

SITE PLAN FOR THE RESIDENCE AT VETERAN'S PARK

1515 W PLEASANT ST CITY OF KNOXVILLE, MARION COUNTY, IOWA

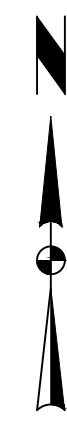
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CITY OF KNOXVILLE
305 3RD STREET
KNOXVILLE, IA 50138
NATHAN PARCH
641-828-0550
NPARCH@KNOXVILLEIA.GOV

ARCHITECT / APPLICANT

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SNYDER & ASSOCIATES, INC.
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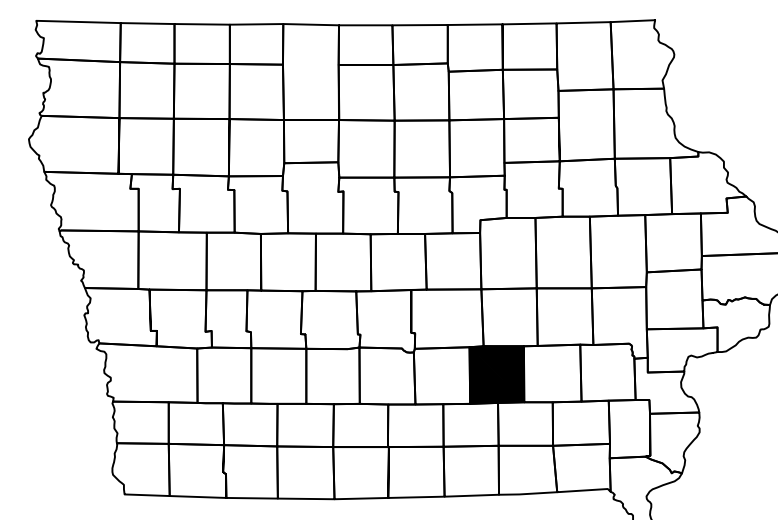


SCALE: 1" = 500'

VICINITY MAP

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Technician: KS	Date: MM-DD-YYYY	T-R-S: TTN-RRW-SS	

THE RESIDENCE AT VETERAN'S PARK
TITLE SHEET
KNOXVILLE, IOWA
SNYDER & ASSOCIATES, INC.
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 124.0983.01

Sheet C100

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Justin F. Strom, P.E. Date

License Number P24140

My License Renewal Date is December 31, 2024

Pages or sheets covered by this seal:

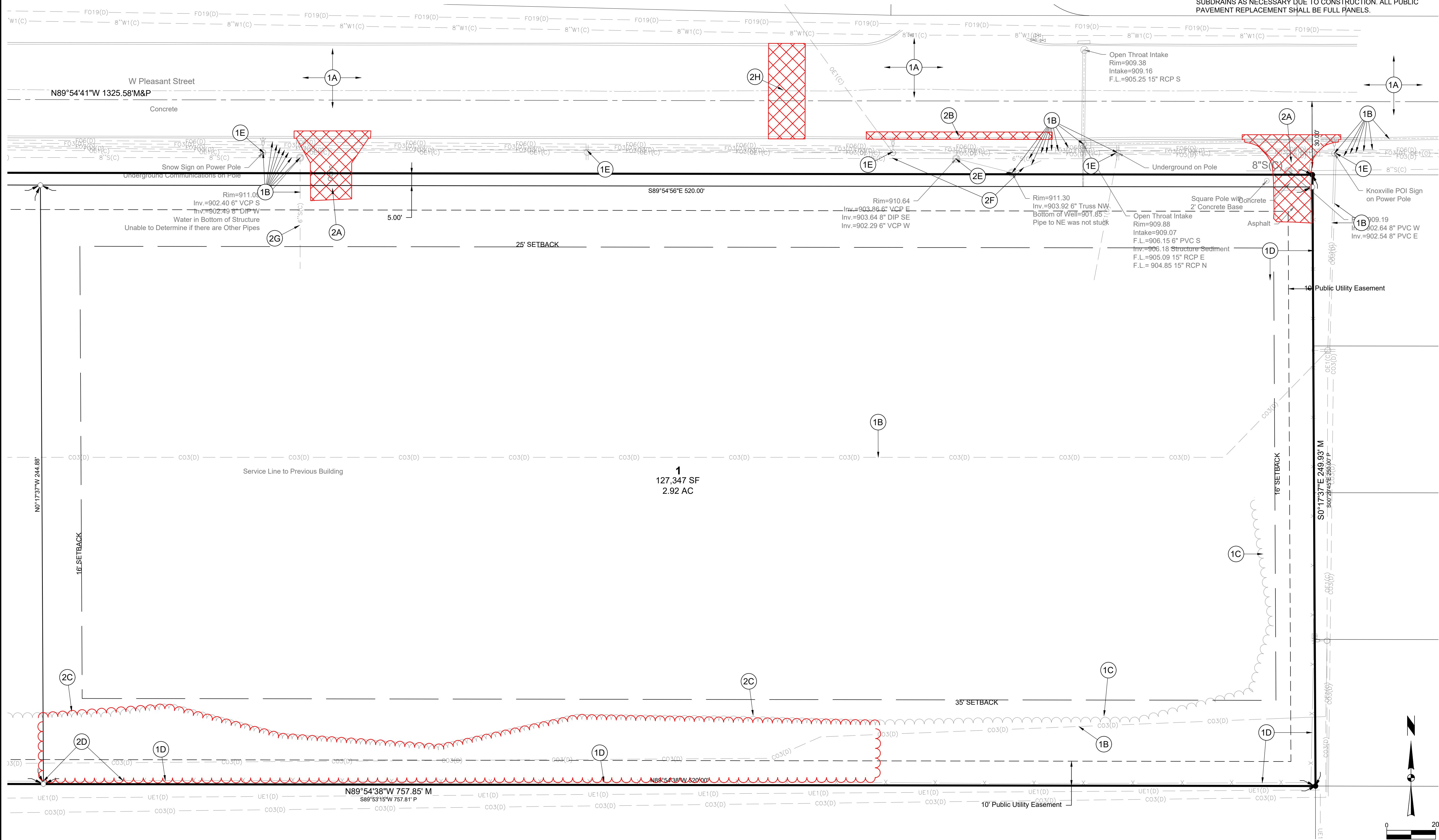
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DEMOLITION LEGEND



DEMOLITION PLAN CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
 - PAVEMENTS TO REMAIN. SAW CUT ALL PAVEMENTS TO FULL DEPTH AT REMOVAL LIMIT TO AVOID DAMAGE TO ADJACENT PAVEMENTS. ANY DAMAGE TO PAVEMENT SHALL BE REPAIRED AT CONTRACTORS EXPENSE. DAMAGE ANY PAVEMENT PANELS SHALL REQUIRE FULL PANEL REPLACEMENT.
 - PROTECT EXISTING UTILITIES. VERIFY LOCATION PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES DUE TO CONSTRUCTION SHALL BE REPAIRED AT CONTRACTORS EXPENSE. ADJUST EXISTING UTILITIES WHEN REQUIRED TO MATCH PROPOSED GRADE.
 - TREES.
 - FENCE.
 - EXISTING UTILITY POLE.
- DEMOLITION, REMOVE THE FOLLOWING:
 - EXISTING PAVEMENT TO CLOSEST JOINT.
 - PCC CURB AND GUTTER. REMOVE 3' GUTTER SECTION TO NEAREST JOINT LINE.
 - TREES.
 - REMOVE AND REPLACE FENCE AS NEEDED TO SECURE DOG PARK AREA.
 - REMOVE EXISTING SANITARY SEWER MANHOLE.
 - CAP AND ABANDON SERVICES WITHIN 10' OF EDGE OF PROPOSED DRIVE. PROTECT ADJACENT LIGHT POLE.
 - REMOVE EXISTING SEWER SERVICE TO SANITARY SEWER STRUCTURE, AND CAP AND PLUG SERVICE AT STRUCTURE.
 - REMOVE AND REPLACE EXISTING PAVEMENT IN FULL DEPTH AS NEEDED FOR WATER SERVICE INSTALLATION. PAVEMENT DEPTH ASSUMED TO BE 8" PCC ON 6" SPECIAL BACKFILL ON 12" SUBGRADE PREPARATION. COORDINATE TRAFFIC CONTROL WITH CITY OF KNOXVILLE AS NEEDED. PAVEMENT REMOVAL WILL MATCH EXISTING JOINTING IN FULL PANELS SEGMENTS. CONTRACTOR TO REPAIR ALL SUBDRAINS AS NECESSARY DUE TO CONSTRUCTION. ALL PUBLIC PAVEMENT REPLACEMENT SHALL BE FULL PANELS.



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Sheet C200

THE RESIDENCE AT VETERAN'S PARK

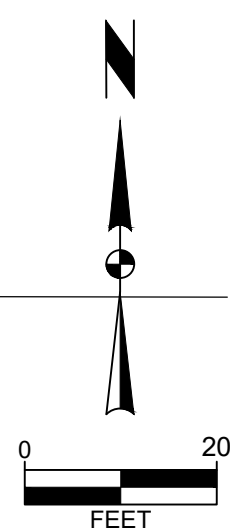
DEMOLITION PLAN

SNYDER & ASSOCIATES, INC.




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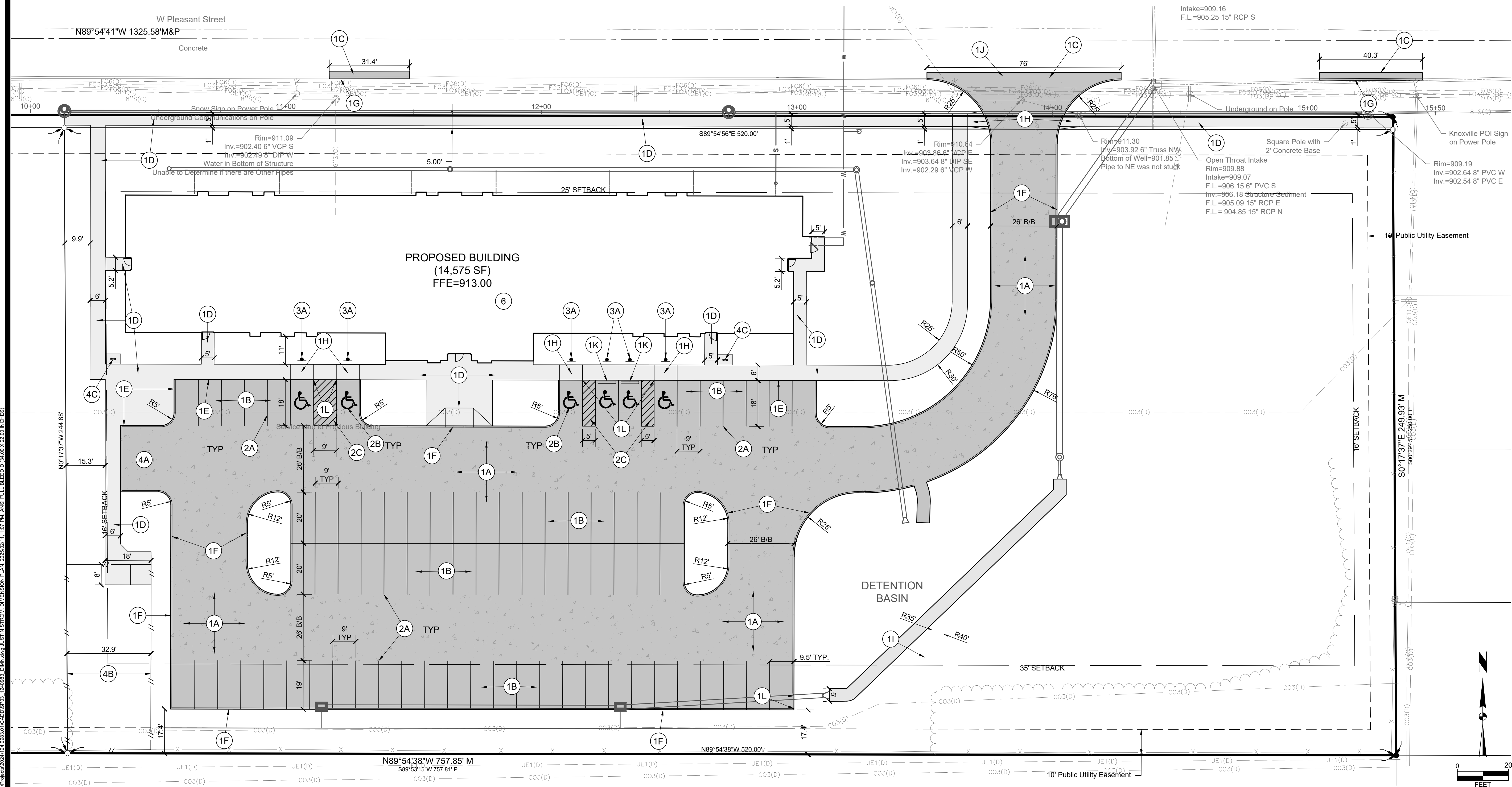
PAVEMENT LEGEND

-  5" PCC SIDEWALK
-  6" PCC PAVEMENT
-  7" PCC PAVEMENT

DIMENSION PLAN CONSTRUCTION NOTES

1. PAVEMENTS, PROVIDE THE FOLLOWING WHERE INDICATED ON PLAN:
 - A. 7" DEPTH PCC DRIVES AND PARKING ON 12" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - B. 6" DEPTH PCC DRIVES AND PARKING ON 12" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - C. 8" DEPTH PCC MIN. MATCH EXISTING THICKNESS ENCOUNTERED.
 - D. 5" DEPTH PCC SIDEWALK.
 - E. INTEGRAL SIDEWALK AND CURB.
 - F. 6" STANDARD CURB.
 - G. 36" CURB AND GUTTER.
 - H. PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33%.
 - I. 5' WIDE CUNETTE.
 - J. CONNECT TO EXISTING PAVEMENT WITH TYPE "B" DRIVEWAY CONNECTION (7030.102).
 - K. PRE-FORMED CURB STOP
 - L. FLUSH CURB/NO CURB
2. PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - A. 4" WIDE PAINTED PARKING STALL LINES.
 - B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
 - C. ACCESSIBLE AISLE. 45° STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
3. SIGNS, PROVIDE THE FOLLOWING:
 - A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS.

4. PROVIDE THE FOLLOWING SITE IMPROVEMENTS WHERE SHOWN ON PLAN.
 - A. TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - B. FENCE FOR DOG PARK. COORDINATE WITH OWNER.
 - C. BIKE LOOP AND PAD.
5. SITE LIGHTING: SITE LIGHTING SHOWN INDICATES DESIGN INTENT ONLY. CONTRACTOR TO COORDINATE WITH THE OWNER AND MARION COUNTY FOR ALL ASPECTS OF SITE LIGHTING PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WITH THE UTILITY SERVICE PROVIDER AND PROPERTY OWNER ALL ASPECTS OF ELECTRICAL SERVICE. ALL BUILDING-MOUNTED LIGHTING SHALL BE SHIELDED FROM STREET TRAFFIC. THIS SITE SHALL MEET THE REQUIREMENTS FOR EXTERIOR LIGHTING CONTAINED IN ARTICLE 12 OF THE MARION COUNTY ZONING ORDINANCE. A SITE LIGHTING PHOTOMETRIC PLAN SHALL BE SUBMITTED AND APPROVED BY MARION COUNTY PRIOR TO THE INSTALLATION OF THE LIGHTING.
 - A. LIGHT POLE BASE. SEE ELECTRICAL/STRUCTURAL PLANS FOR DETAIL INFORMATION.
 - B. EXTERIOR WALL FIXTURE. SEE ELECTRICAL/MECHANICAL PLANS FOR DETAIL INFORMATION.
 - C. CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL CONDUIT FOR LIGHT POLES PRIOR TO INSTALLATION OF PAVEMENTS.
6. PROPOSED BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.



THE RESIDENCE AT VETERAN'S PARK

DIMENSION PLAN



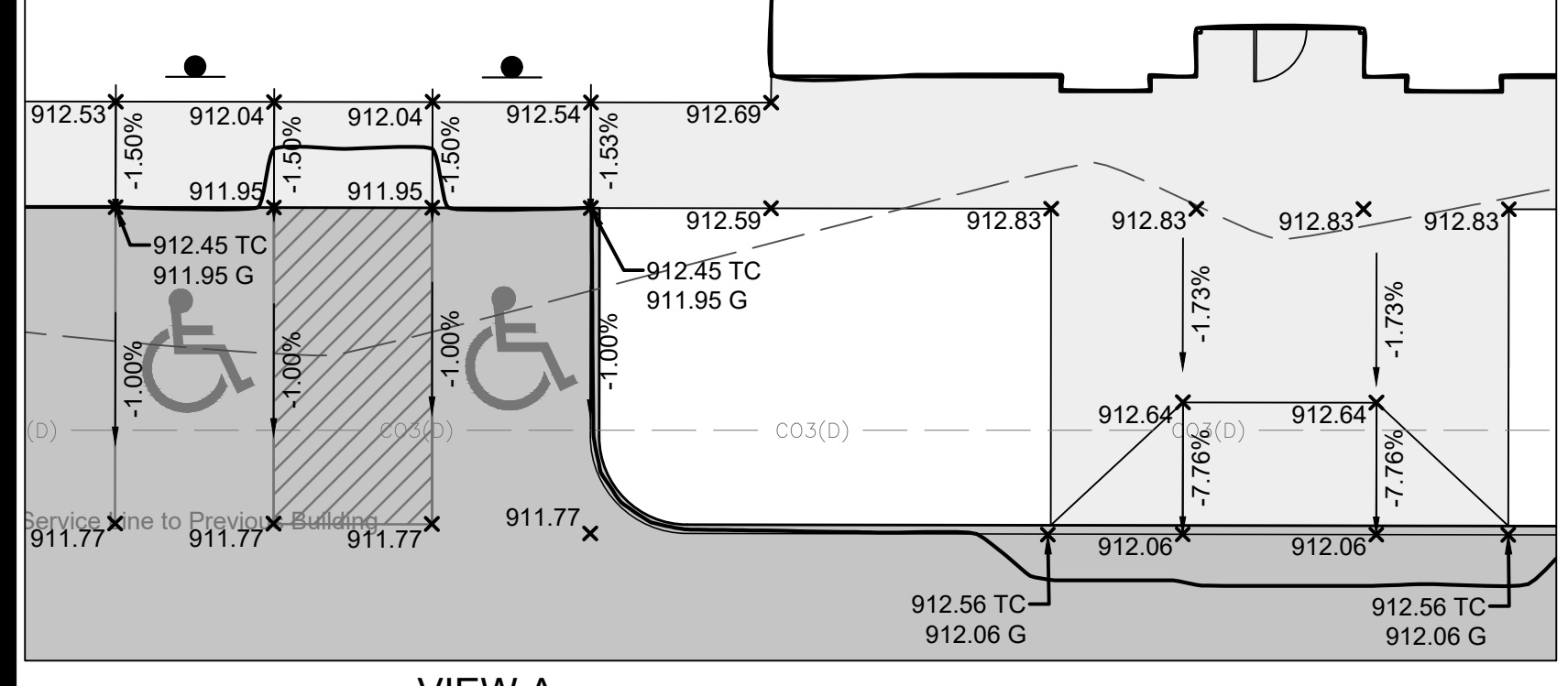
KNOXVILLE, IOWA

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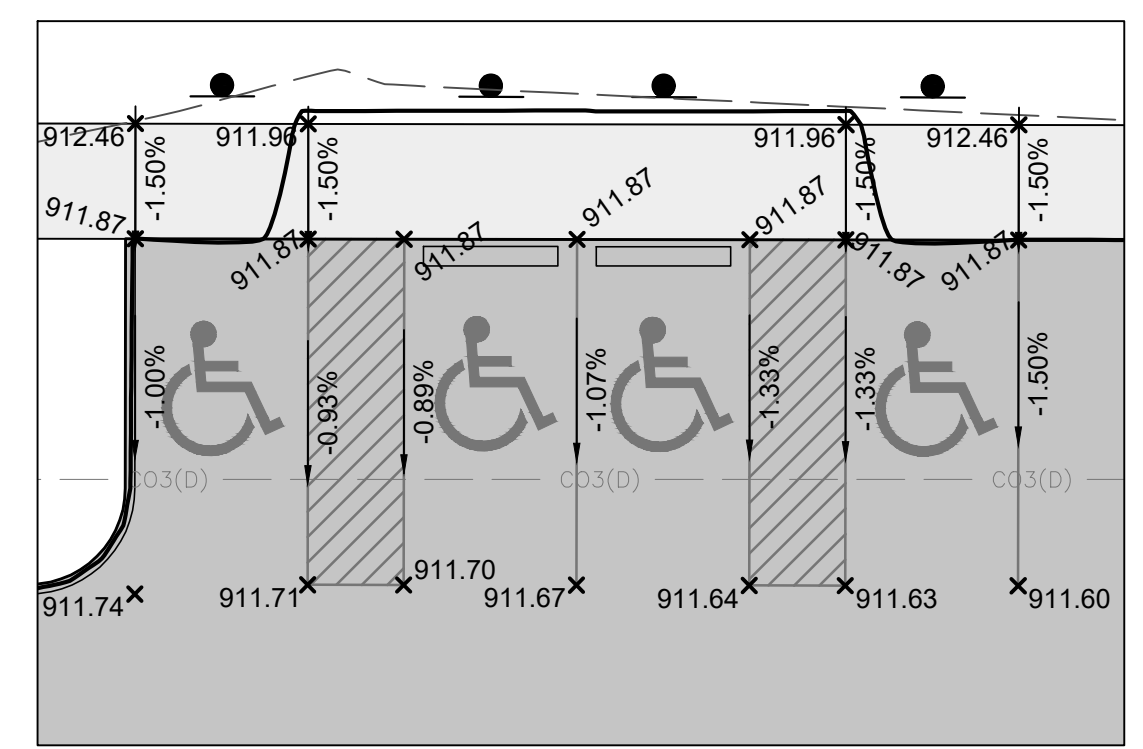
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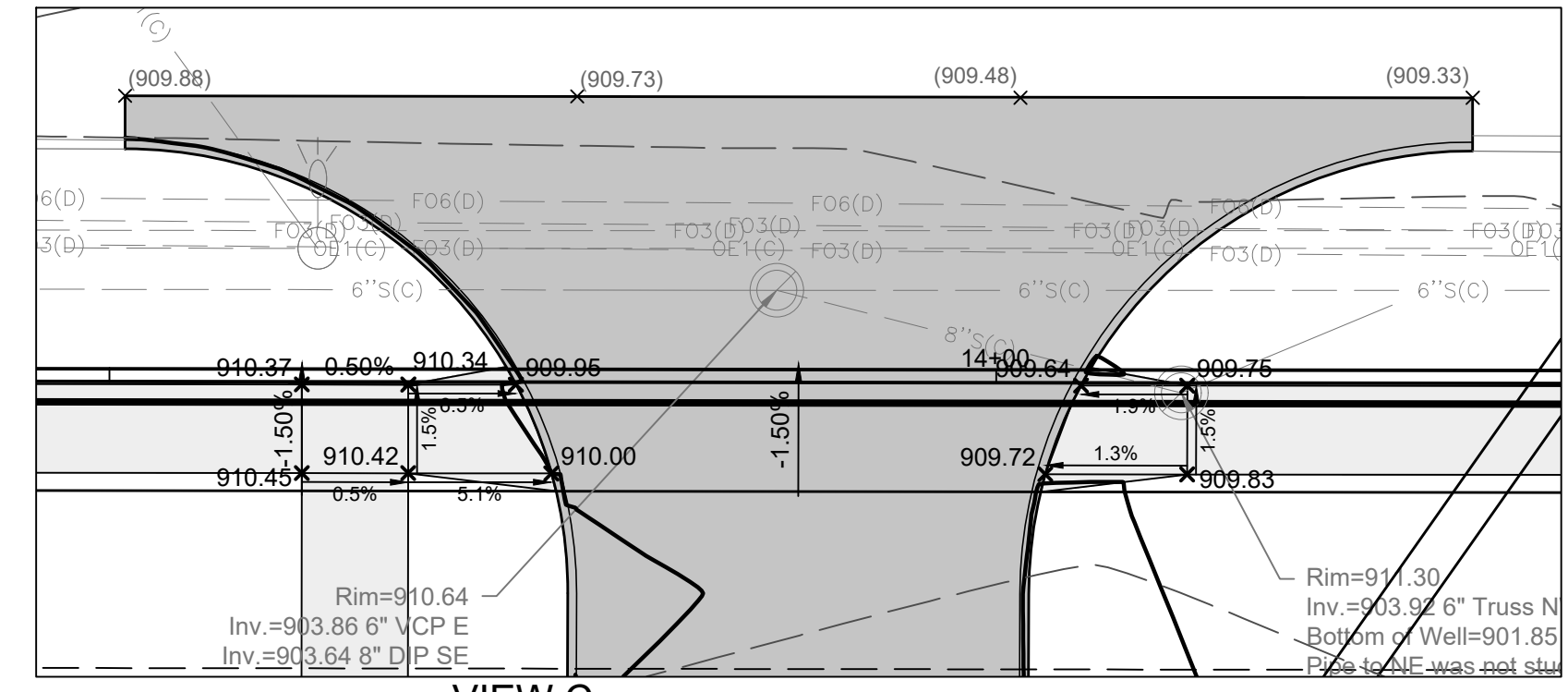
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VIEW A
SCALE: 1" = 10'

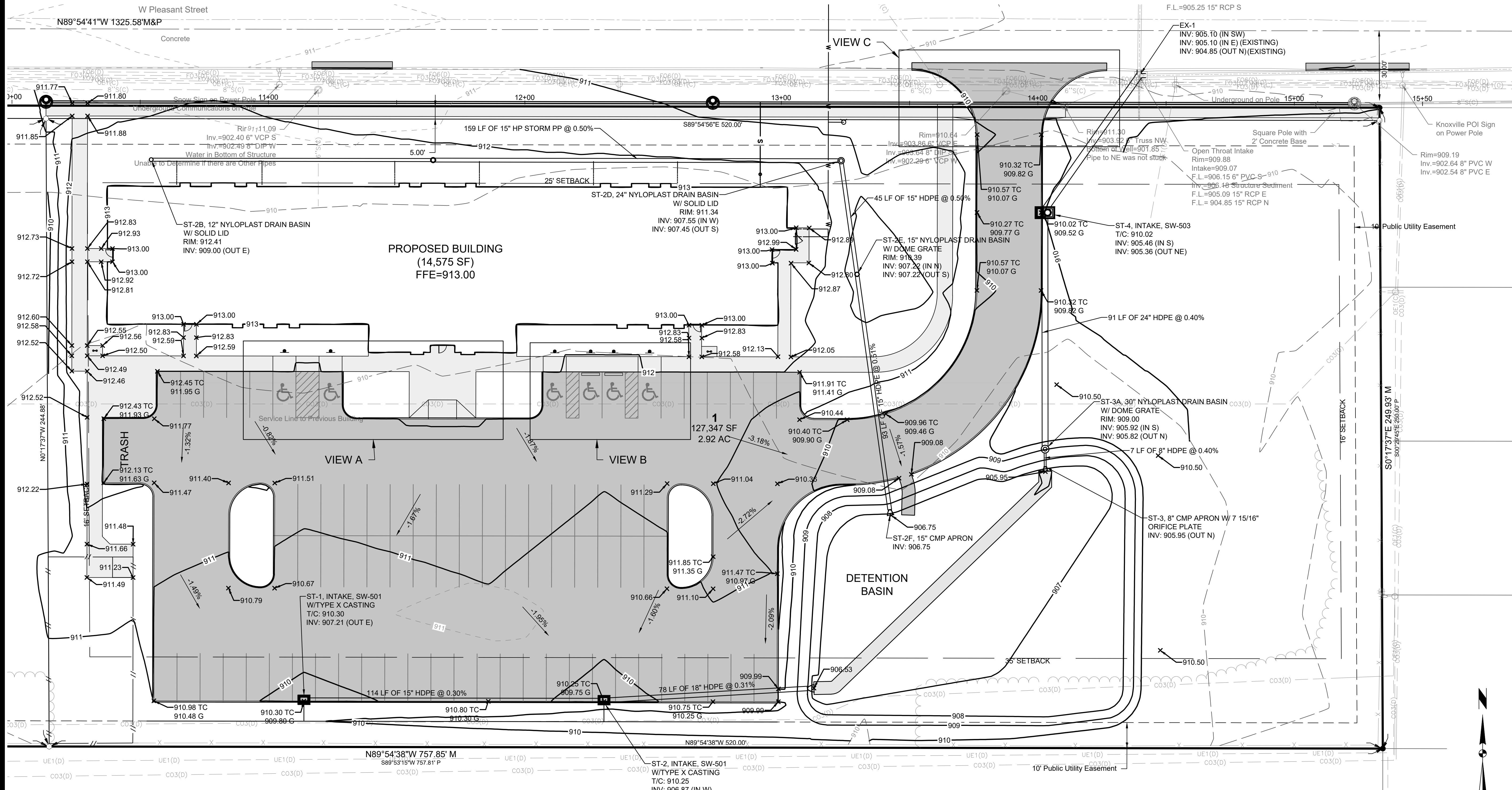


VIEW B
SCALE: 1" = 10'



VIEW C
SCALE: 1" = 10'

- GRADING NOTES**
- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
 - PROTECT EXISTING UTILITIES FROM CONSTRUCTION DAMAGE. ANY DAMAGE THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS WITHOUT ADDITIONAL COMPENSATION.
 - PRIOR TO GRADING, THE OWNER/CONTRACTOR SHALL OBTAIN A GRADING PERMIT.
 - GRADES SHOWN ARE FINISHED GRADE AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF ALL SITE UTILITIES AND IMPROVEMENTS WITH THE ARCHITECTURAL MECHANICAL/ELECTRICAL/PLUMBING SYSTEM INCLUDING ROUTING, CRITICAL DIMENSIONS, CONNECTIONS, AND INVERT ELEVATIONS.
 - CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPREAD TO A MINIMUM 8" DEPTH TO FINISH GRADES.
 - EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE OR FILTER SOCK AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES.



PROPOSED BUILDING
(14,575 SF)
FFE=913.00

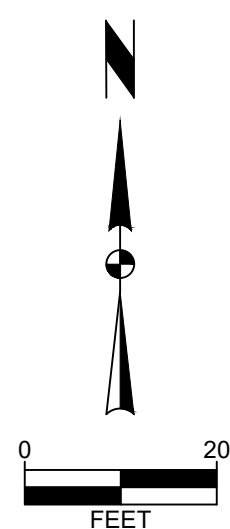
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Sheet C400

THE RESIDENCE AT VETERAN'S PARK
GRADING AND EROSION CONTROL PLAN
SNYDER & ASSOCIATES, INC.

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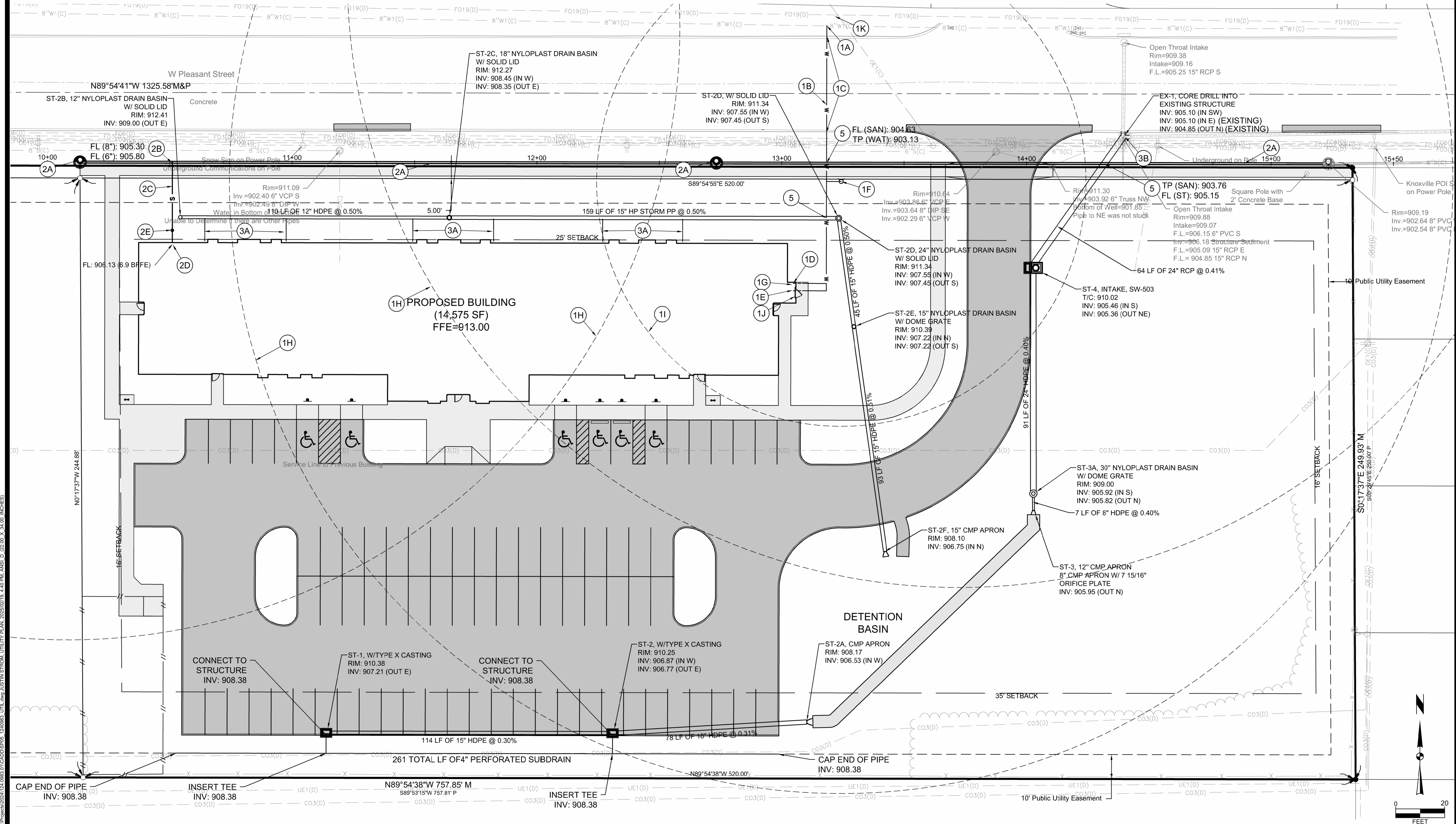


UTILITY PLAN CONSTRUCTION NOTES

1. WATER SERVICES, PROVIDE THE FOLLOWING:
 - A. CONNECT TO C900 8" WATER MAIN. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. COORDINATE CONNECTION WITH THE CITY OF KNOXVILLE WATER WORKS (KWW) PRIOR TO CONSTRUCTION. PROVIDE A TAPPING SLEEVE AND VALVE.
 - B. 6" WATER SERVICE. CONFIRM SIZE REQUIRED WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
 - C. DIRECTIONAL BORE OR REMOVE AND REPLACE PAVEMENT FOR WATER SERVICE INSTALLATION. COORDINATE TRAFFIC CONTROL NEEDS WITH CITY OF KNOXVILLE PRIOR TO CONSTRUCTION.
 - D. CONNECT WATER SERVICE TO BUILDING. COORDINATE LOCATION AND ELEVATION WITH MECHANICAL PLANS.
 - E. 2-1/2" DOMESTIC WATER SERVICE WITH CURB STOP SPLIT EXTERIOR TO BUILDING. CONFIRM DOMESTIC SIZE, LOCATION AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
 - F. PROVIDE 6 X 6 X 6 TEE WITH HYDRANT ASSEMBLY. HYDRANT ASSEMBLY SHALL HAVE STORZ NOZZLE. COORDINATE WITH KNOXVILLE WATER WORKS.
 - G. FIRE DEPARTMENT CONNECTION
 - H. 250' HYDRANT COVERAGE
 - I. 100' HYDRANT COVERAGE FOR FDC.
 - J. COORDINATE LOCATION OF PIV WITH KNOXVILLE WATER WORKS.
 - K. REMOVE AND REPLACED SIDEWALK AS NEEDED FOR WATER MAIN CONNECTION. COORDINATE PEDESTRIAN TRAFFIC CONTROL WITH CITY OF KNOXVILLE PRIOR TO CONSTRUCTION.

2. SANITARY SEWER SERVICES, PROVIDE THE FOLLOWING:
 - A. PUBLIC SANITARY SEWER MAIN EXTENSION. SEE PUBLIC SEWER CONSTRUCTION PLANS FOR MORE INFORMATION.
 - B. CONNECT 6" SANITARY SERVICE TO EXISTING SANITARY SEWER MAIN. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
 - C. 6" SANITARY SEWER SERVICE LINE AT 1.0% MINIMUM SLOPE. SEWER SERVICE PIPE SHALL BE A SCHEDULE 40.
 - D. CONNECT TO PROPOSED BUILDING SERVICE. CONFIRM WITH MECHANICAL PLANS FOR SIZE, LOCATION AND ELEVATION.
 - E. PROVIDE DOUBLE CLEANOUT OUTSIDE BUILDING.
3. PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN:
 - A. ROOF DRAIN COLLECTOR LINES. CONNECT DOWNSPOUTS WITH 8" PIPES AT MIN 1.0%. CONNECT PRIMARY STORM SEWER WITH TEES/WYES OR INSERTATEES. COORDINATE EXACT LOCATIONS WITH BUILDING PLANS.
 - B. CORE DRILL AND CONNECT TO EXISTING SW-507 CONCRETE STORMS SEWER STRUCTURE.
 - C. PROVIDE STORM SEWER AS SHOWN PER 2025 SUDAS STANDARDS.

4. SITE LIGHTING, PROVIDE THE FOLLOWING:
 - A. CONTRACTOR TO COORDINATE WITH THE UTILITY OWNER AND PROPERTY OWNER ALL ASPECTS OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.
5. CRITICAL CROSSING, CONTRACTOR TO MAINTAIN MINIMUM 18" SEPARATION OF WATER MAIN TO ALL STORM AND SANITARY.
6. SITE AMENITIES, PROVIDE THE FOLLOWING:
 - A. TRANSFORMER PAD. SEE ELECTRICAL PLANS AND COORDINATE WITH MID AMERICAN ENERGY.
 - B. GAS METER. SEE ARCHITECTURAL PLANS.
 - C. ELECTRIC METER. SEE ARCHITECTURAL PLANS.



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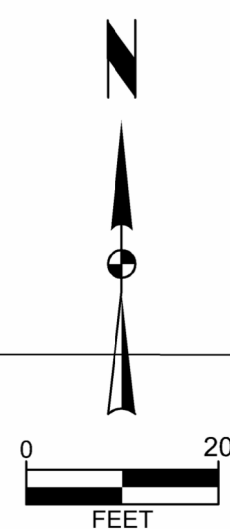
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Engineer: KS	Checked By: JFS	Date: 11-20-24
Technician: KS	Date: MM-DD-YYYY	T-R-S: TTN-RRW-SS
Project No: 124.0983.01		Sheet C500

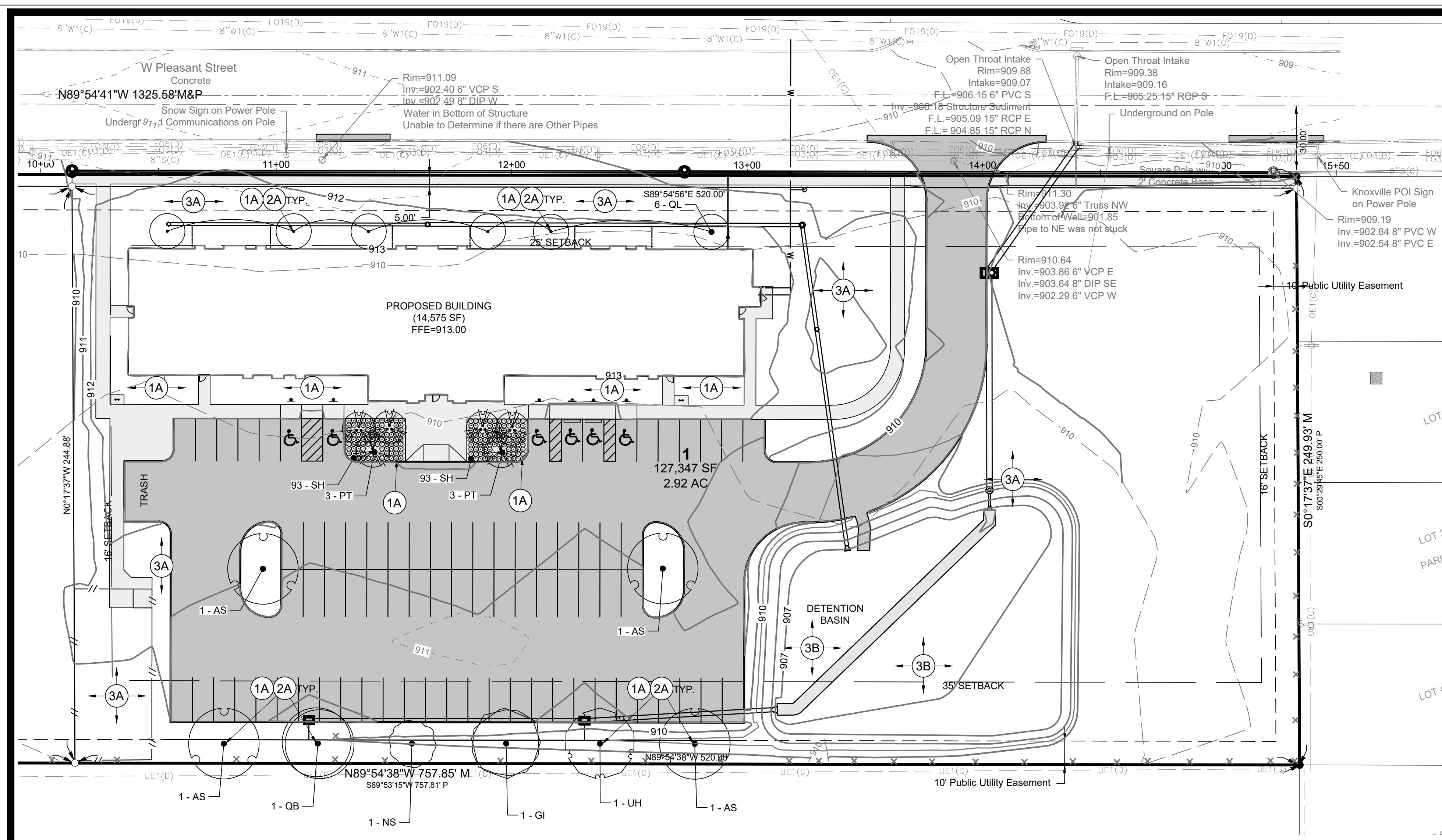
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 UTILITY PLAN
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Sheet C500





LANDSCAPE PLAN GENERAL NOTES

- A. THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO NEGLIGENCE SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. IF IMPERVIOUS SOILS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. IF TREE DRAINAGE WELLS ARE NEEDED, REFER TO IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) 9030.103.
- E. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR ONE YEAR AFTER INITIAL ACCEPTANCE, UNLESS SPECIFIED OTHERWISE.
- F. FOR TREES NOT LOCATED IN DESIGNATED BEDS, MULCH RINGS TO A MINIMUM DIAMETER OF 4-FEET WITH WOOD MULCH WILL BE REQUIRED.
- G. PRIOR TO PLANTING, CHECK FOR CIRCLING ROOTS IN ROOT BALL. IF THERE'S EVIDENCE OF CIRCLING ROOTS, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR REVIEW. PLANTS WITH CIRCLING ROOTS MAY BE REJECTED.
- H. VERIFY LOCATION OF ROOT COLLAR PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IF ROOT COLLAR IS NOT LOCATED AT THE TOP OF THE ROOT BALL. PLANTS THAT SHOW EVIDENCE OF BURIED ROOT COLLARS MAY BE REJECTED.
- I. CONFIRM LOCATION OF ROOT COLLAR AND FLARE PRIOR TO PLANTING. REMOVE EXCESS SOIL TO EXPOSE ROOT FLARE. THIS WILL DETERMINE PROPER PIT DEPTH. REFER TO DETAILS ON FOR FURTHER INSTRUCTIONS.
- J. WHEN PLANTING, REMOVE ALL NON-BIODEGRADABLE, SYNTHETIC MATERIAL. EXAMPLES SUCH AS CONTAINERS, SYNTHETIC BURLAP, STRAPPING, PLASTIC, OR OTHER MATERIAL THAT WILL IMPEDE THE GROWTH OF THE PLANT MATERIAL. FOR NATURAL FIBER BURLAP, REMOVE MINIMUM TOP HALF OF BURLAP AND WIRE BASKET.
- K. UNLESS SPECIFIED OTHERWISE, BACKFILL PITS WITH LOOSE, NATIVE TOPSOIL. WHEN EACH PIT IS TWO THIRDS FULL, WATER ROOT BALL AND ALLOW THE WATER TO COMPLETELY SOAK INTO SOIL BEFORE PLACING REMAINING BACKFILL. DO NOT TAMP OR STEP ON SOIL. ADD REMAINING SOIL AND WATER A SECOND TIME.
- L. DURING THE WARRANTY PERIOD, COORDINATE WITH OWNER ON A COMPREHENSIVE MAINTENANCE AND WATERING STRATEGY.
- M. SET ALL PLANTS PLUMB. MAINTAIN THROUGHOUT WARRANTY. THIS SHALL INCLUDE PRUNING BROKEN BRANCHES, DEAD, AND/OR POOR BRANCHING. TREE PRUNING SHALL BE CONDUCTED BY A CERTIFIED ARBORIST AND TO BE IN ACCORDANCE WITH ANSI STANDARDS. IF APPLICABLE TO PROJECT, TREES SHOULD BE TRIMMED TO PROVIDE AT LEAST A 7' HT. CLEARANCE ALONG STREETS AND SIDEWALKS. REMOVE ALL FLAGGING AND LABELS AFTER OWNER APPROVAL.
- N. UNLESS SPECIFIED OTHERWISE, DRILL-SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH SUDAS TYPE 1 PERMANENT LAWN MIX AND COVER SEED WITH HYDRO-MULCH. CONTRACTOR IS RESPONSIBLE FOR SEEDING ANY ADDITIONAL AREAS THAT ARE NOT INDICATED ON THE PLANS.
- O. OVERSTORY TREES WITHIN 10' OF PAVED SURFACES SHALL BE PLANTED WITHIN UNCOMPACTED SOIL 2 TO 4 FEET IN DEPTH WITH THE FOLLOWING VOLUMES: 750 CF FOR FIRST TREE +375 CF FOR EACH TREE WITHIN AN INTERCONNECTED PLANTING AREA.
- P. UNDERSTORY TREES WITHIN 10' OF PAVED SURFACES SHALL BE PLANTED WITHIN UNCOMPACTED SOIL 2 TO 4 FEET IN DEPTH WITH THE FOLLOWING VOLUMES: 450 CF FOR FIRST TREE +225 CF FOR EACH TREE WITHIN AN INTERCONNECTED PLANTING AREA.

LANDSCAPE PLAN CONSTRUCTION NOTES

1. MULCH BED, PROVIDE THE FOLLOWING:
 - A. SHREDDED HARDWOOD. 4-INCH DEPTH. DO NOT USE WEED-BARRIER FABRIC AS AN UNDERLAY. TAPER MULCH DEPTH TOWARDS BED EDGING AND/OR PAVEMENT EDGE, EXPOSING 1-INCH HEIGHT OF EDGE.
2. LANDSCAPE EDGING, PROVIDE THE FOLLOWING:
 - A. 6" STEEL EDGER WITH STAKES IN A 3' PERIMETER RING AROUND ALL TREES.
3. TURF ESTABLISHMENT, PROVIDE THE FOLLOWING:
 - A. SEED, PROVIDE TYPE I SUDAS PERMANENT LAWN SEED MIX.
 - B. DETENTION BASIN SEED MIX AS PROVIDED BY PRAIRIE MOON NURSERY. WWW.PRAIRIEMOON.COM, 32115 PRAIRIE LANE, WINONA, MN 55987, OR APPROVED EQUAL SEEDING RATE: 11.48 LBS/ACRE. INSTALL AS PER SUDAS SPECIFICATIONS 9010 SEEDING.

LEGEND

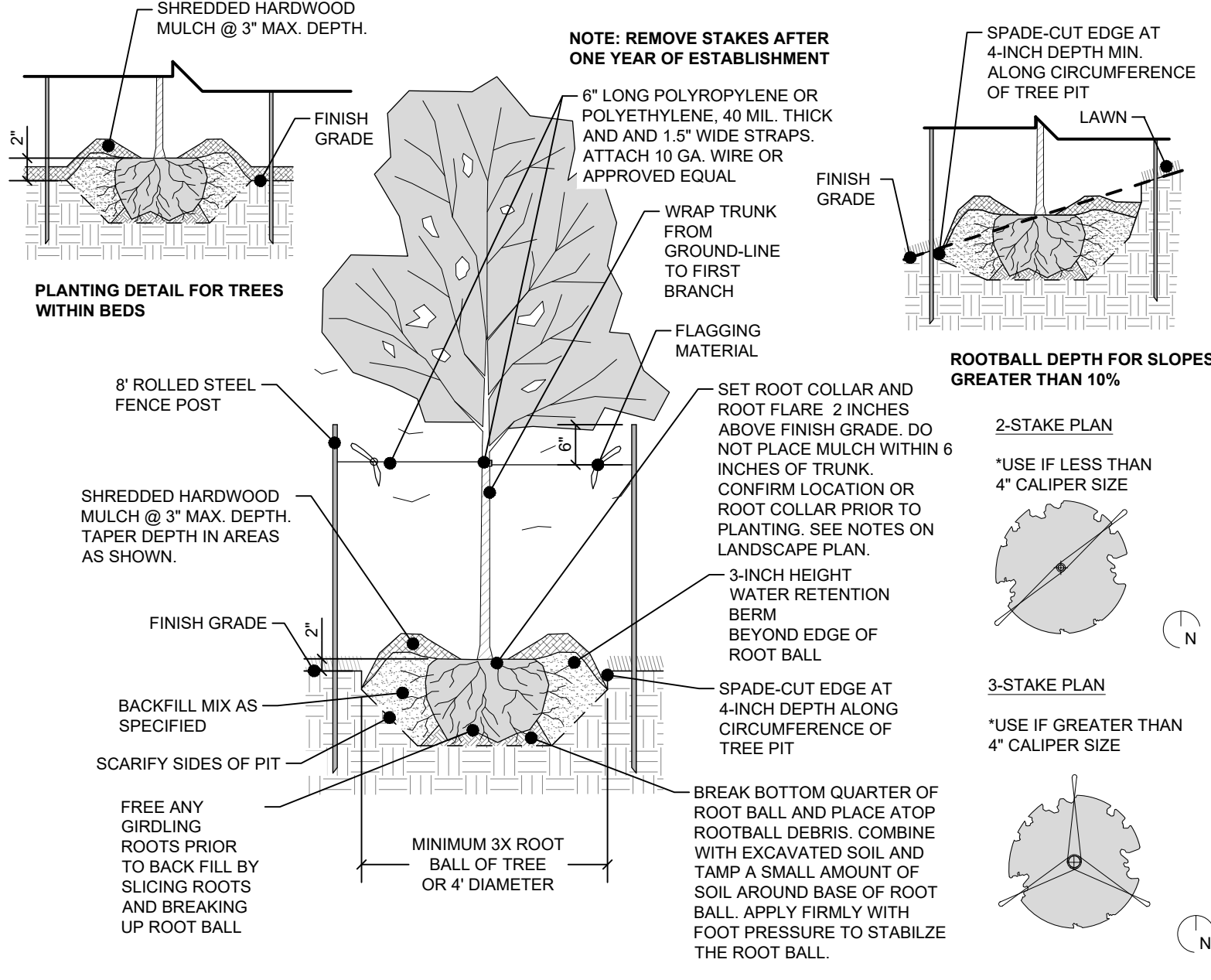
SHREDDED HARDWOOD MULCH

NOTE: LANDSCAPE HATCH PATTERNS ARE FOR CONTRACTOR'S CONVENIENCE, SHOULD BUBBLE NOTES CONFLICT WITH HATCH PATTERNS, HATCH PATTERNS SHALL GOVERN. CONTRACTOR IS RESPONSIBLE FOR SEEDING ADDITIONAL DISTURBED AREAS, IF ANY, NOT SHOWN ON PLANS. REFER TO GENERAL NOTE "N" AS THE DEFAULT DIRECTIVE.

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT	MIN. HT.	TRUNK STYLE
OVERSTORY TREES							
AS	4	ACER SACCHARUM	SUGAR MAPLE	2.0-IN. CAL.	B&B	8-FT.	SINGLE
GI	1	GLEDITSIA TRIACANTHOS INERMIS	THORNTLESS HONEY LOCUST	2.0-IN. CAL.	B&B	8-FT.	SINGLE
NS	1	NYSSA SYLVATICA	TUPELO	2.0-IN. CAL.	B&B	8-FT.	SINGLE
QB	1	QUERCUS BICOLOR	SWAMP WHITE OAK	2.0-IN. CAL.	B&B	8-FT.	SINGLE
QL	6	QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE® OAK	2.0-IN. CAL.	B&B	8-FT.	SINGLE
UH	1	ULMUS X 'PATRIOT'	PATRIOT ELM	2.0-IN. CAL.	B&B	8-FT.	SINGLE
UNDERSTORY TREES							
PT	6	POPULUS TREMULOIDES	QUAKING ASPEN	1.5-IN. CAL.	CONTAINER	6-FT.	MULTI
SHRUBS							
SH	186	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1	CONTAINER		

NOTE: CONTRACTOR SHALL VERIFY FINAL PLANT QUANTITIES PRIOR TO BIDDING. SHOULD THERE BE ANY DISCREPANCIES REGARDING QUANTITIES AND SPACING WITH COMPARISON TO WHAT'S DRAWN AND LABELED ON PLAN, THE PLAN SHALL GOVERN.



1 DECIDUOUS TREE SINGLE-TRUNK DETAIL
NO SCALE

2 PERENNIAL PLANTING BED DETAIL
NO SCALE

MARK	REVISION	DATE	BY

Checked By: JFS
Date: MM-DD-YYYY
Scale: 1" = 30'
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THE RESIDENCE AT VETERAN'S PARK

PLANTING PLAN

KNOXVILLE, IOWA

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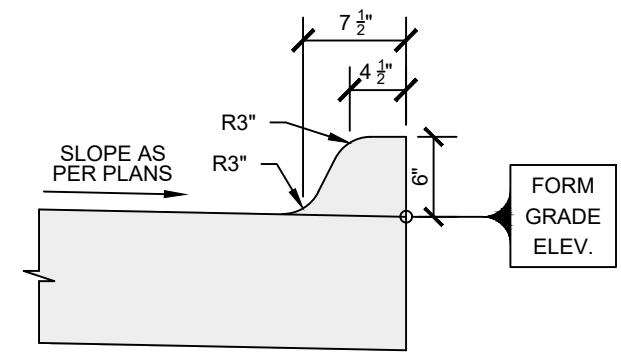
2727 S.W. SNYDER BLVD
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Sheet C600

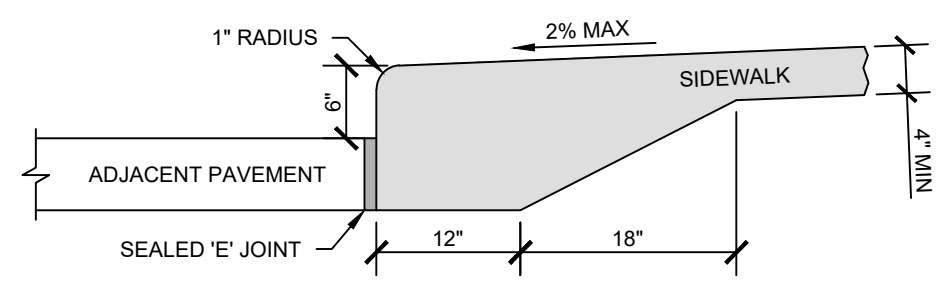
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Sheet C600

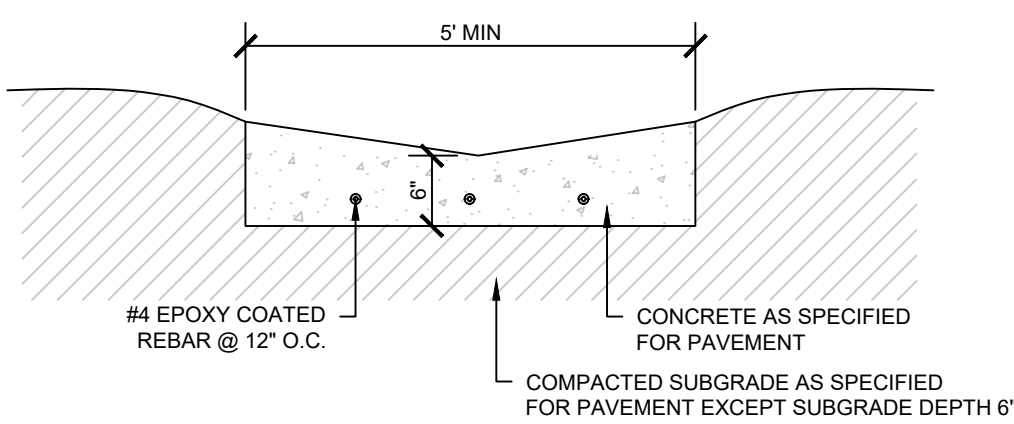
I:\Projects\2024\124.0983.01\CD\DD\SP06_1240983.LAND.dwg JUSTIN STROM, PLANTING PLAN, 2025/02/11, 1:08 PM, ANSIFELL BLEED 0, 0.00 X 22.00 INCHES



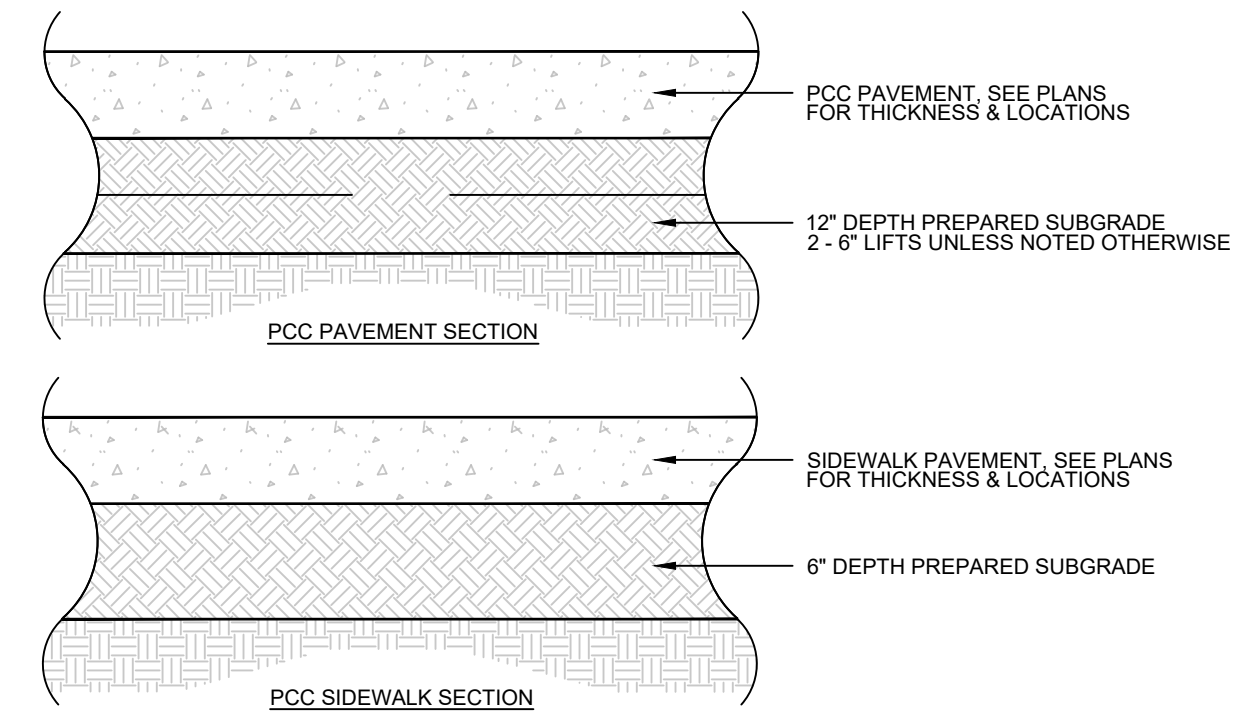
1 **6-INCH STANDARD CURB**
C700 NO SCALE



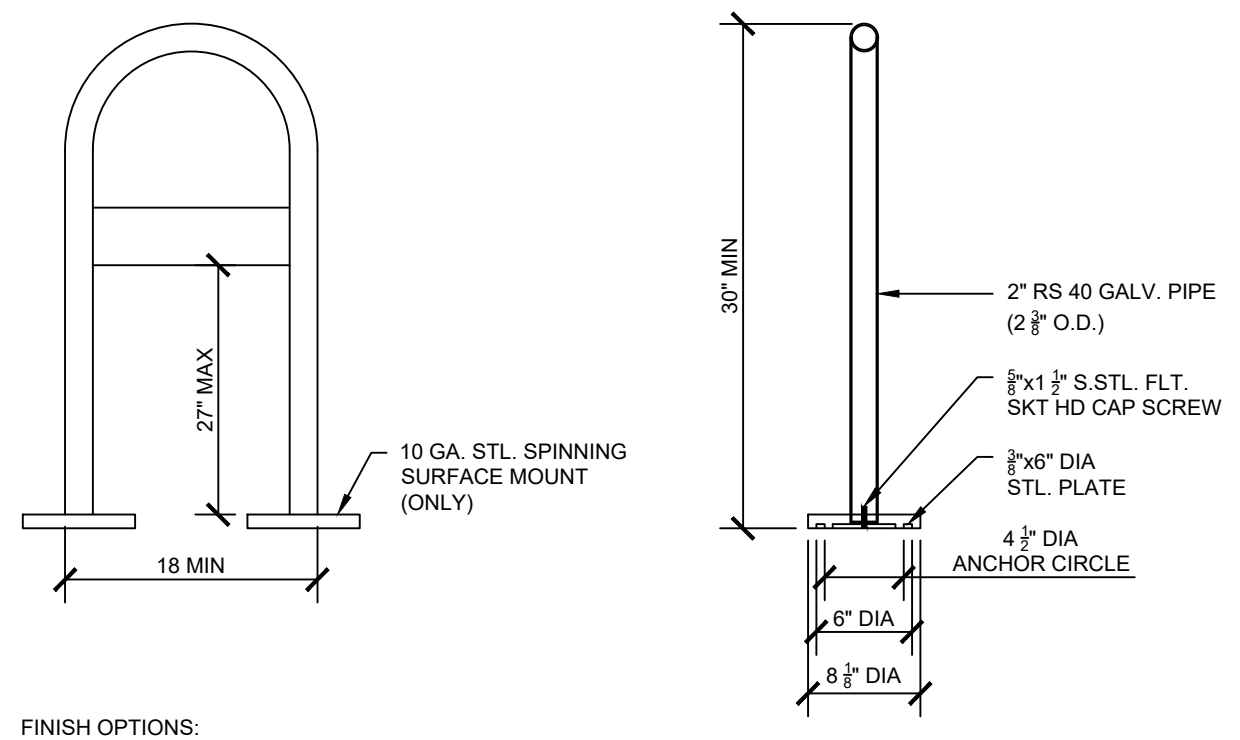
2 **INTEGRAL SIDEWALK AND CURB DETAIL**
C700 NO SCALE



3 **CONCRETE FLUME DETAIL**
C700 NO SCALE



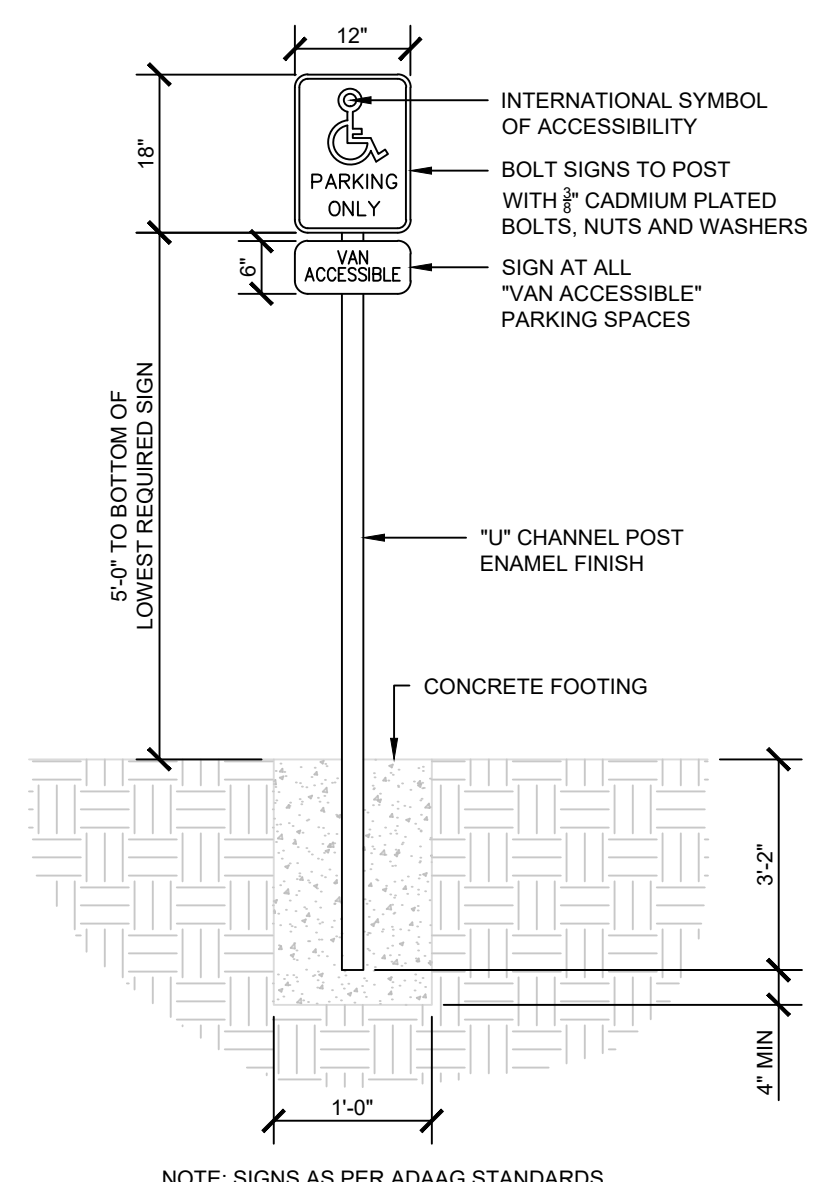
4 **TYPICAL PAVEMENT CROSS SECTIONS**
C700 NO SCALE



FINISH OPTIONS:
COATED WITH ZINC RICH EPOXY THEN FINISHED WITH POLYESTER COATING. COLOR AS PER OWNER.

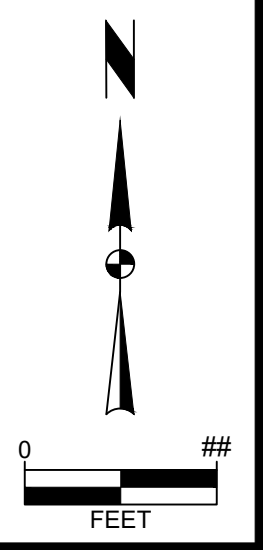
NOTES:
1. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
2. 3/8"x3 1/2" EXPANSION ANCHOR BOLTS PROVIDED FOR SURFACE MOUNT.

5 **LOOP BIKE RACK**
C700 NO SCALE



6 **ACCESSIBLE PARKING SIGN**
C700 NO SCALE

V:\Projects\2024\124.0983.01\CADD\SP07 1240983.DWG JUSTIN STROM, DETAILS, 2025/02/11, 1:08 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



MARK	REVISION	DATE	BY
Engineer: KS	Checked By: JFS	Scale: 1" = ##'	
Technician: KS	Date: MM-DD-YYYY	T-R-S: TTN-RRW-SS	

THE RESIDENCE AT VETERAN'S PARK

DETAILS

KNOXVILLE, IOWA

SNYDER & ASSOCIATES, INC.

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