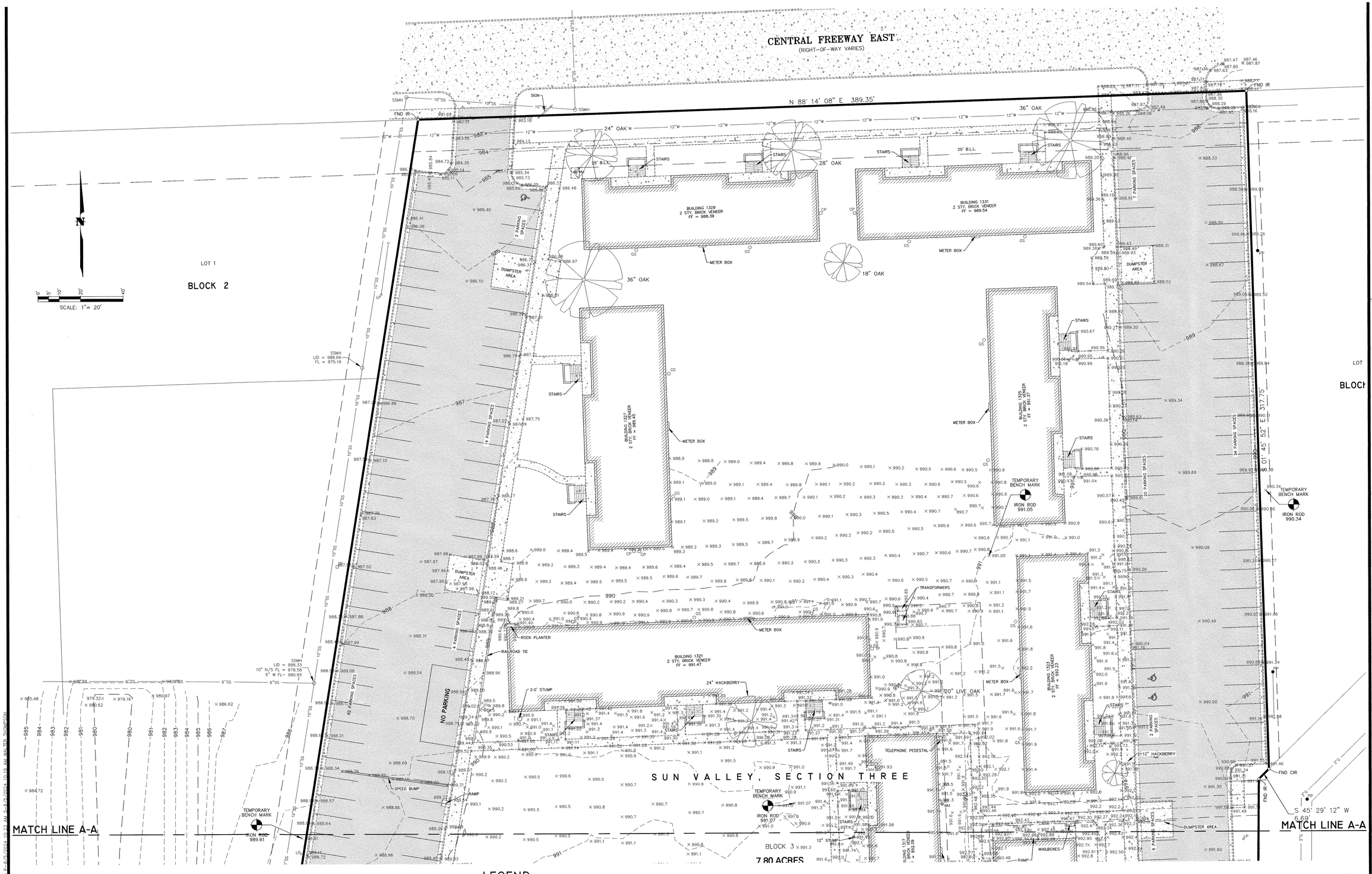

LEGEND

CP	CABLE PEDESTAL	WM	WATER METER
FH	FIRE HYDRANT	G	EXISTING GAS LINE
GM	GAS METER	9"SS	EXISTING SANITARY SEWER LINE (SIZE SHOWN)
GS	GAS SERVICE	2"W	EXISTING WATER LINE (SIZE SHOWN)
LP	LIGHT POLE		GUY WIRE
MH	MANHOLE		HANDICAPPED PARKING SYMBOL
SSMH	SANITARY SEWER MANHOLE		EXISTING ASPHALT
PP	POWER POLE		EXISTING CONCRETE
TP	TELEPHONE PEDESTAL	FND IR	PROPERTY CORNER (AS NOTED)

CORLETT, PROBST & BOYD, P.L.L.C.
EST. 1922
ENGINEERS SURVEYORS
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SUN VALLEY APARTMENTS

REHAB APARTMENTS

WICHITA FALLS, TEXAS

STATE OF TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR DEVIN G. SMITH 5849 8/2/24

REVISION:

DATE: 6-28-2024
JOB: 24-0304
SHEET NO.:

C1.0

EXISTING TOPOGRAPHIC SURVEY

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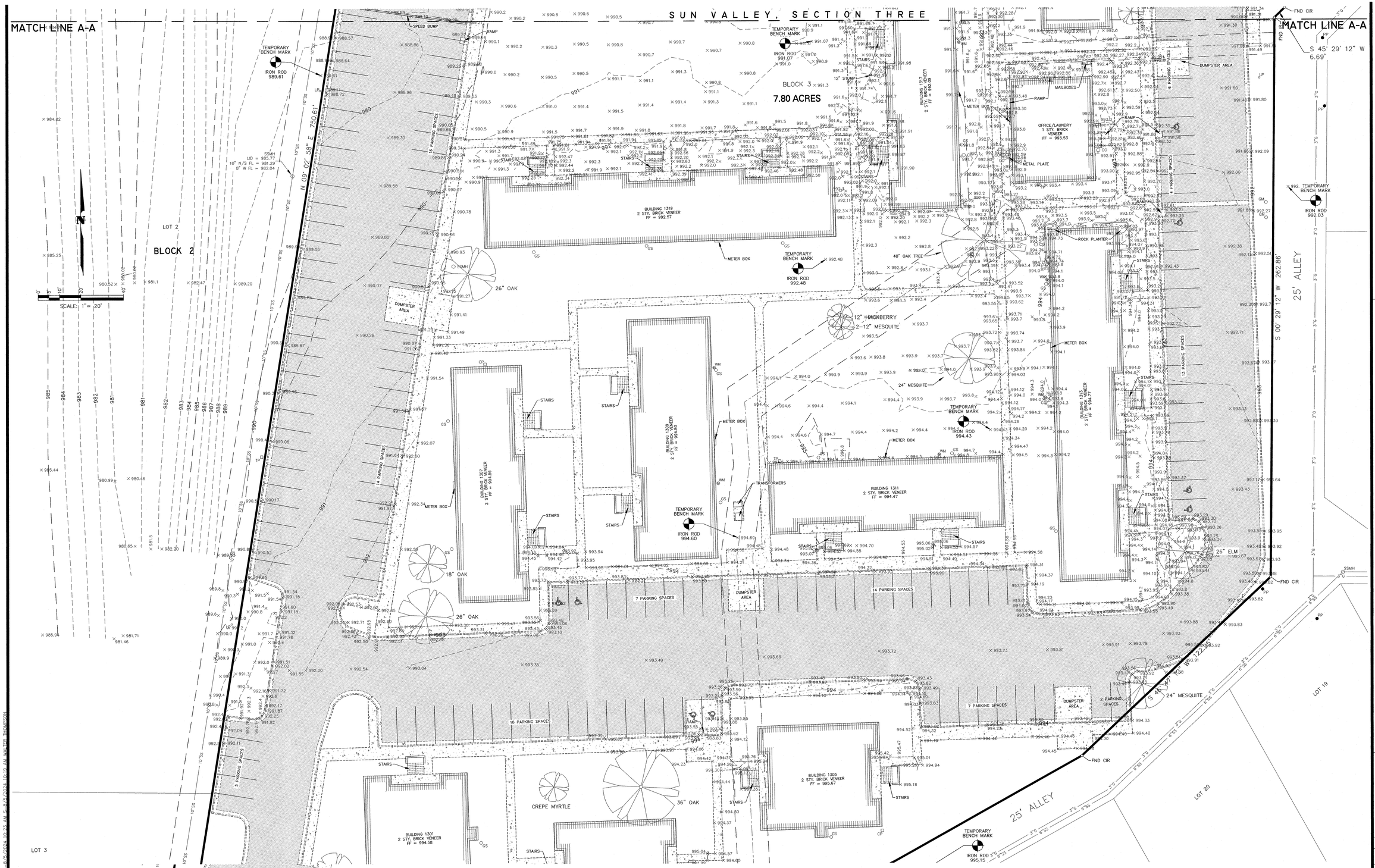
S:\WALT\2024\24-0304\24-0304PSET.DWG, C1.0 P=8/5/2024 10:23 AM S=8/5/2024 10:19 AM WALTER THOMPSON



LEGEND

CP	CABLE PEDESTAL	WM	WATER METER
FH	FIRE HYDRANT	G	EXISTING GAS LINE
GM	GAS METER	7"SS	EXISTING SANITARY SEWER LINE (SIZE SHOWN)
GS	GAS SERVICE	7"W	EXISTING WATER LINE (SIZE SHOWN)
LP	LIGHT POLE		GUY WIRE
MH	MANHOLE		HANDICAPPED PARKING SYMBOL
SSMH	SANITARY SEWER MANHOLE		EXISTING ASPHALT
PP	POWER POLE		EXISTING CONCRETE
TP	TELEPHONE PEDESTAL	FND IR	PROPERTY CORNER (AS NOTED)

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SUN VALLEY APARTMENTS

REHAB APARTMENTS

WICHITA FALLS, TEXAS

STATE OF TEXAS REGISTERED DEVIN G. SMITH 5849 PROFESSIONAL LAND SURVEYOR
5/5/24

REVISION:

DATE: 6-28-2024
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SHEET NO.:

C1.1

EXISTING TOPOGRAPHIC SURVEY

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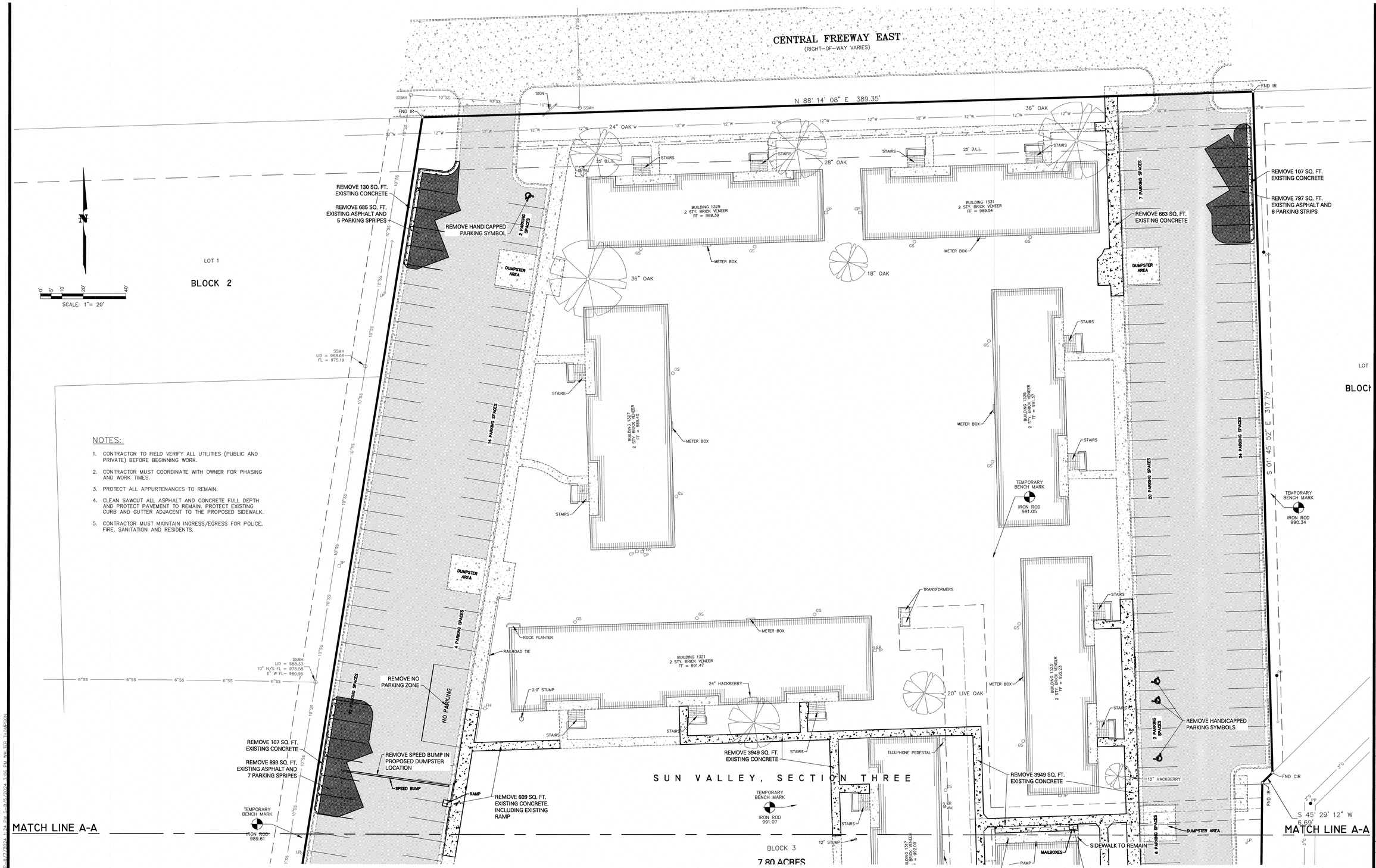

NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES (PUBLIC AND PRIVATE) BEFORE BEGINNING WORK.
2. CONTRACTOR MUST COORDINATE WITH OWNER FOR PHASING AND WORK TIMES.
3. PROTECT ALL APPURTENANCES TO REMAIN.
4. CLEAN SAWCUT ALL ASPHALT AND CONCRETE FULL DEPTH AND PROTECT PAVEMENT TO REMAIN. PROTECT EXISTING CURB AND GUTTER ADJACENT TO THE PROPOSED SIDEWALK.
5. CONTRACTOR MUST MAINTAIN INGRESS/EGRESS FOR POLICE, FIRE, SANITATION AND RESIDENTS.

LEGEND

CP	CABLE PEDESTAL	WM	WATER METER
FH	FIRE HYDRANT	G	EXISTING GAS LINE
GM	GAS METER	8"SS	EXISTING SANITARY SEWER LINE (SIZE SHOWN)
GS	GAS SERVICE	8"W	EXISTING WATER LINE (SIZE SHOWN)
LP	LIGHT POLE		GUY WIRE
MH	MANHOLE		HANDICAPPED PARKING SYMBOL
SSMH	SANITARY SEWER MANHOLE		EXISTING ASPHALT
PP	POWER POLE		EXISTING CONCRETE
TP	TELEPHONE PEDESTAL	FND IR	PROPERTY CORNER (AS NOTED)

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WICHITA FALLS, TEXAS

STATE OF TEXAS
T. BLANE BOSWELL
116825
LICENSED
PROFESSIONAL ENGINEER

T. Blane Boswell 6-28-24

REVISION:

DATE: 6-28-2024
JOB: 24-0304
SHEET NO.:

C2.0

DEMOLITION PLAN

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MATCH LINE A-A

MATCH LINE A-A

BLOCK 3

7.80 ACRES

LOT 2

BLOCK 2

NOTES:

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3. PROTECT ALL APPURTENANCES TO REMAIN.
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5. CONTRACTOR MUST MAINTAIN INGRESS/EGRESS FOR POLICE, FIRE, SANITATION AND RESIDENTS.

SCALE: 1"= 20'

N 00° 02' 58" E 750.61'

S 00° 29' 12" W 262.86'

25' ALLEY

S 46° 47' 12" W 122.25'

S 60° 45' 12" W 245.34'

N 89° 57' 00" E 149.57'

BUILDING 1319
2 STY. BRICK VENEER
FF = 992.57

BUILDING 1317
2 STY. BRICK VENEER
FF = 993.09

OFFICE/LAUNDRY
1 STY. BRICK
VENEER
FF = 993.53

BUILDING 1309
2 STY. BRICK VENEER
FF = 994.60

BUILDING 1307
2 STY. BRICK VENEER
FF = 994.56

BUILDING 1311
2 STY. BRICK VENEER
FF = 994.47

BUILDING 1313
2 STY. BRICK VENEER
FF = 994.77

BUILDING 1301
2 STY. BRICK VENEER
FF = 994.58

BUILDING 1303
2 STY. BRICK VENEER
FF = 996.61

BUILDING 1305
2 STY. BRICK VENEER
FF = 995.67

TEMPORARY BENCH MARK
IRON ROD
992.48

TEMPORARY BENCH MARK
IRON ROD
994.43

TEMPORARY BENCH MARK
IRON ROD
994.60

TEMPORARY BENCH MARK
IRON ROD
992.03

TEMPORARY BENCH MARK
IRON ROD
995.15

IRON ROD
989.61

SSMH
LID = 985.77
10" N/S FL = 981.29
8" W FL = 982.04

REMOVE MAILBOX

REMOVE 3949 SQ. FT. EXISTING CONCRETE

REMOVE HANDICAPPED PARKING SYMBOL

REMOVE 3949 SQ. FT. EXISTING CONCRETE

REMOVE 402 SQ. FT. EXISTING CONCRETE

REMOVE HANDICAPPED PARKING SYMBOL

REMOVE 402 SQ. FT. EXISTING CONCRETE

REMOVE HANDICAPPED PARKING SYMBOLS

REMOVE 1109 SQ. FT. EXISTING CONCRETE

REMOVE HANDICAPPED PARKING SYMBOLS

REMOVE 52 SQ. FT. EXISTING CONCRETE

REMOVE 1019 SQ. FT. EXISTING ASPHALT AND 5 PARKING SPRIPES

REMOVE HANDICAPPED PARKING SYMBOLS

REMOVE EXISTING CONCRETE RAMP

REMOVE 361 SQ. FT. EXISTING CONCRETE

REMOVE 906 SQ. FT. EXISTING CONCRETE

18 PARKING SPACES

14 PARKING SPACES

13 PARKING SPACES

7 PARKING SPACES

6 PARKING SPA

5 PARKING SPACES

2 PARKING SPACES

DUMPSTER AREA

MAILBOXES

RAMP

ROCK PLANTER

TRANSFORMERS

26" OAK

18" OAK

12" HACKBERRY
2-12" MESQUITE

24" MESQUITE

40" OAK TREE

26" ELM

36" OAK

CREPE MYRTLE

FND IR

FND CIR

LOT 19

LOT 20

LOT 21

LEGEND

CP	CABLE PEDESTAL	WM	WATER METER
FH	FIRE HYDRANT	G	EXISTING GAS LINE
GM	GAS METER	7"SS	EXISTING SANITARY SEWER LINE (SIZE SHOWN)
GS	GAS SERVICE	5"W	EXISTING WATER LINE (SIZE SHOWN)
LP	LIGHT POLE		GUY WIRE
MH	MANHOLE		HANDICAPPED PARKING SYMBOL
SSMH	SANITARY SEWER MANHOLE		EXISTING ASPHALT
PP	POWER POLE		EXISTING CONCRETE
TP	TELEPHONE PEDESTAL	FND IR	PROPERTY CORNER (AS NOTED)

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SUN VALLEY APARTMENTS

REHAB APARTMENTS

WICHITA FALLS, TEXAS

STATE OF TEXAS
T. BLANE BOSWELL
116825
LICENSED
PROFESSIONAL ENGINEER

T. Blane Boswell 8-7-24

REVISION:

DATE: 6-28-2024

JOB: 24-0304

SHEET NO.:

C2.1

DEMOLITION PLAN

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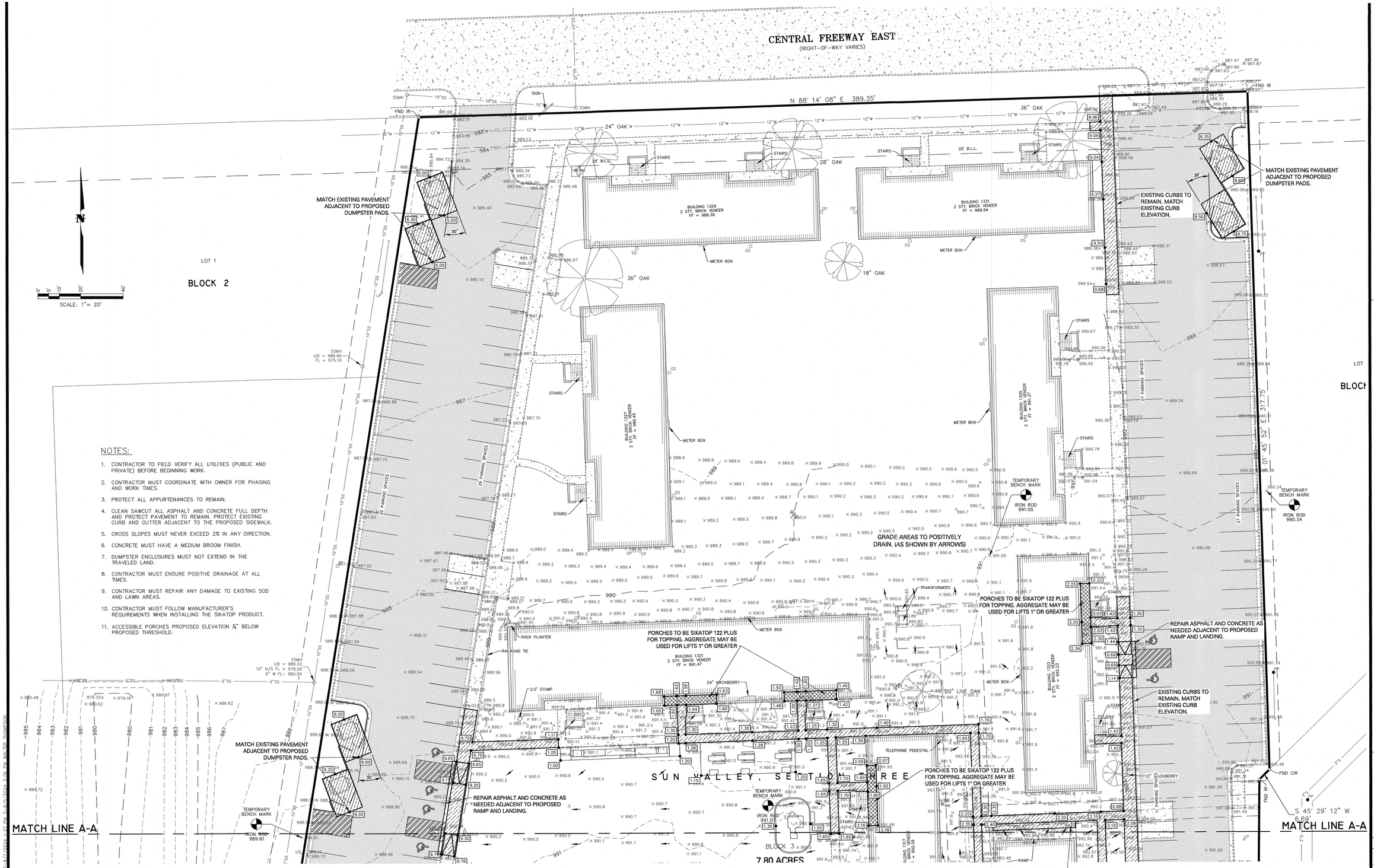

NOTES:

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3. PROTECT ALL APPURTENANCES TO REMAIN.
4. CLEAN SAWCUT ALL ASPHALT AND CONCRETE FULL DEPTH AND PROTECT PAVEMENT TO REMAIN. PROTECT EXISTING CURB AND GUTTER ADJACENT TO THE PROPOSED SIDEWALK.
5. CROSS SLOPES MUST NEVER EXCEED 2% IN ANY DIRECTION.
6. CONCRETE MUST HAVE A MEDIUM BROOM FINISH.
7. DUMPSTER ENCLOSURES MUST NOT EXTEND IN THE TRAVELED LAND.
8. CONTRACTOR MUST ENSURE POSITIVE DRAINAGE AT ALL TIMES.
9. CONTRACTOR MUST REPAIR ANY DAMAGE TO EXISTING SOD AND LAWN AREAS.
10. CONTRACTOR MUST FOLLOW MANUFACTURER'S REQUIREMENTS WHEN INSTALLING THE SIKATOP PRODUCT.
11. ACCESSIBLE PORCHES PROPOSED ELEVATION ¼" BELOW PROPOSED THRESHOLD.

LEGEND

CP	CABLE PEDESTAL	WM	WATER METER
FH	FIRE HYDRANT	G	EXISTING GAS LINE
GM	GAS METER	8"SS	EXISTING SANITARY SEWER LINE (SIZE SHOWN)
GS	GAS SERVICE	8"W	EXISTING WATER LINE (SIZE SHOWN)
LP	LIGHT POLE		GUY WIRE
MH	MANHOLE		HANDICAPPED PARKING SYMBOL
SSMH	SANITARY SEWER MANHOLE		EXISTING ASPHALT
PP	POWER POLE		EXISTING CONCRETE
TP	TELEPHONE PEDESTAL	FND IR	PROPERTY CORNER (AS NOTED)
			SIKATOP 122 PLUS
			PROPOSED CONCRETE
			PROPOSED DUMPSTER PADS

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116825
LICENSED PROFESSIONAL ENGINEER
8-7-24

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DATE: 6-28-2024
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C3.0

GRADING PLAN

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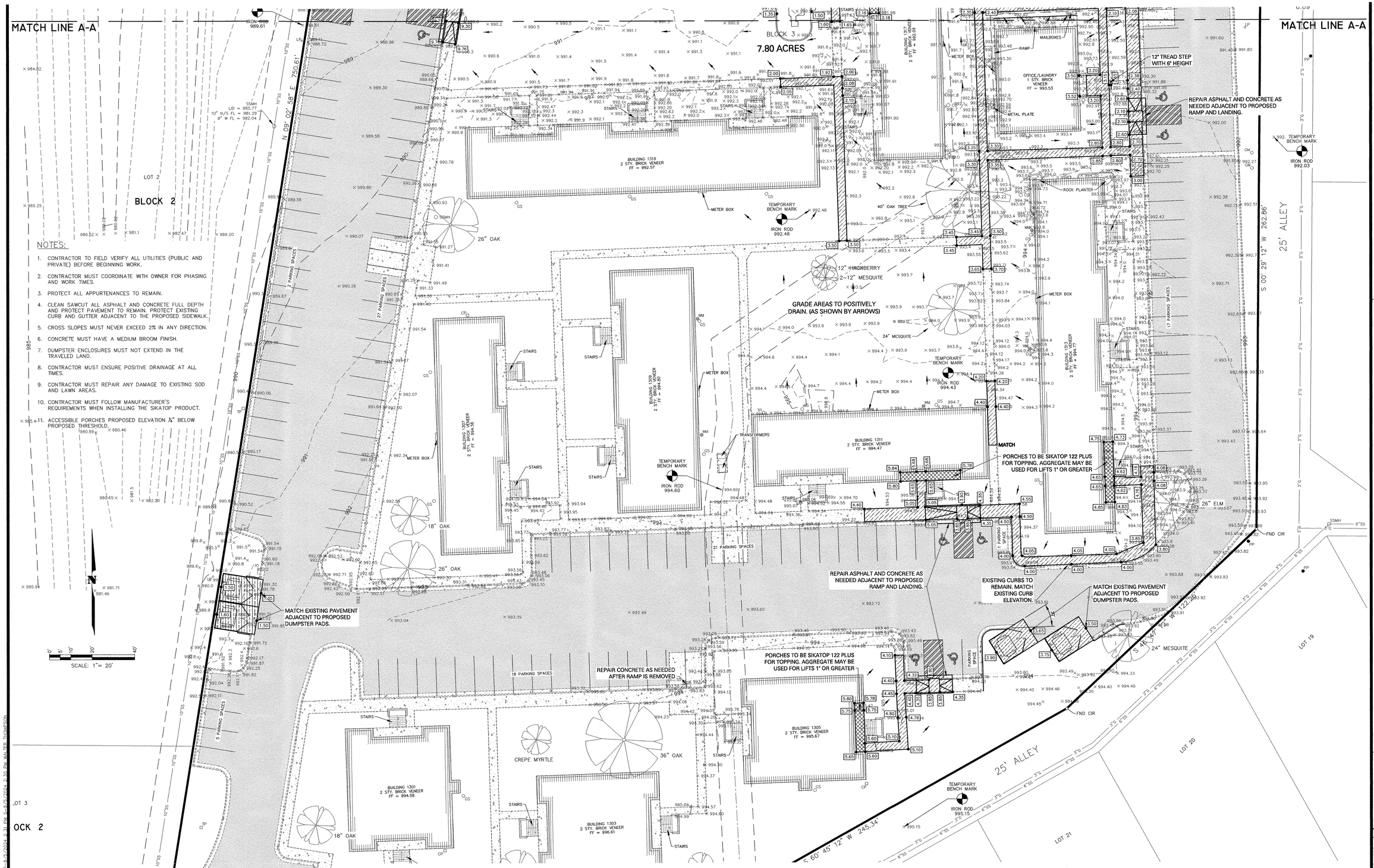

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9. CONTRACTOR MUST REPAIR ANY DAMAGE TO EXISTING SOD AND LAWN AREAS.
10. CONTRACTOR MUST FOLLOW MANUFACTURER'S REQUIREMENTS WHEN INSTALLING THE SIKATOP PRODUCT.
11. ACCESSIBLE PORCHES PROPOSED ELEVATION ½" BELOW PROPOSED THRESHOLD.

LEGEND

CP	CABLE PEDESTAL	WM	WATER METER		SIKATOP 122 PLUS
FH	FIRE HYDRANT	G	EXISTING GAS LINE		PROPOSED CONCRETE
GM	GAS METER	9"SS	EXISTING SANITARY SEWER LINE (SIZE SHOWN)		PROPOSED DUMPSTER PADS
GS	GAS SERVICE	1"W	EXISTING WATER LINE (SIZE SHOWN)		
LP	LIGHT POLE		GUY WIRE		
MH	MANHOLE		HANDICAPPED PARKING SYMBOL		
SSMH	SANITARY SEWER MANHOLE		EXISTING ASPHALT		
PP	POWER POLE		EXISTING CONCRETE		
TP	TELEPHONE PEDESTAL	FND IR	PROPERTY CORNER (AS NOTED)		

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GRADING PLAN

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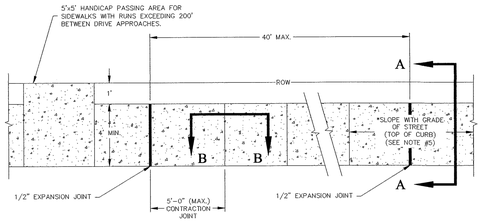
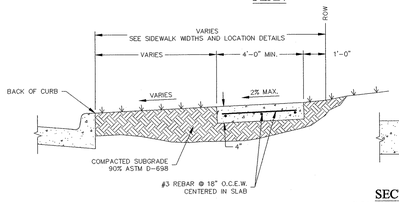
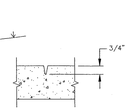


PLAN



SECTION A-A

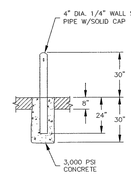


SECTION B-B
CONTRACTION JOINT

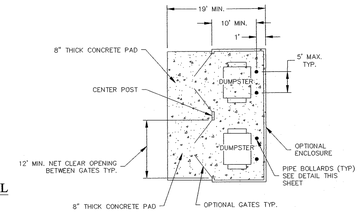
GENERAL NOTES:

1. SIDEWALK REINFORCING (EXCLUDING DRIVE APPROACHES) WILL BE #3 BARS @ 18" O.C.E.W. OR #4 BARS ON 24" O.C.
2. ALL CONCRETE MUST BE CLASS "C", (COMPRESSIVE STRENGTH OF 3,600 PSI @ 28 DAYS.)
3. SAND WILL NOT BE ACCEPTED AS COMPACTED SUBGRADE. SAND WILL BE ALLOWED FOR LEVEL-UP ONLY.
4. ANY UTILITY BOXES OR MANHOLES WITHIN THE SIDEWALK MUST BE ADJUSTED BY THE CITY UTILITY DEPARTMENT, OR OWNER OF UTILITY, TO BE FLUSH WITH FINISH GRADE, OR RELOCATED OUT OF THE SIDEWALK TO THE PROPER GRADE. ALL ADJUSTMENT COST WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, OR THE OWNER INSTALLING THE SIDEWALK.
5. CROSS SLOPE AT DRIVE APPROACHES AND RAMPS MUST COMPLY WITH ADA REQUIREMENTS. (1 INCH PER FOOT MAXIMUM)
6. IF SIDEWALK IS PLACED ADJACENT TO CURB, MINIMUM WIDTH SHALL BE 6'.
7. PLACE SIDEWALK 1' OFF ROW LINE. PROVIDE 5' MINIMUM WIDTH SIDEWALK IN COMMERCIAL AREAS WITH HEAVY PEDESTRIAN MOVEMENTS.
8. SIDEWALKS INSTALLED WITHIN TXDOT RIGHT OF WAY WILL BE A MINIMUM WIDTH OF 5' AND MEET REQUIREMENTS OF TXDOT PEDESTRIAN STANDARDS.

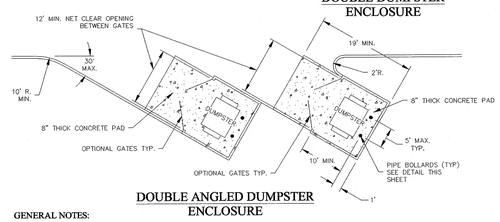
SIDEWALK
NOT TO SCALE



PIPE BOLLARD DETAIL



DOUBLE DUMPSTER ENCLOSURE



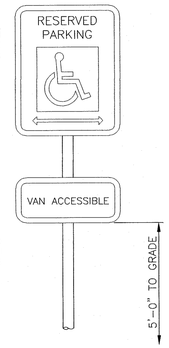
DOUBLE ANGLED DUMPSTER ENCLOSURE

GENERAL NOTES:

1. SOLID WASTE DUMPSTER ENCLOSURE IS OPTIONAL. IF THE OWNER DESIRES AN ENCLOSURE, THIS DETAIL WILL SPECIFY THE REQUIREMENTS.
2. GATE(S) ARE NOT REQUIRED FOR ENCLOSURE. GATE(S) MUST BE DESIGNED WITH A HOLD OPEN FEATURE. GATES MUST OPEN TO GIVE A 12' MIN. CLEAR OPENING. GATES MUST BE ABLE TO OPEN 120°.
3. SANITATION DEPARTMENT WILL OPEN ENCLOSURES FOR COLLECTION PURPOSES BUT WILL NOT CLOSE ENCLOSURE UPON COMPLETION OF COLLECTION.
4. ENCLOSURE MUST BE DEDICATED FOR DUMPSTER USE ONLY. NO STORAGE WILL BE PERMITTED WITHIN ENCLOSURE WITHOUT PRIOR APPROVAL.
5. THERE MUST BE A 30' MIN. STRAIGHT APPROACH TO ENCLOSURE. A 50' TURN RADIUS MUST BE MAINTAINED THROUGHOUT THE PROPERTY FOR ACCESS BY SANITATION TRUCKS.
5. 8" REINFORCED, CLASS "C" CONCRETE SLAB (#4 BARS @ 18" O.C.) MUST BE PLACED UNDER AND 8' IN FRONT OF DUMPSTER PAD SITE OR ENCLOSURE.
6. THERE MUST BE NO OVERHEAD WIRES ABOVE OR WITHIN 30' OF FRONT OF ENCLOSURE. NO OVERHEAD OBSTRUCTIONS WILL BE WITHIN THE AREA NEAR THE ENCLOSURE THAT MIGHT INHIBIT TRASH PICKUP.
8. FAILURE TO FOLLOW THESE SPECIFICATIONS MAY RESULT IN THE ENCLOSURE BEING UNUSABLE BY THE CITY SANITATION TRUCKS AND REQUIRING RELOCATION OF ENCLOSURE TO AN APPROVED LOCATION ONSITE AT THE OWNERS EXPENSE.
9. SEE DETAIL 7000 FOR SOLID WASTE VEHICLE ACCESS STANDARDS.
10. DUMPSTER PAD SITE MUST HAVE MAXIMUM OF 2% SLOPE IN ANY DIRECTION.

DOUBLE SOLID WASTE DUMPSTER PAD / ENCLOSURES
NOT TO SCALE

PROVIDE ONE SIGN AT CENTER OF EACH HANDICAP SPACE. MINIMUM 1" HEIGHT LETTERING. NO MORE THAN 8" BETWEEN SIGNS

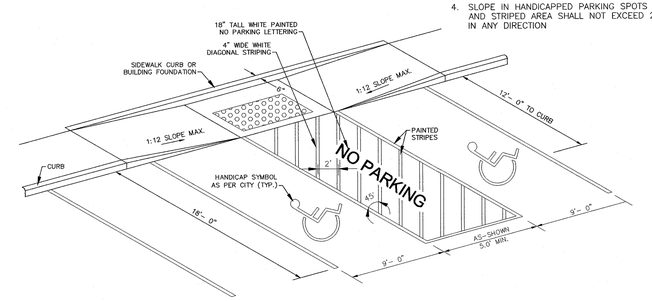


NOTE: PROVIDE 2-INCH GALVANIZED STANDARD WALL STEEL POSTS IN 8-INCH DIA. X 2'-6" DEEP HOLES FILLED WITH CONCRETE. PROVIDE GALVANIZED CAP AND HARDWARE.

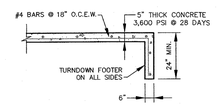
HANDICAP SIGN DETAIL
NO SCALE

NOTES:

1. "NO PARKING" PAINTED IN STRIPED AREA TO BE AT LEAST A LETTER HEIGHT OF 1 FOOT AND A STROKE WIDTH OF AT LEAST 2 INCHES.
2. SEE SHEET C-07 GRADING PLAN FOR SPOT ELEVATIONS OF EACH PARKING SPOT
3. HANDICAPPED RESERVED PARKING SIGNS SHALL BE PLACED IN FRONT OF EACH HANDICAP PARKING SPACE. SEE HANDICAP SIGN DETAIL.
4. SLOPE IN HANDICAPPED PARKING SPOTS AND STRIPED AREA SHALL NOT EXCEED 2% IN ANY DIRECTION



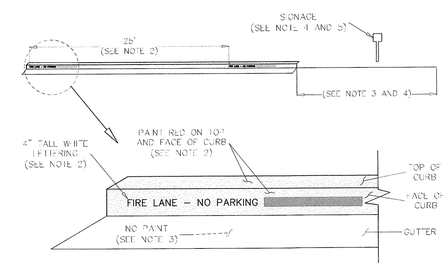
HANDICAP PARKING DETAIL
NOT TO SCALE



RECREATION PAD DETAL
NTS

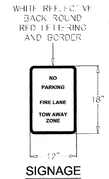
CURB AND GUTTER

LAYDOWN/RIBBON CURB OR NO CURB AND GUTTER

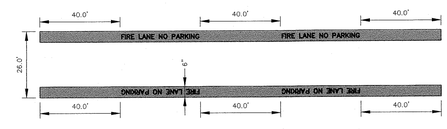


NOTE:

1. ALL CURBS TOUCHING THE FIRE LANE AS SHOWN ON THE STRIPING PLAN SHALL BE STRIPED AS SHOWN ON THIS DETAIL.
2. TOP AND FACE OF CURB PAINTED RED. WITH 4" HIGH WHITE LETTERS ON FACE OF CURB "FIRE LANE – NO PARKING – TOW AWAY ZONE" EVERY 40'.
3. NO PAINT ON GUTTERS, PAVEMENT OR LAYDOWN CURBS.
4. SIGNAGE MAY BE REQUIRED IN AREAS WHERE THE CURB FOR A FIRE LANE DOES NOT EXIST.
5. WHERE REQUIRED, SIGNS SHALL COMPLY WITH SECTION D103.6 OF THE INTERNATIONAL FIRE CODE.



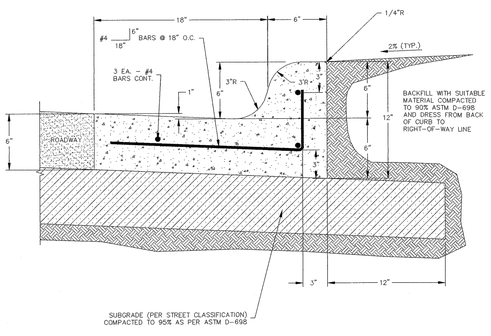
SIGNAGE
SEE NOTE 5



FIRE LANE DETAIL
NOT TO SCALE

GENERAL NOTES:

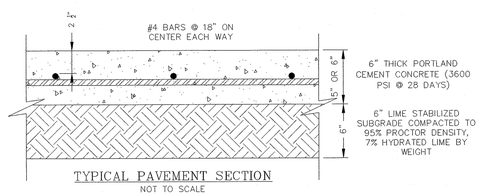
1. FIRE LANES SHALL BE MARKED BY SIX INCH (6") WIDE LINES USING RED TRAFFIC PAINT WITH THE WORDING "NO PARKING" AND "FIRE LANE" PAINTED ON TEN LINES AT INTERVALS OF FORTY FEET (40.0'). THE LETTERING WILL BE FOUR INCHES (4") HIGHW WITH A ONE INCH (1") WIDE STROKE PAINTED WITH WHITE TRAFFIC PAINT..
2. FIRE LANES ARE A MINIMUM OF TWENTY-SIX FEET (26') WIDE.
3. FIRE LANE MARKING MUST BE VERTICAL ON THE SURFACE OF CURBS.



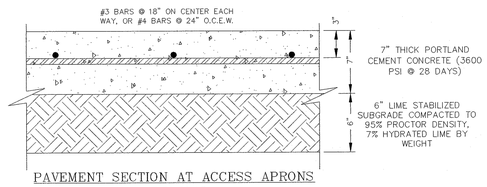
GENERAL NOTES:

1. DOWEL REINFORCEMENT 6" INTO EXISTING CURB AND GUTTER.
2. CONSTRUCT 1/2" EXPANSION JOINTS AT 60' ON CENTER AND CONTRACTION JOINTS AT 15' ON CENTER.
3. SEE CONCRETE CURB & GUTTER, ITEM 305.1 OF THE STANDARD SPECIFICATIONS.
4. ALL CONCRETE MUST BE CLASS "C" (COMPRESSIVE STRENGTH OF 3600 PSI @ 28 DAYS).
5. SAND WILL NOT BE ACCEPTED AS COMPACTED SUBGRADE. SAND WILL BE ALLOWED FOR LEVEL-UP ONLY. (2" MAX.).
6. MATCH PAVEMENT THICKNESS WHEN PLACED MONOLITHIC WITH CONCRETE PAVEMENT.
7. PROVIDE 1" GUTTER DEPRESSION.

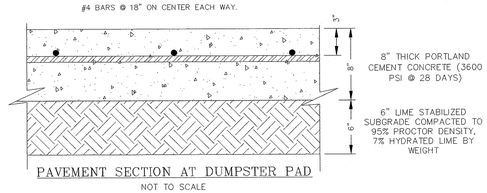
6" CURB AND GUTTER
NOT TO SCALE



TYPICAL PAVEMENT SECTION
NOT TO SCALE



PAVEMENT SECTION AT ACCESS APRONS
NOT TO SCALE



PAVEMENT SECTION AT DUMPSTER PAD
NOT TO SCALE

SITE PAVING SECTION DETAILS

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SUN VALLEY APARTMENTS
REHAB APARTMENTS
WICHITA FALLS, TEXAS

STATE OF TEXAS
T. BLANE BOSWELL
116825
LICENSED
PROFESSIONAL ENGINEER
8-5-24

REVISION:

DATE: 6-28-2024
JOB: 24-0304
SHEET NO.:

C4.0
DETAILS

CORLETT, PROBST & BOYD, P.L.L.C.
EST. 1922
4605 Old Jacksboro Highway
Wichita Falls, Texas 76302
Telephone (940) 723-1455
Fax (940) 397-0549

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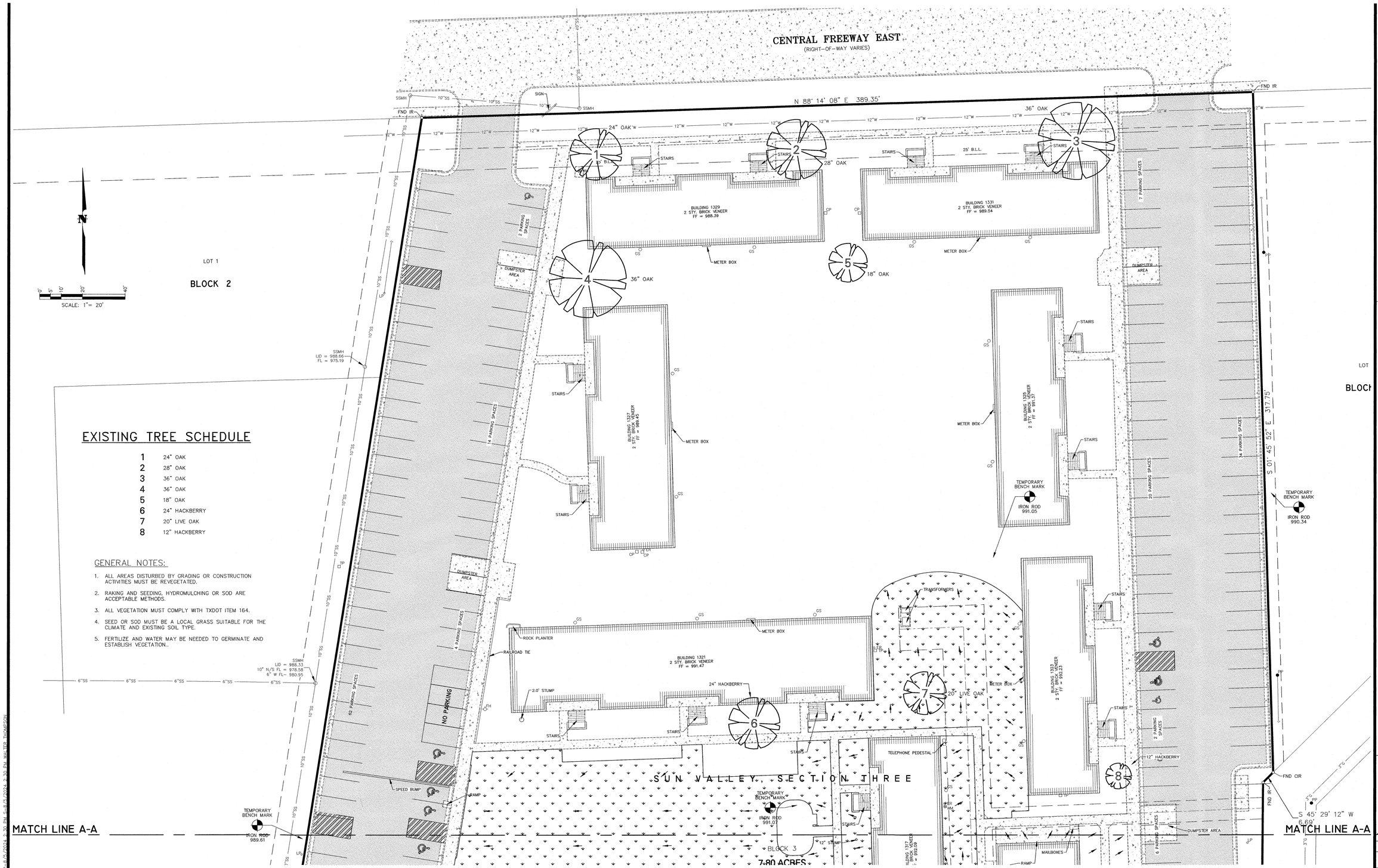

EXISTING TREE SCHEDULE

1	24" OAK
2	28" OAK
3	36" OAK
4	36" OAK
5	18" OAK
6	24" HACKBERRY
7	20" LIVE OAK
8	12" HACKBERRY

GENERAL NOTES:

1. ALL AREAS DISTURBED BY GRADING OR CONSTRUCTION ACTIVITIES MUST BE REVEGETATED.
2. RAKING AND SEEDING, HYDROMULCHING OR SOD ARE ACCEPTABLE METHODS.
3. ALL VEGETATION MUST COMPLY WITH TXDOT ITEM 164.
4. SEED OR SOD MUST BE A LOCAL GRASS SUITABLE FOR THE CLIMATE AND EXISTING SOIL TYPE.
5. FERTILIZE AND WATER MAY BE NEEDED TO GERMINATE AND ESTABLISH VEGETATION..

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LANDSCAPE PLAN

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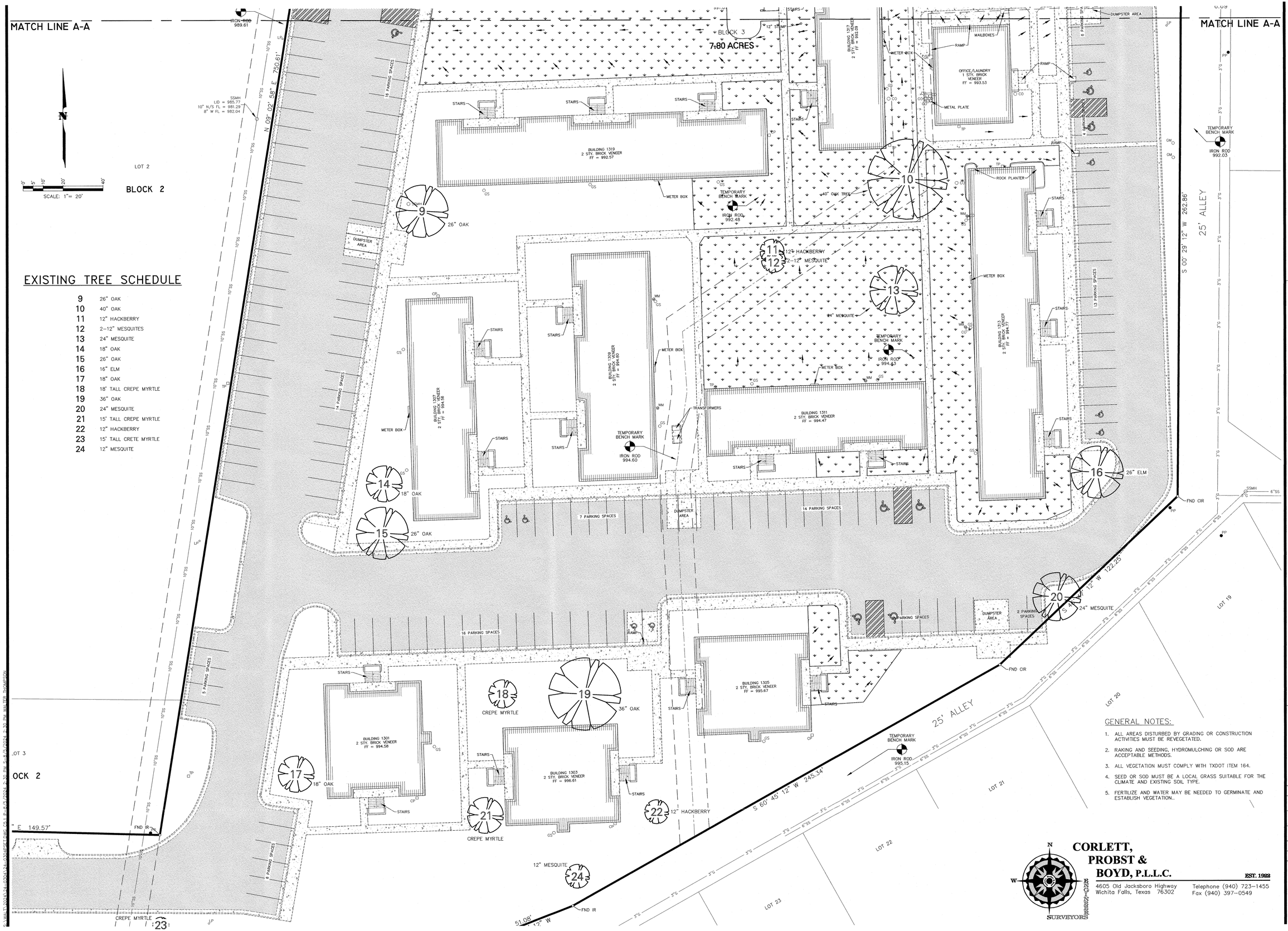

EXISTING TREE SCHEDULE

9	26" OAK
10	40" OAK
11	12" HACKBERRY
12	2-12" MESQUITES
13	24" MESQUITE
14	18" OAK
15	26" OAK
16	16" ELM
17	18" OAK
18	18' TALL CREPE MYRTLE
19	36" OAK
20	24" MESQUITE
21	15' TALL CREPE MYRTLE
22	12" HACKBERRY
23	15' TALL CRETE MYRTLE
24	12" MESQUITE

GENERAL NOTES:

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LANDSCAPE PLAN

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