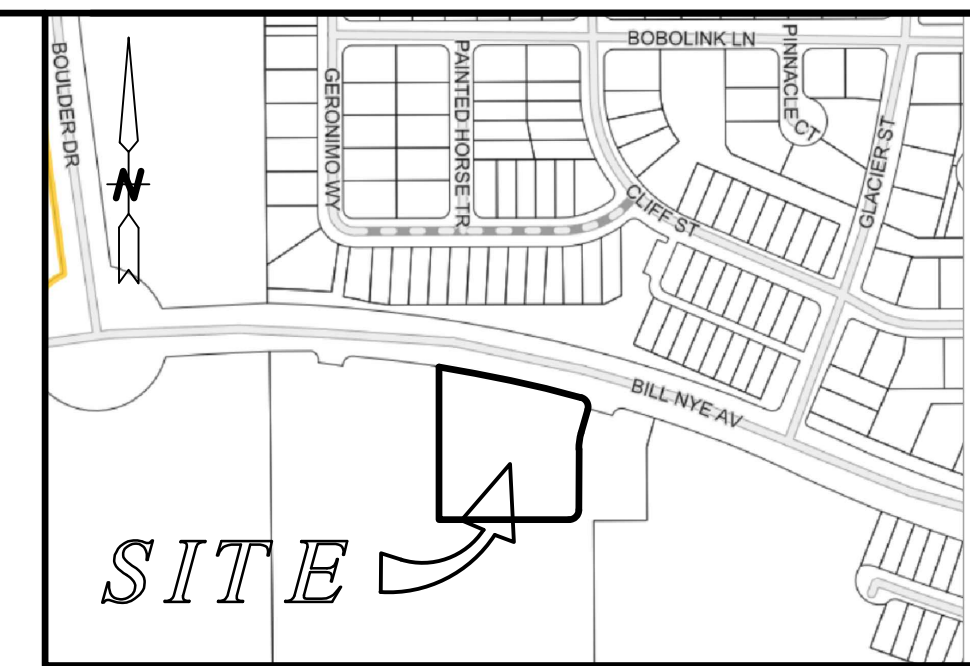


BASIS OF BEARINGS:
 WYOMING STATE PLANE COORDINATES,
 EAST ZONE, NAD83-2011,
 US SURVEY FEET, DISTANCES ARE GRID
 DISTANCES.
 ELEVATIONS:
 NAVD88



VICINITY MAP
 (NOT TO SCALE)

CURVE TABLE					
CURVE #	DELTA	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C3	6° 03' 36"	2859.72'	S77° 50' 19"E	302.33'	302.47'
C4	90° 24' 01"	20.00'	S29° 36' 33"E	28.38'	31.55'
C5	15° 33' 43"	125.01'	S7° 48' 24"W	33.85'	33.95'
C6	89° 59' 46"	20.00'	S45° 01' 23"W	28.28'	31.42'

- LEGEND**
- SET 3/4" X 24" LONG REBAR WITH 1 1/2" ALUMINUM CAP STAMPED "SSS P.L.S. 5910"
 - ⊗ EXISTING WATER VALVE
 - ⊕ EXISTING SANITARY SEWER MANHOLE
 - W — EXISTING WATER LINE
 - SA — EXISTING SANITARY SEWER LINE
 - EXISTING CATCH BASIN
 - [Stippled Pattern] EXISTING BITUMINOUS SURFACE
 - [Dotted Pattern] EXISTING CONCRETE SURFACE

CONCERNING ITEMS CORRESPONDING TO SCHEDULE B, SECTION II, EXCEPTIONS
 TO BE DETERMINED UPON RECEIPT OF TITLE COMMITMENT.

DRAFT

TITLE COMMITMENT NOTE

TITLE COMMITMENT NOT PROVIDED.

ADDRESS

VACANT LAND - LARAMIE, WYOMING 82070

LEGAL DESCRIPTION

The Land referred to herein below is situated in the County of Albany, State of Wyoming, and is described as follows:
 LOT 1 BLOCK 2, GRAND VIEW HEIGHTS ESTATES, CITY OF LARAMIE, ALBANY COUNTY, WYOMING.

NOTE: SUBDIVISION PLAT IS CURRENTLY GOING THROUGH THE APPROVAL PROCESS AND IS NOT YET APPROVED.

FLOOD NOTE

SAID SURVEYED PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATION "ZONE X", BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 56021C1770E, WITH A DATE OF IDENTIFICATION JUNE 16, 2011, FOR COMMUNITY NUMBER 560002, ALBANY COUNTY, STATE OF WYOMING, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID SURVEYED PROPERTY IS SITUATED.

NOTES CORRESPONDING TO "TABLE A" ITEMS:

- 1.) MONUMENTS FOUND OR SET AS SHOWN ON MAP
- 4.) PARCEL AREA = 82,118± SQ.FT. (1.95 ACRES +/-)
- 5.) VERTICAL RELIEF SHOWN ON MAP, ONE FOOT CONTOUR INTERVAL.
- 11(b) UTILITY LOCATIONS SHOWN ON MAP, ONE-CALL OF WYOMING WAS CONTACTED FOR LOCATES, AND PROVIDED SOME MARKINGS. STEIL SURVEYING IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF UTILITY LOCATES.
- 15.) BACKGROUND PHOTO FROM AUTODESK GEOMAP DATED 2024 AND MAY HAVE A SLIGHT SHIFT.
- 18.) NO OFFSITE EASEMENTS PROVIDED, NO TITLE COMMITMENT PROVIDED AS OF THIS DATE
- 20.) ACKNOWLEDGEMENT THAT SURVEY CAN BE USED FOR DESIGN PURPOSES

SURVEYORS CERTIFICATE

To: TO BE DETERMINED:

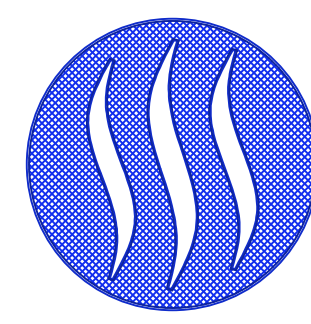
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 4, 5, 11(b), 18, and 20 of "Table A" thereof. The field work was completed on August 8, 2024.

Date of Plat or Map: August 12, 2024.

Jeffrey B. Jones
 PLS #5910
 JOB #26247.
 jeff@steilsurvey.com

REVISED: 08/12/2024

ERA L1 B2 GRANDVIEW EST ALTA\24267 SOLTERA L1 B2 GRANDVIEW EST ALTA.dwg



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