SITE PLAN FOR THE RESIDENCE AT VETERAN'S PARK 1515 W PLEASANT ST CITY OF KNOXVILLE, MARION COUNTY, IOWA

OWNER CITY OF KNOXVILLE 305 3RD STREET KNOXVILLE, IA 50138 NATHAN PARCH 641-828-0550

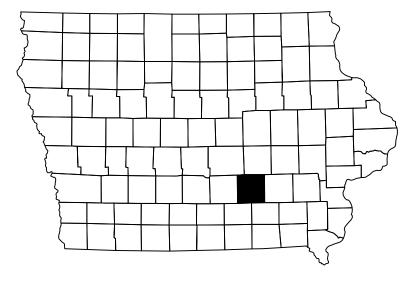
NPARCH@KNOXVILLEIA.GOV

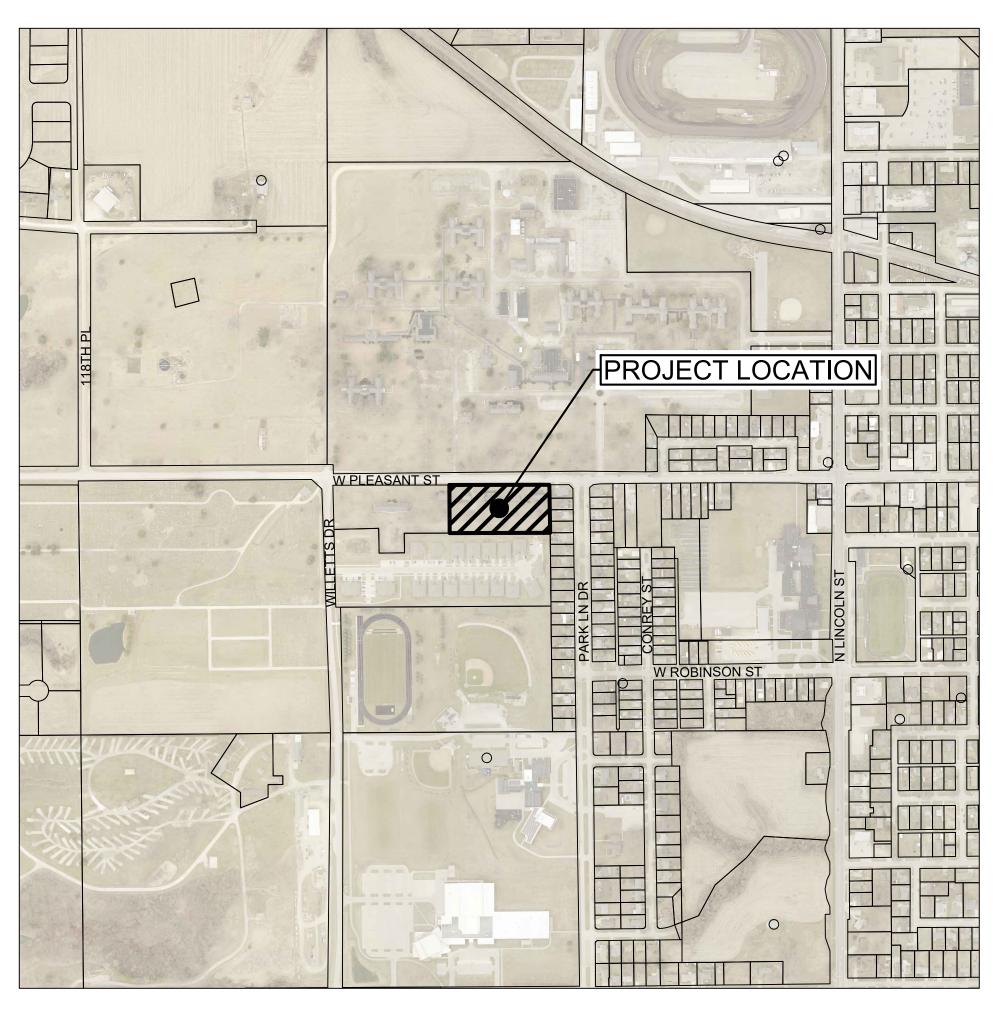
ARCHITECT / APPLICANT

JONES GILLAM RENZ ARCHITECTS 730 N 9TH ST SALINA, KS 67401 MAGGIE GILLAM 785-827-0386 MGILLAM@JGRARCHITECTS.COM

ENGINEER

SNYDER & ASSOCIATES, INC. 2727 SW SNYDER BLVD. ANKENY, IA 50023 JUSTIN STROM, P.E. 319-330-0303 JSTROM@SNYDER-ASSOCIATES.COM





SCALE: 1" = 500'

VICINITY MAP

Sheet List Table

C100 TITLE SHEET C101 PROJECT INFORMATION C200 DEMOLITION PLAN

C300 DIMENSION PLAN

C400 GRADING AND EROSION CONTROL PLAN

C500 UTILITY PLAN

C600 PLANTING PLAN

ROFESSIONAL	I hereby certify that this engine was prepared by me or under supervision and that I am a du Professional Engineer under th State of Iowa.	my direct personal
JUSTIN F. 活為 STROM 易	Justin F. Strom, P.E.	Date
	License Number P24140)
P24140	My License Renewal Date is D	ecember 31, 2024)
P24140	Pages or sheets covered by th	is seal:

		THE RESIDENCE AT VETERAN'S PARK				
	-					
₀: et	_			MARK	REVISION	DATE BY
		ONEEI		Engineer: KS	Checked By: JFS	Scale: 1" = 500'
	- '			Technician: KS	Date: MM-DD-YYYY	T-R-S: TTN-RRW-SS
983.01 1 0	E R res	SNYDER & ASSOCIATES, INC. DIRENT, ANKENY,	2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-964-2020 www.snyder-associates.com	Project No: 124.0983.01		Sheet C100

LEGEND

FEATURES	FOUND	SET
Section Corner 1/2" Rebar, Cap # 11579		
(Unless Otherwise Noted)	_	-
ROW Marker ROW Rail	Ē	
Control Point	OCP	
Bench Mark Platted Distance	P	
Measured Bearing & Distance	M	
Recorded As	R	
Deed Distance Calculated Distance	D C	
Minimum Protection Elevation	MPE	
Centerline Section Line		
1/4 Section Line		
1/4 1/4 Section Line Easement Line		
FEATURES	EXISTING	PROPOSED
Spot Elevation Contour Elevation	X 1225.25	X 1225.25
Fence (Barbed, Field, Hog)	X	X
Fence (Chain Link) Fence (Wood)	//	//
Fence (Silt)	0	
Tree Line	A	M R
Tree Stump		\bigcirc
Deciduous Tree \\ Shrub		
Coniferous Tree \\ Shrub		(+)+)
Communication	C(*)	c
Overhead Communication		——————————————————————————————————————
Fiber Optic Underground Electric	—— E(*) —— ——	——— E ———
Overhead Electric	—— OE(*) —— ——	OE
Gas Main with Size High Pressure Gas Main with Size	G(*)	——— G ——— ——— НРС ———
Water Main with Size	W(*)	——— w ———
Sanitary Sewer with Size Duct Bank	S(*) DUCT(*)	S
Test Hole Location for SUE w/ID	Ó	
(*) Denotes the survey quality serv	vice level for utilities	
Sanitary Manhole	\oslash	0
Storm Sewer with Size	ST(*)	
Storm Manhole Single Storm Sewer Intake	\bigcirc	
Double Storm Sewer Intake		
Fire Hydrant Fire Hydrant on Building	Q Ç	A
Water Main Valve		ц, х х
Water Service Valve Well	⊗ ⊛	() ()
Utility Pole		₩ —
Guy Anchor Utility Pole with Light	$ \uparrow \\ \bigcirc \neg \not \leftarrow $	ዮ ው ~ፋ
Utility Pole with Transformer		
Street Light	$\square \leftarrow$	□- ≪ ¤
Yard Light Electric Box	X EB	
Electric Transformer	E	E
Traffic Sign Communication Pedestal	<u> </u>	
Communication Manhole	Ô	Ô
Communication Handhole Fiber Optic Manhole		C ©
Fiber Optic Handhole	FO	FO
Gas Valve Gas Manhole	₽G⊲ ©	r¢⊲ ©
Gas Apparatus	G	G
Fence Post or Guard Post Underground Storage Tank	● (UST)	•
Above Ground Storage Tank	(AST)	
Sign Satellite Dish	<u> </u>	<u> </u>
Mailbox	Q ●	₽ ●
Sprinkler Head Irrigation Control Valve	+ ⋈ICV	+ ⋈ICV

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.

QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.

QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

SITE PLAN GENERAL NOTES

- NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTR ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NEC DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF AL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY IT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXP
- CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS S 2. CONFORM TO THE URBAN STANDARD SPECIFICATIONS FOR PUE IMPROVEMENTS AND THE SOILS REPORTS PREPARED BY OTHER
- 3. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FRO CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
- 4. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE W REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFF CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIE OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.
- 5. NOTIFY OWNER, ENGINEER, KNOXVILLE WATER WORKS, AND CI KNOXVILLE AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. AL CONNECTIONS TO AND INSTALLATIONS OF PUBLIC UTILITIES ANI ROADWAY IMPROVEMENTS SHALL BE INSPECTED BY CITY OF KN DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR NOTIFICATIONS.
- CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROG 6. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAX DENSITY.
- 7. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY EST AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVER
- 8. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.
- DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF 9. ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIG DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHA CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE T REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
- 10. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONS TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT APPROVED OFF-SITE WASTE SITE.
- 11. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL ARE BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
- 12. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNL OTHERWISE NOTED.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND D FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CA BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.
- 14. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTENANCES GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ER CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL AL RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONT MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET CONTRACTOR. A GRADING PERMIT IS REQUIRED FOR THIS PRO
- 16. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SE PROVIDER, POLK COUNTY, AND THE OWNER PRIOR TO CONSTR
- 17. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIL MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO I AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.

SURVEY AND UTILITY GENERAL NOTES

- 1. BUILDING LINES AND CORNERS ARE FOR USE IN PREPARING CI PLAN DOCUMENTS. BUILDING CORNERS AND BUILDING LINES SI BE SPECIFICALLY VERIFIED, AS NECESSARY, PRIOR TO DESIGN CONSTRUCTION OF ANY PROPOSED EXPANSION OR CONNECTION BUILDING COMPONENTS.
- 2. FOR CLARITY PURPOSES, SURVEY SPOT ELEVATIONS ARE NOT ON THIS SURVEY, BUT ARE CONTAINED WITHIN THE DIGITAL CAD
- 3. FOR THE PURPOSE OF THIS SURVEY, STORM SEWER, SANITARY AND WATER MAIN LINES ARE ASSUMED TO FOLLOW A STRAIGHT FROM STRUCTURE TO STRUCTURE.
- 4. UTILITY SERVICE LINES TO BUILDINGS ARE APPROXIMATE ONLY. INTERNAL BUILDING INVESTIGATION, EXCAVATION AND/OR SUBS LOCATING/DESIGNATING WOULD NEED TO BE PERFORMED TO DETERMINE THE LOCATION OF SERVICES ENTERING THE BUILDI
- 5. UNDERGROUND PIPE MATERIALS AND SIZES ARE BASED UPON EVIDENCE VIEWED FROM ACCESS MANHOLES/STRUCTURES. DU THE CONFIGURATION AND/OR CONSTRUCTION OF THE STRUCTU MAY BE DIFFICULT TO ACCURATELY DETERMINE THE PIPE MATEI AND/OR SIZE. THE SURVEYOR WILL USE THEIR JUDGMENT AND EXPERIENCE TO ATTEMPT TO DETERMINE, BUT COMPLETE ACCURACY CANNOT BE GUARANTEED.
- 6. BOUNDARY LINES SHOWN ON THE EXISTING SITE SURVEY ARE TO FACILITATE DESIGN OR CONCEPT NEEDS AND ENABLE CREATION OF SAID CONSTRUCTION DOCUMENTS. THESE LINES DO NOT CONSTITUTE A CERTIFIED BOUNDARY SURVEY AND MISSING MONUMENTS WILL NOT BE SET.

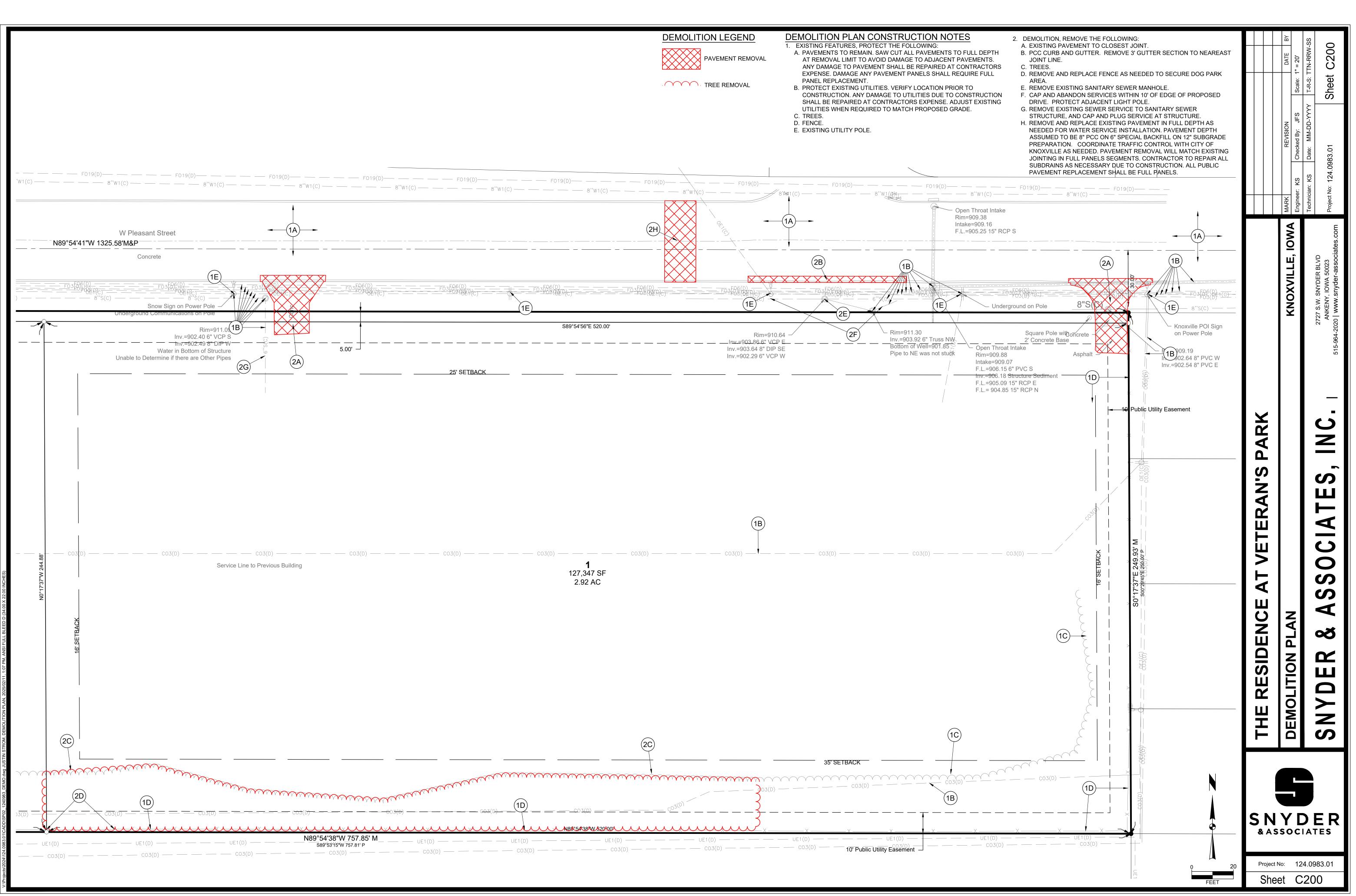
		COORDINATE S	YSTEM ZONE 9 (NEWTON) TN DERIVED - US SURVEY FEET	PROPERTY DESCRIPTION THE VETERANS DISTRICT PLAT 2 LOT 1
≺ ALL DT SHOWN ITEMS NOT D TO THE ∢PENSE.	CP203	CUT "X", NORTH NORTHWEST Q	=19416805.57 Z=903.37 IWEST CORNER OF STORM STRUCTURE IN UARTER OF INTERSECTION, NORTH SIDE C WN ON SURVEY)	
SHALL UBLIC IERS.	CP300	SET 1/2" REBAR WEST SIDE OF	=19416873.77 Z=900.04 8, RED PLASTIC CAP, ALONG PROPERTY LIN WILLETS DRIVE APPROXIMATELY 10' WEST AVEMENT. (AS SHOWN ON SURVEY)	
ROM E. WITH AFFIC	CP301	CUT "X" IN CON NORTH SIDE OF	=19417510.56 Z=911.61 CRETE, NORTH SIDE OF SIDEWALK ON F PLEASANT, SOUTH OF KNOXVILLE VET S SHOWN ON SURVEY)	BULK REGULATIONS FRONT SETBACK - 25' SIDE SETBACK - 16'
IES BE	CP302	CUT "X" ON BAC	=19418056.04 Z=909.27 CK OF CURB, NORTH SIDE OF PLEASNT, TERLINE OF ALLEY. (AS SHOWN ON SURVE	REAR YARD - 35' MAXIMUM HEIGHT - 45' MAXIMUM STORIES - 3 STORIES 'EY)
CITY OF ALL AND KNOXVILLE	CP303	SET 1/2" REBAR WEST EDGE OF	=19418015.10 Z=910.35 WITH RED PLASTIC CAP, +/-40' NORTH OF GARAGE, +/-40' WETS OF FENCE , DRNER OF SITE. (AS SHOWN ON SURVEY)	DUILDING/GLINLIAL USL
OGRESSES. AXIMUM			TUM OF 1988 (NAVD88 - GEOID12A) ET	PARKING
STIMATES ERN.	BM500		DRANT, NORTHWEST CORNER OF "T" OF NEW VA ROAD AND W PLEASANT	2 PARKING SPACES PER DWELLING UNIT. $1\frac{1}{2}$ SPACES PER DWELLING UNIT IF DEVELOPED AS AN ELDERLY HOUSING PROJECT. HERIN AN ELDERLY HOUSING PROJECT IS FOR THOSE RESIDENTS OVER 55 YEARS OF AGE.
ALL BE F THIS SITE	BM501		DRANT, NORTHEAST CORNER OF OF W PLEASANT STREET AND WILLETS SIDE OF ROAD.	48 UNITS 1.5 * 48 UNITS = 72 PARKING SPACES REQUIRED
SIGN. HANGES OR TO BE G FOR	DATE OF S MARCH 14, 2024			78 SPACES PROVIDED (INCLUDING 6 ADA) BASE SITE CALCULATIONS TOTAL AREA
O NSIDERED CT TO AN	UTILITY CONTAG	CT FOR MAPPING	FORMATION INFORMATION SHOWN AS RECEIVED FROM ST SYSTEM, TICKET NUMBER 552401638.	TOTAL AREA - 123,348 SF (2.92 AC) IMPERVIOUS - 54,899 SF (44.5%) BUILDING - 14,575 SF PAVEMENTS - 40,324 SF
AREAS TO SH	G1-GAS MAIN		ALLIANT ENERGY ALLIANT ENERGY FIELD ENGINEER 800-255-4268 LOCATE_IPL@ALLIANTENERGY.COM	OPEN SPACE - 72,449 SF (55.5%)
NRE NLESS	NO RESPONSE		U.S. CELLULAR RITA HOMME 360-749-2798	
DEBRIS CAUSED S TO FINAL	CO3-COMMUNIC FO3-FIBER OPTI		RITA.HOMME@USCELLULAR.COM WINDSTREAM ENTERPRISE CLEC LOCATE DESK 800-941-3430 WCI.CLEC.LOCATE@WINDSTREAM.COM	Α
EROSION ALSO BE NTROL	NO RESPONSE		IOWA HOSPITAL ASSOCIATION DAVE AUGSPURGER 515-725-4604 ICNOUTSIDEPLANTIOWAONECALL@IOWA	
NG AND T BY ROJECT. FELEPHONE	NO RESPONSE		KNOXVILLE COMMUNITY SCHOOLS CRAIG MOBLEY 641-842-6551 CRAIG.MOBLEY@KCSD.K12.IA.US	
SERVICE TRUCTION. TAIN EN TO BUILDING	W1-WATER MAII	N	KNOXVILLE WATER WORKS BRIAN BAILEY 641-828-0557 BRIAN@KNOXVILLEWATERWORKS.COM	Λ
0 0	UE-UNDERGROU OE-OVERHEAD		MIDAMERICAN ENERGY ELECTRIC ASHTON WAGNER 515-281-2989 MECDSMDESIGNLOCATES@MIDAMERICA	CAN.COM
	FO19-FIBER OP	ΓIC	MNA/BLUEBIRD JAMIE SCOTT 314-270-8738 JAMES.SCOTT@BLUEBIRDNETWORK.CO	OM
CIVIL SITE SHOULD GN FOR	FO6-FIBER OPTI	С	PELLA FIBER ROSS HILDEBRAND 641-628-2581 RHILDEBRAND@CITYOFPELLA.COM	
TION OF	NO RESPONSE		MEDIACOM L.L.C. CURT HODGES 515-669-3647 CHODGES@MEDIACOMCC.COM	
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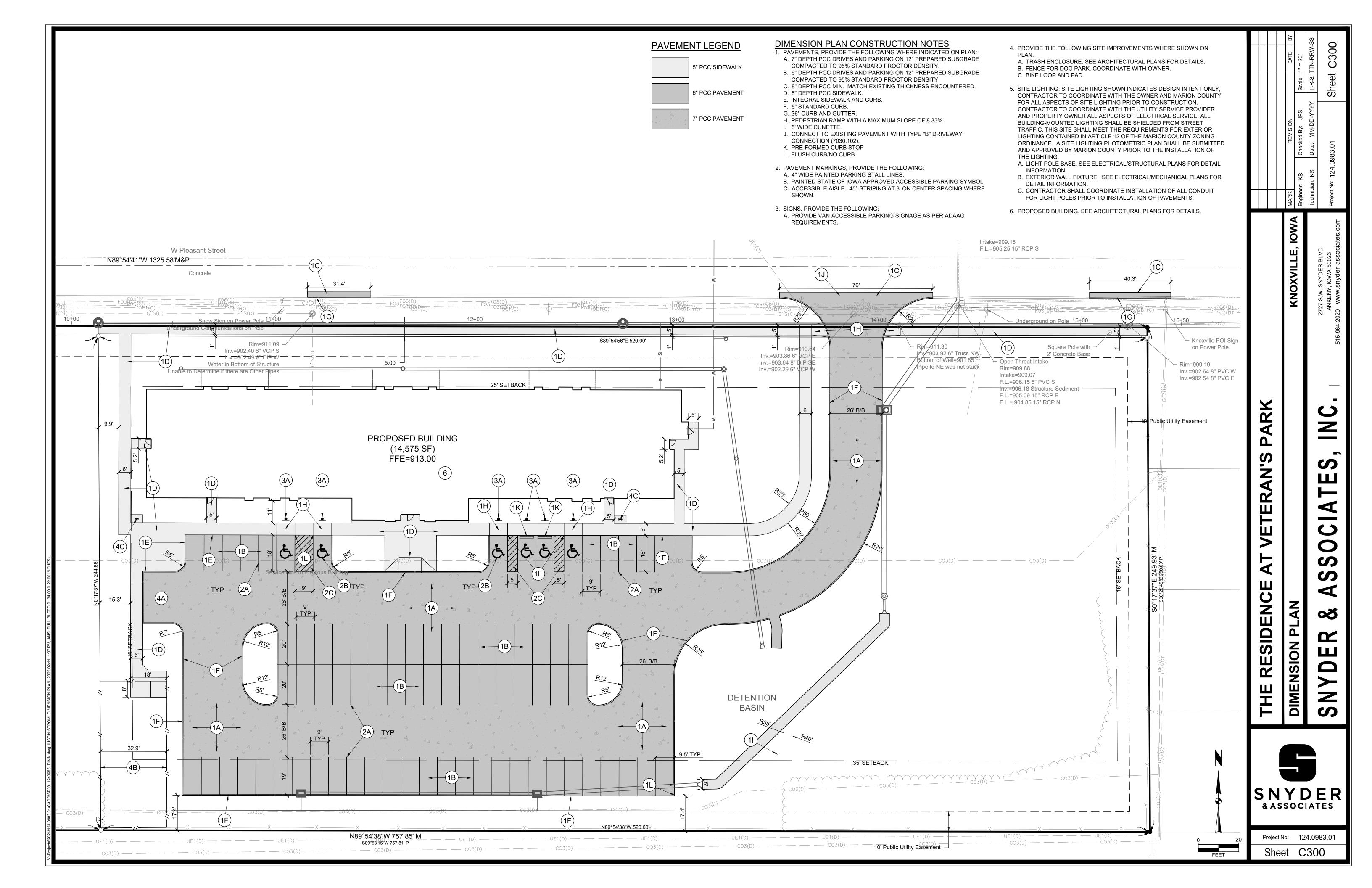
			BY	ν γ
A. POLL 1. C A IC P C E	LUTION PREVENTION AND EROSION PROTECTION DE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE WA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES ERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE ONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST ROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW R DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.		DATE DATE Scale: 1" = NONE	T-R-S: TTN-RRW-SS Sheet C101
E R IN T E	AMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / NGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER ESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, ICLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER. FURTHER, IF HE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE ARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR RIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND EDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.		REVISION Checked By: JFS	Date: MM-DD-ҮҮҮҮ 983.01
1. TH Fr (E R O	RM WATER DISCHARGE PERMIT HIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 OR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES ROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE ESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS F THE NPDES GENERAL PERMIT NO. 2 AS SPECIFIED IN THE CONTRACT OCUMENTS.		MARK Engineer: KS	Technician: KS Date: Project No: 124.0983.01
IN P IN M F	LL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, ICLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF JBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE ISPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND UST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. AILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF HE CLEAN WATER ACT AND THE CODE OF IOWA.		ILLE, IOWA	ER BLVD \ 50023 er-associates.com
S E D C T	"NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL TABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY ROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER OCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT OMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE HE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR UBMITTAL OF THE NOTICE OF DISCONTINUATION.		KNOXV	2727 S.W. SNYDE ANKENY, IOWA 5-964-2020 www.snyder
1. TH D R	UTION PREVENTION PLAN HE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE OCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD EFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO HE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.			515-964-
P C R C	HE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT RACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT OVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A ESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE ONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FROM HOSE SHOWN ON THE PLAN MAY BE REQUIRED.			_
	HE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT ONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.	ХX Х		NC
0	HE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS F THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE DLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:	PARK		Z
a	UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.	RAN'S I		ES,
b.	INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.	ERA		AT
C.	PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.	Ш		C
d	MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.	AT V	NOI	SSO
e.	INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.	ENCE	ORMATION	& A
f.	PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.	SID	Ц И Ц	ER
g	INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.	IE RE	PROJECT	SNYD
h.	RESPREAD A MINIMUM OF 6 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.	Ξ	PR	S
i.	STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, SOD, OR PAVEMENT IMMEDIATELY AS SOON AS POSSIBLE UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES IMMEDIATELY AFTER CONSTRUCTION ACTIVITY IS FINALLY COMPLETED OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WHICH WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.			
j.	COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.			DER IATES

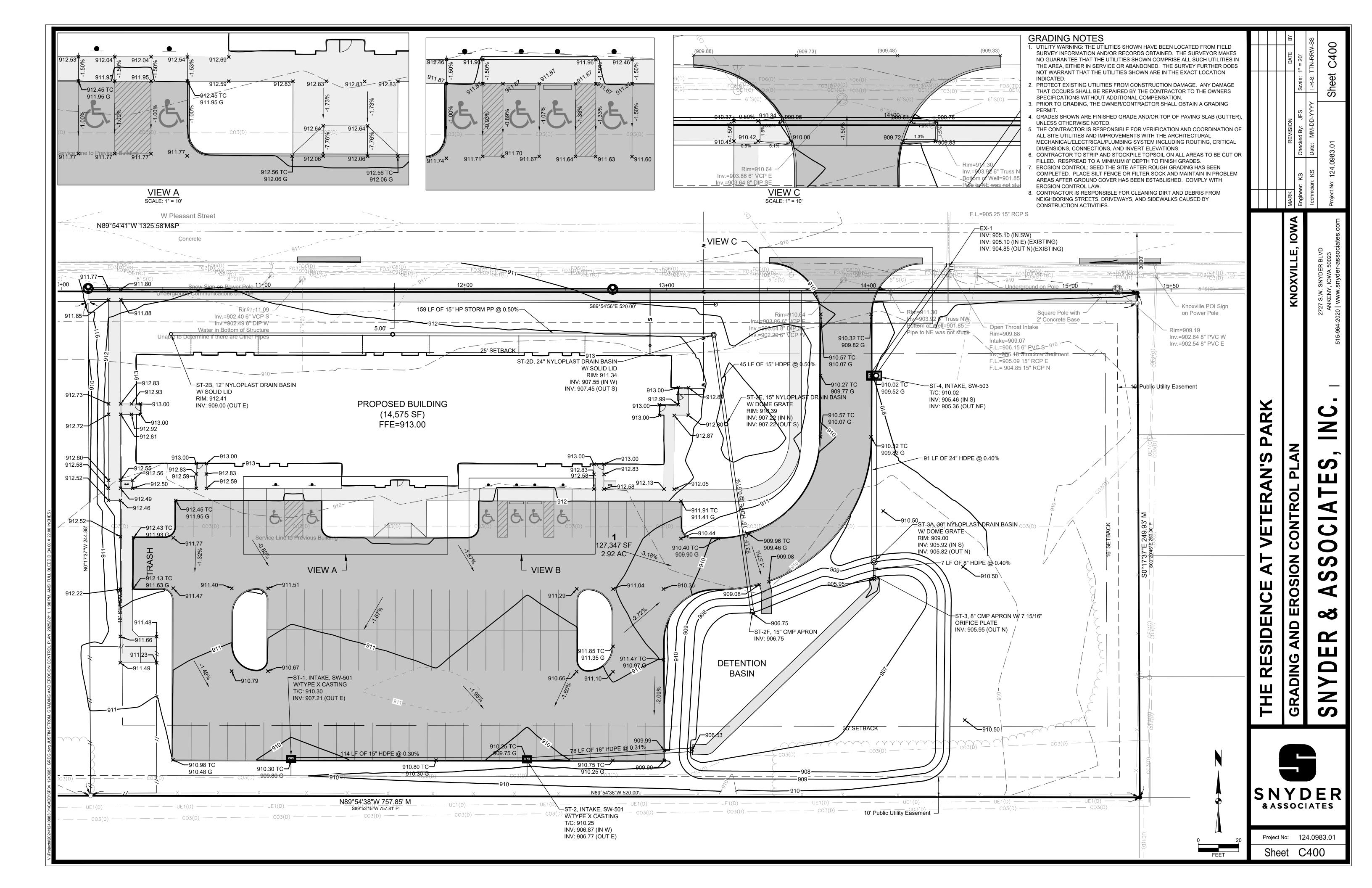
k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

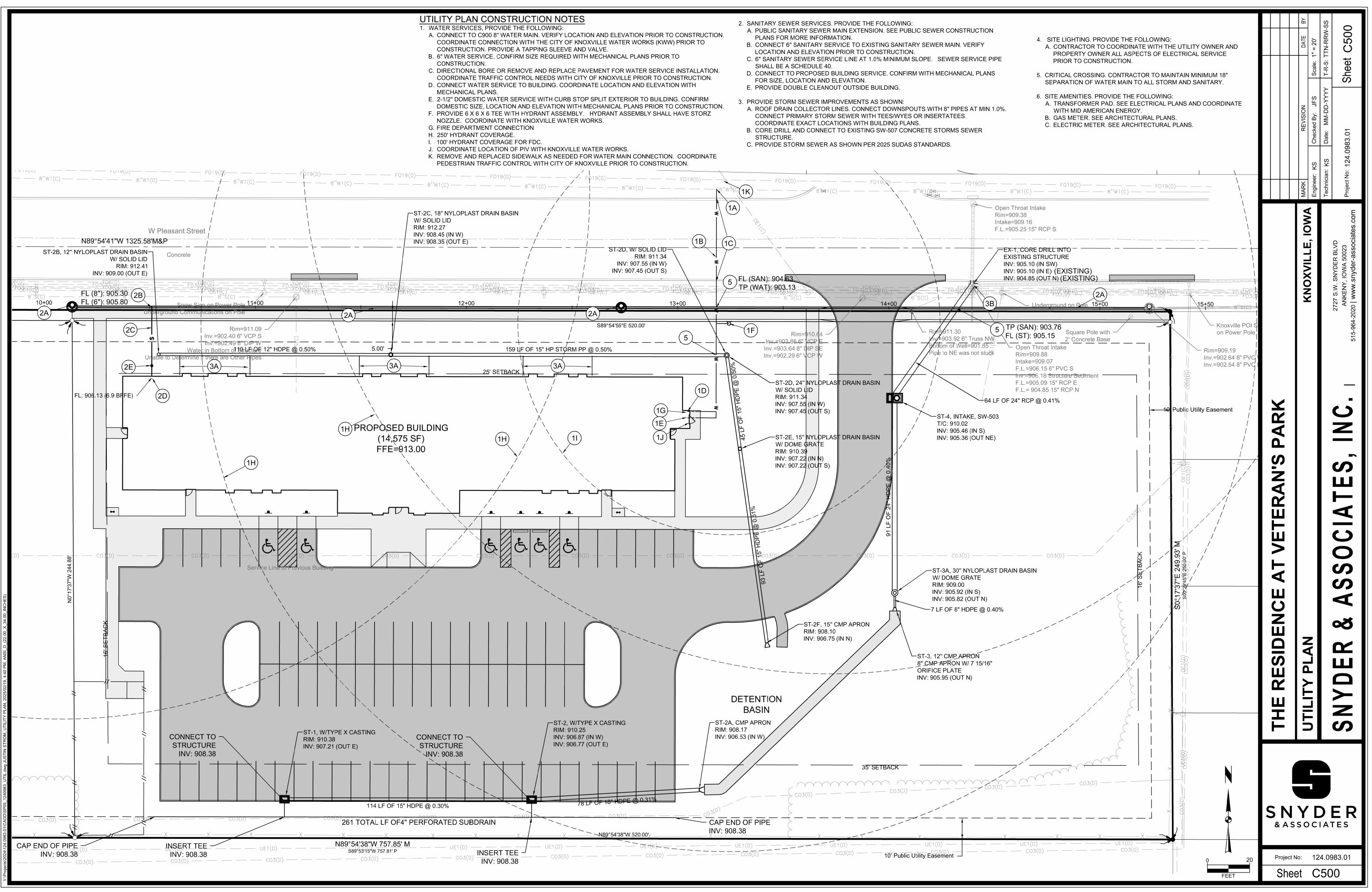
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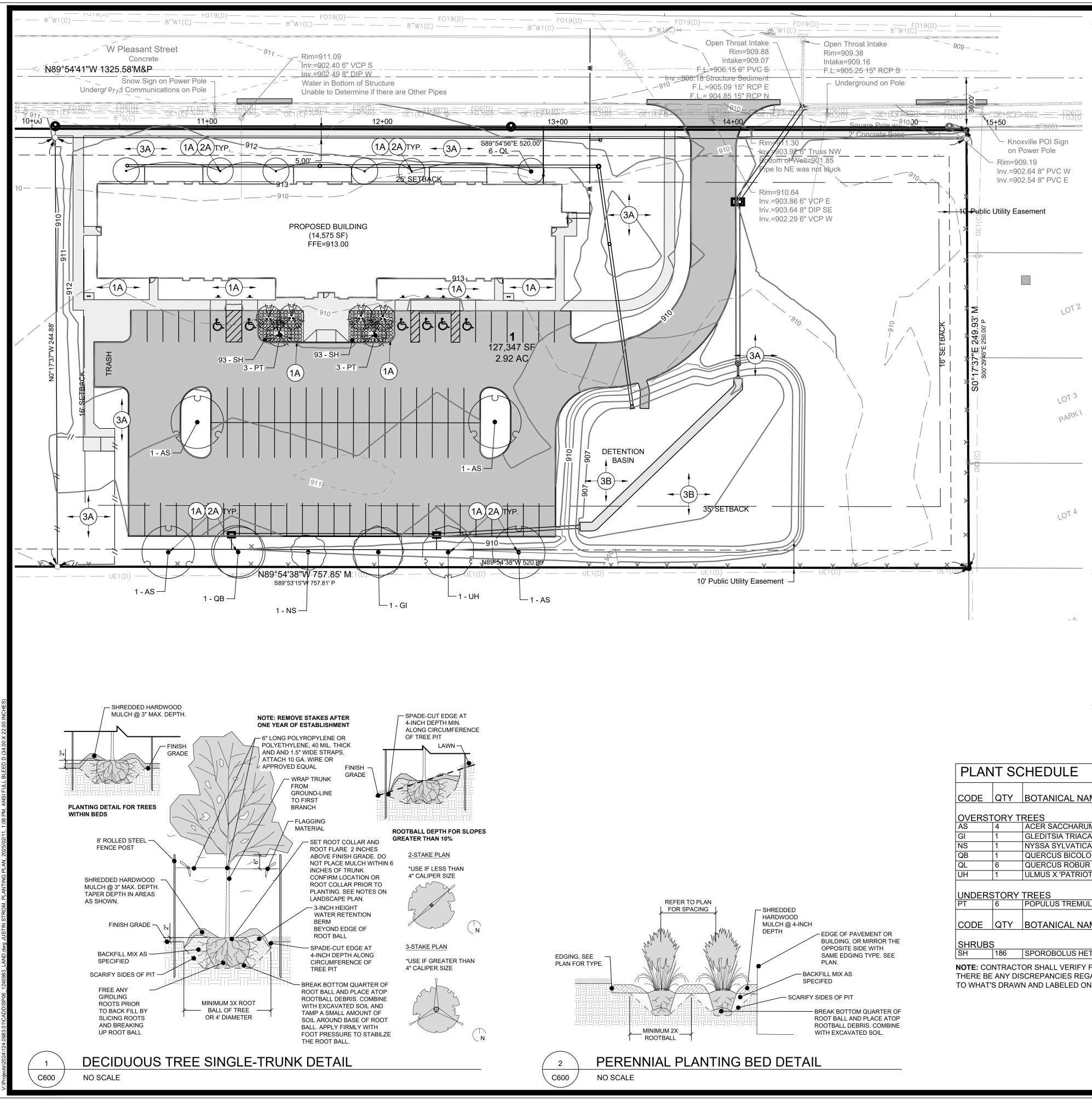
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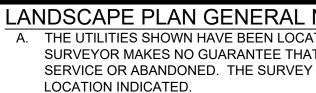












- B. NOTIFY UTILITY OWNERS PRIOR TO BEG DETERMINING EXISTENCE, EXACT LOCAT DURING CONSTRUCTION. ANY DAMAGE COORDINATE AND COOPERATE WITH UT
- C. ALL PLANT MATERIAL SHALL AT LEAST M NURSERY STOCK" (ANSI Z60.1-LATEST ED
- D. IF IMPERVIOUS SOILS ARE DISCOVERED. WELLS ARE NEEDED, REFER TO IOWA ST
- E. CONTRACTOR SHALL WARRANTY ALL PL/ SPECIFIED OTHERWISE.
- F. FOR TREES NOT LOCATED IN DESIGNAT WILL BE REQUIRED.
- G. PRIOR TO PLANTING, CHECK FOR CIRCL CONTRACTOR SHALL NOTIFY LANDSCAP
- H. VERIFY LOCATION OF ROOT COLLAR PRIC LOCATED AT THE TOP OF THE ROOT BAL REJECTED.
- I. CONFIRM LOCATION OF ROOT COLLAR A FLARE. THIS WILL DETERMINE PROPER F
- J. WHEN PLANTING, REMOVE ALL NON-BIO SYNTHETIC BURLAP, STRAPPING, PLASTI MATERIAL. FOR NATURAL FIBER BURLAP
- K. UNLESS SPECIFIED OTHERWISE, BACKF WATER ROOT BALL AND ALLOW THE WAT DO NOT TAMP OR STEP ON SOIL. ADD RE
- L. DURING THE WARRANTY PERIOD, COORD STRATEGY.
- M. SET ALL PLANTS PLUMB. MAINTAIN THRO DEAD, AND/OR POOR BRANCHING. TREE ACCORDANCE WITH ANSI STANDARDS. A 7' HT. CLEARANCE ALONG STREETS AN
- N. UNLESS SPECIFIED OTHERWISE, DRILL-S PERMANENT LAWN MIX AND COVER SEE ADDITIONAL AREAS THAT ARE NOT INDIC
- O. OVERSTORY TREES WITHIN 10' OF PAVE DEPTH WITH THE FOLLOWING VOLUMES: PLANTING AREA.
- P. UNDERSTORY TREES WITHIN 10' OF PAV DEPTH WITH THE FOLLOWING VOLUMES: PLANTING AREA.

LANDSCAPE PLAN CONSTRU

1. MULCH BED, PROVIDE THE FOLLOWING: A. SHREDDED HARDWOOD. 4-INCH DEPTH. TOWARDS BED EDGING AND/OR PAVEMI

- 2. LANDSCAPE EDGING, PROVIDE THE FOLLOW A. 6" STEEL EDGER WITH STAKES IN A 3' PE
- 3. TURF ESTABLISHMENT, PROVIDE THE FOLL
- A. SEED, PROVIDE TYPE I SUDAS PERMANE B. DETENTION BASIN SEED MIX AS PROVIDE
- WINONA, MN 55987, OR APPROVED EQU 9010 SEEDING.

LEGEND

SHREDDED HARDWOOD MULCH

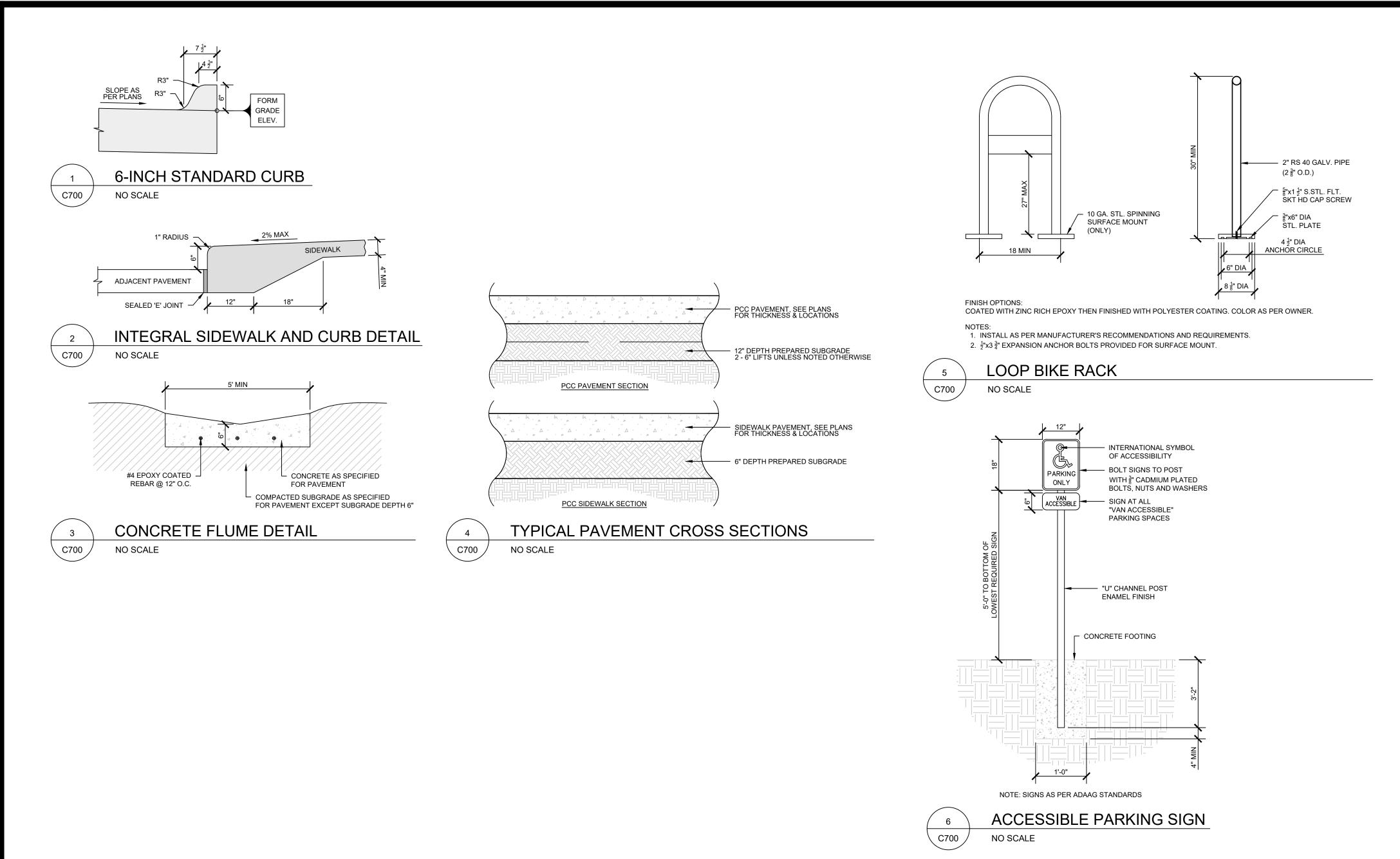
NOTE: LANDSCAPE HATCH PATTERNS ARE FOI PATTERNS, HATCH PATTERNS SHALL GOVERN ANY, NOT SHOWN ON PLANS. REFER TO GENE

PLAN	IT SC	CHEDULE	
CODE	QTY	BOTANICAL NAME	COMMON NAME
OVERS	TORY T	REES	
AS	4	ACER SACCHARUM	SUGAR MAPLE
GI	1	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOC
NS	1	NYSSA SYLVATICA	TUPELO
QB	1	QUERCUS BICOLOR	SWAMP WHITE OAK
QL	6	QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE® OAK
UH	1	ULMUS X 'PATRIOT'	PATRIOT ELM
UNDER	STORY		
PT	6	POPULUS TREMULOIDES	QUAKING ASPEN
CODE	QTY	BOTANICAL NAME	COMMON NAME
SHRUB	S		

186 SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED NOTE: CONTRACTOR SHALL VERIFY FINAL PLANT QUANTITIES PRIOR TO BIDDING. S

THERE BE ANY DISCREPANCIES REGARDING QUANTITIES AND SPACING WITH COMP TO WHAT'S DRAWN AND LABELED ON PLAN, THE PLAN SHALL GOVERN.

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				SS SOIL TO EXPOS NINSTRUCTIONS.	E ROOT		-E, IO	R BLVD 50023 -associates.com
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