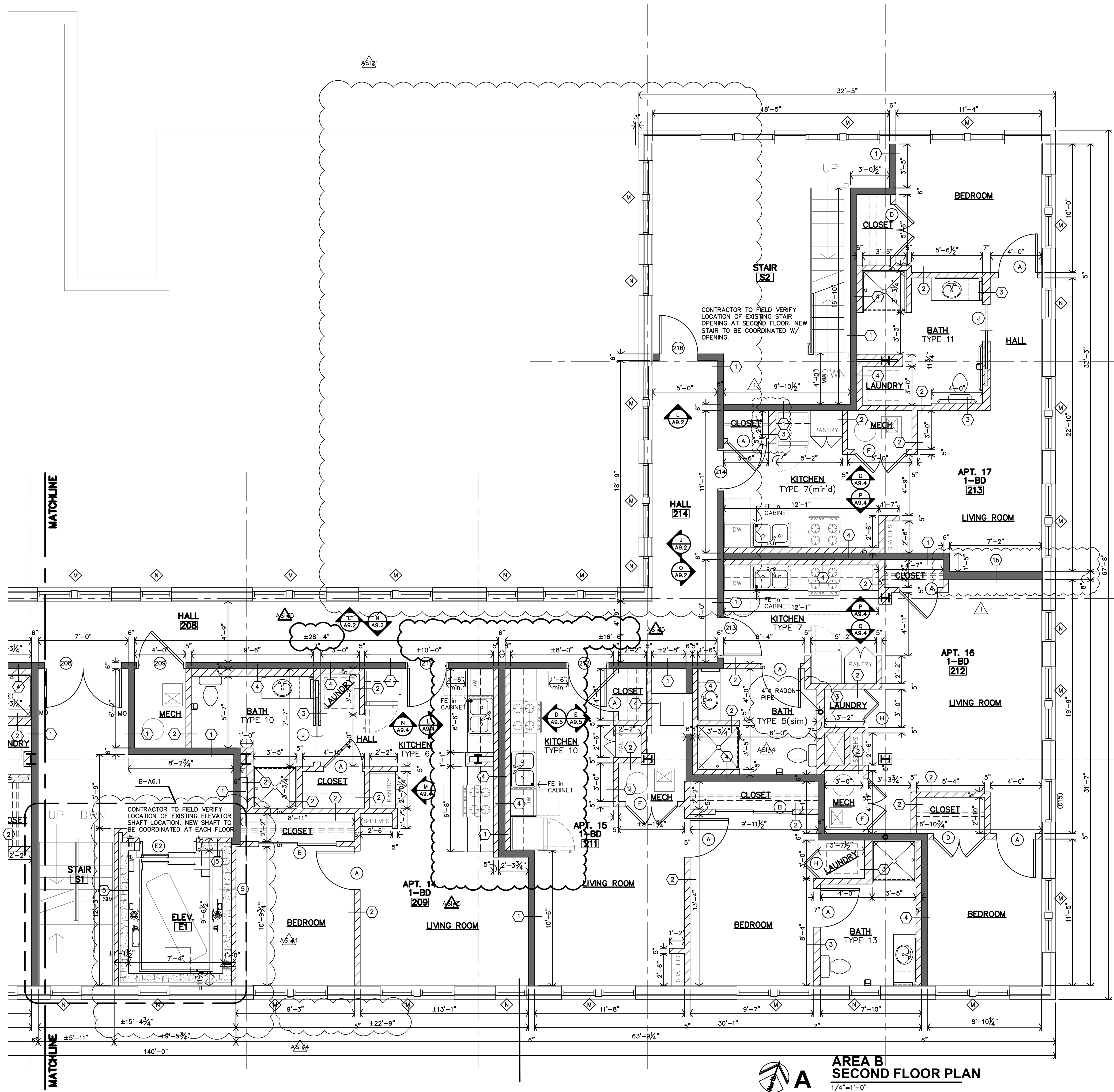
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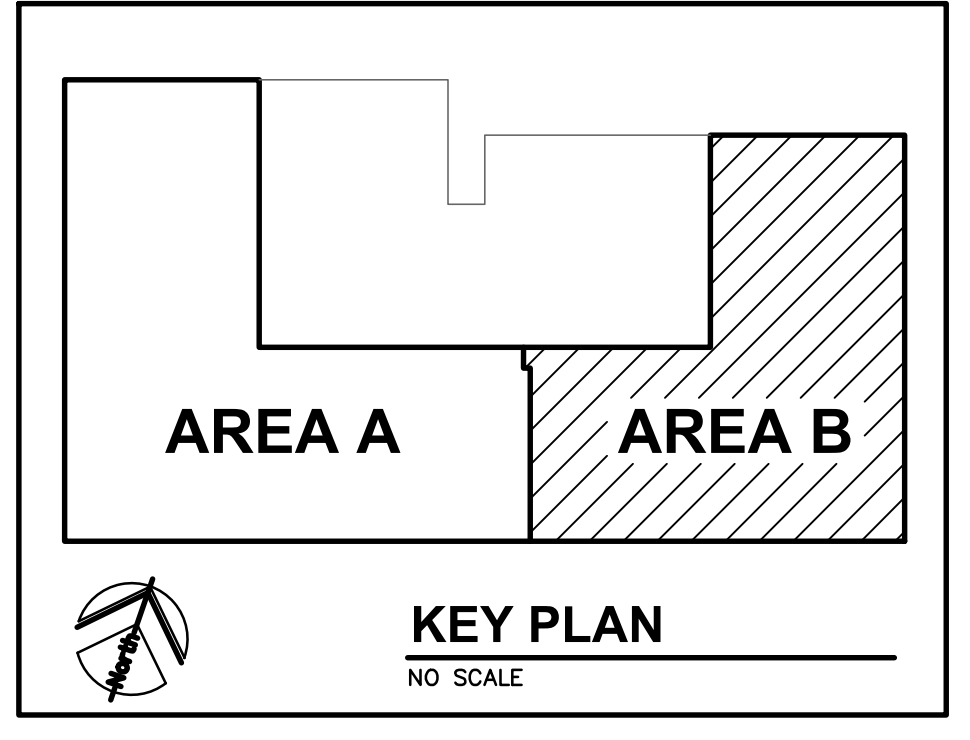


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JOB: 22-3281
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AREA B SECOND FLOOR PLAN
1/4"=1'-0"

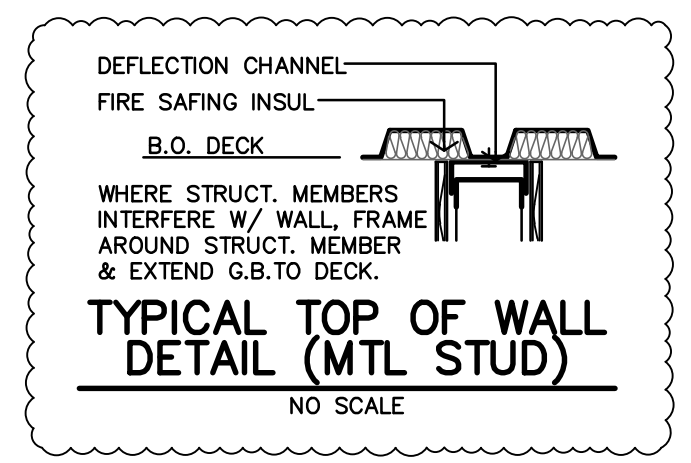
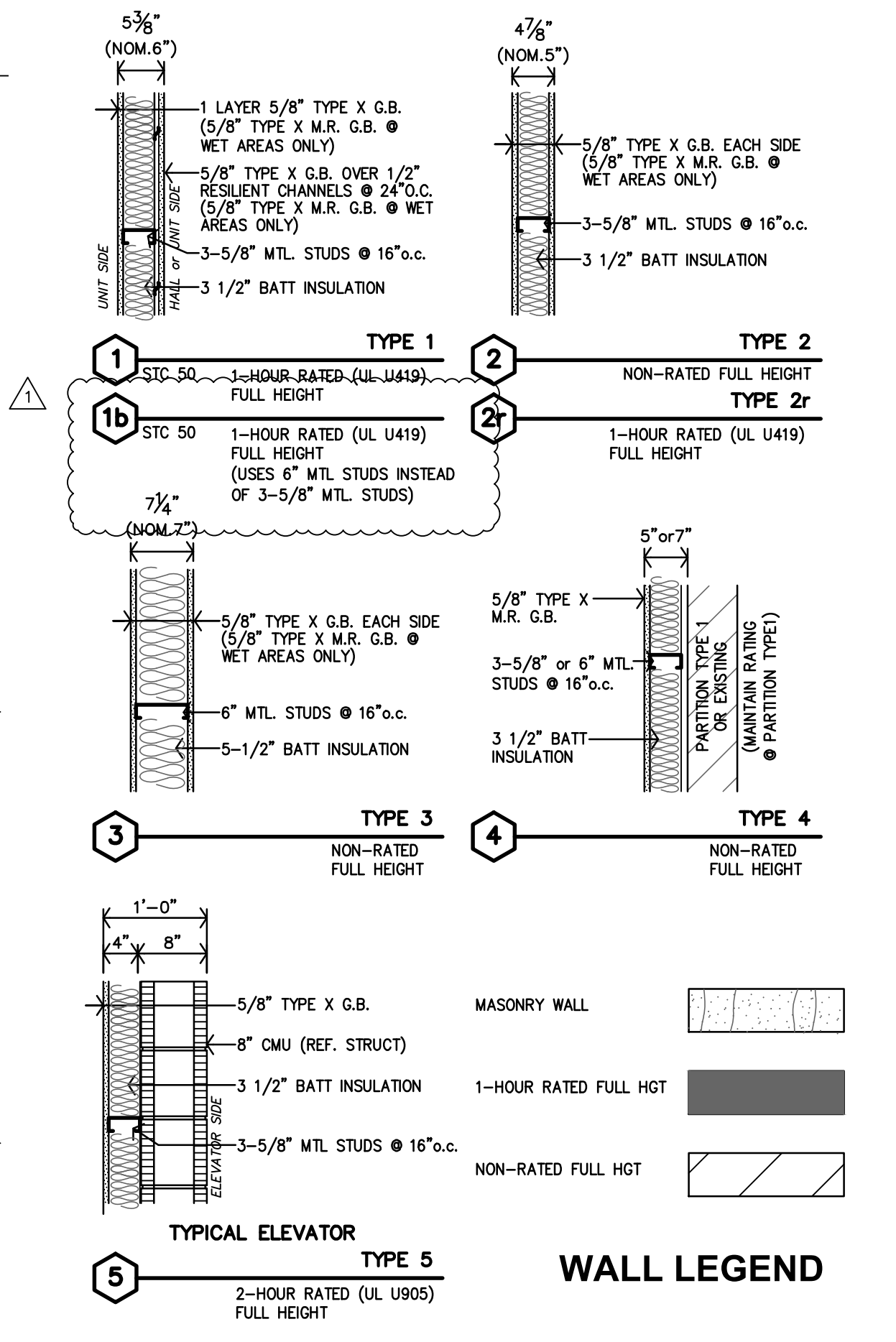


PLAN NOTES

- REF SHEET A2.0 FOR UNIT GENERAL NOTES PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

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- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
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- REF. SHEETS_CFR_A7.1 & A7.2 FOR RATED WALLS, LOCATIONS, & CODE INFORMATION
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REVISION:

AS/A	5-29-2024
AS/A	6-5-2024

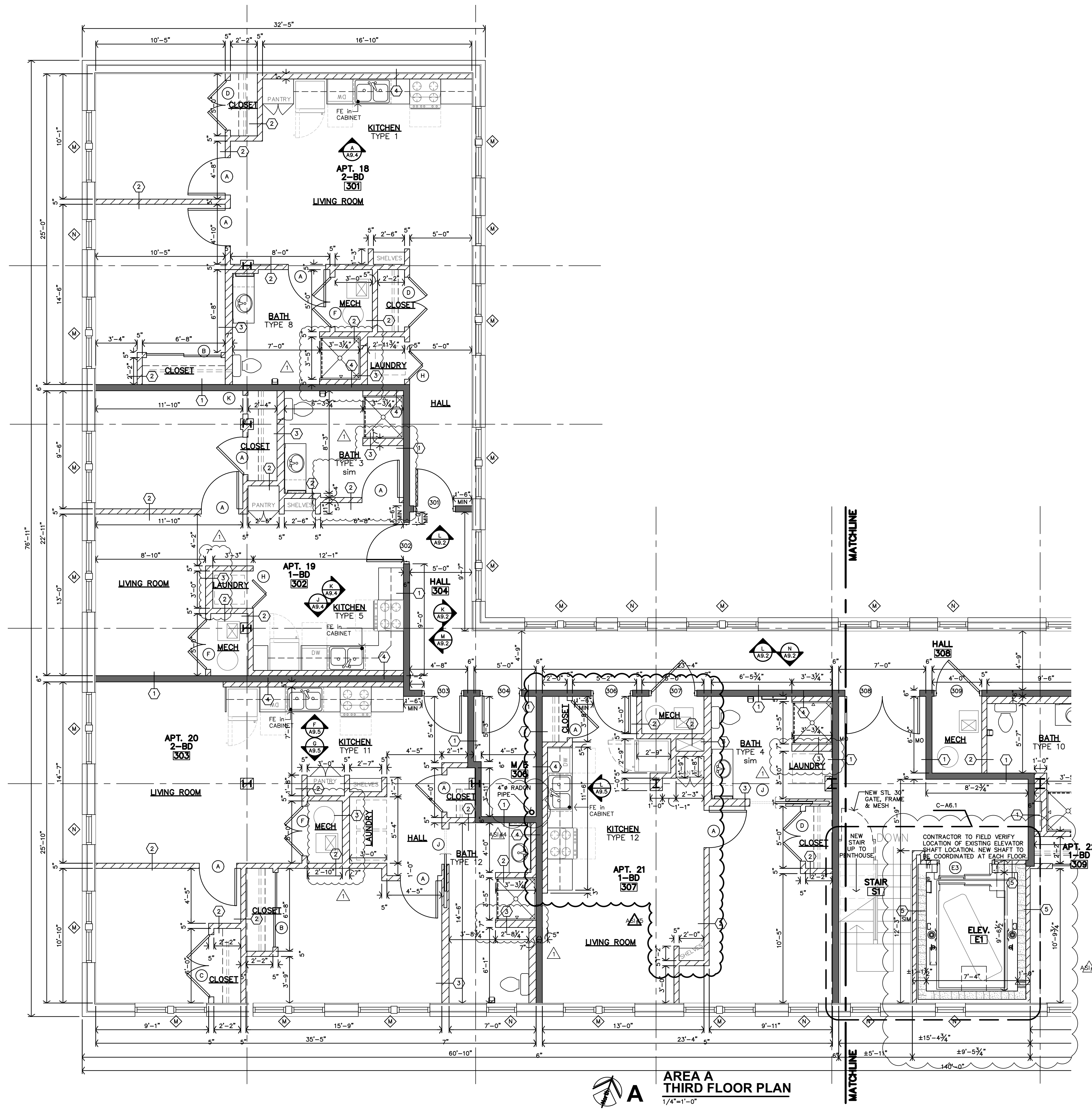
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PREVIOUS REVISIONS

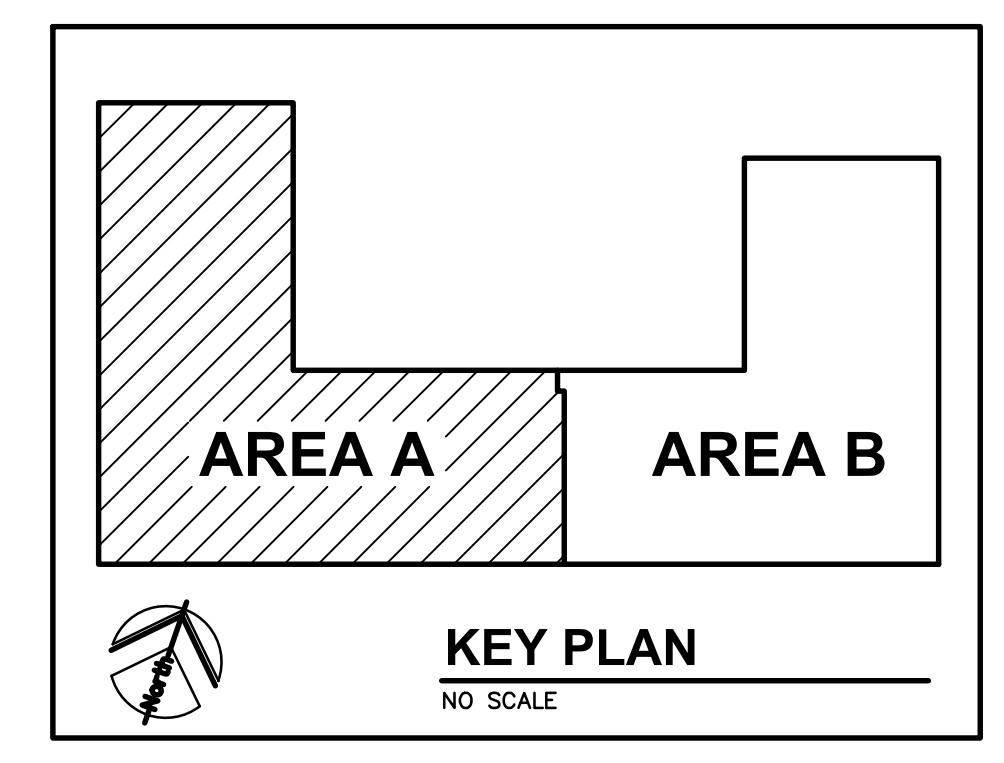
AS/A	2-20-2024
AS/A	2-23-2024
AS/A	4-25-2024

A2.6

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AREA A
THIRD FLOOR PLAN
 1/4"=1'-0"

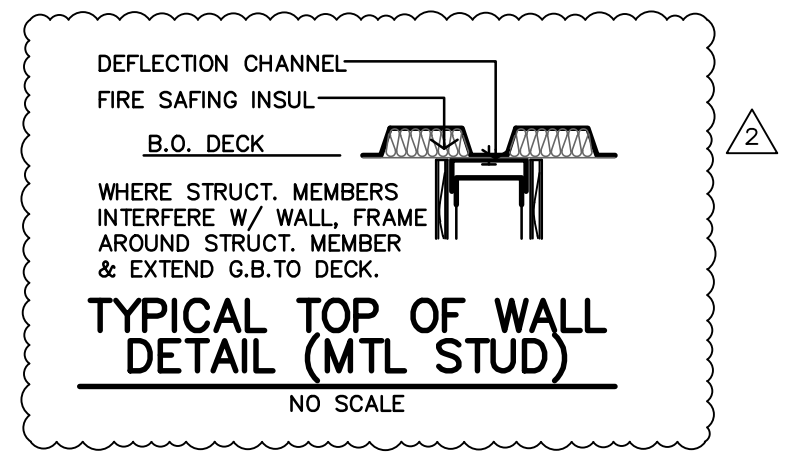
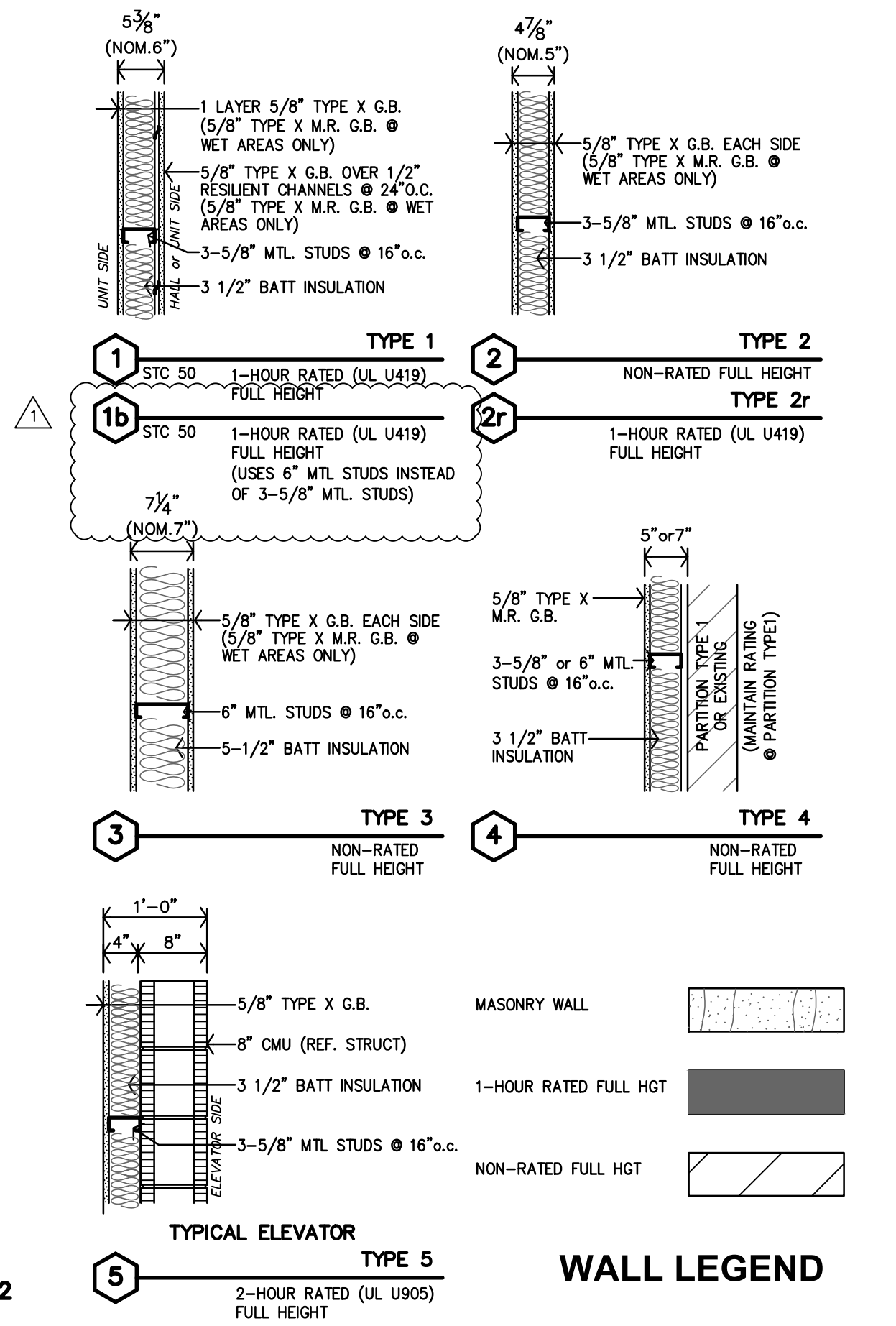


PLAN NOTES

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JGR

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REVISION:
 A2.5 6-5-2024

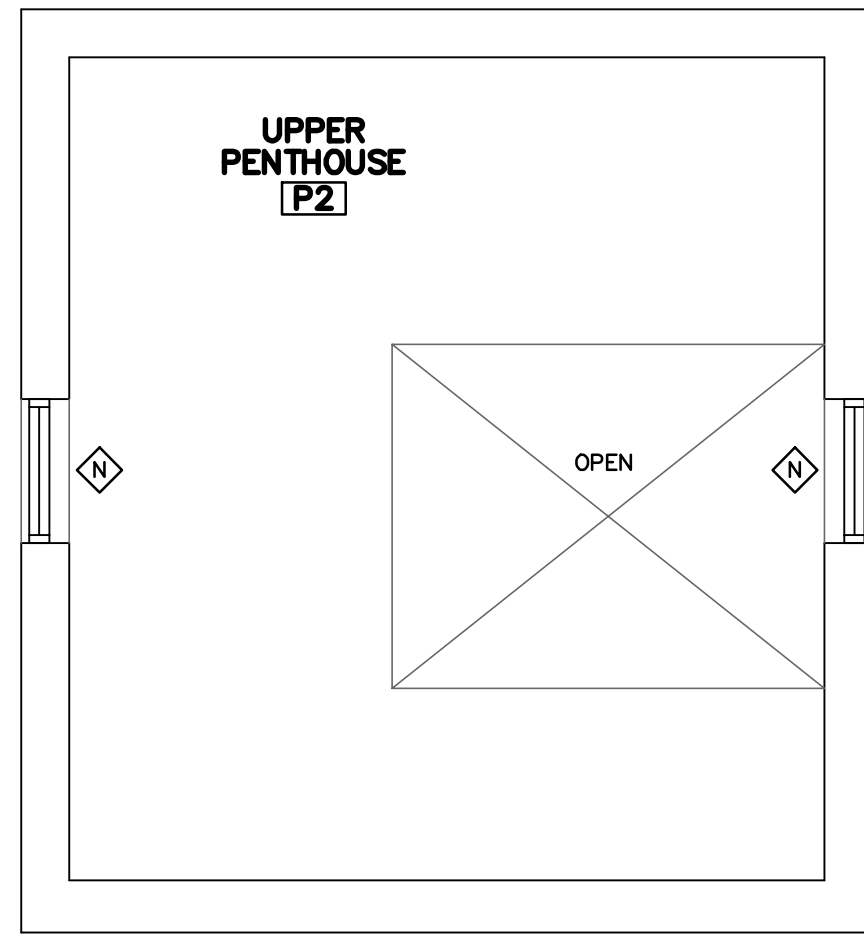
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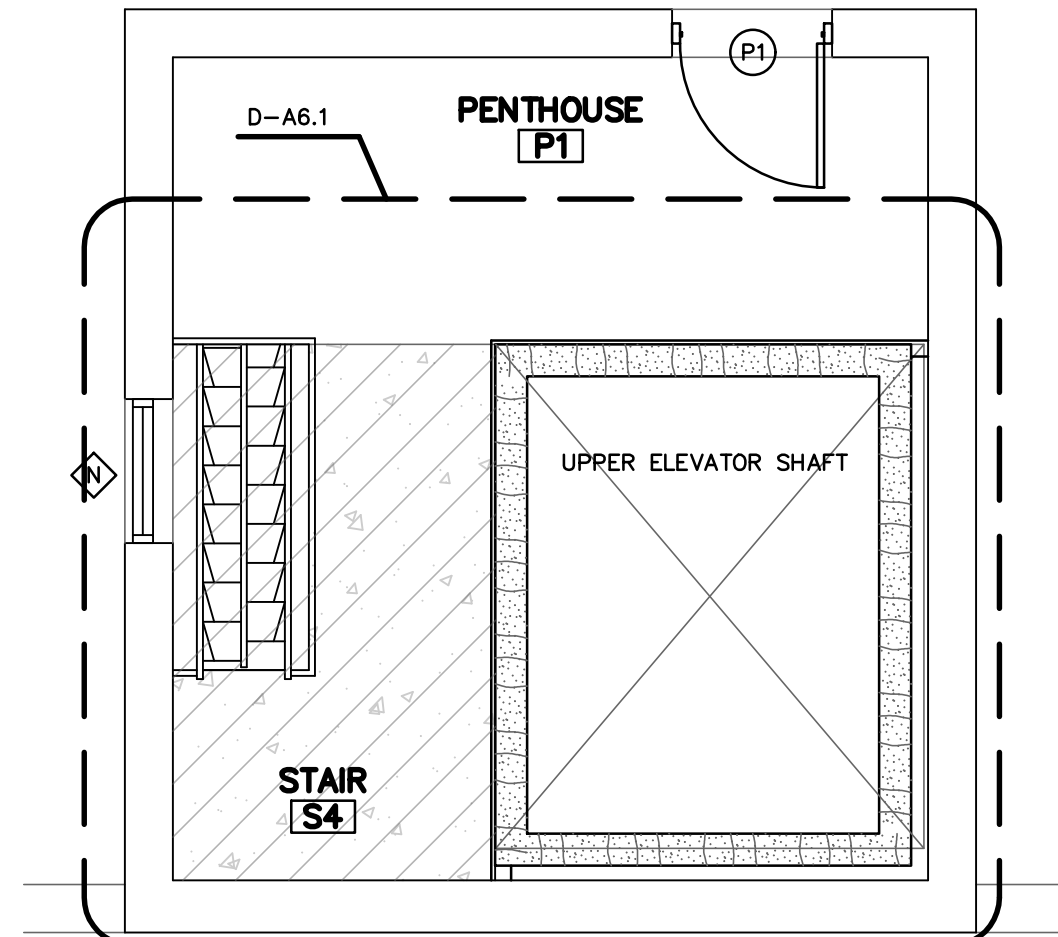
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- A2.3 2-23-2024
- A2.2 5-29-2024

A2.7

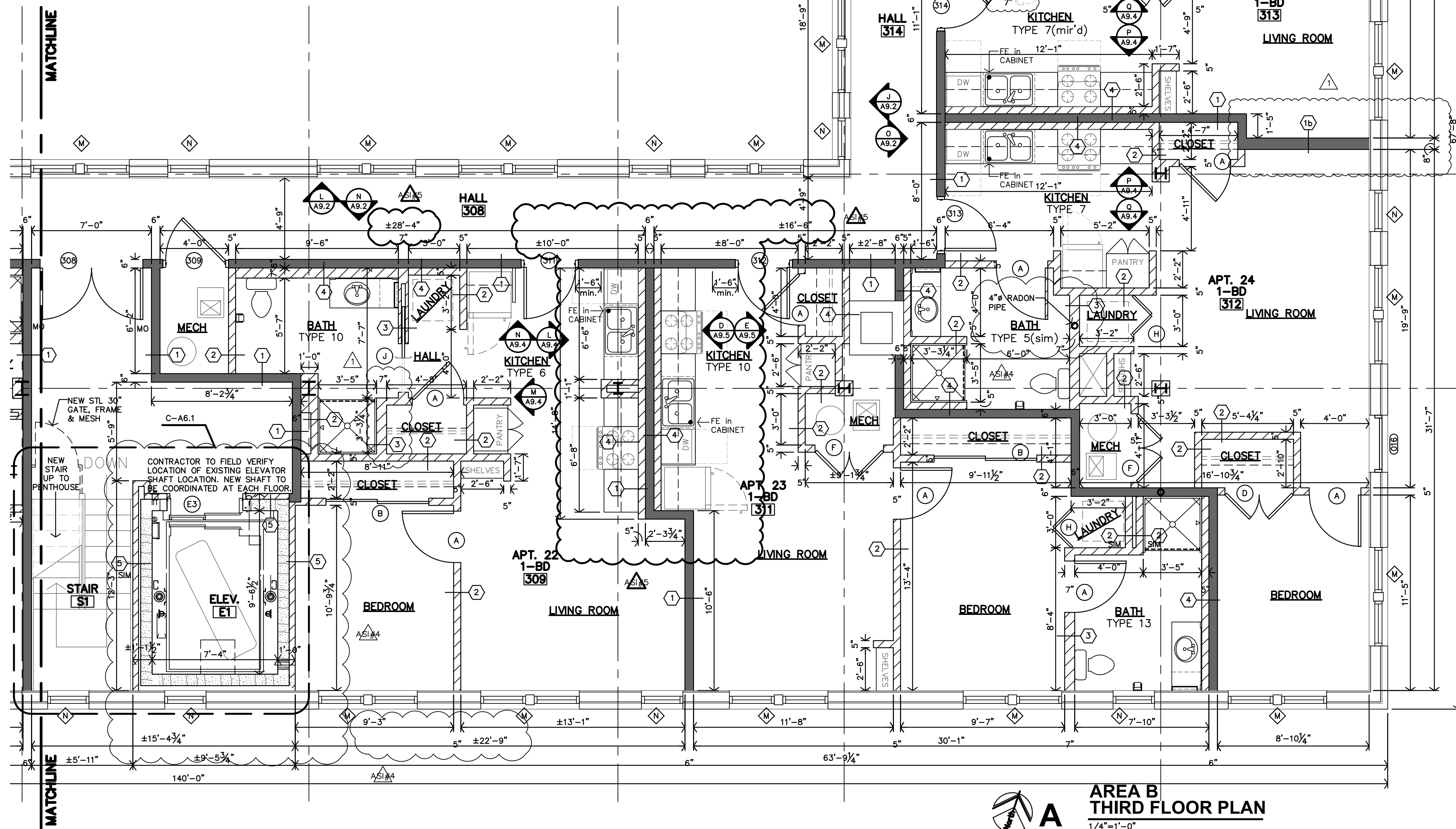
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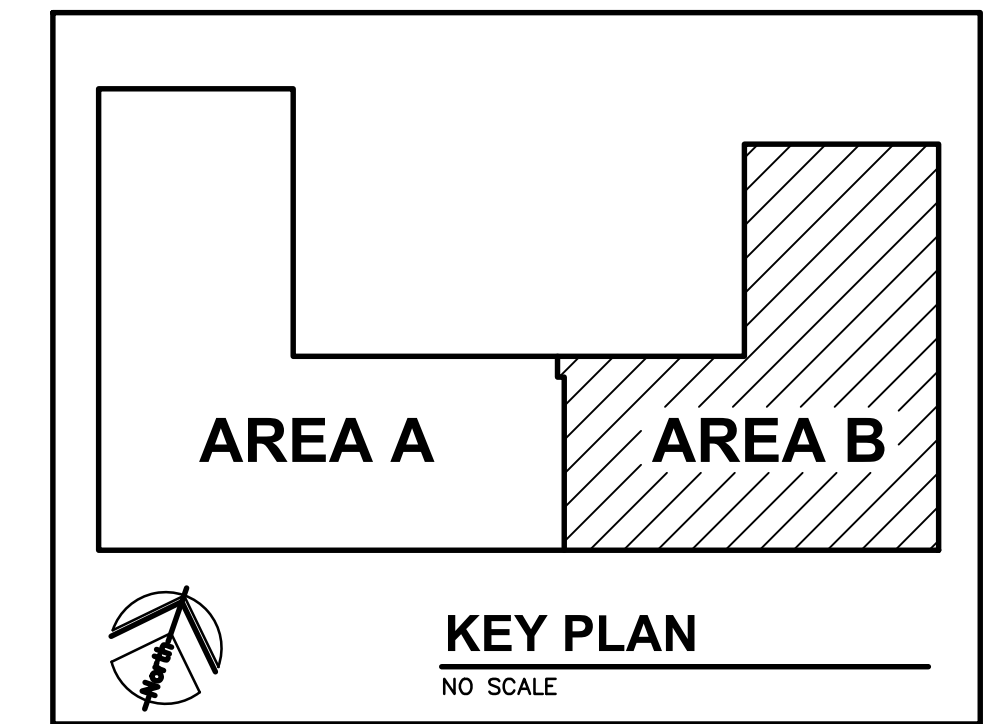
C UPPER PENTHOUSE PLAN
1/4"=1'-0"



B PENTHOUSE PLAN
1/4"=1'-0"



A AREA B THIRD FLOOR PLAN
1/4"=1'-0"

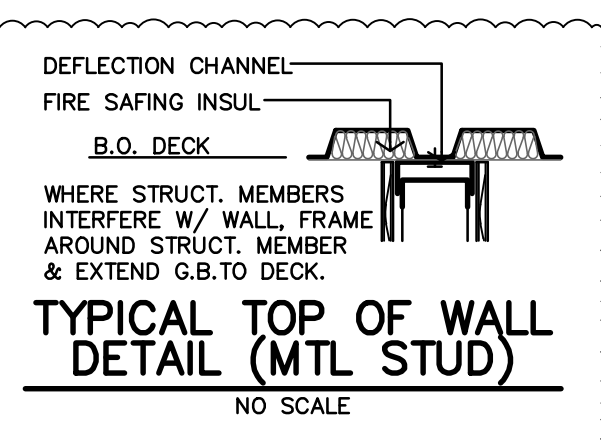
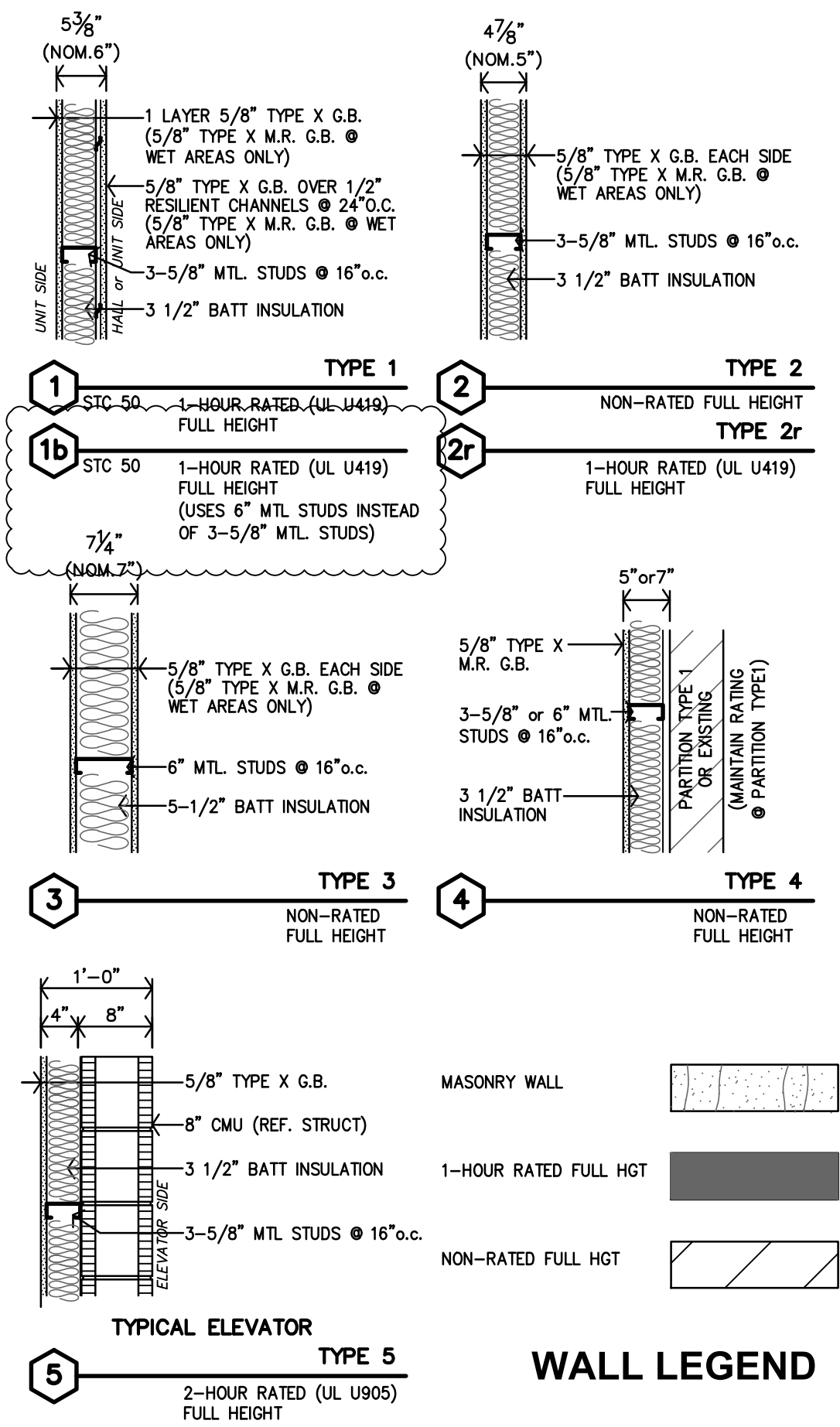


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REVISION:

△	6-5-2024
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DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

PREVIOUS REVISIONS

△	2-20-2024
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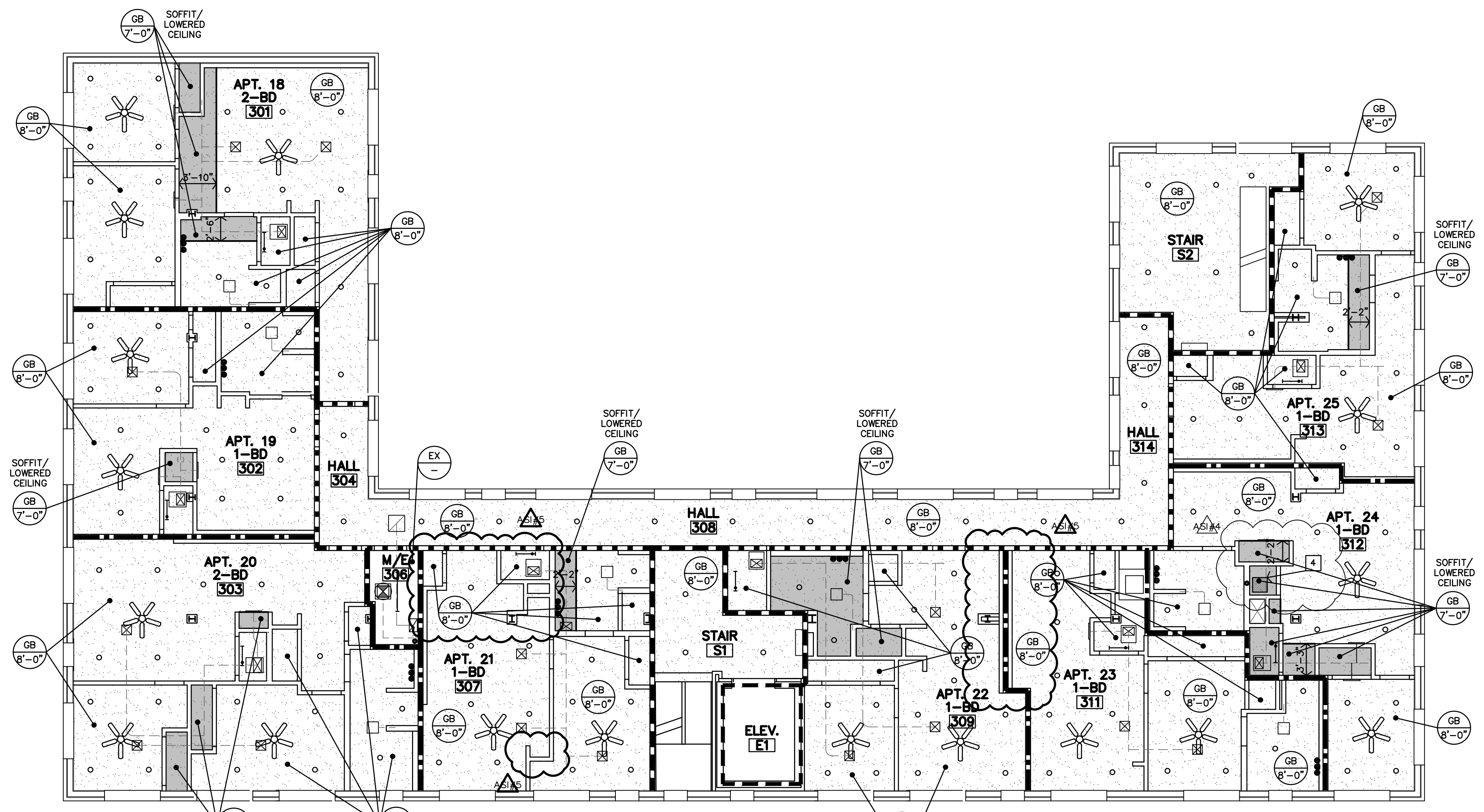
CEILING NOTES

- GENERAL NOTES**
- CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.
 - MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.
 - CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.
 - WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.
 - FIELD VERIFY HEIGHT TO UNDERSIDE OF STRUCTURE, AT ALL NEW GYP. BD. CEILINGS. NOTIFY ARCHITECT TO COORDINATE FINAL FINISHED CEILING HEIGHTS.
 - ALL LISTED CEILING HEIGHTS ARE AS ANTICIPATED. SUBJECT TO CHANGE BASED ON FIELD VERIFICATION OF UNDERSIDE OF STRUCTURE.

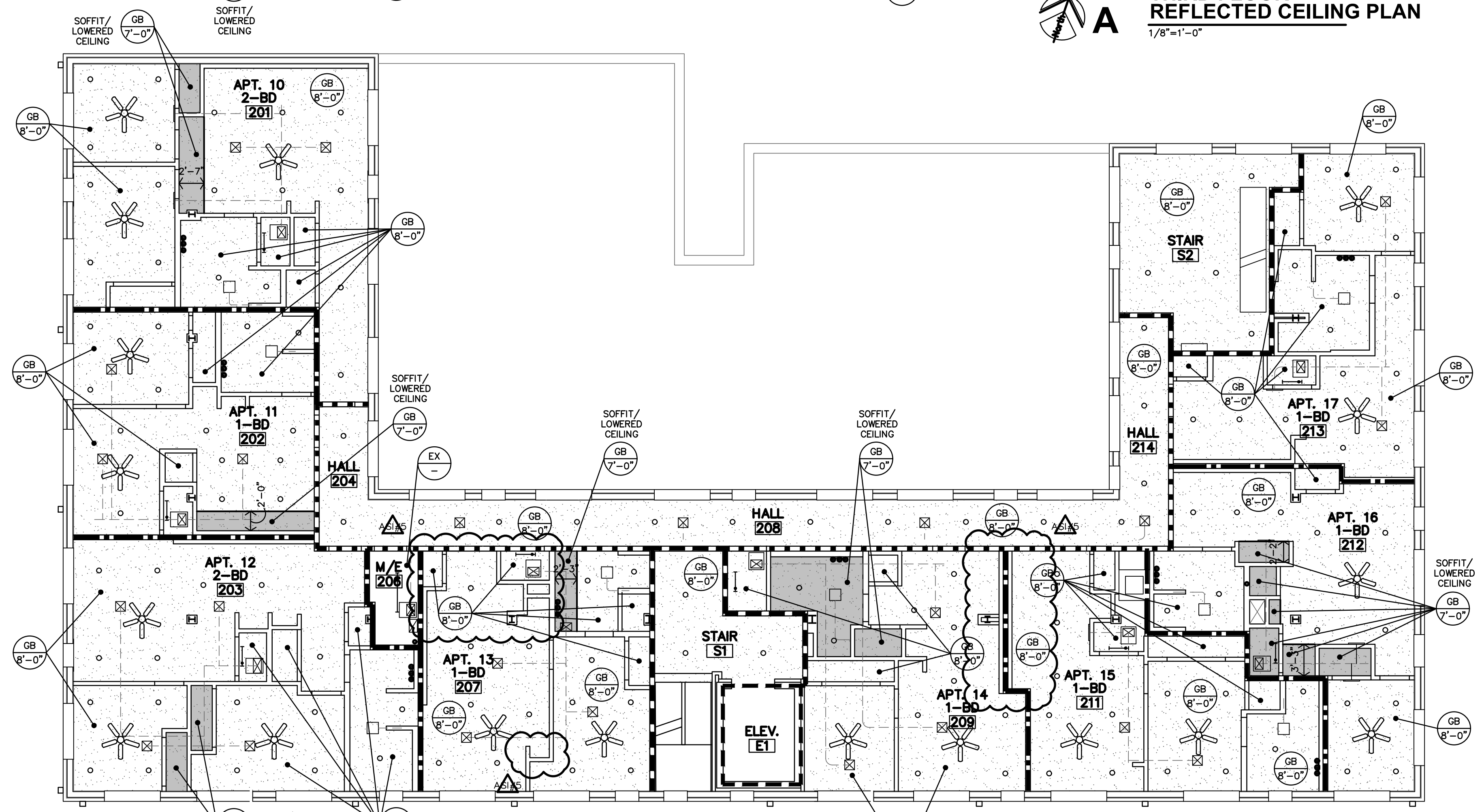
- SPECIFIC NOTES**
- RECESSED CEILING ALCOVE NEXT TO STOREFRONT & TRANSOM WINDOW.
 - NEW CEILING-MOUNTED, 2" THICK ACCENT TRIM/MOLDING
 - NEW CEILING-CROWN MOLDING
 - 18"x18" ATTIC ACCESS PANEL AT CEILING, FOR FUTURE INSTALLATION OF RADON PIPE FAN.

CEILING TYPES		NON-RATED WALLS	
GB	GYP. BD (PAINTED)	---	1/2 HOUR FIRE PARTITION; CORRIDOR
ST	EXPOSED STRUCTURE	---	1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS
P	EXIST./NEW PLASTER (PAINTED)	---	1 HOUR SHAFT WALL
SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.		---	

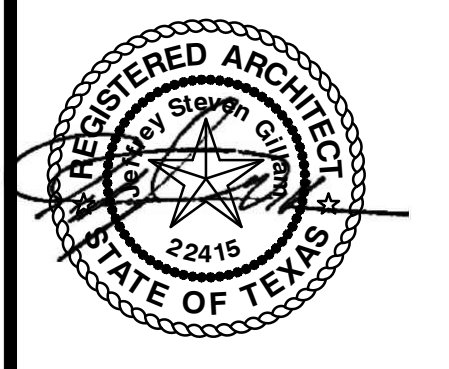
CLG. TYPE	CLG. HEIGHT (ASSUMED)	INDICATES G.B. CEILING FINISH	INDICATES A LOWERED SOFFIT/CEILING AREA
1	8'-0"	GB 8'-0"	SOFFIT/LOWERED CEILING 7'-0"
2	7'-0"	GB 7'-0"	



A THIRD FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"



B SECOND FLOOR REFLECTED CEILING PLAN
3/32"=1'-0"



REVISION:

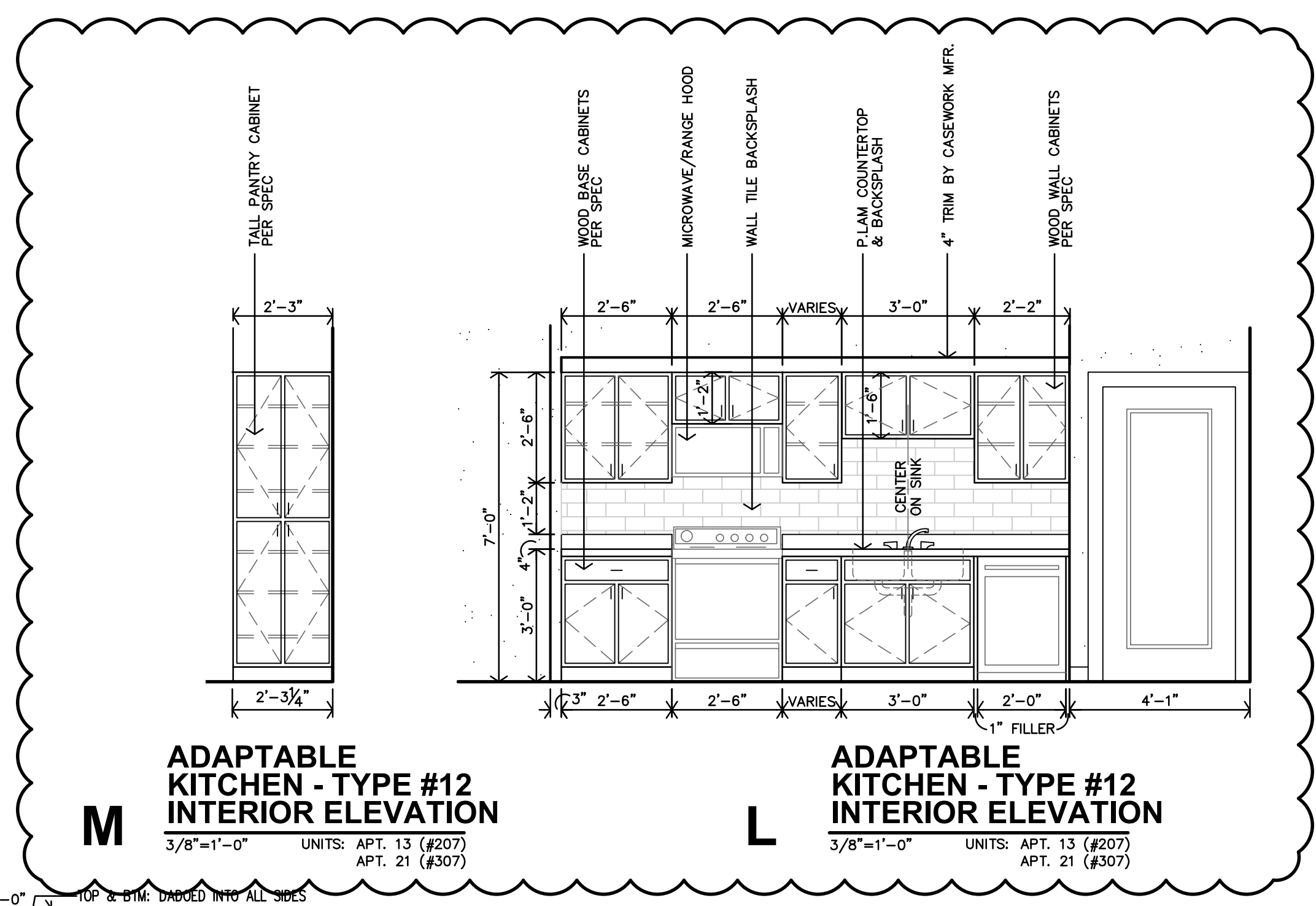
AS/A	5-29-2024
AS/A	6-5-2024

DATE: 1-16-2024
JOB: 22-3281
SHEET NO.:

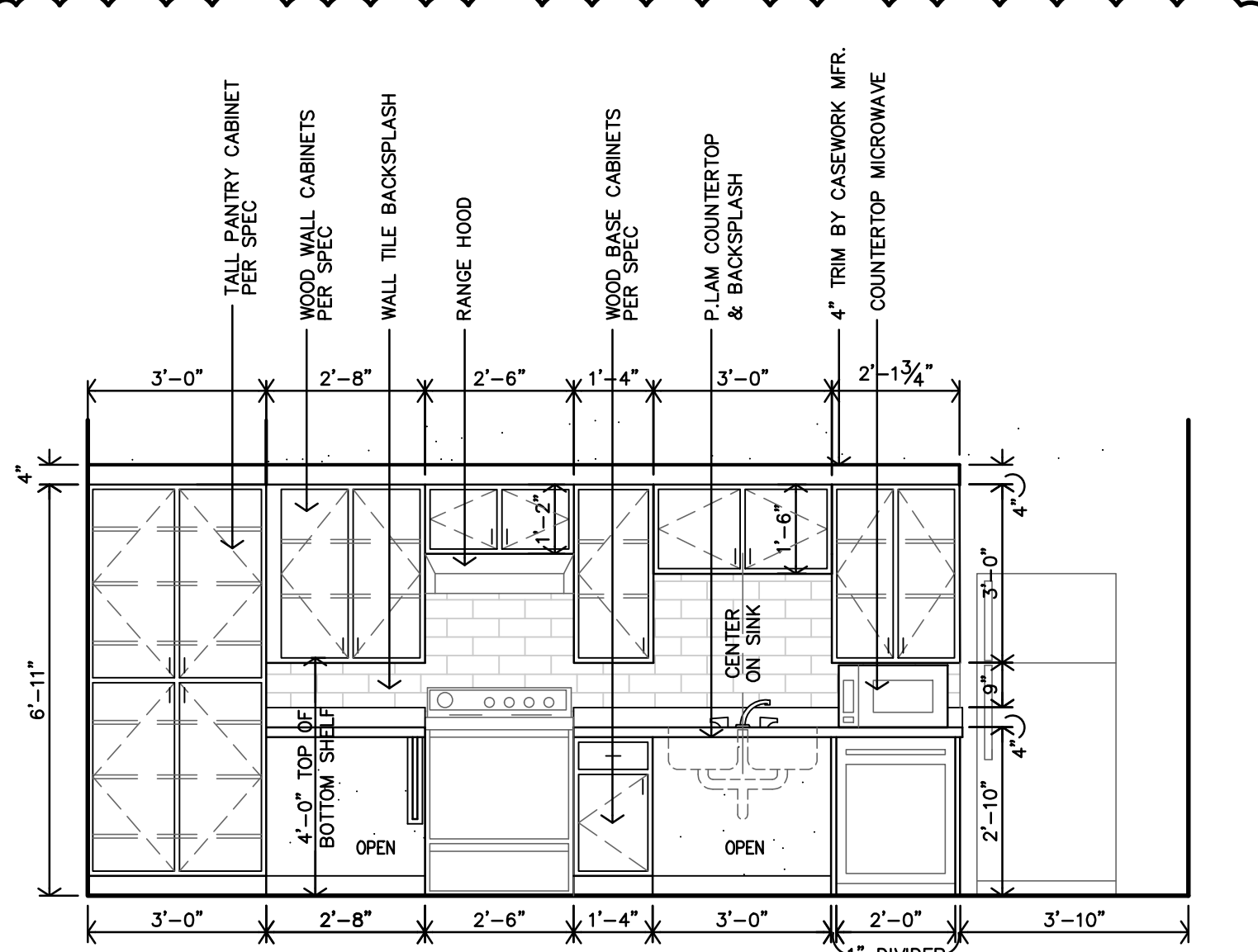
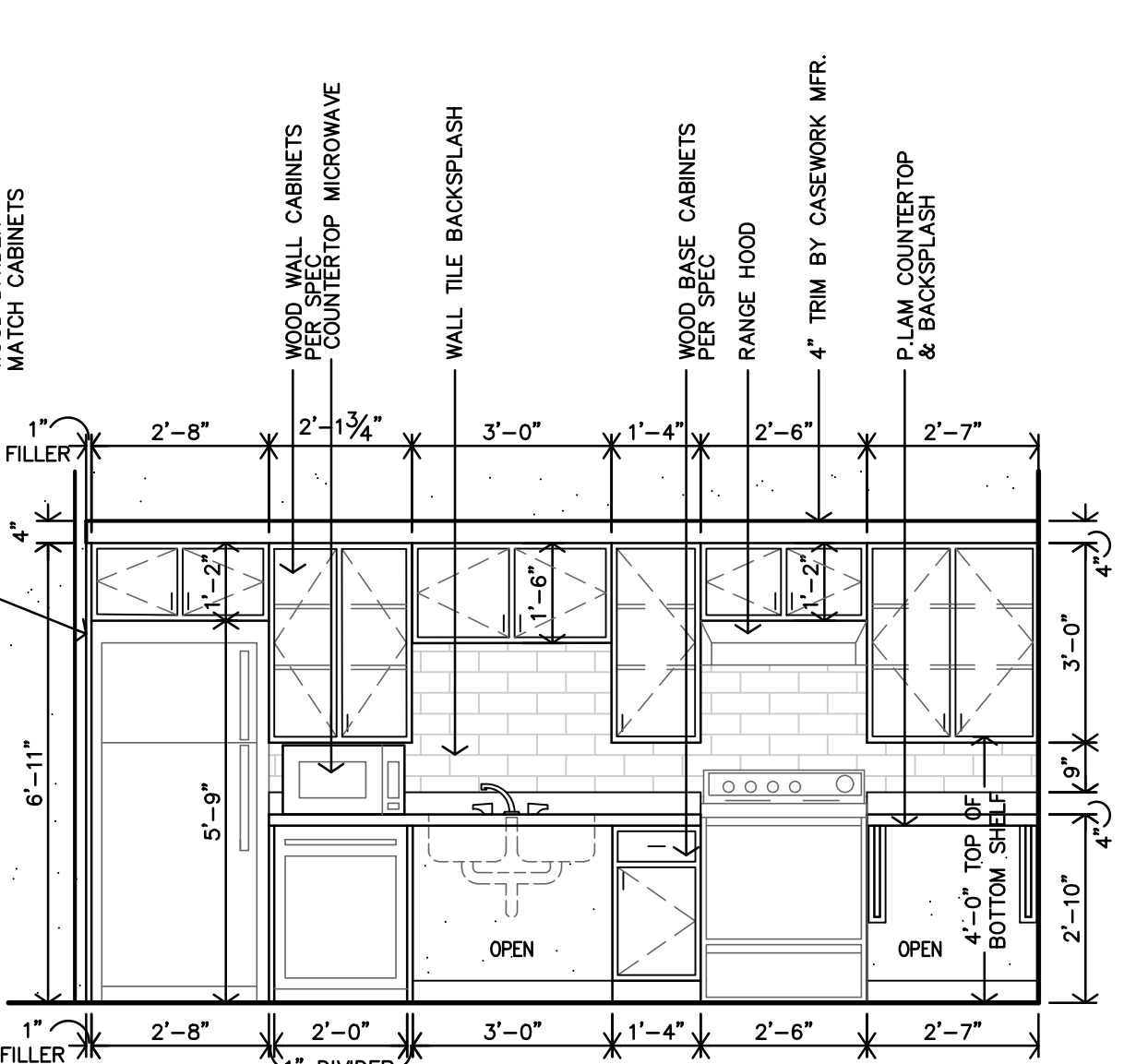
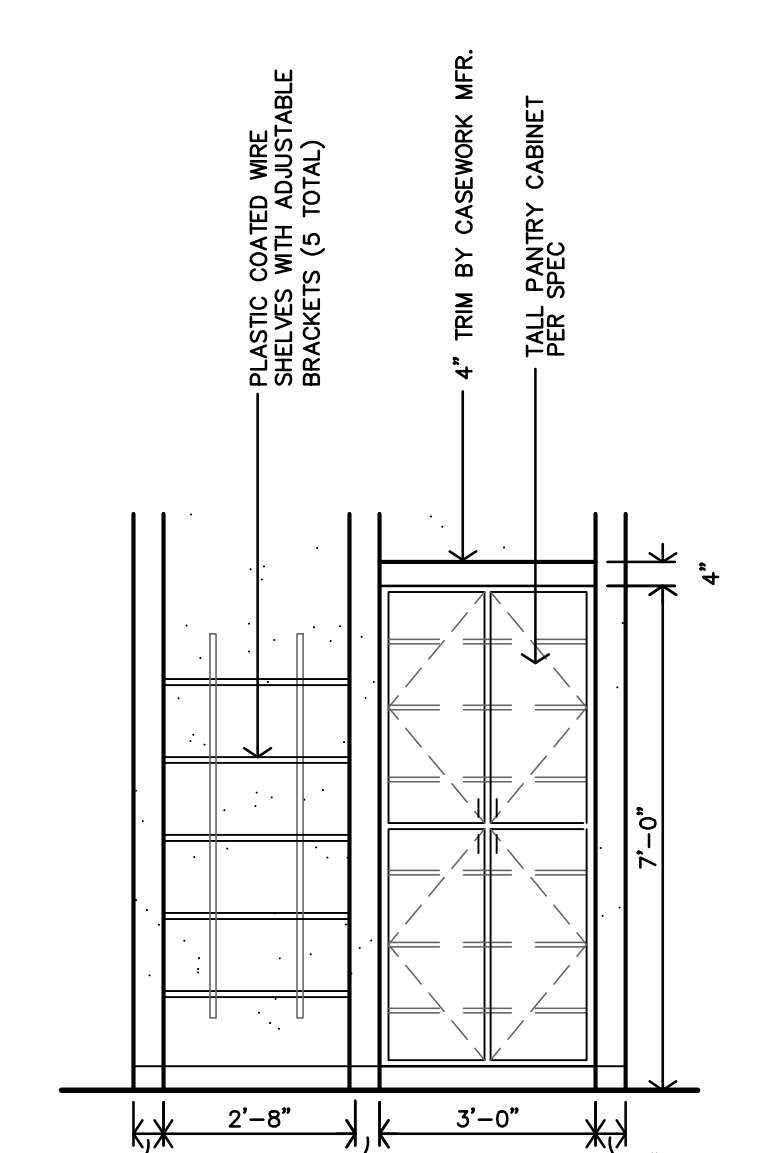
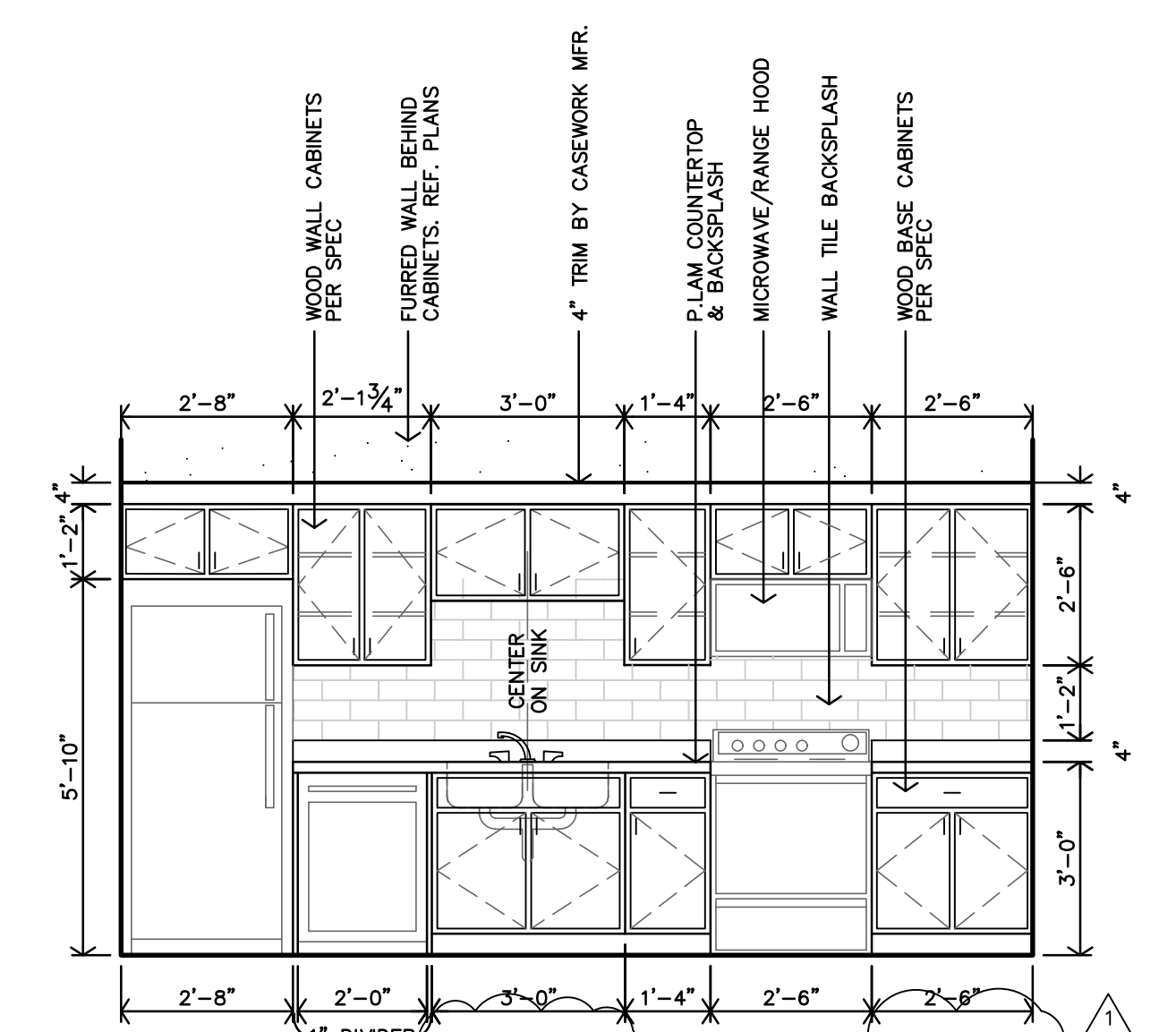
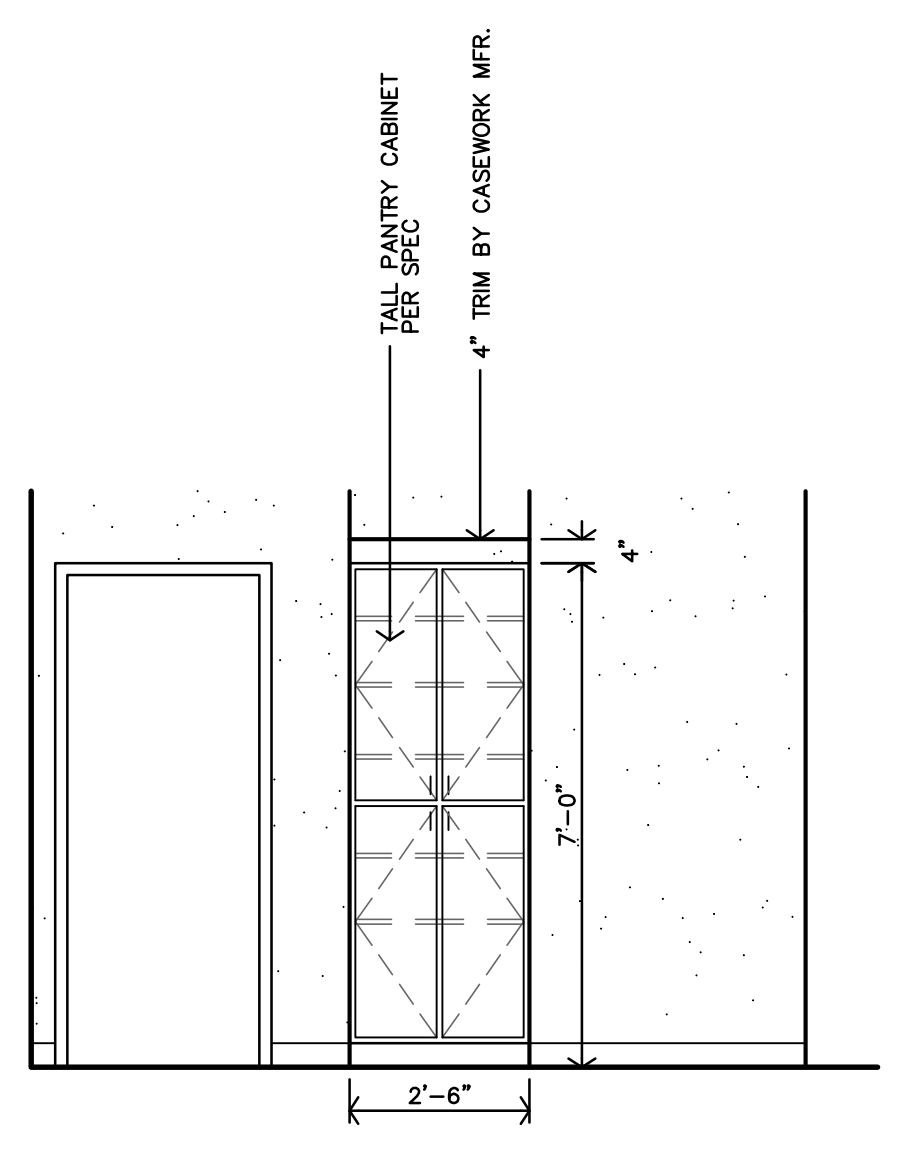
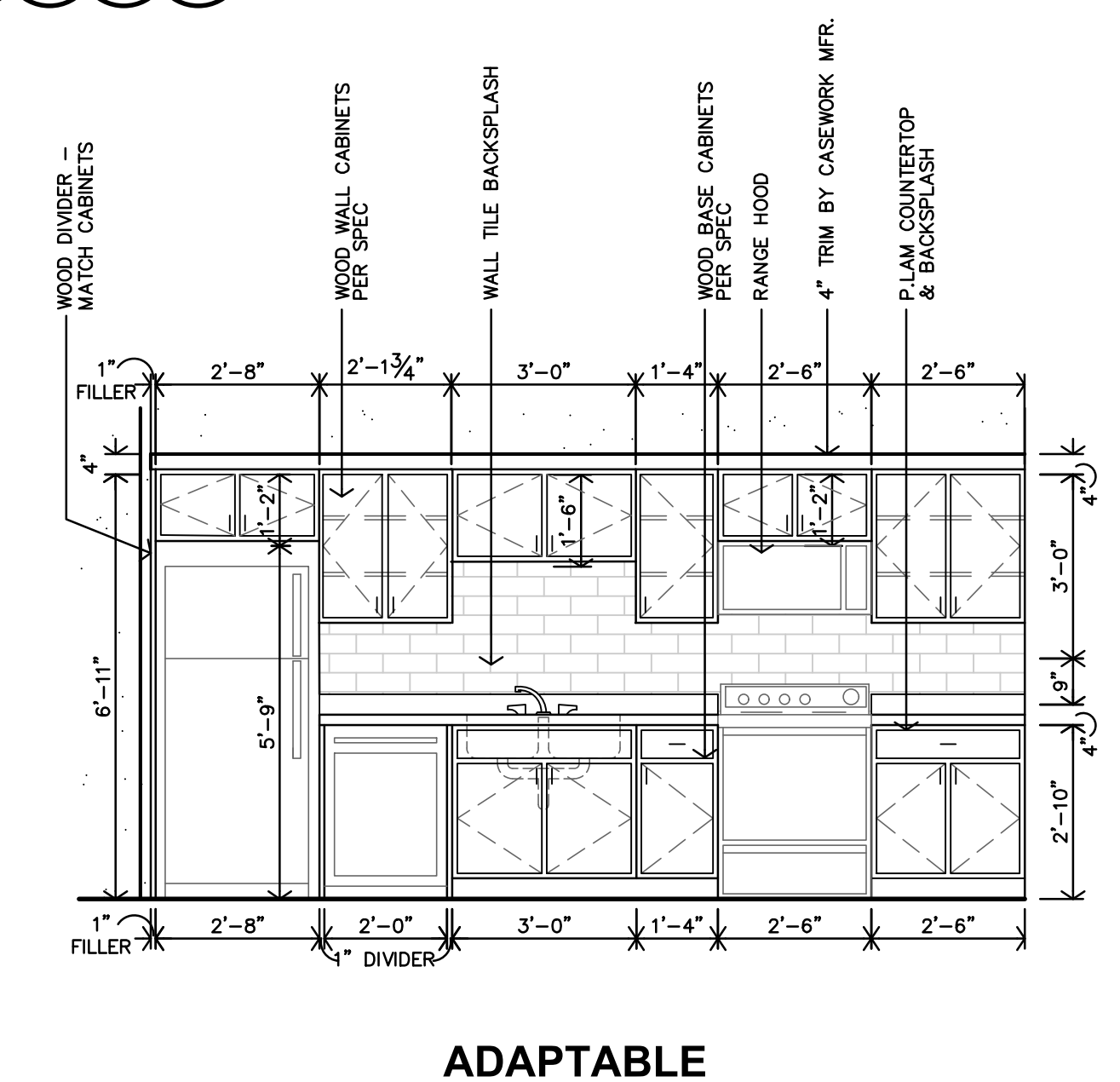
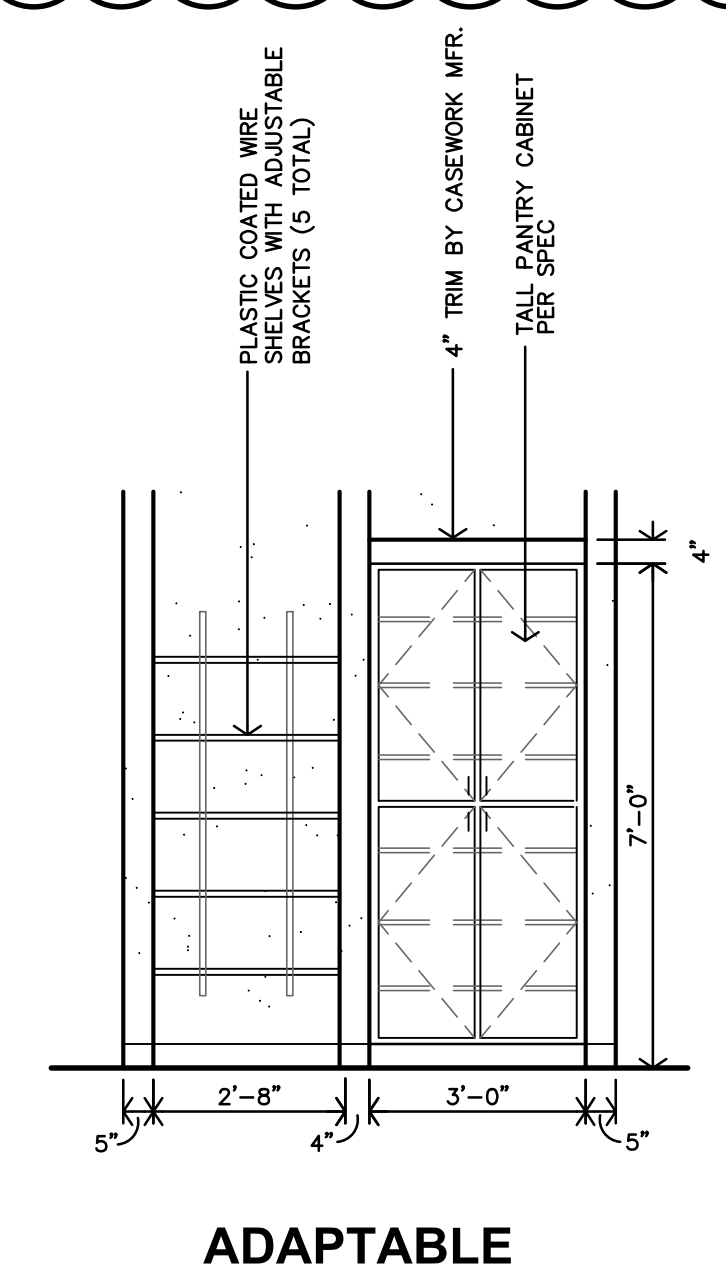
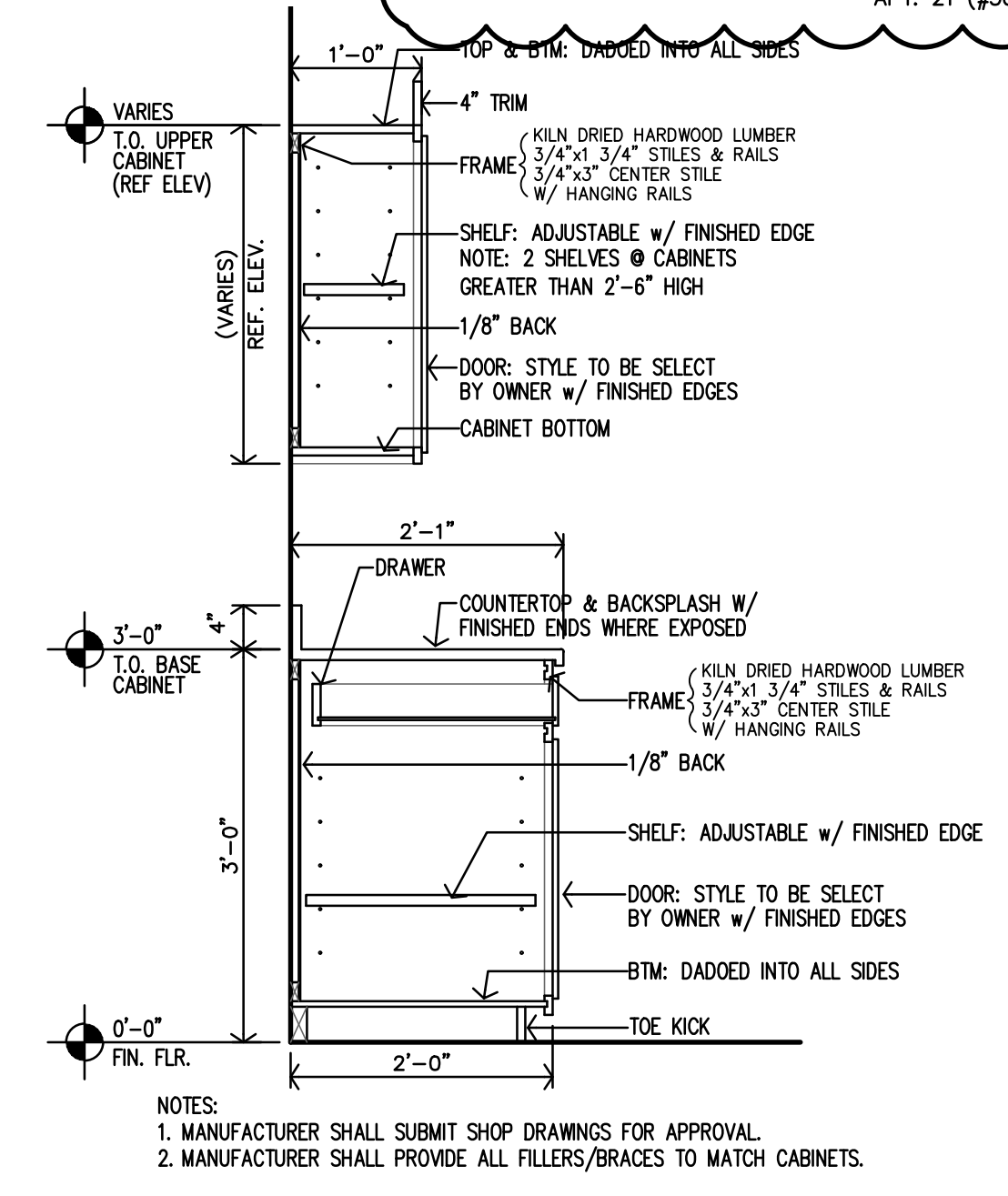
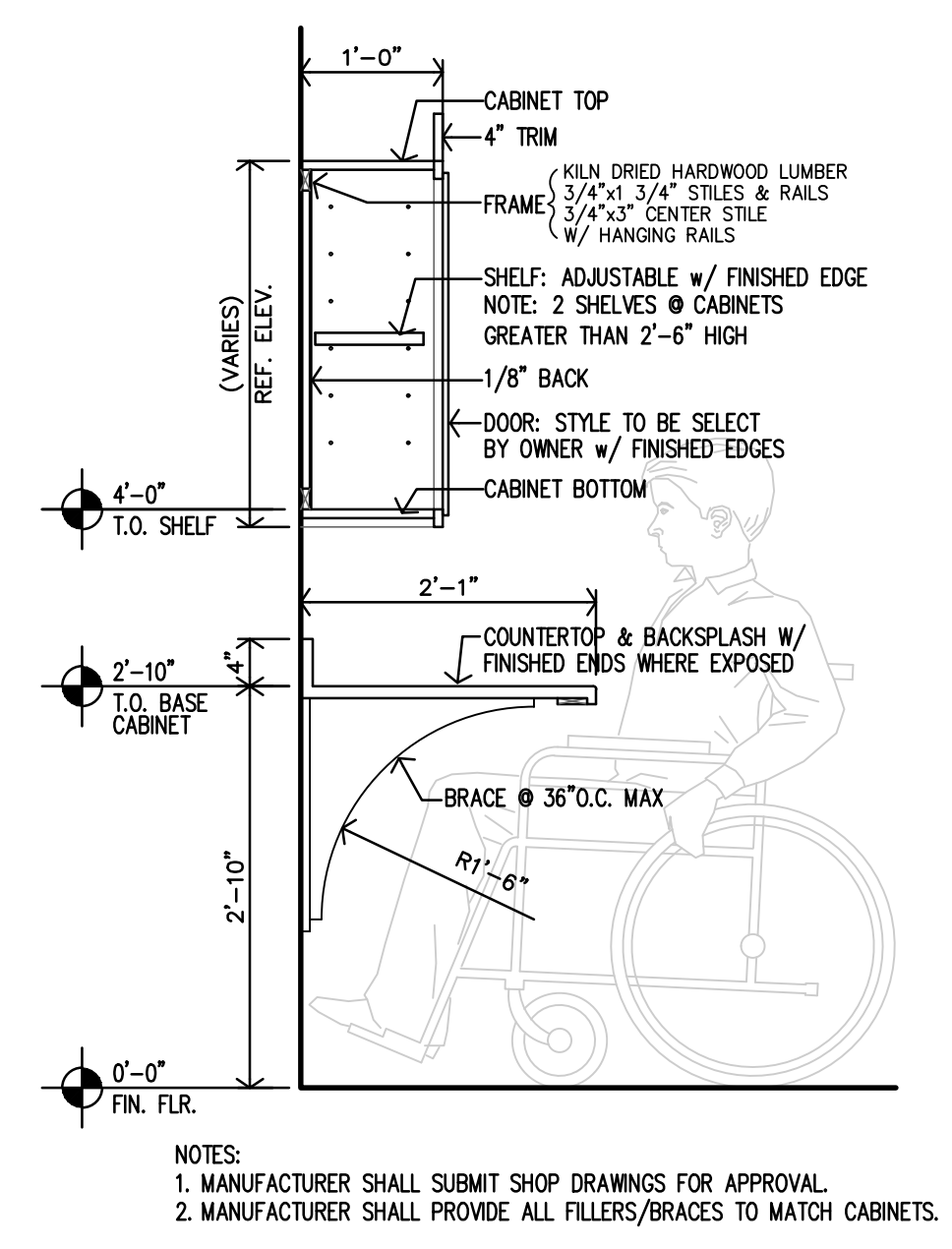
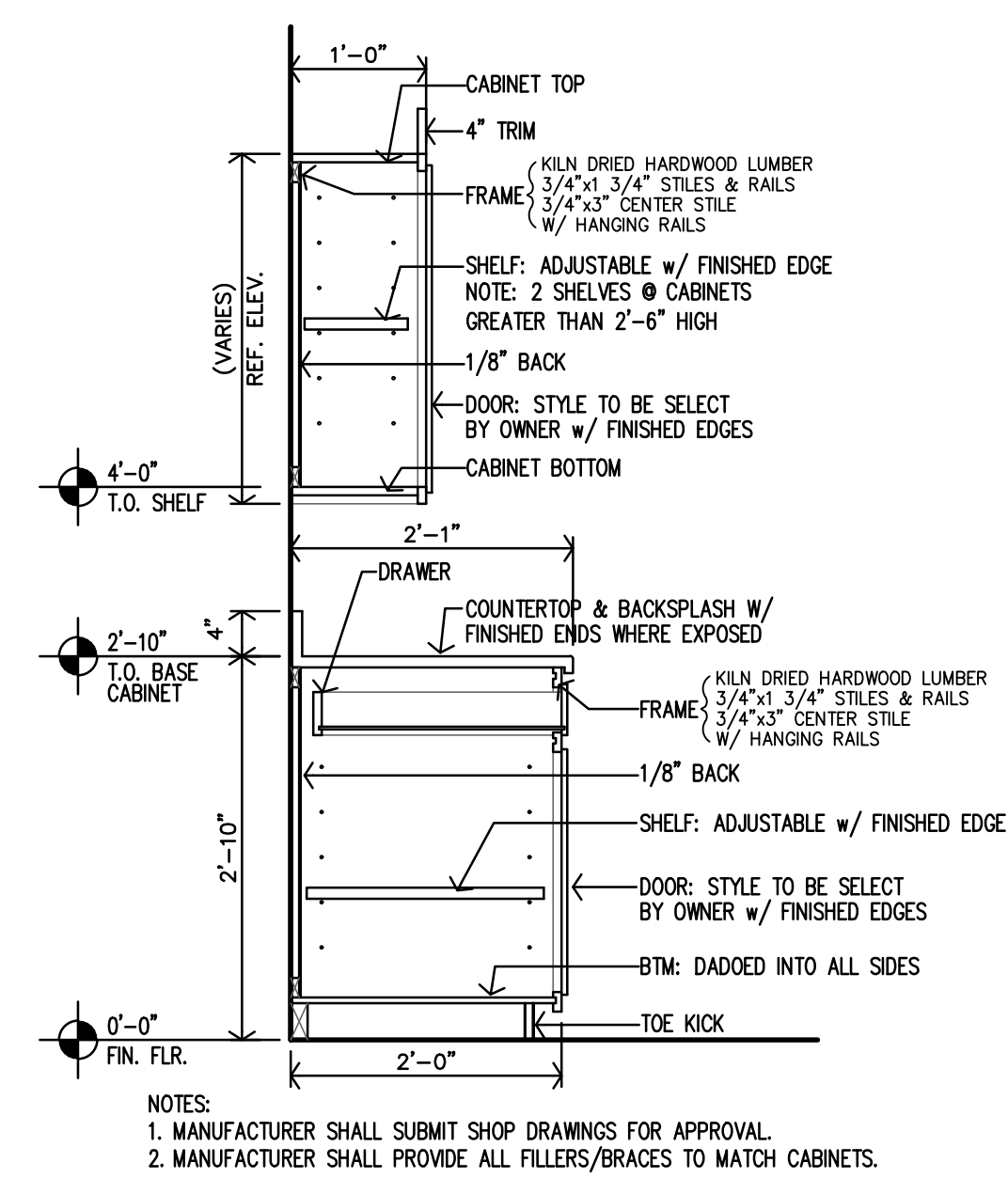
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REVISION:
 2-20-2024
 6-5-2024
 DATE: 1-16-2024
 JOB: 22-3281
 SHEET NO.:



CASEWORK NOTES:
 1. REF SHEET A2.0 FOR GENERAL NOTES.
 2. CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS, BRACES, ETC.
 3. REMOVABLE CABINETS TO PROVIDE 30" CLEAR MIN. CABINETS & APPLIANCES.
 4. FLOORING & WALL FINISH TO BE CONTINUOUS AT REMOVABLE CABINETS & APPLIANCES.
 5. REF. CASEWORK SECTIONS ON SHEET A9.5
 6. ALL BLOCKING TO BE 2x8 FIRE TREATED.
 7. TYPE B UNITS (ADAPTABLE) - REMOVABLE CABINETS ARE ONLY REQUIRED AT SINKS WITH A REQUIRED FRONT APPROACH.



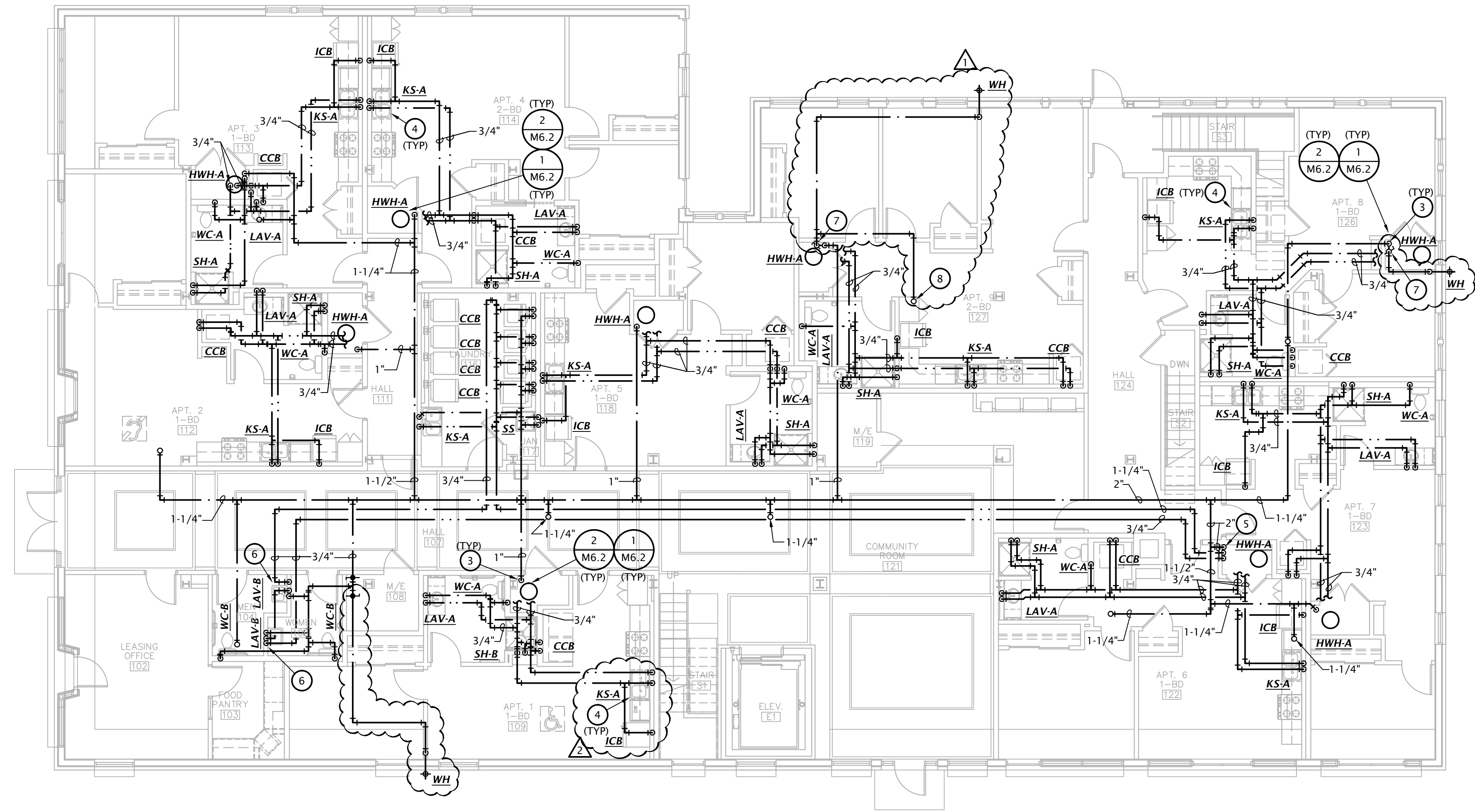
COPPER PIPE SIZE INDICATED	ALTERNATE MATERIAL/SIZE	
	Cross-linked polyethylene (PEX)	Polypropylene (PP)
1/2"	3/4"	1/2"
3/4"	1"	1"
1"		1-1/4"
1-1/4"		1-1/2"
1-1/2"		2"
2"		2-1/2"
2-1/2"		3"
3"		3-1/2"

Note: Pipe sizes indicated on drawings are for Type L copper pipe. If alternate materials are used, sizes shall be as indicated above. Where no pipe size is shown, use of indicated material in design pipe size is prohibited. Do not use materials other than those listed.

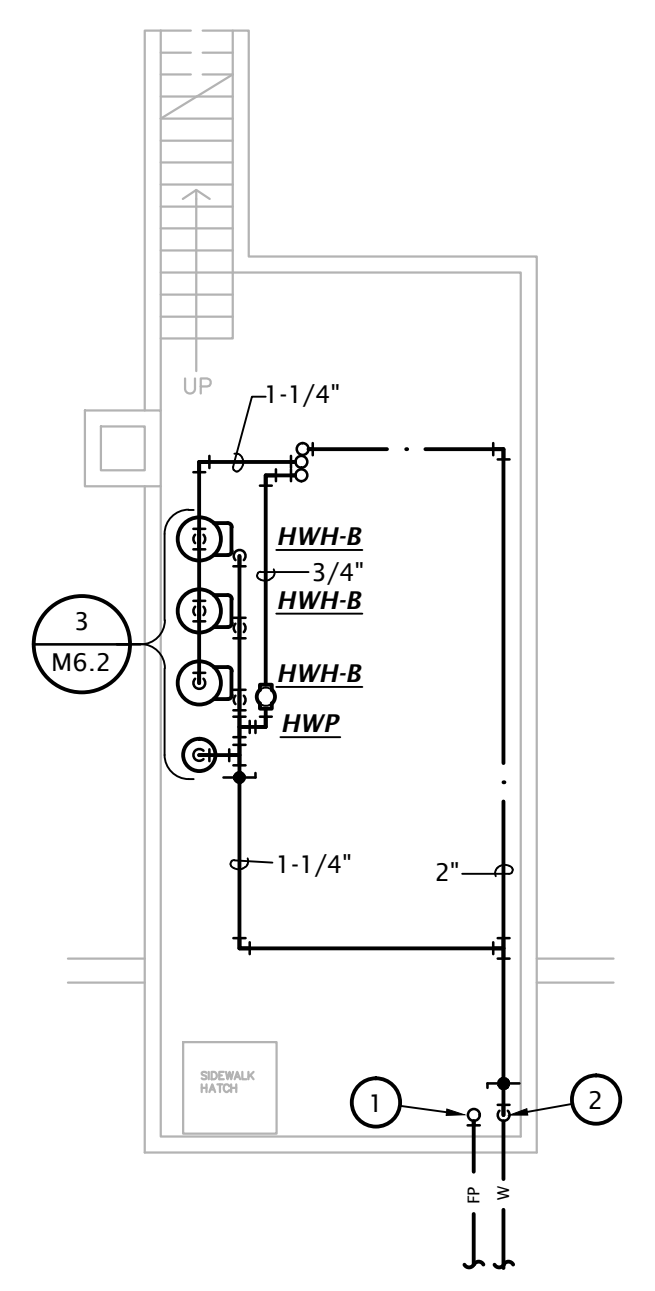
- NOTES:**
- PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS.
 - COORDINATE INSTALLATION OF PIPING IN MECHANICAL CLOSET W/ M.C. & E.C.
 - SEE PLUMBING FIXTURE SCHEDULE ON SHEET P6.1 FOR FIXTURE ROUGH-IN INFORMATION.
 - INSULATE ALL HW PIPING PER SPECIFICATIONS.

DOMESTIC WATER PLAN NOTES BY SYMBOL

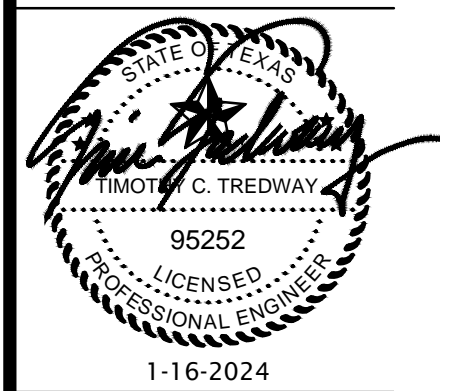
1. FIRE PROTECTION SERVICE ENTRANCE. INSTALL IN ACCORDANCE WITH NFPA 13. COORDINATE LOCATION OF ALL VALVES AND APPURTENANCES WITH AFJ.
2. PROVIDE SHUT-OFF VALVE AT WATER SERVICE ENTRANCE WITH PRESSURE REDUCING VALVE SET TO 80 PSI IF REQUIRED. COORDINATE REQUIREMENTS WITH CITY OF SAN ANGELO.
3. PROVIDE 1" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE TYPICAL APARTMENT RISER DIAGRAM ON SHEET M6.2 FOR ADDITIONAL INFO.
4. PROVIDE 1/2" VALVED BRANCH BELOW SINK AND CONNECT DISHWASHER. ROUTE PIPING ALONG BACK OF CABINERY, COORDINATE EXACT ROUTING WITH G.C. COORDINATE EXACT REQUIREMENTS WITH DISHWASHER PROVIDED.
5. ROUTE 2" CW, 1-1/4" HW, AND 3/4" HW RECIRC. DOWN TO BASEMENT.
6. HOT WATER RECIRC LOOP SHALL DROP IN WALL TO LIMIT HOT WATER BRANCH TO PUBLIC LAVATORY TO 2 FT MAX.
7. CONNECT TO DOMESTIC COLD WATER BRANCH UPSTREAM OF APARTMENT SHUT-OFF AND TENANT METER AND PROVIDE VALVED BRANCH TO WALL HYDRANT.
8. ROUTE 3/4" BRANCH UP TO ROOF HYDRANT. PROVIDE 1/8" DRAIN FROM ROOF HYDRANT TO ABOVE NEAREST FLOOR DRAIN IN MECH CLOSET.



1 FIRST FLOOR DOMESTIC WATER PLAN
 1/8" = 1'-0"



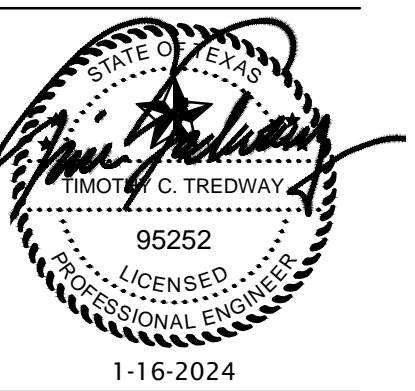
2 BASEMENT DOMESTIC WATER PLAN
 1/8" = 1'-0"



REVISION:

▲ Addendum #2 02-20-2024
▲ ASI #5 06-05-2024

DATE: 1-16-2024
 JOB: 21-3166
 SHEET NO.:



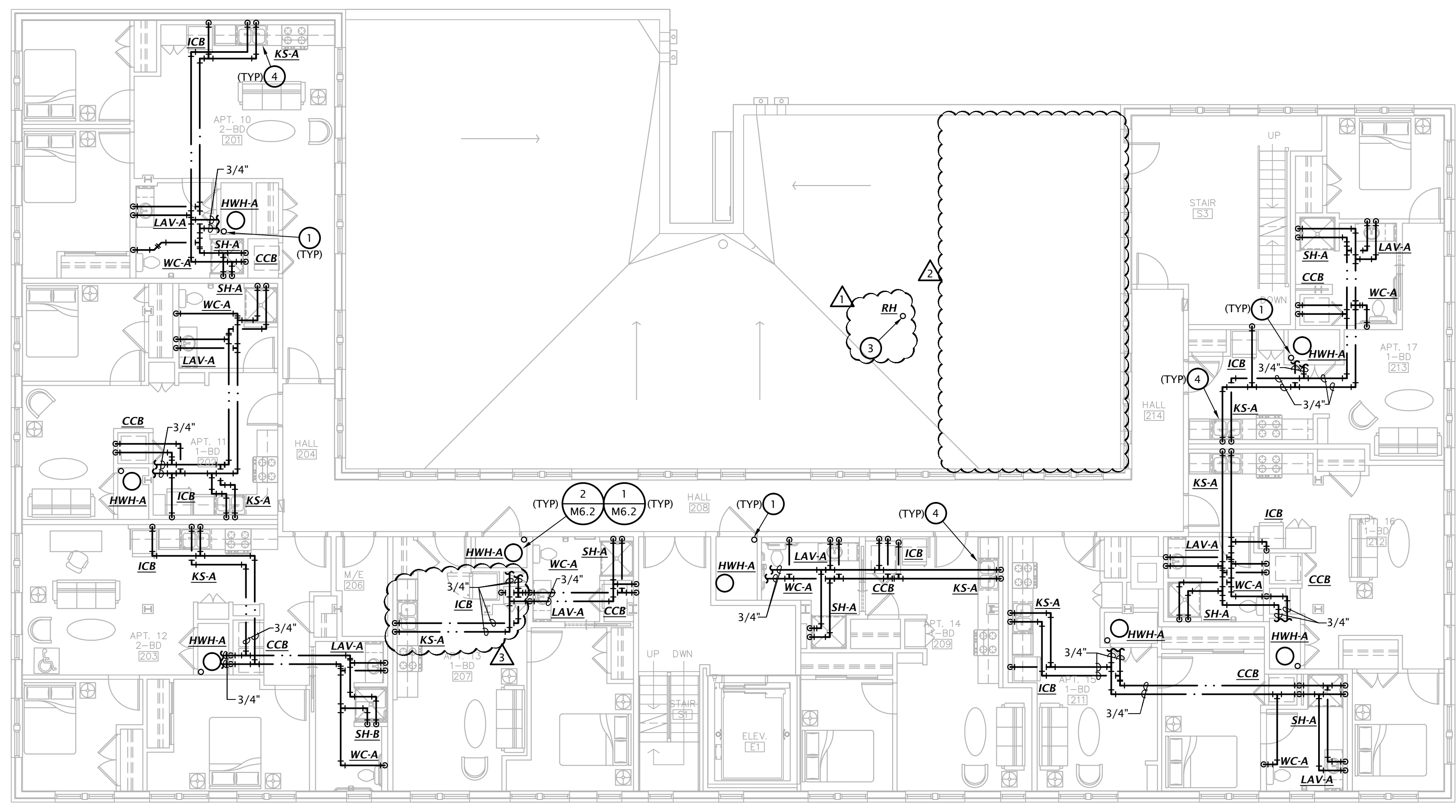
REVISION:	1-16-2024
▲ Addendum #2 02-20-2024	
▲ ASI #3 05-08-2024	
▲ ASI #5 06-05-2024	
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COPPER PIPE SIZE INDICATED	ALTERNATE MATERIAL/SIZE	
	Cross-linked polyethylene (PEX)	Polypropylene (PP)
	1/2"	3/4"
3/4"	1"	1"
1"		1-1/4"
1-1/4"		1-1/2"
1-1/2"		2"
2"		2-1/2"
2-1/2"		3"
3"		3-1/2"

Note: Pipe sizes indicated on drawings are for Type L copper pipe. If alternate materials are used, sizes shall be as indicated above. Where no pipe size is shown, use of indicated material in design pipe size is prohibited. Do not use materials other than those listed.

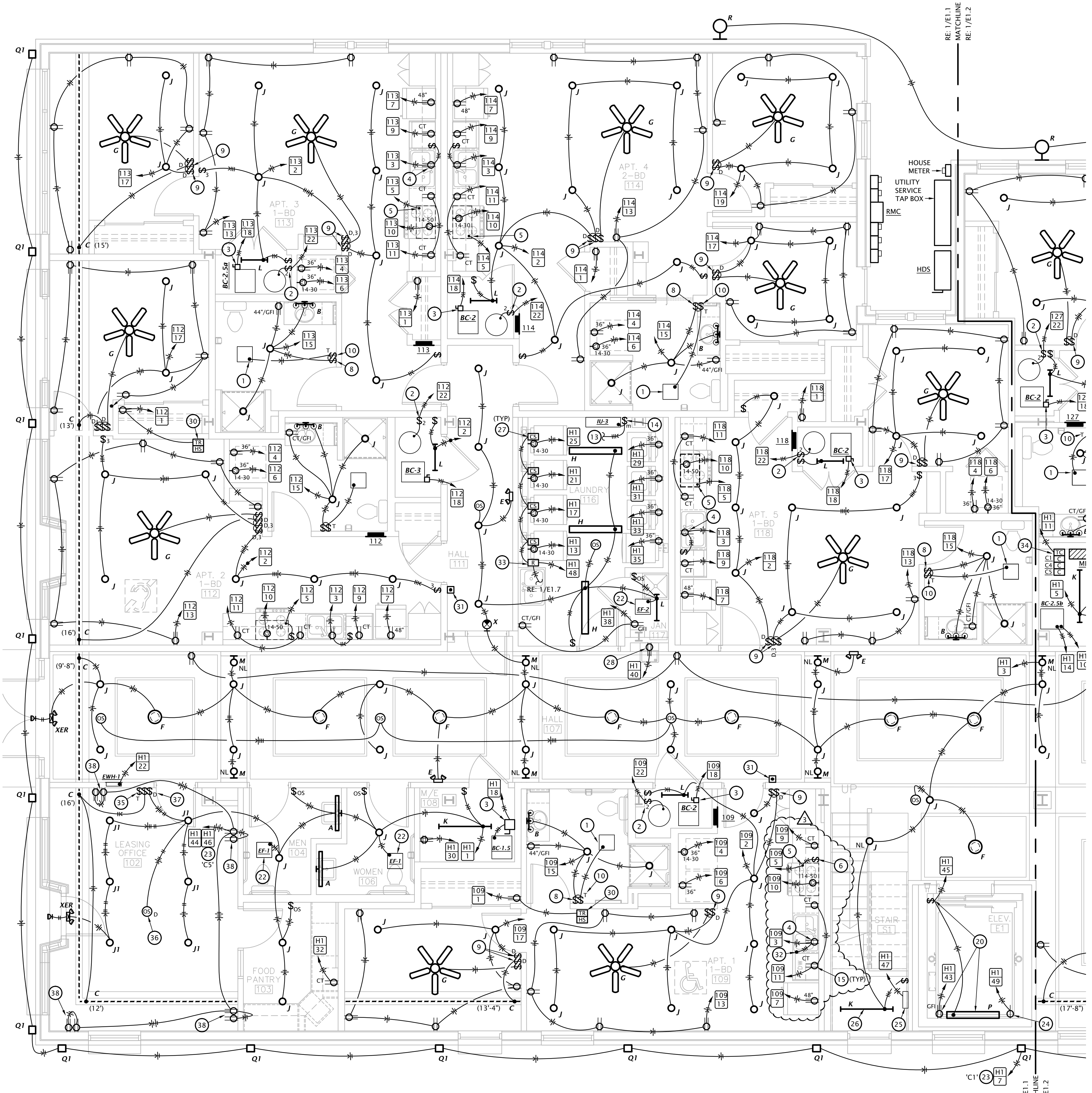
- NOTES:**
- PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS.
 - COORDINATE INSTALLATION OF PIPING IN MECHANICAL CLOSET W/ M.C. & E.C.
 - SEE PLUMBING FIXTURE SCHEDULE ON SHEET P6.1 FOR FIXTURE ROUGH-IN INFORMATION.
 - INSULATE ALL HW PIPING PER SPECIFICATIONS.

- DOMESTIC WATER PLAN NOTES BY SYMBOL**
1. PROVIDE 1" WATER SERVICE TO APARTMENT WITH SHUT-OFF VALVE. SEE TYPICAL APARTMENT DOMESTIC WATER RISER DIAGRAM ON SHEET M6.2 FOR ADDITIONAL INFO.
 2. PROVIDE 1/2" VALVED BRANCH BELOW SINK AND CONNECT DISHWASHER. ROUTE PIPING ALONG BACK OF CABINETS. COORDINATE EXACT ROUTING WITH G.C. COORDINATE EXACT REQUIREMENTS WITH DISHWASHER PROVIDED.
 3. FIELD COORDINATE EXACT LOCATION OF ROOF HYDRANT WITH ARCHITECT AND OTHER TRADES PRIOR TO ROUGH-IN. COORDINATE INSTALLATION WITH G.C.



1 SECOND FLOOR DOMESTIC WATER PLAN
 1/8" = 1'-0"

SEE SHEET E1.5 FOR GENERAL ELECTRICAL NOTES.

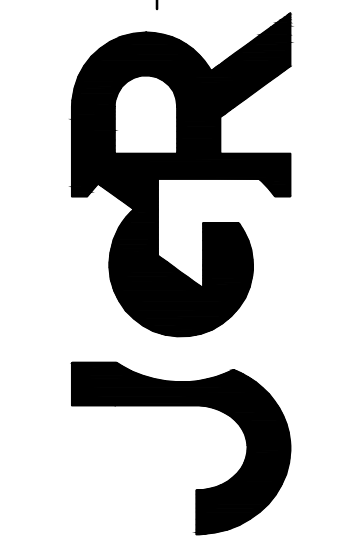


1 PARTIAL FIRST FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"

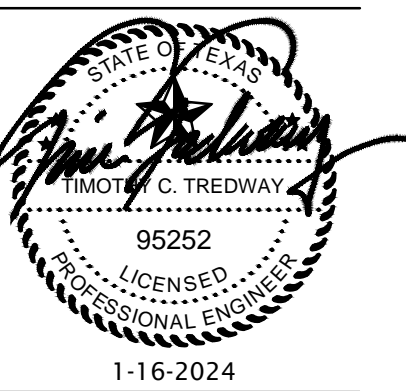
ELECTRICAL PLAN NOTES BY SYMBOL

- CONNECT EXHAUST FAN PROVIDED BY MECHANICAL CONTRACTOR.
- PROVIDE 30A/2P SNAP SWITCH AND CONNECT WATER HEATER.
- PROVIDE 60A/2P DISCONNECT SWITCH AND CONNECT TO BLOWER COIL WITH ELECTRIC HEAT. SEE EQUIPMENT SCHEDULE FOR MORE INFORMATION. COORDINATE REQUIREMENTS WITH M.C.
- SPLIT-WIRE DUPLEX RECEPTACLE BELOW COUNTER. TOP HALF OF RECEPTACLE TO BE SWITCHED FOR CONTROL OF GARBAGE DISPOSAL. BOTTOM HALF OF RECEPTACLE TO BE WIRED UNSWITCHED FOR DISHWASHER. RECEPTACLE SHALL BE LOCATED IN BACK OF BASE CABINET ADJACENT TO DISHWASHER TO ALLOW ACCESS. PROVIDE CORDS AND GROUNDING PLUGS AS REQUIRED FOR DISPOSER AND DISHWASHER.
- PROVIDE 120V CONNECTION TO MICROWAVE/RANGE HOOD. STANDARD AND ADAPTABLE UNITS WILL HAVE MICROWAVE ABOVE RANGE. ACCESSIBLE UNITS WILL HAVE RANGE HOOD. COORDINATE EXACT ELECTRICAL ROUGH-IN REQUIREMENTS WITH EQUIPMENT PROVIDED. IF EQUIPMENT IS CORD AND PLUG, PROVIDE RECEPTACLE INSIDE CABINET ABOVE RANGE.
- PROVIDE SWITCH IN ACCESSIBLE UNITS FOR CONTROL OF RANGE HOOD.
- IN ACCESSIBLE UNITS, INSTALL COUNTERTOP RECEPTACLES A MINIMUM 36" AWAY FROM CORNER PER FAIR HOUSING ACT DESIGN MANUAL CHAPTER 5 'SIDE REACH OVER AN OBSTRUCTION' REQUIREMENTS. WHERE AN OBSTRUCTION PREVENTS 36" DISTANCE REQUIREMENT, INSTALL RECEPTACLE AS FAR FROM CORNER AS POSSIBLE. PROVIDE ADDITIONAL OUTLETS WITHIN 36" OF CORNER TO ENSURE COMPLIANCE WITH NEC SPACING REQUIREMENTS.
- SWITCH CLOSEST TO DOOR SHALL CONTROL ALL LIGHTS IN BATHROOM, AND THE OTHER SWITCH SHALL CONTROL THE EXHAUST FAN.
- PROVIDE PRESET SLIDE DIMMER COMPATIBLE WITH ASSOCIATED LIGHT FIXTURES.
- PROVIDE TIMER SWITCH EQUAL TO AIR CYCLER 'SMART EXHAUST' FOR CONTROL OF EXHAUST FAN. SET SWITCH PER MANUFACTURER'S INSTRUCTIONS TO OPERATE FAN AS INDICATED BELOW:
 - 1 BEDROOM: 20 MINUTES PER HOUR
 - 2 BEDROOM: 35 MINUTES PER HOUR
- ROUTE 120V CIRCUIT FOR HOT WATER RECIRCULATION PUMP (HWP) THROUGH ADJACENT AQUASTAT. PROVIDE 20A/1P SNAP SWITCH ADJACENT TO PUMP AND MAKE FINAL FLEXIBLE CONNECTION. COORDINATE WITH PLUMBING CONTRACTOR.
- CONNECT UNBALANCED PORTION OF WATER HEATER LOAD TO PHASE LEG INDICATED.
- (3) #12, #12G, 1/2" C FROM ASSOCIATED OUTDOOR UNIT ON ROOF. SEE SHEET E1.7.
- 30A/3P MANUAL MOTOR CONTROLLER SNAP SWITCH (WITHOUT OVERLOAD PROTECTION) IN NEMA 1 ENCLOSURE, P65 #7803W OR EQUAL. MOUNT ADJACENT TO UNIT AND MAKE FINAL FLEXIBLE CONNECTION TO EQUIPMENT.
- AT RECEPTACLES ABOVE KITCHEN COUNTERS IN ACCESSIBLE UNITS (#109 & #203, PROVIDE 1" DEEP FLUSH TYPE EXTENSION ADAPTER, WIREMOLD #V5751WH, TO BRING RECEPTACLE CLOSER TO COUNTERTOP EDGE TO COMPLY WITH 24" SIDE REACH REQUIREMENT.
- 30A/2P DISCONNECT SWITCH WITH SOLID NEUTRAL AND (1) 20A DUAL-ELEMENT, TIME DELAY FUSE IN NEMA 1 ENCLOSURE FOR ELEVATOR CAB LIGHTS & EXHAUST. SWITCH SHALL BE CAPABLE OF BEING LOCKED "OFF". MOUNT AT 6'-0" AFF TO TOP AND LABEL WITH CIRCUIT NUMBER. COORDINATE EXACT MOUNTING LOCATION AND REQUIREMENTS WITH ELEVATOR EQUIPMENT INSTALLER. PROVIDE FINAL ELECTRICAL CONNECTION TO ELEVATOR CONTROLLER LOCATED IN HOISTWAY WALL AT SECOND FLOOR LANDING.
- NOTE DELETED.
- 3-PHASE POWER FEEDER AND (2) #18 STRANDED CU CONDUCTORS FROM ELEVATOR POWER MODULE SWITCH TO 'JH1' DISCONNECT SWITCH.
- ELEVATOR CONTROLLER IN HOISTWAY WALL AT SECOND FLOOR LANDING. VERIFY EXACT LOCATION AND REQUIREMENTS WITH ELEVATOR EQUIPMENT INSTALLER.
- INSTALL LIGHT AND RECEPTACLE ON WALL OF ELEVATOR PIT. VERIFY EXACT LOCATION WITH ELEVATOR EQUIPMENT INSTALLER. INSTALL LIGHT SWITCH ADJACENT TO PIT LADDER AT 48" ABOVE FLOOR LANDING.
- INSTALL LIGHT AND RECEPTACLE ON WALL OF ELEVATOR HOISTWAY ABOVE SECOND FLOOR LANDING. VERIFY EXACT LOCATION WITH ELEVATOR EQUIPMENT INSTALLER. INSTALL LIGHT SWITCH ADJACENT TO ENTRY AT 48" ABOVE FLOOR LANDING.
- SWITCH EXHAUST FAN WITH ROOM LIGHTS.
- ROUTE CIRCUIT THROUGH CONTACTOR INDICATED. SEE 5/E6.1.
- SIMPLEX RECEPTACLE IN ELEVATOR PIT FOR ELEVATOR SUMP PUMP. COORDINATE EXACT MOUNTING LOCATION WITH PLUMBING CONTRACTOR AND ELEVATOR EQUIPMENT INSTALLER.
- ELEVATOR SUMP PUMP ALARM PANEL IN CLOSET BELOW STAIR LANDING. PROVIDE 120V POWER CONNECTION AND 1" CONDUIT WITH PULL STRING STUBBED INTO ELEVATOR PIT FOR CONTROL CABLING. COORDINATE ALL WORK WITH PLUMBING CONTRACTOR.
- MOUNT LIGHT FIXTURE FOR CLOSET BELOW STAIR LANDING. MOUNT TO STRUCTURE.
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- PROVIDE 120V POWER CONNECTION TO SEWAGE EJECTOR ALARM PANEL AND SIMPLEX RECEPTACLE FOR POWER TO SEWAGE EJECTOR PUMP. COORDINATE REQUIREMENTS WITH G.C. AND PLUMBING CONTRACTOR.
- PROVIDE DOOR ANNUNCIATOR SYSTEM A/V HORN/STROBE DEVICE AND LOW VOLTAGE TRANSFORMER AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED HEARING-IMPAIRED. INSTALL HORN/STROBE APPLIANCE AT 80" AFF. INSTALL TRANSFORMER IN DOUBLE GANG JUNCTION BOX ABOVE HORN/STROBE WITH BLANK COVER PLATE AND PROVIDE LOW VOLTAGE CONTROL WIRING. SEE DETAIL 3, SHEET E6.2. PROVIDE ENGRAVED SIGN AT THE HORN/STROBE DEVICE TO READ "DOOR".
- PROVIDE PUSH BUTTON AT 48" AFF FOR ANNUNCIATOR SYSTEM AT ALL ACCESSIBLE APARTMENTS AND ALSO AT APARTMENTS DESIGNATED FOR HEARING-IMPAIRED. REFER TO ARCH DRAWINGS FOR APPLICABLE ROOMS. SEE DETAIL 3, SHEET E6.2.
- IN ADA/ACCESSIBLE UNITS, DISPOSER SWITCH SHALL BE COUNTERTOP MOUNTED, AIR ACTIVATED PUSH BUTTON TYPE, FINISH TO MATCH SINK. COORDINATE EXACT LOCATION OF PUSH BUTTON WITH ARCHITECT.
- RELAY FOR CONTROL OF MOTORIZED INTAKE HOOD ON ROOF. SEE 2/E6.2.
- TIMELOCK AND CONTACTORS FOR LIGHTING AND RECEPTACLE CONTROL. RE: 5/E6.1.
- 2-HOUR DIAL TIMER OVERRIDE SWITCH FOR SWITCHED RECEPTACLES. SEE 5/E6.1.
- LINE VOLTAGE CEILING OCCUPANCY SENSOR/PHOTOCELL WITH DAYLIGHT HARVESTING CAPABILITY. SENSOR SHALL DIM 0-10V LIGHTS WHEN ADEQUATE DAYLIGHT IS PRESENT. SENSORWORX #WX-2-3-1-2-D OR EQUAL.
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- RECEPTACLE FOR POWER TO FUTURE RADON FAN. INSTALL RECEPTACLE IN ROOM 306 ON WALL AT APPROX. 12" BELOW UNDERSIDE OF ROOF. INSTALL RECEPTACLE IN APARTMENT - 24 (312) ABOVE CEILING OF LAUNDRY ROOM, ADJACENT TO ACCESS PANEL.

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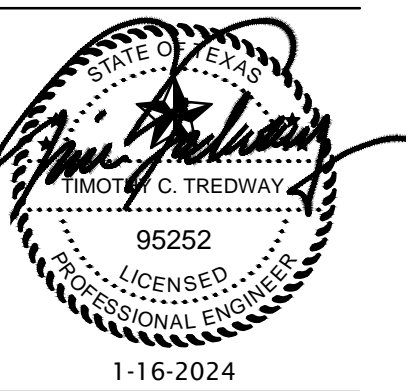
ROOSEVELT LOFTS
 HISTORIC REHABILITATION - APARTMENTS
 SAN ANGELO, TEXAS



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E1.1

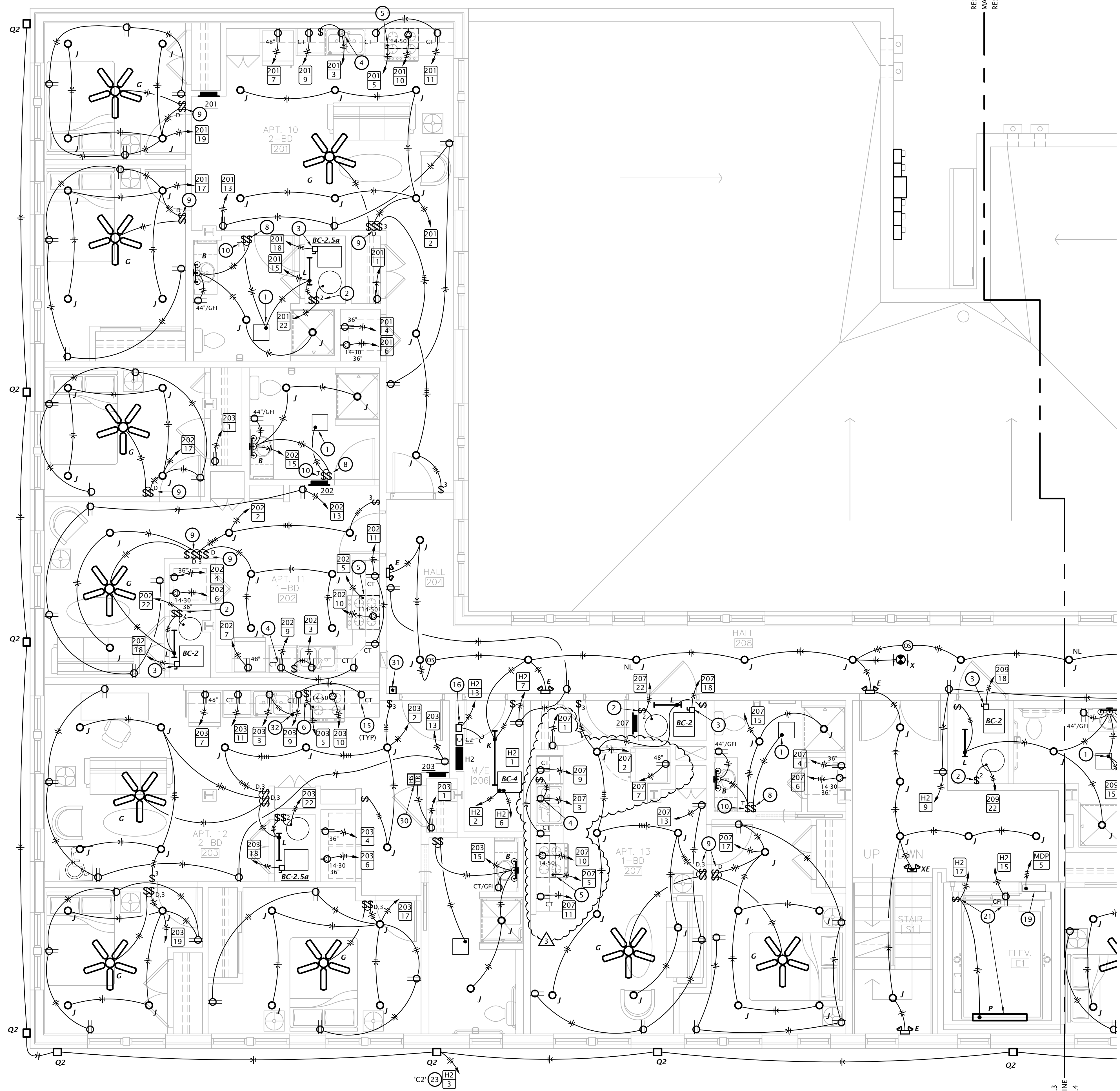
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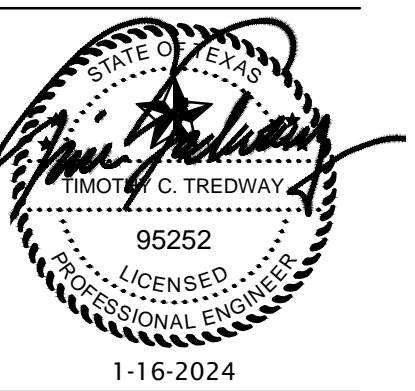
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PARTIAL SECOND FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"



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SPECIAL SYSTEMS PLAN NOTES BY SYMBOL

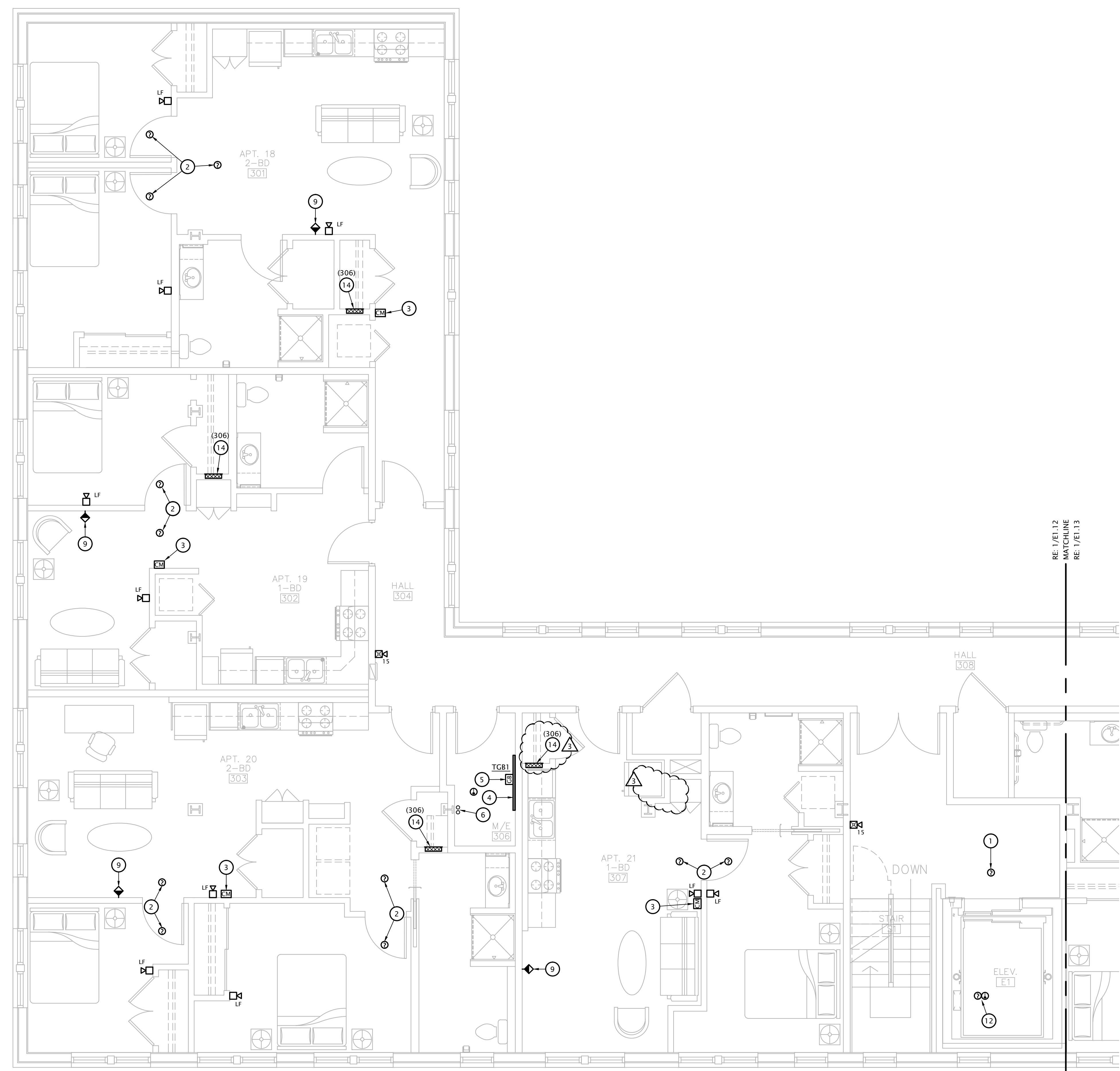
- ELEVATOR LOBBY SMOKE DETECTOR. SEE DETAIL 4:E6.1.
- FIRE ALARM SYSTEM COMBINATION CO / SMOKE DETECTOR.
- FIRE ALARM ADDRESSABLE CONTROL MODULE FOR CONTROL OF APARTMENT UNIT'S NOTIFICATION APPLIANCE CIRCUIT. MODULE SHALL BE PROGRAMMED TO ACTIVATE APARTMENT UNIT'S NOTIFICATION APPLIANCES UPON GENERAL BUILDING FIRE ALARM AND UPON ACTIVATION OF ANY SMOKE DETECTOR OR CO DETECTOR WITHIN APARTMENT UNIT. MOUNT FLUSH IN WALL AT 8'-0" AFF.
- TELEPHONE TERMINAL BOARD: COVER WALL WITH 4'X8'X3/4" ACX FIRE RETARDANT PLYWOOD SHEETS INSTALLED VERTICALLY WITH BOTTOM AT 6" AFF. PLYWOOD SHALL BE PERMANENTLY FASTENED TO THE WALL BY MEANS OF WALL ANCHORS UTILIZING GALVANIZED, ZINC PLATED, OR STAINLESS STEEL HARDWARE WITH A FLAT HEAD. FINISHED INSTALLATION SHALL HAVE FLUSH APPEARANCE WITH COUNTERSUNK SCREW HEADS TO PREVENT SPLITTING OF THE PLYWOOD. DRYWALL SCREWS ARE NOT ACCEPTABLE. PAINT WITH TWO COATS OF LIGHT GRAY FIRE RETARDANT SEALER PRIOR TO INSTALLATION OF ANY EQUIPMENT.
- TELECOMMUNICATIONS GROUND BAR AT 18" AFF. SEE DETAIL 6, SHEET E6.1.
- (2) 4" EMT CONDUIT SLEEVES FROM OVERHEAD IN M/E ROOM 108, THROUGH M/E ROOM 206, AND STUBBED UP 4" ABOVE FINISHED FLOOR OF M/E ROOM 306 FOR COMMUNICATIONS BACKBONE CABLING. PROVIDE WITH FIRESTOPPING FITTINGS (WIREMOLD #FS4R-RED) AT BOTH ENDS.
- (2) 4" CONDUITS FOR COMMUNICATIONS SERVICE CABLING ROUTED CONCEALED OVERHEAD AND STUBBED INTO M/E ROOM 108.
- SEAL CONDUIT PENETRATIONS THROUGH EXTERIOR WALL WEATHERTIGHT.
- COORDINATE FINAL LOCATIONS OF ALL CATV AND PHONE OUTLETS WITH OWNER. SEE 1:E6.2 FOR OUTLET DETAILS.
- ADDRESSABLE AND CONVENTIONAL FIRE ALARM RELAYS FOR ELEVATOR POWER SHUNT-TRIP, AND ADDRESSABLE MONITORING MODULE AND CONTROL RELAY FOR MONITORING OF SHUNT TRIP VOLTAGE. SEE DETAIL 4:E6.1.
- ADDRESSABLE FIRE ALARM RELAYS FOR ELEVATOR PRIMARY AND ALTERNATE FLOOR RECALL AND FIREMAN'S HAT. MOUNT ON HOISTWAY WALL ABOVE CEILING AND PROVIDE ACCESS PANEL IN CEILING AS REQUIRED. COORDINATE WITH ELEVATOR EQUIPMENT INSTALLER AND G.C. SEE DETAIL 4:E6.1.
- INSTALL SMOKE DETECTOR AND HEAT DETECTOR AT TOP OF ELEVATOR HOISTWAY PER LOCAL JURISDICTION REQUIREMENTS. SEE DETAIL 4:E6.1.
- INSTALL HEAT DETECTOR IN ELEVATOR PIT. SEE DETAIL 4:E6.1.
- TELECOM DISTRIBUTION DEVICE APPROXIMATELY 4'-0" AFF. SEE DETAIL 1:E6.2. COORDINATE EXACT REQUIREMENTS WITH UTILITY PROVIDER SELECTED BY OWNER. HOMERUN CAT6 AND COAX CABLE TO ROOM INDICATED.
- PROVIDE 4-PAIR, CAT5e UTP, NEC TYPE 'CMP' CABLE (SUPERIOR ESSEX #51-241-48 OR EQUAL) IN 3/4" CONDUIT FROM TOP OF ELEVATOR CONTROLLER TO TELECOM TERMINAL BOARD IN M/E 108 FOR EMERGENCY ELEVATOR CAB TELEPHONE.
- PROVIDE FIRE ALARM RELAYS AND MONITORING MODULES FOR ALL FIRE SPRINKLER FLOW SWITCHES, AND BELL/GONG. SEE E1.1 SITE PLAN FOR LOCATION OF TAMPER SWITCHES. COORDINATE QUANTITIES AND LOCATIONS WITH FIRE SPRINKLER CONTRACTOR PRIOR TO BID.
- ELEVATOR CONTROLLER IN HOISTWAY WALL AT SECOND FLOOR LANDING. VERIFY EXACT LOCATION AND REQUIREMENTS WITH ELEVATOR EQUIPMENT INSTALLER.



1 PARTIAL SECOND FLOOR SPECIAL SYSTEMS PLAN
 1/4" = 1'-0"

RE: 1/E1.10
 MATCHLINE
 RE: 1/E1.11

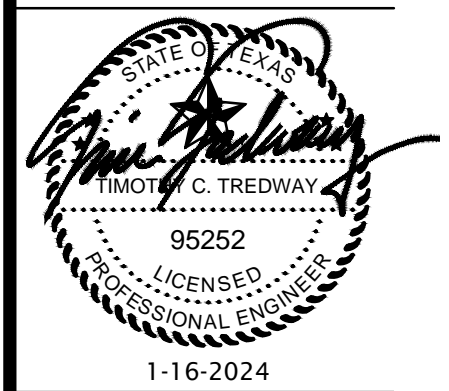
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SPECIAL SYSTEMS PLAN NOTES BY SYMBOL

1. ELEVATOR LOBBY SMOKE DETECTOR. SEE DETAIL 4:E6.1.
2. FIRE ALARM SYSTEM COMBINATION CO / SMOKE DETECTOR.
3. FIRE ALARM ADDRESSABLE CONTROL MODULE FOR CONTROL OF APARTMENT UNIT'S NOTIFICATION APPLIANCE CIRCUIT. MODULE SHALL BE PROGRAMMED TO ACTIVATE APARTMENT UNIT'S NOTIFICATION APPLIANCES UPON GENERAL BUILDING FIRE ALARM AND UPON ACTIVATION OF ANY SMOKE DETECTOR OR CO DETECTOR WITHIN APARTMENT UNIT. MOUNT FLUSH IN WALL AT 8'-0" AFF.
4. TELEPHONE TERMINAL BOARD: COVER WALL WITH 4'X8'X3/4" ACX FIRE RETARDANT PLYWOOD SHEETS INSTALLED VERTICALLY WITH BOTTOM AT 6" AFF. PLYWOOD SHALL BE PERMANENTLY FASTENED TO THE WALL BY MEANS OF WALL ANCHORS UTILIZING GALVANIZED, ZINC PLATED, OR STAINLESS STEEL HARDWARE WITH A FLAT HEAD. FINISHED INSTALLATION SHALL HAVE FLUSH APPEARANCE WITH COUNTERSUNK SCREW HEADS TO PREVENT SPLITTING OF THE PLYWOOD. DRYWALL SCREWS ARE NOT ACCEPTABLE. PAINT WITH TWO COATS OF LIGHT GRAY FIRE RETARDANT SEALER PRIOR TO INSTALLATION OF ANY EQUIPMENT.
5. TELECOMMUNICATIONS GROUND BAR AT 18" AFF. SEE DETAIL 6, SHEET E6.1.
6. (2) 4" EMT CONDUIT SLEEVES FROM OVERHEAD IN M/E ROOM 108, THROUGH M/E ROOM 206, AND STUBBED UP 4" ABOVE FINISHED FLOOR OF M/E ROOM 306 FOR COMMUNICATIONS BACKBONE CABLING. PROVIDE WITH FIRESTOPPING FITTINGS (WIREMOLD #FS4R-RED) AT BOTH ENDS.
7. (2) 4" CONDUITS FOR COMMUNICATIONS SERVICE CABLING ROUTED CONCEALED OVERHEAD AND STUBBED INTO M/E ROOM 108.
8. SEAL CONDUIT PENETRATIONS THROUGH EXTERIOR WALL WEATHERTIGHT.
9. COORDINATE FINAL LOCATIONS OF ALL CATV AND PHONE OUTLETS WITH OWNER. SEE 1:E6.2 FOR OUTLET DETAILS.
10. ADDRESSABLE AND CONVENTIONAL FIRE ALARM RELAYS FOR ELEVATOR POWER SHUNT-TRIP, AND ADDRESSABLE MONITORING MODULE AND CONTROL RELAY FOR MONITORING OF SHUNT TRIP VOLTAGE. SEE DETAIL 4:E6.1.
11. ADDRESSABLE FIRE ALARM RELAYS FOR ELEVATOR PRIMARY AND ALTERNATE FLOOR RECALL AND FIREMAN'S HAT. MOUNT ON HOISTWAY WALL ABOVE CEILING AND PROVIDE ACCESS PANEL IN CEILING AS REQUIRED. COORDINATE WITH ELEVATOR EQUIPMENT INSTALLER AND G.C. SEE DETAIL 4:E6.1.
12. INSTALL SMOKE DETECTOR AND HEAT DETECTOR AT TOP OF ELEVATOR HOISTWAY PER LOCAL JURISDICTION REQUIREMENTS. SEE DETAIL 4:E6.1.
13. INSTALL HEAT DETECTOR IN ELEVATOR PIT. SEE DETAIL 4:E6.1.
14. TELECOM DISTRIBUTION DEVICE APPROXIMATELY 4'-0" AFF. SEE DETAIL 1:E6.2. COORDINATE EXACT REQUIREMENTS WITH UTILITY PROVIDER SELECTED BY OWNER. HOMERUN CAT6 AND COAX CABLE TO ROOM INDICATED.
15. PROVIDE 4-PAIR, CAT5e UTP, NEC TYPE 'CMP' CABLE (SUPERIOR ESSEX #51-241-48 OR EQUAL) IN 3/4" CONDUIT FROM TOP OF ELEVATOR CONTROLLER TO TELECOM TERMINAL BOARD IN M/E 108 FOR EMERGENCY ELEVATOR CAB TELEPHONE.
16. PROVIDE FIRE ALARM RELAYS AND MONITORING MODULES FOR ALL FIRE SPRINKLER FLOW SWITCHES, AND BELL/GONG. SEE E1.1 SITE PLAN FOR LOCATION OF TAMPER SWITCHES. COORDINATE QUANTITIES AND LOCATIONS WITH FIRE SPRINKLER CONTRACTOR PRIOR TO BID.
17. ELEVATOR CONTROLLER IN HOISTWAY WALL AT SECOND FLOOR LANDING. VERIFY EXACT LOCATION AND REQUIREMENTS WITH ELEVATOR EQUIPMENT INSTALLER.

1 PARTIAL THIRD FLOOR SPECIAL SYSTEMS PLAN
 1/4" = 1'-0"



REVISION:	1-16-2024
ASI #4	05-29-2024
ASI #5	6-5-2024
DATE:	1-16-2024
JOB:	21-3166
SHEET NO.:	