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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Residence at Heritage West New Development Andover, KS	Report No.	Nine (9)
OWNER:	OPG Heritage West Partners, LLC Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	October 17, 2025
CONTRACTOR:	MCP Build 3501 SW Fairlawn Rd., Suite 100 Topeka, KS 66614	Architect's Proj No.	24-3379
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

The roof drain/downspout scuppers, and overflow drains have been relocated along the parapet to avoid any downspout vertical leader lines from conflicting with the lower exterior wall overhangs. New dimensions have been added to the roof plan A5.1 showing those drain locations. Per notes on A5.1, all overflow drains shall be located a minimum of 2" above the main roof drain scuppers, along the parapet as shown. Prefer greater than 2" difference away.

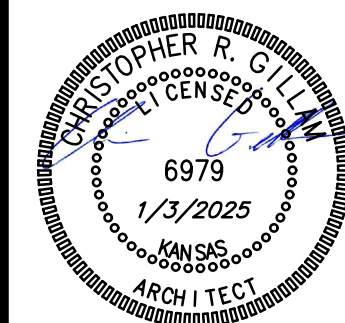
Attachments:

1. A5.1

Issued by:	Jones Gillam Renz Architects Chris Gillam, Project Manager	PO Box 2928, Salina, KS 67402 785-827-0386	cgillam@jgrarchitects.com
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REVISION:
ASI 9-10-17-2025

DATE: 1-3-2025
JOB: 24-3379
SHEET NO.:

ROOF GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
2. MANUFACTURER & INSTALLER SHALL BE RESPONSIBLE FOR TOTAL ROOF SYSTEM INCLUDING TRANSITIONS, FLASHINGS, ETC. TO MAINTAIN WATER TIGHT ROOF SYSTEM. SUBMIT MANUFACTURERS AND ROOFING SYSTEMS PER THE GENERAL CONDITIONS.
3. MANUFACTURER SHALL WARRANT TOTAL ROOF SYSTEM.
4. REF STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
5. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. VERIFY LOCATION WITH MECHANICAL & PLUMBING DRAWINGS.
6. RD - INDICATES ROOF DRAIN LOCATIONS.
7. CONTRACTOR SHALL TIE-IN AND COORDINATE WITH UNDERGROUND DRAINAGE PIPE, EACH DOWNSPOUT LOCATION. REFERENCE CIVIL DRAWINGS.
8. INSTALL FIREBLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
9. CAULK & SEAL WATERTIGHT ALL JOINTS & TRANSITIONS.
10. ALL METAL MATERIALS (I.E. VALLEYS, FLASHINGS, ETC...) SHALL BE .0217" THICK (26 GA) PREFINISHED GALVANIZED OR ALUM. ZINC ALLOY. ALL FASTENERS MUST BE COMPATIBLE WITH ASSOCIATED METALS/MATERIALS. METALS MUST BE INSTALLED PER SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL."
11. CONTRACTOR MUST COMPLY WITH ALL STATE & LOCAL CODES & REGULATIONS.
12. PROVIDE PERMANENT IDENTIFICATION ACCEPTABLE TO LOCAL AUTHORITIES AT ALL DRAFTSTOPS AND DRAFTSTOP ACCESS.
13. CONTRACTOR TO INSTALL ICE & WATER SHIELD @ ALL TRANSITIONS & METAL FLASHING. (IF APPLICABLE)
14. BUILDING EQUIPPED THROUGHOUT W/ AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE IN ACCORDANCE W/ 2012 IBC SECTION 903.3.1.2.
15. MAINTAIN A 36" CLEARANCE AROUND ALL MECH UNITS.

ALUMINUM TRELLIS NOTES

1. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO FABRICATION.
2. ALL ALUMINUM TO BE PREFINISHED.
3. F.O.S. = FACE OF STUD
4. F.O.B. = FACE OF BRICK

ATTIC DRAFTSTOPPING & VENTILATION

1. DRAFTSTOPPING IS PROVIDED IN THE ATTIC SPACE ACCORDING TO 2012 IBC SECTION 718.4. DRAFTSTOPPING AREA CALCULATIONS SHOWN ON ROOF PLAN, THIS SHEET. 13 AREAS TOTAL
2. CROSS VENTILATION PROVIDED, ROOF AND INSULATION DESIGN MEETS 2012 IBC SECTION 1203.2: ENCLOSED RAFTER ASSEMBLIES WITH 1" MINIMUM AIR SPACE.

LEGEND

1. INSTALL 60-MIL TPO ROOFING MEMBRANE OVER 1/2" COVER BOARD, XPS TAPERED RIGID INSUL., ROOF SHEATHING & ROOF TRUSSES (REF. STRUCT). PROVIDE TERMINATION BARS, FLASHING, SEALANT, & CAULKING. RUN ROOFING MEMBRANE UP BACKSIDE OF PARAPETS AND INSTALL PARAPET METAL FLASHING CAPS (COLOR TO BE DETERMINED). ENTIRE ROOF ASSEMBLY SHALL BE PROVIDED AND INSTALLED AS REQUIRED & RECOMMENDED BY MANUFACTURER FOR A 20-YEAR FULL COVERAGE WARRANTY.
2. 2-HR FIRE PARTITION TO UNDERSIDE OF DECK. (ELEVATOR SHAFT BELOW)
3. INSTALL GRAVITY VENTILATOR, SIM. TO GREENHECK GRS-16-QD, (MUST HAVE 1.45 SF OF NFA OR GREATER).
4. LOCATION OF ROOF HATCH & SAFETY RAIL PER SPEC. 2012 IBC SEC. 1009.16 STAIRWAY TO ROOF:

	INDICATES ROOFING MATERIAL
	INDICATES LOCATION OF A PREFIN. THRU-WALL SCUPPER & BOX W/ 4"x4" DOWNSPOUT. DOWNSPOUTS TO BE ROUTED UNDERGROUND TO NEARBY STORM DRAIN. REFERENCE CIVIL DWGS.
	INDICATES LOCATION OF A PREFIN. THRU-WALL OVERFLOW SCUPPER & BOX W/ LAMBS TONGUE. TO BE LOCATED MIN. 2" ABOVE LOW POINT ON ROOF.

LOWER ROOF - DRAFTSTOPPING & ATTIC VENTILATION

DRAFTSTOPPING IS NOT REQUIRED, PER IBC 2012 SECTION 718.4. AREA IS LESS THAN 3,000 SF.

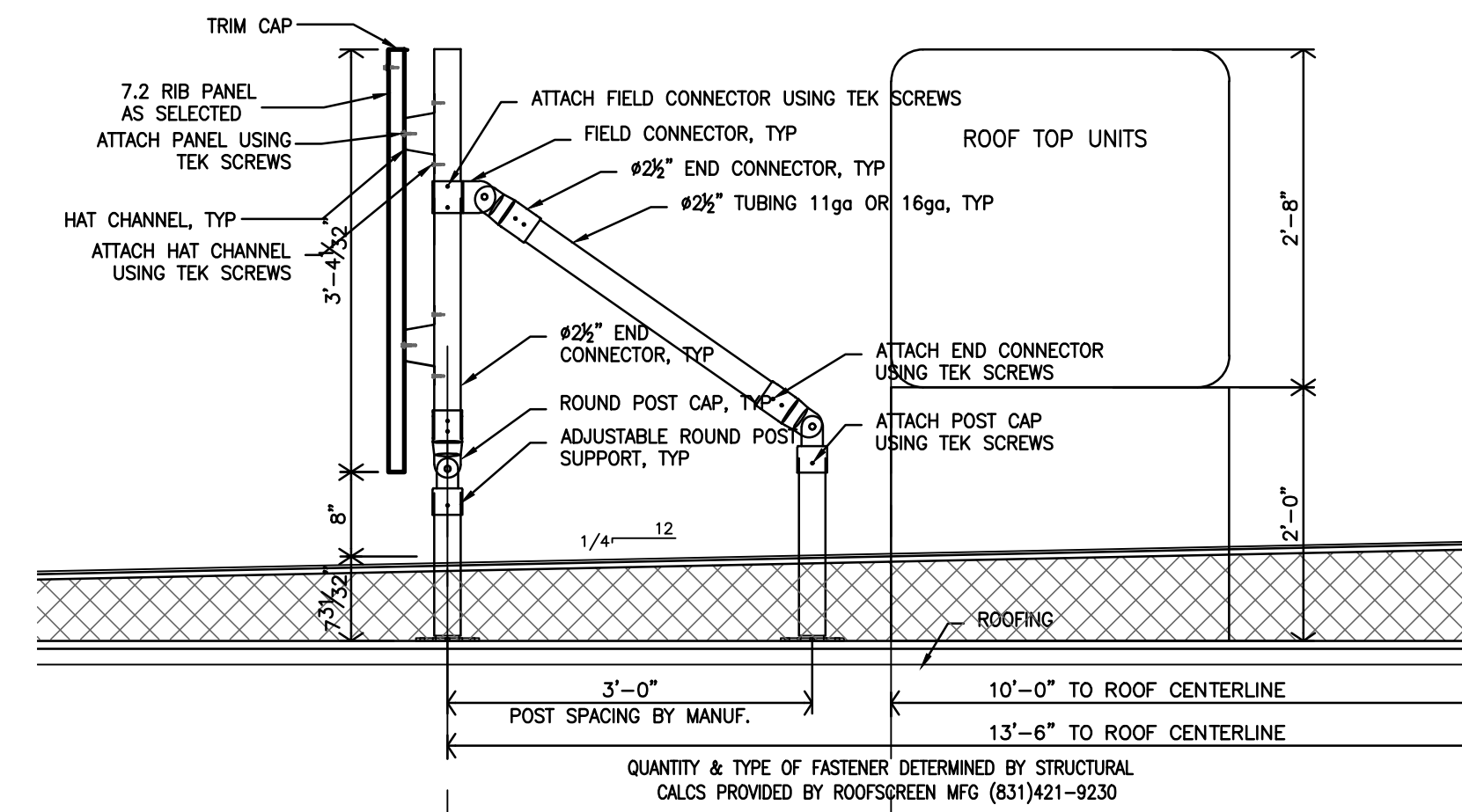
ATTIC VENTILATION PER IBC 2012, SECTION 1203.2 (EXCEPTION 2), 1/300 WITH ASTM 396 VAPOR BARRIER INSTALLED IN ROOF/CEILING ASSEMBLY.

AREA 13 (1,557 SF)
ATTIC AREA MUST PROVIDE (1,557/300 = 5.19sf NFA)
5.19sf OF NET FREE AREA @ ROOF SURFACE

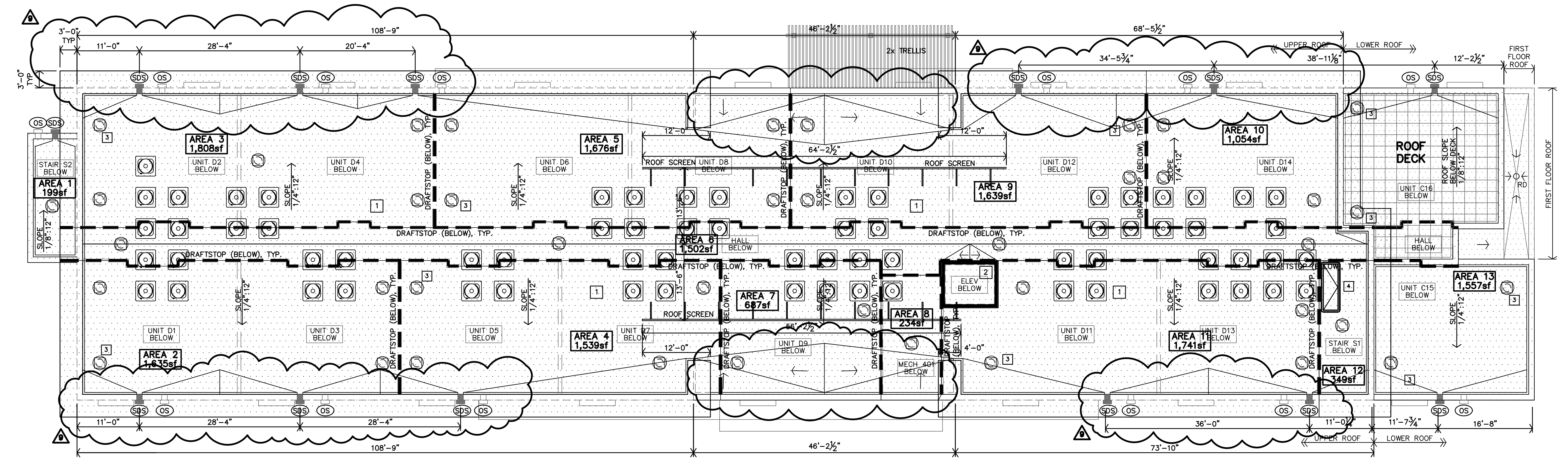
UPPER ROOF - DRAFTSTOPPING & ATTIC VENTILATION

DRAFTSTOPPING IS PROVIDED IN THE ATTIC SPACE ACCORDING TO 2012 IBC SECTIONS 708.4 & 718.4. DRAFTSTOPPING AREA CALCULATIONS SHOWN ON ROOF PLAN, THIS SHEET.

AREA 1 (198 SF) ATTIC AREA MUST PROVIDE (198/300 = 0.66sf NFA)	AREA 7 (687 SF) ATTIC AREA MUST PROVIDE (687/300 = 2.29sf NFA)
AREA 2 (1,635 SF) ATTIC AREA MUST PROVIDE (1,635/300 = 5.45sf NFA)	AREA 8 (234 SF) ATTIC AREA MUST PROVIDE (234/300 = 0.78sf NFA)
AREA 3 (1,808 SF) ATTIC AREA MUST PROVIDE (1,808/300 = 6.03sf NFA)	AREA 9 (1,639 SF) ATTIC AREA MUST PROVIDE (1,639/300 = 5.46sf NFA)
AREA 4 (1,539 SF) ATTIC AREA MUST PROVIDE (1,539/300 = 5.13sf NFA)	AREA 10 (1,054 SF) ATTIC AREA MUST PROVIDE (1,054/300 = 3.51sf NFA)
AREA 5 (1,676 SF) ATTIC AREA MUST PROVIDE (1,676/300 = 5.59sf NFA)	AREA 11 (1,741 SF) ATTIC AREA MUST PROVIDE (1,741/300 = 5.80sf NFA)
AREA 6 (1,502 SF) ATTIC AREA MUST PROVIDE (1,502/300 = 5.01sf NFA)	AREA 12 (1,676 SF) ATTIC AREA MUST PROVIDE (1,676/300 = 5.59sf NFA)



B ROOF SCREEN SECTION
3/4"=1'-0"



A ROOF PLAN
3/32"=1'-0"