MKEC CIVIL GENERAL NOTES:

OVERALL:

1. CONTRACT DOCUMENTS HEREIN REFER TO ENGINEER SEALED PLANS, PROJECT SPECIFICATIONS, AHJ STANDARD DETAILS AND SPECIFICATIONS, THE FINAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDA, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS. IN CASE OF CONFLICTING SPECIFICATIONS OR DETAILS, THE MORE RESTRICTIVE SPECIFICATION AND DETAIL MUST BE FOLLOWED.
2. ANY MENTION OF MUNICIPAL, COUNTY, STATE, OR OTHER GOVERNMENTAL ENTITIES SHALL BE CONSTRUED AS REFERRING TO THE AHJ PERTINENT TO THE SPECIFIC SCOPE OF THE PROJECT IN QUESTION.
3. ALL CONSTRUCTION AND MATERIALS MUST BE IN ACCORDANCE WITH CONTRACT DOCUMENTS. THE AHJ SPECIFICATIONS MUST GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST. IN CASE OF CONFLICTING SPECIFICATIONS OR DETAILS, THE MORE RESTRICTIVE SPECIFICATION AND DETAIL MUST BE FOLLOWED.
4. THE CONTRACTOR MUST FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE PROJECT AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE AHJ SPECIFICATIONS AND REQUIREMENTS.
5. THE CONTRACTOR IS EXPECTED TO VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR UNKNOWN EXISTING CONDITIONS THAT COULD BE DETERMINED FROM A SITE VISIT.
6. UNLESS OTHERWISE NOTED, THE EXISTING CONDITIONS SHOWN ON THESE PLANS WERE PROVIDED BY THE TOPOGRAPHIC SURVEY PREPARED BY THE PROJECT SURVEYOR, AND ARE BASED ON THE BENCHMARKS SHOWN. THE CONTRACTOR MUST REFERENCE THE SAME BENCHMARKS.
7. THE CONTRACTOR MUST REVIEW AND VERIFY THE EXISTING TOPOGRAPHIC SURVEY SHOWN ON THE PLANS REPRESENTS EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION, AND MUST REPORT ANY DISCREPANCIES FOUND TO THE OWNER AND ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
8. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHIC SURVEY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR MUST SUPPLY AT THEIR OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL LAND SURVEYOR TO THE OWNER AND ENGINEER FOR REVIEW.
9. CONTRACTOR MUST PROVIDE ALL CONSTRUCTION SURVEYING AND STAKING.
10. CONTRACTOR MUST VERIFY HORIZONTAL AND VERTICAL CONTROL, INCLUDING BENCHMARKS PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS. PROPERTY LINES AND CORNERS MUST BE HELD AS THE HORIZONTAL CONTROL.
11. THE CONTRACTOR MUST REVIEW AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION. ANY DISCREPANCIES ON THE DRAWINGS MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER, AND IF APPLICABLE THE AHJ AND OWNER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE AHJ, ENGINEER, AND OWNER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. CONTRACTOR MUST THOROUGHLY CHECK COORDINATION OF APPLICABLE DESIGN PLANS BETWEEN CIVIL, LANDSCAPE, MEP, STRUCTURAL, ARCHITECTURAL, AND ANY OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK TO HAVE THEM LOCATE THEIR EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR MUST PROVIDE AN ADEQUATE MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
14. CONTRACTOR MUST CALL 811 AN ADEQUATE AMOUNT OF TIME PRIOR TO COMMENCING CONSTRUCTION OR ANY EXCAVATION.
15. CONTRACTOR MUST USE EXTREME CAUTION AS THE SITE CONTAINS VARIOUS KNOWN AND UNKNOWN PUBLIC AND PRIVATE UTILITIES.
16. THE LOCATIONS, ELEVATIONS, DEPTH, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE UTILITY COMPANY MAPS AND PLANS, AND ARE CONSIDERED APPROXIMATE AND INCOMPLETE. IT MUST BE THE CONTRACTORS' RESPONSIBILITY TO VERIFY THE PRESENCE, LOCATION, ELEVATION, DEPTH, AND DIMENSION OF EXISTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE ENGINEER MUST BE NOTIFIED WHEN A PROPOSED IMPROVEMENT CONFLICTS WITH AN EXISTING UTILITY.
17. THE CONTRACTOR MUST BE FULLY RESPONSIBLE FOR ALL DAMAGES DUE TO THE CONTRACTORS' FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED MUST BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
18. THE CONTRACTOR MUST BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS, APPROVALS, AND BONDS PRIOR TO CONSTRUCTION.
19. THE CONTRACTOR MUST HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, GEOTECHNICAL REPORT AND ADDENDA, PROJECT AND AHJ SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
20. ALL SHOP DRAWINGS AND OTHER DOCUMENTS THAT REQUIRE ENGINEER REVIEW MUST BE SUBMITTED BY THE CONTRACTOR IN ADVANCE OF CONSTRUCTION OF THAT ITEM, SO THAT NO LESS THAN 10 BUSINESS DAYS FOR REVIEW AND RESPONSE IS AVAILABLE.
21. THE SCOPE OF WORK FOR THE CIVIL IMPROVEMENTS SHOWN ON THESE PLANS TERMINATES 5-FEET FROM THE BUILDING. IF APPLICABLE, REFERENCE THE BUILDING PLANS (E.G. ARCHITECTURAL, STRUCTURAL, MEP) FOR AREAS WITHIN 5-FEET OF THE BUILDING AND WITHIN THE BUILDING FOOTPRINT.
22. IF APPLICABLE, REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ALL FINAL BUILDING DIMENSIONS.
23. THE PROPOSED BUILDING FOOTPRINT(S) SHOWN IN THESE PLANS WERE PROVIDED TO MKEC BY THE PROJECT ARCHITECT AT THE TIME THESE PLANS WERE PREPARED. IT MAY NOT BE THE FINAL CORRECT VERSION BECAUSE THE BUILDING DESIGN WAS ONGOING. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING THE FINAL CORRECT VERSION OF THE BUILDING FOOTPRINT WITH THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO LAYOUT. DIMENSIONS AND/OR COORDINATES SHOWN ON THESE PLANS WERE BASED ON THE ABOVE STATED ARCHITECTURAL FOOTPRINT, AND ARE THEREFORE A PRELIMINARY LOCATION OF THE BUILDING. THE CONTRACTOR IS SOLELY RESPONSIBLE TO VERIFY WHAT PART OF THE BUILDING THE ARCHITECT'S FOOTPRINT REPRESENTS (E.G. SLAB, OUTSIDE WALL, MASONRY LEDGE, ETC.....) AND TO CONFIRM ITS FINAL POSITION ON THE SITE BASED ON THE FINAL ARCHITECTURAL FOOTPRINT, CIVIL DIMENSION CONTROL PLAN, SURVEY BOUNDARY AND/OR PLAT. ANY DIFFERENCES FOUND MUST BE REPORTED TO MKEC IMMEDIATELY.
24. ALL CONSTRUCTION MUST COMPLY WITH THE PROJECT'S FINAL GEOTECHNICAL REPORT (OR LATEST EDITION), INCLUDING SUBSEQUENT ADDENDA.
25. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS TESTING AND CERTIFICATION, UNLESS SPECIFIED OTHERWISE BY OWNER. ALL MATERIALS TESTING MUST BE COORDINATED WITH THE APPROPRIATE AHJ INSPECTOR AND COMPLY WITH AHJ STANDARD SPECIFICATIONS AND GEOTECHNICAL REPORT. TESTING MUST BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING MATERIALS. OWNER MUST APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR MATERIALS TESTING.
26. ALL COPIES OF MATERIALS TEST RESULTS MUST BE SENT TO THE OWNER AND ENGINEER DIRECTLY FROM THE TESTING AGENCY.
27. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO SHOW, BY THE STANDARD TESTING PROCEDURES OF THE MATERIALS, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND AHJ SPECIFICATIONS.
28. SITE SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. ENGINEER IS NOT AND SHALL NOT BE RESPONSIBLE FOR SITE SAFETY.
29. MKEC IS NOT RESPONSIBLE FOR ANY AND ALL MEANS AND METHODS OF CONSTRUCTION EMPLOYED BY THE CONTRACTOR TO IMPLEMENT THIS PROJECT.
30. TOP RIM ELEVATIONS OF ALL EXISTING AND PROPOSED MANHOLES MUST BE COORDINATED WITH TOP OF PAVEMENT OR FINISHED GRADE AND MUST BE ADJUSTED TO BE FLUSH WITH THE ACTUAL FINISHED GRADE AT THE TIME OF PAVING OR 0.4 FEET INCREASE WHEN PLACED IN LANDSCAPING.
31. CONTRACTOR MUST ADJUST ALL EXISTING AND PROPOSED VALVES, FIRE HYDRANTS, AND OTHER UTILITY APPURTENANCES TO MATCH ACTUAL FINISHED GRADES AT THE TIME OF PAVING.
32. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SEQUENCING AND PHASING, AND MUST CONTACT THE APPROPRIATE AHJ OFFICIALS, INCLUDING BUILDING OFFICIAL, ENGINEERING INSPECTOR, AND FIRE MARSHALL TO LEARN OF ANY REQUIREMENTS.
33. CONTRACTOR IS RESPONSIBLE FOR PREPARATION, SUBMITTAL, AND APPROVAL BY THE AHJ OF A TRAFFIC CONTROL PLAN PRIOR TO THE START OF CONSTRUCTION, AND THEN THE IMPLEMENTATION OF THE PLAN.
34. CONTRACTOR MUST KEEP LEGIBLE, ORGANIZED, AND AN ACCURATE RECORD OF CONSTRUCTION, INCLUDING ANY DEVIATIONS OR VARIANCES FROM THE PLANS.
35. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT PLANS TO THE ENGINEER, OWNER, AND AHJ IDENTIFYING ALL DEVIATIONS AND VARIATIONS FROM THESE PLANS MADE DURING CONSTRUCTION.
36. TRAFFIC CONTROL SIGNAGE (IF APPLICABLE) MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AHJ STANDARDS. THE CONTRACTOR MUST FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, WARNING SIGNS, LIGHTS AND FLAGMEN AS WARRANTED. COST MUST BE SUBSIDIARY TO THE PROJECT.
37. THE CONTRACTOR MUST ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES.
38. THE CONTRACTOR MUST BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS MUST BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
39. COST OF EXCAVATION, HAULING, AND DUMPING OF EXCESS EXCAVATION MUST BE SUBSIDIARY TO THE PROJECT.
40. THE CONTRACTOR MUST PAY ALL PERMIT & OTHER ASSOCIATED FEES REQUIRED BY LOCAL, STATE, & FEDERAL AGENCIES.
41. IF THERE IS A DISCREPANCY BETWEEN CIVIL PLANS AND PROJECT SPECIFICATIONS, THE PLANS MUST GOVERN.
42. CONTRACTOR MUST COORDINATE WITH THE AHJ REGARDING ANY WORK WITHIN PUBLIC RIGHT OF WAY AND OBTAIN PERMITS AS REQUIRED.

DEMOLITION:

1. THIS PRELIMINARY DEMOLITION PLAN SIMPLY INDICATES THE KNOWN OBJECTS ON THE SUBJECT TRACT THAT ARE TO BE DEMOLISHED AND REMOVED FROM THE SITE. MKEC DOES NOT WARRANT OR REPRESENT THAT THE PLAN, WHICH WAS PREPARED BASED ON AVAILABLE INFORMATION, SHOWS ALL IMPROVEMENTS AND UTILITIES, THAT THE IMPROVEMENTS AND UTILITIES ARE SHOWN ACCURATELY, OR THAT THE UTILITIES SHOWN CAN BE REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ITS OWN SITE RECONNAISSANCE TO SCOPE ITS WORK AND TO CONFIRM WITH THE OWNERS OF IMPROVEMENTS AND UTILITIES THE ABILITY AND PROCESS FOR THE REMOVAL OF THEIR FACILITIES.
2. THIS PLAN IS INTENDED TO GIVE A GENERAL GUIDE TO THE CONTRACTOR, NOTHING MORE. THE GOAL OF THE DEMOLITION IS TO LEAVE THE SITE IN A STATE SUITABLE FOR THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT. REMOVAL OR PRESERVATION OF IMPROVEMENTS, UTILITIES, ETC. TO ACCOMPLISH THIS GOAL ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. CONTRACTOR MUST REVIEW ALL APPLICABLE REPORTS, WHICH MAY INCLUDE BUT NOT LIMITED TO ENVIRONMENTAL SITE ASSESSMENT, ASBESTOS BUILDING INSPECTION, GEOTECHNICAL REPORT, AND OTHER APPLICABLE REPORTS THAT DESCRIBE SITE CONDITIONS PRIOR TO BIDDING AND IMPLEMENTING THE DEMOLITION WORK. ENGINEER IS NOT RESPONSIBLE FOR PROCURING, PROVIDING, OR THE ACCURACY OF SITE INVESTIGATIONS OR REPORTS.
4. CONTRACTOR MUST CONTACT THE OWNER TO VERIFY WHETHER ADDITIONAL REPORTS OR AMENDMENTS TO THE ABOVE CITED REPORTS HAVE BEEN PREPARED AND TO OBTAIN/REVIEW/AND COMPLY WITH THE RECOMMENDATION OF SUCH STUDIES PRIOR TO STARTING ANY WORK ON THE SITE.
5. CONTRACTOR MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING THE DEMOLITION OF OBJECTS ON THE SITE AND THE DISPOSAL OF THE DEMOLISHED MATERIALS OFF-SITE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO REVIEW THE SITE, DETERMINE THE APPLICABLE REGULATIONS, RECEIVE THE REQUIRED PERMITS AND AUTHORIZATIONS, AND COMPLY.
6. MKEC DOES NOT REPRESENT THAT THE REPORTS AND SURVEYS REFERENCED ABOVE ARE ACCURATE, COMPLETE, OR COMPREHENSIVE SHOWING ALL ITEMS THAT WILL NEED TO BE DEMOLISHED AND REMOVED.
7. SURFACE PAVEMENT INDICATED MAY OVERLAY OTHER HIDDEN STRUCTURES, SUCH AS ADDITIONAL LAYERS OF PAVEMENT, FOUNDATIONS OR WALLS, THAT ARE ALSO TO BE REMOVED.
8. CLEARED AND DEMOLISHED ITEMS, AS WELL AS, EXCESS MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND BE REMOVED FROM THE SITE WITH THE EXCEPTION OF STRIPPED TOPSOIL, SATISFACTORY EXCESS EXCAVATION AND OTHER MATERIALS INDICATED ON THE DRAWINGS TO BE STOCKPILED AND/OR OTHERWISE TO REMAIN ON THE OWNER'S PROPERTY.

GRADING:

1. THE CONTRACTOR AND GRADING SUBCONTRACTOR MUST VERIFY THE SUITABILITY OF EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE CIVIL ENGINEER MUST BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. CONTRACTOR MUST OBTAIN ANY AND ALL REQUIRED GRADING PERMITS FROM THE AHJ.
3. PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN CASE OF DISCREPANCY. UNLESS OTHERWISE NOTED, PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN:
    - 3.1. OUTSIDE THE PAVEMENT ARE TO TOP OF FINISHED GRADE.
    - 3.2. IN PAVED AREA REFLECT TOP OF PAVEMENT SURFACE.
    - 3.3. UNLESS OTHERWISE NOTED IN LOCATIONS ALONG A CURB LINE, ADD 6-INCHES (OR THE HEIGHT OF THE CURB) TO THE PAVING GRADE FOR TOP OF CURB ELEVATION.
4. THE CONTRACTOR MUST PROVIDE AN APPROPRIATE ELEVATION HOLD-DOWN ALLOWANCE FOR THE THICKNESS OF PAVEMENT, SIDEWALK, TOPSOIL, MULCH, STONE, LANDSCAPING, RIP-RAP AND ALL OTHER SURFACE MATERIALS THAT WILL CONTRIBUTE TO THE TOP OF FINISHED GRADE.
5. ANY EARTHWORK QUANTITIES OR SITE BALANCING SHOWN BY THESE PLANS ARE FOR REFERENCE ONLY. THE CONTRACTOR MUST PROVIDE THEIR OWN EARTHWORK CALCULATION TO DETERMINE THEIR CONTRACT QUANTITIES AND COST. ANY SIGNIFICANT VARIANCE FROM A BALANCED SITE MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER.
6. ALL EXCAVATION IS UNCLASSIFIED AND MUST INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING MUST BE REMOVED FROM THE SITE AND APPROPRIATELY DISPOSED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE.
7. EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF GRADING. REFERENCE EROSION CONTROL PLAN, DETAILS, GENERAL NOTES, AND SWPPP FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
8. BEFORE ANY EARTHWORK IS PERFORMED, THE CONTRACTOR MUST STAKE OUT AND MARK THE LIMITS OF THE PROJECT'S PROPERTY LINE AND SITE IMPROVEMENTS. THE CONTRACTOR MUST PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
9. UNLESS OTHERWISE NOTED, CONTRACTOR TO REMOVE ALL EXCESS EXCAVATION MATERIALS FROM THE PROJECT SITE AND DISPOSE OF IN A MANNER THAT ADHERES TO LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. THE CONTRACTOR MUST KEEP A RECORD OF WHERE EXCESS EXCAVATION WAS DISPOSED, ALONG WITH THE RECEIVING LANDOWNER'S APPROVAL TO DO SO.
10. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF TOPSOIL AT THE COMPLETION OF FINE GRADING. CONTRACTOR MUST REFER TO LANDSCAPE ARCHITECTURE PLANS FOR SPECIFICATIONS AND REQUIREMENTS FOR TOPSOIL.
11. CONTRACTOR MUST MAINTAIN SUITABLE SITE DRAINAGE PRIOR TO, DURING, AND AFTER CONSTRUCTION, INCLUDING MAINTAINING EXISTING DITCHES OR CULVERTS FREE OF OBSTRUCTIONS AT ALL TIMES.
12. NO EARTHWORK FILL MUST BE PLACED IN ANY EXISTING DRAINAGE WAY, SWALE, CHANNEL, DITCH, CREEK, OR FLOODPLAIN FOR ANY REASON OR ANY LENGTH OF TIME, UNLESS INDICATED SPECIFICALLY BY THE PLANS.
13. TEMPORARY CULVERTS MAY BE REQUIRED IN SOME LOCATIONS TO CONVEY RUN-OFF.
14. REFER TO DIMENSION CONTROL PLAN, AND PLAT FOR HORIZONTAL DIMENSIONS.
15. THE CONTRACTOR MUST CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND CONDITION FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
16. THE SCOPE OF WORK FOR CIVIL IMPROVEMENT SHOWN ON THESE PLANS TERMINATES 5-FEET FROM THE BUILDING. CONTRACTOR MUST REFER TO THE GEOTECHNICAL REPORT AND STRUCTURAL PLANS AND SPECIFICATIONS FOR FILL MATERIAL, CONDITIONING, AND PREPARATION IN THE BUILDING PAD.
17. CONTRACTOR MUST ENSURE THAT SUFFICIENT POSITIVE SLOPE AWAY FROM THE BUILDING PAD IS ACHIEVED FOR ENTIRE PERIMETER OF THE PROPOSED BUILDING(S) DURING GRADING OPERATIONS AND IN THE FINAL CONDITION. IF THE CONTRACTOR OBSERVES THAT THIS WILL NOT BE ACHIEVED, THE CONTRACTOR MUST CONTACT THE ENGINEER TO REVIEW THE LOCATION.
18. THE CONTRACTOR MUST TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR MUST CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE AHJ, AT NO ADDITIONAL COST TO THE OWNER.
19. CONTRACTOR MUST COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS NEEDED FOR GRADING OPERATIONS AND TO ACCOMMODATE PROPOSED GRADE, INCLUDING THE UNKNOWN UTILITIES NOT SHOWN ON THESE PLANS. CONTRACTOR MUST REFER TO THE MKEC CIVIL GENERAL NOTES “OVERALL” SECTION OF THESE PLANS FOR ADDITIONAL INFORMATION.
20. EXISTING TREE LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR MUST REPORT ANY DISCREPANCIES FOUND IN THE FIELD THAT AFFECT THE GRADING PLAN TO THE CIVIL ENGINEER.
21. CONTRACTOR MUST FIELD VERIFY ALL PROTECTED TREE LOCATIONS, INDIVIDUAL PROTECTED TREE CRITICAL ROOT ZONES, AND PROPOSED SITE GRADING, AND NOTIFY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH THE TREE PRESERVATION PLAN BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING THE WORK.
22. TREE PROTECTION MEASURES MUST BE INSTALLED IN ACCORDANCE WITH THE AHJ STANDARD TREE PROTECTION DETAILS AND THE APPROVED TREE PRESERVATION PLANS BY THE LANDSCAPE ARCHITECT.
23. CONTRACTOR MUST REFER TO THE LANDSCAPING AND TREE PRESERVATIONS PLANS FOR ALL INFORMATION AND DETAILS REGARDING EXISTING TREES TO BE REMOVED AND PRESERVED.
24. NO TREE MUST BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE OWNER OR OWNER'S REPRESENTATIVE. EXISTING TREES MUST BE PRESERVED WHENEVER POSSIBLE AND GRADING IMPACT TO THEM HELD TO A MINIMUM. ADDITIONALLY, NO TREE MUST BE REMOVED UNLESS A TREE REMOVAL PERMIT HAS BEEN ISSUED BY THE AHJ, OR AHJ HAS OTHERWISE CONFIRMED IN WRITING THAT ONE IS NOT NEEDED FOR THE TREE(S).
25. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR MUST TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING AND INADEQUATE SLOPE FOR DRAINAGE. ALL AREAS MUST ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORMWATER RUNOFF. CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY AREAS OF POOR DRAINAGE ARE DISCOVERED.
26. PROPOSED GRADING FIELD ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE CIVIL ENGINEER PRIOR TO CONSTRUCTION.

PAVING:

1. ALL PAVING MATERIALS AND CONSTRUCTION MUST BE IN ACCORDANCE WITH THESE PLANS, THE AHJ STANDARD DETAILS AND SPECIFICATIONS, THE FINAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDA, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS. THE AHJ SPECIFICATIONS MUST GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST. IN CASE OF CONFLICTING SPECIFICATIONS OR DETAILS, THE MORE RESTRICTIVE SPECIFICATION/DETAIL MUST BE FOLLOWED.
2. ALL PRIVATE ON-SITE PAVING AND PAVING SUBGRADE MUST COMPLY WITH THE PROJECT'S FINAL GEOTECHNICAL REPORT, INCLUDING ALL ADDENDA.
3. ALL FIRELANE PAVING AND PAVING SUBGRADE MUST COMPLY WITH AHJ STANDARDS AND DETAILS. IF THESE ARE DIFFERENT THAN THOSE IN THE GEOTECHNICAL REPORT, THEN THE MORE RESTRICTIVE MUST BE FOLLOWED.
4. ALL PUBLIC PAVING AND PAVING SUBGRADE MUST COMPLY WITH AHJ STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR ALL PAVING AND PAVING SUBGRADE TESTING AND CERTIFICATION, UNLESS SPECIFIED OTHERWISE BY OWNER. ALL PAVING AND PAVING SUBGRADE TESTING MUST BE COORDINATED WITH THE APPROPRIATE AHJ INSPECTOR. TESTING MUST BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING PAVING AND SUBGRADE. OWNER MUST APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR PAVING AND PAVING SUBGRADE TESTING.
6. IT MUST BE THE CONTRACTORS RESPONSIBILITY TO SHOW, BY THE STANDARD TESTING PROCEDURES OF THE PAVING AND PAVING SUBGRADE, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND AHJ SPECIFICATIONS.
7. DUE TO THE POTENTIAL FOR DIFFERENTIAL SOIL MOVEMENT ADJACENT TO THE BUILDING, THE CONTRACTOR MUST ADHERE TO GEOTECHNICAL REPORT'S RECOMMENDATION FOR SUBGRADE PREPARATION SPECIFIC TO FLATWORK ADJACENT TO THE PROPOSED BUILDING. THE OWNER AND CONTRACTOR ARE ADVISED TO OBTAIN A GEOTECHNICAL ENGINEER RECOMMENDATION SPECIFIC TO FLATWORK ADJACENT TO THE BUILDING, IF NONE IS CURRENTLY EXISTING.
8. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY MUST BE CONSTRUCTED BASED ON THE AHJ STANDARD CONSTRUCTION DETAIL AND SPECIFICATIONS.
9. PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) MUST CONFORM TO ADA AND AHJ STANDARDS.
10. ALL ACCESSIBLE RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS MUST CONFORM TO ADA AND AHJ STANDARDS, LATEST EDITION.
11. CONTRACTOR MUST CONSTRUCT PROPOSED PAVEMENT TO MATCH EXISTING PAVEMENT WITH A SMOOTH, FLUSH, CONNECTION.
12. CONTRACTOR MUST FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING AS SHOWN ON THE PLANS. ALL PAINT AND PAVEMENT MARKINGS MUST ADHERE TO AHJ AND OWNER STANDARDS.
13. REFER TO GEOTECHNICAL REPORT FOR PAVING JOINT LAYOUT PLAN REQUIREMENTS FOR PRIVATE PAVEMENT.
14. REFER TO AHJ STANDARD DETAILS AND SPECIFICATIONS FOR JOINT LAYOUT PLAN REQUIREMENTS FOR PUBLIC PAVEMENT.
15. ALL REINFORCING STEEL MUST CONFORM TO THE GEOTECHNICAL REPORT, AHJ STANDARDS, AND ASTM A-615, GRADE 60, AND MUST BE SUPPORTED BY BAR CHAIRS. CONTRACTOR MUST USE THE MORE STRINGENT OF THE AHJ, GEOTECHNICAL STANDARDS, AND PAVING DETAILS.
16. ALL JOINTS MUST EXTEND THROUGH THE CURB.
17. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS MUST BE 2 FEET.
18. CONTRACTOR MUST SUBMIT A JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO BEGINNING ANY OF THE PAVING WORK.
19. ALL SAWCUTS MUST BE FULL DEPTH FOR PAVEMENT REMOVAL AND CONNECTION TO EXISTING PAVEMENT.
20. FIRE LANES MUST BE MARKED AND LABELED AS A FIRELANE PER AHJ STANDARDS.
21. UNLESS THE PLANS SPECIFICALLY DICTATE TO THE CONTRARY, ON-SITE AND OTHER DIRECTIONAL SIGNS MUST BE ORIENTED SO THEY ARE READILY VISIBLE TO THE ONCOMING TRAFFIC FOR WHICH THEY ARE INTENDED.
22. CONTRACTOR IS RESPONSIBLE FOR INSTALLING NECESSARY CONDUIT FOR LIGHTING, IRRIGATION, ETC. PRIOR TO PLACEMENT OF PAVEMENT. ALL PROJECT CONSTRUCTION DOCUMENTS (I.E. CIVIL, MEP, LANDSCAPE, IRRIGATION, AND ARCHITECTURAL) MUST BE CONSULTED. BEFORE PLACING PAVEMENT, CONTRACTOR MUST VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA, AHJ, AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES.
23. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE MUST LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
24. CONTRACTOR MUST TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR MUST CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

SIDEWALK:

1. CONCRETE: SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGN TO ENGINEER FOR APPROVAL, PRIOR TO CONSTRUCTION.
2. CONCRETE: SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PRACTICE."
3. PORTLAND CEMENT: SHALL CONFORM TO ASTM-C-150, TYPE I OR III.
4. AGGREGATE: FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33.
5. REINFORCING: SHALL MEET ASTM A615 OR GR60.
6. COMPACTED FILL: CONTRACTOR SHALL COMPACT FILL TO 95% DENSITY(ASTM D698).
7. EXPANSION JOINTS MAXIMUM DISTANCE = 50'-0", USE 1" X 4" PREMOLDED EXPANSION JOINT MATERIAL.
8. SIDEWALK EXPANSION JOINT FILLER SHALL BE GREY, SELF-LEVELING POLYURETHANE SEALANT.
9. THE MAXIMUM PERMISSIBLE SLOPES OF THE WHEELCHAIR RAMPS ARE 12:1.
10. SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A MEDIUM BROOMING TRANSVERSE TO THE SLOPES OF THE RAMP.
11. CONCRETE SIDEWALK JOINTS SHALL BE 5'X5'(OR 6') IN GENERAL, WITH 6.25' MAXIMUM SPACING HAVING A WIDTH TO LENGTH RATIO OF 1:1.25.

UTILITIES:

1. EXISTING UTILITIES ARE SHOWN FROM BOTH FIELD SURVEY AND RECORD INFORMATION. THE CONTRACTOR MUST FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING STORM SEWER FACILITIES THAT ARE TO BE CONNECTED TO, PRIOR TO START OF CONSTRUCTION OF ANY STORM SEWER, AND MUST NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED.
2. PAVEMENT REMOVAL MAY BE REQUIRED TO ACCOMMODATE UTILITY SERVICE INSTALLATION. PAVEMENT TO BE SAWCUT ITS ENTIRE DEPTH PRIOR TO REMOVAL. PAVEMENT AND ANY SUBGRADE REMOVAL MUST BE REPLACED IN KIND SO AS TO MATCH EXISTING INSTALLATION.
3. IN THE CASE OF CONCRETE PAVEMENT REMOVAL. IF REMOVAL IS WITHIN 3' OF AN EXISTING JOINT, THEN PAVEMENT MUST BE REMOVED TO THE NEAREST JOINT. MATCH JOINT PATTERN OF EXISTING PAVEMENT. JOINTS MUST BE SEALED.
4. INSTALLATION, BEDDING, & TESTING OF UTILITY INSTALLATIONS MUST BE AS PER THE AHJ SPECIFICATIONS AND STANDARD DETAILS.
5. UTILITY PIPE LENGTHS ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR TO VERIFY ACTUAL LENGTHS OF PIPE REQUIRED PRIOR TO INSTALLING UTILITY PIPE LINES.
6. UTILITY CONTRACTOR TO COORDINATE BUILDING CONNECTION POINTS WITH PLUMBING PLANS AND BUILDING CONTRACTOR.
7. UNLESS OTHERWISE NOTED IN THE PROJECT SPECIFICATIONS PIPE MATERIALS MUST BE AS FOLLOWS:

WATERLINE	
2-1/2" OR SMALLER	-ASTM D2241 SDR 26
4" OR LARGER	-C900 OR C905 PVC
SANITARY SEWER	
6" OR SMALLER	-ASTM D3034 SCHEDULE 40 PVC
STORM SEWER, RAIN LEADERS AND UNDERDRAINS	
6" OR SMALLER	-ASTM D3034 SCHEDULE 40 PVC
8" TO 15"	-ASTM D3034 SDR-35 PVC
18" OR LARGER	-ASTM F2306 AND AASHTO M294 HDPE
	-CLASS III RCP

8. ALL WATER AND WASTEWATER SERVICES MUST TERMINATE 5-FEET OUTSIDE THE BUILDING, UNLESS NOTED OTHERWISE.
9. CONTRACTOR MUST COMPLY WITH AHJ REQUIREMENTS FOR WATER AND WASTEWATER SERVICE DISRUPTIONS AND THE AMOUNT OF PRIOR NOTICE THAT IS REQUIRED, AND MUST COORDINATE DIRECTLY WITH THE APPROPRIATE AHJ DEPARTMENT.
10. CONTRACTOR MUST SEQUENCE WATER AND WASTEWATER CONSTRUCTION TO AVOID INTERRUPTION OF SERVICE TO SURROUNDING PROPERTIES.
11. CONTRACTOR MUST MAINTAIN WATER SERVICE AND WASTEWATER SERVICE TO ALL CUSTOMERS THROUGHOUT CONSTRUCTION (IF NECESSARY, BY USE OF TEMPORARY METHODS APPROVED BY THE AND OWNER). THIS WORK MUST BE CONSIDERED SUBSIDIARY TO THE PROJECT AND NO ADDITIONAL COMPENSATION MUST BE ALLOWED.
12. THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL WATER AND WASTEWATER LINES CROSSING THE PROJECT. THE CONTRACTOR MUST REPAIR ALL DAMAGED LINES IMMEDIATELY. ALL REPAIRS OF EXISTING WATER MAINS, WATER SERVICES, SEWER MAINS, AND SANITARY SEWER SERVICES ARE SUBSIDIARY TO THE WORK, AND NO ADDITIONAL COMPENSATION MUST BE ALLOWED.
13. VALVE ADJUSTMENTS MUST BE CONSTRUCTED SUCH THAT THE COVERS ARE AT FINISHED SURFACE GRADE OF THE PROPOSED PAVEMENT.
14. THE ENDS OF ALL EXISTING WATER MAINS THAT ARE CUT, BUT NOT REMOVED, MUST BE PLUGGED AND ABANDONED IN PLACE. THIS WORK MUST BE CONSIDERED AS A SUBSIDIARY COST TO THE PROJECT AND NO ADDITIONAL COMPENSATION MUST BE ALLOWED.
15. ALL FIRE HYDRANTS, VALVES, TEES, BENDS, WYES, REDUCERS, FITTINGS, AND ENDS MUST BE MECHANICALLY RESTRAINED AND/OR THRUST BLOCKED TO AHJ STANDARDS.
16. CONTRACTOR MUST INSTALL A FULL SEGMENT OF WATER OR WASTEWATER PIPE CENTERED AT ALL UTILITY CROSSINGS SO THAT THE JOINTS ARE GREATER THAN 10-FEET FROM THE CROSSING. WASTEWATER FULL SEGMENT MUST BE CAST IRON OR PIPE ENCASED IN CONCRETE.
17. ALL CROSSING AND LOCATIONS WHERE WATER IS LESS THAN 2-FEET FROM WASTEWATER, WASTEWATER CONSTRUCTION AND MATERIALS MUST COMPLY WITH KDHE MINIMUM STANDARDS OF DESIGN; CHAPTER VI SANITARY SEWER DESIGN.
18. ALL WATER AND WASTEWATER MUST BE TESTED IN ACCORDANCE WITH THE AHJ, AWWA, AND KDHE STANDARDS AND SPECIFICATIONS. AT A MINIMUM, THIS MUST CONSIST OF THE FOLLOWING:
    - 18.1. ALL WATERLINES MUST BE HYDROSTATICALLY TESTED AND CHLORINATED BEFORE BEING PLACED INTO SERVICE. CONTRACTOR MUST COORDINATE WITH THE AHJ FOR THEIR REQUIRED PROCEDURES AND MUST ALSO COMPLY WITH KDHE REGULATIONS.
    - 18.2. WASTEWATER LINES AND MANHOLES MUST BE PRESSURE TESTED. CONTRACTOR MUST COORDINATE WITH THE AHJ FOR THEIR REQUIRED PROCEDURES AND MUST ALSO COMPLY WITH KDHE REGULATIONS. AFTER COMPLETION OF THESE TESTS, A TELEVISION INSPECTION MUST BE PERFORMED AND PROVIDED TO THE AHJ AND OWNER ON A DVD.
19. CONTRACTOR MUST INSTALL DETECTABLE WIRING OR MARKING TAPE A MINIMUM OF 12” ABOVE WATER AND WASTEWATER LINES. MARKER DECALS MUST BE LABELED “CAUTION - WATER LINE”, OR “CAUTION - SEWER LINE”. DETECTABLE WIRING AND MARKING TAPE MUST COMPLY WITH AHJ STANDARDS, AND MUST BE INCLUDED IN THE COST OF THE WATER AND WASTEWATER PIPE.
20. DUCTILE IRON PIPE MUST BE PROTECTED FROM CORROSION BY A LOW-DENSITY POLYETHYLENE LINER WRAP THAT IS AT LEAST A SINGLE LAYER OF 8-MIL. ALL DUCTILE IRON JOINTS MUST BE BONDED.
21. WATERLINES MUST BE INSTALLED AT NO LESS THAN THE MINIMUM COVER REQUIRED BY THE AHJ. IN CASE OF CONFLICTING REQUIREMENTS, THE MORE RESTRICTIVE MUST BE FOLLOWED.
22. CONTRACTOR MUST PROVIDE CLEAN-OUTS FOR PRIVATE SANITARY SEWER LINES AT ALL CHANGES IN DIRECTION AND 100-FOOT INTERVALS, OR AS REQUIRED BY THE APPLICABLE PLUMBING CODE. CLEAN-OUTS REQUIRED IN PAVEMENT OR SIDEWALKS MUST HAVE CAST IRON COVERS FLUSH WITH FINISHED GRADE.
23. CONTRACTOR MUST PROVIDE BACKWATER VALVES FOR PLUMBING FIXTURES AS REQUIRED BY THE APPLICABLE PLUMBING CODE (E.G. FLOOR ELEVATION OF FIXTURE UNIT IS BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER). CONTRACTOR MUST REVIEW BOTH MEP AND CIVIL PLANS TO CONFIRM WHERE THESE ARE REQUIRED.
24. STORM SEWER PIPE LENGTHS ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
25. ALL WATER, WASTEWATER, AND STORM SEWER MATERIALS AND CONSTRUCTION MUST COMPLY WITH AHJ STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
26. THE SITE UTILITY CONTRACTOR MUST PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
27. FLOW LINE, TOP-OF-CURB, RIM, THROAT, AND GRATE ELEVATIONS OF PROPOSED INLETS MUST BE VERIFIED WITH THE GRADING PLAN AND FIELD CONDITIONS PRIOR TO THEIR INSTALLATION.
28. ALL PRIVATE WATER, WASTEWATER, AND STORM SEWER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS MUST ADHERE TO THE APPLICABLE PLUMBING CODE. CONTRACTOR MUST ARRANGE FOR REQUIRED AHJ INSPECTIONS.
29. ALL PVC TO RCP CONNECTIONS AND ALL STORM PIPE CONNECTIONS ENTERING STRUCTURES OR OTHER STORM PIPES MUST HAVE A CONCRETE COLLAR AND BE GROUTED TO ASSURE THE CONNECTION IS WATERTIGHT.
30. ALL PUBLIC STORM SEWER LINES MUST BE MINIMUM CLASS III RCP. PRIVATE STORM SEWER LINES 18-INCHES AND GREATER MUST BE CLASS III RCP OR OTHER APPROVED MATERIAL. WHERE COVER EXCEEDS 20-FEET OR IS LESS THAN 2-FEET, CLASS IV RCP MUST BE USED.
31. IF CONTRACTOR PROPOSES TO USE HDPE OR PVC IN LIEU OF RCP FOR PRIVATE STORM SEWER, CONTRACTOR MUST SUBMIT TECHNICAL DATA TO THE OWNER, ENGINEER AND AHJ ENGINEER/INSPECTOR FOR APPROVAL PRIOR TO ORDERING THE MATERIAL. ANY PROPOSED HDPE AND PVC MUST BE WATERTIGHT.
32. THE CONTRACTOR MUST PROVIDE CONSTRUCTION SURVEYING FOR ALL WATER, WASTEWATER, AND STORM SEWER LINES.
33. EMBEDMENT FOR ALL WATER, WASTEWATER, AND STORM SEWER LINES, PUBLIC OR PRIVATE, MUST BE PER AHJ STANDARD DETAILS.
34. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND SUBMITTING A TRENCH SAFETY PLAN, PREPARED BY A PROFESSIONAL ENGINEER IN THE PROJECT STATE, TO THE AHJ PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH AHJ, STATE, AND FEDERAL REQUIREMENTS, INCLUDING OSHA FOR ALL TRENCHES. NO OPEN TRENCHES MUST BE ALLOWED OVERNIGHT WITHOUT PRIOR WRITTEN APPROVAL OF THE AHJ.
35. THE CONTRACTOR MUST KEEP TRENCHES FREE FROM WATER.
36. CONTRACTOR MUST COMPLY WITH ALL KDHE AND EPA STORM WATER POLLUTION PREVENTION REQUIREMENTS.
37. THE NOI NEEDS TO BE SENT TO KDHE AT LEAST 60 DAYS BEFORE STARTING CONSTRUCTION. CONSTRUCTION SITE SOIL DISTURBING ACTIVITIES MAY COMMENCE ONLY WHEN THE OWNER OR OPERATOR RECEIVES AN AUTHORIZATION FOR THE CONSTRUCTION ACTIVITY FROM KDHE BUREAU OF WATER. ALL PRIMARY OPERATORS MUST PROVIDE A COPY OF THE AUTHORIZED NOI TO THE OPERATOR OF ANY MS4 (TYPICALLY THE AHJ) RECEIVING DISCHARGE FROM THE SITE.
38. CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE SWPPP IF APPLICABLE, INCLUDING POSTING SITE NOTICE, INSPECTIONS, DOCUMENTATION, AND SUBMISSION OF ANY INFORMATION REQUIRED BY THE KDHE AND EPA (E.G. NOI).
39. ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP MUST SIGN THE REQUIRED CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
40. A COPY OF THE SWPPP, INCLUDING NOI, SITE NOTICE, CONTRACTOR CERTIFICATIONS, AND ANY REVISIONS, MUST BE SUBMITTED TO THE AHJ AND THE CONTRACTOR MUST BE RETAINED ON-SITE DURING CONSTRUCTION.
41. A NOTICE OF TERMINATION (NOT) MUST BE SUBMITTED TO KDHE BY ANY PRIMARY OPERATOR WITHIN 30 DAYS AFTER ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND A UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY STRUCTURES, A TRANSFER OF OPERATIONAL CONTROL HAS OCCURRED, OR THE OPERATOR HAS OBTAINED ALTERNATIVE AUTHORIZATION UNDER A DIFFERENT PERMIT. A COPY OF THE NOT MUST BE PROVIDED TO THE OPERATOR OF ANY MS4 RECEIVING DISCHARGE FROM THE SITE.

EROSION CONTROL/SEEDING:

1. THE CONTRACTOR MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL AND WATER QUALITY REQUIREMENTS, LAWS, AND ORDINANCES THAT APPLY TO THE CONSTRUCTION SITE LAND DISTURBANCE.
2. CONTRACTOR MUST COMPLY WITH THE REQUIREMENTS OF THE KDHE NPDES CONSTRUCTION STORMWATER GENERAL PERMIT NO. S-MCST-2208-1.
3. EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT MUST BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE.
4. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.
5. CONTRACTOR IS SOLELY RESPONSIBLE FOR INSTALLATION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL EROSION CONTROL DEVICES, BMP, AND FOR UPDATING THE EROSION CONTROL PLAN DURING CONSTRUCTION AS FIELD CONDITIONS CHANGE.
6. CONTRACTOR MUST DOCUMENT THE DATES OF INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL FOR EACH BMP EMPLOYED IN THE SWPPP IF APPLICABLE.
7. AS STORM SEWER INLETS ARE INSTALLED ON-SITE, TEMPORARY EROSION CONTROL DEVICES MUST BE INSTALLED AT EACH INLET PER APPROVED DETAILS.
8. THE EROSION CONTROL DEVICES MUST REMAIN IN PLACE UNTIL THE AREA IT PROTECTS HAS BEEN PERMANENTLY STABILIZED.
9. CONTRACTOR MUST PROVIDE ADEQUATE EROSION CONTROL DEVICES NEEDED DUE TO PROJECT PHASING.
10. CONTRACTOR MUST OBSERVE THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND MAKE FIELD ADJUSTMENTS AND MODIFICATIONS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. IF THE EROSION CONTROL DEVICES DO NOT EFFECTIVELY CONTROL EROSION AND PREVENT SEDIMENTATION FROM WASHING OFF THE SITE, THEN THE CONTRACTOR MUST NOTIFY THE ENGINEER.
11. OFF-SITE SOIL BORROW, SPOIL, AND STORAGE AREAS (IF APPLICABLE) ARE CONSIDERED AS PART OF THE PROJECT SITE AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THIS PROJECT. THIS INCLUDES THE INSTALLATION OF BMP'S TO CONTROL EROSION AND SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON DISTURBED AREAS PRIOR TO FINAL APPROVAL OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP AND EROSION CONTROL PLAN TO INCLUDE BMPS FOR ANY OFF-SITE THAT ARE NOT ANTICIPATED OR SHOWN ON THE EROSION CONTROL PLAN.
12. ALL STAGING, STOCKPILES, SPOIL, AND STORAGE MUST BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. PROTECTIVE MEASURES MUST BE PROVIDED IF NEEDED TO ACCOMPLISH THIS REQUIREMENT, SUCH AS COVERING OR ENCIRCLING THE AREA WITH AN APPROPRIATE BARRIER.
13. CONTRACTORS MUST INSPECT ALL EROSION CONTROL DEVICES, BMPS, DISTURBED AREAS, AND VEHICLE ENTRY AND EXIT AREAS WEEKLY AND WITHIN 24 HOURS OF ALL RAINFALL EVENTS OF 0.5 INCHES OR GREATER, AND KEEP A RECORD OF THIS INSPECTION IN THE SWPPP BOOKLET IF APPLICABLE, TO VERIFY THAT THE DEVICES AND EROSION CONTROL PLAN ARE FUNCTIONING PROPERLY.
14. CONTRACTOR MUST CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS IN ACCORDANCE WITH AHJ SPECIFICATIONS. CONTRACTOR MUST ENSURE THAT ALL CONSTRUCTION TRAFFIC USES THE STABILIZED ENTRANCE AT ALL TIMES FOR ALL INGRESS/EGRESS.
15. SITE ENTRY AND EXITS MUST BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING AND FLOWING OF SEDIMENT AND DIRT ONTO OFF-SITE ROADWAYS. ALL SEDIMENT AND SOIL FROM THE SITE THAT IS DEPOSITED ONTO AN OFF-SITE ROADWAY MUST BE REMOVED IMMEDIATELY.
16. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS FROM THE AFFECTED OFF-SITE ROADWAYS THAT ARE A RESULT OF THE CONSTRUCTION, AS REQUESTED BY OWNER AND AHJ. AT A MINIMUM, THIS SHOULD OCCUR ONCE PER DAY FOR THE OFF-SITE ROADWAYS.
17. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, IT MUST BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP BMP.
18. CONTRACTOR MUST INSTALL A TEMPORARY SEDIMENT BASIN FOR ANY ON-SITE DRAINAGE AREAS THAT ARE GREATER THAN 10 ACRES, PER KDHE AND AHJ STANDARDS. IF NO ENGINEERING DESIGN HAS BEEN PROVIDED FOR A SEDIMENTATION BASIN ON THESE PLANS, THEN THE CONTRACTOR MUST ARRANGE FOR AN APPROPRIATE DESIGN TO BE PROVIDED.
19. ALL FINES IMPOSED FOR SEDIMENT OR DIRT DISCHARGED FROM THE SITE MUST BE PAID BY THE RESPONSIBLE CONTRACTOR.
20. WHEN SEDIMENT OR DIRT HAS CLOGGED THE CONSTRUCTION ENTRANCE VOID SPACES BETWEEN STONES OR DIRT IS BEING TRACKED ONTO A ROADWAY, THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH-DOWN OPERATION MUST NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL SEDIMENTATION. PERIODIC RE-GRADING OR NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFECTIVENESS OF THE CONSTRUCTION ENTRANCE.
21. TEMPORARY SEEDING OR OTHER APPROVED STABILIZATION MUST BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE OF ANY AREA, UNLESS ADDITIONAL CONSTRUCTION IN THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
22. CONTRACTOR MUST FOLLOW GOOD HOUSEKEEPING PRACTICES DURING CONSTRUCTION, ALWAYS CLEANING UP DIRT, LOOSE MATERIAL, AND TRASH AS CONSTRUCTION PROGRESSES.
23. UPON COMPLETION OF FINE GRADING, ALL SURFACES OF DISTURBED AREAS MUST BE PERMANENTLY STABILIZED. STABILIZATION IS ACHIEVED WHEN THE AREA IS EITHER COVERED BY PERMANENT IMPERVIOUS STRUCTURES, SUCH AS BUILDINGS, SIDEWALK, PAVEMENT, OR A UNIFORM PERENNIAL VEGETATIVE COVER.
24. AT THE CONCLUSION OF THE PROJECT, ALL INLETS, DRAIN PIPE, CHANNELS, DRAINAGEWAYS AND BORROW DITCHES AFFECTED BY THE CONSTRUCTION MUST BE DREDGED, AND THE SEDIMENT GENERATED BY THE PROJECT MUST BE REMOVED AND DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
25. CONTRACTOR MUST PROVIDE A SIGN NEAR THE ENTRANCE WITH THE FOLLOWING INFORMATION:
    - 25.1. CONTACT NAME AND INFORMATION
    - 25.2. A COPY OF THE NOI
    - 25.3. LOCATION OF SWPPP

ABBREVIATIONS AND/OR DEFINITIONS:

A	AREA
AC	ACRES
ADA	AMERICANS WITH DISABILITIES ACT
AHJ	AUTHORITY HAVING JURISDICTION
AWWA	AMERICAN WATER WORKS ASSOCIATION
B-B	BACK-TO-BACK
BC	BEGIN CURVE
BCR	BEGIN CURB RETURN
BM	BENCHMARK
BMP	BEST MANAGEMENT PRACTICE
BOC	BACK OF CURB
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
BW	FINISHED GRADE AT BOTTOM OF WALL
CFS	CUBIC FEET PER SECOND
CITY	CITY, TOWN, OR OTHER APPLICABLE LOCAL GOVERNMENT JURISDICTION
C/L	CENTERLINE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN-OUT
CONC	CONCRETE
CP	CONTROL POINT
CY	CUBIC YARDS
DEMO	DEMOLITION
DG	DECOMPOSED GRANITE
DTL	DETAIL
EA	EACH
EC	END CURVE
ECR	END CURB RETURN
EG	EXISTING GROUND
EL	ELEVATION
ELEC	ELECTRICAL / ELECTRICITY
ELEV	ELEVATION
EPA	UNITED STATES ENVIRONMENTAL PROTECTION AGENCY
ESMT	EASEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
F-F	FACE-TO-FACE
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND
FH	FIRE HYDRANT
FL	FLOW LINE
FOC	FACE OF CURB
FT	FEET
HGL	HYDRAULIC GRADE LINE
KDHE	KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT
LAT	LATERAL
LF	LINEAR FEET
LT	LEFT
MAX	MAXIMUM
ME	MATCH EXISTING ELEVATION
MEP	MECHANICAL, ELECTRICAL AND PLUMBING
MH	MANHOLE
MIN	MINUTE/MINIMUM
MW	MONITORING WELL
NO	NUMBER
NOI	NOTICE OF INTENT
NOT	NOTICE OF TERMINATION
NTS	NOT TO SCALE
OC	ON CENTER
OFF	OFFSET
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCC	PORTLAND CEMENT CONCRETE
PE	PROFESSIONAL ENGINEER
PGL	PROPOSED GRADE LINE
PI	POINT OF INFLECTION
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PP	POWER POLE
PROP	PROPOSED
PRC	POINT OF REVERSE CURVATURE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INFLECTION
PVMT	PAVEMENT
RCB	REINFORCED CONCRETE BOX
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
RT	RIGHT
SF	SQUARE FEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
ST	STORM WATER SEWER
STA	STATION
STD	STANDARD
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
SWS	STORM WATER SEWER
SY	SQUARE YARDS
TC	TOP OF CURB
TEMP	TEMPORARY
KDOT	KANSAS DEPARTMENT OF TRANSPORTATION
TW	TOP OF WALL
TYP	TYPICAL
VC	VERTICAL CURVE
WTR	WATER
WW	WASTEWATER

JGR
JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgrarchitects.com

THE RESIDENCE AT HERITAGE WEST
NEW SENIOR-LIVING FACILITY
ANDOVER, KANSAS

SCOTT PRESTON EVANS
24423
1/17/25

REVISION:

DATE: 1-17-2025
JOB: 24-3385
SHEET NO.:
C0.51

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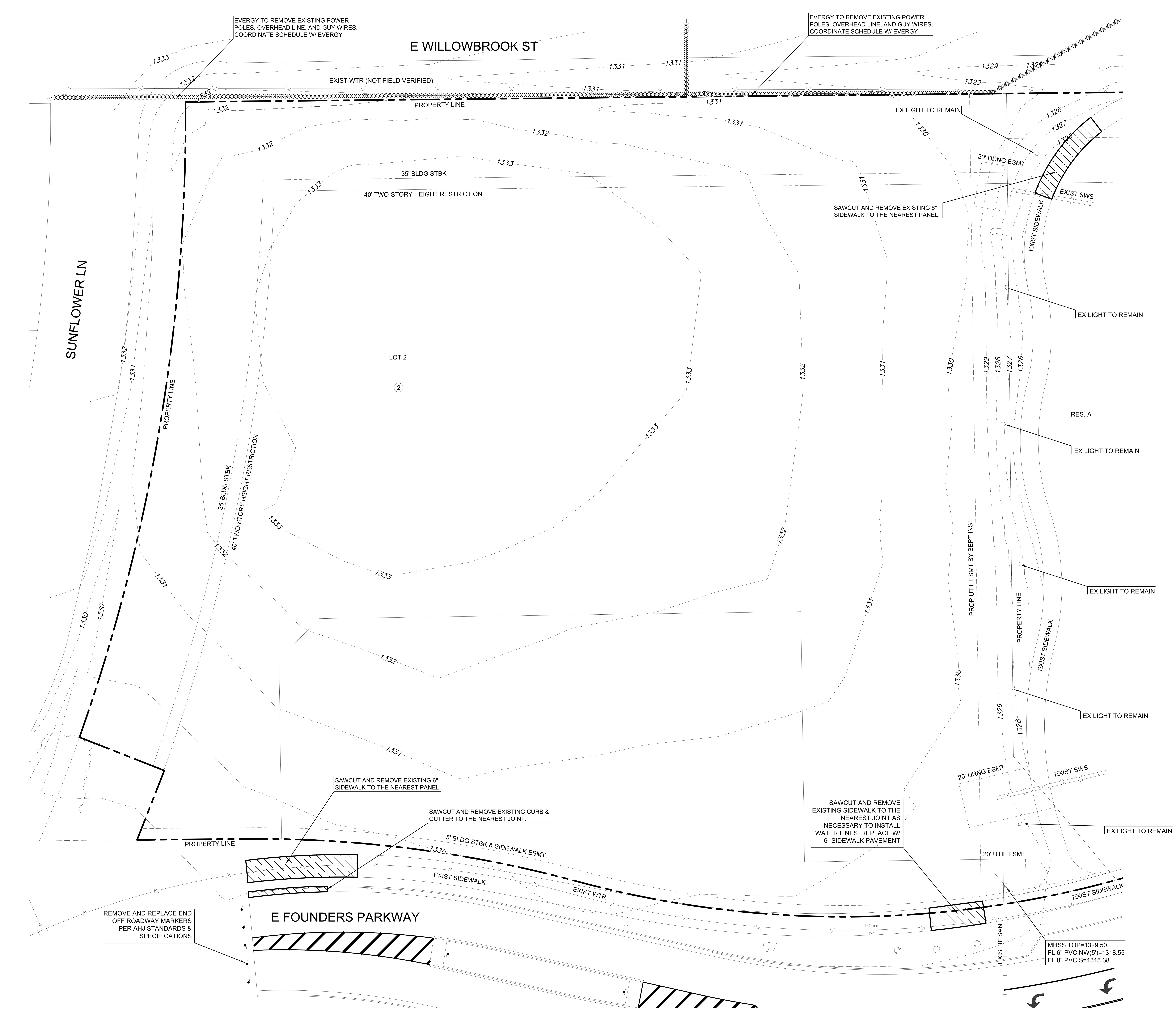

NOTES

1. PRIOR TO DEMOLITION ACTIVITIES, CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES OR IF THE EXISTING CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS.
2. ALL MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF PER LOCAL AND STATE REQUIREMENTS.
3. CONTRACTOR TO COORDINATE WITH FRANCHISE UTILITY PROVIDERS FOR REMOVAL/RELOCATION OF EXISTING SERVICES.
4. REF: ELECTRICAL SITE PLAN - DEMO FOR ALL ELECTRICAL DEMOLITION ITEMS.
5. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR AND REPLACE EXISTING CONCRETE SIDEWALK, CURB, AND ANY EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION.
6. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY PRIOR TO THE START OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, RIGHT-OF-WAY, HAULING AND LAND DISTURBANCE PERMITS WITH THE APPROPRIATE LOCAL JURISDICTION.
7. TREE REMOVAL TO INCLUDE THE REMOVAL AND BACKFILL OF THE ROOT BALL. LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.

LEGEND

	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
	EXISTING STORM SEWER
UGE	EXISTING UNDERGROUND ELECTRIC
OHE	EXISTING OVERHEAD ELECTRIC
G	EXISTING GAS LINE
FOC	EXISTING FIBER OPTIC CABLE
UGT	EXISTING UNDERGROUND TELEPHONE
TV	EXISTING TV LINE
	EXISTING LIGHT POLE
XXXX	EXISTING GRADES
XXXXXXXXXXXXXXXX	UTILITY REMOVAL / ABANDONMENT (BY OTHERS)
	SIDEWALK, CURB & GUTTER REMOVAL

CONTROL POINTS

DATUM:
THE HORIZONTAL DATUM IS BASED ON THE KANSAS COORDINATE SYSTEM OF 1983(2011), SOUTH ZONE. COORDINATES SHOWN HAVE BEEN MODIFIED TO THE GROUND USING A COMBINED ADJUSTMENT FACTOR OF 1.0001200144. STATE PLANE COORDINATES CAN BE CALCULATED BY MULTIPLYING THE SHOWN VALUES BY 0.99988.

ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 VERTICAL DATUM.

CONTROL POINTS (GND):
CP110
N: 1685568.193 E: 1708413.190 EL: 1332.085
5\8" REBAR WITH ALUM MKEC CONTROL POINT CAP

CP113
N: 1686310.274 E: 1709966.071 EL: 1336.36
"+" CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO WEST APPROXIMATELY 600FT SOUTH OF DOUGLAS AND YORKTOWN

CP114
N: 1686682.077 E: 1709988.168 EL: 1332.09
"+" CUT ON NW CORNER OF INLET ON WEST SIDE OF YORKTOWN APPROXIMATELY 250FT SOUTH OF DOUGLAS AND YORKTOWN

CP115
N: 1685088.627 E: 1709991.875 EL: 1332.97
"+" CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO FOUNDERS PKWY AND YORKTOWN

BENCHMARKS:
CP110
N: 1685568.193 E: 1708413.190 EL: 1332.085
5\8" REBAR WITH ALUM MKEC CONTROL POINT CAP

NOTE:
ALL CONTROL POINTS SHOWN HAVE ELEVATIONS ESTABLISHED USING STANDARD SURVEYING PROCEDURES AND CAN BE USED AS TEMPORARY BENCHMARKS. WHEN USING A CONTROL POINT AS A TEMPORARY BENCHMARK, IT IS RECOMMENDED THAT CROSS-CHECKS BE MADE TO OTHER CONTROL POINTS OR BENCHMARKS TO CONFIRM ELEVATIONS PRIOR TO USE.

N

SCALE: 1"=20'
0 20 40

WARNING
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

JGR
JonesGillamRenz
730 N. Ninth Salina, KS 67401 785.827.0386
1881 Main Street, Suite 301 Kansas City, MO 64108 jgr@jgrarchitects.com

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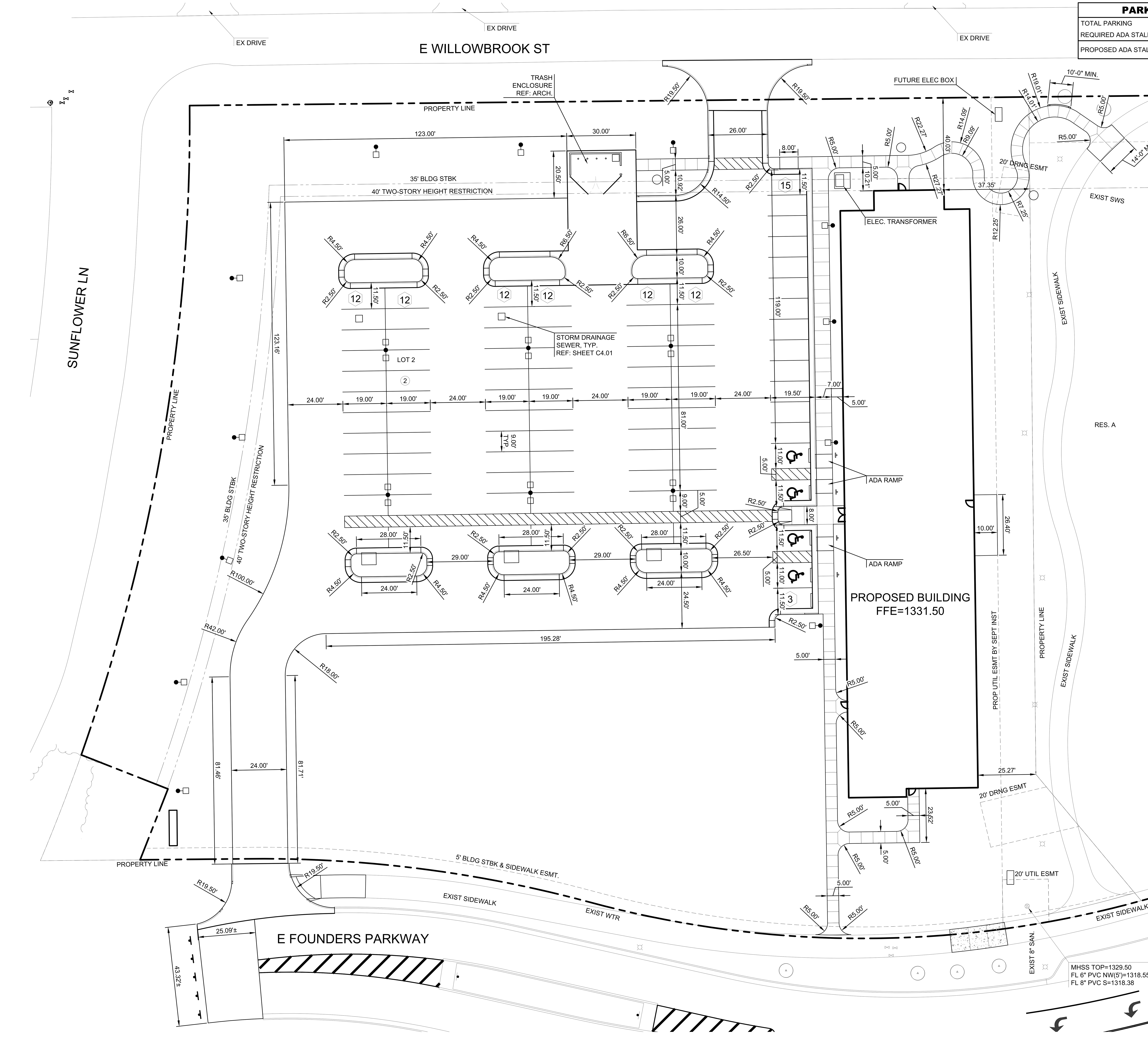
SCOTT PRESTON EVANS LICENSED 24423 KANSAS PROFESSIONAL ENGINEER 1/17/25

REVISION:

DATE: 1-17-2025
JOB: 24-3385
SHEET NO.:

C1.01



PARKING SUMMARY	
TOTAL PARKING	90 SPACES
REQUIRED ADA STALLS	4 SPACES
PROPOSED ADA STALLS	4 SPACES

NOTES

1. UNLESS OTHERWISE NOTED, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF AUTHORITY HAVING JURISDICTION .
2. ALL DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
3. UNLESS OTHERWISE NOTED, STANDARD PARKING STALLS ARE 9'X19', MEASURE TO THE FACE OF CURB.
4. UNLESS OTHERWISE NOTED, ADA PARKING STALLS ARE 11'X19', MEASURE TO THE FACE OF CURB.
5. BUILDING FOOTPRINT AS SHOWN IS THE OUTSIDE FACE OF THE ARCHITECTURAL PLANS. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
6. REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TERRACON, PROJECT #01245160 DATED NOVEMBER 4, 2024. CONTRACTOR SHALL REFER TO REPORT FOR RECOMMENDED PAVEMENT THICKNESS, SUBGRADE PREPARATION AND TRENCH BACKFILLING. IF ANY DISCREPANCIES ARISE BETWEEN THE PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT, THEN THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
7. CONTRACTOR TO DRILL & EPOXY #4 BARS (L=2'-0"; MIN. 9" EMBED) @ 24" O.C. INTO EXIST. CONCRETE PAVEMENT AND CURB & GUTTER WHEREVER PROPOSED ABUTS EXISTING.
8. AGGREGATE BASE UNDER PAVEMENT SHALL EXTEND A MINIMUM OF 1' BEYOND THE BACK OF CURB.
9. PARKING STRIPING SHALL BE 4" WIDE, WHITE IN COLOR.
10. ADA PARKING STALL LOADING AISLE STRIPING SHALL BE 4" WIDE, 2' O.C. @ 45° ANGLE, WHITE IN COLOR.
11. PAVEMENT MARKINGS SHALL BE AN UNDILUTED ALKYD TRAFFIC PAINT. APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATE TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION AND APPLICATION.
12. IT IS IMPORTANT BOTH FUNCTIONALLY AND AESTHETICALLY FOR JOINTS IN CURB & GUTTER AND ABUTTING CONCRETE PAVEMENT TO HAVE A CONSISTENT PATTERN.
13. JOINT SPACING SHOULD BE THOUGHT OUT AND ESTABLISHED PRIOR TO PLACING ANY CONCRETE. THIS INCLUDES JOINTING IN THE CURB & GUTTER ON BOTH SIDES OF PROPOSED CONCRETE PAVEMENT AND ON CURVES, DRIVES, ROUNDABOUTS, WHEELCHAIR RAMPS, ETC.
14. PEDESTRIAN CONCRETE SIDEWALKS SHALL RECEIVE HAND TOOLED JOINTS.
15. THE PAVING PLANS, DETAILS, SPECIFICATIONS AND NOTES CONTAIN SPECIFIC REQUIREMENTS FOR JOINTING. THE FOLLOWING ITEMS SHALL SERVE AS GUIDELINES FOR THE CONTRACTOR WHEN DEVELOPING THE JOINTING PLAN:
    - 15.1. JOINTING IN PAVEMENT SHALL BE AT RIGHT ANGLES TO CURB LINES WHEREVER POSSIBLE
    - 15.2. JOINT SPACING IN PAVEMENT SHALL GENERALLY NOT EXCEED 24 TIMES THE PAVEMENT THICKNESS
    - 15.3. JOINTS IN PAVEMENT SHALL NOT CREATE "L" SHAPED OR ODD SHAPED SECTIONS OR SECTIONS WITH NARROW POINTED PORTIONS THAT COULD BE SUBJECT TO CRACKING AND BREAKING
    - 15.4. CONTRACTION JOINT SPACING SHALL GENERALLY NOT EXCEED 1.5 TIMES LONGITUDINAL JOINT SPACING
16. CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TRAFFIC CONTROL NECESSARY ON SURROUNDING STREETS FOR CONSTRUCTION. TRAFFIC CONTROL SHALL COMPLY WITH THE LATEST EDITION OF MUTCD AND AUTHORITIES HAVING JURISDICTION STANDARDS AND SPECIFICATIONS.

LEGEND

13	PARKING STALL COUNT
LOT 2	LOT & BLOCK NUMBER
2	

CONTROL POINTS

DATUM:
THE HORIZONTAL DATUM IS BASED ON THE KANSAS COORDINATE SYSTEM OF 1983(2011), SOUTH ZONE. COORDINATES SHOWN HAVE BEEN MODIFIED TO THE GROUND USING A COMBINED ADJUSTMENT FACTOR OF 1.0001200144. STATE PLANE COORDINATES CAN BE CALCULATED BY MULTIPLYING THE SHOWN VALUES BY 0.99988.

ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 VERTICAL DATUM.

CONTROL POINTS (GND):

CP110
N: 1685568.193 E: 1708413.190 EL: 1332.085
5\8" REBAR WITH ALUM MKEC CONTROL POINT CAP

CP113
N: 1686310.274 E: 1709966.071 EL: 1336.36
"+" CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO WEST APPROXIMATELY 600FT SOUTH OF DOUGLAS AND YORKTOWN

CP114
N: 1686682.077 E: 1709988.168 EL: 1332.09
"+" CUT ON NW CORNER OF INLET ON WEST SIDE OF YORKTOWN APPROXIMATELY 250FT SOUTH OF DOUGLAS AND YORKTOWN

CP115
N: 1685088.627 E: 1709991.875 EL: 1332.97
"+" CUT IN CURB RETURN AT NW CORNER OF ENTRANCE TO FOUNDERS PKWY AND YORKTOWN

BENCHMARKS:
CP110
N: 1685568.193 E: 1708413.190 EL: 1332.085
5\8" REBAR WITH ALUM MKEC CONTROL POINT CAP

NOTE:
ALL CONTROL POINTS SHOWN HAVE ELEVATIONS ESTABLISHED USING STANDARD SURVEYING PROCEDURES AND CAN BE USED AS TEMPORARY BENCHMARKS. WHEN USING A CONTROL POINT AS A TEMPORARY BENCHMARK, IT IS RECOMMENDED THAT CROSS-CHECKS BE MADE TO OTHER CONTROL POINTS OR BENCHMARKS TO CONFIRM ELEVATIONS PRIOR TO USE.

WARNING
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

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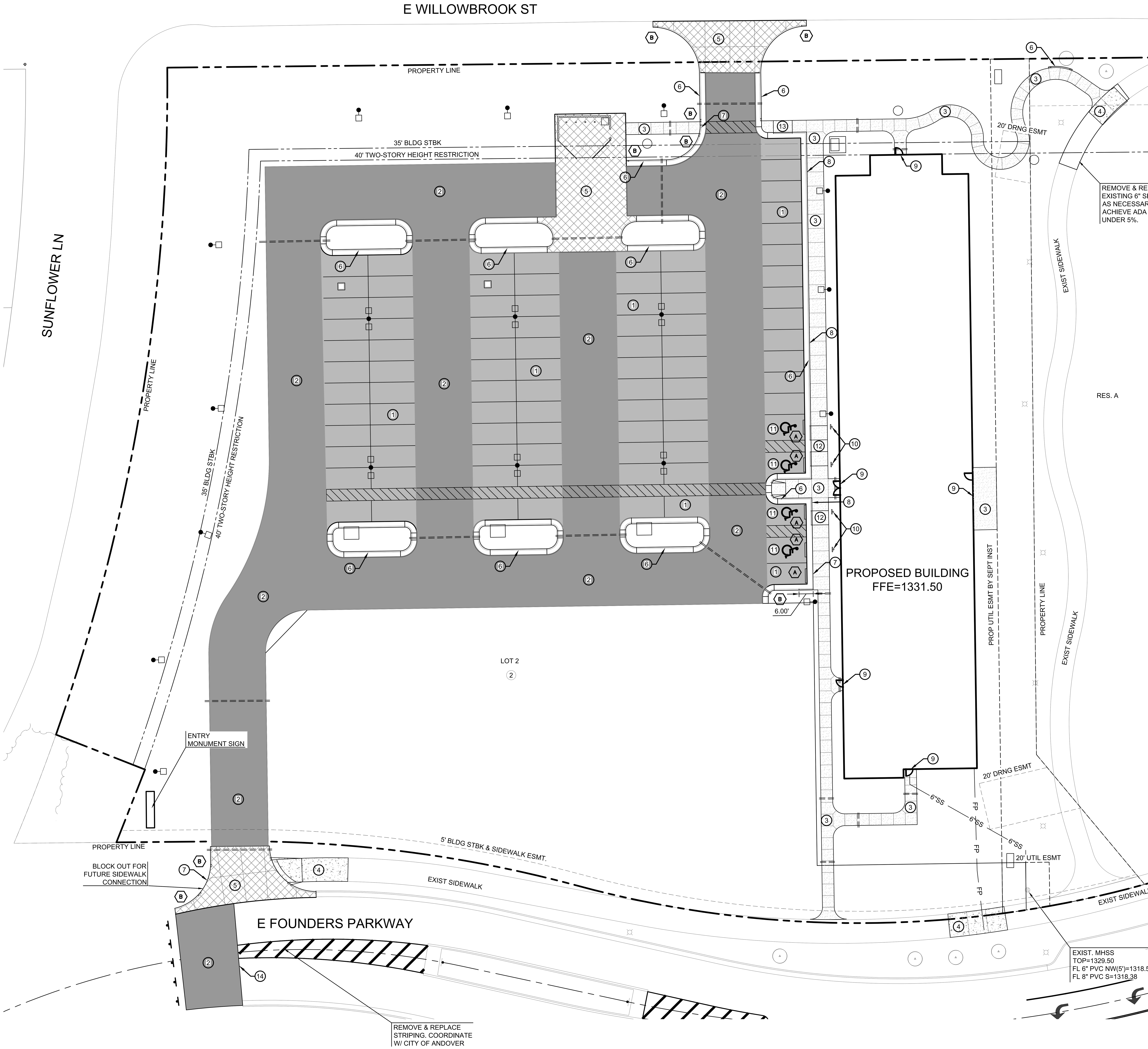

DETAIL LEGEND

KEY	DETAIL	DESCRIPTION	SHEET
1	5.5" ASPHALTIC PAVEMENT	TYPICAL SECTION: 5.5" ASPHALT PAVEMENT ON 9" BASE	C2.51
2	7.5" ASPHALTIC PAVEMENT	TYPICAL SECTION: 7.5" ASPHALT PAVEMENT ON 9" BASE	C2.51
3	4" CONCRETE SIDEWALK	TYPICAL SECTION: 4" CONCRETE SIDEWALK	C2.52
4	6" CONCRETE SIDEWALK	TYPICAL SECTION: 6" CONCRETE SIDEWALK	C2.52
5	8" CONCRETE PAVEMENT	TYPICAL SECTION: 8" CONCRETE PAVEMENT	C2.51
6	6" CURB & GUTTER	TYPICAL SECTION: 6" CURB & GUTTER	C2.52
7	FLUSH CURB	FLUSH CURB & GUTTER	C2.53
8	CONCRETE SIDEWALK AT CURB	TYPICAL CONCRETE SIDEWALK AT CURB	C2.52
9	EXPANSION JOINT @ BUILDING	EXPANSION JOINT AT BUILDING	C2.51
10	ACCESSIBLE PARKING SIGN	ACCESSIBLE PARKING SIGN	C2.53
11	ACCESSIBLE PARKING MARKING	ACCESSIBLE PARKING MARKING	C2.53
12	ADA RAMP	WHEEL CHAIR RAMP DETAILS/SECTIONS	C2.53
13	ADA RAMP	WHEEL CHAIR RAMP DETAILS/SECTIONS	C2.53
14	ASPHALTIC PAVEMENT CONNECTION	TYPICAL SECTION: ASPHALTIC PAVEMENT CONNECTION	C2.51

SITE FURNISHINGS

WHEEL STOP
MANUFACTURER: TRAFFIC SAFETY STORE
PRODUCT #: PBRTSS6WHDS - 6' RUBBER PARKING BLOCK
COMMENTS: ENSURE WHITE STRIPING ON PARKING BLOCK. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

LEGEND

5.5" ASPHALTIC PAVEMENT
7.5" ASPHALTIC PAVEMENT
4" CONCRETE SIDEWALK
6" CONCRETE SIDEWALK
8" CONCRETE PAVEMENT
PROPOSED IRRIGATION SLEEVE
A — WHEEL STOP (REF: NOTE THIS SHEET)
B — 1' CURB TRANSITION UNLESS NOTED

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N

SCALE: 1"=20'
0 20 40

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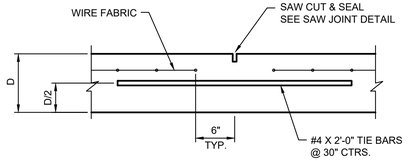
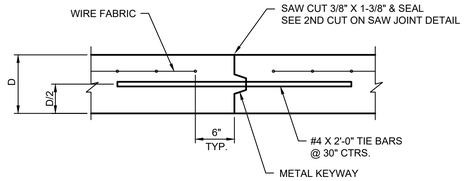


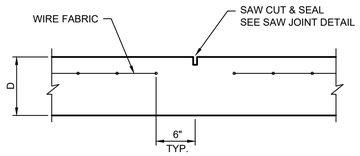
1 LONGITUDINAL JOINT DETAIL

SCALE: NTS



2 OPTIONAL LONGITUDINAL JOINT DETAIL

SCALE: NTS



3 CONTRACTION JOINT DETAIL

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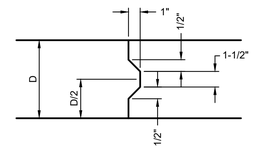
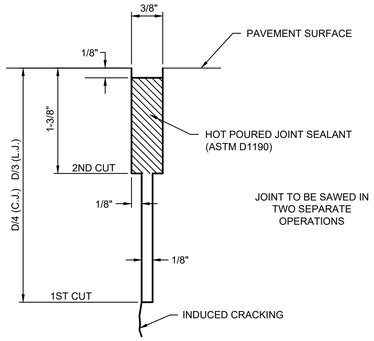


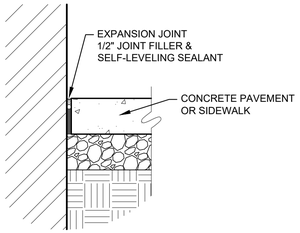
4 KEYWAY DETAIL

SCALE: NTS



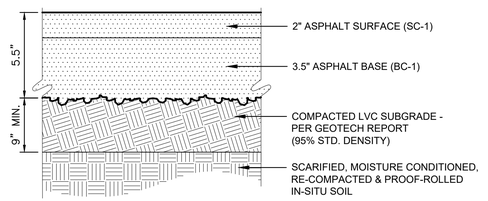
5 SAW JOINT DETAIL

SCALE: NTS



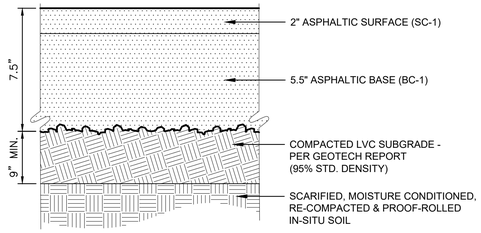
6 EXPANSION JOINT AT BUILDING

SCALE: NTS



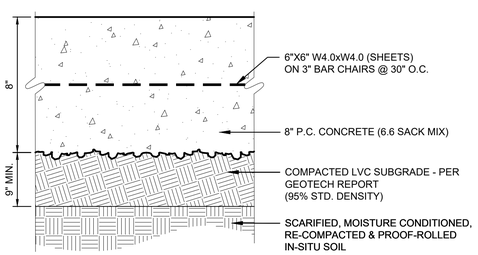
7 TYP. SECTION: 5.5" ASPHALTIC PVMT.

SCALE: NTS



8 TYP. SECTION: 7.5" ASPHALTIC PVMT.

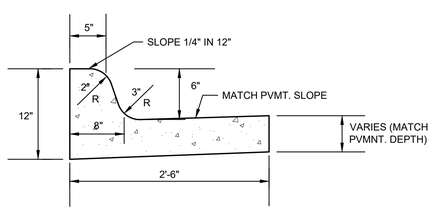
SCALE: NTS



9 TYP. SECTION: 8.0" CONC. PVMT.

SCALE: NTS

NOTE: REFER TO PAVING NOTES & GRADING PLAN IN DETERMINING WHETHER STANDARD OR REVERSE CURB SHALL BE USED)

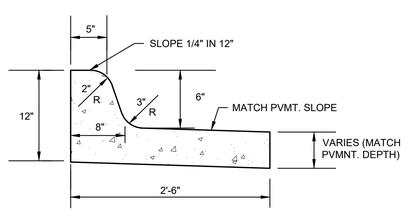


10 FULL CURB & GUTTER (STANDARD)

SCALE: NTS

IT SHALL BE THE CONTRACTORS OPTION WHETHER TO PLACE THE CURB MONOLITHIC WITH SITE PAVING OR TO PLACE CURB AND GUTTER SEPARATELY.

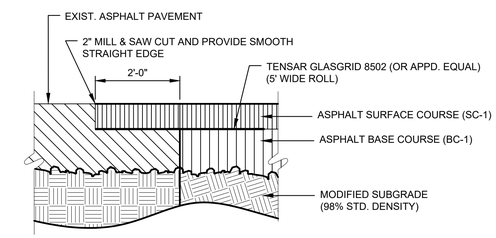
NOTE: REFER TO PAVING NOTES & GRADING PLAN IN DETERMINING WHETHER STANDARD OR REVERSE CURB SHALL BE USED)



11 FULL CURB & GUTTER (REVERSE)

SCALE: NTS

IT SHALL BE THE CONTRACTORS OPTION WHETHER TO PLACE THE CURB MONOLITHIC WITH SITE PAVING OR TO PLACE CURB AND GUTTER SEPARATELY.



12 TYP. SECTION: A.C. PVMT. CONNECTION

SCALE: NTS

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DWG NAME C2.09 PAVING DETAILS.DWG

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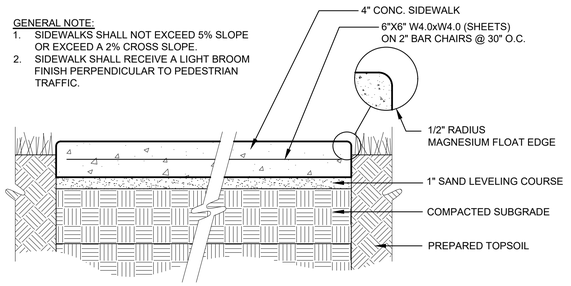
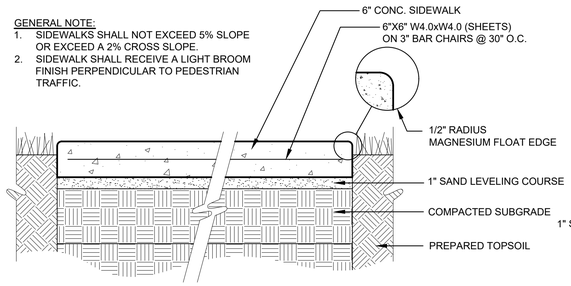


1 4" CONC. SIDEWALK

SCALE: NTS

NOTE:
1. SIDEWALKS SHALL BE 6" THICK IN ALL STREET RIGHT-OF-WAYS & CITY PARKS.
2. SIDEWALKS ON LOTS CAN BE 4" THICK.



2 6" CONC. SIDEWALK

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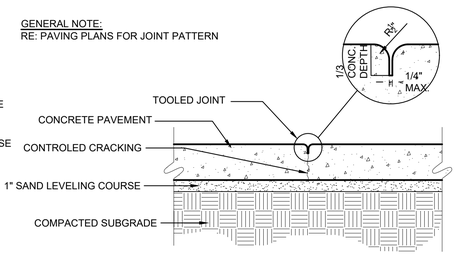
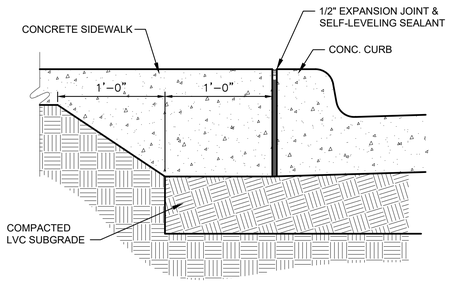


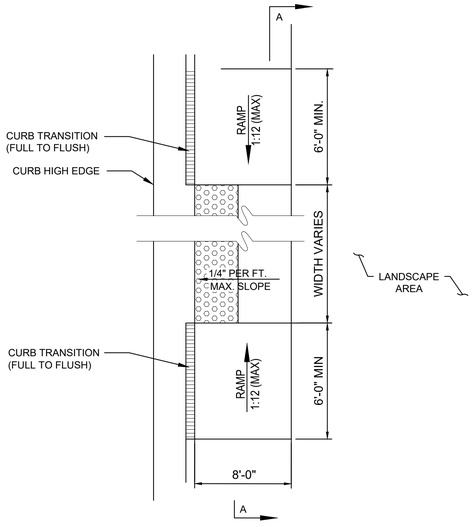
3 SIDEWALK TOOLED JOINT

SCALE: NTS



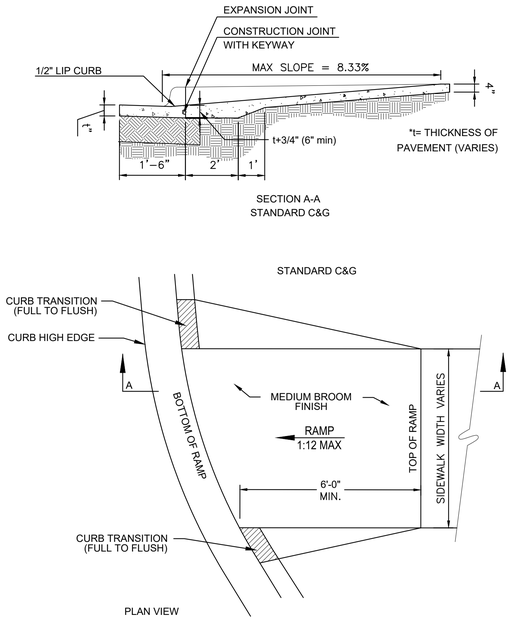
4 CONC. SIDEWALK @ CURB

SCALE: NTS



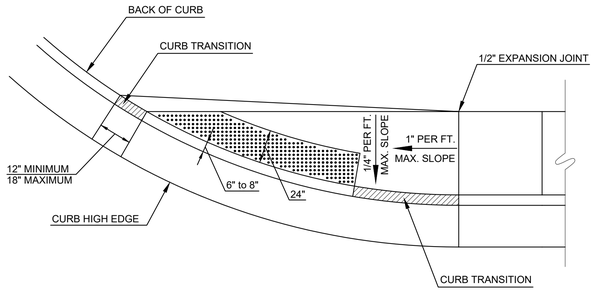
5 WHEELCHAIR RAMP

SCALE: NTS



6 WHEEL CHAIR RAMP

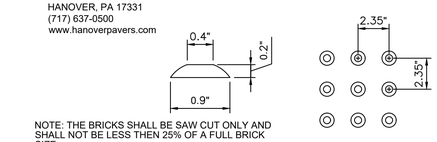
SCALE: NTS



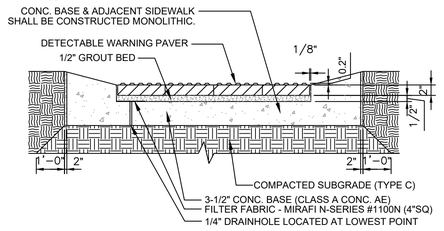
7 WHEEL CHAIR RAMP

SCALE: NTS

NOTE:
HANOVER DETECTABLE WARNING PAVERS (OR AN APPROVED ALTERNATE) SHALL BE USED IN ALL WHEELCHAIR RAMPS. THE 11-3/4" 'CHARCOAL' PAVER SHALL BE UTILIZED:
HANOVER ARCHITECTURAL PRODUCTS
240 BENDER ROAD
HANOVER, PA 17331
(717) 637-0500
www.hanoverpavers.com



NOTE: THE BRICKS SHALL BE SAW CUT ONLY AND SHALL NOT BE LESS THEN 25% OF A FULL BRICK SIZE.



8 DETECTABLE WARNING PAVER

SCALE: NTS

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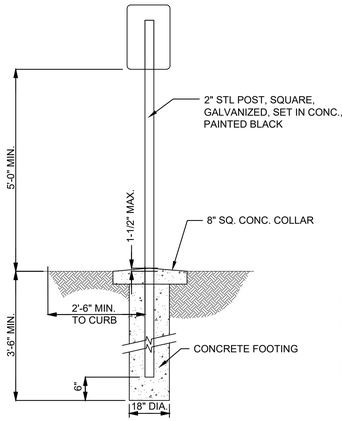
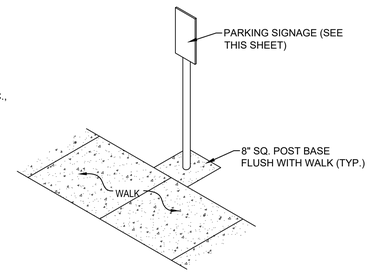


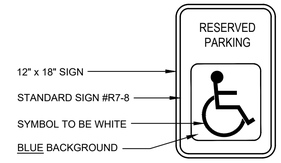


NOTE:
1. WHERE SIGNS ARE BEHIND SIDEWALKS: CONCRETE POST BASES SHALL BE PLACED ADJACENT TO SIDEWALK EDGE.

2. WHERE SIGNS ARE BEHIND CURBS: CONCRETE POST BASES SHALL BE PLACED 30" BEHIND CONCRETE CURB IN LANDSCAPE BED.

1 MISC. SIGN MOUNTING DETAIL

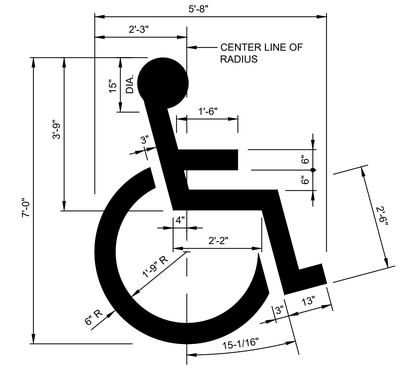
SCALE: NTS



NOTES:
1. ALL SIGNS TO BE 0.080" THICK ALUMINUM
2. ALL SIGNS SHALL CONFORM WITH ALL CURRENT A.D.A., FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
3. ONE AT EACH HANDICAP STALL

2 HANDICAPPED PARKING SIGN

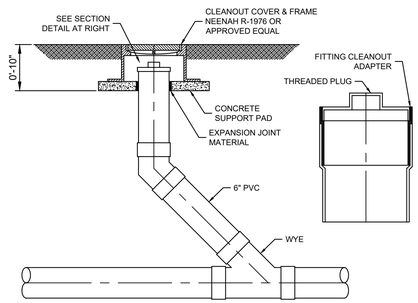
SCALE: NTS



3 HANDICAP PAVEMENT MARKING

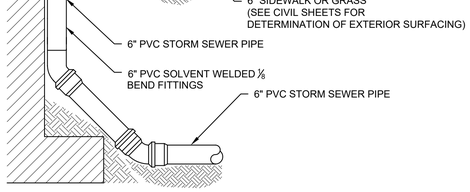
SCALE: NTS

NOTES:
1. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS IN A CAST-IN-PLACE-CONCRETE BLOCK, 18 BY 18 BY 12 INCHES DEEP WITH 12 INCHES OF TREATED 95% COMPACTED SUBGRADE BELOW CONCRETE. SET WITH TOP FLUSH WITH SURROUNDING PAVEMENT.



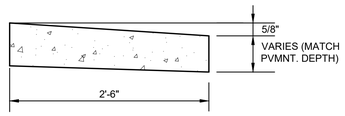
4 CLEANOUT DETAIL

SCALE: NTS



5 DOWNSPOUT CONNECTION

SCALE: NTS



6 FLUSH CURB

SCALE: NTS

JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgrarchitects.com

THE RESIDENCE AT HERITAGE WEST

NEW SENIOR-LIVING FACILITY

ANDOVER, KANSAS

SCOTT PRESTON EVANS LICENSED 24425 KANSAS PROFESSIONAL ENGINEER 1/17/25

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SHEET NO.:

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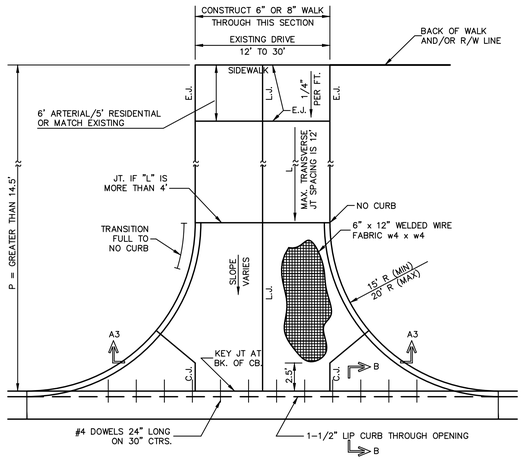
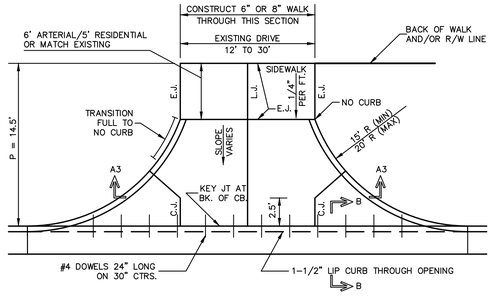
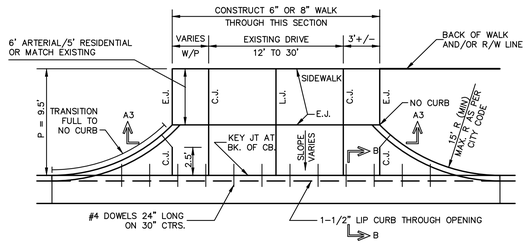
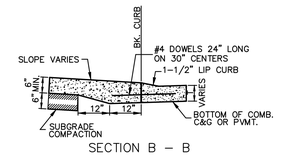


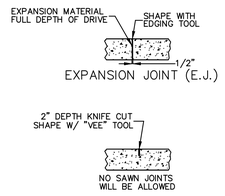




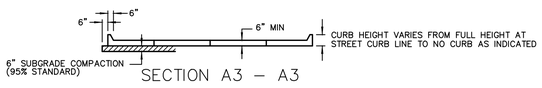


SECTION B – B

ALT. LONGITUDINAL CONSTRUCTION JOINT

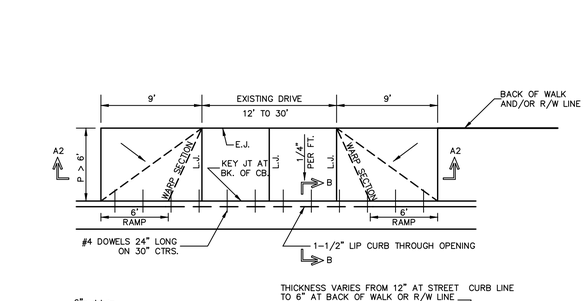


BACK OF CURB DETAIL



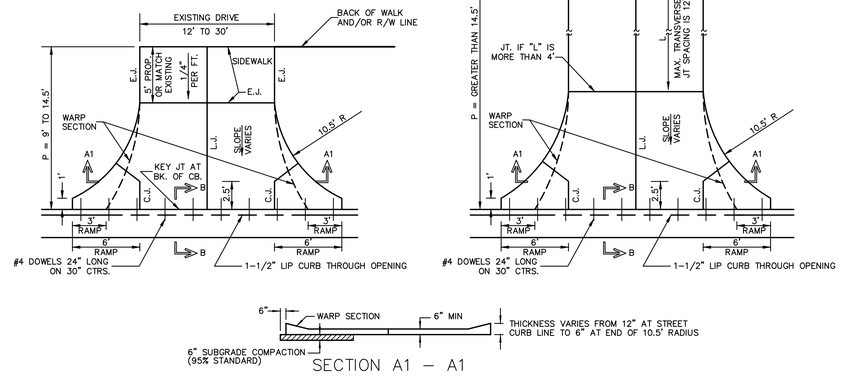
SECTION A3 – A3

FULL RADIUS DRIVES (ARTERIAL/COLLECTOR DRIVEWAY)



SECTION A2 – A2

FULL RAMP DRIVES (P = 4.0' & 6.5')



SECTION A1 – A1

RADIUS RAMP DRIVES (RESIDENTIAL DRIVEWAY)

GENERAL NOTES

1. DRIVEWAY CONSTRUCTION DETAILED ON THIS SHEET IS FOR USE WITH FULL HEIGHT STREET CURBS AND IN AREAS WITHOUT FULL WALK CONSTRUCTION IN THE PARKING. SEE OTHER DETAIL SHEETS FOR DRIVEWAY CONSTRUCTION WITH ROLL CURB AND/OR FULL WALK.

2. ONE LONGITUDINAL JOINT SHALL BE CONSTRUCTED ALONG THE CENTERLINE OF DRIVES HAVING A WIDTH DIMENSION OF 24' OR LESS. TWO LONGITUDINAL JOINTS SHALL BE CONSTRUCTED WITH EQUAL SPACINGS NOT TO EXCEED 10' FOR DRIVES WITH A WIDTH DIMENSION GREATER THAN 24'.

3. DRIVEWAY WIDTH DENOTED AS WIDTH ON THE DETAIL DRAWINGS SHALL BE A MINIMUM OF 12' AND A MAXIMUM OF 30'. THE MAXIMUM OPENING FOR RADIUS TYPE DRIVES WITH CURBS THROUGH THE RADIUS SHALL NOT EXCEED 52' AT THE STREET CURB LINE.

4. CONTRACTION JOINT SPACING IN THE DRIVEWAY WALK SECTION SHALL BE A MINIMUM OF 3' AND A MAXIMUM OF 6' AND ARE TO BE EQUALLY SPACED WITHIN THIS RANGE. WALK SECTION SHALL BE CONSTRUCTED TO THE SAME THICKNESS AS THE DRIVEWAY.

5. ADDITIONAL THICKNESS OF DRIVE AS INDICATED IN THE DRAWINGS WILL NOT BE PAID FOR DIRECTLY AND THIS COST SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE DRIVEWAY CONSTRUCTION.

6. ONE HALF INCH EXPANSION JOINTS SHALL BE INSTALLED WHEREVER DRIVE CONSTRUCTION ABUTS SIDEWALK. ONE HALF INCH EXPANSION JOINTS SHALL ALSO BE INSTALLED ALONG THE PROPERTY LINE AND/OR BACK OF WALK LINE WHEN DRIVE CONSTRUCTION ALONG THIS LINE ABUTS CONCRETE PARKING LOTS OR CONCRETE DRIVE EXTENSION.

7. DRIVEWAYS ONLY ON RESIDENTIAL PROPERTIES ONLY CAN BE CONSTRUCTED WITH 6" IN THICKNESS AND CAN BE WITHOUT REINFORCEMENT.

8. ALL DRIVEWAYS TO NONRESIDENTIAL PROPERTY SHALL BE A MINIMUM OF 8" IN THICKNESS AND SHALL HAVE REINFORCEMENT WITH 6"x12", W4xW4.

JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgrarchitects.com

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NEW SENIOR-LIVING FACILITY

ANDOVER, KANSAS

SCOTT PRESTON EVANS
LICENSED
24423
KANSAS
PROFESSIONAL ENGINEER
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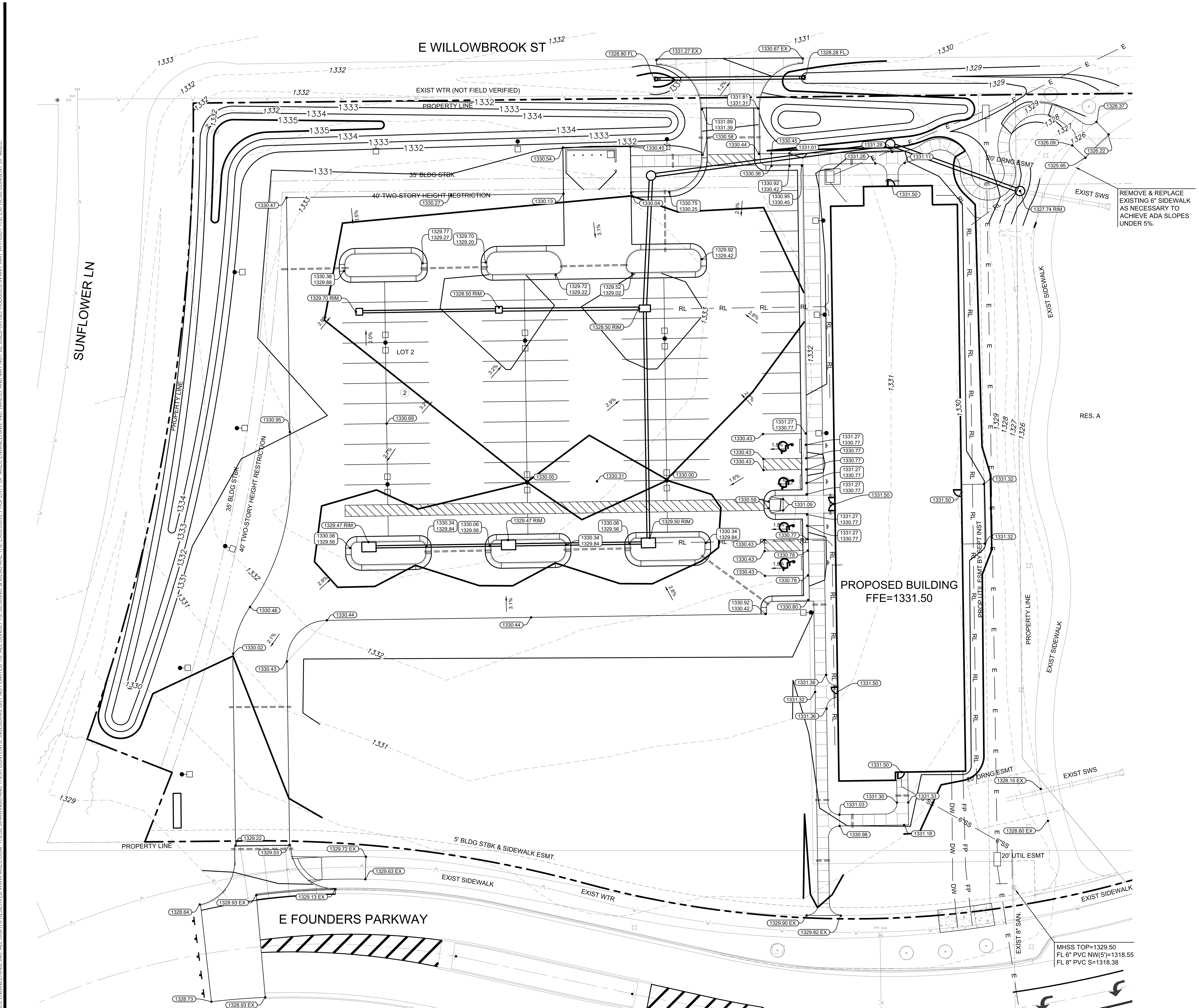

NOTES

1. ALL SPOT ELEVATIONS REPRESENT FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS WILL BE 6" ABOVE THE FLOW LINE ELEVATIONS, UNLESS OTHERWISE NOTED.
2. ALL CURB SPOT ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER SLOPE LABELS AT ALL TIMES.
4. GRADES IN ALL SIDEWALK, ACCESSIBLE ROUTES, INCLUDING DRIVEWAYS CROSSINGS SHALL CONFORM TO ALL APPLICABLE ACCESSIBLE STANDARDS: NOT TO EXCEED 5% ALONG TRAVEL PATH WITH NOT MORE THAN 2% CROSS SLOPE AND NOT TO EXCEED 2% IN ANY DIRECTION IN ACCESSIBLE PARKING AREAS.
5. MAXIMUM SLOPE IN TURF AREAS SHALL BE 4:1.
6. REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY TERRACON, PROJECT #01245160 DATED NOVEMBER 4, 2024. CONTRACTOR SHALL REFER TO REPORT FOR RECOMMENDED PAVEMENT THICKNESS, SUBGRADE PREPARATION AND TRENCH BACKFILLING. IF ANY DISCREPANCIES ARISE BETWEEN THE PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT, THEN THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
7. SATISFACTORY SOIL AND FILL MATERIAL SHALL BE PROVIDED PER THE GEOTECHNICAL REPORT. SEE GEOTECHNICAL REPORT FOR MAXIMUM FILL LIFT THICKNESS
8. CLEAR AND GRUB IMPROVEMENT AREA. REMOVE ALL ORGANIC AND TOPSOIL MATERIAL REGARDLESS OF SIZE AND DEPTH. ALL CLEARED, EXCESS AND WASTE MATERIAL SHALL BECOME CONTRACTORS PROPERTY AND SHALL BE REMOVED FROM THE PROJECT SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE EARTHWORK QUANTITIES. ALL IMPORT AND EXPORT OF SOIL MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THEIR EXPENSE.
10. NOTIFY TESTING AGENCY WHEN EXCAVATIONS HAVE REACHED REQUIRED SUBGRADE. SUBGRADE SHALL BE PREPARED AND COMPACTED PER THE GEOTECHNICAL REPORT.
11. LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.
12. SITE GRADING SHALL NOT CAUSE ADVERSE DRAINAGE IMPACTS TO NEIGHBORING PROPERTIES.

LEGEND

Symbol	Description
	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
	EXISTING STORM SEWER
UGE	EXISTING UNDERGROUND ELECTRIC
OHE	EXISTING OVERHEAD ELECTRIC
G	EXISTING GAS LINE
FOC	EXISTING FIBER OPTIC CABLE
UGT	EXISTING UNDERGROUND TELEPHONE
TV	EXISTING TV LINE
	EXISTING LIGHT POLE
XXXX	EXISTING GRADES
XXXX	PROPOSED GRADES
	GRADING LIMITS
506.50	SPOT ELEVATION
506.50EX	MATCH EXISTING ELEVATION
506.50FL	FLOWLINE
506.50RIM	INLET RIM ELEVATION

WARNING
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

JGR
JonesGillamRenz
730 N. Ninth
Salina, KS 67401
785.827.0386
1881 Main Street, Suite 301
Kansas City, MO 64108
jgr@jgrarchitects.com

THE RESIDENCE AT HERITAGE WEST

NEW SENIOR-LIVING FACILITY

ANDOVER, KANSAS

SCOTT PRESTON EVANS
LICENSED
24423
KANSAS
PROFESSIONAL ENGINEER
1/17/25

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DATE: 1-17-2025
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C3.01

PLOTTED BY DUSTIN LOHMANN 1/17/2025 4:29 PM
DWG PATH J:\PROJECTS\2024\24010691_JGR_WICHITA SENIOR LIVING\00 240691 CAD\SHTS\05 CIVIL\SITE
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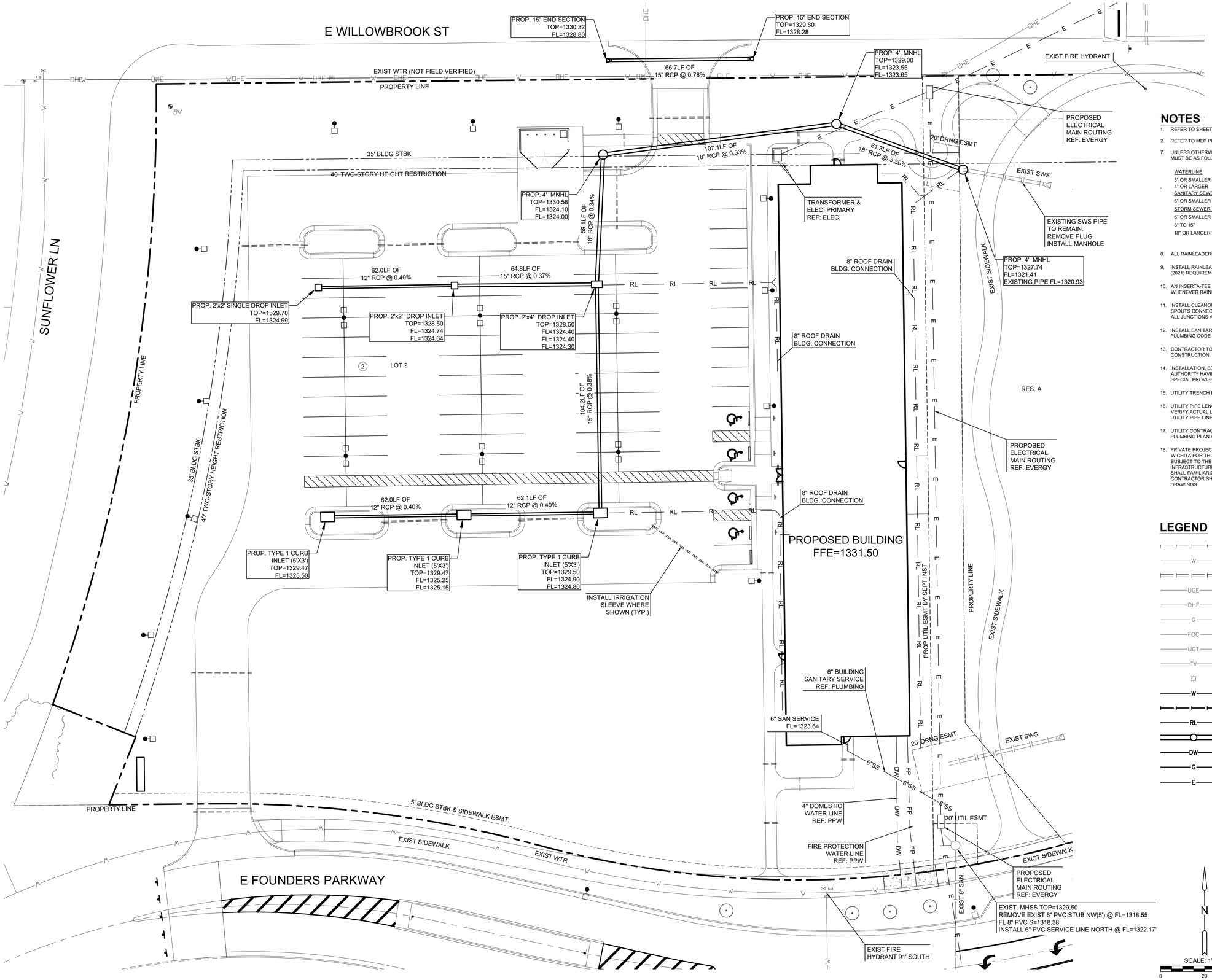

NOTES

1. REFER TO SHEET C-050 FOR GENERAL NOTES.
2. REFER TO MEP PLANS FOR UTILITY PIPES WITHIN 5' AND UNDERNEATH BUILDING.
7. UNLESS OTHERWISE NOTED IN THE PROJECT SPECIFICATIONS PIPE MATERIALS MUST BE AS FOLLOWS:

WATERLINE	
3" OR SMALLER	-ASTM D2241 IPS, CLASS 160 (SDR26) PVC
4" OR LARGER	-C900 OR C905 PVC, CLASS 150 (DR 18, C.I.O.D.)
SANITARY SEWER	
6" OR SMALLER	-ASTM D3034 SCHEDULE 40 PVC
STORM SEWER, RAIN LEADERS AND UNDERDRAINS	
6" OR SMALLER	-ASTM D3034 SCHEDULE 40 PVC
8" TO 15"	-ASTM D3034 SDR-35 PVC
18" OR LARGER	-ASTM F2306 AND AASHTO M294 HDPE
	-CLASS III RCP

8. ALL RAINLEADERS SHALL BE 8" PVC PIPE.
9. INSTALL RAINLEADER PVC PIPING SYSTEM PER INTERNATIONAL PLUMBING CODE (2021) REQUIREMENTS.
10. AN INSERTA-TEE CONNECTION, OR APPROVED EQUAL, SHOULD BE USED WHENEVER RAINLEADERS CONNECT TO STORM WATER TRUNK LINES.
11. INSTALL CLEANOUT ACCESS STRUCTURES AT EACH LOCATION WHERE DOWN SPOUTS CONNECT TO THE UNDERGROUND RAINLEADER PIPING SYSTEM AND AT ALL JUNCTIONS AND CHANGE OF DIRECTION POINTS AS REQUIRED BY CODE
12. INSTALL SANITARY SEWER SERVICE LINE AND CLEANOUTS PER UNIFORM PLUMBING CODE (2021) REQUIREMENTS.
13. CONTRACTOR TO VERIFY DEPTH & LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
14. INSTALLATION, BEDDING, & TESTING OF UTILITY INSTALLATIONS SHALL BE AS PER AUTHORITY HAVING JURISDICTION STANDARD SPECIFICATIONS AND STANDARD SPECIAL PROVISIONS.
15. UTILITY TRENCH BACKFILLING SHOULD BE PER GEOTECHNICAL REPORT.
16. UTILITY PIPE LENGTHS ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR TO VERIFY ACTUAL LENGTHS OF PIPE REQUIRED PRIOR TO BIDDING & INSTALLING UTILITY PIPE LINES.
17. UTILITY CONTRACTOR TO COORDINATE BUILDING CONNECTION POINTS WITH PLUMBING PLAN AND BUILDING CONTRACTOR.
18. PRIVATE PROJECT WATER (PPW) PLANS WILL BE SUBMITTED TO THE CITY OF WICHITA FOR THIS PROJECT. WORK DONE UNDER THESE PRIVATE PROJECTS ARE SUBJECT TO THE CITY OF WICHITA REQUIREMENTS FOR "CONSTRUCTION OF INFRASTRUCTURE IMPROVEMENTS BY PRIVATE CONTRACT". THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH AND COMPLY WITH THESE REQUIREMENTS. THE CONTRACTOR SHALL NOT CONSTRUCT ANY OF THESE LINES WITHOUT APPROVED DRAWINGS.

LEGEND

- EXISTING SANITARY SEWER
- W — EXISTING WATER LINE
- EXISTING STORM SEWER
- UGE — EXISTING UNDERGROUND ELECTRIC
- OHE — EXISTING OVERHEAD ELECTRIC
- G — EXISTING GAS LINE
- FOC — EXISTING FIBER OPTIC CABLE
- UGT — EXISTING UNDERGROUND TELEPHONE
- TV — EXISTING TV LINE
- EXISTING LIGHT POLE
- W — PROPOSED WATER
- PROPOSED SANITARY SEWER
- RL — PROPOSED RAIN LEADER
- PROPOSED STORM SEWER
- DW — PROPOSED DOMESTIC WATER
- G — PROPOSED GAS
- E — PROPOSED ELECTRIC PRIMARY

WARNING
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N

SCALE: 1"=20'
0 20 40

JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgrarchitects.com

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NEW SENIOR-LIVING FACILITY

ANDOVER, KANSAS

SCOTT PRESTON LEHANE
LICENSED
24425
KANSAS
PROFESSIONAL ENGINEER
1/17/25

REVISION:

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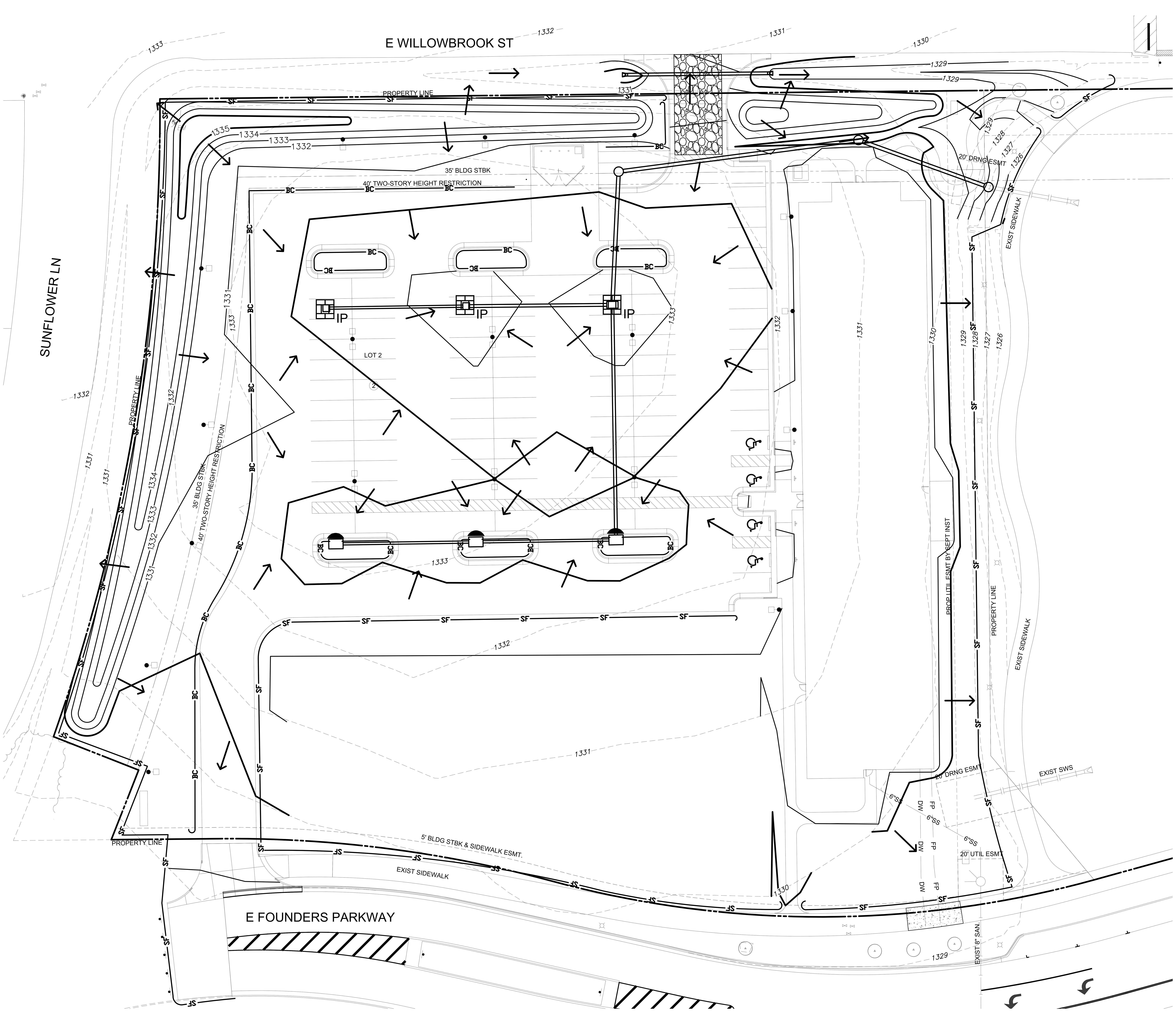

NOTES

1. EROSION CONTROL SHOULD MEET ALL FEDERAL, STATE, COUNTY AND LOCAL CODE STANDARDS.
2. EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS, DRAINAGE WAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGE WAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREDGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.
3. SEE SEEDING NOTES FOR DISTURBED AREA STABILIZATION OUTSIDE OF HARDSCAPE AND LANDSCAPE AREAS.
4. THE CONTRACTOR SHALL COMPLETE STABILIZATION WHEN SOIL DISTURBING ACTIVITIES CEASE TEMPORARILY AND WILL NOT RESUME FOR 14 DAYS OR MORE.
5. CONTRACTOR SHALL PROVIDE EROSION PROTECTION THROUGHOUT PROJECT CONSTRUCTION. THE PLAN PROVIDED HERE WITHIN IS FOR FINAL PROTECTION. VARIOUS PHASES OF THIS PLAN SHALL BE IMPLEMENTED OR MODIFIED TO CONTROL EROSION.
6. THE CONTRACTOR(S) ARE RESPONSIBLE FOR EROSION CONTROL IN CONFORMATION WITH THE APPROVED DRAWINGS UNTIL PROJECT COMPLETION.
7. ALL EXISTING AND PROPOSED EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND INFORMATION PROVIDED IN THESE PLANS AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR UNTIL THE PROJECT IS COMPLETED AND THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH MAINTENANCE AND/OR REPLACEMENT OF EROSION CONTROL MEASURES AS DETERMINED BY THE ENGINEER UNTIL PROJECT IS ACCEPTED OR THE EROSION CONTROL MEASURES ARE NO LONGER NEEDED.
8. IN ORDER TO PREVENT SILT OR SEDIMENT FROM ENTERING ADJACENT PROPERTIES, APPROPRIATE BMP'S SHALL BE IMPLEMENTED WITHIN THE PROJECT.
9. ANY MUD TRACKED ONTO ADJACENT PAVED AREAS OR STREETS SHALL BE REMOVED AT THE END OF EACH WORK DAY.
10. PER THE REQUIREMENTS OF THE NOI/SWPPP, BMP INSPECTION REPORTS SHALL BE COMPLETED BY THE CONTRACTOR WEEKLY AND WITHIN 24 HOURS AFTER A 1/2" RAIN. REPORTS SHALL BE KEPT WITH THE SWPPP ON SITE.
11. LANDSCAPING ITEMS INCLUDING FENCE PROTECTION ARE SHOWN ON THIS PLAN FOR VISUAL PURPOSES ONLY. REF: LANDSCAPING PLANS FOR ALL TREE PRESERVATION, PROTECTION AND REMOVAL DESIGN ITEMS.
12. CONTRACTOR SHALL PROVIDE A SIGN NEAR THE ENTRANCE WITH THE FOLLOWING INFORMATION:

A. CONTACT NAME AND INFORMATION
B. A COPY OF THE NOI
C. LOCATION OF SWPPP

LEGEND

- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING TV LINE
- EXISTING LIGHT POLE
- EXISTING GRADES
- PROPOSED GRADES
- SILT FENCE
- BACK OF CURB PROTECTION
- CONSTRUCTION ENTRANCE
- FLOW PATH
- AREA INLET PROTECTION
- CURB INLET PROTECTION

N

SCALE: 1"=20'

0 20 40

WARNING

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JGR
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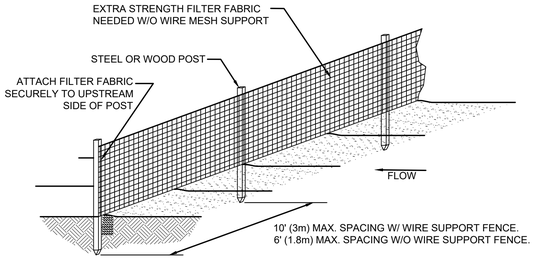
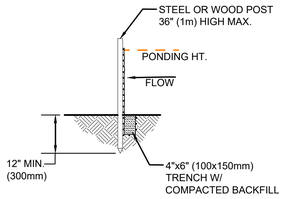
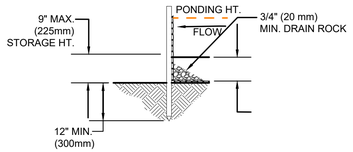




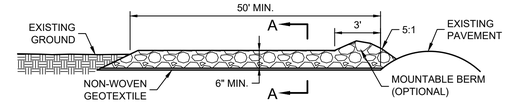
TRENCH DETAIL



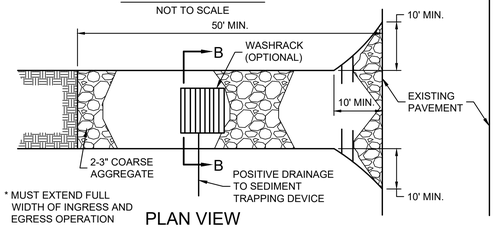
INSTALLATION WITHOUT TRENCHING

NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

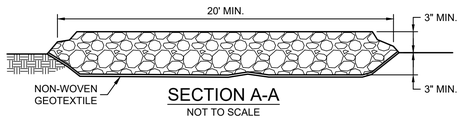
1 SILT FENCE DETAIL
SCALE: NTS



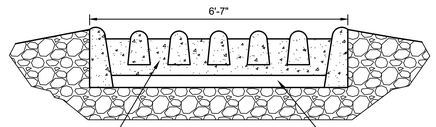
SIDE ELEVATION
NOT TO SCALE



PLAN VIEW
NOT TO SCALE



SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

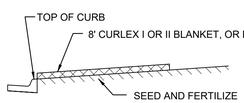
TEMPORARY CONSTRUCTION ENTRANCE PAD NOTES:

A) INSTALLATION:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS. IF POSSIBLE, LOCATE WHERE PERMANENT ROADS WILL EVENTUALLY BE CONSTRUCTED.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. IF SLOPES TOWARDS THE PUBLIC ROAD EXCEEDS 2%, CONSTRUCT A 6 TO 8-INCH HIGH RIDGE WITH 3H:1V SIDE SLOPES ACROSS THE FOUNDATION APPROXIMATELY 12 FEET FROM THE EDGE OF THE PUBLIC ROAD TO DIVERT RUNOFF AWAY FROM IT.
4. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHED ALONG PUBLIC ROADS.
5. PLACE STONE TO DIMENSIONS AND GRADE AS SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
6. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE.
7. IF WET CONDITIONS ARE ANTICIPATED, PLACE GEOTEXTILE FABRIC ON THE GRADED FOUNDATION TO IMPROVE STABILITY.

B) TROUBLE SHOOTING:
1. CONSULT WITH A QUALIFIED DESIGN PROFESSIONAL IF ANY OF THE FOLLOWING OCCUR:
   a. INADEQUATE RUNOFF CONTROL TO THE EXTENT THAT SEDIMENT WASHES ONTO PUBLIC ROAD - INSTALL DIVERSIONS OR OTHER RUNOFF CONTROL MEASURES.
   b. SMALL STONE, THIN PAD, OR ABSENCE OF GEOTEXTILE FABRIC RESULTS IN RUTS AND MUDDY CONDITIONS AS STONE IS PRESSED INTO SOIL - INCREASE STONE SIZE OR PAD THICKNESS OR ADD GEOTEXTILE FABRIC.
   c. PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC - EXTEND PAD BEYOND THE MINIMUM 50-FOOT LENGTH AS NECESSARY.

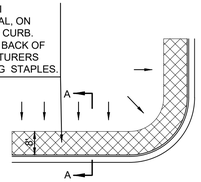
C) INSPECTION AND MAINTENANCE:
1. INSPECT STONE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER 1/2-INCH OR GREATER STORM EVENTS.
2. RESHAPE PAD AS NEEDED FOR PROPER DRAINAGE AND RUNOFF CONTROL.
3. TOPDRESS WITH CLEAN 2 AND 3-INCH STONE AS NEEDED.
4. IMMEDIATELY REMOVE MUD OR SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROAD. REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.
5. REMOVE ALL TEMPORARY ROAD MATERIALS FROM AREAS WHERE PERMANENT VEGETATION WILL BE ESTABLISHED.

2 TEMPORARY CONSTRUCTION ENTRANCE
SCALE: NTS



SECTION A-A

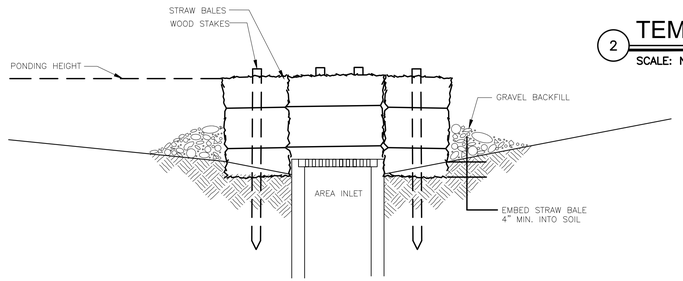
INSTALL 8' WIDE CURLEX I OR II EXCELSIOR BLANKET, OR EQUAL, ON PREPARED SURFACE BACK OF CURB. EDGE OF BLANKET WILL BE AT BACK OF CURB. INSTALL PER MANUFACTURERS RECOMMENDATION, INCLUDING STAPLES.



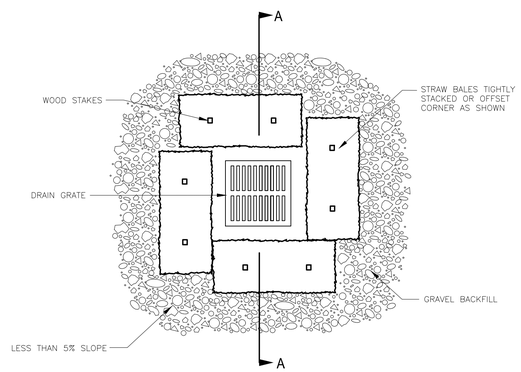
GENERAL NOTES

1. EXCELSIOR MAT TO BE INSTALLED WHEN SOD IS NOT SPECIFIED ON PROJECT.
2. EXCELSIOR BLANKET TO BE INSTALLED OVER SEED AND FERTILIZER
3. AFTER INSTALLATION OF EXCELSIOR BLANKET, AT LOCATIONS WHERE CONCENTRATED FLOW CARRIES SEDIMENT OVER THE CURB AND INTO THE GUTTER, SUPPLEMENTAL EROSION CONTROL DEVICES WILL BE INSTALLED BY THE CONTRACTOR AS NEEDED, TO FIX THE PROBLEM.

3 BACK OF CURB PROTECTION DETAIL
SCALE: NTS



SECTION A-A



4 AREA INLET PROTECTION
SCALE: NTS

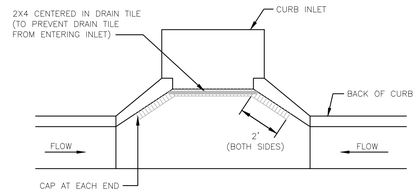
MATERIAL SPECIFICATION
BALE AREA INLET BARRIERS SHOULD BE CONSTRUCTED OF WHEAT STRAW, OAT STRAW, PRAIRIE HAY, OR BONEGRASS HAY THAT IS FREE OF WEEDS DECLARED NOXLOUS BY THE KANSAS STATE BOARD OF AGRICULTURE. THE STAKES USED TO ANCHOR THE BALES SHOULD BE A HARDWOOD MATERIAL WITH THE FOLLOWING MINIMUM DIMENSIONS: 2" SQUARE (NOMINAL) BY 4' LONG.

PLACEMENT
BALE AREA INLET BARRIERS SHOULD BE PLACED DIRECTLY AROUND THE PERIMETER OF A DROP INLET. WHEN A BALE AREA INLET BARRIER IS LOCATED NEAR AN INLET THAT HAS STEEP APPROACH SLOPES, THE STORAGE CAPACITY BEHIND THE BARRIER IS DRASTICALLY REDUCED. TIMELY REMOVAL OF SEDIMENT MUST OCCUR FOR A BARRIER TO OPERATE PROPERLY IN THIS LOCATION.

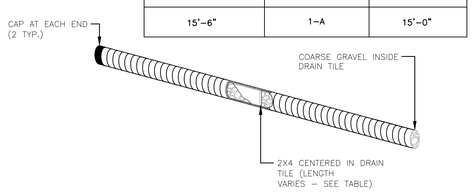
PROPER INSTALLATION METHOD
EXCAVATE A TRENCH AROUND THE PERIMETER OF THE AREA INLET THAT IS AT LEAST 4" DEEP BY A BALE'S WIDTH WIDE. PLACE THE BALES IN THE TRENCH MAKING SURE THAT THEY ARE BUTTED TIGHTLY. SOME BALES MAY NEED TO BE SHORTENED TO FIT INTO THE TRENCH AROUND THE AREA INLET. TWO STAKES SHOULD BE DRIVEN THROUGH EACH BALE, APPROXIMATELY 6" TO 8" FROM THE BALE ENDS.
STAKES SHOULD BE DRIVEN AT LEAST 12" INTO THE GROUND.
ONCE ALL THE BALES HAVE BEEN INSTALLED AND ANCHORED, PLACE THE EXCAVATED SOIL AGAINST THE RECEIVING SIDE OF THE BARRIER AND COMPACT IT. THE COMPACTED SOIL SHOULD BE NO MORE THAN 3" TO 4" DEEP.
NOTE: WHEN A BALE AREA INLET BARRIER IS PLACED IN A SHALLOW MEDIAN DITCH, MAKE SURE THAT THEY TOP OF THE BARRIER IS NOT HIGHER THAN THE PAVED ROAD. IN THIS CONFIGURATION, WATER MAY SPREAD ONTO THE ROADWAY CAUSING HAZARDOUS CONDITIONS.

LIST OF COMMON PLACEMENT INSTALLATION MISTAKES TO AVOID
BALES SHOULD BE PLACED DIRECTLY AGAINST THE PERIMETER OF THE AREA INLET. THIS ALLOWS OVERTOPPING WATER TO FLOW DIRECTLY INTO THE INLET INSTEAD OF ONTO NEARBY SOIL CAUSING SCOUR. BALE AREA INLET BARRIERS MUST BE DUG INTO THE GROUND. BALES AT GROUND LEVEL DO NOT WORK BECAUSE THEY ALLOW WATER TO FLOW UNDER THE BARRIER.

INSPECTION AND MAINTENANCE
BALE AREA INLET BARRIERS SHOULD BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL 1/2" OR MORE. THE FOLLOWING IS A LIST OF QUESTIONS THAT SHOULD BE ADDRESSED.
DOES WATER FLOW UNDER THE AREA INLET BARRIER?
DOES WATER FLOW THROUGH SPACES BETWEEN ABUTTING BALES?
ARE ANY BALES DISLODGED?
ARE BALES DECOMPOSING DUE TO AGE AND OR WATER DAMAGE?
DOES SEDIMENT NEED TO BE REMOVED FROM BEHIND THE AREA INLET BARRIER?



2X4 LENGTH	INLET TYPE	INLET OPENING
5'-6"	1-A	5'-0"
10'-6"	1-A	10'-0"
15'-6"	1-A	15'-0"



5 CURB INLET PROTECTION
SCALE: NTS

JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgrarchitects.com

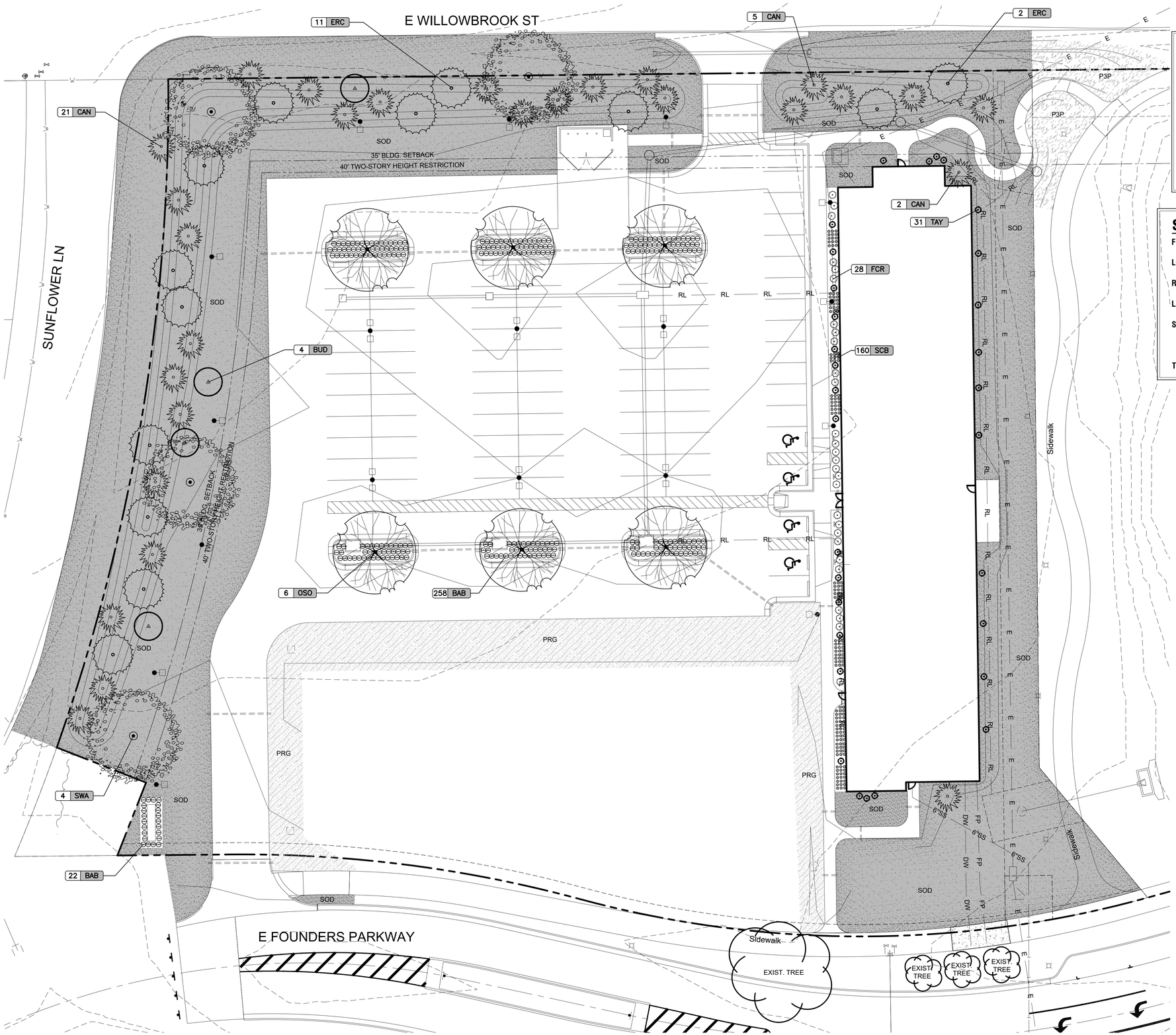
THE RESIDENCE AT HERITAGE WEST
NEW SENIOR-LIVING FACILITY
ANDOVER, KANSAS

SCOTT PRESTON EVANS LICENSED 24425 KANSAS PROFESSIONAL ENGINEER 1/17/25

REVISION:

DATE: 1-17-2025
JOB: 24-3385
SHEET NO.:

C5.51



LANDSCAPE REQUIREMENTS

THIS PROJECT IS PART OF THE HERITAGE MIXED-USE SECOND PLANNED UNIT DEVELOPMENT. THE LANDSCAPING PORTION OF THE DEVELOPMENT GUIDELINES STATES THE FOLLOWING:

DUE TO THE URBAN DESIGN OF THIS MIXED-USE PUD, THE LANDSCAPING MAY NOT CONFORM TO ALL ASPECTS OF THE REQUIREMENTS OF THE UDM PART 3.3.4. PARTICULARLY 3.4.7 LANDSCAPING IN STREET YARDS. THE SITE PLAN REVIEW COMMITTEE SHALL USE THE PUD CONCEPT PLAN AND DETAILS THEREIN TO FOCUS DIRECTION AND GOALS IN APPROVING SITE PLANS.

LANDSCAPING CONSISTING OF A 3-FOOT BERM AND 5-FOOT CEDAR TREES PLANTED EVERY 15 FEET SHALL BE REQUIRED ALONG WILLOWBROOK STREET, 400 FEET EAST OF SUNFLOWER LANE AND ALONG SUNFLOWER LANE, 250 FEET SOUTH OF WILLOWBROOK STREET.

STREET YARD CALCULATIONS

FRONTAGE OF SITE = 440'+288'+365'=1,093'-345'(AVE. DEPTH)=748'

LOT DEPTH FACTOR = 15 FEET

REQUIRED LANDSCAPED STREET YARD = 748 x 15 = 11,220 SQ. FT.

LANDSCAPED STREET YARD PROVIDED = 17,695 SQ. FT.

STREET YARD TREES REQUIRED = 3 TREES PER 1,000 SQ. FT OF REQUIRED STREET YARD
11.220 x 3 =33.66 OR 34 TREES

TREES PROVIDED = (48) TREES = 48 TREE EQUIVALENT

LEGEND

- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING TV LINE
- EXISTING LIGHT POLE
- EXISTING GRADES
- PROPOSED GRADES
- PROPOSED GRADING MINOR
- PROPOSED GRADING MAJOR
- GARD'N WISE FESCUE SOD
- PERENNIAL RYEGRASS SEED
- PRAIRIE 3 PLUS SEED

N

SCALE: 1"=20'
0 20 40

JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgrarchitects.com

THE RESIDENCE AT HERITAGE WEST

NEW SENIOR-LIVING FACILITY

ANDOVER, KANSAS

DUSTIN M. LOHMANN
LANDSCAPE ARCHITECT
881
KANSAS
1.17.25

REVISION:	
DATE:	1–17–2025
JOB:	24–3385
SHEET NO.:	L1.00

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GENERAL LANDSCAPE NOTES

1. CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH ALL APPLICABLE SPECIFICATIONS RELATED TO THE LANDSCAPE AND IRRIGATION.

2. LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIA.L. UTILITIES CAN BE FLAGGED BY CALLING 811, OR 1-800-344-7233, OR ONLINE AT www.kansasonecall.com. DAMAGE TO UTILITIES SHALL BE AVOIDED DURING THE COURSE OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.

3. LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE MASS GRADING CONTRACTOR TO INSURE THEY THOROUGHLY RIP AND ALLEVIATED ALL COMPACTED SOILS FROM THEIR HAULING AND PLACEMENT OPERATIONS.

4. ALL WATER REQUIRED FOR LANDSCAPE OPERATIONS AND FOR ESTABLISHING LANDSCAPE ON THIS SITE WILL BE PROVIDED BY THE OWNER FROM ON-SITE SOURCES AND SUPPLIED TO THE LANDSCAPE CONTRACTOR AT NO CHARGE.

5. PLANTING DATES FOR PLANT MATERIAL SHALL BE DURING THE MONTHS BETWEEN FEB. 15TH AND MAY 31ST OR SEPT. 15TH AND DEC. 15. PLANTING SHALL ONLY BE CONDUCTED WHEN THE GROUND IS NOT FROZEN, SNOW-COVERED, OR IN AN OTHERWISE UNSUITABLE CONDITION FOR PLANTING. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE.

6. MULCHED LANDSCAPE BED EDGES SHALL BE LINED WITH PRO-STEEL EDGING (OR APPROVED EQUAL).

7. MULCH ADJACENT TO BUILDINGS SHALL BE FOUR (4) INCHES LOWER THAN BUILDING FINISH FLOOR ELEVATION.

8. ALL SHRUB/PERENNIAL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TREFLAN OR EQUAL. APPLY AS PER MANUFACTURER'S RECOMMENDATION. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING AND MULCHING WITHIN THESE AREAS ARE COMPLETE. DO NO DISTURB AREAS AFTER APPLICATION. WATER IN AS DIRECTED.

9. INSTALL 3" MIN. DEPTH FINE-SHREDDED, DARK HARDWOOD MULCH IN ALL PLANTING BED AREAS AND WITHIN A 4' DIAMETER CIRCLE AROUND ALL TREES PLANTED IN LAWN AREAS. PULL MULCH AWAY FROM TREE TRUNKS WITHIN 3" OF TRUNK.

10. IF POSSIBLE, BASED ON TIME OF YEAR SITE IS READY FOR LANDSCAPING, PLANT TREES PRIOR TO ROUTING/INSTALLING IRRIGATION LINES AND SUSTAIN TEMPORARILY BY WATERING WITH IRRI-"GATOR" SLOW DRIP IRRIGATION BAGS OR BY HAND WATERING. FOLLOW TREE PLANTING WITH INSTALLATION OF IRRIGATION SYSTEM, THEN BY SODDING AND SEEDING (IF APPLICABLE).

11. FESCUE SOD SHALL BE HARVESTED & PLACED BETWEEN THE DATES OF APRIL 1ST AND JUNE 15TH UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WATER ALL SOD UNTIL LANDSCAPE JOB IS COMPLETE.

12. AREAS DENOTED AS 'SOD' SHALL BE PLANTED WITH THE FOLLOWING GRASS TYPE:
SOD:
GARD'N WISE FESCUE/BLUE, OBTAINABLE FROM CRANMER GRASS FARM, INC., 6121 N. 119TH, MAIZE, KANSAS 67101, PH# (316) 722-7230.

13. ALL SOD AREAS SHALL BE INSTALLED AS FOLLOWS: AFTER FINAL GRADE IS ESTABLISHED AND ALL SOIL AREAS DRAIN AS INTENDED, AND ALL SURFACE IRREGULARITIES HAVE BEEN REMOVED, THOROUGHLY PREPARE SODBED BY TILLING TO A MINIMUM DEPTH OF 3" AND HARROWING. ROLL SOD FOLLOWING LAYING FOR GOOD SOD/SOIL CONTACT AND KEEP IN A MOIST (BUT NOT SATURATED) CONDITION FOR FIRST TWO WEEKS TO PROMOTE GOOD ROOTING. FERTILIZE WITH 1 LB. ACTUAL NITROGEN PER 1,000 S.F. AT TIME OF PLANTING.

14. ALL LANDSCAPE AND TURF AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN-SENSING DEVICE TO SHUT OFF THE SYSTEM DURING PERIODS OF ADEQUATE RAIN.

15. PLACEMENT OF IRRIGATION CONTROLLER SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.

16. COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTINGS SHALL BE IN PLACE OR STAKED BEFORE IRRIGATION LINE ROUTING BEGINS TO AVOID CONFLICTS. THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL IN ALL LAWN AREAS BEFORE SOD/SEED IS PLACED.

17. ALL PLANTS SHALL CONFORM TO ANSI Z60.1 FOR SIZE AND QUALITY STANDARDS.

18. LABEL EACH PLANT WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. DO NOT REMOVE UNTIL AFTER PROVISIONAL ACCEPTANCE.

19. SUBSTITUTION OF PLANT SPECIES FOR THOSE LISTED IN THE PLANT LIST IS NOT PERMISSIBLE. ONLY SIZE WILL BE CONSIDERED.

20. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL; FREE OF PEST AND DISEASES. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST. ALL TREES SHALL BE STRAIGHT-TRUNKED, OR OF TYPICAL FORM TO THE SPECIES, FULL-HEADED AND MEET THE REQUIREMENTS AS SPECIFIED. ALL TREES MUST BE STAKED.

21. STAKES AND GUYING SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.

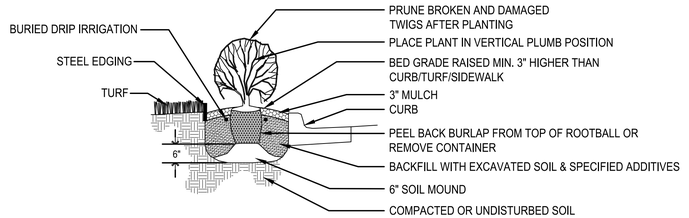
22. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY.

23. ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING INITIAL ACCEPTANCE. DEAD OR DEFICIENT PLANTINGS SHALL BE ACCEPTABLY REPLACED, IN PROPER PLANTING SEASON, ONE TIME AT NO COST TO THE OWNER. SOD AREAS MAY BE FINAL ACCEPTED AT TIME OF COMPLETION OF ESTABLISHMENT WITH NO FURTHER GUARANTEE REQUIRED.

24. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, (INCLUDING WATERING AND MOWING), SOD AREAS UNTIL ACCEPTANCE OF THESE AREAS. WHEN READY, THE LANDSCAPE CONTRACTOR SHALL REQUEST INSPECTION OF ESTABLISHED SODDED AREAS BY THE OWNER'S REPRESENTATIVE.

25. TOPSOIL FOR ALL LANDSCAPE BEDS AND PARKING ISLANDS SHALL BE A MINIMUM OF EIGHTEEN INCHES (18") DEPTH.

PLANT SCHEDULE					
CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	
DECIDUOUS TREES					
OSO	6	OSAGE ORANGE	MACLURA POMIFERA	2" CAL. / B&B	
SWA	4	SWAMP WHITE OAK	QUERCUS BICOLOR	3" CAL. / B&B	
EVERGREEN TREES					
CAN	28	CANAERTI JUNIPER	JUNIPERUS VIRGINIANA 'CANAERTII'	7` - 8` MIN. HT.	
ERC	13	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	7` - 8` MIN. HT.	
TAY	31	TAYLOR JUNIPER	JUNIPERUS VIRGINIANA 'TAYLOR'	7` - 8` MIN. HT.	
ORNAMENTAL TREES					
BUD	4	EASTERN REDBUD	CERCIS CANADENSIS	2" CAL. / B&B	
SHRUBS					
FCR	28	FLOWER CARPET® PINK SUPREME GROUNDCOVER ROSE	ROSA X 'NOA168098F'	#1 CONT.	
SCB	160	SUFFRUTICOSA COMMON BOXWOOD	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	#1 CONT.	
ORNAMENTAL GRASSES/PERENNIALS					
BAB	280	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	#2 CONT.	
CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING
SOD/SEED					
PSP	1,826 SF	PRAIRIE 3 PLUS		SEED	
PRG	7,654 SF	PERENNIAL RYEGRASS		SEED	
SOD	51,256 SF	FESCUE: GARD'N WISE 'FES/BLUE MIXTURE'		SOD	



SHRUB PLANTING DETAIL
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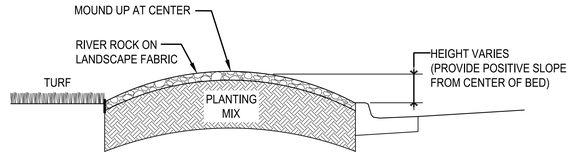
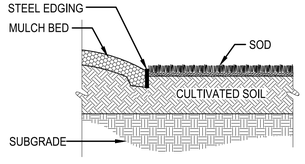
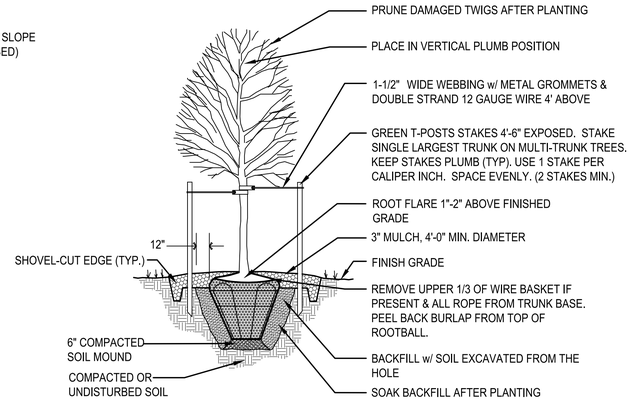


TYPICAL PLANTING BED DIAGRAM
NOT TO SCALE



BED EDGING AT TURF DETAIL
NOT TO SCALE



TREE PLANTING IN TURF AREA DETAIL
NOT TO SCALE

JonesGillamRenz
730 N. Ninth 1881 Main Street, Suite 301
Salina, KS 67401 Kansas City, MO 64108
785.827.0386 jgr@jgrarchitects.com

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