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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	The Residence at Carter Lake New Development Carter Lake, IA	Report No.	Four (4)
OWNER:	OPG Carter Lake Partners, LLC Dan Maximuk 254 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	January 20, 2026
CONTRACTOR:	Koester Construction Company 3050 SE Enterprise Dr. Grimes, IA 50111	Architect's Proj No.	25-3489
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

- 1) Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions:
 - a. Sheet C1 – Additional sheets added to the index of sheets (grading plan – sidewalk ramp details, 2 sheets)
 - b. Sheet C4 – Sidewalk ramps extended for better slopes for ADA compliance
 - c. Sheet C5 – Sanitary Sewer line connection point changed to connect to an existing wye found in field.
 - d. Sheet C6 – Adjusted grading around northern ADA parking stalls for better ADA compliance
 - e. Sheet C7A – Issued new sheet
 - f. Sheet C8B – Issued new sheet

Attachments:

1. Revised Civil Sheets – C1, C4, C5, C6
2. New Civil Sheets – C7A, C8B

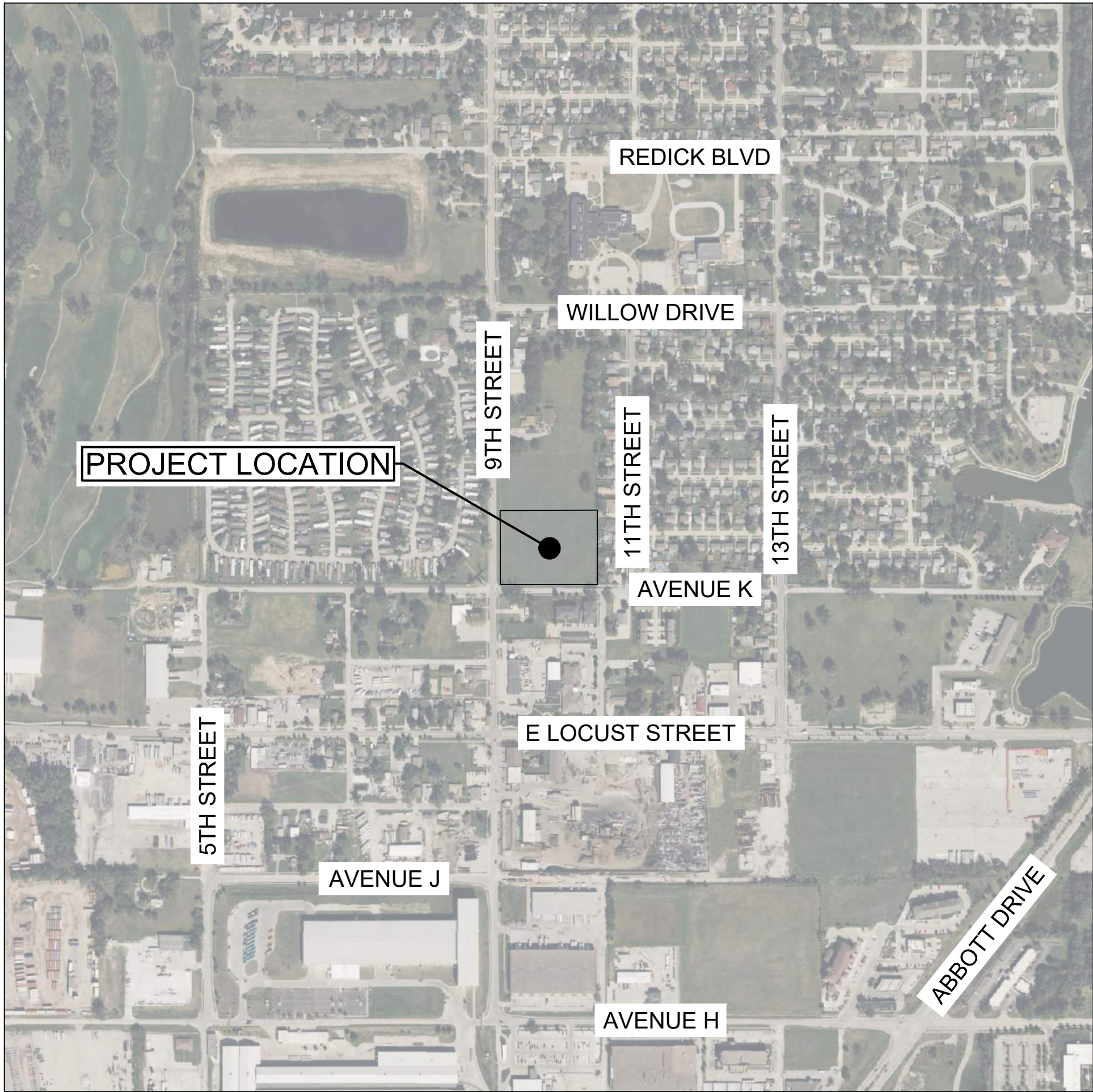
Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Maggie Gillam, Project Manager 785-827-0386

mgillam@jgrarchitects.com

Copies to:

Koester Construction
OPG - Dan Maximuk, Austin Kack, Amanda Klaus, Katie Jardieu
LST - Ryan Lies
Structural - Isaac Cundiff, Marcus Himmelberg
Civil - Elizabeth Hunter

SITE PLANS
FOR
THE RESIDENCE AT CARTER LAKE
9TH STREET & AVENUE K
CITY OF CARTER LAKE, POTTAWATTAMIE COUNTY, IOWA

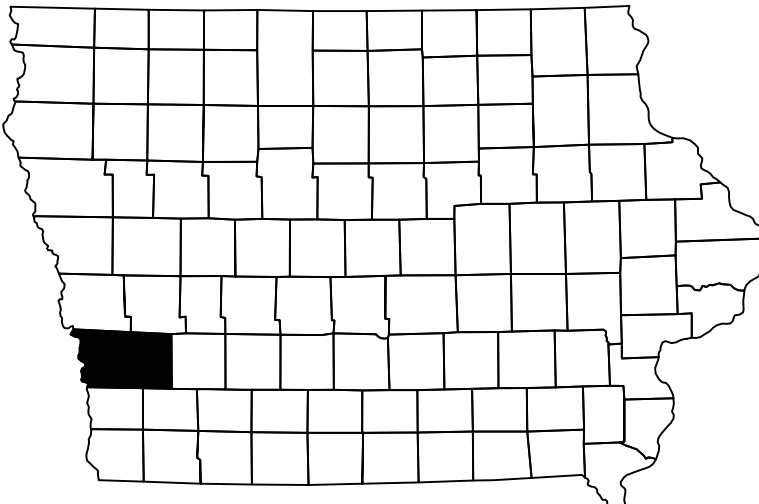


SCALE: 1" = 500

VICINITY MAP

OWNER / DEVELOPER

AUSTIN KACK
OVERLAND PROPERTY GROUP
5345 W. 151ST TERRACE
LEAWOOD, KS 66224



INDEX OF SHEETS

- | | |
|-----|--|
| C1 | TITLE |
| C2 | GENERAL INFORMATION |
| C3 | EXISTING SITE SURVEY & DEMOLITION PLAN |
| C3A | OVERALL LOT PLAN |
| C4 | DIMENSION & LAYOUT PLAN |
| C5 | UTILITY PLAN |
| C6 | GRADING PLAN |
| C7 | GRADING PLAN - SIDEWALK RAMP DETAILS |
| C8 | GRADING PLAN - SIDEWALK RAMP DETAILS |
| C9 | SWPPP NOTES |
| C9A | SWPPP NOTES |
| C10 | SWPPP & EROSION CONTROL PLAN |
| C11 | LANDSCAPING PLAN |
| C12 | IRRIGATION PLAN |
| C13 | IRRIGATION PERFORMANCE SPECIFICATIONS |
| C14 | DETAILS |



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Elizabeth A. Hunter P F 08/01/2025

License Number P18178
My License Renewal Date is December 31, 2026

Pages or sheets covered by this seal:
C1 THRU C12

THE RESIDENCE AT CARTER LAKE

TITLE

CARTER LAKE, IOWA

SNYDER & ASSOCIATES, INC.

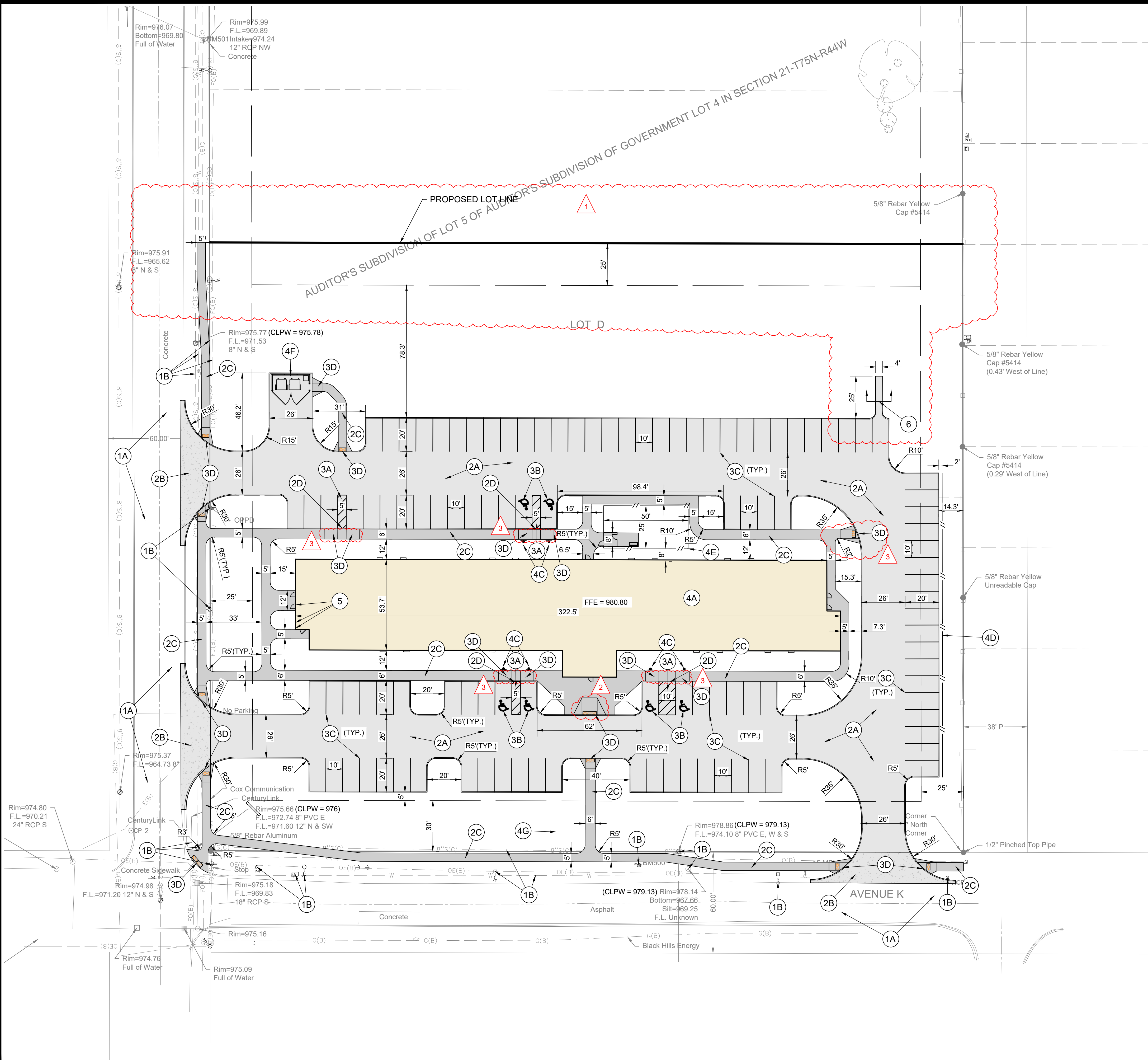


Project No: 125.0711.10

Sheet C1

[illegible]

\\P:\949\2025\1250711_00\000\1250711_C_LAYOUT PLAN.dwg RACHEL DICKY DIMENSION & LAYOUT PLAN 2026/01/03 8:19 AM ANSI FULL BLEED 0 (34.00 X 22.00 INCHES)

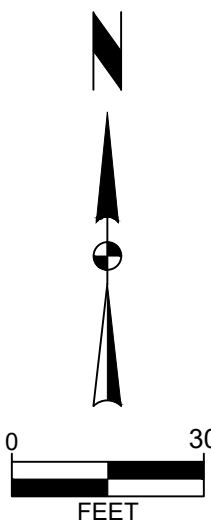


DIMENSION PLAN CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
 - PAVEMENT TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
- PAVEMENTS, PROVIDE THE FOLLOWING:
 - 6" DEPTH PCC ON 12" PREPARED SUBGRADE.
 - 7" DEPTH PCC ON 12" PREPARED SUBGRADE TO R.O.W. LINE.
 - 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE.
 - CURB DROP.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - PAINTED ACCESSIBLE AISLE. 45° STRIPING AT 3' ON CENTER.
 - ACCESSIBLE SYMBOL AS PER ADA STANDARDS.
 - YELLOW 4" WIDE PAINTED PARKING STALL LINES.
 - ACCESSIBLE CURB RAMP WITH LANDINGS AS PER ADA STANDARDS. PROVIDE DETECTABLE WARNING WHERE SHOWN ON PLANS.
- PROVIDE THE FOLLOWING SITE IMPROVEMENTS WHERE SHOWN ON PLAN:
 - BUILDING; SEE ARCHITECTURAL PLANS FOR DETAILS.
 - REFER TO THE MEP PLANS FOR UTILITIES CONNECTING INTO THE BUILDING.
 - VAN ACCESSIBLE PARKING SIGNAGE AS PER ADA STANDARDS.
 - 6' TALL SCREENING FENCE; SEE ARCHITECTURAL PLANS FOR DETAIL.
 - 4' TALL ALLUM. FENCE TO SURROUND DOG PARK; SEE ARCHITECTURAL PLANS FOR DETAIL.
 - TRASH ENCLOSURE WITH FENCE & GATE; SEE ARCHITECTURAL PLANS FOR DETAIL.
 - MONUMENT SIGN; SEE ARCHITECTURAL PLANS FOR DETAIL.
- SEE UTILITY SHEET FOR WATER SERVICE, STORM SEWER AND SANITARY SEWER INFORMATION.
- CONCRETE FLUME, SEE DETAIL ON SHEET C14.

LEGEND

- 6" DEPTH PCC ON 12" PREPARED SUBGRADE
- 7" DEPTH PCC ON 12" PREPARED SUBGRADE TO R.O.W. LINE
- 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE



THE RESIDENCE AT CARTER LAKE

DIMENSION & LAYOUT PLAN

CARTER LAKE, IOWA

SNYDER & ASSOCIATES, INC. I



Project No: 125.0711.10

Sheet C4

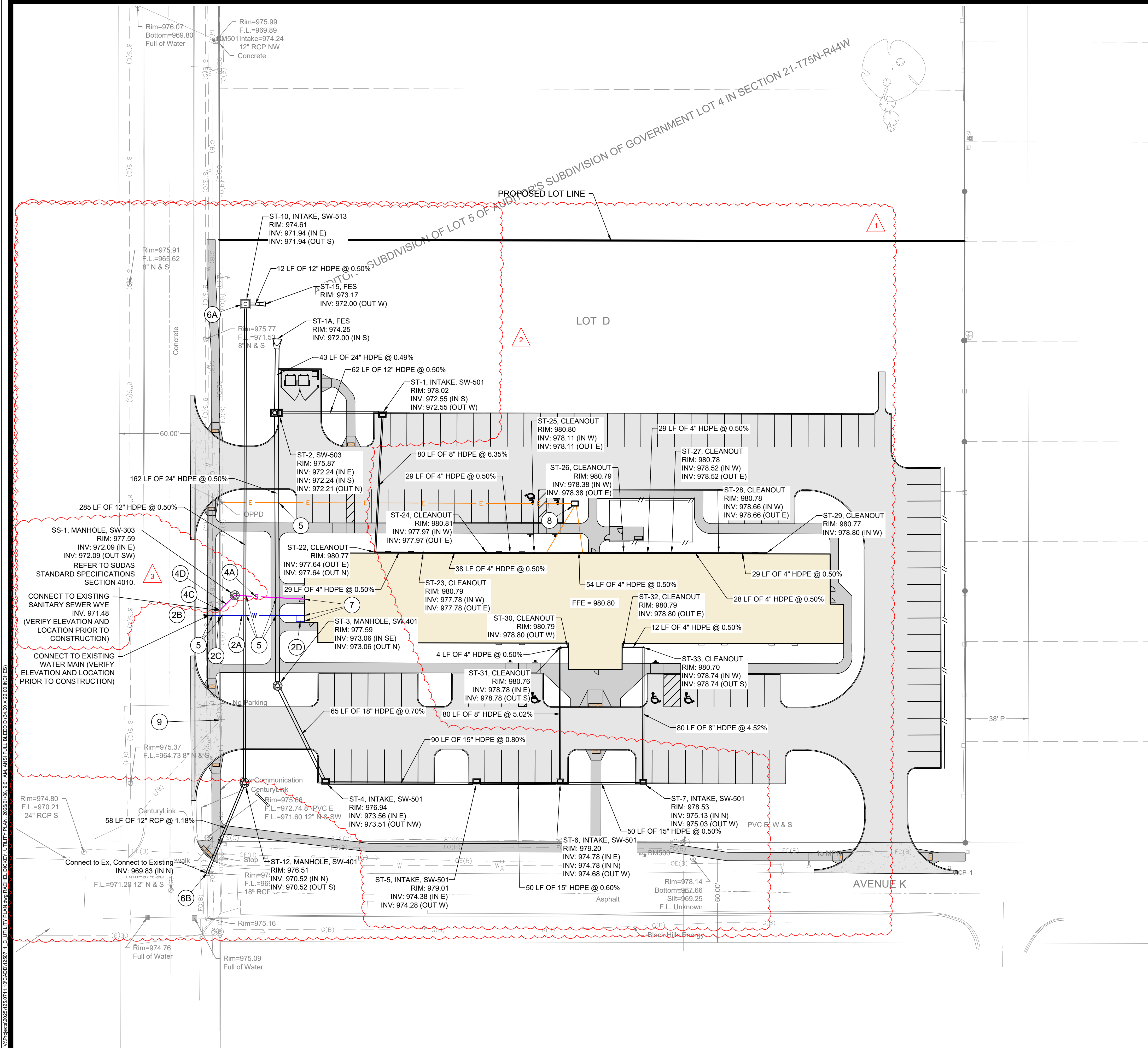
MARK	REVISION	DATE	BY
3	ADA RAMP REVISIONS	12-09-25	RMD
2	ADA REVISION	11-06-25	RMD
1	ADJUSTED LOT LINE; ADDED FLUME	09-03-25	RMD
Engineer: EDH	Checked By: CHKD	Scale: 1" = 30'	
Technician: RMD	Date: 08/01/2025	T-R-S: 75N-44W-21	

231 BENNETT AVENUE
COUNCIL BLUFFS, IOWA 51503
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Project No: 125.0711.10

Sheet C4

V:\projects\2025\1250711.C UTILITY PLAN.dwg RACHEL DICKY, UTILITY PLAN, 2026/08/08 9:01 AM, ANS FULL BLEED (0.3400 X 22.00 INCHES)



UTILITY CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
A. PROTECT EXISTING UTILITIES.
B. PROTECT EXISTING PAVEMENTS.
- WATER SERVICE, PROVIDE THE FOLLOWING:
A. 3" WATER SERVICE. COORDINATE BUILDING CONNECTION WITH ARCHITECTURAL PLANS. SEE MUD STANDARD 3" SERVICE TAP FOR ADDITIONAL INFORMATION. APPROXIMATELY 57' FROM BUILDING CONNECTION TO WATER MAIN CONNECTION.
B. CONNECT TO EXISTING WATER MAIN WITH 3" TAPPING VALVE AND SLEEVE. ALL WORK UP TO THE CURB STOP MUST BE COMPLETED WITH MUD INSPECTOR PRESENT. ALL WATER MAIN SHALL BE COMPLETED TO MUD STANDARDS.
C. CURB STOP AND BOX. SEE MUD STANDARD 3" SERVICE DETAIL FOR ADDITIONAL INFORMATION.
D. 6" FIRE SERVICE LINE.
- STORM AND SANITARY IMPROVEMENTS SHALL BE PROVIDED AND INSTALLED PER SUDAS STANDARD SPECIFICATIONS.
- SANITARY SEWER, PROVIDE THE FOLLOWING:
A. 8" SANITARY SEWER SERVICE LINE. APPROXIMATELY 58' FROM BUILDING CONNECTION TO EXSITING SANITARY SEWER CONNECTION.
B. MAINTAIN 18" MINIMUM SEPARATION FROM WATER SERVICE. PLACE SANITARY SERVICE LOWER THAN WATER SERVICE IF POSSIBLE.
C. CONNECT TO EXISTING 12" WYE SANITARY SEWER.
D. 12" SANITARY SEWER LINE.
- CRITICAL CROSSING. MAINTAIN 18" MIN. SEPARATION. VERIFY CROSSING WITH EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- STORM SEWER IMPROVEMENTS, PROVIDE THE FOLLOWING:
A. SEE SHEET C14 FOR OUTLET STRUCTURE DETAILS.
B. CONNECT TO EXISTING 8" STORM SEWER MANHOLE. VERIFY LOCATION, DEPTH AND SIZE PRIOR TO CONSTRUCTION.
- CONNECT SANITARY AND WATER TO BUILDING SERVICE. COORDINATE SIZE, LOCATION, AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
- ESTIMATED LOCATION OF ELECTRICAL TRANSFORMER AND CONDUIT LINES, FINAL LOCATION TO BE COORDINATED WITH OPPD.
- RELOCATION OF 1 POWER POLE TO BE COMPLETED BY OPPD. CONTRACTOR TO COORDINATE AS NEEDED.

LEGEND

- W — PROPOSED WATER LINE
- S — PROPOSED SEWER LINE
- E — PROPOSED FIBER OPTIC LINE

THE RESIDENCE AT CARTER LAKE

UTILITY PLAN

CARTER LAKE, IOWA

SNYDER & ASSOCIATES, INC. I



Project No: 125.0711.10

Sheet C5

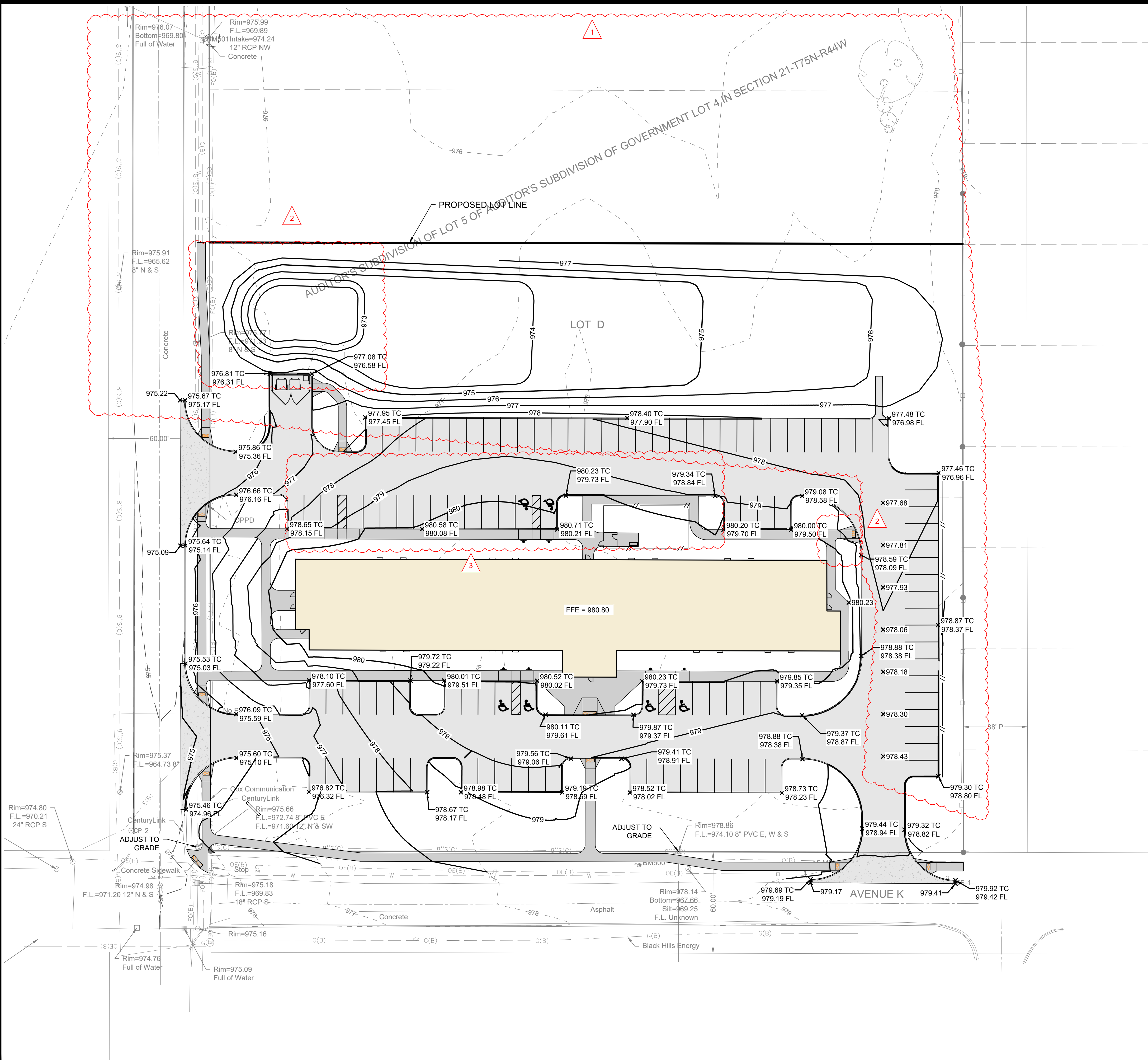
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Sheet C5

Project No: 125.0711.10

3	UPDATE TO SAN SWIR CONNECTION	01-08-26	RMD
2	STORM UPDATE	11-08-25	KSS
1	ADDED ROOF DRAIN & STORM UPDATES	08-03-25	RMD
MARK	REVISION	DATE	BY
EDH	Checked By: CHKD	Scale: 1" = 30'	
RMD	Date: 08/01/2025	T-R-S: 75N-44W-21	
Technician:			

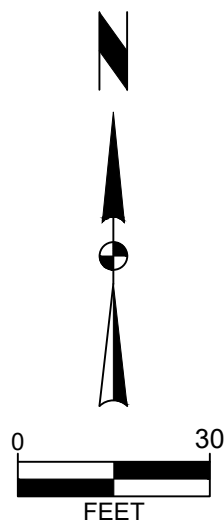
\\P:\949\2025\1250711\00\ADD\1250711_C GRADING PLAN.dwg RACHEL DICKIE, GRADING PLAN, 2025.08.19 AM, ANS FULL BLEED 0.00 X 22.00 INCHES



GRADING PLAN NOTES

1. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RE-SPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
2. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
3. GRADES SHOWN ARE FINISHED GRADE AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.

SPOT ELEVATIONS INDICATE TOP OF SLAB, FINISH FLOOR ELEVATION, OR FINISH GRADE, UNLESS OTHERWISE NOTED.
TC= TOP OF CURB
FL= FLOW LINE
FFE= FINISHED FLOOR ELEVATION



THE RESIDENCE AT CARTER LAKE

GRADING PLAN

CARTER LAKE, IOWA

SNYDER & ASSOCIATES, INC. I



Project No: 125.0711.10

Sheet C6

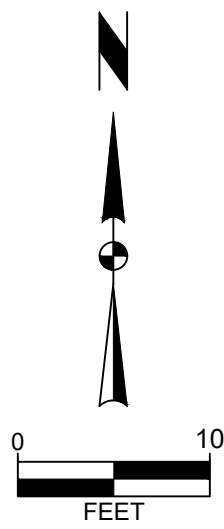
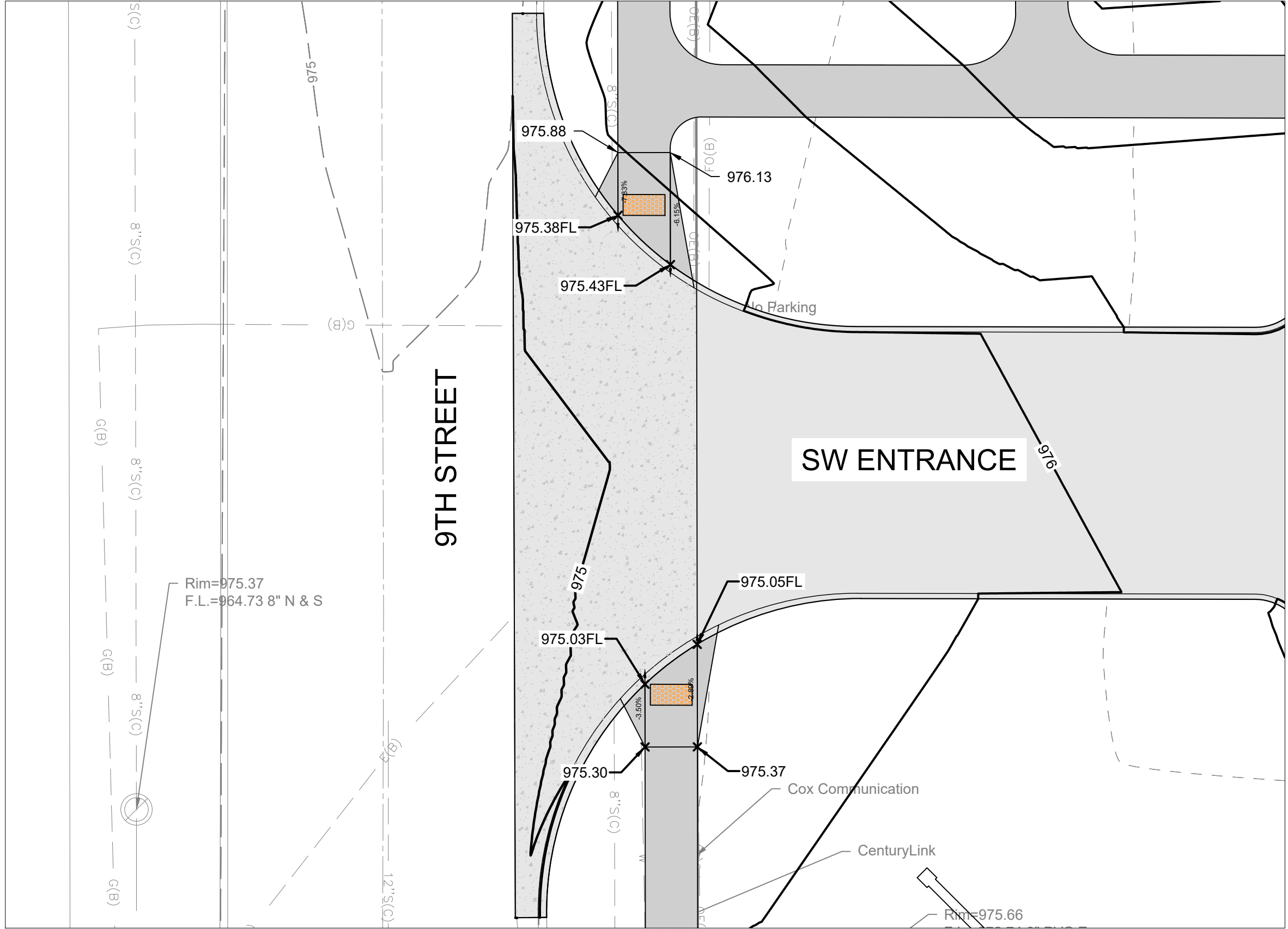
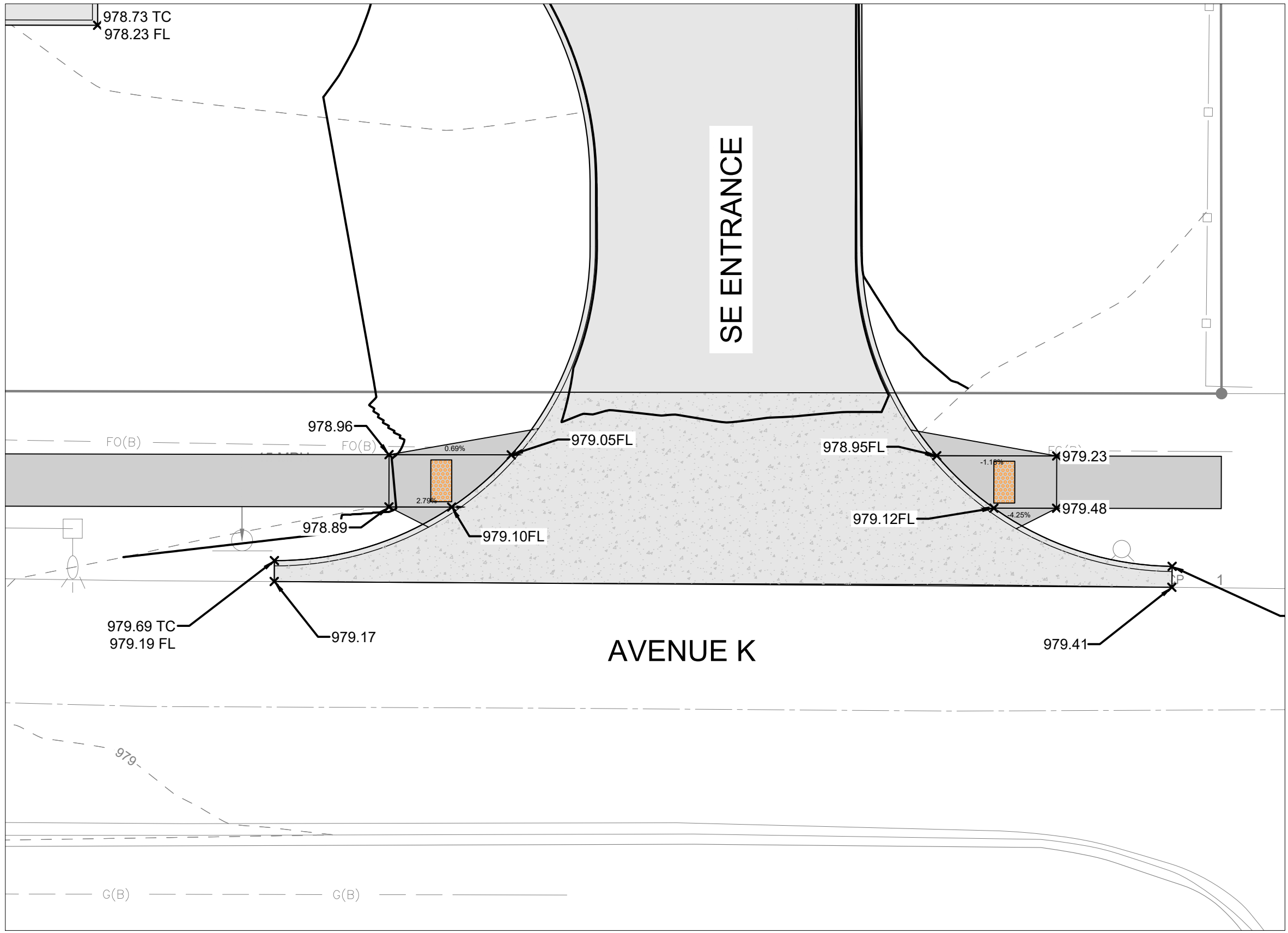
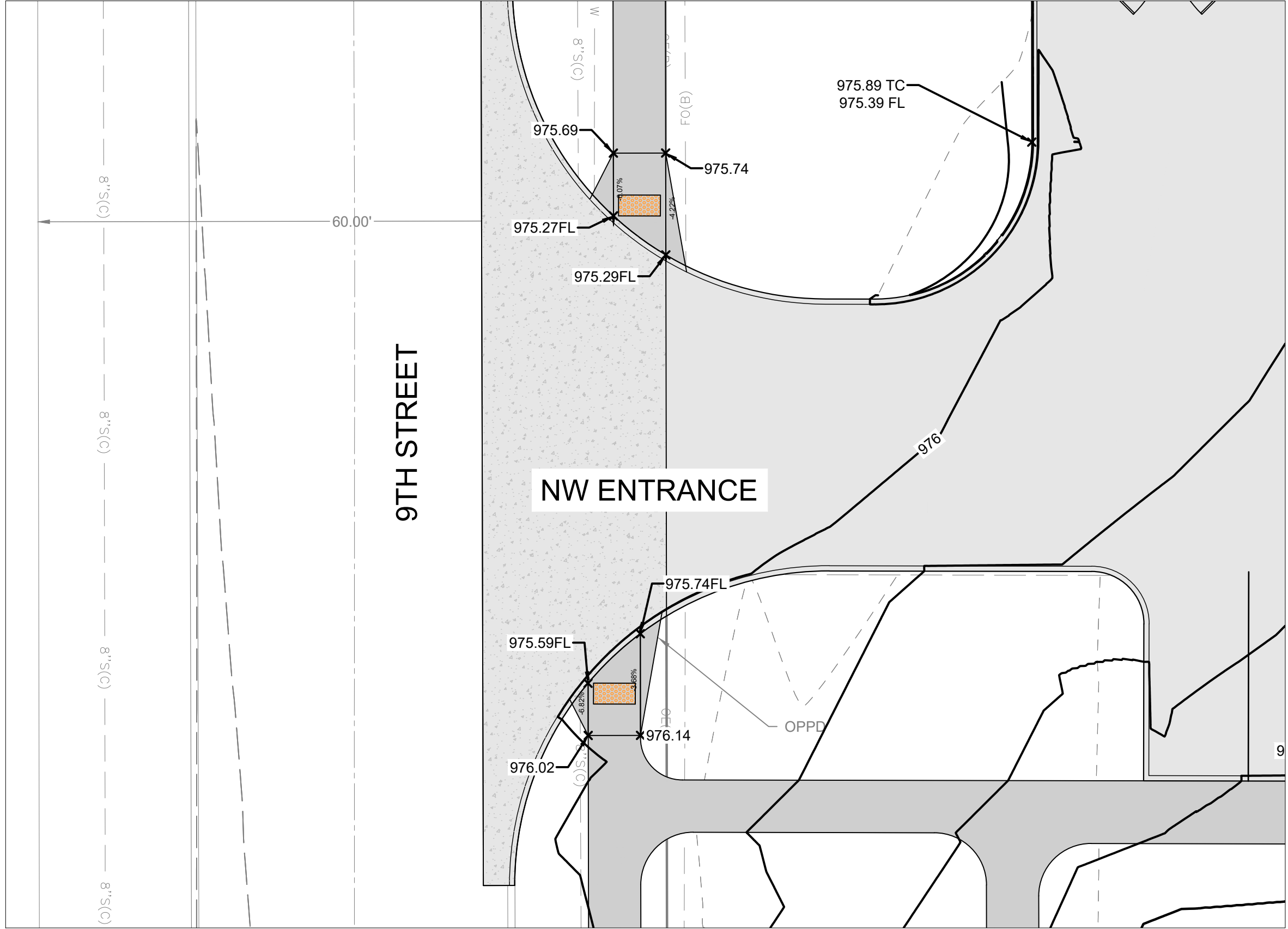
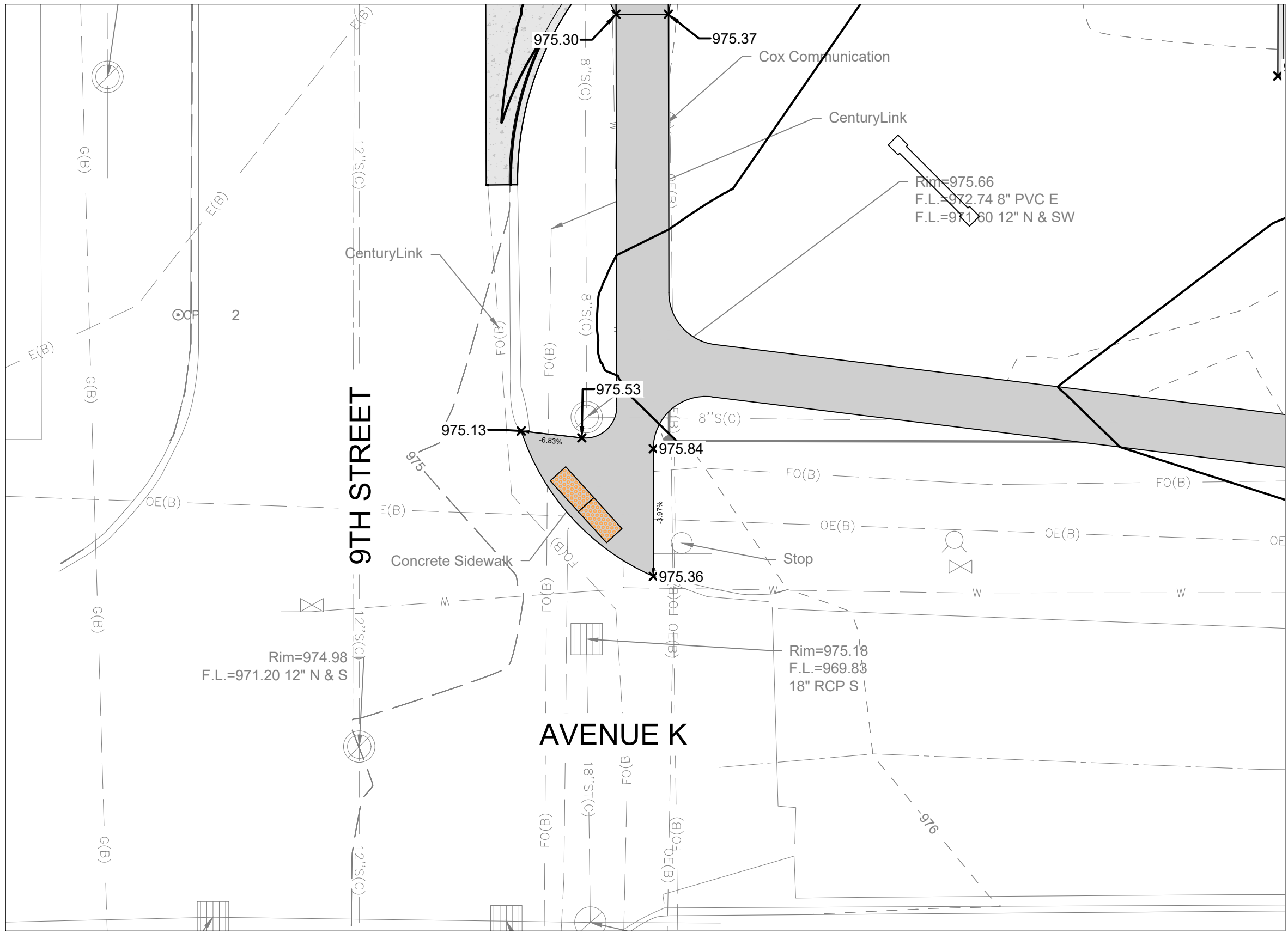
MARK	REVISION	DATE	BY
3	REVISION TO SURFACE GRADING	12-09-25	RMD
2	POND AND ADA REVISION	11-06-25	KSS
1	UPDATED POND GRADING	09-03-25	RMD
EDH	Checked By: CHKD	Scale: 1" = 30'	
RMD	Date: 08/01/2025	T-R-S: 75N-44W-21	

Sheet C6

Project No: 125.0711.10

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Project No: 125.0711.10
Sheet C8B

THE RESIDENCE AT CARTER LAKE
GRADING PLAN - SIDEWALK RAMP DETAILS - SIDEWALK RAMP DETAILS
SNYDER & ASSOCIATES, INC. I

ISSUED NEW SHEET	12-09-25	RMD
UPDATED POND GRADING	09-05-25	RMD
MARK	REVISION	DATE
Engineer: EDH	Checked By: CHKD	Scale: 1" = 10'
Technician: RMD	Date: 08/01/2025	T-R-S: 75N-44W-21
Project No: 125.0711.10		Sheet C8B