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NOTICE TO ALL CONTRACTORS AND SUB-CONTRACTORS

6-2-2025

Reserves at Cobalt Circle – JGR Proj. 24-3446

ADDENDUM NO. 1

YOU ARE INSTRUCTED TO READ AND TO NOTE THE FOLLOWING DESCRIBED CHANGES, CORRECTIONS, CLARIFICATIONS, OMISSIONS, DELETIONS, ADDITIONS, APPROVALS, AND STATEMENTS PERTINENT TO THE CONTRACT AND CONSTRUCTION DOCUMENTS. THIS ADDENDUM IS A PART OF THE CONTRACT AND CONSTRUCTION DOCUMENTS AND SHALL GOVERN IN THE PERFORMANCE OF THE WORK.

GENERAL

1. Irrigation Plans have been added to the Bid/Permit Set – 3 sheets total.

CIVIL – Drawings

1. Site Plan Paving Sheet has been issued and added to the Full Civil Set. It will replace the Vehicle Turning Exhibit Sheet.
2. Site Details Sheet – Details on the Pre-Manufactured Wall have been added.

ARCHITECTURAL – Specifications

1. Section 01019 Special Provisions – Section 4: Cash Allowances has been added
2. Section 01030 Alternates – 5 Alternates have been added
 - a. Alternate No. 1 – Eliminate the tall pantry cabinet in Kitchen #102 – all Apartment Units
 - b. Alternate No. 2 – Utilize single-hung style windows at Windows C1 & C2 in lieu of fixed picture-style windows.
 - c. Alternate No. 3 – Change window types A1, B1 and C1 to match the sill height and size of window types A2, B2 and C2 at upper floors. (Accessible units will require a special lock and latching mechanism located within 48" aff).
 - d. Alternate No. 4 – Door type '4', bi-pass closet doors, shall be (2) 30" doors on floors 2 and 3 in lieu of (2) 36" doors.
 - e. Alternate No. 5 – Eliminate marble/solid surface windowsills. Utilize a gypsum board return instead.
3. Section 04700 Manufactured Masonry – Section 2.03 Related Materials has been modified.
4. Section 10850 Building Specialties – Playground Equipment has been modified.

ARCHITECTURAL – Drawings

3. Cover Sheet has been updated to include Irrigation Plans and the Site Paving Plan.
4. A1.1 Site Plan – Pre-cast Masonry wall locations and Note 'R' has been added. Playground equipment has been modified.
5. A1.2 Site Equipment – Playground Equipment has been modified.
6. A2.3 1-Bedroom Unit Plans – Door type labels have been added to the plans.
7. A2.4 2-Bedroom Unit Plans – Door type labels have been added to the plans.
8. A2.5 Apartment Door Schedule – Door #7 has been added. Notes & door type on Door #6 have been modified. Door type 'C' has been added.
9. A2.11 Clubhouse Floor Plan – Built-in Kitchen Island with cabinets and countertop has been eliminated. Owner to provide furnishing for this area.
10. A2.12 Clubhouse Details – Details B, C & D are no longer applicable. Kitchen island has been eliminated.

Receipt of this Addendum shall be noted on the Bid Form.

END OF ADDENDUM NO. 1

Irrigation Plans and Details – IR1.1, IR1.2, IR1.3

Civil Sheets – Site Plan Paving Sheet & Site Details Sheet

Revised Arch Sheets: Cover Sheet, A1.1, A1.2, A2.3, A2.4, A2.5, A2.11, A2.12

Revised Specification Section 01019 Special Provisions, 01030 Alternates, 04700 Manufacturer Masonry, 10950 Building Specialties

SECTION 01019

SPECIAL PROVISIONS

1. GENERAL

Should conflict occur between these Special Provisions and the General Conditions, the requirements of the Special Provisions shall take precedence.

2. TIME OF CONSTRUCTION - LIQUIDATED DAMAGES

- a. Time of Construction - The Contractor will commence the work within ten (10) days after the Architect shall have given the Contractor written notice to commence construction to the satisfaction of the Owner within the calendar days as Contractor so stated in his Bid Form. The time for completion herein set forth shall be extended for the period of any reasonable delay which is due exclusively to causes beyond the control and without the fault of the Contractor, including acts of God, fires, floods, and direction by the Architect. It is impractical to perform any operation of construction and acts of omissions of the Owner with respect to matters for which Owner is solely responsible; provided, however, that no such extension of time for completion shall be granted the Contractor, unless within ten (10) days after the happening of any event relied upon by the Contractor for such extension of time, the Contractor shall have made a request, therefore, in writing to the Architect. Extended time will be submitted with pay request for Owner's approval.
- b. Liquidated Damages - The time of completion of the construction of the project is of the essence of this Contract. Should the Contractor neglect, refuse, or fail to complete the project within the time herein agreed upon, after giving effect to extensions of time, if any, herein provided; then in that event and in view of the difficulty of estimating with exactness damages caused by such delay, the Owner shall have the right to deduct from and retain out of such money, which may then be due or which may become due and payable to the Contractor, the sum of THREE HUNDRED DOLLARS (\$300.00) per day for each and every day that such construction is delayed in its completion beyond the specified time, as liquidated damages and not as a penalty. If the amount due and to become due from the Contractor to the Owner is insufficient to pay in full any such liquidated damages, the Contractor shall pay to the Owner the amount necessary to effect such payment in full; provided, however, that the Owner shall promptly notify the Contractor in writing of the manner in which the amount retained, deducted or claimed as liquidated damages was computed.
- c. Joint Responsibility - The General Contractor and/or Subcontractors causing the delay in completion of the project shall be responsible for payment of liquidated damages. In no case shall the total liquidated damages for all contracts exceed the sum of daily liquidated damages multiplied by the number of days of delay in completion.

3. ALTERNATES - **Refer to Alternate Schedule, Section 01030**

- a. Alternates specified are not a part of Base Bid, but are Alternates to same, their acceptance being at option of Owner.

4. CASH ALLOWANCES

- a. **Costs included in Allowances:** Cost of Product to Contractor or Subcontractor, less applicable trade discounts, delivery to site, except those taxes saved by use of Owner's tax exemption.
- b. **Costs Not Included in the Allowance:** Fees for overhead and profit, product handling at the site, including unloading, uncrating, and storage; protection of Products from elements and from damage and labor for installation and finishing.
- c. **Architect Responsibilities:**
 1. Consult with Contractor in consideration and selection of Products, suppliers and installers.
 2. Select Products in consultation with Owner and transmit decision to Contractor.
 3. Prepare Proposal Requests and Change Orders.
- d. **Contractor Responsibilities:**
 1. Assist Architect/Engineer in selection of Products, suppliers and installers.
 2. Obtain proposals from suppliers and installers and offer recommendations.
 3. On notification of selection by Architect, execute purchase agreement with designated supplier and installer.
 4. Arrange for and process shop drawings, product data, and samples. Arrange for

delivery.

5. Promptly inspect Products upon delivery for completeness, damage, and defects. Submit claims for transportation damage.

6. Product handling at the site, including unloading, uncrating and storage, protection of Products from elements and from damage and labor for installation and finishing.

7. The Contractor shall include in his Bid all fees for all cash allowances.

e. Funds will be drawn from Cash Allowances only by written authorization from Owner.

f. Cash Allowances:

1. Landscaping and Irrigation – The contractor shall include in his bid, an allowance of **\$150,000.00** for direct cost and delivery of landscaping materials (plantings) and irrigation systems and materials. This allowance does not include unloading, handling or installation. The contractor shall bear all costs associated with coordination, administration scheduling, and supervision of companies, and include those costs in his bid. Reference drawings L1.1, L1.2, L1.3, IR1.1, IR1.2, and IR1.3 for more information regarding planting types, irrigation and site layouts.

5. ENUMERATION OF DRAWINGS AND SPECIFICATIONS

- a. Correlation. Accompanying these Specifications are the Drawings, which jointly with these Specifications, are intended to explain each other and describe and coordinate the work to be performed under the Contract.
- b. Verification of Documents. Before submitting his bid, each Bidder shall check his set(s) of Drawings and Specifications and advise the Architect if any sheets are missing.
- c. Specifications Explanations. For convenience of reference, the Specifications are separated into Titled Divisions and Sections. Such separation shall not, however, operate to make the Architect an arbiter to establish limits between the Contractor and Subcontractor or Sub-Subcontractor.
- d. Drawings. Refer to LIST OF DRAWINGS.
- e. Specifications. Refer to TABLE OF CONTENTS.

6. WARRANTIES

Before being eligible for final payment, Contractor shall deliver to Owner, through Architect, all special warranties specified for materials, equipment and installation.

7. OPERATING INSTRUCTIONS

Before being eligible for final payment, Contractor shall deliver to Owner, through Architect, three (3) copies of manufacturer's operating instructions, one (1) complete set of shop drawings on each piece of equipment, and such framed instructions as instructed.

8. AS-BUILT DRAWINGS

Before being eligible for final payment, the Electrical and Mechanical Contractors shall prepare and deliver to Owner, through Architect, one (1) set of AS-BUILT DRAWINGS. These drawings may consist of marked-up prints, if the Contractor so chooses, but shall show the correct location of every item of equipment, piping, conduit, panel boards, ductwork, switches, valves, etc. If marked-up prints are used, they shall be new white prints.

9. CERTIFICATE OF COMPLIANCE

Upon completion of project, Contractor is to furnish written Certification to the Architect that he has complied with every paragraph of the Specifications and Drawings.

10. CONTRACTOR'S MONTHLY APPLICATION FOR PAYMENT FORM

Contractor's monthly Application for Payment shall be submitted as per General Conditions. AIA Document G702, Application and Certificate for Payment is approved and acceptable.

11. FILING AND RECORDING OF BONDS

In addition to furnishing the number of combination Performance Bond and Labor and Materials Payment Bond, and Statutory Bond, if required, the Contractor shall file copies of such bonds with Clerk of the District Court and furnish Architect with receipt furnished by Clerk of the District Court, covering charges for filing and recording of said bonds.

12. STATUTORY BONDS

In addition to furnishing the combination Performance and Labor and Materials Payment Bond specified in General Conditions, the Contractor shall furnish Statutory Bond in an amount not less than 100% of the Agreement in such numbers and form stated in Sample Copy bound in the Specifications. Statutory Bond shall be filed and recorded with Clerk of the District Court, as specified in Paragraph - FILING AND RECORDING OF BONDS.

13. DOCUMENTS FURNISHED CONTRACTORS

The General Contractor will be furnished, free of charge, the following working drawings and specifications, including modifications for construction of the project - 20 sets. The General Contractor will be responsible for distribution of these sets to the Subcontractors and suppliers. The Contractor shall pay the actual cost of reproduction and postage for all additional sets requested by him.

14. SALES TAX EXEMPTIONS

- a. Materials, labor and equipment incorporated into this project are not exempt from the payment of sales tax under the laws of the **State of Tennessee** and such sales tax **shall be included in the Bid of the Bidder.**

END OF SECTION 01019

SECTION 01030

ALTERNATES

PART 1 – GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A Schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - EXECUTION

2.1 SCHEDULE OF ALTERNATES

- A. Schedule of Alternates
 - 1. General; The General Contractor shall state in his Bid Form the amount of dollars to be ADDED or DEDUCTED from his Base Bid for the following Alternates. Alternates are not in order of acceptance.

1. **ALTERNATE NO. 1**

Eliminate the tall pantry cabinet in Kitchen #102 – All Apartment Units

Deduct \$ _____

2. **ALTERNATE NO. 2**

Utilize single-hung style windows at Windows C1 & C2 in lieu of fixed picture-style windows.

Deduct \$ _____

3. **ALTERNATE NO. 3**

Change window types A1, B1 and C1 to match the sill height and size of window types A2, B2 and C2 at upper floors. (Accessible Units will require a special lock & latching mechanism located within 48" aff).

Deduct \$ _____

4. **ALTERNATE NO. 4**

Door Type '4', bi-pass closet doors, shall be (2) 30" doors on floors 2 and 3, in lieu of (2) 36" doors.

Deduct \$ _____

5. **ALTERNATE NO. 5**

Eliminate marble/solid surface windowsills. Utilize a gypsum board return.

Deduct \$ _____

END OF SECTION 01030

SECTION 04700

MANUFACTURED MASONRY

PART 1 - GENERAL

1.01 SUMMARY

- A. Section Includes: Manufactured stone veneer, Manufactured stone trim, and application materials, as indicated on the drawings.
- B. Building Materials Evaluation Commission.
- C. International Code Council (ICC):
 - 1. ES Report., UBC Standard No. 14-1, Kraft Waterproof Building Paper.
- D. Masonry Standards Joint Committee (MSJC) of The Masonry Society.
- E. Underwriters Laboratories (UL): Listing in Material Approval Guide. UL 723, Standard for Safety for Surface Burning Characteristics of Building Materials.

1.02 SUBMITTALS

- A. Reference Section 01 33 00–Submittal Procedures; submit following items:
 - 1. Product Data: Manufactured masonry and application materials **including mortar color charts & samples, and weather resistant barrier (as required by manufacturer)**.
 - 2. Samples: Panel/Sample board containing full-size samples of specified manufactured masonry showing full range of colors and textures **complete with specified mortar**.
 - a. Actual size of masonry sample approximately 12 by 12 inches (300 by 300 mm).
 - 3. Quality Assurance/Control Submittals:
 - a. Qualifications: Proof of manufacturer qualifications, Proof of installer qualifications, Certificates: ICC-ES Report, Manufacturer's Installation Instructions.

1.03 QUALITY ASSURANCE

- A. Qualifications:
 - 1. Manufacturer Qualifications: Minimum five years experience in producing manufactured masonry.
 - 2. Installer Qualifications: Company with documented experience in installation of manufactured masonry including minimum 5 projects within 500 mile radius of this Project.

1.04 DELIVERY, STORAGE, AND HANDLING

- A. Reference Section 01 66 00–Product Storage and Handling Requirements.
- B. Follow manufacturer's instructions.
- C. Store moisture-sensitive materials in weather protected enclosures.

1.05 PROJECT/SITE CONDITIONS

- A. Environmental Requirements: Maintain materials and ambient temperature in area of installation at minimum 40 degrees F (4 degrees C) prior to, during, and for 48 hours following installation.

1.06 WARRANTY

- A. Special Warranty: Provide manufacturer's standard limited warranty against defects in manufacturing for a period of 50 years following date of Final Acceptance.

1.07 MAINTENANCE

- A. Extra Materials: Furnish extra manufactured stone material in a variety of shapes and sizes in quantity equal to three percent of the installed stone.

PART 2 - PRODUCTS

2.01 MANUFACTURER

- A. **Stone Veneer: StoneWorks, Osceola Southern LedgeStone with a dark grey grout (actual color to be submitted to architect for approval).**
 - 1. Thickness 1.5" – 2.5" min.
 - 2. Size: Varies
 - 3. Installation pattern: LedgeStone lay – per manufacturer's recommendations
 - 4. Location – as indicated on drawings as "Stone Veneer".
- B. Substitutions: As approved equal prior to bidding.

2.02 MANUFACTURED MASONRY MATERIALS

- A. As selected by Owner or to Match Existing at additional Phases.

2.03 RELATED MATERIALS

- A. Weather Resistant Barrier: [Kraft waterproof building paper, UBC Standard No. 14-1] [No. 15, Type I, asphalt saturated felt, ASTM D 226]. As recommended by stone manufacturer.
- B. Moisture Wrap: 40 mil self-adhering rubberized asphalt sheet membrane as recommended by stone manufacturer.
- C. Metal Lath: [2.5 lb (1.4 kg/m²) galvanized expanded metal lath] [18 (1.3 mm) gauge woven wire mesh] [3.4 lb (1.8 kg/m²) galvanized expanded rib lath]. As recommended by stone manufacturer.
- D. Weep Screed: ½" standard 26 gauge galvanized metal as recommended by stone manufacturer.
- E. Fasteners:
1. Into Wood Studs: Minimum 0.120 inch (3 mm) shank diameter galvanized nails or staples of sufficient length to penetrate 1-3/8 inches (35 mm) minimum into the stud.
- F. Mortar: poly modified mortar, used over plywood. High strength >1,800 psi.
1. Color: Gray

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Examine substrates upon which manufactured masonry will be installed.
- B. Coordinate with responsible entity to correct unsatisfactory conditions.
- C. Commencement of work by installer is acceptance of substrate conditions.

3.02 PREPARATION

- A. Protection: Prevent work from occurring on the opposite of walls to which manufactured masonry is applied during and for 48 hours following installation of the manufactured masonry.
- B. Surface Preparation: Follow manufacturer's instructions designated below for the appropriate type of manufactured masonry and substrate.

3.03 INSTALLATION

- A. Per the manufacturers recommendations provide lath and scratch coat of ½" min. thickness, with ¼" min. set coat. Total min. thickness including masonry unit of 2"- 2.5".
- B. Install Cultured Stone® products in accordance with manufacturer's Cultured Stone® installation instructions using grouted joints.
- C. Install Cultured Brick® products in accordance with manufacturer's Cultured Brick® installation instructions.
- D. Install architectural trim products in accordance with manufacturer's Cultured Stone® installation instructions.
- E. Install/Apply Related Materials specified above in accordance with type of substrate and manufactured masonry manufacturer's installation instructions.

3.04 FIELD QUALITY CONTROL

3.05 CLEANING

- A. Clean manufactured masonry in accordance with manufacturer's installation instructions.

3.06 PROTECTION

- A. Protect finished work from rain during and for 48 hours following installation.
- B. Protect finished work from damage during remainder of construction period.

END OF SECTION 04700

SECTION 10850

BUILDING SPECIALTIES

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Building specialties shall be furnished and installed as shown and herein specified. Installation shall be in accordance with the respective manufacturer's instructions. Certain manufacturer's products have been selected as a basic standard, and reference to these products has been made. Other manufacturers' products of equal capacities and design characteristics may be used, if approved by the Architect prior to the Bidding. The Contractor shall submit for approval shop drawings or standard cuts and illustrations or a combination thereof showing all items he proposes to use.

1.2 PLAYGROUND SURFACING & EQUIPMENT

- A. **Edging** – 'Parkurb' border from www.playgroundequipment.com. Should be dug into the ground so that top of edging is flush with sidewalk and mulch surface to meet Accessibility requirements. Color to be selected by Architect
- B. **Mulch** – 'Playsafer Rubber mulch' frame www.rubbercycle.com. Depth and installation to meet ASTM F 1292-99/04, ASTM F 1487-01, ASTM F 1951-99, Per Manufacturer recommendations. Color to be selected by Architect
- C. **ADA Horizontal Ladder** – (1) Total. By Superior Playgrounds. Suitable for ages 5-12. Color scheme to be selected by Architect reference sheet A1.4.
- D. **Climb & Discover Cave** – (1) Total. By Superior Playgrounds, ref. Sheet A1.4, Color to be selected by Arch.
- E. **STEM-0004 Play Panel** - (1) Total. By Superior Playgrounds. Ref. Sheet A1.4, Color to be selected by Architect
- F. **Retro Rocker** - (1) Total, by Superior Playgrounds. Ref A1.4 Color to be selected by Architect
- G. **Benches** – (6) Total Polywood Traditional Garden 60" Bench. Color to be selected by Architect
 - 1. Refer to Sheets A1.3 and A1.5 for locations.

1.3 MAILBOXES

- A. Manufacturer – Florence Manufacturing Company, **(3) 4C16D-20, (1) 4C16D-15 and (1) 4C16D-6P**, front loading horizontal mailboxes for recessed mounting with snap-on outer trim kit. Reference drawings for application and details.
- B. Additional Features: Standard 5-pin cylinder tenant cam lock with two keys. Engraved identification number for slots with color fill. Owner to select color of all finishes.
- C. Quantity, layout and Size: Reference Sheets on Sheet A1.2

1.4 BBQ – PICNIC AREA

- A. Picnic Tables – (1) Total, www.theparkcatalog.com Everest Series, (1) 6'-0" Heavy Duty Picnic Table and (1) 8'-0" Heavy Duty ADA Single Sided Picnic Table. Colors to be selected by Arch.
- B. BBQ Grill – (1) Total, MHP Propane Gas Grill with Stainless Steel Shelves and Stainless Grids on in-ground Post. Mounted to meet ADA requirements. www.bbqguys.com

1.5 BIKE RACK

- A. Bike Racks – (3) Total, Belson 3 loop, Ref A1.4, Color to be selected by Architect

1.6 CLOSET SHELVING

- A. Reference floors for location and installation height.
- B. Easy to adjust system (without use of tools)
- C. Manufacturers: **Organized Living, Freedom Rail** or approved equal.
 - 1. Color: White
 - 2. Components: Rails, Rod Stop, Clothes Rod, Ventilated Shelves, Brackets, Mounting hardware
 - 3. Hanging rail mounted to wall per manufacturer's instructions: uprights spaced 36 inches apart to support 50 pounds.

END OF SECTION 10850



VICINITY
MAP
NOT TO SCALE

FINAL SITE DATA	
TOTAL SITE AREA (LOT 1):	222,854 S.F. (5.12 AC.)
TAX MAP, PARCEL NUMBER	MAP 0740, PARCEL 012.00
NUMBER OF UNITS	72 APT. UNITS
MAXIMUM BLDG. HEIGHT: PRO. MAX BLDG. HEIGHT:	75 FT 45.33FT (4 STORY APARTMENT)
BUILDING SETBACKS: FRONT SIDE REAR	40 FT. 30 FT. 30 FT.
OPEN SPACE REQUIREMNT: PRO. OPEN SPACE:	40% MULTI FAMILY APARTMENTS
ZONING: LAND USE:	R-3 HIGH DENSITY RESIDENTIAL MULTI FAMILY APARTMENTS

Britt Family Rev. Trust
Map 0740 Parcel 55.00
DB 209 PG 812
ZONING: R-3

HATCH LEGEND

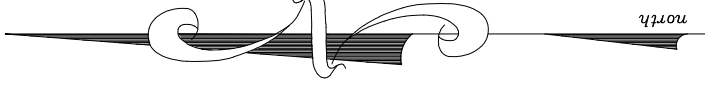
- HEAVY DUTY ASPHALT PAVEMENT (9,120 S.F.)
- LIGHT DUTY ASPHALT PAVEMENT (41,740 S.F.)
- HEAVY DUTY CONCRETE PAVEMENT (2,320 S.F.)

SITE BENCHMARK

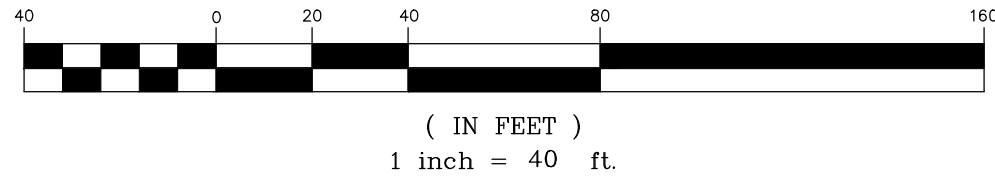
RIM OF EXISTING S.M.H. LOCATED IN THE CENTER OF EAST JEFFERSON STREET
ELEVATION: 381.76

FEMA FLOOD NOTE:

The property shown hereon does NOT graphically fall within a special designated Floodzone per FEMA FIRM Map Panel 47157C0185F, Dated 09/27/2007.



GRAPHIC SCALE



SHEET 2 OF 3

DIVISION OF ENGINEERING
SITE PAVING PLAN
LOCATION: 1616 EAST JEFFERSON STREET
BROWNSVILLE, TN.

SURVEY: SEAS
DATE: 10/24
DESIGN: DATE: 01/25, CKD: DATE: 01/25
BOOK: SCALE: 1"= 40'

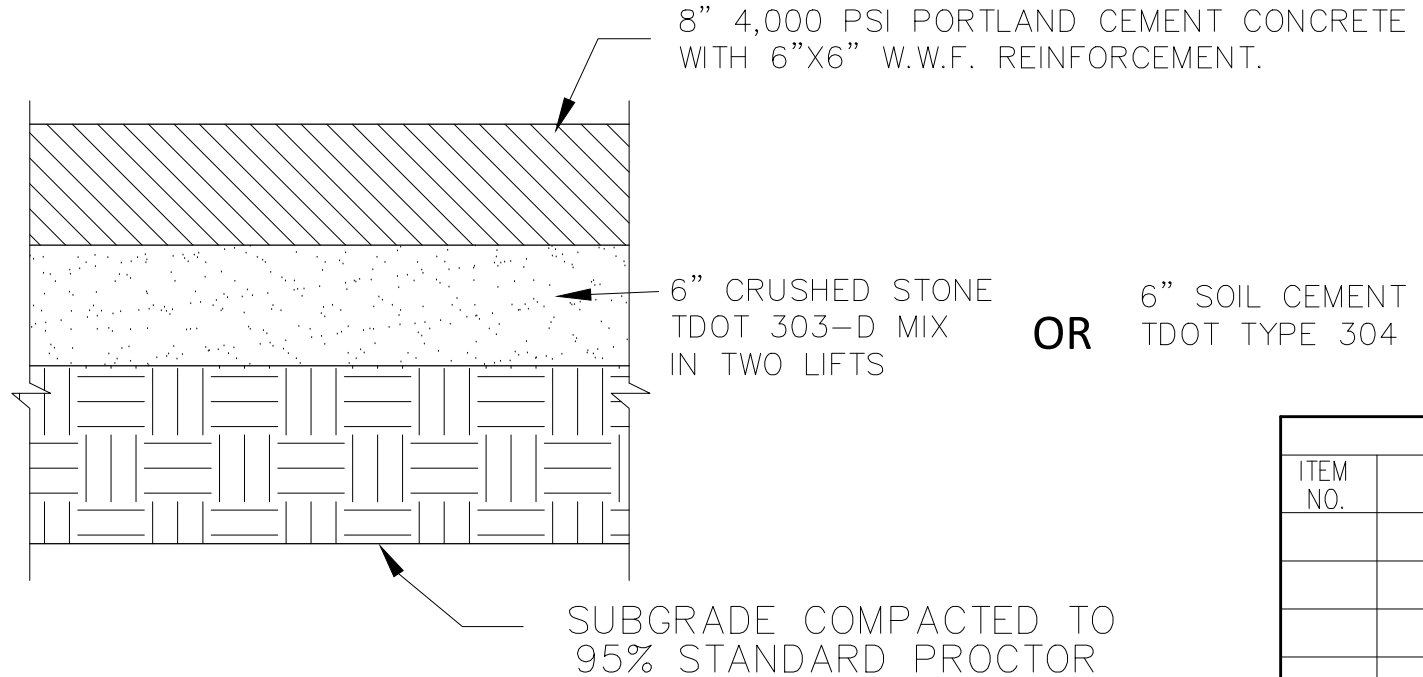
DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE



THE RESERVES AT COBALT CIRCLE
BROWNSVILLE, TN.

DEVELOPER:
ENGINEER: RENAISSANCE GROUP, INC.

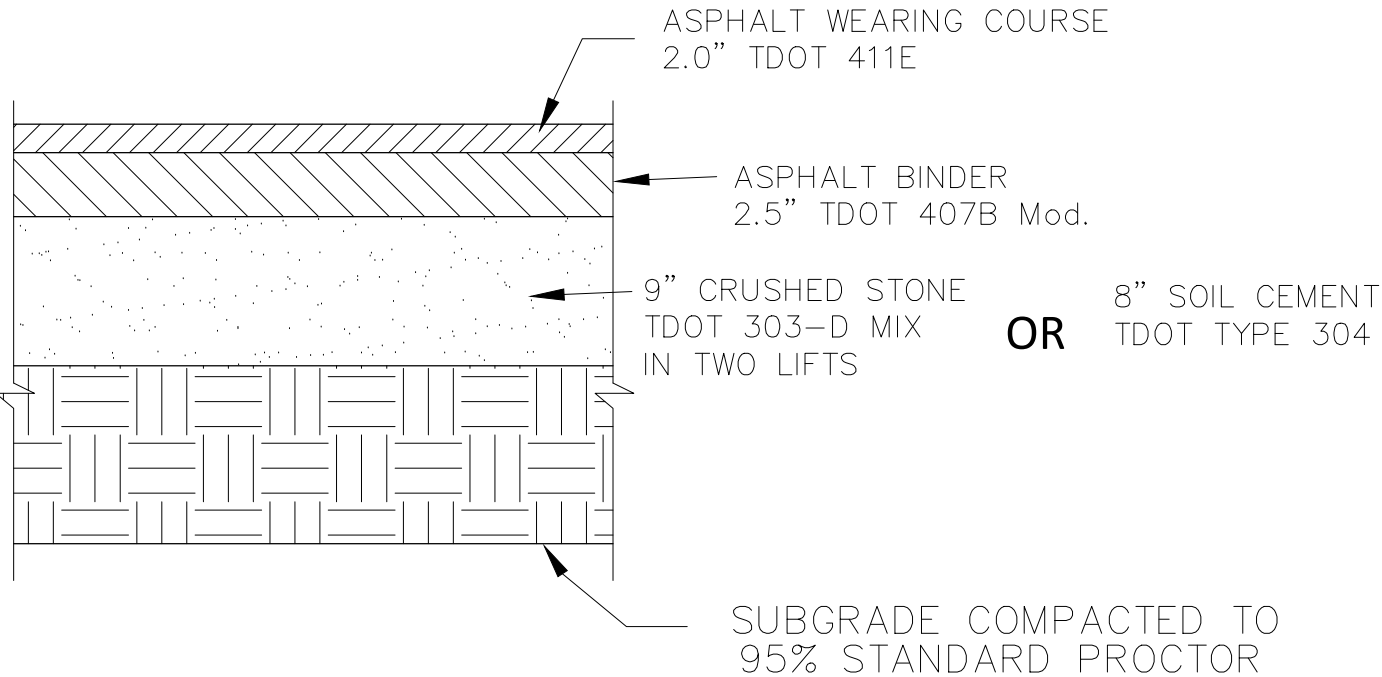
REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



HEAVY DUTY CONCRETE

TYPICAL DUMPSTER PAD DETAIL

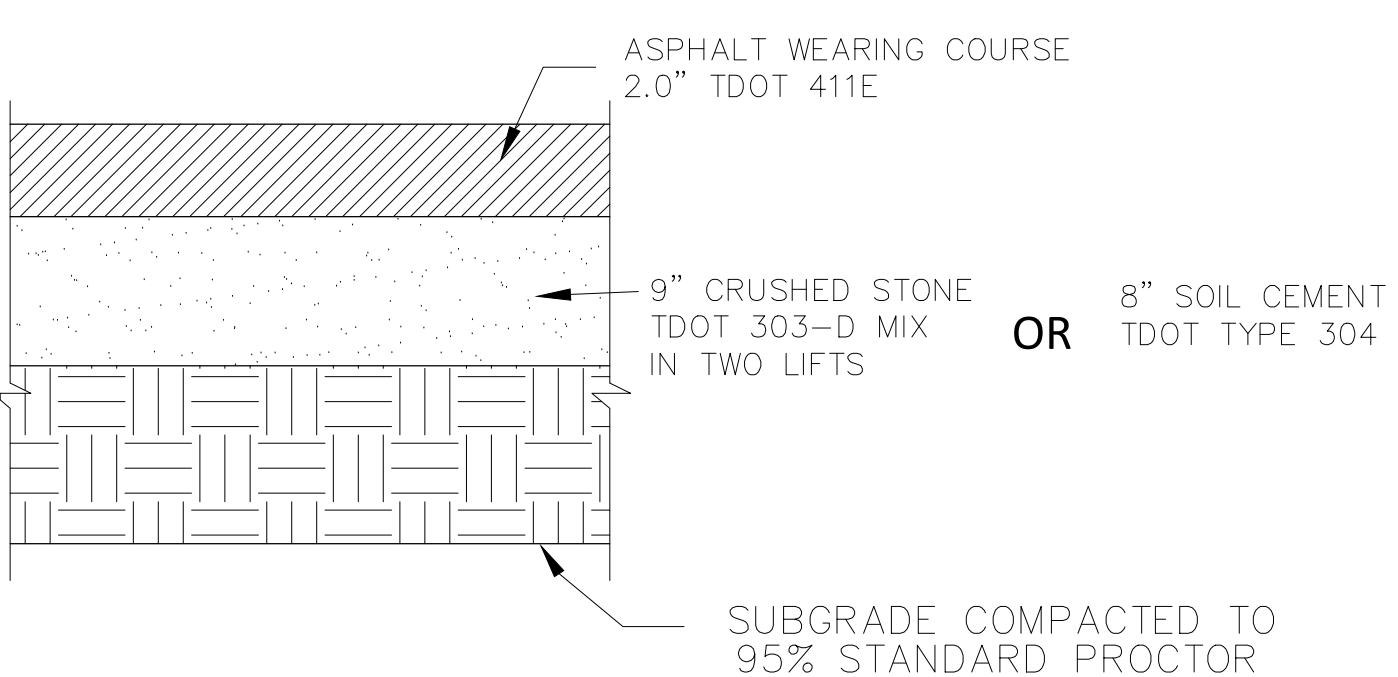
N.T.S.



HEAVY DUTY

TYPICAL PAVEMENT DETAIL

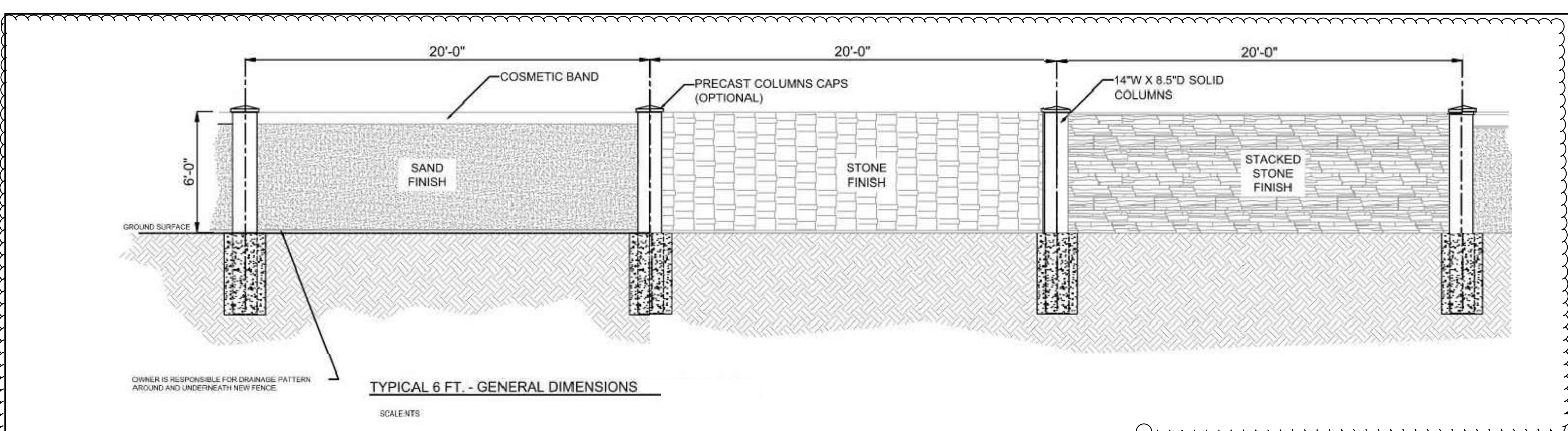
N.T.S.



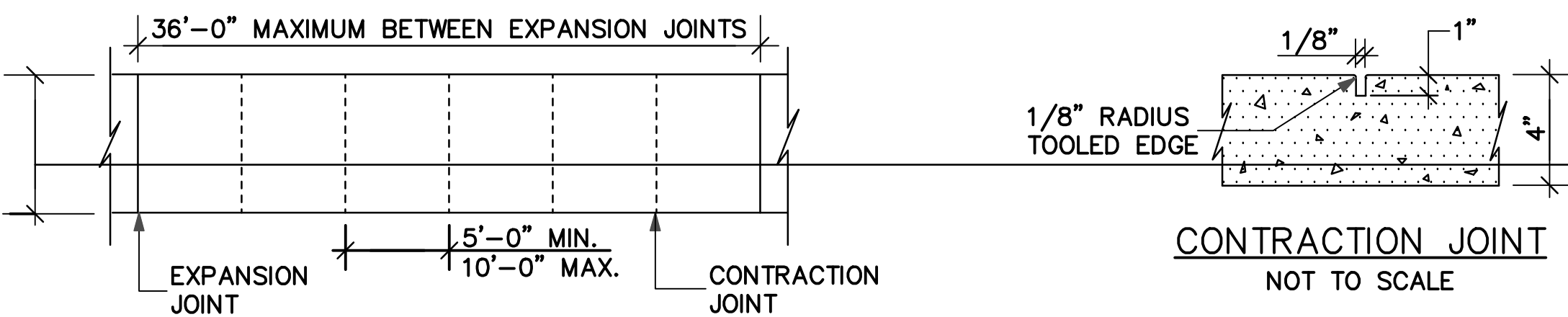
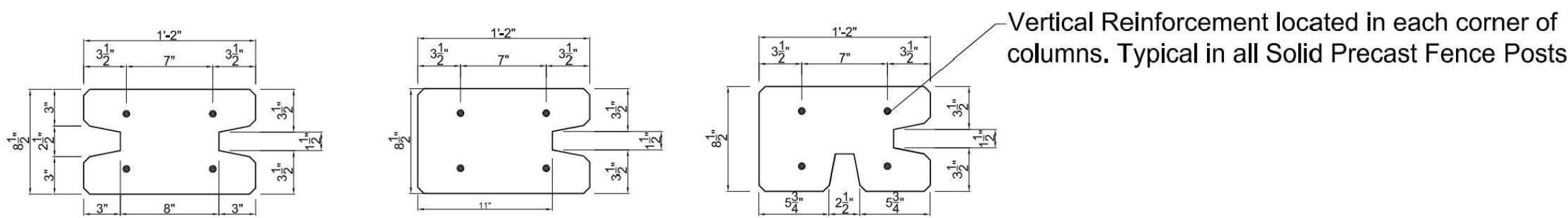
LIGHT DUTY

TYPICAL PAVEMENT DETAIL

N.T.S.

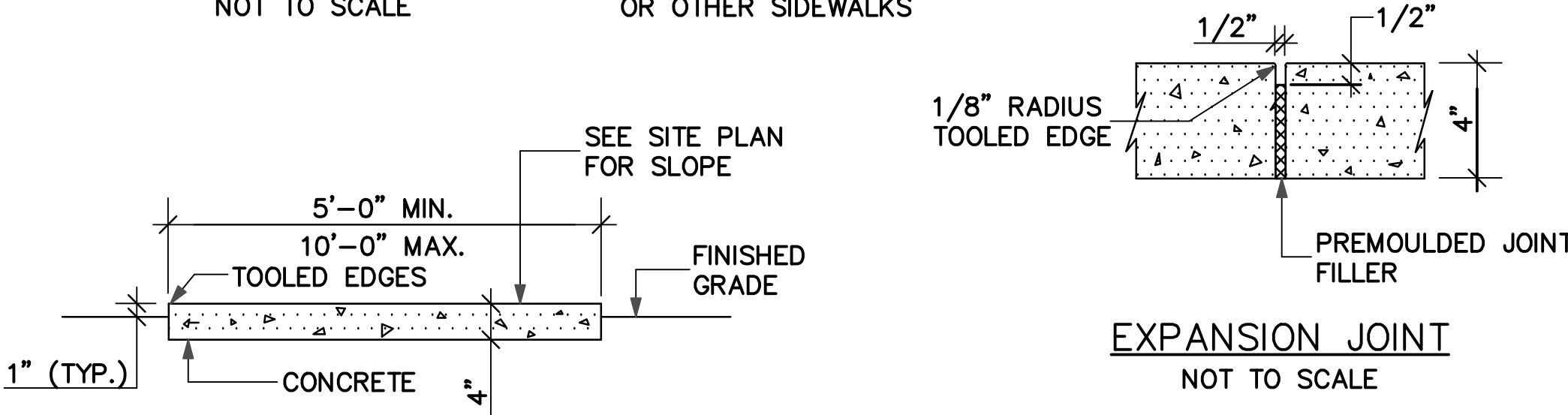


8-1/2" X 14" SOLID POST DETAILS



SIDEWALK PLAN
NOT TO SCALE

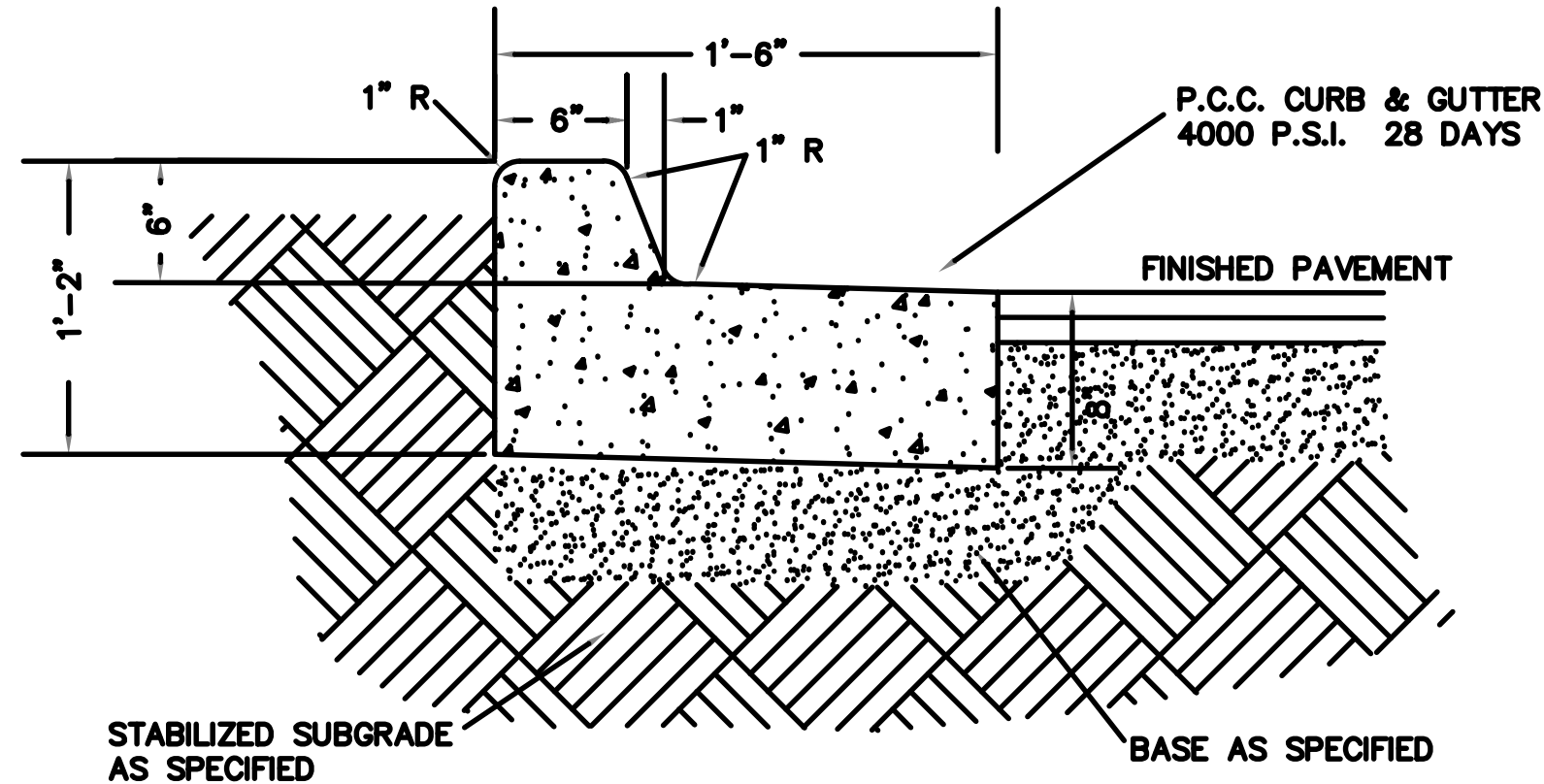
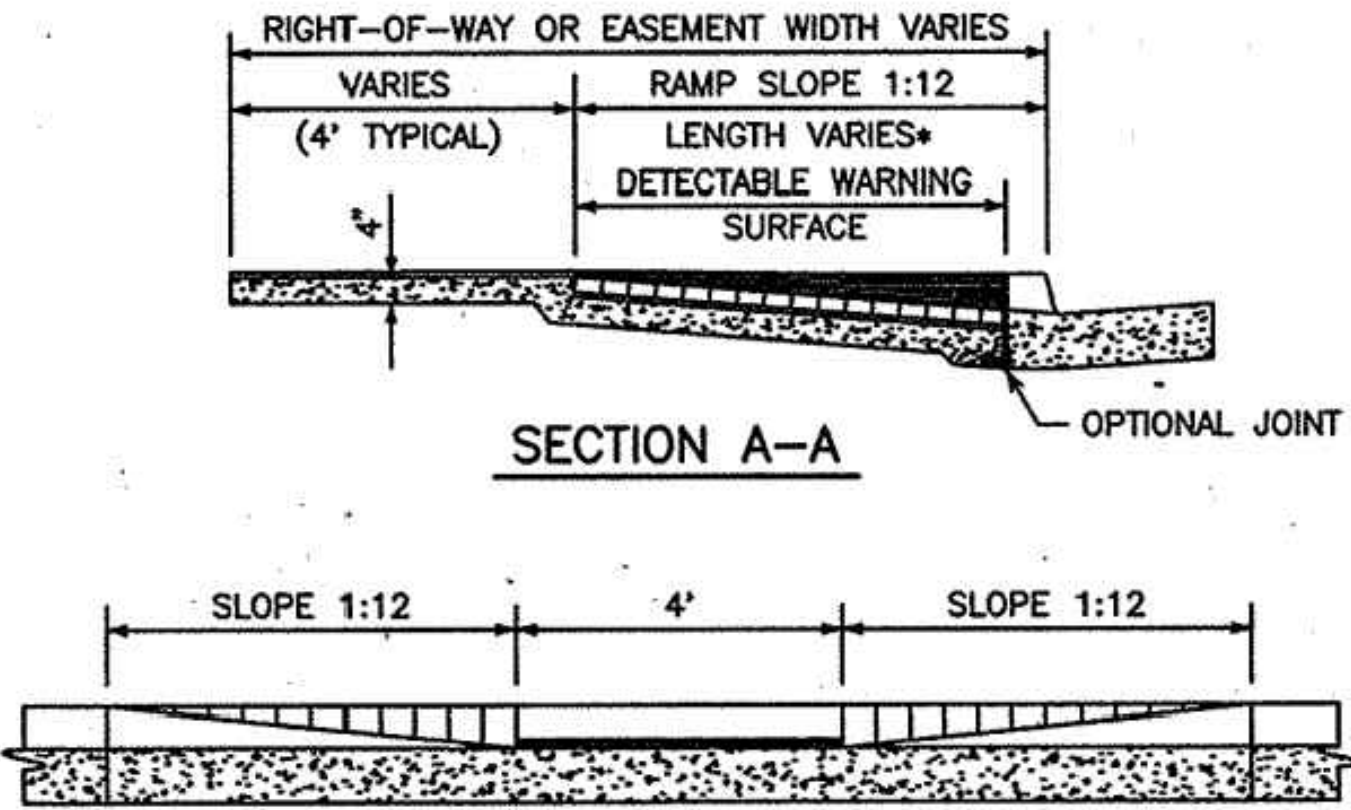
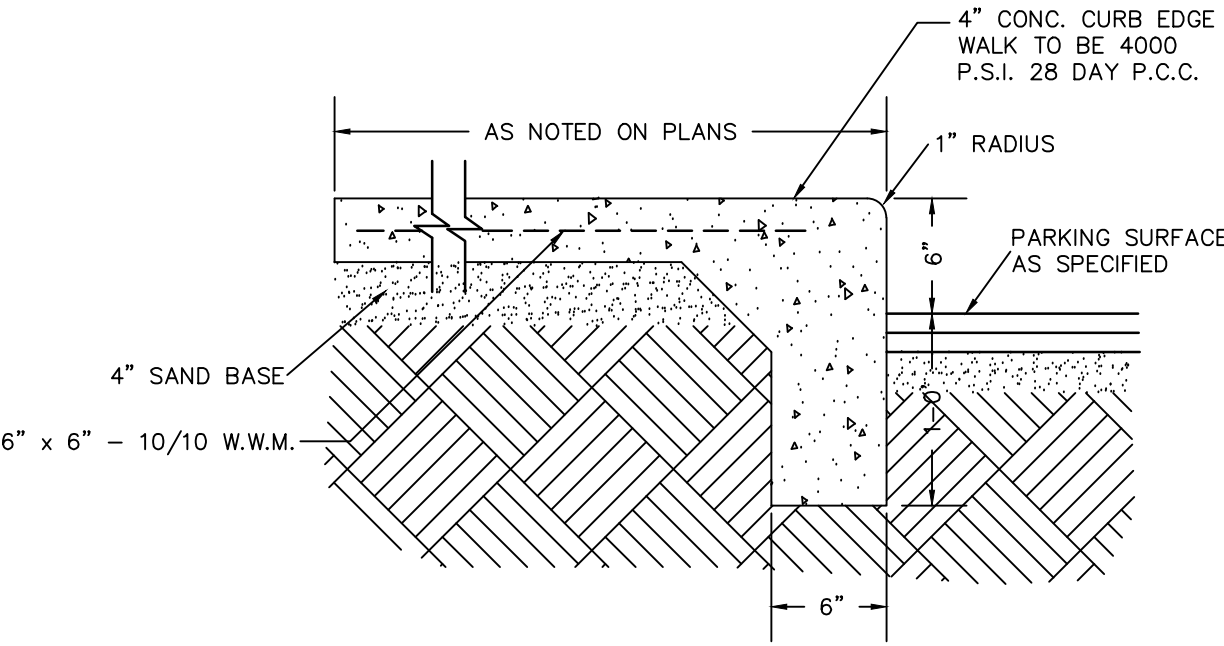
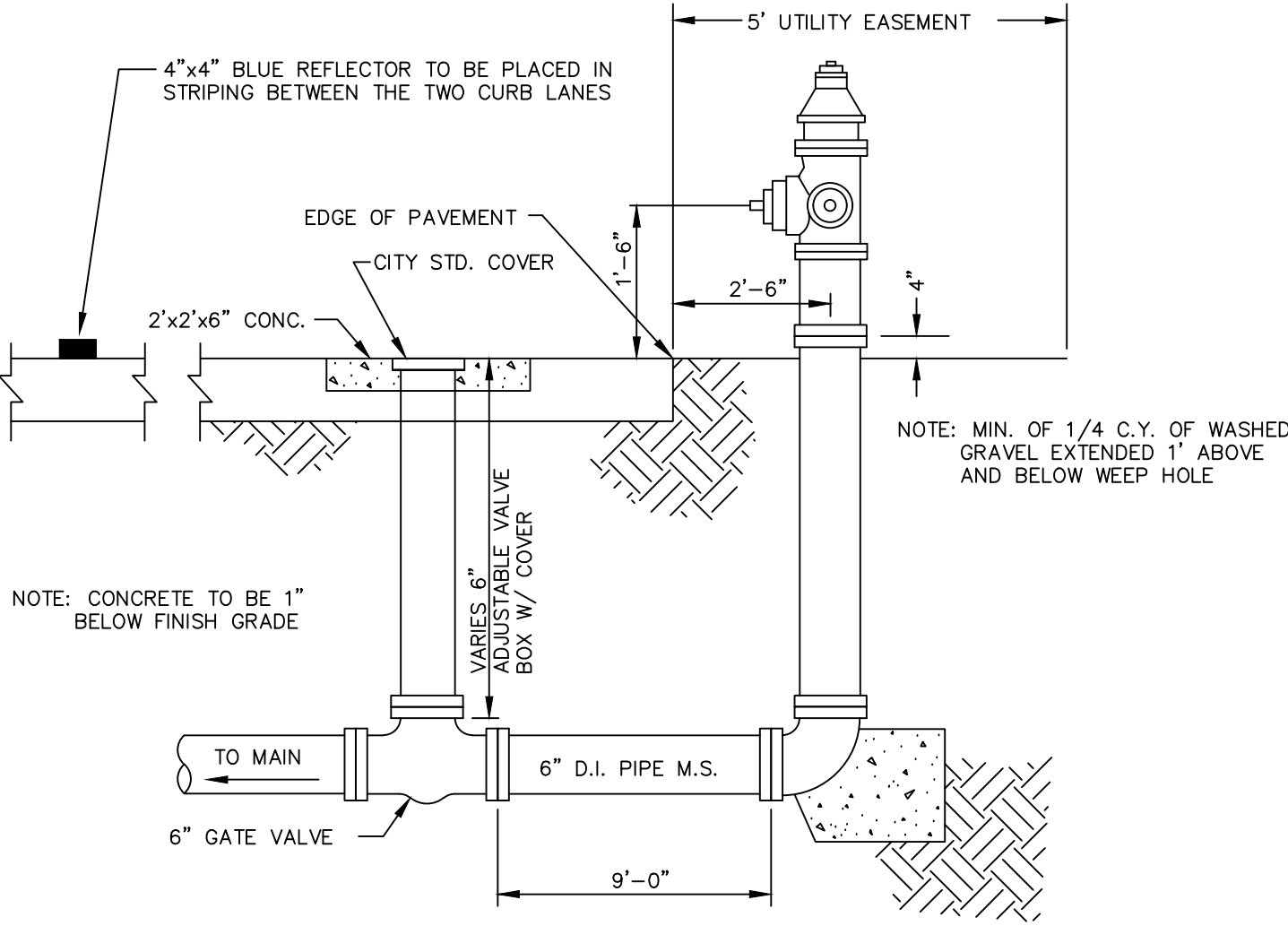
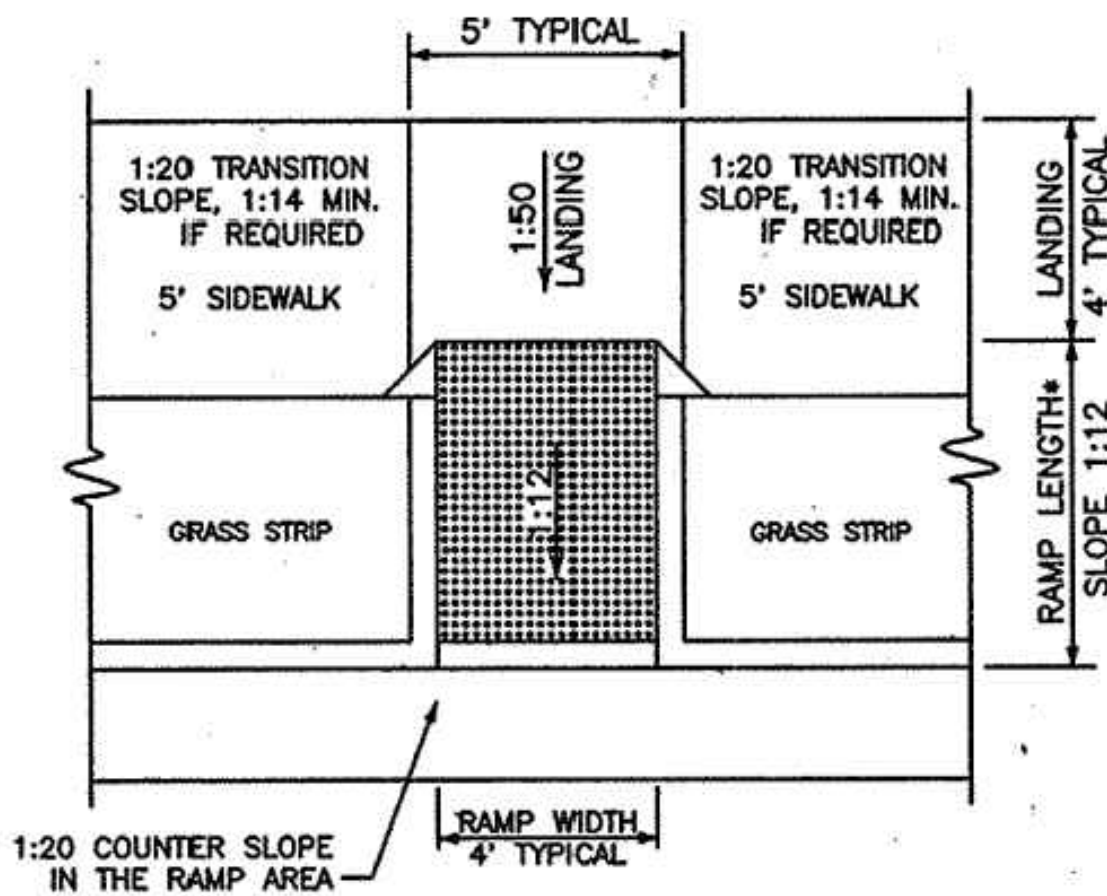
NOTE: ALSO PROVIDE EXPANSION JOINTS WHERE SIDEWALK ABUTS STRUCTURES OR OTHER SIDEWALKS



TYPICAL SIDEWALK SECTION
NOT TO SCALE

SIDEWALK DETAIL

N.T.S.



REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



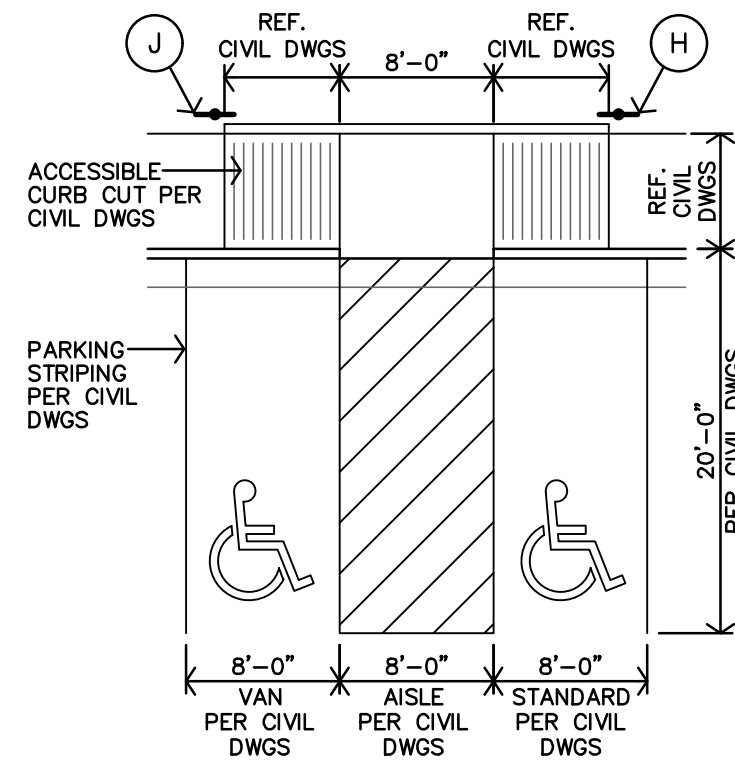
THE RESERVES AT COBALT CIRCLE
BROWNSVILLE, TN.
DEVELOPER:
ENGINEER: RENAISSANCE GROUP, INC.

SHEET 3 OF 3

DIVISION OF ENGINEERING
SITE DETAILS
LOCATION: 1616 EAST JEFFERSON STREET
BROWNSVILLE, TN.
DATE: 10/24/2024
SCALE: 1" = 10'-0"

SURVEY: SEAS
DESIGN: JWW DATE: 01/25/2024
DEPUTY CITY ENGINEER

BOOK: 10/25/2024
CITY ENGINEER



REFERENCE CIVIL DRAWINGS
B ACCESSIBLE PARKING
1"=10'-0"

PARKING SUMMARY

ACCESSIBLE PARKING STALLS	10 (2 van)
STANDARD PARKING STALLS	99
TOTAL PARKING STALLS	109
PARKING RATIO (STALLS/UNITS)	1.51

PARKING MEETS BROWNSVILLE'S LOCAL ZONING REQ' CHAPTER 8: OFF-STREET PARKING & LOADING REGULATIONS.

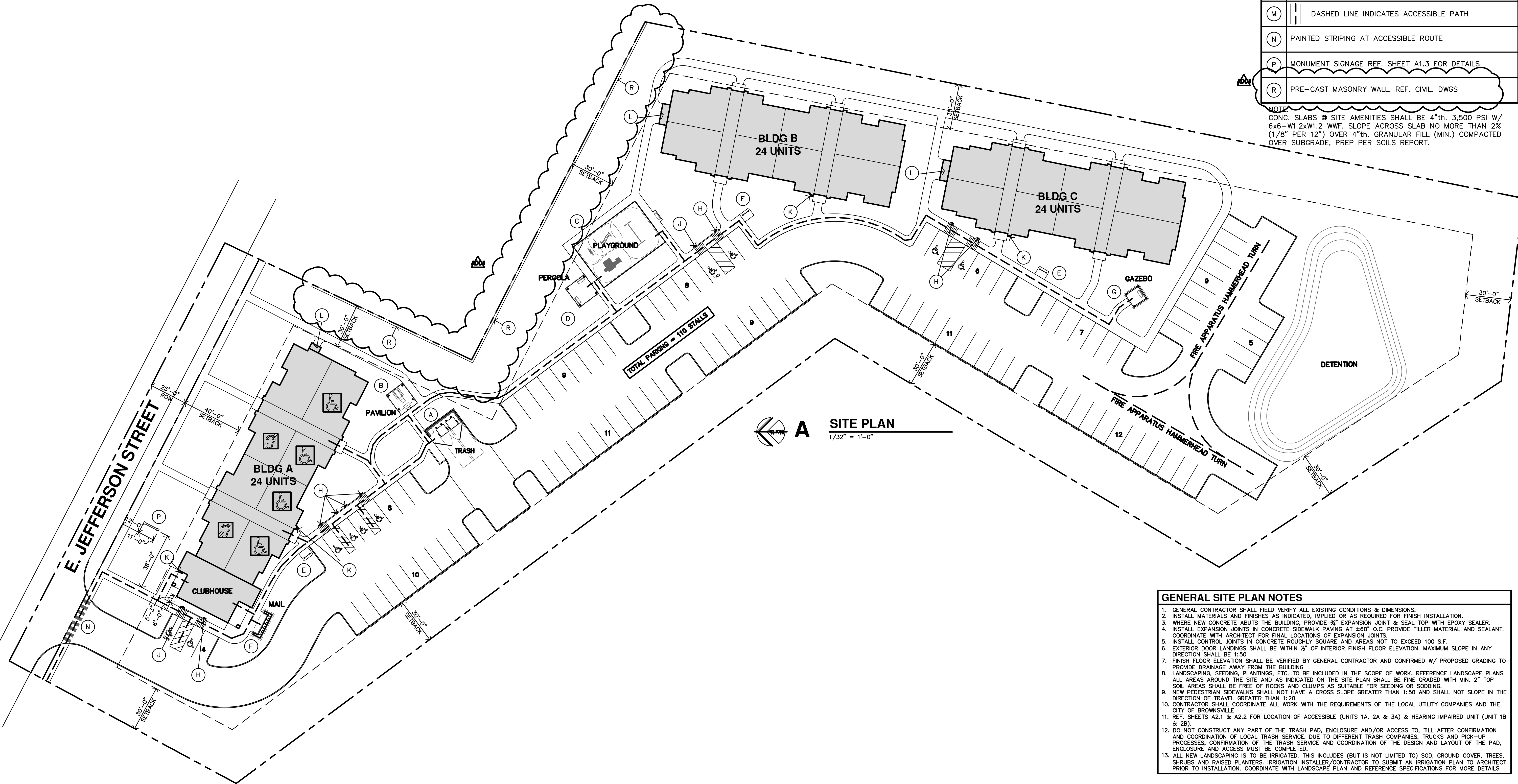
TABLE 801.1 OFF-STREET PARKING SCHEDULE:
DWELLING UNITS:
2 STALLS PER DWELLING UNIT
2 X 72 UNITS = 144 STALLS REQUIRED

SECTION D, ITEM 7:
INCENTIVES: THE NUMBER OF PARKING STALL REQUIREMENTS WILL BE FURTHER REDUCED BY 25% IF LANDSCAPED ISLANDS EVERY FIFTEEN (15) PARKING STALLS ARE PROVIDED.
THUS, 144 X 75% = 108 STALLS REQUIRED.

SITE PLAN KEY NOTES

(A)	TRASH ENCLOSURE & DUMPSTERS REF. SHEET A1.3 FOR DETAILS
(B)	PAVILION WITH BBQ AREA - CONCRETE PAD W/ (1) POLE MTD BBQ GRILL & (1) ACCESSIBLE PICNIC TABLE. REF. SHEETS A1.4 & A1.5
(C)	PLAYGROUND. REF SHEET A1.4 FOR DETAILS
(D)	PERGOLA WITH BENCHES. REF. SHEETS A1.4 & A1.5
(E)	BIKE RACK (3 TOTAL) - CONCRETE PAD (REF. CIVIL) W/ BIKE RACK REF. SHEET A1.4
(F)	MAIL KIOSK. REF SHEET A1.2 FOR DETAILS
(G)	GAZEBO & BENCH. REF. SHEETS A1.4 & A1.5
(H)	NEW POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(J)	NEW POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60"A.F.F. (TYP)
(K)	KNOX BOX COORD. W/ FIRE DEPT. (TYP)
(L)	MECH. CLOSET REF. & COORDINATE W/ M/E DRAWINGS (TYP)
(M)	DASHED LINE INDICATES ACCESSIBLE PATH
(N)	PAINTED STRIPING AT ACCESSIBLE ROUTE
(P)	MONUMENT SIGNAGE REF. SHEET A1.3 FOR DETAILS
(R)	PRE-CAST MASONRY WALL. REF. CIVIL DWGS

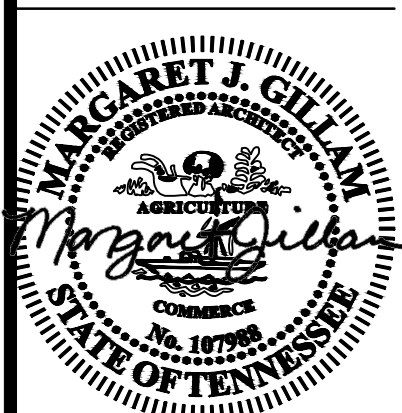
NOTE:
CONC. SLABS @ SITE AMENITIES SHALL BE 4"th. 3,500 PSI W/ 6x6-W1.2xW1.2 WWF. SLOPE ACROSS SLAB NO MORE THAN 2% (1/8" PER 12") OVER 4"th. GRANULAR FILL (MIN.) COMPACTED OVER SUBGRADE, PREP PER SOILS REPORT.



A SITE PLAN
1/32" = 1'-0"

GENERAL SITE PLAN NOTES

- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.
- INSTALL MATERIALS AND FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR FINISH INSTALLATION.
- WHERE NEW CONCRETE ABUTS THE BUILDING, PROVIDE 3/4" EXPANSION JOINT & SEAL TOP WITH EPOXY SEALER.
- INSTALL EXPANSION JOINTS IN CONCRETE SIDEWALK PAVING AT ±60" O.C. PROVIDE FILLER MATERIAL AND SEALANT. COORDINATE WITH ARCHITECT FOR FINAL LOCATIONS OF EXPANSION JOINTS.
- INSTALL CONTROL JOINTS IN CONCRETE ROUGHLY SQUARE AND AREAS NOT TO EXCEED 100 S.F.
- EXTERIOR DOOR LANDINGS SHALL BE WITHIN 3/4" OF INTERIOR FINISH FLOOR ELEVATION. MAXIMUM SLOPE IN ANY DIRECTION SHALL BE 1:50
- FINISH FLOOR ELEVATION SHALL BE VERIFIED BY GENERAL CONTRACTOR AND CONFIRMED W/ PROPOSED GRADING TO PROVIDE DRAINAGE AWAY FROM THE BUILDING
- LANDSCAPING, SEEDING, PLANTINGS, ETC. TO BE INCLUDED IN THE SCOPE OF WORK. REFERENCE LANDSCAPE PLANS. ALL AREAS AROUND THE SITE AND AS INDICATED ON THE SITE PLAN SHALL BE FINE GRADED WITH MIN. 2" TOP SOIL AREAS SHALL BE FREE OF ROCKS AND CLUMPS AS SUITABLE FOR SEEDING OR SODDING.
- NEW PEDESTRIAN SIDEWALKS SHALL NOT HAVE A CROSS SLOPE GREATER THAN 1:50 AND SHALL NOT SLOPE IN THE DIRECTION OF TRAVEL GREATER THAN 1:20.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE LOCAL UTILITY COMPANIES AND THE CITY OF BROWNSVILLE.
- REF. SHEETS A2.1 & A2.2 FOR LOCATION OF ACCESSIBLE (UNITS 1A, 2A & 3A) & HEARING IMPAIRED UNIT (UNIT 1B & 2B).
- DO NOT CONSTRUCT ANY PART OF THE TRASH PAD, ENCLOSURE AND/OR ACCESS TO, TILL AFTER CONFIRMATION AND COORDINATION OF LOCAL TRASH SERVICE. DUE TO DIFFERENT TRASH COMPANIES, TRUCKS AND PICK-UP PROCESSES, CONFIRMATION OF THE TRASH SERVICE AND COORDINATION OF THE DESIGN AND LAYOUT OF THE PAD, ENCLOSURE AND ACCESS MUST BE COMPLETED.
- ALL NEW LANDSCAPING IS TO BE IRRIGATED. THIS INCLUDES (BUT IS NOT LIMITED TO) SOD, GROUND COVER, TREES, SHRUBS AND RAISED PLANTERS. IRRIGATION INSTALLER/CONTRACTOR TO SUBMIT AN IRRIGATION PLAN TO ARCHITECT PRIOR TO INSTALLATION. COORDINATE WITH LANDSCAPE PLAN AND REFERENCE SPECIFICATIONS FOR MORE DETAILS.



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STEM-0004 PLAY PANEL
SUITABLE FOR ALL AGES
(COLOR SCHEME TBD BY ARCHITECT/OWNER)



J STEM-0004 PLAY PANEL
NO SCALE



CLIMB & DISCOVER CAVE
SUITABLE FOR AGES 2-12
(COLOR SCHEME TBD BY ARCHITECT/OWNER)

G CLIMB & DISCOVER CAVE
NO SCALE



RETRO ROCKER
SUITABLE FOR AGES 2-5
(COLOR SCHEME TBD BY ARCHITECT/OWNER)

H RETRO ROCKER
NO SCALE



ADA HORIZONTAL LADDER
SUITABLE FOR 5-12 YEARS
(COLOR SCHEME TBD BY ARCHITECT/OWNER)

F OVERHEAD LADDER
NO SCALE



BELSON OUTDOORS, POWDER COATED BLACK
WAVE BIKE RACK (OR EQUAL APPROVED BY
ARCHITECT), 3 LOOPS.
(3 TOTAL)

E BIKE RACK
NO SCALE



POLYWOOD TRADITIONAL GARDEN 60" BENCH
3 TOTAL
COLOR TBD BY ARCHITECT/OWNER

D OUTDOOR BENCH
NO SCALE



MHP PROPANE GAS GRILL WITH STAINLESS STEEL SHELVES
AND STAINLESS GRIDS ON IN-GROUND POST (2 TOTAL)
(www.bbqguys.com) (Item no.1516308 model no. JNR40D-P)

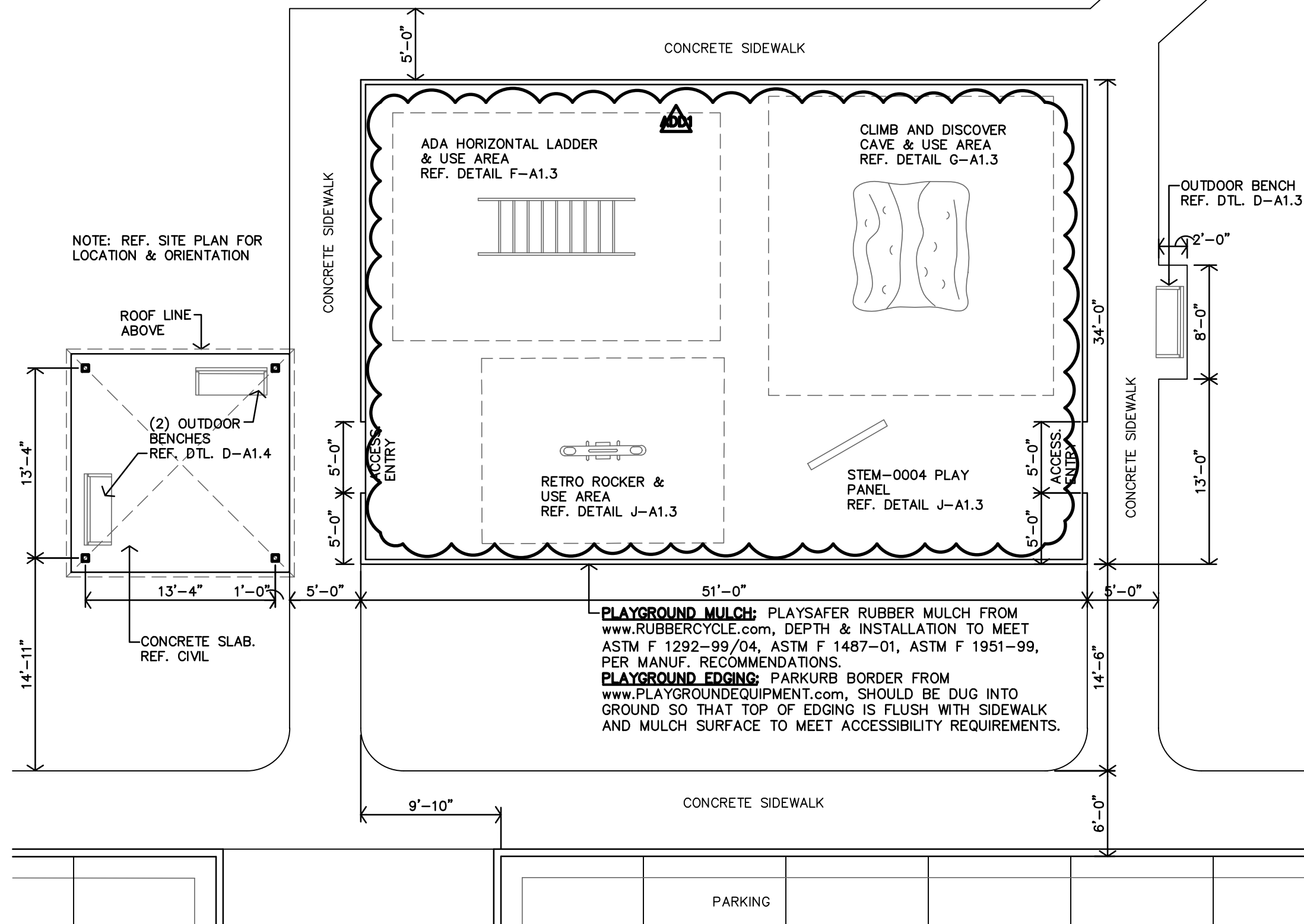
C BBQ GRILL
NO SCALE



EVEREST SERIES 8'-0" HEAVY DUTY ADA SINGLE
SIDED PICNIC TABLE
(www.theparkcatalog.com) (Item no.398-6007)
COLOR TO BE DETERMINED BY ARCHITECT/OWNER

B PICNIC TABLES
NO SCALE

PLAYGROUND AREA SHALL HAVE: (1) PLAYGYM, (1) 3.5"
ARCH SWING, (1) ZIG ZAG STRAIGHT RUNG OVERHEAD
LADDER, AND (1) RETRO ROCKER FROM SUPERIOR PLAY.
FOOTINGS PER MANUF/INSTALLER REFERENCE DETAILS ON
THIS SHEET FOR MORE INFORMATION



A

**ENLARGED PLAYGROUND
& PERGOLA AREA**
1/8" = 1'-0"



REVISION:
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A1.4

THE RESERVES AT COBALT CIRCLE
NEW APARTMENTS
BROWNSVILLE,
TENNESSEE

JGR JonesGillamRenz
730 N. Ninth
Salina, KS 67401
1881 Main Street, Suite 301
Kansas City, MO 64108
785.827.0386
jgr@jgrarchitects.com

APARTMENT GENERAL NOTES

1. REF. STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
2. TYPICAL GROUND FLOOR FINISH FLOOR ELEVATION IS REFERENCED AS 100'-0". CONTRACTOR SHALL VERIFY BUILDING ELEVATION WITH SITE CIVIL DRAWINGS.
3. REFERENCE SITE PLAN SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDINGS.
4. CONTRACTOR SHALL PROVIDE ADJUSTABLE PLASTIC COATED WIRE SHELVES & ROD AT ALL CLOSETS U.N.O.
5. CONTRACTOR SHALL PROVIDE FIREBLOCKING, ANCHOR BOLTS AND ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
6. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT 10'-0" O.C., TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT ALL BACK TO BACK ELECTRICAL OUTLETS. PROVIDED AND INSTALL ALL FIRE BLOCKING AND DRAFTSTOPS PER 2018 IBC, SECTION 718.
7. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE WITH NFPA 10, 2018 IBC, SECTION 906.1 AND SPECIFICATIONS. LOCATIONS INDICATED ON FLOOR PLANS AND O.P.
8. ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED U.L. DESIGNS. REFERENCE SHEET A4.9 FOR FIRE PENETRATION ASSEMBLIES
9. B.O. HEADER 83" ABV. FIN. FLR.
10. KITCHEN RECEPTACLES TO BE @ 44" max ABOVE FIN. FLR.
11. SUBMIT VERIFICATION THAT ALL CONSTRUCTION MATERIAL WILL MEET US EPA CRITERIA PARTICULARLY MATERIALS THAT WILL BE OBTAINED FROM INTERNATIONAL SOURCES. ALSO PROVIDE VERIFICATION THAT THE CONSTRUCTION WILL NOT RESULT IN OR CONTAIN HAZARDOUS MATERIALS.
12. ALL WALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
13. F.O.S. = FACE OF STUD
14. HEARING/VISION IMPAIRED UNIT (WHERE INDICATED ON SHEET A1.1 AND LISTED ON BUILDING PLANS):
 - CONTRACTOR SHALL INSTALL EQUIPMENT REQUIRED PER 2010 ADA SEC. 809.5.
 - REF. ELECT. DWGS
15. REF. **A2.4** FOR PARTITION & ASSEMBLY SCHEDULES AND REF. **A2.5** FOR FINISH, DOOR & WINDOW SCHEDULES.
16. INDICATES FURRED PLUMBING WALLS

STANDARD UNIT NOTES

- STANDARD UNITS (ALL SECOND & THIRD FLOOR UNITS):
- CONTRACTOR TO PROVIDE 2x8 BLOCKING IN WALLS FOR COUNTERTOP & SUPPORTS.
 - ALL CLOSETS TO HAVE PLASTIC WIRE CLOTHES SHELF & ROD WITH ADJUSTABLE BRACKETS (UNLESS OTHERWISE NOTED). MOUNT TOP OF SHELF AT 69" AFF.

ADAPTABLE (TYPE-B) UNIT NOTES

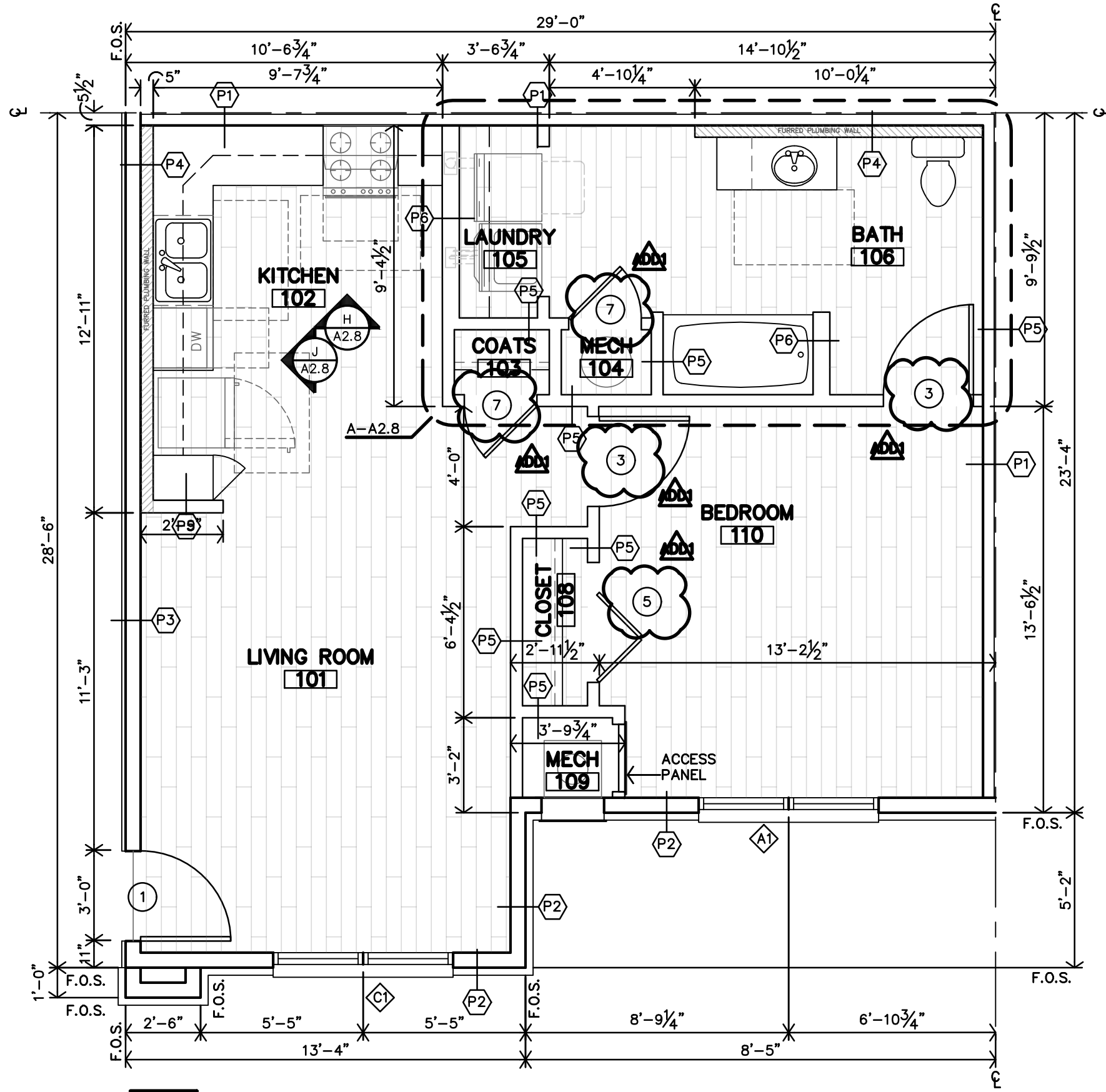
- ADAPTABLE (TYPE-B) UNITS (WHERE INDICATED ON SHEET A1.1 AND BUILDING PLANS):
- REFERENCE ENLARGED PLANS AND DETAILS FOR ADDITIONAL INFORMATION
 - **1-BEDROOM:** CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR FUTURE GRAB BARS @ ALL TOILETS & TUBS AND COUNTERTOPS AT BATH #106
 - **2-BEDROOM:** CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR FUTURE GRAB BARS @ ALL TOILETS & TUBS AND COUNTERTOPS AT BATH #106
 - **3-BEDROOM:** CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR FUTURE GRAB BARS @ ALL TOILETS & TUBS AND COUNTERTOPS AT BATH #106 & BATH #117.
 - **ALL UNITS:**
 - TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - CONTRACTOR TO INSTALL BLOCKING PER ICC/ANSI A117.1-2017.
 - ALL CLOSETS TO HAVE PLASTIC WIRE CLOTHES SHELF & ROD WITH ADJUSTABLE BRACKETS (UNLESS OTHERWISE NOTED). MOUNT TOP OF SHELF AT 69" AFF.
 - ALL SWITCHES, OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS MUST BE MOUNTED A MAX. OF 48" A.F.F. (NOT LESS THAN 15" A.F.F.)

ACCESSIBLE UNITS NOTES

- ACCESSIBLE UNITS (WHERE INDICATED ON SHEET A1.1 AND LISTED ON BUILDING PLANS):
- REFERENCE ENLARGED PLANS AND DETAILS FOR ADDITIONAL INFORMATION
 - **1-BEDROOM:** CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR GRAB BARS @ ALL TOILETS & TUBS AND BLOCKING @ SINKS & COUNTERTOPS AT BATH #106
 - **2-BEDROOM:** CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR GRAB BARS @ ALL TOILETS & TUBS AND BLOCKING @ SINKS & COUNTERTOPS AT BATH #106
 - **3-BEDROOM:** CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR GRAB BARS @ ALL TOILETS, TUBS, AND SHOWERS & BLOCKING @ COUNTERTOP AT BATHS #106 & #117
 - **ALL UNITS:**
 - OPEN KNEE SPACE SHALL BE PROVIDED @ SINK & WORK SPACE IN KITCHEN #102
 - CONTRACTOR SHALL INSTALL HOT WATER & DRAIN PIPES COVERS.
 - TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - CONTRACTOR TO INSTALL BLOCKING AND PROVIDE & INSTALL GRAB BARS PER ICC/ANSI A117.1-2017.
 - ALL CLOSETS TO HAVE PLASTIC WIRE CLOTHES SHELF & ROD WITH ADJUSTABLE BRACKETS (UNLESS NOTED OTHERWISE). MOUNT TOP OF SHELF AT 48" AFF.
 - KITCHEN COUNTERTOPS SHALL BE MAX. 34" A.F.F. BATHROOM SINK RIM SHALL BE MAX. 34" A.F.F.
 - ALL SWITCHES, OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS MUST BE MOUNTED A MAX. OF 48" A.F.F. (NOT LESS THAN 15" A.F.F.)
 - HEIGHT OF OPERABLE WINDOW PARTS (LATCHES/LOCKS, ETC.) SHALL BE LOCATED MAX 48" A.F.F.

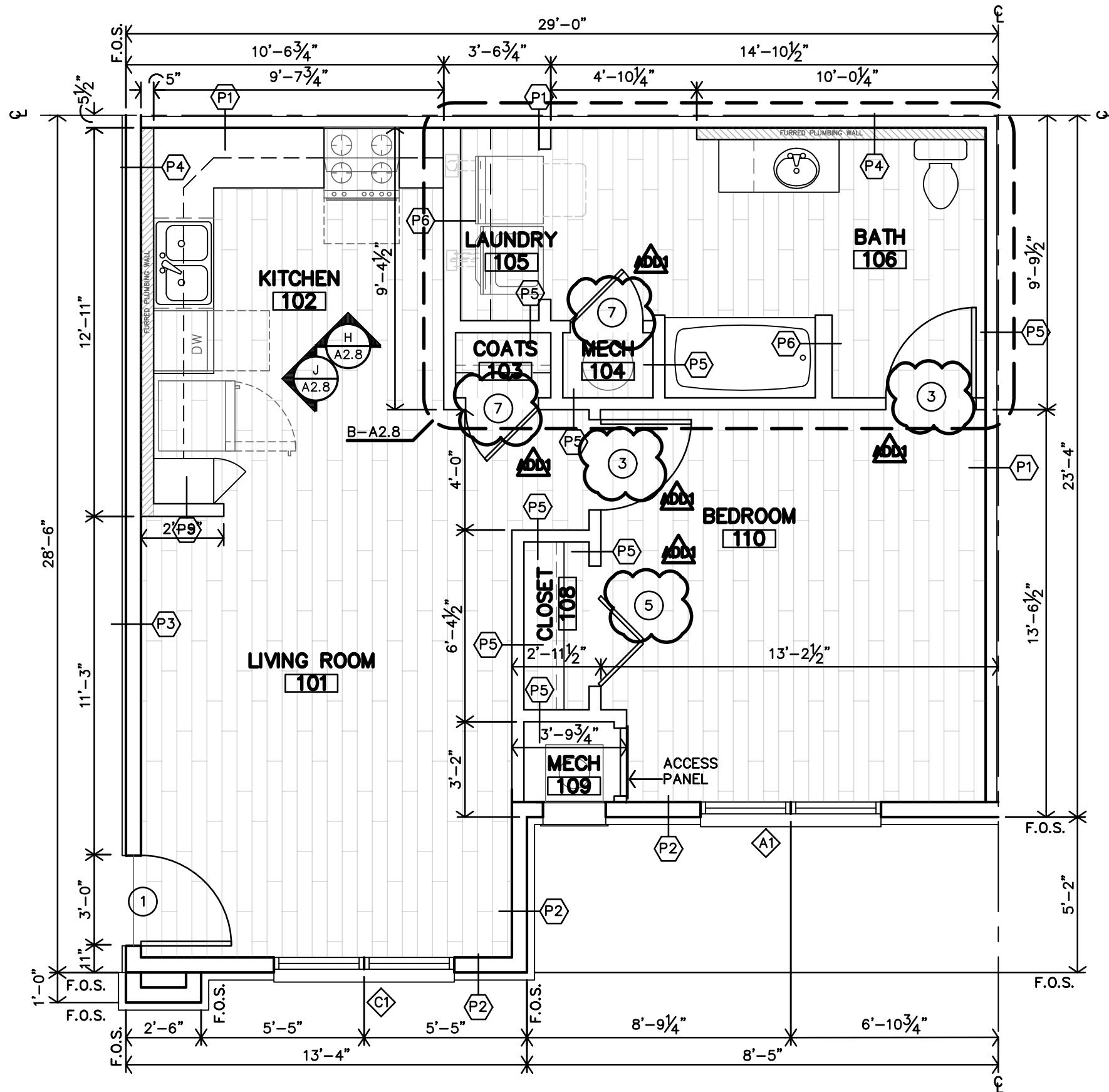
PLAN NOTES

1. REF. SHEET A2.4 FOR APARTMENT PARTITION TYPES & ASSEMBLY SCHEDULES.
2. REF. SHEET A2.5 FOR APARTMENT FINISH & DOOR SCHEDULES.
3. FOR UL ASSEMBLY/ATTACHMENT DETAILS - REF. SPECIFICATIONS & PROJECT MANUAL.
4. REF. SHEET A2.10 FOR APARTMENT BATH ACCESSIBLE DETAILS.
5. REF. SHEET A2.8 FOR APARTMENT CASEWORK SECTIONS.



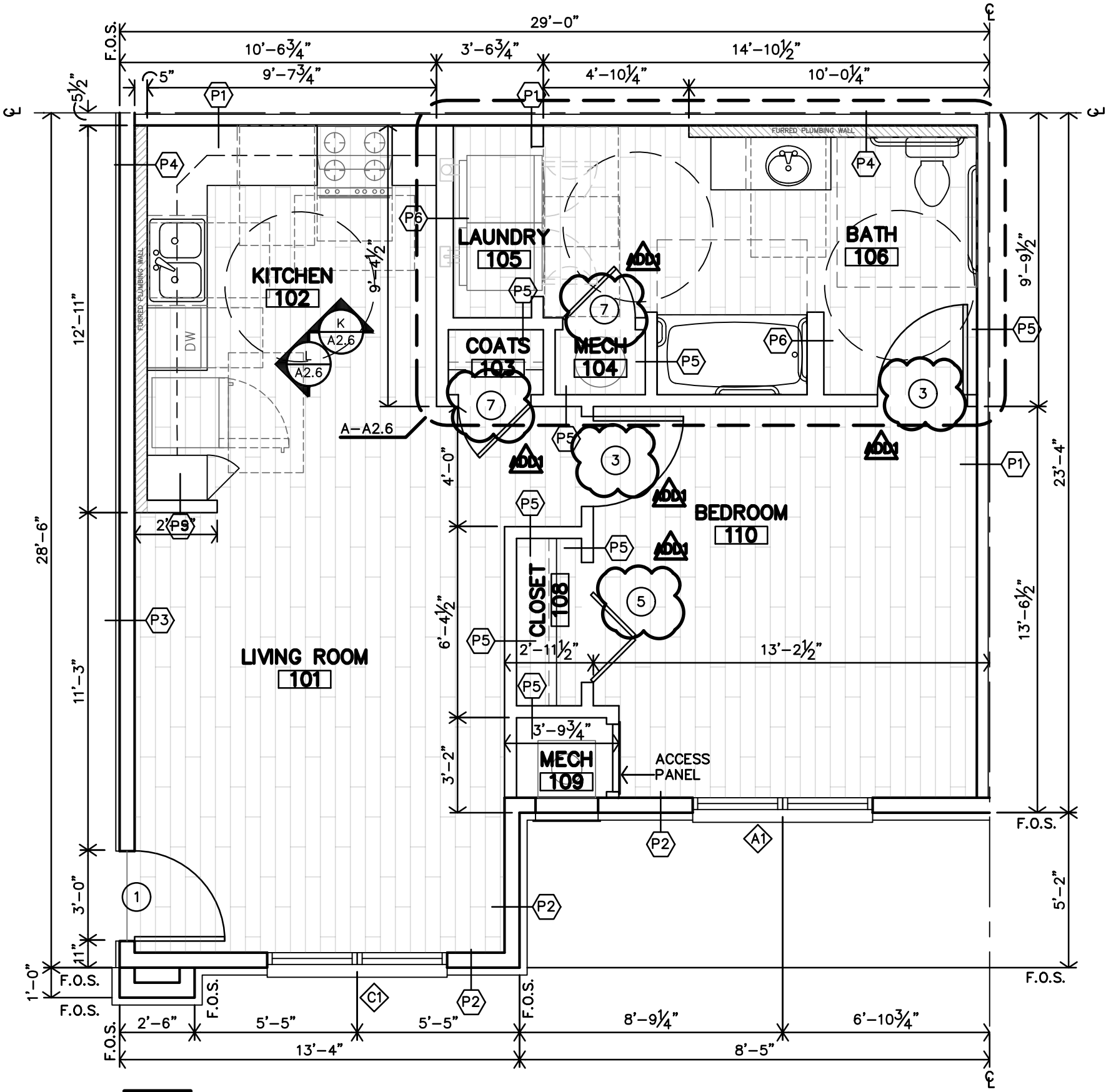
1 HEARING/VISION IMPAIRED UNIT

C UNIT 1B (TYPE-B)
ADAPTABLE
1-BEDROOM/1-BATH
1/4"=1'-0" 693 sf



1 FULLY ACCESSIBLE UNIT
W/ ROLL-IN SHOWER
ACCESSIBLE

D UNIT 1A (STANDARD)
1-BEDROOM/1-BATH
1/4"=1'-0" 693 sf



1 FULLY ACCESSIBLE UNIT
ACCESSIBLE

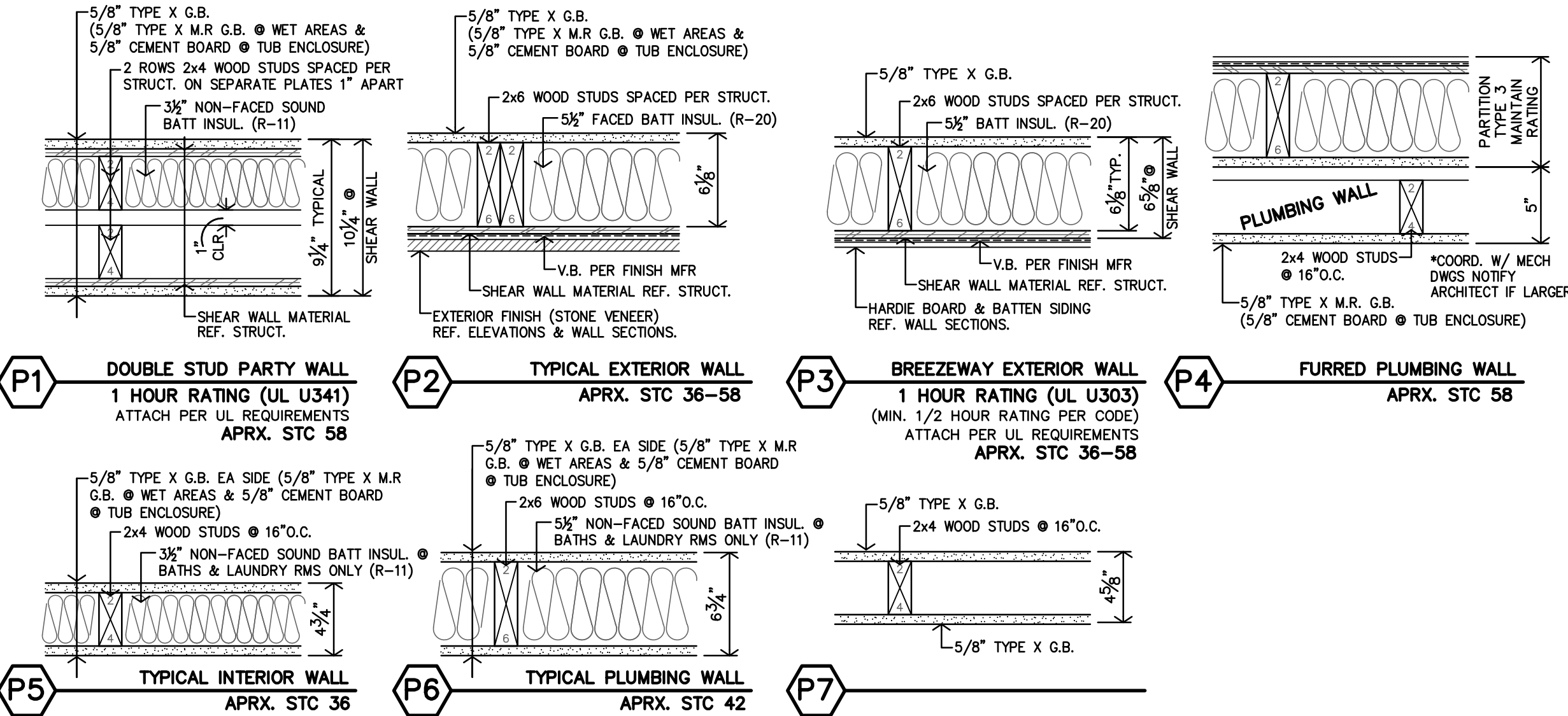
A UNIT 1A (ACCESSIBLE)
1-BEDROOM/1-BATH
1/4"=1'-0" 693 sf



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APARTMENT PARTITION SCHEDULE

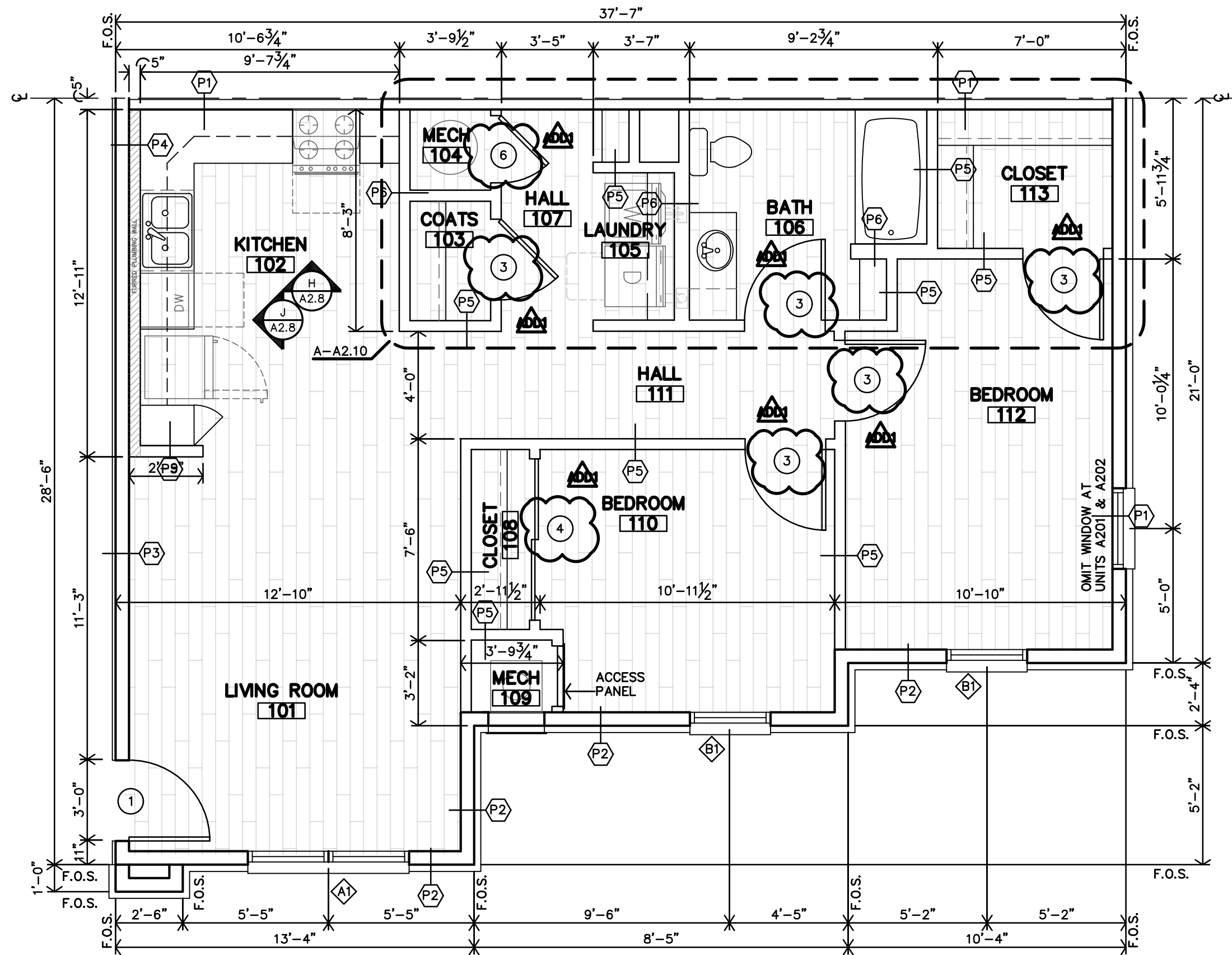
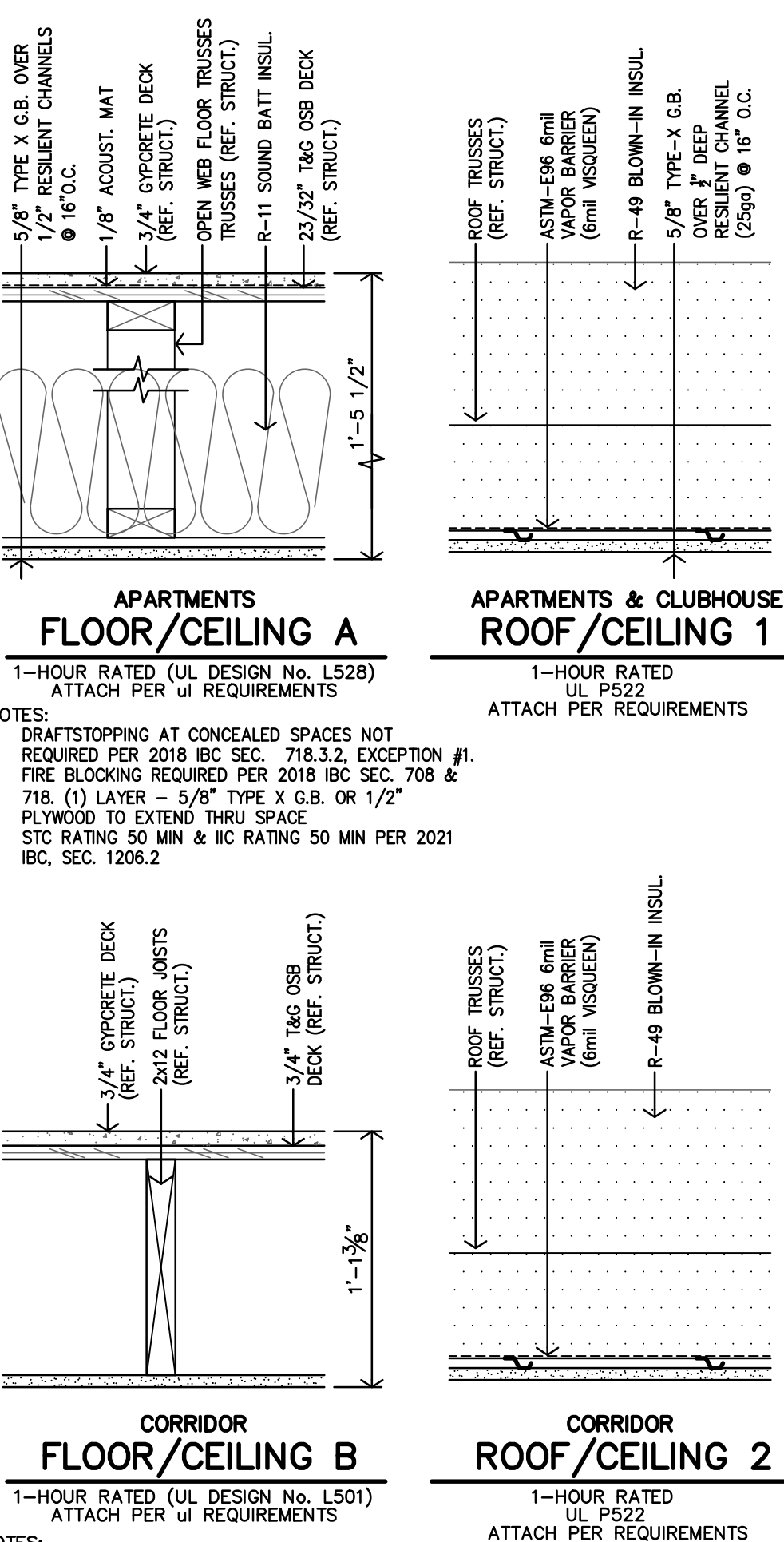
- PARTITION WALLS:
1. SHEAR WALLS: REF. STRUCTURAL FOR LOCATIONS, MATERIAL & SECTIONS
 2. EXTERIOR SHEAR WALLS: CONTRACTOR TO EXTEND SHEAR WALL MATERIAL TO CORNER OF WALL, TO ENSURE FLUSH INSTALLATION OF FINISH MATERIALS. REFERENCE STRUCT. DWGS FOR MORE NOTES AND DETAILS.
 3. FIRE BLOCKING REQUIRED PER 2018 IBC SEC. 708 & 718. (1) LAYER - 5/8" TYPE X G.B. OR 1/2" PLYWOOD TO EXTEND THRU SPACE ELECTRICAL OUTLETS. (2) LAYER - 5/8" TYPE X G.B. OR 1/2" PLYWOOD TO EXTEND THRU SPACE



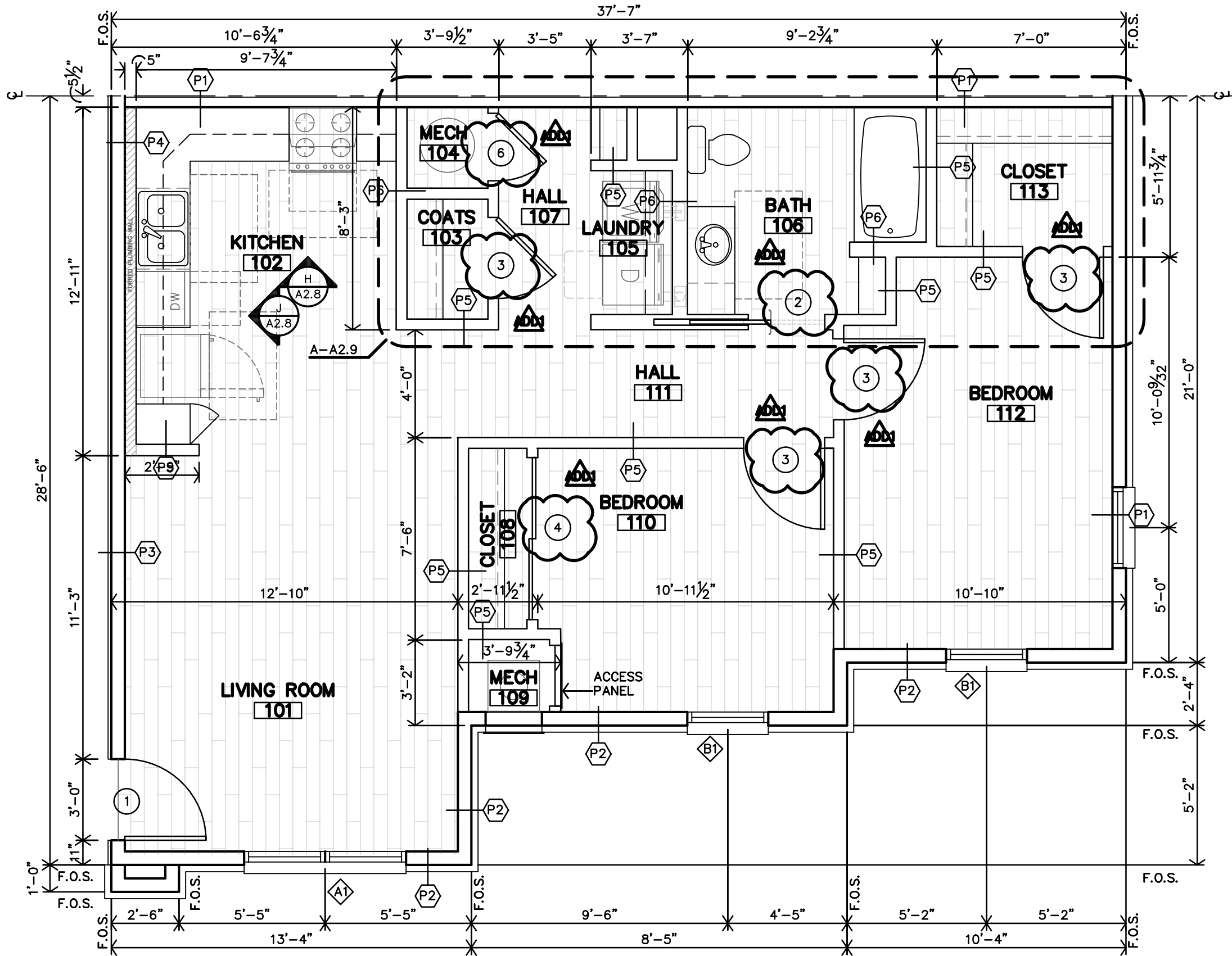
PLAN NOTES

1. REF. SHEET A2.3 FOR APARTMENT GENERAL NOTES.
2. REF. SHEET A2.5 FOR APARTMENT FINISH & DOOR SCHEDULES.
3. FOR UL ASSEMBLY/ATTACHMENT DETAILS - REF. SPECIFICATIONS & PROJECT MANUAL.
4. REF. SHEET A2.10 FOR APARTMENT BATH ACCESSIBLE DETAILS.
5. REF. SHEET A2.8 FOR APARTMENT CASEWORK SECTIONS.

ASSEMBLY SCHEDULE

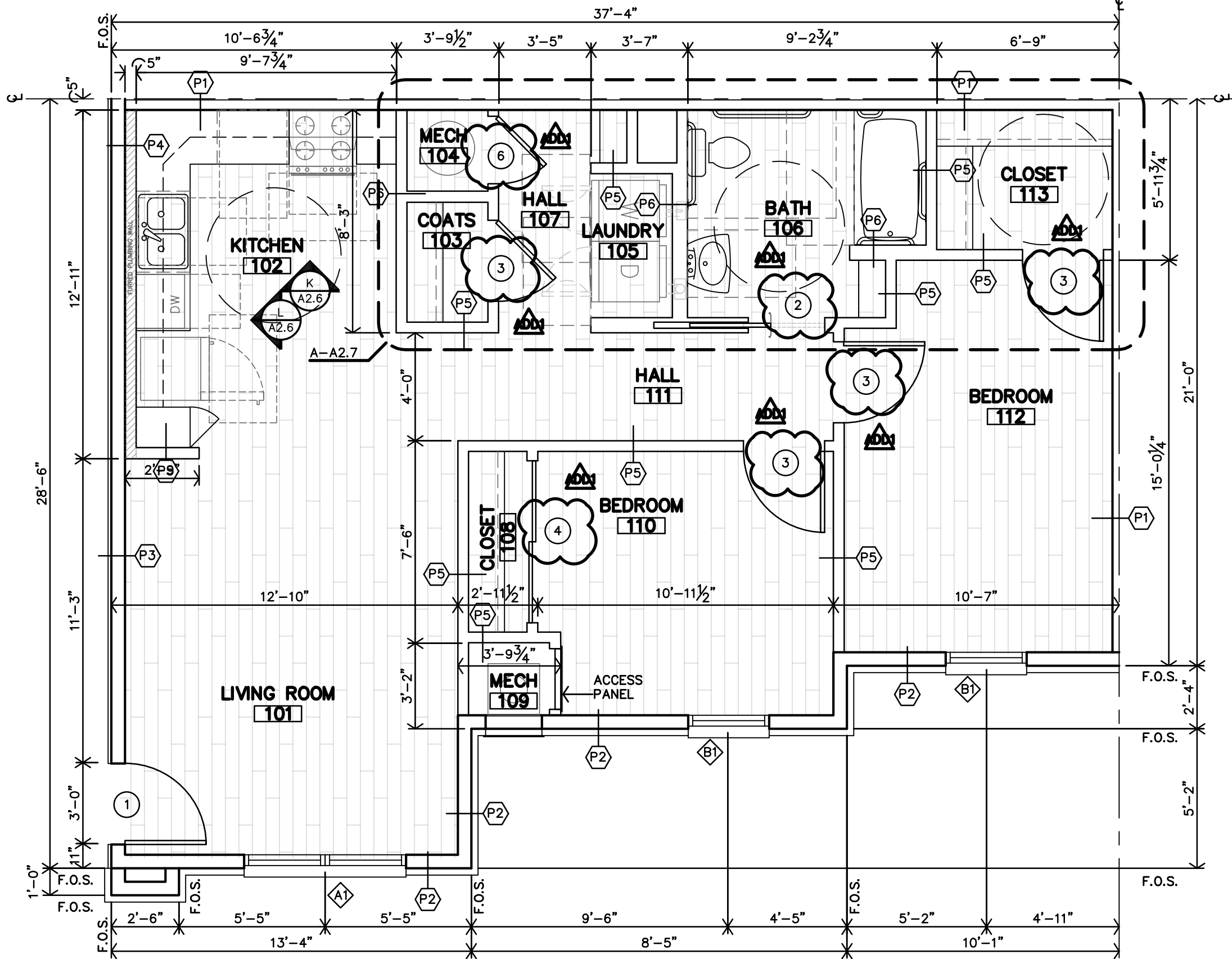


D UNIT 2C (STANDARD)
2-BEDROOM/1-BATH
1/4"=1'-0" 860 sf



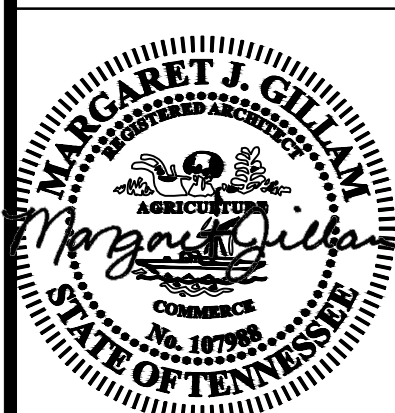
1 HEARING/VISION IMPAIRED UNIT

C UNIT 2B (TYPE-B)
ADAPTABLE
2-BEDROOM/1-BATH
1/4"=1'-0" 860 sf



1 FULLY ACCESSIBLE UNIT
ACCESSIBLE

A UNIT 2A (ACCESSIBLE)
2-BEDROOM/1-BATH
1/4"=1'-0" 860 sf



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FINISHES & INSTRUCTIONS													
P1	LATEX ENAMEL	VT	VINYL TILE, CLEAN & WAX	SV	SHEET VINYL	ST	SPRAY TEXTURE						
P2	EPOXY PAINT	C1	CARPET #1	LVT	LUXURY VINYL TILE	S	SMOOTH						
EP	EXTERIOR PAINT	C2	CARPET #2	CT	CERAMIC TILE	T	TEXTURED, LIGHT KNOCKDOWN						
NO.	DESCRIPTION	FLOOR	BASE	N. WALL	E. WALL	S. WALL	W. WALL	CEILING	HGT.	NOTES			
		VINYL PLANK FLOORING 12x12 CERAMIC TILE CARPET SEALED CONC. 2 1/2" WOOD CERAMIC TILE COMPOSITE TRIM/SIDING 4" RUBBER BASE 5/8" TYPE X G.B. 48" HIGH WANSBOT COMPOSITE TRIM/SIDING 5/8" TYPE X G.B. 48" HIGH WANSBOT COMPOSITE TRIM/SIDING 5/8" TYPE X G.B. 48" HIGH WANSBOT COMPOSITE TRIM/SIDING 5/8" TYPE X G.B. 48" HIGH WANSBOT COMPOSITE TRIM/SIDING 5/8" TYPE X G.B.											
CLUBHOUSE													
A114	OFFICE		C1	P1							ST	9'-0"	
A115	COMMUNITY ROOM	LVT		P1							ST	9'-0"	
A116	KITCHETTE	LVT		P1							ST	9'-0"	
A117	MECH./STOR.		●		RB	P1					P1	9'-0"	
A118	WOMEN		CT		CT						ST	9'-0"	
A119	MEN	CT		CT							ST	9'-0"	
A120	HALL	LVT		P1							ST	9'-0"	
A121	FITNESS CENTER	LVT		P1							ST	9'-0"	
A122	STORAGE		●		RB	P1					P1	9'-0"	
BREEZEWAY/MECHANICAL													
A109	MECHANICAL		●		P1	P1		P1		P1	P1	9'-0"	
A112	MECHANICAL		●		P1	P1		P1		P1	P1	9'-0"	
A109	MECHANICAL		●		P1	P1		P1		P1	P1	9'-0"	
A112	MECHANICAL		●		P1	P1		P1		P1	P1	9'-0"	
A109	MECHANICAL		●		P1	P1		P1		P1	P1	9'-0"	
A112	MECHANICAL		●		P1	P1		P1		P1	P1	9'-0"	
A110	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A111	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A120	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A211	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A310	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A311	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A310	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A311	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A310	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A311	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A310	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A311	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A310	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A311	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A310	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A311	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A310	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A311	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A310	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A311	BREEZEWAY		●		P1	P1		P1		P1	P1	9'-0"	
A310	BREEZEWAY		●		P1	P1		P					

MARK	DOOR										FRAME				DETAILS	REMARKS
	SIZE			MATERIAL	TYPE	FINISH	MATERIAL	FINISH								
	W	H	T	MTL. INSULATED WOOD S.C.			PREFIN. PAINT	METAL WOOD		PAIN						
CLUSHHOUSE																
1	3'-0"	6'-8"	1 3/4"	●			C	●	●	●	●				1,2,5,6,7,8,9	
2	3'-0"	6'-8"	1 3/4"	●			C	●	●	●	●				1,2,5,6,7,8,9	
3	PR 3'-0"	6'-8"	1 3/4"	●			C	●	●	●	●				8,9	
4	3'-0"	6'-8"	1 3/4"	●			D	●	●	●	●				2,4,9	
5	3'-0"	6'-8"	1 3/4"	●			D	●	●	●	●				2,4,9	
6	3'-0"	6'-8"	1 3/4"	●			A	●	●	●	●				3,9	
7	3'-0"	6'-8"	1 3/4"	●			A	●	●	●	●				1,2,5,6,7,8,9	
BREEZEWAYS/FIRE SPRINKLER ROOMS																
12	3'-0"	6'-8"	1 3/4"	●			E	●	●	●	●				6,8,9	
13	3'-6"	6'-8"	1 3/4"	●			E	●	●	●	●				8,9	
14	PR 3'-0"	6'-8"	1 3/4"	●			E	●	●	●	●				8,9	
NOTES:																
1. FLUSH BOLTS AND SURFACE BOLTS PROHIBITED								5. ALL GLAZING IN DOORS TO BE SAFETY GLAZED								
2. KEYED LOCKSETS								6. PROVIDE CLOSERS								
3. DECORATIVE KICK PLATES, SELF CLOSING HINGES AND PRIVACY LOCKSETS								7. PROVIDE DECORATIVE KICK PLATES AT INTERIOR SIDE OF DOOR								
4. PROVIDE DECORATIVE KICK PLATES AT HALL SIDE OF DOOR								8. WEATHER STRIPPING TO BE INSTALLED.								
								9. ALL DOOR HARDWARE TO BE LEVER TYPE LATCH SETS.								

1. REF. STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
2. TYPICAL GROUND FLOOR FINISH FLOOR ELEVATION IS REFERENCED AS 100'-0". CONTRACTOR SHALL VERIFY BUILDING ELEVATION W/ CIVIL DRAWINGS.
3. REFERENCE SITE PLAN SHEET A1.1 FOR LOCATION & ORIENTATION OF BUILDING.
4. CONTRACTOR SHALL PROVIDE FIRELOCKING, ANCHOR BOLTS & ANY REQUIRED SHEAR WALL BLOCKING AS REQUIRED BY STRUCTURAL DRAWINGS.
5. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE WITH NFPA 10 & 2018 IBC, SECTION 906.1 AND SPECIFICATIONS. LOCATED PER FIRE SCHEDULE.
6. ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED U.L. DESIGNS. REFERENCE SHEET A4.9 FOR FIRE PENETRATION ASSEMBLIES
7. B.O. HEADER #3" ABV. FIN. FLR.
8. KITCHENETTE AREA RECEPTABLES TO BE @ 44" MAX ABOVE FIN. FLR.
9. ALL OPERABLE PARTS, (PER ADA SECTION 309) SHALL BE A MAX. OF 48" A.F.F. THIS INCLUDES OUTLETS, WINDOW LATCHES/LOCKS, ENVIRONMENTAL CONTROLS, LIGHT SWITCHES, ETC.
10. CONTRACTOR TO PROVIDE 2x8 BLOCKING IN WALLS FOR GRAB BARS, COUNTERTOPS, SUPPORTS, ETC.
11. ALL MATERIALS TO BE USED IN CONSTRUCTION SHALL MEET US EEA CRITERIA PARTICULARLY MATERIALS THAT WILL BE OBTAINED FROM INTERNATIONAL SOURCES. ALSO PROVIDE VERIFICATION THAT THE CONSTRUCTION WILL NOT RESULT IN OR CONTAIN HAZARDOUS MATERIALS.
12. ALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
13. F.O.S. = FACE OF STUD
14. FEC = FIRE EXTINGUISHER CABINET, REFERENCE DETAIL B-A2.11

PARTITION NOTES:

1. SHEAR WALLS: REF. STRUCTURAL FOR LOCATIONS, MATERIAL & SECTIONS
2. FIRE BLOCKING REQUIRED PER 2018 IBC SEC. 708 & 718. @ 10'-0" O.C. VERT. & HORIZ. AND @ ALL BACK TO BACK EXHAUST OUTLETS. (1) LAYER - 5/8" TYPE X G.B. OR 1/2" PLYWOOD TO EXTEND THRU SPACE.

1 TYPICAL INTERIOR WALL
APRX. STC 36

2 TYPICAL PLUMBING WALL
APRX. STC 42

3 TYPICAL EXTERIOR WALL
APRX. STC 36-58

4 UNIT/CLUBHOUSE WALL
STC 51 30 MIN. RATED (UL U305)
ATTACH PER ul REQUIREMENTS
SHEAR WALL - SWI

CLUBHOUSE/APARTMENTS
ROOF/CEILING
 1-HOUR RATED
 2018 IRC TABLE 721(3), 21-
 ATTACH PER REQUIREMENTS

3/4"=1'-0"

FIRE RETARDANT GLK'G AS REQ'D

FIRE EXTINGUISHER CABINET (FEC) VERIFY R.O.

FILL VOID W/ BATT INSUL

FIRE RETARDANT GLK'G AS REQ'D

102°-0" MIN

5/8" TYP. X G.B. BOTH SIDES OVER 2x4 WOOD STUDS @ 16" O.C. W/ 3" SOUND BATT INSUL.

$1/4"=1'-0"$

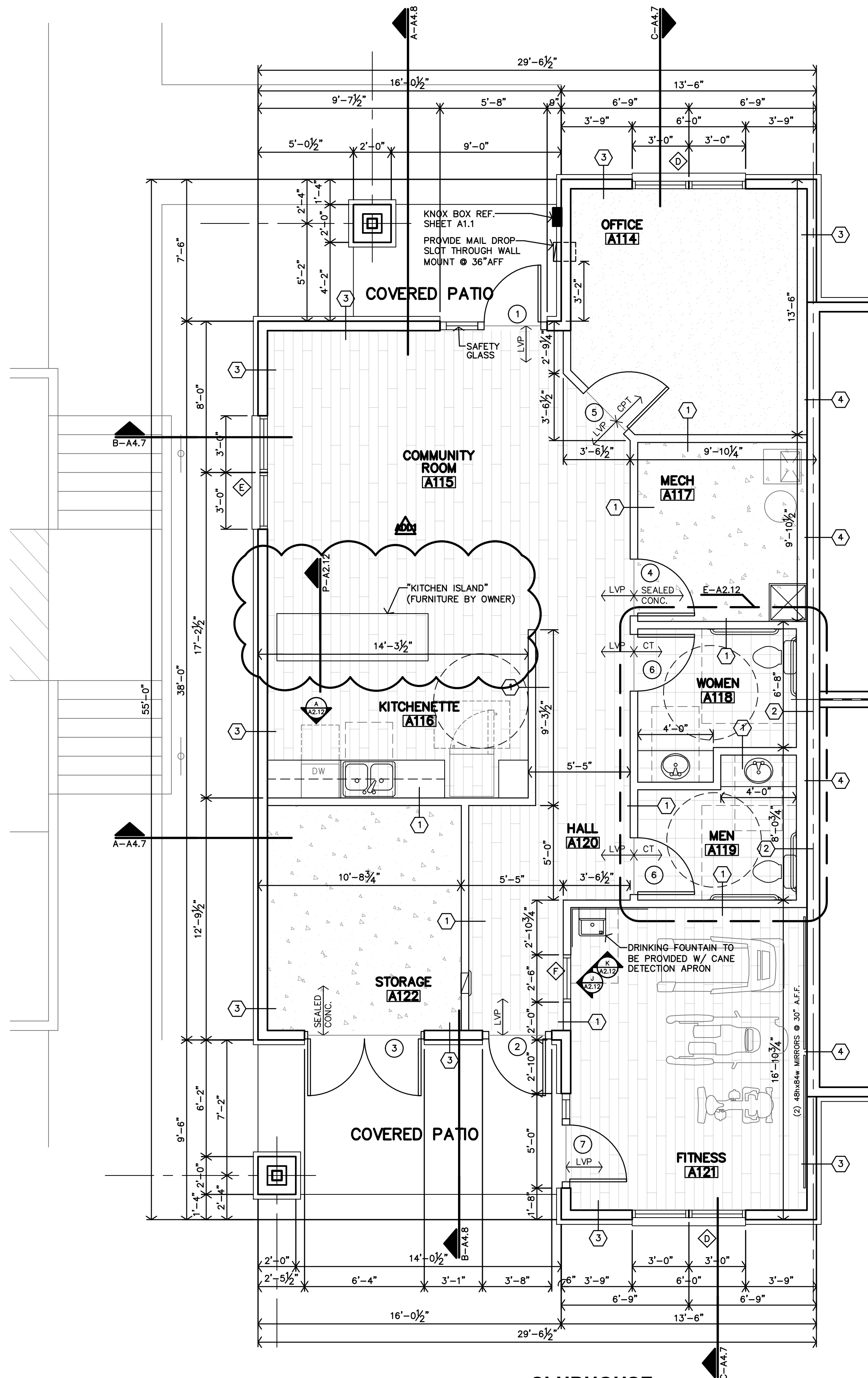
WINDOW NOTES:

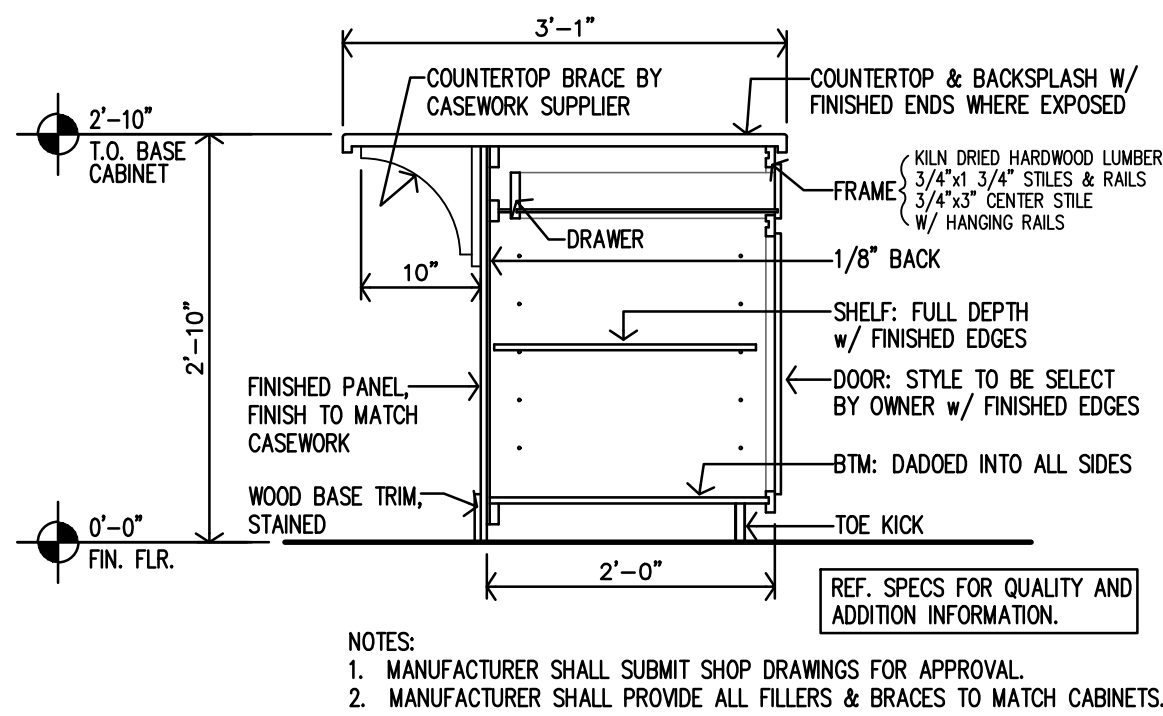
1. 3/4" DBL SEALED INSULATED GLASS & SHALL HAVE MIN. U-VALUES AND SHGC PER SPECIFICATIONS.
2. SAFETY GLASS SHALL BE LOCATED PER 2018 IBC SECTION 2406.4
3. TEMPERED GLASS IS REQUIRED AT ALL GLAZING PANELS WITHIN 18" OF THE FINISHED FLOOR & ADJACENT TO A DOOR.

The diagrams show the following details:

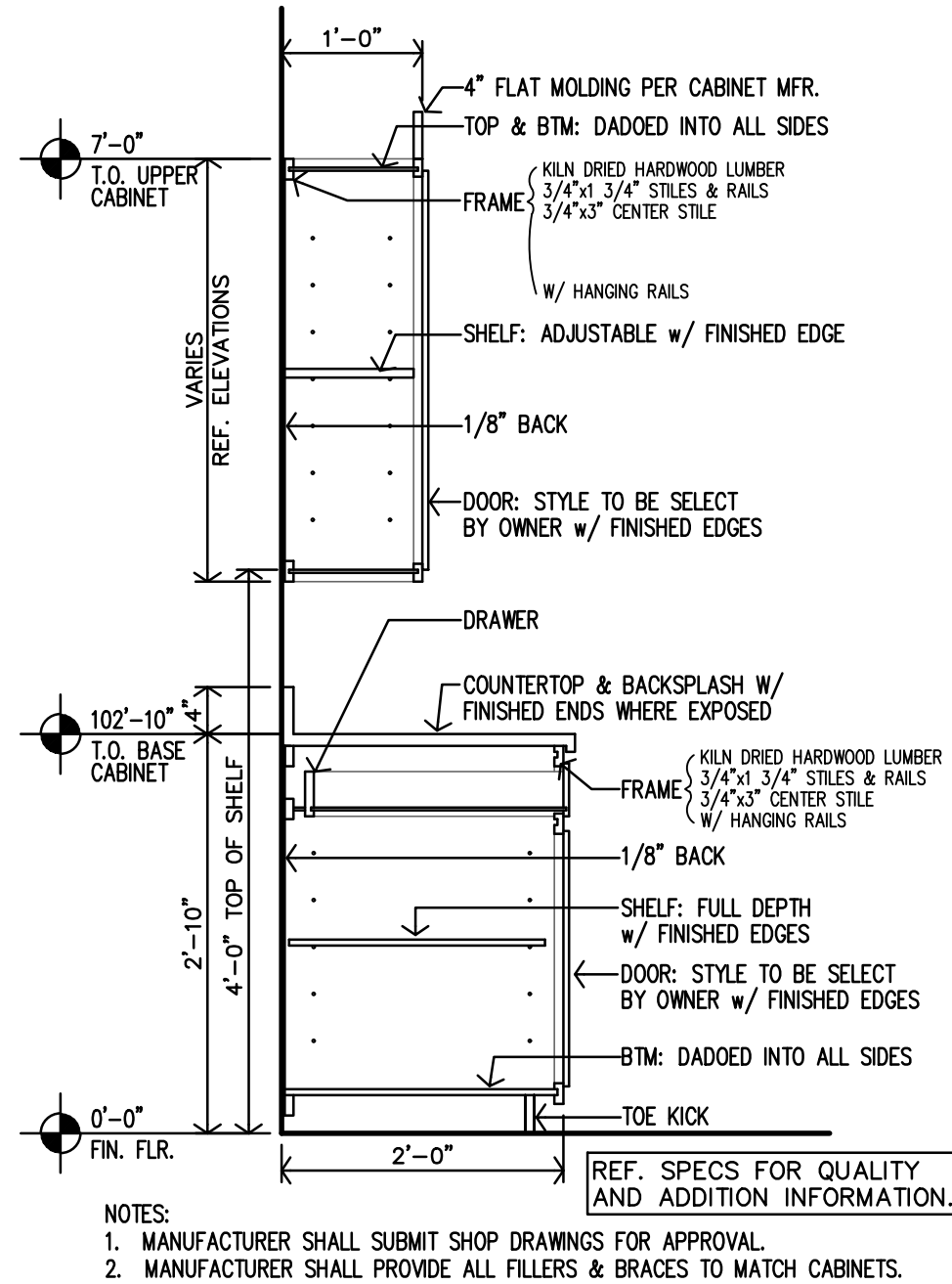
- A) W/ SIDELIGHT:** Features a main window unit with a grid pattern and two narrow vertical sidelight units on either side. Total width is 5'-0". Main unit width is 3'-0", each sidelight is 4"-8". Depth is 6'-8".
- B) W/ SIDELIGHT:** Similar to A, but with different proportions. Main unit width is 3'-0", each sidelight is 4". Depth is 6'-8".
- C) W/ SIDELIGHT:** Features a main window unit with a grid pattern and two narrow vertical sidelight units on either side. Total width is 5'-8". Main unit width is 3'-0", each sidelight is 4". There is an additional dimension of 2'-4" between the main unit and the outermost sidelights. Depth is 6'-8".
- D) VARIES REF. SCH.:** Shows a single rectangular window unit. Depth is 6'-8".
- E) :** Shows a single rectangular window unit. Width is 3'-0". Depth is 6'-8".

$1/4'' = 1' - 0''$

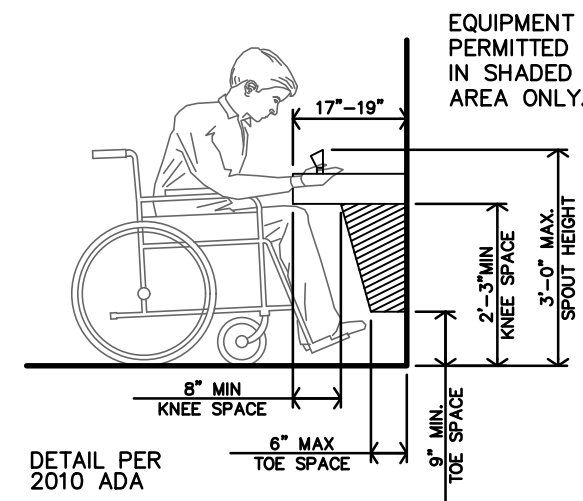
$$1/4'' = 1' - 0''$$




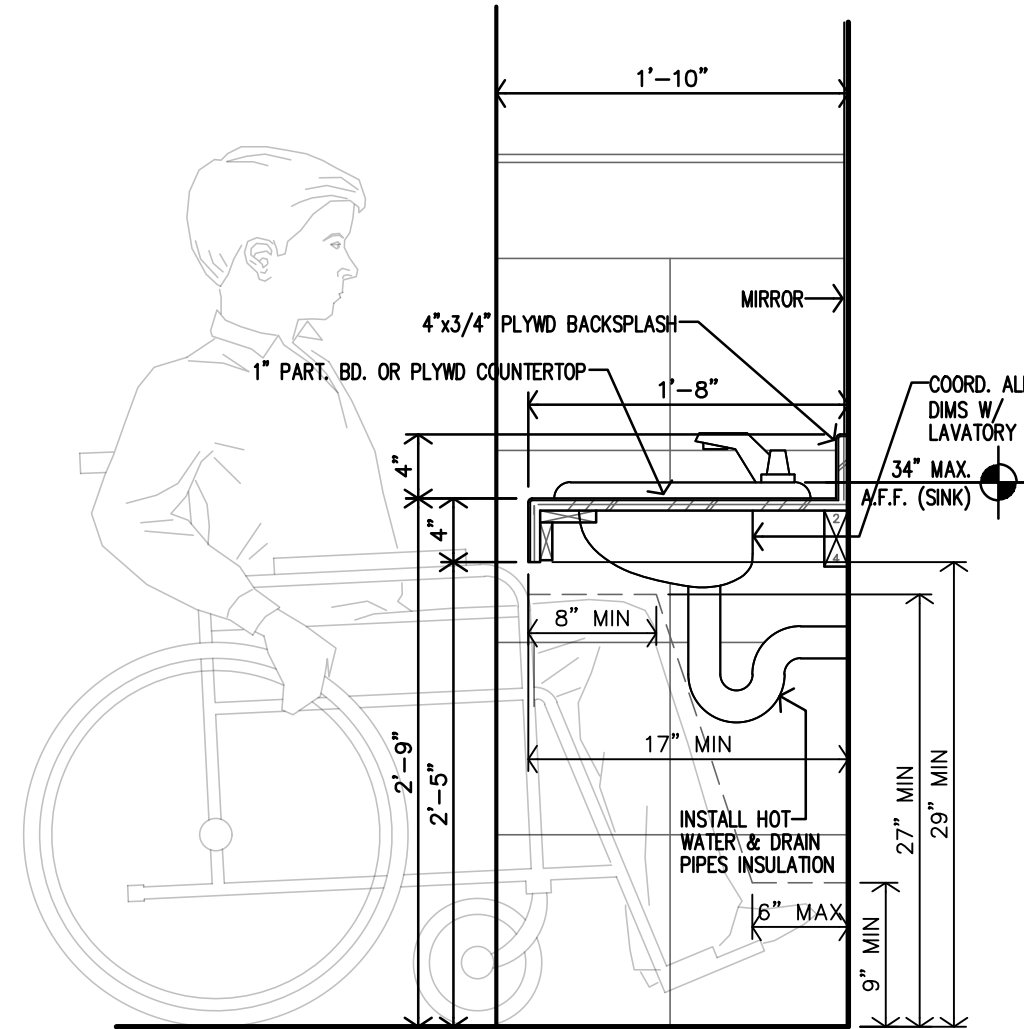
P KITCHENETTE #A116 CASEWORK SECTION
3/4"=1'-0"



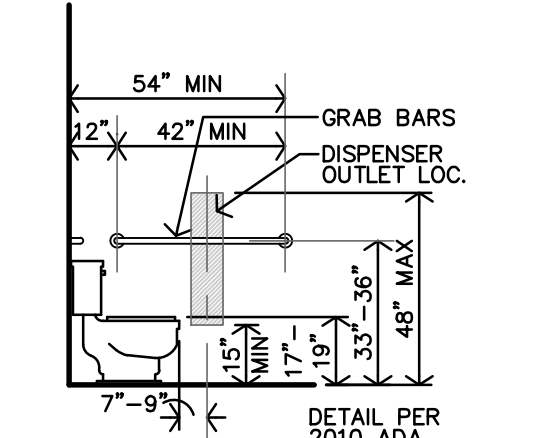
O KITCHENETTE #A116 CASEWORK SECTION
3/4"=1'-0"



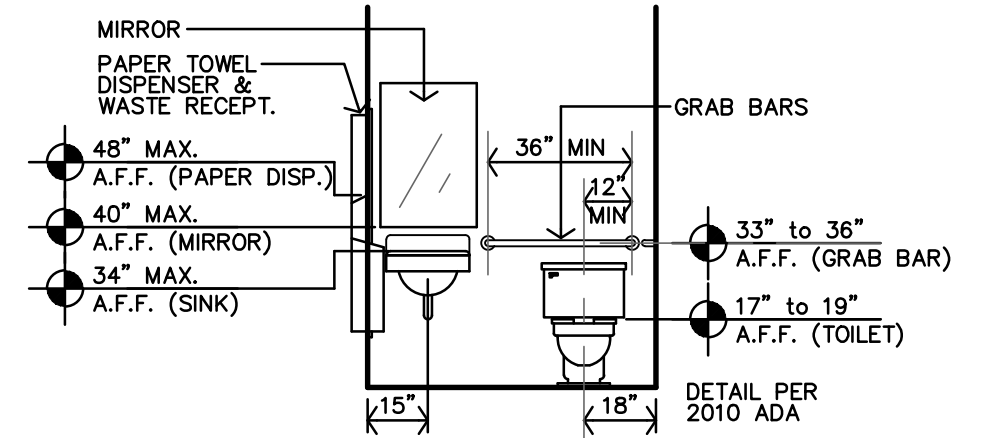
N DRINKING FOUNTAIN DETAIL
3/8"=1'-0"



M VANITY SECTION
1"=1'-0"

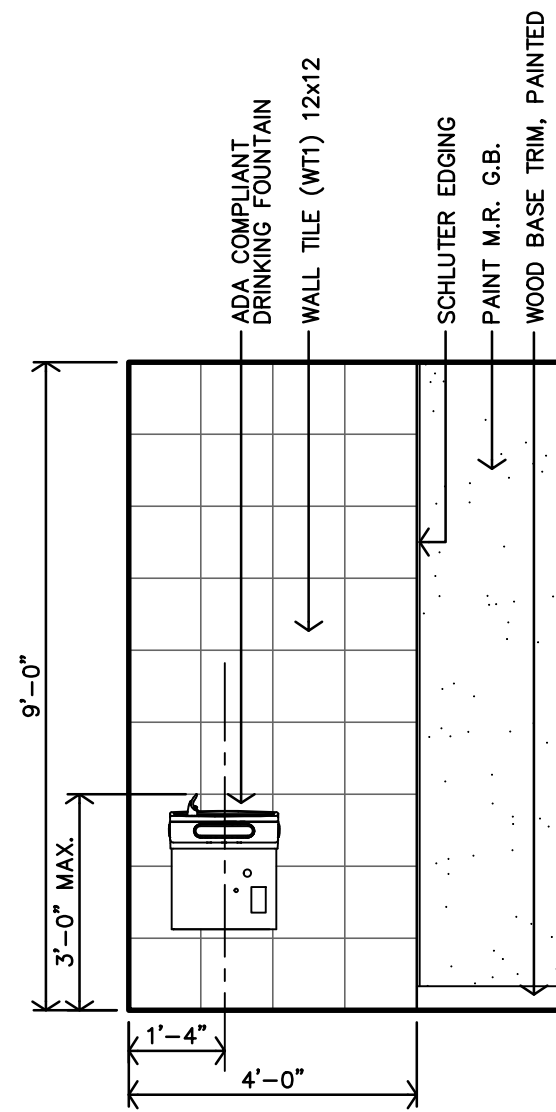


L TYP. HEIGHTS @ H.C. TOILET SIDE WALL
1/4"=1'-0"

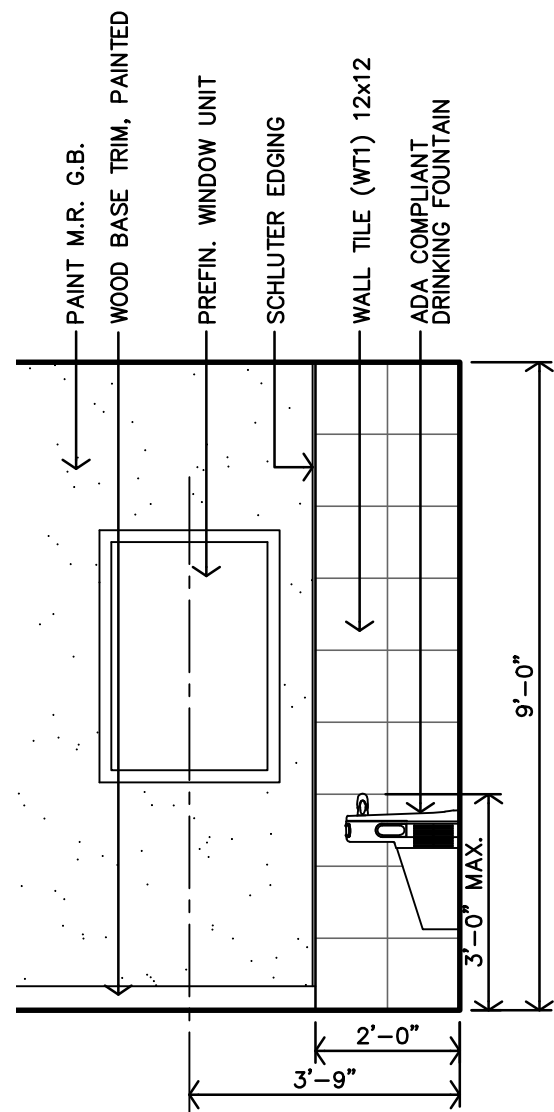


L TYP. HEIGHTS @ H.C. TOILET BACK WALL
1/4"=1'-0"

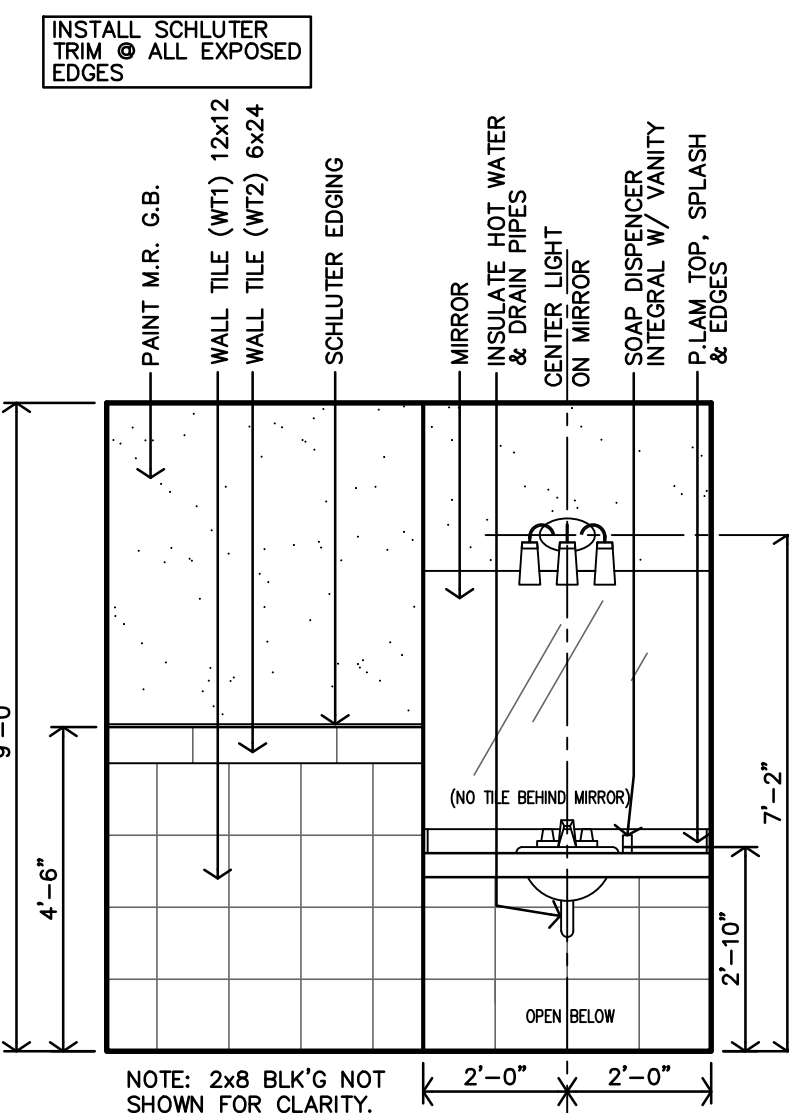
LEGEND	
M	MIRROR
TP	TOILET PAPER DISPENSER
GB	GRAB BAR
ACC	ACCESSIBLE FIXTURE



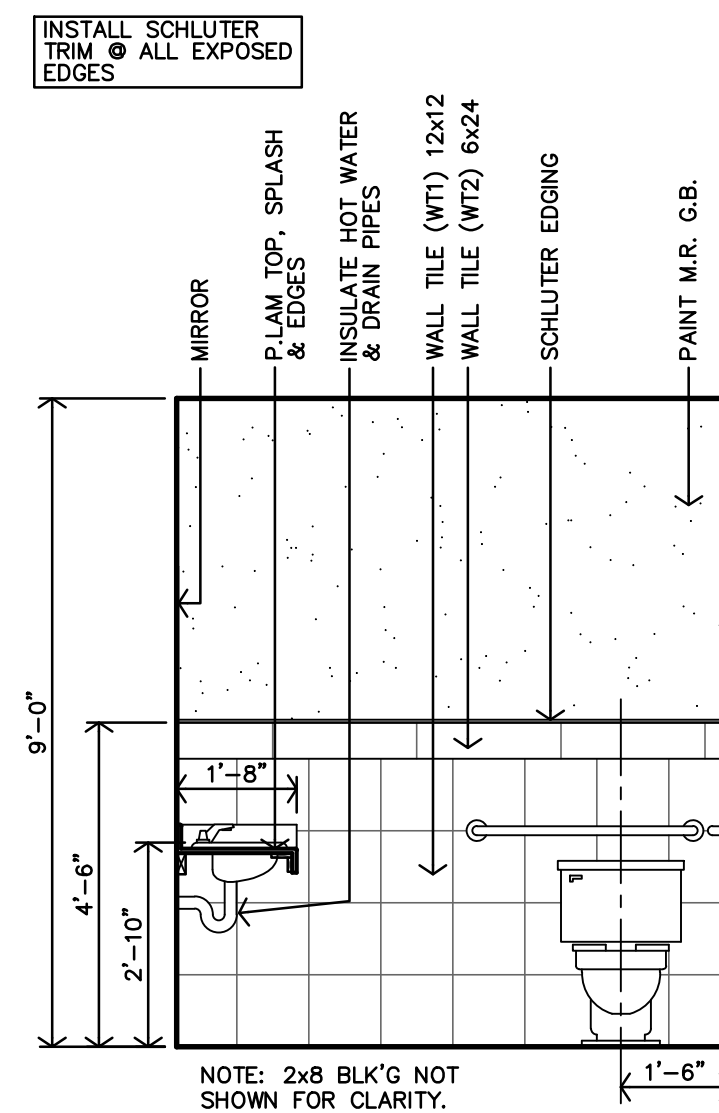
K FINTESS A121 DRINKING FOUNTAIN INTERIOR ELEVATION
3/8"=1'-0"



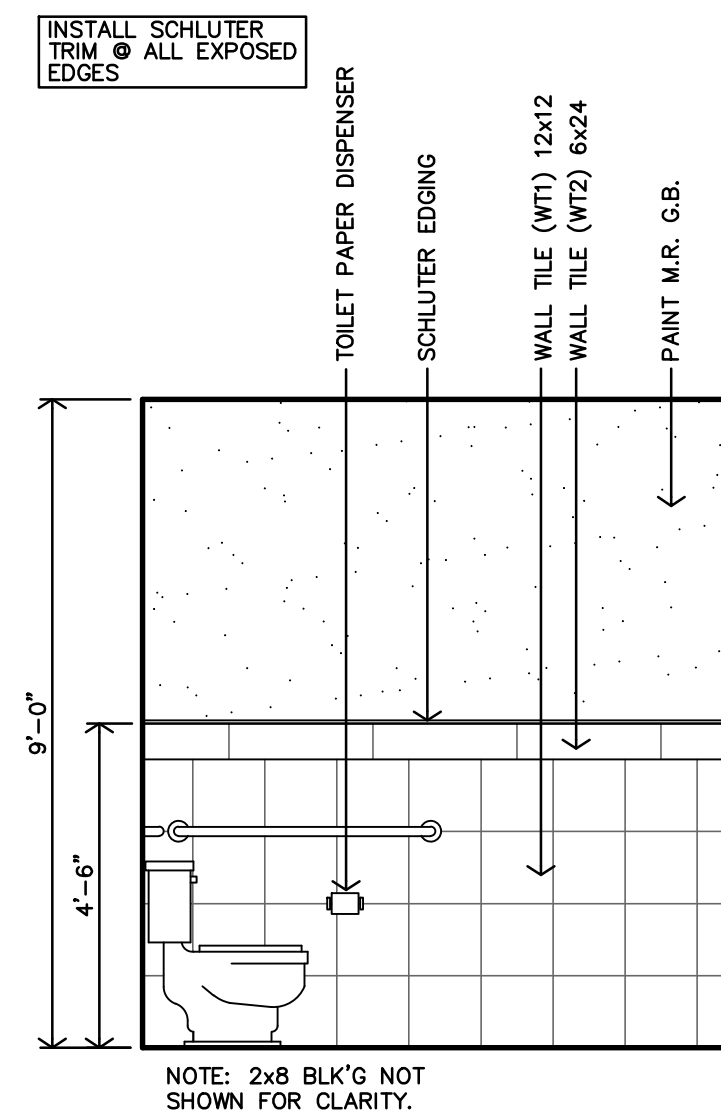
J FINTESS A121 DRINKING FOUNTAIN INTERIOR ELEVATION
3/8"=1'-0"



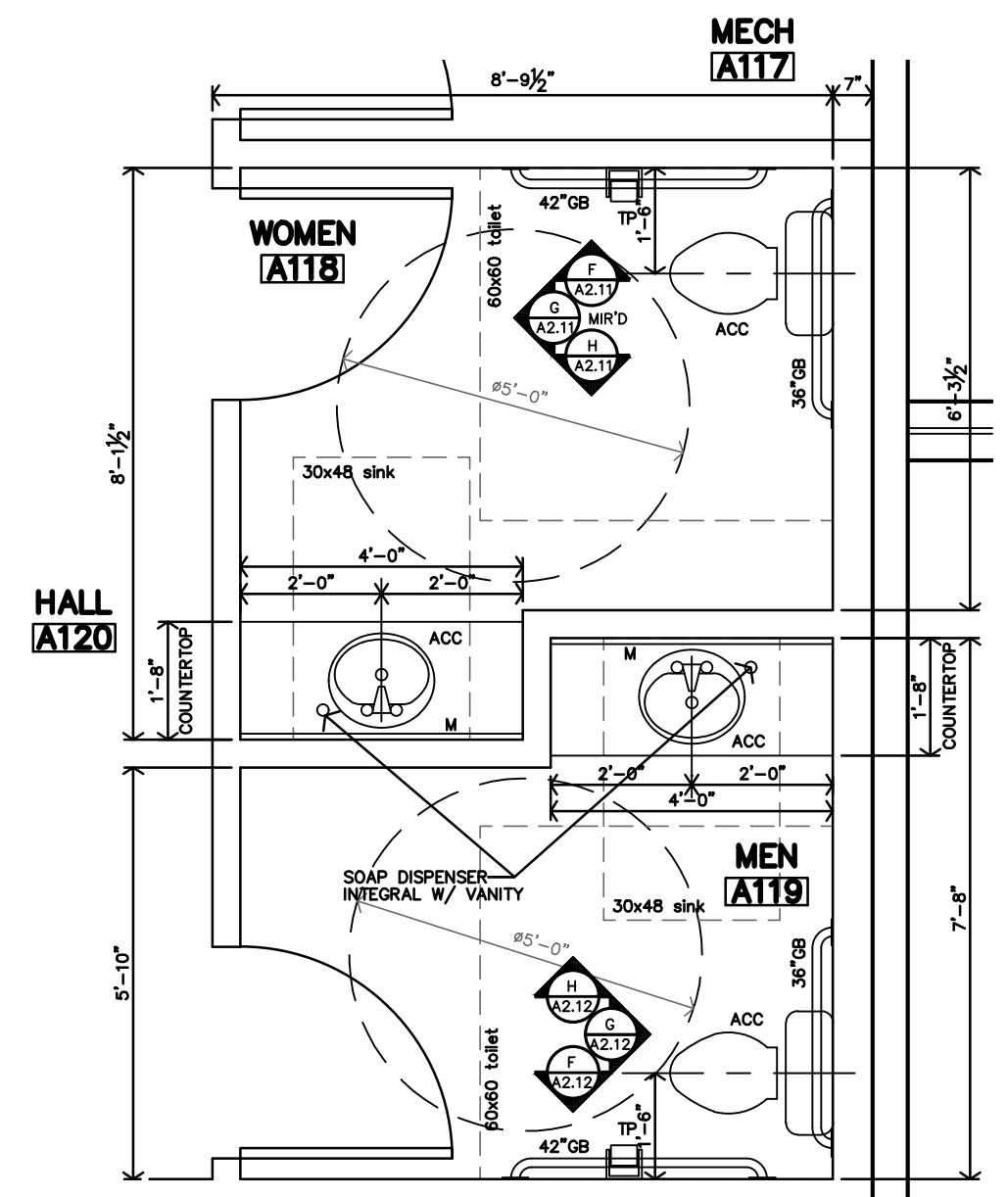
H MEN #A119 INTERIOR ELEVATION
3/8"=1'-0"



G MEN #A119 INTERIOR ELEVATION
3/8"=1'-0"

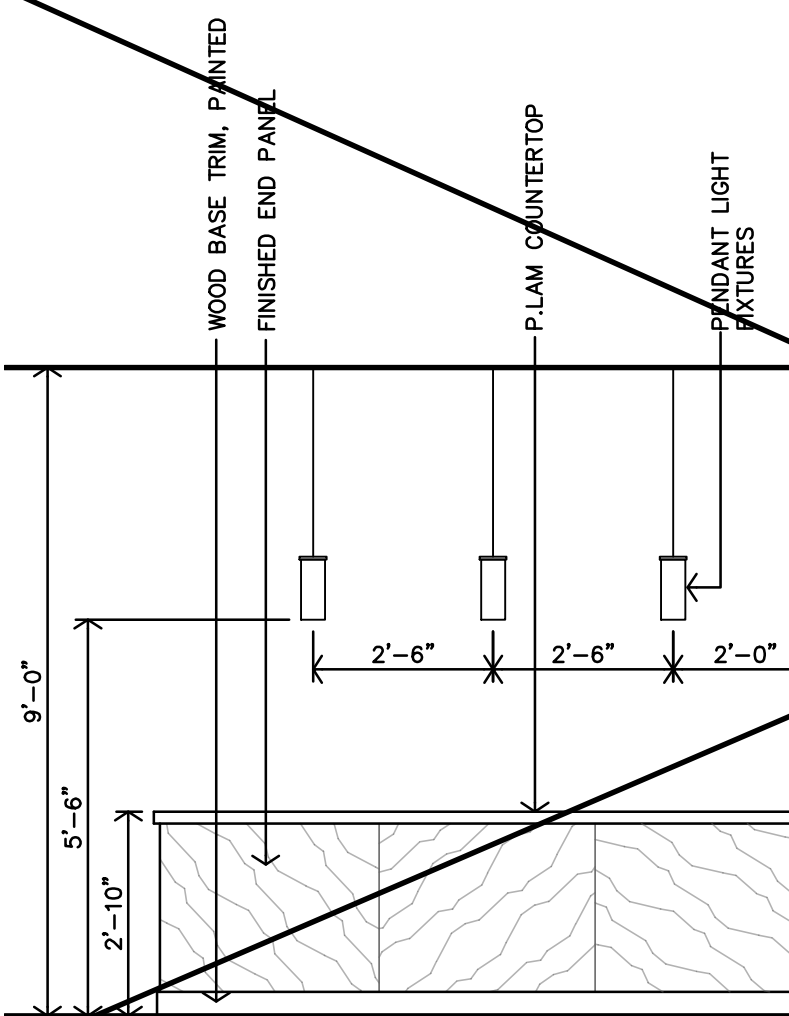


F MEN #A119 INTERIOR ELEVATION
3/8"=1'-0"

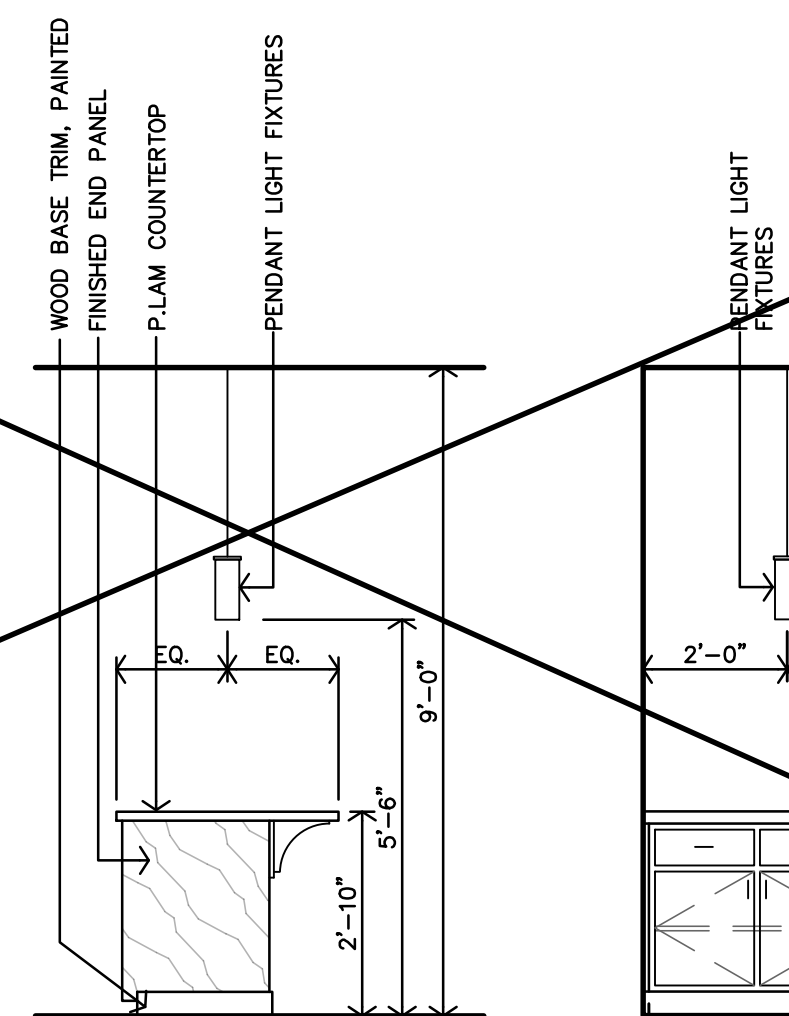


E ENLARGED RESTROOM PLANS
3/8"=1'-0"

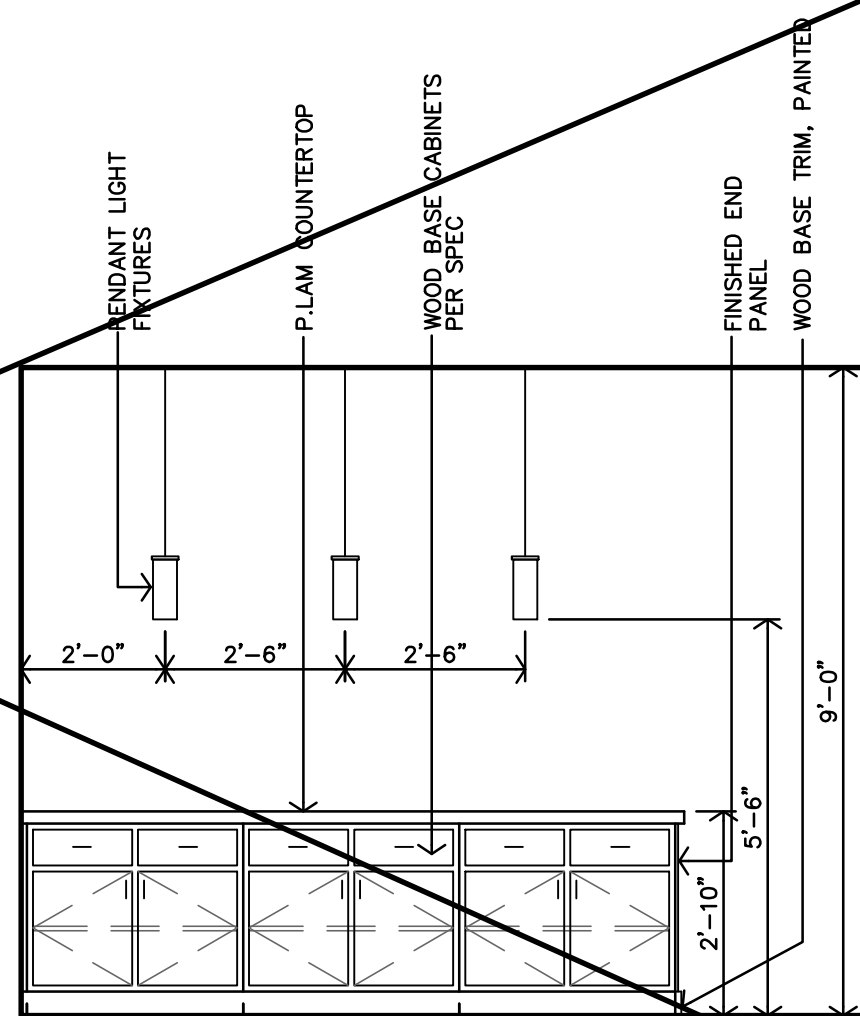
DETAILS NOT APPLICABLE



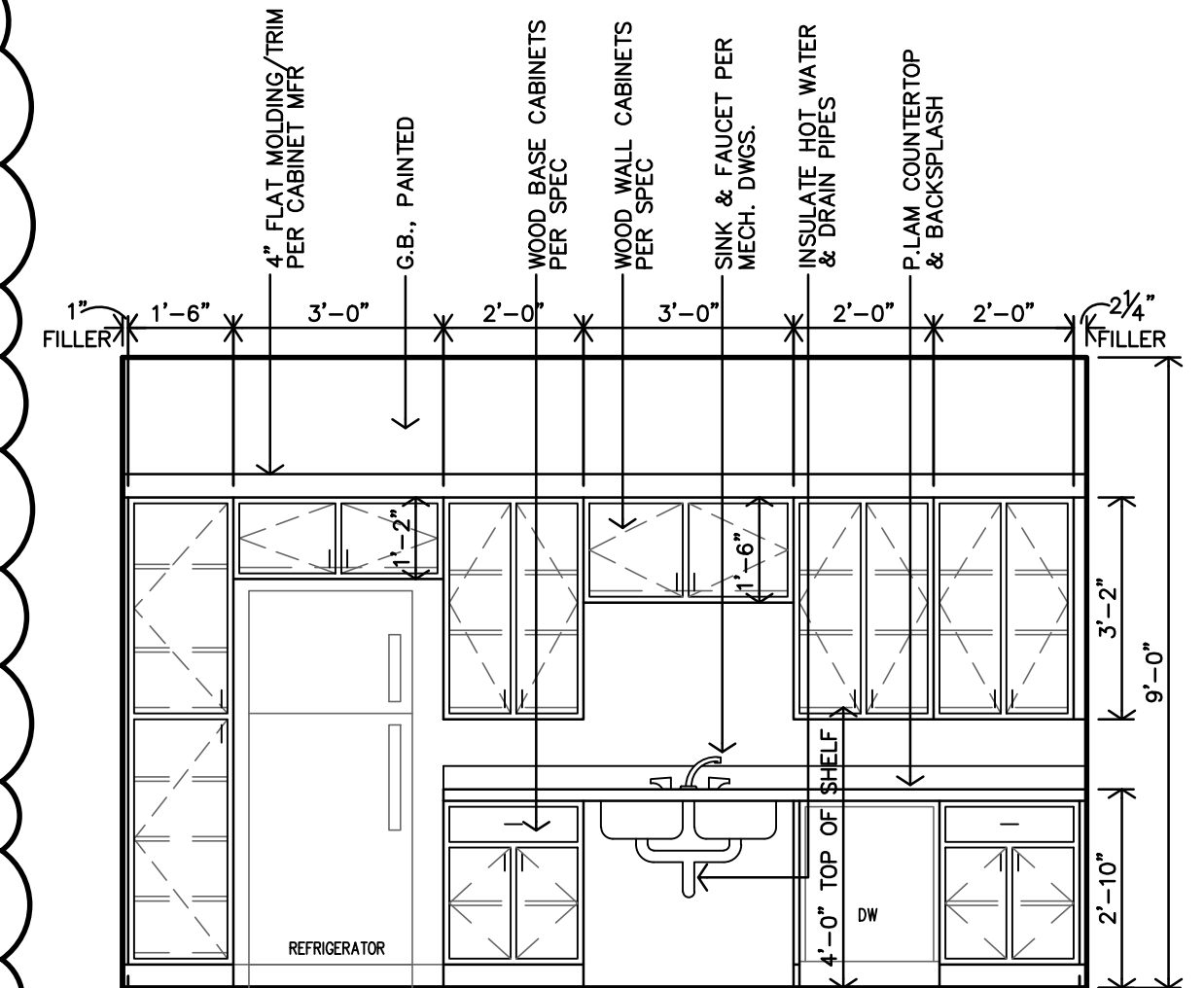
D KITCHENETTE #A116 CASEWORK ELEVATION
3/8"=1'-0"



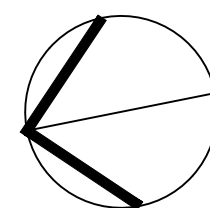
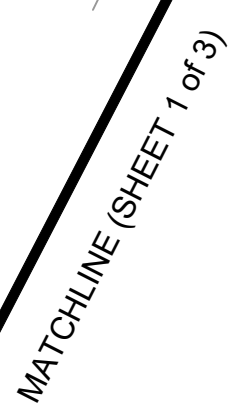
C KITCHENETTE #A116 CASEWORK ELEVATION
3/8"=1'-0"



B KITCHENETTE #A116 CASEWORK ELEVATION
3/8"=1'-0"



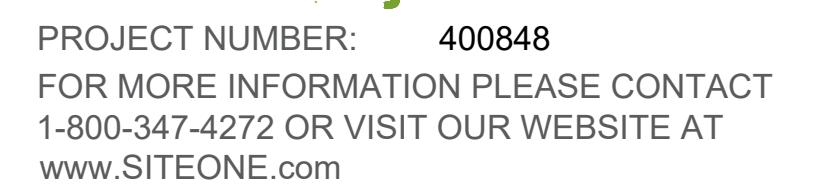
A KITCHENETTE #A116 CASEWORK ELEVATION
3/8"=1'-0"



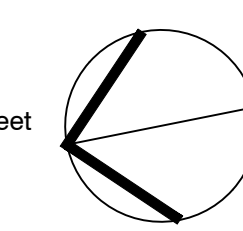
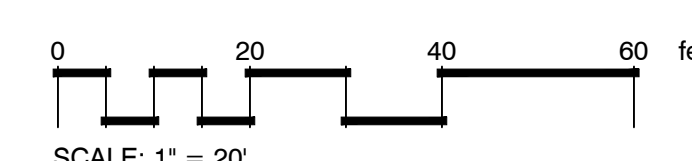
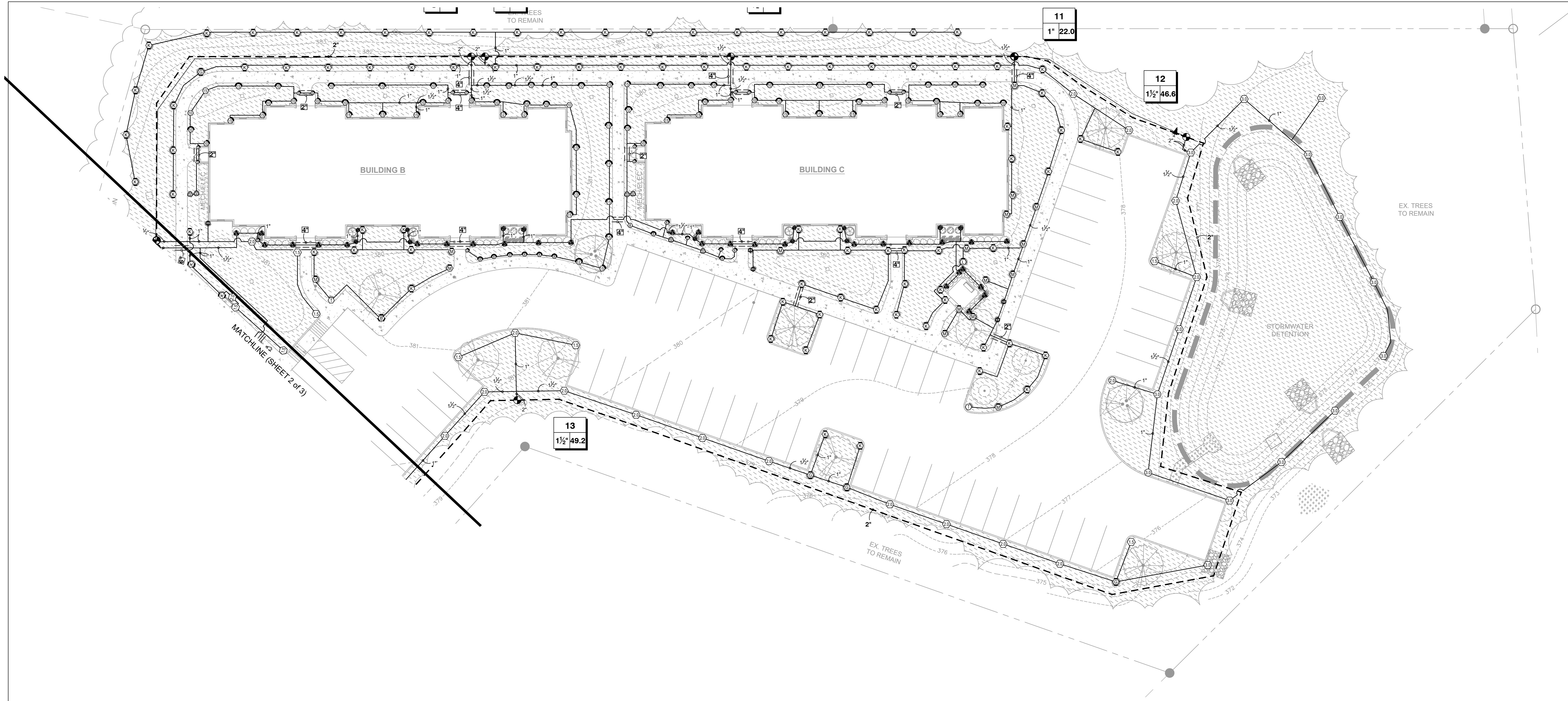
**THE RESEARCH
COBALT**

DEVELOP
ENGINEER·RENAISSANCE

DEVELOPER:
ENGINEER: RENAISSANCE GROUP, INC.



DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE



REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

landscape architecture
planning

ils

INTEGRATED LAND SOLUTIONS, PLLC
9967 Bentwood Creek Cv. Collierville, TN 38017
901.493.6996 corybrady@gmail.com

THE RESERVE AT
COBALT CIRCLE

DEVELOPER:
ENGINEER: RENAISSANCE GROUP, INC.

 **SiteOne™**
Project Services

PROJECT NUMBER: 400848
FOR MORE INFORMATION PLEASE CONTACT
1-800-347-4272 OR VISIT OUR WEBSITE AT
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SHEET 2 OF 3

DIVISION OF ENGINEERING
IRRIGATION PLAN

BROWNSVILLE, TENNESSEE

SURVEY: *** DATE: **** BOOK: *****

DESIGN: _CLC_ DATE: 1/25 CKD: _CBB_ DATE: 1/25 SCALE: _____

DEPUTY CITY ENGINEER _____ DATE _____ CITY ENGINEER _____ DATE _____

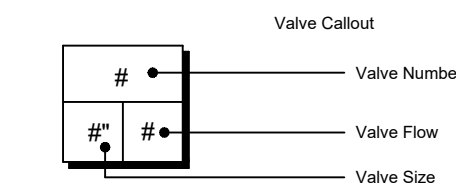
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD 1804 15 STRIP SERIES
	RAIN BIRD 1804 5 SERIES MPR
	RAIN BIRD 1804 8 SERIES MPR
	RAIN BIRD 1804 10 SERIES MPR
	RAIN BIRD 1804 12 SERIES MPR
	RAIN BIRD 1804 15 SERIES MPR
	RAIN BIRD 1804 ADJ
	RAIN BIRD 1812 15 STRIP SERIES
	RAIN BIRD 1812 5 SERIES MPR
	RAIN BIRD 1812 8 SERIES MPR
	RAIN BIRD 1812 10 SERIES MPR
	RAIN BIRD 1812 ADJ
	HUNTER MP CORNER RAIN BIRD 1804 ROTATOR
	HUNTER MP STRIP RAIN BIRD 1804 ROTATOR
	HUNTER MP1000 RAIN BIRD 1804 ROTATOR
	HUNTER MP2000 RAIN BIRD 1804 ROTATOR
	HUNTER MP3000 RAIN BIRD 1804 ROTATOR
	HUNTER MP800SR RAIN BIRD 1804 ROTATOR

SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD 5004 ROTOR 2.0
	RAIN BIRD 5004 ROTOR 3.0
	RAIN BIRD 5004-PC-LA 1.5
	RAIN BIRD 5004-PC-LA 2.0
	RAIN BIRD 5004-PC-LA 3.0

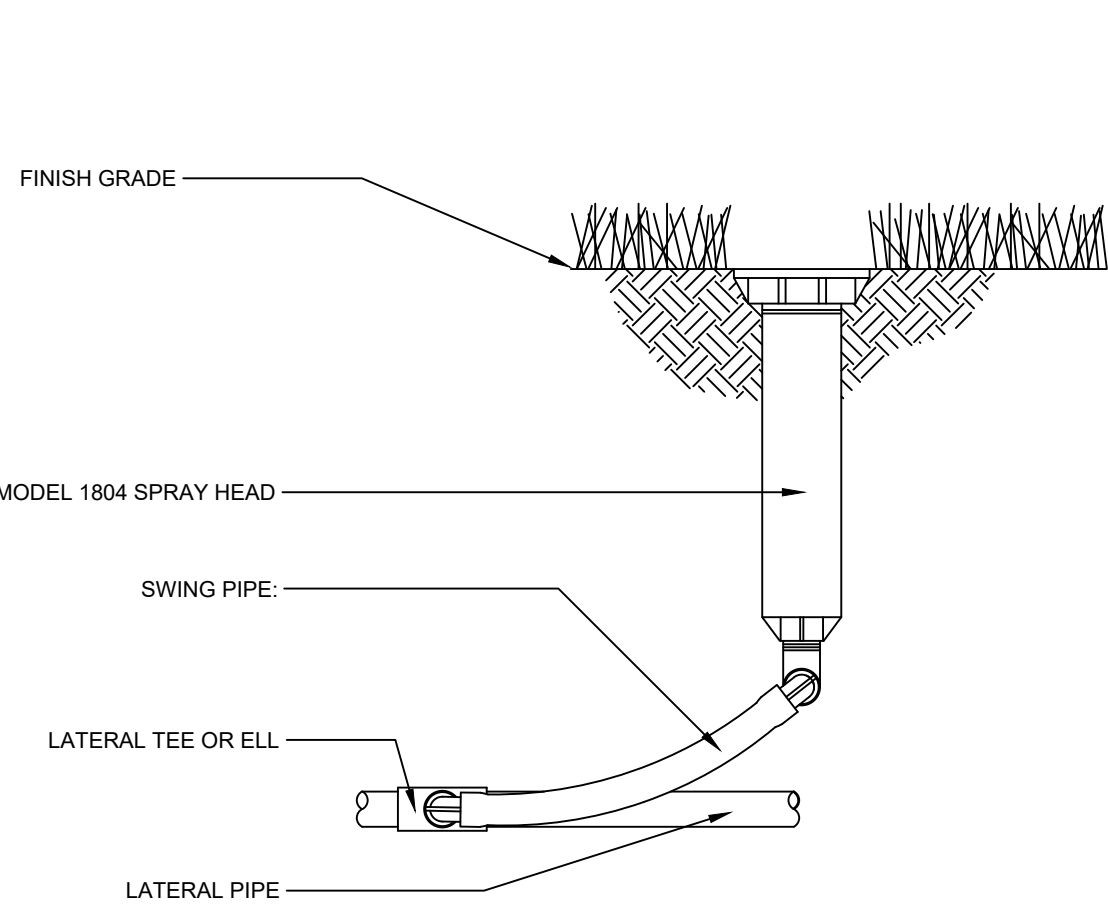
SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD PGA ELECTRIC VALVE W/ 2W-1 DECODER
	GATE VALVE (MAIN LINE SIZE)
	ZURN/WILKINS 975XL RPZ BACKFLOW 2"
	RAIN BIRD ESP-2WIRE IRRIGATION CONTROLLER
	RAIN BIRD WR2-RC RAIN SENSOR
	WATER METER 2"

	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 2"
	IRRIGATION MAINLINE: PVC SCHEDULE 40 (METER TO BACKFLOW) 2"
	PIPE SLEEVE: PVC SCHEDULE 40



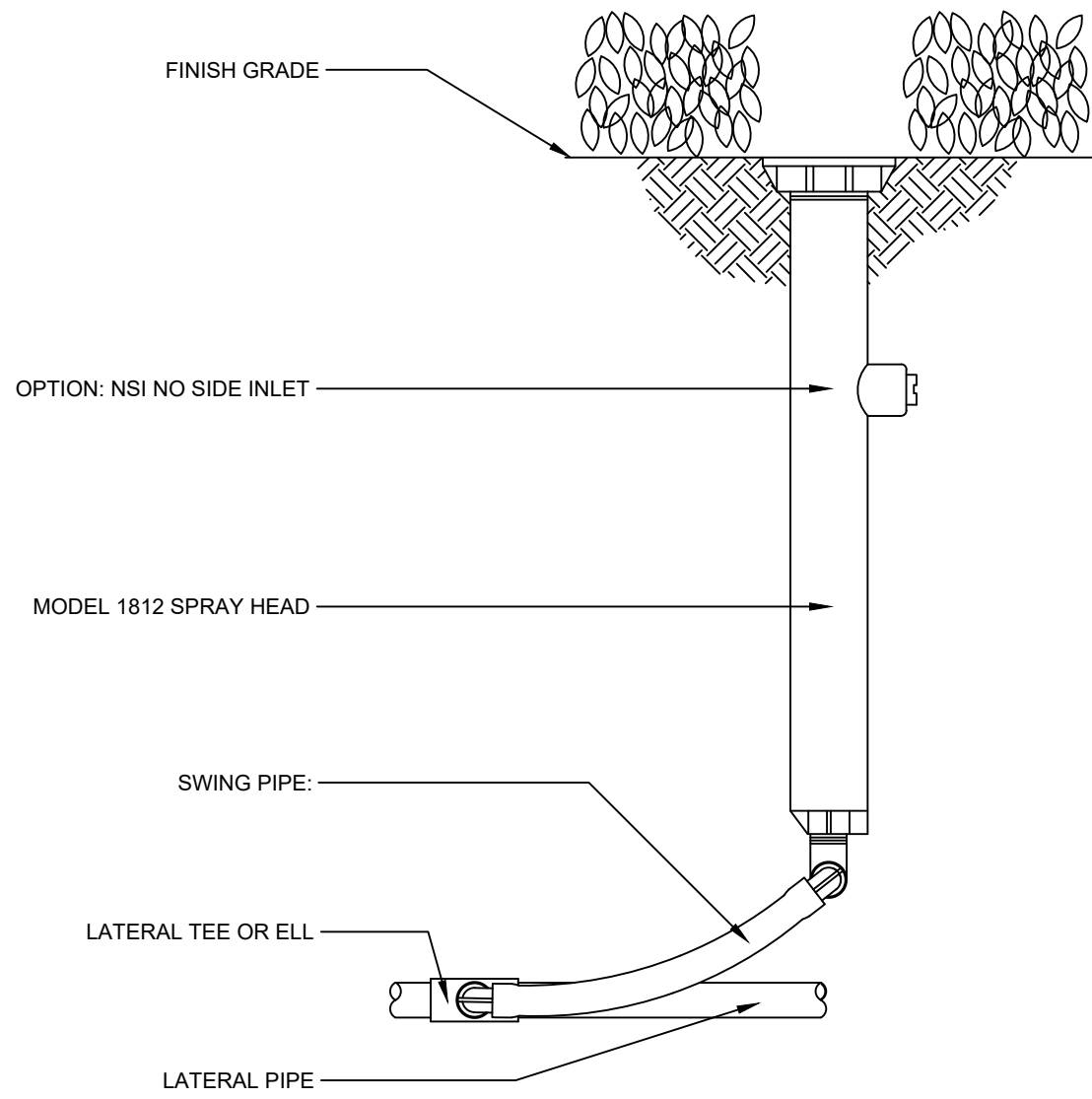
IRRIGATION NOTES

- IRRIGATION SYSTEM DESIGN BASED ON 52 GPM AT 76 PSI.
- IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION(POC)ONLY. THE DESIGN IS BASED ON GALLONS PER MINUTE(GPM)AND POUNDS PER SQUARE INCH(Psi)FURNISHED BY OTHERS.
- IRRIGATION CONTRACTOR IS TO VERIFY POINT OF CONNECTION IN THE FIELD. INSTALLER IS TO CONFIRM THE MINIMUM DISCHARGE REQUIREMENTS OF THE POINT OF CONNECTION AS INDICATED ON THE LEGEND PRIOR TO INSTALLATION.
- THE PRESSURE REQUIREMENT AT THE POINT OF CONNECTION IS BASED ON NO MORE THAN 5-FEET OF ELEVATION CHANGE IN THE AREAS OF IRRIGATION.
- ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL AND PLUMBING CODES.
- IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION PER LOCAL CODE.
- LOCATION OF IRRIGATION COMPONENTS SHOWN ON DRAWINGS IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE.
- ALL SPRINKLER HEADS SHALL BE INSTALLED PERPENDICULAR TO FINISH GRADES, EXCEPT AS OTHERWISE INDICATED.
- INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERAL WITH A MINIMUM 12" OF COVER BASED ON FINISH GRADES.
- PIPE LOCATIONS ARE DIAGRAMATIC. VALVES AND MAINLINE SHOWN IN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY.
- THE IRRIGATION CONTRACTOR SHALL COMPLY WITH PIPE SIZES AS INDICATED.
- ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTORS AND BE IN A VALVE OR SPLICE BOX.
- ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 2-WIRE 14AWG, UL APPROVED DIRECT BURY.
- SURGE PROTECTION TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET(AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC...). SITEONE LANDSCAPE SUPPLY BEARS NO RESPONSIBILITY OR LIABILITY FOR ANY ERRORS IN DESIGN OR INSTALLATION THAT MAY OCCUR DUE TO INACCURACIES IN THE ABOVE REFERENCED INFORMATION SUPPLIED TO SITEONE LANDSCAPE SUPPLY IN RELATION TO THIS PROJECT, UNLESS OTHERWISE NOTED.



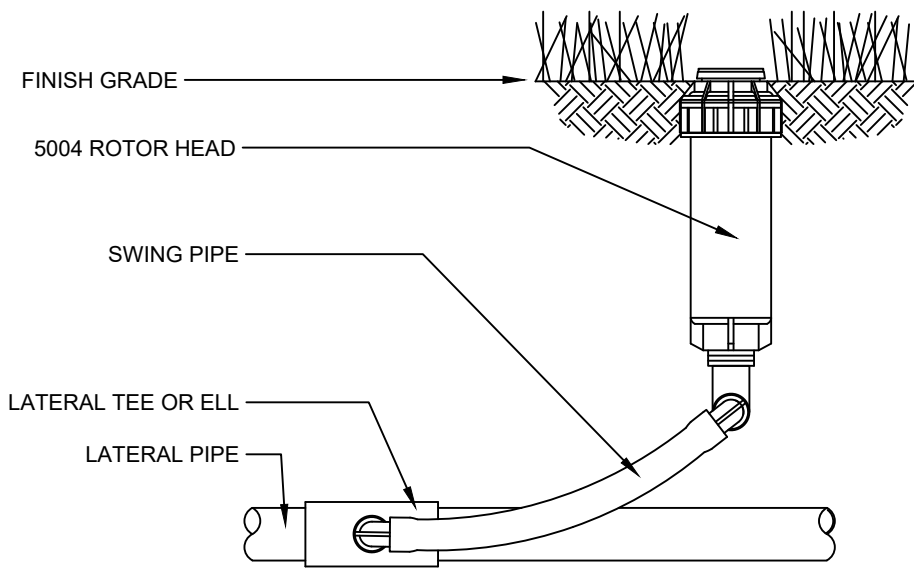
1 1804 SPRAY HEAD WITH SWING PIPE

S1-SP-RAI-01



2 1812 SPRAY HEAD WITH SWING PIPE

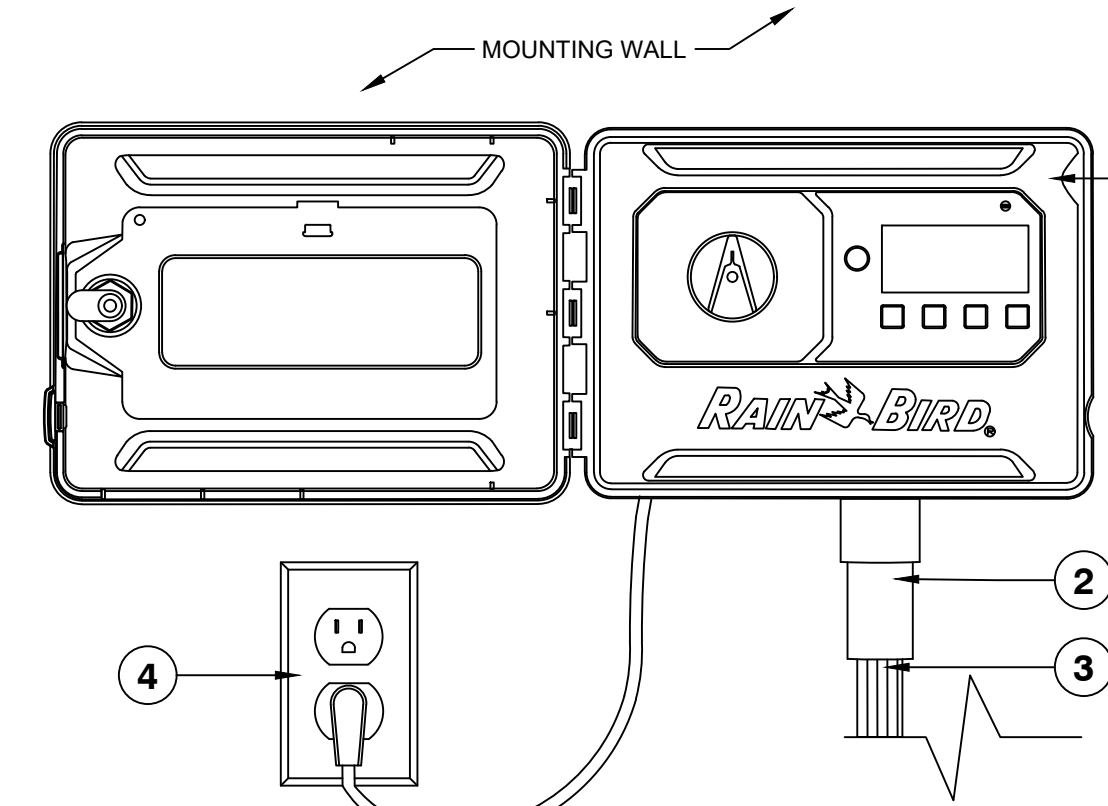
S1-SP-RAI-03



3 5004 ROTOR HEAD WITH SWING PIPE

NTS

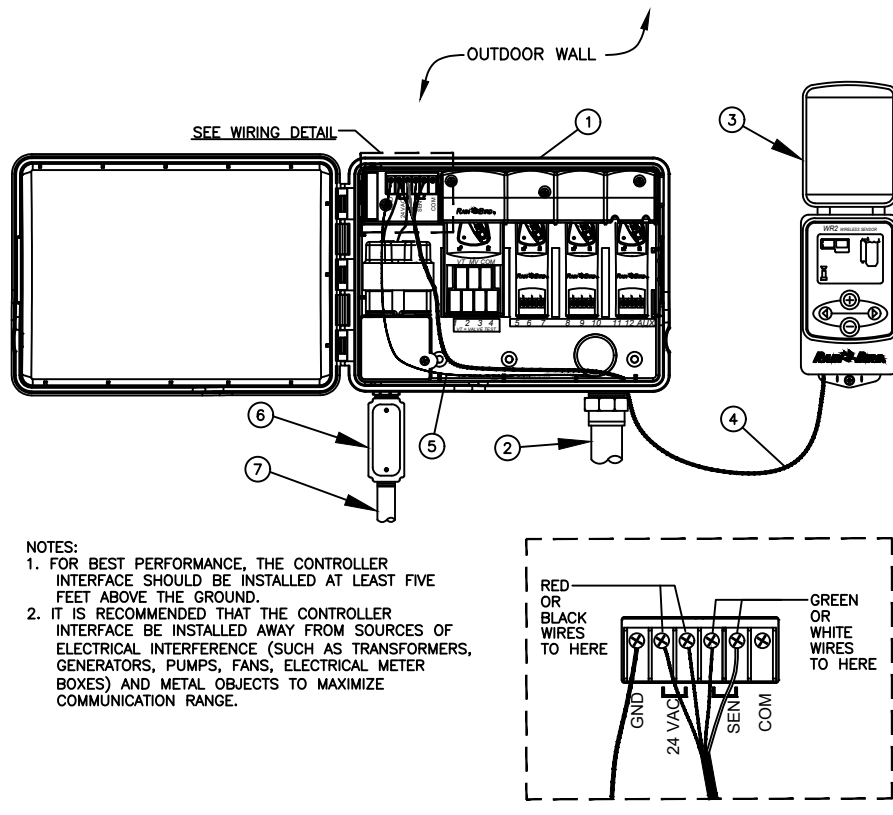
S1-RO-RAI-01



5 ESP-2WIRE CONTROLLER

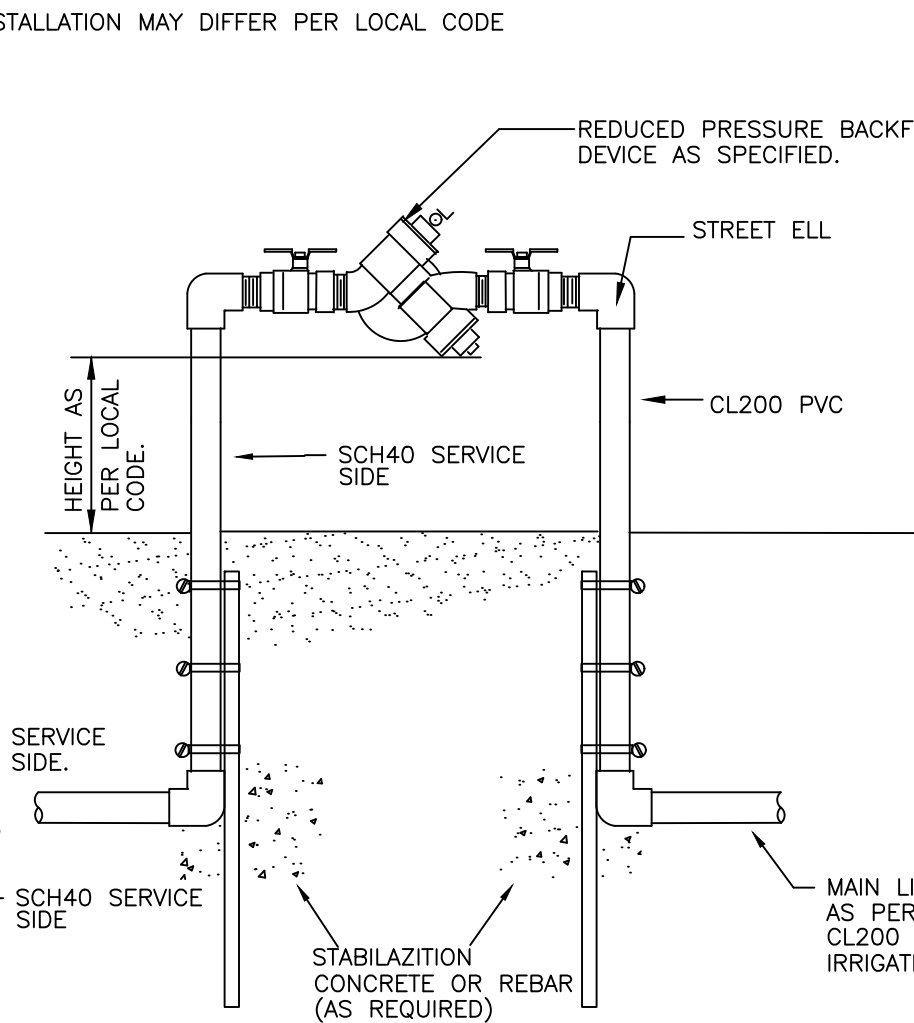
DETAIL-SCALE

FX-IRRG-RAIN-CONT-14

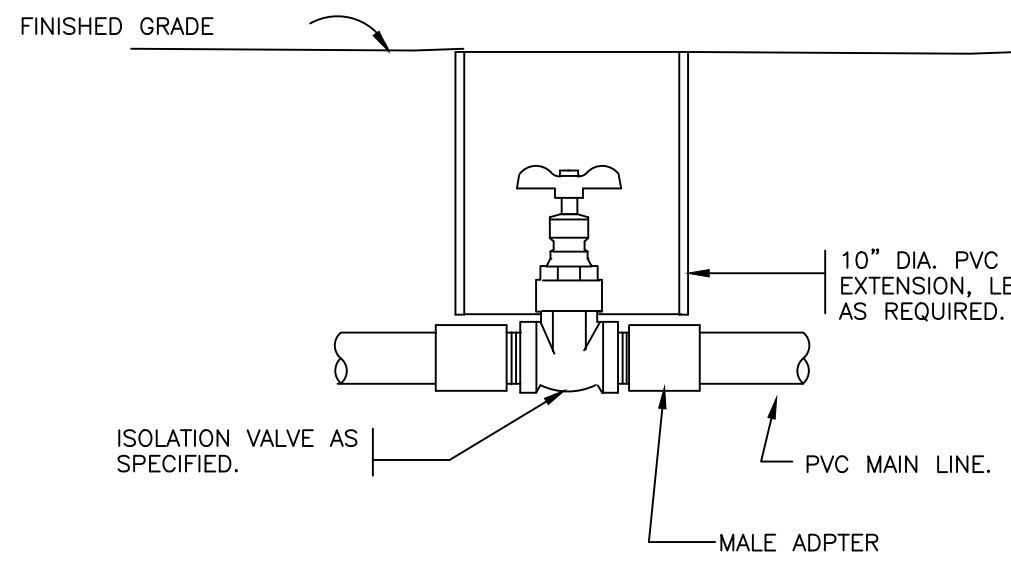


6 WR2 WIRELESS RAIN SENSOR

NTS



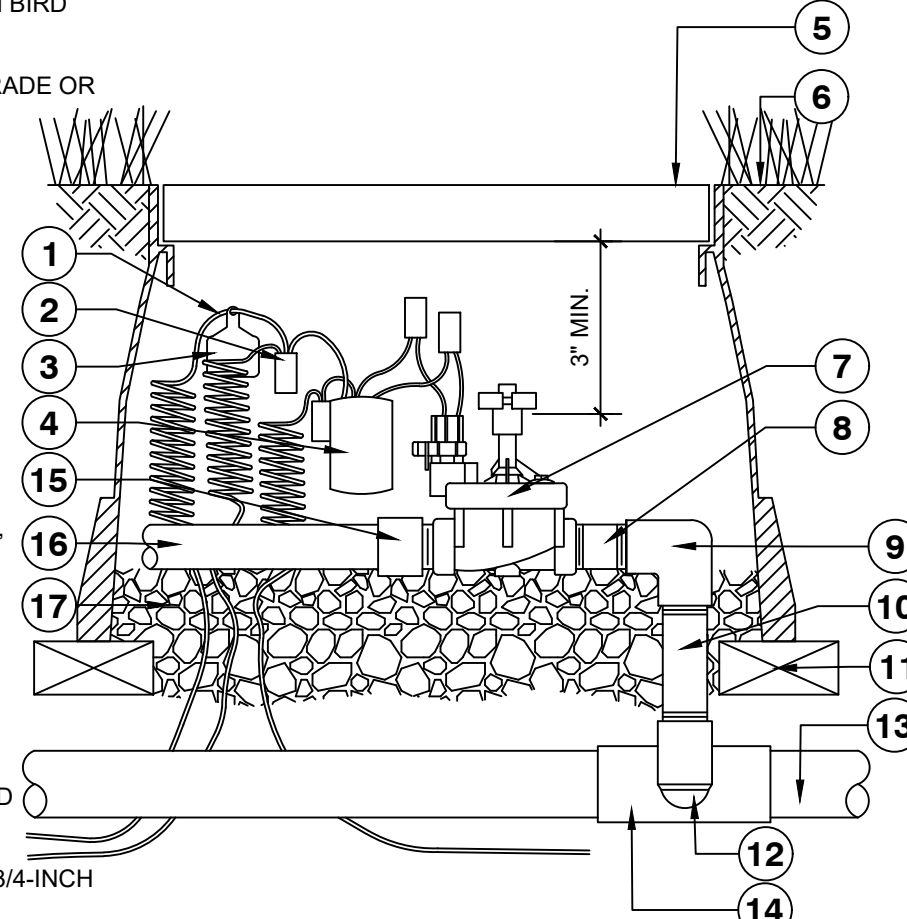
7 REDUCED PRESSURE BACKFLOW DEVICE STANDARD



8 ISOLATION GATE VALVE

S1-MI-02

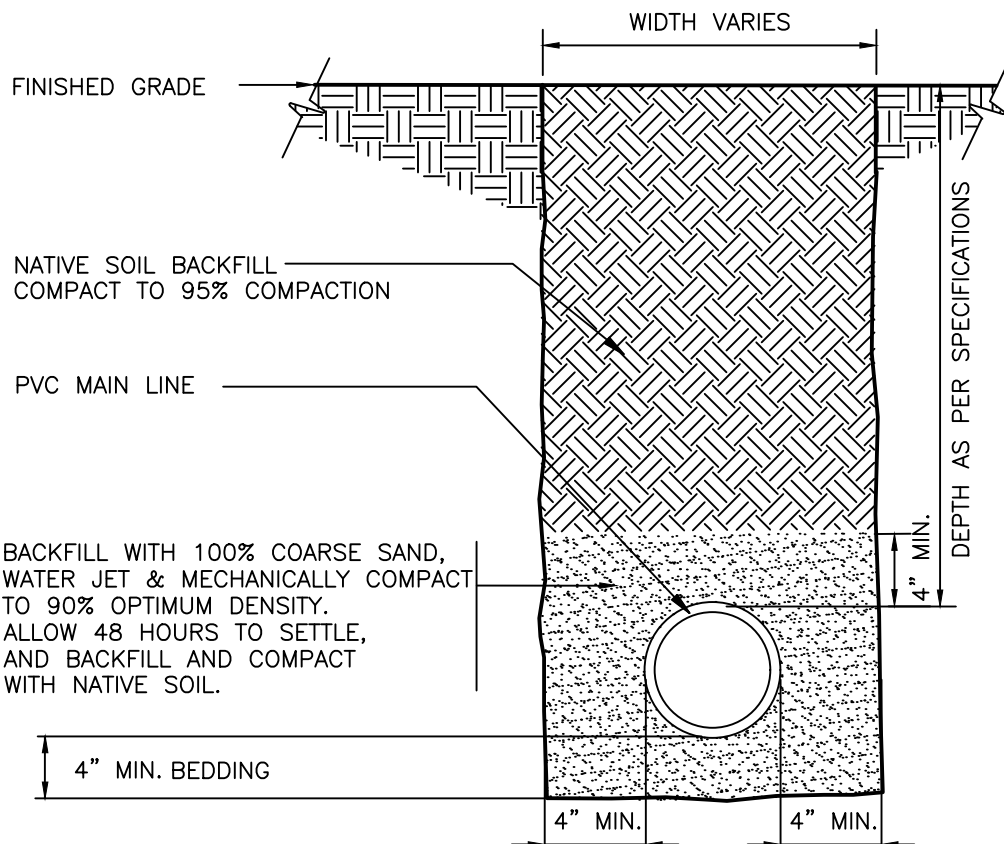
- 30-INCH LINEAR LENGTH OF WIRE, COILED
 - WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
 - VALVE ID TAG
 - ESP- 2WIRE DECODER: 2W-1
 - VALVE BOX WITH COVER RAIN BIRD VB-STD
 - FINISH GRADE, FLUSH WITH GRADE OR MULCH
 - RAIN BIRD REMOTE CONTROL VALVE, SEE LEGEND
 - PVC SCH 80 NIPPLE (CLOSE)
 - PVC SCH 40 ELL
 - PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
 - BRICK (1 OF 4) IF APPLICABLE
 - SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
 - PVC MAINLINE PIPE, SEE LEGEND OR SPECIFICATION
 - PVC SCH 40 TEE OR ELL
 - PVC SCH 40 MALE ADAPTER
 - PVC LATERAL PIPE, SEE LEGEND OR SPECIFICATION
 - 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- NOTE:
- RAIN BIRD VB SERIES VALVE BOXES DO NOT REQUIRE BRICK SUPPORTS
 - FOR DECODER AUTO-ADDRESS, DECODERS SHALL BE INSTALLED IN CONSECUTIVE ORDER. MASTER VALVE WILL TAKE FIRST DECODER ADDRESS.
 - COMPATIBLE WITH STANDARD DIRECT BURIAL IRRIGATION WIRE AND STANDARD IRRIGATION WIRE CONNECTORS.



4 RAIN BIRD REMOTE CONTROL VALVE W/ 2W-1 DECODER

DETAIL-SCALE

FX-IRRG-RAIN-RCV-06



9 SLEEVE AT ROAD

S1-MI-01



PROJECT NUMBER: 400848
FOR MORE INFORMATION PLEASE CONTACT
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REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

THE RESERVE AT
COBALT CIRCLE

DEVELOPER:
ENGINEER: RENAISSANCE GROUP, INC.

DIVISION OF ENGINEERING
LEGEND AND DETAILS

BROWNSVILLE, TENNESSEE
SURVEY: *** DATE: **** BOOK: *****
DESIGN: _CLC_ DATE: _1/25_ CKD: _CBB_ DATE: _1/25_ SCALE: _____
DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE