



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Residence at Heritage West New Development Andover, KS	Report No.	One (1)
OWNER:	OPG Heritage West Partners, LLC Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	April 8, 2025
CONTRACTOR:	MCP Build 3501 SW Fairlawn Rd., Suite 100 Topeka, KS 66614	Architect's Proj No.	24-3379
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

C2.01 Dimension Control Plan – Modified parking lot layout to account for a wider (26' wide) entry aisle for fire trucks and meet IFC requirements for aerial apparatus access roads.

C2.02 Paving Plan – Modified parking lot layout to account for a wider (26' wide) entry aisle for fire trucks and meet IFC requirements for aerial apparatus access roads. Added concrete mow strip around building.

C2.53 Paving Details – Added concrete mow strip detail.

C3.01 Grading Plan – Modified grading design and spot elevations to account for modified site layout.

C4.01 Utility Plan – Modified storm sewer design to account for modified site layout.

C5.01 Erosion Control Plan – Modified erosion control features to account for modified site layout and storm sewer changes.

L1.00 Landscape Plan – Modified landscape design to account for modified site layout.

L1.01 Landscape Details – Updated plant schedule.

Architectural:

Updated Site plan A1.1 to match Civil Dimension control plan.

Attachments:

1. Revised Sheets: C2.01, C2.02, C2.53, C3.01, C4.01, C5.01, L1.00, L1.01, A1.1

Issued by:

Jones Gillam Renz Architects
Chris Gillam, Project Manager

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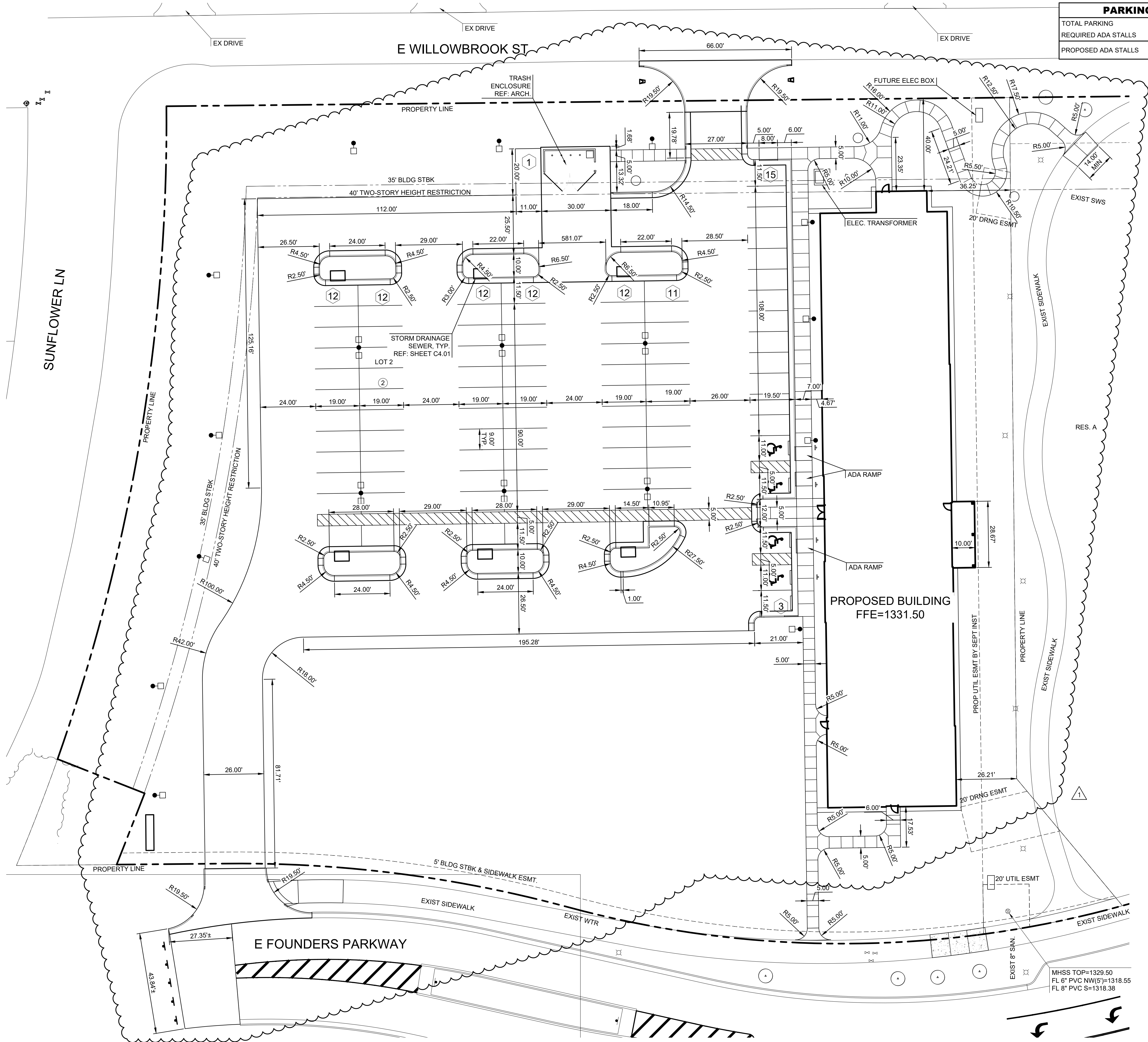
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C2.01 DIMENSION CONTROL PLAN.DWG
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PARKING SUMMARY	
TOTAL PARKING	90 SPACES
REQUIRED ADA STALLS	4 SPACES
PROPOSED ADA STALLS	4 SPACES

NOTES

- UNLESS OTHERWISE NOTED, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF AUTHORITY HAVING JURISDICTION.
- ALL DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, STANDARD PARKING STALLS ARE 9'X19', MEASURE TO THE FACE OF CURB.
- UNLESS OTHERWISE NOTED, ADA PARKING STALLS ARE 11'X19', MEASURE TO THE FACE OF CURB.
- BUILDING FOOTPRINT AS SHOWN IS THE OUTSIDE FACE OF THE ARCHITECTURAL PLANS. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TERRACON, PROJECT #01245160 DATED NOVEMBER 4, 2024. CONTRACTOR SHALL REFER TO REPORT FOR RECOMMENDED PAVEMENT THICKNESS, SUBGRADE PREPARATION AND TRENCH BACKFILLING. IF ANY DISCREPANCIES ARISE BETWEEN THE PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT, THEN THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- CONTRACTOR TO DRILL & EPOXY #4 BARS (L=2'-0", MIN. 9" EMBED) @ 24" O.C. INTO EXIST. CONCRETE PAVEMENT AND CURB & GUTTER WHEREVER PROPOSED ABUTS EXISTING.
- AGGREGATE BASE UNDER PAVEMENT SHALL EXTEND A MINIMUM OF 1' BEYOND THE BACK OF CURB.
- PARKING STRIPING SHALL BE 4" WIDE, WHITE IN COLOR.
- ADA PARKING STALL LOADING AISLE STRIPING SHALL BE 4" WIDE, 2" O.C. @ 45° ANGLE, WHITE IN COLOR.
- PAVEMENT MARKINGS SHALL BE AN UNDILUTED ALKYD TRAFFIC PAINT. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATE TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION AND APPLICATION.
- IT IS IMPORTANT BOTH FUNCTIONALLY AND AESTHETICALLY FOR JOINTS IN CURB & GUTTER AND ABUTTING CONCRETE PAVEMENT TO HAVE A CONSISTENT PATTERN.
- JOINT SPACING SHOULD BE THOUGHT OUT AND ESTABLISHED PRIOR TO PLACING ANY CONCRETE. THIS INCLUDES JOINTING IN THE CURB & GUTTER ON BOTH SIDES OF PROPOSED CONCRETE PAVEMENT AND ON CURVES, DRIVES, ROUNDABOUTS, WHEELCHAIR RAMPS, ETC.
- PEDESTRIAN CONCRETE SIDEWALKS SHALL RECEIVE HAND TOOLED JOINTS.
- THE PAVING PLANS, DETAILS, SPECIFICATIONS AND NOTES CONTAIN SPECIFIC REQUIREMENTS FOR JOINTING. THE FOLLOWING ITEMS SHALL SERVE AS GUIDELINES FOR THE CONTRACTOR WHEN DEVELOPING THE JOINTING PLAN:
 - JOINTING IN PAVEMENT SHALL BE AT RIGHT ANGLES TO CURB LINES WHEREVER POSSIBLE
 - JOINT SPACING IN PAVEMENT SHALL GENERALLY NOT EXCEED 24 TIMES THE PAVEMENT THICKNESS
 - JOINTS IN PAVEMENT SHALL NOT CREATE "L" SHAPED OR ODD SHAPED SECTIONS OR SECTIONS WITH NARROW POINTED PORTIONS THAT COULD BE SUBJECT TO CRACKING AND BREAKING
 - CONTRACTION JOINT SPACING SHALL GENERALLY NOT EXCEED 1.5 TIMES LONGITUDINAL JOINT SPACING
- CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TRAFFIC CONTROL NECESSARY ON SURROUNDING STREETS FOR CONSTRUCTION. TRAFFIC CONTROL SHALL COMPLY WITH THE LATEST EDITION OF MUTCD AND AUTHORITIES HAVING JURISDICTION STANDARDS AND SPECIFICATIONS.

LEGEND

- 13 PARKING STALL COUNT
- LOT 2
- 2 LOT & BLOCK NUMBER

CONTROL POINTS

DATUM:
THE HORIZONTAL DATUM IS BASED ON THE KANSAS COORDINATE SYSTEM OF 1983(2011), SOUTH ZONE. COORDINATES SHOWN HAVE BEEN MODIFIED TO THE GROUND USING A COMBINED ADJUSTMENT FACTOR OF 1.0001200144. STATE PLANE COORDINATES CAN BE CALCULATED BY MULTIPLYING THE SHOWN VALUES BY 0.99986.

ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 VERTICAL DATUM.

CONTROL POINTS (GND):

CP110
N: 1685568.193 E: 1708413.190 EL: 1332.085
5/8" REBAR WITH ALUM MKEC CONTROL POINT CAP

CP113
N: 1686310.274 E: 1709966.071 EL: 1336.36

*+ CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO WEST APPROXIMATELY 600FT SOUTH OF DOUGLAS AND YORKTOWN

CP114
N: 1686682.077 E: 1709988.168 EL: 1332.09

*+ CUT ON NW CORNER OF INLET ON WEST SIDE OF YORKTOWN APPROXIMATELY 250FT SOUTH OF DOUGLAS AND YORKTOWN

CP115
N: 1685086.627 E: 1709991.875 EL: 1332.97

*+ CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO FOUNDERS PKWY AND YORKTOWN

BENCHMARKS:

CP110
N: 1685568.193 E: 1708413.190 EL: 1332.085
5/8" REBAR WITH ALUM MKEC CONTROL POINT CAP

NOTE:

ALL CONTROL POINTS SHOWN HAVE ELEVATIONS ESTABLISHED USING STANDARD SURVEYING PROCEDURES AND CAN BE USED AS TEMPORARY BENCHMARKS. WHEN USING A CONTROL POINT AS A TEMPORARY BENCHMARK, IT IS RECOMMENDED THAT CROSS-CHECKS BE MADE TO OTHER CONTROL POINTS OR BENCHMARKS TO CONFIRM ELEVATIONS PRIOR TO USE.

WARNING

EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



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THE RESIDENCE AT HERITAGE WEST
NEW SENIOR-LIVING FACILITY
ANDOVER, KANSAS



REVISION:

1 ASI 1_4-2-2025

DATE: 1-17-2025

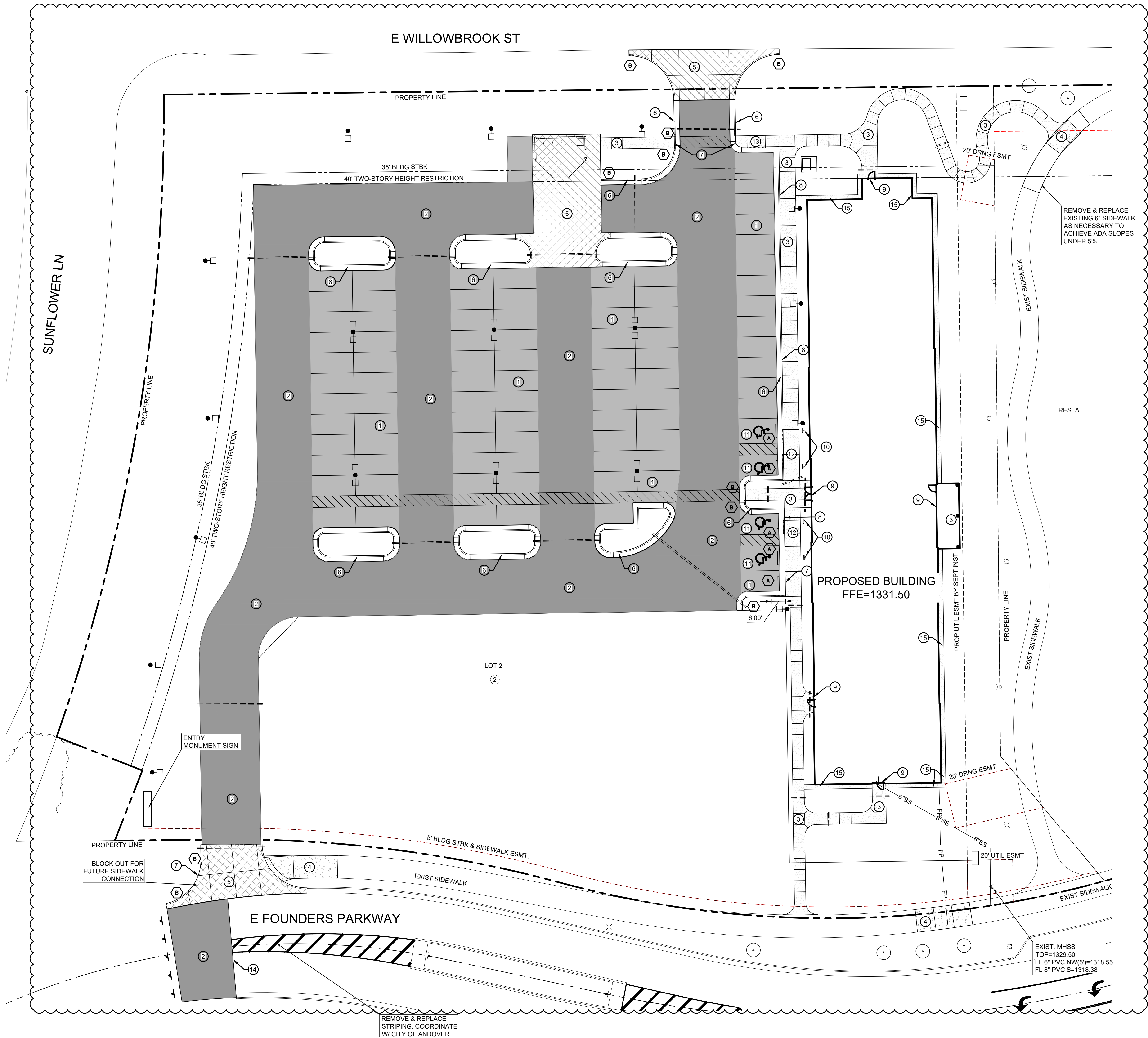
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DETAIL LEGEND			
KEY	DETAIL	DESCRIPTION	SHEET
1	5.5" ASPHALTIC PAVEMENT	TYPICAL SECTION: 5.5" ASPHALT PAVEMENT ON 9" BASE	C2.51
2	7.5" ASPHALTIC PAVEMENT	TYPICAL SECTION: 7.5" ASPHALT PAVEMENT ON 9" BASE	C2.51
3	4" CONCRETE SIDEWALK	TYPICAL SECTION: 4" CONCRETE SIDEWALK	C2.52
4	6" CONCRETE SIDEWALK	TYPICAL SECTION: 6" CONCRETE SIDEWALK	C2.52
5	8" CONCRETE PAVEMENT	TYPICAL SECTION: 8" CONCRETE PAVEMENT	C2.51
6	6" CURB & GUTTER	TYPICAL SECTION: 6" CURB & GUTTER	C2.52
7	FLUSH CURB	FLUSH CURB & GUTTER	C2.53
8	CONCRETE SIDEWALK AT CURB	TYPICAL CONCRETE SIDEWALK AT CURB	C2.52
9	EXPANSION JOINT @ BUILDING	EXPANSION JOINT AT BUILDING	C2.51
10	ACCESSIBLE PARKING SIGN	ACCESSIBLE PARKING SIGN	C2.53
11	ACCESSIBLE PARKING MARKING	ACCESSIBLE PARKING MARKING	C2.53
12	ADA RAMP	WHEEL CHAIR RAMP DETAILS/SECTIONS	C2.53
13	ADA RAMP	WHEEL CHAIR RAMP DETAILS/SECTIONS	C2.53
14	ASPHALTIC PAVEMENT CONNECTION	TYPICAL SECTION: ASPHALTIC PAVEMENT CONNECTION	C2.51
15	CONCRETE MOWSTRIP	CONCRETE MOWSTRIP AT BUILDING	C2.53

1 SITE FURNISHINGS

WHEEL STOP
MANUFACTURER: TRAFFIC SAFETY STORE
PRODUCT #: PBRSS6WHDS - 6" RUBBER PARKING BLOCK
COMMENTS: ENSURE WHITE STRIPING ON PARKING BLOCK. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

LEGEND

- 5.5" ASPHALTIC PAVEMENT
- 7.5" ASPHALTIC PAVEMENT
- 4" CONCRETE SIDEWALK
- 6" CONCRETE SIDEWALK
- 8" CONCRETE PAVEMENT
- PROPOSED IRRIGATION SLEEVE
- WHEEL STOP (REF: NOTE THIS SHEET)
- 1" CURB TRANSITION UNLESS NOTED

CONTROL POINTS

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ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 VERTICAL DATUM.

CONTROL POINTS (GND):
CPI10
N: 1685568.193 E: 1708413.190 EL: 1332.085
5/8" REBAR WITH ALUM MKEC CONTROL POINT CAP

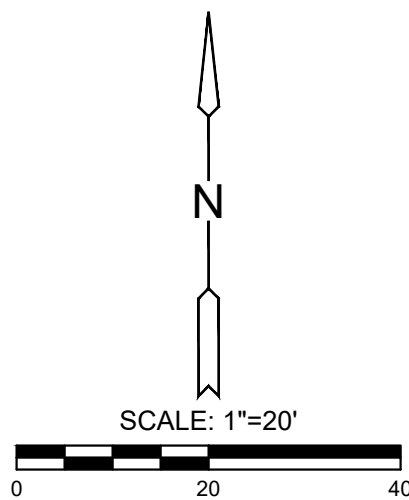
CPI13
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CPI14
N: 1686682.077 E: 1709988.168 EL: 1332.09
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CPI15
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BENCHMARKS:
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5/8" REBAR WITH ALUM MKEC CONTROL POINT CAP

NOTE:
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WARNING
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

THE RESIDENCE AT HERITAGE WEST NEW SENIOR-LIVING FACILITY ANDOVER, KANSAS



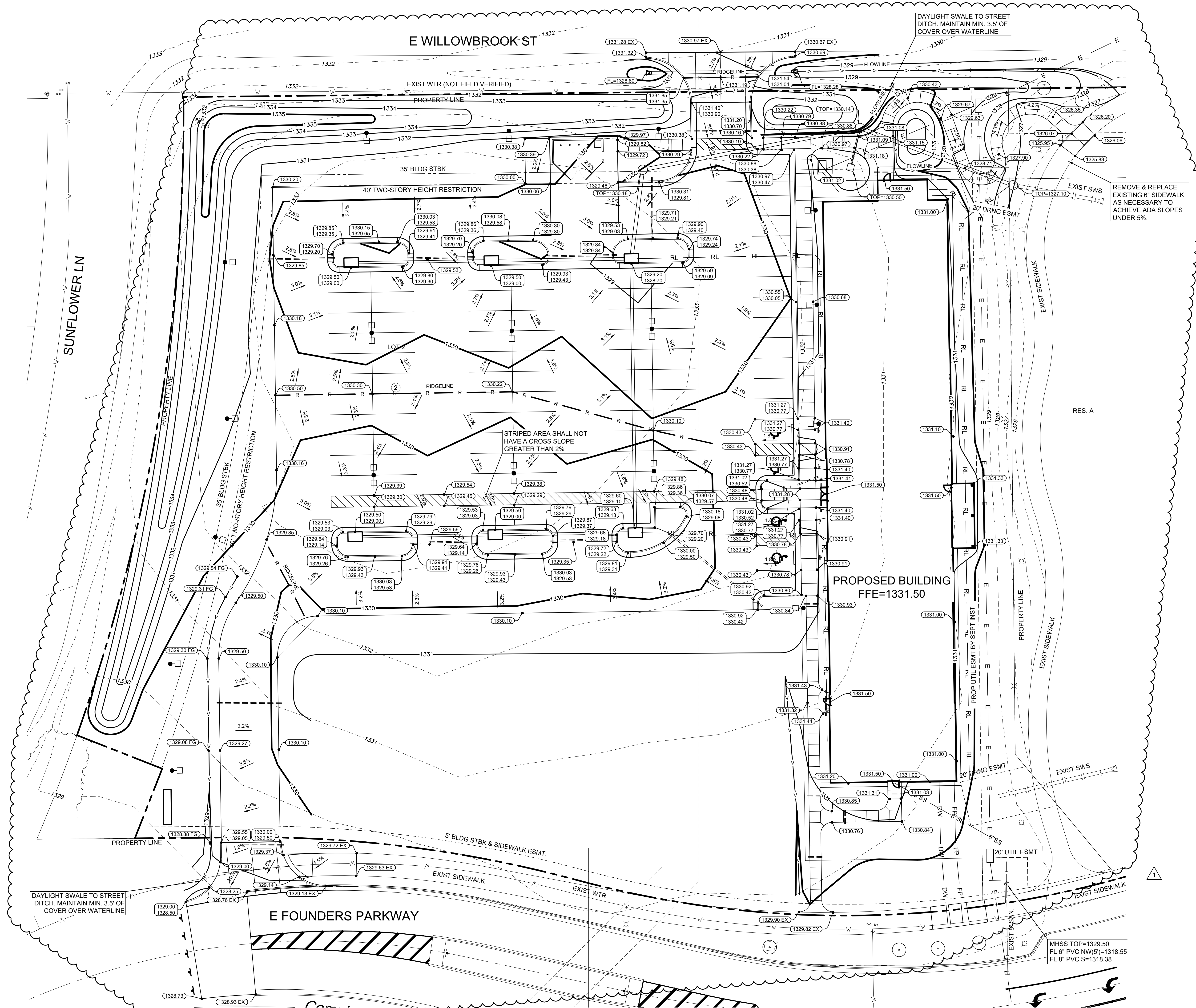
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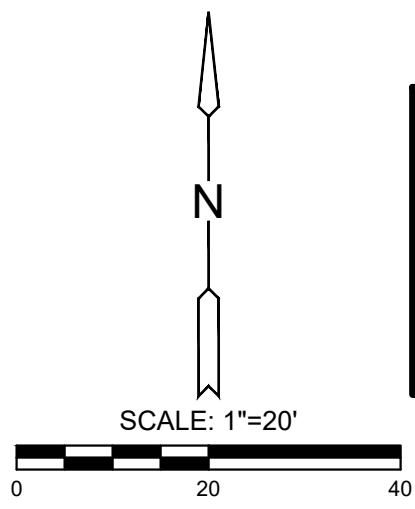
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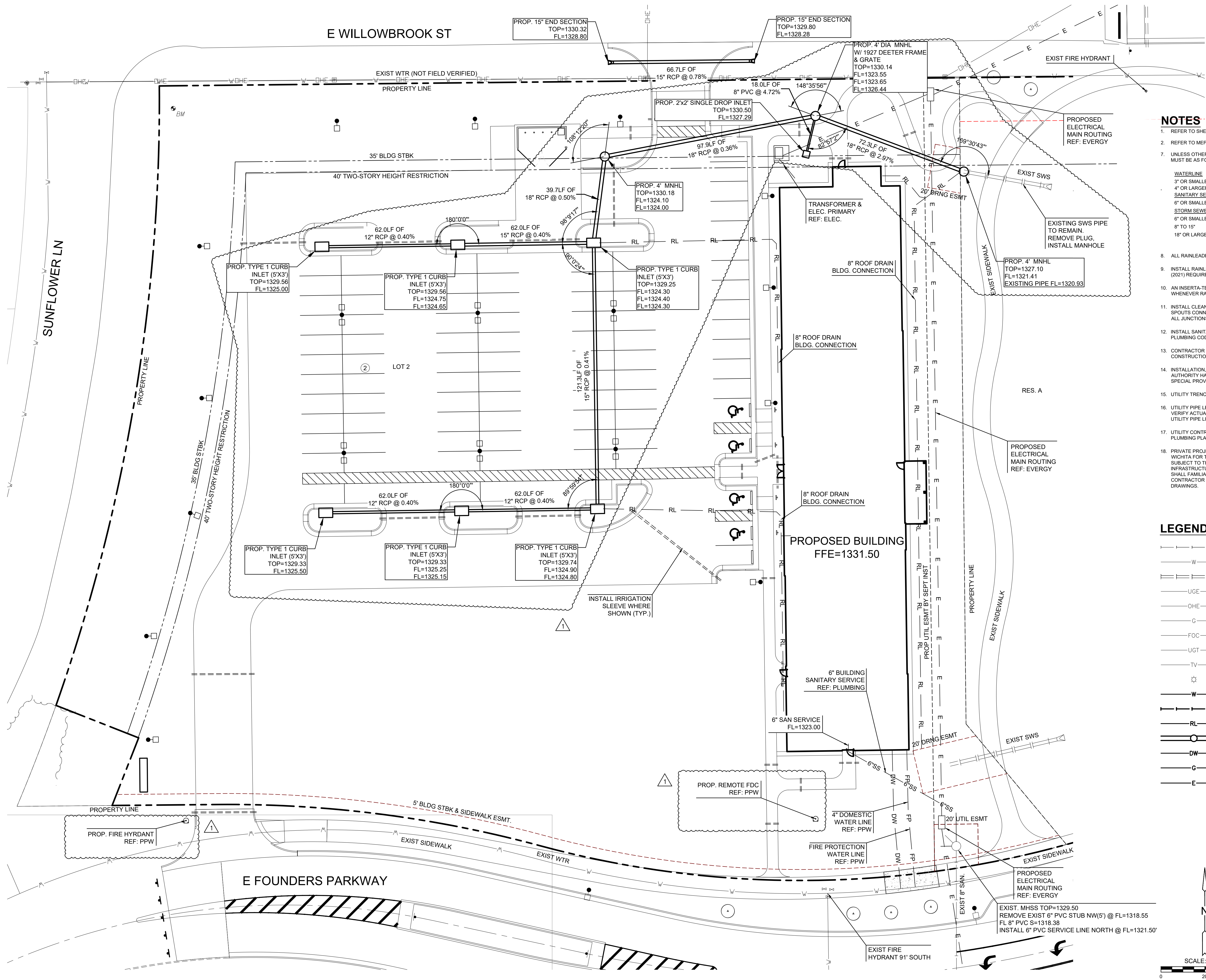
1. ALL SPOT ELEVATIONS REPRESENT FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS WILL BE 6" ABOVE THE FLOW LINE ELEVATIONS, UNLESS OTHERWISE NOTED.
2. ALL CURB SPOT ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER SLOPE LABELS AT ALL TIMES.
4. GRADES IN ALL SIDEWALK, ACCESSIBLE ROUTES, INCLUDING DRIVEWAYS CROSSINGS SHALL CONFORM TO ALL APPLICABLE ACCESSIBILITY STANDARDS, NOT TO EXCEED 2% MAXIMUM GRADE. PATH WITH NOT MORE THAN 2% CROSS SLOPE AND NOT TO EXCEED 2% IN ANY DIRECTION IN ACCESSIBLE PARKING AREAS.
5. MAXIMUM SLOPE IN TURF AREAS SHALL BE 4:1.
6. REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TERRACON, PROJECT #01245100 DATED NOVEMBER 4, 2024. CONTRACTOR SHALL REFER TO REPORT FOR RECOMMENDED PAVEMENT THICKNESS, SUBGRADE PREPARATION AND TRENCH BACKFILLING. IF ANY DISCREPANCIES ARISE BETWEEN THE PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT, THEN THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
7. SATISFACTORY SOIL AND FILL MATERIAL SHALL BE PROVIDED PER THE GEOTECHNICAL REPORT. SEE GEOTECHNICAL REPORT FOR MAXIMUM FILL LIFT THICKNESS
8. CLEAR AND GRUB IMPROVEMENT AREA. REMOVE ALL ORGANIC AND TOPSOIL MATERIAL REGARDLESS OF SIZE AND DEPTH. ALL CLEARED, EXCESS AND WASTE MATERIAL SHALL BE EXPORTED TO CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE PROJECT SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE EARTHWORK QUANTITIES, ALL IMPORT AND EXPORT OF SOIL MATERIAL, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THEIR EXPENSE.
10. NOTIFY TESTING AGENCY WHEN EXCAVATIONS HAVE REACHED REQUIRED SUBGRADE. SUBGRADE SHALL BE PREPARED AND COMPACTED PER THE GEOTECHNICAL REPORT.
11. LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.
12. SITE GRADING SHALL NOT CAUSE ADVERSE DRAINAGE IMPACTS TO NEIGHBORING PROPERTIES.

	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING GAS LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING TV LINE
	EXISTING LIGHT POLE
	EXISTING GRADES
	PROPOSED GRADES
	GRADING LIMITS
	SPOT ELEVATION
	MATCH EXISTING ELEVATION
	FLOWLINE
	INLET RIM ELEVATION

WARNING
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DETERMINING THE HORIZONTAL AND VERTICAL
LOCATION OF ALL UTILITIES PRIOR TO
CONSTRUCTION. CONTRACTOR IS RESPONSIBLE
FOR ANY REPAIRS TO EXISTING UTILITIES DUE
TO DAMAGE INCURRED DURING CONSTRUCTION.
CONTRACTOR SHALL NOTIFY THE ENGINEER OF
ANY DISCREPANCIES ON THE PLANS.



BRANDON LAYTON 4/20/2025 4:45 PM
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J:\PROJECTS\2024\2401010691_JER_WICHITA SENIOR LIVING\00 240691 CAD\BTS\05 CIVIL\SITE
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NOTES

- REFER TO SHEET C-050 FOR GENERAL NOTES.
- REFER TO MEP PLANS FOR UTILITY PIPES WITHIN 5' AND UNDERNEATH BUILDING.
- UNLESS OTHERWISE NOTED IN THE PROJECT SPECIFICATIONS PIPE MATERIALS MUST BE AS FOLLOWS:

WATERLINE	
3" OR SMALLER	-ASTM D2241 IPS, CLASS 150 (SDR26) PVC
4" OR LARGER	-C900 OR C905 PVC, CLASS 150 (DR 15, C.I.O.D.)

SANITARY SEWER	
6" OR SMALLER	-ASTM D3034 SCHEDULE 40 PVC
STORM SEWER, RAIN LEADERS AND UNDERDRAINS	-ASTM D3034 SCHEDULE 40 PVC
6" OR SMALLER	-ASTM D3034 SCHEDULE 40 PVC
8" TO 15"	-ASTM D3034 SDR-35 PVC
18" OR LARGER	-ASTM F2306 AND AASHTO M294 HDPE
	-CLASS III RCP
- ALL RAINLEADERS SHALL BE 8" PVC PIPE.
- INSTALL RAINLEADER PVC PIPING SYSTEM PER INTERNATIONAL PLUMBING CODE (2021) REQUIREMENTS.
- AN INSERT-A-TEE CONNECTION, OR APPROVED EQUAL, SHOULD BE USED WHENEVER RAINLEADERS CONNECT TO STORM WATER TRUNK LINES.
- INSTALL CLEANOUT ACCESS STRUCTURES AT EACH LOCATION WHERE DOWN SPOUTS CONNECT TO THE UNDERGROUND RAINLEADER PIPING SYSTEM AND AT ALL JUNCTIONS AND CHANGE OF DIRECTION POINTS AS REQUIRED BY CODE.
- INSTALL SANITARY SEWER SERVICE LINE AND CLEANOUTS PER UNIFORM PLUMBING CODE (2021) REQUIREMENTS.
- CONTRACTOR TO VERIFY DEPTH & LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- INSTALLATION, BEDDING, & TESTING OF UTILITY INSTALLATIONS SHALL BE AS PER AUTHORITY HAVING JURISDICTION STANDARD SPECIFICATIONS AND STANDARD SPECIAL PROVISIONS.
- UTILITY TRENCH BACKFILLING SHOULD BE PER GEOTECHNICAL REPORT.
- UTILITY PIPE LENGTHS ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR TO VERIFY ACTUAL LENGTHS OF PIPE REQUIRED PRIOR TO BIDDING & INSTALLING UTILITY PIPE LINES.
- UTILITY CONTRACTOR TO COORDINATE BUILDING CONNECTION POINTS WITH PLUMBING PLAN AND BUILDING CONTRACTOR.
- PRIVATE PROJECT WATER (PPW) PLANS WILL BE SUBMITTED TO THE CITY OF WICHITA FOR THIS PROJECT. WORK DONE UNDER THESE PRIVATE PROJECTS ARE SUBJECT TO THE CITY OF WICHITA REQUIREMENTS FOR "CONSTRUCTION OF INFRASTRUCTURE IMPROVEMENTS BY PRIVATE CONTRACTOR". THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH AND COMPLY WITH THESE REQUIREMENTS. THE CONTRACTOR SHALL NOT CONSTRUCT ANY OF THESE LINES WITHOUT APPROVED DRAWINGS.

LEGEND

	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING GAS LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING TV LINE
	EXISTING LIGHT POLE
	PROPOSED WATER
	PROPOSED SANITARY SEWER
	PROPOSED RAIN LEADER
	PROPOSED STORM SEWER
	PROPOSED DOMESTIC WATER
	PROPOSED GAS
	PROPOSED ELECTRIC PRIMARY

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SCALE: 1"=20'
0 20 40

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NEW SENIOR-LIVING FACILITY

ANDOVER, KANSAS



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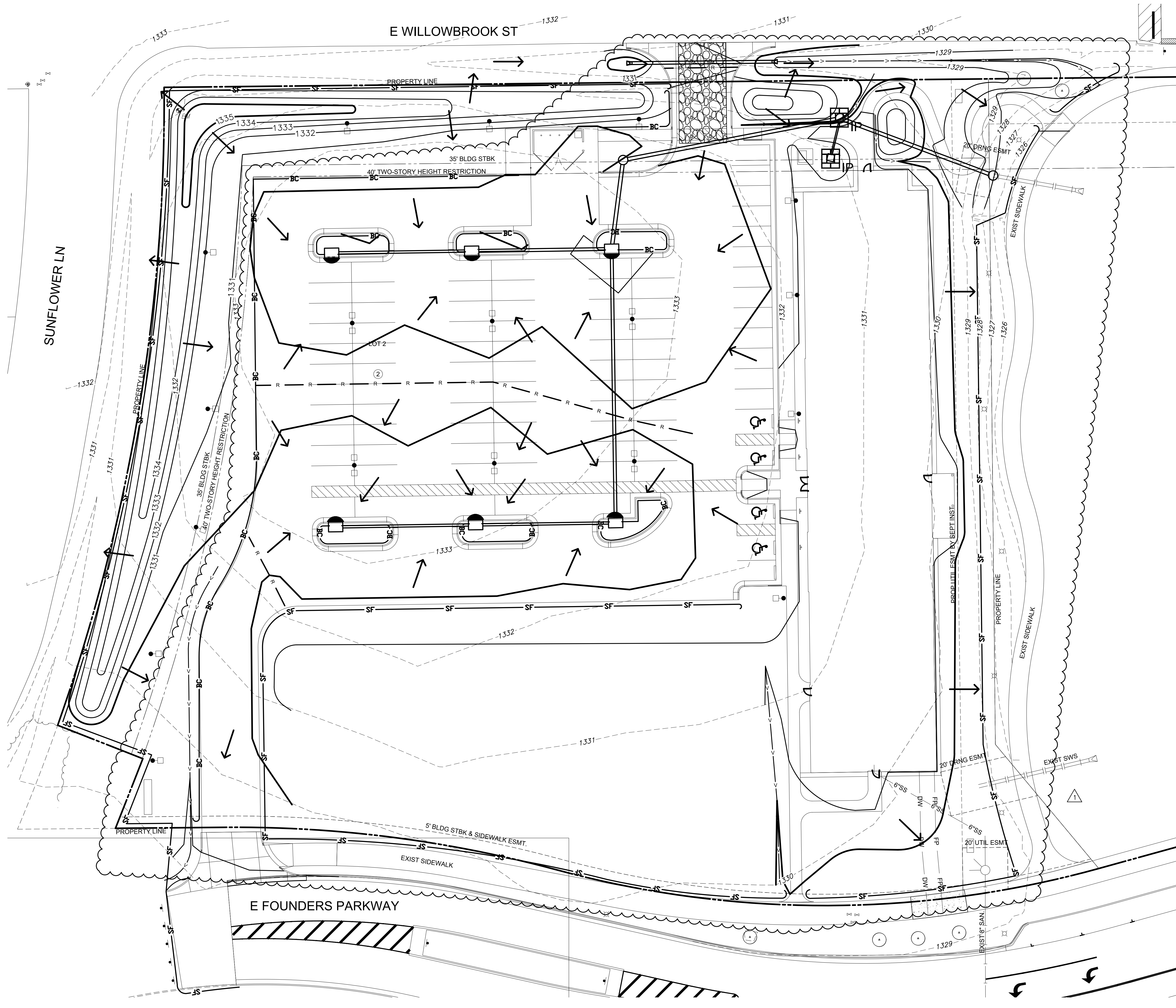
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NOTES

1. EROSION CONTROL SHOULD MEET ALL FEDERAL, STATE, COUNTY AND LOCAL CODE STANDARDS.
2. EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS, DRAINAGE WAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGE WAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DRESSED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.
3. SEE SEEDING NOTES FOR DISTURBED AREA STABILIZATION OUTSIDE OF HARDSCAPE AND LANDSCAPE AREAS.
4. THE CONTRACTOR SHALL COMPLETE STABILIZATION WHEN SOIL DISTURBING ACTIVITIES CEASE TEMPORARILY AND WILL NOT RESUME FOR 14 DAYS OR MORE.
5. CONTRACTOR SHALL PROVIDE EROSION PROTECTION THROUGHOUT PROJECT CONSTRUCTION. THE PLAN PROVIDED HERE WITHIN IS FOR FINAL PROTECTION. VARIOUS PHASES OF THIS PLAN SHALL BE IMPLEMENTED OR MODIFIED TO CONTROL EROSION.
6. THE CONTRACTOR(S) ARE RESPONSIBLE FOR EROSION CONTROL IN CONFORMANCE WITH THE APPROVED DRAWINGS UNTIL PROJECT COMPLETION.
7. ALL EXISTING AND PROPOSED EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND INFORMATION PROVIDED IN THESE PLANS AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR UNTIL THE PROJECT IS COMPLETED AND THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH MAINTENANCE AND/OR REPLACEMENT OF EROSION CONTROL MEASURES AS DETERMINED BY THE ENGINEER UNTIL PROJECT IS ACCEPTED OR THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED.
8. IN ORDER TO PREVENT SILT OR SEDIMENT FROM ENTERING ADJACENT PROPERTIES, APPROPRIATE BMP'S SHALL BE IMPLEMENTED WITHIN THE PROJECT.
9. ANY MUD TRACKED ONTO ADJACENT PAVED AREAS OR STREETS SHALL BE REMOVED AT THE END OF EACH WORK DAY.
10. PER THE REQUIREMENTS OF THE NOI/SWPPP, BMP INSPECTION REPORTS SHALL BE COMPLETED BY THE CONTRACTOR WEEKLY AND WITHIN 24 HOURS AFTER A 1/2" RAIN. REPORTS SHALL BE KEPT WITH THE SWPPP ON SITE.
11. LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.
12. CONTRACTOR SHALL PROVIDE A SIGN NEAR THE ENTRANCE WITH THE FOLLOWING INFORMATION:
 - A. CONTACT NAME AND INFORMATION
 - B. A COPY OF THE NOI
 - C. LOCATION OF SWPPP

LEGEND

	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING GAS LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING TV LINE
	EXISTING LIGHT POLE
	EXISTING GRADES
	PROPOSED GRADES
	SILT FENCE
	BACK OF CURB PROTECTION
	CONSTRUCTION ENTRANCE
	FLOW PATH
	AREA INLET PROTECTION
	CURB INLET PROTECTION

WARNING
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

THE RESIDENCE AT HERITAGE WEST

NEW SENIOR-LIVING FACILITY

ANDOVER, KANSAS



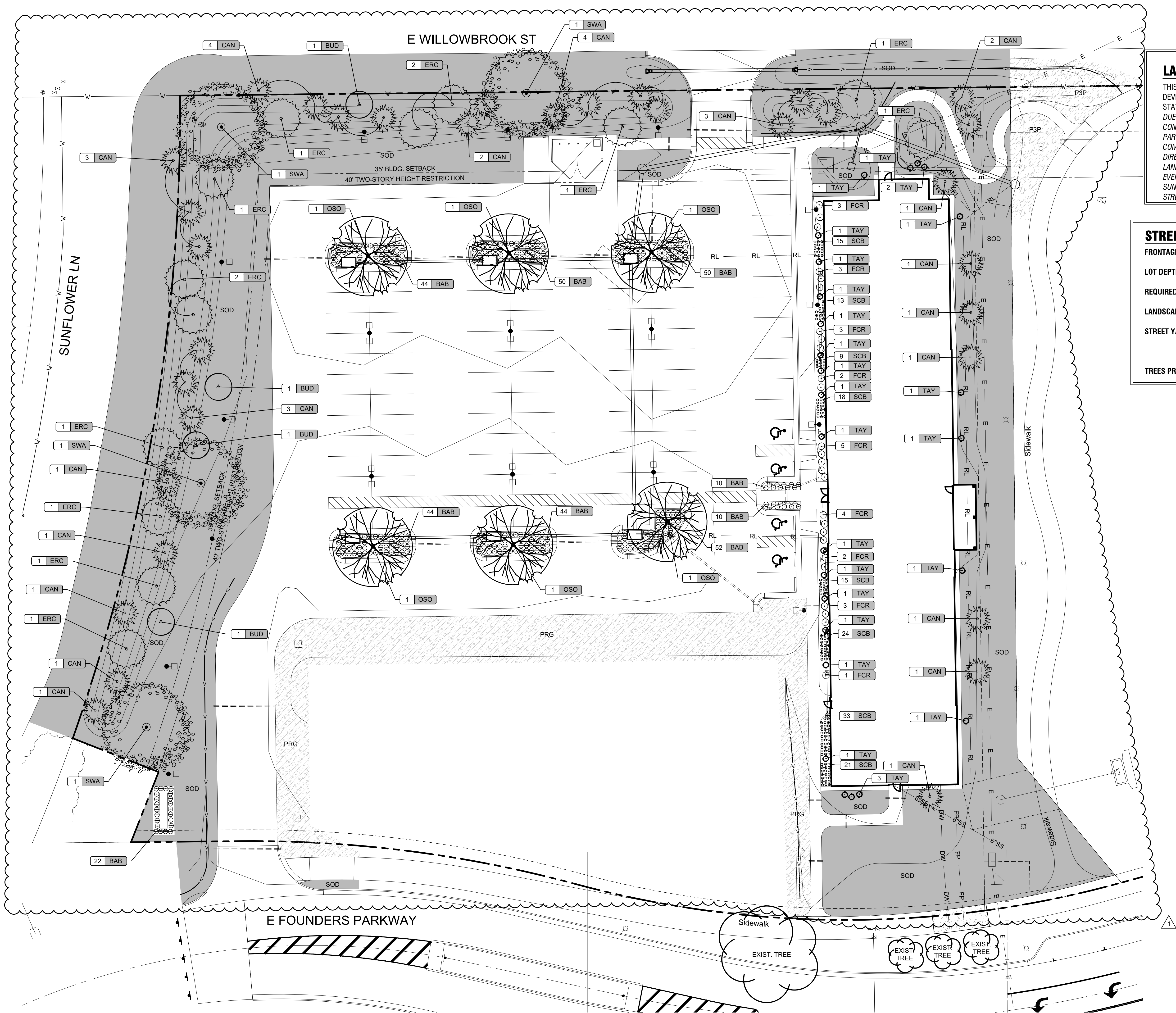
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DATE: 1-17-2025
JOB: 24-3385
SHEET NO.:

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LANDSCAPE REQUIREMENTS

THIS PROJECT IS PART OF THE HERITAGE MIXED-USE SECOND PLANNED UNIT DEVELOPMENT. THE LANDSCAPING PORTION OF THE DEVELOPMENT GUIDELINES STATES THE FOLLOWING:
DUE TO THE URBAN DESIGN OF THIS MIXED-USE PUD, THE LANDSCAPING MAY NOT CONFORM TO ALL ASPECTS OF THE REQUIREMENTS OF THE UDM PART 3.3.4. PARTICULARLY 3.4.7 LANDSCAPING IN STREET YARDS. THE SITE PLAN REVIEW COMMITTEE SHALL USE THE PUD CONCEPT PLAN AND DETAILS THEREIN TO FOCUS DIRECTION AND GOALS IN APPROVING SITE PLANS.
LANDSCAPING CONSISTING OF A 3-FOOT BERM AND 5-FOOT CEDAR TREES PLANTED EVERY 15 FEET SHALL BE REQUIRED ALONG WILLOWBROOK STREET, 400 FEET EAST OF SUNFLOWER LANE AND ALONG SUNFLOWER LANE, 250 FEET SOUTH OF WILLOWBROOK STREET.

STREET YARD CALCULATIONS

FRONTAGE OF SITE = $440' + 288' + 365' = 1,093' - 345'$ (AVE. DEPTH) = 748'

LOT DEPTH FACTOR = 15 FEET

REQUIRED LANDSCAPED STREET YARD = $748 \times 15 = 11,220$ SQ. FT.

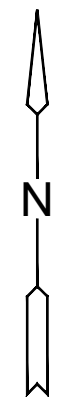
LANDSCAPED STREET YARD PROVIDED = 17,695 SQ. FT.

STREET YARD TREES REQUIRED = 3 TREES PER 1,000 SQ. FT OF REQUIRED STREET YARD
 $11,220 \times 3 = 33.66$ OR 34 TREES

TREES PROVIDED = (48) TREES = 48 TREE EQUIVALENT

LEGEND

- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING TV LINE
- EXISTING LIGHT POLE
- EXISTING GRADES
- PROPOSED GRADES
- PROPOSED GRADING MINOR
- PROPOSED GRADING MAJOR
- GARD'N WISE FESCUE SOD
- PERENNIAL RYEGRASS SEED
- PRAIRIE 3 PLUS SEED



SCALE: 1"=20'

THE RESIDENCE AT HERITAGE WEST
NEW SENIOR-LIVING FACILITY
ANDOVER, KANSAS



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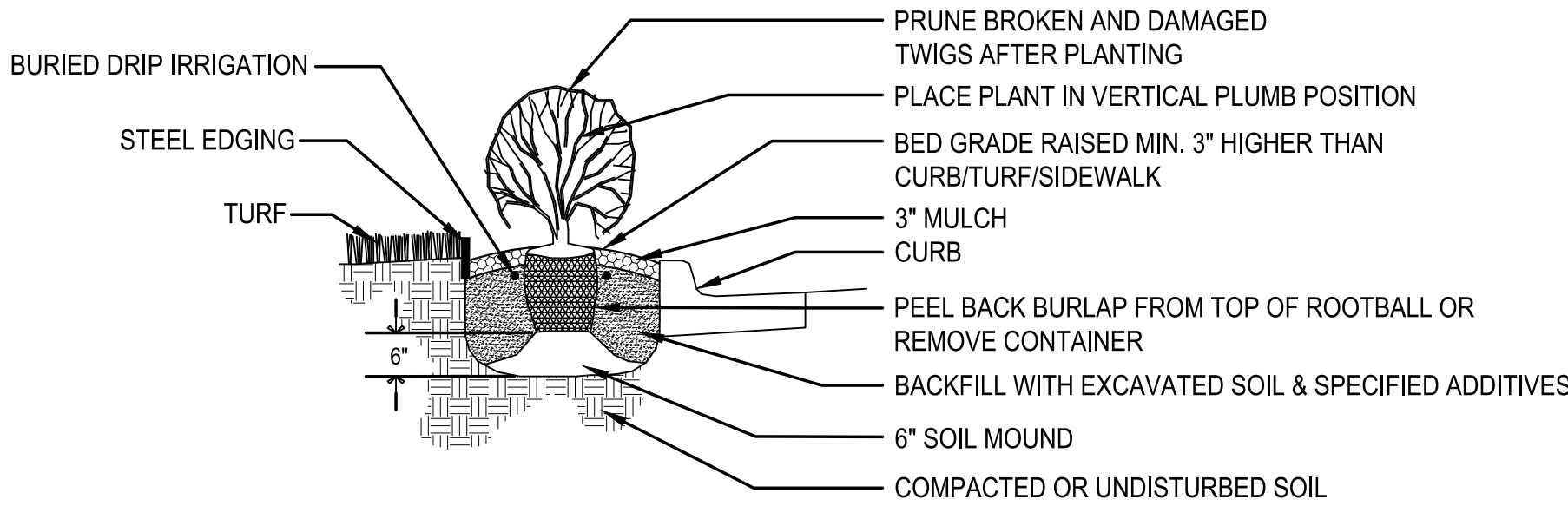
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PLOTTED BY: DUSTIN L. CHAMMAN, 4/9/2025, 9:48 PM
 DWG PATH: J:\PROJECTS\2024\2401010691_L1.01 LANDSCAPE DETAILS.DWG
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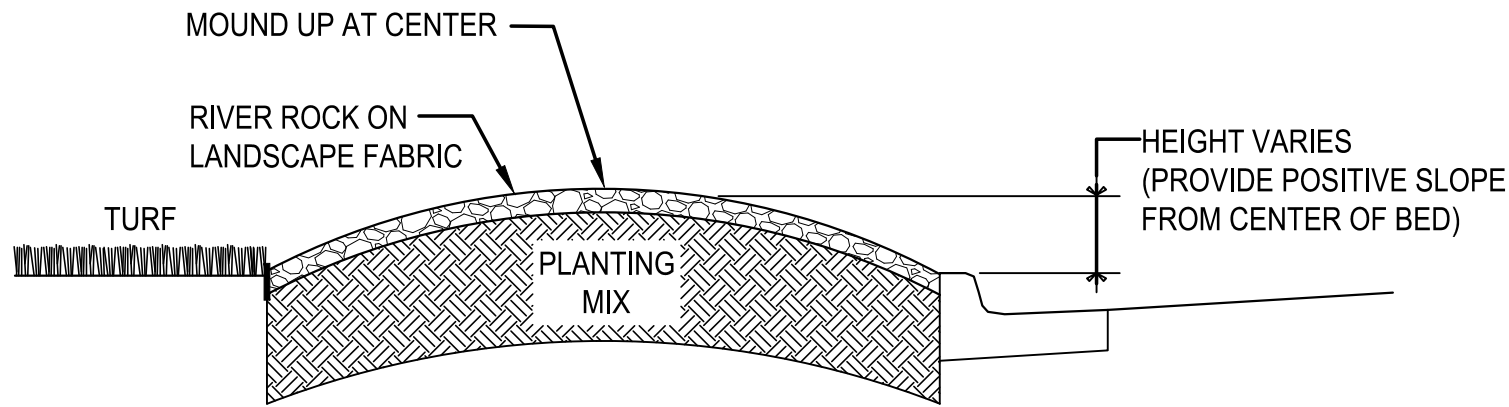
GENERAL LANDSCAPE NOTES

1. CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH ALL APPLICABLE SPECIFICATIONS RELATED TO THE LANDSCAPE AND IRRIGATION.
2. LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIAL. UTILITIES CAN BE FLAGGED BY CALLING 811, OR 1-800-344-7233, OR ONLINE AT www.kansasonecall.com. DAMAGE TO UTILITIES SHALL BE AVOIDED DURING THE COURSE OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
3. LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE MASS GRADING CONTRACTOR TO INSURE THEY THOROUGHLY RIP AND ALLEVIATED ALL COMPACTED SOILS FROM THEIR HAULING AND PLACEMENT OPERATIONS.
4. ALL WATER REQUIRED FOR LANDSCAPE OPERATIONS AND FOR ESTABLISHING LANDSCAPE ON THIS SITE WILL BE PROVIDED BY THE OWNER FROM ON-SITE SOURCES AND SUPPLIED TO THE LANDSCAPE CONTRACTOR AT NO CHARGE.
5. PLANTING DATES FOR PLANT MATERIAL SHALL BE DURING THE MONTHS BETWEEN FEB. 15TH AND MAY 31ST OR SEPT. 15TH AND DEC. 15. PLANTING SHALL ONLY BE CONDUCTED WHEN THE GROUND IS NOT FROZEN, SNOW-COVERED, OR IN AN OTHERWISE UNSUITABLE CONDITION FOR PLANTING. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE.
6. MULCHED LANDSCAPE BED EDGES SHALL BE LINED WITH PRO-STEEL EDGING (OR APPROVED EQUAL).
7. MULCH ADJACENT TO BUILDINGS SHALL BE FOUR (4) INCHES LOWER THAN BUILDING FINISH FLOOR ELEVATION.
8. ALL SHRUB/PERENNIAL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TREFLAN OR EQUAL. APPLY AS PER MANUFACTURER'S RECOMMENDATION. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING AND MULCHING WITHIN THESE AREAS ARE COMPLETE. DO NO DISTURB AREAS AFTER APPLICATION. WATER IN AS DIRECTED.
9. INSTALL 3" MIN. DEPTH FINE-SHREDDED, DARK HARDWOOD MULCH IN ALL PLANTING BED AREAS AND WITHIN A 4' DIAMETER CIRCLE AROUND ALL TREES PLANTED IN LAWN AREAS. PULL MULCH AWAY FROM TREE TRUNKS WITHIN 3" OF TRUNK.
10. IF POSSIBLE, BASED ON TIME OF YEAR SITE IS READY FOR LANDSCAPING, PLANT TREES PRIOR TO ROUTING/INSTALLING IRRIGATION LINES AND SUSTAIN TEMPORARILY BY WATERING WITH IRRI-"GATOR" SLOW DRIP IRRIGATION BAGS OR BY HAND WATERING. FOLLOW TREE PLANTING WITH INSTALLATION OF IRRIGATION SYSTEM, THEN BY SODDING AND SEEDING (IF APPLICABLE).
11. FESCUE SOD SHALL BE HARVESTED & PLACED BETWEEN THE DATES OF APRIL 1ST AND JUNE 15TH UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WATER ALL SOD UNTIL LANDSCAPE JOB IS COMPLETE.
12. AREAS DENOTED AS 'SOD' SHALL BE PLANTED WITH THE FOLLOWING GRASS TYPE:
SOD:
GARD'N WISE FESCUE/BLUE, OBTAINABLE FROM CRANMER GRASS FARM, INC., 6121 N. 119TH, MAIZE, KANSAS 67101, PH# (316) 722-7230.
13. ALL SOD AREAS SHALL BE INSTALLED AS FOLLOWS: AFTER FINAL GRADE IS ESTABLISHED AND ALL SOIL AREAS DRAIN AS INTENDED, AND ALL SURFACE IRREGULARITIES HAVE BEEN REMOVED, THOROUGHLY PREPARE SODBED BY TILLING TO A MINIMUM DEPTH OF 3" AND HARROWING. ROLL SOD FOLLOWING LAYING FOR GOOD SOD/SOIL CONTACT AND KEEP IN A MOIST (BUT NOT SATURATED) CONDITION FOR FIRST TWO WEEKS TO PROMOTE GOOD ROOTING. FERTILIZE WITH 1 LB. ACTUAL NITROGEN PER 1,000 S.F. AT TIME OF PLANTING.
14. ALL LANDSCAPE AND TURF AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN-SENSING DEVICE TO SHUT OFF THE SYSTEM DURING PERIODS OF ADEQUATE RAIN.
15. PLACEMENT OF IRRIGATION CONTROLLER SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
16. COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTINGS SHALL BE IN PLACE OR STAKED BEFORE IRRIGATION LINE ROUTING BEGINS TO AVOID CONFLICTS. THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL IN ALL LAWN AREAS BEFORE SOD/SEED IS PLACED.
17. ALL PLANTS SHALL CONFORM TO ANSI Z60.1 FOR SIZE AND QUALITY STANDARDS.
18. LABEL EACH PLANT WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. DO NOT REMOVE UNTIL AFTER PROVISIONAL ACCEPTANCE.
19. SUBSTITUTION OF PLANT SPECIES FOR THOSE LISTED IN THE PLANT LIST IS NOT PERMISSIBLE. ONLY SIZE WILL BE CONSIDERED.
20. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL; FREE OF PEST AND DISEASES. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED & BURLAPPED AS INDICATED IN THE PLANT LIST. ALL TREES SHALL BE STRAIGHT-TRUNKED, OR OF TYPICAL FORM TO THE SPECIES, FULL-HEADED AND MEET THE REQUIREMENTS AS SPECIFIED. ALL TREES MUST BE STAKED.
21. STAKES AND GUYING SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
22. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY.
23. ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING INITIAL ACCEPTANCE. DEAD OR DEFICIENT PLANTINGS SHALL BE ACCEPTABLY REPLACED, IN PROPER PLANTING SEASON, ONE TIME AT NO COST TO THE OWNER. SOD AREAS MAY BE FINAL ACCEPTED AT TIME OF COMPLETION OF ESTABLISHMENT WITH NO FURTHER GUARANTEE REQUIRED.
24. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, (INCLUDING WATERING AND MOWING), SOD AREAS UNTIL ACCEPTANCE OF THESE AREAS. WHEN READY, THE LANDSCAPE CONTRACTOR SHALL REQUEST INSPECTION OF ESTABLISHED SODDED AREAS BY THE OWNER'S REPRESENTATIVE.
25. TOPSOIL FOR ALL LANDSCAPE BEDS AND PARKING ISLANDS SHALL BE A MINIMUM OF EIGHTEEN INCHES (18") DEPTH.

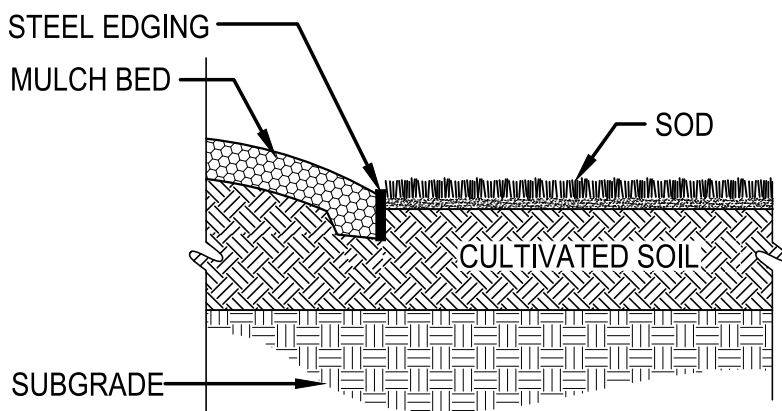
PLANT SCHEDULE					
CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	
DECIDUOUS TREES					
OSO	6	OSAGE ORANGE	MACLURA POMIFERA	2" CAL. / B&B	
SWA	4	SWAMP WHITE OAK	QUERCUS BICOLOR	3" CAL. / B&B	
EVERGREEN TREES					
CAN	33	CANAERTI JUNIPER	JUNIPERUS VIRGINIANA 'CANAERTII'	7' - 8' MIN. HT.	
ERC	13	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	7' - 8' MIN. HT.	
TAY	26	TAYLOR JUNIPER	JUNIPERUS VIRGINIANA 'TAYLOR'	7' - 8' MIN. HT.	
ORNAMENTAL TREES					
BUD	4	EASTERN REDBUD	CERCIS CANADENSIS	2" CAL. / B&B	
SHRUBS					
FCR	26	FLOWER CARPET® PINK SUPREME GROUNDCOVER ROSE	'ROSA X' 'NOA168098F'	#1 CONT.	
SCB	148	SUFFRUTICOSA COMMON BOXWOOD	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	#1 CONT.	
ORNAMENTAL GRASSES/PERENNIALS					
BAB	326	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	#2 CONT.	
CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING
SOD/SEED					
P3P	1,812 SF	PRAIRIE 3 PLUS		SEED	
PRG	7,654 SF	PERENNIAL RYEGRASS		SEED	
SOD	49,148 SF	FESCUE: GARD'N WISE 'FES/BLUE MIXTURE'		SOD	



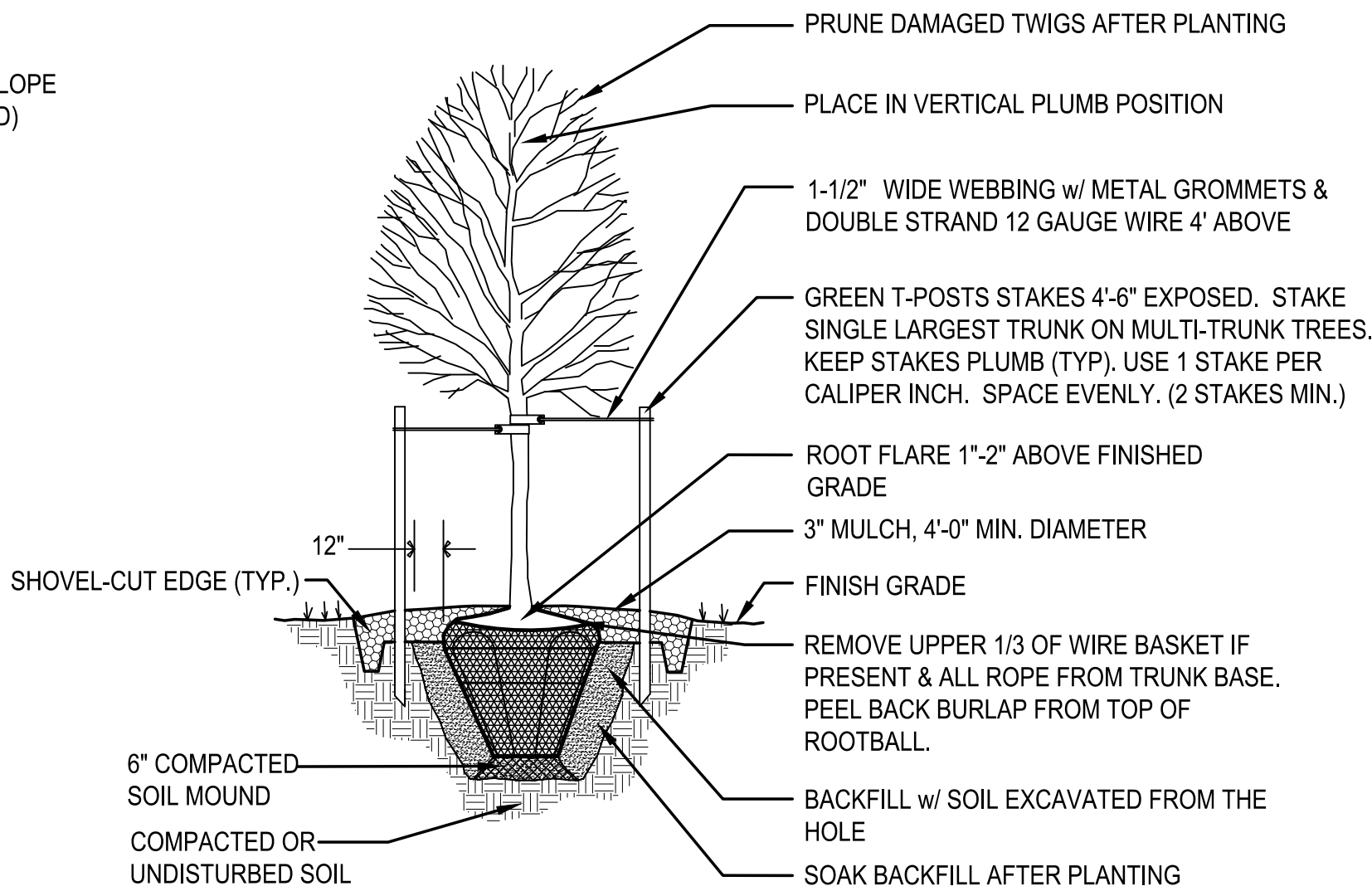
SHRUB PLANTING DETAIL
NOT TO SCALE



TYPICAL PLANTING BED DIAGRAM
NOT TO SCALE



BED EDGING AT TURF DETAIL
NOT TO SCALE



TREE PLANTING IN TURF AREA DETAIL
NOT TO SCALE

ACCESSIBLE UNIT LEGEND

(4) UNITS SHALL BE ACCESSIBLE – 5% of total
(2) 1–bedroom
(2) 2–bedroom

(2) UNITS SHALL BE HEARING
& VISION IMPAIRED ACCESSIBLE – 2% of total
(1) 1–bedroom
(1) 2–bedroom

ACCESSIBLE WALK OR PATH

PARKING SUMMARY

CODE REQUIRED	
TOTAL STALLS	90
HANDICAP STALLS	3

PROVIDED	
HANDICAP PARKING STALLS	4
STANDARD PARKING STALLS	86
TOTAL PARKING STALLS	90
PARKING RATIO (STALLS/UNITS)	1.5

LOT COVERAGE

SITE ACRES	SITE SQUARE FOOT	BLDG COVERAGE (GSF FOOTPRINT)	LOT COVERAGE
3.09 ACRES	134,384	13,700 sf	10.19%

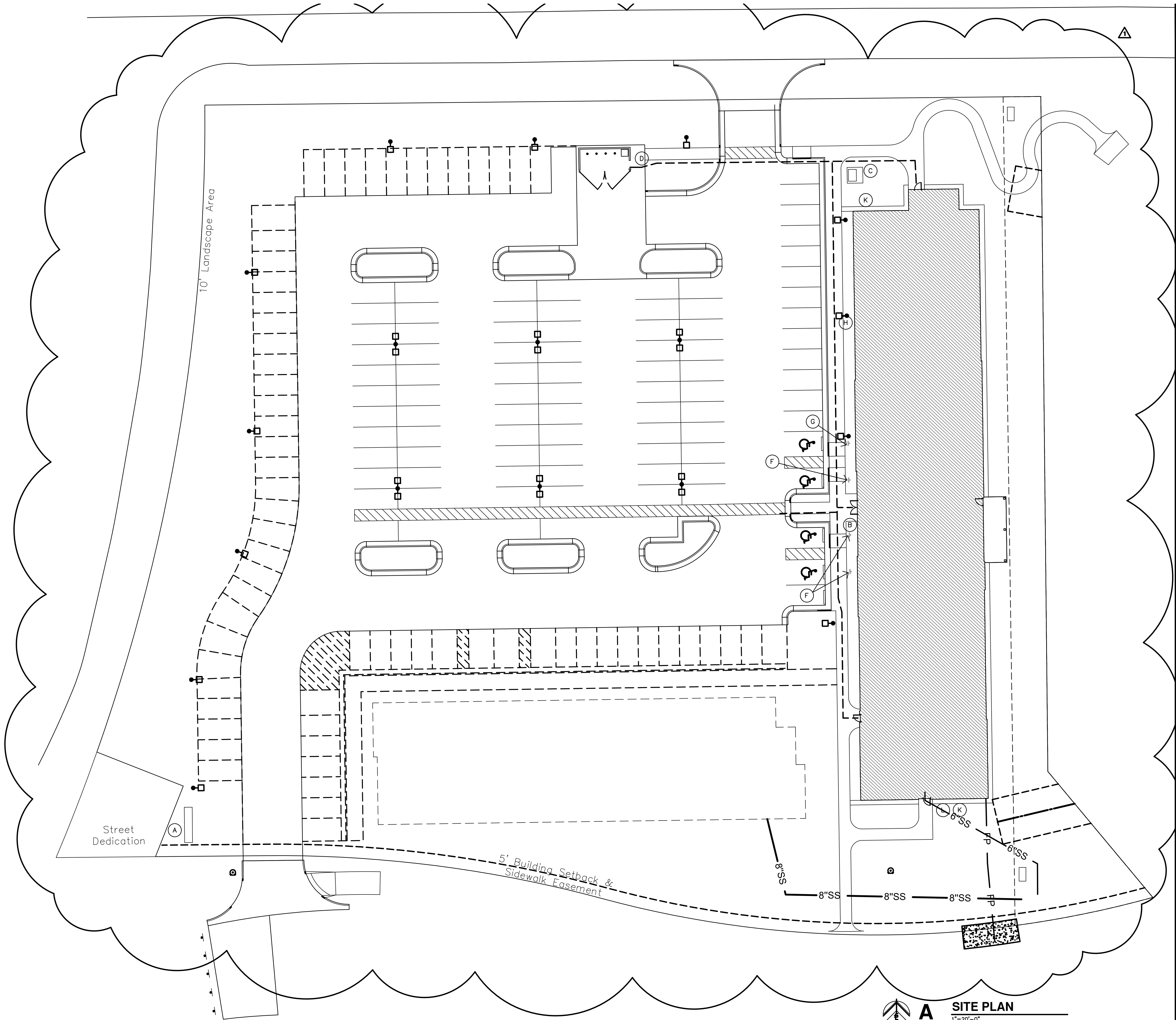
UNIT SUMMARY

UNIT TYPE	TOTAL NO. of UNITS
1–BED, 1–BATH	40
2–BED, 1–BATH	20
TOTAL	60

SITE PLAN KEY NOTES

(A)	MONUMENT SIGN, BASE BID REF. SHEET A1.2
(B)	KNOX BOX COORD. W/ FIRE DEPT. (TYP)
(C)	BUILDING TRANSFORMER REF. ELECT. DWGS. CONTRACTOR TO COORDINATE SIZE OF CONC. PAD WITH ELECT. COMPANY
(D)	HC TRASH ENCLOSURE REF. SHEET A1.2
(E)	
(F)	NEW POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(G)	NEW POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(H)	DASHED LINE INDICATES ACCESSIBLE PATH
(K)	BUILDING METER CENTER REF. ELECT. DWGS
(L)	BUILDING FIRE SPRINKLER ROOM REF. MECH. DWGS

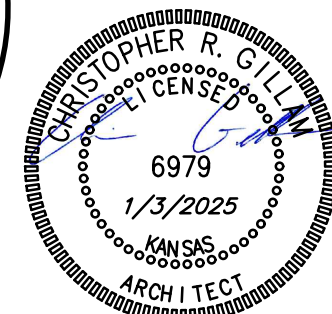
NOTE:
CONC. SLABS @ SITE AMENITIES SHALL BE 4"th. 3,500 PSI W/ 6x6–W1.2xW1.2 WWF. SLOPE ACROSS SLAB NO MORE THAN 2% (1/8" PER 12") OVER 4"th. GRANULAR FILL (MIN.) COMPACTED OVER SUBGRADE, PREP PER SOILS REPORT.



A SITE PLAN
1"=20'-0"

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THE RESIDENCE AT HERITAGE WEST
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