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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Residence at Heritage West New Development Andover, KS	Report No.	Four (4)
OWNER:	OPG Heritage West Partners, LLC Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	May 1, 2025
CONTRACTOR:	MCP Build 3501 SW Fairlawn Rd, Suite 100 Topeka, KS 66614	Architect's Proj No.	24-3379

Contract For: General Construction
Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

This addresses the recent City of Andover comments in regards to the lot split information and modifying the pavement along Founders.

Attachments:

1. Revised Sheets: C1.01, C2.01, C2.02, C3.01, C4.01, C5.01

Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Chris Gillam, Project Manager 785-827-0386 cgillam@jgrarchitects.com

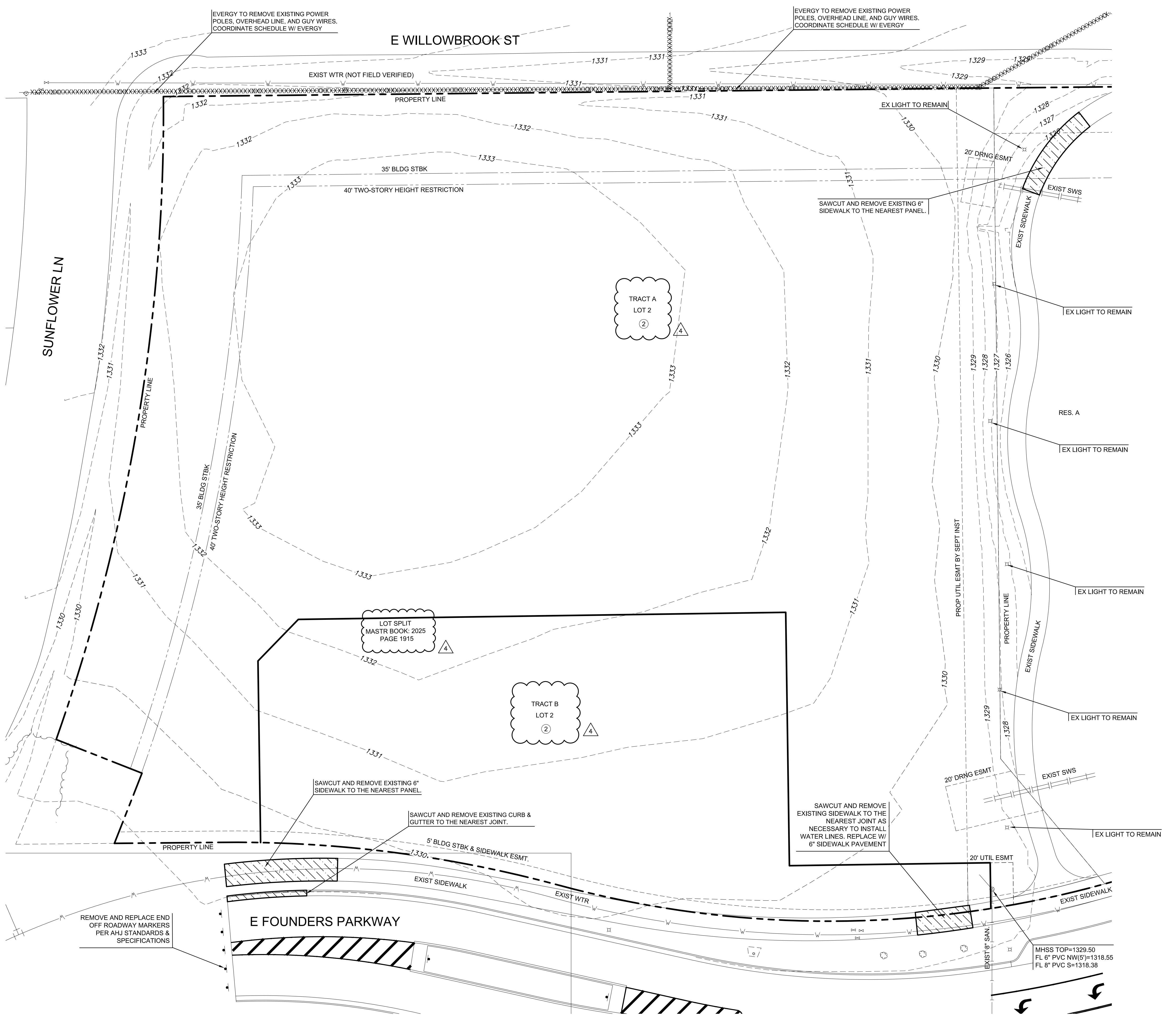
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THE RESIDENCE AT HERITAGE WEST ANDOVER, KANSAS



C1.01



OTES

ALL SPOT ELEVATIONS REPRESENT FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS WILL BE 6" ABOVE THE LOW LINE ELEVATIONS, UNLESS OTHERWISE NOTED.

ALL CURB SPOT ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

POT ELEVATIONS SHALL TAKE PRECEDENCE OVER SLOPE LABELS AT ALL TIMES.

TRADES IN ALL SIDEWALK, ACCESSIBLE ROUTES, INCLUDING DRIVEWAYS CROSSINGS SHALL CONFORM TO ALL APPLICABLE ACCESSIBLE STANDARDS: NOT TO EXCEED 5% ALONG TRAVEL PATH WITH NOT MORE THAN 2% CROSS SLOPE AND NOT TO EXCEED 2% IN ANY DIRECTION IN ACCESSIBLE PARKING AREAS.

AXIMUM SLOPE IN TURF AREAS SHALL BE 4:1.

REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TERRACON, PROJECT #01245160 DATED NOVEMBER 4, 2024. CONTRACTOR SHALL REFER TO REPORT FOR RECOMMENDED PAVEMENT THICKNESS, SUBGRADE PREPARATION AND TRENCH BACKFILLING. IF ANY DISCREPANCIES ARISE BETWEEN THE PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT, THEN THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

SATISFACTORY SOIL AND FILL MATERIAL SHALL BE PROVIDED PER THE GEOTECHNICAL REPORT. SEE GEOTECHNICAL REPORT FOR MAXIMUM FILL LIFT THICKNESS

CLEAR AND GRUB IMPROVEMENT AREA. REMOVE ALL ORGANIC AND TOPSOIL MATERIAL REGARDLESS OF SIZE AND DEPTH. ALL CLEARED, EXCESS AND WASTE MATERIAL SHALL BECOME CONTRACTORS PROPERTY AND SHALL BE REMOVED FROM THE PROJECT SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE EARTHWORK QUANTITIES. ALL IMPORT AND EXPORT OF SOIL MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THEIR EXPENSE.

NOTIFY TESTING AGENCY WHEN EXCAVATIONS HAVE REACHED REQUIRED SUBGRADE. SUBGRADE SHALL BE PREPARED AND COMPACTED PER THE GEOTECHNICAL REPORT.

LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE RESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.

SITE GRADING SHALL NOT CAUSE ADVERSE DRAINAGE IMPACTS TO NEIGHBORING PROPERTIES.

LEGEND

— — — — —	EXISTING SANITARY SEWER
— — — W — — —	EXISTING WATER LINE
— — — — —	EXISTING STORM SEWER
— — — UGE — — —	EXISTING UNDERGROUND ELECTRIC
— — — OHE — — —	EXISTING OVERHEAD ELECTRIC
— — — G — — —	EXISTING GAS LINE
— — — FOC — — —	EXISTING FIBER OPTIC CABLE
— — — UGT — — —	EXISTING UNDERGROUND TELEPHONE
— — — TV — — —	EXISTING TV LINE
○	EXISTING LIGHT POLE
— — — XXXX — — —	EXISTING GRADES
— — — XXXX — — —	PROPOSED GRADES
— — — — — — —	GRADING LIMITS
506.50	SPOT ELEVATION
506.50EX	MATCH EXISTING ELEVATION
506.50FL	FLOWLINE
506.50RIM	INLET RIM ELEVATION

WARNING

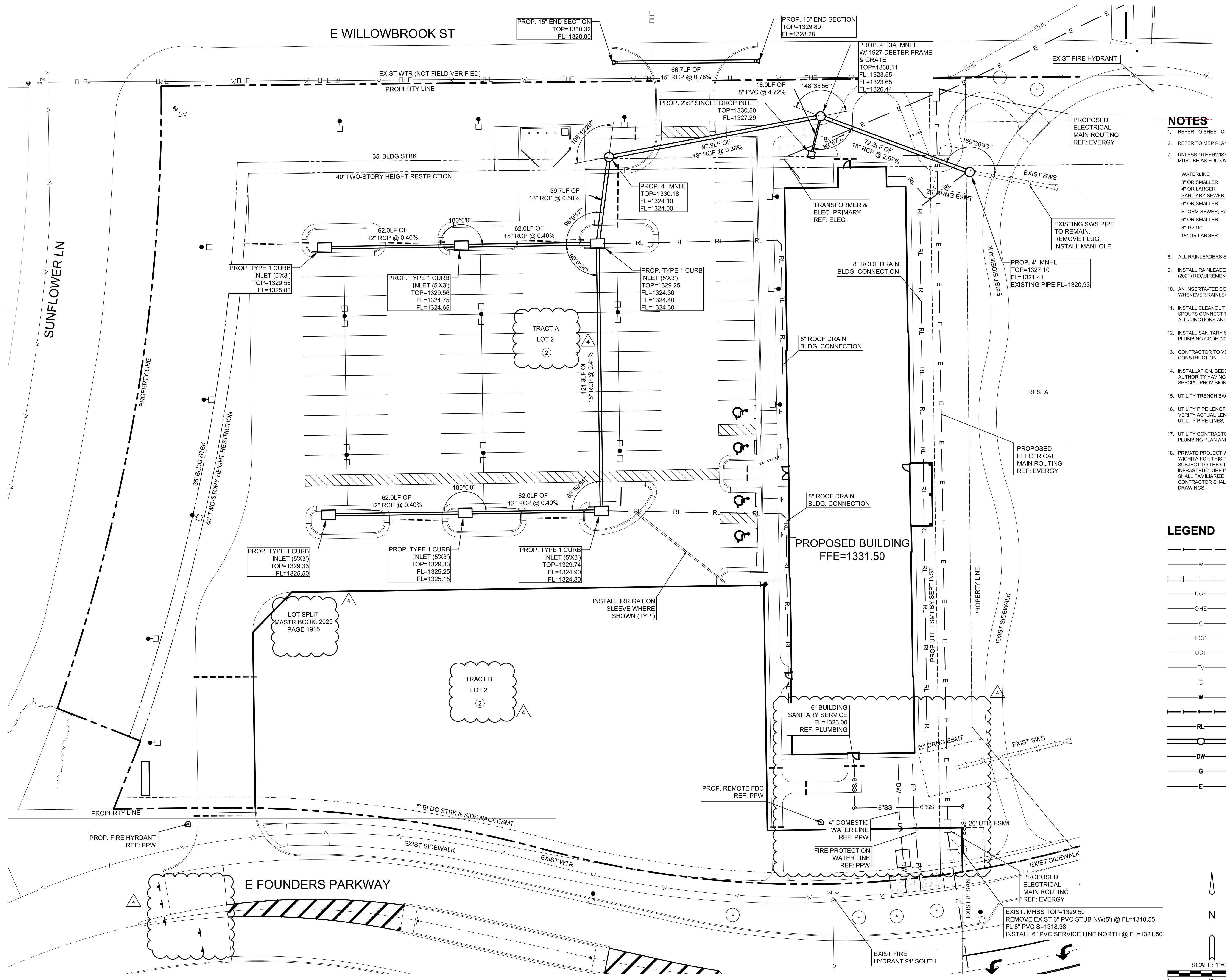
EXISTING UNDERGROUND UTILITIES IN THE AREA
CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR IS RESPONSIBLE
FOR ANY REPAIRS TO EXISTING UTILITIES DUE
TO DAMAGE INCURRED DURING CONSTRUCTION.
CONTRACTOR SHALL NOTIFY THE ENGINEER OF
ANY DISCREPANCIES ON THE PLANS.

1. **What is the primary purpose of the proposed legislation?**

10 of 10 pages

C3.01

**THE RESIDENCE AT HERITAGE WEST
ANDOVER, KANSAS**



REVISION:
1 ASI 1-4-2025
4 ASI 4-4-30-2025

DATE: 1-17-2025
JOB: 24-3385
SHEET NO.: C4.01

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OTES

EROSION CONTROL SHOULD MEET ALL FEDERAL, STATE, COUNTY AND LOCAL CODE STANDARDS.

EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS, DRAINAGE WAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGE WAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREDGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.

SEE SEEDING NOTES FOR DISTURBED AREA STABILIZATION OUTSIDE OF HARDSCAPE AND LANDSCAPE AREAS.

THE CONTRACTOR SHALL COMPLETE STABILIZATION WHEN SOIL DISTURBING ACTIVITIES CEASE TEMPORARILY AND WILL NOT RESUME FOR 14 DAYS OR MORE.

CONTRACTOR SHALL PROVIDE EROSION PROTECTION THROUGHOUT PROJECT CONSTRUCTION. THE PLAN PROVIDED HERE WITHIN IS FOR FINAL PROTECTION. VARIOUS PHASES OF THIS PLAN SHALL BE IMPLEMENTED OR MODIFIED TO CONTROL EROSION.

THE CONTRACTOR(S) ARE RESPONSIBLE FOR EROSION CONTROL IN CONFORMATION WITH THE APPROVED DRAWINGS UNTIL PROJECT COMPLETION.

ALL EXISTING AND PROPOSED EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND INFORMATION PROVIDED IN THESE PLANS AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR UNTIL THE PROJECT IS COMPLETED AND THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH MAINTENANCE AND/OR REPLACEMENT OF EROSION CONTROL MEASURES AS DETERMINED BY THE ENGINEER UNTIL PROJECT IS ACCEPTED OR THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED.

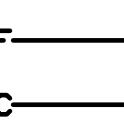
IN ORDER TO PREVENT SILT OR SEDIMENT FROM ENTERING ADJACENT PROPERTIES, APPROPRIATE BMP'S SHALL BE IMPLEMENTED WITHIN THE PROJECT.

ANY MUD TRACKED ONTO ADJACENT PAVED AREAS OR STREETS SHALL BE REMOVED AT THE END OF EACH WORK DAY.

PER THE REQUIREMENTS OF THE NOI/SWPPP, BMP INSPECTION REPORTS SHALL BE COMPLETED BY THE CONTRACTOR WEEKLY AND WITHIN 24 HOURS AFTER A 1/2" RAIN. REPORTS SHALL BE KEPT WITH THE SWPPP ON SITE.

LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.

LOCATION OF SWPPP

— H — H — H —	EXISTING SANITARY SEWER
— W —	EXISTING WATER LINE
— H — H — H —	EXISTING STORM SEWER
— UGE —	EXISTING UNDERGROUND ELECTRIC
— OHE —	EXISTING OVERHEAD ELECTRIC
— G —	EXISTING GAS LINE
— FOC —	EXISTING FIBER OPTIC CABLE
— UGT —	EXISTING UNDERGROUND TELEPHONE
— TV —	EXISTING TV LINE
○	EXISTING LIGHT POLE
— XXXX — — —	EXISTING GRADES
— XXXX —	PROPOSED GRADES
— SF —	SILT FENCE
— BC —	BACK OF CURB PROTECTION
	CONSTRUCTION ENTRANCE
	FLOW PATH
	AREA INLET PROTECTION
	CURB INLET PROTECTION



WARNING

EXISTING UNDERGROUND UTILITIES IN THE AREA
CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR IS RESPONSIBLE
FOR ANY REPAIRS TO EXISTING UTILITIES DUE
TO DAMAGE INCURRED DURING CONSTRUCTION.
CONTRACTOR SHALL NOTIFY THE ENGINEER OF
ANY DISCREPANCIES ON THE PLANS.

11. **What is the primary purpose of the *Journal of Clinical Oncology*?**

C5.01