



Jones Gillam Renz Architects

Address

730 N 9th St.
Salina, KS 67401

1881 Main St., Suite 301
Kansas City, MO 64108

Contact

jgr@jgrarchitects.com
(785) 827-0386

Web

jgrarchitects.com

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	The Reserves at Cobalt Circle New Development Brownsville, TN	Report No.	One (1)
OWNER:	OPG Cobalt Circle Partners, LLC Dan Maximuk 250 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	July 25, 2025
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	24-3446
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions:

1. Sanitary Sewer – relocate the connection to the next upstream existing SMH and route the main sewer trunk line to the north side of Building A.
2. Turn sewer services in Building A to exit the front.
3. SMH #3 to buildings B & C - tops and invert elevation have been updated but all cleanout invert elevations remain the same.
4. Water Revisions – relocate the 8" connection to the north end of Building A.
 - a. Fire protection lines and domestic lines need to be separated.
 - b. One master meter at the property line.
 - c. Irrigation meter moved to north of Building A along with water line.

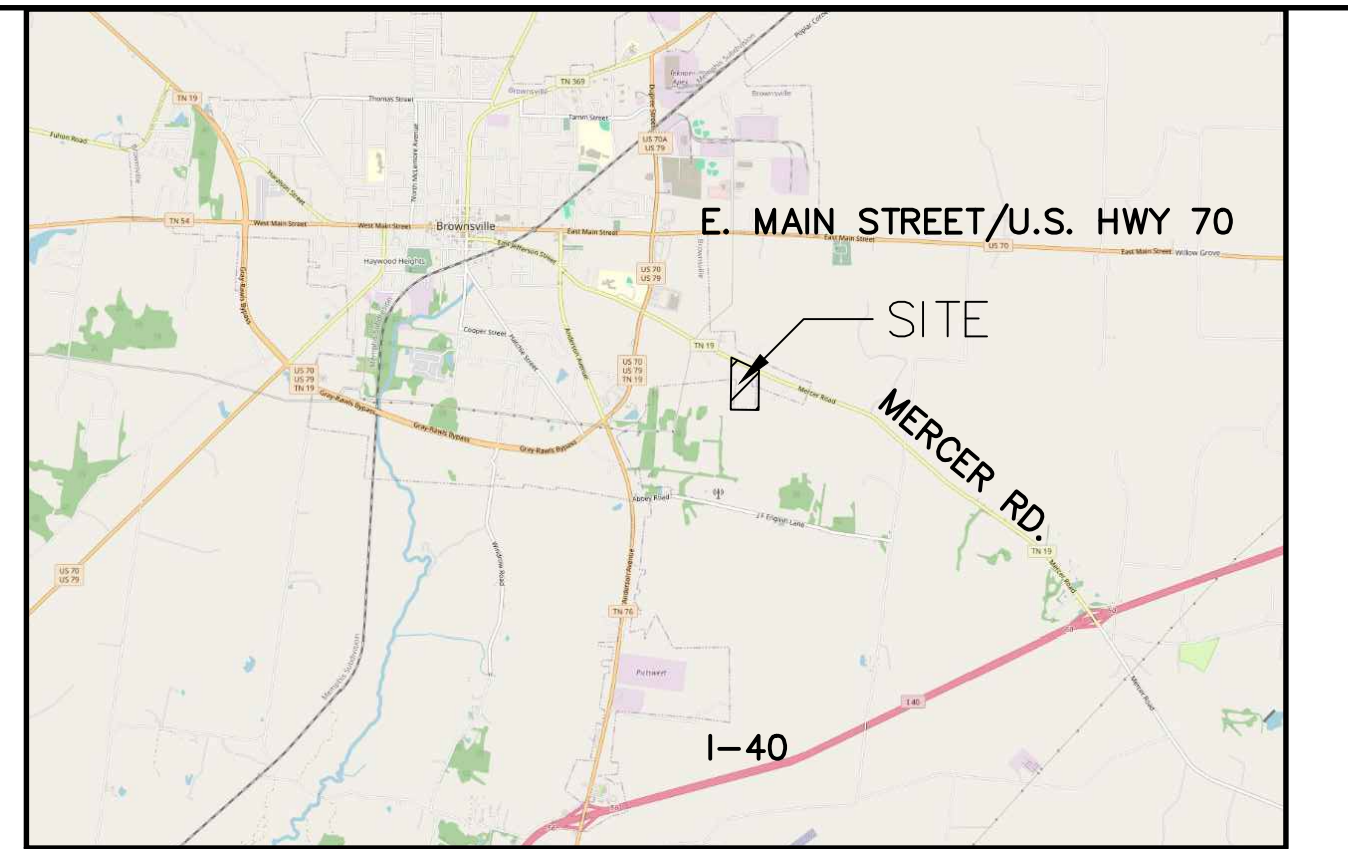
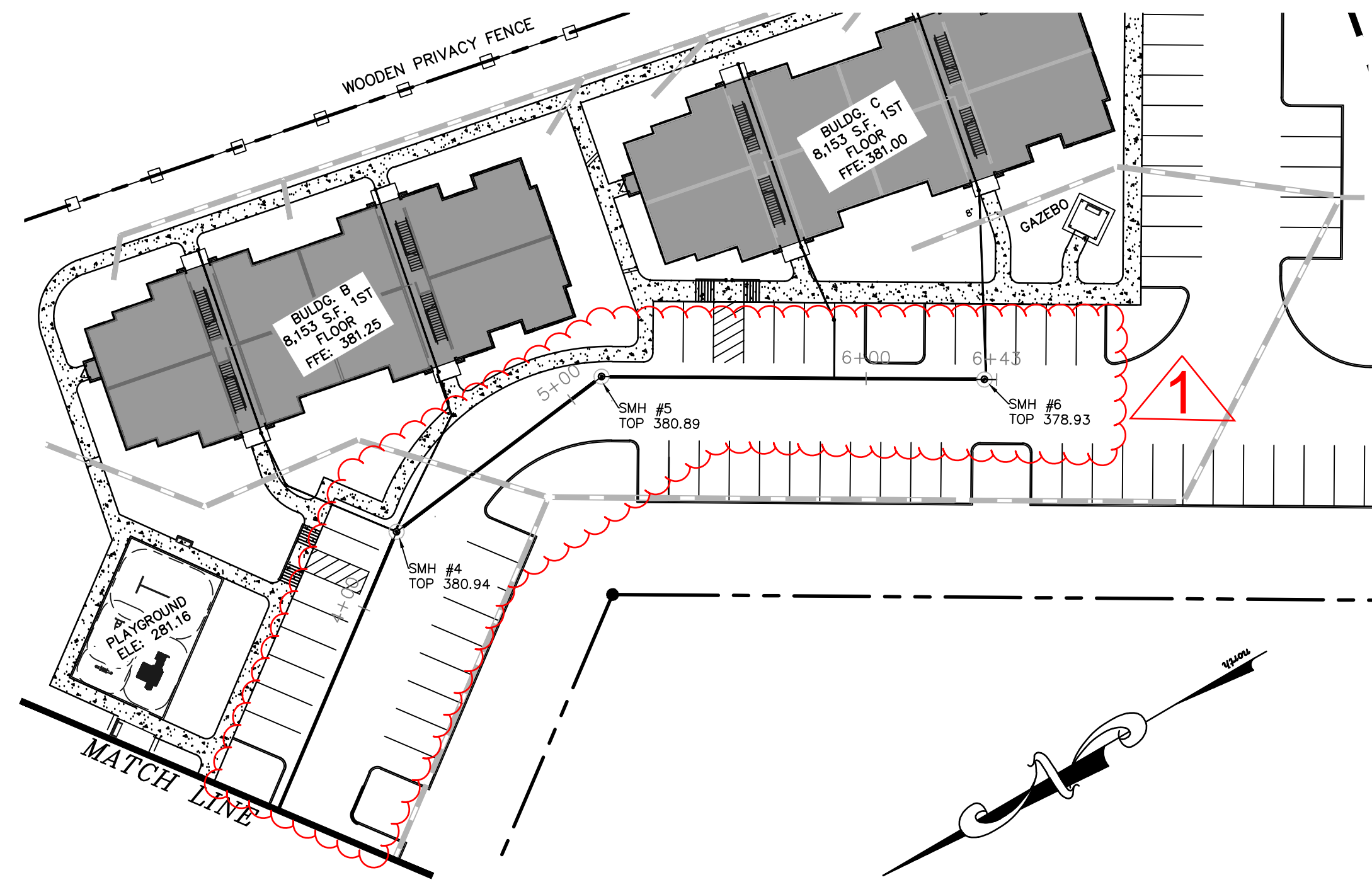
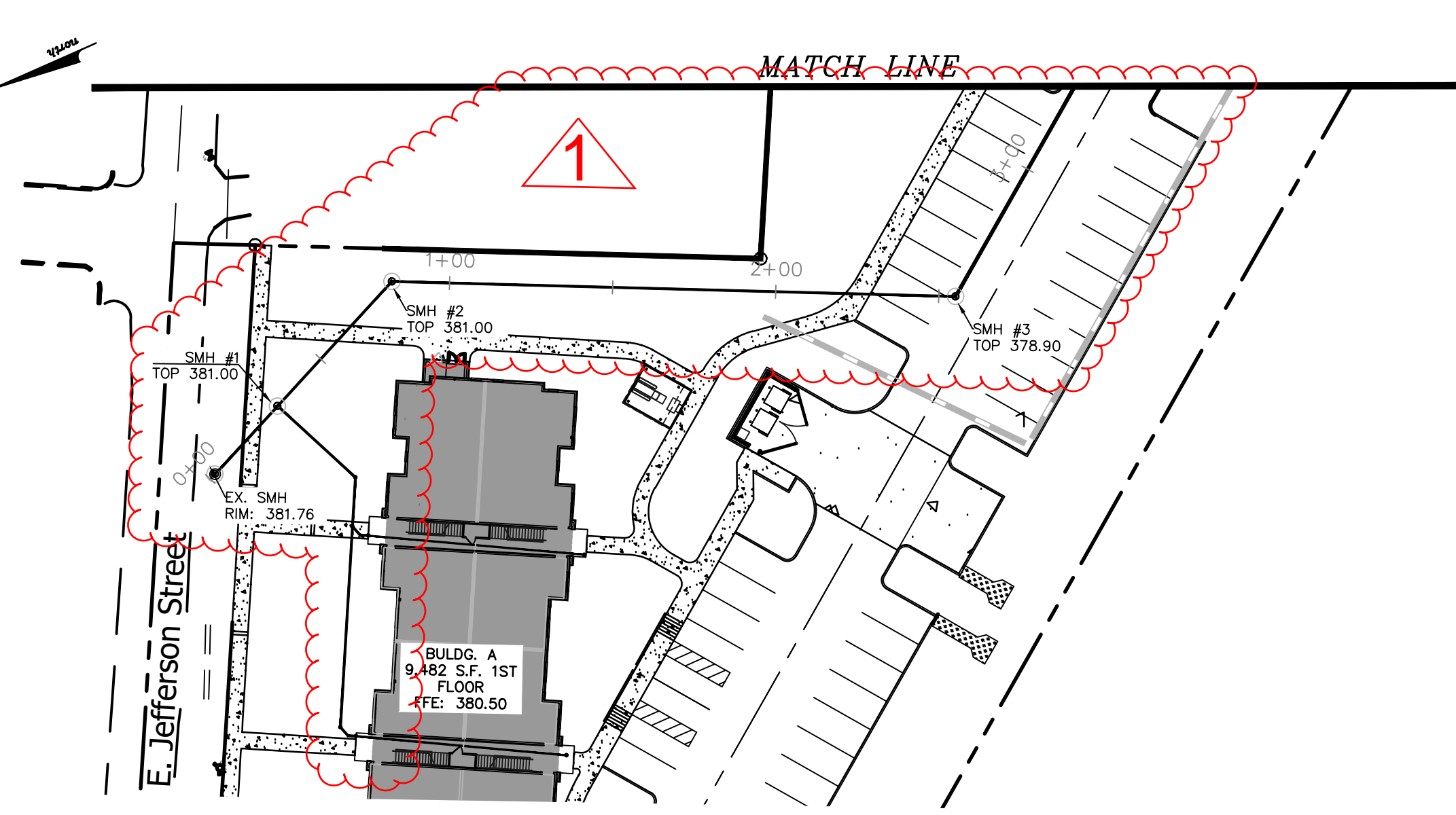
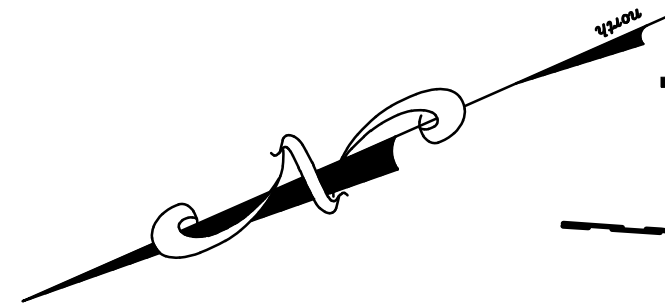
Attachments:

1. Revised Civil Sheets:
 - a. S & S Plan & Profile
 - b. Sanitary Sewer Plan
 - c. Water Plan

Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Maggie Gillam, Project Manager 785-827-0386 mgillam@jgrarchitects.com

Copies to:

MCP Group - Eric Hubener, Brian Murphy
OPG - Dan Maximuk, Amanda Klaus, Austin Kack, Ragean Brown
JGR Team - Maggie Gillam (JGR), Ryan Lies (LST), Isaac Cundiff & Marcus Himmelberg (McClure), Wesley Wooldridge (Renaissance)



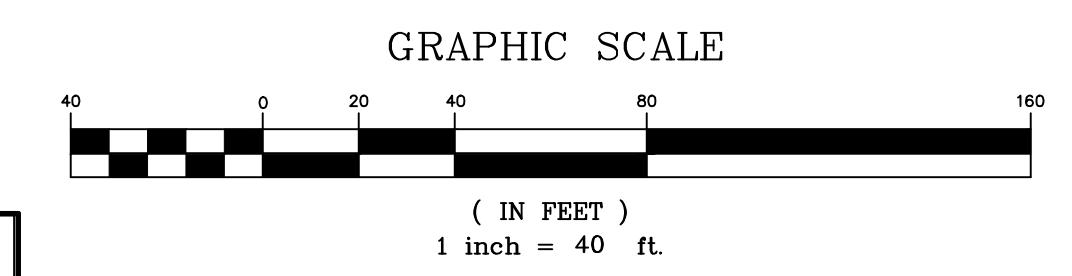
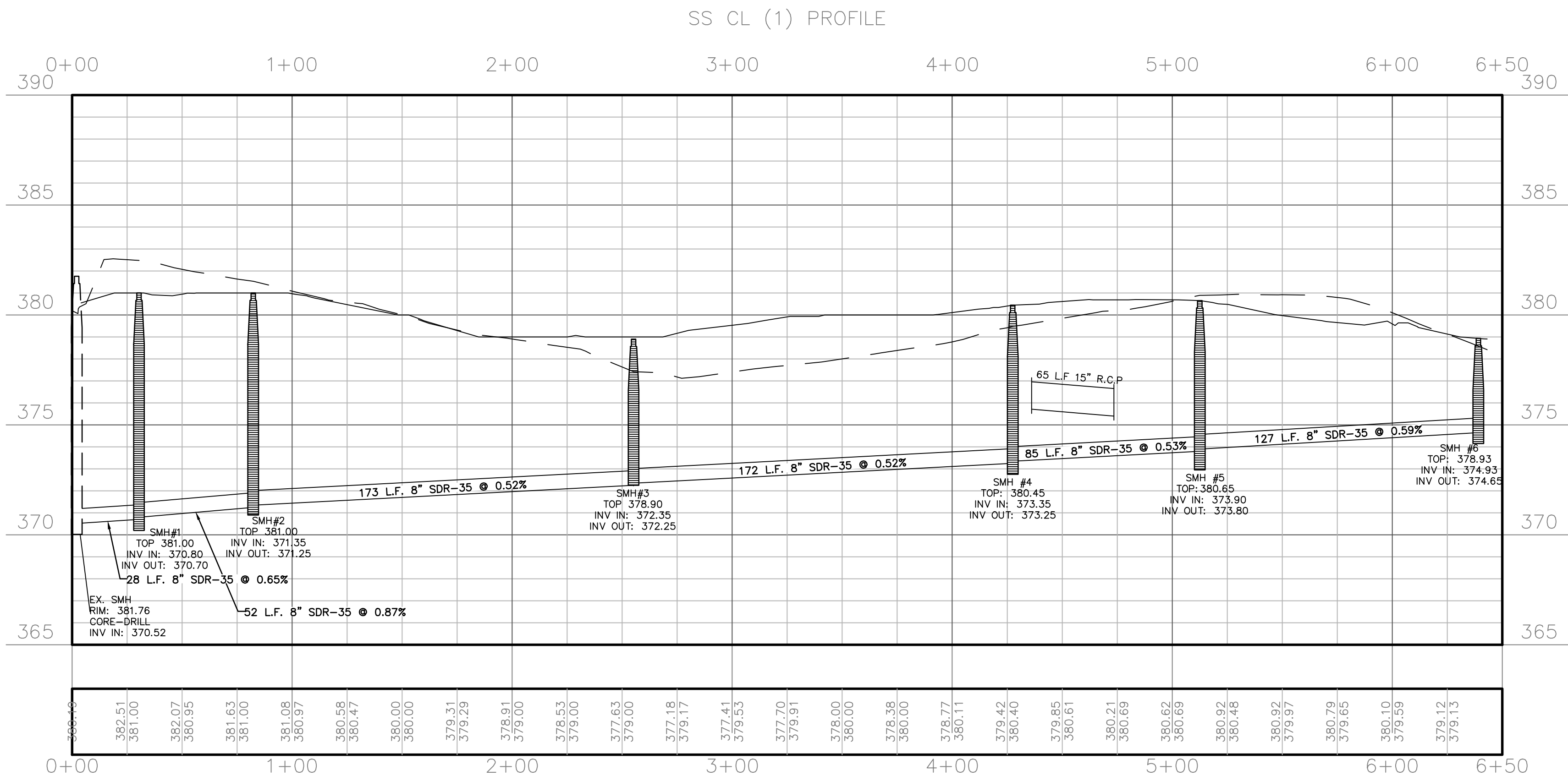
VICINITY MAP

NOT TO SCALE

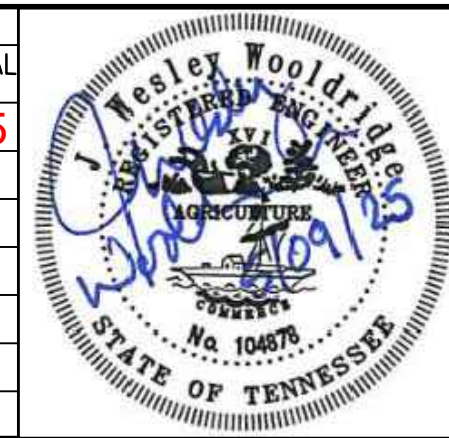
- GENERAL NOTES
1. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT NECESSARILY ALL OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY COMPANY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND/OR UNDERGROUND STRUCTURES PRIOR TO THE INITIATION OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION PERIMETERS. FOR SITE LOCATIONS OF EXISTING UTILITIES, PLEASE CALL 811.
 2. CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE ON EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
 3. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
 4. CONTRACTOR SHALL NOTIFY THE CITY OF BROWNSVILLE AUTHORITY A MINIMUM OF 24 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
 5. ALL AREAS IN CUT OR FILL WHERE VEGETATION HAS BEEN REMOVED SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO PREVENT EROSION.
 6. THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
 7. ALL SANITARY SEWER TO BE CONSTRUCTED AS PER CITY STANDARD CONSTRUCTION SPECIFICATIONS. SANITARY SEWER SERVICE CONNECTIONS TO BE INSTALLED AS PER CITY STANDARD.
 8. ALL SEWER MANHOLE LIDS IN OPEN AREAS ARE TO BE CONSTRUCTED 1.5' ABOVE PROPOSED GRADE. IN BACKYARDS, MANHOLE LIDS ARE TO BE 1.5' ABOVE INITIAL GRADE, 0.5' ABOVE FINAL GRADE.
 9. ALL SANITARY SEWER, INCLUDING SERVICE CONNECTIONS, WHICH HAS LESS THAN 1.5' CLEARANCE (OUTSIDE OF PIPES) WITH DRAINAGE OR IN FILLED AREAS SHALL BE CLASS 50 D.I.P. OR CONCRETE ENCASED, 10" MINIMUM BOTH SIDES OF CROSSING. ALL DUCTILE IRON PIPE (D.I.P.) SHALL BE POLYETHYLENE LINED OR SHALL BE TREATED WITH PROTECTO 401 OR APPROVED EQUIVALENT.
 10. THE CITY OF BROWNSVILLE SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
 11. NO TREES, SHRUBS, PERMANENT STRUCTURES, OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN SANITARY SEWER EASEMENT. NO OTHER UTILITIES OR SERVICES MAY OCCUPY SANITARY SEWER EASEMENTS IN PRIVATE DRIVES AND YARDS EXCEPT FOR CROSSINGS.
 12. ALL SANITARY SEWER MANHOLES IN REVERSE CROWN STREETS, ALLEYS, OR DRIVES, (PUBLIC OR PRIVATE) SHALL BE PROVIDED WITH GASKETS AND PLUGS FOR PICK HOLES TO PREVENT DRAINAGE INFLOW INTO SEWER SYSTEM.
 13. THE CONTRACTOR SHALL PROVIDE ADEQUATE AND EFFECTIVE EROSION CONTROL AS NECESSARY TO PREVENT ANY SILTATION INTO EXISTING DRAINAGE SYSTEM AND/OR ADJACENT PROPERTIES.
 14. DOMESTIC WATER LINE IS 3 INCHES WHICH IS TO CONNECT THE HOUSE OR BUILDING WITH THE CITY OF BROWNSVILLE WATER METER.
 15. TRACER WIRE SHALL BE INSTALLED ALONG THE LENGTH OF ALL SEWER PIPES. SERVICE CONNECTIONS, MANHOLES AND STUBS PER STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARD DETAIL.
 16. TRACER WIRE LOCATION SYSTEMS SHALL BE PROVIDED IN BLUE FOR WATER LINE AND GREEN FOR SEWER LINE.

SITE BENCHMARK
RIM OF EXISTING S.M.H. LOCATED IN
THE CENTER OF EAST JEFFERSON STREET
ELEVATION: **381.76**

FLOOD NOTE:
THIS PROPERTY SHOWN HEREON DOES
NOT GRAPHICALLY FALL WITHIN A SPECIAL
DESIGNATED FLOODZONE PER FEMA FIRM
MAP PANEL 47157C0185F, DATED
09/27/2007



REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE
1	ASI #1	07/25



THE RESERVES AT COBALT CIRCLE
BROWNSVILLE, TN.

DEVELOPER:
ENGINEER: RENAISSANCE GROUP, INC.

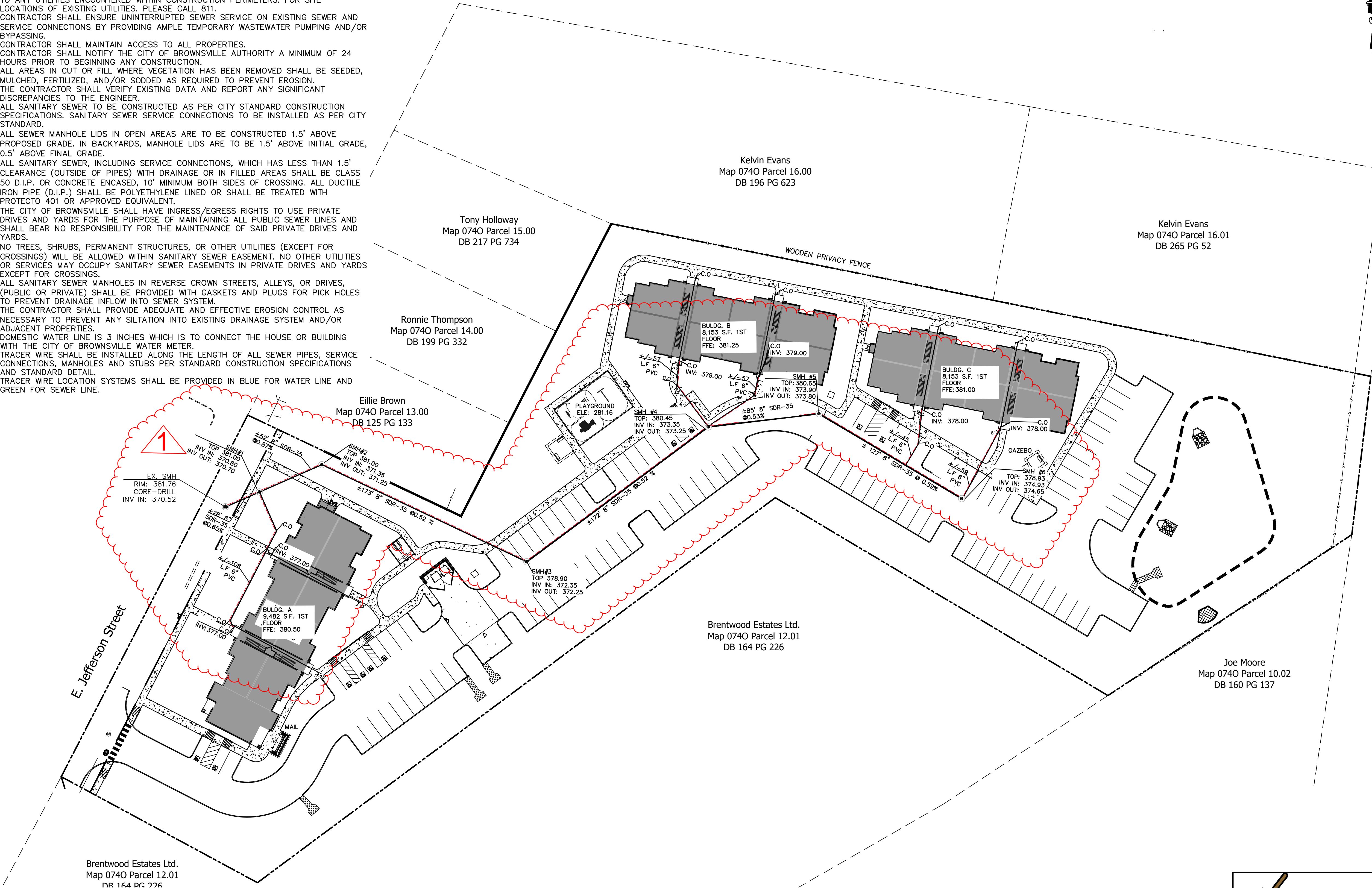
DIVISION OF ENGINEERING
S-S PLAN & PROFILE
LOCATION: 1616 EAST JEFFERSON STREET
BROWNSVILLE, TN.
DATE: 10/24/24
BOOK: _____
DESIGN: _____ DATE: 01/25/25 CKD: _____ DATE: 01/25/25 SCALE: 1" = 40'
DEPUTY CITY ENGINEER _____ DATE _____ CITY ENGINEER _____ DATE _____

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VICINITY
MAP
NOT TO SCALE

LEGEND	
SEWER LINE	
WATER LINE	
PROPERTY LINE	
TRACER WIRE (WATER)	
TRACER WIRE (SEWER)	



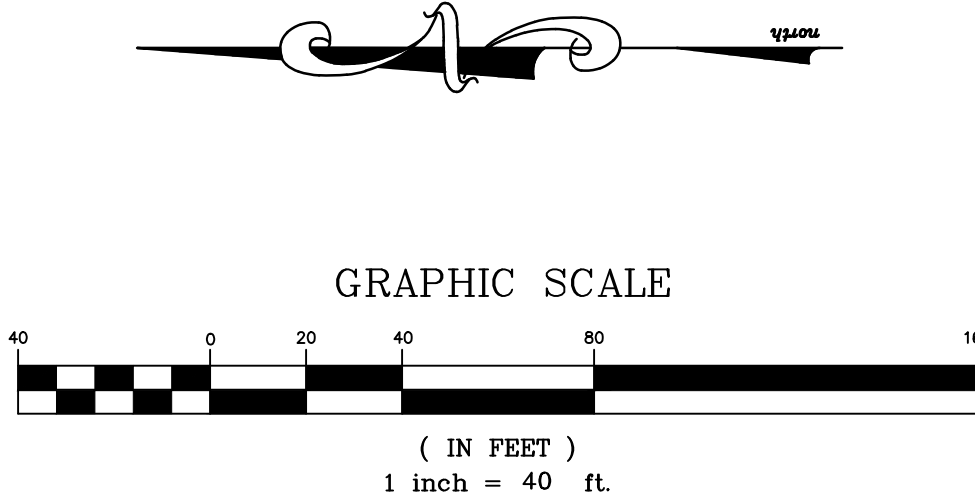
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BROWNSVILLE, TN.
DEVELOPER:
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SHEET 01 OF 04

DIVISION OF ENGINEERING
SANITARY SEWER PLAN
LOCATION: 1616 EAST JEFFERSON STREET
BROWNSVILLE, TN.
SURVEY: SEAS DATE: 10/24 BOOK: _____
DESIGN: _____ DATE: 01/25 CKD: _____ DATE: 01/25 SCALE: _____
DEPUTY CITY ENGINEER _____ DATE _____ CITY ENGINEER _____ DATE _____

LEGEND	
SEWER LINE	—
WATER LINE	—W—W—W—
PROPERTY LINE	- - - - -
TRACER WIRE (WATER)	— — — — —
TRACER WIRE (SEWER)	— — — — —

WATER LEGEND	
	FIRE HYDRANT
	THRUST BLOCK
	F.D.C.
	P.I.V.
	WATER VALVE

