



REVISION:	
DATE:	7-19-2024
JOB:	24-3391
SHEET NO.:	

GENERAL ELECTRICAL DEMOLITION NOTES

1. REMOVE ALL NM, BX, MC, AC AND OTHER CABLE SYSTEMS AND WIRING FOR ALL ABANDONED CIRCUITS.
2. REMOVE ALL ABANDONED CONDUITS ABOVE LAY-IN CEILINGS, EXPOSED CONDUITS, FLEXIBLE CONDUITS, SURFACE RACEWAY, SURFACE MOUNTED OUTLET/JUNCTION BOXES AND EQUIPMENT UNLESS NOTED OTHERWISE.
3. WHERE ABANDONED FEEDERS AND BRANCH CIRCUITS ARE CONCEALED WITHIN WALLS, FLOORS AND HARD CEILINGS THAT ARE TO REMAIN, REMOVE ALL WIRING AND CAP CONDUITS AT BOTH ENDS.
4. WHERE ABANDONED OUTLET AND JUNCTION BOXES ARE RECESSED FLUSH IN WALLS, FLOORS AND HARD CEILINGS THAT ARE TO REMAIN, REMOVE ALL WIRING AND WIRING DEVICES AND PROVIDE BLANK STAINLESS STEEL COVERPLATES FOR BOXES 6"x6" AND SMALLER. REMOVE BOXES LARGER THAN 6"x6" AND PATCH SURFACE TO MATCH EXISTING. COORDINATE WITH ARCHITECT FOR FINAL DIRECTION.
5. ALL EQUIPMENT, FIXTURES, RACEWAY, WIRING AND DEVICES WHICH ARE REMOVED SHALL BE REMOVED FROM THE JOB SITE BY THIS CONTRACTOR, UNLESS DIRECTED OTHERWISE BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. CONFORM TO ALL LAWS AND ORDINANCES IN EFFECT CONCERNING THE PROPER DISPOSAL OF LUMINAIRES AND LAMPS.
6. COORDINATE THE REMOVAL OF MECHANICAL AND PLUMBING EQUIPMENT WITH THE MECHANICAL AND PLUMBING CONTRACTORS. DISCONNECT AND REMOVE ELECTRICAL POWER AND CONTROL CIRCUITS FOR EQUIPMENT BEING REMOVED. REMOVE ALL ELECTRICAL EQUIPMENT ASSOCIATED WITH DEMOLISHED MECHANICAL AND PLUMBING EQUIPMENT (DISCONNECT SWITCHES, MOTOR STARTERS, RELAYS, ETC.).

M/E DEMO PLAN NOTES BY SYMBOL

1. REMOVE AND REPLACE EXISTING PLUMBING FIXTURE. SEE NEW WORK PLANS FOR MORE INFORMATION.
2. REMOVE EXISTING LIGHT FIXTURES, RE-USE EXISTING CIRCUITRY FOR NEW LIGHT FIXTURE. SEE NEW WORK PLANS FOR MORE INFORMATION.
3. REMOVE EXISTING EXHAUST FAN. RE-USE EXISTING EXHAUST DUCT AND CIRCUITRY FOR NEW EXHAUST FAN. SEE NEW WORK PLANS FOR MORE INFORMATION.
4. EXISTING ELECTRICAL LOAD CENTER. SEE NEW WORK PLANS FOR MORE INFORMATION.
5. EXISTING AIR DEVICES AND ASSOCIATED MECHANICAL INSTALLATION TO REMAIN. IF REQUIRED FOR NEW WORK, REMOVE EXISTING AIR DEVICE IN CEILING/SOFFIT AND RE-INSTALLED IN SAME LOCATION. COORDINATE REQUIREMENTS WITH G.C. CLEAN, REPAIR AND RESTORE EXISTING AIR DEVICES TO LIKE NEW CONDITION PRIOR TO RE-USE, OR REPLACE TO MATCH EXISTING.
6. DISCONNECT GAS FROM EXISTING RANGE TO BE REPLACED. EXISTING NATURAL GAS ROUGH-IN TO REMAIN FOR NEW RANGE. SEE NEW WORK PLANS FOR MORE INFORMATION.
7. DISCONNECT EXISTING PLUMBING AND ELECTRICAL CONNECTIONS TO DISHWASHER TO BE REPLACED. SEE NEW WORK PLANS FOR MORE INFORMATION.
8. DISCONNECT EXHAUST DUCT FROM HOOD TO BE REMOVED. EXISTING DUCT TO REMAIN FOR RE-USE. SEE NEW WORK PLANS FOR MORE INFORMATION.
9. FURNACE, EVAPORATOR COIL, AND CONDENSING UNIT TO BE REMOVED AND REPLACED IN KIND PER SCOPE OF WORK SCHEDULE. SEE NEW WORK PLANS FOR MORE INFORMATION.

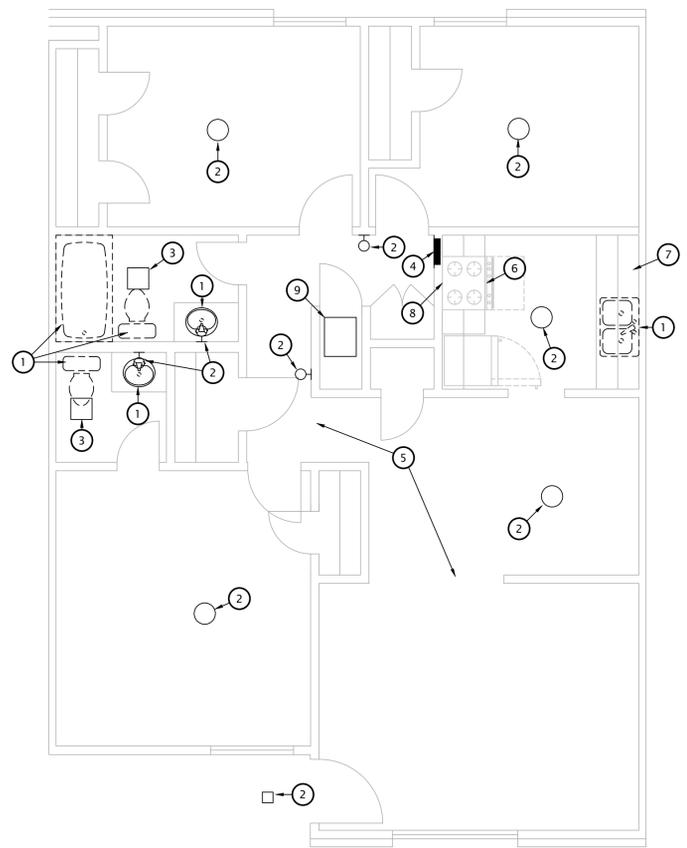
GENERAL DEMOLITION NOTES

1. REMOVE MECHANICAL AND ELECTRICAL INSTALLATION FROM PROJECT AREA. AS REQUIRED FOR NEW WORK. COORDINATE WITH OWNER AND G.C.
2. SERVICES TO ITEMS NOT REMOVED AS PART OF THIS WORK SHALL BE RESTORED UPON COMPLETION OF THIS WORK TO FULLY OPERATIONAL CONDITION.
3. NOT ALL ITEMS REQUIRED TO BE DEMOLISHED MAY BE INDICATED ON DRAWINGS. ALL DEMOLITION OF AFFECTED SPACE SHALL BE PERFORMED AS IF INDICATED.
4. DELIVER DEMOLISHED EQUIPMENT, WIRING, ETC. TO OWNER OR DISPOSE OF, AS DIRECTED BY OWNER.
5. FIELD VERIFY EXACT LOCATION OF ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT INDICATED ON DRAWINGS.
6. ALL ITEMS TO BE RE-USED OR RELOCATED SHALL BE CLEANED, REPAIRED, AND RESTORED TO LIKE NEW CONDITION PRIOR TO RE-USE.

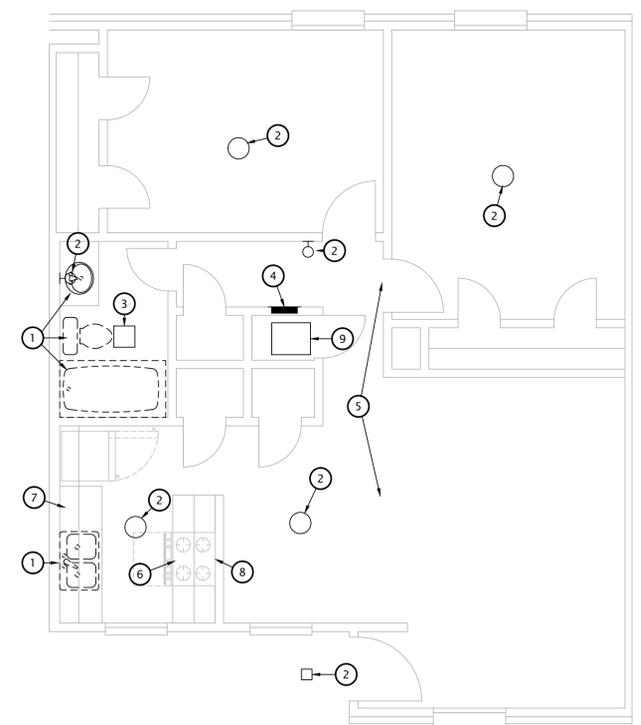
GENERAL MECHANICAL DEMOLITION NOTES

1. ALL PIPING TAKEN OUT OF SERVICE SHALL BE REMOVED. WHERE PIPING TO BE REMOVED IS CONNECTED TO EXISTING PIPING TO REMAIN, PIPING SHALL BE REMOVED BACK TO MAIN AND CAPPED, UNLESS INDICATED OTHERWISE.
2. WHERE PIPING TAKEN OUT OF SERVICE IS LOCATED BELOW SLAB AND IS UNABLE TO BE REMOVED, CAP BELOW SLAB.
3. ALL DUCTWORK TAKEN OUT OF SERVICE SHALL BE REMOVED.
4. COORDINATE CUTTING, PATCHING OF EXISTING WALLS, CEILINGS, ROOF AND FLOORS AFFECTED BY MECHANICAL DEMOLITION WITH G.C.

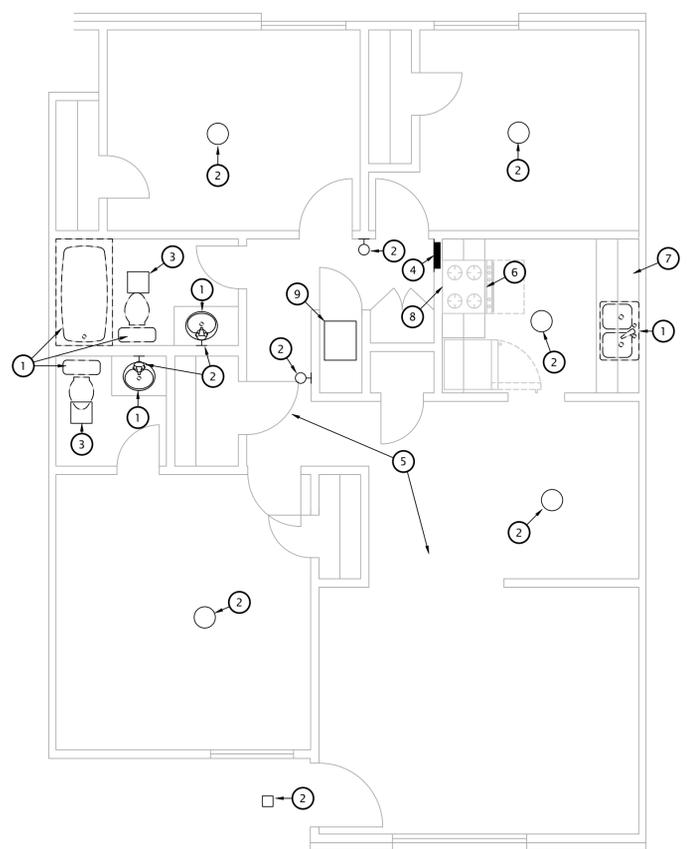
NOTE: ALL UNITS SHOWN AS TYPICAL, REFER TO SCOPE OF WORK SCHEDULE FOR SPECIFIC UNIT EXTENT OF WORK.



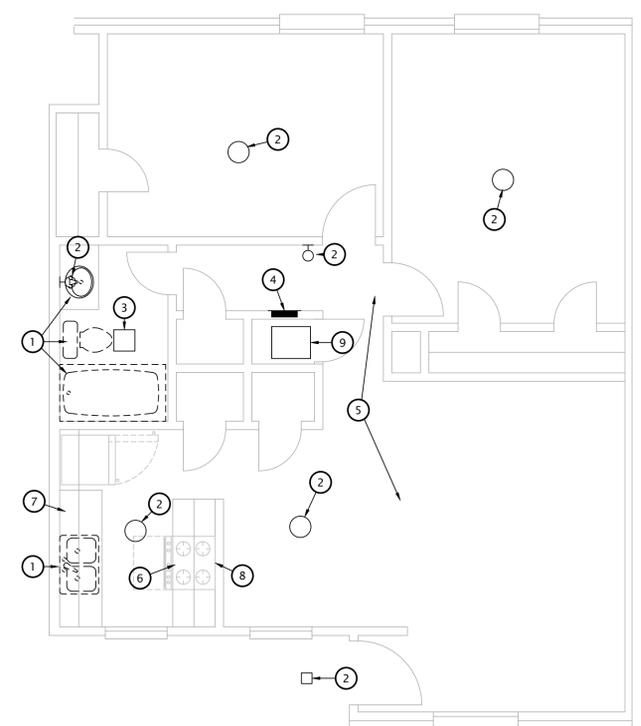
5 UNIT E - M/E DEMO PLAN
 1/4" = 1'-0"



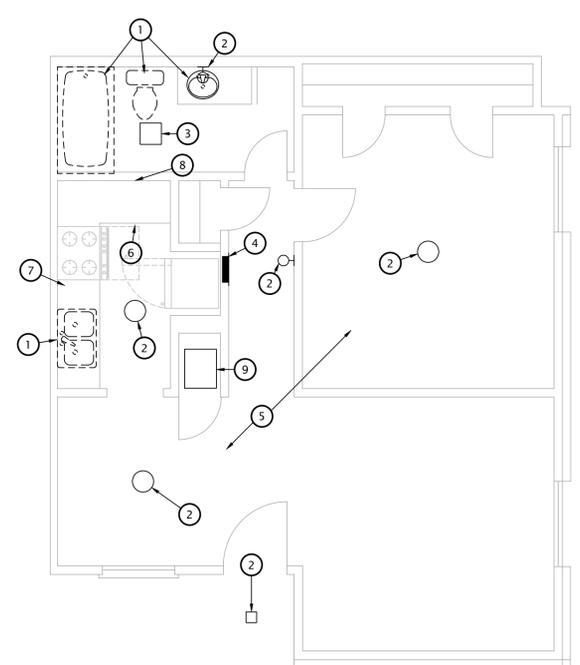
4 UNIT D - M/E DEMO PLAN
 1/4" = 1'-0"



3 UNIT C - M/E DEMO PLAN
 1/4" = 1'-0"



2 UNIT B - M/E DEMO PLAN
 1/4" = 1'-0"



1 UNIT A - M/E DEMO PLAN
 1/4" = 1'-0"



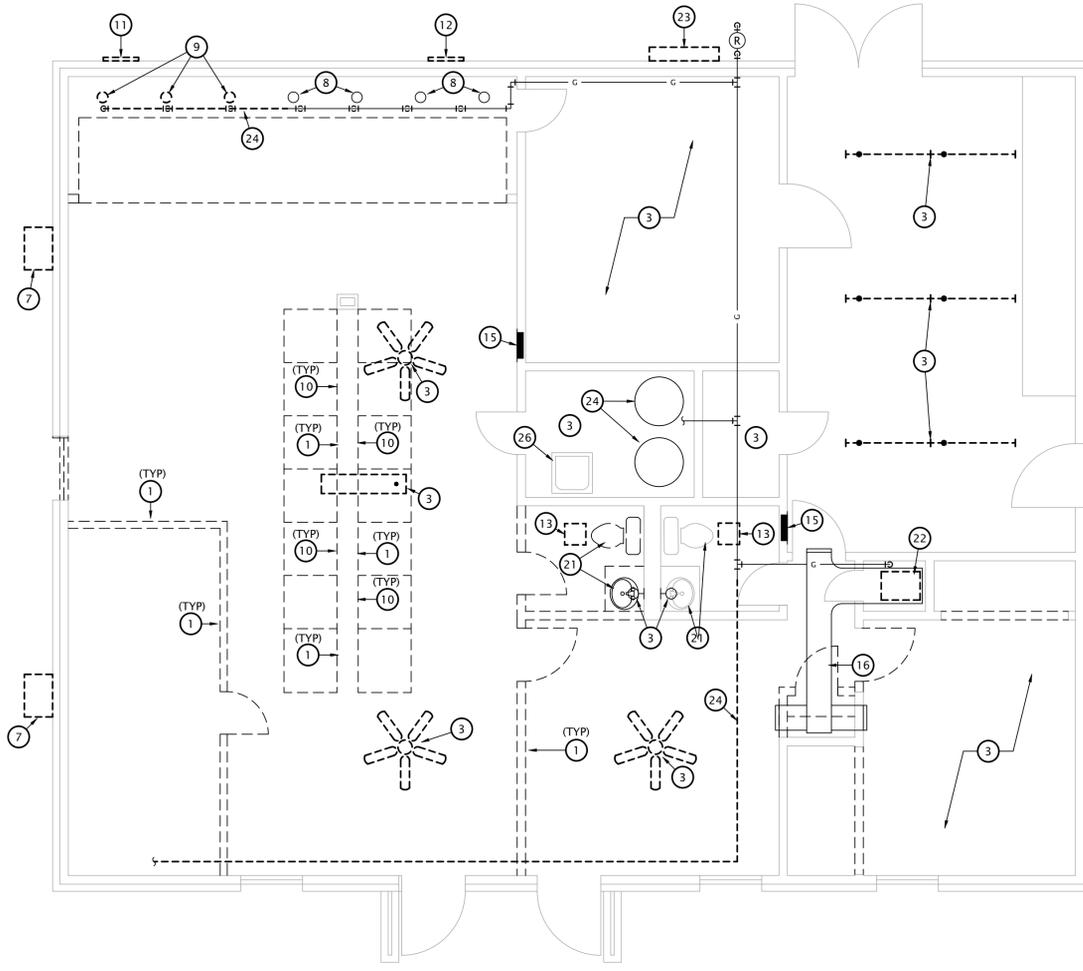
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ME1.2

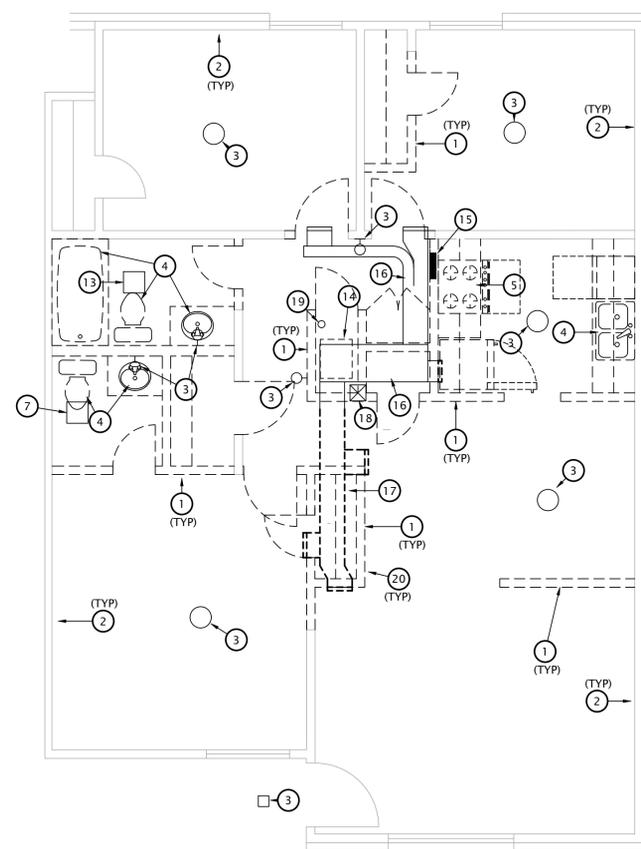
SEE GENERAL DEMOLITION NOTES ON ME1.1.

M/E DEMO PLAN NOTES BY SYMBOL

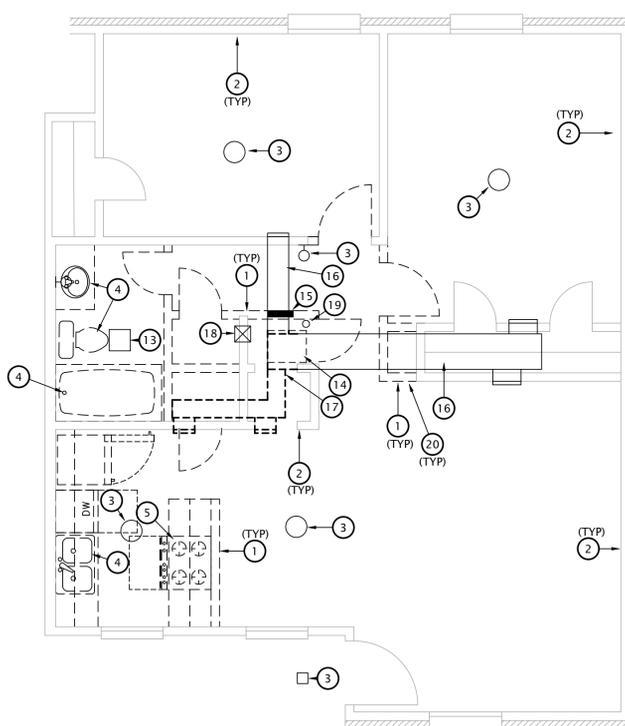
1. REMOVE ALL ELECTRICAL DEVICES AND ASSOCIATED CIRCUITRY IN WALLS TO BE DEMOLISHED. FIELD VERIFY EXACT LOCATION OF EXISTING.
2. ELECTRICAL DEVICES IN WALLS NOT DEMOLISHED TO BE RE-USED WHERE PLACEMENT MEETS NEC SPACING REQUIREMENTS. SEE NEW WORK PLANS FOR MORE INFORMATION.
3. REMOVE ALL EXISTING LIGHT FIXTURES AND CEILING FANS. REMOVE ASSOCIATED CIRCUITRY WHERE REQUIRED. SEE NEW WORK PLANS FOR MORE INFORMATION.
4. REMOVE PLUMBING FIXTURE AND ALL ASSOCIATED INSTALLATION, SEE NEW WORK PLANS FOR MORE INFORMATION.
5. REMOVE RANGE, RANGE HOOD AND ALL ASSOCIATED MECHANICAL AND ELECTRICAL INSTALLATION. SEE NEW WORK PLANS FOR MORE INFORMATION.
6. REMOVE RANGE, RANGE HOOD. ASSOCIATED MECHANICAL AND ELECTRICAL INSTALLATION TO BE RE-USED. SEE NEW WORK PLANS FOR MORE INFORMATION.
7. REMOVE EXHAUST FAN AND ASSOCIATED MECHANICAL AND ELECTRICAL INSTALLATION. COORDINATE WALL PATCHING WITH ARCHITECT AND G.C.
8. (4) DRYER EXHAUST DUCT AND ROOF JACKS TO REMAIN. ENSURE IN GOOD CONDITION AND PROPER WORKING ORDER. THOROUGHLY CLEAN DUCT AND JACK BEFORE RE-USE. FIELD COORDINATE EXACT LOCATION WITH NEW WORK PLANS.
9. DRYER EXHAUST DUCT AND ROOF JACK TO BE REMOVED. COORDINATE PATCHING OF ROOF WITH ARCHITECT AND G.C.
10. REMOVE CLOTHES WASHER CONNECTION BOX AND ALL ASSOCIATED INSTALLATION.
11. REMOVE WALL LOUVER AND ASSOCIATED INSTALLATION, COORDINATE WALL PATCHING WITH ARCHITECT AND G.C.
12. REMOVE WALL LOUVER AND ASSOCIATED INSTALLATION, SEE NEW WORK PLAN FOR MORE INFORMATION.
13. REMOVE EXISTING EXHAUST FAN. RE-USE EXISTING EXHAUST DUCT FOR NEW EXHAUST FAN. SEE NEW WORK PLANS FOR MORE INFORMATION.
14. FURNACE, EVAPORATOR COIL, AND CONDENSING UNIT TO BE REMOVED AND REPLACED IN KIND PER SCOPE OF WORK SCHEDULE. SEE NEW WORK PLANS FOR MORE INFORMATION.
15. REMOVE ELECTRICAL PANEL, SEE NEW WORK PLAN FOR MORE INFORMATION.
16. SUPPLY AIR DUCT TO REMAIN, SEE NEW WORK PLAN FOR MORE INFORMATION.
17. SUPPLY AIR DUCT TO BE REMOVED, SEE NEW WORK PLAN FOR MORE INFORMATION.
18. COMBUSTION AIR DUCT TO BE MODIFIED FOR NEW MECHANICAL CLOSET LOCATION, SEE NEW WORK PLANS FOR MORE INFORMATION.
19. FURNACE FLUE TO BE MODIFIED FOR NEW FURNACE LOCATION, SEE NEW WORK PLANS FOR MORE INFORMATION.
20. REMOVE ALL PHONE, DATA, AND CATV DEVICES AND ASSOCIATED INSTALLATION IN WALL BEING DEMOLISHED, SEE NEW WORK PLANS FOR MORE INFORMATION.
21. REMOVE PLUMBING FIXTURE, SEE NEW WORK PLANS FOR MORE INFORMATION.
22. FURNACE, EVAPORATOR COIL, AND CONDENSING UNIT TO BE REMOVED.
23. REMOVE EXISTING ELECTRICAL SERVICE INSTALLATION, SEE NEW WORK PLANS FOR MORE INFORMATION.
24. REMOVE NATURAL GAS PIPING TO EQUIPMENT BEING REMOVED. SEE NEW WORK PLANS FOR MORE INFORMATION.
25. EXISTING WATER HEATERS AND ASSOCIATED INSTALLATION TO BE REMOVED. SEE NEW WORK PLANS FOR MORE INFORMATION.
26. EXISTING SINK TO REMAIN.



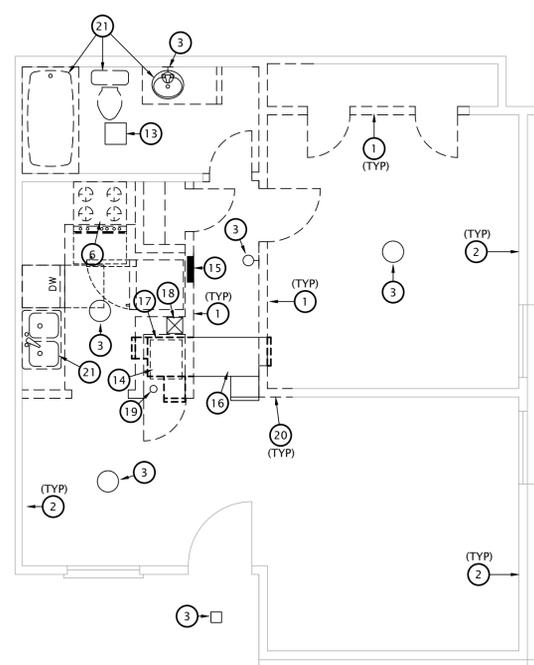
4 CLUBHOUSE - M/E DEMO PLAN
 1/4" = 1'-0"



3 UNIT H - M/E DEMO PLAN
 1/4" = 1'-0"

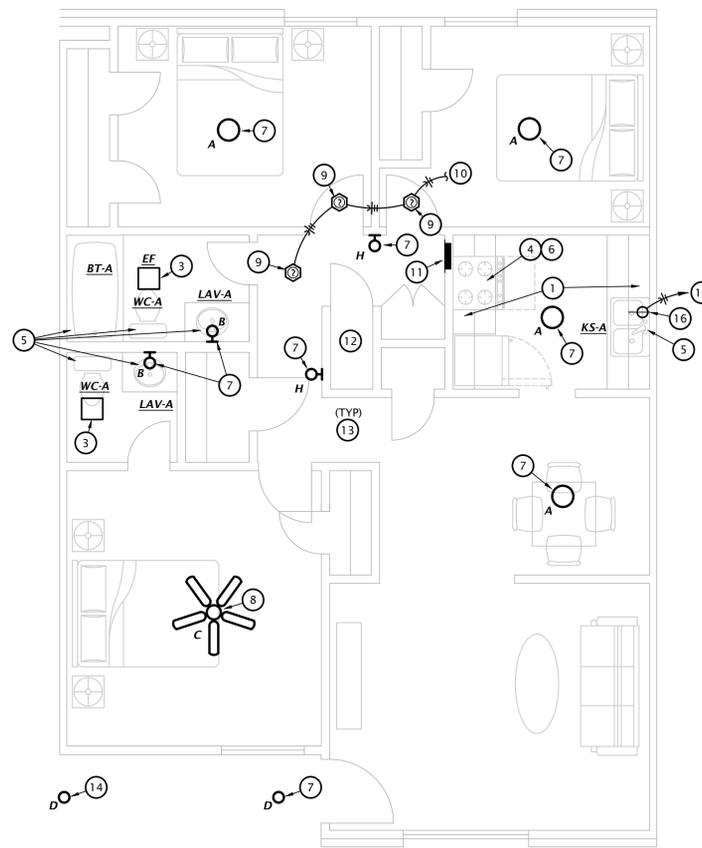


2 UNIT G - M/E DEMO PLAN
 1/4" = 1'-0"

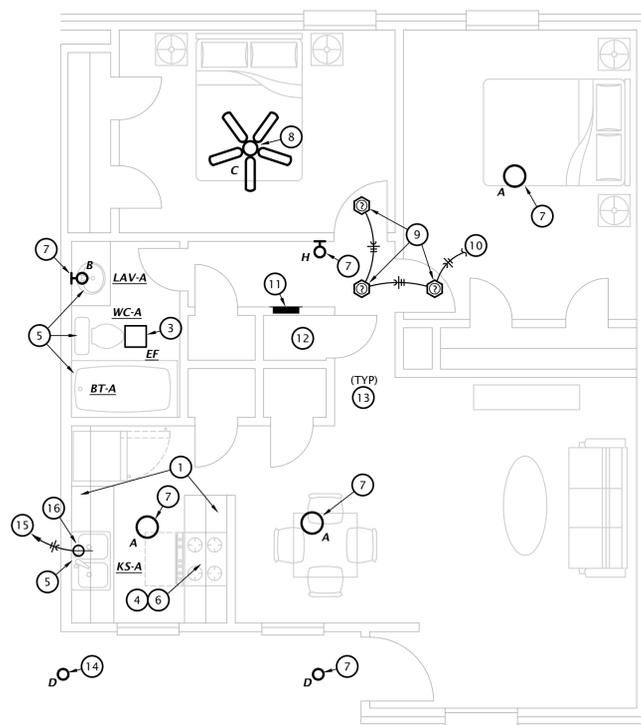


1 UNIT F - M/E DEMO PLAN
 1/4" = 1'-0"

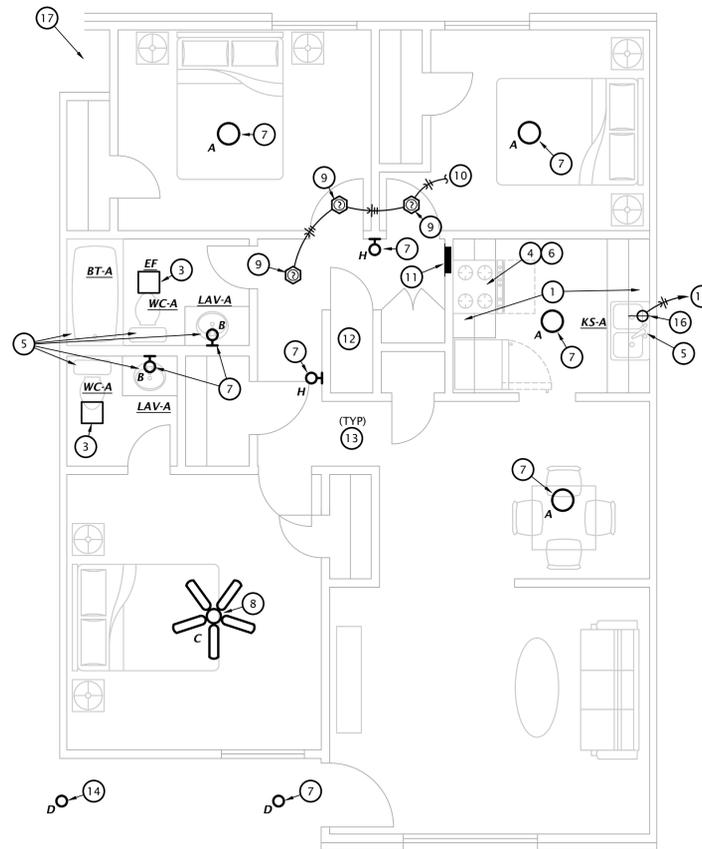
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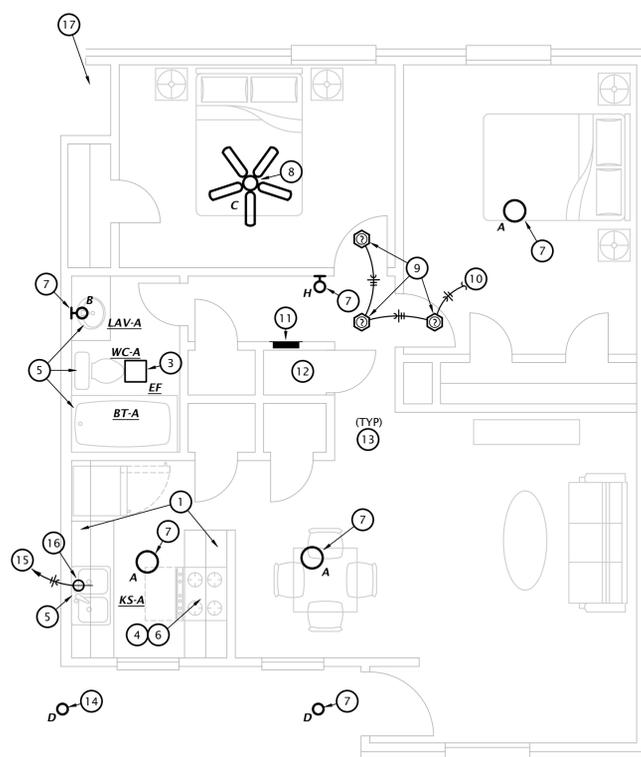
5 UNIT E - M/E PLAN
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3 UNIT C - M/E PLAN
 1/4" = 1'-0"



2 UNIT B - M/E PLAN
 1/4" = 1'-0"

NOTE: ALL UNITS SHOWN AS TYPICAL, REFER TO SCOPE OF WORK SCHEDULE FOR SPECIFIC UNIT EXTENT OF WORK.

FOR APARTMENTS DESIGNATED FOR HEARING-IMPAIRED, REFER TO ARCH DRAWING FOR APPLICABLE ROOMS, PROVIDE THE FOLLOWING:

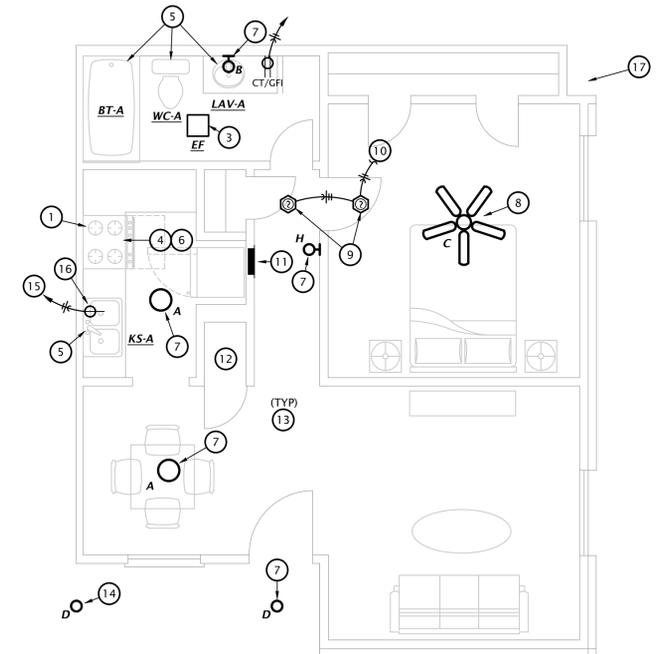
- CEILING MOUNTED SMOKE ALARMS IN ALL BEDROOMS AND OUTSIDE OF BEDROOMS. CEILING MOUNTED SMOKE ALARM IN APARTMENTS TO BE 120VAC WITH BATTERY BACKUP, INTERCONNECTED TO OTHERS IN SAME APARTMENT. DEVICE SHALL HAVE CARBON MONOXIDE DETECTOR AND PHOTOELECTRIC TYPE SMOKE DETECTOR WITH SOUNDER HORN HAVING AN 85dB OUTPUT AT 10' AND STROBE LIGHT WITH 177 CANDELA OUTPUT, SHALL HAVE A SINGLE BUTTON FOR TEST/SILENCE AND LED INDICATOR LIGHTS, AND SHALL BE UL 217 LISTED. BRK #7030BSL OR EQUAL. CONNECT TO UNSWITCHED 120V CIRCUIT.
- PROVIDE DOOR ANNUNCIATOR SYSTEM A/V HORN/STROBE DEVICE AND LOW VOLTAGE TRANSFORMER AT ALL APARTMENTS. INSTALL HORN/STROBE APPLIANCE AT 80" AFF PER ADA. INSTALL TRANSFORMER IN DOUBLE GANG JUNCTION BOX ABOVE HORN/STROBE WITH BLANK COVER PLATE AND PROVIDE LOW VOLTAGE CONTROL WIRING. REFER TO DETAIL 1, SHEET E6.1. PROVIDE ENGRAVED SIGN AT THE HORN/STROBE DEVICE TO READ "DOOR". CONNECT TO UNSWITCHED 120V CIRCUIT.
- PROVIDE PUSH BUTTON AT 48" AFF FOR ANNUNCIATOR SYSTEM AT ALL APARTMENTS. REFER TO DETAIL 1, SHEET E6.1.

GENERAL NOTE:

- PROVIDE TAMPER PROOF RECEPTACLES IN DWELLING UNITS PER NEC REQUIREMENTS.

PLAN NOTES BY SYMBOL

1. PROVIDE NEW (2) #12, #12G. CIRCUIT TO PANEL WITH NEW 20A SINGLE POLE CIRCUIT BREAKER.
2. ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS SHALL BE GFCI PROTECTED. FIELD VERIFY EXISTING CONDITIONS AND REPLACE RECEPTACLES AS REQUIRED.
3. REPLACE EXISTING EXHAUST FAN WITH NEW. MODIFY EXISTING MECHANICAL AND ELECTRICAL INSTALLATION AS REQUIRED. FIELD VERIFY EXACT REQUIREMENTS.
4. CONNECT NATURAL GAS TO NEW RANGE PROVIDED BY OTHERS. MODIFY EXISTING ROUGH-IN AS REQUIRED FOR NEW WORK. COORDINATE EXACT REQUIREMENTS WITH EXISTING CONDITIONS AND EQUIPMENT PROVIDED.
5. REPLACE EXISTING PLUMBING FIXTURE. MODIFY EXISTING ROUGH-INS AS REQUIRED. FIELD VERIFY EXACT REQUIREMENTS.
6. CONNECT NEW RANGE HOOD PROVIDED BY OTHERS. MODIFY EXISTING MECHANICAL AND ELECTRICAL INSTALLATION AS REQUIRED. FIELD VERIFY EXACT REQUIREMENTS.
7. REPLACE EXISTING FIXTURE. ROUGH-IN AND EXISTING CIRCUITRY TO BE RE-USED, MODIFY AS REQUIRED.
8. REPLACE EXISTING FIXTURE WITH NEW CEILING FAN. EXISTING CIRCUITRY TO BE RE-USED AND PROVIDE ADDITIONAL SUPPORT TO STRUCTURE FOR FAN.
9. PROVIDE NEW OR REPLACE EXISTING SMOKE DETECTORS WITH SMOKE/CO DETECTORS. DETECTORS TO HAVE BATTERY BACKUP AND SHALL BE INTERCONNECTED TO OTHERS IN SAME APARTMENT. FIELD VERIFY REQUIREMENTS AND EXACT LOCATION OF EXISTING.
10. RE-USE EXISTING UNSWITCHED 120V CIRCUITRY OR CONNECT TO EXISTING UNSWITCHED 120V CIRCUIT, FIELD VERIFY EXACT REQUIREMENTS.
11. PROVIDE NEW FLUSH MOUNT, 125 AMP MLO, 120/240V-1PH-3W LOAD CENTER WITH MINIMUM 12 SPACES, PROVIDE NEW CIRCUIT BREAKERS OF EQUAL AMPERAGE AND POLES FOR EXISTING CIRCUITS AND PROVIDE NEW CIRCUIT BREAKERS AS INDICATED ON PLANS. ALL CIRCUITS SERVING RECEPTACLES IN BEDROOMS, LIVING ROOMS, KITCHENS, DINING ROOMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROVIDED WITH AFCI BREAKERS.
12. PROVIDE NEW FURNACE, EVAPORATIVE COIL, CONDENSING UNIT, AND ASSOCIATED INSTALLATION OF EQUAL COOLING AND HEATING CAPACITY. REFER TO SCOPE OF WORK FOR WHICH APARTMENTS TO HAVE SYSTEM REPLACED.
13. PROVIDE NEW SUPPLY AND RETURN GRILLE OF EQUAL KIND AND QUALITY. REFER TO SCOPE OF WORK. IF DEVICE IS TO BE RE-USED, CLEAN, REPAIR AND RESTORE EXISTING AIR DEVICES TO LIKE NEW CONDITION. COORDINATE WITH G.C.
14. REPLACE EXISTING FIXTURE. ROUGH-IN AND EXISTING CIRCUITRY TO BE RE-USED. LIGHT TO BE CONTROLLED BY EXTERIOR LIGHTING CONTROLS, FIELD VERIFY.
15. PROVIDE NEW (2) #12, #12G. CIRCUIT TO PANEL WITH NEW 20A SINGLE POLE GFCI BREAKER.
16. PROVIDE SIMPLEX RECEPTACLE BELOW COUNTER FOR GARBAGE DISPOSAL. PROVIDE AIR ACTIVATED PUSH BUTTON SWITCH FOR DISPOSAL OPERATION, FINISH TO MATCH SINK. COORDINATE EXACT LOCATION OF PUSH BUTTON WITH ARCHITECT.
17. REPLACE WATER HEATERS IN KIND AS REQUIRED BY SCOPE OF SCHEDULE. COORDINATE WITH G.C. ENSURE WATER RECIRCULATION PUMP IN WORKING ORDER, REPLACE AS REQUIRED.



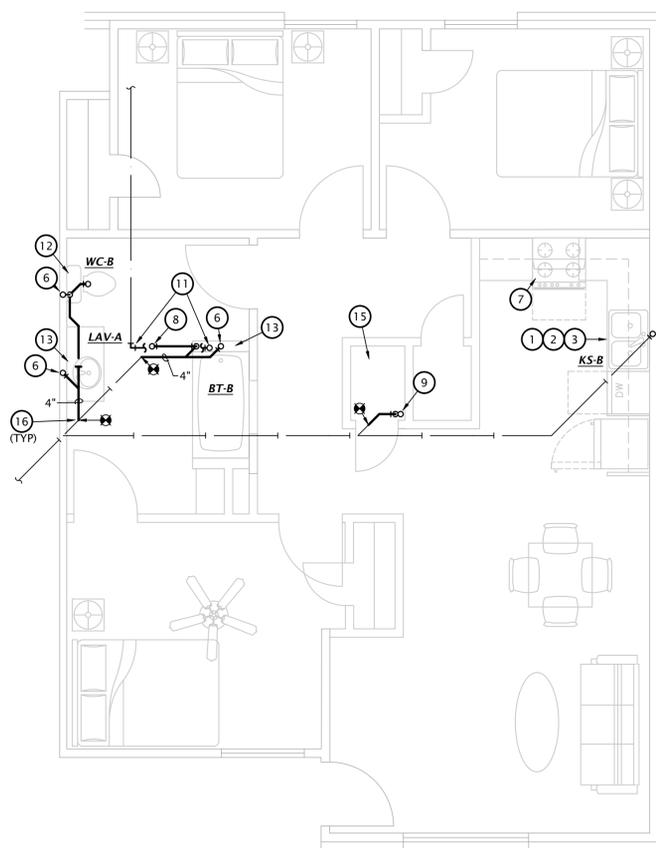
1 UNIT A - M/E PLAN
 1/4" = 1'-0"



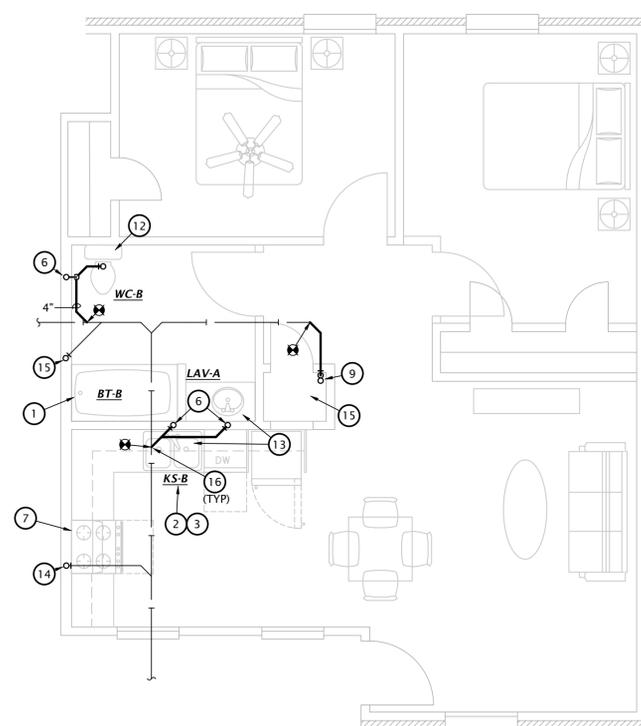
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PLUMBING PLAN NOTES BY SYMBOL

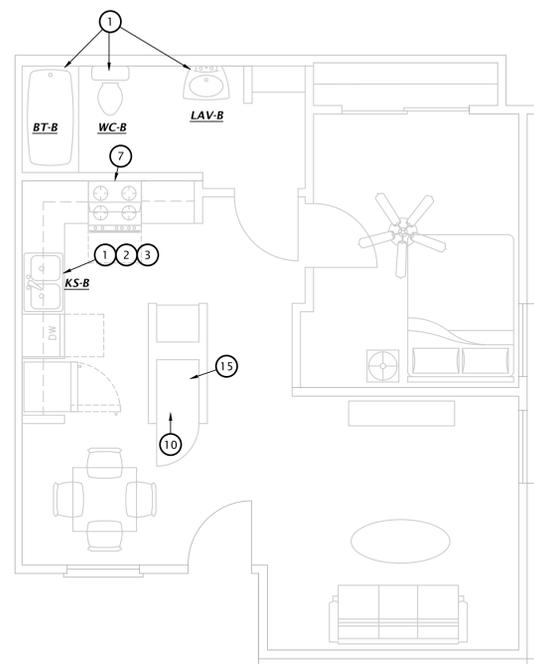
1. CONNECT NEW PLUMBING FIXTURE TO EXISTING ROUGH-INS, MODIFY ROUGH-INS AS REQUIRED.
2. PROVIDE 1/2" VALVED HW BRANCH AND CONNECT DISHWASHER. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED.
3. CONNECT DISHWASHER DRAIN TO INDIRECT CONNECTION AT GARBAGE DISPOSAL IN ACCORDANCE TO MANUFACTURER'S INSTRUCTIONS.
4. CONNECT TO EXISTING 4" OR LARGER WASTE PIPING PREVIOUSLY SERVING AREA. FIELD VERIFY EXACT ROUTING OF EXISTING PIPING.
5. CONNECT TO EXISTING 2" OR LARGER WASTE PIPING PREVIOUSLY SERVING AREA. FIELD VERIFY EXACT ROUTING OF EXISTING PIPING.
6. CONNECT TO EXISTING VENT PIPING PREVIOUSLY SERVING AREA.
7. MODIFY GAS PIPING AS REQUIRED FOR NEW RANGE LOCATION.
8. 4" WASTE STACK SERVING PLUMBING FIXTURES ABOVE. RE-ROUTE ABOVE CEILING TO NEAREST WALL AND ROUTE THROUGH WALL TO BELOW FLOOR. FIELD VERIFY EXACT ROUTING.
9. PROVIDE NEW 2" TRAPPED OPEN HUB DRAIN IN NEW MECHANICAL CLOSET FOR CONDENSATE DRAINAGE.
10. MODIFY OPEN HUB DRAIN FOR NEW MECHANICAL CLOSET LAYOUT.
11. INTERCEPT 1-1/4" CW PIPING BELOW FLOOR AND ROUTE UP IN NEW FLOOR. RE-CONNECT TO EXISTING PIPING ABOVE CEILING AND RE-CONNECT ANY FIXTURES STAYING IN SERVICE. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS.
12. PROVIDE NEW 1/2" CW TO WATER CLOSET, CONNECT TO NEAREST 3/4" OR LARGER CW PIPING. FIELD COORDINATE EXACT LOCATION AND REQUIREMENTS.
13. PROVIDE NEW 1/2" CW AND 1/2" HW CONNECTIONS TO LAVATORY, KITCHEN SINK, AND BATHTUB, CONNECT TO NEAREST 3/4" OR LARGER CW AND HW PIPING. FIELD COORDINATE EXACT LOCATION AND REQUIREMENTS.
14. EXISTING WASTE STACK SERVING UNIT ABOVE TO REMAIN.
15. MODIFY GAS PIPING AS REQUIRED FOR NEW FURNACE LOCATION.
16. CONNECT TO EXISTING SANITARY DRAIN. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING PIPING. SCOPE EXISTING PIPING WITH CAMERA TO VERIFY CONDITION.



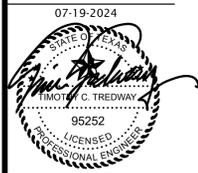
3 UNIT H (ACCESSIBLE) - PLUMBING PLAN
 1/4" = 1'-0"



2 UNIT G (ACCESSIBLE) - PLUMBING PLAN
 1/4" = 1'-0"



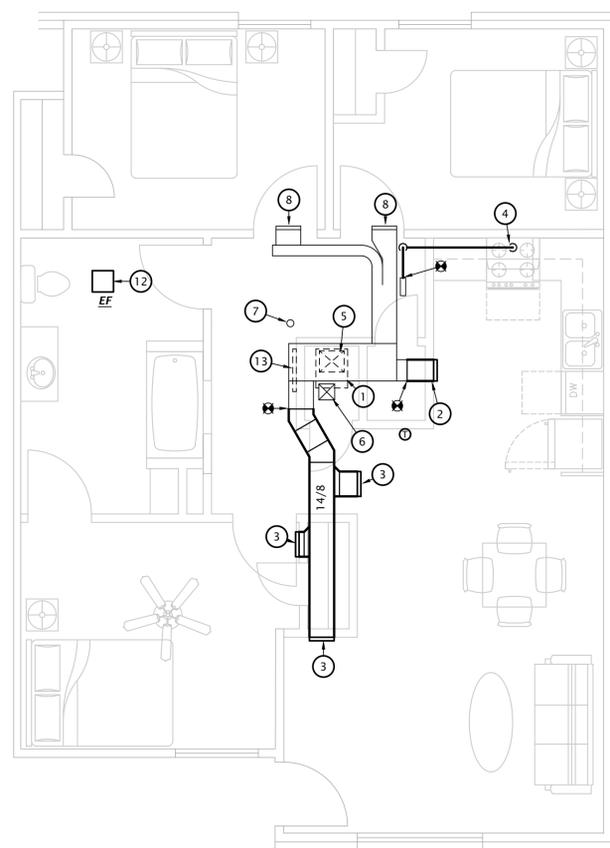
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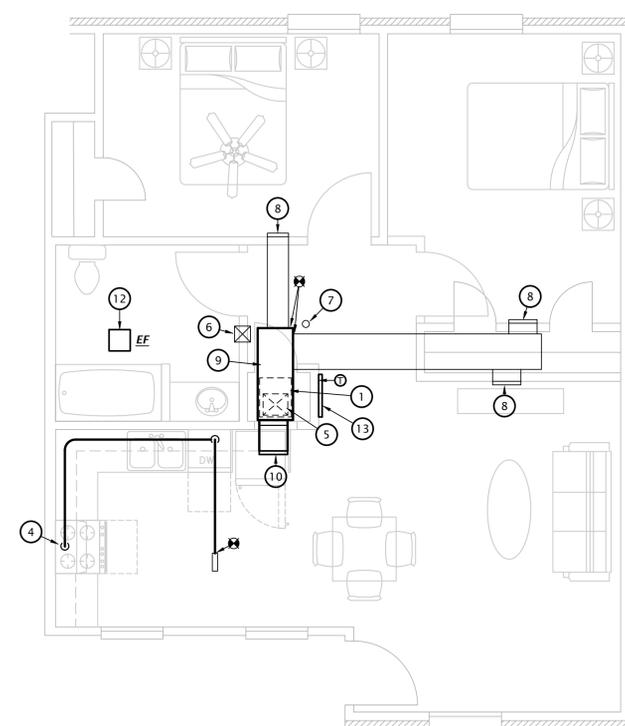
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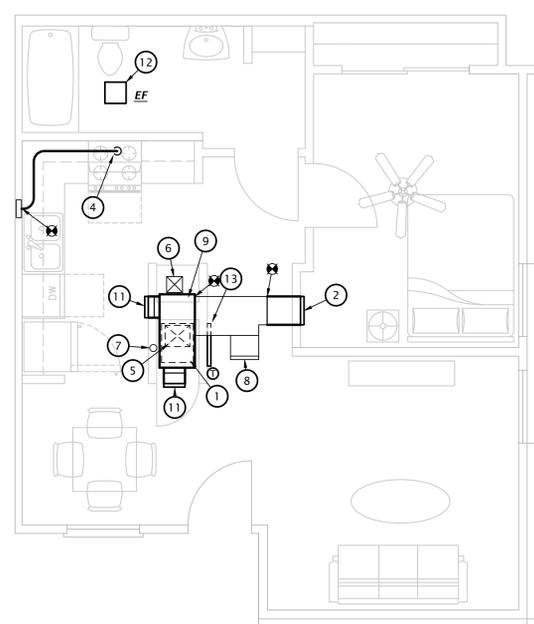
1. PROVIDE NEW FURNACE, EVAPORATIVE COIL, CONDENSING UNIT, AND ASSOCIATED INSTALLATION OF EQUAL COOLING AND HEATING CAPACITY. REFER TO SCOPE OF WORK FOR WHICH APARTMENTS TO HAVE SPLIT SYSTEM REPLACED. IF SPLIT SYSTEM IS TO REMAIN PER SCOPE OF WORK, MODIFY AS REQUIRED FOR NEW MECHANICAL CLOSET LOCATIONS. SEE DETAIL 1 ON SHEET M6.1 FOR MORE INFORMATION.
2. EXTEND DUCT TO NEW WALL AND PROVIDE NEW SUPPLY GRILLE OF EQUAL KIND, QUALITY AND SIZE OF EXISTING. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS.
3. PROVIDE NEW 14"x6" SUPPLY GRILLE OF EQUAL KIND AND QUALITY OF EXISTING. FIELD VERIFY.
4. CONNECT NEW 6"Ø DUCT TO RANGE HOOD. ROUTE DUCT THROUGH SOFFIT ABOVE CABINETS AND INTO JOIST SPACE TO CONNECT TO EXISTING EXHAUST DUCT UP THROUGH FLOOR.
5. PROVIDE NEW FULL SIZED CONNECTION TO EXISTING DUCTWORK AT FURNACE NEW LOCATION. PATCH AND SEAL EXISTING CONNECTION BEING REMOVED.
6. MODIFY COMBUSTION AIR DUCT AS REQUIRED TO TERMINATE IN NEW MECHANICAL CLOSET.
7. EXISTING FLUE THROUGH FLOOR TO ROOF, EXTEND AS REQUIRED TO NEW FURNACE LOCATION.
8. PROVIDE NEW SUPPLY GRILLE OF EQUAL SIZE, KIND AND QUALITY OF EXISTING. FIELD VERIFY.
9. PROVIDE NEW 20"x8" SUPPLY DUCT AND CONNECT TO EXISTING DUCTS TO REMAIN. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS.
10. PROVIDE NEW 16"x6" SUPPLY GRILLE OF EQUAL KIND AND QUALITY OF EXISTING. FIELD VERIFY.
11. PROVIDE NEW 12"x6" SUPPLY GRILLE OF EQUAL KIND AND QUALITY OF EXISTING. FIELD VERIFY.
12. REPLACE EXISTING EXHAUST FAN WITH NEW. CONNECT TO EXISTING DUCT, MODIFY AS REQUIRED. VERIFY DUCT AND WALL CAP WITH BACKDRAFT DAMPER ARE IN GOOD WORKING ORDER, REPAIR/REPLACE AS REQUIRED.
13. PROVIDE NEW 24"x14" RETURN GRILLE EQUAL TO EXISTING BEING REMOVED. PROVIDE SHEET METAL PLENUM FROM RETURN GRILL TO FURNACE, SEE DETAIL 1 ON SHEET M6.1 FOR MORE INFORMATION.



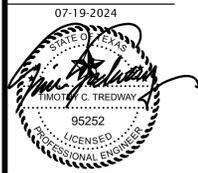
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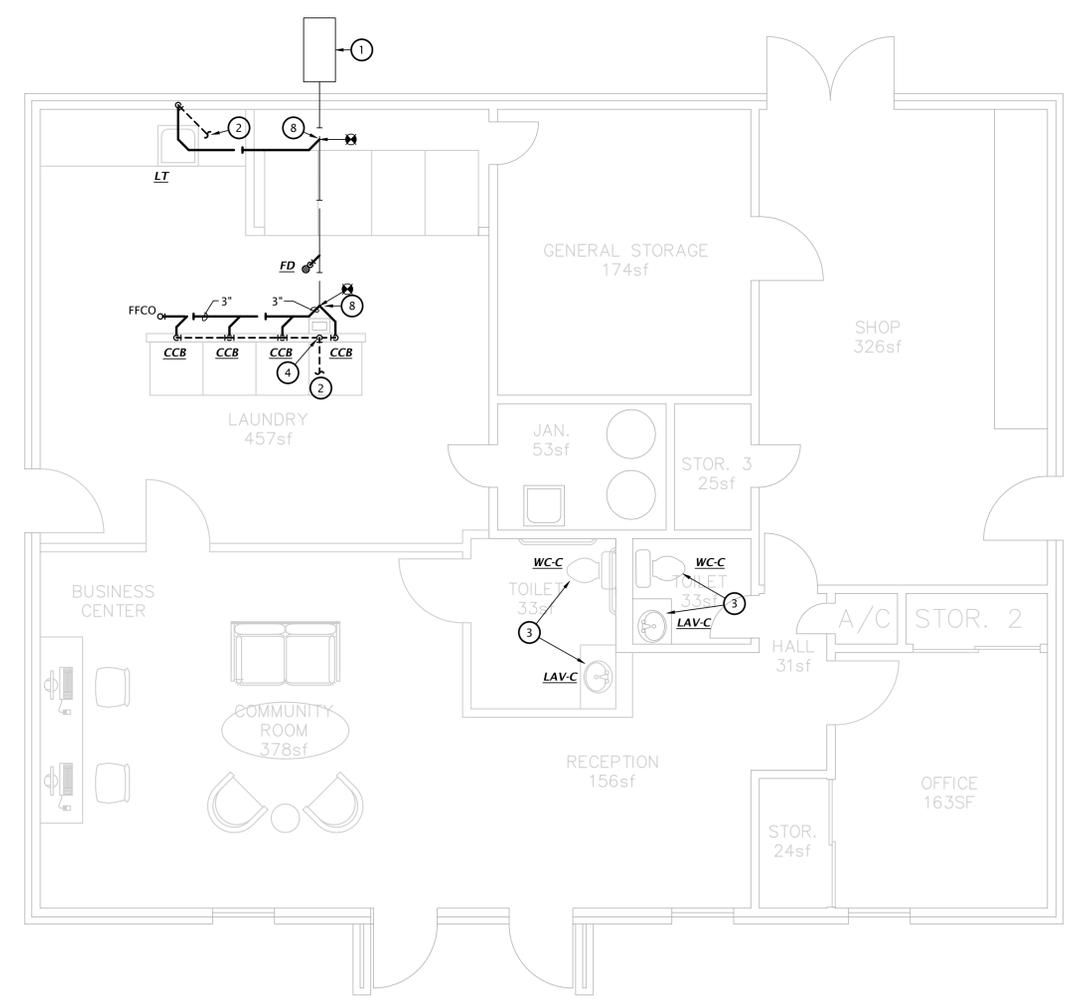


1 UNIT F (ACCESSIBLE) - HVAC PLAN
 1/4" = 1'-0"

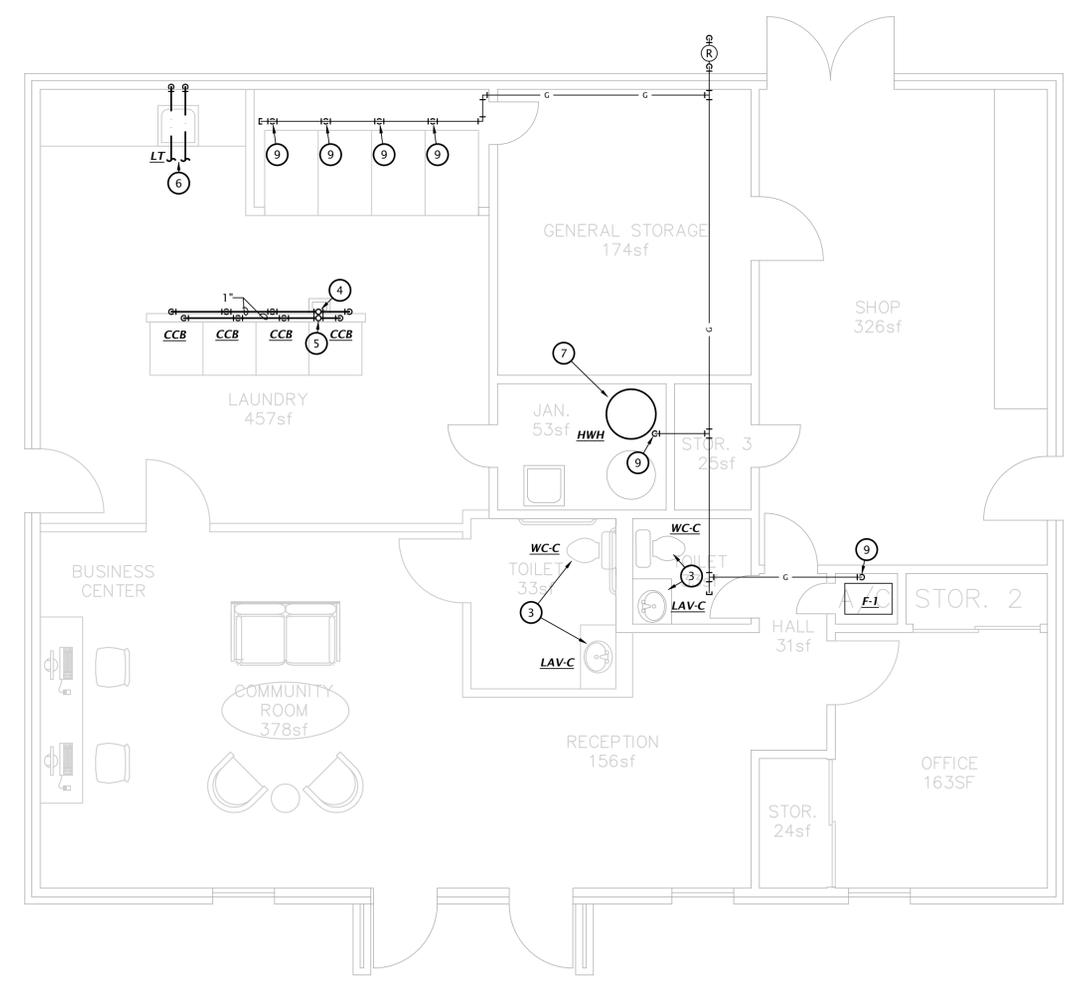


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- # PLAN NOTES BY SYMBOL**
1. LINT INTERCEPTOR. CLEAN, REPAIR AND RESTORE TO LIKE NEW CONDITION. FIELD VERIFY EXACT LOCATION AND CONDITION.
 2. CONNECT TO EXISTING 2" OR LARGER VENT PIPING.
 3. REPLACE EXISTING PLUMBING FIXTURE. MODIFY EXISTING ROUGH-INS AS REQUIRED. FIELD VERIFY EXACT REQUIREMENTS.
 4. ROUTE PIPING UP IN EXISTING CHASE. FIELD VERIFY.
 5. ROUTE 1-1/4" CW AND HW PIPING UP IN CHASE AND CONNECT TO EXISTING CW AND HW PIPING PREVIOUSLY SERVING WASHING MACHINES.
 6. CONNECT TO NEAREST 3/4" CW AND HW PIPING. FIELD VERIFY EXACT REQUIREMENTS.
 7. PROVIDE NEW WATER HEATER. MODIFY WATER PIPING AS REQUIRED TO CONNECT TO EXISTING PIPING TO NEW WATER HEATER. FIELD VERIFY EXACT REQUIREMENTS. SEE DETAIL 2 ON SHEET M6.1 FOR MORE INFORMATION.
 8. CONNECT TO EXISTING SANITARY DRAIN. FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING PIPING. SCOPE EXISTING PIPING WITH CAMERA TO VERIFY CONDITION.
 9. MODIFY EXISTING GAS PIPING AS REQUIRED FOR NEW EQUIPMENT. FIELD VERIFY EXACT REQUIREMENTS. PROVIDE DIRT LEG, UNION, AND SHUT-OFF VALVE, CONNECT TO EQUIPMENT.



2 CLUBHOUSE WASTE AND VENT PLAN
 1/4" = 1'-0"



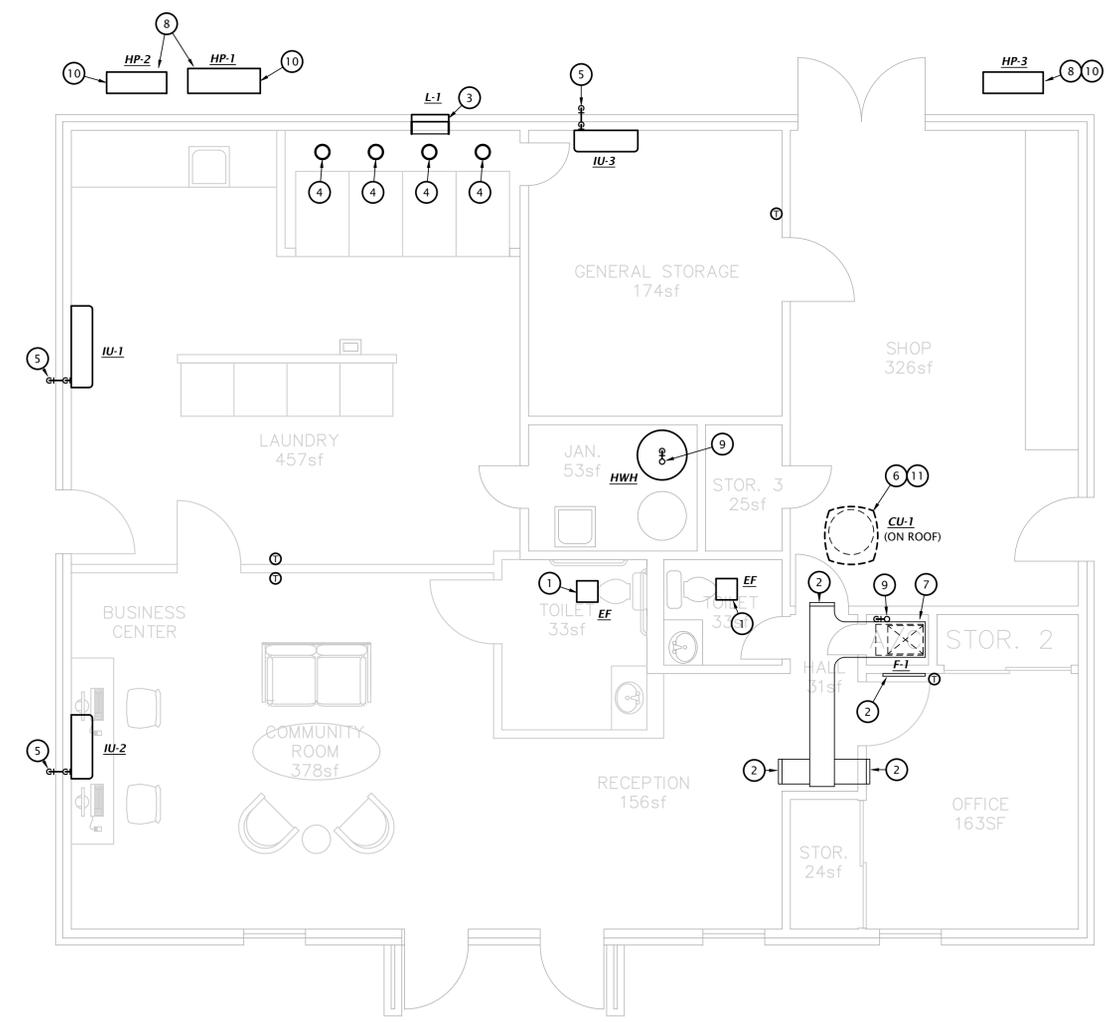
1 CLUBHOUSE DOMESTIC WATER AND GAS PLAN
 1/4" = 1'-0"



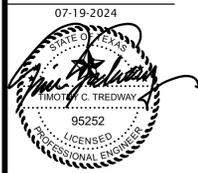
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PLAN NOTES BY SYMBOL

1. REPLACE EXISTING EXHAUST FAN WITH NEW. CONNECT TO EXISTING DUCT. MODIFY AS REQUIRED. VERIFY DUCT AND ROOF JACK WITH BACKDRAFT DAMPER ARE IN GOOD WORKING ORDER, REPAIR/REPLACE AS REQUIRED.
2. PROVIDE NEW SUPPLY AND RETURN GRILLES OF EQUAL KIND AND QUALITY. REFER TO SCOPE OF WORK. IF DEVICE IS TO BE RE-USED, CLEAN, REPAIR AND RESTORE EXISTING AIR DEVICES TO LIKE NEW CONDITION. COORDINATE WITH G.C.
3. PROVIDE NEW COMBINATION LOUVER/DAMPER IN EXISTING WALL OPENING. PROVIDE FRAME TYPE COMPATIBLE WITH EXISTING CONDITIONS AND FULL SIZED DUCT INTO CHASE. FIELD VERIFY EXACT REQUIREMENT.
4. TRANSITION FROM EXISTING DRYER EXHAUST THROUGH ROOF TO NEW DRYER AS RECOMMENDED BY DRYER MANUFACTURER. CLEAN, REPAIR, AND RESTORE EXISTING DUCT AND ROOF TERMINATION TO LIKE NEW CONDITION. ENSURE ROOF TERMINATION HAS BACKDRAFT DAMPER AND BIRD SCREEN. FIELD VERIFY EXACT REQUIREMENTS.
5. PROVIDE CONDENSATE DRAIN CONCEALED IN WALL AND TERMINATE WITH ELBOW DOWN AT 12" A.F.G. ABOVE SPLASH BLOCK.
6. MOUNT CONDENSING UNIT TO UNISTRUT FRAME SUPPORTED ON NVENT CADDY PYRAMID ROOF SUPPORTS. PROVIDE VIBRATION ISOLATORS BETWEEN ROOF SUPPORTS AND UNISTRUT FRAME.
7. PROVIDE FULL SIZED DUCT FROM EVAPORATOR COIL TO EXISTING DUCT. PATCH EXISTING DUCT AS REQUIRED. SEE DETAIL 1 SHEET M6.1.
8. MOUNT HEAT PUMP ON 18" HIGH STAND, "QUICK-SLING" OR EQUIVALENT, ON 3-1/2" THICK LEVEL CONCRETE PAD. COORDINATE EXACT REQUIREMENTS AND LOCATION WITH G.C.
9. ROUTE INTAKE AND VENT PIPING FROM FURNACE/WATER HEATER UP TO MANUFACTURER'S CONCENTRIC VENT ROOF TERMINATION. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
10. ROUTE REFRIGERANT PIPING FROM HEAT PUMP TO MATCHING INDOOR UNIT. PENETRATE EXTERIOR WALL AT 18" A.F.G. PROVIDE PIPING WALL PENETRATION ASSEMBLY EQUAL TO AIREX TITAN OUTLET.
11. ROUTE REFRIGERANT PIPING FROM CONDENSING UNIT TO MATCHING EVAPORATOR COIL AT FURNACE. PENETRATE ROOF WITH MANUFACTURED ROOF PENETRATION ASSEMBLY EQUAL TO 'RPS'. COORDINATE REQUIREMENTS WITH G.C.



1 CLUBHOUSE MECHANICAL PLAN
 1/4" = 1'-0"



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EXHAUST FAN SCHEDULE							
MARK	MANUFACTURER	MODEL	CFM	ESP (" wg)	POWER	VOLTS/PHASE	NOTES
EF	BROAN	XB80	80	0.4"	6 W	120 / 1	1,2,3,4,5

NOTES:
 1. Fixture shall be Energy Star listed.
 2. Fixture shall operate at <1 SONE
 3. Provide integral disconnect.
 4. Provide integral backdraft damper.
 5. Provide with manufacturer's ceiling radiation damper.

DUCTLESS SPLIT SYSTEM SCHEDULE			
INDOOR UNIT			
MARK	IU-1	IU-2, IU-3	
MANUFACTURER	TRANE	TRANE	
MODEL	TPKAA0361KA80A	TPKAA0121LA10A	
CONFIGURATION	WALL SURFACE MOUNT	WALL SURFACE MOUNT	
VOLTAGE / PHASE	240/1	240/1	
MCA / MOCP	NOTE #4	NOTE #4	
NOMINAL COOLING CAPACITY	36,000 BTU/H	12,000 BTU/H	
OUTDOOR HEAT PUMP UNIT			
MARK	HP-1	HP-2, HP-3	
MANUFACTURER	TRANE	TRANE	
MODEL	TRUZH0361KA00NA	TRUZA3121KA70NA	
NOMINAL COOLING CAPACITY	36,000 BTU/H	12,000 BTU/H	
VOLTAGE / PHASE	240/1	240/1	
MIN. CKT. AMPS	24	11	
MAX C/B SIZE	40	25	

NOTES:
 1. Provide refrigerant piping sized in accordance with manufacturer's recommendations for actual field installed length and routing.
 2. Provide 7-day programmable thermostat for each indoor unit.
 3. Provide with R410-A refrigerant.
 4. Indoor units are powered from outdoor unit.

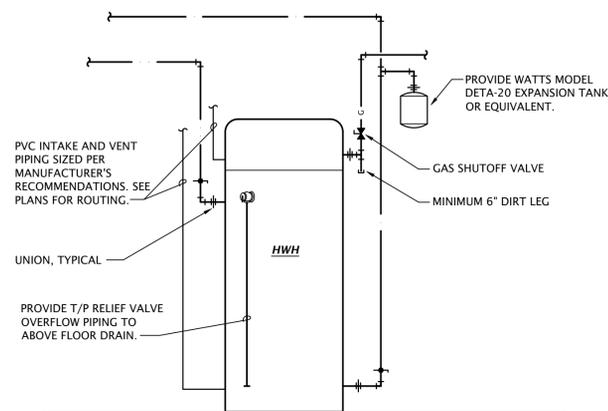
PLUMBING FIXTURE SCHEDULE									
MARK	MANUFACTURER	DESCRIPTION	TRIM		ROUGH-IN SIZES				NOTES
			MANUFACTURER	DESCRIPTION	WASTE	VENT	CW	HW	
WC-A	KOHLER	Model 3999-0 "Highline" ADA compliant flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, siphon jet flushing action, 1.28 GPF, polished chrome actuator.	KOHLER	K-5588 Purefresh white, elongated closed front seat and cover	4"	2"	1/2"	---	5
WC-B	KOHLER	Model 3999-0 "Highline" ADA compliant flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, siphon jet flushing action, 1.28 GPF, polished chrome actuator.	KOHLER	K-5588 Purefresh white, elongated closed front seat and cover	4"	2"	1/2"	---	1,5
WC-C	KOHLER	Model 3999-0 "Highline" ADA compliant flush tank water closet, white vitreous china, two piece, 12" rough-in, elongated 16-1/2" high bowl, siphon jet flushing action, 1.28 GPF, polished chrome actuator.	KOHLER	K-4731-C-0 white open front plastic seat.	4"	2"	1/2"	---	1,5
LAV-A	KOHLER	Model 2196-4-0 self-rimming lavatory, white vitreous china, 20"W x 17", faucet holes on 4" centers.	DELTA	Model 583LF-WF single handle faucet with pop-up drain.	2"	1-1/2"	1/2"	1/2"	2,4,5
LAV-B	KOHLER	Model 2005-0 wall hung lavatory, white vitreous china, 18-1/4"W x 17-1/4", faucet holes on 4" centers.	DELTA	Model 583LF-WF single handle faucet. Provide point of use tempering valve.	2"	1-1/2"	1/2"	1/2"	2,3,4,5
LAV-C	KOHLER	Model 2196-4-0 self-rimming lavatory, white vitreous china, 20"W x 17", faucet holes on 4" centers.	DELTA	Model 583LF-WF single handle faucet. Provide grid drain. Provide point of use tempering valve.	2"	1-1/2"	1/2"	1/2"	1,2,3,4,5
KS-A	JUST	Model DL-2233-A-GR two compartment 18 GA stainless steel sink, self rimming, 14"x16"x8"D inside, fully undercoated, faucet holes as req.	DELTA	Model 400-HDF single handle kitchen sink faucet with hose spray attachment. Chrome finish. Provide basket strainer.	2"	1-1/2"	1/2"	1/2"	2,4
KS-B	JUST	Model DL-ADA-2233-A-GR two compartment 18 GA stainless steel sink, self rimming, 14"x16"x5"D inside, fully undercoated, faucet holes as req., and drain holes center rear.	DELTA	Model 400-HDF single handle kitchen sink faucet with hose spray attachment. Chrome finish. Provide basket strainer.	2"	1-1/2"	1/2"	1/2"	1,2,3,4
BT-A	N/A	Model G 6063 TS reinforced fiberglass tub/shower, 60"W x35-3/4"D x76-1/2"H, with integral soap/toiletry shelves, right or left hand rough-in as required, white finish.	DELTA	Model R10000-UNWS/T13H232 single handle pressure-balancing valve with metal tub filler with pull diverter, push-clean showerhead and pop-up drain with overflow.	2"	1-1/2"	1/2"	1/2"	2,4,5
BT-B	AQUARIUS	Model S 6000 TS OT reinforced fiberglass ADA tub/shower, 60"W x33"D x82"H, with integral soap/toiletry shelves and grab bars in accordance with ADA requirements, seat at end of tub, right or left hand rough-in as required, white finish.	DELTA	Model R10000-UNWS/T13H252 pressure balancing tub/shower valve with non-positive shut-off control and temperature control to ensure maximum 120° water with single metal lever handle, 1.5 GPM handshower with double check valves, flexible hose, 24" stainless steel slide bar, metal lever handshower, diverter valve, and shower head with arm.	2"	1-1/2"	1/2"	1/2"	1,2,4,5,6
LT	JUST	Model SLADA1921A50J single compartment 18 GA stainless steel sink, self rimming, 14"x18"x5" inside, fully undercoated, faucet holes as req., and drain hole center rear	DELTA	Model 27C4265 deckmount faucet, 8" tubular swing spout, vandal resistant laminar outlet, two metal blade handles. Provide basket strainer.	2"	1-1/2"	1/2"	1/2"	2,4
CCB	WATER TITE	Model W4700 recessed washing machine box with 2"PVC/ABS drain coupling and knockout test cap. Two, 1/4 turn adaptor ball valves, sweat connection.			2"	2"	1/2"	1/2"	
ICB	WATER TITE	Model W9700 ice maker connection box with 1/4 turn ball valve and 1/2" sweat copper connection.			---	---	1/2"	---	
FD	WADE	1100 series floor drain with 6" satin nickel bronze strainer. Provide trap protection device equal to ProSet Trappguard.			2"	1-1/2"	---	---	
HWH	A.O. SMITH	Model BTH-150, 100 gallon 96% efficient gas water heater, direct vent, 150,000 BTUH input, 178 GPH recovery @ 100°F temp rise. Supplied with temperature & pressure relief valve and brass drain valve. Provide with manufacturer's concentric roof vent kit.							

GENERAL:
 - Provide fixtures with all trim necessary for complete installation

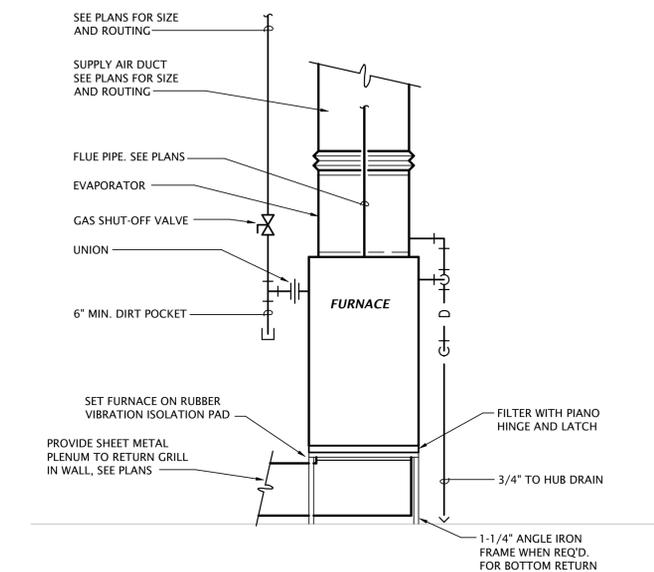
NOTES:
 1. Fixture and installation to meet requirements of Americans with Disabilities Act.
 2. Provide 1/4 turn angle stops with escutcheon plates, and chrome plated or braided stainless steel supplies, and 1-1/4" cast brass p-trap.
 3. Insulate water and waste piping below lavatory. Utilize insulation kit equivalent to LavGuard by Truebro.
 4. Trim shall be provided with polished chrome finish.
 5. Fixture shall be WaterSense labeled.
 6. Coordinate requirements with general contractor prior to ordering fixture.

LOUVER SCHEDULE									
MARK	MANUFACTURER	MODEL	SIZE	FREE AREA (SF)	FINISH	SCREEN	DAMPER	SERVICE	DESCRIPTION
L-1	GREENHECK	EAC-401	21"H x 21"W x 4"D	0.82	KYNAR, WHITE	BIRD	120V	INTAKE	EXTRUDED ALUMINUM COMBINATION LOUVER/DAMPER

NOTES:
 1. Coordinate frame type and finish with Arch. and G.C..



2 WATER HEATER DIAGRAM
 SCALE: NOT TO SCALE



1 UPFLOW FURNACE DETAIL
 NO SCALE

SPLIT SYSTEM SCHEDULE	
FURNACE	
MARK	F-1
MANUFACTURER	TRANE
MODEL	S9X1B060U4PSB
SUPPLY AIRFLOW (CFM)	600
ESP ("WG)	0.5
BLOWER SPEED	MED
NAT. GAS INPUT (MBH)	60
NAT. GAS OUTPUT (MBH)	58.3
MCA	11.8
MOCP	15
VOLTAGE/PHASE	120/1
EVAPORATOR	
ENT. AIR DB	80
ENT. AIR WB	67
NET SENS. CAPACITY (MBH)	13.8
NET TOTAL CAPACITY (MBH)	18.8
CONDENSING UNIT	
MARK	CU-1
MANUFACTURER	TRANE
MODEL	4TTR4019N1
O.A. DB	95°F
REFRIGERANT	R410-A
VOLTAGE/PHASE	240/1
MCA	12
MOCP	20

NOTES:
 1. Provide refrigerant piping sized in accordance with manufacturer's recommendations for actual field installed length and routing.
 2. Provide PVC intake and exhaust piping in accordance with manufacturer's recommendations.
 3. Provide with 7-day programmable thermostat.
 4. Provide with R140a refrigerant.



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