



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Residence at Heritage West New Development Andover, KS	Report No.	Five (5)
OWNER:	OPG Heritage West Partners, LLC Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	April 30, 2025
CONTRACTOR:	MCP Build 3501 SW Fairlawn Rd., Suite 100 Topeka, KS 66614	Architect's Proj No.	24-3379
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

Fire extinguishers & Cabinets. The current permitted project shows portable fire extinguishers located in each dwelling unit, and no FEC are shown or required in the hallways/common areas per IBC exception 1, 906.6 (1). The individual dwelling unit fire extinguishers will be eliminated, in lieu of installing/providing Fire Extinguishers and semi-recessed FEC (Fire Extinguisher Cabinets) as shown located in the resident hallways. (3) such FEC shall be located to meet maximum travel distance of 75' to any FEC location.

FE shall be rated 2-A:10-B:C per IBC 906.6 and NFPA 10.

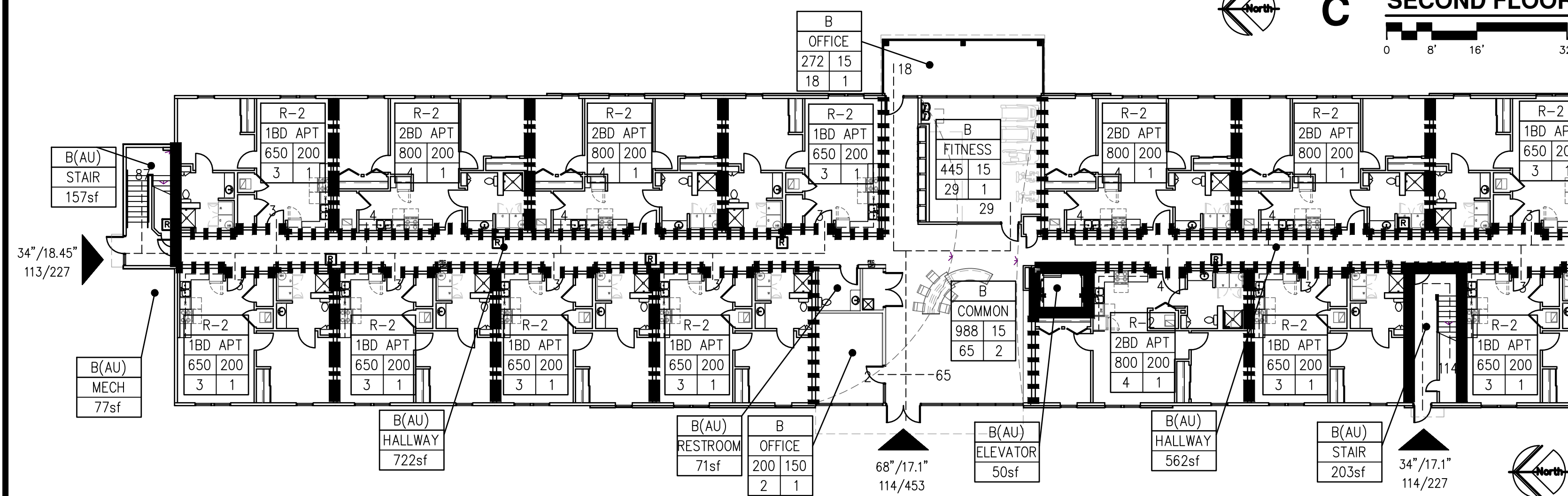
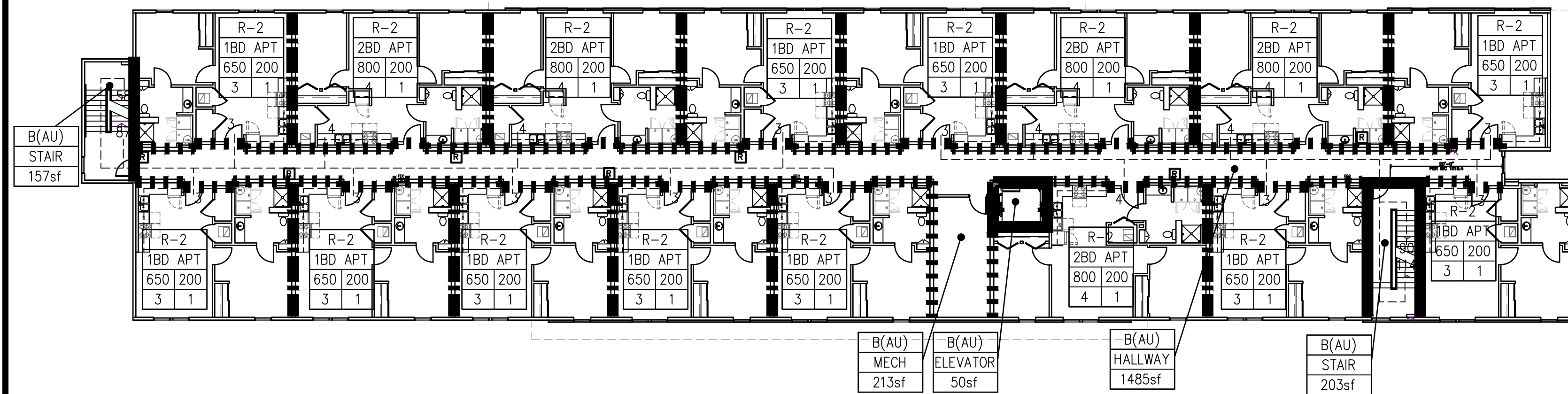
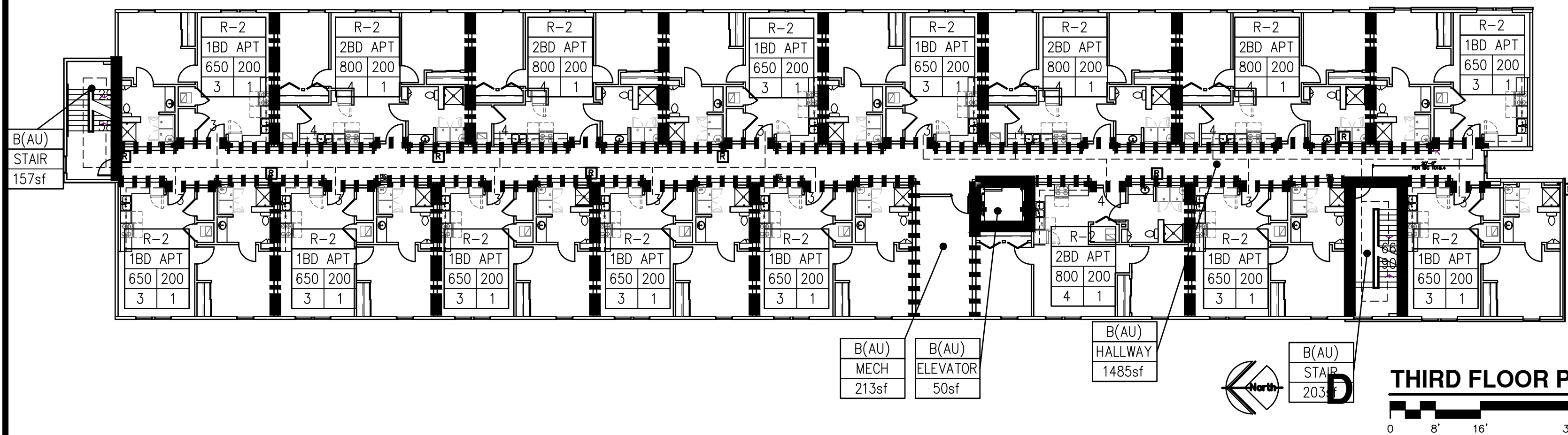
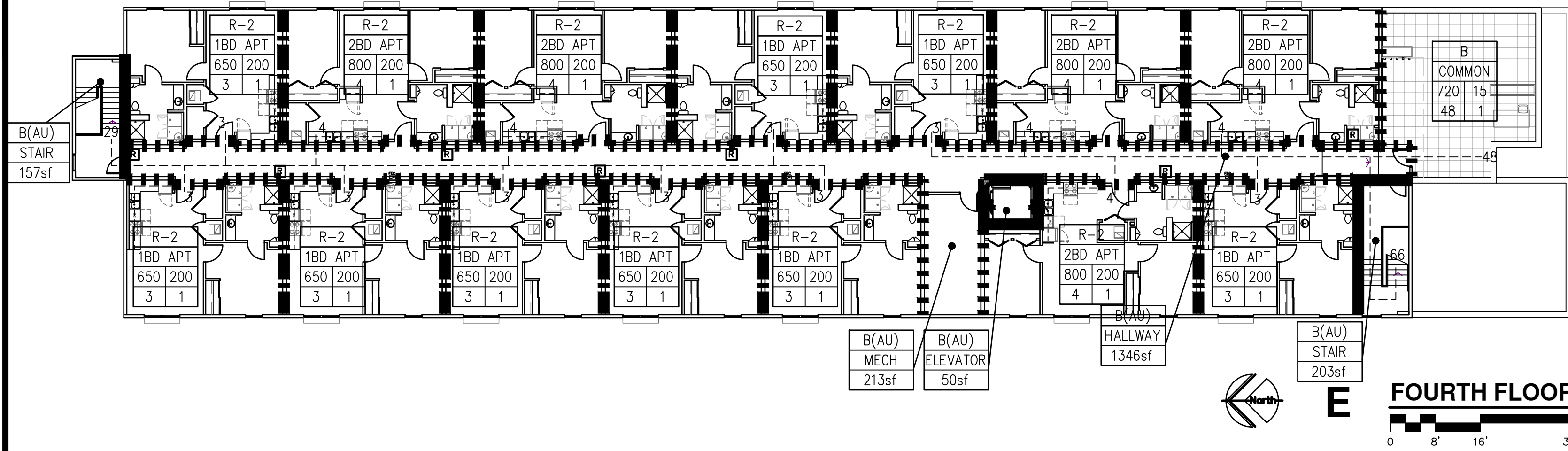
Attachments:

1. Revised Sheet CFP, A2.1, A2.2

Issued by:	Jones Gillam Renz Architects Chris Gillam, Project Manager	PO Box 2928, Salina, KS 67402 785-827-0386 cgillam@jgrarchitects.com
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CODE INFORMATION

OCCUPANCY OVERALL: MIXED OCCUPANCY
OCCUPANCY GROUPS: B OFFICE
R-2 APARTMENTS

CONSTRUCTION TYPE: V-A

BASIC ALLOWABLE AREA: B 18,000 SF
R-2 12,000 SF

ALLOWABLE AREA INCREASE: (NON-SEPARATED USES, PER IBC SEC. 508.3)

BASE ALLOWABLE	12,000 SF
AREA INCREASE (33.75%)	4,050 SF
FIRE SPRINKLER INCREASE (NONE)	
SUB-TOTAL ALLOWABLE (PER FLOOR)	16,050 SF
4 FLOORS	x4
TOTAL BUILDING ALLOWABLE AREA	64,200 SF

FIRST FLOOR AREA:	12,869 SF
SECOND FLOOR	13,162 SF
THIRD FLOOR	13,162 SF
FOURTH FLOOR	12,502 SF
TOTAL BLDG AREA	51,695 SF

BASIC ALLOWABLE STORIES:	3
STORIES INCREASE (PER IBC SEC. 504.2)	1
TOTAL ALLOWABLE STORIES	4

BASIC ALLOWABLE HEIGHT:	50'
HEIGHT INCREASE (PER IBC SEC. 504.2)	20'
TOTAL ALLOWABLE HEIGHT	60'

ACTUAL STORIES:	4
ACTUAL HEIGHT:	48'

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS: V-A

EXTERIOR BEARING WALLS:	1 HOUR (INTERIOR RATING ONLY, PER IBC SEC. 705.5, FS-10')
STRUCTURAL FRAME:	1 HOUR
INTERIOR BEARING WALLS:	1 HOUR
INTERIOR NON-BEARING WALLS:	0 HOUR
SHAFT ENCLOSURES:	2 HOUR
FLOOR/CEILING ASSEMBLY:	1 HOUR
CEILING/ROOF ASSEMBLY:	1 HOUR
CORRIDOR/DWELLING UNITS:	1/2 HOUR (Table 1018.1)

OCCUPANCY SEPARATIONS:
(NON-SEPARATED USES, PER IBC SEC. 508.3)

ALLOWABLE AREA & HEIGHT CALCULATIONS ARE BASED ON THE MOST RESTRICTIVE USE. DIFFERENT USES ARE NOT SEPARATED BY FIRE BARRIERS.

R2 TO R2 SEPARATION OF DWELLING UNITS = 1HR, 45 MIN. OPNGS

ROOF COVERINGS CLASS B OR BETTER

INCIDENTAL SEPARATIONS: (PER IBC TABLE 509)

STORAGE ROOMS OVER 100 SF - SPRINKLER SYSTEM (SMOKE BARRIER)

DWELLING UNITS - 1 HR FIRE PARTITIONS

SPECIAL CONDITIONS:

EXIT & EMERGENCY LIGHTING, MANUAL FIRE ALARM

PORTABLE FIRE EXTINGUISHERS IN CORRIDOR FEC (PER IBC 906.1 TABLE 906.3(1&2))

FIRE ALARM REQUIREMENTS:

REQUIRED, PROVIDED - MANUAL & AUTOMATIC FIRE ALARM SYSTEM PER NFPA 72

SIGNALING SYSTEM IS AUDIBLE/VISUAL PER NFPA 72 & ADA INSTALLED THROUGHOUT

INITIATING DEVICES: PULL STATIONS; SMOKE DETECTION @ SLEEPING & COMMON AREAS,

SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES MONITORED.

SMOKE ALARM REQUIREMENTS:

REQUIRED, PROVIDED - SLEEPING ROOMS & AT EACH FLOOR

AUTOMATIC FIRE SUPPRESSION SYSTEM:

REQUIRED, PROVIDED PER NFPA 13R (IBC 903.3.1.2)

EMERGENCY POWER SOURCE:

EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP

HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1))

NO HAZARDOUS MATERIALS ARE TO BE STORED

SMOKE CONTROL:

NOT REQUIRED

SMOKE PARTITIONS:

NOT REQUIRED

STANDPIPES: (PER IBC 905.3.1 EXCEPTION 1)

CLASS 1 REQUIRED

ASSEMBLY

SIGNS TO BE MOUNTED IN ASSEMBLY AREAS OF MAXIMUM OCCUPANT LOAD

TOTAL OCCUPANT LOAD: 362

EXITING: REFERENCE PLAN

OCCUPANT LOAD FACTORS:

OCCUPANCY	USE	LOAD FACTOR	MAX. OCC LD=1 EXIT
B	LOBBY	15 sf/OCCUPANT	49
B	OFFICE	150 sf/OCCUPANT	49
B	MECH/ELEC	300 sf/OCCUPANT	49
R-2	APARTMENT	200 sf/OCCUPANT	10

PROJECT INFORMATION

TYPE OF CONSTRUCTION: NEW SENIOR LIVING UNITS
FACILITY NAME: THE RESIDENCE at HERITAGE WEST
FACILITY ADDRESS: xxx E. WILLOWBROOK ST.
ANDOVER, KS

OWNER NAME: OPG HERITAGE WEST PARTNERS, LLC
OWNER ADDRESS: 227 N SANTA FE, STE 310
SALINA, KS 67401
ph: 913-396-6310
fax: 913-396-6312

REASON FOR SUBMITTAL: NEW CONSTRUCTION
COUNTY: BUTLER
FIRE DEPARTMENT: ANDOVER
WATER SUPPLY: ANDOVER
BUILDING INSPECTION DEPT: ANDOVER
AUTHORITY HAVING JURISDICTION: ANDOVER

ARCHITECT: JONES GILLAM RENZ ARCHITECTS, INC.
730 N. NINTH ST.
SALINA, KS 67401
ph: 785-827-0386
fax: 785-827-0392

CODES/REGULATIONS: 2012 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 UNIFORM PLUMBING CODE
2014 NATIONAL ELECTRICAL CODE
2012 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
FAIR HOUSING ACT DESIGN MANUAL
2010 ADA STANDARDS for ACCESSIBLE DESIGN
2009 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS and FACILITIES

LEGEND

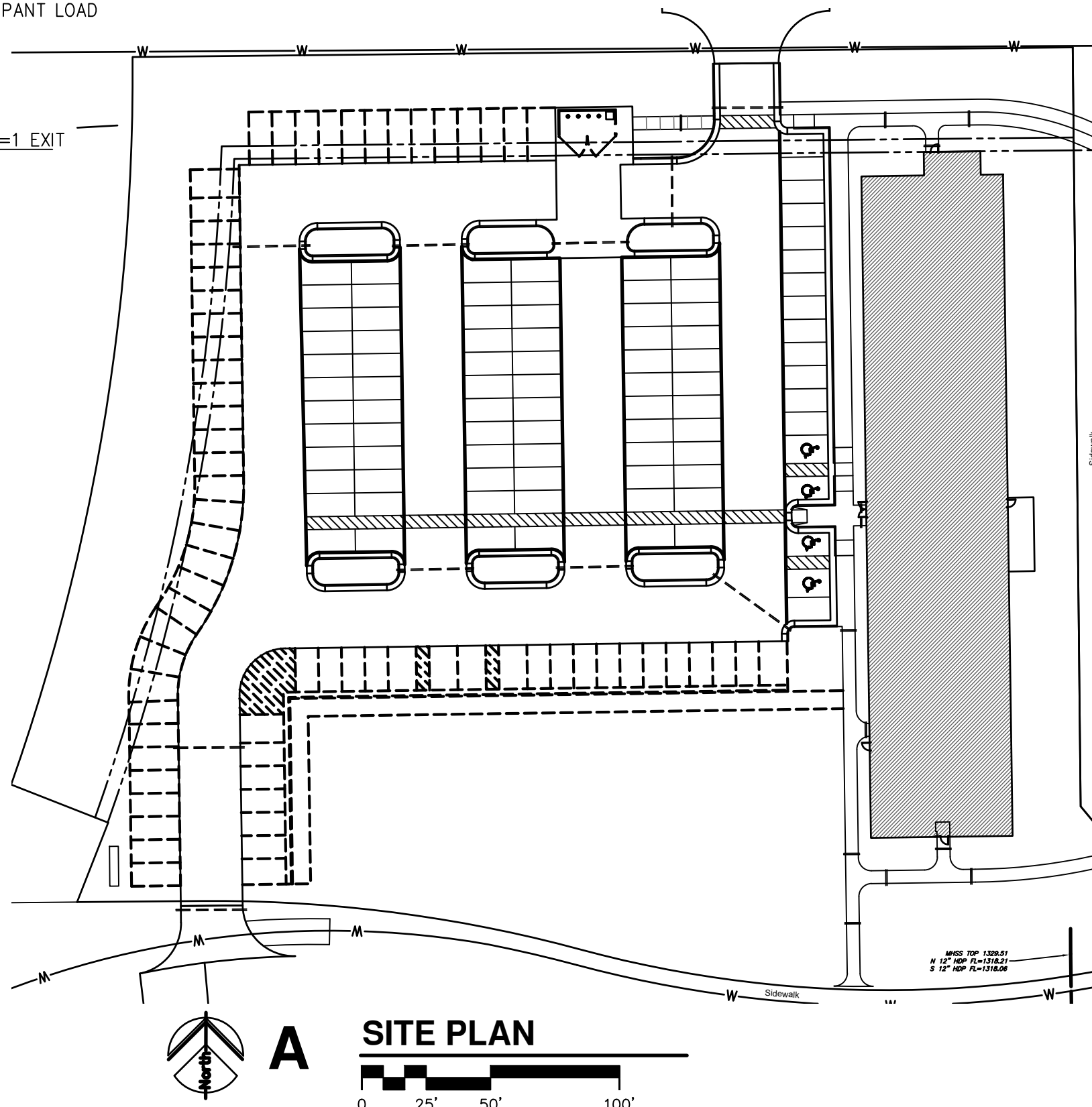
DESIGNATED EMERGENCY EXIT: 68"/24" ← EXIT WIDTH (ACTUAL/REQUIRED)
122/340 ← OCCUPANT LOAD (ACTUAL/ALLOWED)

1 HOUR CONSTRUCTION (LD BRG WALLS)
1/2 HOUR FIRE PARTITION: CORRIDOR (PER IBC TABLE 1018.1)
W/ 20 MIN OPENINGS (PER IBC TABLE 716.5)
1 HOUR FIRE PARTITION: BETWEEN DWELLING, SLEEPING UNITS
W/ 45 MIN OPENINGS (PER IBC 709.3 & 715.4)
2 HOUR CONSTRUCTION: EXIT ENCLOSURE, SHAFT WALLS,
W/ 90 MIN OPENINGS (PER IBC TABLE 716.5)

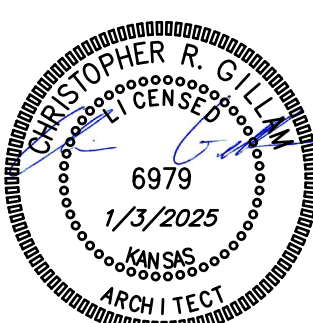
EXIT LIGHT
EMERGENCY LIGHT
EXIT/EMERGENCY LIGHT
FIRE EXTINGUISHER
FIRE HYDRANT
FIRE ALARM REMOTE ANNUNCIATOR PANEL
FIRE ALARM CONTROL PANEL

OCCUPANCY GROUP (AU - ACCESSORY USE)	A-1
OCCUPANCY USE	ASSEMBLY HALL
ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR	5,550 15
OCCUPANT LOAD/REQUIRED NUMBER OF EXITS	370 2

(EXIST WIDTH/LOAD FACTOR 0.15 PER 1005.3.2 EXCEPTION)

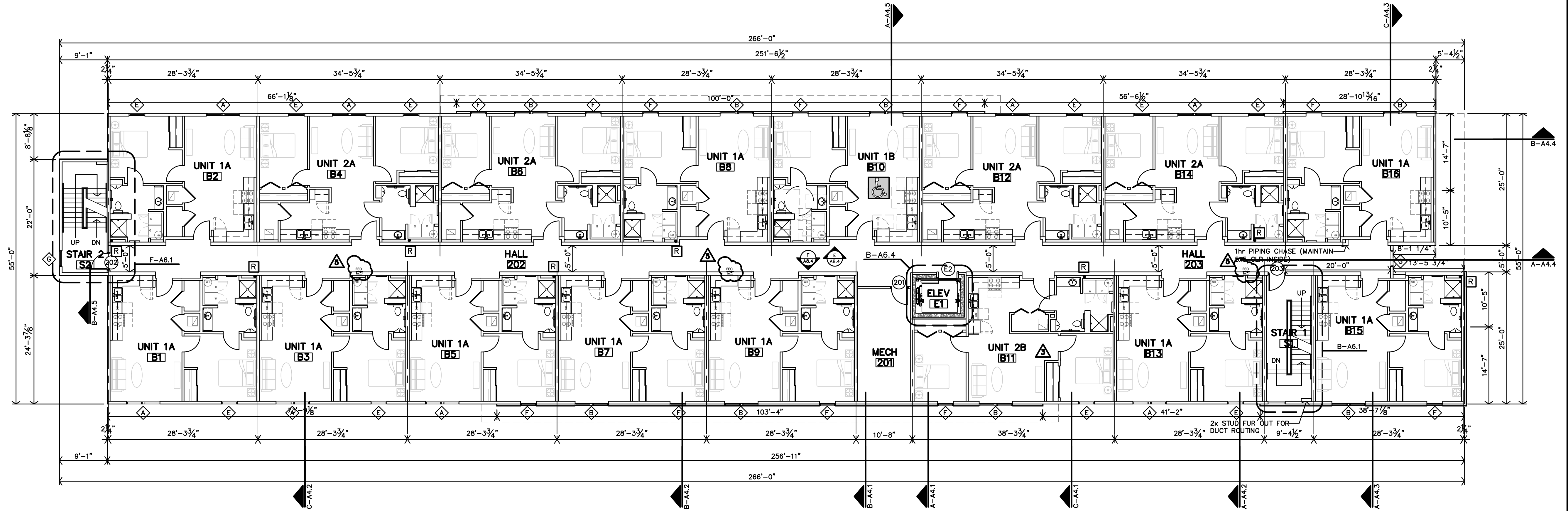


CODE FOOT PRINT & INFORMATION

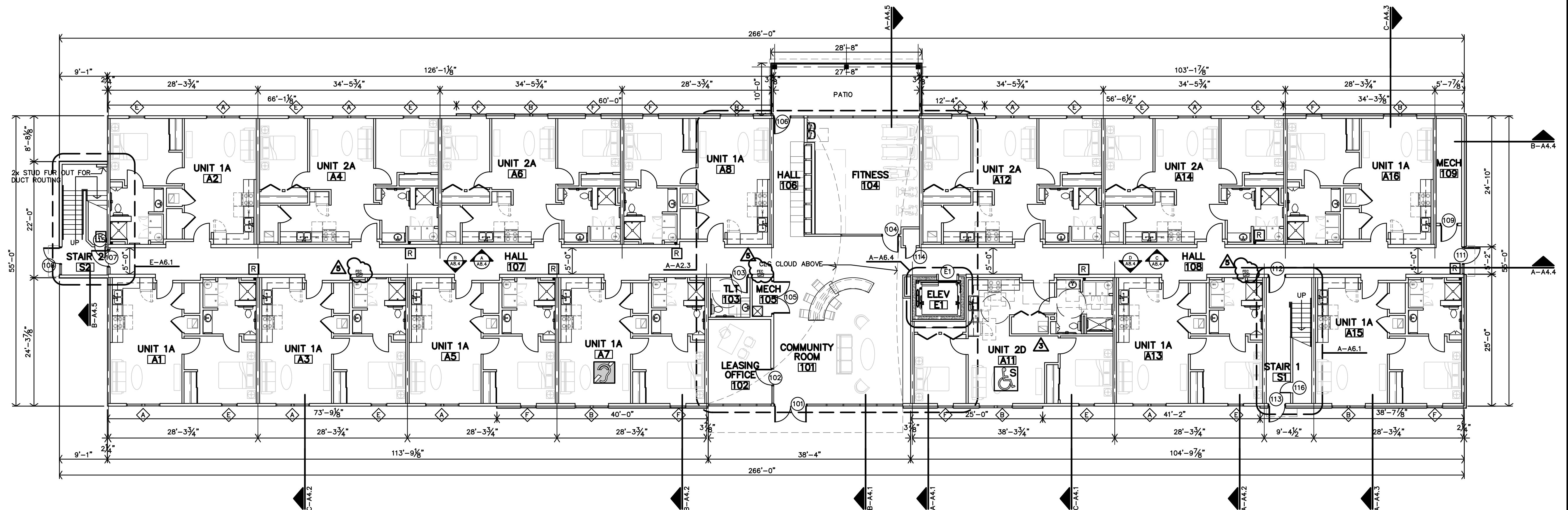


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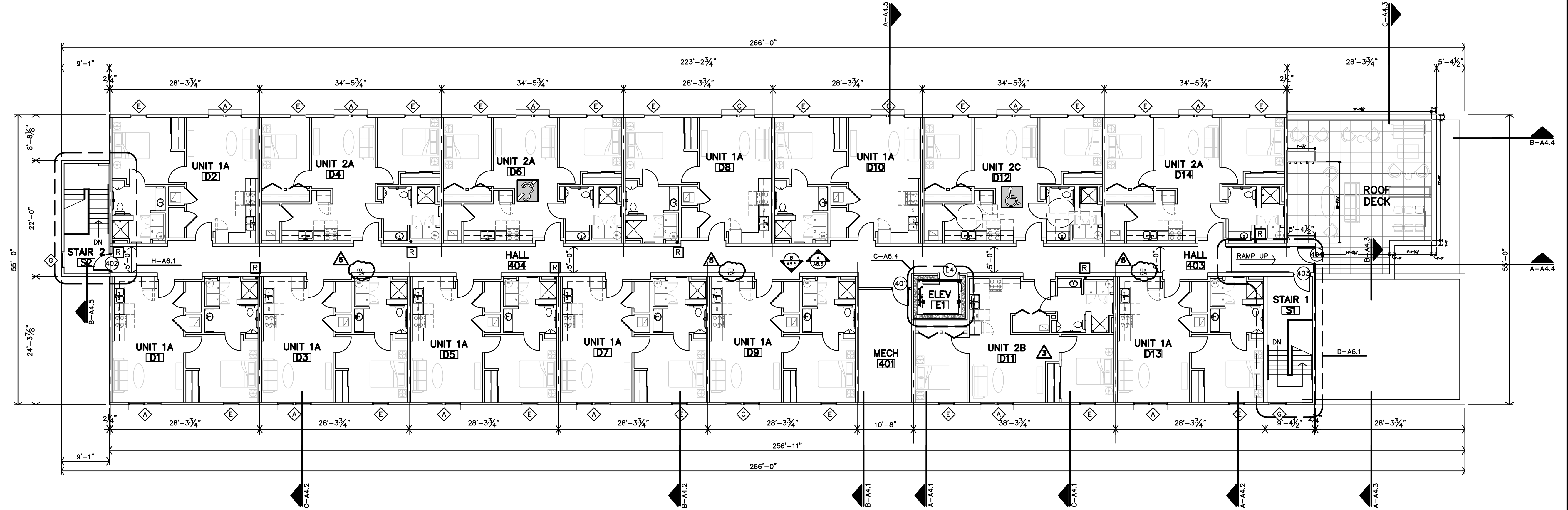
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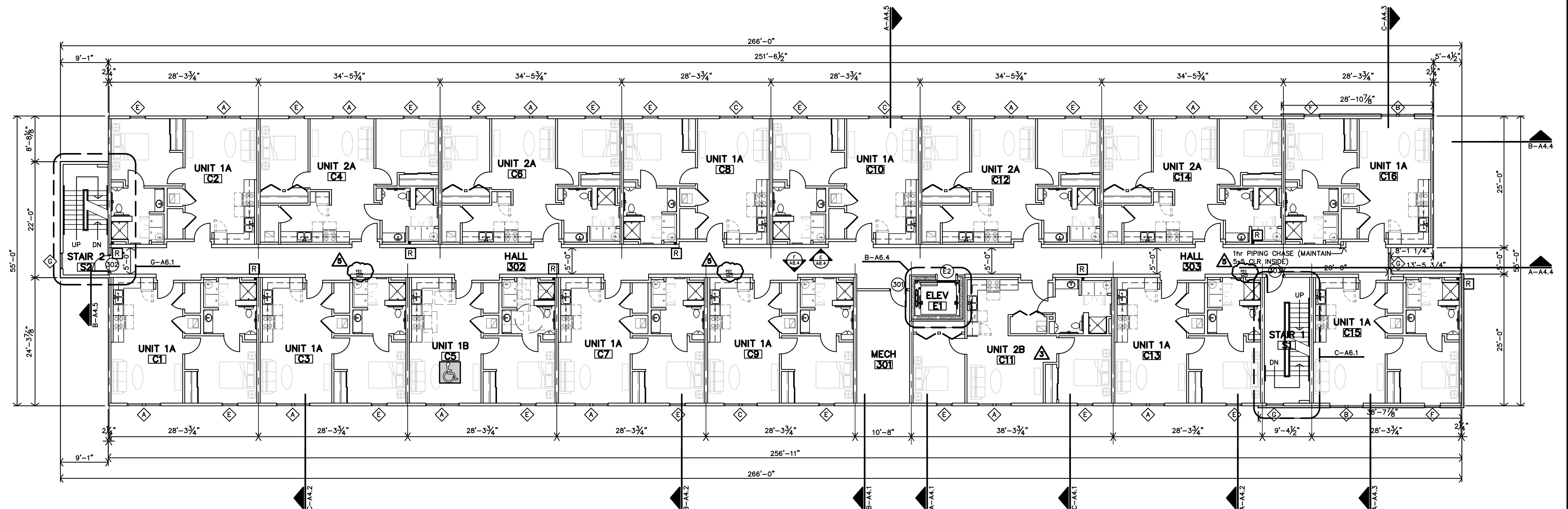
B SECOND FLOOR PLAN
3/32"=1'-0"



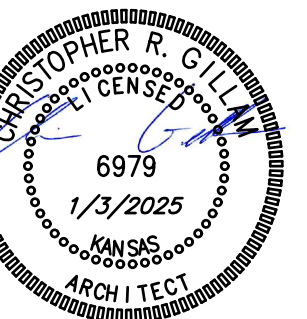
A FIRST FLOOR PLAN
3/32"=1'-0"



B FOURTH FLOOR PLAN
3/32"=1'-0"



A THIRD FLOOR PLAN
3/32"=1'-0"



REVISION:	
ASI 3.4-9-2025	
ASI 5.4-30-2025	
DATE:	1-3-2025
JOB:	24-3379
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