



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	The Residence at Green Meadow New Senior Development San Angelo, TX	Report No.	Eight (8)
OWNER:	Overland Property Group Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	August 12, 2025
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	24-3395
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions:

1. Ceilings at S1 (floors 1 & 2) shall be dropped acoustical ceilings below gyp. board over resilient channels, attached directly to joists above. Finished ceiling should be kept as high as possible while accommodating fire sprinkler and pipe locations. References Sheets A6.2, A7.1 and A7.2
2. Ceiling at Storage Room 106 to be changed to a dropped acoustical lay-in ceiling. Reference Sheet A7.1
3. Ductwork routing modified for BC-1 serving community room and associated spaces. Reference Sheet M1.1
 - a. Return ductwork is routed in soffit through community room.
 - b. Supply and exhaust ductwork routed in soffit above mail kiosk and then up into attic
 - c. Outside air duct connection re-routed to avoid penetrating west fire-rated rated of Mech 108

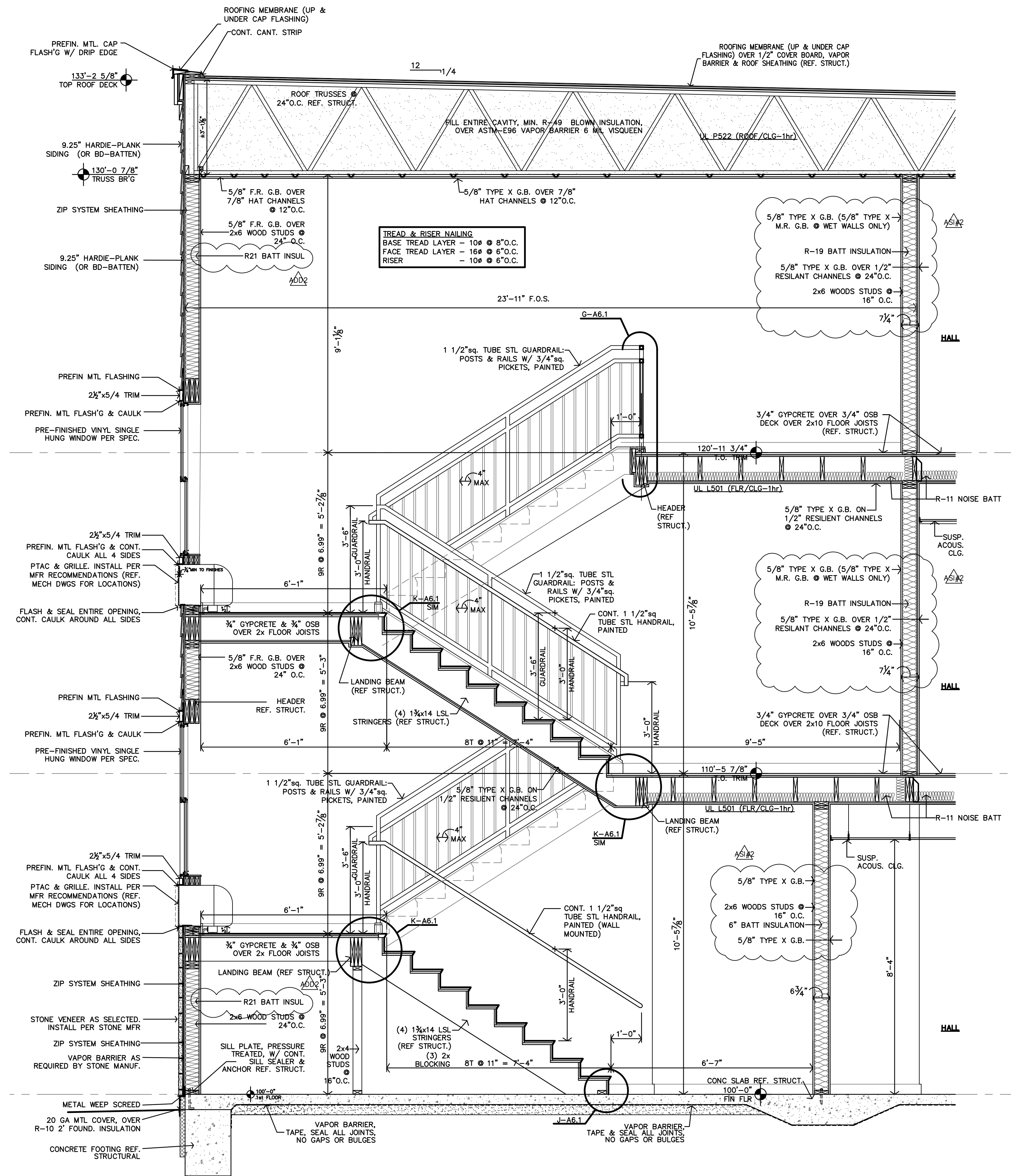
Attachments:

1. Revised Arch Sheets: A6.2, A7.1, A7.2
2. Revised MEP Sheets: M1.1

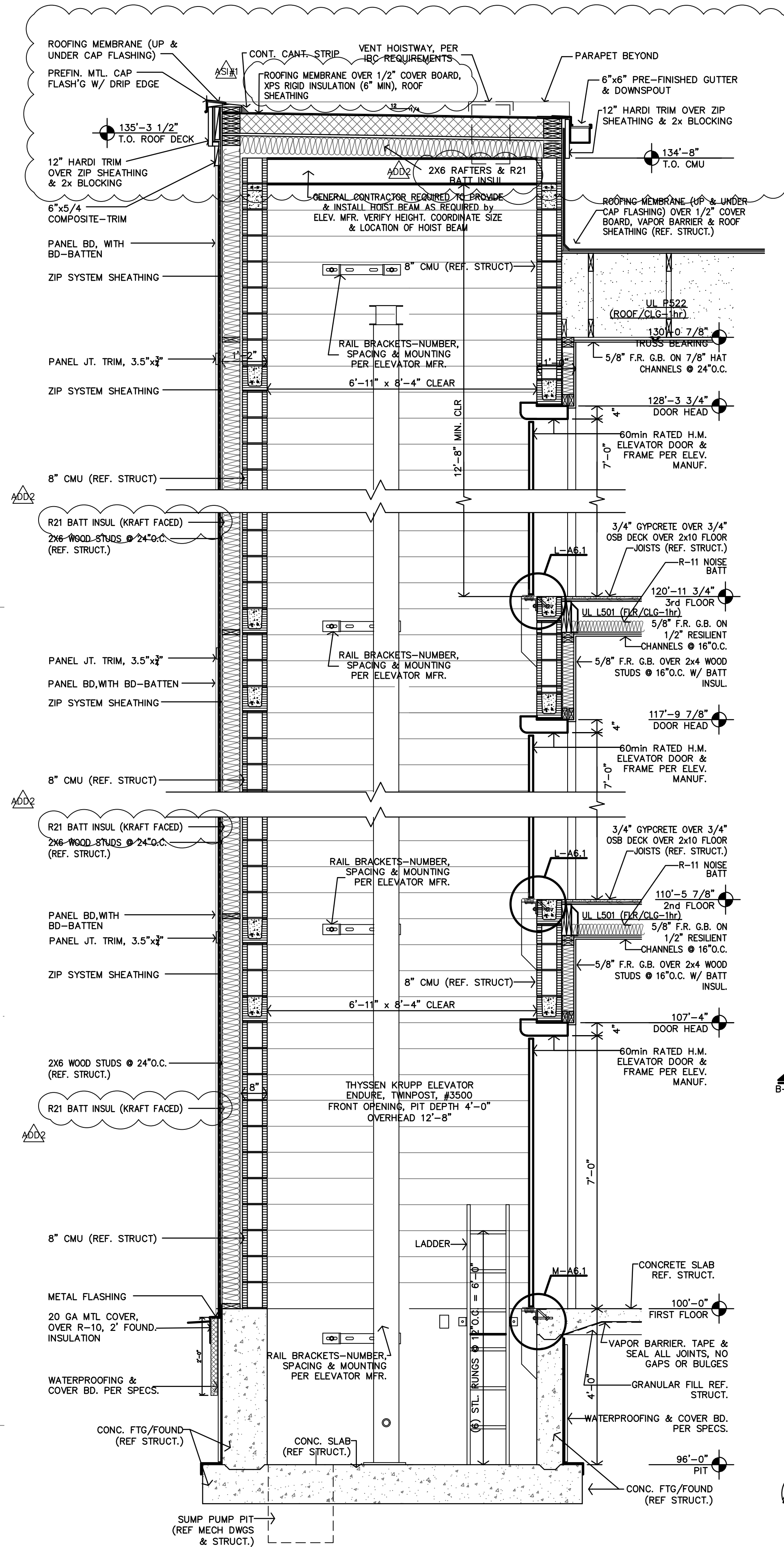
Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Maggie Gillam, Project Manager 785-827-0386 mgillam@jgrarchitects.com

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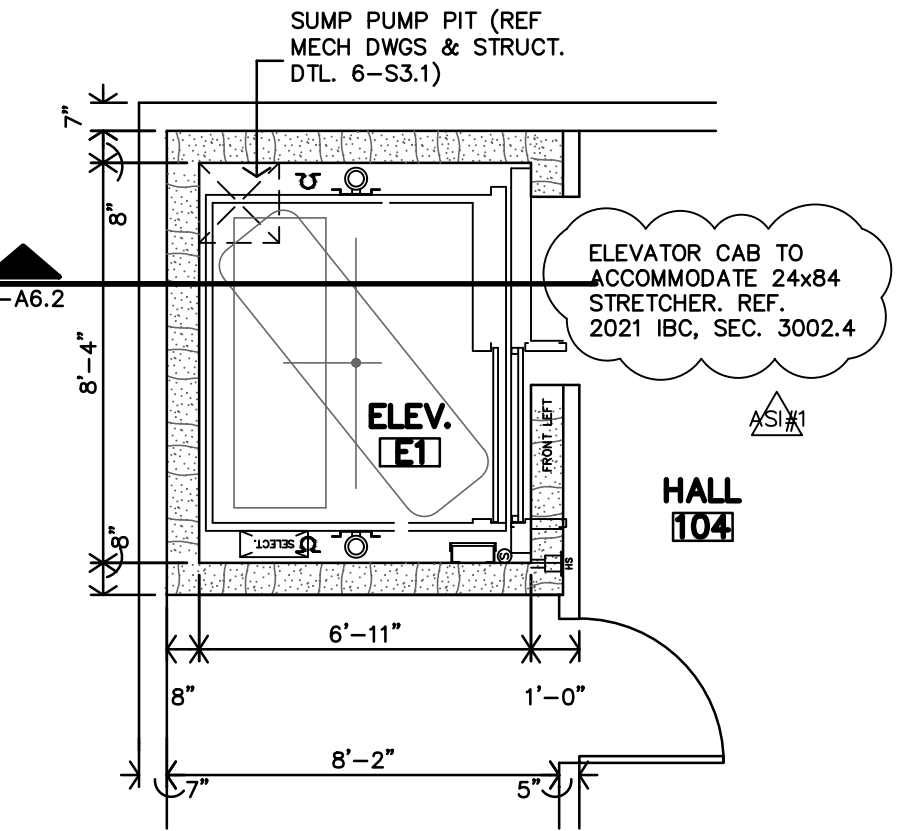
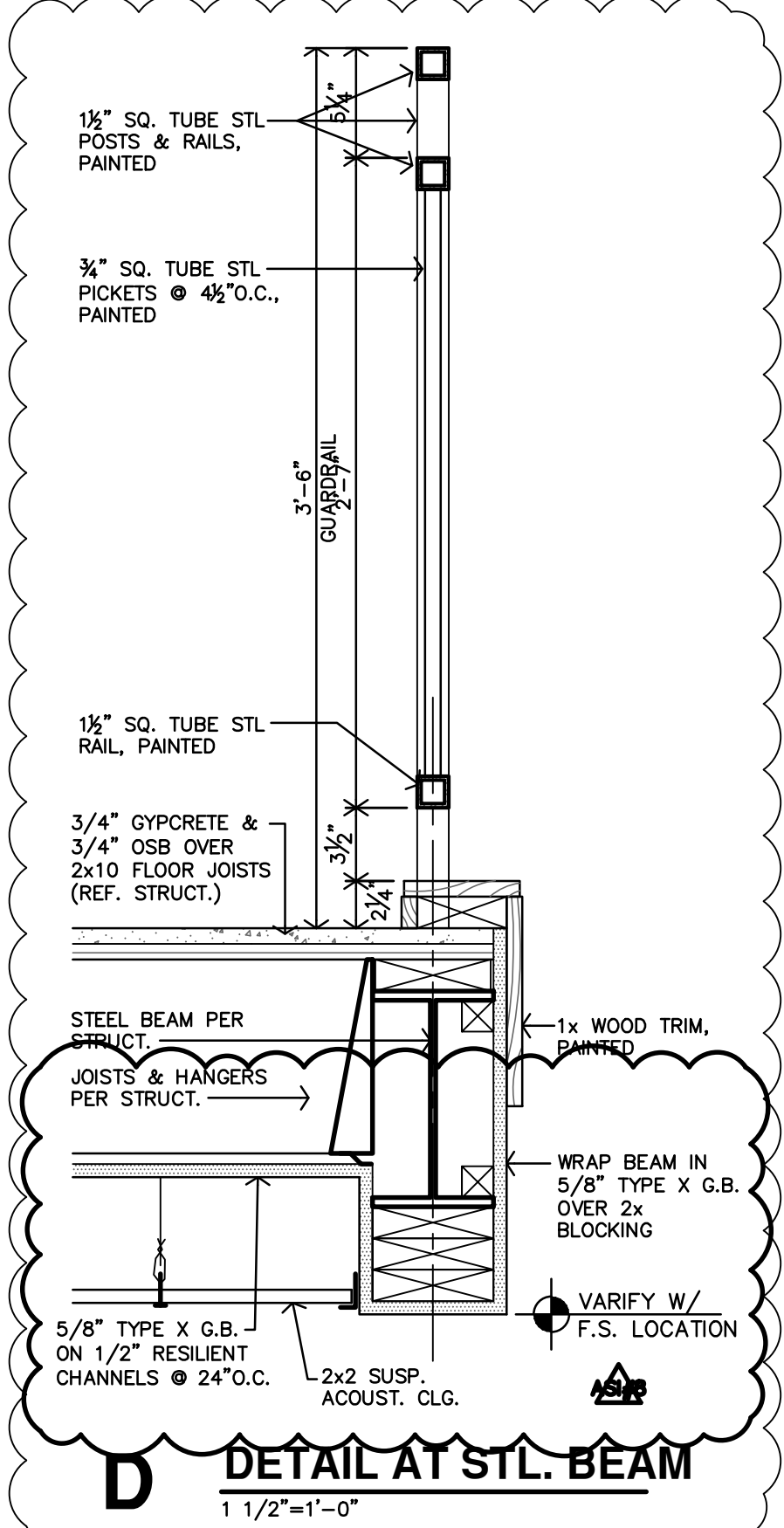
MCP Group – Eric Hubener, Bruce Melius
OPG – Dan Maximuk, Amanda Klaus, April Engstrom, Caroline Hurst
LST – Ryan Lies
Structural – Isaac Cundiff, Marcus Himmelberg
Civil – Sam Malinowsky



C STAIR S2 SECTION
1/2"=1'-0"



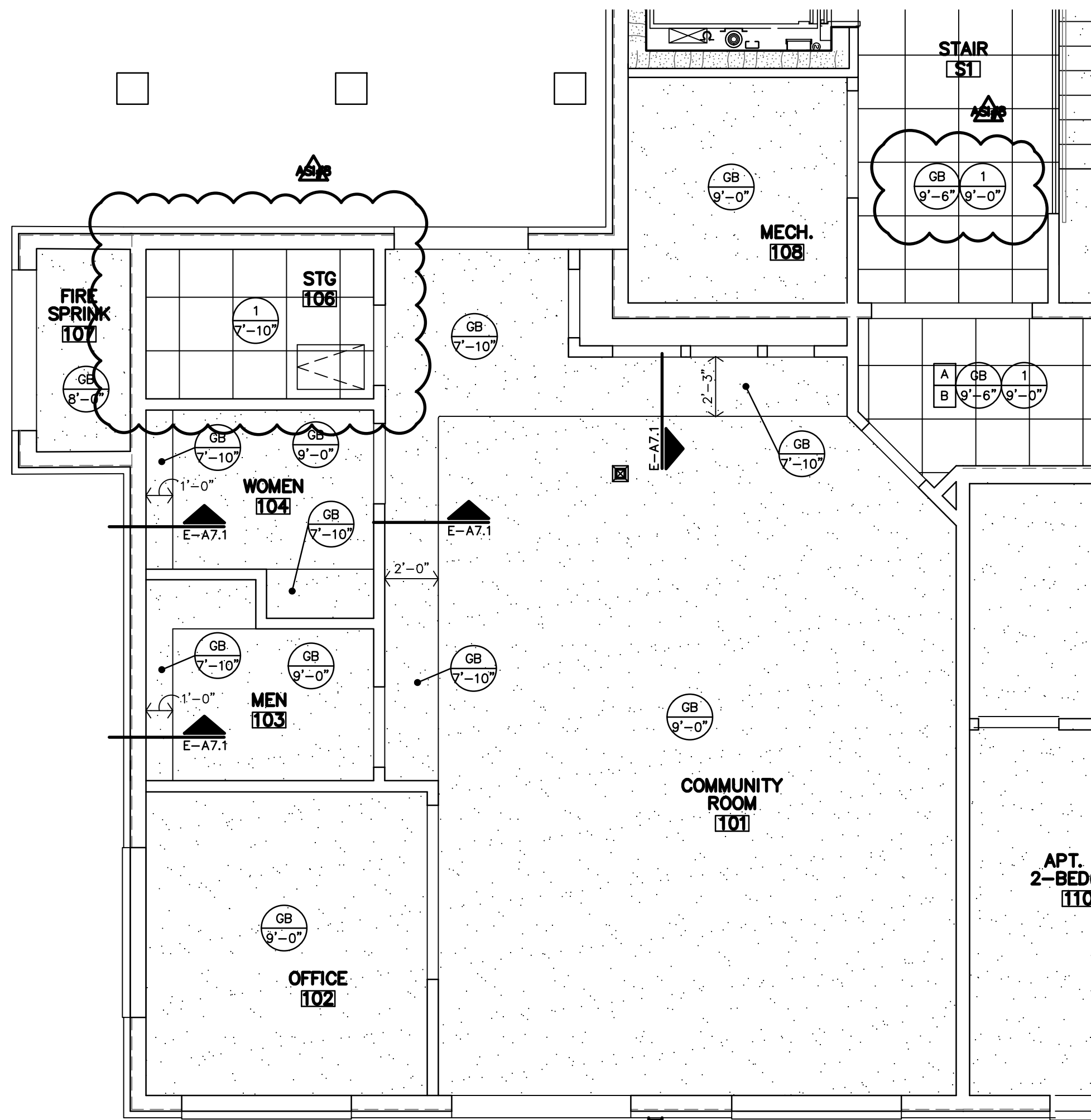
B ELEVATOR SECTION
1/2"=1'-0"



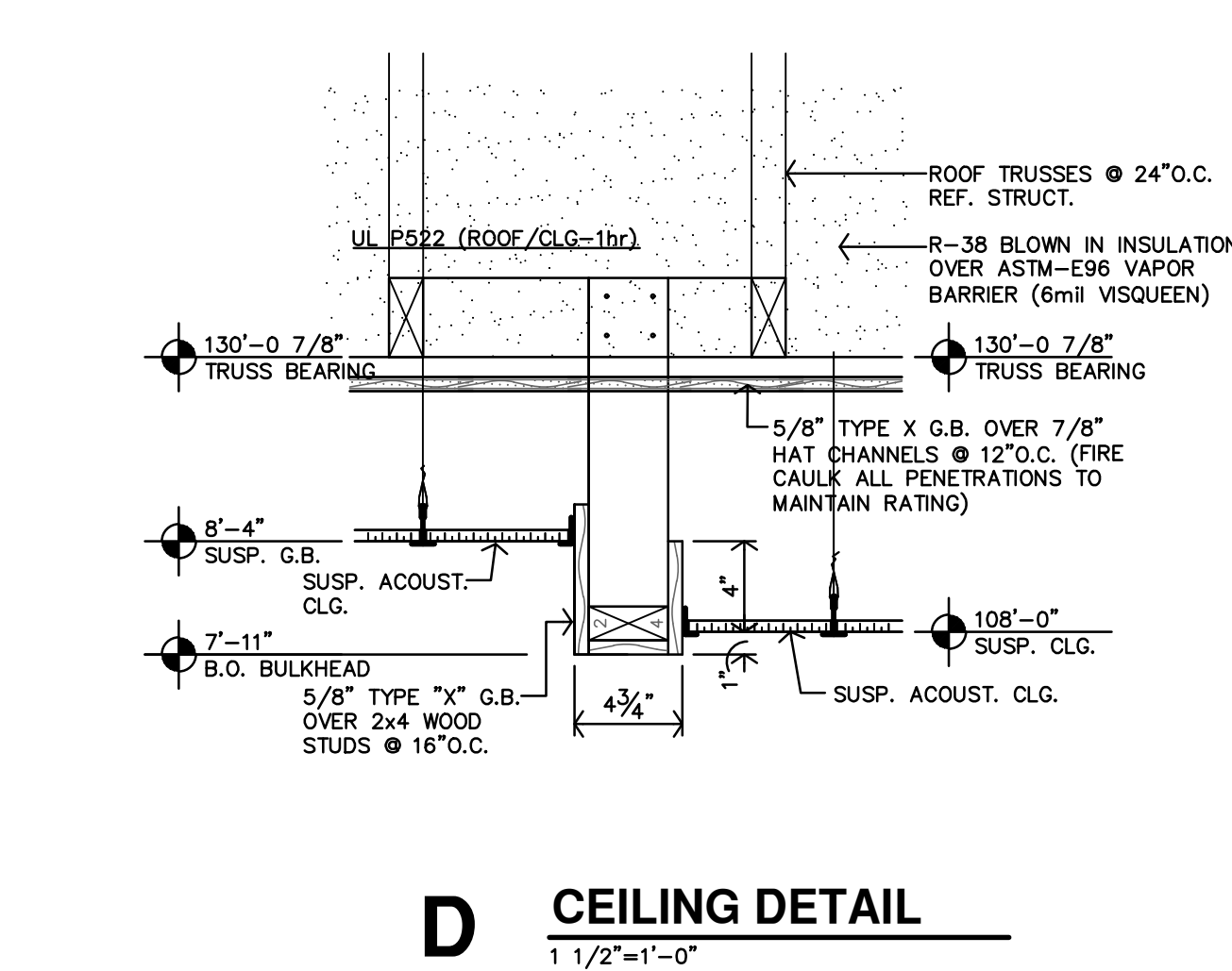
HYDRAULIC ELEVATOR CONTRACT DATA	
TYPE: Standard Hydraulic Elevator	CAPACITY: 550
SPEED: 50 FPM (15.24 MPM) DOWN MAX	
OPERATION: Standard	
DOOR TYPE: Swing Door - Left Hand	
PLATFORM: 24x84	
ENTRANCE CAR: 24x84	
BETWEEN PIT FLOOR & CAR FLOOR ON COMPRESSED RAIL: 2.3 1/2"	

ELEVATOR
1st, 2nd & 3rd FLOORS
1/4"=1'-0"

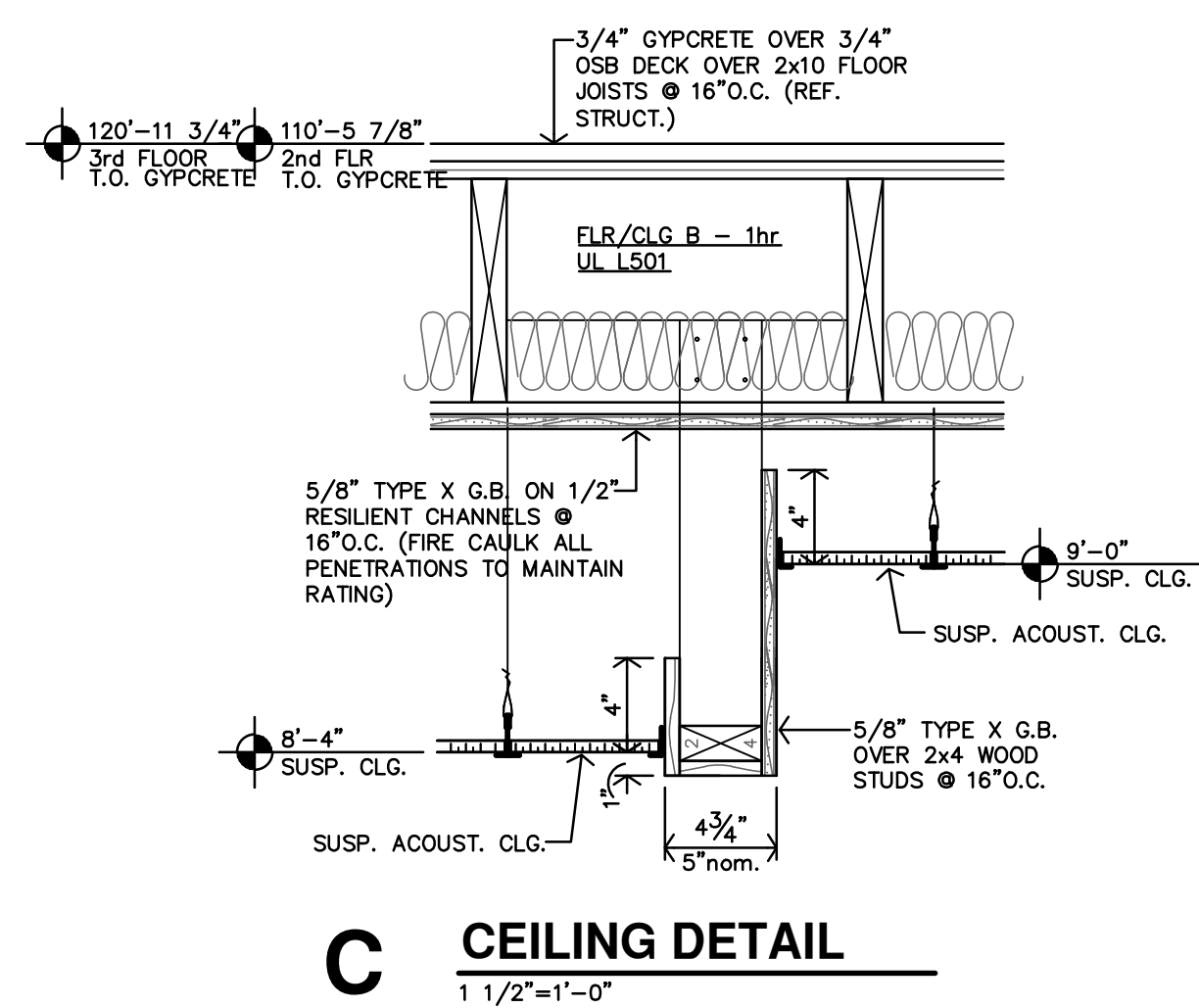
PREVIOUS REVISIONS:	
A6.1	11-27-2024
A6.2	12-6-2024
A6.3	12-18-2024



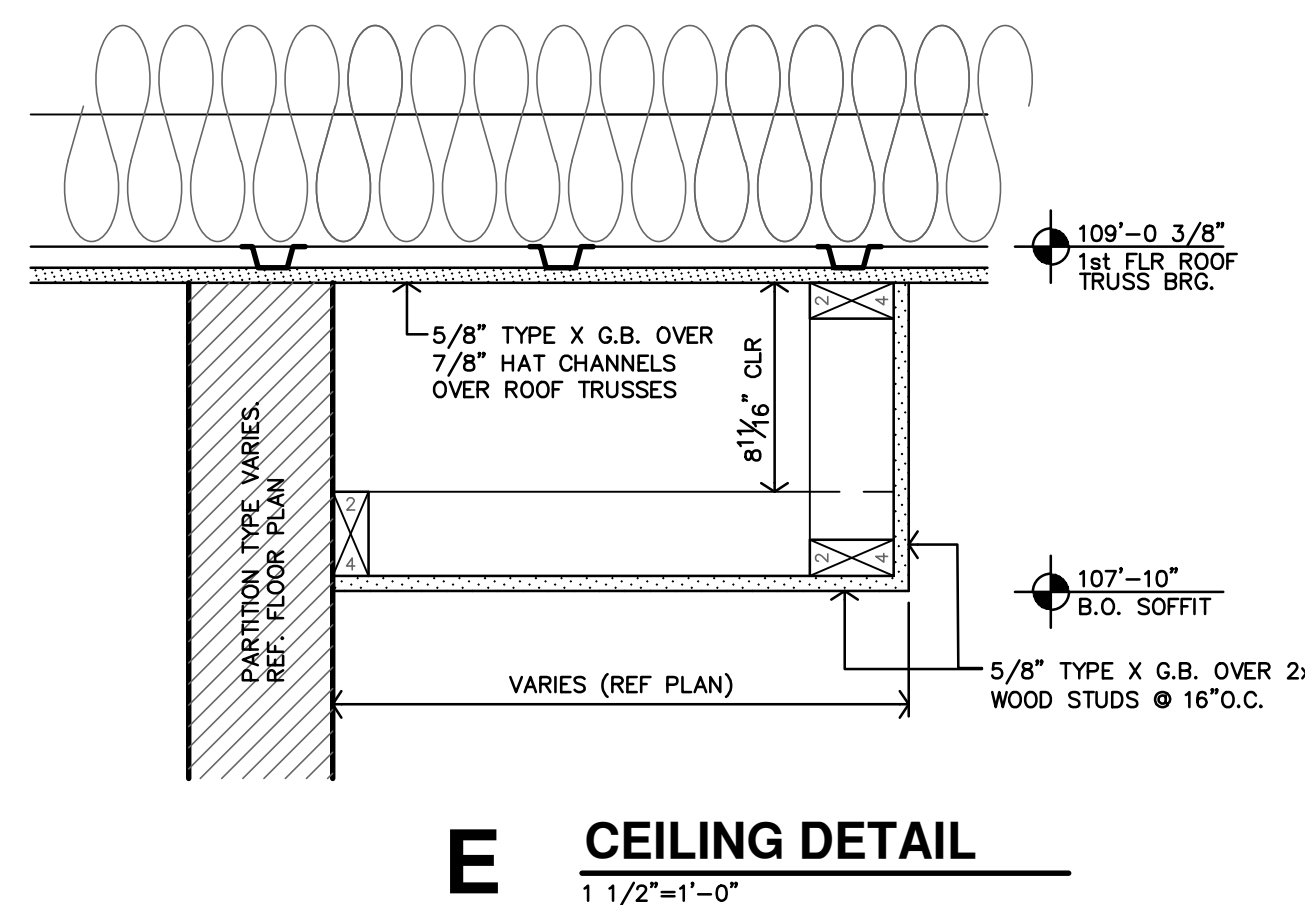
B REFLECTED CLG ENLARGED COMMUNITY ROOM
1/4" = 1'-0"



D CEILING DETAIL
1 1/2" = 1'-0"



C CEILING DETAIL
1 1/2" = 1'-0"



E CEILING DETAIL
1 1/2" = 1'-0"

REFLECTED CEILING PLAN NOTES

- CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.
- MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.
- CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.
- WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.

- NON-RATED WALLS
 - EXTEND TO BOTTOM OF FLOOR TRUSSES
 - 1 HOUR LOAD BEARING WALLS
 - EXTEND TO DECK
- 1/2 HOUR FIRE PARTITION; CORRIDOR
- 1 HOUR CONSTRUCTION; SHAFT WALLS
- 1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS

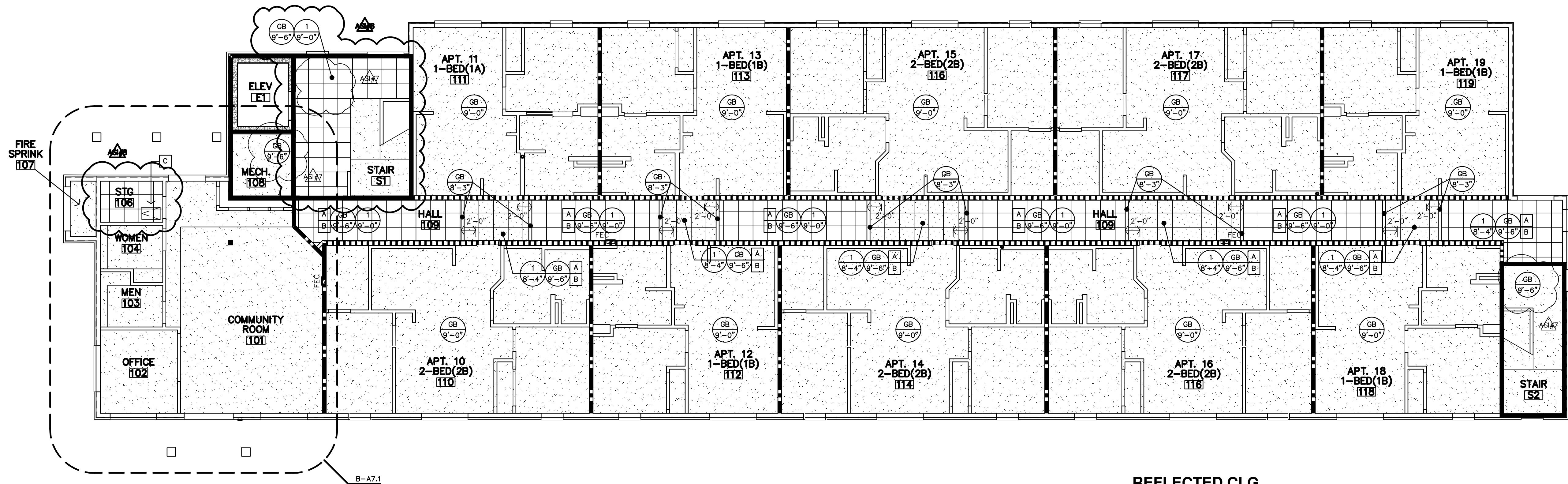
SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.

KEY NOTES

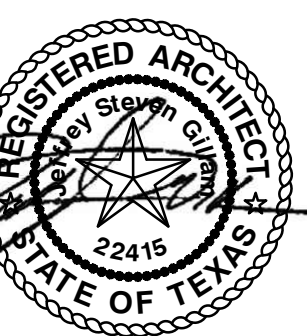
- A** FIRE RATED G.B. CEILING AT BOT. OF FRAMING TO BE CONTINUOUS
- B** VALVES TO INSTALLED ABOVE SUSPENDED CEILING
- C** ATTIC ACCESS. MIN. 20"x30". COORDINATE LOCATION WITH ROOF TRUSSES. REF. DTL. D-A4.4
- D** ROOF HATCH AND LADDER, PER SPEC. COORDINATE LOCATION WITH ROOF TRUSSES.

CEILING TYPES

- 1 2x2 NON-RATED
- 2 2x2 NON-RATED, WASHABLE
- ST EXPOSED STRUCTURE
- GB GYP BD (PAINTED)
- 1 CLG. TYPE
- 8'-8" CLG. HEIGHT



A REFLECTED CLG FIRST FLOOR PLAN
1/8" = 1'-0" 10,116 SF



REVISION:
7-9-2025
8-8-2025

DATE: 11-22-2024
JOB: 24-3395
SHEET NO.:

REFLECTED CEILING PLAN NOTES

- CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.
- MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.
- CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.
- WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.

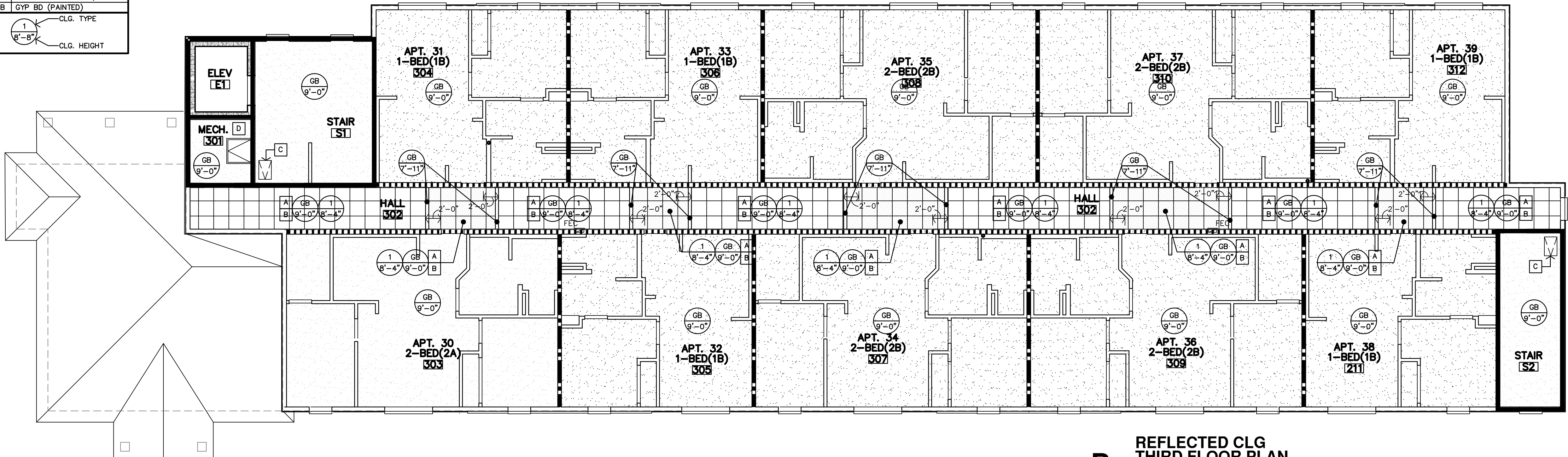
- NON-RATED WALLS
— EXTEND TO BOTTOM OF FLOOR TRUSSES
1 HOUR LOAD BEARING WALLS
— EXTEND TO DECK
- 1/2 HOUR FIRE PARTITION; CORRIDOR
- 1 HOUR CONSTRUCTION; SHAFT WALLS
- 1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS

SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.

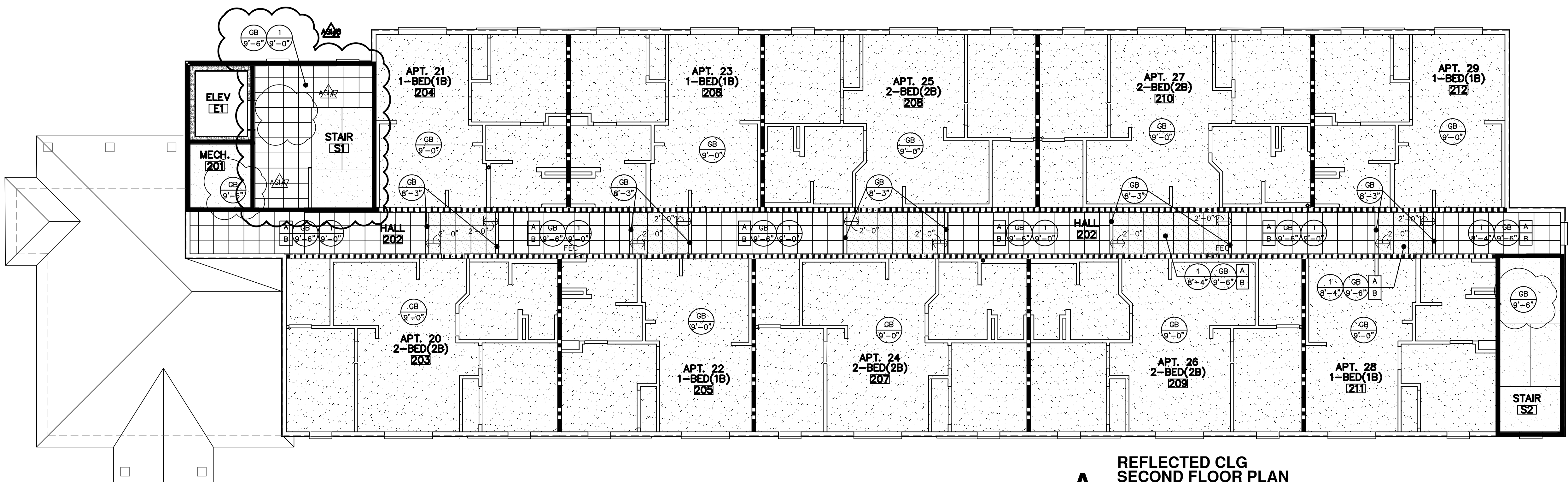
KEY NOTES

- A FIRE RATED G.B. CEILING AT BOT. OF FRAMING TO BE CONTINUOUS
- B VALVES TO INSTALLED ABOVE SUSPENDED CEILING
- C ATTIC ACCESS, MIN. 20"x30". COORDINATE LOCATION WITH ROOF TRUSSES. REF. DTL. D-A4.4
- D ROOF HATCH AND LADDER, PER SPEC. COORDINATE LOCATION WITH ROOF TRUSSES.

CEILING TYPES	
REFER SPECIFICATIONS	
1	2x2 NON-RATED
2	2x2 NON-RATED, WASHABLE
ST	EXPOSED STRUCTURE
GB	GYP BD (PAINTED)
1	CLG. TYPE
8'-8"	CLG. HEIGHT



B REFLECTED CLG
THIRD FLOOR PLAN
1/8" = 1'-0" 9,207 SF

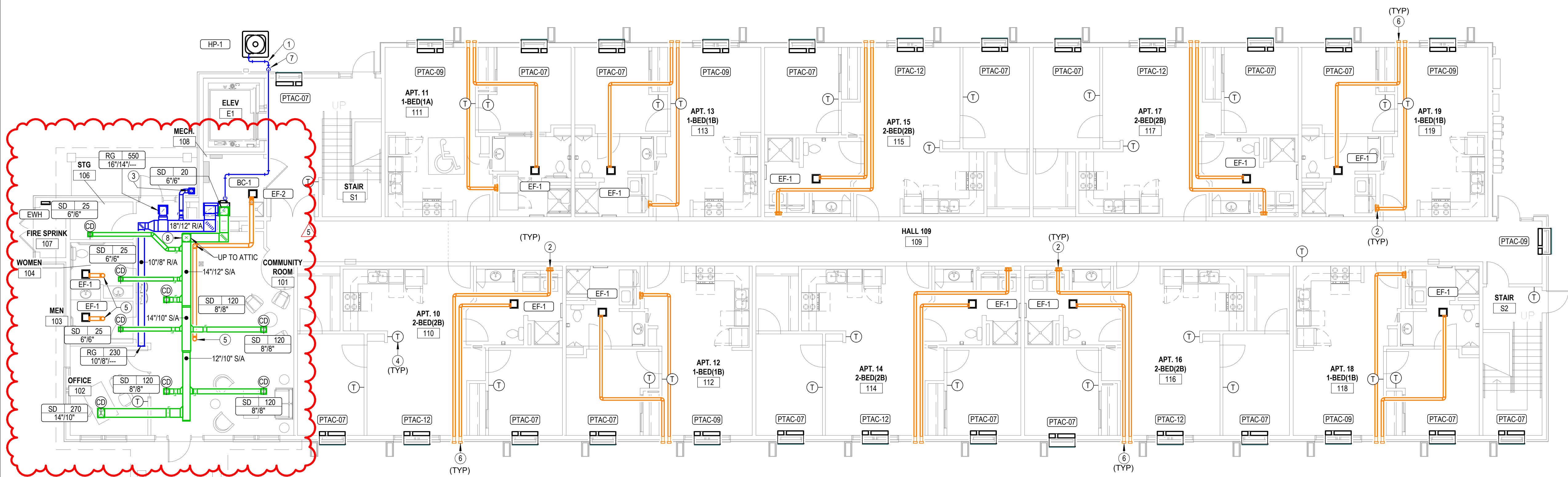


A REFLECTED CLG
SECOND FLOOR PLAN
1/8" = 1'-0" 9,207 SF

PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF 2021 IECC

NOTES BY SYMBOL

- 1 MOUNT HEAT PUMP ON LEVEL 3-1/2" THICK CONCRETE PAD. COORDINATE WITH G.C.
- 2 PROVIDE UL LISTED DRYER BOX EQUAL TO IN-O-VATE TECHNOLOGIES IN WALL INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND ROUTE 4"Ø DRYER EXHAUST DUCT TO WALL CAP WITH BACKDRAFT DAMPER. MAXIMUM ALLOWABLE EQUIVALENT DUCT LENGTH = 35'. UTILIZE LONG RADIUS SMOOTH ELBOWS WHERE REQUIRED. MAXIMUM EQUIVALENT DUCT LENGTH MAY BE INCREASE WHERE DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS ALLOW, AND DOCUMENTATION IS PROVIDED TO CODE OFFICIAL PRIOR TO CONCEALMENT INSPECTION. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED. PROVIDE PERMANENT LABEL IDENTIFYING EQUIVALENT LENGTH OF DRYER DUCT INSTALLED PER IMC 504. NOTE: ANNULAR SPACE AROUND DUCT IS TO BE SEALED AT ALL PENETRATIONS OF FLOORS AND CEILINGS WITH U.L. LISTED FIRE STOPPING SYSTEM.
- 3 ROUTE 6" DIAMETER OUTDOOR AIR DUCT TO SOFFIT VENT WITH BIRDSCREEN, AND BALANCE OUTDOOR AIR TO 85 CFM.
- 4 PROVIDE WALL MOUNTED THERMOSTAT FOR EACH PTAC IN APARTMENTS. COORDINATE FINAL LOCATION WITH OWNER.
- 5 ROUTE 4"Ø EXHAUST DUCT TO MANUFACTURER'S ROOF JACK WITH BACKDRAFT DAMPER AND BIRD SCREEN, COORDINATE ROUTING WITH STRUCTURE.
- 6 ROUTE 4"Ø EXHAUST DUCT TO MANUFACTURER'S WALL CAP WITH BACKDRAFT DAMPER, COORDINATE ROUTING WITH STRUCTURE.
- 7 ROUTE REFRIGERANT PIPING FROM BLOWER COIL TO HEAT PUMP. CONCEAL PIPING IN WALLS AND ABOVE CEILING. UTILIZE WALL PENETRATION ASSEMBLY EQUAL TO RATED PENETRATION.
- 8 PROVIDE CEILING RADIATION DAMPER WHERE SUPPLY AIR DUCTWORK PENETRATES RATED CEILING ASSEMBLY.



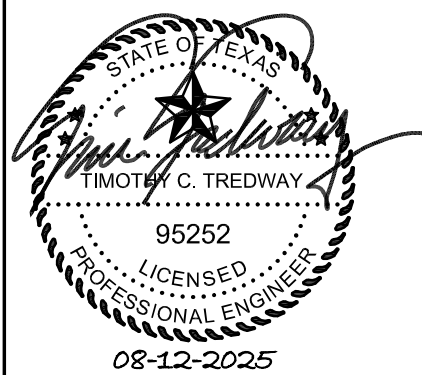
1 FIRST FLOOR HVAC PLAN
M1.1 1/8" = 1'-0"

RESIDENCE AT GREEN MEADOW

NEW SENIOR LIVING FACILITY

TEXAS

SAN ANGELO, TEXAS



REVISIONS:		
1	Addendum #1	2024-11-27
5	ASI #8	2025-08-12

DATE: 11/22/2024
JOB: 24-3395
SHEET NO.:

M1.1

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