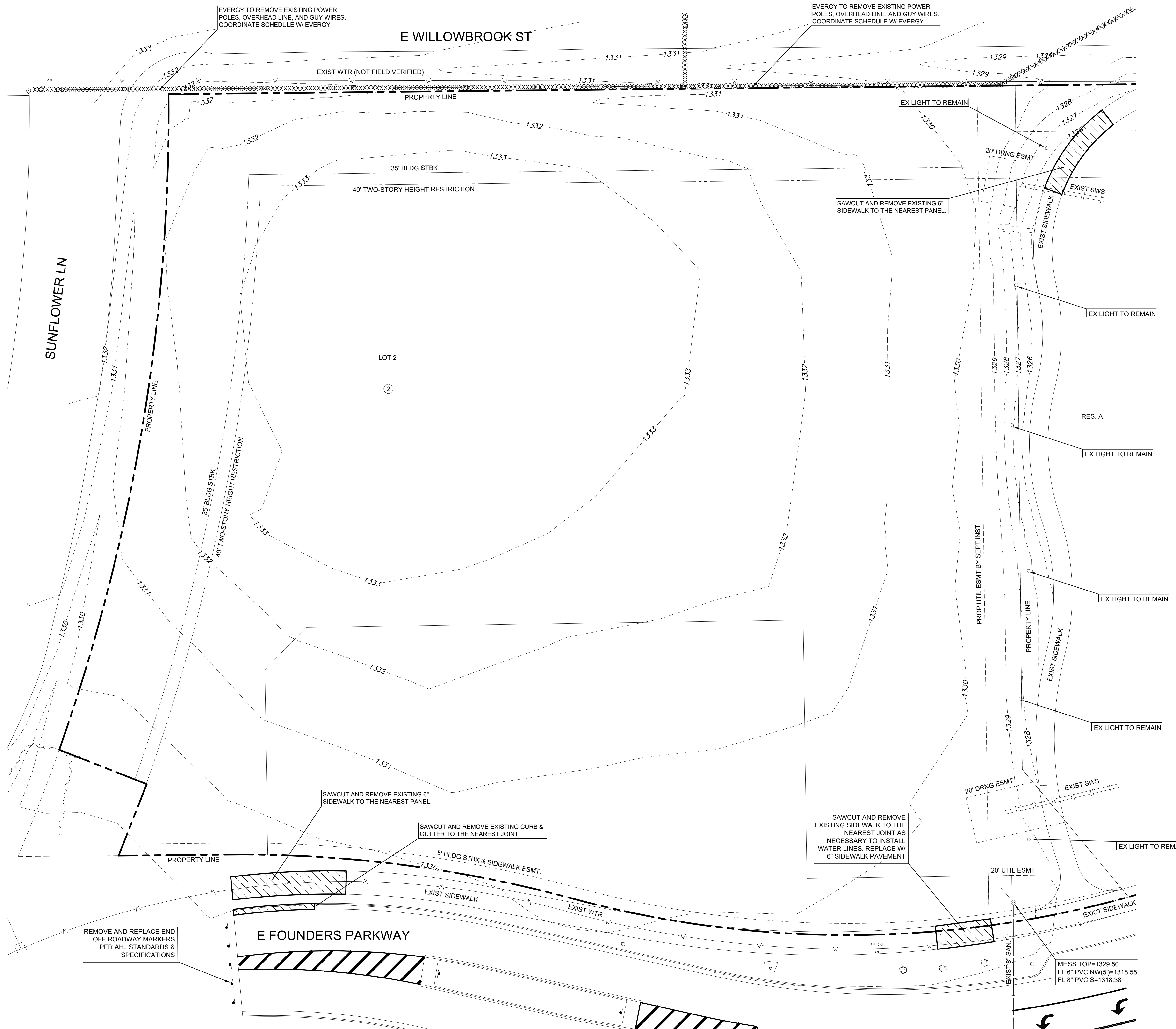


PLANNED BY: PUSTIN, GUMANN, & ASSOCIATES, L.P.A.  
 DWG DATE: 11/11/2025  
 DWG NAME: C:\PROJECTS\2025\2401010891\2401010891\_01.dwg  
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**NOTES**

1. PRIOR TO DEMOLITION ACTIVITIES, CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES OR IF THE EXISTING CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS.
2. ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF PER LOCAL AND STATE REQUIREMENTS.
3. CONTRACTOR TO COORDINATE WITH FRANCHISE UTILITY PROVIDERS FOR REMOVAL/RELOCATION OF EXISTING SERVICES.
4. REF: ELECTRICAL SITE PLAN - DEMO FOR ALL ELECTRICAL DEMOLITION ITEMS.
5. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR AND REPLACE EXISTING CONCRETE SIDEWALK, CURB, AND ANY EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION.
6. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY PRIOR TO THE START OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, RIGHT-OF-WAY, HAULING AND LAND DISTURBANCE PERMITS WITH THE APPROPRIATE LOCAL JURISDICTION.
7. TREE REMOVAL TO INCLUDE THE REMOVAL AND BACKFILL OF THE ROOT BALL. LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.

**LEGEND**

|  |   |
|--|---|
|  | EXISTING SANITARY SEWER                   |
|  | EXISTING WATER LINE                       |
|  | EXISTING STORM SEWER                      |
|  | EXISTING UNDERGROUND ELECTRIC             |
|  | EXISTING OVERHEAD ELECTRIC                |
|  | EXISTING GAS LINE                         |
|  | EXISTING FIBER OPTIC CABLE                |
|  | EXISTING UNDERGROUND TELEPHONE            |
|  | EXISTING TV LINE                          |
|  | EXISTING LIGHT POLE                       |
|  | EXISTING GRADES                           |
|  | UTILITY REMOVAL / ABANDONMENT (BY OTHERS) |
|  | SIDEWALK, CURB & GUTTER REMOVAL           |

**CONTROL POINTS**

**DATUM:**  
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 ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 VERTICAL DATUM.

**CONTROL POINTS (GND):**  
 CP110  
 N: 1685568.193 E: 1708413.190 EL: 1332.085  
 5/8" REBAR WITH ALLUM MKEC CONTROL POINT CAP

CP113  
 N: 1688310.274 E: 1709956.071 EL: 1338.36  
 \*+ CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO WEST APPROXIMATELY 600FT SOUTH OF DOUGLAS AND YORKTOWN

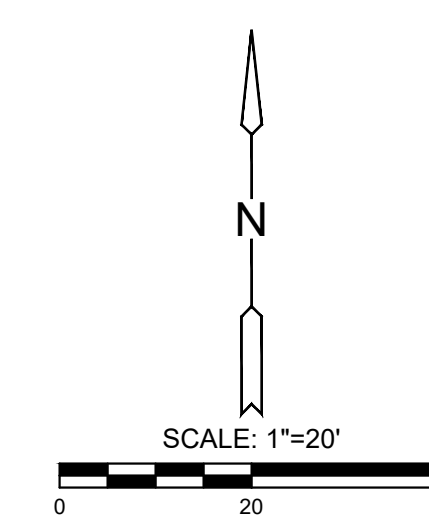
CP114  
 N: 1686682.077 E: 1709988.168 EL: 1332.09  
 \*+ CUT ON NW CORNER OF INLET ON WEST SIDE OF YORKTOWN APPROXIMATELY 250FT SOUTH OF DOUGLAS AND YORKTOWN

CP115  
 N: 1685088.627 E: 1709991.875 EL: 1332.97  
 \*+ CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO FOUNDERS PKWY AND YORKTOWN

**BENCHMARKS:**  
 CP110  
 N: 1685568.193 E: 1708413.190 EL: 1332.085  
 5/8" REBAR WITH ALLUM MKEC CONTROL POINT CAP

**NOTE:**  
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 785.827.0386 jgr@jgrarchitects.com



**THE RESIDENCE AT HERITAGE WEST**  
 ANDOVER, KANSAS  
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 REVISION:

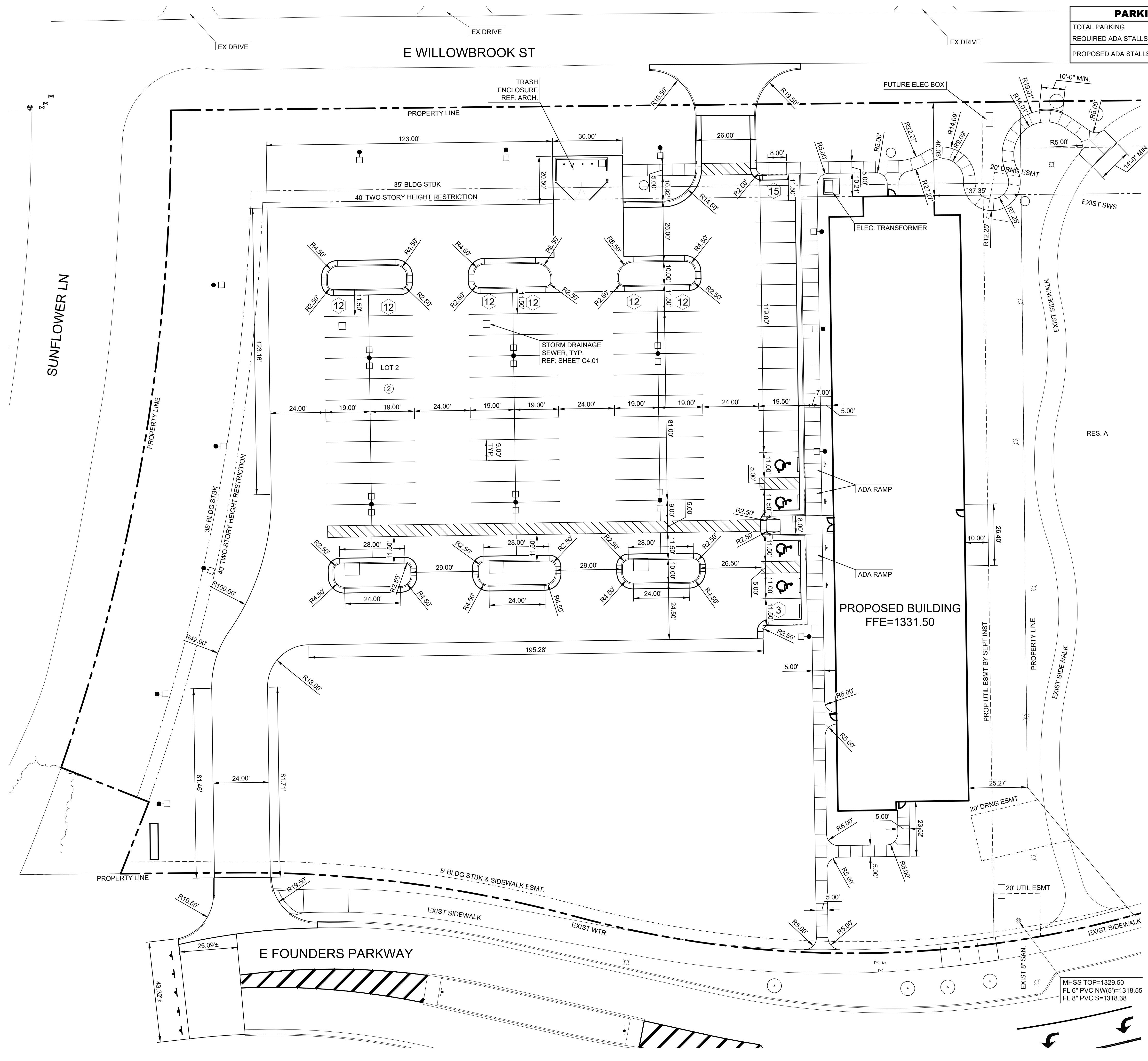
DATE: 1-3-2025  
 JOB: 24-3385  
 SHEET NO.:

**C1.01**

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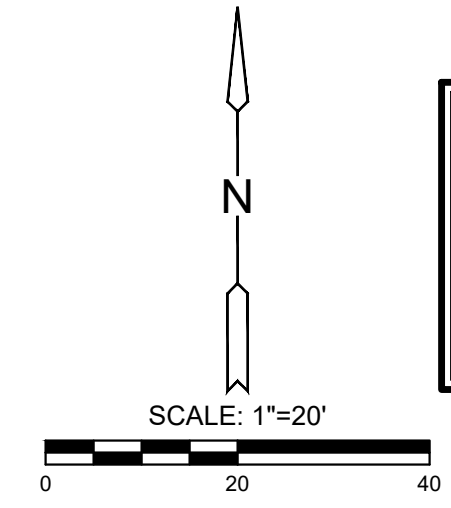
| PARKING SUMMARY     |           |
|---------------------|-----------|
| TOTAL PARKING       | 90 SPACES |
| REQUIRED ADA STALLS | 4 SPACES  |
| PROPOSED ADA STALLS | 4 SPACES  |

- NOTES**
- UNLESS OTHERWISE NOTED, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF AUTHORITY HAVING JURISDICTION.
  - ALL DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE NOTED, STANDARD PARKING STALLS ARE 9'X19', MEASURE TO THE FACE OF CURB.
  - UNLESS OTHERWISE NOTED, ADA PARKING STALLS ARE 11'X19', MEASURE TO THE FACE OF CURB.
  - BUILDING FOOTPRINT AS SHOWN IS THE OUTSIDE FACE OF THE ARCHITECTURAL PLANS. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  - REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TERRACON, PROJECT #01245160 DATED NOVEMBER 4, 2024. CONTRACTOR SHALL REFER TO REPORT FOR RECOMMENDED PAVEMENT THICKNESS, SUBGRADE PREPARATION AND TRENCH BACKFILLING. IF ANY DISCREPANCIES ARISE BETWEEN THE PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT, THEN THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
  - CONTRACTOR TO DRILL & EPOXY #4 BARS (L=2'-0", MIN 9" EMBED) @ 24" O.C. INTO EXIST. CONCRETE PAVEMENT AND CURB & GUTTER WHEREVER PROPOSED ABUTS EXISTING.
  - AGGREGATE BASE UNDER PAVEMENT SHALL EXTEND A MINIMUM OF 1' BEYOND THE BACK OF CURB.
  - PARKING STRIPING SHALL BE 4" WIDE, WHITE IN COLOR.
  - ADA PARKING STALL LOADING AISLE STRIPING SHALL BE 4" WIDE, 2" O.C. @ 45° ANGLE, WHITE IN COLOR.
  - PAVEMENT MARKINGS SHALL BE AN UNDILUTED ALKYD TRAFFIC PAINT. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATE TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION AND APPLICATION.
  - IT IS IMPORTANT BOTH FUNCTIONALLY AND AESTHETICALLY FOR JOINTS IN CURB & GUTTER AND ABUTTING CONCRETE PAVEMENT TO HAVE A CONSISTENT PATTERN.
  - JOINT SPACING SHOULD BE THOUGHT OUT AND ESTABLISHED PRIOR TO PLACING ANY CONCRETE. THIS INCLUDES JOINTING IN THE CURB & GUTTER ON BOTH SIDES OF PROPOSED CONCRETE PAVEMENT AND ON CURVES, DRIVES, ROUNDABOUTS, WHEELCHAIR RAMPS, ETC.
  - PEDESTRIAN CONCRETE SIDEWALKS SHALL RECEIVE HAND TOOLED JOINTS.
  - THE PAVING PLANS, DETAILS, SPECIFICATIONS AND NOTES CONTAIN SPECIFIC REQUIREMENTS FOR JOINTING. THE FOLLOWING ITEMS SHALL SERVE AS GUIDELINES FOR THE CONTRACTOR WHEN DEVELOPING THE JOINTING PLAN:
    - JOINTING IN PAVEMENT SHALL BE AT RIGHT ANGLES TO CURB LINES WHEREVER POSSIBLE
    - JOINT SPACING IN PAVEMENT SHALL GENERALLY NOT EXCEED 24 TIMES THE PAVEMENT THICKNESS
    - JOINTS IN PAVEMENT SHALL NOT CREATE 'L' SHAPED OR ODD SHAPED SECTIONS OR SECTIONS WITH NARROW POINTED PORTIONS THAT COULD BE SUBJECT TO CRACKING AND BREAKING
    - CONTRACTOR JOINT SPACING SHALL GENERALLY NOT EXCEED 1.5 TIMES LONGITUDINAL JOINT SPACING
  - CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TRAFFIC CONTROL NECESSARY ON SURROUNDING STREETS FOR CONSTRUCTION. TRAFFIC CONTROL SHALL COMPLY WITH THE LATEST EDITION OF MUTCD AND AUTHORITIES HAVING JURISDICTION STANDARDS AND SPECIFICATIONS.

- LEGEND**
- 13 PARKING STALL COUNT
  - 2 LOT & BLOCK NUMBER

- CONTROL POINTS**
- DATUM**  
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- CONTROL POINTS (GND):**
- CP110  
 N: 1685568.193 E: 1708413.190 EL: 1332.085  
 5/8" REBAR WITH ALUM MIKEC CONTROL POINT CAP
- CP113  
 N: 1686310.274 E: 1709966.071 EL: 1336.36  
 \*+ CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO WEST APPROXIMATELY 600FT SOUTH OF DOUGLAS AND YORKTOWN
- CP114  
 N: 1686682.077 E: 1709988.168 EL: 1332.09  
 \*+ CUT ON NW CORNER OF INLET ON WEST SIDE OF YORKTOWN APPROXIMATELY 250FT SOUTH OF DOUGLAS AND YORKTOWN
- CP115  
 N: 1685088.627 E: 1709991.875 EL: 1332.97  
 \*+ CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO FOUNDERS PKWY AND YORKTOWN
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 jgr@jgarchitects.com 785.827.0386

**JGR**

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DATE: 1-3-2025  
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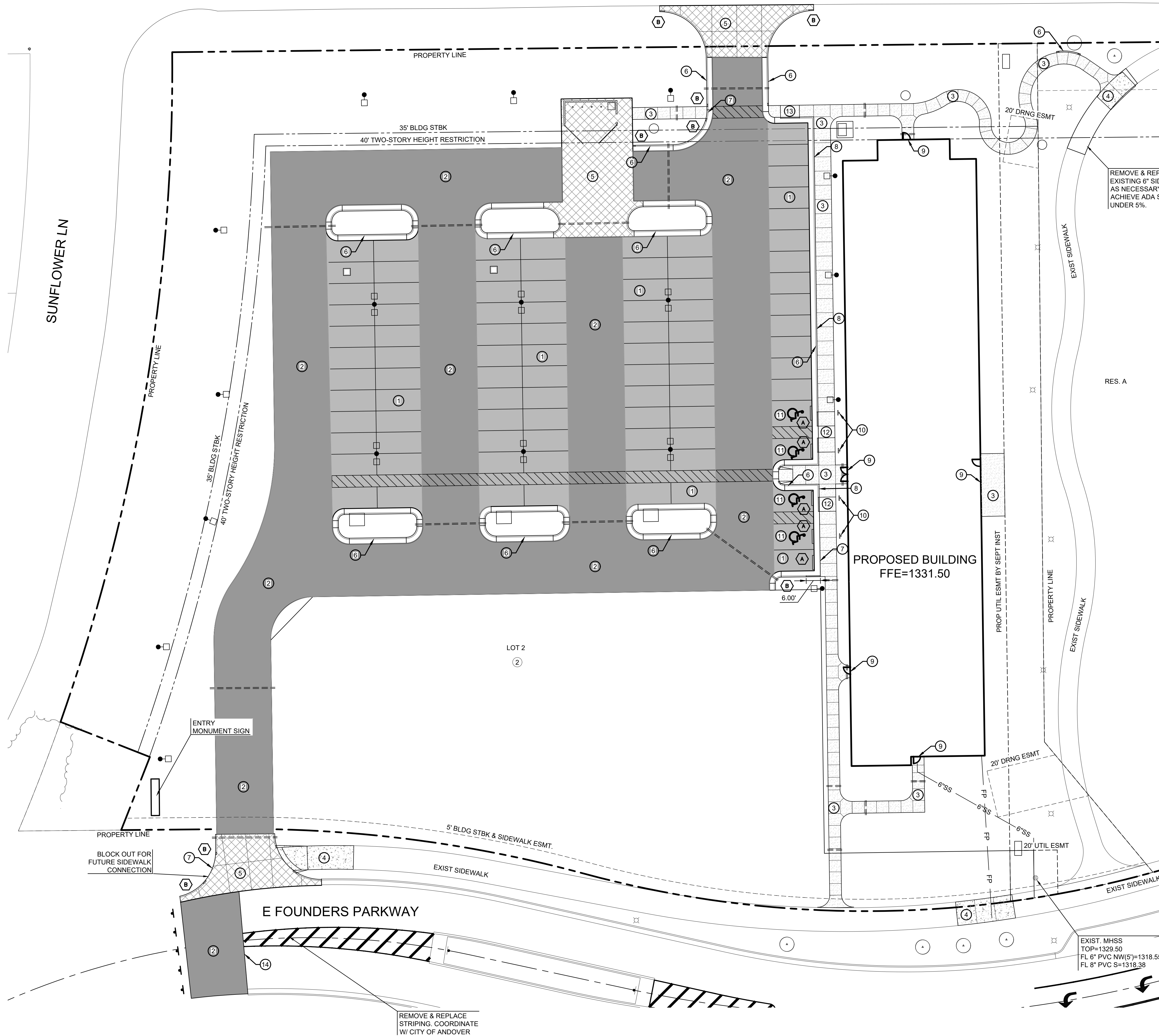
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E WILLOWBROOK ST

SUNFLOWER LN



| DETAIL LEGEND |                               |   |       |
|---------------|-------------------------------|---|-------|
| KEY           | DETAIL                        | DESCRIPTION                                       | SHEET |
| 1             | 5.5" ASPHALTIC PAVEMENT       | TYPICAL SECTION: 5.5" ASPHALT PAVEMENT ON 9" BASE | C2.51 |
| 2             | 7.5" ASPHALTIC PAVEMENT       | TYPICAL SECTION: 7.5" ASPHALT PAVEMENT ON 9" BASE | C2.51 |
| 3             | 4" CONCRETE SIDEWALK          | TYPICAL SECTION: 4" CONCRETE SIDEWALK             | C2.52 |
| 4             | 6" CONCRETE SIDEWALK          | TYPICAL SECTION: 6" CONCRETE SIDEWALK             | C2.52 |
| 5             | 8" CONCRETE PAVEMENT          | TYPICAL SECTION: 8" CONCRETE PAVEMENT             | C2.51 |
| 6             | 6" CURB & GUTTER              | TYPICAL SECTION: 6" CURB & GUTTER                 | C2.52 |
| 7             | FLUSH CURB                    | FLUSH CURB & GUTTER                               | C2.53 |
| 8             | CONCRETE SIDEWALK AT CURB     | TYPICAL SECTION: CONCRETE SIDEWALK AT CURB        | C2.52 |
| 9             | EXPANSION JOINT @ BUILDING    | EXPANSION JOINT AT BUILDING                       | C2.51 |
| 10            | ACCESSIBLE PARKING SIGN       | ACCESSIBLE PARKING SIGN                           | C2.53 |
| 11            | ACCESSIBLE PARKING MARKING    | ACCESSIBLE PARKING MARKING                        | C2.53 |
| 12            | ADA RAMP                      | WHEEL CHAIR RAMP DETAILS/SECTIONS                 | C2.53 |
| 13            | ADA RAMP                      | WHEEL CHAIR RAMP DETAILS/SECTIONS                 | C2.53 |
| 14            | ASPHALTIC PAVEMENT CONNECTION | TYPICAL SECTION: ASPHALTIC PAVEMENT CONNECTION    | C2.51 |

**SITE FURNISHINGS**  
 WHEEL STOP  
 MANUFACTURER: TRAFFIC SAFETY STORE  
 PRODUCT #: PBRSS6WHDS - 6" RUBBER PARKING BLOCK  
 COMMENTS: ENSURE WHITE STRIPING ON PARKING BLOCK. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

**LEGEND**

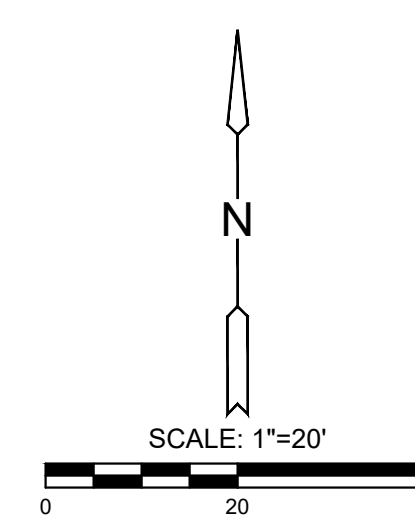
|  |                                   |
|--|-----------------------------------|
|  | 5.5" ASPHALTIC PAVEMENT           |
|  | 7.5" ASPHALTIC PAVEMENT           |
|  | 4" CONCRETE SIDEWALK              |
|  | 6" CONCRETE SIDEWALK              |
|  | 8" CONCRETE PAVEMENT              |
|  | PROPOSED IRRIGATION SLEEVE        |
|  | WHEEL STOP (REF: NOTE THIS SHEET) |
|  | 1" CURB TRANSITION UNLESS NOTED   |

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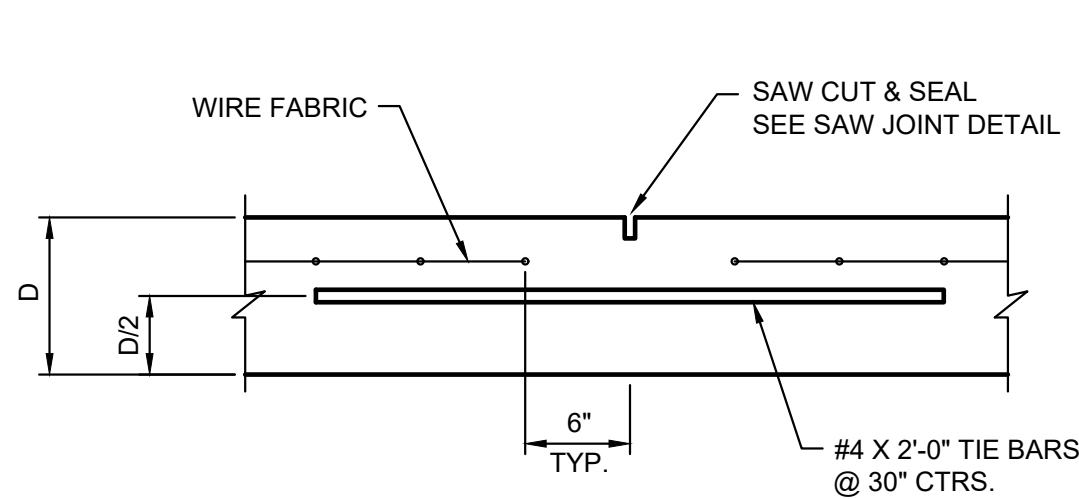
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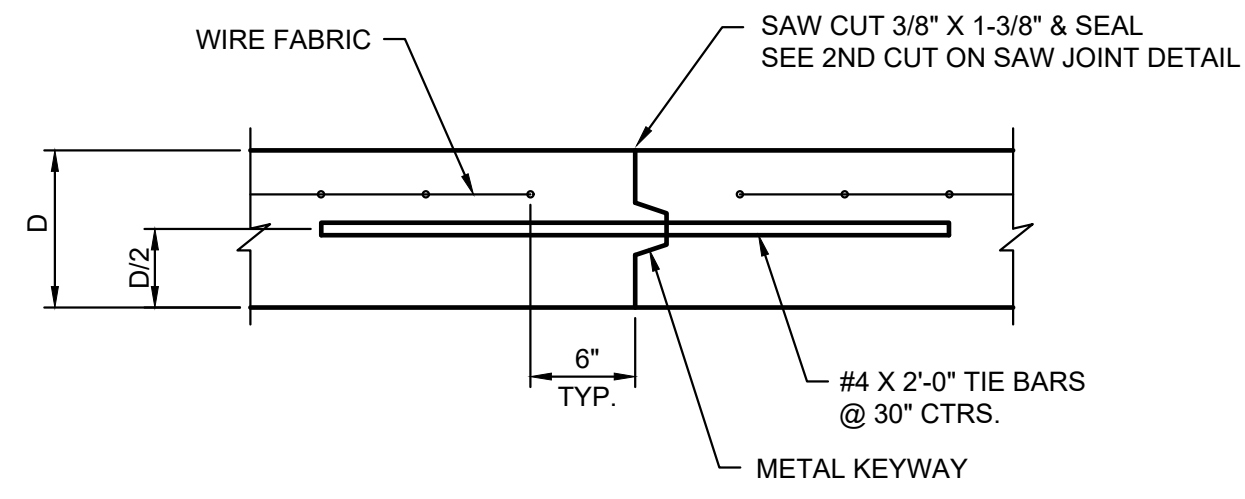
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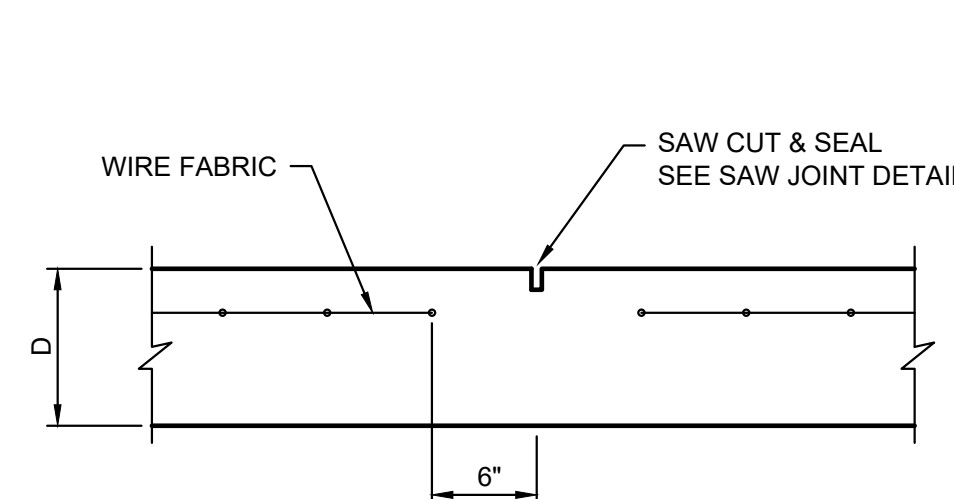
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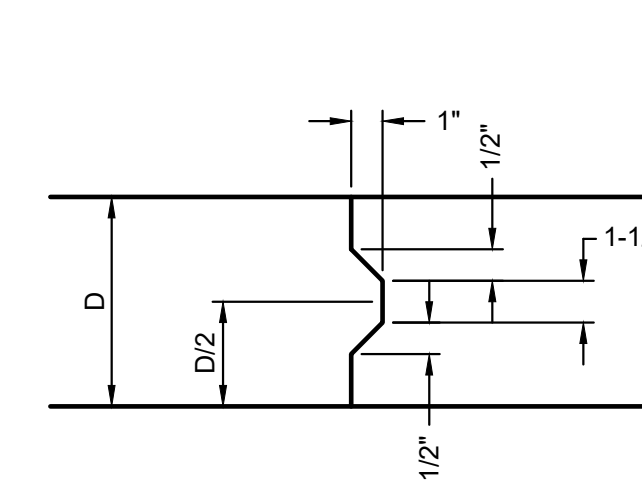
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SCALE: NTS



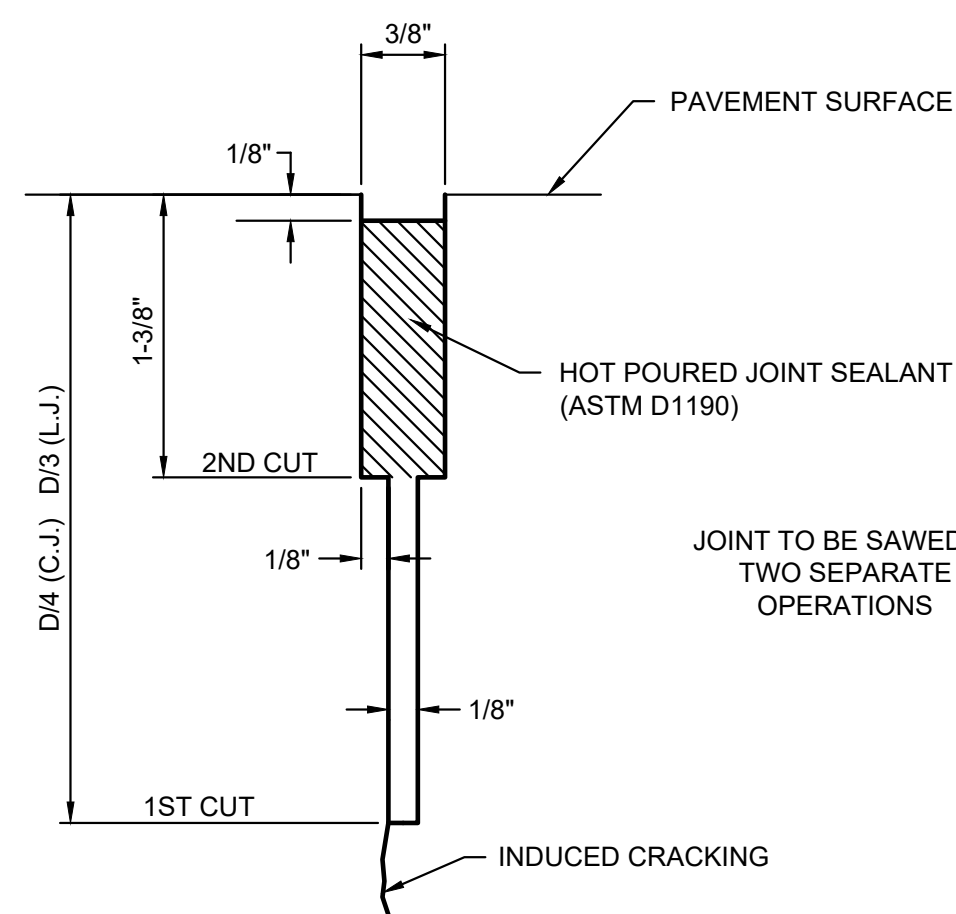
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SCALE: NTS



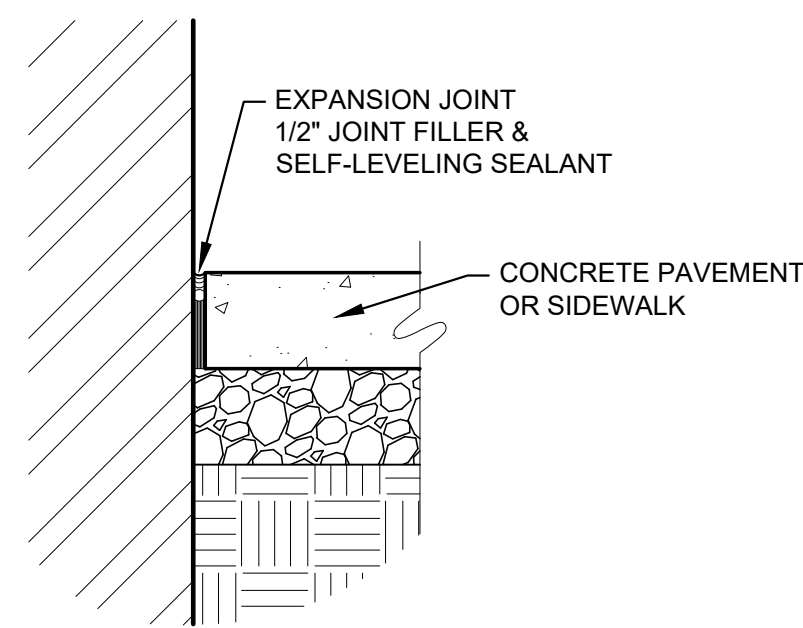
**3 CONTRACTION JOINT DETAIL**  
SCALE: NTS



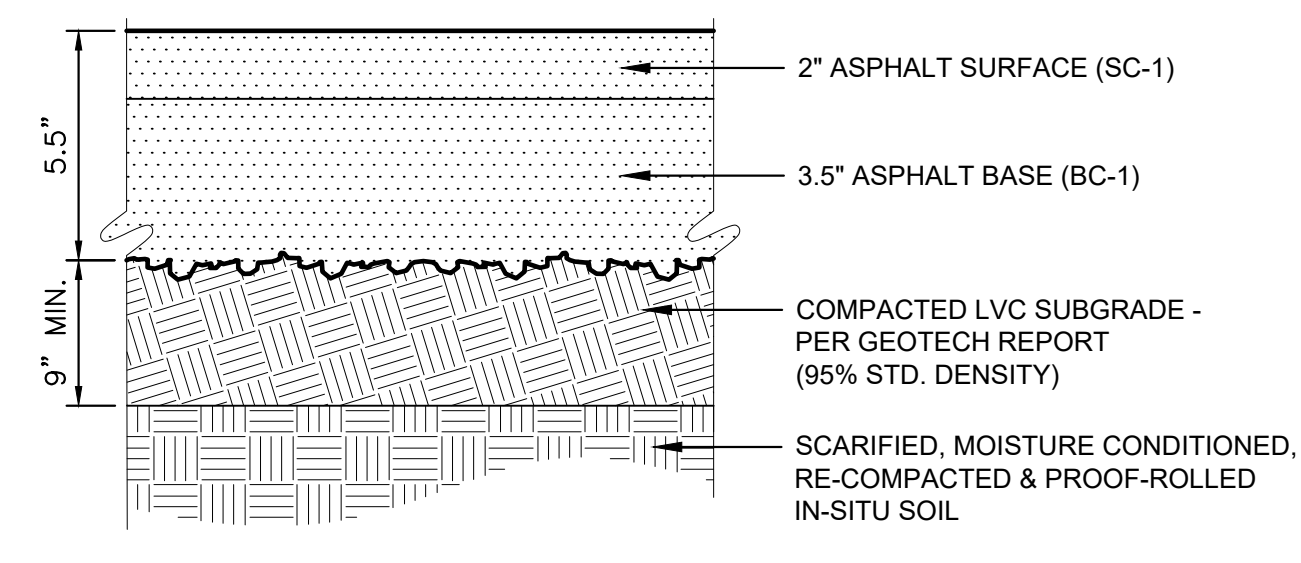
**4 KEYWAY DETAIL**  
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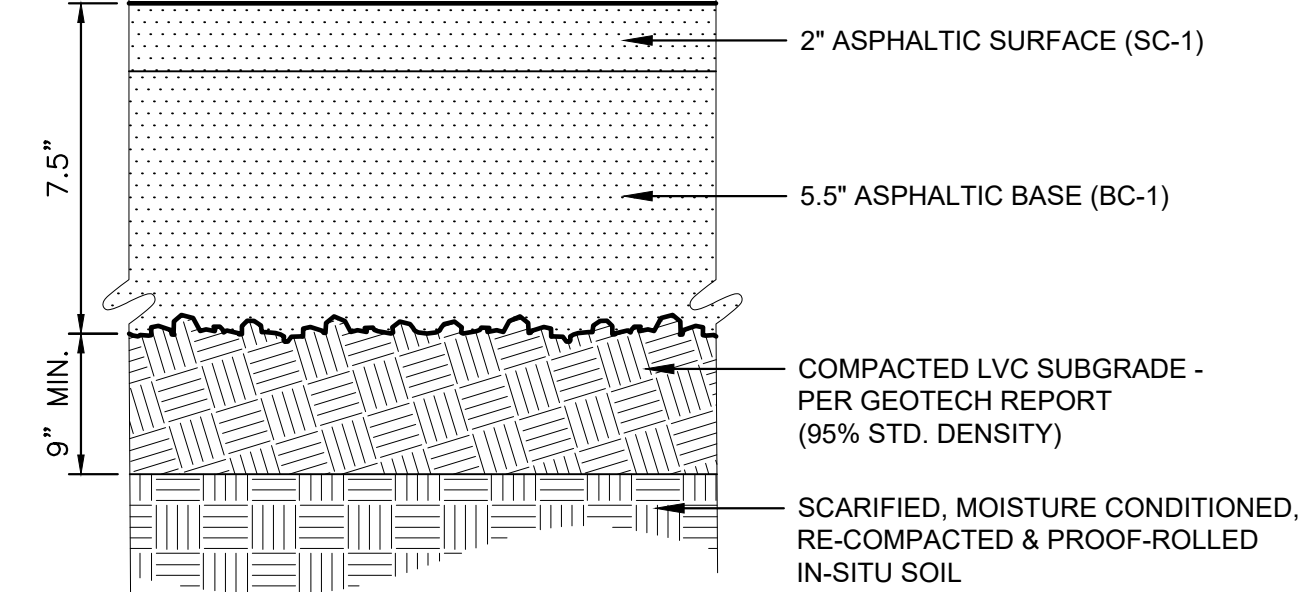
**5 SAW JOINT DETAIL**  
SCALE: NTS



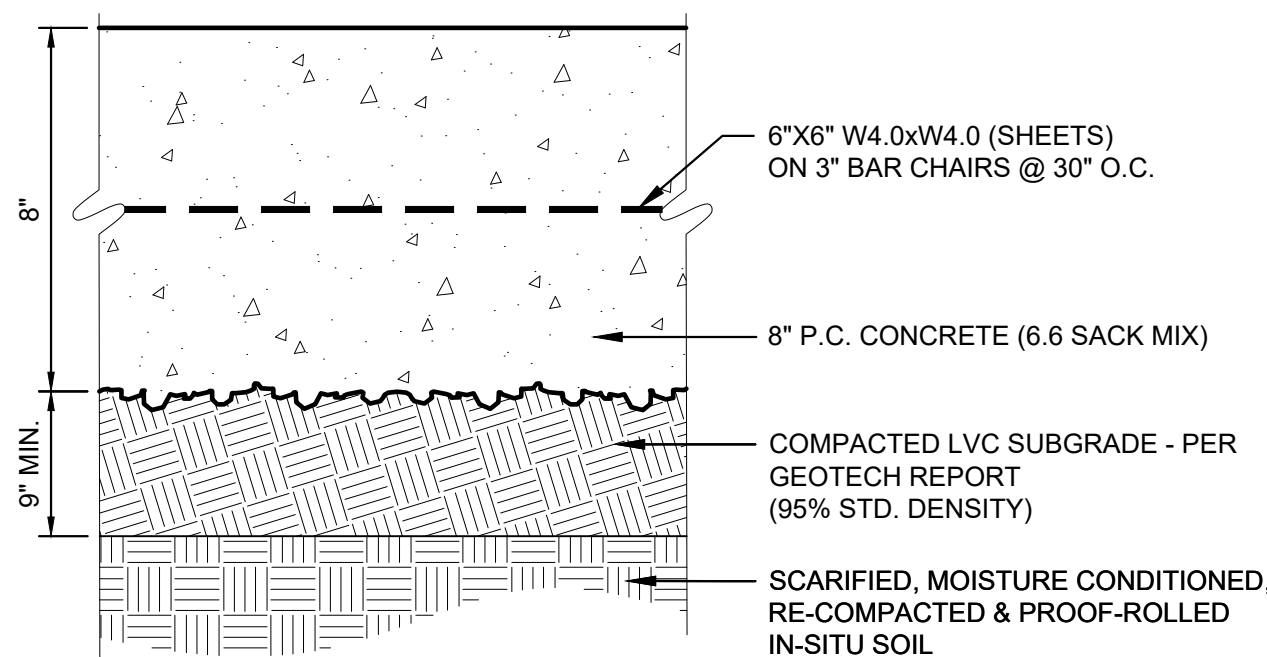
**6 EXPANSION JOINT AT BUILDING**  
SCALE: NTS



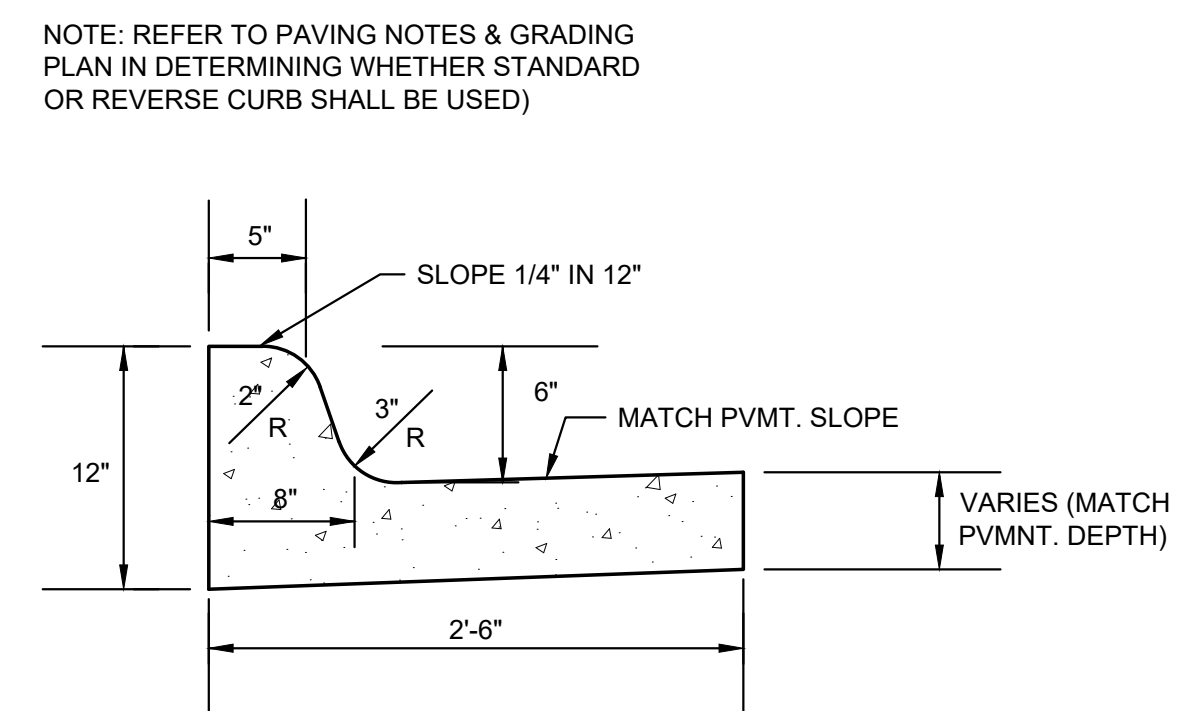
**7 TYP. SECTION: 5.5" ASPHALTIC PVMT.**  
SCALE: NTS



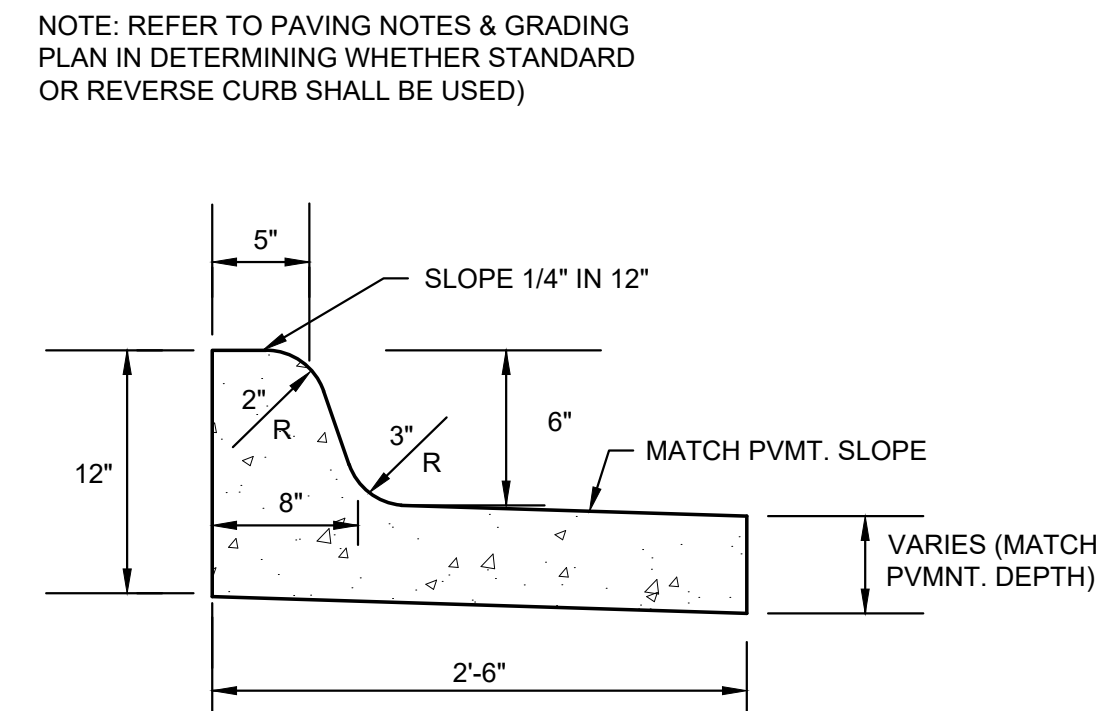
**8 TYP. SECTION: 7.5" ASPHALTIC PVMT.**  
SCALE: NTS



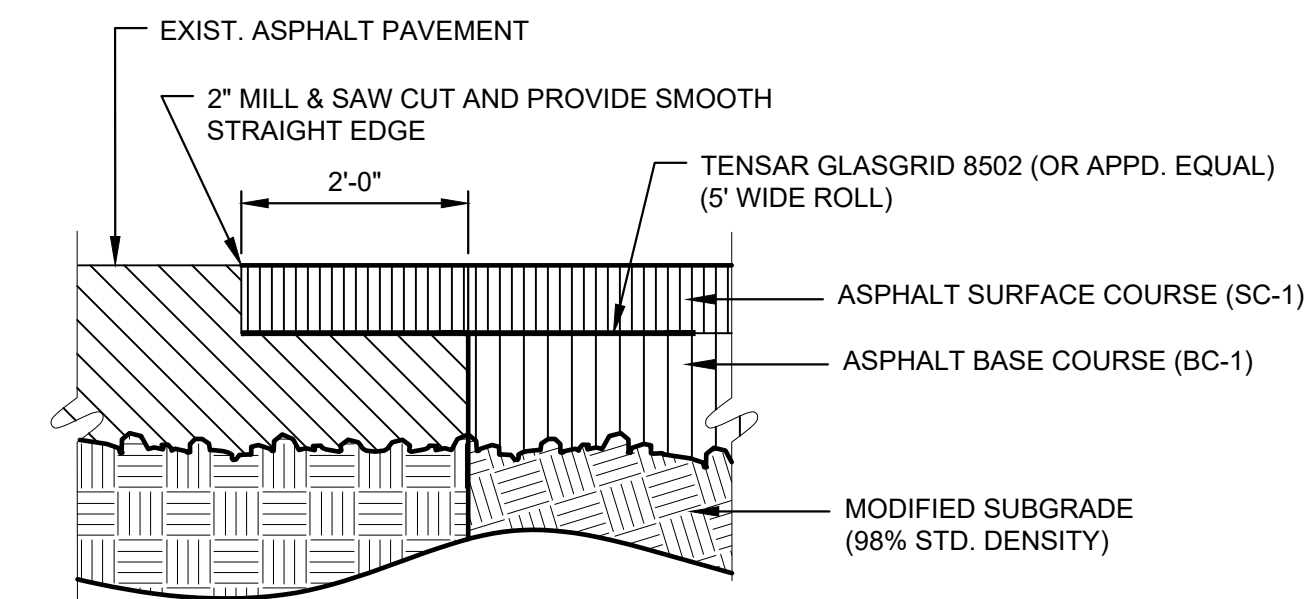
**9 TYP. SECTION: 8.0" CONC. PVMT.**  
SCALE: NTS



**10 FULL CURB & GUTTER (STANDARD)**  
SCALE: NTS  
IT SHALL BE THE CONTRACTORS OPTION WHETHER TO PLACE THE CURB MONOLITHIC WITH SITE PAVING OR TO PLACE CURB AND GUTTER SEPARATELY.



**11 FULL CURB & GUTTER (REVERSE)**  
SCALE: NTS  
IT SHALL BE THE CONTRACTORS OPTION WHETHER TO PLACE THE CURB MONOLITHIC WITH SITE PAVING OR TO PLACE CURB AND GUTTER SEPARATELY.



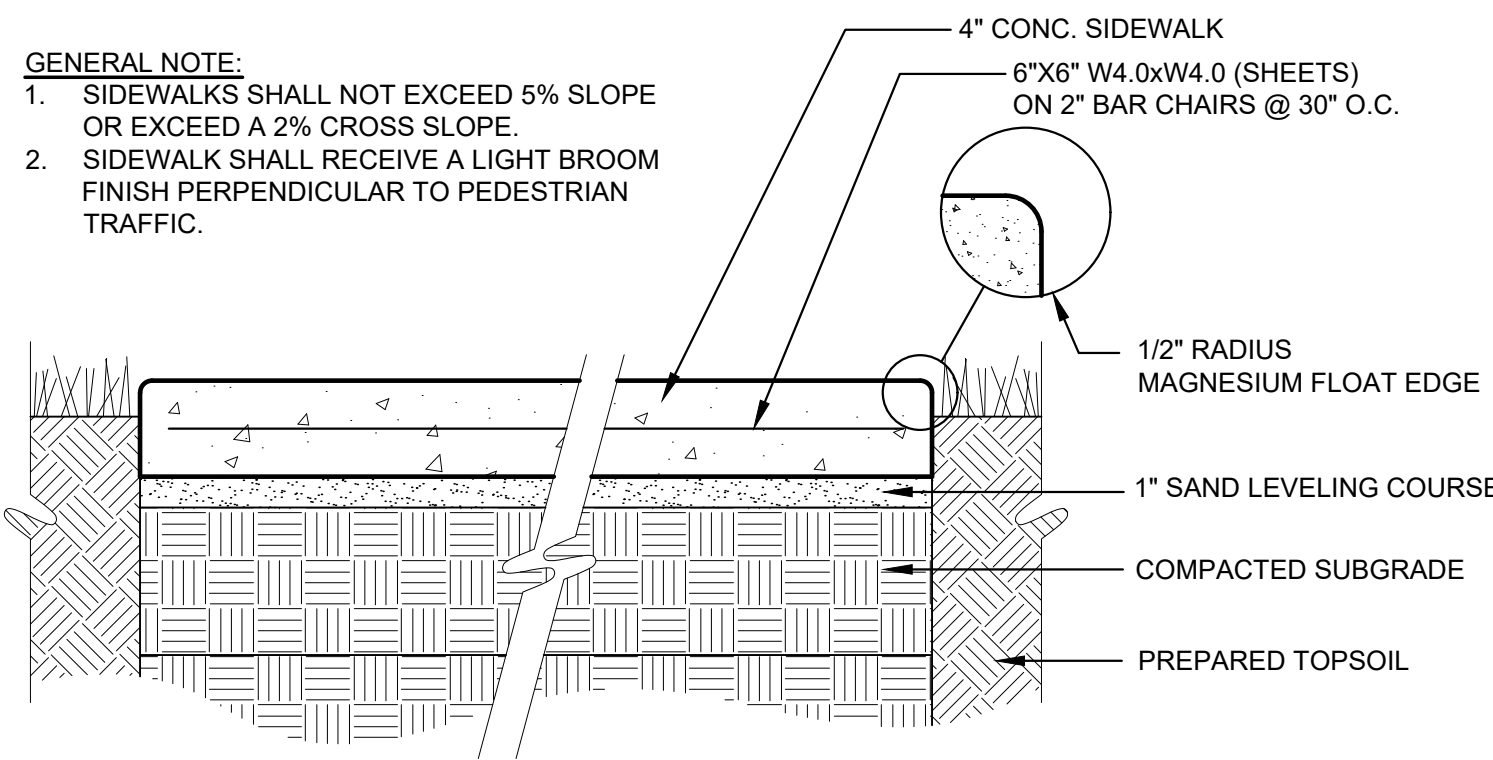
**12 TYP. SECTION: A.C. PVMT. CONNECTION**  
SCALE: NTS

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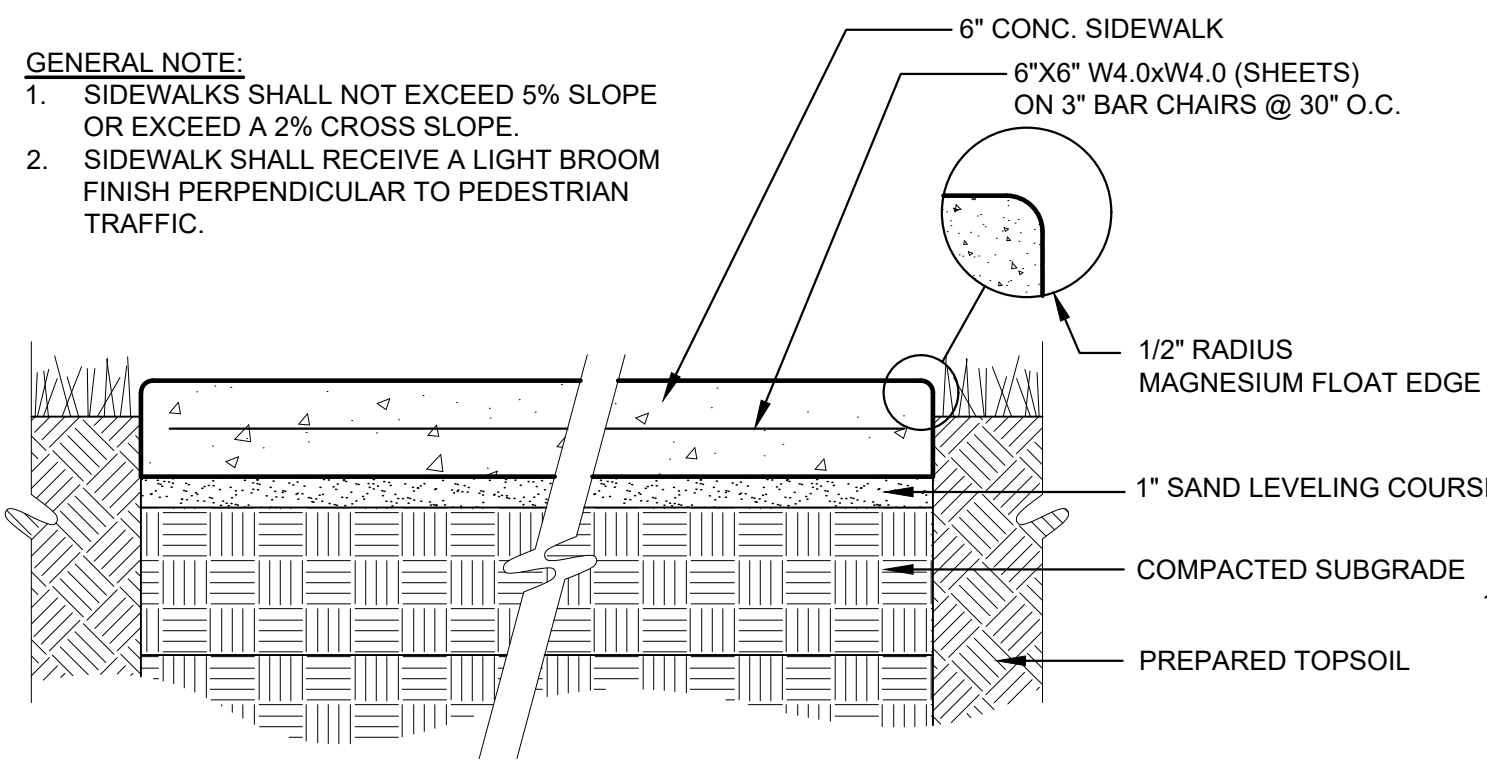
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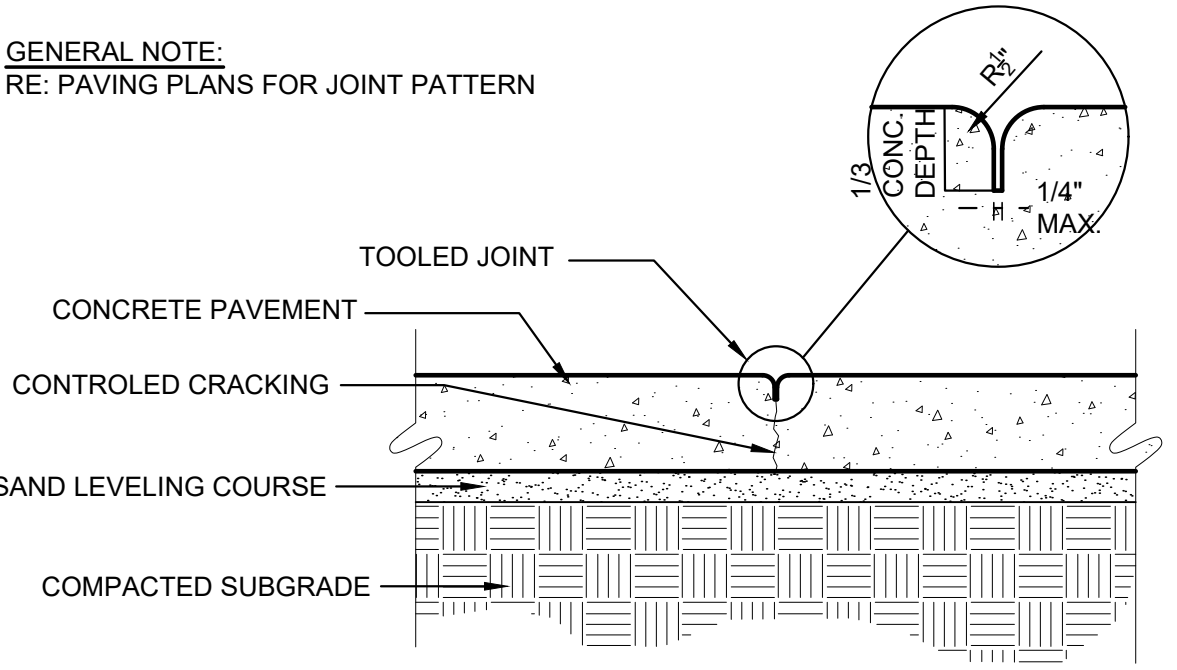
**1 4" CONC. SIDEWALK**  
SCALE: NTS

**NOTE:**  
1. SIDEWALKS SHALL BE 6" THICK IN ALL STREET RIGHT-OF-WAYS & CITY PARKS.  
2. SIDEWALKS ON LOTS CAN BE 4" THICK.

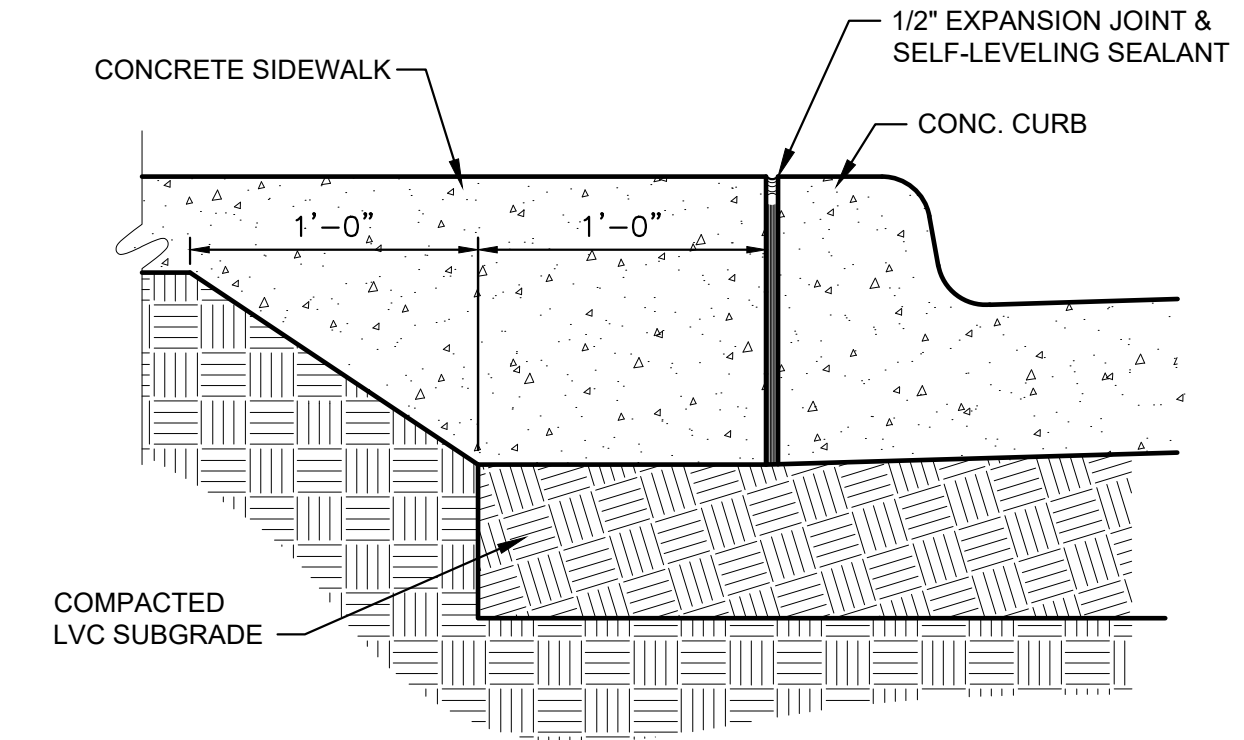


**2 6" CONC. SIDEWALK**  
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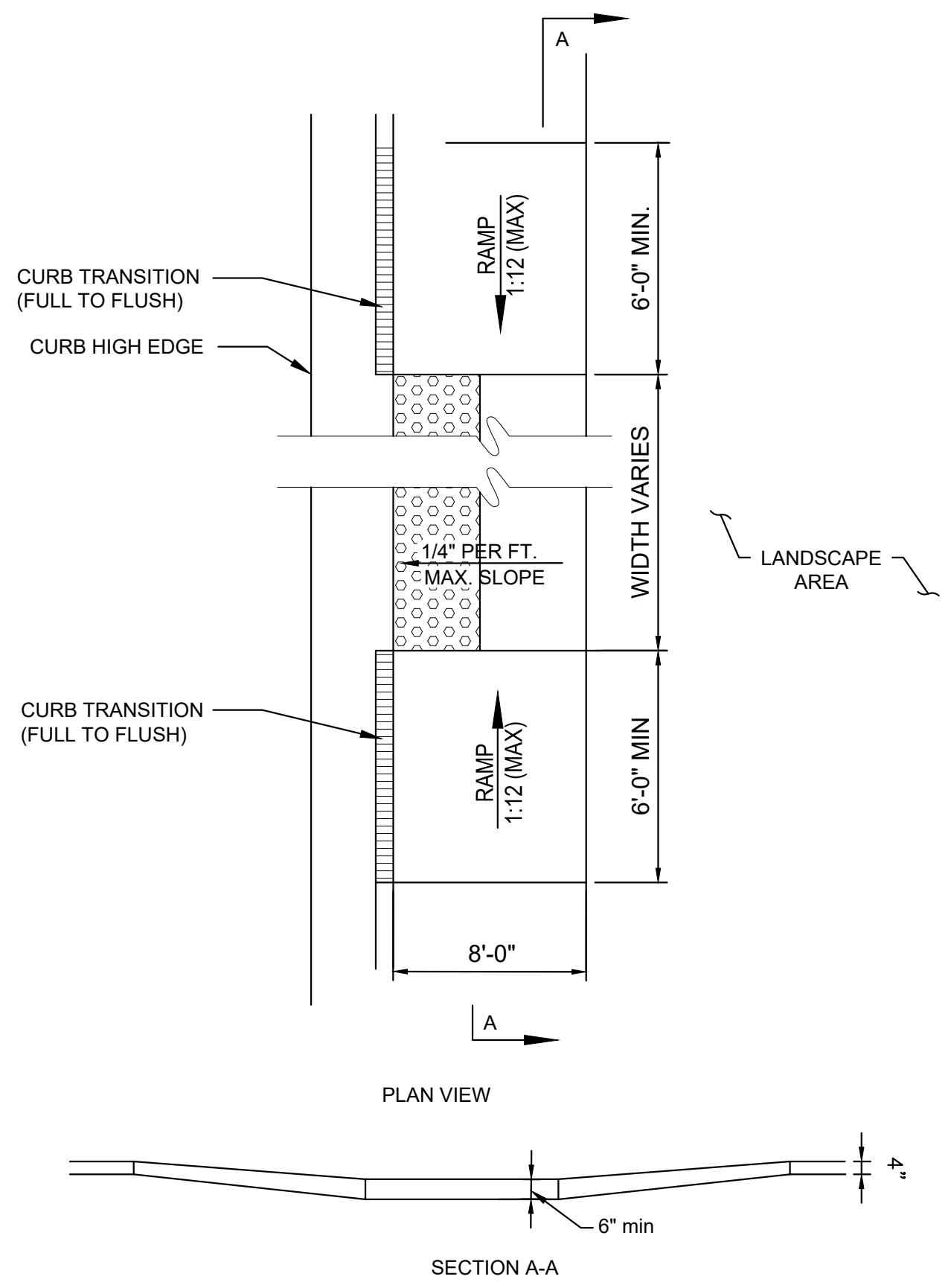
**NOTE:**  
1. SIDEWALKS SHALL BE 6" THICK IN ALL STREET RIGHT-OF-WAYS & CITY PARKS.  
2. SIDEWALKS ON LOTS CAN BE 4" THICK.



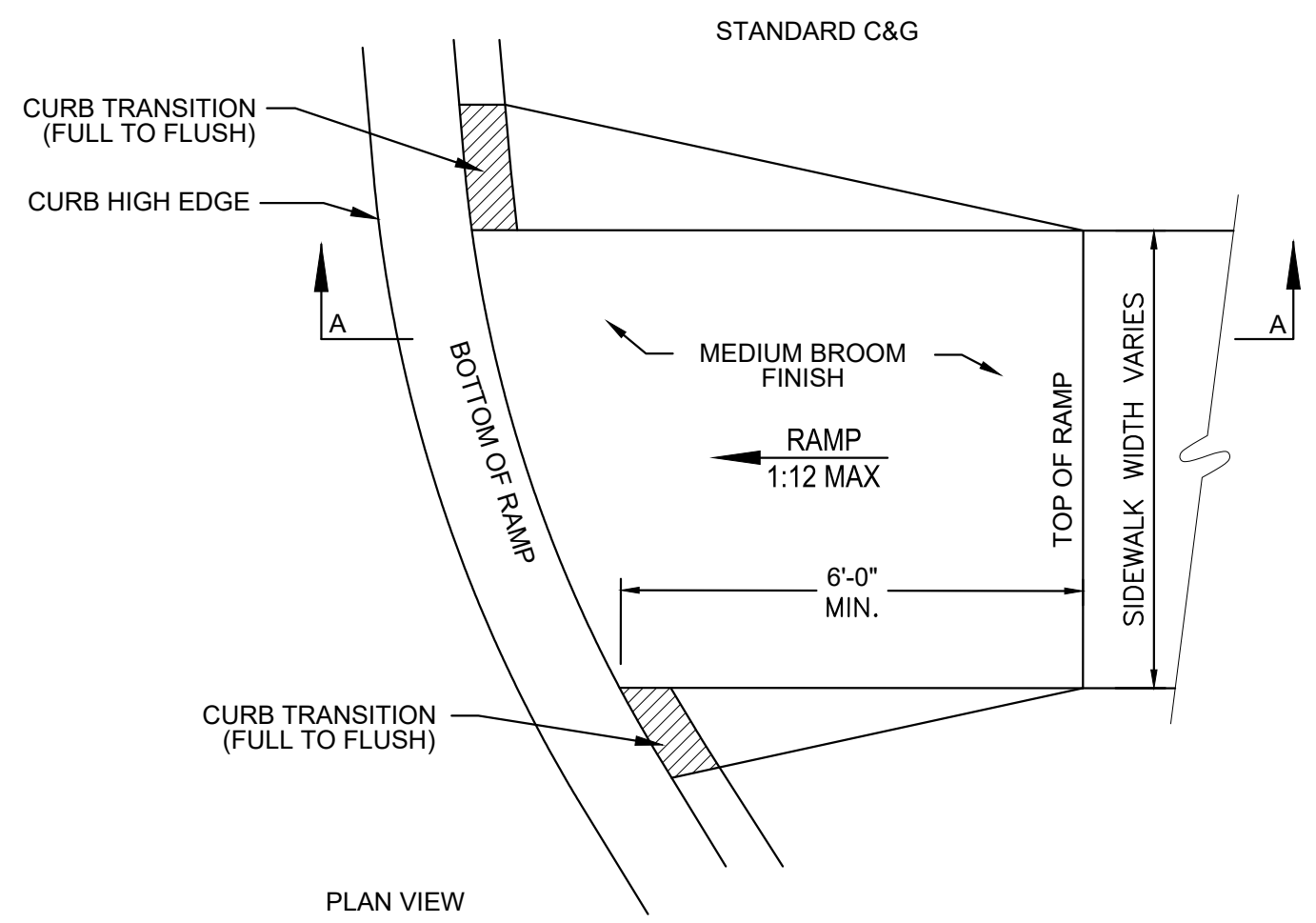
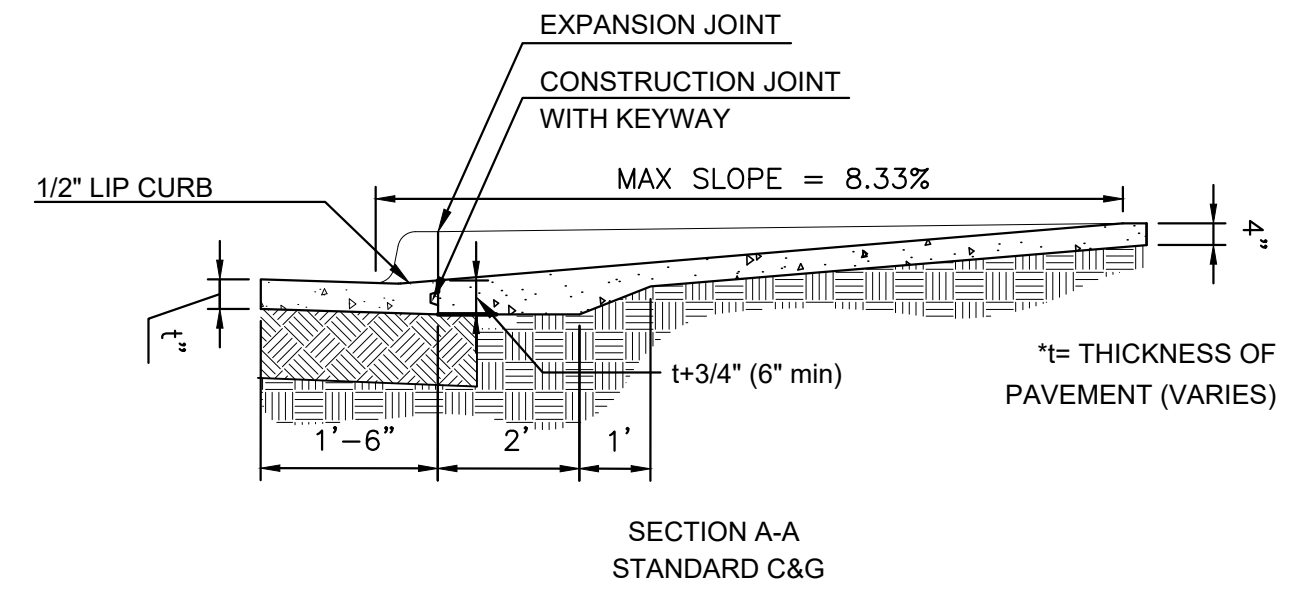
**3 SIDEWALK TOOLED JOINT**  
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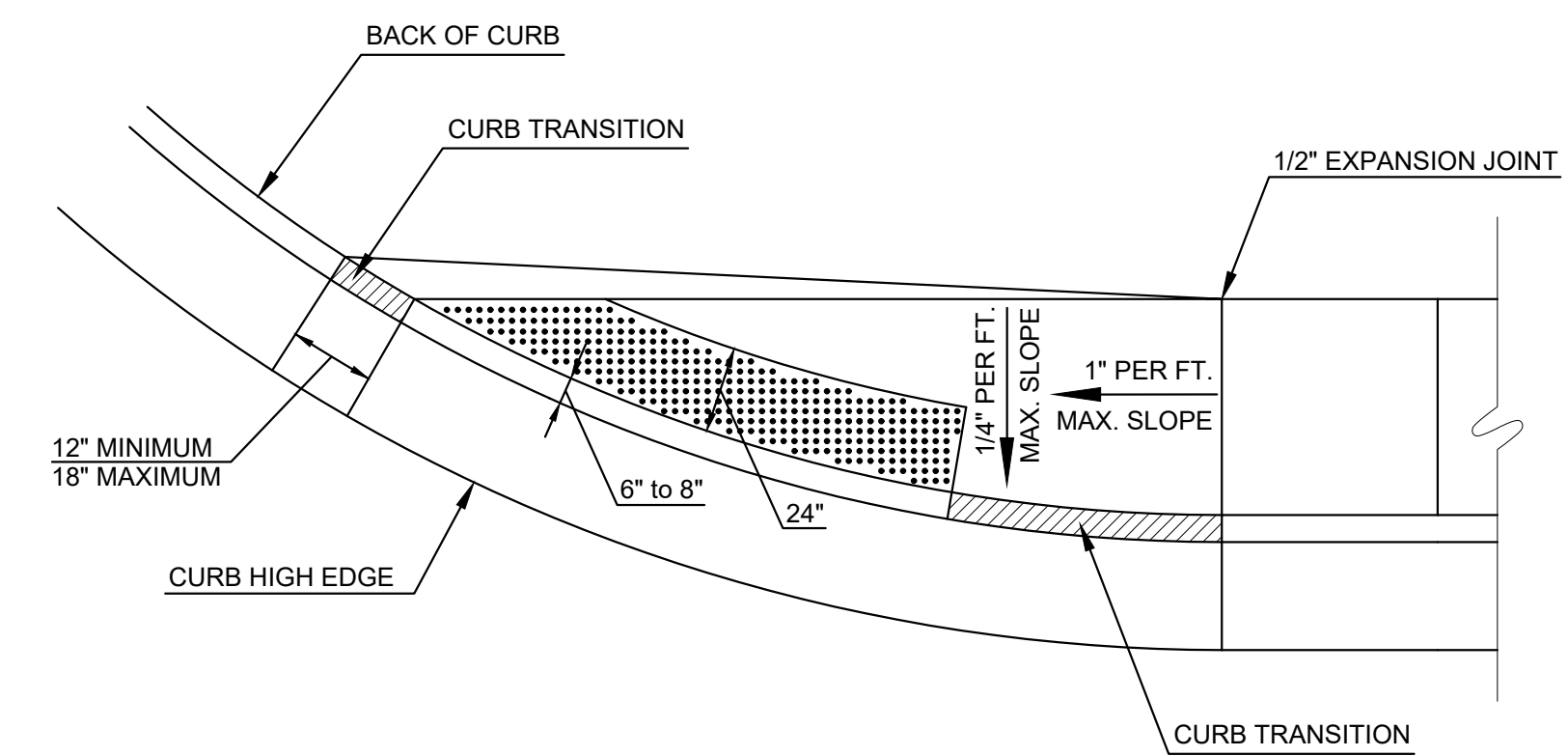
**4 CONC. SIDEWALK @ CURB**  
SCALE: NTS



**5 WHEELCHAIR RAMP**  
SCALE: NTS

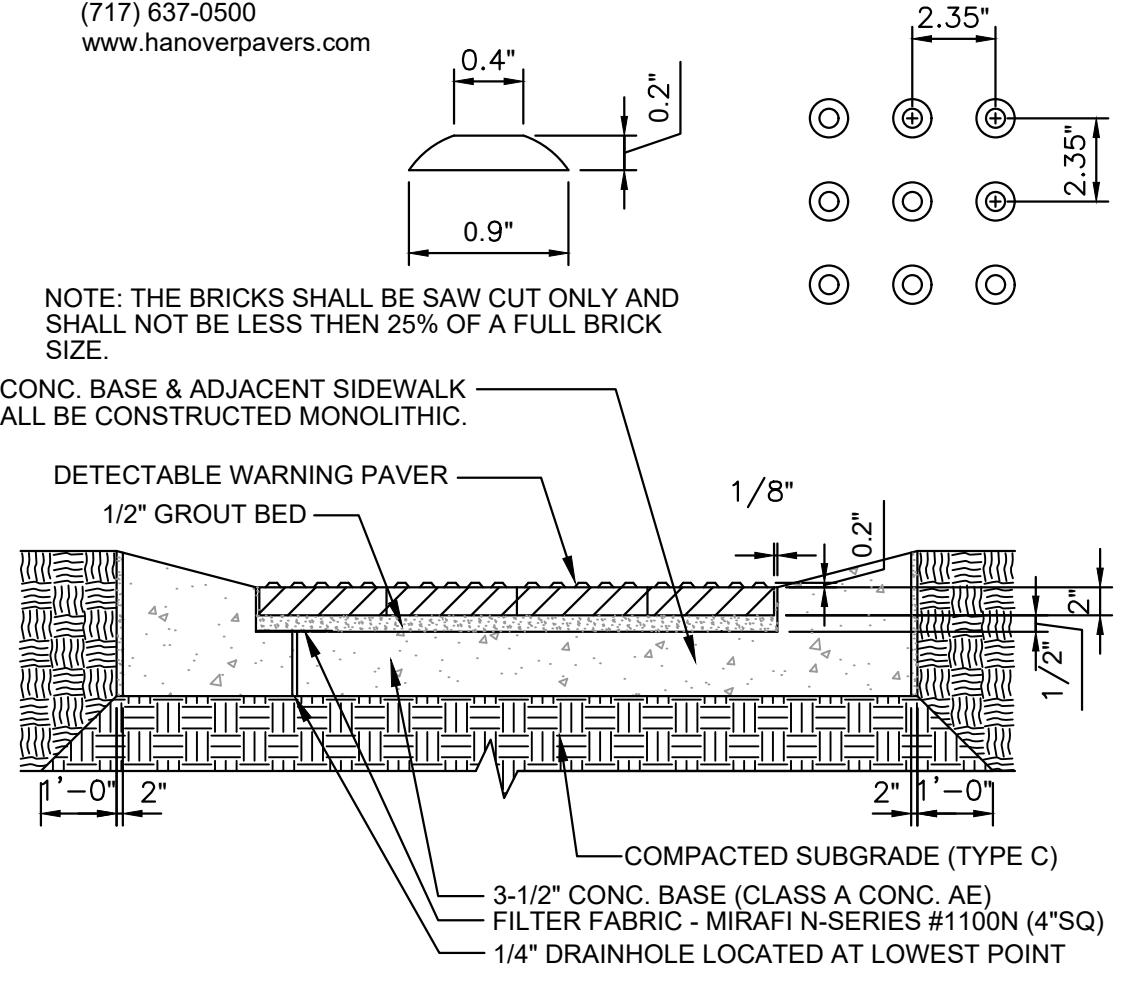


**6 WHEEL CHAIR RAMP**  
SCALE: NTS



**7 WHEEL CHAIR RAMP**  
SCALE: NTS

**NOTE:**  
HANOVER DETECTABLE WARNING PAVERS (OR AN APPROVED ALTERNATE) SHALL BE USED IN ALL WHEELCHAIR RAMPS. THE 1 1/4" CHARCOAL PAVES SHALL BE UTILIZED.  
HANOVER ARCHITECTURAL PRODUCTS  
240 BENDER ROAD  
HANOVER, PA 17331  
(717) 637-0500  
www.hanoverpavers.com



**8 DETECTABLE WARNING PAVER**  
SCALE: NTS

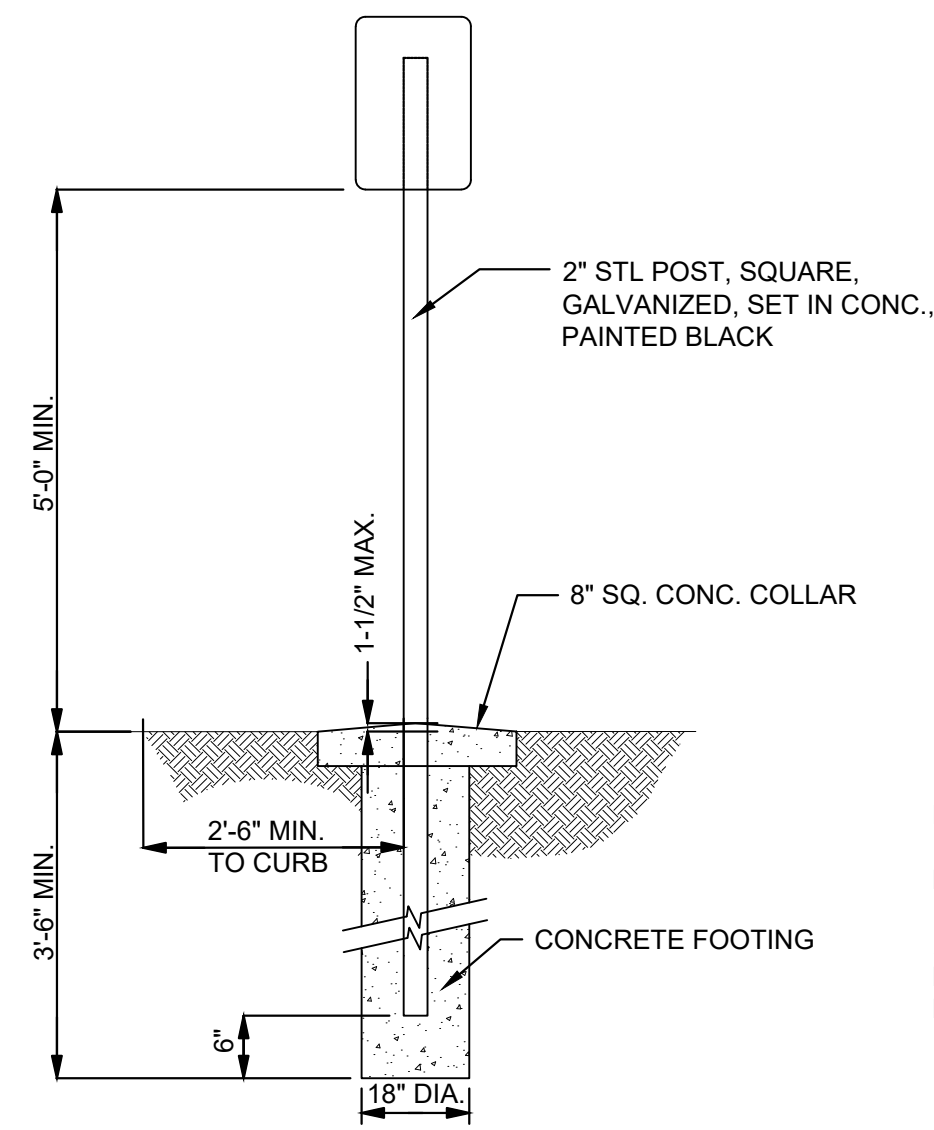
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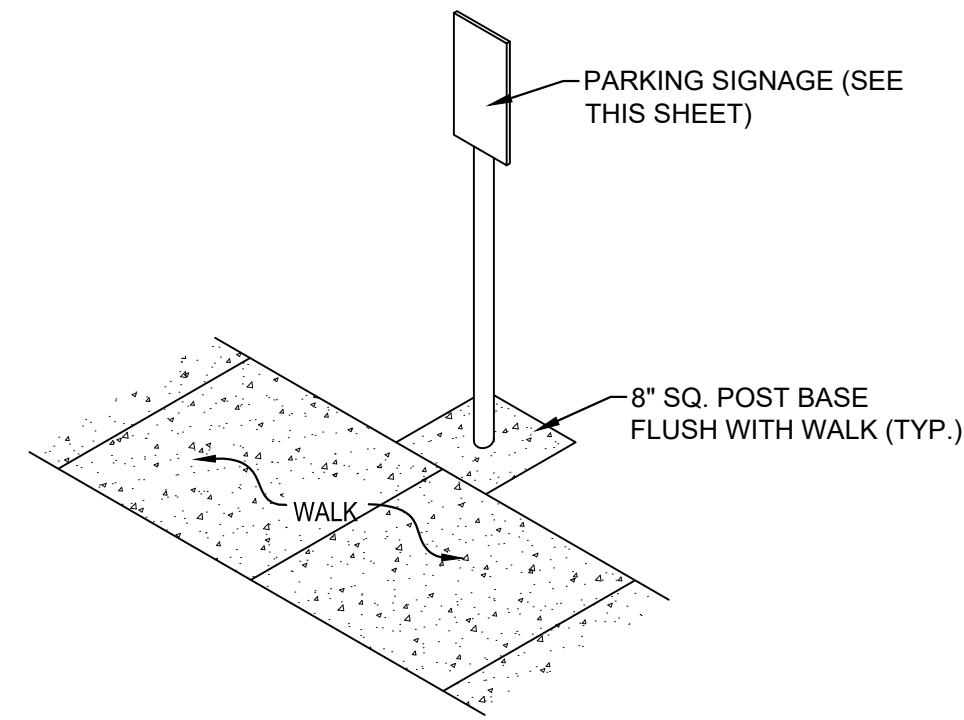
TRAVIS M. B. BAILEY KS PE 28740  
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 REVISION:

DATE: 1-3-2025  
 JOB: 24-3385  
 SHEET NO.:

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**1 MISC. SIGN MOUNTING DETAIL**  
 SCALE: NTS

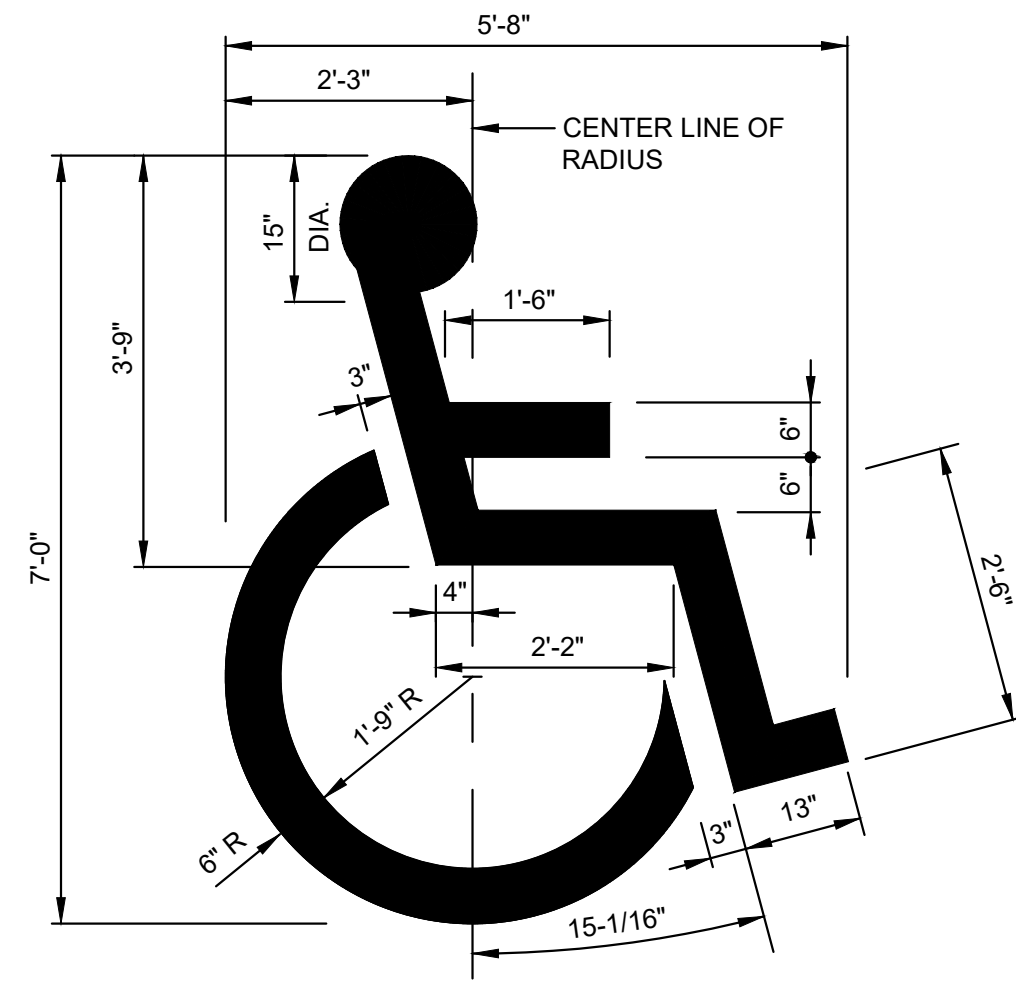


NOTE:  
 1. WHERE SIGNS ARE BEHIND SIDEWALKS: CONCRETE POST BASES SHALL BE PLACED ADJACENT TO SIDEWALK EDGE.  
 2. WHERE SIGNS ARE BEHIND CURBS: CONCRETE POST BASES SHALL BE PLACED 30" BEHIND CONCRETE CURB IN LANDSCAPE BED.

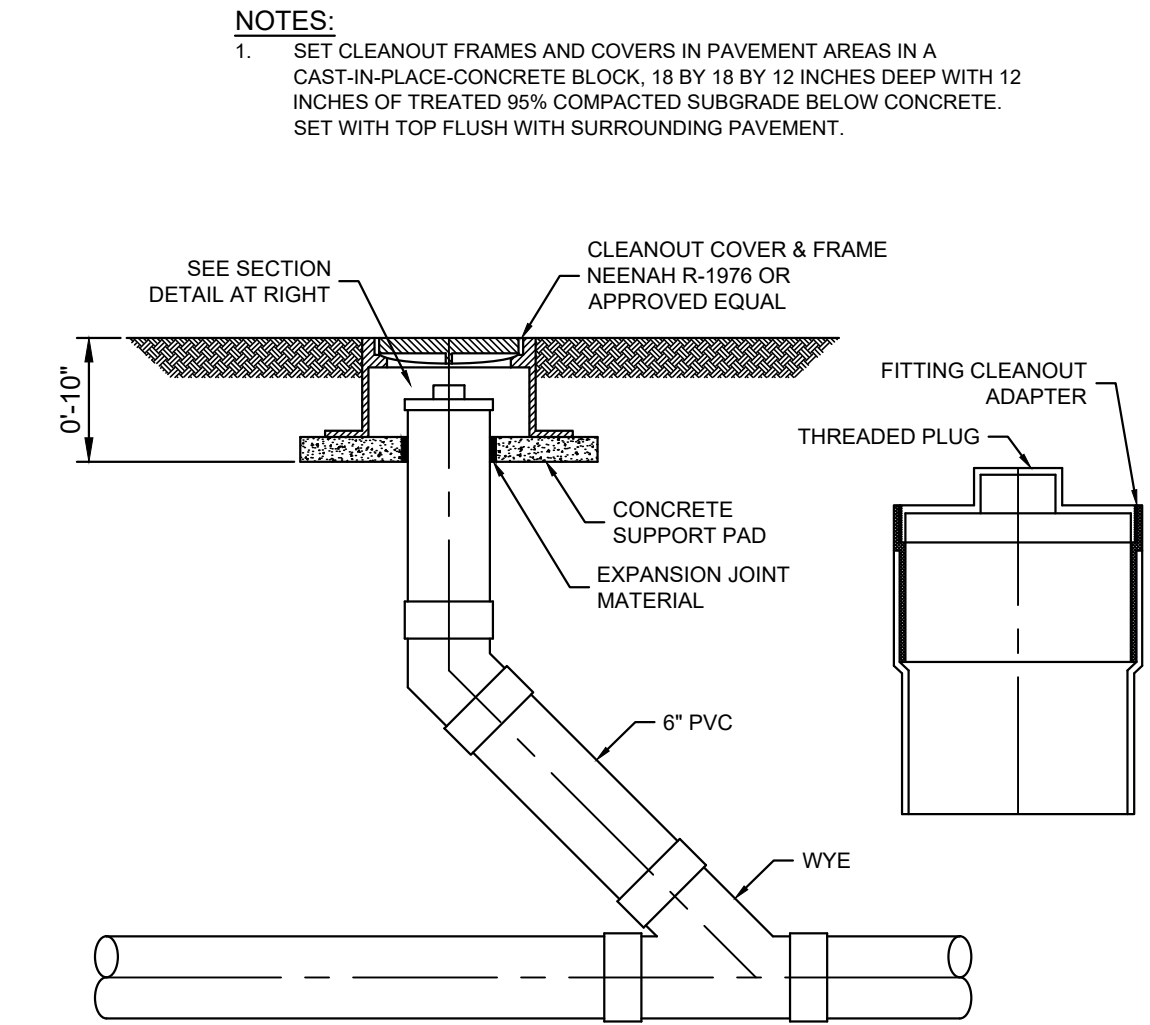
12" x 18" SIGN  
 STANDARD SIGN #R7-8  
 SYMBOL TO BE WHITE  
 BLUE BACKGROUND

NOTES:  
 1. ALL SIGNS TO BE 0.080" THICK ALUMINUM  
 2. ALL SIGNS SHALL CONFORM WITH ALL CURRENT A.D.A., FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.  
 3. ONE AT EACH HANDICAP STALL

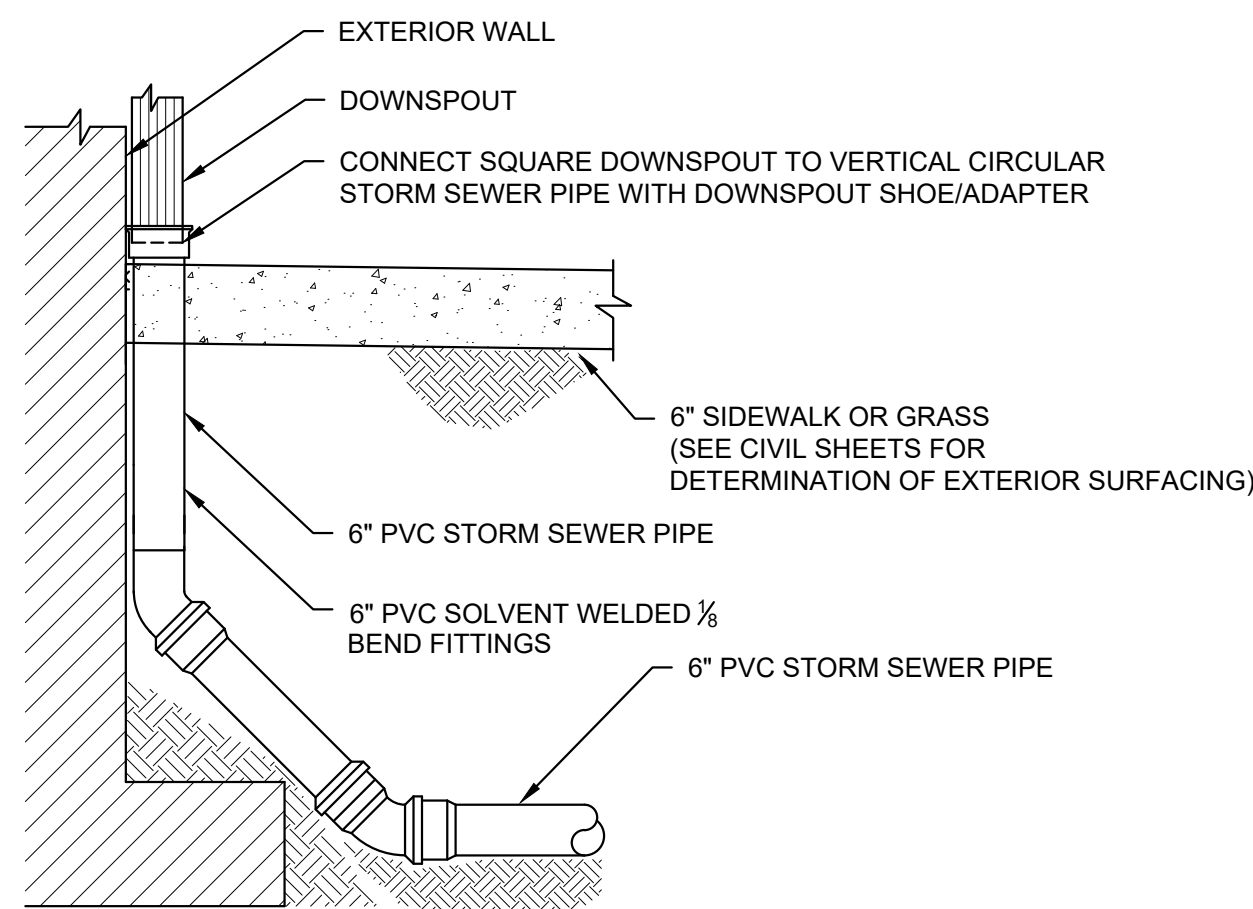
**2 HANDICAPPED PARKING SIGN**  
 SCALE: NTS



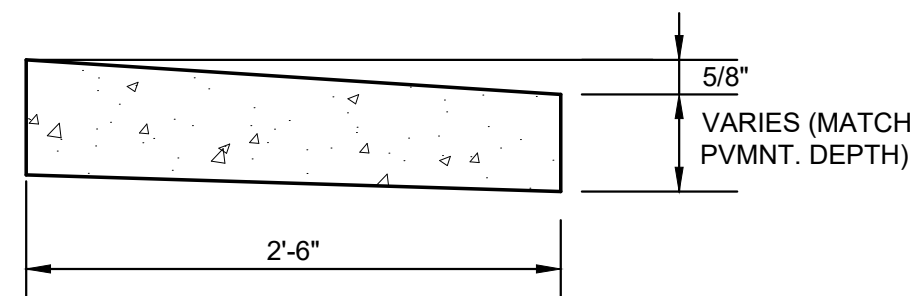
**3 HANDICAP PAVEMENT MARKING**  
 SCALE: NTS



**4 CLEANOUT DETAIL**  
 SCALE: NTS



**5 DOWNSPOUT CONNECTION**  
 SCALE: NTS



**6 FLUSH CURB**  
 SCALE: NTS

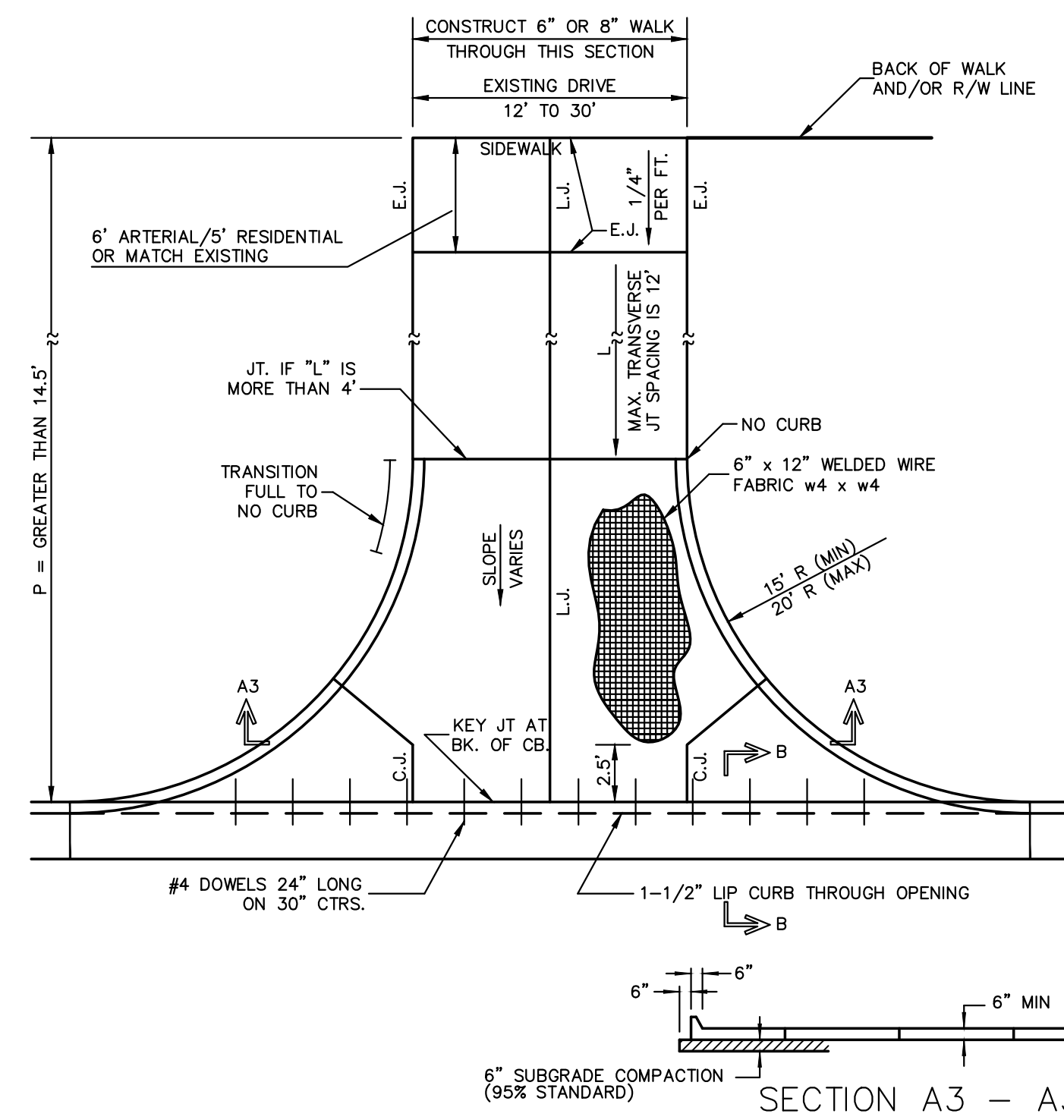
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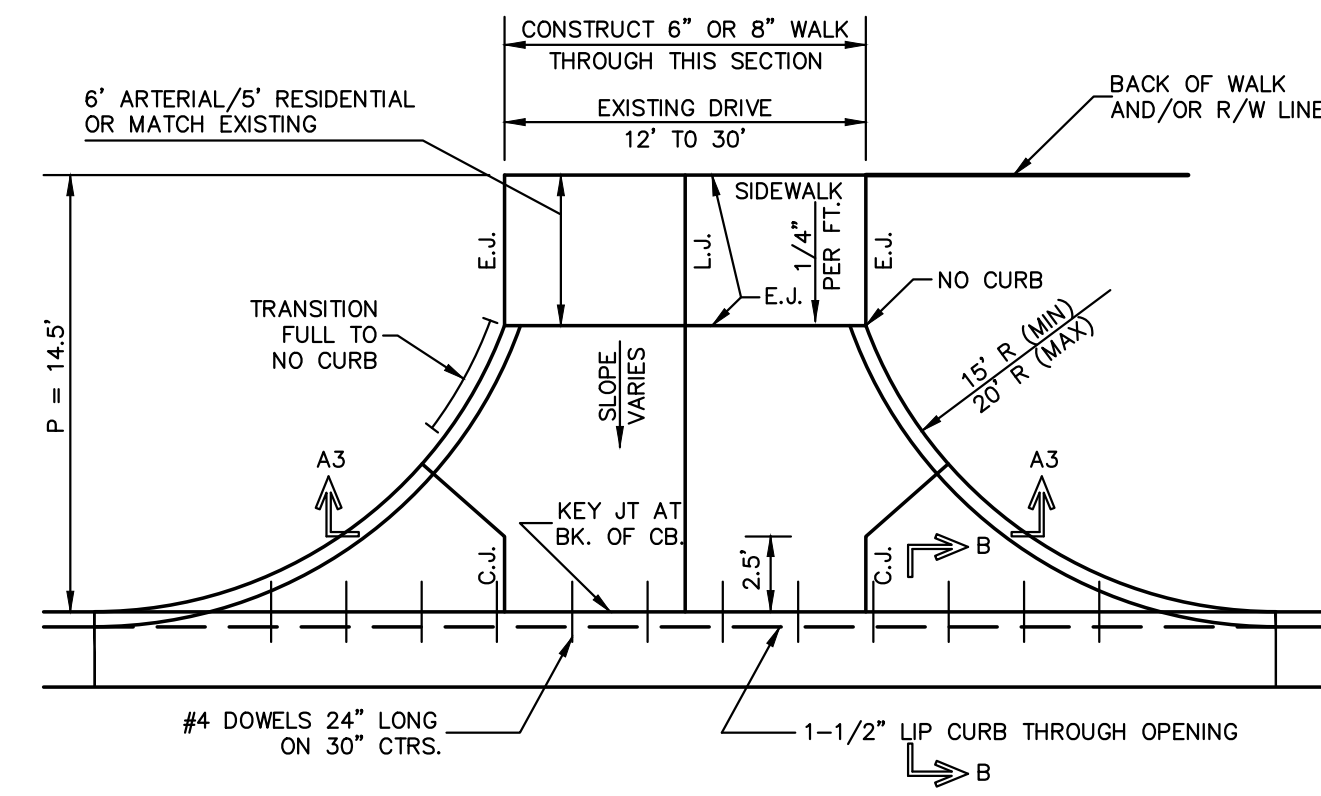
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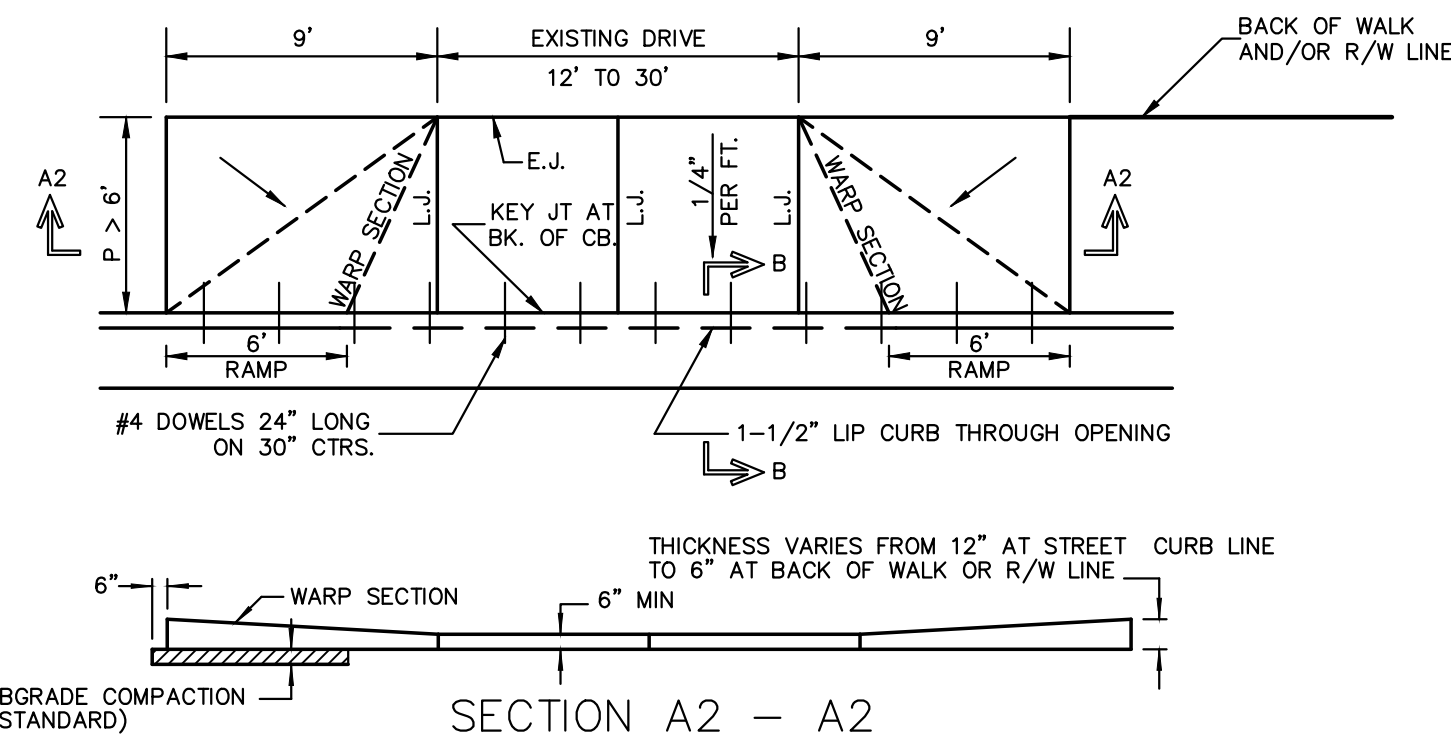


FULL RADIUS DRIVES (ARTERIAL/COLLECTOR DRIVEWAY)

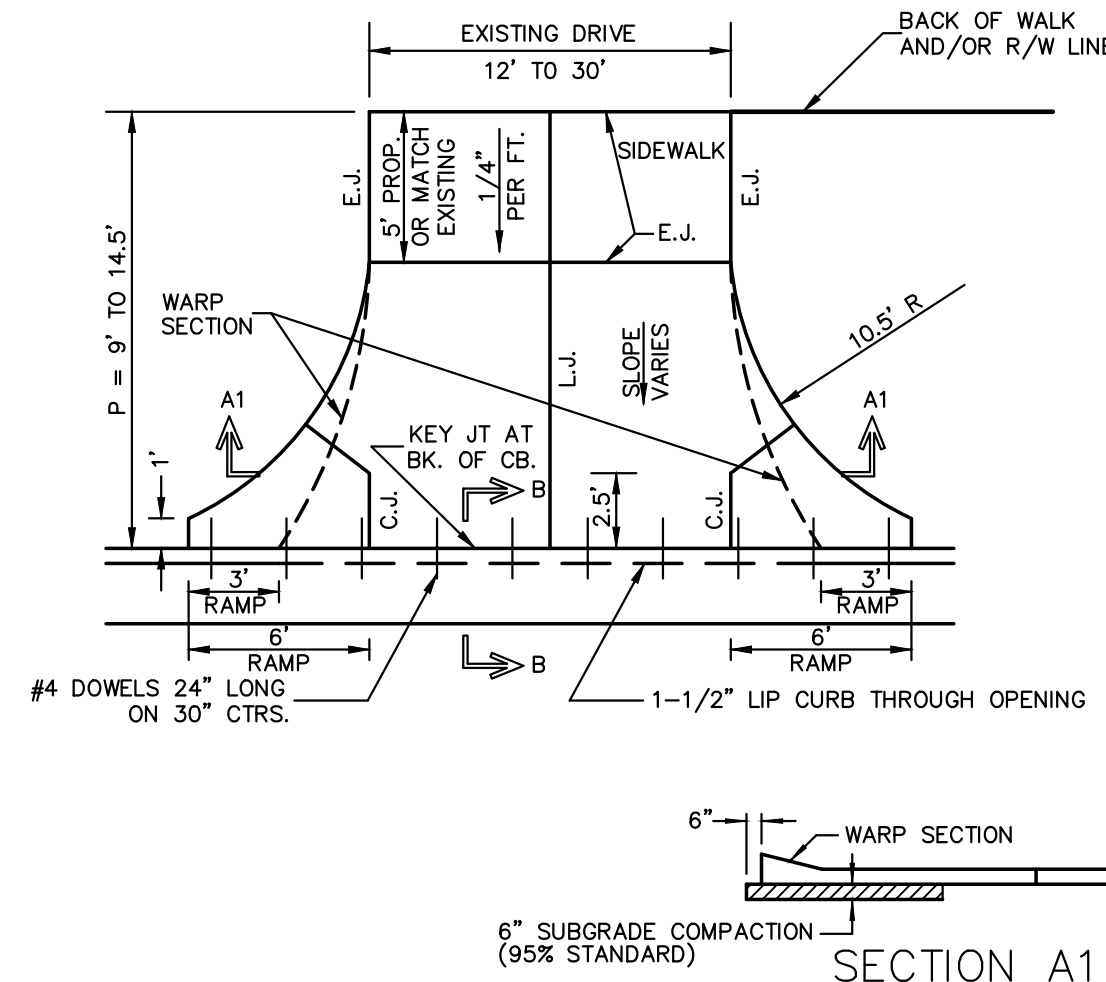


GENERAL NOTES

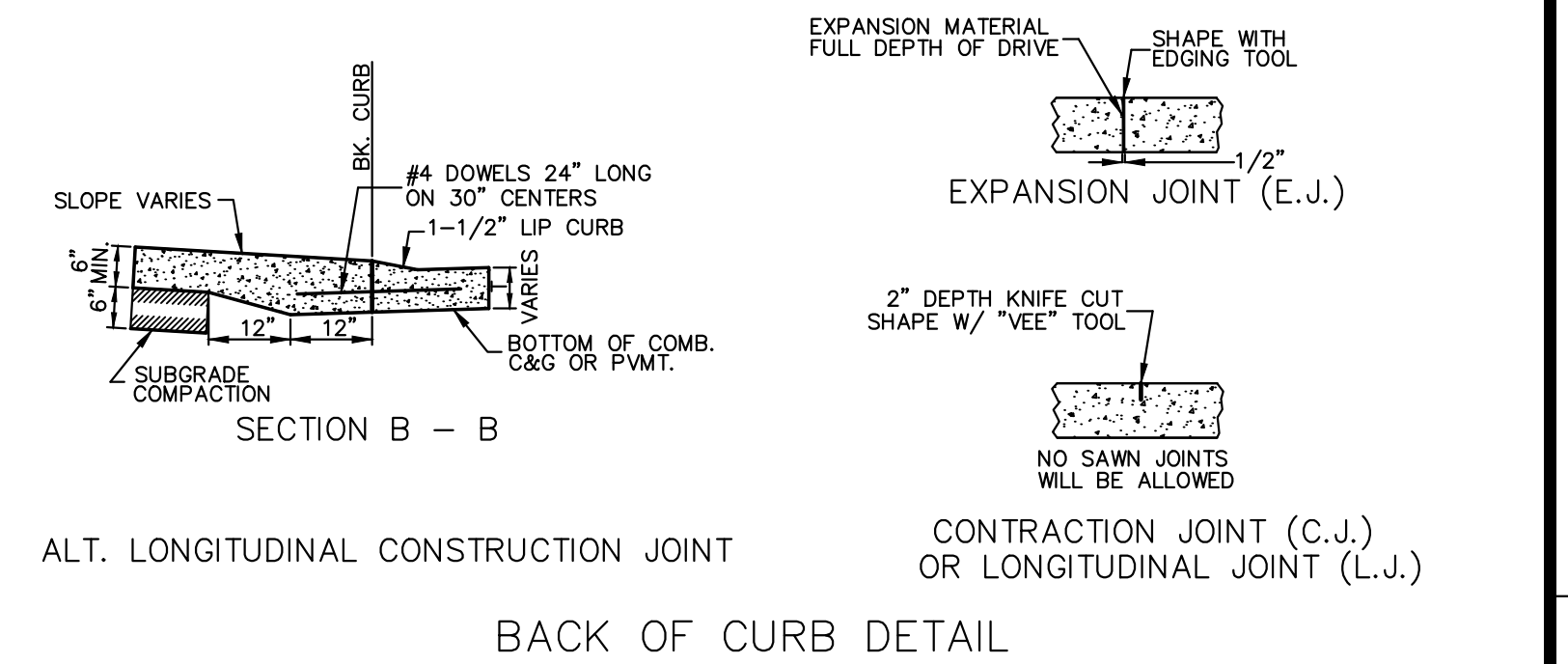
- DRIVEWAY CONSTRUCTION DETAILED ON THIS SHEET IS FOR USE WITH FULL HEIGHT STREET CURBS AND IN AREAS WITHOUT FULL WALK CONSTRUCTION IN THE PARKING. SEE OTHER DETAIL SHEETS FOR DRIVEWAY CONSTRUCTION WITH ROLL CURB AND/OR FULL WALK.
- ONE LONGITUDINAL JOINT SHALL BE CONSTRUCTED ALONG THE CENTERLINE OF DRIVES HAVING A WIDTH DIMENSION OF 24' OR LESS. TWO LONGITUDINAL JOINTS SHALL BE CONSTRUCTED WITH EQUAL SPACINGS NOT TO EXCEED 10' FOR DRIVES WITH A WIDTH DIMENSION GREATER THAN 24'.
- DRIVEWAY WIDTH DENOTED AS WIDTH ON THE DETAIL DRAWINGS SHALL BE A MINIMUM OF 12' AND A MAXIMUM OF 30'. THE MAXIMUM OPENING FOR RADIUS TYPE DRIVES WITH CURBS THROUGH THE RADIUS SHALL NOT EXCEED 52' AT THE STREET CURB LINE.
- CONTRACTION JOINT SPACING IN THE DRIVEWAY WALK SECTION SHALL BE A MINIMUM OF 3' AND A MAXIMUM OF 6' AND ARE TO BE EQUALLY SPACED WITHIN THIS RANGE. WALK SECTION SHALL BE CONSTRUCTED TO THE SAME THICKNESS AS THE DRIVEWAY.
- ADDITIONAL THICKNESS OF DRIVE AS INDICATED IN THE DRAWINGS WILL NOT BE PAID FOR DIRECTLY AND THIS COST SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE DRIVEWAY CONSTRUCTION.
- ONE HALF INCH EXPANSION JOINTS SHALL BE INSTALLED WHEREVER DRIVE CONSTRUCTION ABUTS SIDEWALK. ONE HALF INCH EXPANSION JOINTS SHALL ALSO BE INSTALLED ALONG THE PROPERTY LINE AND/OR BACK OF WALK LINE WHEN DRIVE CONSTRUCTION ALONG THIS LINE ABUTS CONCRETE PARKING LOTS OR CONCRETE DRIVE EXTENSION.
- DRIVEWAYS ONLY ON RESIDENTIAL PROPERTIES ONLY CAN BE CONSTRUCTED WITH 6" IN THICKNESS AND CAN BE WITHOUT REINFORCEMENT.
- ALL DRIVEWAYS TO NONRESIDENTIAL PROPERTY SHALL BE A MINIMUM OF 8" IN THICKNESS AND SHALL HAVE REINFORCEMENT WITH 6"x12", W4xW4.



FULL RAMP DRIVES (P = 4.0' & 6.5')



RADIUS RAMP DRIVES (RESIDENTIAL DRIVEWAY)



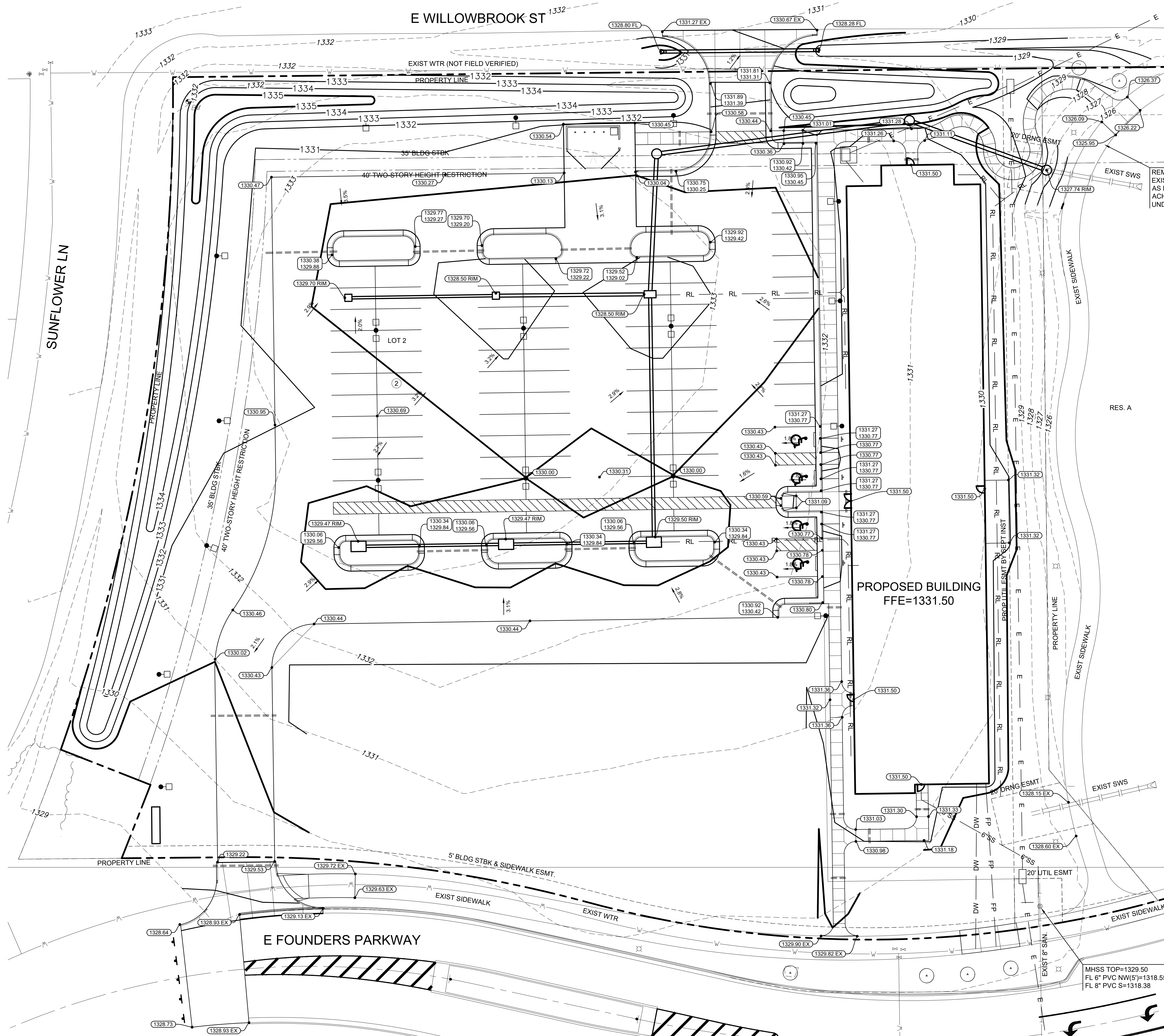
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DATE: 1-3-2025  
 JOB: 24-3385  
 SHEET NO.:



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 C3.01 GRADING PLAN.DWG  
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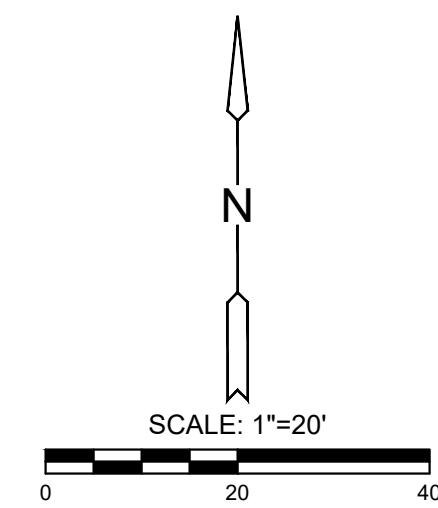


**NOTES**

- ALL SPOT ELEVATIONS REPRESENT FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS WILL BE 6" ABOVE THE FLOW LINE ELEVATIONS, UNLESS OTHERWISE NOTED.
- ALL CURB SPOT ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER SLOPE LABELS AT ALL TIMES.
- GRADES IN ALL SIDEWALK, ACCESSIBLE ROUTES, INCLUDING DRIVEWAYS CROSSINGS SHALL CONFORM TO ALL APPLICABLE ACCESSIBLE STANDARDS; NOT TO EXCEED 5% ALONG TRAVEL PATH WITH NOT MORE THAN 2% CROSS SLOPE AND NOT TO EXCEED 2% IN ANY DIRECTION IN ACCESSIBLE PARKING AREAS.
- MAXIMUM SLOPE IN TURF AREAS SHALL BE 4:1.
- REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TERRACON, PROJECT #01245160 DATED NOVEMBER 4, 2024. CONTRACTOR SHALL REFER TO REPORT FOR RECOMMENDED PAVEMENT THICKNESS, SUBGRADE PREPARATION AND TRENCH BACKFILLING. IF ANY DISCREPANCIES ARISE BETWEEN THE PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT, THEN THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- SATISFACTORY SOIL AND FILL MATERIAL SHALL BE PROVIDED PER THE GEOTECHNICAL REPORT. SEE GEOTECHNICAL REPORT FOR MAXIMUM FILL LIFT THICKNESS.
- CLEAR AND GRUB IMPROVEMENT AREA. REMOVE ALL ORGANIC AND TOPSOIL MATERIAL REGARDLESS OF SIZE AND DEPTH. ALL CLEARED, EXCESS AND WASTE MATERIAL SHALL BECOME CONTRACTORS PROPERTY AND SHALL BE REMOVED FROM THE PROJECT SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE EARTHWORK QUANTITIES. ALL IMPORT AND EXPORT OF SOIL MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THEIR EXPENSE.
- NOTIFY TESTING AGENCY WHEN EXCAVATIONS HAVE REACHED REQUIRED SUBGRADE. SUBGRADE SHALL BE PREPARED AND COMPACTED PER THE GEOTECHNICAL REPORT.
- LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.
- SITE GRADING SHALL NOT CAUSE ADVERSE DRAINAGE IMPACTS TO NEIGHBORING PROPERTIES.

**LEGEND**

- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING TV LINE
- EXISTING LIGHT POLE
- EXISTING GRADES
- PROPOSED GRADES
- GRADING LIMITS
- SPOT ELEVATION
- MATCH EXISTING ELEVATION
- FLOWLINE
- INLET RIM ELEVATION



**WARNING**  
 EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

**PRELIMINARY PERMIT SET NOT FOR CONSTRUCTION**

TRAVIS M. B. BAILEY KS PE 28740 FOR PERMIT ONLY 01/03/25  
 REVISION:

DATE: 1-3-2025  
 JOB: 24-3385  
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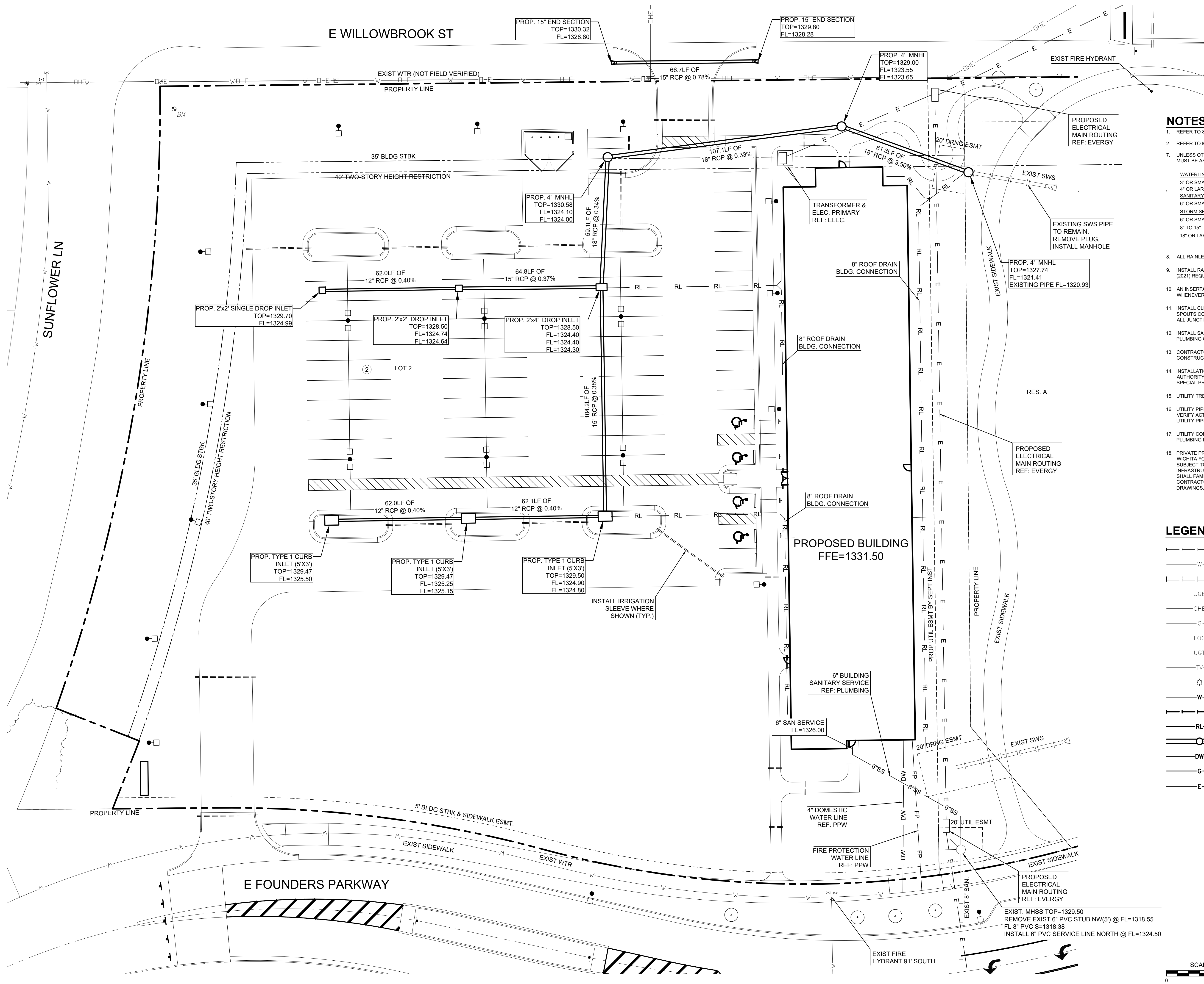
**C3.01**

**JonesGillamRenz**  
 730 N. Ninth 1881 Main Street, Suite 301  
 Salina, KS 67401 Kansas City, MO 64108  
 785.827.0386 jgr@jgarchitects.com  
**JGR**  
**THE RESIDENCE AT HERITAGE WEST**  
**NEW SENIOR-LIVING FACILITY**  
**ANDOVER, KANSAS**

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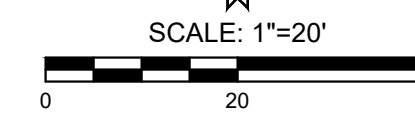
**NOTES**

- REFER TO SHEET C-050 FOR GENERAL NOTES.
- REFER TO MEP PLANS FOR UTILITY PIPES WITHIN 5' AND UNDERNEATH BUILDING.
- UNLESS OTHERWISE NOTED IN THE PROJECT SPECIFICATIONS PIPE MATERIALS MUST BE AS FOLLOWS:
  - WATERLINE
    - 3" OR SMALLER -ASTM D2241 IPS, CLASS 160 (SDR26) PVC
    - 4" OR LARGER -C900 OR C905 PVC, CLASS 150 (DR 18, C.I.O.D.)
  - SANITARY SEWER
    - 6" OR SMALLER -ASTM D3034 SCHEDULE 40 PVC
    - STORM SEWER, RAIN LEADERS AND UNDERDRAINS
      - 6" OR SMALLER -ASTM D3034 SCHEDULE 40 PVC
      - 8" TO 15" -ASTM D3034 SDR-35 PVC
      - 18" OR LARGER -ASTM F2306 AND AASHTO M294 HDPE
      - CLASS III RCP
- ALL RAINLEADERS SHALL BE 8" PVC PIPE.
- INSTALL RAINLEADER PVC PIPING SYSTEM PER INTERNATIONAL PLUMBING CODE (2021) REQUIREMENTS.
- AN INSERT-A-TEE CONNECTION, OR APPROVED EQUAL, SHOULD BE USED WHENEVER RAINLEADERS CONNECT TO STORM WATER TRUNK LINES.
- INSTALL CLEANOUT ACCESS STRUCTURES AT EACH LOCATION WHERE DOWN SPOUTS CONNECT TO THE UNDERGROUND RAINLEADER PIPING SYSTEM AND AT ALL JUNCTIONS AND CHANGE OF DIRECTION POINTS AS REQUIRED BY CODE.
- INSTALL SANITARY SEWER SERVICE LINE AND CLEANOUTS PER UNIFORM PLUMBING CODE (2021) REQUIREMENTS.
- CONTRACTOR TO VERIFY DEPTH & LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- INSTALLATION, BEDDING, & TESTING OF UTILITY INSTALLATIONS SHALL BE PER AUTHORITY HAVING JURISDICTION STANDARD SPECIFICATIONS AND STANDARD SPECIAL PROVISIONS.
- UTILITY TRENCH BACKFILLING SHOULD BE PER GEOTECHNICAL REPORT.
- UTILITY PIPE LENGTHS ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR TO VERIFY ACTUAL LENGTHS OF PIPE REQUIRED PRIOR TO BIDDING & INSTALLING UTILITY PIPE LINES.
- UTILITY CONTRACTOR TO COORDINATE BUILDING CONNECTION POINTS WITH PLUMBING PLAN AND BUILDING CONTRACTOR.
- PRIVATE PROJECT WATER (PPW) PLANS WILL BE SUBMITTED TO THE CITY OF WICHITA FOR THIS PROJECT. WORK DONE UNDER THESE PRIVATE PROJECTS ARE SUBJECT TO THE CITY OF WICHITA REQUIREMENTS FOR CONSTRUCTION OF INFRASTRUCTURE IMPROVEMENTS BY PRIVATE CONTRACT. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH AND COMPLY WITH THESE REQUIREMENTS. THE CONTRACTOR SHALL NOT CONSTRUCT ANY OF THESE LINES WITHOUT APPROVED DRAWINGS.

**LEGEND**

|  |                                |
|--|--------------------------------|
|  | EXISTING SANITARY SEWER        |
|  | EXISTING WATER LINE            |
|  | EXISTING STORM SEWER           |
|  | EXISTING UNDERGROUND ELECTRIC  |
|  | EXISTING OVERHEAD ELECTRIC     |
|  | EXISTING GAS LINE              |
|  | EXISTING FIBER OPTIC CABLE     |
|  | EXISTING UNDERGROUND TELEPHONE |
|  | EXISTING TV LINE               |
|  | EXISTING LIGHT POLE            |
|  | PROPOSED WATER                 |
|  | PROPOSED SANITARY SEWER        |
|  | PROPOSED RAIN LEADER           |
|  | PROPOSED STORM SEWER           |
|  | PROPOSED DOMESTIC WATER        |
|  | PROPOSED GAS                   |
|  | PROPOSED ELECTRIC PRIMARY      |

**WARNING**  
 EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



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 Salina, KS 67401 Kansas City, MO 64108  
 785.827.0386 jgr@jgrarchitects.com



**THE RESIDENCE AT HERITAGE WEST**  
 NEW SENIOR-LIVING FACILITY  
 ANDOVER, KANSAS

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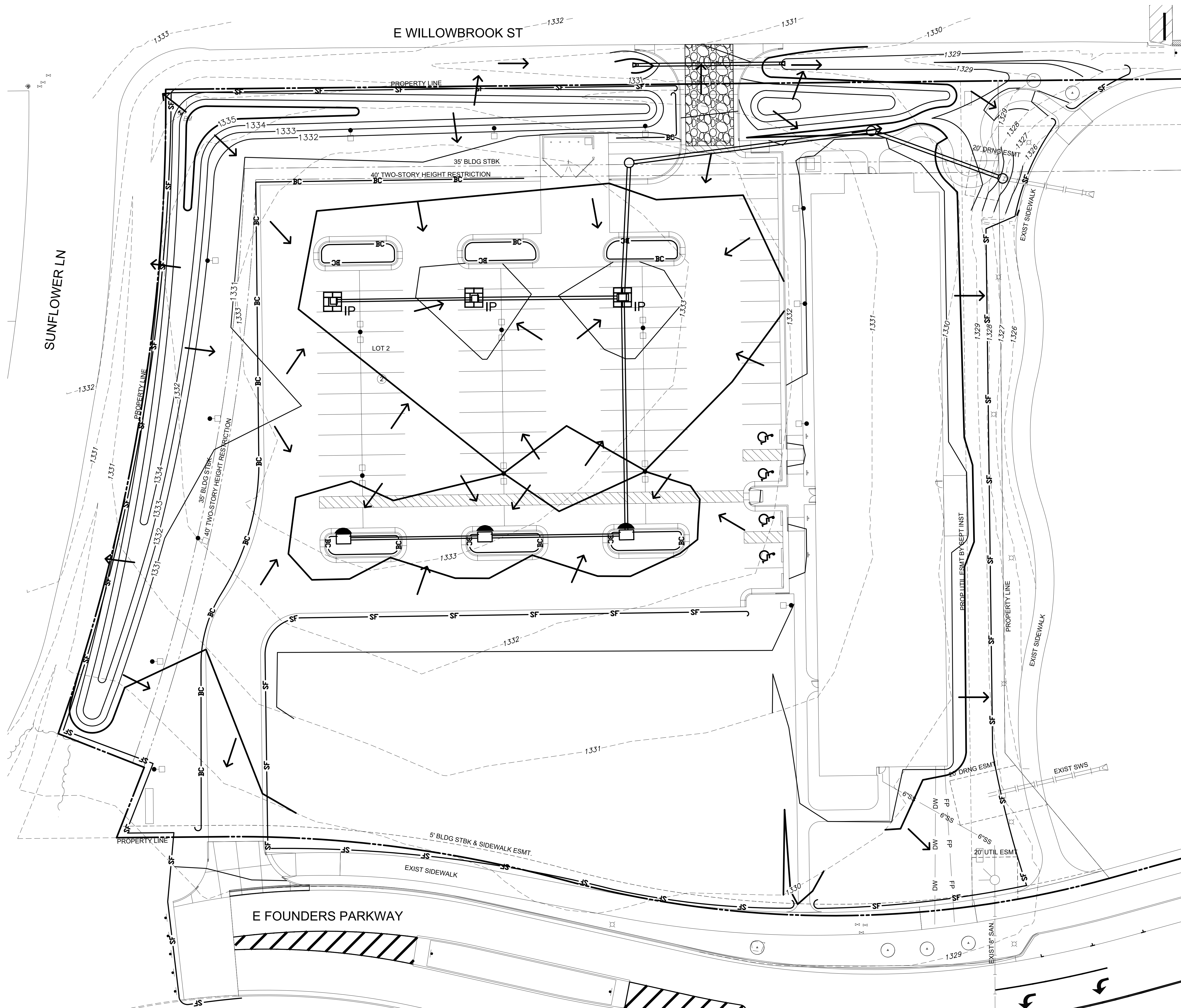
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 PROJECT: WICHTA SENIOR LIVING  
 DATE: 11/20/25  
 DRAWN BY: J. PUSTIN  
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**NOTES**

- EROSION CONTROL SHOULD MEET ALL FEDERAL, STATE, COUNTY AND LOCAL CODE STANDARDS.
- EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS. DRAINAGE WAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGE WAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREGGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.
- SEE SEEDING NOTES FOR DISTURBED AREA STABILIZATION OUTSIDE OF HARDSCAPE AND LANDSCAPE AREAS.
- THE CONTRACTOR SHALL COMPLETE STABILIZATION WHEN SOIL DISTURBING ACTIVITIES CEASE TEMPORARILY AND WILL NOT RESUME FOR 14 DAYS OR MORE.
- CONTRACTOR SHALL PROVIDE EROSION PROTECTION THROUGHOUT PROJECT CONSTRUCTION. THE PLAN PROVIDED HERE WITHIN IS FOR FINAL PROTECTION. VARIOUS PHASES OF THIS PLAN SHALL BE IMPLEMENTED OR MODIFIED TO CONTROL EROSION.
- THE CONTRACTOR(S) ARE RESPONSIBLE FOR EROSION CONTROL IN CONFORMANCE WITH THE APPROVED DRAWINGS UNTIL PROJECT COMPLETION.
- ALL EXISTING AND PROPOSED EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND INFORMATION PROVIDED IN THESE PLANS AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR UNTIL THE PROJECT IS COMPLETED AND THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH MAINTENANCE AND/OR REPLACEMENT OF EROSION CONTROL MEASURES AS DETERMINED BY THE ENGINEER UNTIL PROJECT IS ACCEPTED OR THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED.
- IN ORDER TO PREVENT SILT OR SEDIMENT FROM ENTERING ADJACENT PROPERTIES, APPROPRIATE BMP'S SHALL BE IMPLEMENTED WITHIN THE PROJECT.
- ANY MUD TRACKED ONTO ADJACENT PAVED AREAS OR STREETS SHALL BE REMOVED AT THE END OF EACH WORK DAY.
- PER THE REQUIREMENTS OF THE NOI/SWPPP, BMP INSPECTION REPORTS SHALL BE COMPLETED BY THE CONTRACTOR WEEKLY AND WITHIN 24 HOURS AFTER A 1/2" RAIN. REPORTS SHALL BE KEPT WITH THE SWPPP ON SITE.
- LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.
- CONTRACTOR SHALL PROVIDE A SIGN NEAR THE ENTRANCE WITH THE FOLLOWING INFORMATION:  
 A. CONTACT NAME AND INFORMATION  
 B. A COPY OF THE NOI  
 C. LOCATION OF SWPPP

**LEGEND**

|  |                                |
|--|--------------------------------|
|  | EXISTING SANITARY SEWER        |
|  | EXISTING WATER LINE            |
|  | EXISTING STORM SEWER           |
|  | EXISTING UNDERGROUND ELECTRIC  |
|  | EXISTING OVERHEAD ELECTRIC     |
|  | EXISTING GAS LINE              |
|  | EXISTING FIBER OPTIC CABLE     |
|  | EXISTING UNDERGROUND TELEPHONE |
|  | EXISTING TV LINE               |
|  | EXISTING LIGHT POLE            |
|  | EXISTING GRADES                |
|  | PROPOSED GRADES                |
|  | SILT FENCE                     |
|  | BACK OF CURB PROTECTION        |
|  | CONSTRUCTION ENTRANCE          |
|  | FLOW PATH                      |
|  | AREA INLET PROTECTION          |
|  | CURB INLET PROTECTION          |

**WARNING**  
 EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

SCALE: 1"=20'  
 0 20 40

**Jones Gillam Renz**  
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 Salina, KS 67401 Kansas City, MO 64108  
 785.827.0386 jgr@jgarchitects.com



**THE RESIDENCE AT HERITAGE WEST**  
**ANDOVER, KANSAS**  
**NEW SENIOR-LIVING FACILITY**

**PRELIMINARY PERMIT SET**  
**NOT FOR CONSTRUCTION**

TRAVIS M. B. BAILEY KS PE 28740  
 FOR PERMIT ONLY 01/03/25  
 REVISION:

DATE: 1-3-2025  
 JOB: 24-3385  
 SHEET NO.:

**C5.01**

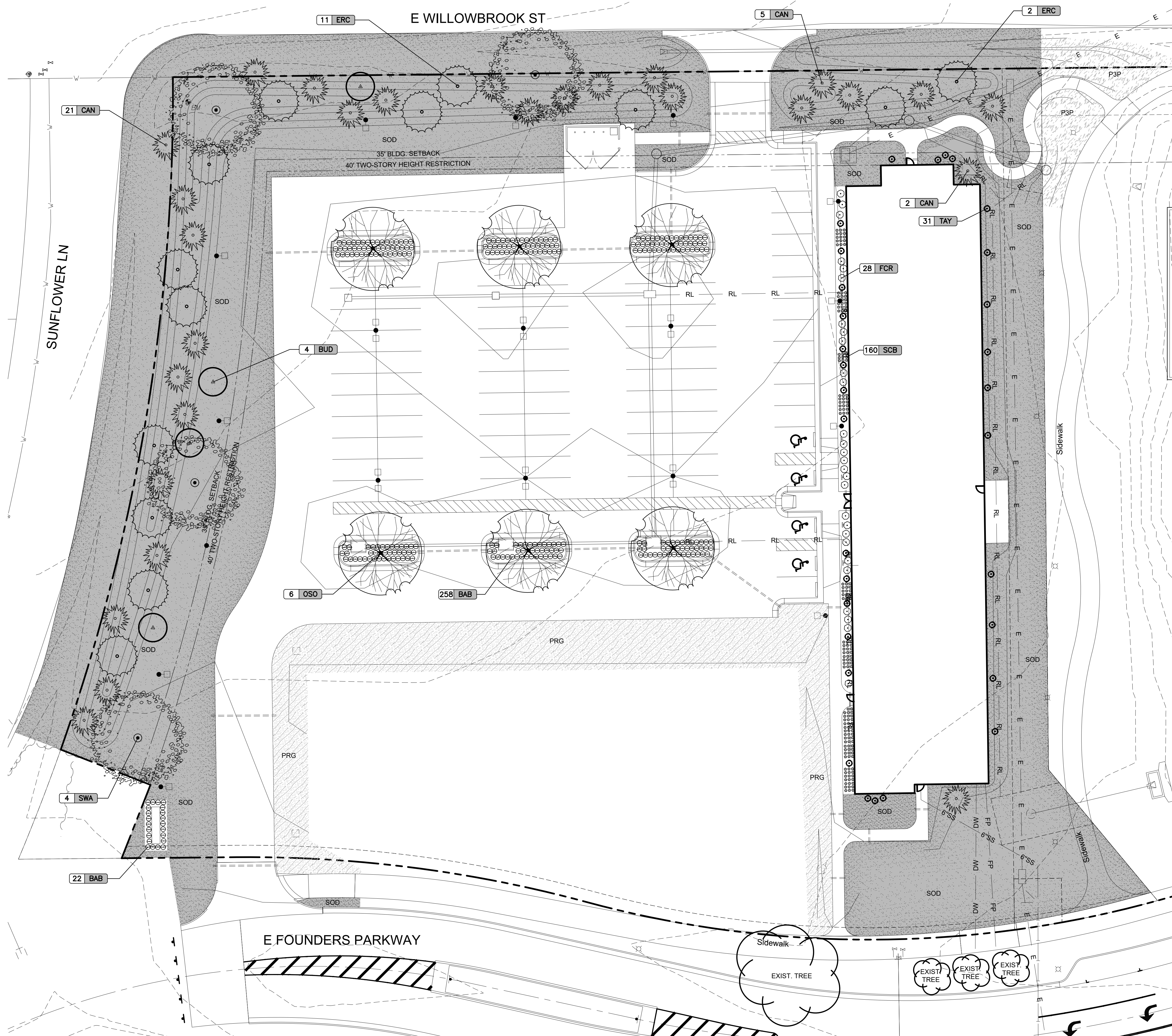
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PLOTTED BY: DUSTIN LOHMANN 1/5/2025 4:10 PM  
 DWG PATH: J:\PROJECTS\2024\2401010881\_JGR\_WICHTA SENIOR LIVING\00 240891 CAD\SH7505 CIVIL\SITE  
 L1.00 LANDSCAPE PLAN.DWG  
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### LANDSCAPE REQUIREMENTS

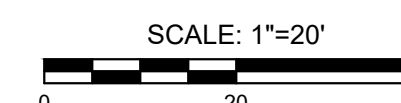
THIS PROJECT IS PART OF THE HERITAGE MIXED-USE SECOND PLANNED UNIT DEVELOPMENT. THE LANDSCAPING PORTION OF THE DEVELOPMENT GUIDELINES STATES THE FOLLOWING:  
 DUE TO THE URBAN DESIGN OF THIS MIXED-USE PUD, THE LANDSCAPING MAY NOT CONFORM TO ALL ASPECTS OF THE REQUIREMENTS OF THE UDM PART 3.3.4. PARTICULARLY 3.4.7 LANDSCAPING IN STREET YARDS. THE SITE PLAN REVIEW COMMITTEE SHALL USE THE PUD CONCEPT PLAN AND DETAILS THEREIN TO FOCUS DIRECTION AND GOALS IN APPROVING SITE PLANS.  
 LANDSCAPING CONSISTING OF A 3-FOOT BERM AND 5-FOOT CEDAR TREES PLANTED EVERY 15 FEET SHALL BE REQUIRED ALONG WILLOWBROOK STREET, 400 FEET EAST OF SUNFLOWER LANE AND ALONG SUNFLOWER LANE, 250 FEET SOUTH OF WILLOWBROOK STREET.

### STREET YARD CALCULATIONS

FRONTAGE OF SITE =  $440' + 288' + 365' = 1,093' - 345'$  (AVE. DEPTH) = 748'  
 LOT DEPTH FACTOR = 15 FEET  
 REQUIRED LANDSCAPED STREET YARD =  $748 \times 15 = 11,220$  SQ. FT.  
 LANDSCAPED STREET YARD PROVIDED = 17,695 SQ. FT.  
 STREET YARD TREES REQUIRED = 3 TREES PER 1,000 SQ. FT OF REQUIRED STREET YARD  
 $11,220 \times 3 = 33,666$  OR 34 TREES  
 TREES PROVIDED = (48) TREES = 48 TREE EQUIVALENT

### LEGEND

- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING TV LINE
- EXISTING LIGHT POLE
- EXISTING GRADES
- PROPOSED GRADES
- PROPOSED GRADING MINOR
- PROPOSED GRADING MAJOR
- GARD'N WISE FESCUE SOD
- PERENNIAL RYEGRASS SEED
- PRAIRIE 3 PLUS SEED



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**JGR**

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DUSTIN LOHMANN FOR PERMIT ONLY  
 KS LA 881 01/03/25  
 REVISION:

DATE: 1-3-2025  
 JOB: 24-3385  
 SHEET NO.:

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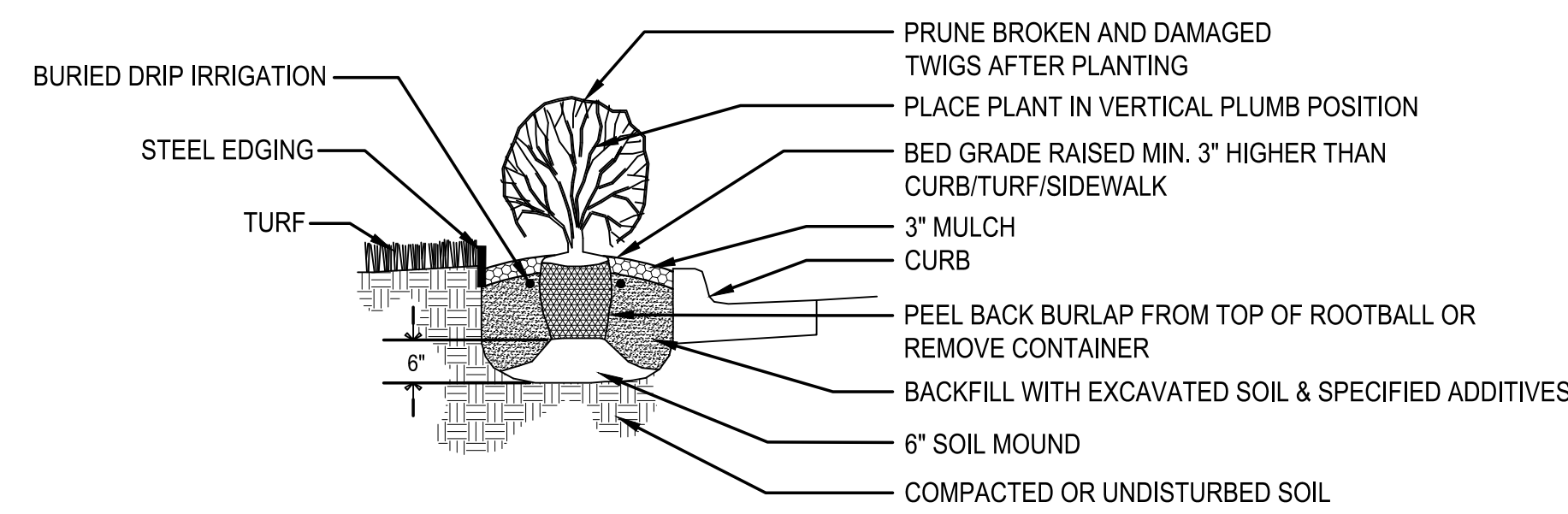
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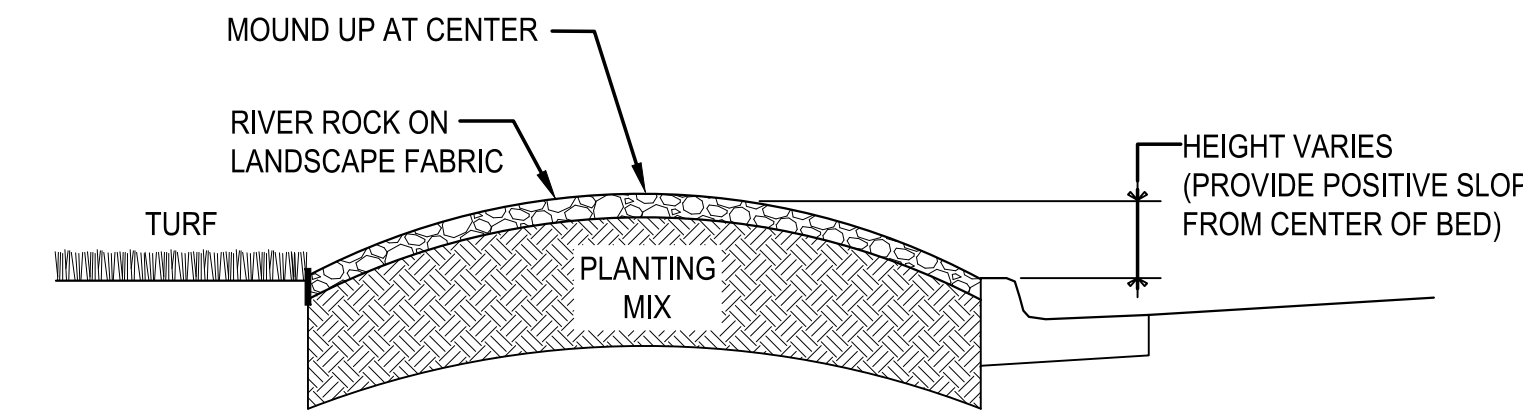
**GENERAL LANDSCAPE NOTES**

- CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH ALL APPLICABLE SPECIFICATIONS RELATED TO THE LANDSCAPE AND IRRIGATION.
- LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIAL. UTILITIES CAN BE FLAGGED BY CALLING 811, OR 1-800-344-7233, OR ONLINE AT [www.kansasonecall.com](http://www.kansasonecall.com). DAMAGE TO UTILITIES SHALL BE AVOIDED DURING THE COURSE OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE MASS GRADING CONTRACTOR TO INSURE THEY THOROUGHLY RIP AND ALLEVIATED ALL COMPACTED SOILS FROM THEIR HAULING AND PLACEMENT OPERATIONS.
- ALL WATER REQUIRED FOR LANDSCAPE OPERATIONS AND FOR ESTABLISHING LANDSCAPE ON THIS SITE WILL BE PROVIDED BY THE OWNER FROM ON-SITE SOURCES AND SUPPLIED TO THE LANDSCAPE CONTRACTOR AT NO CHARGE.
- PLANTING DATES FOR PLANT MATERIAL SHALL BE DURING THE MONTHS BETWEEN FEB. 15TH AND MAY 31ST OR SEPT. 15TH AND DEC. 15. PLANTING SHALL ONLY BE CONDUCTED WHEN THE GROUND IS NOT FROZEN, SNOW-COVERED, OR IN AN OTHERWISE UNSUITABLE CONDITION FOR PLANTING. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- MULCHED LANDSCAPE BED EDGES SHALL BE LINED WITH PRO-STEEL EDGING (OR APPROVED EQUAL).
- MULCH ADJACENT TO BUILDINGS SHALL BE FOUR (4) INCHES LOWER THAN BUILDING FINISH FLOOR ELEVATION.
- ALL SHRUB/PERENNIAL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TREFLAN OR EQUAL. APPLY AS PER MANUFACTURER'S RECOMMENDATION. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING AND MULCHING WITHIN THESE AREAS ARE COMPLETE. DO NO DISTURB AREAS AFTER APPLICATION. WATER IN AS DIRECTED.
- INSTALL 3" MIN. DEPTH FINE-SHREDDED, DARK HARDWOOD MULCH IN ALL PLANTING BED AREAS AND WITHIN A 4' DIAMETER CIRCLE AROUND ALL TREES PLANTED IN LAWN AREAS. PULL MULCH AWAY FROM TREE TRUNKS WITHIN 3" OF TRUNK.
- IF POSSIBLE, BASED ON TIME OF YEAR SITE IS READY FOR LANDSCAPING, PLANT TREES PRIOR TO ROUTING/INSTALLING IRRIGATION LINES AND SUSTAIN TEMPORARILY BY WATERING WITH IRRIGATOR SLOW DRIP IRRIGATION BAGS OR BY HAND WATERING. FOLLOW TREE PLANTING WITH INSTALLATION OF IRRIGATION SYSTEM, THEN BY SODDING AND SEEDING (IF APPLICABLE).
- FESCUE SOD SHALL BE HARVESTED & PLACED BETWEEN THE DATES OF APRIL 1ST AND JUNE 15TH UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WATER ALL SOD UNTIL LANDSCAPE JOB IS COMPLETE.
- AREAS DENOTED AS 'SOD' SHALL BE PLANTED WITH THE FOLLOWING GRASS TYPE:  
SOD:  
GARD'N WISE FESCUE/BLUE, OBTAINABLE FROM CRANMER GRASS FARM, INC., 6121 N. 119TH, MAIZE, KANSAS 67101, PH# (316) 722-7230.
- ALL SOD AREAS SHALL BE INSTALLED AS FOLLOWS: AFTER FINAL GRADE IS ESTABLISHED AND ALL SOIL AREAS DRAIN AS INTENDED, AND ALL SURFACE IRREGULARITIES HAVE BEEN REMOVED, THOROUGHLY PREPARE SODBED BY TILLING TO A MINIMUM DEPTH OF 3" AND HARROWING. ROLL SOD FOLLOWING LAYING FOR GOOD SOD/SOIL CONTACT AND KEEP IN A MOIST (BUT NOT SATURATED) CONDITION FOR FIRST TWO WEEKS TO PROMOTE GOOD ROOTING. FERTILIZE WITH 1 LB. ACTUAL NITROGEN PER 1,000 S.F. AT TIME OF PLANTING.
- ALL LANDSCAPE AND TURF AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN-SENSING DEVICE TO SHUT OFF THE SYSTEM DURING PERIODS OF ADEQUATE RAIN.
- PLACEMENT OF IRRIGATION CONTROLLER SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTINGS SHALL BE IN PLACE OR STAKED BEFORE IRRIGATION LINE ROUTING BEGINS TO AVOID CONFLICTS. THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL IN ALL LAWN AREAS BEFORE SOD/SEED IS PLACED.
- ALL PLANTS SHALL CONFORM TO ANSI Z60.1 FOR SIZE AND QUALITY STANDARDS.
- LABEL EACH PLANT WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. DO NOT REMOVE UNTIL AFTER PROVISIONAL ACCEPTANCE.
- SUBSTITUTION OF PLANT SPECIES FOR THOSE LISTED IN THE PLANT LIST IS NOT PERMISSIBLE. ONLY SIZE WILL BE CONSIDERED.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL; FREE OF PEST AND DISEASES. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST. ALL TREES SHALL BE STRAIGHT-TRUNKED, OR OF TYPICAL FORM TO THE SPECIES, FULL-HEADED AND MEET THE REQUIREMENTS AS SPECIFIED. ALL TREES MUST BE STAKED.
- STAKES AND GUYING SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY.
- ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING INITIAL ACCEPTANCE. DEAD OR DEFICIENT PLANTINGS SHALL BE ACCEPTABLY REPLACED, IN PROPER PLANTING SEASON, ONE TIME AT NO COST TO THE OWNER. SOD AREAS MAY BE FINAL ACCEPTED AT TIME OF COMPLETION OF ESTABLISHMENT WITH NO FURTHER GUARANTEE REQUIRED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, (INCLUDING WATERING AND MOWING) SOD AREAS UNTIL ACCEPTANCE OF THESE AREAS. WHEN READY, THE LANDSCAPE CONTRACTOR SHALL REQUEST INSPECTION OF ESTABLISHED SODDED AREAS BY THE OWNER'S REPRESENTATIVE.
- TOPSOIL FOR ALL LANDSCAPE BEDS AND PARKING ISLANDS SHALL BE A MINIMUM OF EIGHTEEN INCHES (18") DEPTH.

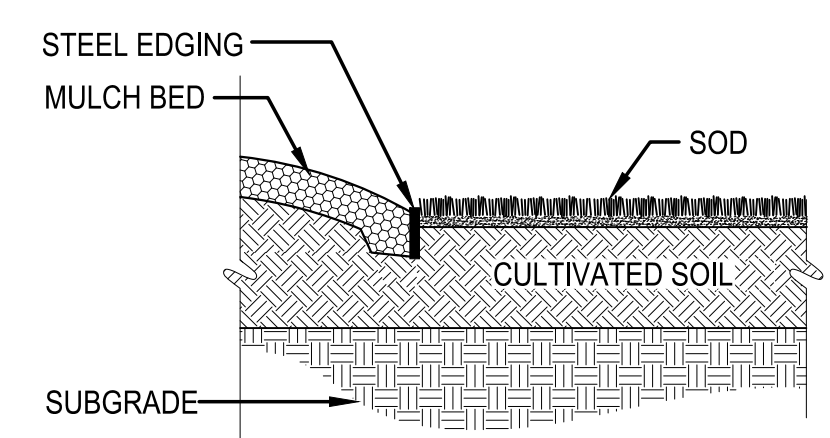
| CODE                                 | QTY       | COMMON NAME                                  | BOTANICAL NAME                       | SIZE             |         |
|--------------------------------------|-----------|--|--------------------------------------|------------------|---------|
| <b>DECIDUOUS TREES</b>               |           |  |                                      |                  |         |
| OSO                                  | 6         | OSAGE ORANGE                                 | MACLURA POMIFERA                     | 2" CAL. / B&B    |         |
| SWA                                  | 4         | SWAMP WHITE OAK                              | QUERCUS BICOLOR                      | 3" CAL. / B&B    |         |
| <b>EVERGREEN TREES</b>               |           |  |                                      |                  |         |
| CAN                                  | 28        | CANAERTI JUNIPER                             | JUNIPERUS VIRGINIANA 'CANAERTII'     | 7' - 8' MIN. HT. |         |
| ERC                                  | 13        | EASTERN RED CEDAR                            | JUNIPERUS VIRGINIANA                 | 7' - 8' MIN. HT. |         |
| TAY                                  | 31        | TAYLOR JUNIPER                               | JUNIPERUS VIRGINIANA 'TAYLOR'        | 7' - 8' MIN. HT. |         |
| <b>ORNAMENTAL TREES</b>              |           |  |                                      |                  |         |
| BUD                                  | 4         | EASTERN REDBUD                               | CERCIS CANADENSIS                    | 2" CAL. / B&B    |         |
| <b>SHRUBS</b>                        |           |  |                                      |                  |         |
| FCR                                  | 28        | FLOWER CARPET® PINK SUPREME GROUNDCOVER ROSE | ROSA X 'NOA168098F'                  | #1 CONT.         |         |
| SCB                                  | 160       | SUFFRUTICOSA COMMON BOXWOOD                  | BUXUS SEMPERVIRENS 'SUFFRUTICOSA'    | #1 CONT.         |         |
| <b>ORNAMENTAL GRASSES/PERENNIALS</b> |           |  |                                      |                  |         |
| BAB                                  | 280       | BLONDE AMBITION BLUE GRAMA                   | BOUTELOUA GRACILIS 'BLONDE AMBITION' | #2 CONT.         |         |
| CODE                                 | QTY       | COMMON NAME                                  | BOTANICAL NAME                       | SIZE             | SPACING |
| <b>SOD/SEED</b>                      |           |  |                                      |                  |         |
| P3P                                  | 1,826 SF  | PRAIRIE 3 PLUS                               |                                      | SEED             |         |
| PRG                                  | 7,654 SF  | PERENNIAL RYEGRASS                           |                                      | SEED             |         |
| SOD                                  | 51,256 SF | FESCUE: GARD'N WISE FES/BLUE MIXTURE         |                                      | SOD              |         |



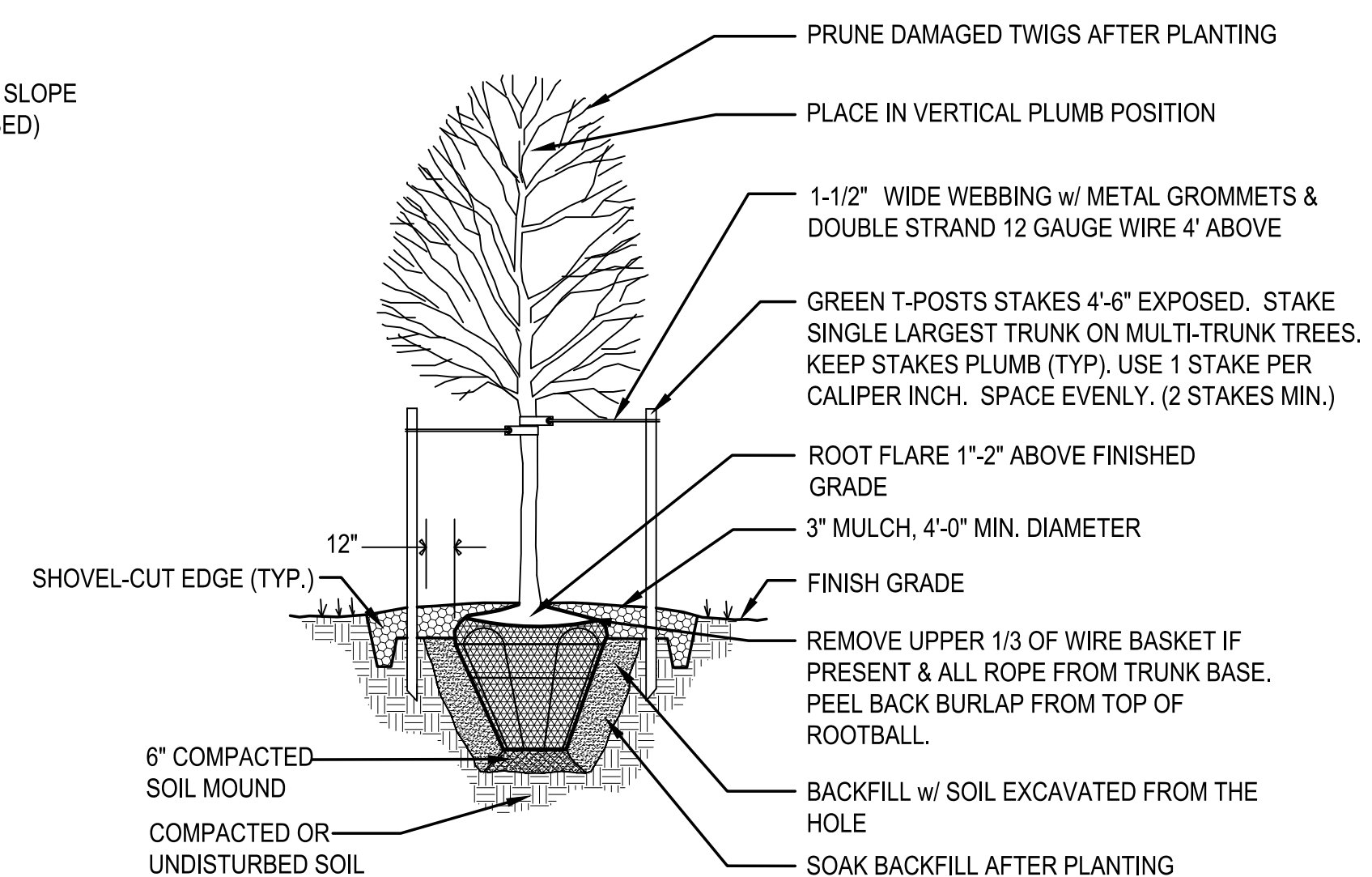
**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL PLANTING BED DIAGRAM**  
NOT TO SCALE



**BED EDGING AT TURF DETAIL**  
NOT TO SCALE



**TREE PLANTING IN TURF AREA DETAIL**  
NOT TO SCALE

PLOTTED BY: DUSTIN LOHMANN 1/5/2025 4:49 PM  
 DWG NAME: L1.01 LANDSCAPE DETAIL.DWG  
 PROJECT: 20250202401010681\_JGR\_WICHTA SENIOR LIVING00 240891 CAD/SHT005 CIVILSITE  
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