



**Jones Gillam Renz Architects**

**Address**

730 N 9th St. 1881 Main St., Suite 301  
Salina, KS 67401 Kansas City, MO 64108

**Contact**

jgr@jgrarchitects.com  
(785) 827-0386

**Web**

jgrarchitects.com

**ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS**

JONES GILLAM RENZ DOCUMENT JGR 710

---

PROJECT:	The Reserves at Grand View Heights New Development Laramie, Wyoming	Report No.	Four (4)
OWNER:	Overland Property Group Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	Dec. 3, 2024
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	22-3262
		Contract For:	General Construction Mechanical, Electrical

---

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

**DESCRIPTION:**

Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions:

DRAWINGS:

- a. Sheet A5.1
  - i. Added Attic Access panels to each Breezeway, and noted Draftstop Doors.
  - ii. Added Attic Access panel at Clubhouse level, from Storage Room.
- b. Sheet A2.10
  - i. Clubhouse/Breezeway Interior Finish Schedule – Fitness Room C09 & Storage C08 have been revised to reflect the correct room number that correlates with the floor plan.

---

**Attachments:**

- 1. Revised Sheets A5.1, A2.10

---

Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402  
Maggie Gillam, Project Architect

mgillam@jgrarchitects.com

---

**Copies to:**

MCP Group – Brian Murphy  
OPG- Dan Maximuk, Austin Kack, Raegan Brown, Amanda Klaus  
LST – Ryan Lies  
Structural – Isaac Cundiff, Marcus Himmelberg  
Civil – Collin Fossen

# CLUBHOUSE/BREEZEWAYS INTERIOR FINISH SCHEDULE

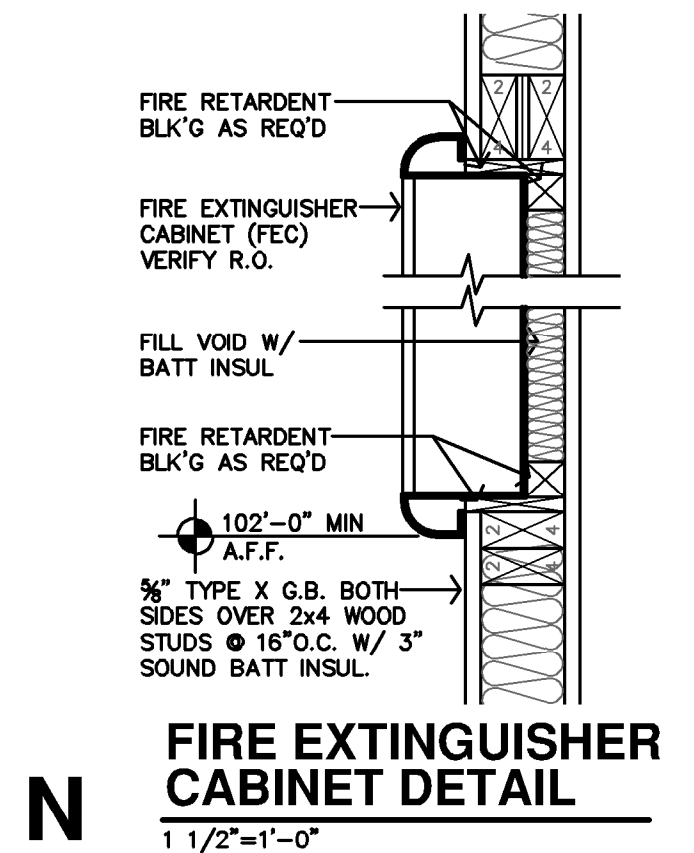
FINISHES & INSTRUCTIONS										
P1	LATEX ENAMEL	VT	VINYL TILE, CLEAN & WAX	SV	SHEET VINYL	ST	SPRAY TEXTURE			
P2	EPOXY PAINT	C1	CARPET #1	LVT	LUXURY VINYL TILE	S	SMOOTH			
EP	EXTERIOR PAINT	C2	CARPET #2	CT	CERAMIC TILE	T	TEXTURED, LIGHT KNOCKDOWN			
NO.	DESCRIPTION	FLOOR	BASE	N.WALL	E.WALL	S.WALL	W.WALL	CEILING	HGT.	NOTES
<b>CLUBHOUSE</b>										
C01	COMMUNITY ROOM	LVT	P1	P1	P1	P1	P1	ST	9'-0"	
C02	OFFICE	C1	P1	P1	P1	P1	P1	ST	9'-0"	
C03	---NOT USED---									
C04	MECH./STOR.			RB	P1	P1	P1	P1	9'-0"	
C05	MEN	CT	CT	CT	CT	CT	CT	ST	9'-0"	1.
C06	WOMEN	CT	CT	CT	CT	CT	CT	ST	9'-0"	1.
C07	TRML	LVT	P1	P1	P1	P1	P1	ST	9'-0"	
C08	STORAGE			RB	P1	P1	P1	P1	9'-0"	
C09	FITNESS CENTER	LVT	P1	P1	P1	P1	P1	ST	9'-0"	
C10	KITCHENETTE	LVT	P1	P1	P1	P1	P1	ST	9'-0"	
<b>BREEZEWAYS</b>										
A107	MECHANICAL			RB	EP	EP	EP	EP	9'-0"	
A110	MECHANICAL			RB	EP	EP	EP	EP	9'-0"	
B109	MECHANICAL			RB	EP	EP	EP	EP	9'-0"	
B112	MECHANICAL			RB	EP	EP	EP	EP	9'-0"	
A108	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
A208	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
A308	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
A109	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
A209	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
A309	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
B110	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
B210	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
B310	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
B111	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
B211	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
B311	BREEZEWAY			EP	EP	EP	EP	EP	9'-0"	
<b>FIRE SPRINKLER CLOSETS</b>										
A111	F.S.			RB	EP	EP	EP	EP	9'-0"	1.
B113	F.S.			RB	EP	EP	EP	EP	9'-0"	1.

NOTES: 1. INSTALL 5/8" TYPE X M.R. G.B. @ ALL WET AREAS.

# CLUBHOUSE/BREEZEWAYS DOOR SCHEDULE

MARK	DOOR			FRAME		DETAILS	REMARKS	
	SIZE	MATERIAL	TYPE	FINISH	MATERIAL			FINISH
<b>CLUBHOUSE</b>								
1	3'-0"	6'-8"	1 3/4"	A			1,2,5,6,7,8,9	
2	3'-0"	6'-8"	1 3/4"	A			1,2,5,6,7,8,9	
3	PR 3'-0"	6'-8"	1 3/4"	F			8,9	
4	3'-0"	6'-8"	1 3/4"	D			2,4,9	
5	3'-0"	6'-8"	1 3/4"	B			2,4,9	
6	3'-0"	6'-8"	1 3/4"	D			3,9	
<b>BREEZEWAYS/FIRE SPRINKLER ROOMS</b>								
11	3'-6"	6'-8"	1 3/4"	C			6,7,8,9	
12	3'-0"	6'-8"	1 3/4"	E			6,8,9	
13	3'-6"	6'-8"	1 3/4"	E			8,9	

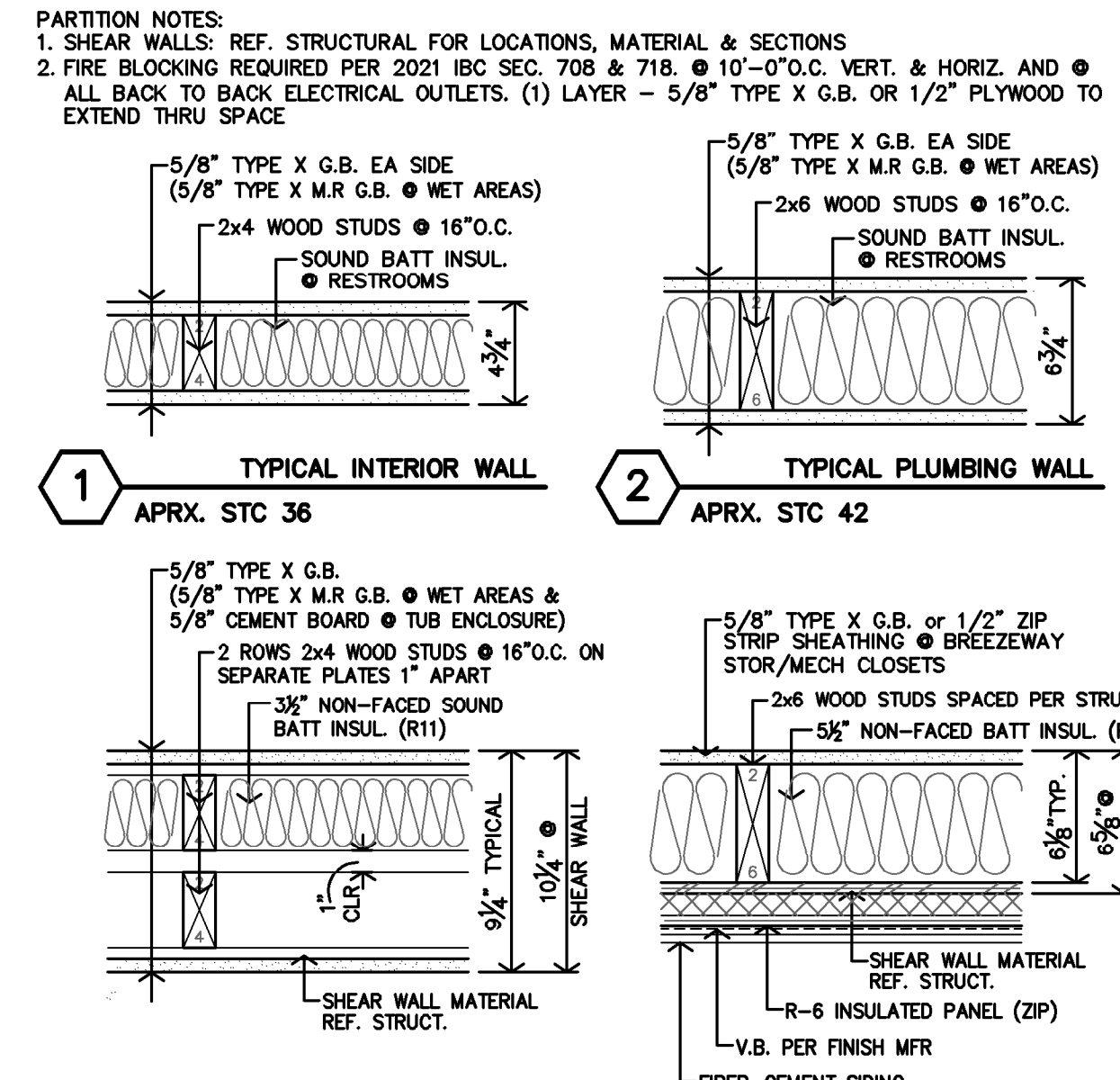
NOTES: 1. FLUSH BOLTS AND SURFACE BOLTS PROHIBITED.  
2. KEYS LOCKSETS.  
3. DECORATIVE KICK PLATES, SELF CLOSING HINGES AND PRIVACY LOCKSETS.  
4. PROVIDE DECORATIVE KICK PLATES AT HALL SIDE OF DOOR.  
5. ALL GLAZING IN DOORS TO BE SAFETY GLAZED.  
6. PROVIDE CLOSERS.  
7. PROVIDE DECORATIVE KICK PLATES AT INTERIOR SIDE OF DOOR.  
8. WEATHER STRIPPING TO BE INSTALLED.  
9. ALL DOOR HARDWARE TO BE LEVER TYPE LATCH SETS.



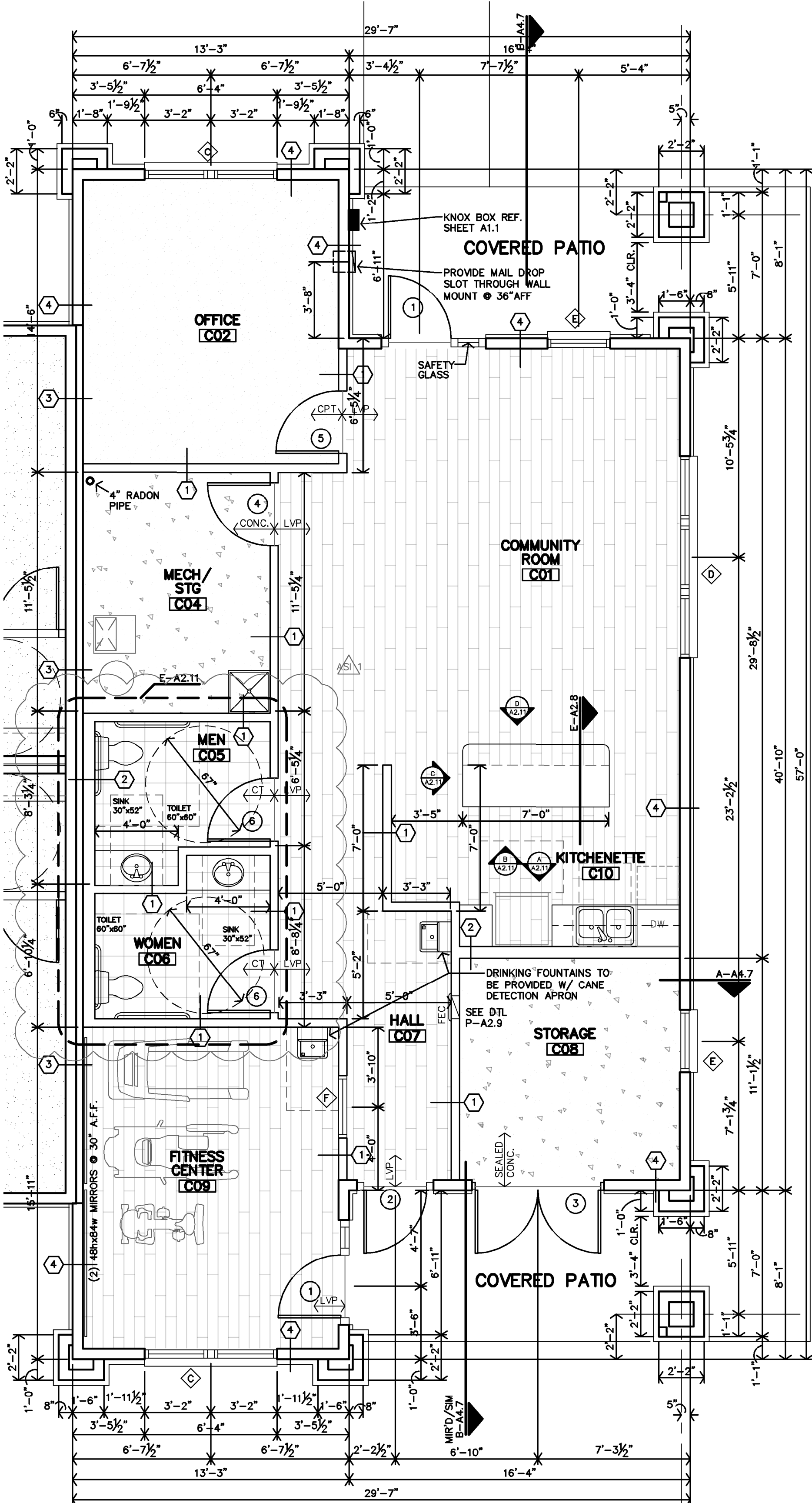
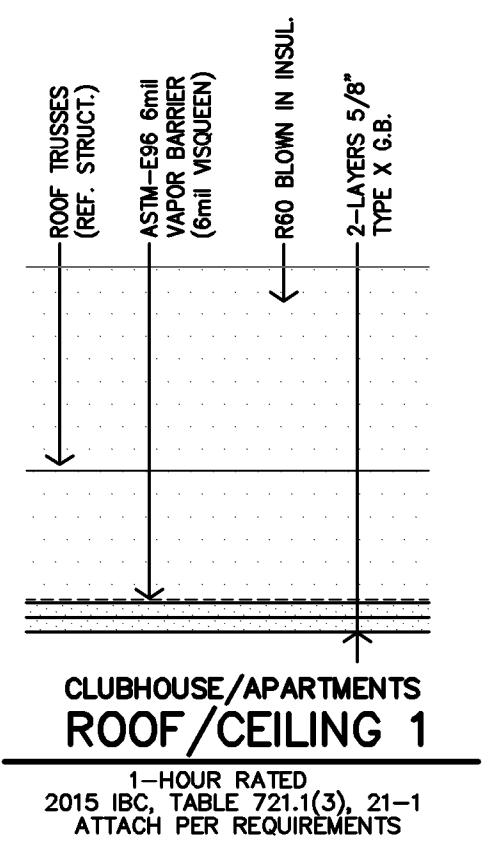
# CLUBHOUSE GENERAL NOTES

- REF STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
- TYPICAL GROUND FLOOR FINISH FLOOR ELEVATION IS REFERENCED AS 100'-0". CONTRACTOR SHALL VERIFY BUILDING ELEVATION W/ CIVIL DRAWINGS.
- REFERENCE SITE PLAN SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDING.
- CONTRACTOR SHALL PROVIDE FIREBLOCKING, ANCHOR BOLTS & ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
- FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE WITH NFPA 10 & 2021 IBC, SECTION 906.1 AND SPECIFICATIONS. LOCATED PER CFP SHEETS.
- ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED U.L. DESIGNS. REFERENCE SHEET A4.9 FOR FIRE PENETRATION ASSEMBLIES.
- B.O. HEADER 83" ABV. FIN. FLR.
- KITCHENETTE AREA RECEPTACLES TO BE 44" MAX ABOVE FIN FLR.
- ALL OPERABLE PARTS, (PER ADA SECTION 309) SHALL BE A MAX. OF 48" A.F.F. THIS INCLUDES OUTLETS, WINDOW LATCHES/LOCKS, ENVIRONMENTAL CONTROLS, LIGHT SWITCHES, ETC.
- CONTRACTOR TO PROVIDE 2x8 BLOCKING IN WALLS FOR GRAB BARS, COUNTERTOPS, SUPPORTS, ETC.
- SUBMIT VERIFICATION THAT ALL CONSTRUCTION MATERIAL WILL MEET US EPA CRITERIA PARTICULARLY MATERIALS THAT WILL BE OBTAINED FROM INTERNATIONAL SOURCES. ALSO PROVIDE VERIFICATION THAT THE CONSTRUCTION WILL NOT RESULT IN OR CONTAIN HAZARDOUS MATERIALS.
- ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
- F.O.S. = FACE OF STUD
- FEC = FIRE EXTINGUISHER CABINET, REFERENCE DETAIL N-A2.10

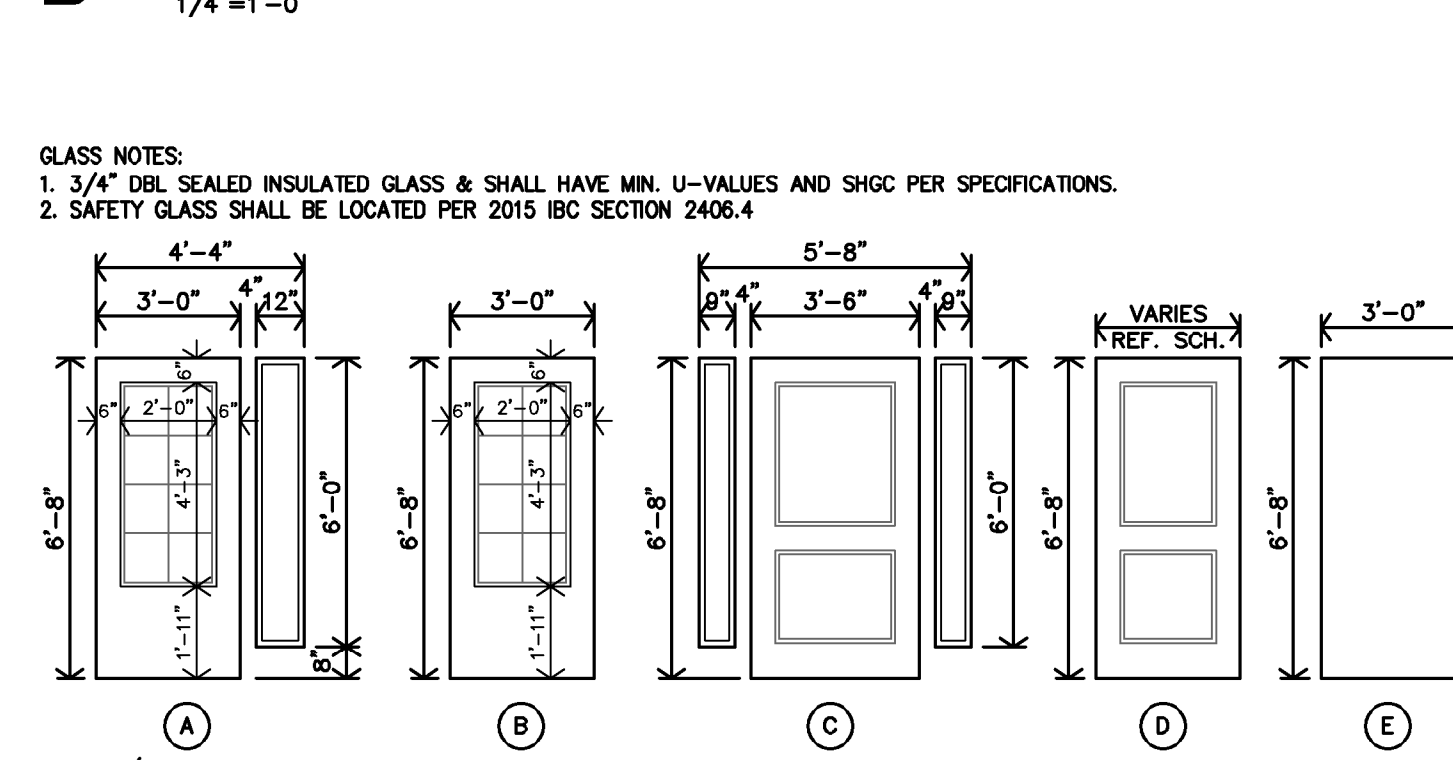
# CLUBHOUSE PARTITION SCHEDULE



# ASSEMBLIES



# D WINDOW SCHEDULE



# E DOOR TYPES



### ROOF GENERAL NOTES

- REF. STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
- REFERENCE SITE PLAN SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDINGS.
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. VERIFY LOCATION WITH MECHANICAL & PLUMBING DRAWINGS.
- INSTALL ATTIC VENTILATION OF NOT LESS THAN 1/150 OF THE ATTIC AREA WITH 50% OF REQ'D VENTILATION LOCATED IN THE UPPER PORTION OF THE ROOF AREA, PER IBC 2021, SECTION 1203.2
- INSTALL ATTIC ACCESS PER DETAIL H-A4.5. LOCATE PER ROOF PLAN.
- 4.5' INDICATES DOWNSPOUT LOCATIONS.
- CONTRACTOR SHALL COORDINATE WITH UNDERGROUND DRAINAGE PIPE, EXIST DOWNSPOUT LOCATION, REFERENCE CIVIL DRAWINGS.
- TYPICAL ROOF SLOPE IS 5:12 UNLESS NOTED OTHERWISE.
- INSTALL 1" DRAFTSTOP DOOR IN EACH ATTIC COMPARTMENT AS INDICATED ON ROOF PLANS. DRAFTSTOP DOOR SHALL BE SELF CLOSING W/ AUTOMATIC LATCHES PER IBC 2021, SECTION 718.4.1.1 & 718.4.2. ALSO REF. DETAIL J-A4.5
- INSTALL 1" DRAFTSTOPS PER IBC 2021, SECTION 718.3 & 718.4 (REF. ALSO 718.3.2, & 718.4.2). DRAFTSTOPS SHALL BE INSTALLED ABOVE AND IN LINE WITH DWELLING UNITS AND SEPARATION WALLS. PER IBC 2021 SECTION 718.4.2, EXCEPTION 3: DRAFTSTOP COMPARTMENTS NOT TO EXCEED 3,000sf OR (2) DWELLING UNITS.
- INSTALL FIRELOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
- INSTALL ICE/WATER SHIELD OVER ENTIRE ROOF & INSTALLED DIRECTLY OVER EXISTING WOOD DECKING.
- INSTALL LAYER OF 30# FELT OVER ENTIRE ROOF AREA, INCLUDING AREAS OF ICE/WATER SHIELD. INSTALL FLASHINGS & HALES THEN INSTALL SHINGLES.
- CAULK & SEAL WATER TIGHT ALL JOINTS & TRANSITIONS.
- ALL METAL MATERIALS (I.E. VALLEYS, FLASHINGS, ETC...) SHALL BE .0217" THICK (26 GA) PREFINISHED GALVANIZED OR ALUM. ZINC ALLOY. ALL FASTENERS MUST BE COMPATIBLE WITH ASSOCIATED METALS/MATERIALS. METALS MUST BE INSTALLED PER SMARNA'S "ARCHITECTURAL SHEET METAL MANUAL." CONTRACTOR TO USE NAILS FOR FASTENING NEW SHINGLES. STAPLES ARE NOT ALLOWED.
- ROOFING INSTALLATION: DETAILS INDICATED ON SHEET A5.2 ARE GENERIC/GENERAL CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS & RECOMMENDATIONS, BUT NOT LESS THAN THOSE RECOMMENDED BY MCA'S "THE ROOFING & WATERPROOFING MANUAL" & "STEEP SLOPE ROOF SYSTEMS".
- CONTRACTOR MUST COMPLY WITH ALL STATE & LOCAL CODES & REGULATIONS.
- PROVIDE PERMANENT IDENTIFICATION ACCEPTABLE TO LOCAL AUTHORITIES AT ALL DRAFTSTOPS AND DRAFTSTOP ACCESS.

#### TYPICAL SOFFIT MATERIAL

- CEMENT BOARD SOFFIT OR HARDI BOARD (TYP)
- COMPOSITE BOARD CEILING OVER (2) LAYERS 5/8" TYPE X G.B. INSTALL PER ROOF/CEILING ASSEMBLY: (1)HR IBC 2021, TABLE 721.1(3), 21-1.1 & COMPOSITE BOARD CEILING TYP.

#### MINIMUM GUTTER & DOWNSPOUT

GUTTER - 4x5  
DOWNSPOUT - 3x4

### APARTMENT BUILDING A ATTIC VENTILATION

ATTIC VENTILATION PER IBC 2021, SECTION 1202.2, 1/300 WITH ASTM 396 VAPOR BARRIER RIDGE VENT SHALL PROVIDE A MIN. OF 18 SQUARE INCHES OF NET FREE AREA (NFA) OF VENTILATION PER LINEAR FOOT, OR ADDITIONAL AND OPTIONAL VENTS MUST BE INSTALLED.

**AREA 1 (2 thus)**  
ATTIC AREA MUST PROVIDE  
(2,658/300 = 8.86/2 = 4.43 HIGH & LOW)  
4.43sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

**AREA 2 (2 thus)**  
ATTIC AREA MUST PROVIDE  
(2,045/300 = 6.82/2 = 3.41 HIGH & LOW)  
3.41sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

**BREEZEWAY (2 thus)**  
ATTIC AREA MUST PROVIDE  
526/300 = 1.75/2 = 0.875 HIGH & LOW  
0.875sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

### APARTMENT BUILDING B ATTIC VENTILATION

ATTIC VENTILATION PER IBC 2021, SECTION 1203.2, 1/300 WITH ASTM 396 VAPOR BARRIER RIDGE VENT SHALL PROVIDE A MIN. OF 18 SQUARE INCHES OF NET FREE AREA (NFA) OF VENTILATION PER LINEAR FOOT, OR ADDITIONAL AND OPTIONAL VENTS MUST BE INSTALLED.

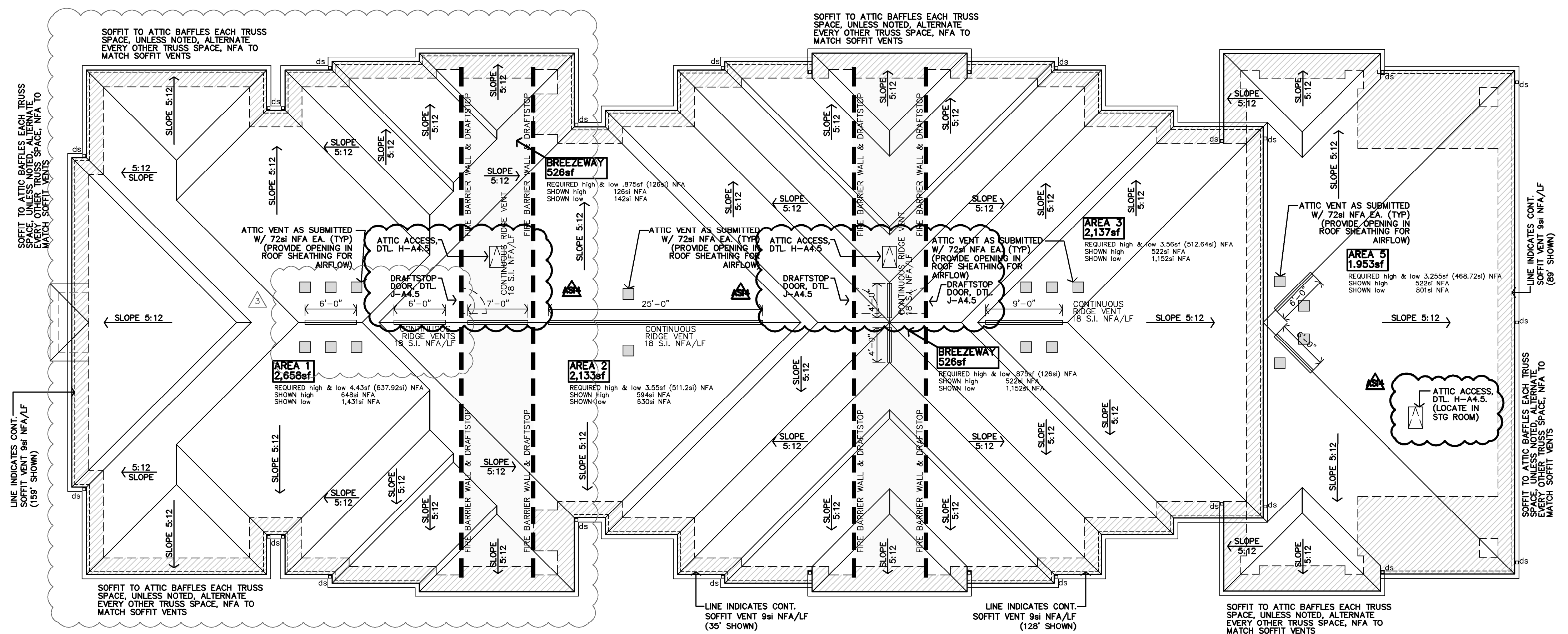
**AREA 1**  
ATTIC AREA MUST PROVIDE  
(2,658/300 = 8.86/2 = 4.43 HIGH & LOW)  
4.43sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

**AREA 3**  
ATTIC AREA MUST PROVIDE  
(2,137/300 = 7.12/2 = 3.56 HIGH & LOW)  
3.56sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

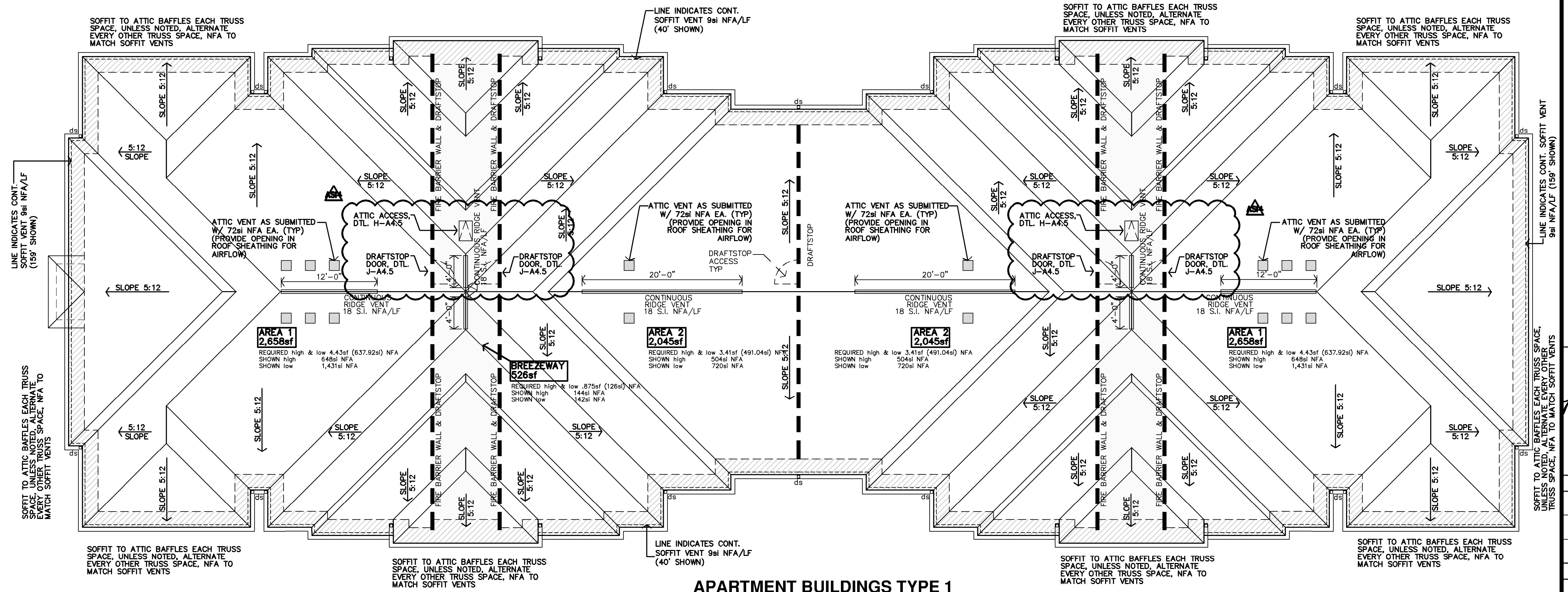
**AREA 2**  
ATTIC AREA MUST PROVIDE  
(2,133/300 = 7.11/2 = 3.55 HIGH & LOW)  
3.55sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

**AREA 4 (BREEZEWAYS) (2 thus)**  
ATTIC AREA MUST PROVIDE  
(510/300 = 1.67/2 = 0.833 HIGH & LOW)  
0.833sf OF NET FREE AREA @ THE RIDGE & SOFFITS.

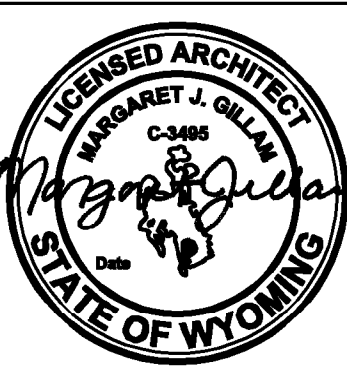
**AREA 5 (CLUBHOUSE)**  
ATTIC AREA MUST PROVIDE  
(1,953/300 = 6.51/2 = 3.255 HIGH & LOW)  
3.255sf OF NET FREE AREA @ THE RIDGE & SOFFITS.



**B APARTMENT BUILDING TYPE 2  
ROOF PLAN**  
1/8"=1'-0"



**A APARTMENT BUILDINGS TYPE 1  
ROOF PLAN**  
1/8"=1'-0"



REVISION:	
8-23-2024	
9-10-2024	
12-3-2024	
DATE:	7-17-2024
JOB:	22-3262
SHEET NO.:	