

LEGEND

CP	CABLE PEDESTAL	WM	WATER METER
FD	FIRE HYDRANT	G	EXISTING GAS LINE
GM	GAS METER	7"SS	EXISTING SANITARY SEWER LINE (SIZE SHOWN)
GS	GAS SERVICE	12"W	EXISTING WATER LINE (SIZE SHOWN)
JP	LIGHT POLE	—	GUY WIRE
MH	MANHOLE	—	HANDICAPPED PARKING SYMBOL
SSMH	SANITARY SEWER MANHOLE	—	EXISTING ASPHALT
SP	POWER POLE	—	EXISTING CONCRETE
TP	TELEPHONE PEDESTAL	FND IR	PROPERTY CORNER (AS NOTED)

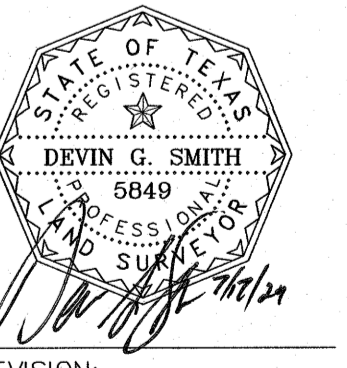
CORLETT, PROBST & BOYD, P.L.L.C.
EST. 1988
 4605 Old Jacksboro Highway Telephone (940) 723-1455
 Wichita Falls, Texas 76302 Fax (940) 397-0549

DATE: 6-28-2024
 JOB: 24-0304
 SHEET NO.:

C1.0
 EXISTING TOPOGRAPHIC SURVEY

JGR
 JonesGillamRenz
 730 N. Ninth 1881 Main Street, Suite 301
 Salina, KS 67401 Kansas City, MO 64108
 785.827.0386 jgr@jgrarchitects.com

SUN VALLEY APARTMENTS
 REHAB APARTMENTS
 WICHITA FALLS, TEXAS

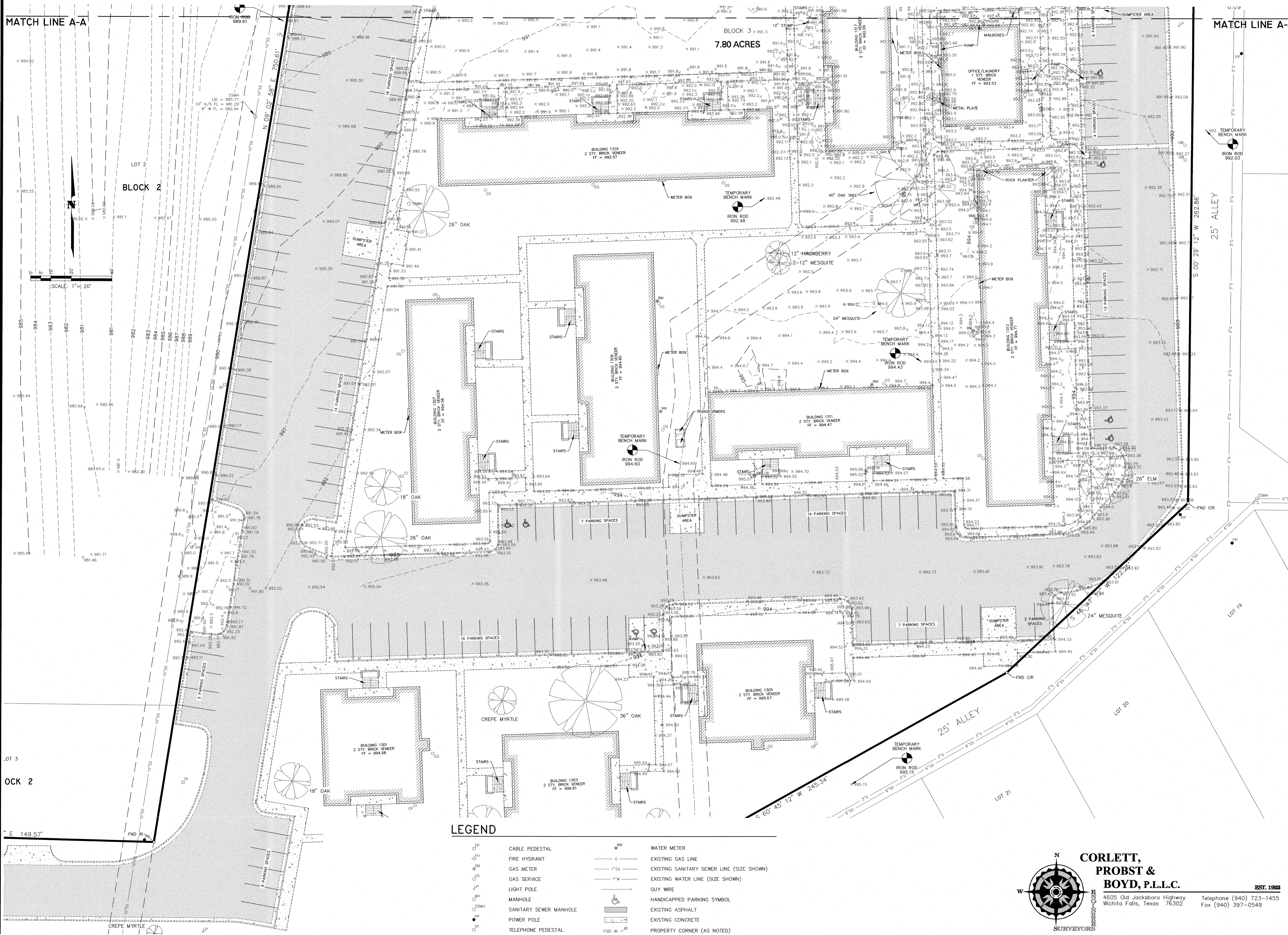


REVISION:

LOT 1
 BLOCK 1
 LOT 1
 BLOCK 2

MATCH LINE A-A

MATCH LINE A-A



LEGEND

	CABLE PEDESTAL		WATER METER
	FIRE HYDRANT		EXISTING GAS LINE
	GAS METER		EXISTING SANITARY SEWER LINE (SIZE SHOWN)
	GAS SERVICE		EXISTING WATER LINE (SIZE SHOWN)
	LIGHT POLE		GUY WIRE
	MANHOLE		HANDICAPPED PARKING SYMBOL
	SANITARY SEWER MANHOLE		EXISTING ASPHALT
	POWER POLE		EXISTING CONCRETE
	TELEPHONE PEDESTAL		PROPERTY CORNER (AS NOTED)

CORLETT, PROBST & BOYD, P.L.L.C. EST. 1988
 4605 Old Jacksboro Highway Wichita Falls, Texas 76302 Telephone (940) 723-1455
 Fax (940) 397-0549

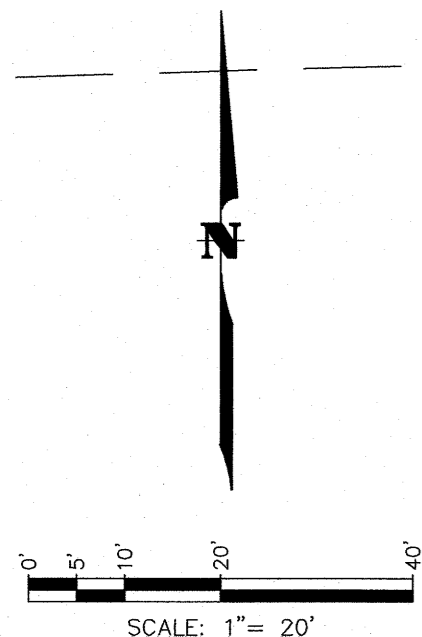
JGR JonesGillamRenz
 730 N. Ninth 1881 Main Street, Suite 301
 Salina, KS 67401 Kansas City, MO 64108
 785.827.0386 jgr@jgarchitects.com

SUN VALLEY APARTMENTS
 REHAB APARTMENTS
 WICHITA FALLS, TEXAS



REVISION: _____
 DATE: 6-28-2024
 JOB: 24-0304
 SHEET NO.: _____
C1.1
 EXISTING TOPOGRAPHIC SURVEY

COPYRIGHTED ©



LOT 1
BLOCK 2

NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES (PUBLIC AND PRIVATE) BEFORE BEGINNING WORK.
2. CONTRACTOR MUST COORDINATE WITH OWNER FOR PHASING AND WORK TIMES.
3. PROTECT ALL APPURTENANCES TO REMAIN.
4. CLEAN SAWCUT ALL ASPHALT AND CONCRETE FULL DEPTH AND PROTECT PAVEMENT TO REMAIN. PROTECT EXISTING CURB AND GUTTER ADJACENT TO THE PROPOSED SIDEWALK.
5. CONTRACTOR MUST MAINTAIN INGRESS/EGRESS FOR POLICE, FIRE, SANITATION AND RESIDENTS.

MATCH LINE A-A

MATCH LINE A-A

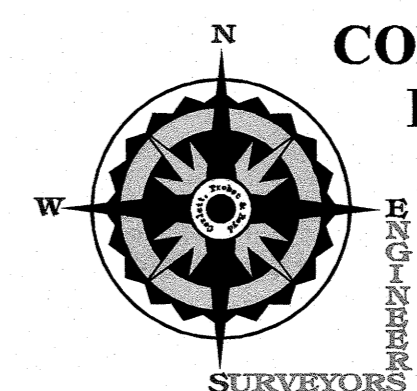
CENTRAL FREEWAY EAST
(RIGHT-OF-WAY VARIES)

SUN VALLEY, SECTION THREE

BLOCK 3
7.80 ACRES

LEGEND

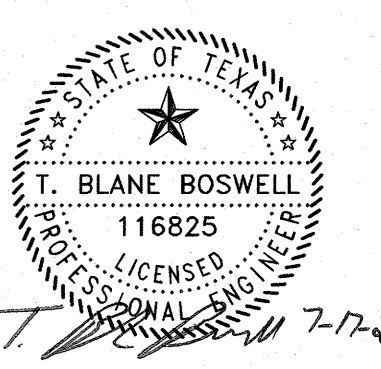
	CABLE PEDESTAL		WATER METER
	FIRE HYDRANT		EXISTING GAS LINE
	GAS METER		EXISTING SANITARY SEWER LINE (SIZE SHOWN)
	GAS SERVICE		EXISTING WATER LINE (SIZE SHOWN)
	LIGHT POLE		GUY WIRE
	MANHOLE		HANDICAPPED PARKING SYMBOL
	SANITARY SEWER MANHOLE		EXISTING ASPHALT
	POWER POLE		EXISTING CONCRETE
	TELEPHONE PEDESTAL		PROPERTY CORNER (AS NOTED)



**CORLETT,
PROBST &
BOYD, P.L.L.C.**
4605 Old Jacksboro Highway
Wichita Falls, Texas 76302
Telephone (940) 723-1455
Fax (940) 397-0549
EST. 1988

DATE: 6-28-2024
JOB: 24-0304
SHEET NO.:

C2.0
DEMOLITION PLAN



REVISION:

7-17-24

JGR
JonesGillamRenz
730 N. Ninth Street, Suite 301
Selma, KS 67401 Kansas City, MO 64108
785.827.0386
jgr@jgrarchitects.com

**SUN VALLEY APARTMENTS
REHAB APARTMENTS**
WICHITA FALLS,
TEXAS

LOT
BLOCK

REMOVE 123 SQ. FT. EXISTING CONCRETE
REMOVE 717 SQ. FT. EXISTING ASPHALT AND 4 PARKING STRIPES

REMOVE HANDICAPPED PARKING SYMBOL
2 PARKING SPACES

BUILDING 1329
2 STY. BRICK VENEER
FF = 988.39

BUILDING 1331
2 STY. BRICK VENEER
FF = 989.54

REMOVE 663 SQ. FT. EXISTING CONCRETE

REMOVE 88 SQ. FT. EXISTING CONCRETE
REMOVE 775 SQ. FT. EXISTING ASPHALT AND 6 PARKING STRIPES

BUILDING 1327
2 STY. BRICK VENEER
FF = 990.42

BUILDING 1325
2 STY. BRICK VENEER
FF = 991.37

BUILDING 1321
2 STY. BRICK VENEER
FF = 991.47

BUILDING 1323
2 STY. BRICK VENEER
FF = 992.23

REMOVE 78 SQ. FT. EXISTING CONCRETE
REMOVE 733 SQ. FT. EXISTING ASPHALT AND 4 PARKING STRIPES

REMOVE SPEED BUMP IN PROPOSED DUMPSTER LOCATION

REMOVE 609 SQ. FT. EXISTING CONCRETE INCLUDING EXISTING RAMP

REMOVE 3949 SQ. FT. EXISTING CONCRETE

REMOVE 3949 SQ. FT. EXISTING CONCRETE

REMOVE HANDICAPPED PARKING SYMBOLS
2 PARKING SPACES

S:\WALL\2024\24-0304\24-0304-DEMOLITION.DWG (P. 7-17-2024) 10:37 AM WALTER THOMPSON

MATCH LINE A-A

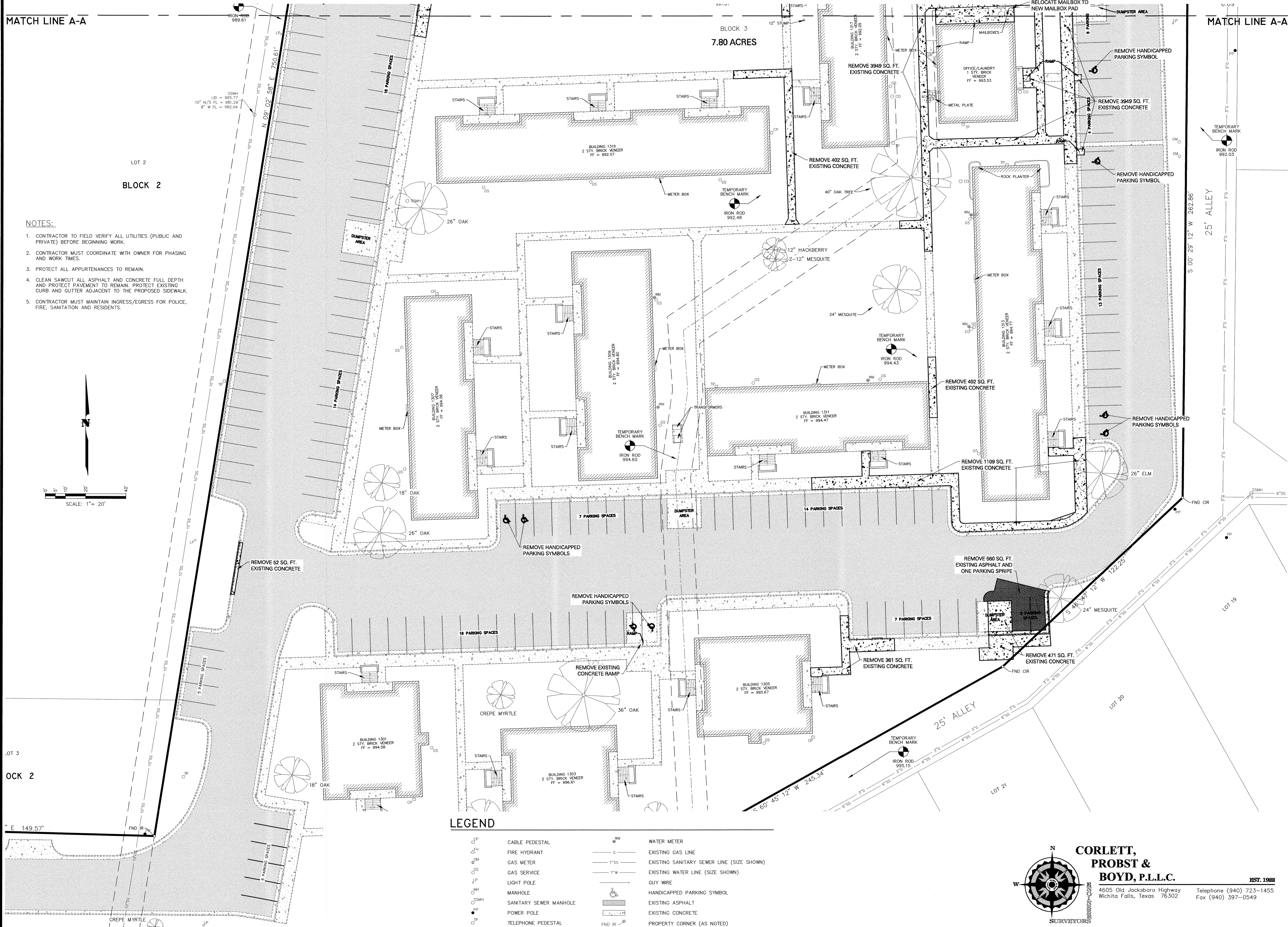
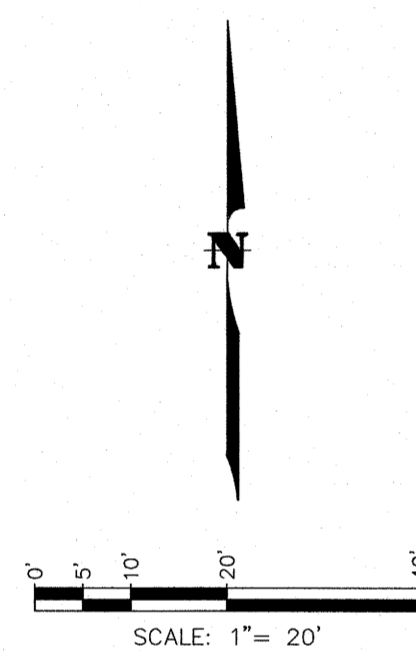
MATCH LINE A-A

BLOCK 3
7.80 ACRES

LOT 2
BLOCK 2

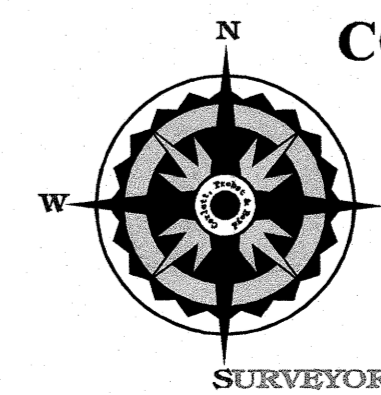
NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES (PUBLIC AND PRIVATE) BEFORE BEGINNING WORK.
2. CONTRACTOR MUST COORDINATE WITH OWNER FOR PHASING AND WORK TIMES.
3. PROTECT ALL APPURTENANCES TO REMAIN.
4. CLEAN SAWCUT ALL ASPHALT AND CONCRETE FULL DEPTH AND PROTECT PAVEMENT TO REMAIN. PROTECT EXISTING CURB AND GUTTER ADJACENT TO THE PROPOSED SIDEWALK.
5. CONTRACTOR MUST MAINTAIN INGRESS/EGRESS FOR POLICE, FIRE, SANITATION AND RESIDENTS.



LEGEND

CP	CABLE PEDESTAL	WM	WATER METER
CH	FIRE HYDRANT	G	EXISTING GAS LINE
GM	GAS METER	7"SS	EXISTING SANITARY SEWER LINE (SIZE SHOWN)
GS	GAS SERVICE	7"W	EXISTING WATER LINE (SIZE SHOWN)
LP	LIGHT POLE	—	GUY WIRE
MH	MANHOLE	—	HANDICAPPED PARKING SYMBOL
SMH	SANITARY SEWER MANHOLE	ASPH	EXISTING ASPHALT
PP	POWER POLE	CONC	EXISTING CONCRETE
TP	TELEPHONE PEDESTAL	PC	PROPERTY CORNER (AS NOTED)



**CORLETT,
PROBST &
BOYD, P.L.L.C.**

4605 Old Jacksboro Highway
Wichita Falls, Texas 76302
Telephone (940) 723-1455
Fax (940) 397-0549

EST. 1928

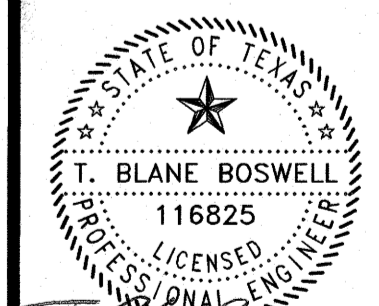
DATE: 6-28-2024

JOB: 24-0304

SHEET NO.:

C2.1

DEMOLITION PLAN



REVISION:

DATE: 6-28-2024

JOB: 24-0304

SHEET NO.:

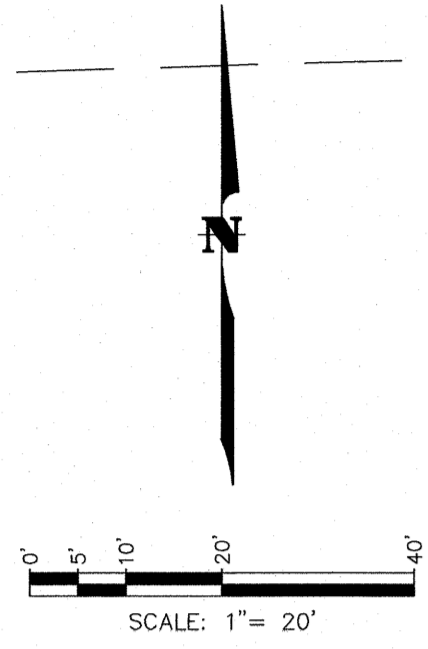
C2.1

DEMOLITION PLAN

SUN VALLEY APARTMENTS
REHAB APARTMENTS
WICHITA FALLS, TEXAS

JGR
JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.627.0366 jgr@jgrarchitects.com

COPYRIGHTED ©



LOT 1
BLOCK 2

CENTRAL FREEWAY EAST
(RIGHT-OF-WAY VARIES)

NOTES:

- CONTRACTOR TO FIELD VERIFY ALL UTILITIES (PUBLIC AND PRIVATE) BEFORE BEGINNING WORK.
- CONTRACTOR MUST COORDINATE WITH OWNER FOR PHASING AND WORK TIMES.
- PROTECT ALL APPURTENANCES TO REMAIN.
- CLEAN SAWCUT ALL ASPHALT AND CONCRETE FULL DEPTH AND PROTECT PAVEMENT TO REMAIN. PROTECT EXISTING CURB AND GUTTER ADJACENT TO THE PROPOSED SIDEWALK.
- CROSS SLOPES MUST NEVER EXCEED 2% IN ANY DIRECTION.
- CONCRETE MUST HAVE A MEDIUM BROOM FINISH.
- DUMPSTER ENCLOSURES MUST NOT EXTEND IN THE TRAVELED LAND.
- CONTRACTOR MUST ENSURE POSITIVE DRAINAGE AT ALL TIMES.
- CONTRACTOR MUST REPAIR ANY DAMAGE TO EXISTING SOD AND LAWN AREAS.
- CONTRACTOR MUST FOLLOW MANUFACTURER'S REQUIREMENTS WHEN INSTALLING THE SIKATOP PRODUCT.
- ACCESSIBLE PORCHES PROPOSED ELEVATION X" BELOW PROPOSED THRESHOLD.

MATCH EXISTING PAVEMENT ADJACENT TO PROPOSED DUMPSTER PADS.

EXISTING CURBS TO REMAIN. MATCH EXISTING CURB ELEVATION.

MATCH EXISTING PAVEMENT ADJACENT TO PROPOSED DUMPSTER PADS.

MATCH LINE A-A

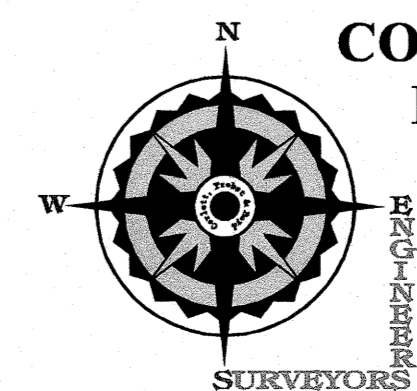
MATCH LINE A-A

LEGEND

	CABLE PEDESTAL		WATER METER		SIKATOP 122 PLUS
	FIRE HYDRANT		EXISTING GAS LINE		PROPOSED CONCRETE
	GAS METER		EXISTING SANITARY SEWER LINE (SIZE SHOWN)		PROPOSED DUMPSTER PADS
	GAS SERVICE		EXISTING WATER LINE (SIZE SHOWN)		
	LIGHT POLE		GUY WIRE		
	MANHOLE		HANDICAPPED PARKING SYMBOL		
	SANITARY SEWER MANHOLE		EXISTING ASPHALT		
	POWER POLE		EXISTING CONCRETE		
	TELEPHONE PEDESTAL		PROPERTY CORNER (AS NOTED)		

SUN VALLEY, SEATTLE TREE

7.80 ACRES



CORLETT, PROBST & BOYD, P.L.L.C.
 4605 Old Jacksboro Highway Telephone (940) 723-1455
 Wichita Falls, Texas 76302 Fax (940) 397-0549
 EST. 1928

DATE: 6-28-2024
 JOB: 24-0304
 SHEET NO.:

C3.0
 GRADING PLAN

JGR
 JonesGillamRenz
 730 N. Ninth 1881 Main Street, Suite 301
 Salina, KS 67401 Kansas City, MO 64108
 785.827.0366 jgr@jgrarchitects.com

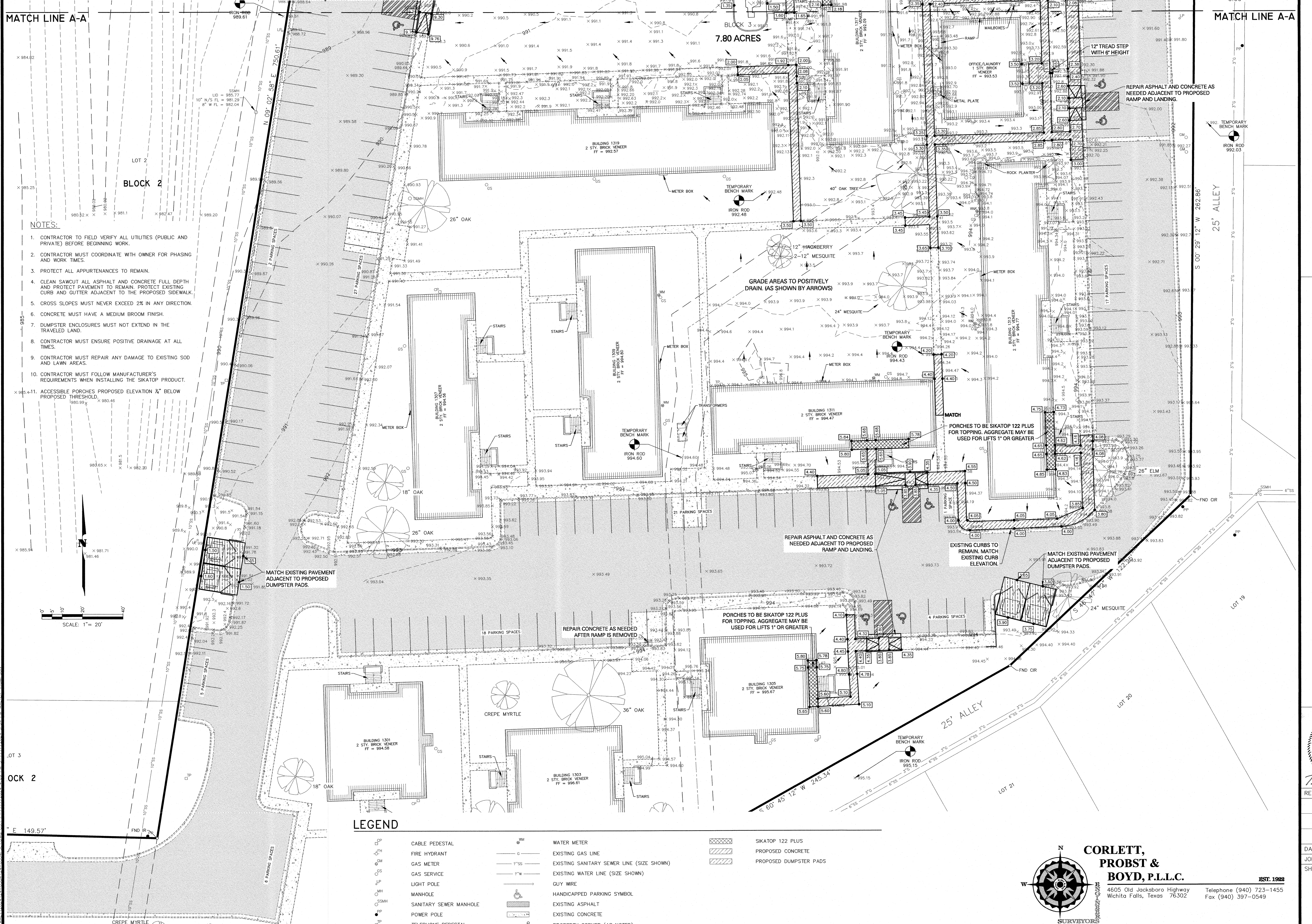
SUN VALLEY APARTMENTS
 REHAB APARTMENTS
 WICHITA FALLS, TEXAS

STATE OF TEXAS
 T. BLANE BOSWELL
 116825
 LICENSED PROFESSIONAL ENGINEER
 REVISION: 2/2024

COPYRIGHTED ©

MATCH LINE A-A

MATCH LINE A-A



- NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL UTILITIES (PUBLIC AND PRIVATE) BEFORE BEGINNING WORK.
 - CONTRACTOR MUST COORDINATE WITH OWNER FOR PHASING AND WORK TIMES.
 - PROTECT ALL APPURTENANCES TO REMAIN.
 - CLEAN SAWCUT ALL ASPHALT AND CONCRETE FULL DEPTH AND PROTECT PAVEMENT TO REMAIN. PROTECT EXISTING CURB AND GUTTER ADJACENT TO THE PROPOSED SIDEWALK.
 - CROSS SLOPES MUST NEVER EXCEED 2% IN ANY DIRECTION.
 - CONCRETE MUST HAVE A MEDIUM BROOM FINISH.
 - DUMPSTER ENCLOSURES MUST NOT EXTEND IN THE TRAVELED LAND.
 - CONTRACTOR MUST ENSURE POSITIVE DRAINAGE AT ALL TIMES.
 - CONTRACTOR MUST REPAIR ANY DAMAGE TO EXISTING SOD AND LAWN AREAS.
 - CONTRACTOR MUST FOLLOW MANUFACTURER'S REQUIREMENTS WHEN INSTALLING THE SIKATOP PRODUCT.
 - ACCESSIBLE PORCHES PROPOSED ELEVATION 1/4" BELOW PROPOSED THRESHOLD.

LEGEND

	CABLE PEDESTAL		WATER METER		SIKATOP 122 PLUS
	FIRE HYDRANT		EXISTING GAS LINE		PROPOSED CONCRETE
	GAS METER		EXISTING SANITARY SEWER LINE (SIZE SHOWN)		PROPOSED DUMPSTER PADS
	GAS SERVICE		EXISTING WATER LINE (SIZE SHOWN)		
	LIGHT POLE		GUY WIRE		
	MANHOLE		HANDICAPPED PARKING SYMBOL		
	SANITARY SEWER MANHOLE		EXISTING ASPHALT		
	POWER POLE		EXISTING CONCRETE		
	TELEPHONE PEDESTAL		PROPERTY CORNER (AS NOTED)		

JGR
 JonesGillamRenz
 730 N. Ninth Street, Suite 301
 Salina, KS 67401 Kansas City, MO 64108
 785.827.0386 jgr@jgrarchitects.com

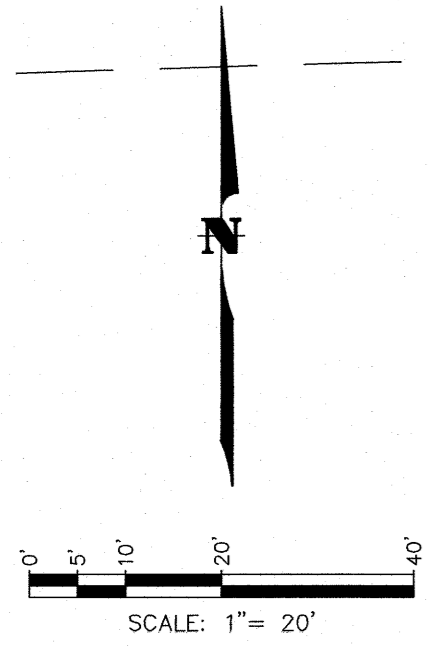
SUN VALLEY APARTMENTS
REHAB APARTMENTS
 WICHITA FALLS, TEXAS

STATE OF TEXAS
 T. BLANE BOSWELL
 116825
 LICENSED PROFESSIONAL ENGINEER
 T. Blane Boswell 7-17-24
 REVISION:

DATE: 6-28-2024
 JOB: 24-0304
 SHEET NO.:

CORLETT, PROBST & BOYD, P.L.L.C.
 4605 Old Jacksboro Highway Telephone (940) 723-1455
 Wichita Falls, Texas 76302 Fax (940) 397-0549
 EST. 1988

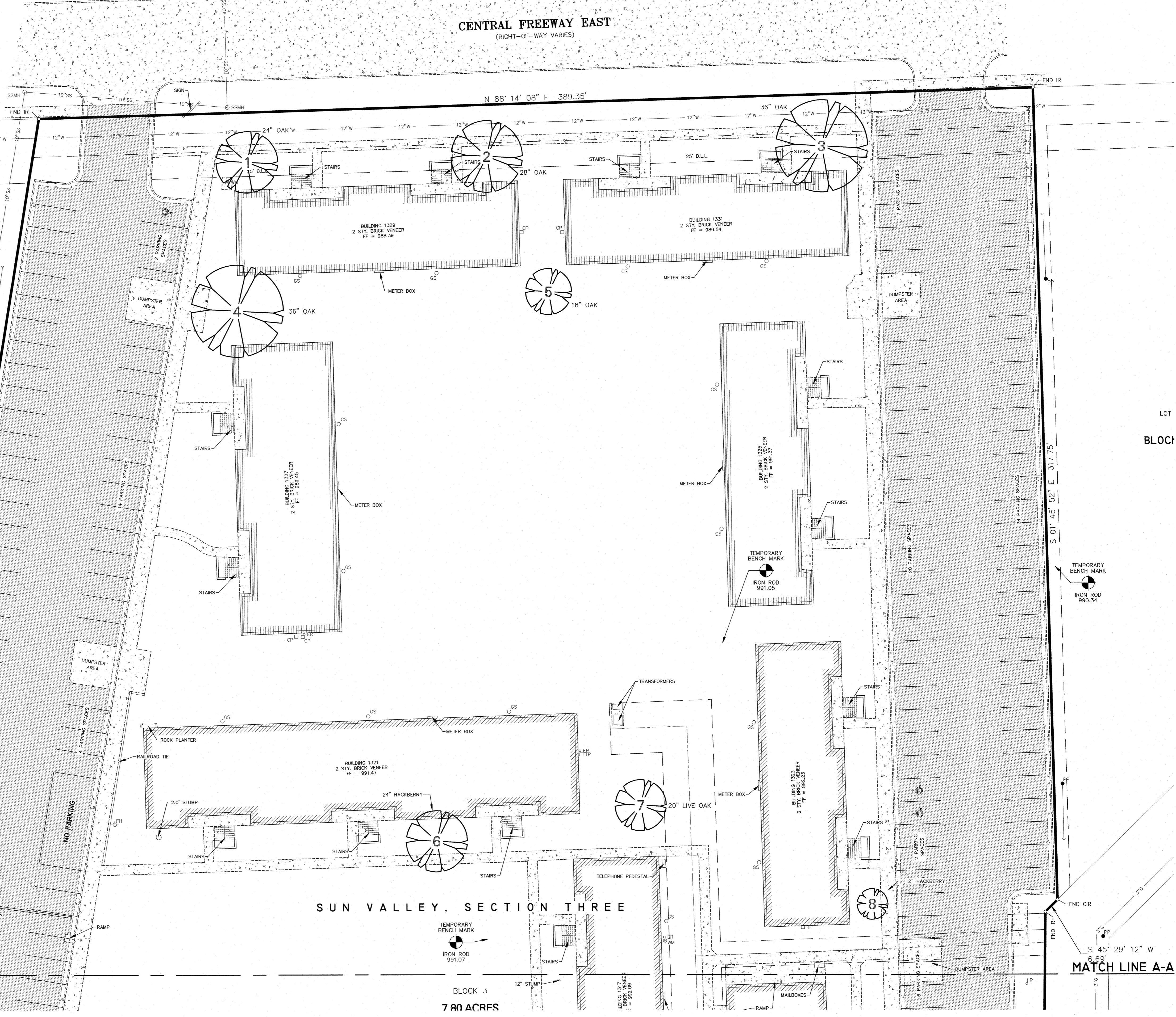
C3.1
 GRADING PLAN
 COPYRIGHTED



LOT 1
BLOCK 2

EXISTING TREE SCHEDULE

- 1 24" OAK
- 2 28" OAK
- 3 36" OAK
- 4 36" OAK
- 5 18" OAK
- 6 24" HACKBERRY
- 7 20" LIVE OAK
- 8 12" HACKBERRY

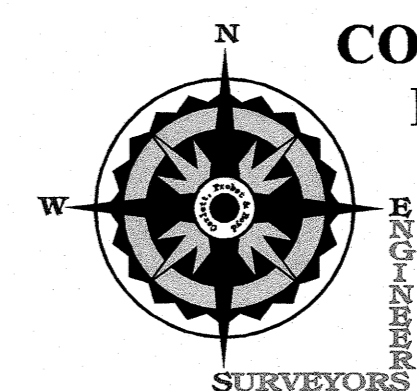


SUN VALLEY, SECTION THREE

BLOCK 3
7.80 ACRES

MATCH LINE A-A

MATCH LINE A-A



**CORLETT,
PROBST &
BOYD, P.L.L.C.**

EST. 1982
4605 Old Jacksboro Highway Telephone (940) 723-1455
Wichita Falls, Texas 76302 Fax (940) 397-0549

DATE: 6-28-2024
JOB: 24-0304
SHEET NO.:

C5.0
LANDSCAPE PLAN

JGR
JonesGillamRenz
730 N. Ninth Street, Suite 301
Selma, KS 67401 Kansas City, MO 64108
785.827.0366 jgr@jgrarchitects.com

SUN VALLEY APARTMENTS
REHAB APARTMENTS
WICHITA FALLS, TEXAS

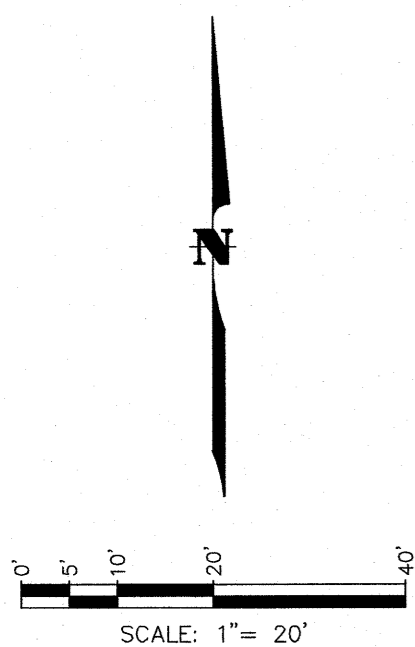
REVISION:

S:\WALTON\2024\24-0304\24-0304-01\24-0304-01.dwg PLOT DATE: 6/28/2024 10:37 AM PLOTTER: HP DesignJet 500 PLOT SCALE: 1"=20'

COPYRIGHTED ©

MATCH LINE A-A

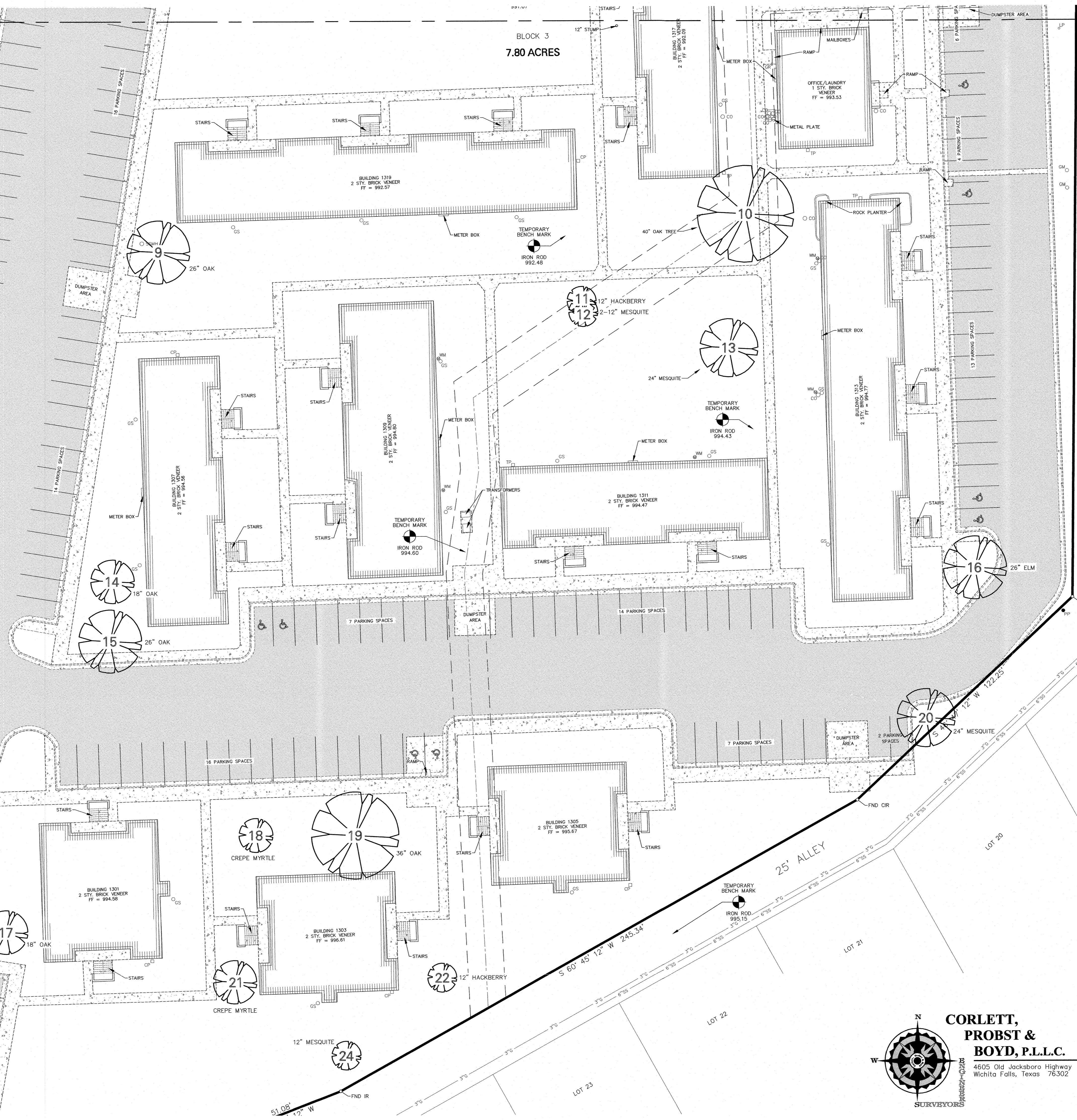
MATCH LINE A-A



LOT 2
BLOCK 2

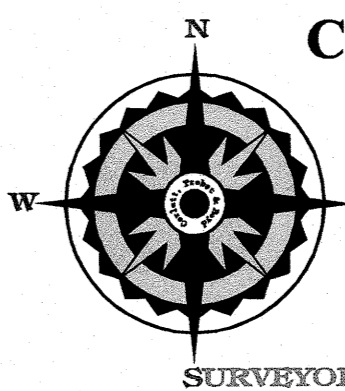
EXISTING TREE SCHEDULE

- 9 26" OAK
- 10 40" OAK
- 11 12" HACKBERRY
- 12 2-12" MESQUITE
- 13 24" MESQUITE
- 14 18" OAK
- 15 26" OAK
- 16 16" ELM
- 17 18" OAK
- 18 18' TALL CREPE MYRTLE
- 19 36" OAK
- 20 24" MESQUITE
- 21 15' TALL CREPE MYRTLE
- 22 12" HACKBERRY
- 23 15' TALL CREPE MYRTLE
- 24 12" MESQUITE



LOT 3
BLOCK 2

E 149.57'

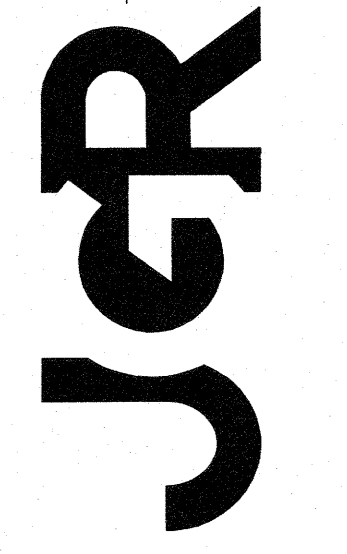


**CORLETT,
PROBST &
BOYD, P.L.L.C.**

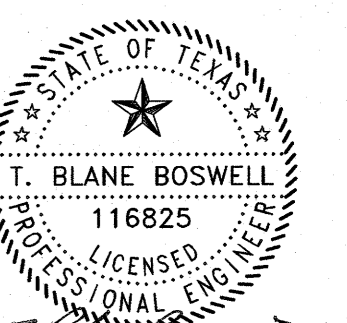
4605 Old Jacksboro Highway Telephone (940) 723-1455
Wichita Falls, Texas 76302 Fax (940) 397-0549

EST. 1983

JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0366 jgr@jgarchitects.com



SUN VALLEY APARTMENTS
REHAB APARTMENTS
WICHITA FALLS,
TEXAS



REVISION:

DATE: 6-28-2024
JOB: 24-0304
SHEET NO.:

C5.1
LANDSCAPE PLAN

COPYRIGHTED ©