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NOTICE TO ALL CONTRACTORS AND SUB-CONTRACTORS

September 10, 2024

The Reserves at Grand View Heights – Proj. 22-3262

ADDENDUM NO. 3

YOU ARE INSTRUCTED TO READ AND TO NOTE THE FOLLOWING DESCRIBED CHANGES, CORRECTIONS, CLARIFICATIONS, OMISSIONS, DELETIONS, ADDITIONS, APPROVALS, AND STATEMENTS PERTINENT TO THE CONTRACT AND CONSTRUCTION DOCUMENTS. THIS ADDENDUM IS A PART OF THE CONTRACT AND CONSTRUCTION DOCUMENTS AND SHALL GOVERN IN THE PERFORMANCE OF THE WORK.

Architectural – Drawings

1. Sheet A1.1
    a. Perimeter fence, along west property line – Along north end, for a minimum of 32'-4" from the property line, the fence must be 4' in lieu of 6' tall.
    b. Transformers shall be buffered by 5' tall wood fences. Reference Notes T on the Site Plan Key Notes. Reference plan for location of fence.
    c. Electrical panel on Building B shall be buffered by a 5' wood fence. Reference Note U on the Site Plan Key Notes.
    d. Trash Enclosure has been enlarged (North wall shifted north), and dumpsters/bollards shifted north, to provide proper clearance around the dumpsters.
    e. Monument Sign size has been adjusted, made smaller.
2. Sheet A1.2
    a. Detail J has been revised to include details for the 4', 5' and 6' tall fences.
3. Sheet A1.3
    a. Trash Enclosure has been enlarged (North wall shifted north), and dumpsters/bollards shifted north, to provide proper clearance around the dumpsters. Reference revised details A, B & C
    b. Monument Sign size has been adjusted, made smaller. Reference revised details G, H, J & K.
4. Sheet L1.1
    a. Entire Plan has been updated to include additional plantings and landscaped areas per Laramie Municipal Code.
    b. Irrigation note has been added
    c. Landscaping requirements calculations have been updated
    d. Landscape Units Awarded Chart has been updated.
5. Sheet A3.1
    a. Raised Roof Line above West Entry to Building A has been lowered to match the adjacent roof.
6. Sheet A5.1
    a. Raised Roof line above West Entry to Building A has been lowered to match the adjacent roof. Continuous Roof vent has been adjusted to fit new roof ridge lines.

Receipt of this Addendum shall be noted on the Bid Form.

END OF ADDENDUM NO. 3

(6) Architectural Sheets A1.1, A1.2, A1.3, L1.1, A3.1, A5.1

GENERAL SITE PLAN NOTES

1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.
2. INSTALL MATERIALS AND FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR FINISH INSTALLATION.
3. WHERE NEW CONCRETE ABUTS THE BUILDING, PROVIDE 3/4" EXPANSION JOINT & SEAL TOP WITH EPOXY SEALER.
4. INSTALL EXPANSION JOINTS IN CONCRETE SIDEWALK PAVING AT ±60" O.C. PROVIDE FILLER MATERIAL AND SEALANT. COORDINATE WITH ARCHITECT FOR FINAL LOCATIONS OF EXPANSION JOINTS.
5. INSTALL CONTROL JOINTS IN CONCRETE ROUGHLY SQUARE AND AREAS NOT TO EXCEED 100 S.F.
6. EXTERIOR DOOR LANDINGS SHALL BE WITHIN 1/2" OF INTERIOR FINISH FLOOR ELEVATION. MAXIMUM SLOPE IN ANY DIRECTION SHALL BE 1:50
7. FINISH FLOOR ELEVATION SHALL BE VERIFIED BY GENERAL CONTRACTOR AND CONFIRMED W/ PROPOSED GRADING TO PROVIDE DRAINAGE AWAY FROM THE BUILDING
8. LANDSCAPING, SEEDING, PLANTINGS, ETC. TO BE BY OTHERS. ALL AREAS AROUND THE SITE AND AS INDICATED ON THE SITE PLAN SHALL BE FINE GRADED WITH MIN. 2" TOP SOIL AREAS SHALL BE FREE OF ROCKS AND CLUMPS AS SUITABLE FOR SEEDING OR SODDING.
9. NEW PEDESTRIAN SIDEWALKS SHALL NOT HAVE A CROSS SLOPE GREATER THAN 1:50 AND SHALL NOT SLOPE IN THE DIRECTION OF TRAVEL GREATER THAN 1:20.
10. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE UTILITY COMPANIES AND THE CITY OF LARAMIE.
11. REF. SHEETS A2.1 & A2.2 FOR LOCATION OF ACCESSIBLE (UNITS 2A & 3A) & HEARING IMPAIRED UNIT (UNIT 2B).
12. DO NOT CONSTRUCT ANY PART OF THE TRASH PAD, ENCLOSURE AND/OR ACCESS TO, TILL AFTER CONFIRMATION AND COORDINATION OF LOCAL TRASH SERVICE. DUE TO DIFFERENT TRASH COMPANIES, TRUCKS AND PICK-UP PROCESSES, CONFIRMATION OF THE TRASH SERVICE AND COORDINATION OF THE DESIGN AND LAYOUT OF THE PAD, ENCLOSURE AND ACCESS MUST BE COMPLETED.
13. ALL SITE PAVER SYSTEMS (COURTYARD & PARKING LOTS) SHALL ENSURE THERE ARE NO ELEVATION CHANGES GREATER THAN 1/4" OR 1/2" IF BEVELED WITH A 1:2 INCH SLOPE, WHERE ADA ACCESS OR ACCESSIBLE ROUTES ARE REQUIRED.
14. ALL NEW LANDSCAPING IS TO BE IRRIGATED. THIS INCLUDES (BUT IS NOT LIMITED TO) SOD, GROUND COVER, TREES, SHRUBS AND RAISED PLANTERS. IRRIGATION INSTALLER/CONTRACTOR TO SUBMIT AN IRRIGATION PLAN TO ARCHITECT PRIOR TO INSTALLATION. COORDINATE WITH LANDSCAPE PLAN AND REFERENCE SPECIFICATIONS FOR MORE DETAILS.

SITE PLAN KEY NOTES

A	MONUMENT SIGN REF. SHEET A1.3
B	KNOX BOX COORD. W/ FIRE DEPT. (TYP)
C	MECH. CLOSET REF. & COORDINATE W/ M/E DRAWINGS (TYP)
D	ACCESSIBLE TRASH ENCLOSURE REF. SHEET A1.3
E	DASHED LINE INDICATES ACCESSIBLE PATH
F	POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
G	POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
H	PAINTED STRIPPING @ ACCESSIBLE ROUTE
J	BIKE RACK – (2 TOTAL) WITH 6'-0"x8'-0" CONCRETE PAD. PLACE RACK PERPENDICULAR TO SIDEWALK, CENTER ON CONC. PAD. REF. SHEET A1.3
K	6' TALL WOOD PRIVACY FENCE ALONG FULL LENGTH OF WEST PROPERTY LINE. REF. DETAIL J-A1.2 (NOTE: ALONG NORTH END, FOR A MINIMUM OF 32'-4" IN LENGTH, THE FENCE WILL BE REQUIRED TO BE 4' TALL IN LIEU OF 6' TALL.)
L	TOT LOT – REF. ENLARGED PLAN ON SHEET A1.2
M	MAIL KIOSK, REF. DETAILS ON SHEET A1.4
N	BBQ AREA – CURVED CONCRETE PAD W/ NATIVE STONE WALL BEHIND (2) POLE MOUNTED BBQ GRILL & (2) PICNIC TABLES. REF. SHEET A1.2
P	PREMANUF. CAR PORT REF. SHEET A1.4
Q	BUILDING METER CENTER REF. ELECT. DWGS
R	BUILDING FIRE SPRINKLER ROOM REF. MECH. DWGS
S	BUILDING TRANSFORMER REF. ELECT. DWGS. CONTRACTOR TO COORDINATE SIZE OF CONC. PAD WITH ELECT. COMPANY
T	5' TALL WOOD 'BUFFER' FENCE ALONG 2 SIDES OF TRANSFORMER. REF. DTL J-A1.2. CONFIRM CLEARANCE REQUIREMENTS WITH ELECT. COMPANY.
U	5' TALL WOOD 'BUFFER' FENCE FOR ELECTRICAL METERS. PARALLEL TO WALL. REF. DTL J-A1.2. CONFIRM CLEARANCE REQUIREMENTS WITH ELECT. COMPANY.

PARKING SUMMARY

ACCESSIBLE PARKING STALLS	5
STANDARD PARKING STALLS	55
OPEN PARKING STALLS	45
COVERED PARKING STALLS (+25%)	15
TOTAL PARKING STALL COUNT	**60**
PARKING RATIO (STALLS/UNITS)	1.43

PARKING MEETS ZONING REQ'S.

PARKING REQUIREMENTS (PER TABLE 15.14.040-3, OFF STREET PARKING STANDARDS, OF THE LARAMIE UNIFIED DEVELOPMENT CODE):
DWELLING, MULTI-FAMILY:
1 PARKING STALL FOR ALL (1) BEDROOM DWELLING UNITS (DU)
FOR ALL OTHER DUs CONTAINING MORE THAN (1) BEDROOM, THE FIRST 16 DUs REQUIRE 1.5 SPACES PER DU, AND FOR EACH DU OVER 16, EACH DU WILL REQUIRE 1 SPACE

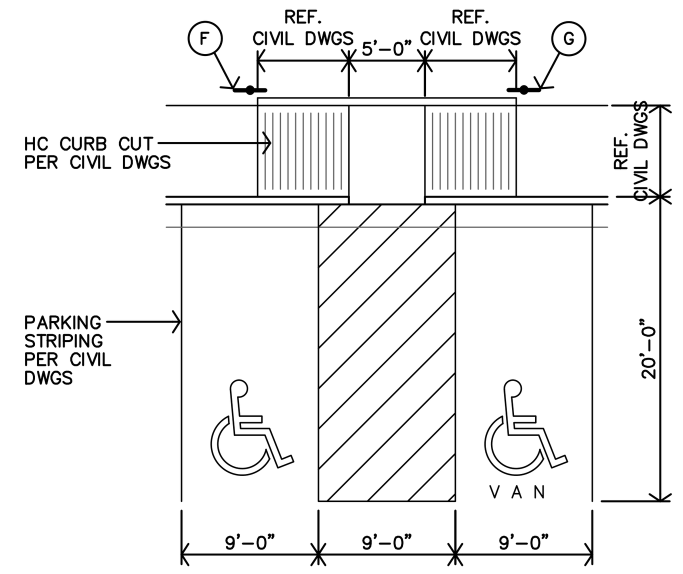
DEVELOPMENT HAS 42 DWELLING UNITS, THUS:
ALL U NITS ARE 2-BED AND 3-BED.
FIRST (16) UNITS = 16 X 1.5 = 24 SPACES
REMAINING UNITS = 26 TOTAL UNITS
UNITS 17-42 = 26 X 1 = 26 SPACES

24 + 26 = 50 REQUIRED PARKING SPACES (60 PROVIDED)

MULTI-FAMILY ACCESSIBLE PARKING REQUIREMENTS:
PER TABLE 15.14.040-2 (MULTI-FAMILY ACCESSIBLE PARKING) OF THE LARAMIE UNIFIED DEVELOPMENT CODE:
A DEVELOPMENT WITH 42 REQUIRES 5 SPACES FOR PERSONS WITH DISABILITIES.

MINIMUM BICYCLE PARKING REQUIREMENTS:
AT A MINIMUM, THE GREATER OF 3 BICYCLE PARKING SPACES OR A NUMBER OF BICYCLE SPACES EQUAL TO FIVE PERCENT OF ALL OFF-STREET PARKING SPACES PROVIDED SHALL BE REQUIRED.

58 TOTAL PARKING STALLS X 5% = 3 SPACES REQUIRED (10 PROVIDED)



B ACCESSIBLE PARKING
1"=10'-0"

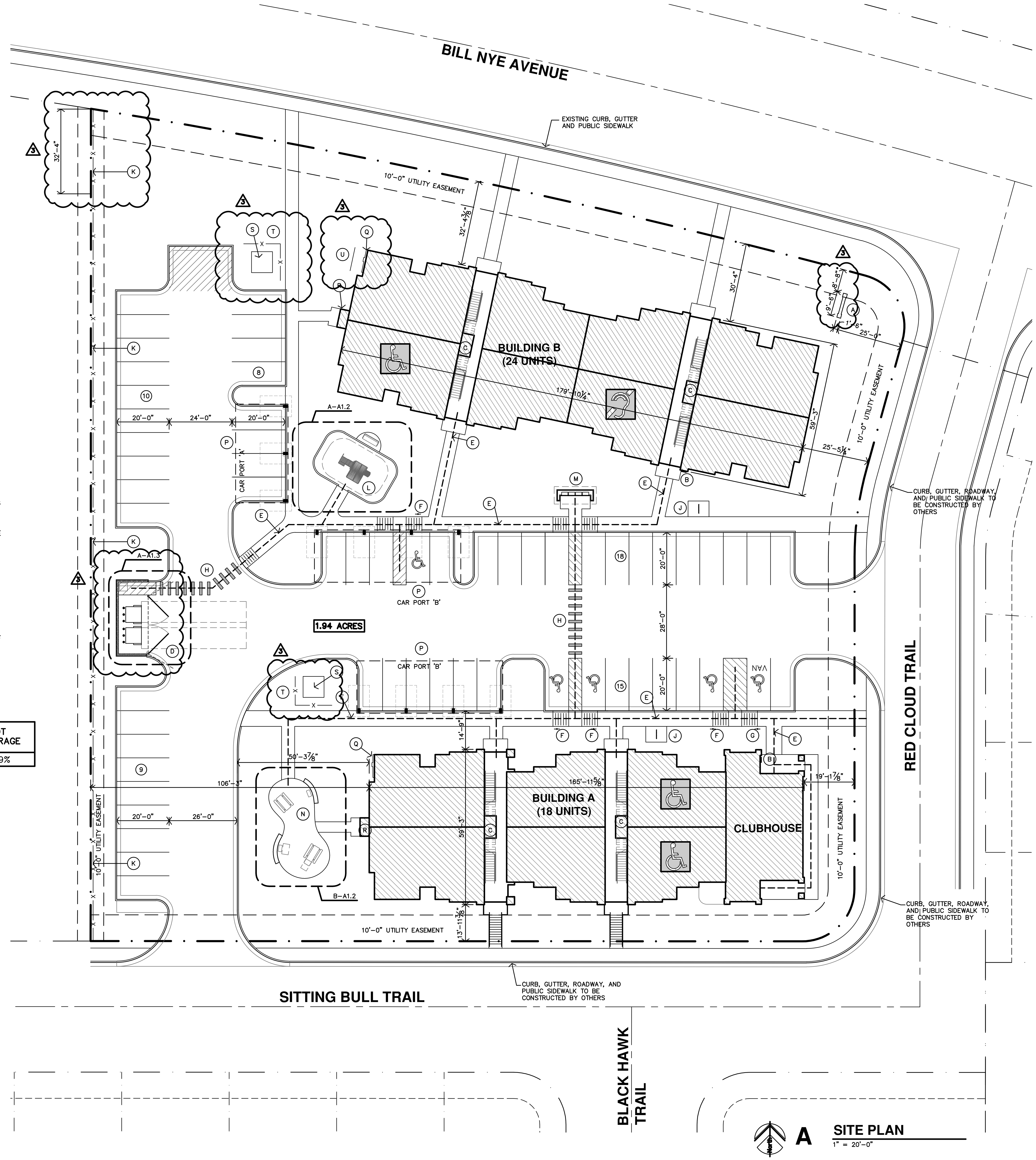
LOT COVERAGE

SITE ACRES	SITE	BUILDING FOOTPRINT	LOT COVERAGE
1.94 ACRES	84,506 SF	16,857 SF	19.9%

ACCESSIBLE UNIT LEGEND

ACCESSIBLE — 3 FIRST FLOOR UNITS SHALL BE FULLY ACCESSIBLE (5%)
(2) 2-bedroom
(1) 3-bedroom

1 FIRST FLOOR UNIT SHALL BE HEARING IMPAIRED & VISION IMPAIRED ACCESSIBLE UNIT (2%)
(1) 2-bedroom



A SITE PLAN
1" = 20'-0"

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THE RESERVES AT GRAND VIEW HEIGHTS
NEW APARTMENT COMPLEX
LARAMIE, WYOMING

LICENSED ARCHITECT MARGARET J. GILLAM C-3495 STATE OF WYOMING

REVISION:	
3	9-10-2024
DATE:	7-17-2024
JOB:	22-3262
SHEET NO.:	A1.1

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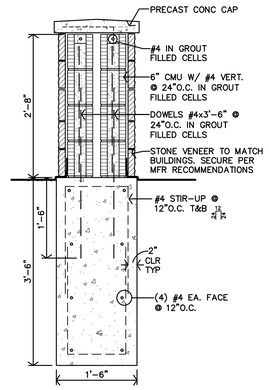
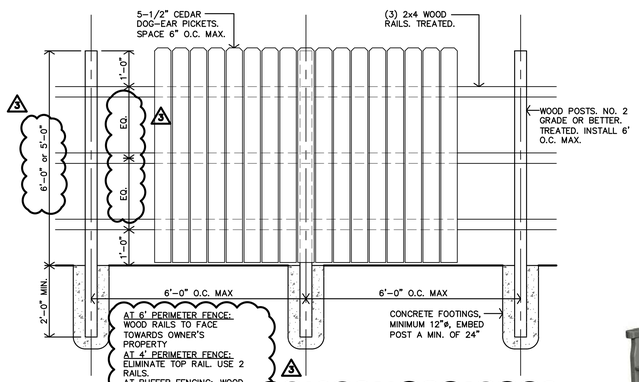


K STONE WALL SECTION

3/4" = 1'-0"

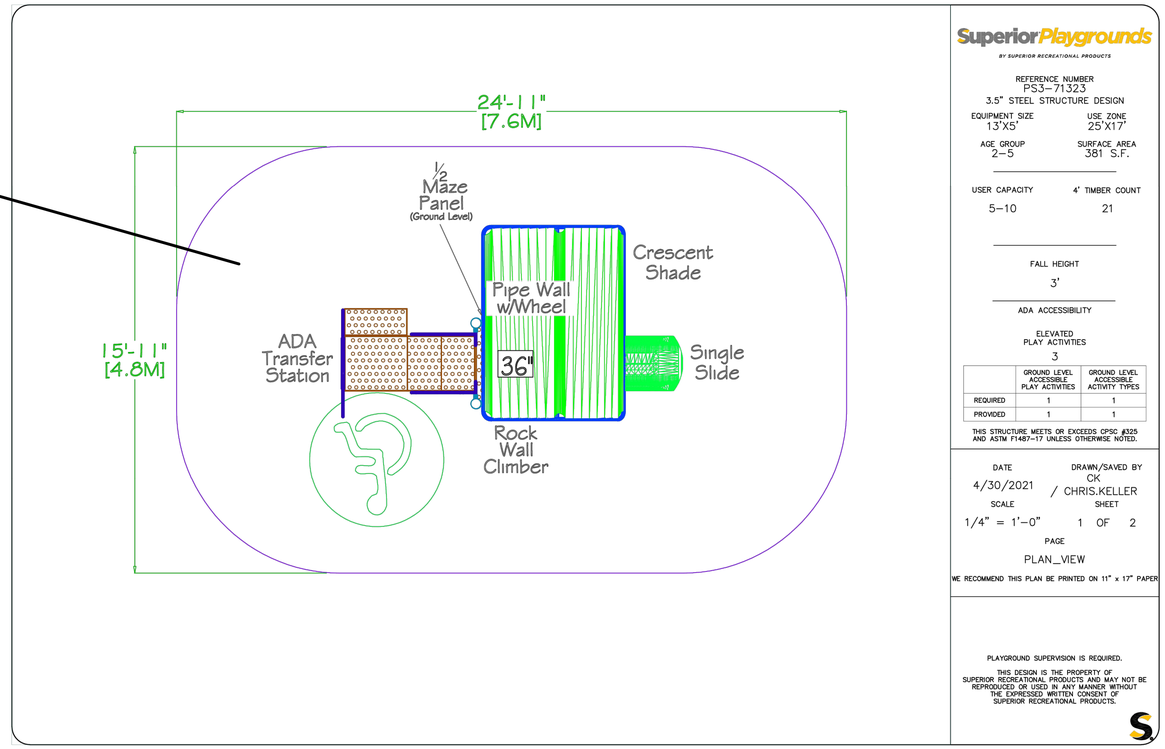
D CUSTOM PLAY-GYM PHOTOGRAPH

NO SCALE



J WOOD PRIVACY/BUFFER FENCE

1/2" = 1'-0"



C CUSTOM PLAY-GYM SPECIFICATION PLAN

NO SCALE

POLYWOOD TRADITIONAL GARDEN 60" BENCH
COLOR TBD BY ARCHITECT/OWNER

F OUTDOOR BENCH

NO SCALE

(1) EVEREST SERIES 6'-0" HEAVY DUTY PICNIC TABLE
(www.theparkcatalog.com) (item no.595-6005)
COLOR TO BE DETERMINED BY ARCHITECT/OWNER

H PICNIC TABLE

NO SCALE

MHP PROPANE GAS GRILL WITH STAINLESS STEEL SHELVES AND STAINLESS GRIDS ON IN-GROUND POST
(www.bbqguys.com) (item no.1516308 model no. JNR4DD-P)

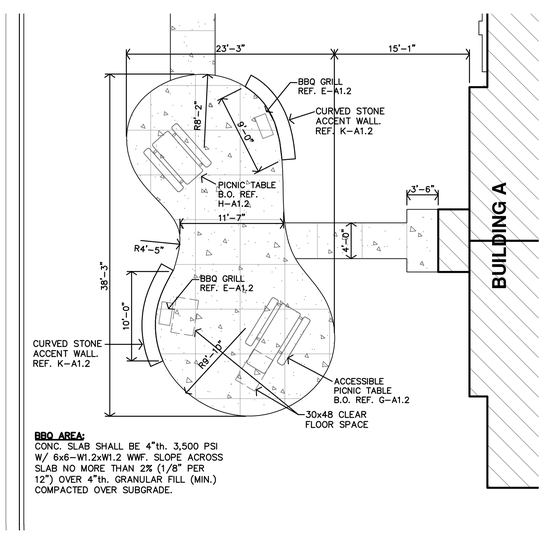
E BBQ GRILL

NO SCALE

(1) EVEREST SERIES 8'-0" HEAVY DUTY ADA SINGLE SIDED PICNIC TABLE
(www.theparkcatalog.com) (item no.595-6007)

G ACCESSIBLE PICNIC TABLE

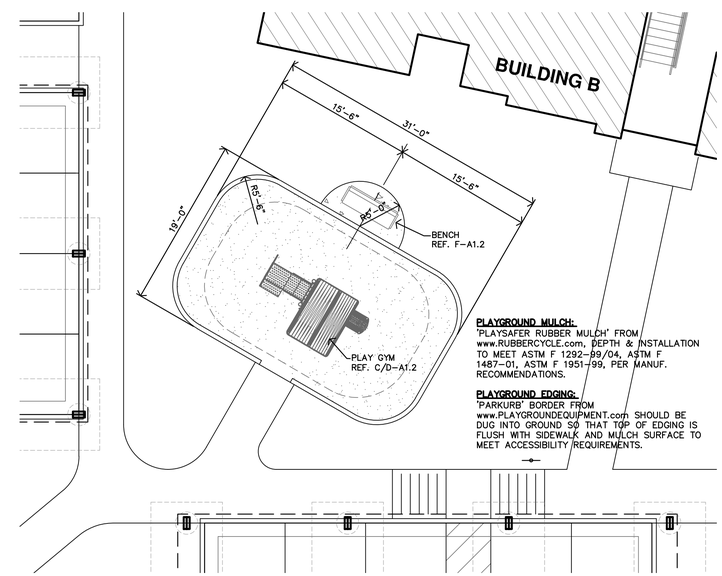
NO SCALE



BBQ AREA:
CONC. SLAB SHALL BE 4"th. 3,500 PSI W/ 6x6-W1.2xW1.2 WWF. SLOPE ACROSS SLAB NO MORE THAN 2% (1/8" PER 12") OVER 4"th. GRANULAR FILL (MIN.) COMPACTED OVER SUBGRADE.

B ENLARGED BBQ AREA

1/8"=1'-0"



PLAYGROUND MULCH:
'PLAYSAFER RUBBER MULCH' FROM www.RUBBERCYCLE.com, DEPTH & INSTALLATION TO MEET ASTM F 1292-99/04, ASTM F 1487-01, ASTM F 1951-99, PER MANUF. RECOMMENDATIONS.

PLAYGROUND EDGING:
'PARKURB' BORDER FROM www.PLAYGROUNDEQUIPMENT.com SHOULD BE DUG INTO GROUND SO THAT TOP OF EDGING IS FLUSH WITH SIDEWALK AND MULCH SURFACE TO MEET ACCESSIBILITY REQUIREMENTS.

A ENLARGED TOTLOT AREA

1/8"=1'-0"

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NEW APARTMENT COMPLEX

LARAMIE, WYOMING

LICENSED ARCHITECT
MARGARET J. GILLAM
C-3986
STATE OF WYOMING
Date

REVISION:
3 9-10-2024

DATE: 7-17-2024
JOB: 22-3262
SHEET NO.:

A1.2

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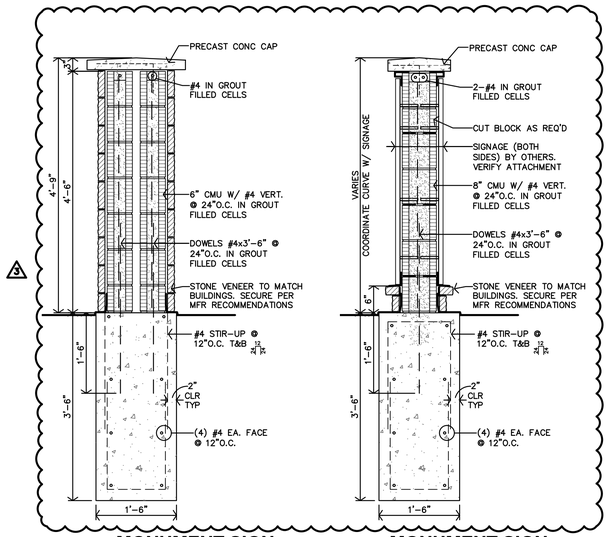
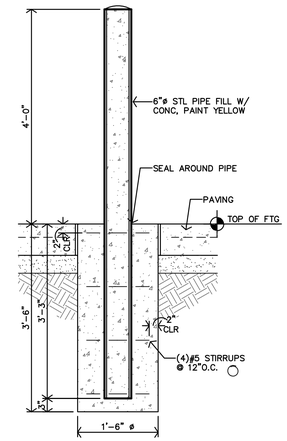
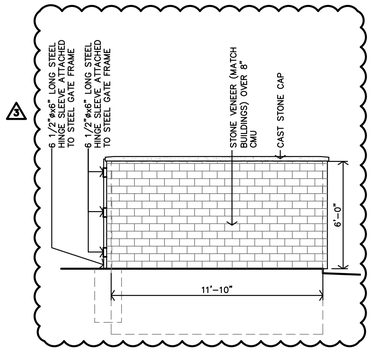


K MONUMENT SIGN SECTION
3/4" = 1'-0"

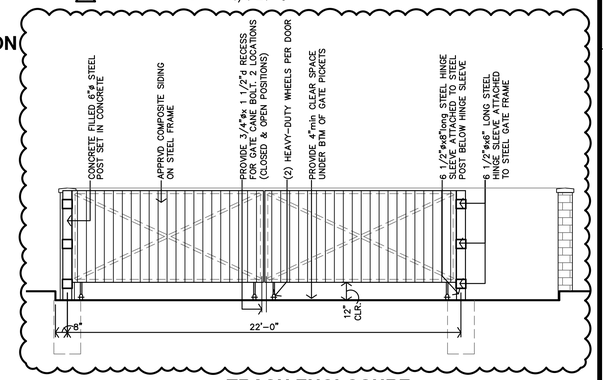
J MONUMENT SIGN SECTION
3/4" = 1'-0"



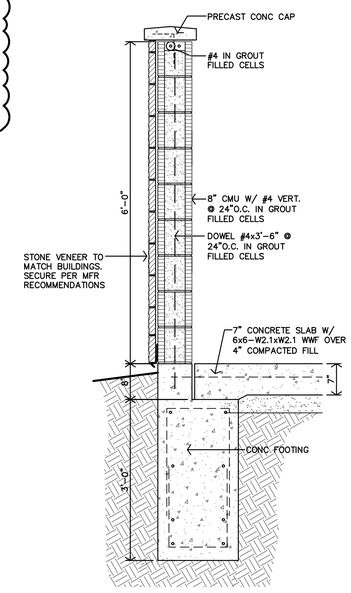
F TRASH ENCLOSURE PIPE BOLLARD SECTION
3/4"=1'-0"



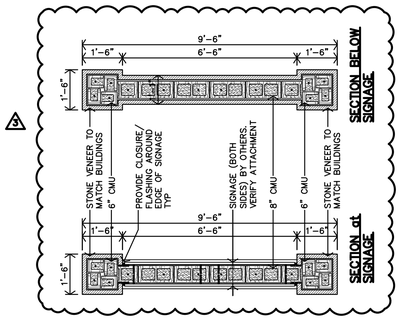
C TRASH ENCLOSURE SIDE ELEVATION
1/4"=1'-0"



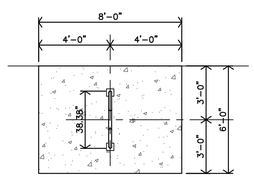
B TRASH ENCLOSURE FRONT ELEVATION
1/4"=1'-0"



E TRASH ENCLOSURE SECTION
3/4"=1'-0"



H MONUMENT SIGN PLAN SECTION
3/8"=1'-0"

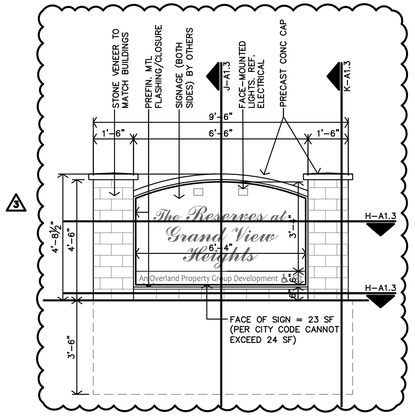


5 BIKE SONIC WAVE RACK
www.theparkcatalog.com

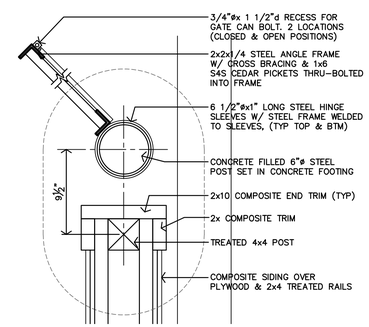
M BIKE RACK PLAN
1/4"=1'-0"

5 BIKE SONIC WAVE RACK
(2 LOCATIONS) www.theparkcatalog.com

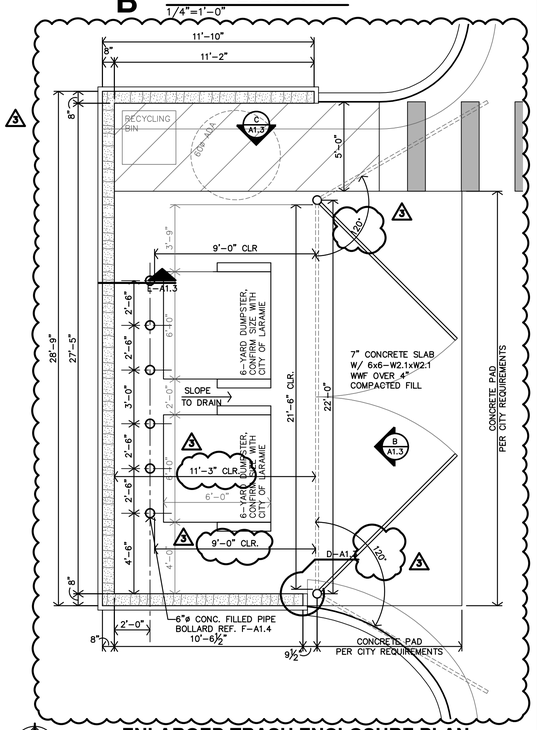
L BIKE RACK
NO SCALE



G MONUMENT SIGN ELEVATION
3/8"=1'-0"



D DETAIL
1 1/2"=1'-0"



A ENLARGED TRASH ENCLOSURE PLAN
1/4"=1'-0"

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LANDSCAPING REQUIREMENTS

PER LARAMIE MUNICIPAL CODE SECTION 15.14.050

REQUIRED LANDSCAPE AREA
REQUIREMENT: 15% OF THE PARCEL AREA MINUS BUILDING USE FOOTPRINTS
(PARCEL AREA = 84,506 sf) – (BUILDING FOOTPRINTS = 18,118 sf) = 66,388 sf
9,958 sf REQUIRED (15% x 66,388 sf)
(50% OF WHICH NEEDS TO BE LOCATED AT A PUBLICWAY)
36,186 sf PROVIDED

PERIMETER LANDSCAPING
REQUIREMENTS: LEVEL 1 (PER TABLE 15.14.050–2)
PLANTING AREA WIDTH IS REQUIRED TO BE 3' WIDE
TOTAL LANDSCAPE UNITS = 0.2 PER LINEAR FOOT OF STREET FRONTAGE MINUS ACCESS DRIVES AT PEDESTRIAN CONNECTIONS
NORTH – 302.47 + 31.55 = 334.02 FT X 0.2 = 66.8 UNITS REQ'D
EAST – 126.76 + 33.95 + 50.88 – 35 = 176.59 FT X 0.2 = 35.3 UNITS REQ'D
SOUTH – 271.37 + 31.42 – 35 = 267.79 FT X 0.2 = 53.6 UNITS REQ'D
WEST – 317.55 FT X 0.2 = 63.5 UNITS REQ'D
20% MUST BE SHRUBS
(SEE CHART BELOW) FOR LANDSCAPE UNITS PROVIDED

PARKING LOT PERIMETER LANDSCAPING IS REQUIRED AND PROVIDED. REFERENCE PLAN FOR LOCATIONS

PARKING AREA TREES
REQUIREMENT: 1 TREE PER 10 STALLS
6 TREES REQUIRED (60/10)
6 TREES PROVIDED (REFERENCE PLAN FOR LOCATIONS)

INTERNAL PARKING LANDSCAPE ISLANDS
REQUIREMENT: 20 sf LANDSCAPED AREA PER EVERY ADDITIONAL STALL OVER 9 STALLS.
1,020 sf REQUIRED (51 STALLS x 20 sf)
2,391 sf PROVIDED (REFERENCE PLAN FOR LOCATIONS)

GROUND COVER LEGEND

SEED/SOD	
MULCH/ROCK BEDS WITH METAL EDGING	

IRRIGATION NOTE

ALL REQUIRED LANDSCAPING AND LANDSCAPING AREAS SHALL INCLUDE A PERMANENTLY INSTALLED IRRIGATION SYSTEM. FINAL IRRIGATION PLANS SHALL BE PROVIDED BY AN IRRIGATION/LANDSCAPING PROFESSIONAL AND SHALL BE SUBMITTED AND APPROVED BY THE CITY OF LARAMIE PRIOR TO INSTALLATION.

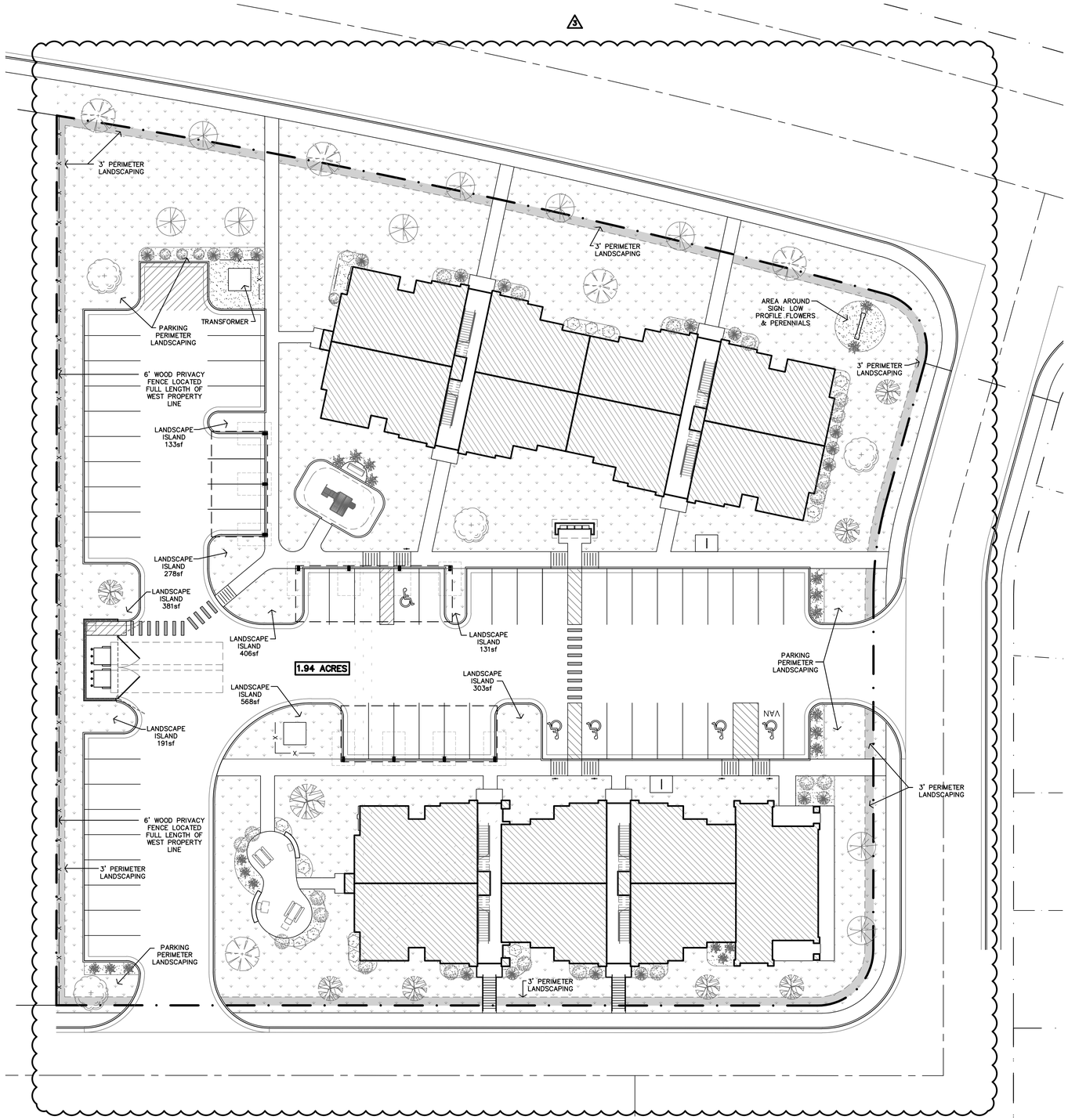
3

LANDSCAPE UNITS AWARDED

3

MATERIAL	SYMBOL	MIN. PLANTING SIZE	QUANTITY	UNITS	TOTAL
NORTH SIDE					
SKYLINE HONEYLOCUST (TREE, DECIDUOUS)		1.5"caliper	4	4	16
RADIANT CRABAPPLE (TREE, DECIDUOUS)		1.5"caliper	7	4	28
DWARF MOUNTAIN MUGO PINE (SHRUB, EVERGREEN)		5 gallon or #5 container	9	1	9
DROP LEAF POTENTILLA(SHRUB, DECIDUOUS)		1 gallon or #1 container	8	1	8
ALPINE CURRANT (SHRUB, DECIDUOUS)		5 gallon or #5 container	4	1	4
THREE–LEAF SUMAC (SHRUB, DECIDUOUS)		5 gallon or #5 container	2	1	2
TOTAL UNITS (NORTH)					67
EAST SIDE					
BIGTOOTH MAPLE (TREE, DECIDUOUS)		1.5"caliper	1	4	4
WESTERN RIVER BIRCH (TREE, DECIDUOUS)		1.5"caliper	2	4	8
RADIANT CRABAPPLE (TREE, DECIDUOUS)		1.5"caliper	2	4	8
DWARF MOUNTAIN MUGO PINE (SHRUB, EVERGREEN)		5 gallon or #5 container	5	1	5
ALPINE CURRANT (SHRUB, DECIDUOUS)		5 gallon or #5 container	2	1	2
DROP LEAF POTENTILLA(SHRUB, DECIDUOUS)		1 gallon or #1 container	6	1	6
THREE–LEAF SUMAC (SHRUB, DECIDUOUS)		5 gallon or #5 container	6	1	6
TOTAL UNITS (EAST)					39
SOUTH SIDE					
WESTERN RIVER BIRCH (TREE, DECIDUOUS)		1.5"caliper	4	4	16
BIGTOOTH MAPLE (TREE, DECIDUOUS)		1.5"caliper	1	4	4
SKYLINE HONEYLOCUST (TREE, DECIDUOUS)		1.5"caliper	1	4	4
DWARF MOUNTAIN MUGO PINE (SHRUB, EVERGREEN)		5 gallon or #5 container	4	1	4
ALPINE CURRANT (SHRUB, DECIDUOUS)		5 gallon or #5 container	7	1	7
DROP LEAF POTENTILLA(SHRUB, DECIDUOUS)		1 gallon or #1 container	10	1	10
THREE–LEAF SUMAC (SHRUB, DECIDUOUS)		5 gallon or #5 container	9	1	9
TOTAL UNITS (EAST)					54
WEST SIDE					
OPAQUE SCREENING FENCE (6' TALL)	—— X —— X ——		318'	0.4	127
WESTERN RIVER BIRCH (TREE, DECIDUOUS)		1.5"caliper	1	4	4
BIGTOOTH MAPLE (TREE, DECIDUOUS)		1.5"caliper	1	4	4
TOTAL UNITS (EAST)					135

*NOTE – THIS PLAN IS FOR LOCATION, SIZING, CALCULATIONS AND PERMITTING PURPOSES ONLY. FINAL PLANTING SPECIES, TYPE, AND LOCATION MAY VARY BASED ON SEASON AND AVAILABILITY. A FINAL PLANTING PLAN SHALL BE SUBMITTED, FOR APPROVAL, BY A LANDSCAPING PROFESSIONAL. DEVIATIONS FROM THE PLAN ARE REQUIRED TO BE APPROVED BY THE CITY OF LARAMIE PRIOR TO INSTALLATION.



A SITE PLAN
1" = 20'–0"

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THE RESERVES AT GRAND VIEW HEIGHTS
NEW APARTMENT COMPLEX
LARAMIE, WYOMING

LICENSED ARCHITECT MARGARET J. GILLAM C-3005 STATE OF WYOMING

REVISION:
3 9–10–2024

DATE: 7–17–2024
JOB: 22–3262
SHEET NO.:
L1.1

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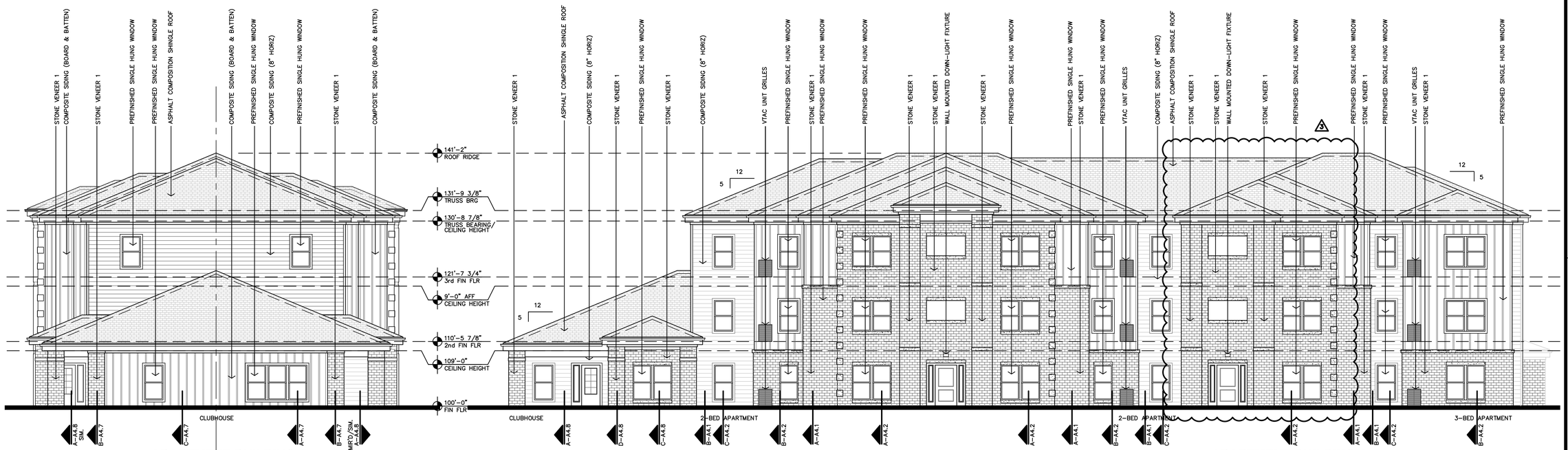


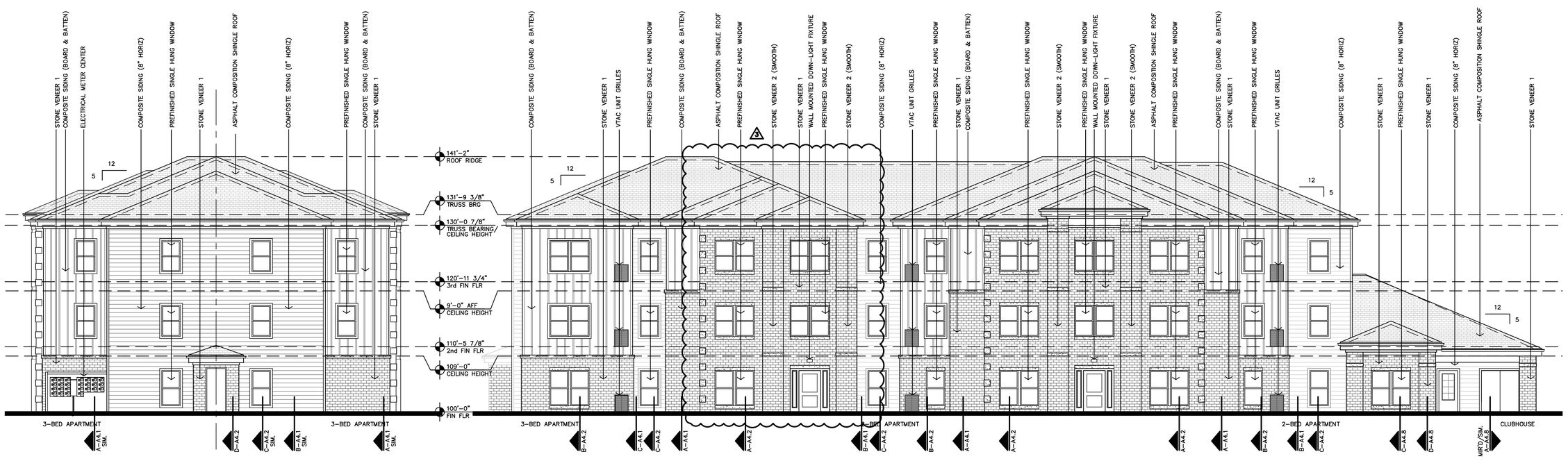
D APARTMENT BUILDING A EAST ELEVATION

1/8"=1'-0"

LOCATION OF SHEAR WALLS VARIES. REFERENCE DETAIL C-A4.1 AND STRUCTURAL PLANS AND DETAILS.

C APARTMENT BUILDING A NORTH ELEVATION

1/8"=1'-0"



B APARTMENT BUILDING A & B WEST ELEVATION

1/8"=1'-0"

A APARTMENT BUILDING A SOUTH ELEVATION

1/8"=1'-0"

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THE RESERVES AT GRAND VIEW HEIGHTS

NEW APARTMENT COMPLEX

LARAMIE, WYOMING

LICENSED ARCHITECT MARGARET J. GILLAM C-3486 STATE OF WYOMING

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ROOF GENERAL NOTES

1. REF STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
2. REFERENCE SITE PLAN SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDINGS.
3. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. VERIFY LOCATION WITH MECHANICAL & PLUMBING DRAWINGS.
4. INSTALL ATTIC VENTILATION OF NOT LESS THAN 1/150 OF THE ATTIC AREA WITH 50% OF REQ'D VENTILATION LOCATED IN THE UPPER PORTION OF THE ROOF AREA, PER IBC 2021, SECTION 1203.2
5. INSTALL ATTIC ACCESS PER DETAIL H-A4.5. LOCATE PER ROOF PLAN
6. ~~d.s. — INDICATES DOWNSPOUT LOCATIONS.~~
7. ~~CONTRACTOR SHALL TIE-IN AND COORDINATE WITH UNDERGROUND DRAINAGE PIPE, EACH DOWNSPOUT LOCATION. REFERENCE CIVIL DRAWINGS.~~
8. TYPICAL ROOF SLOPE IS 5:12 UNLESS NOTED OTHERWISE.
9. ~~INSTALL 1 DRAFTSTOP DOOR IN EACH ATTIC COMPARTMENT AS INDICATED ON ROOF PLANS. DRAFTSTOP~~ DOOR SHALL BE SELF CLOSING w/ AUTOMATIC LATCHES PER IBC 2021, SECTION 718.4.1.1 & 718.4.2. ALSO REF. DETAIL J-A4.5
10. INSTALL DRAFTSTOPS PER IBC 2021, SECTION 718.3 & 718.4 (REF. ALSO 718.3.2, & 718.4.2). DRAFTSTOPPING SHALL BE INSTALLED ABOVE AND IN LINE WITH DWELLING UNITS AND SEPARATION WALLS. PER IBC 2021 SECTION 718.4.2, EXCEPTION 3: DRAFTSTOP COMPARTMENTS NOT TO EXCEED 3,000sf OR (2) DWELLING UNITS.
11. INSTALL FIREBLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
12. ~~INSTALL ICE/WATER SHIELD OVER ENTIRE ROOF & INSTALLED DIRECTLY OVER EXISTING WOOD DECKING. INSTALL 1 LAYER OF 30# FELT OVER ENTIRE ROOF AREA, INCLUDING AREAS OF ICE/WATER SHIELD. INSTALL FLASHINGS & VALLEYS, THEN INSTALL SHINGLES.~~
13. ~~CAULK & SEAL WATERTIGHT ALL JOINTS & TRANSITIONS.~~
14. ALL METAL MATERIALS (I.E. VALLEYS, FLASHINGS, ETC...) SHALL BE .0217" THICK (26 GA) PREFINISHED GALVANIZED OR ALUM. ZINC ALLOY. ALL FASTENERS MUST BE COMPATIBLE WITH ASSOCIATED METALS/MATERIALS. METALS MUST BE INSTALLED PER SMACNA's "ARCHITECTURAL SHEET METAL MANUAL."
15. CONTRACTOR TO USE NAILS FOR FASTENING NEW SHINGLES. STAPLES ARE NOT ALLOWED.
16. ROOFING INSTALLATION: DETAILS INDICATED ON SHEET A5.2 ARE GENERIC/GENERAL. CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS & RECOMMENDATIONS, BUT NOT LESS THAN THOSE RECOMMENDED BY NRCA's "THE ROOFING & WATERPROOFING MANUAL" & "STEEP SLOPE ROOF SYSTEMS".
17. CONTRACTOR MUST COMPLY WITH ALL STATE & LOCAL CODES & REGULATIONS.
18. PROVIDE PERMANENT IDENTIFICATION ACCEPTABLE TO LOCAL AUTHORITIES AT ALL DRAFTSTOPS AND DRAFTSTOP ACCESS

TYPICAL SOFFIT MATERIAL

- CEMENT BOARD SOFFIT OR HARDI BOARD (TYP)
- COMPOSITE BOARD CEILING OVER (2) LAYERS 5/8" TYPE X G.B. INSTALL PER ROOF/CEILING ASSEMBLY: (1HR) IBC 2021, TABLE 721.1(3), 21-1.1 & COMPOSITE BOARD CEILING typ.

MINIMUM GUTTER & DOWNSPOUT

GUTTER – 4x5
DOWNSPOUT – 3x4

APARTMENT BUILDING A ATTIC VENTILATION

ATTIC VENTILATION PER IBC 2021, SECTION 1202.2, 1/300 WITH ASTM 396 VAPOR BARRIER RIDGE VENT SHALL PROVIDE A MIN. OF 18 SQUARE INCHES OF NET FREE AREA, (NFA) OF VENTILATION PER LINEAR FOOT, OR ADDITONAL AND OPTIONAL VENTS MUST BE INSTALLED.

AREA 1 (2 thus)
ATTIC AREA MUST PROVIDE
(2,658/300 = 8.86/2 = 4.43 HIGH & LOW)
4.43sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

AREA 2 (2 thus)
ATTIC AREA MUST PROVIDE
(2,045/300 = 6.82/2 = 3.41 HIGH & LOW)
3.41sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

BREEZEWAY (2 thus)
ATTIC AREA MUST PROVIDE
526/300 = 1.75/2 = 0.875 HIGH & LOW)
0.875sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

APARTMENT BUILDING B ATTIC VENTILATION

ATTIC VENTILATION PER IBC 2021, SECTION 1203.2, 1/300 WITH ASTM 396 VAPOR BARRIER RIDGE VENT SHALL PROVIDE A MIN. OF 18 SQUARE INCHES OF NET FREE AREA, (NFA) OF VENTILATION PER LINEAR FOOT, OR ADDITONAL AND OPTIONAL VENTS MUST BE INSTALLED.

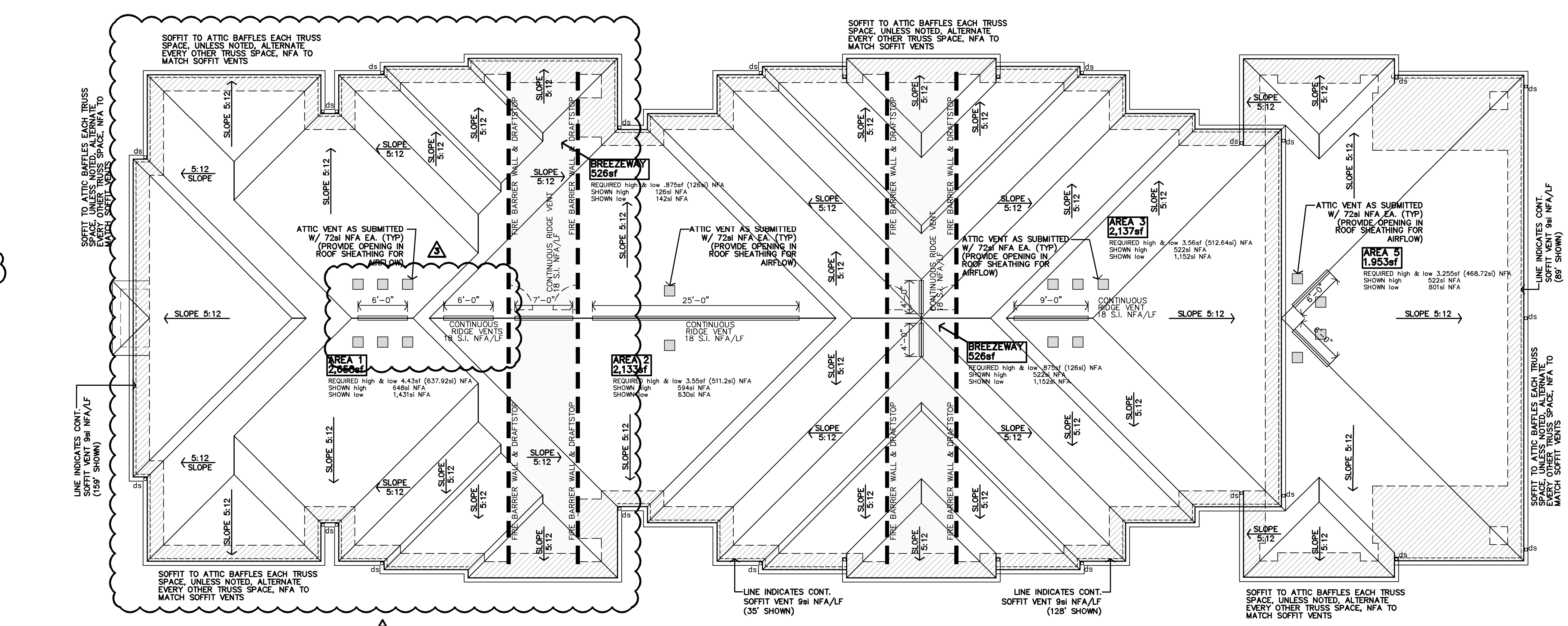
AREA 1
ATTIC AREA MUST PROVIDE
(2,658/300 = 8.86/2 = 4.43 HIGH & LOW)
4.43sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

AREA 2
ATTIC AREA MUST PROVIDE
(2,133/300 = 7.11/2 = 3.55 HIGH & LOW)
3.55sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

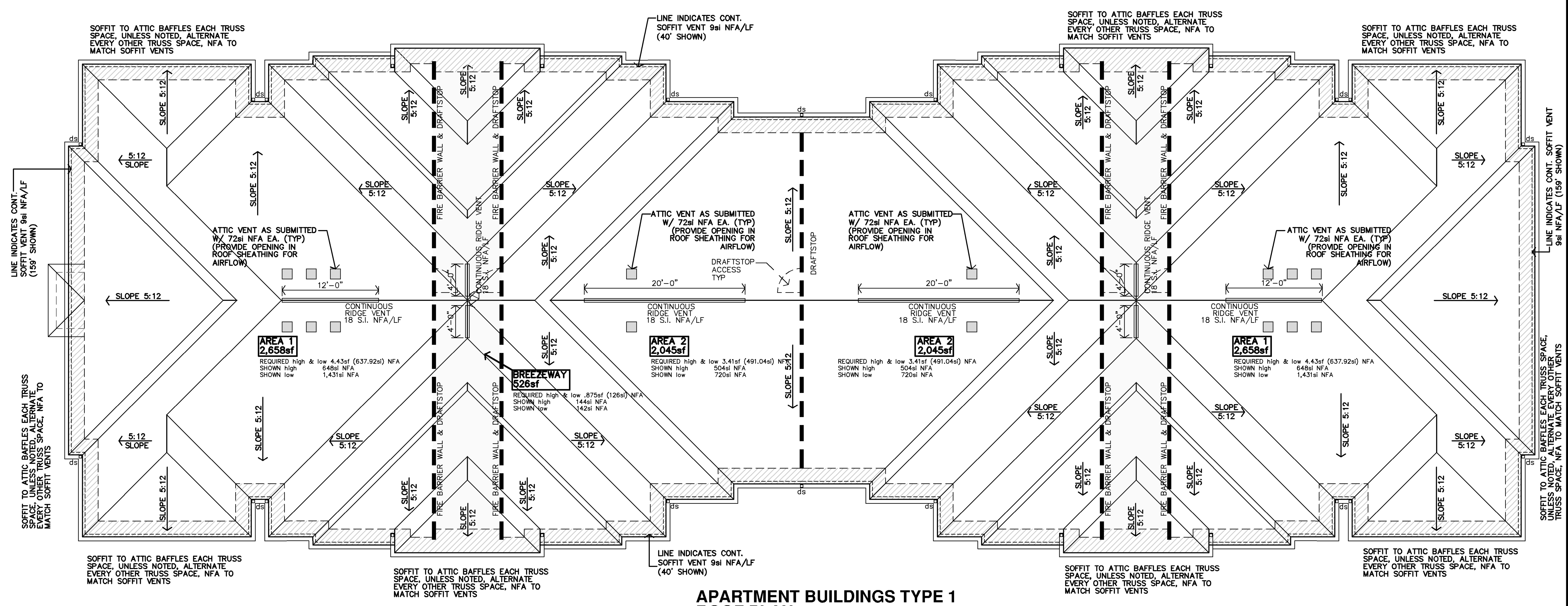
AREA 5 (CLUBHOUSE)
ATTIC AREA MUST PROVIDE
(1,953/300 = 6.51/2 = 3.255 HIGH & LOW)
3.255sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

AREA 3
ATTIC AREA MUST PROVIDE
(2137/300 = 7.12/2 = 3.56 HIGH & LOW)
3.56sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

AREA 4 (BREEZEWAYS) (2 thus)
ATTIC AREA MUST PROVIDE
(510/300 = 1.67/2 = 0.833 HIGH & LOW)
0.833sf OF NET FREE AREA @ THE RIDGE & SOFFITS.



B **APARTMENT BUILDING TYPE 2 ROOF PLAN**
1/8"=1'-0"



A **APARTMENT BUILDINGS TYPE 1 ROOF PLAN**
1/8"=1'-0"

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