



**Jones Gillam Renz Architects**

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**ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS**

JONES GILLAM RENZ DOCUMENT JGR 710

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<b>PROJECT:</b>	<b>Residence at Heritage West</b> New Development Andover, KS	<b>Report No.</b>	<b>Four (4)</b>
<b>OWNER:</b>	<b>OPG Heritage West Partners, LLC</b> Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	<b>Date</b>	<b>May 1, 2025</b>
<b>CONTRACTOR:</b>	<b>MCP Build</b> 3501 SW Fairlawn Rd., Suite 100 Topeka, KS 66614	<b>Architect's Proj No.</b>	<b>24-3379</b>
		<b>Contract For:</b>	General Construction Mechanical, Electrical

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The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

**DESCRIPTION:**

This addresses the recent City of Andover comments in regards to the lot split information and modifying the pavement along Founders.

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**Attachments:**

1. Revised Sheets: C1.01, C2.01, C2.02, C3.01, C4.01, C5.01

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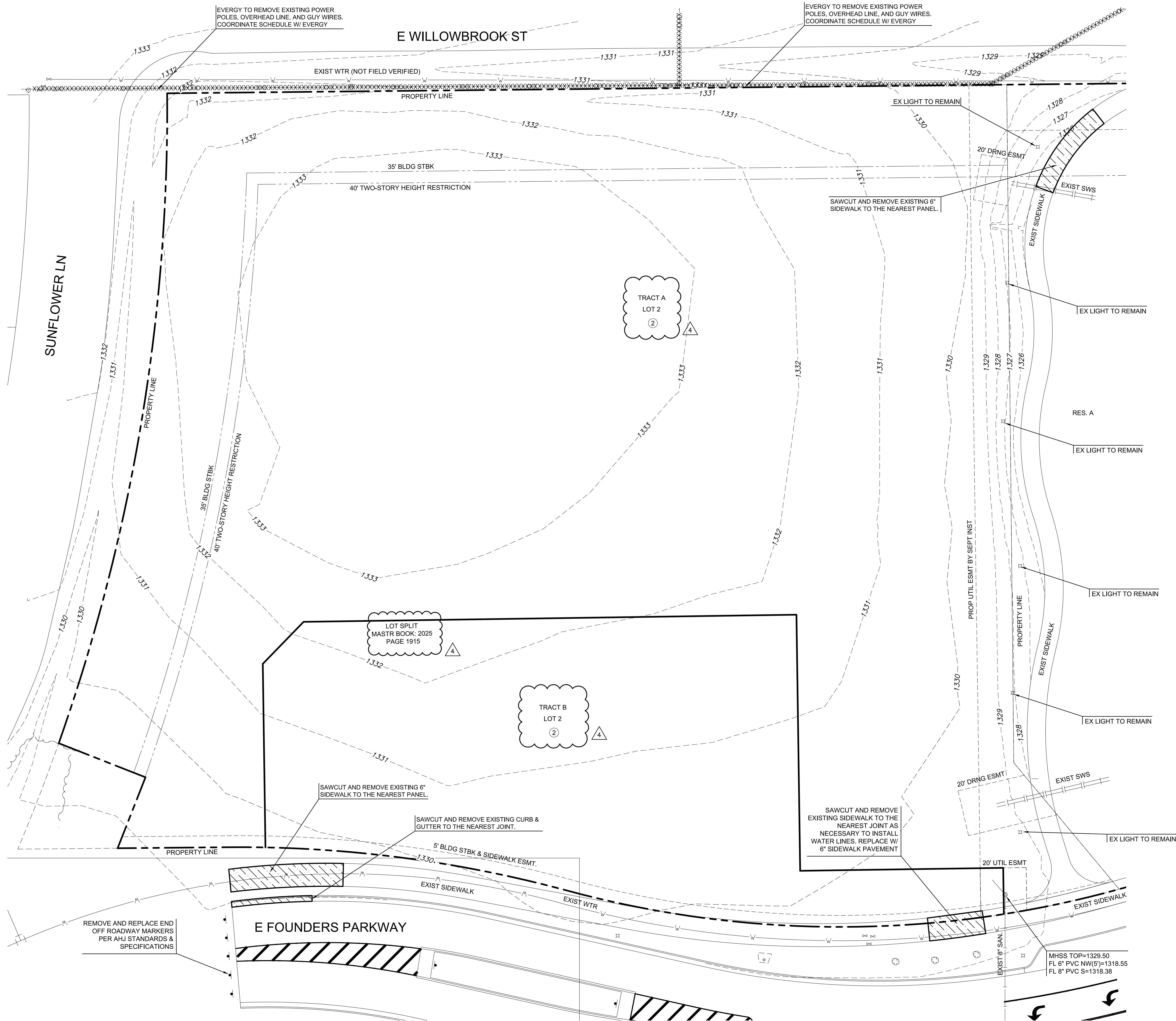
<b>Issued by:</b>	Jones Gillam Renz Architects Chris Gillam, Project Manager	PO Box 2928, Salina, KS 67402 785-827-0386	<a href="mailto:cgillam@jgrarchitects.com">cgillam@jgrarchitects.com</a>
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PLOTTED BY CAMILLA ANNEB 4/29/2025 5:59 PM  
DWG NAME J:\PROJECTS\2024\2401010891\_16R WICHITA SENIOR LIVING\00 240891 CAD\SHS\05 CIVILSITE  
C:\OT EXISTING CONDITIONS PLAN.DWG  
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## NOTES

- PRIOR TO DEMOLITION ACTIVITIES, CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES OR IF THE EXISTING CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS.
- ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF PER LOCAL AND STATE REQUIREMENTS.
- CONTRACTOR TO COORDINATE WITH FRANCHISE UTILITY PROVIDERS FOR REMOVAL/RELOCATION OF EXISTING SERVICES.
- REF: ELECTRICAL SITE PLAN - DEMO FOR ALL ELECTRICAL DEMOLITION ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR AND REPLACE EXISTING CONCRETE SIDEWALK, CURB, AND ANY EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY PRIOR TO THE START OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, RIGHT-OF-WAY, HAULING AND LAND DISTURBANCE PERMITS WITH THE APPROPRIATE LOCAL JURISDICTION.
- TREE REMOVAL TO INCLUDE THE REMOVAL AND BACKFILL OF THE ROOT BALL. LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.

## LEGEND

	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING GAS LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING TV LINE
	EXISTING LIGHT POLE
	EXISTING GRADES
	UTILITY REMOVAL / ABANDONMENT (BY OTHERS)
	SIDEWALK, CURB & GUTTER REMOVAL

## CONTROL POINTS

**DATUM:**  
THE HORIZONTAL DATUM IS BASED ON THE KANSAS COORDINATE SYSTEM OF 1983(2011), SOUTH ZONE. COORDINATES SHOWN HAVE BEEN MODIFIED TO THE GROUND USING A COMBINED ADJUSTMENT FACTOR OF 1.0001200144. STATE PLANE COORDINATES CAN BE CALCULATED BY MULTIPLYING THE SHOWN VALUES BY 0.99988.

ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 VERTICAL DATUM.

**CONTROL POINTS (GND):**  
CP110  
N: 1685568.193 E: 1708413.190 EL: 1332.085  
5/8" REBAR WITH ALUM MKEC CONTROL POINT CAP

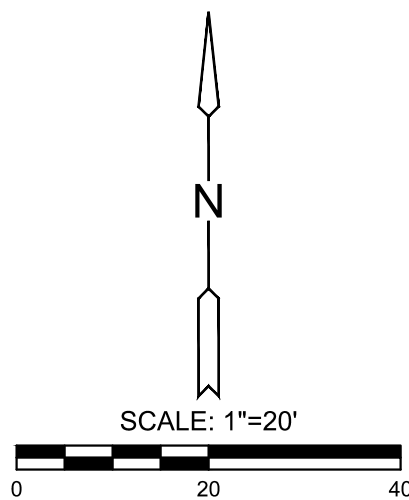
CP113  
N: 1688310.274 E: 1709966.071 EL: 1336.36  
\*\* CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO WEST APPROXIMATELY 600FT SOUTH OF DOUGLAS AND YORKTOWN

CP114  
N: 1686682.077 E: 1709988.168 EL: 1332.09  
\*\* CUT ON NW CORNER OF INLET ON WEST SIDE OF YORKTOWN APPROXIMATELY 250FT SOUTH OF DOUGLAS AND YORKTOWN

CP115  
N: 1685088.627 E: 1709991.875 EL: 1332.97  
\*\* CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO FOUNDERS PKWY AND YORKTOWN

**BENCHMARKS:**  
CP110  
N: 1685568.193 E: 1708413.190 EL: 1332.085  
5/8" REBAR WITH ALUM MKEC CONTROL POINT CAP

**NOTE:**  
ALL CONTROL POINTS SHOWN HAVE ELEVATIONS ESTABLISHED USING STANDARD SURVEYING PROCEDURES AND CAN BE USED AS TEMPORARY BENCHMARKS. WHEN USING A CONTROL POINT AS A TEMPORARY BENCHMARK, IT IS RECOMMENDED THAT CROSS-CHECKS BE MADE TO OTHER CONTROL POINTS OR BENCHMARKS TO CONFIRM ELEVATIONS PRIOR TO USE.



**WARNING**  
EXISTING UNDERGROUND UTILITIES IN THE AREA  
CONTRACTOR IS RESPONSIBLE FOR  
DETERMINING THE HORIZONTAL AND VERTICAL  
LOCATION OF ALL UTILITIES PRIOR TO  
CONSTRUCTION. CONTRACTOR IS RESPONSIBLE  
FOR ANY REPAIRS TO EXISTING UTILITIES DUE  
TO DAMAGE INCURRED DURING CONSTRUCTION.  
CONTRACTOR SHALL NOTIFY THE ENGINEER OF  
ANY DISCREPANCIES ON THE PLANS.

# THE RESIDENCE AT HERITAGE WEST

## NEW SENIOR-LIVING FACILITY

### ANDOVER, KANSAS



REVISION:  
1 ASI 1\_4-4-2025  
4 ASI 4\_4-30-2025

DATE: 1-17-2025  
JOB: 24-3385  
SHEET NO.:

# C1.01

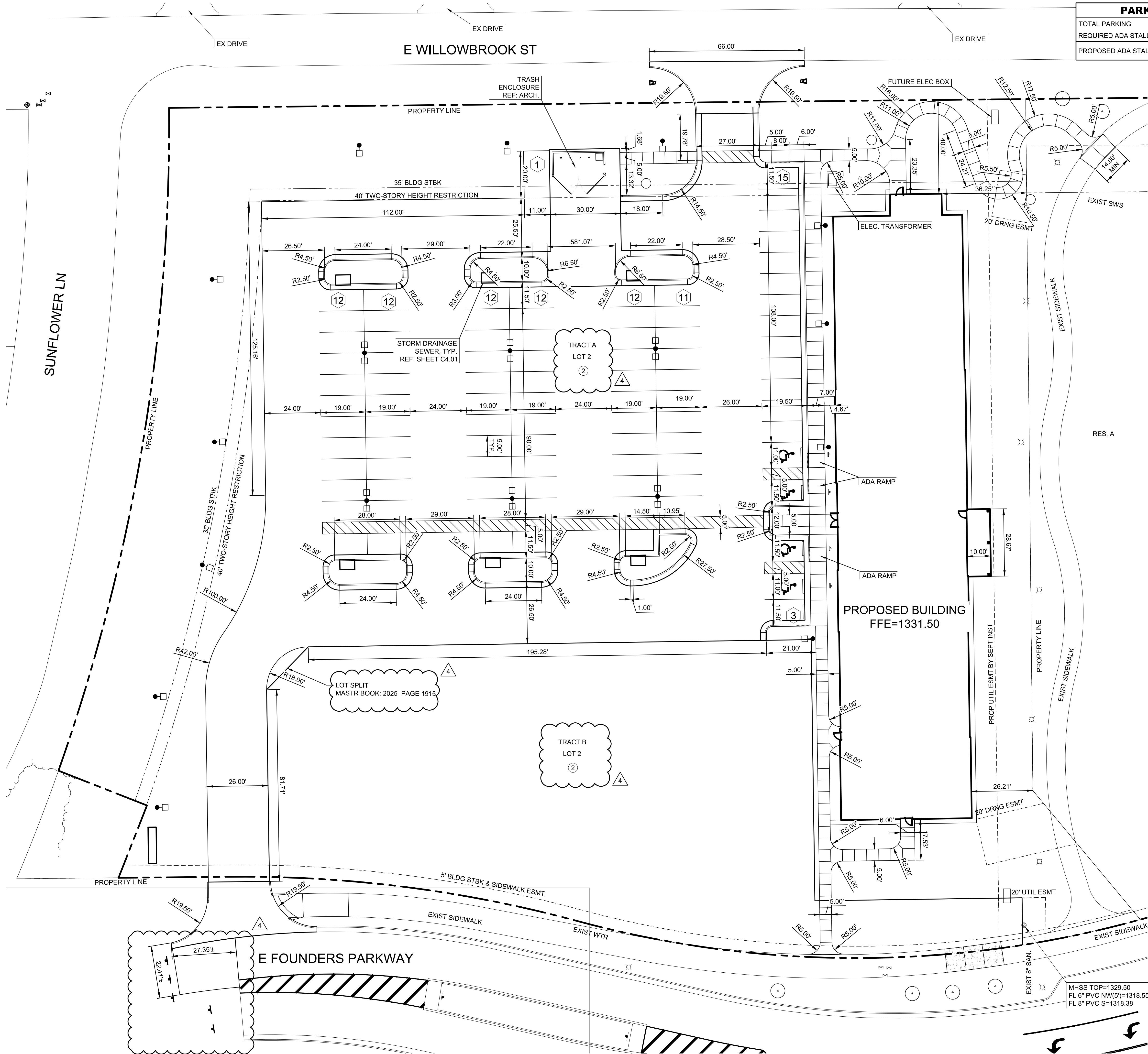
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DWG NAME: J:\PROJECTS\2024\24010118891\_LRR\_WICHTA SENIOR LIVING\02 240891 CAD\SHOTS\05 CIVILSITE  
C2.01 DIMENSION CONTROL PLANNING  
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PARKING SUMMARY	
TOTAL PARKING	90 SPACES
REQUIRED ADA STALLS	4 SPACES
PROPOSED ADA STALLS	4 SPACES

NOTES

- UNLESS OTHERWISE NOTED, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF AUTHORITY HAVING JURISDICTION.
- ALL DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, STANDARD PARKING STALLS ARE 9'X19', MEASURE TO THE FACE OF CURB.
- UNLESS OTHERWISE NOTED, ADA PARKING STALLS ARE 11'X19', MEASURE TO THE FACE OF CURB.
- BUILDING FOOTPRINT AS SHOWN IS THE OUTSIDE FACE OF THE ARCHITECTURAL PLANS. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TERRACON, PROJECT #01245160 DATED NOVEMBER 4, 2024. CONTRACTOR SHALL REFER TO REPORT FOR RECOMMENDED PAVEMENT THICKNESS, SUBGRADE PREPARATION AND TRENCH BACKFILLING. IF ANY DISCREPANCIES ARISE BETWEEN THE PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT, THEN THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- CONTRACTOR TO DRILL & EPOXY #4 BARS (L=2'-0" MIN, 9" EMBED) @ 24" O.C. INTO EXIST. CONCRETE PAVEMENT AND CURB & GUTTER WHEREVER PROPOSED ABUTS EXISTING.
- AGGREGATE BASE UNDER PAVEMENT SHALL EXTEND A MINIMUM OF 1' BEYOND THE BACK OF CURB.
- PARKING STRIPING SHALL BE 4" WIDE, WHITE IN COLOR.
- ADA PARKING STALL LOADING AISLE STRIPING SHALL BE 4" WIDE, 2' O.C. @ 45° ANGLE, WHITE IN COLOR.
- PAVEMENT MARKINGS SHALL BE AN UNDILUTED ALKYD TRAFFIC PAINT. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATE TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION AND APPLICATION.
- IT IS IMPORTANT BOTH FUNCTIONALLY AND AESTHETICALLY FOR JOINTS IN CURB & GUTTER AND ABUTTING CONCRETE PAVEMENT TO HAVE A CONSISTENT PATTERN.
- JOINT SPACING SHOULD BE THOUGHT OUT AND ESTABLISHED PRIOR TO PLACING ANY CONCRETE. THIS INCLUDES JOINTING IN THE CURB & GUTTER ON BOTH SIDES OF PROPOSED CONCRETE PAVEMENT AND ON CURVES, DRIVES, ROUNDABOUTS, WHEELCHAIR RAMPS, ETC.
- PEDESTRIAN CONCRETE SIDEWALKS SHALL RECEIVE HAND TOOLED JOINTS.
- THE PAVING PLANS, DETAILS, SPECIFICATIONS AND NOTES CONTAIN SPECIFIC REQUIREMENTS FOR JOINTING. THE FOLLOWING ITEMS SHALL SERVE AS GUIDELINES FOR THE CONTRACTOR WHEN DEVELOPING THE JOINTING PLAN:
  - JOINTING IN PAVEMENT SHALL BE AT RIGHT ANGLES TO CURB LINES WHEREVER POSSIBLE
  - JOINT SPACING IN PAVEMENT SHALL GENERALLY NOT EXCEED 24 TIMES THE PAVEMENT THICKNESS
  - JOINTS IN PAVEMENT SHALL NOT CREATE "L" SHAPED OR ODD SHAPED SECTIONS OR SECTIONS WITH NARROW POINTED PORTIONS THAT COULD BE SUBJECT TO CRACKING AND BREAKING
  - CONTRACTION JOINT SPACING SHALL GENERALLY NOT EXCEED 1.5 TIMES LONGITUDINAL JOINT SPACING
- CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TRAFFIC CONTROL NECESSARY ON SURROUNDING STREETS FOR CONSTRUCTION. TRAFFIC CONTROL SHALL COMPLY WITH THE LATEST EDITION OF MUTCD AND AUTHORITIES HAVING JURISDICTION STANDARDS AND SPECIFICATIONS.

LEGEND

- 13 PARKING STALL COUNT
- LOT 2
- 2 LOT & BLOCK NUMBER

CONTROL POINTS

DATUM  
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ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 VERTICAL DATUM.

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CP110  
N: 1685568.193 E: 1708413.190 EL: 1332.085  
5/8" REBAR WITH ALUM MKEC CONTROL POINT CAP

CP113

N: 1686310.274 E: 1709966.071 EL: 1336.36  
"4" CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO WEST APPROXIMATELY 600FT SOUTH OF DOUGLAS AND YORKTOWN

CP114

N: 1686682.077 E: 1709988.168 EL: 1332.09  
"4" CUT ON NW CORNER OF INLET ON WEST SIDE OF YORKTOWN APPROXIMATELY 250FT SOUTH OF DOUGLAS AND YORKTOWN

CP115

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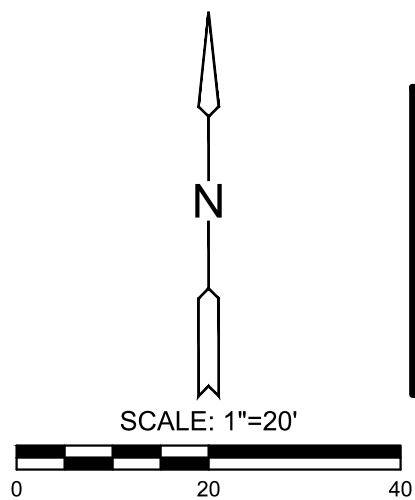
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THE RESIDENCE AT HERITAGE WEST  
NEW SENIOR-LIVING FACILITY  
ANDOVER, KANSAS



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1	ASI 1_4-4-2025
4	ASI 4_4-30-2025

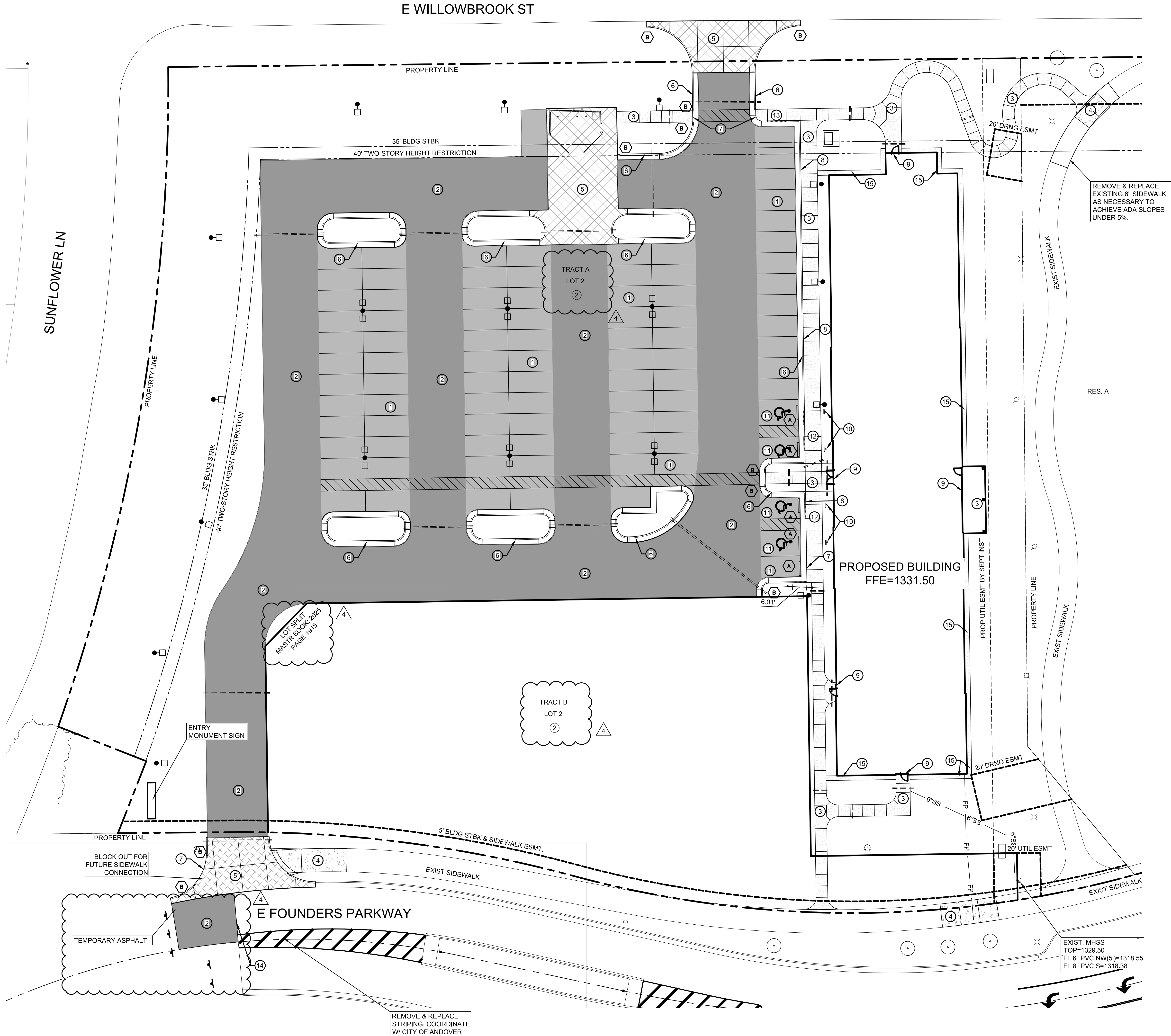
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JOB:	24-3385
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DETAIL LEGEND			
KEY	DETAIL	DESCRIPTION	SHEET
1	5.5" ASPHALTIC PAVEMENT	TYPICAL SECTION: 5.5" ASPHALT PAVEMENT ON 9" BASE	C2.51
2	7.5" ASPHALTIC PAVEMENT	TYPICAL SECTION: 7.5" ASPHALT PAVEMENT ON 9" BASE	C2.51
3	4" CONCRETE SIDEWALK	TYPICAL SECTION: 4" CONCRETE SIDEWALK	C2.52
4	6" CONCRETE SIDEWALK	TYPICAL SECTION: 6" CONCRETE SIDEWALK	C2.52
5	8" CONCRETE PAVEMENT	TYPICAL SECTION: 8" CONCRETE PAVEMENT	C2.51
6	6" CURB & GUTTER	TYPICAL SECTION: 6" CURB & GUTTER	C2.52
7	FLUSH CURB	FLUSH CURB & GUTTER	C2.53
8	CONCRETE SIDEWALK AT CURB	TYPICAL CONCRETE SIDEWALK AT CURB	C2.52
9	EXPANSION JOINT @ BUILDING	EXPANSION JOINT AT BUILDING	C2.51
10	ACCESSIBLE PARKING SIGN	ACCESSIBLE PARKING SIGN	C2.53
11	ACCESSIBLE PARKING MARKING	ACCESSIBLE PARKING MARKING	C2.53
12	ADA RAMP	WHEEL CHAIR RAMP DETAILS/SECTIONS	C2.53
13	ADA RAMP	WHEEL CHAIR RAMP DETAILS/SECTIONS	C2.53
14	ASPHALTIC PAVEMENT CONNECTION	TYPICAL SECTION: ASPHALTIC PAVEMENT CONNECTION	C2.51
15	CONCRETE MOWSTRIP	CONCRETE MOWSTRIP AT BUILDING	C2.53

**SITE FURNISHINGS**

WHEEL STOP  
 MANUFACTURER: TRAFFIC SAFETY STORE  
 PRODUCT #: PBR1SS6WHDS - 6" RUBBER PARKING BLOCK  
 COMMENTS: ENSURE WHITE STRIPING ON PARKING BLOCK. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

**LEGEND**

- 5.5" ASPHALTIC PAVEMENT
- 7.5" ASPHALTIC PAVEMENT
- 4" CONCRETE SIDEWALK
- 6" CONCRETE SIDEWALK
- 8" CONCRETE PAVEMENT
- PROPOSED IRRIGATION SLEEVE
- WHEEL STOP (REF: NOTE THIS SHEET)
- 1" CURB TRANSITION UNLESS NOTED

**CONTROL POINTS**

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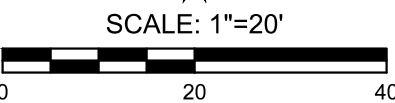
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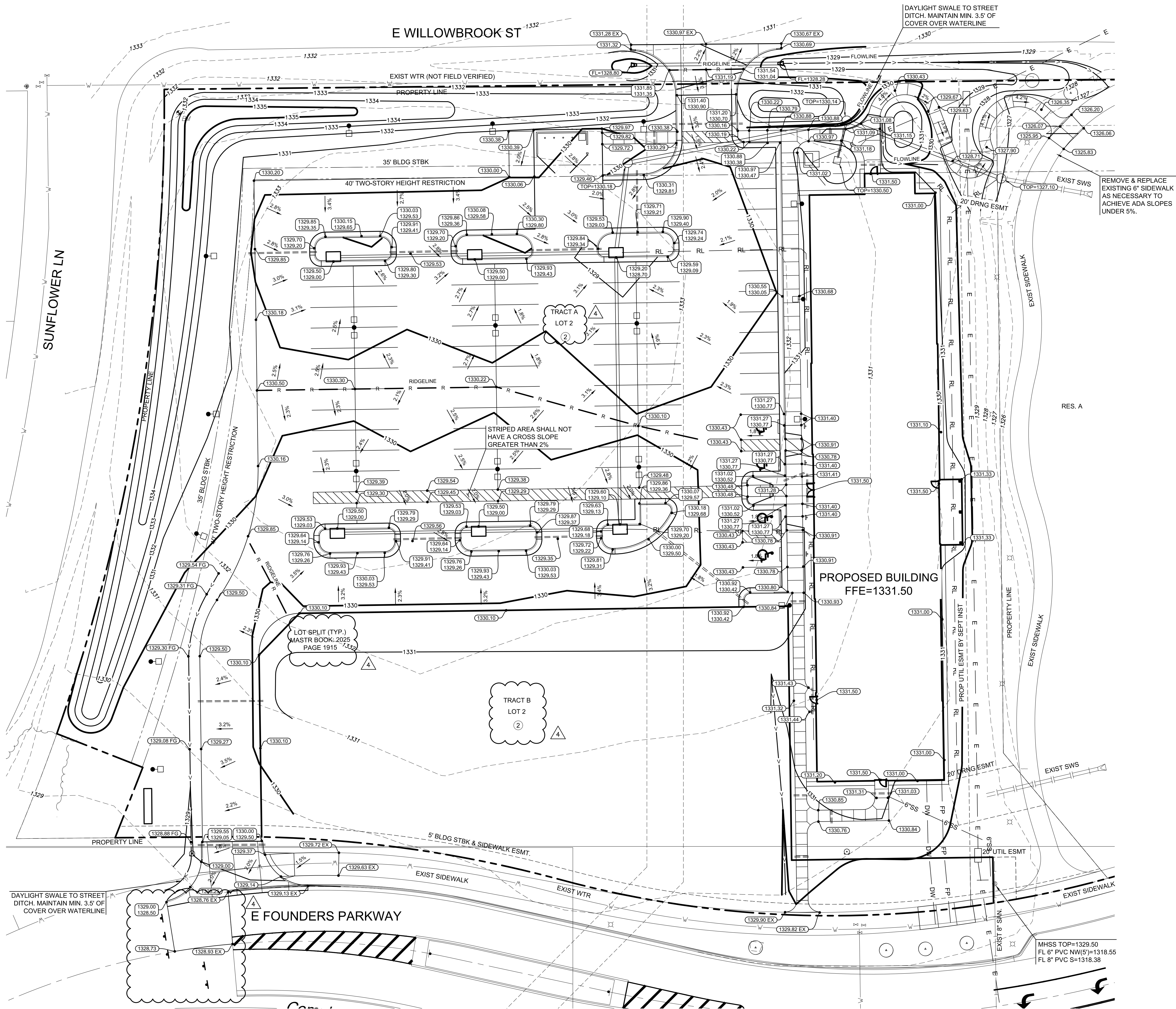
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 4 ASI 4\_4-30-2025  
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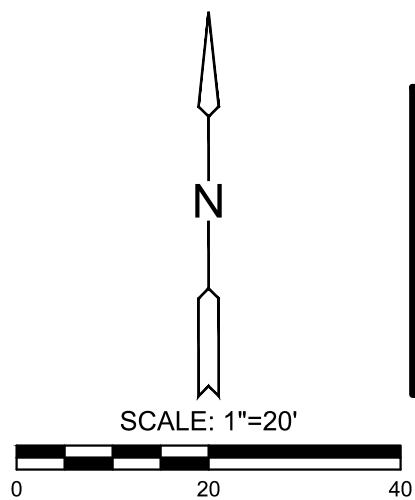


#### NOTES

- ALL SPOT ELEVATIONS REPRESENT FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS WILL BE 6" ABOVE THE FLOW LINE ELEVATIONS, UNLESS OTHERWISE NOTED.
- ALL CURB SPOT ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER SLOPE LABELS AT ALL TIMES.
- GRADES IN ALL SIDEWALK, ACCESSIBLE ROUTES, INCLUDING DRIVEWAYS CROSSINGS SHALL CONFORM TO ALL APPLICABLE ACCESSIBLE STANDARDS; NOT TO EXCEED 5% ALONG TRAVEL PATH WITH NOT MORE THAN 2% CROSS SLOPE AND NOT TO EXCEED 2% IN ANY DIRECTION IN ACCESSIBLE PARKING AREAS.
- MAXIMUM SLOPE IN TURF AREAS SHALL BE 4:1.
- REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TERRACON, PROJECT #01245160 DATED NOVEMBER 4, 2024. CONTRACTOR SHALL REFER TO REPORT FOR RECOMMENDED PAVEMENT THICKNESS, SUBGRADE PREPARATION AND TRENCH BACKFILLING. IF ANY DISCREPANCIES ARISE BETWEEN THE PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT, THEN THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- SATISFACTORY SOIL AND FILL MATERIAL SHALL BE PROVIDED PER THE GEOTECHNICAL REPORT. SEE GEOTECHNICAL REPORT FOR MAXIMUM FILL LIFT THICKNESS.
- CLEAR AND GRUB IMPROVEMENT AREA. REMOVE ALL ORGANIC AND TOPSOIL MATERIAL REGARDLESS OF SIZE AND DEPTH. ALL CLEARED, EXCESS AND WASTE MATERIAL SHALL BECOME CONTRACTORS PROPERTY AND SHALL BE REMOVED FROM THE PROJECT SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE EARTHWORK QUANTITIES. ALL IMPORT AND EXPORT OF SOIL MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THEIR EXPENSE.
- NOTIFY TESTING AGENCY WHEN EXCAVATIONS HAVE REACHED REQUIRED SUBGRADE. SUBGRADE SHALL BE PREPARED AND COMPACTED PER THE GEOTECHNICAL REPORT.
- LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.
- SITE GRADING SHALL NOT CAUSE ADVERSE DRAINAGE IMPACTS TO NEIGHBORING PROPERTIES.

#### LEGEND

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	EXISTING GAS LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING TV LINE
	EXISTING LIGHT POLE
	EXISTING GRADES
	PROPOSED GRADES
	GRADING LIMITS
	SPOT ELEVATION
	MATCH EXISTING ELEVATION
	FLOWLINE
	INLET RIM ELEVATION



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SHEET NO.:

C3.01

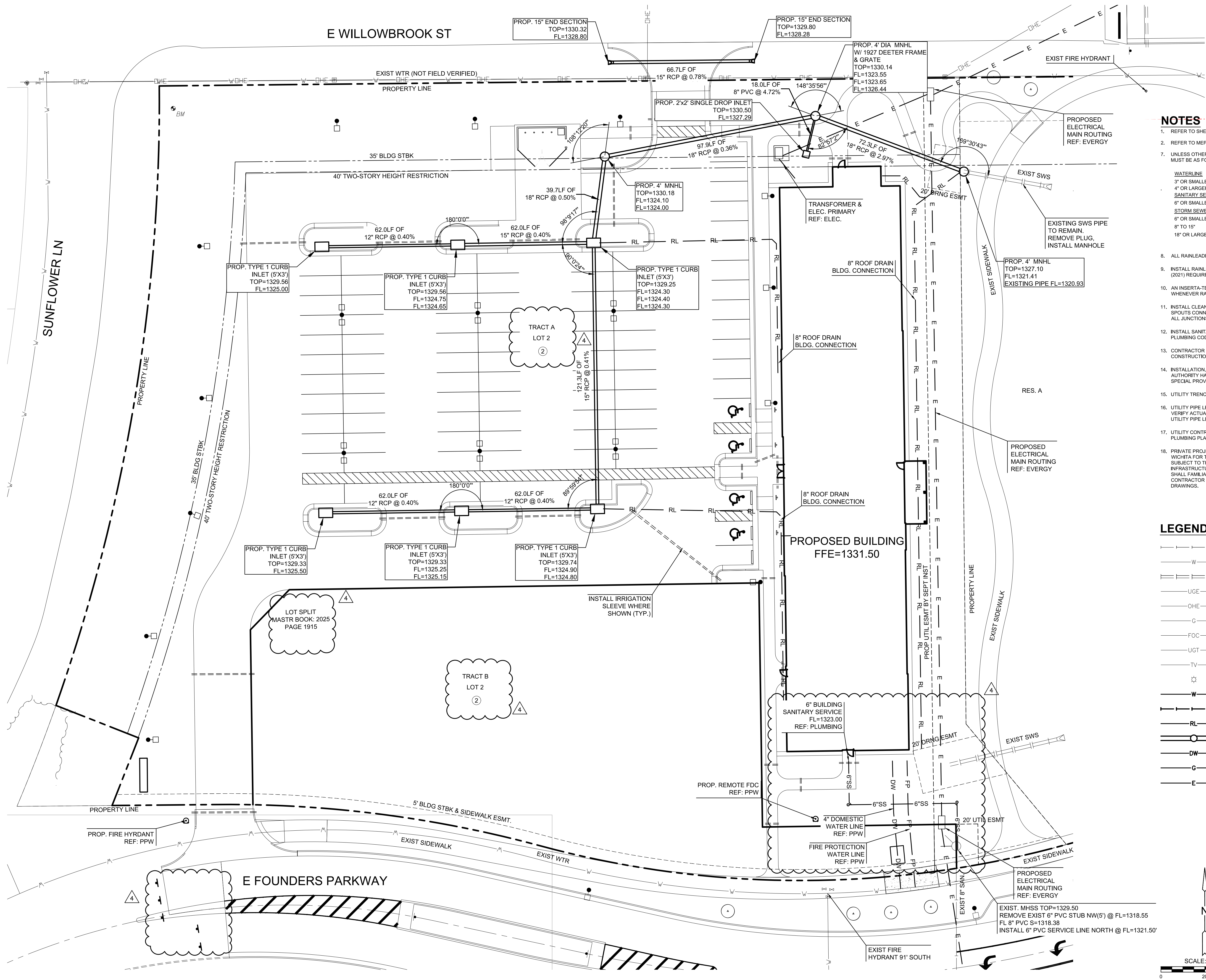
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SCOTT EVANS 04/19/2025 5:04 PM  
C:\PROJECTS\2025\2401070891\_JGR\_WICHITA SENIOR LIVING\00 240891 CAD\87505 CIVIL\SITE  
J:\PROJECTS\2025\2401070891\_JGR\_WICHITA SENIOR LIVING\00 240891 CAD\87505 CIVIL\SITE  
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#### NOTES

- REFER TO SHEET C-050 FOR GENERAL NOTES.
- REFER TO MEP PLANS FOR UTILITY PIPES WITHIN 5' AND UNDERNEATH BUILDING.
- UNLESS OTHERWISE NOTED IN THE PROJECT SPECIFICATIONS PIPE MATERIALS MUST BE AS FOLLOWS:  

WATERLINE	
3" OR SMALLER	-ASTM D2241 IPS, CLASS 160 (SDR26) PVC
4" OR LARGER	-C900 OR C905 PVC, CLASS 150 (DR 18, C.I.O.D.)

SANITARY SEWER	
6" OR SMALLER	-ASTM D3034 SCHEDULE 40 PVC
STORM SEWER, RAIN LEADERS AND UNDERDRAINS	-ASTM D3034 SCHEDULE 40 PVC
6" OR SMALLER	-ASTM D3034 SCHEDULE 40 PVC
8" TO 15"	-ASTM D3034 SDR-35 PVC
18" OR LARGER	-ASTM F2306 AND AASHTO M294 HDPE
	-CLASS III RCP
- ALL RAINLEADERS SHALL BE 8" PVC PIPE.
- INSTALL RAINLEADER PVC PIPING SYSTEM PER INTERNATIONAL PLUMBING CODE (2021) REQUIREMENTS.
- AN INSERT-A-TEE CONNECTION, OR APPROVED EQUAL, SHOULD BE USED WHENEVER RAINLEADERS CONNECT TO STORM WATER TRUNK LINES.
- INSTALL CLEANOUT ACCESS STRUCTURES AT EACH LOCATION WHERE DOWN SPOUTS CONNECT TO THE UNDERGROUND RAINLEADER PIPING SYSTEM AND AT ALL JUNCTIONS AND CHANGE OF DIRECTION POINTS AS REQUIRED BY CODE.
- INSTALL SANITARY SEWER SERVICE LINE AND CLEANOUTS PER UNIFORM PLUMBING CODE (2021) REQUIREMENTS.
- CONTRACTOR TO VERIFY DEPTH & LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- INSTALLATION, BEDDING, & TESTING OF UTILITY INSTALLATIONS SHALL BE AS PER AUTHORITY HAVING JURISDICTION STANDARD SPECIFICATIONS AND STANDARD SPECIAL PROVISIONS.
- UTILITY TRENCH BACKFILLING SHOULD BE PER GEOTECHNICAL REPORT.
- UTILITY PIPE LENGTHS ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR TO VERIFY ACTUAL LENGTHS OF PIPE REQUIRED PRIOR TO BIDDING & INSTALLING UTILITY PIPE LINES.
- UTILITY CONTRACTOR TO COORDINATE BUILDING CONNECTION POINTS WITH PLUMBING PLAN AND BUILDING CONTRACTOR.
- PRIVATE PROJECT WATER (PPW) PLANS WILL BE SUBMITTED TO THE CITY OF WICHITA FOR THIS PROJECT. WORK DONE UNDER THESE PRIVATE PROJECTS ARE SUBJECT TO THE CITY OF WICHITA REQUIREMENTS FOR CONSTRUCTION OF INFRASTRUCTURE IMPROVEMENTS BY PRIVATE CONTRACT. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH AND COMPLY WITH THESE REQUIREMENTS. THE CONTRACTOR SHALL NOT CONSTRUCT ANY OF THESE LINES WITHOUT APPROVED DRAWINGS.

#### LEGEND

	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING GAS LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING TV LINE
	EXISTING LIGHT POLE
	PROPOSED WATER
	PROPOSED SANITARY SEWER
	PROPOSED RAIN LEADER
	PROPOSED STORM SEWER
	PROPOSED DOMESTIC WATER
	PROPOSED GAS
	PROPOSED ELECTRIC PRIMARY

#### WARNING

EXISTING UNDERGROUND UTILITIES IN THE AREA  
CONTRACTOR IS RESPONSIBLE FOR  
DETERMINING THE HORIZONTAL AND VERTICAL  
LOCATION OF ALL UTILITIES PRIOR TO  
CONSTRUCTION. CONTRACTOR IS RESPONSIBLE  
FOR ANY REPAIRS TO EXISTING UTILITIES DUE  
TO DAMAGE INCURRED DURING CONSTRUCTION.  
CONTRACTOR SHALL NOTIFY THE ENGINEER OF  
ANY DISCREPANCIES ON THE PLANS.

SCALE: 1"=20'  
0 20 40

## THE RESIDENCE AT HERITAGE WEST

### NEW SENIOR-LIVING FACILITY

ANDOVER, KANSAS



REVISION:	
1	ASI 1_4-4-2025
4	ASI 4_4-30-2025

DATE: 1-17-2025  
JOB: 24-3385  
SHEET NO.:

# C4.01

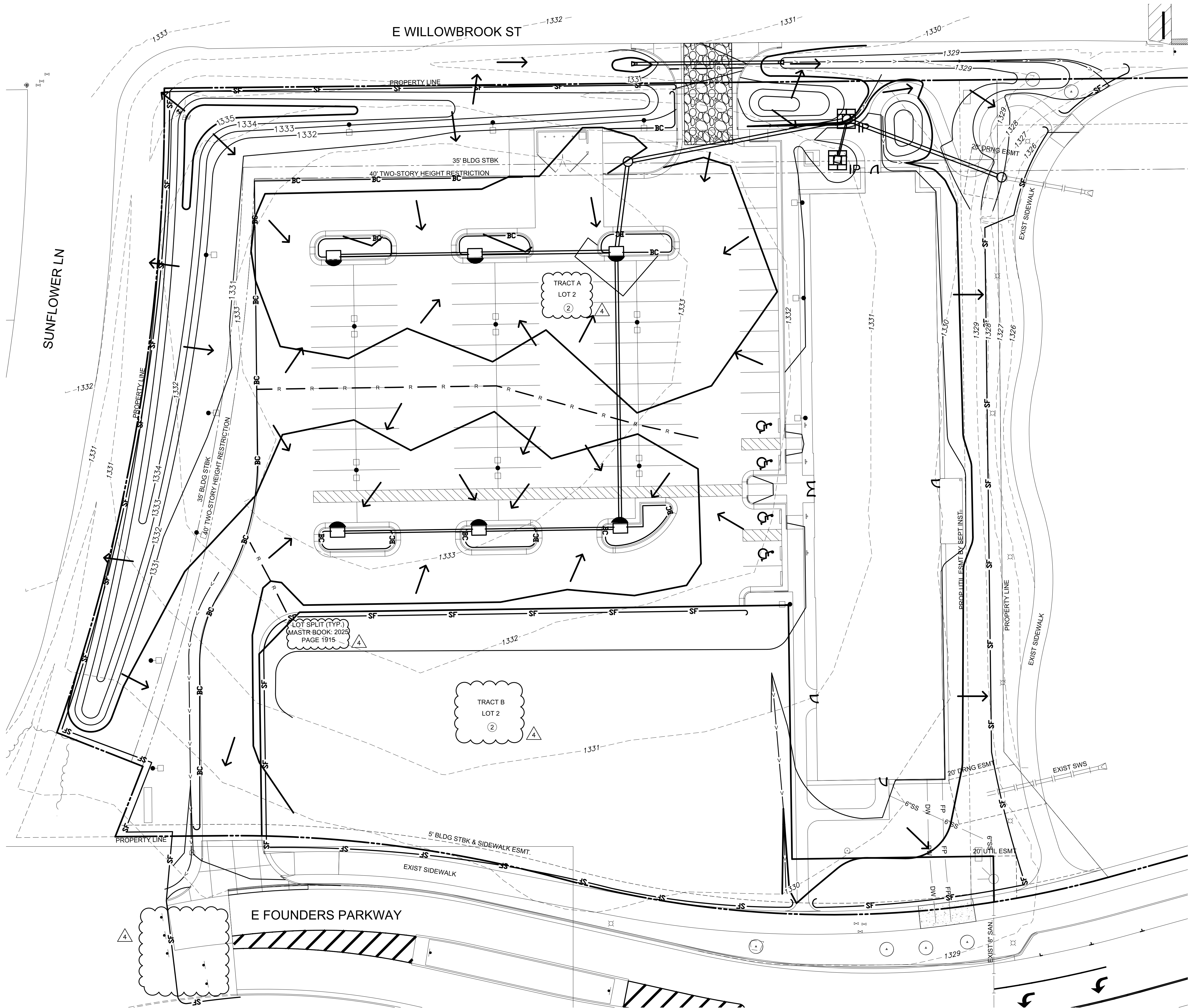
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PLOTTED BY: CAMILLA AMMER, 4/29/2025, 5:59 PM  
 DWG NAME: C5.01 EROSION CONTROL PLAN.DWG  
 J:\PROJECTS\2024\2401010891\_LER\_WICHTA SENIOR LIVING\02 240891 CAD\SHETS\05 CIVIL\SITE  
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### NOTES

1. EROSION CONTROL SHOULD MEET ALL FEDERAL, STATE, COUNTY AND LOCAL CODE STANDARDS.
2. EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS, DRAINAGE WAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGE WAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREGGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.
3. SEE SEEDING NOTES FOR DISTURBED AREA STABILIZATION OUTSIDE OF HARDCAPE AND LANDSCAPE AREAS.
4. THE CONTRACTOR SHALL COMPLETE STABILIZATION WHEN SOIL DISTURBING ACTIVITIES CEASE TEMPORARILY AND WILL NOT RESUME FOR 14 DAYS OR MORE.
5. CONTRACTOR SHALL PROVIDE EROSION PROTECTION THROUGHOUT PROJECT CONSTRUCTION. THE PLAN PROVIDED HERE WITHIN IS FOR FINAL PROTECTION. VARIOUS PHASES OF THIS PLAN SHALL BE IMPLEMENTED OR MODIFIED TO CONTROL EROSION.
6. THE CONTRACTOR(S) ARE RESPONSIBLE FOR EROSION CONTROL IN CONFORMANCE WITH THE APPROVED DRAWINGS UNTIL PROJECT COMPLETION.
7. ALL EXISTING AND PROPOSED EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND INFORMATION PROVIDED IN THESE PLANS AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR UNTIL THE PROJECT IS COMPLETED AND THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH MAINTENANCE AND/OR REPLACEMENT OF EROSION CONTROL MEASURES AS DETERMINED BY THE ENGINEER UNTIL PROJECT IS ACCEPTED OR THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED.
8. IN ORDER TO PREVENT SILT OR SEDIMENT FROM ENTERING ADJACENT PROPERTIES, APPROPRIATE BMP'S SHALL BE IMPLEMENTED WITHIN THE PROJECT.
9. ANY MUD TRACKED ONTO ADJACENT PAVED AREAS OR STREETS SHALL BE REMOVED AT THE END OF EACH WORK DAY.
10. PER THE REQUIREMENTS OF THE NOISWPPP, BMP INSPECTION REPORTS SHALL BE COMPLETED BY THE CONTRACTOR WEEKLY AND WITHIN 24 HOURS AFTER A 1/2" RAIN. REPORTS SHALL BE KEPT WITH THE SWPPP ON SITE.
11. LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.
12. CONTRACTOR SHALL PROVIDE A SIGN NEAR THE ENTRANCE WITH THE FOLLOWING INFORMATION:
  - A. CONTACT NAME AND INFORMATION
  - B. A COPY OF THE NOI
  - C. LOCATION OF SWPPP

### LEGEND

	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING GAS LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING TV LINE
	EXISTING LIGHT POLE
	EXISTING GRADES
	PROPOSED GRADES
	SILT FENCE
	BACK OF CURB PROTECTION
	CONSTRUCTION ENTRANCE
	FLOW PATH
	AREA INLET PROTECTION
	CURB INLET PROTECTION

**WARNING**  
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

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