



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	The Residence at Green Meadow New Senior Development San Angelo, TX	Report No.	Five (5)
OWNER:	Overland Property Group Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	May 7, 2025
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	24-3395
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions:

GENERAL:

1. Fire Extinguisher Cabinets located in the corridors have been shifted to be more centrally located, to ensure each unit (furthest room) is within 75' of an extinguisher. Reference Attached revised Sheets CFP, A2.1 and A2.2
2. Wall tile layout in Restrooms 103 & 104 has been revised. Reference Attached revised Sheet A8.1

EXTERIOR FINISH SELECTIONS & CHANGES:

1. Stone Veneer is Eldorado Stone, Cut Coarse Stone, per spec. **Oyster Color** has been selected in lieu of Cannonade.
2. Paintable James Hardie Lap Siding, Board & Batten, and Trim shall be used. Paint colors:
 - a. **SW 6154 Nacre** – all cornices, fascia, soffit and window trim.
 - b. **SW 6155 Rice Grain** – all board and batten panels and associated trim work, and lap siding located above main entry.
 - c. **SW 6178 Clary Sage** – all lap siding (unless listed above) and associated trim work.
3. Storefront Door and Frame Color shall be **Dark Bronze**.

INTERIOR FINISH SELECTIONS & CHANGES:

1. Public Restrooms 103 & 104
 - a. Vanity counters shall be **Formica Basalt Slate 3690** in lieu of Ice Onyx. All under counter supports shall be **Formica 909 Black**.
 - b. Vanity Light Fixture (Light Fixture B) shall be the **Maxim Spec 30" Wide Black Finish Modern LED Vanity Light** in lieu of the Seagull FML-WL-48-35. (2) Total.
 - c. Vanity Mirror: **Kaydeigh Aluminum Dresser Mirror** with Black Rim, Size 30x36, Hung vertically, (2) Total
2. All Restroom Faucets, Kitchen Faucets, Shower & Bath Spouts, Heads and Accessories, etc. shall be a **Black Finish**.
3. Apartment Bathrooms
 - a. Mirrors: **Corvetta Aluminum Framed Rectangle Bathroom Mirror**, Vanity Mirror, Size 24x36, Hung Vertically
 - b. Vanity Light Fixture (Light Fixture B) shall be **Aiwen 24.4-in 3-light Clear Moderncontemporary Vanity Light** (Model #WL-401B3) Black Finish, Clear Shades
4. Resilient Plank Flooring: 2 colors shall be selected (Reference Sheet A9.1 for locations):
 - a. LVP 1 - **Earthwerks, Chassis Spitfire** (Community Room, Elev. Lobby, Corridor Field Color, etc.)
 - i. Run parallel to corridors
 - b. LVP 2 - **Earthwerks, Chassis Backbone** (Corridor at Apartment Entry, Apartments)
 - i. Run perpendicular to corridors.

5. Paint:
- a. All Walls, Ceiling Doors, Trim & Molding (Unless noted below) – **SW 7013 Ivory Lace**
 - b. Accent Walls (Reference attached Interior (Public) Color Board for location) – **SW 9647 Soft Sage**
 - i. Community Room – West Wall and Mailbox walls
 - ii. Office 102 – North Wall
 - iii. Stair 1 – West Wall (elevator door wall) – all three levels.
 - iv. Stair 2 – East Wall – all three levels.
 - c. Apartment Entry Doors (Door only, no trim/molding) – **SW 9647 Soft Sage**

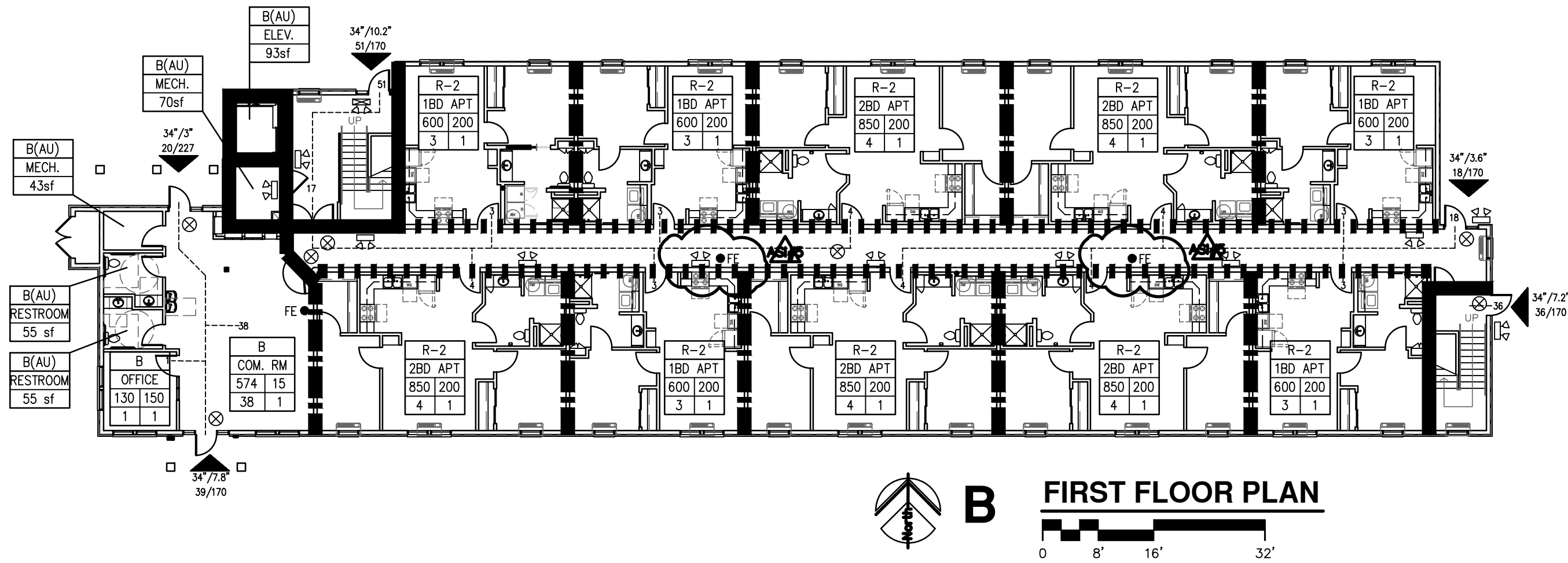
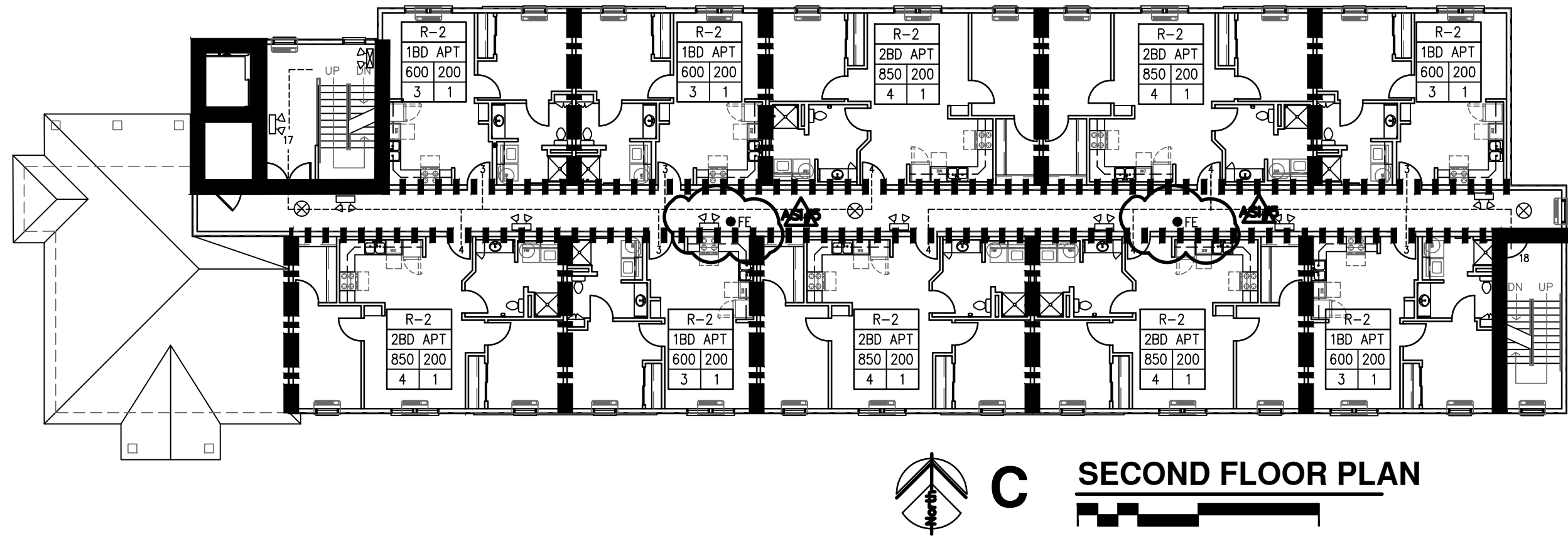
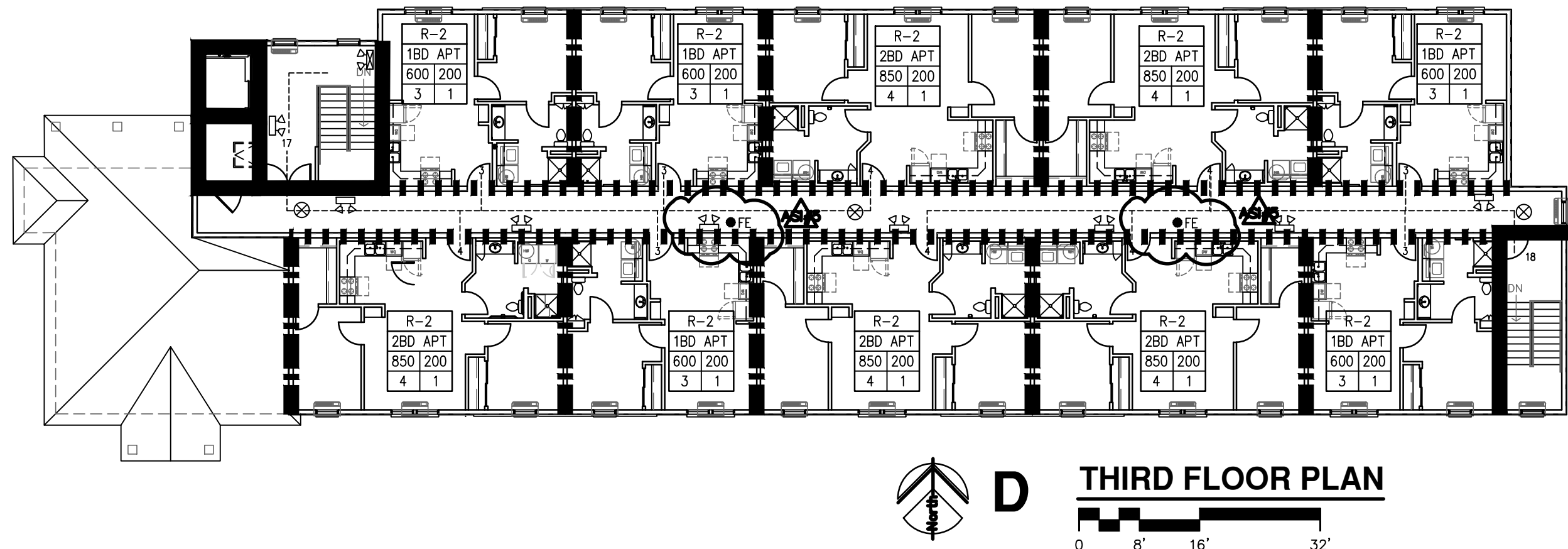
Attachments:

- 1. Revised Arch Sheets: CFP, A2.1, A2.2, A8.1
- 2. Exterior Color Board
- 3. Interior (Public) Color Board
- 4. Interior (Apartment) Color Board

Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Maggie Gillam, Project Manager 785-827-0386 mgillam@jgrarchitects.com

Copies to:

MCP Group – Eric Hubener, Bruce Melius
OPG – Dan Maximuk, Amanda Klaus, April Engstrom, Caroline Hurst
LST – Ryan Lies
Structural – Isaac Cundiff, Marcus Himmelberg
Civil – Sam Malinowsky



CODE INFORMATION

OCCUPANCY OVERALL: MIXED OCCUPANCY
OCCUPANCY GROUPS: B OFFICE
R-2 APARTMENTS
CONSTRUCTION TYPE: V-A
BASIC ALLOWABLE AREA: B 18,000 SF
R-2 12,000 SF
ALLOWABLE AREA INCREASE: (NON-SEPARATED USES, PER IBC SEC. 302.3.2)
R-2
BASE ALLOWABLE, S13R 12,000 SF
AREA INCREASE (21%) 2,520 SF
FIRE SPRINKLER - S13R
SUB-TOTAL ALLOWABLE (PER FLOOR) 14,520 SF
3 FLOORS x3
TOTAL BUILDING ALLOWABLE AREA 43,560 SF
ACTUAL BUILDING AREA:
FIRST FLOOR 10,116 SF
SECOND FLOOR 9,207 SF
THIRD FLOOR 9,207 SF
TOTAL BLDG AREA 28,530 SF
BASIC ALLOWABLE STORIES: 4
STORIES - S13R (PER IBC SEC. 504.4)
TOTAL ALLOWABLE STORIES 4
BASIC ALLOWABLE HEIGHT: 60'
HEIGHT INCREASE
TOTAL ALLOWABLE HEIGHT 60'
ACTUAL STORIES: 3
ACTUAL HEIGHT: 42'
FIRE RESISTANCE RATING FOR BUILDING ELEMENTS: V-A
EXTERIOR BEARING WALLS: 1 HOUR (INTERIOR RATING ONLY, PER IBC SEC. 705.5, FS>10')
STRUCTURAL FRAME: 1 HOUR
INTERIOR BEARING WALLS: 1 HOUR
INTERIOR NON-BEARING WALLS: 0 HOUR (Less than 4 stories)
SHAFT ENCLOSURES: 1 HOUR
FLOOR/CEILING ASSEMBLY: 1 HOUR
CEILING/ROOF ASSEMBLY: 1 HOUR
CORRIDOR/DWELLING UNITS: 1 1/2 HOUR (Table 1020.1)

OCCUPANCY SEPARATIONS:
(NON-SEPARATED USES, PER IBC SEC. 302.3.2)
ALLOWABLE AREA & HEIGHT CALCULATIONS ARE BASED ON THE MOST RESTRICTIVE USE.
DIFFERENT USES ARE NOT SEPARATED BY FIRE BARRIERS.
R2 TO R2 SEPARATION OF DWELLING UNITS = 1HR, 45 MIN. OPNGS
ROOF COVERINGS CLASS B OR BETTER
INCIDENTAL SEPARATIONS: (PER IBC TABLE 508.2.5)
STORAGE ROOMS OVER 100 SF - SPRINKLER SYSTEM (SMOKE BARRIER)
DWELLING UNITS - 1 HR FIRE PARTITIONS
SPECIAL CONDITIONS:
EXIT & EMERGENCY LIGHTING, PORTABLE FIRE EXTINGUISHERS, MANUAL FIRE ALARM
EGRESS - NO STEPS EXISTING OR PROPOSED AT REQUIRED EXITS
RATED STAIR ENCLOSURES
FIRE ALARM REQUIREMENTS:
REQUIRED, PROVIDED - MANUAL & AUTOMATIC FIRE ALARM SYSTEM PER NFPA 72
SIGNALLING SYSTEM IS AUDIBLE/VISUAL PER NFPA 72 & ADA INSTALLED THROUGHOUT
INITIATING DEVICES: PULL STATIONS, SMOKE DETECTION @ SLEEPING & COMMON AREAS,
SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES MONITORED.

SMOKE ALARM REQUIREMENTS:
REQUIRED, PROVIDED - SLEEPING ROOMS & AT EACH FLOOR
AUTOMATIC FIRE SUPPRESSION SYSTEM:
REQUIRED, PROVIDED PER NFPA 13R
EMERGENCY POWER SOURCE:
EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP
HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1))
NO HAZARDOUS MATERIALS ARE TO BE STORED

SMOKE CONTROL: SMOKE PARTITIONS: STANDPIPES:
NOT REQUIRED NOT REQUIRED NOT REQUIRED
ASSEMBLY
SIGNS TO BE MOUNTED IN ASSEMBLY AREAS OF MAXIMUM OCCUPANT LOAD
TOTAL OCCUPANT LOAD: 1st-74, 2nd-35, 3rd-35 = 144 TOTAL
EXITING: REFERENCE PLAN
OCCUPANT LOAD FACTORS:

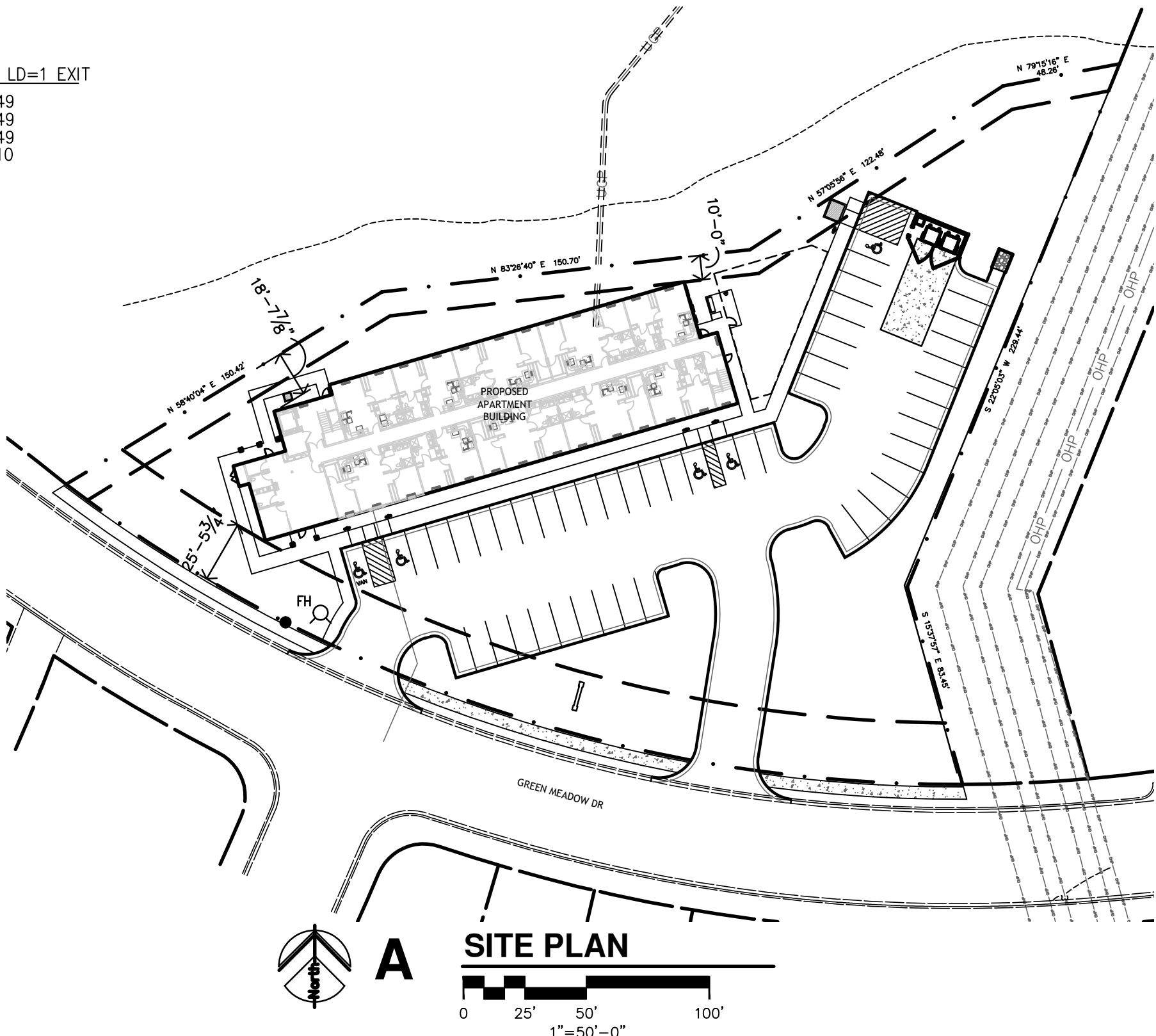
OCCUPANCY	USE	LOAD FACTOR	MAX. OCC LD=1 EXIT
B	LOBBY	15 sf/OCCUPANT	49
B	OFFICE	150 sf/OCCUPANT	49
B	MECH/ELEC	300 sf/OCCUPANT	49
R-2	APARTMENT	200 sf/OCCUPANT	10

PROJECT INFORMATION

TYPE OF CONSTRUCTION NEW SENIOR LIVING UNITS
FACILITY NAME THE RESIDENCE at GREEN MEADOW
FACILITY ADDRESS 3824 GREEN MEADOW DR
SAN ANGELO, TX
OWNER NAME OPG GREEN MEADOW PARTNERS, LLC
OWNER ADDRESS 227 N SANTA FE, STE 310
SALINA, KS 67401
ph: 913-396-6310
fax: 913-396-6312
REASON FOR SUBMITTAL NEW CONSTRUCTION
COUNTY TOM GREEN
FIRE DEPARTMENT SAN ANGELO
WATER SUPPLY SAN ANGELO
BUILDING INSPECTION DEPT SAN ANGELO
AUTHORITY HAVING JURISDICTION SAN ANGELO
ARCHITECT JONES GILLAM RENZ ARCHITECTS, INC.
730 N. NINTH ST.
SALINA, KS 67401
ph: 785-827-0386
fax: 785-827-0392
CODES/REGULATIONS 2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL PLUMBING CODE
2020 NATIONAL ELECTRICAL CODE
2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2010 ADA STANDARDS for ACCESSIBLE DESIGN
2017 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS
and FACILITIES
FAIR HOUSING ACT DESIGN MANUAL

LEGEND

DESIGNATED EMERGENCY EXIT 68"/24.4" ← EXIT WIDTH (ACTUAL/REQUIRED)
122/340 ← OCCUPANT LOAD (ACTUAL/ALLOWED)
1 HOUR CONSTRUCTION (LD BRG WALLS)
1/2 HOUR FIRE PARTITION: CORRIDOR (PER IBC TABLE 1018.1)
W/ 20 MIN OPENINGS (PER IBC TABLE 716.5)
1 HOUR FIRE PARTITION: BETWEEN DWELLING, SLEEPING UNITS
W/ 45 MIN OPENINGS (PER IBC 709.3 & 715.4)
1 HOUR CONSTRUCTION: EXIT ENCLOSURE, SHAFT WALLS,
W/ 60 MIN OPENINGS (PER IBC TABLE 716.5)
EXIT LIGHT
EMERGENCY LIGHT
EXIT/EMERGENCY LIGHT
FIRE EXTINGUISHER
FIRE HYDRANT
FIRE ALARM REMOTE ANNUNCIATOR PANEL
FIRE ALARM CONTROL PANEL
EXAMPLE:
A-1
ASSEMBLY HALL
5,550 15
370 2



CODE FOOT PRINT & INFORMATION

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THE RESIDENCE AT GREEN MEADOW
NEW SENIOR-LIVING FACILITY
SAN ANGELO, TEXAS

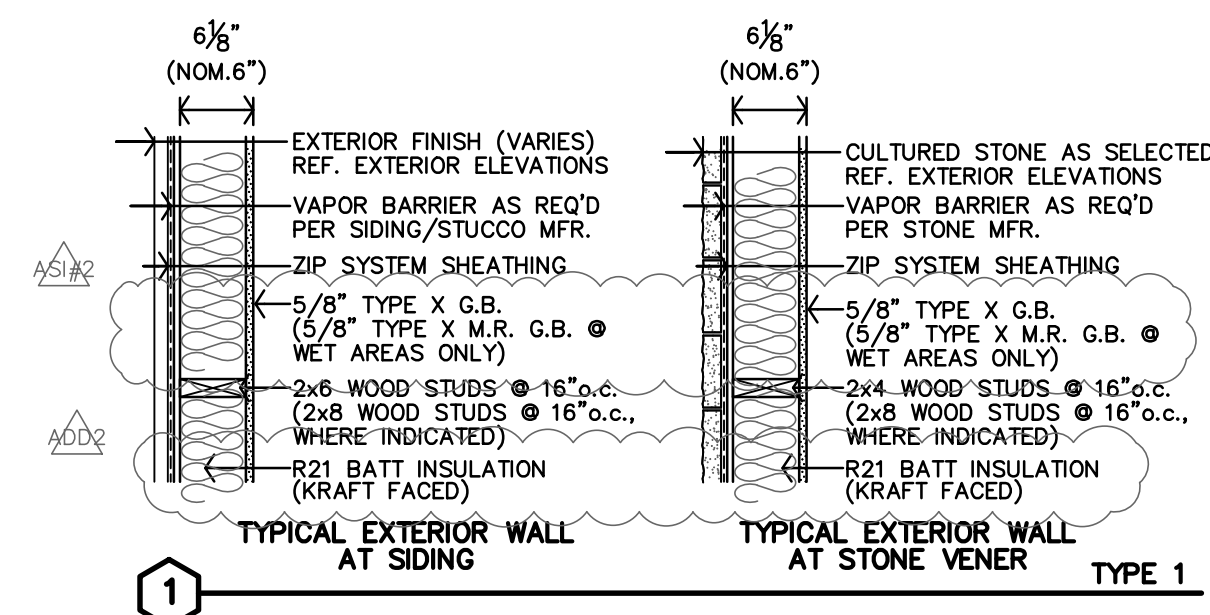


REVISION:
12-18-2024
5-7-2025
DATE: 11-22-2024
JOB: 24-3395
SHEET NO.:

CFP

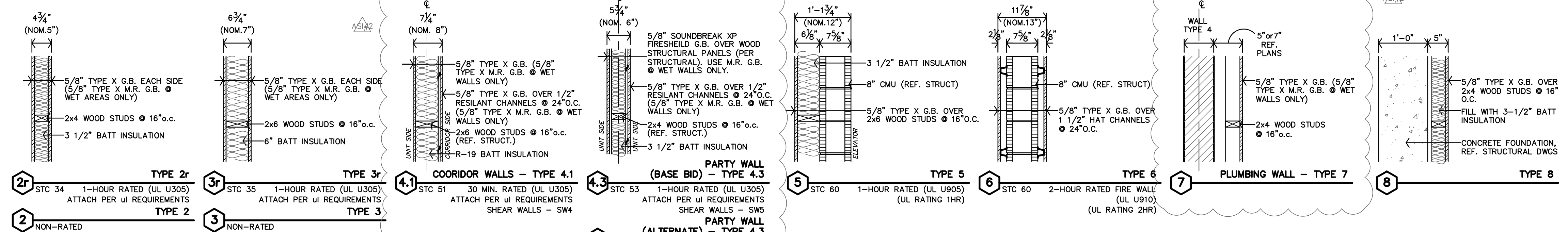
EXTERIOR PARTITION SCHEDULE

• REF. SHEET CFP FOR ADDITIONAL CODE INFORMATION

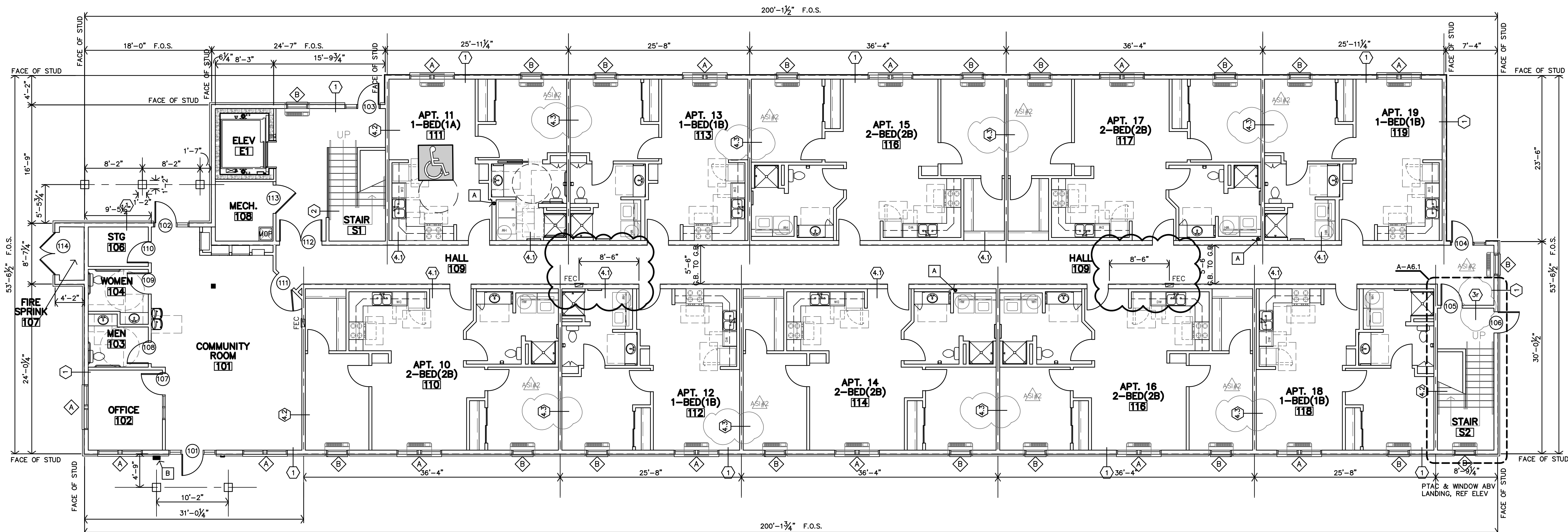
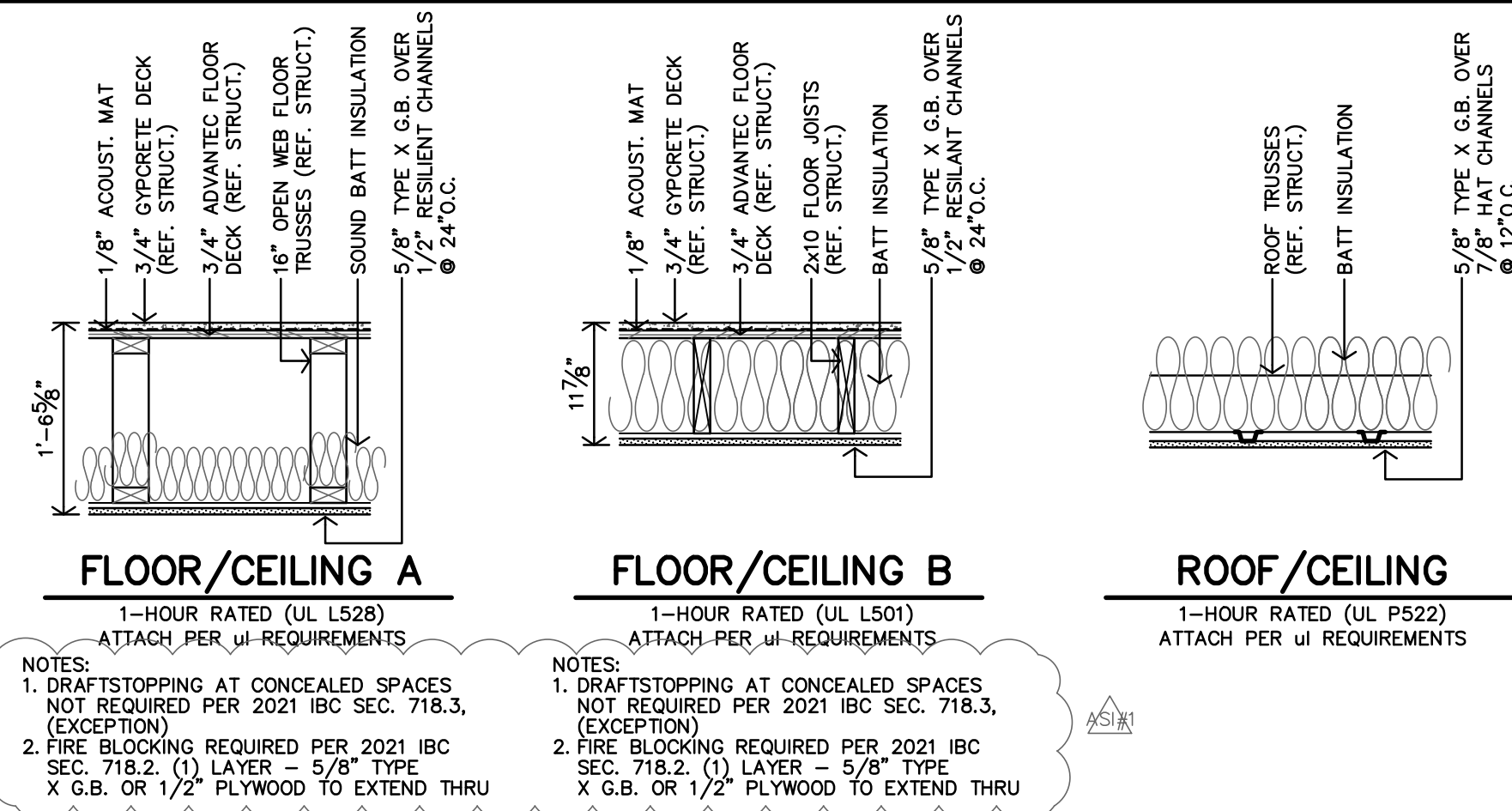


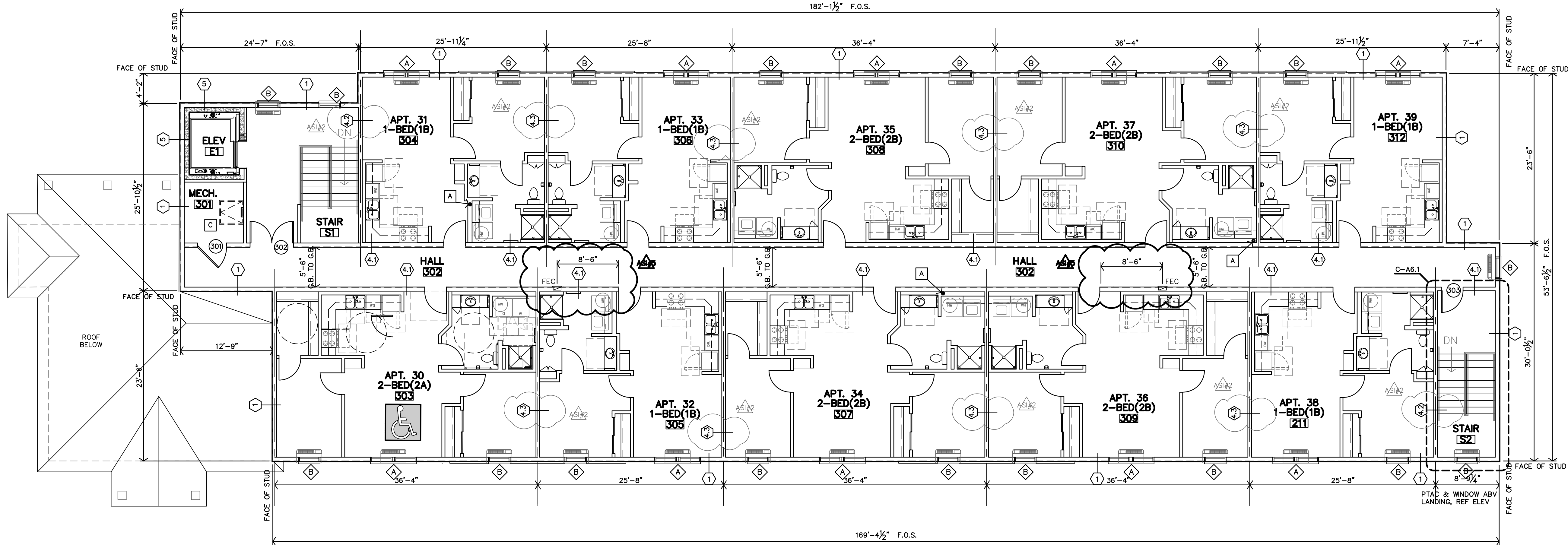
INTERIOR PARTITION SCHEDULE

• ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
 • LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT.
 • REF. SHEET CFP FOR ADDITIONAL CODE INFORMATION



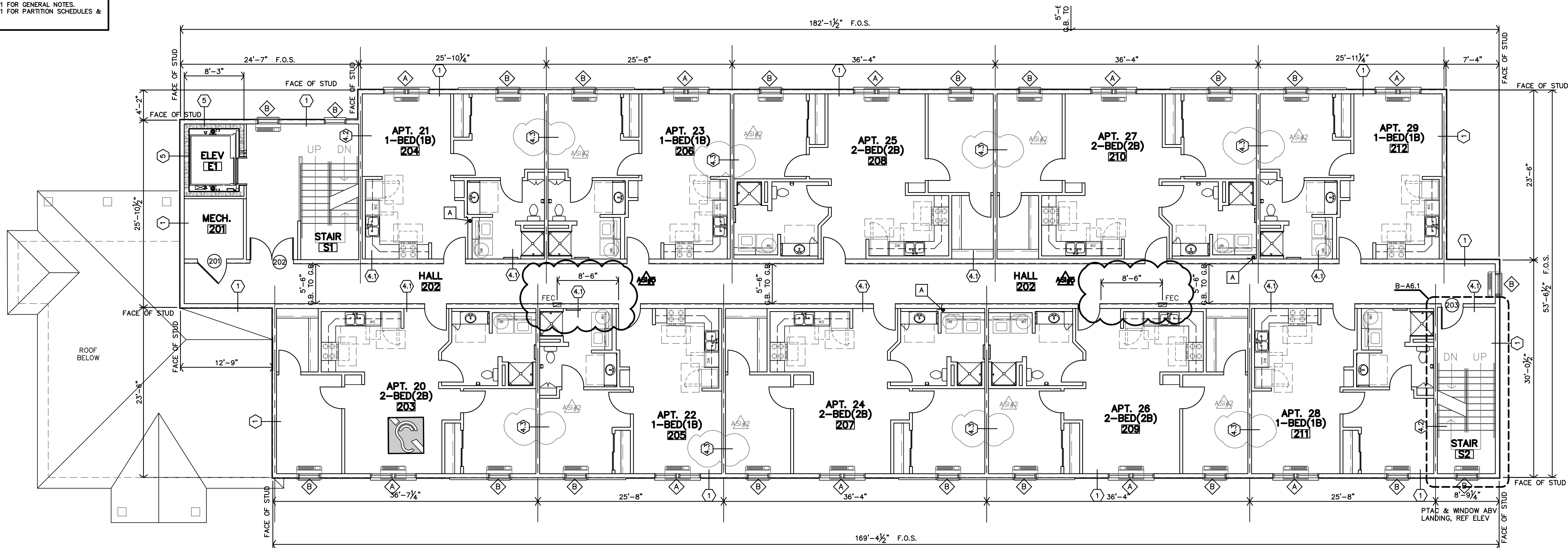
ASSEMBLIES





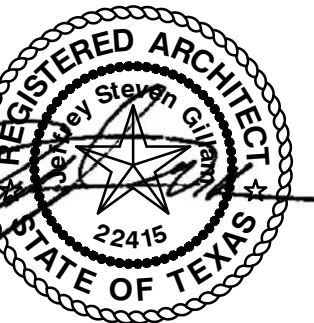
B THIRD FLOOR PLAN
1/8" = 1'-0" 9,207 SF

- NOTES**
1. REF. SHEET A2.1 FOR GENERAL NOTES.
 2. REF. SHEET A2.1 FOR PARTITION SCHEDULES & ASSEMBLIES



A SECOND FLOOR PLAN
1/8" = 1'-0" 9,207 SF

THE RESIDENCE AT GREEN MEADOW
NEW SENIOR-LIVING FACILITY
SAN ANGELO, TEXAS

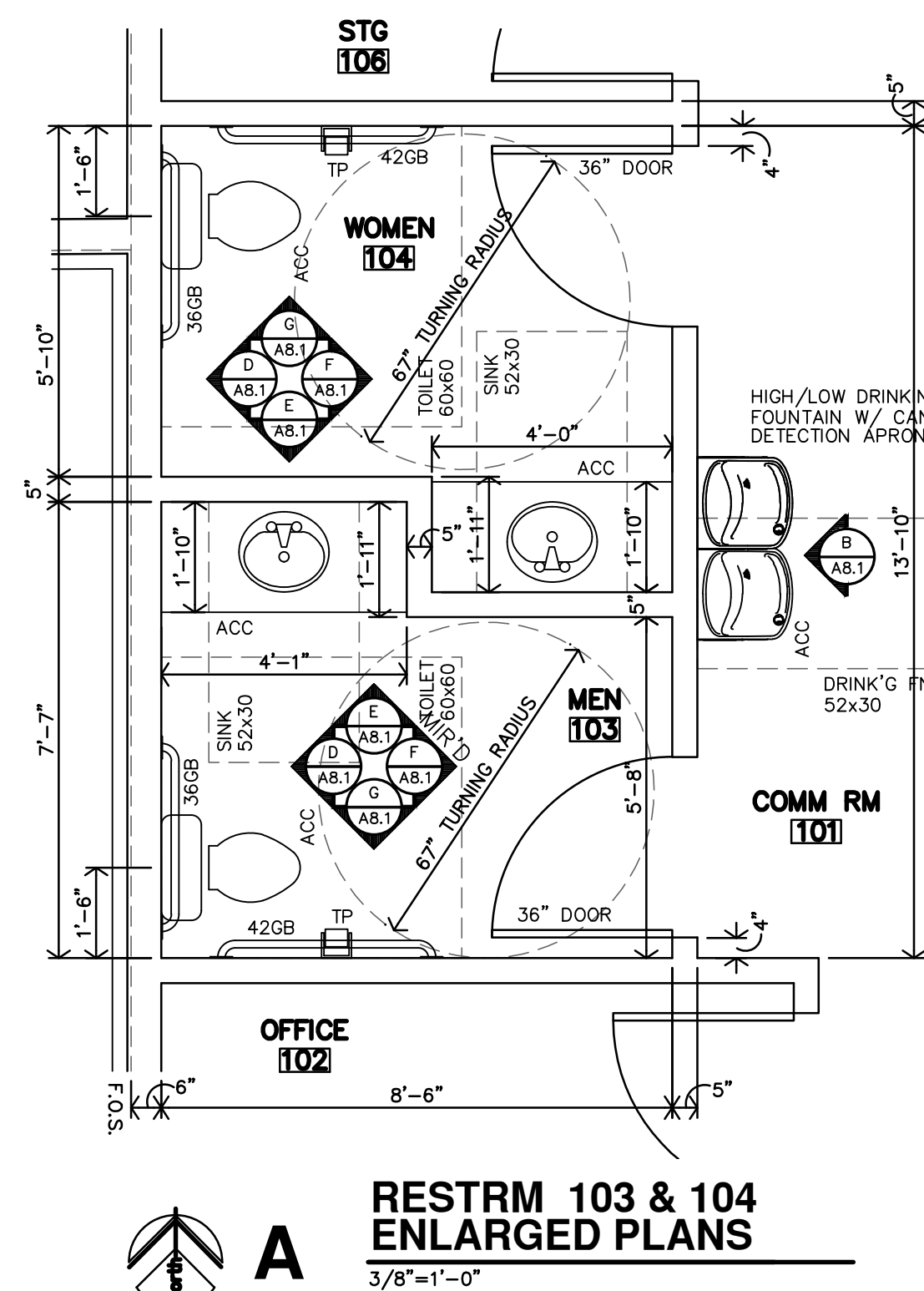
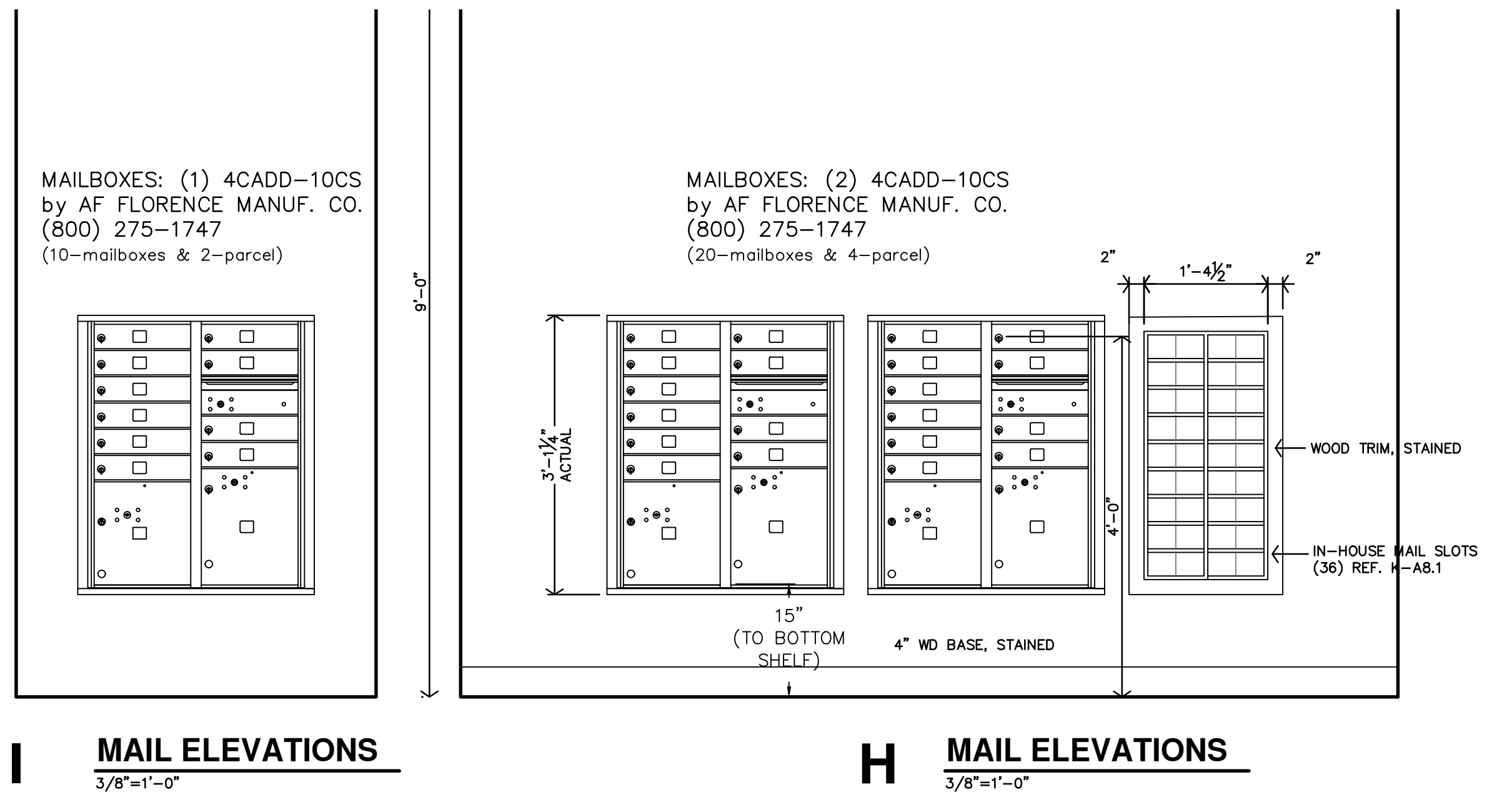
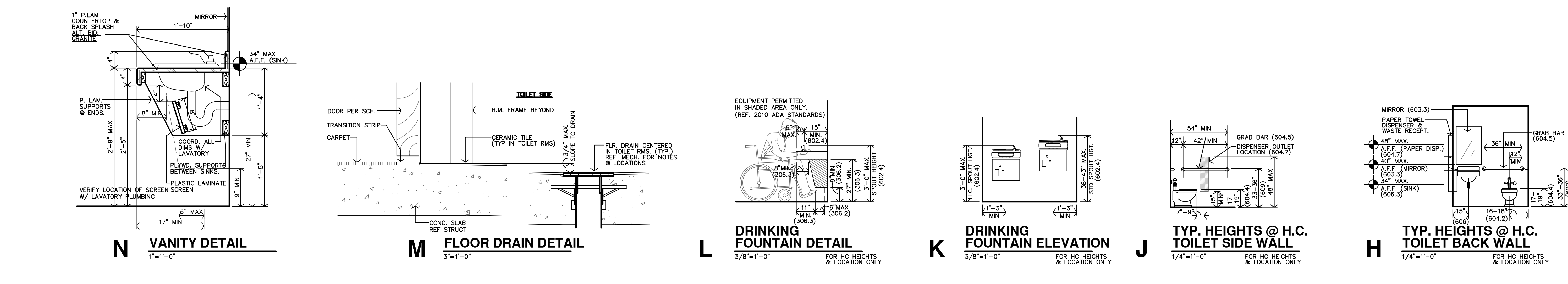
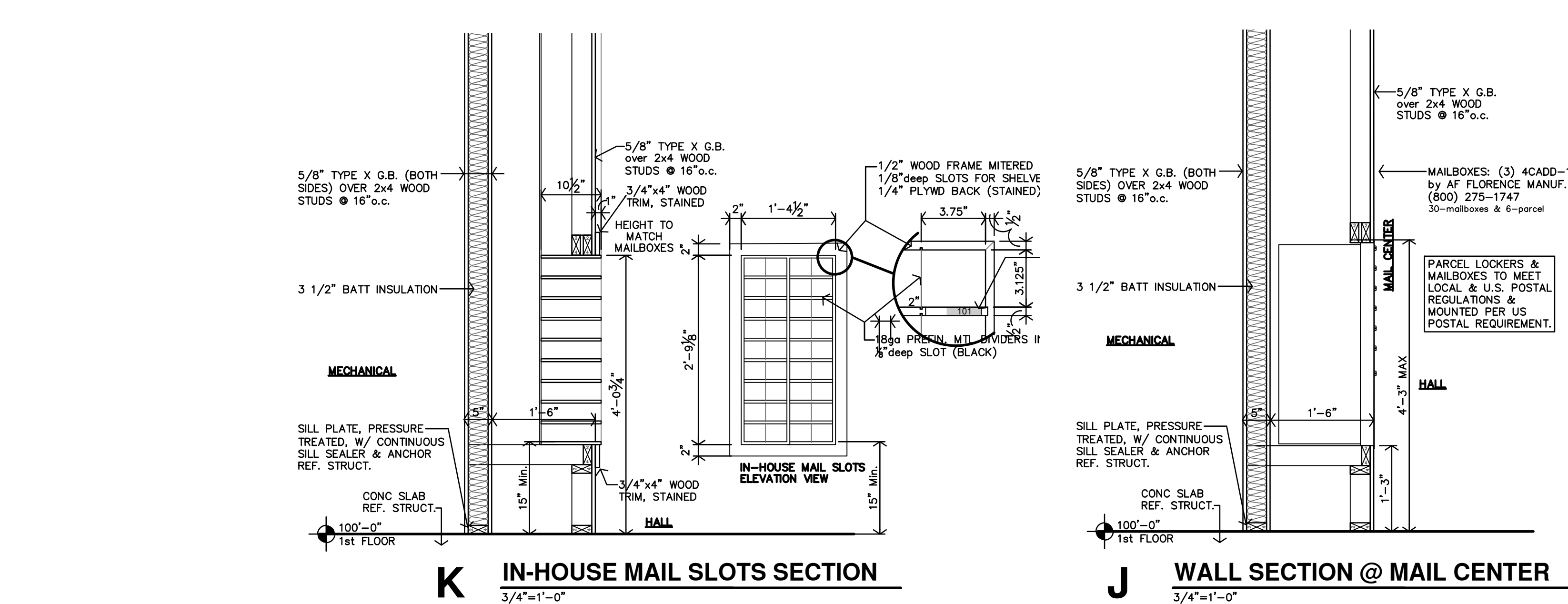
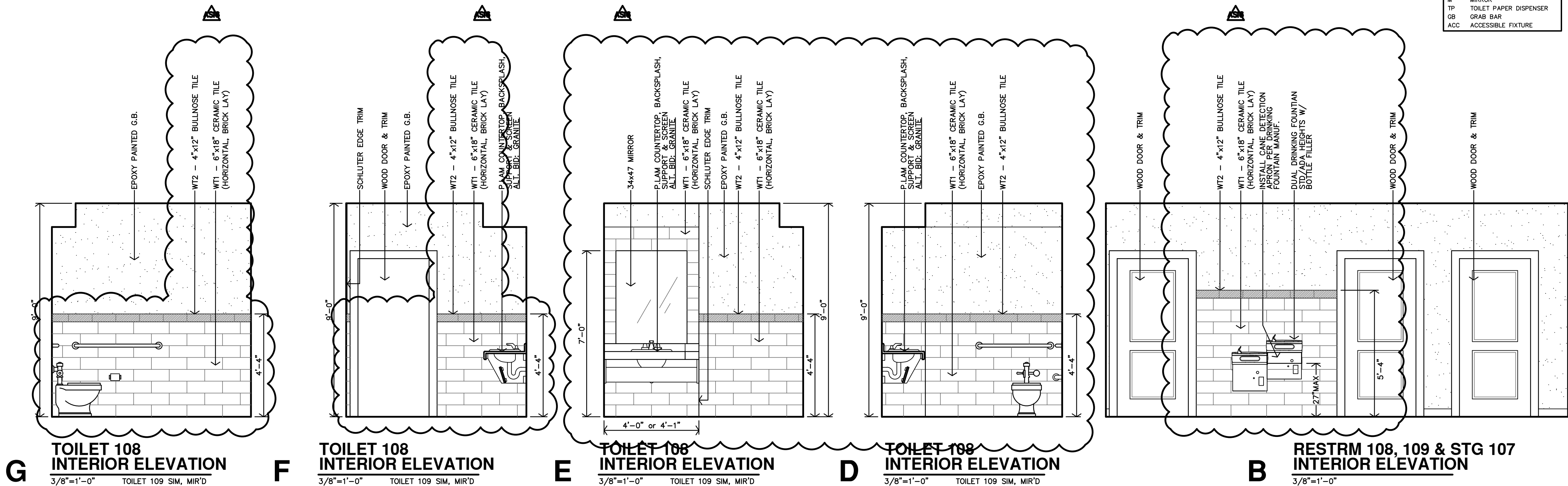


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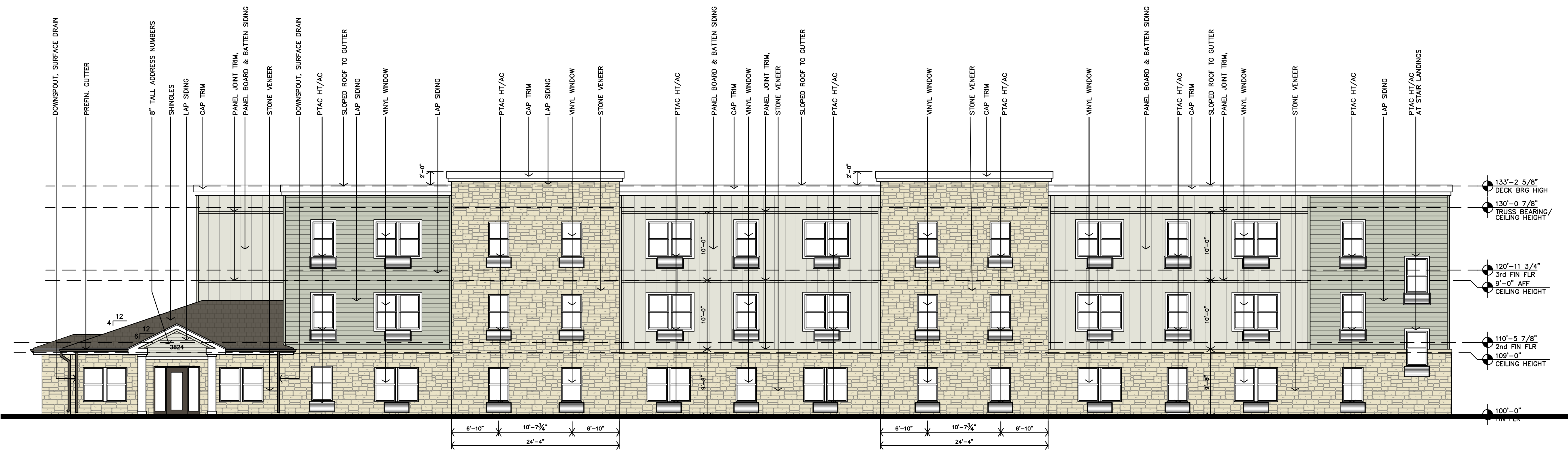
A2.2

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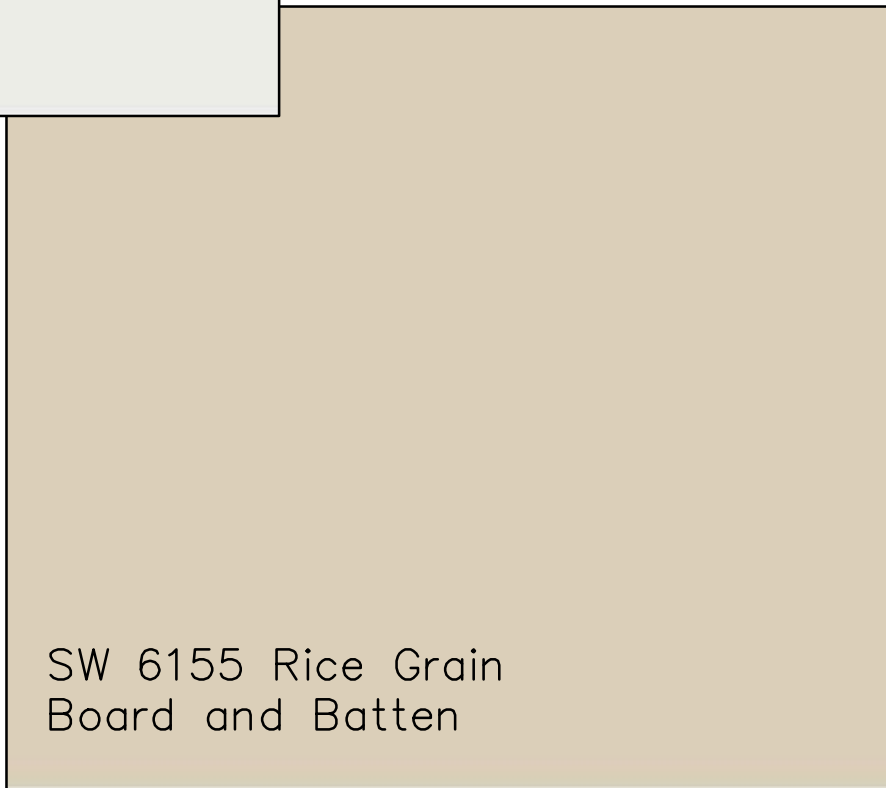
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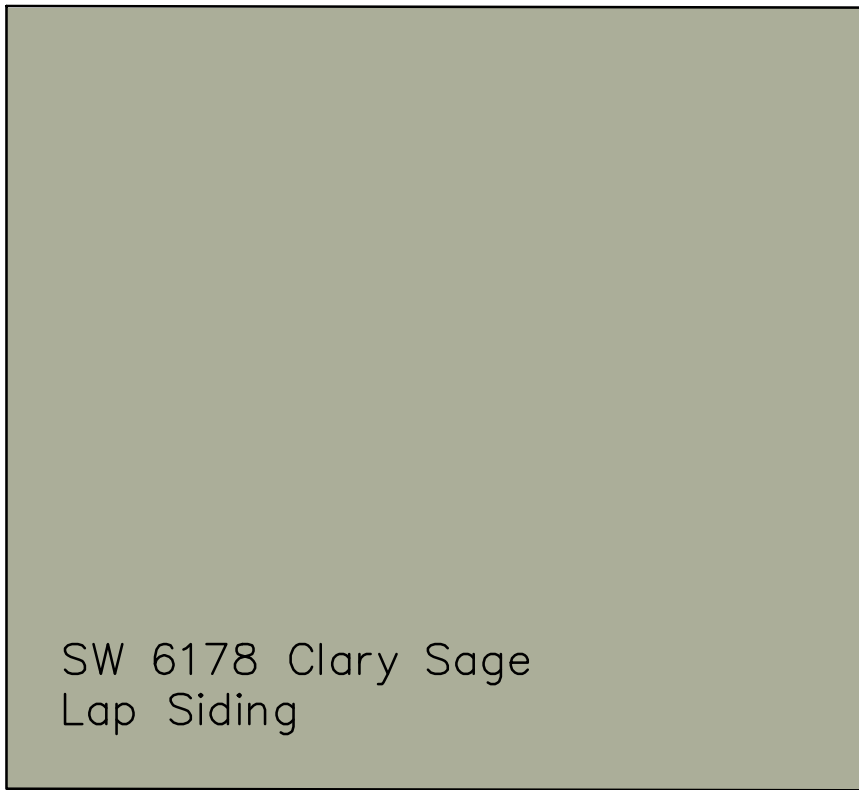
GREEN MEADOW EXTERIOR MATERIALS AND COLORS



SW 6154 Nacre
Cornice, Fascia,
Columns, Soffit,
Window Trim



SW 6155 Rice Grain
Board and Batten



SW 6178 Clary Sage
Lap Siding



Stone Veneer – ElDorado Stone,
Cut Coarse, Oyster Color



Single Hung Vinyl Windows
White Frames



Oyster Stone



Cambridge Shingles
Weatherwood Color



Dark Bronze
Storefront



Photo – Paint colors

GREEN MEADOW INTERIOR SELECTIONS - APARTMENTS

INSPIRATION PHOTO



VANITY LIGHT – Aiwen 24.4-in 3 –Light Clear Moderncontemporary Vanity light (Model #WL-401B3)



VANITY MIRROR: Corvette Aluminum Framed Rectangle Bathroom Mirror, Vanity Mirror (24x36)

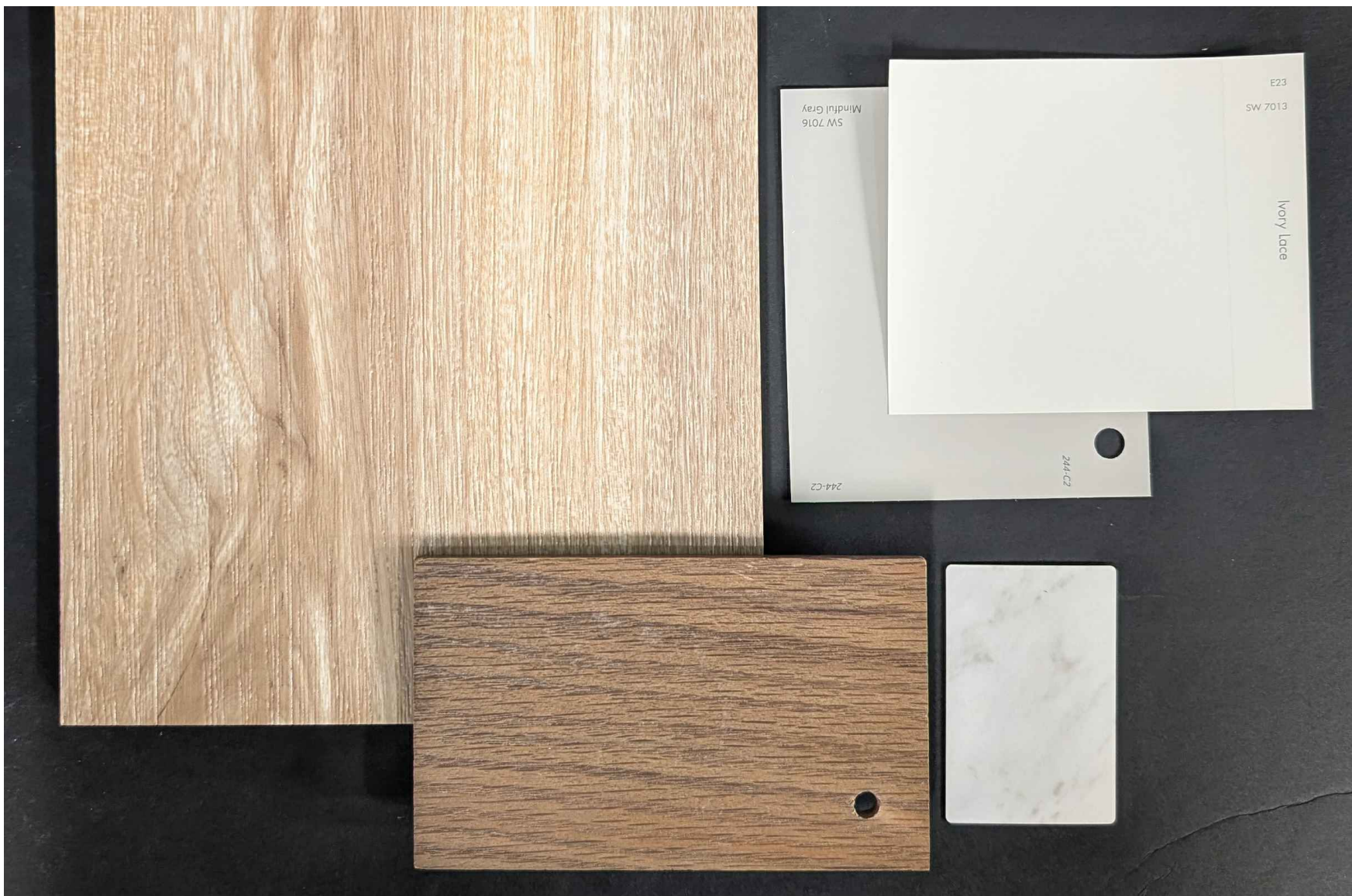
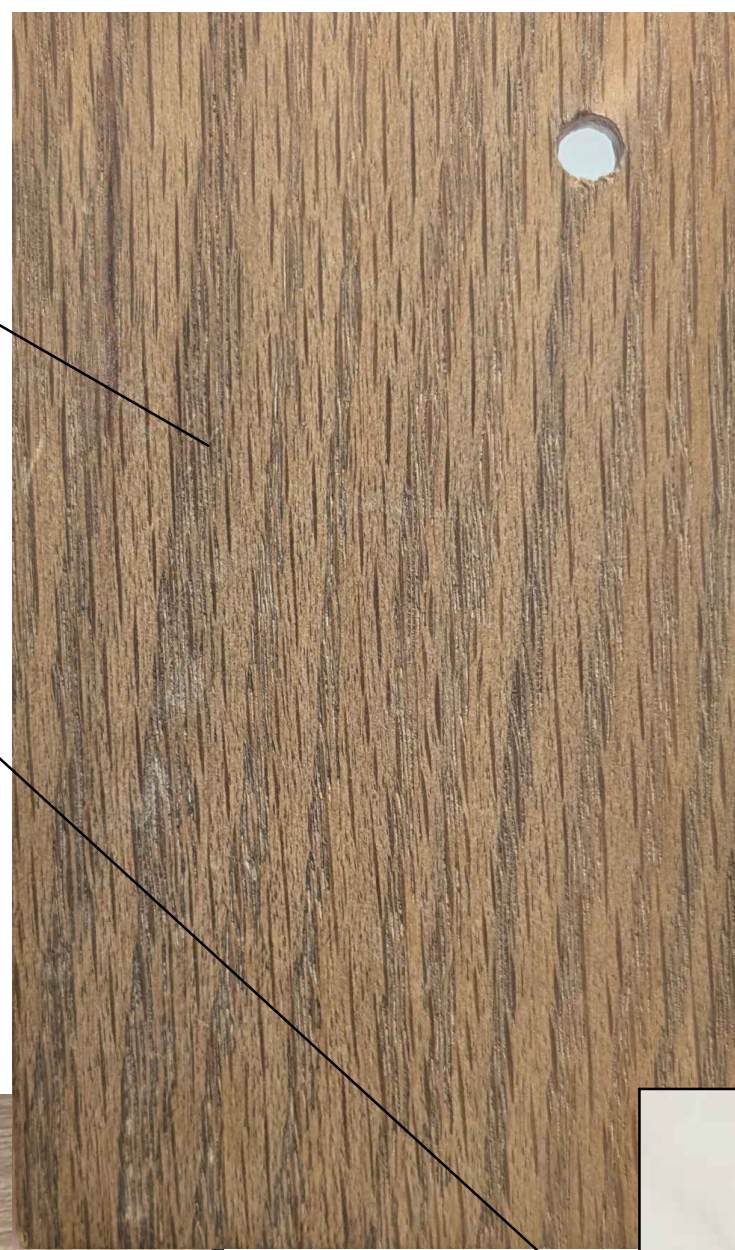


PHOTO OF THE CONTRAST COMPARISON BETWEEN MATERIALS/COLORS

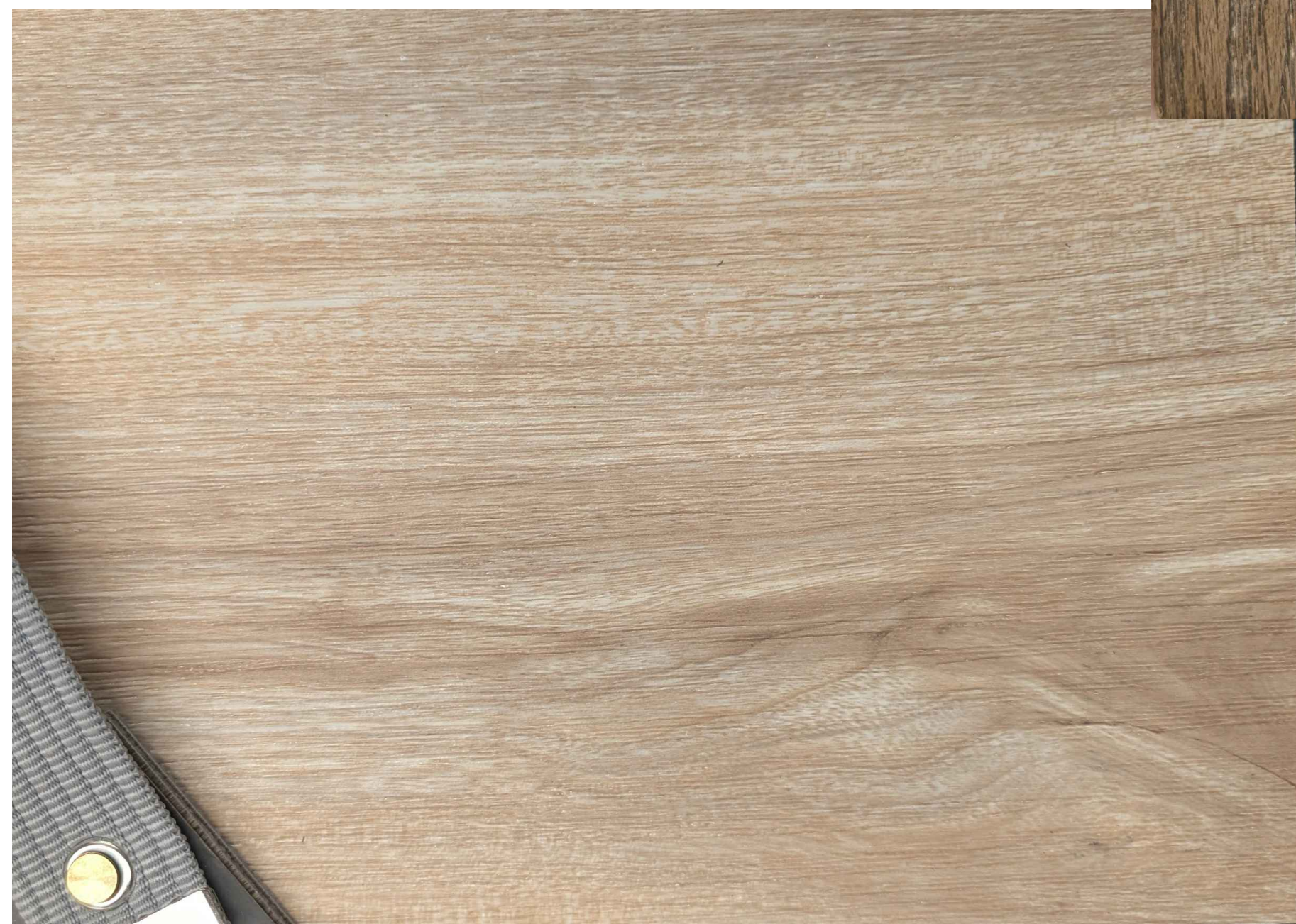


CABINETS: MID AMERICA, OAK STAIN: FRUITWOOD

COUNTERS: FORMICA ICE ONYX



ALL FIXTURES: BLACK FINISH



FLOORING – LVT (EARTHWERKS CHASSIS, BACKBONE)



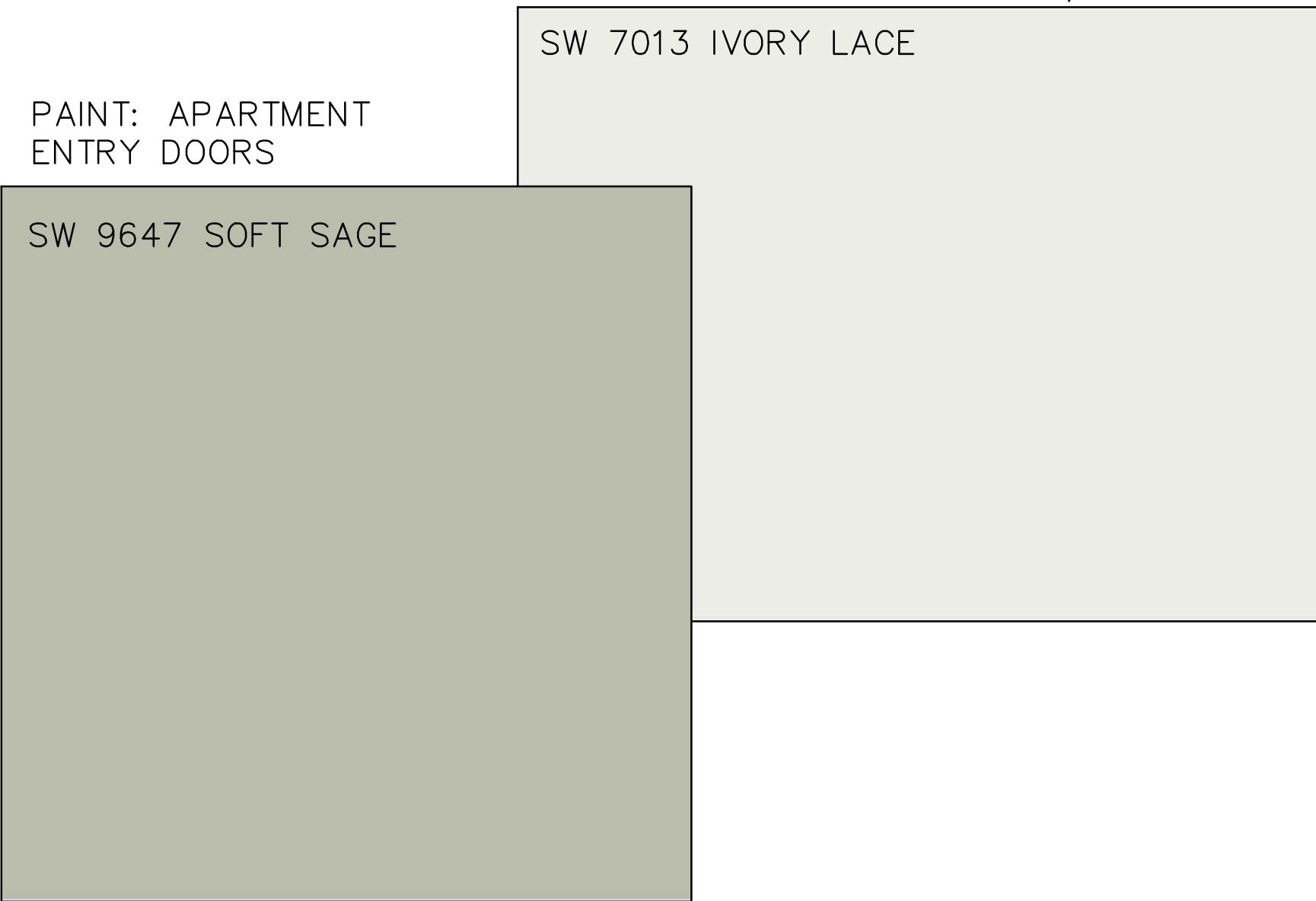
AMEROCK MONUMENT 5" CABINET PULL

PAINT: APARTMENT ENTRY DOORS

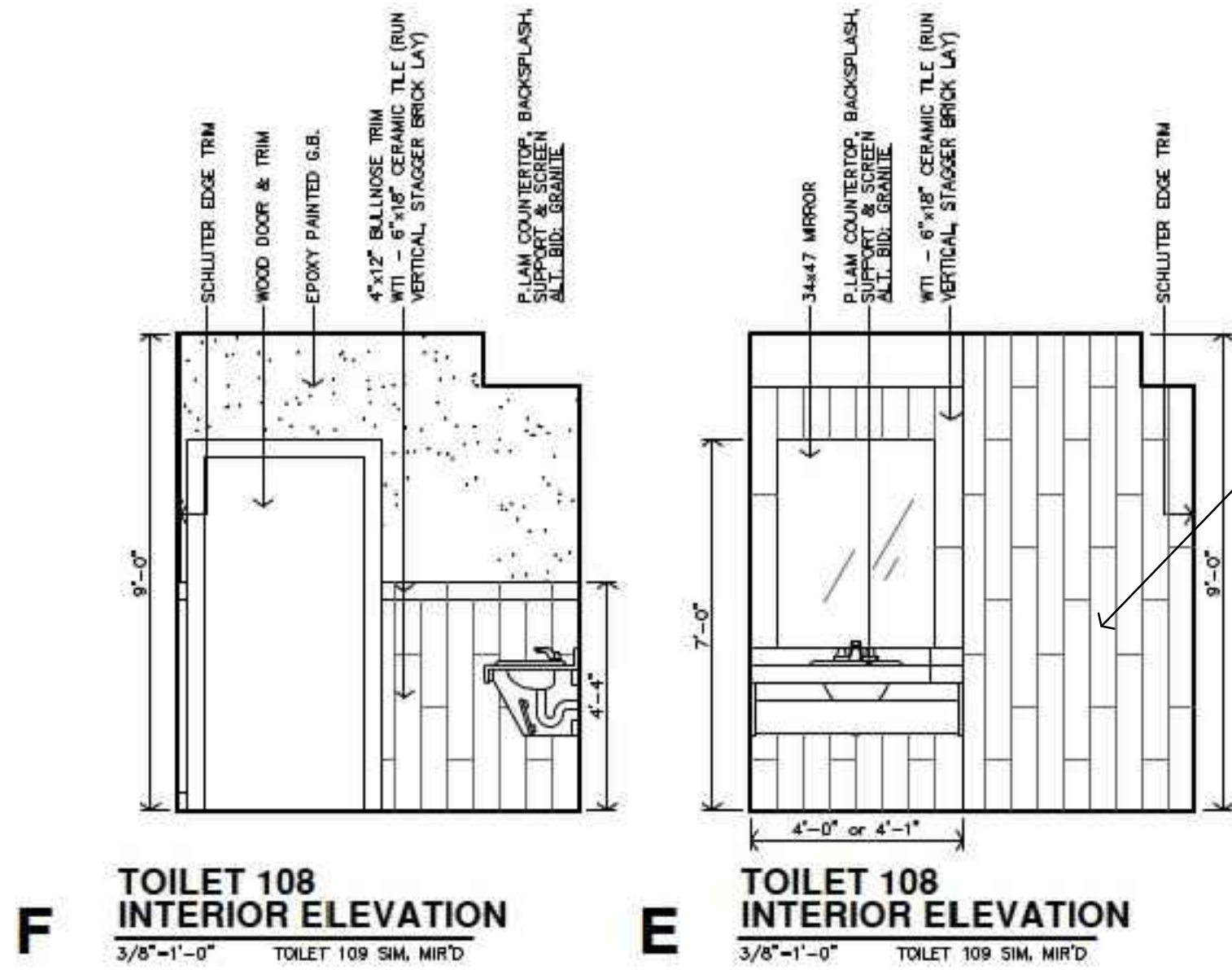
SW 9647 SOFT SAGE

PAINT: WALLS, CEILING & TRIM/MOLDING

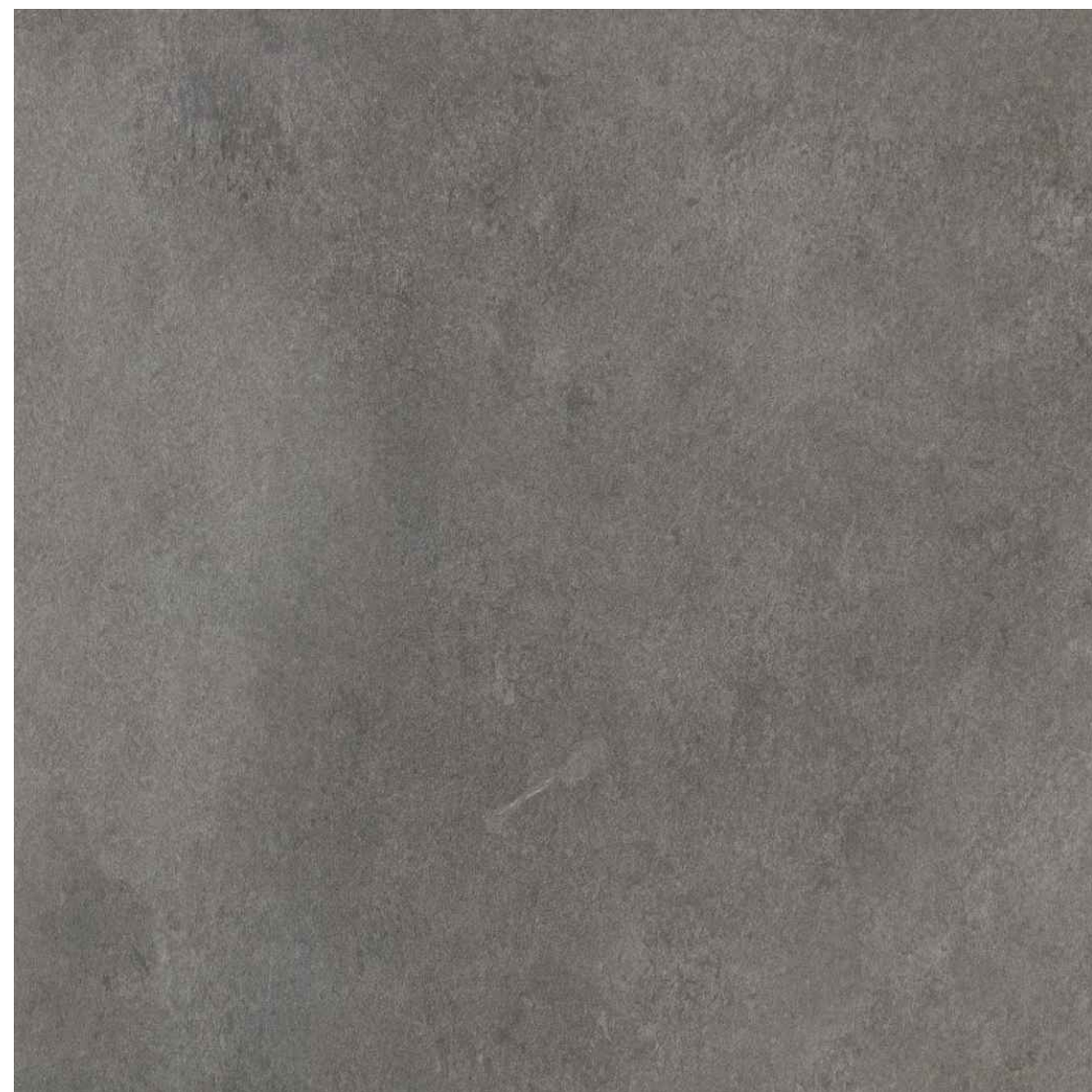
SW 7013 IVORY LACE



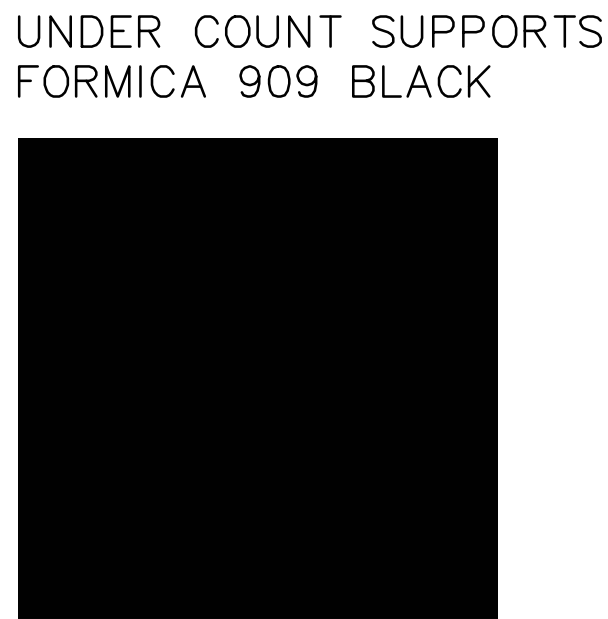
GREEN MEADOW INTERIOR SELECTIONS - COMMUNITY & PUBLIC SPACES



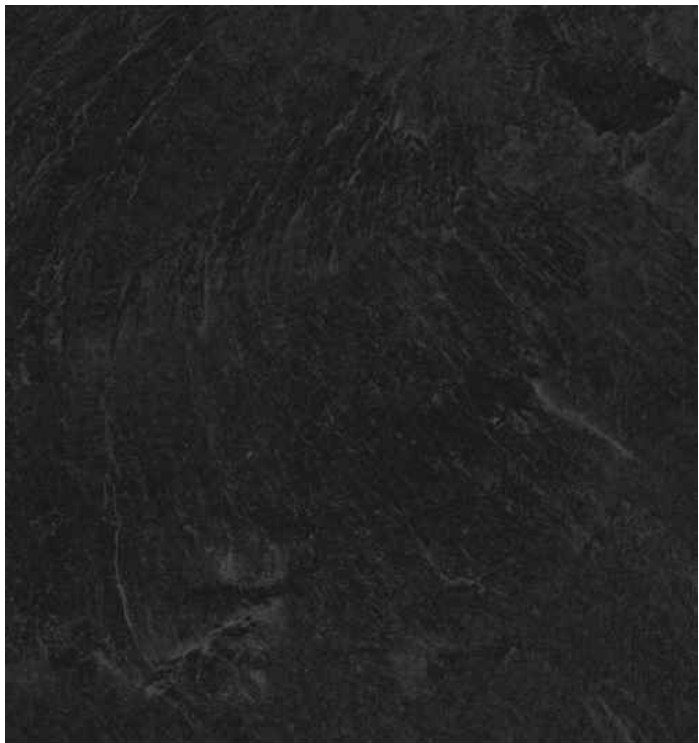
WALL TILE
DAL TILE, COLOR WHEEL LINEAR
WT1 - 6"x18" Arctic White 0190(1) Semi-Gloss
WT2 - 4"x12" Bullnose Arctic White 0190(1) Semi-Gloss



RESTROOMS, FLOORING
EMSER TILE, BROOK II, GRAPHITE, SIZE 12X24

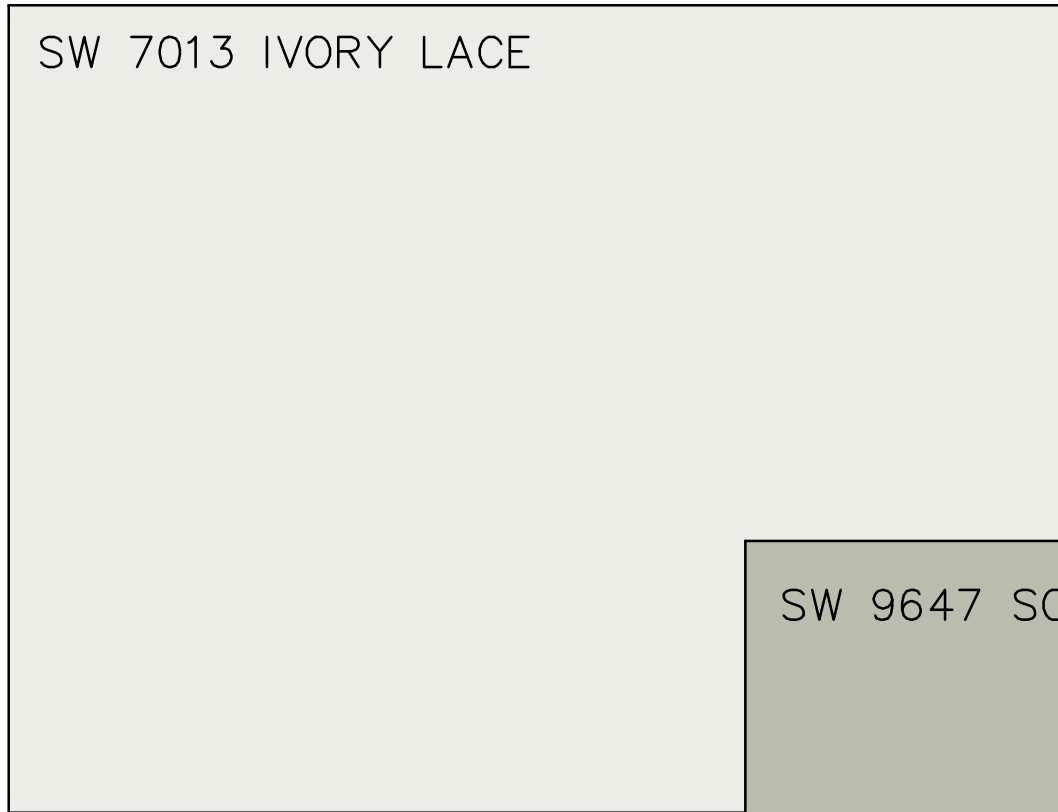


UNDER COUNT SUPPORTS
FORMICA 909 BLACK



Counters: Formica
Basalt Slate 3690

PAINT: WALLS, CEILING, DOORS &
TRIM/MOLDING



SW 7013 IVORY LACE



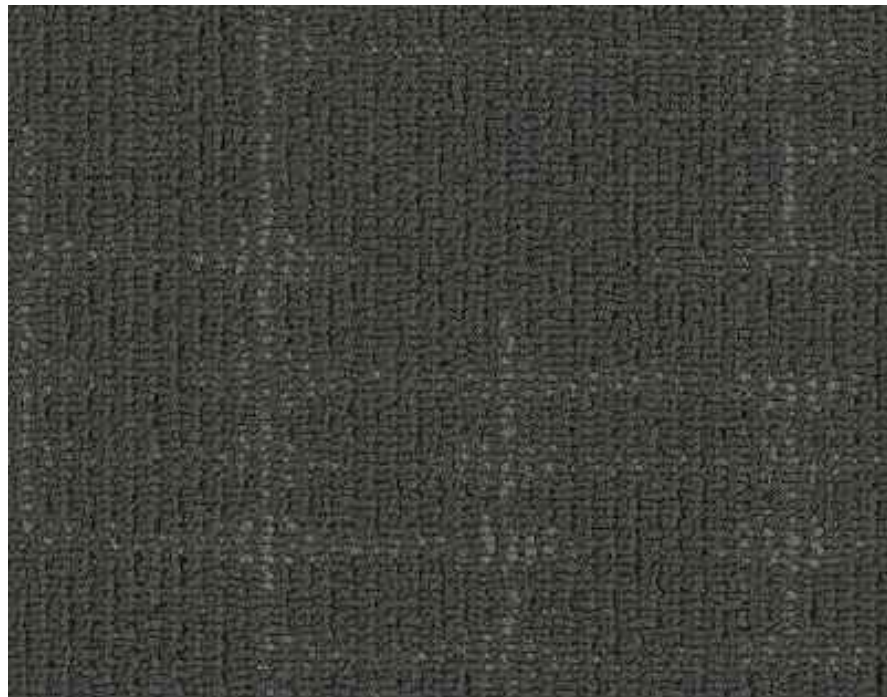
SW 9647 SOFT SAGE

PAINT: ACCENTS

MECHANICAL ROOMS
Tarkett VCT II
509 Pewter



STAIRS
J&J Invision Tempo, 1758 Finale



VANITY MIRROR
Kaydeigh Aluminum Dresser Mirror 30x36



VANITY LIGHT - Maxim Spec 30" Wide
Black Finish Modern LED Vanity Light



ALL FIXTURES: BLACK FINISH

FLOORING - LUXURY VINYL PLANK
COLOR 1: EARTHWERKS CHASSIS, SPITFIRE
COLOR 2: EARTHWERKS CHASSIS, BACKBONE

