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NOTICE TO ALL CONTRACTORS AND SUB-CONTRACTORS

September 3, 2025

Residence at Carter Lake – New Senior Living Facility – JGR Proj 25-3489

ADDENDUM NO. 1

YOU ARE INSTRUCTED TO READ AND TO NOTE THE FOLLOWING DESCRIBED CHANGES, CORRECTIONS, CLARIFICATIONS, OMISSIONS, DELETIONS, ADDITIONS, APPROVALS, AND STATEMENTS PERTINENT TO THE CONTRACT AND CONSTRUCTION DOCUMENTS. THIS ADDENDUM IS A PART OF THE CONTRACT AND CONSTRUCTION DOCUMENTS AND SHALL GOVERN IN THE PERFORMANCE OF THE WORK.

GENERAL

1. Substitution Requests:
 - a. USG Mars #86785 has been approved to bid as an alternative to Armstrong Ultima 2x2, 15/16" tegular acoustical ceiling assembly (Spec. Section 095110).

CIVIL – Drawings

1. Sheet C3A – Property line split changed locations.
2. Sheet C4 – Property line split changed locations. NE corner of parking lot has a concrete flume added. Sidewalk changed to stop at new property line.
3. Sheet C5 – Roof drain storm pipe added along the north side of building & 2 locations on the south for the canopy. Inlet inverts updated to work with a more shallow pond. Pond outlet structure & piping updated to take water to the south, rather than the north. In the NE corner of parking lot storm was removed & changed to a concrete flume.
4. Sheet C6 - Grading changes along the east & in the north pond area to make pond larger, less steep & less deep.
5. Sheet C8 - Updates to the erosion control needs based on grading changes. Took seeding to the lot lines rather than the grading limits.
6. Sheet C9 - Updates to the planting plan to screen the pond and accommodate the grading changes.
7. Sheet C10 - Updates to show the larger pond, but it is not irrigated, so no changes to irrigation.
8. Sheet C12 - Update to detail 2 for the addition of a concrete flume.

ARCHITECTURAL – Drawings

1. Sheet A2.2
 - a. Detail A – Rated chase & Note 'E' has been added to the corner of Mech Rm. 226
 - b. Detail B - Rated chase & Note 'E' has been added to the corner of Mech Rm. 326
 - c. Legend – Note 'E' has been added.
2. Sheet A2.3 – Detail B - Elevation call-out on Mezzanine 223 has been changed to J-A9.2
3. Sheet A2.5 – Details D & E – 4" wood trim and gyp. board soffit has been added above the upper cabinets.
4. Sheet A2.7 – Details B & C - 4" wood trim and gyp. board soffit has been added above the upper cabinets.
5. Sheet A2.9 – Details J, K, N, P & R - 4" wood trim and gyp. board soffit has been added above the upper cabinets.
6. Sheet A7.2
 - a. General – Sheet number has been revised.
 - b. Detail B – height & configuration of soffit above Mezzanine 221 & 223 has been adjusted. Section cuts have been added.
 - c. Detail C – section cuts have been added
 - d. Details F & G have been added.
7. Sheet A9.2
 - a. Detail A – 1x12 wood trim has been added to the soffit. Soffit height has been adjusted.
 - b. Detail C - 1x12 wood trim has been added to the soffit. Soffit height has been adjusted. Wood trim and molding have been added on a portion of the mezzanine wall.
 - c. Detail D – Ceramic tile above kitchenette has been deleted. Wood trim & molding have been added above the kitchenette and at the mezzanine.
 - d. Details G & H – Wood trim & molding have been added around and above the mailboxes.
 - e. Detail J has been added.
 - f. Detail K – ceramic tile above countertop has been deleted. Countertop to have an 8" backsplash.

8. Sheet A9.3
 - a. Details D & F – wood trim and molding have been added around the mailboxes.
 - b. Details H & K – 7" baseboard trim as been added. Ceramic tile has been deleted.
 - c. Detail N has been revised to divide between painted surfaces and stained surfaces.
9. Sheet A9.4 – Detail E has been removed.

MECHANICAL – Drawings

1. Sheets M1.1 & M1.2 – Modified note of OA duct to be routed in shaft and to utilize fire dampers where duct penetrates shaft.

ELECTRICAL – Drawings

1. Sheet E1.1 – Added switch designators to fixtures serving two story community room
2. Sheet E1.2 – Added lights behind mirrors in fitness room.
3. Sheet E4.1 – Added cove lighting; Added lighting behind public restroom mirrors; Added switches for community room lights
4. Sheet E6.1 – Added fixture type 'H'; Modified description of vanity light.

Receipt of this Addendum shall be noted on the Bid Form.

END OF ADDENDUM NO. 1

Attachments:

Revised Civil Sheets: C3A, C4, C5, C6, C8, C9, C10, C12

Revised Architectural Sheets: A2.2, A2.3, A2.5, A2.7, A2.9, A7.2, A9.2, A9.3 & A9.4

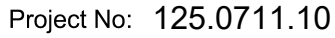
Revised MEP Sheets: E1.1, E1.2, E4.1, E6.1, M1.1 & M1.2



1. PROPOSED LOT LINE, REFERENCE THE NEW PLAT FOR FINAL INTERIOR LOT LINE LOCATIONS.

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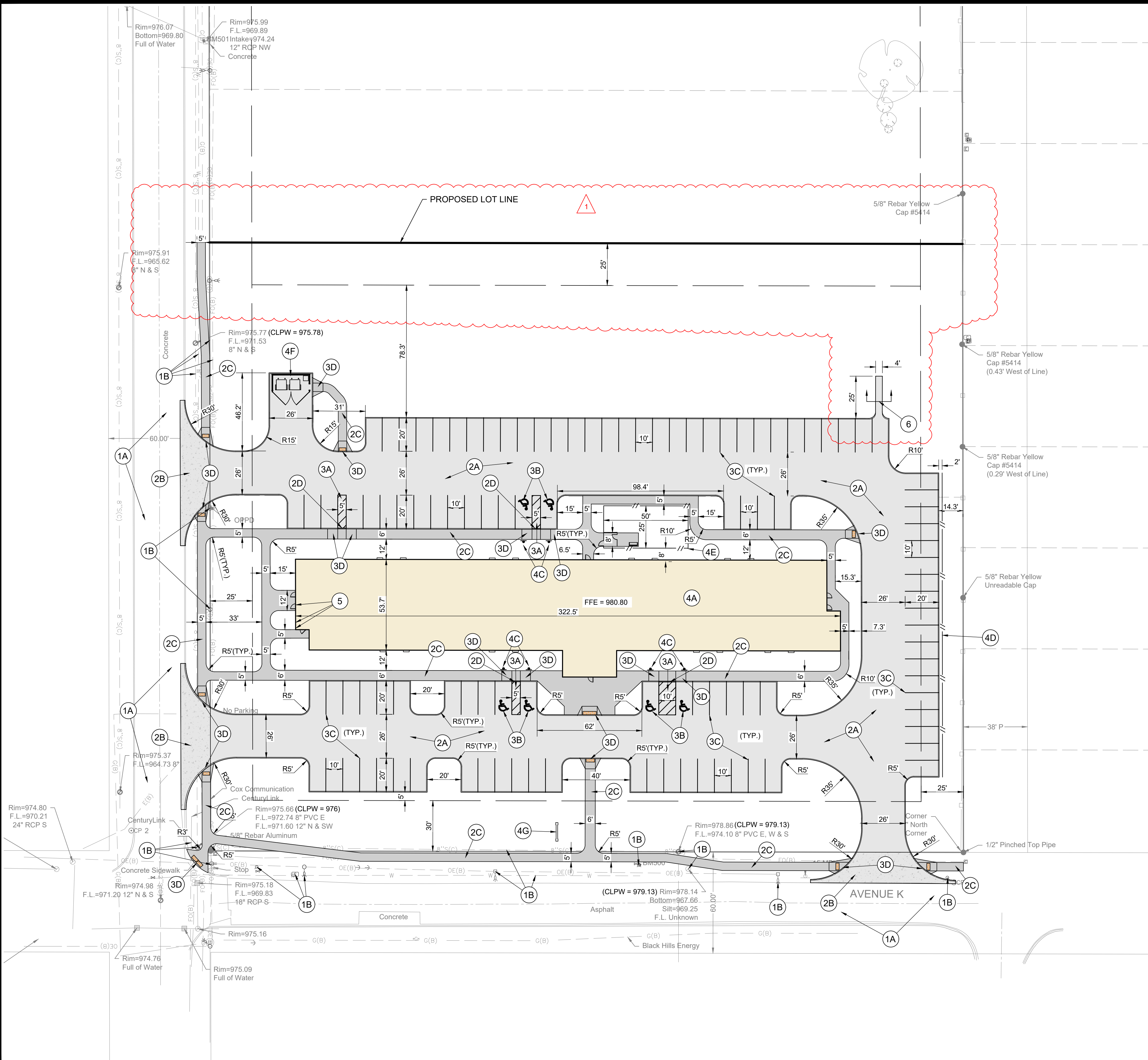
OVERALL LOT PLAN



Sheet C3A

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\\P:\949\2025\1250711 C LAYOUT PLAN\444 RACHEL DUCKEY DIMENSION & LAYOUT PLAN 2025\9003 2.44 PM ANSI FULL BLEED D (34.00 X 22.00 INCHES)

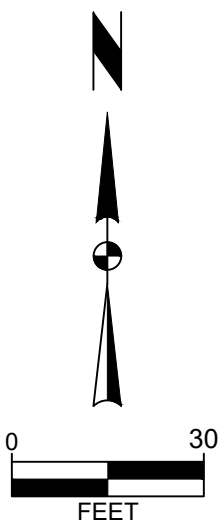


DIMENSION PLAN CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
 - PAVEMENT TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
- PAVEMENTS, PROVIDE THE FOLLOWING:
 - 6" DEPTH PCC ON 12" PREPARED SUBGRADE.
 - 7" DEPTH PCC ON 12" PREPARED SUBGRADE TO R.O.W. LINE.
 - 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE.
 - CURB DROP.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - PAINTED ACCESSIBLE AISLE. 45° STRIPING AT 3' ON CENTER.
 - ACCESSIBLE SYMBOL AS PER ADA STANDARDS.
 - YELLOW 4" WIDE PAINTED PARKING STALL LINES.
 - ACCESSIBLE CURB RAMP WITH LANDINGS AS PER ADA STANDARDS. PROVIDE DETECTABLE WARNING WHERE SHOWN ON PLANS.
- PROVIDE THE FOLLOWING SITE IMPROVEMENTS WHERE SHOWN ON PLAN:
 - BUILDING; SEE ARCHITECTURAL PLANS FOR DETAILS.
 - REFER TO THE MEP PLANS FOR UTILITIES CONNECTING INTO THE BUILDING.
 - VAN ACCESSIBLE PARKING SIGNAGE AS PER ADA STANDARDS.
 - 6' TALL SCREENING FENCE; SEE ARCHITECTURAL PLANS FOR DETAIL.
 - 4' TALL ALLUM. FENCE TO SURROUND DOG PARK; SEE ARCHITECTURAL PLANS FOR DETAIL.
 - TRASH ENCLOSURE WITH FENCE & GATE; SEE ARCHITECTURAL PLANS FOR DETAIL.
 - MONUMENT SIGN; SEE ARCHITECTURAL PLANS FOR DETAIL.
- SEE UTILITY SHEET FOR WATER SERVICE, STORM SEWER AND SANITARY SEWER INFORMATION.
- CONCRETE FLUME, SEE DETAIL ON SHEET C12.

LEGEND

- 6" DEPTH PCC ON 12" PREPARED SUBGRADE
- 7" DEPTH PCC ON 12" PREPARED SUBGRADE TO R.O.W. LINE
- 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE



THE RESIDENCE AT CARTER LAKE

DIMENSION & LAYOUT PLAN

CARTER LAKE, IOWA



Project No: 125.0711.10

Sheet C4

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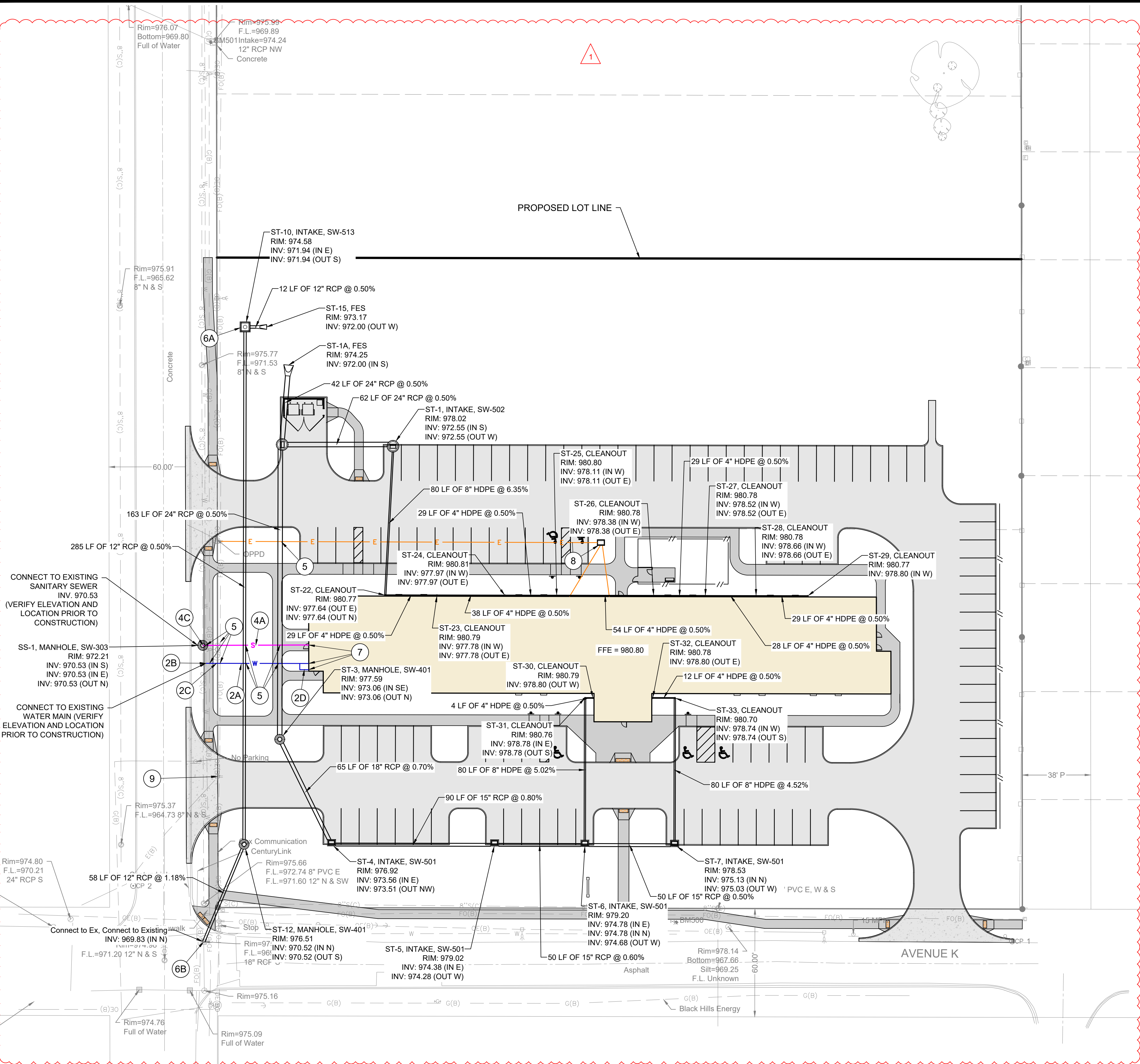
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Project No: 125.0711.10

Sheet C4

MARK	REVISION	DATE	BY
1	ADJUSTED LOT LINE, ADDED FLUME	06-03-25	RMD
Engineer: EDH	Checked By: CHKD	Scale: 1" = 30'	
Technician: RMD	Date: 08/01/2025	T-R-S: 75N-44W-21	

\\P:\p040\2025\1250711_C UTILITY PLAN.dwg RACHEL DICKIE UTILITY PLAN 2025/08/03 2:44 PM ANSI FULL BLEED 0.34, 0.0, X 22.00 INCHES



UTILITY CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
A. PROTECT EXISTING UTILITIES.
B. PROTECT EXISTING PAVEMENTS.
- WATER SERVICE, PROVIDE THE FOLLOWING:
A. 3" WATER SERVICE. COORDINATE BUILDING CONNECTION WITH ARCHITECTURAL PLANS. SEE MUD STANDARD 3" SERVICE TAP FOR ADDITIONAL INFORMATION. APPROXIMATELY 57' FROM BUILDING CONNECTION TO WATER MAIN CONNECTION.
B. CONNECT TO EXISTING WATER MAIN WITH 3" TAPPING VALVE AND SLEEVE. ALL WORK UP TO THE CURB STOP MUST BE COMPLETED WITH MUD INSPECTOR PRESENT. ALL WATER MAIN SHALL BE COMPLETED TO MUD STANDARDS.
C. CURB STOP AND BOX. SEE MUD STANDARD 3" SERVICE DETAIL FOR ADDITIONAL INFORMATION.
D. 6" FIRE SERVICE LINE.
- STORM AND SANITARY IMPROVEMENTS SHALL BE PROVIDED AND INSTALLED PER SUDAS STANDARD SPECIFICATIONS.
- SANITARY SEWER, PROVIDE THE FOLLOWING:
A. 8" SANITARY SEWER SERVICE LINE. APPROXIMATELY 58' FROM BUILDING CONNECTION TO EXSITING SANITARY SEWER CONNECTION.
B. MAINTAIN 18" MINIMUM SEPARATION FROM WATER SERVICE. PLACE SANITARY SERVICE LOWER THAN WATER SERVICE IF POSSIBLE.
C. CONNECT TO EXISTING 8" SANITARY SEWER WITH SW-303 MANHOLE PER SUDAS STANDARD SPECIFICATIONS SECTION 4010.
- CRITICAL CROSSING. MAINTAIN 18" MIN. SEPARATION. VERIFY CROSSING WITH EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- STORM SEWER IMPROVEMENTS, PROVIDE THE FOLLOWING:
A. SEE SHEET C12 FOR OUTLET STRUCTURE DETAILS.
B. CONNECT TO EXISTING 8" STORM SEWER MANHOLE. VERIFY LOCATION, DEPTH AND SIZE PRIOR TO CONSTRUCTION.
- CONNECT SANITARY AND WATER TO BUILDING SERVICE. COORDINATE SIZE, LOCATION, AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
- ESTIMATED LOCATION OF ELECTRICAL TRANSFORMER AND CONDUIT LINES, FINAL LOCATION TO BE COORDINATED WITH OPPD.
- RELOCATION OF 1 POWER POLE TO BE COMPLETED BY OPPD. CONTRACTOR TO COORDINATE AS NEEDED.

LEGEND

- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED FIBER OPTIC LINE

THE RESIDENCE AT CARTER LAKE

UTILITY PLAN

CARTER LAKE, IOWA

SNYDER & ASSOCIATES, INC. I



Project No: 125.0711.10

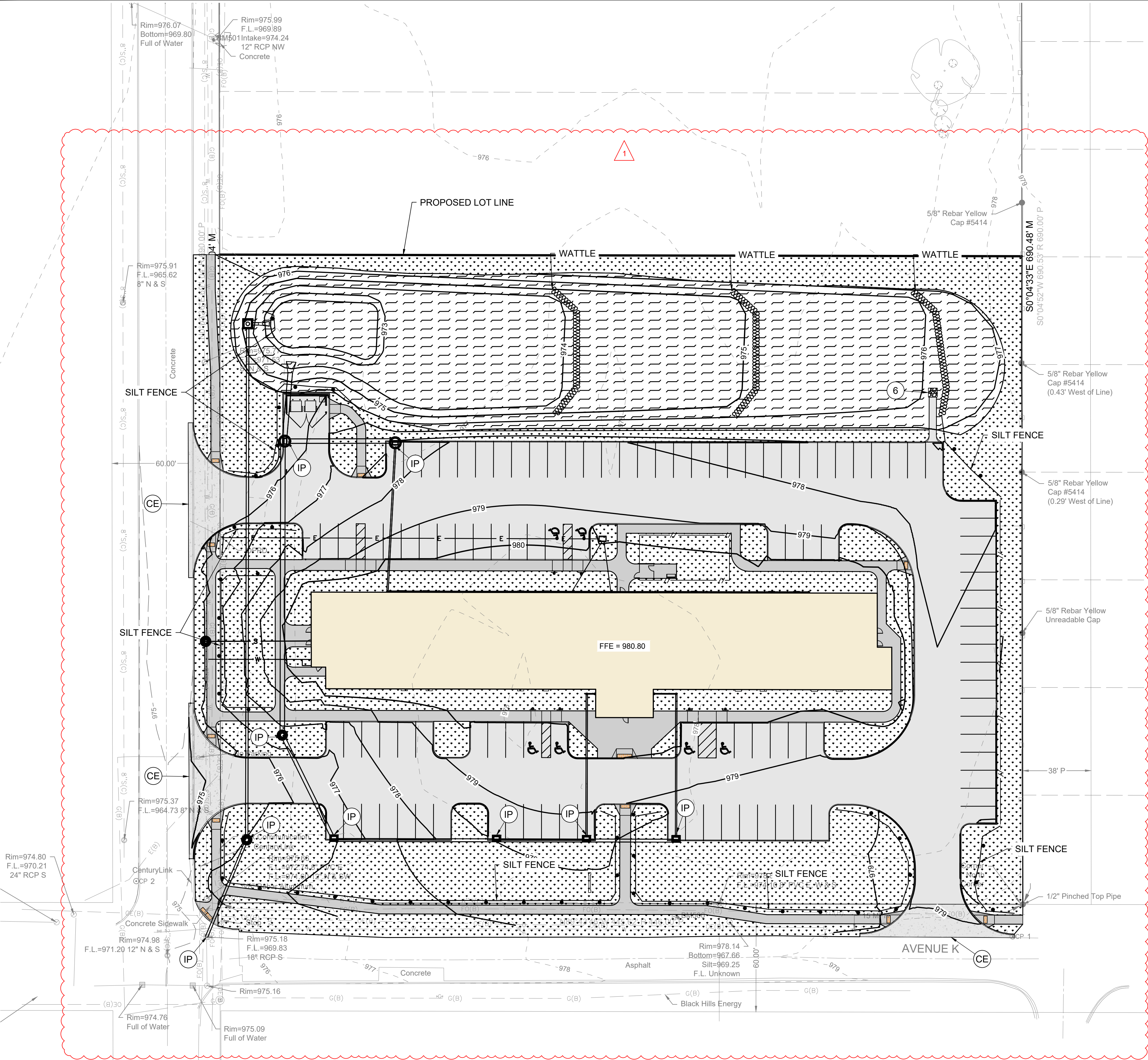
Sheet C5

MARK	REVISION	DATE	BY
1	ADDED ROOF DRAIN & STORM UPDATES	08-05-25	RMD
Engineer: EDH	Checked By: CHKD	Scale: 1" = 30'	
Technician: RMD	Date: 08/01/2025	T-R-S: 75N-44W-21	

Project No: 125.0711.10

Sheet C5

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EROSION CONTROL NOTES

1. ALL DRAINAGE SWALES AND SLOPES 5 TO 1 OR GREATER TO BE SEEDED AND MATTED USING COMMERCIALLY AVAILABLE EROSION CONTROL SEED. MIXTURE APPLIED AT RATE RECOMMENDED BY SUPPLIER.
2. EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
3. PROVIDE BELOW GRADE INLET PROTECTION SUCH AS WATTLES OR SEDIMENT BASKETS IN PAVED AREAS FOLLOWING PAVING OPERATIONS.
4. CONTRACTOR TO INSTALL INLET PROTECTION PER SUDAS AT THE LOCATIONS INDICATED.
5. CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE AT EACH LOCATION USED DURING CONSTRUCTION.
6. INSTALL 5' X 5' CLASS D RIP RAP AT END OF CONCRETE FLUME.

LEGEND

- SEEDING - SUDAS TYPE 1 SEED MIX
- SEEDING - SUDAS WETLAND MIX
- 6" EROSION CONTROL WATTLE
- SILT FENCE
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE

THE RESIDENCE AT CARTER LAKE

SWPPP & EROSION CONTROL PLAN

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Project No: 125.0711.10

Sheet C8

1

UPDATES TO EC & SEEDING

REVISION

DATE

BY

06-03-25

RMD

1

MARK

Engineer: EDH

Checked By: CHKD

Date: 08/01/2025

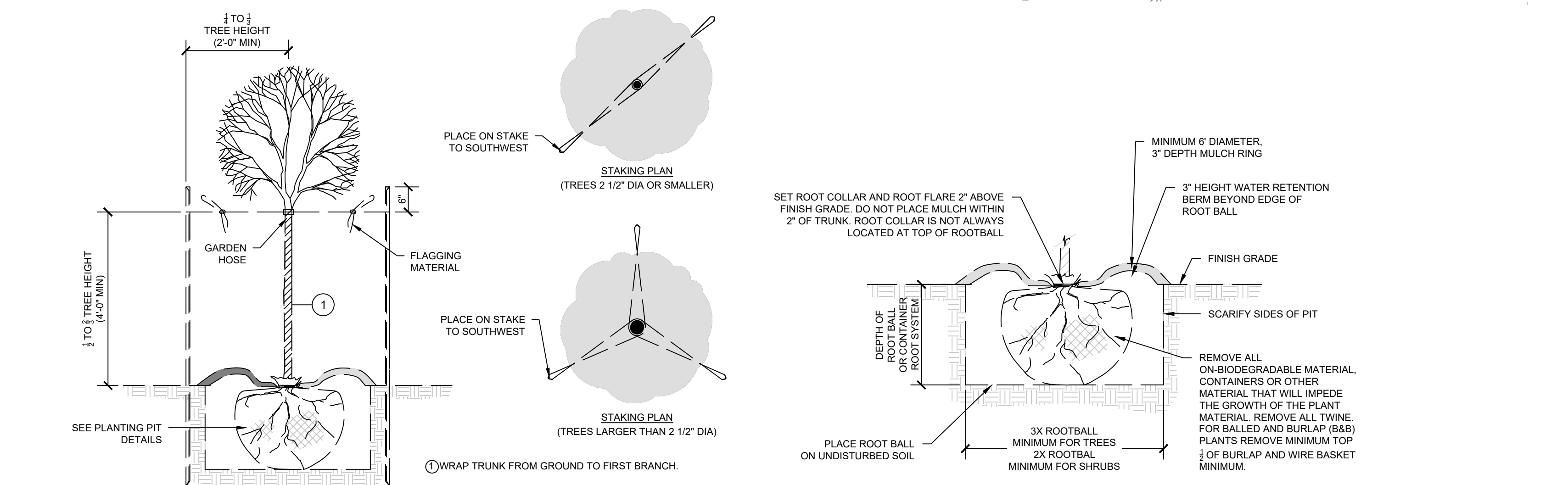
T-R-S: 75N-44W-21

Project No: 125.0711.10

Sheet C8

CARTER LAKE, IOWA

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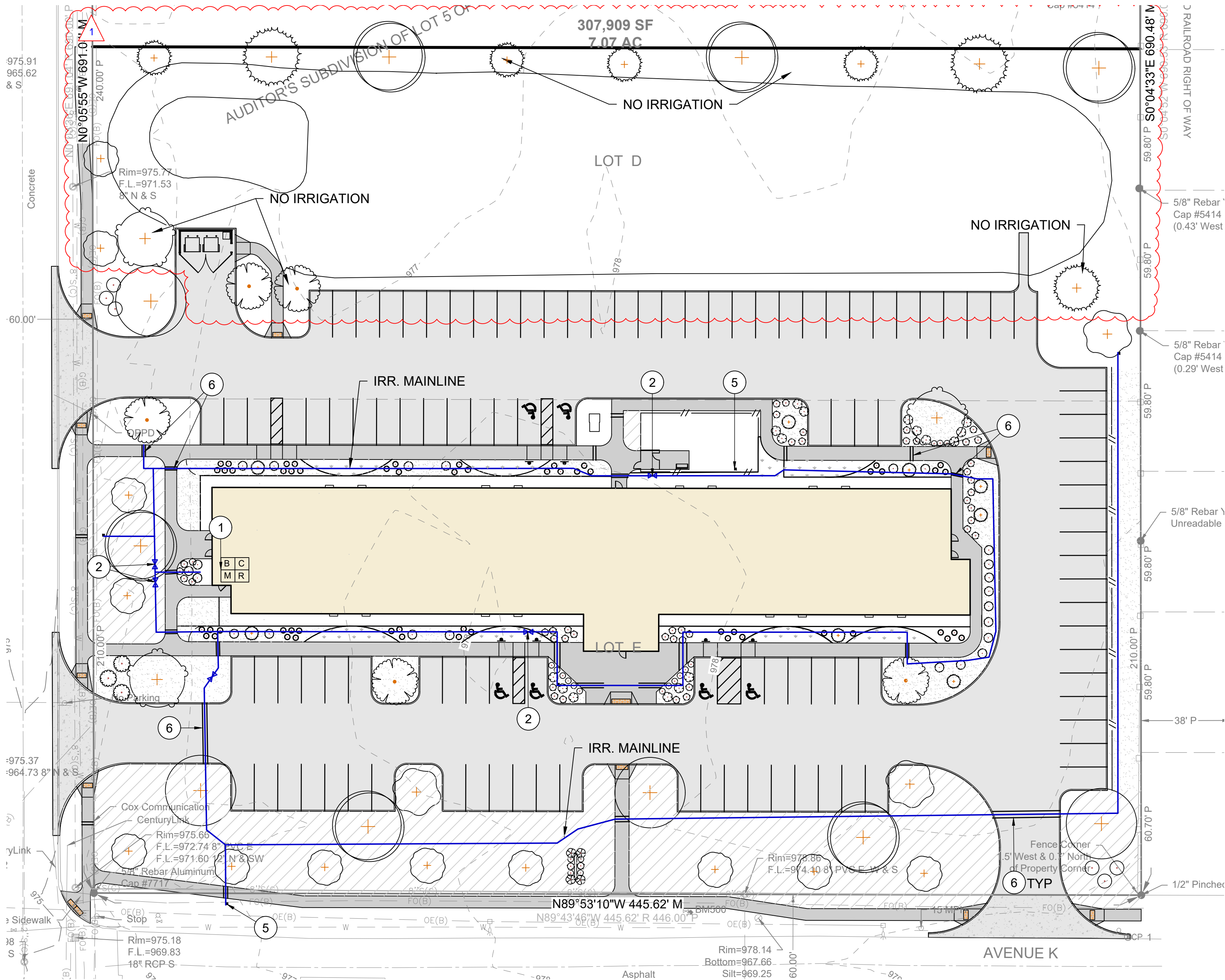


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NO SCALE



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LEGEND		
	¾" QUICK COUPLER VALVE	RAINBIRD 44-RC
	CONTROLLER	RAINBIRD ESP SERIES
	BACKFLOW PREVENTER	BY PLUMBING CONTRACTOR
	PVC SLEEVE	AS SPECIFIED
	ISOLATION VALVE WITH VALVE BOX	NIBCO T-FP-600A
	WIRELESS RAIN SENSOR	RAINBIRD WR2-RFC
	IRRIGATION MAIN LINE	PVC MAINLINE (24" MINIMUM DEPTH)
	METER	BY PLUMBING CONTRACTOR

IRRIGATED AREAS	
	SPRAY HEAD IRRIGATION TREE / TURF ZONE AREAS, TOTAL: 20,542 SQ. FT.
	DRIP IRRIGATION SHRUB / PERENNIAL ZONE AREAS, TOTAL: 4,122 SQ. FT.

IRRIGATION LAYOUT SHOWN INDICATES DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENT OF HEAD LOCATIONS TO PROVIDE ADEQUATE COVERAGE.

IRRIGATION GENERAL NOTES

- A. CONTRACTOR TO LOCATE AND PROTECT EXISTING UTILITIES IN AND NEAR THE AREA OF WORK. DAMAGE OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER.
- B. CONTRACTOR TO FURNISH ALL MATERIALS, IRRIGATION EQUIPMENT, PIPE FITTINGS AND ACCESSORIES REQUIRED TO COMPLETE A FULLY-FUNCTIONING SYSTEM.
- C. ALL PRIMARY AND SECONDARY WIRE TAPS AND CONNECTIONS SHALL CONFORM WITH STATE AND LOCAL CODES AND BE PERFORMED BY A LICENSED ELECTRICIAN IN THE STATE OF IOWA.
- D. ALL WIRE TO BE UL APPROVED FOR DIRECT BURY.
- E. ALL PRODUCTS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS, REQUIREMENTS AND RECOMMENDATIONS.
- F. FLOW RATES THROUGH PIPES SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS.
- G. INSTALL CONCRETE THRUST BLOCKS AT ALL MAIN LINE PIPE BENDS AND INTERSECTIONS. SEE DETAIL.
- H. ALL IRRIGATED AREAS SHALL BE COVERED BY HEAD-TO-HEAD COVERAGE.
- I. CONTRACTOR RESPONSIBLE FOR FIELD ADJUSTING IRRIGATION SYSTEM TO PREVENT OVER SPRAY ONTO PAVEMENT, BUILDINGS, FENCES OR STRUCTURES.
- J. VALVES SHALL BE CLUSTERED AND COMBINED TO MINIMIZE THE AMOUNT OF VALVE BOXES. ALL BOXES SHALL BE LOCATED IN OUT OF BOUNDS AREAS AS FAR FROM THE FIELD OF PLAY AS POSSIBLE.
- K. THE ROUTING OF ANY IRRIGATION LINE UNDER PAVEMENTS, THROUGH WALLS, ETC. SHALL BE FED THROUGH SCHEDULE 40 PVC CONDUITS TWICE THE SIZE OF THE IRRIGATION PIPE TO BE CARRIED. INSTALLATION OF CONDUITS ARE TO BE COORDINATED BY THE PRIME CONTRACTOR AND IRRIGATION CONTRACTOR PRIOR TO CONSTRUCTION.
- L. IRRIGATION LAYOUT INDICATES DESIGN INTENT. CONTRACTOR RESPONSIBLE FOR ADJUSTING HEAD AND VALVE LOCATIONS, SELECTION OF NOZZLES, ETC. TO ENSURE ADEQUATE COVERAGE.
- M. THE IRRIGATION SYSTEM IS DESIGNED TO BE COMPLETELY DRAINED BY THE USE OF AIR COMPRESSORS TO PROTECT THE PIPE FROM DAMAGE DURING FREEZING TEMPERATURE.
- N. CONTRACTOR RESPONSIBLE FOR TRACKING ANY CHANGES OR ADDITIONAL INFORMATION ON AS-BUILT DRAWINGS AND SUBMIT ELECTRONICALLY TO THE ENGINEER FOR FINAL REVIEW.
- O. SEE SPECIFICATION SECTION 323000 FOR IRRIGATION INFORMATION, PRODUCTS AND INSTALLATION.

IRRIGATION INSTALLATION NOTES

1. POINT OF CONNECTION
- A. THE POINT OF CONNECTION FOR THE IRRIGATION SYSTEM IS LOCATED IN THE BUILDING LOCATED TO THE WEST SIDE OF THE BUILDING.
- B. IRRIGATION PUMP LOCATION. SEE SPECIFICATIONS.
2. INSTALL ISOLATION VALVE IN IRRIGATION BOX PRIOR TO NEW ELECTRONIC ZONE VALVES. SEE SPECIFICATIONS.
3. ELECTRONIC ZONE VALVES. CLUSTER VALVES IN COMMON VALVE BOX AND LOCATE IN MULCH PLANT BED AREAS.
4. IRRIGATION HEAD WITH SWING JOINT. SEE LEGEND AND SPECIFICATIONS FOR HEAD TYPE.
5. QUICK COUPLER VALVE. COORDINATE LOCATION WITH ENGINEER PRIOR TO INSTALLATION.

SYSTEM REQUIREMENTS

P.O.C. - LOCATED IN A MECHANICAL ROOM WEST SIDE OF THE BUILDING. SEE OWNER FOR ACCESS.

AVAILABLE FLOW
AVAILABLE PRESSURE (ESTIMATED)- 65 PSI

CONTRACTOR TO TEST PRESSURE PRIOR TO SUBSTANTIAL COMPLETION AND SUBMIT TEST RESULTS TO ENGINEER FOR APPROVAL.

THE RESIDENCE AT CARTER LAKE

IRRIGATION PLAN

CARTER LAKE, IOWA



Project No: 125.0711.10

Sheet C10

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Sheet C10

Project No: 125.0711.10

MARK	REVISION	DATE	BY	DATE	BY
1	TREES ADJUSTED FOR POND UPDATE	06-05-25	KD		

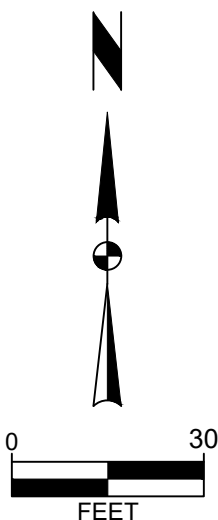
Engineer: EDH	Checked By: CHKD	Date: 08/01/2025	T-R-S: 75N-44W-21
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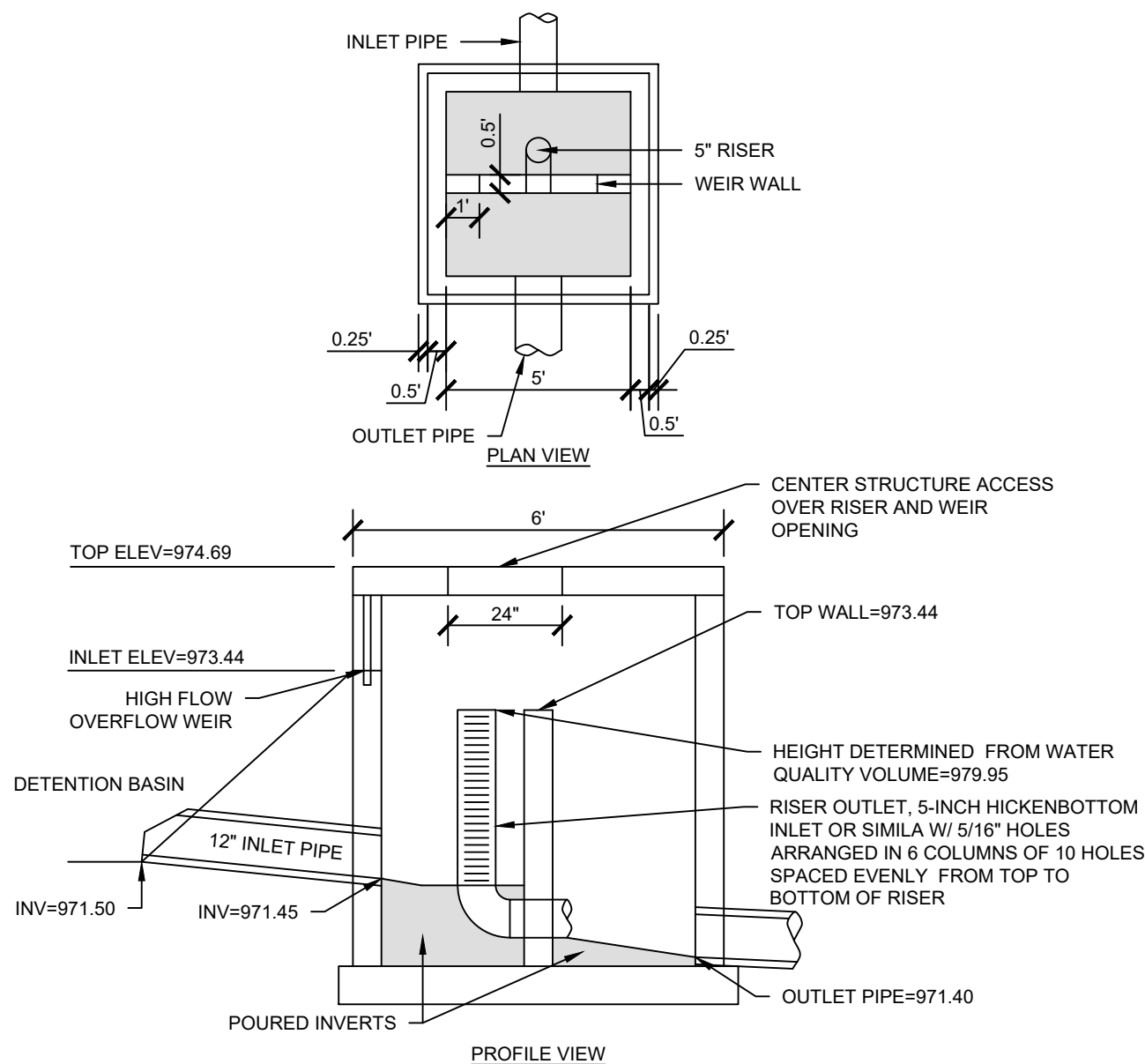
Technician: RMD

Project No: 125.0711.10

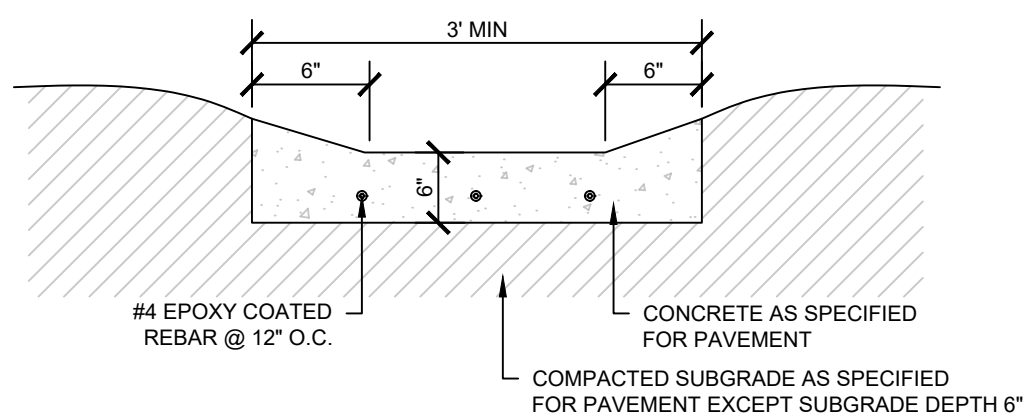
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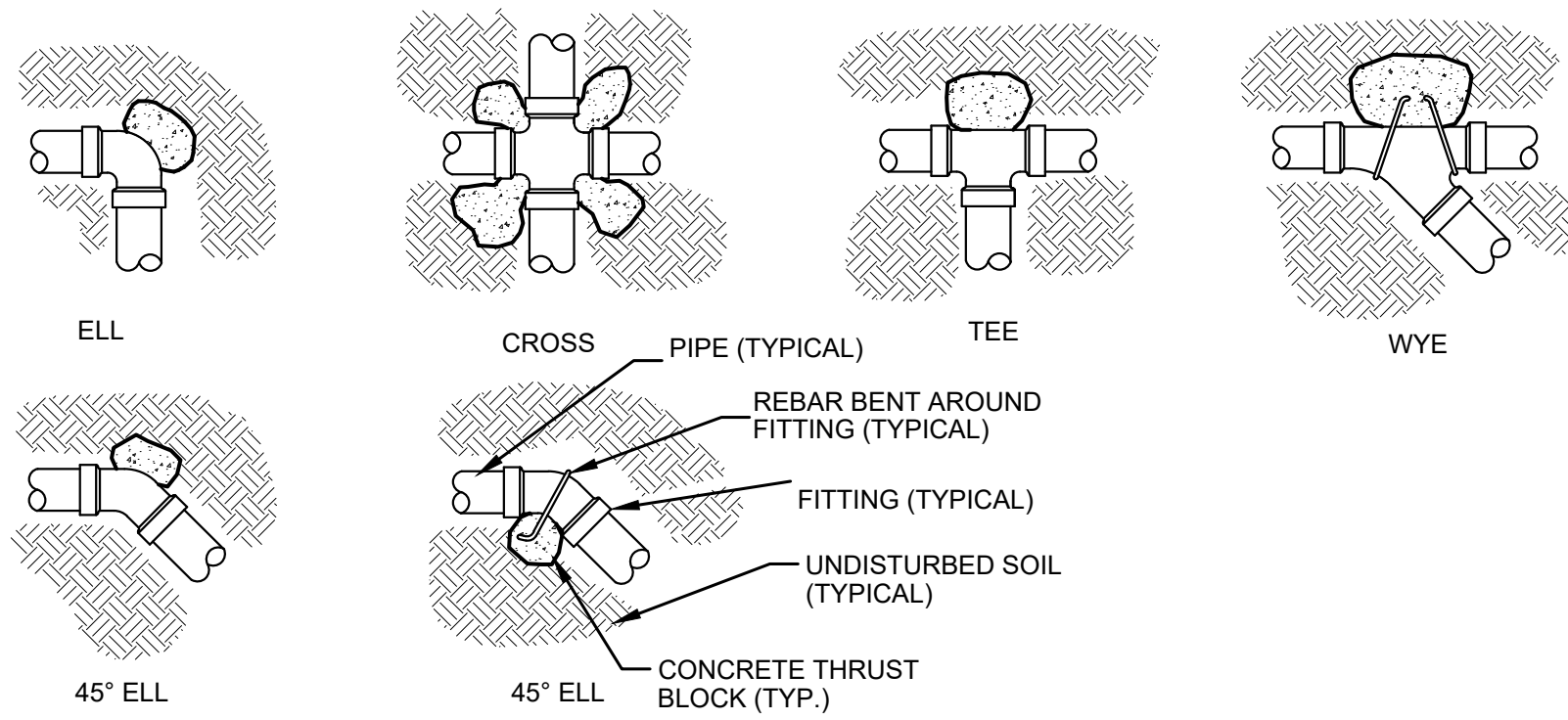
\\P:\p\2025\1250711.10\ADD\1250711_C_LANDSCAPING_IRRG.dwg RACHEL DICKIE, IRRIGATION PLAN, 2/25/2025, 2:45 PM, ANSI FULL BLEED, 0.9400 X 22.00 INCHES



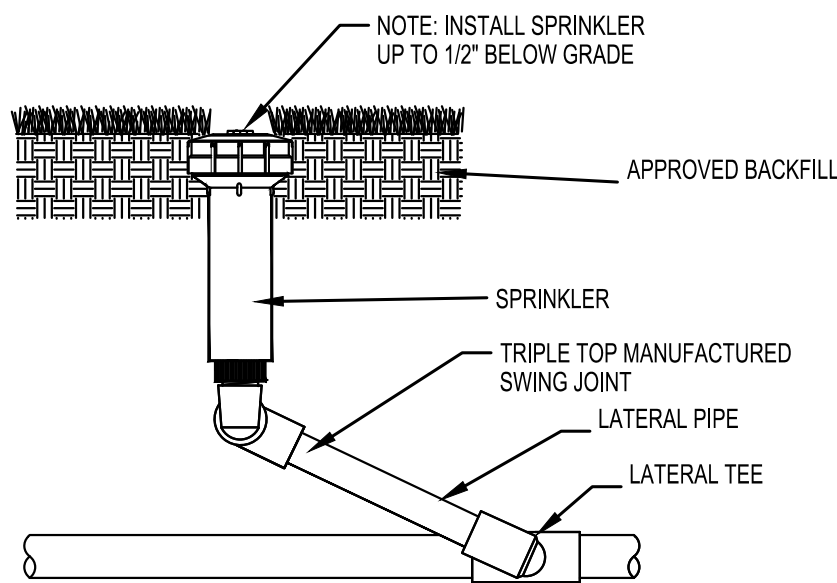
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C12
MODIFIED OPEN-SIDED AREA INTAKE OUTLET STRUCTURE
NO SCALE



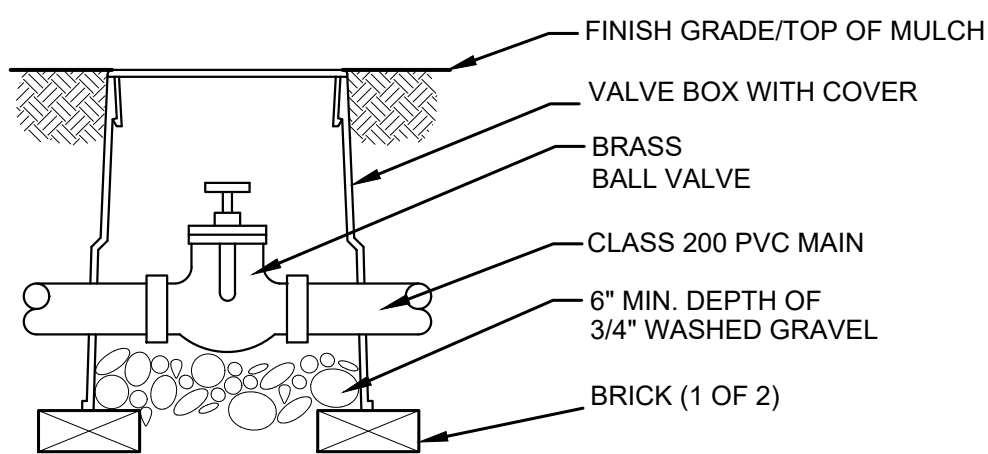
2
C12
CONCRETE FLUME DETAIL
NO SCALE



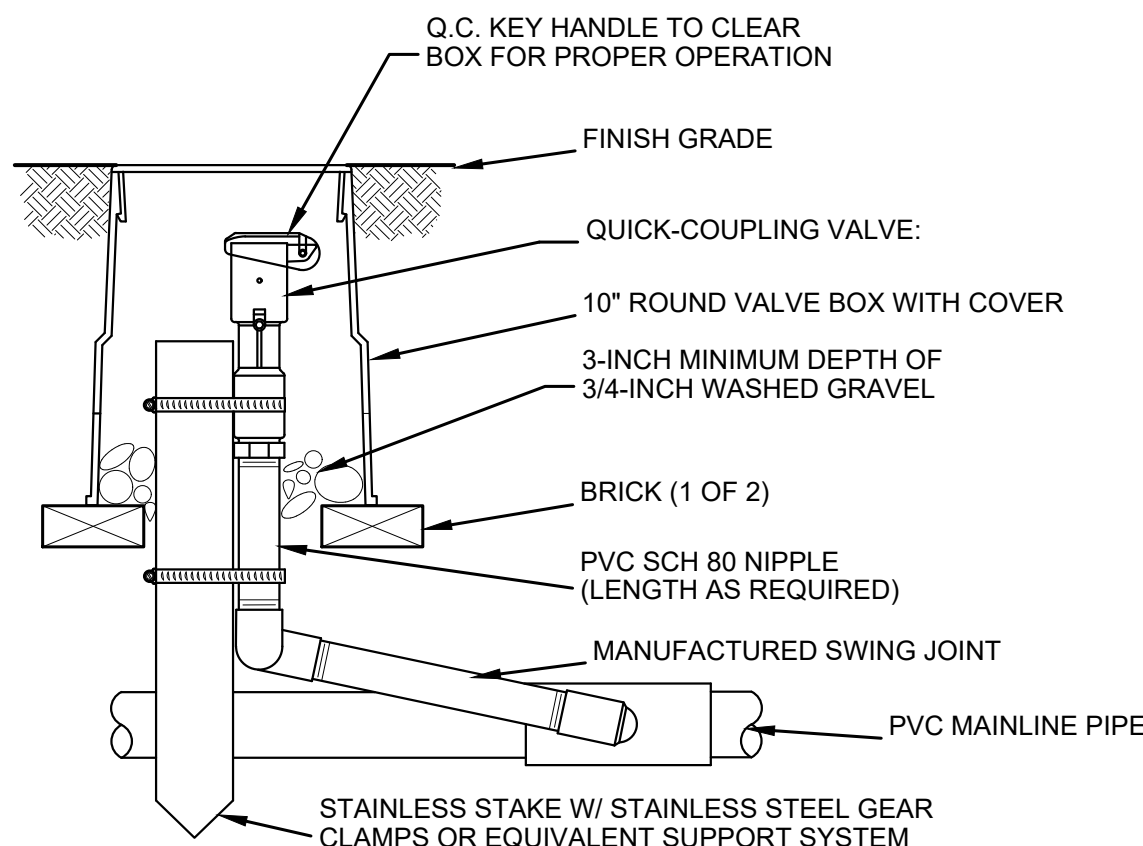
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C12
IRRIGATION THRUST BLOCK DETAILS
NO SCALE



4
C12
SPRINKLER WITH SWING JOINT
NO SCALE

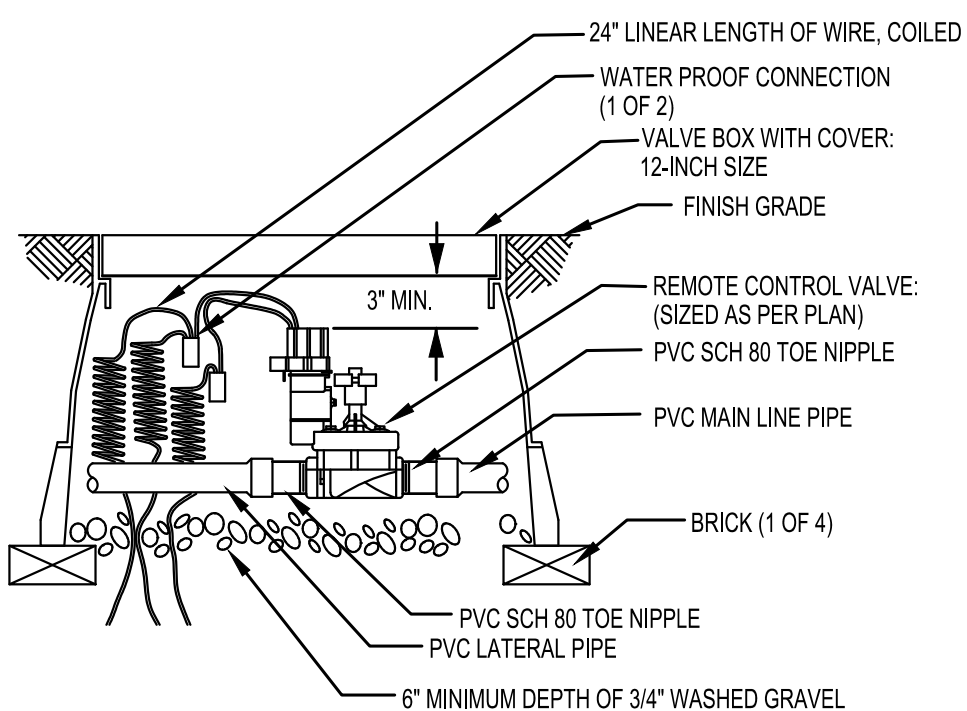


5
C12
ISOLATION VALVE AND BOX
NO SCALE

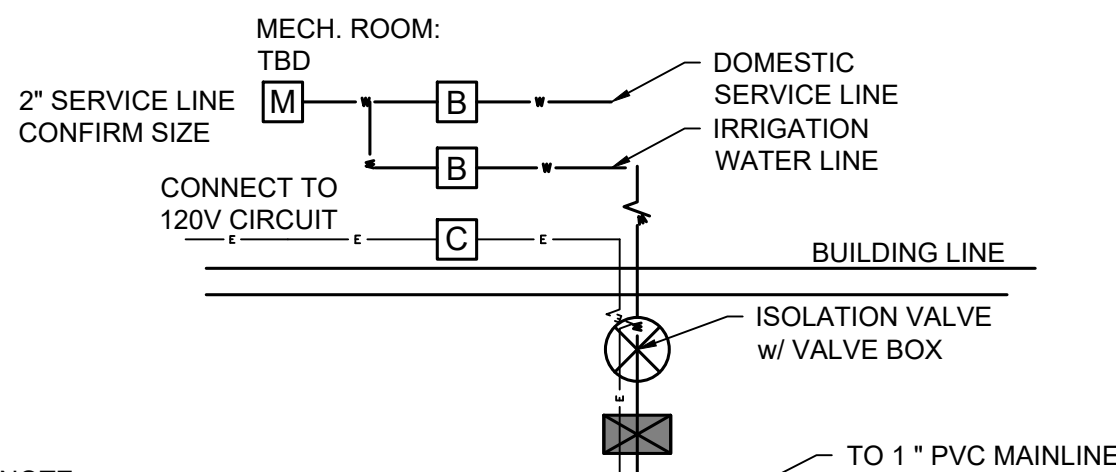


NOTE:
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

7
C12
QUICK COUPLER
NO SCALE



6
C12
ELECTRIC VALVE AND VALVE BOX
NO SCALE



NOTE:
EQUIPMENT TO BE LOCATED INSIDE BUILDING. CONTRACTOR TO COORDINATE LOCATION AND ROUTING OF WATER SERVICE WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.

8
C12
SCHEMATIC IRRIGATION CONNECTION
NO SCALE

THE RESIDENCE AT CARTER LAKE

DETAILS

CARTER LAKE, IOWA

SNYDER & ASSOCIATES, INC. I



Project No: 125.0711.10

Sheet C12

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Sheet C12

Project No: 125.0711.10

Technician: RMD

Engineer: EDH

Checked By: CHKD

REVISION

DATE

06-03-25

MARK

1

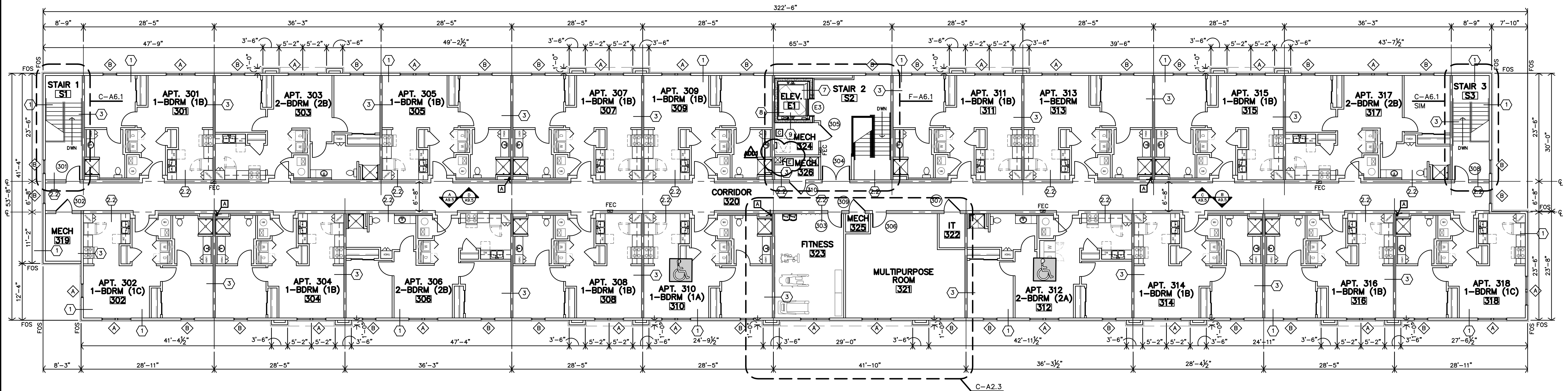
ADDED FLUME DETAIL

BY

RMD

Scale: 1" = N/A

T-R-S: 75N-44W-21



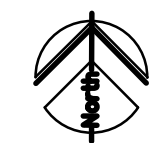
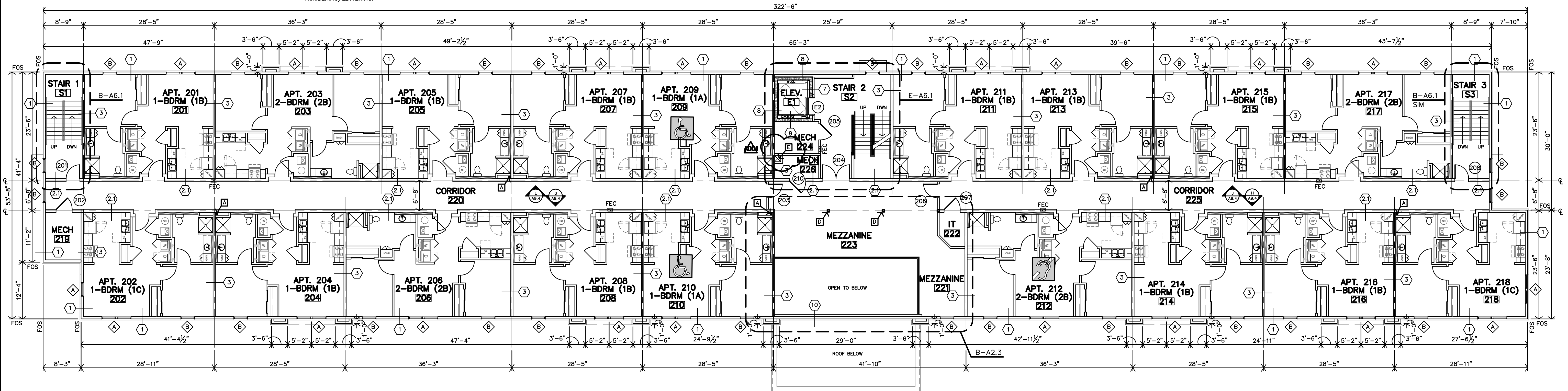
LEGEND	
	RADON PIPE THROUGH ROOF, REF. T-A4.4 & MECH. DWGS.
	KNOX BOX, REFERENCE A1.1 FOR LOCATION, COORDINATE WITH LOCAL FIRE MARSHAL OFFICE.
	ROOF HATCH & WALL MOUNTED LADDER
	WRAP COLUMN WITH 5/8" TYPE 'X' G.B.
	1 HR RATED MECH CHASE (TYPE 4+ PARTITIONS), 16"x16" CLEAR INSIDE DIMS. COORDINATE WITH MEP DWGS.
	SYMBOL INDICATES ACCESSIBLE UNIT (5 TOTAL) APARTMENTS 110, 209, 210, 310, 312
	SYMBOL INDICATES ROLL-IN SHOWER ACCESSIBLE UNIT (1 TOTAL) APARTMENT 112
	SYMBOL INDICATES HEARING/VISION IMPAIRED UNITS (2 TOTAL) APARTMENT 109, 212
	ALL OTHER UNITS TO BE ADAPTABLE (TYPE-B)

NOTE:
UNIT NUMBERS SHOWN ARE FOR CONSTRUCTION PURPOSES ONLY & DO NOT REFLECT FINAL UNIT NUMBERING/LETTERING.

- ### ARCHITECTURAL GENERAL NOTES
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
 - INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
 - ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
 - ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MINIMUM CLEARANCE REQ.
 - IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
 - DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA.
 - FEC - INDICATES LOCATION OF RECESSED FIRE EXTINGUISHER CABINET, REF. SPECS. AND DETAILS B/C-A2.1. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2018 IBC, SECTION 906.
 - MHO - INDICATES DOOR WITH MAGNETIC HOLD OPEN.
 - F.O.S. - DIMENSIONS TO THE EXTERIOR WALLS ARE TO THE FACE OF STUD U.N.O.
 - FURNITURE SHOWN IS BY OWNER.
 - REFERENCE SHEET A2.1 FOR PARTITION SCHEDULES AND ASSEMBLIES



B **THIRD FLOOR PLAN**
3/32"=1'-0"

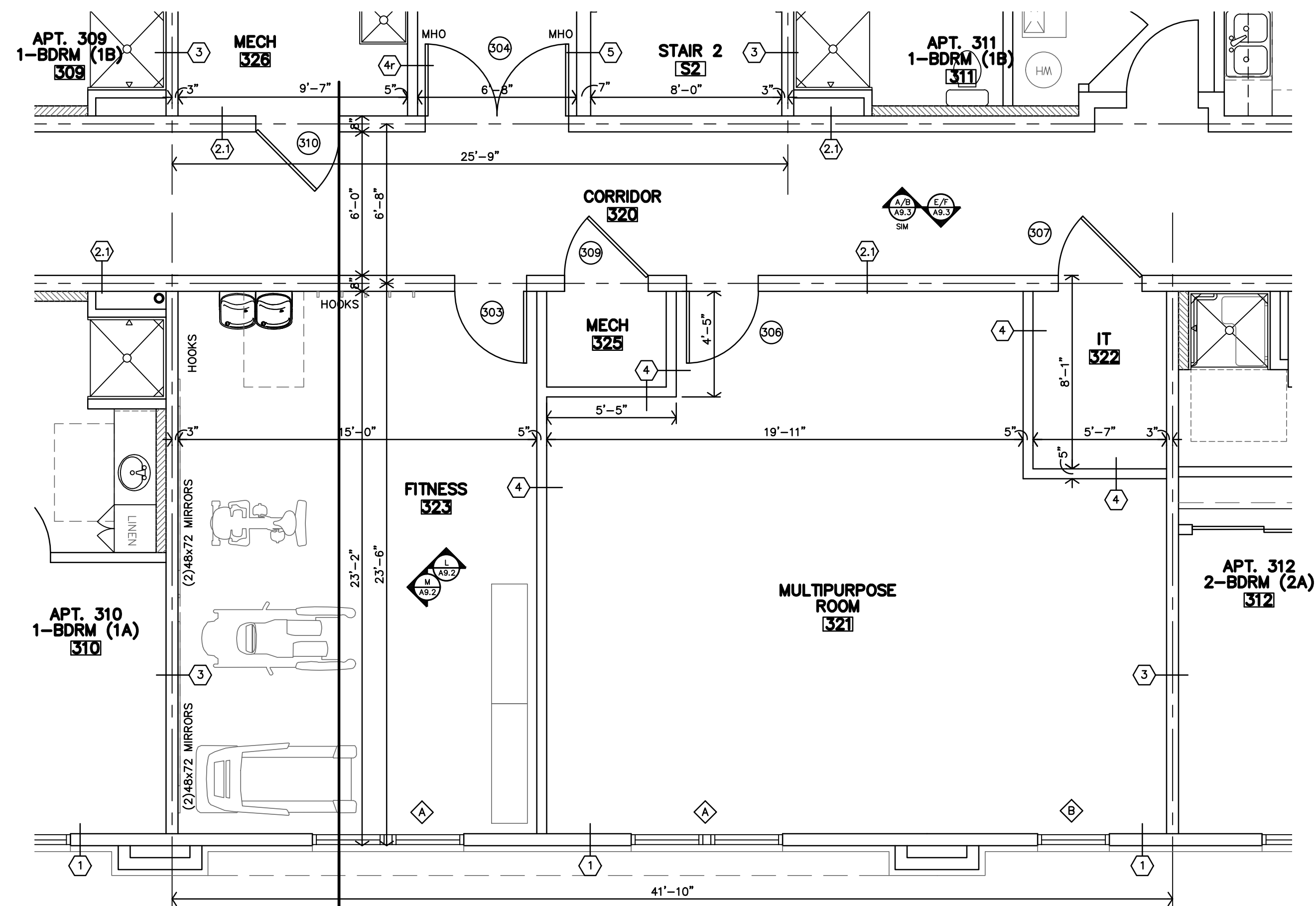


A **SECOND FLOOR PLAN**
3/32"=1'-0"

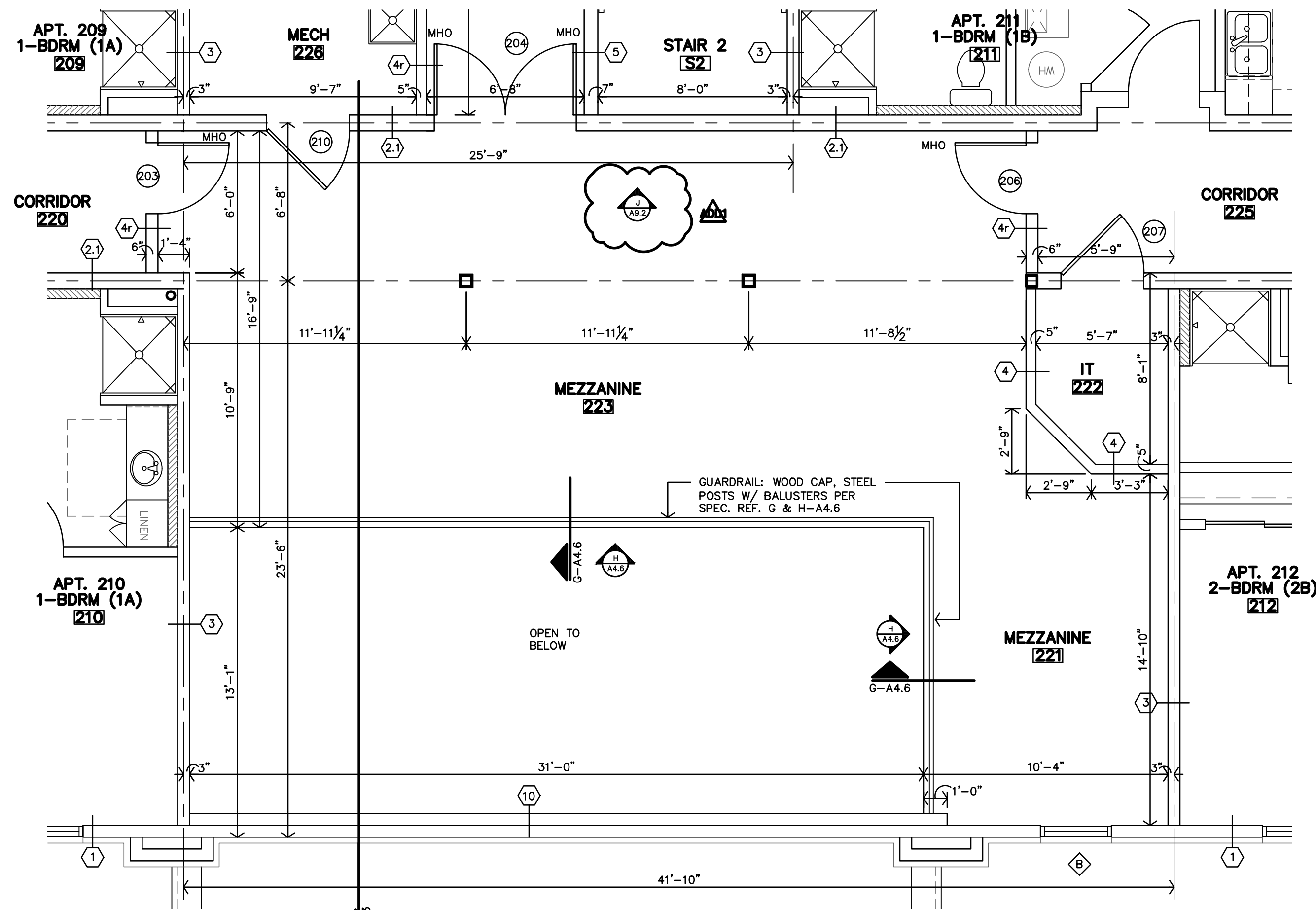


REVISION:
 9-3-2025

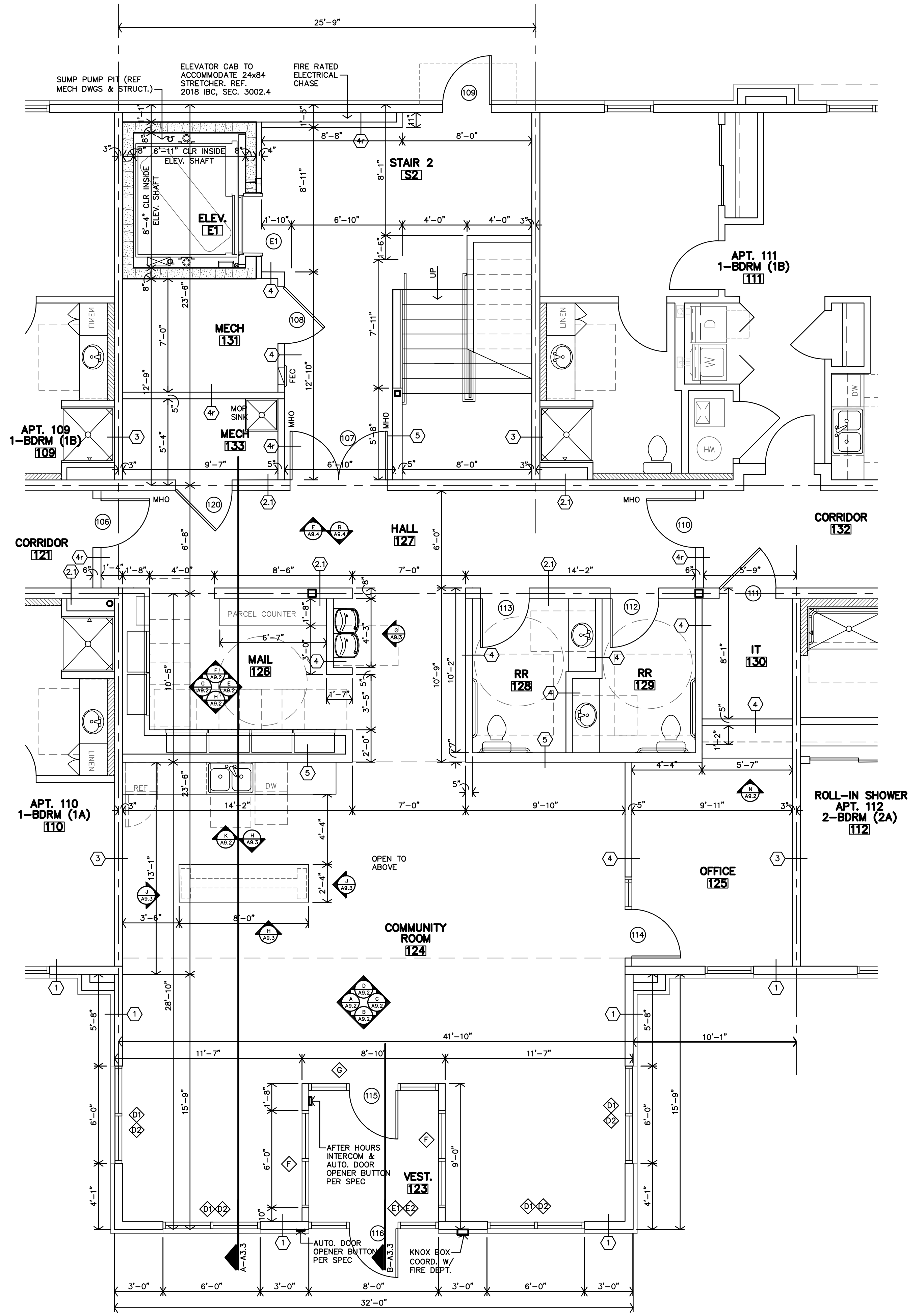
DATE: 8-1-2025
JOB: 25-3489
SHEET NO.:



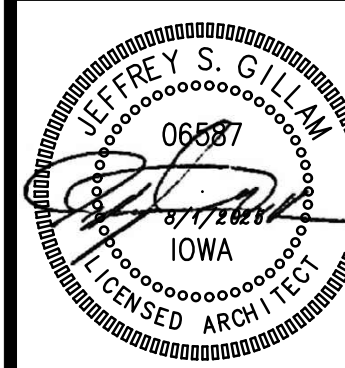
C
THIRD FLOOR
COMMUNITY SPACES
ENLARGED FLOOR PLAN
1/4"=1'-0"



B
SECOND FLOOR
COMMUNITY SPACES
ENLARGED FLOOR PLAN
1/4"=1'-0"



A
FIRST FLOOR
COMMUNITY SPACES
ENLARGED FLOOR PLAN
1/4"=1'-0"



REVISION:	
DATE:	8-1-2025
JOB:	25-3489
SHEET NO.:	

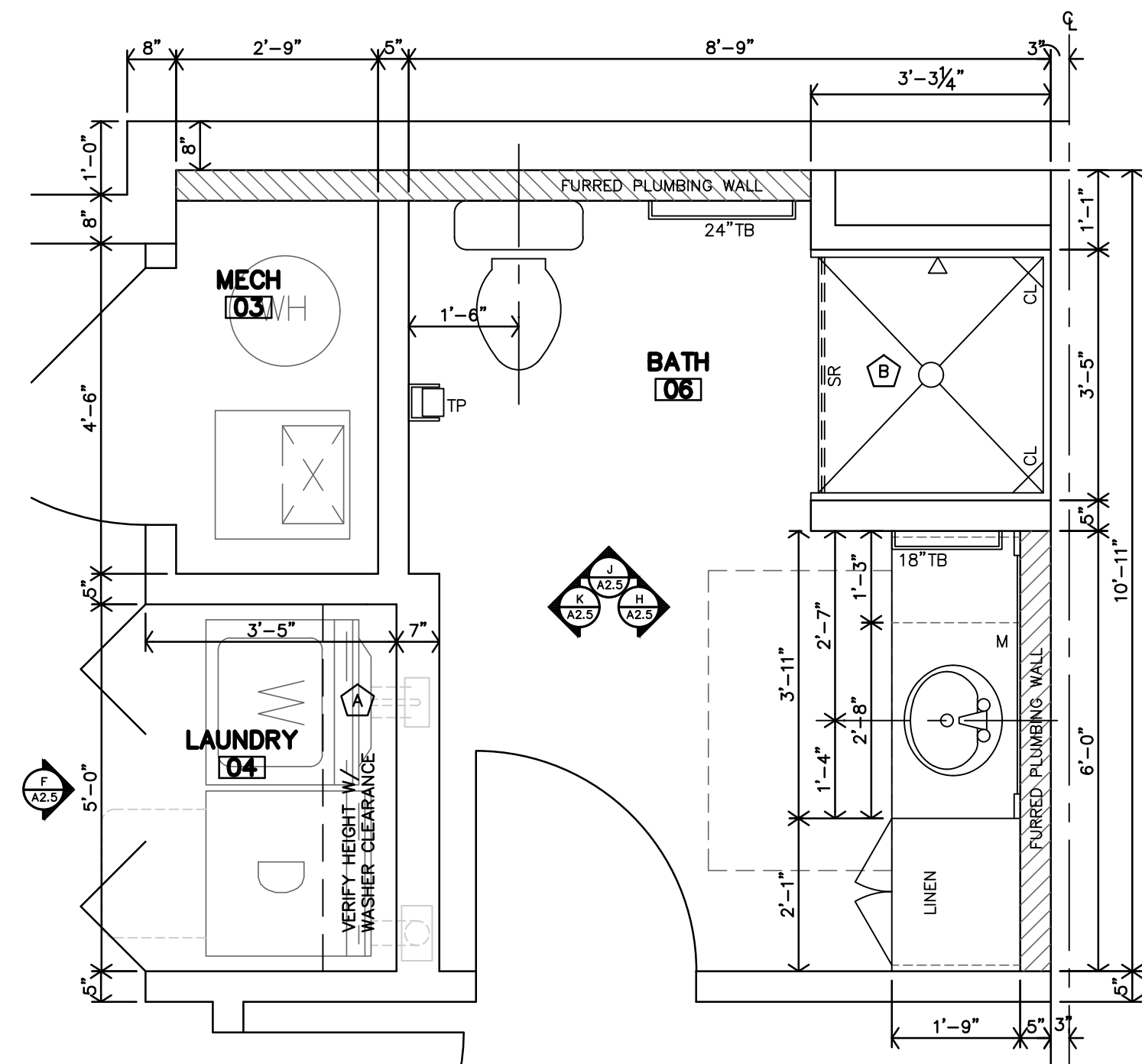


REVISION:
9-3-2025

DATE: 8-1-2025
JOB: 25-3489
SHEET NO.:

A2.5

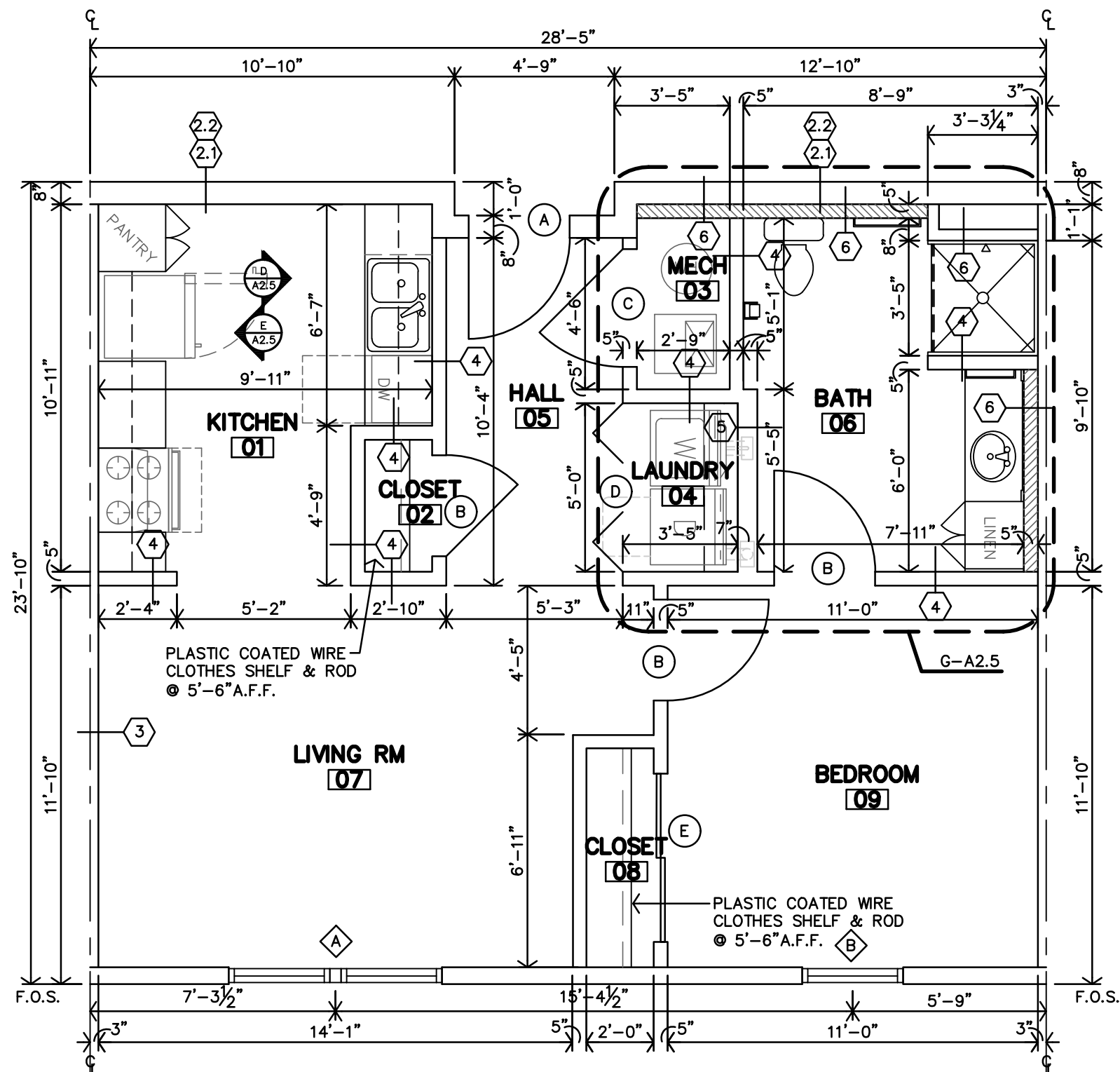
COPYRIGHTED ©



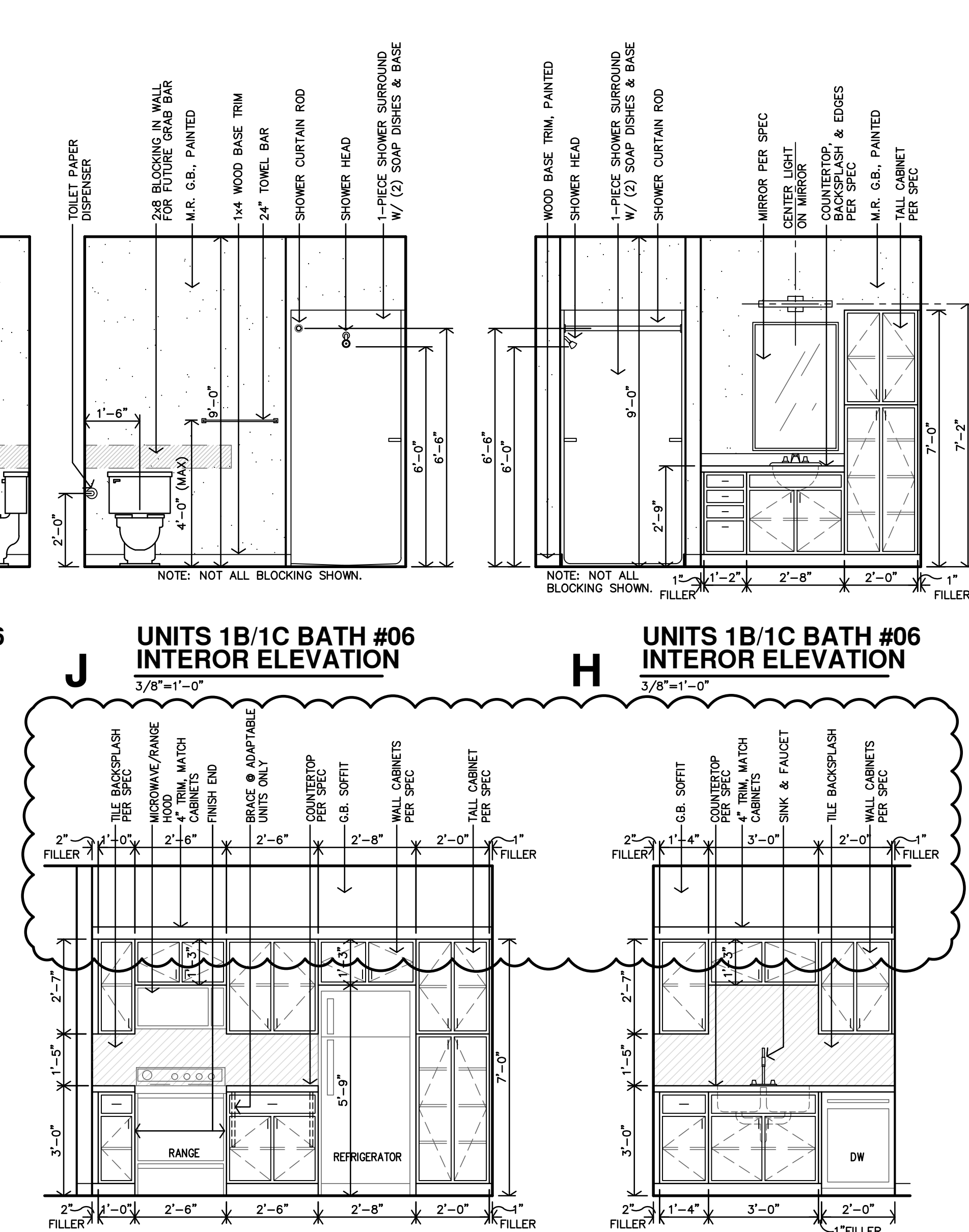
G UNITS 1B/1C
BATH #06 ENLARGED PLAN
1/2"=1'-0"

ADAPTABLE NOTES	
1. REF. FOR ADDITIONAL DIRECTION ARCHITECTURAL GENERAL NOTES ON SHEET A2.1 & APARTMENT GENERAL NOTES ON SHEET A2.4	
2. ALL DIMENSIONS ARE TO FACE OF CYP. SD. UNLESS NOTED OTHERWISE	
3. CONTRACTOR TO INSTALL 2x8 BLOCKING IN WALLS FOR ALL WALL MOUNTED/SUPPORTED COUNTERTOPS & BRACES, SHOWER UNIT, TOWEL BARS, FUTURE GRABS BARS & FUTURE SHOWER SEAT, ETC. AS REQ'D. (REF. A2.4)	
4. LOCATION OF WASHER & DRYER IS CRITICAL. WASHER IS TO BE LEFT OF DRYER, ALWAYS. THIS NEEDS TO BE COORDINATED ON SITE.	
ADAPTABLE UNITS DESIGNED AROUND 27"x27" WASHER & DRYER.	
5. REF. CASEWORK SECTIONS ON SHEET A2.9	
6. F.O.S. = FACE OF STUD	
INDICATES FURRED PLUMBING WALLS	
LEGEND	KEYNOTES:
M MIRROR	A PLASTIC COATED WIRE CLOTHES SHELF & ROD
TP TOILET PAPER DISPENSER	B INSIDE CLEAR DIMENSIONS OF SHOWER UNIT MUST BE 36"x36"
TB TOWEL BAR	
CL CORNER LEDGE	
SR SHOWER ROD	

NOTE: SOME PLANS ARE MIRRORED, REFERENCE FLOOR PLANS ON SHEETS A2.1 AND A2.2



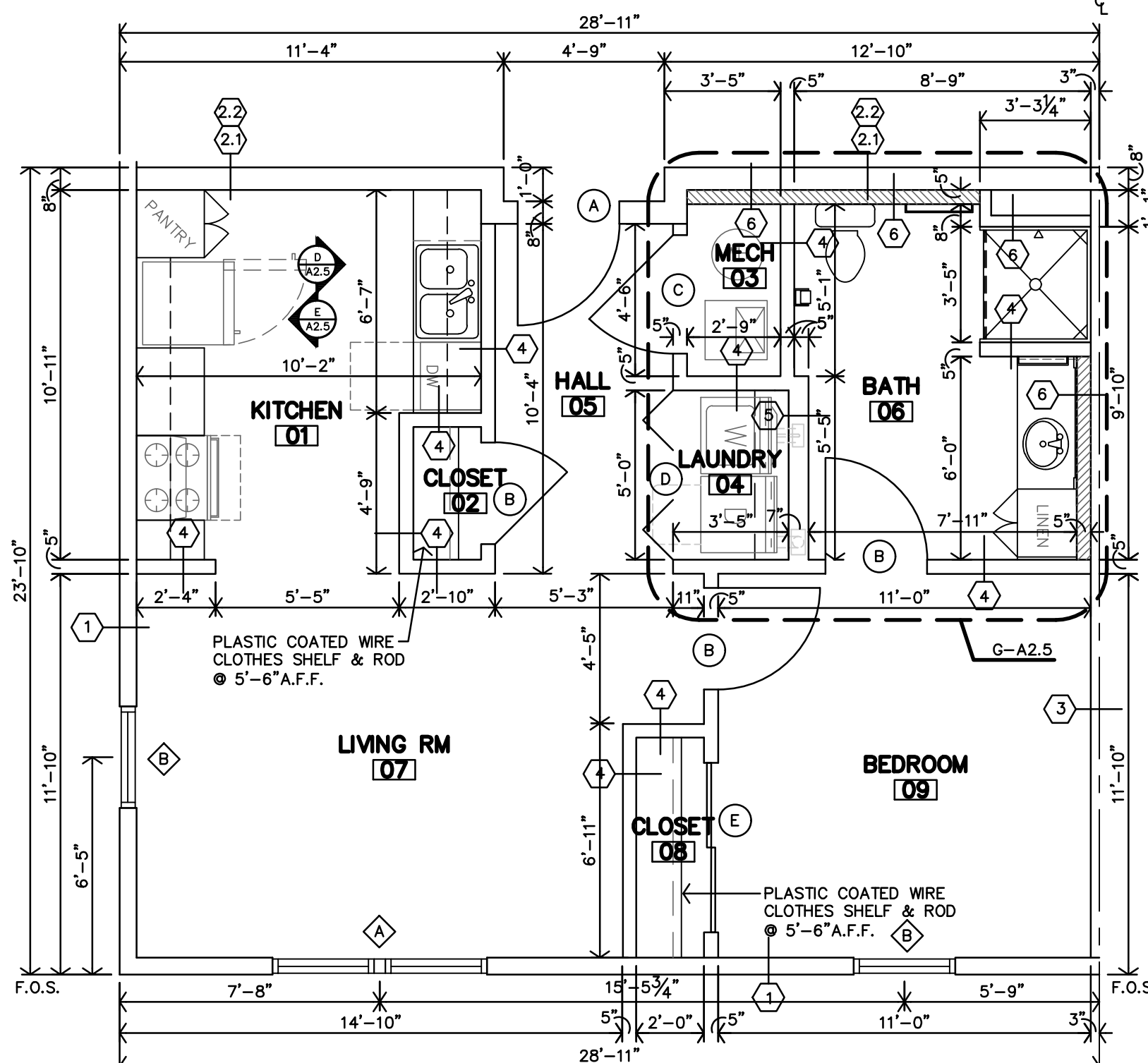
A UNITS 1B ADAPTABLE/TYPE-B
1 BEDROOM - 1 BATH UNIT PLAN
1/4"=1'-0"



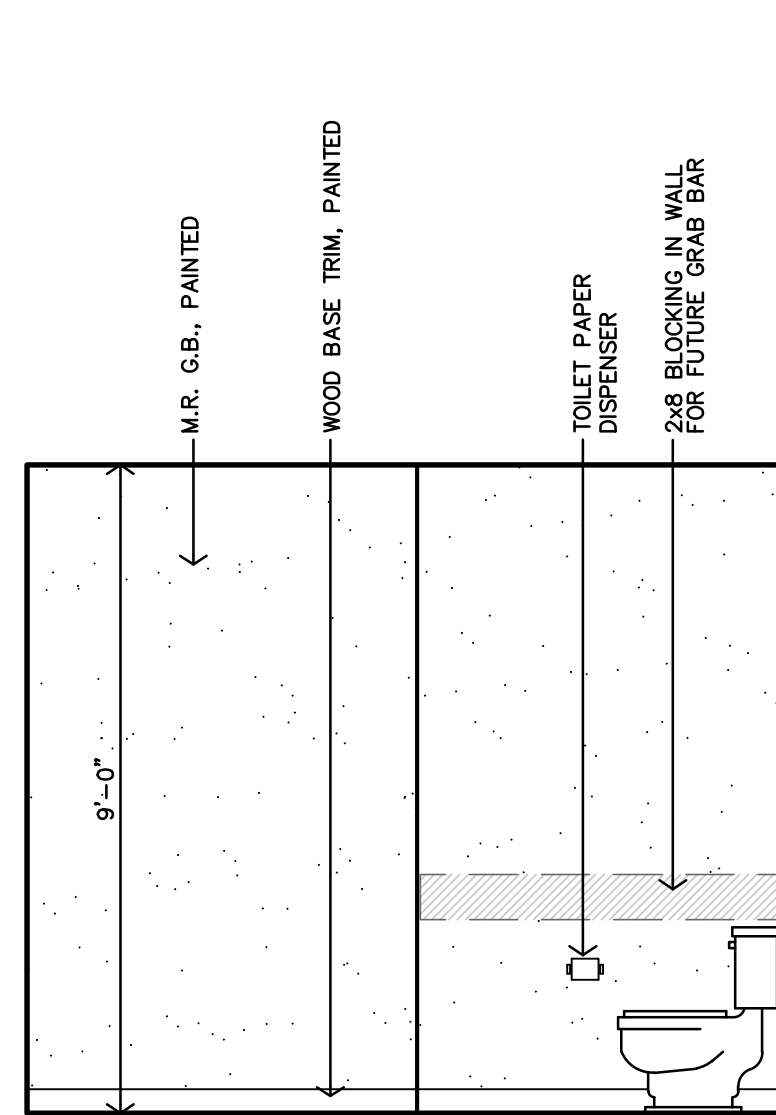
D TYPICAL KITCHEN #01
CASEWORK ELEVATION
3/8"=1'-0"

E TYPICAL KITCHEN #01
CASEWORK ELEVATION
3/8"=1'-0"

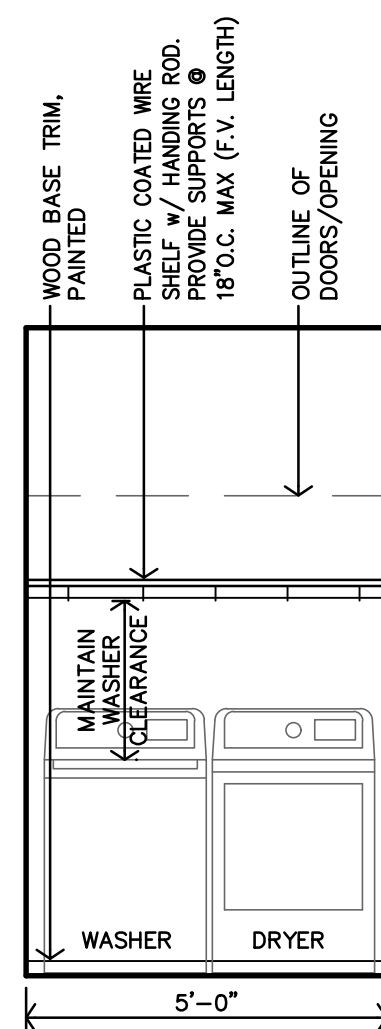
F TYPICAL LAUNDRY #04
CASEWORK ELEVATION
3/8"=1'-0"



B CORNER UNIT - 1C ADAPTABLE/TYPE-B
1 BED-1 BATH UNIT PLAN
1/4"=1'-0"

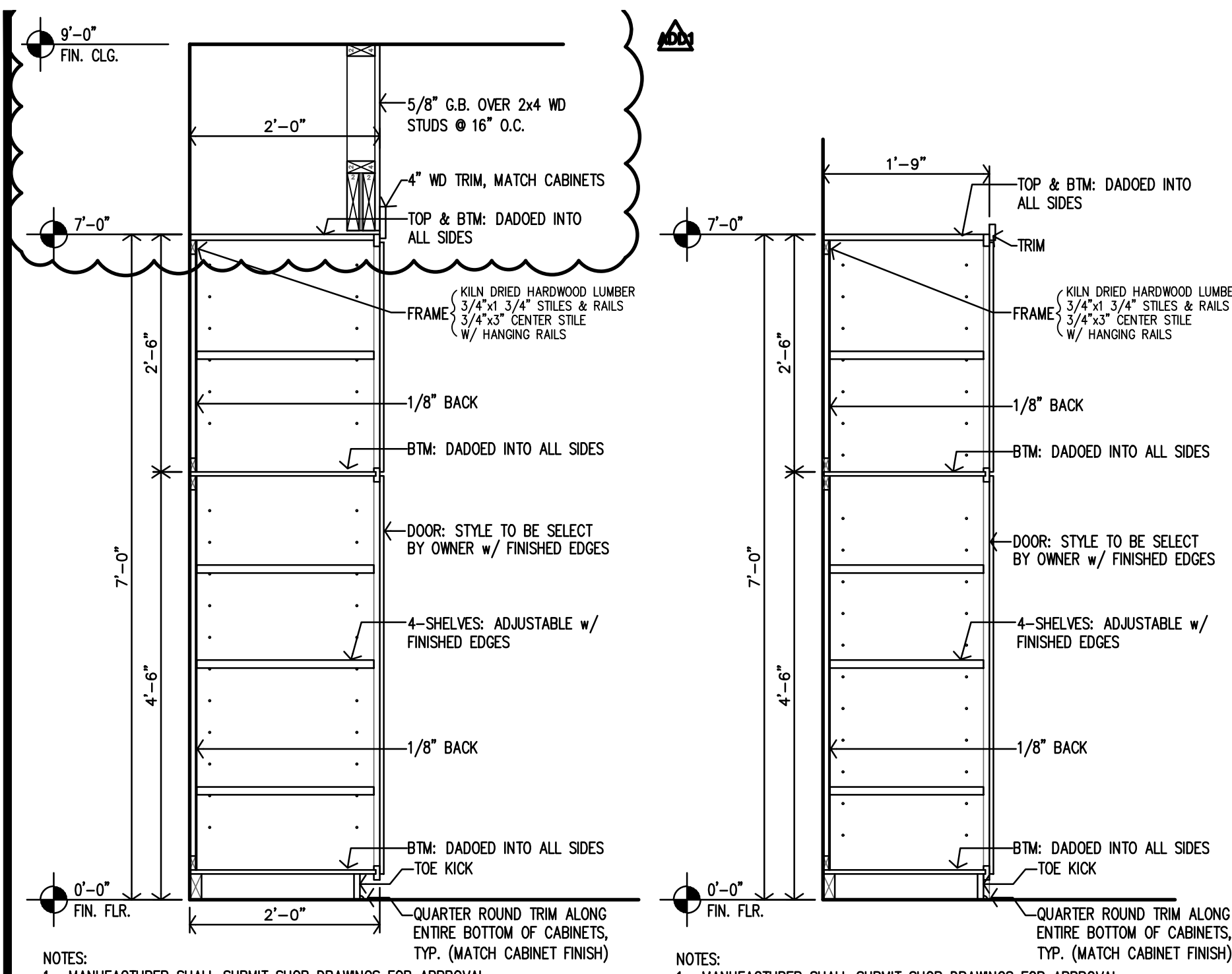


K UNITS 1B/1C BATH #06
INTERIOR ELEVATION
3/8"=1'-0"



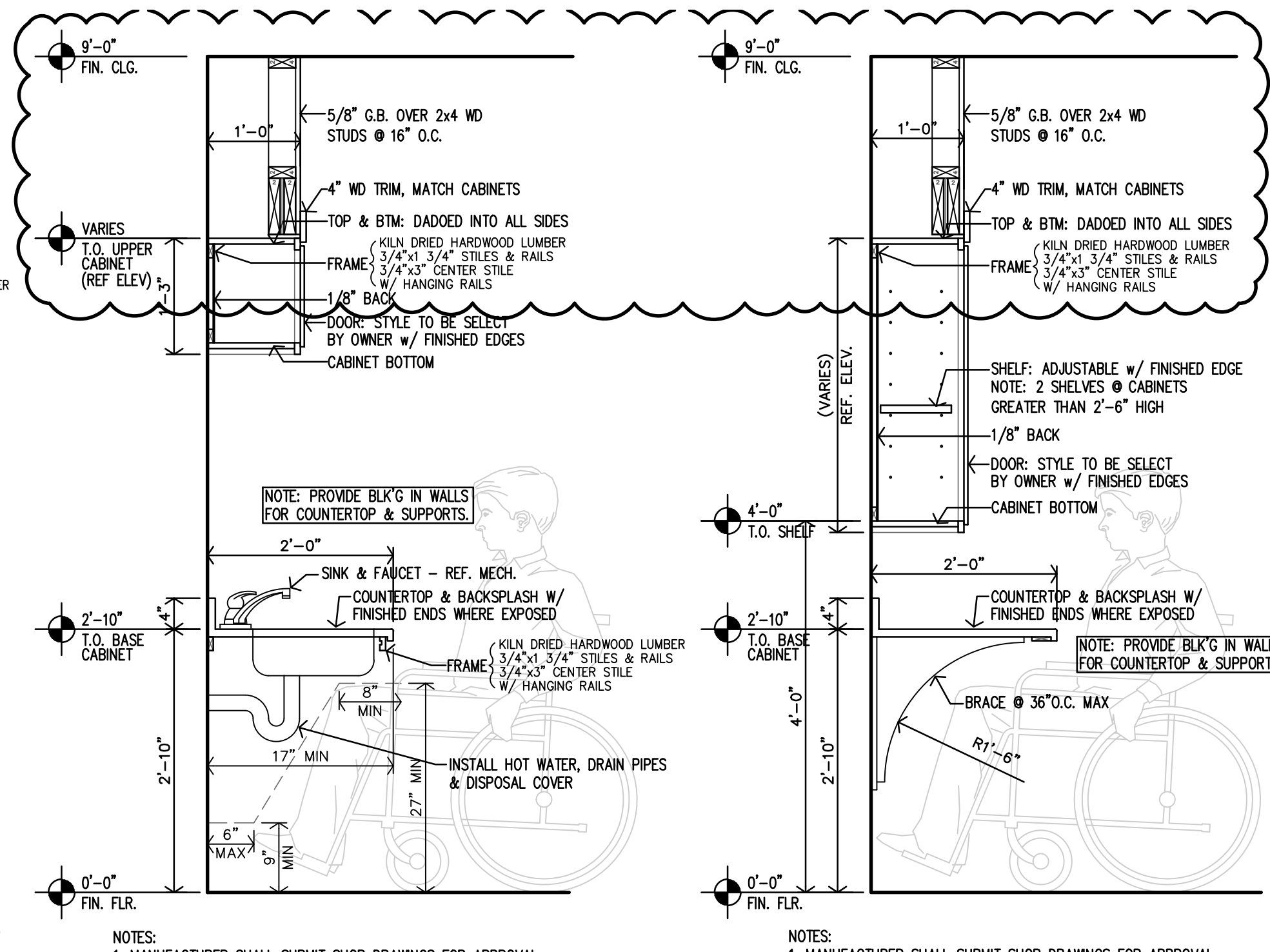
F TYPICAL LAUNDRY #04
CASEWORK ELEVATION
3/8"=1'-0"

C NOT USED



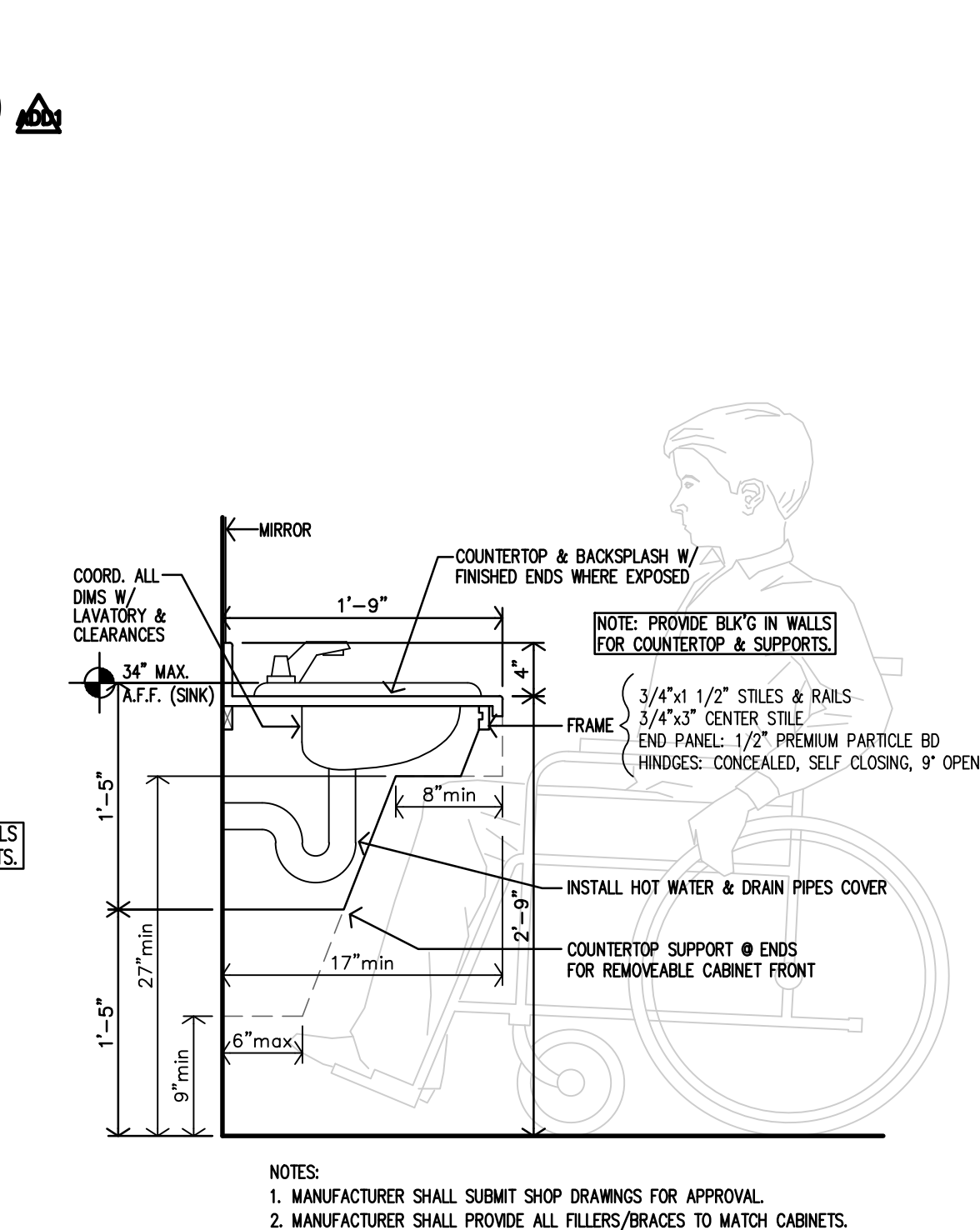
KITCHEN #01 PANTRY CABINET SECTION
3/4"=1'-0"

BATH #06 LINEN CABINET SECTION
3/4"=1'-0"

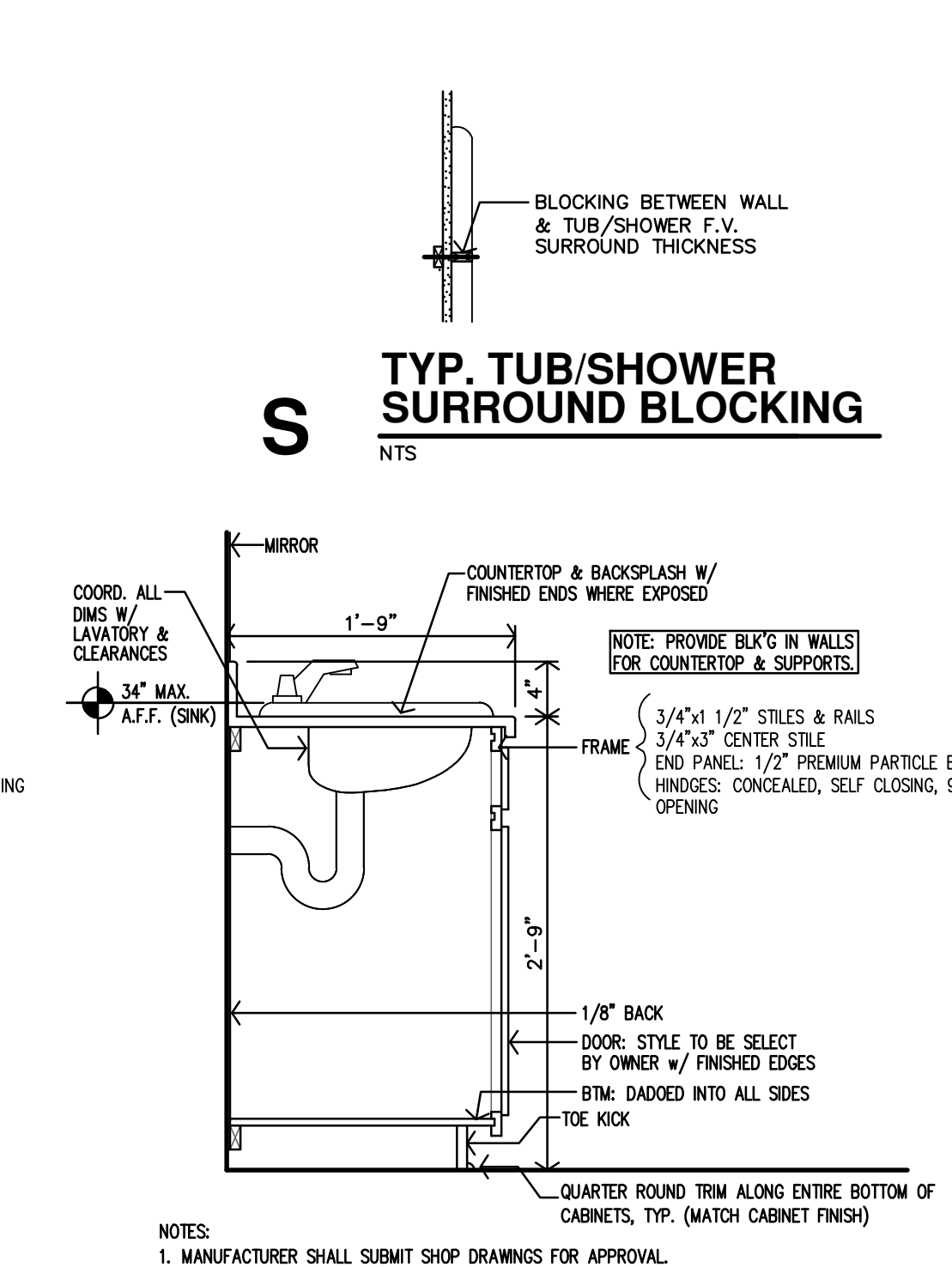


ACCESSIBLE KITCHEN #01 SINK SECTION
3/4"=1'-0"

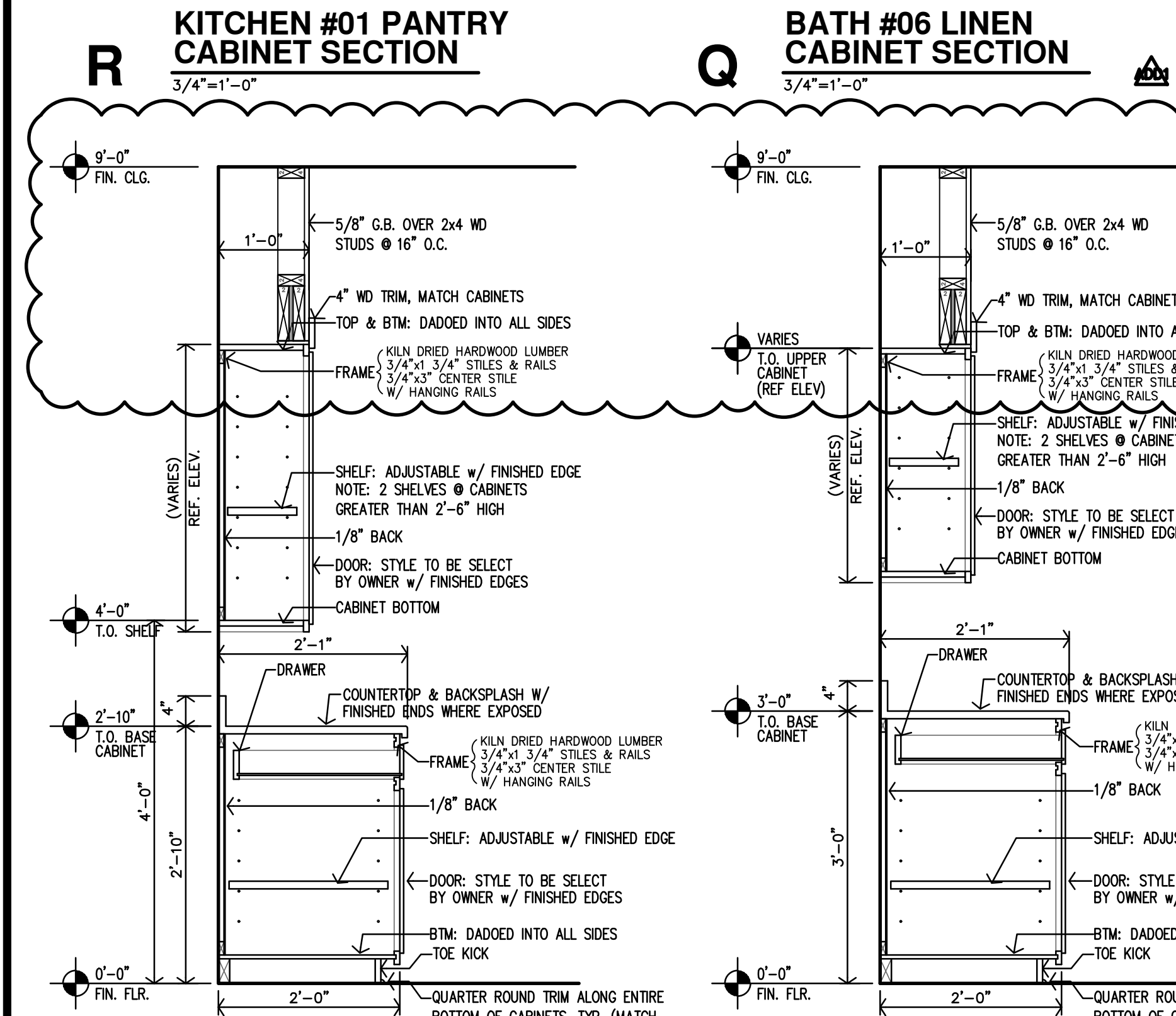
ACCESSIBLE KITCHEN #01 WORK SPACE SECTION
3/4"=1'-0"



ACCESSIBLE BATH #06 VANITY SECTION
1"=1'-0"

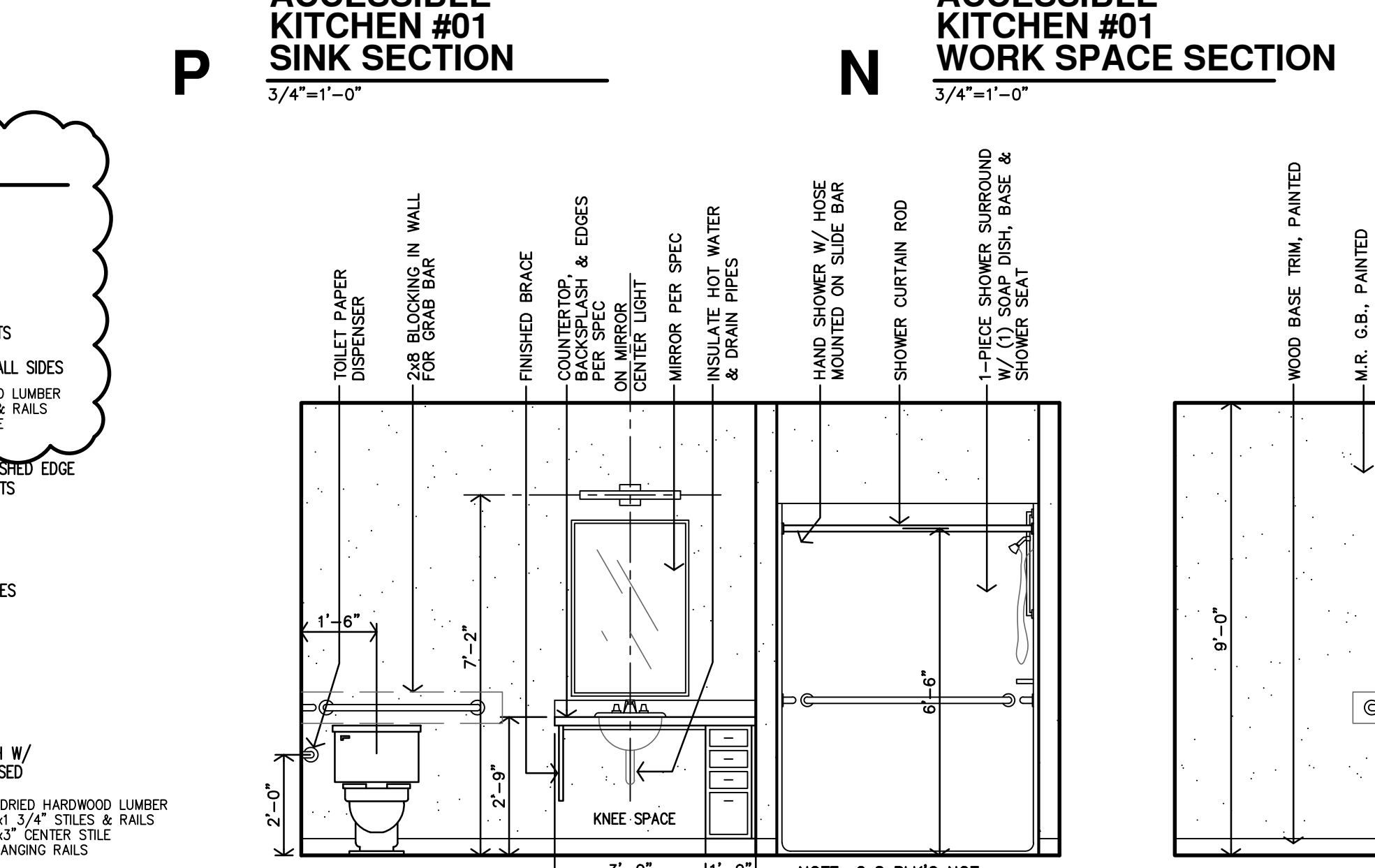


ADAPTABLE BATH #06 VANITY SECTION
1"=1'-0"



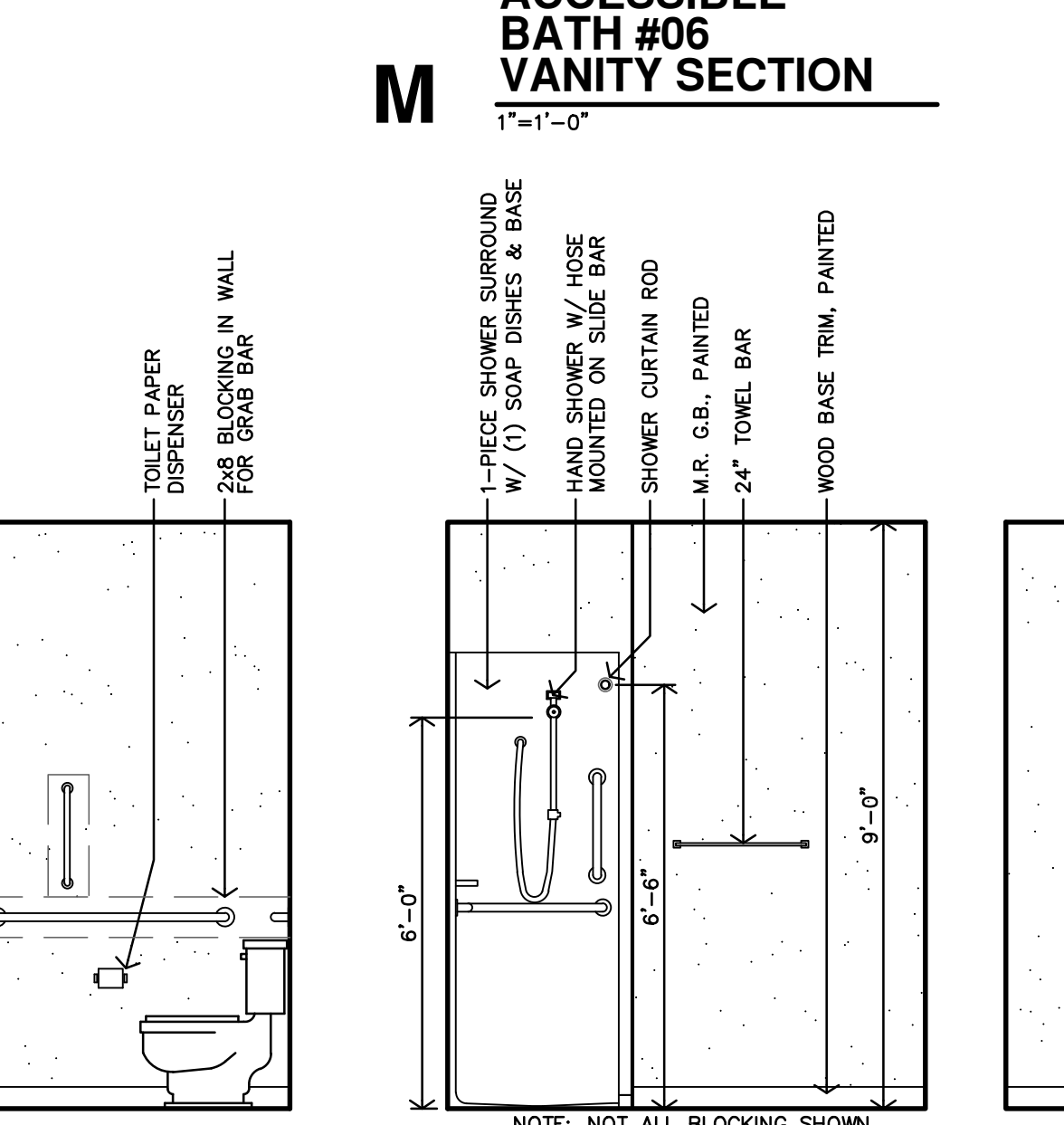
ACCESSIBLE KITCHEN #01 CABINET SECTION
3/4"=1'-0"

ADAPTABLE KITCHEN #01 CABINET SECTION
3/4"=1'-0"



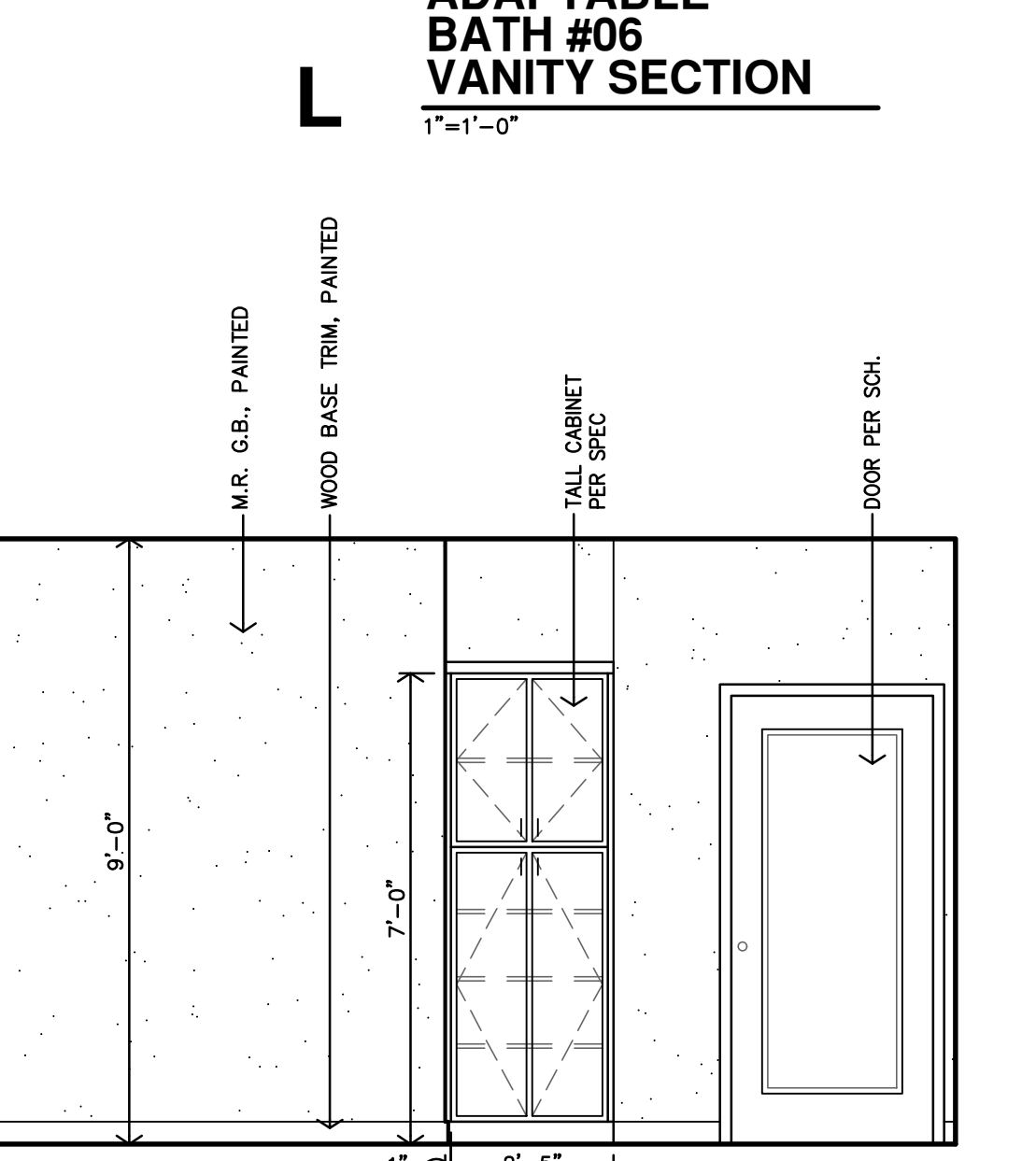
UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"

UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"



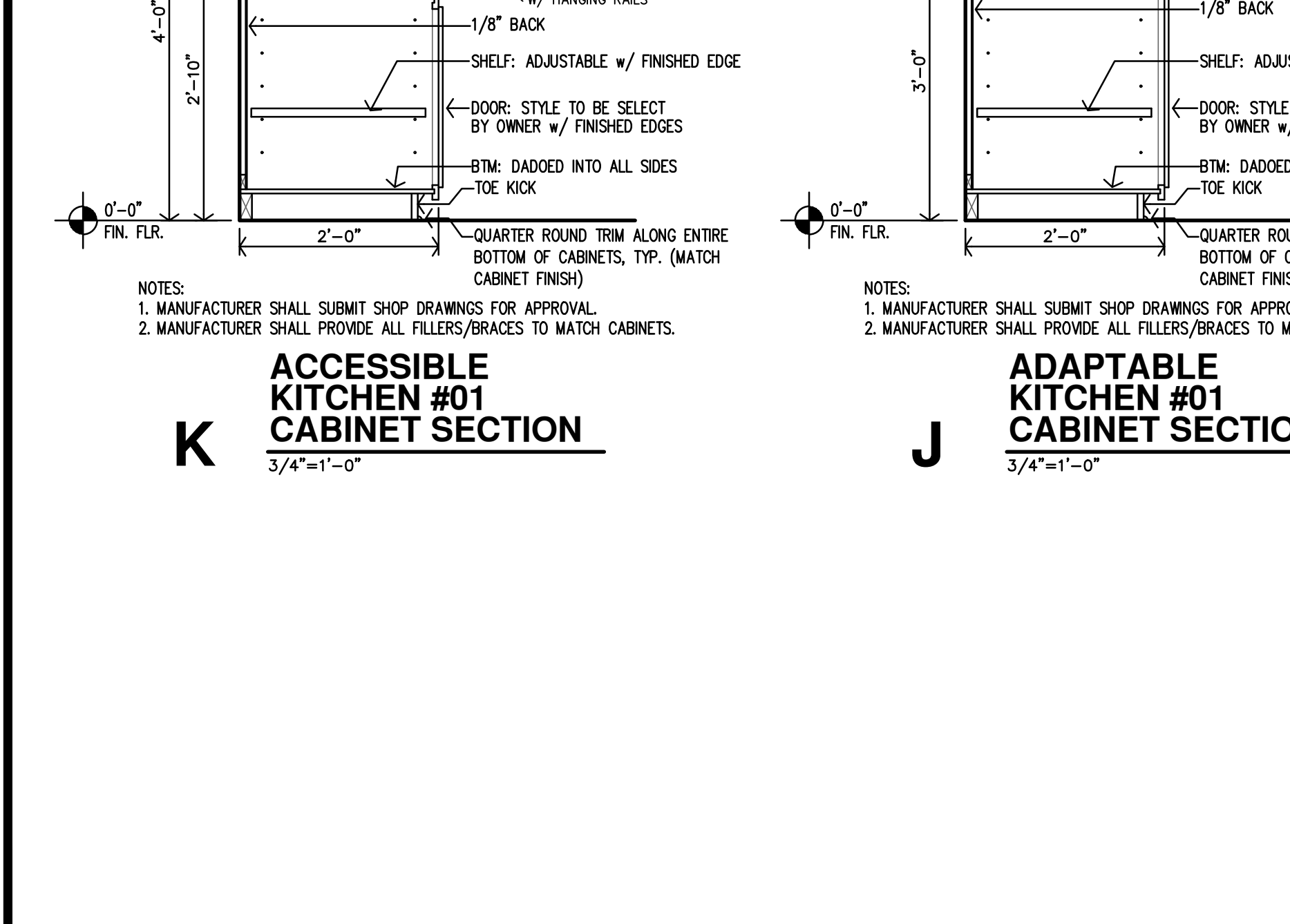
UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"

UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"



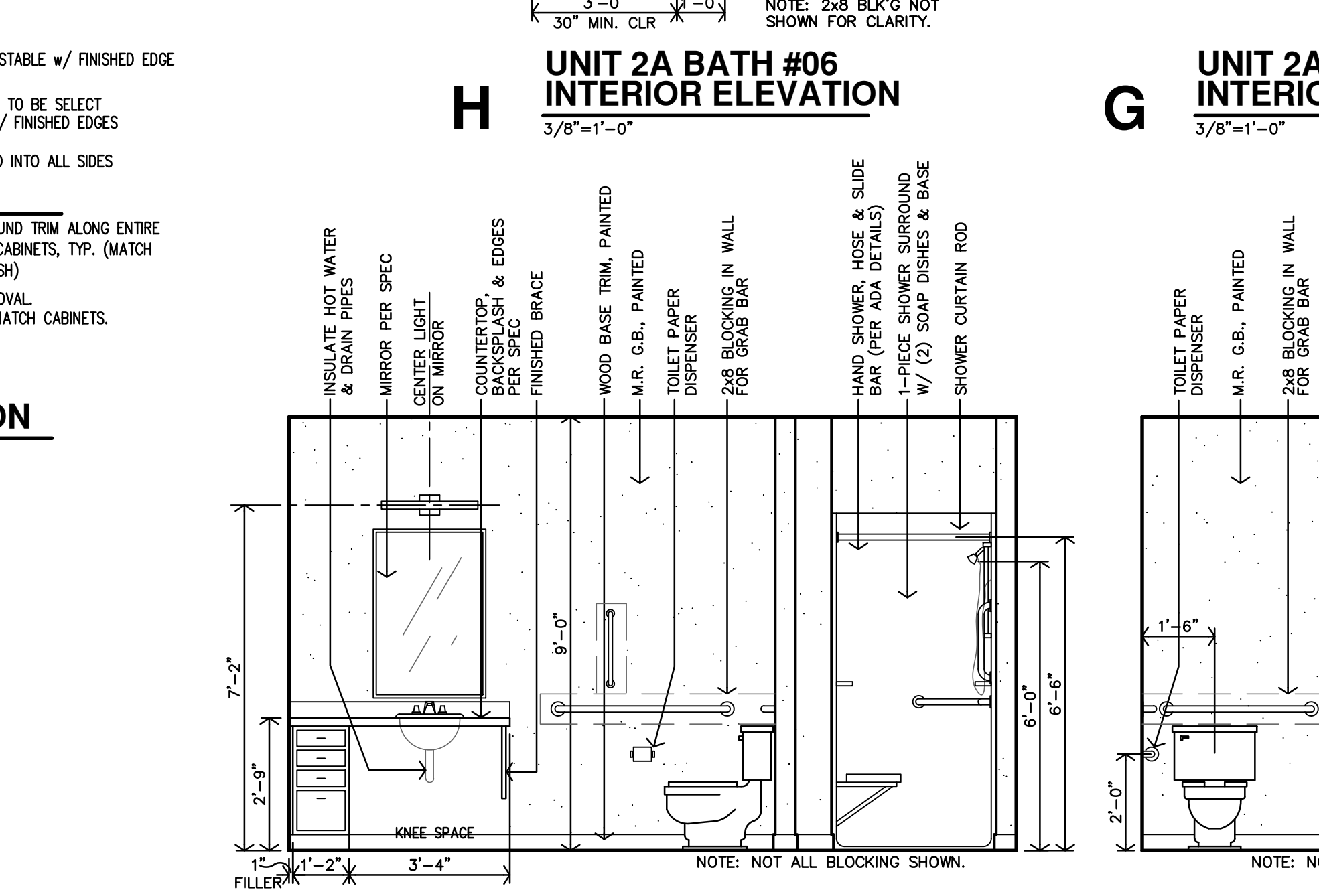
UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"

UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"



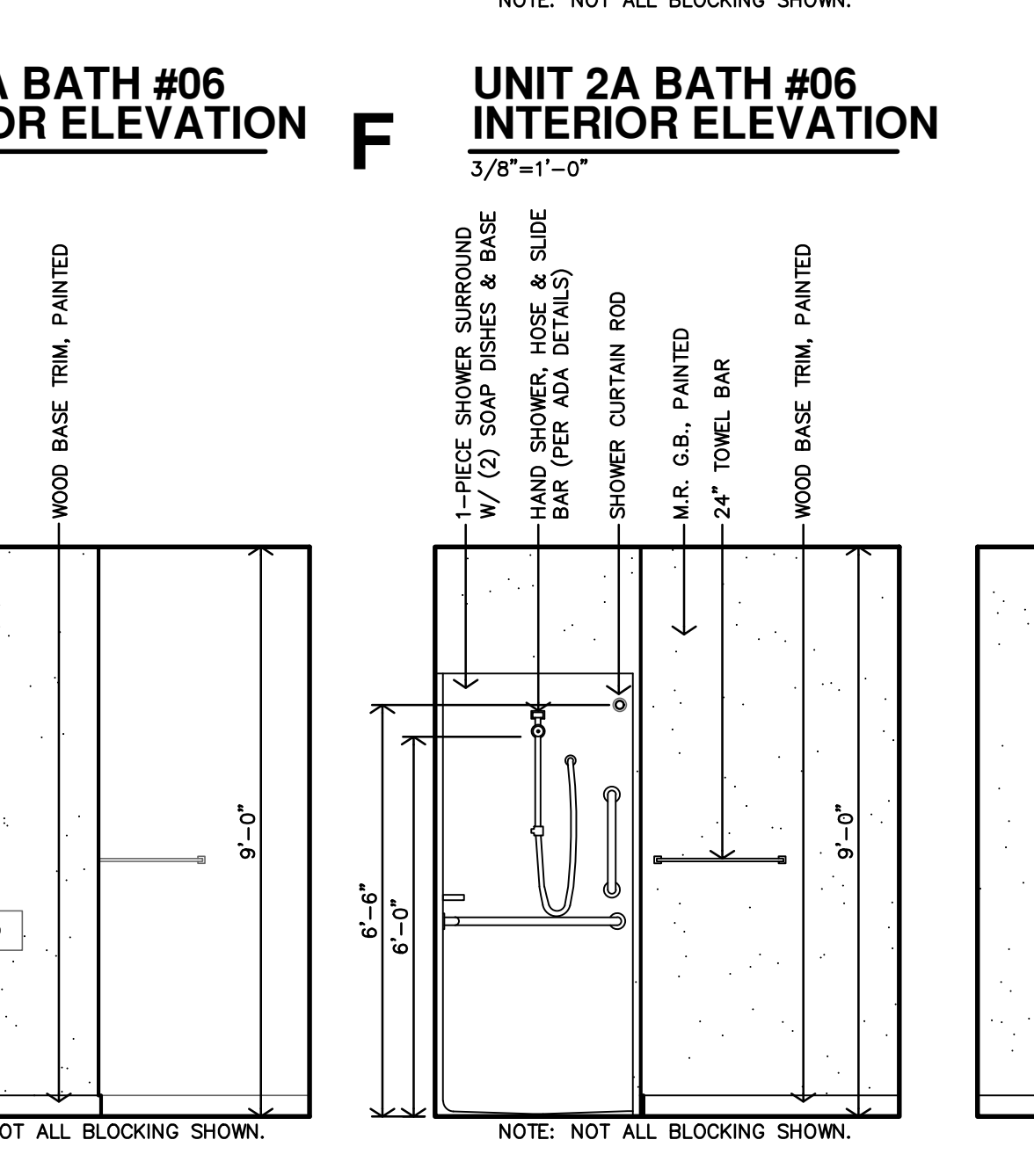
UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"

UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"



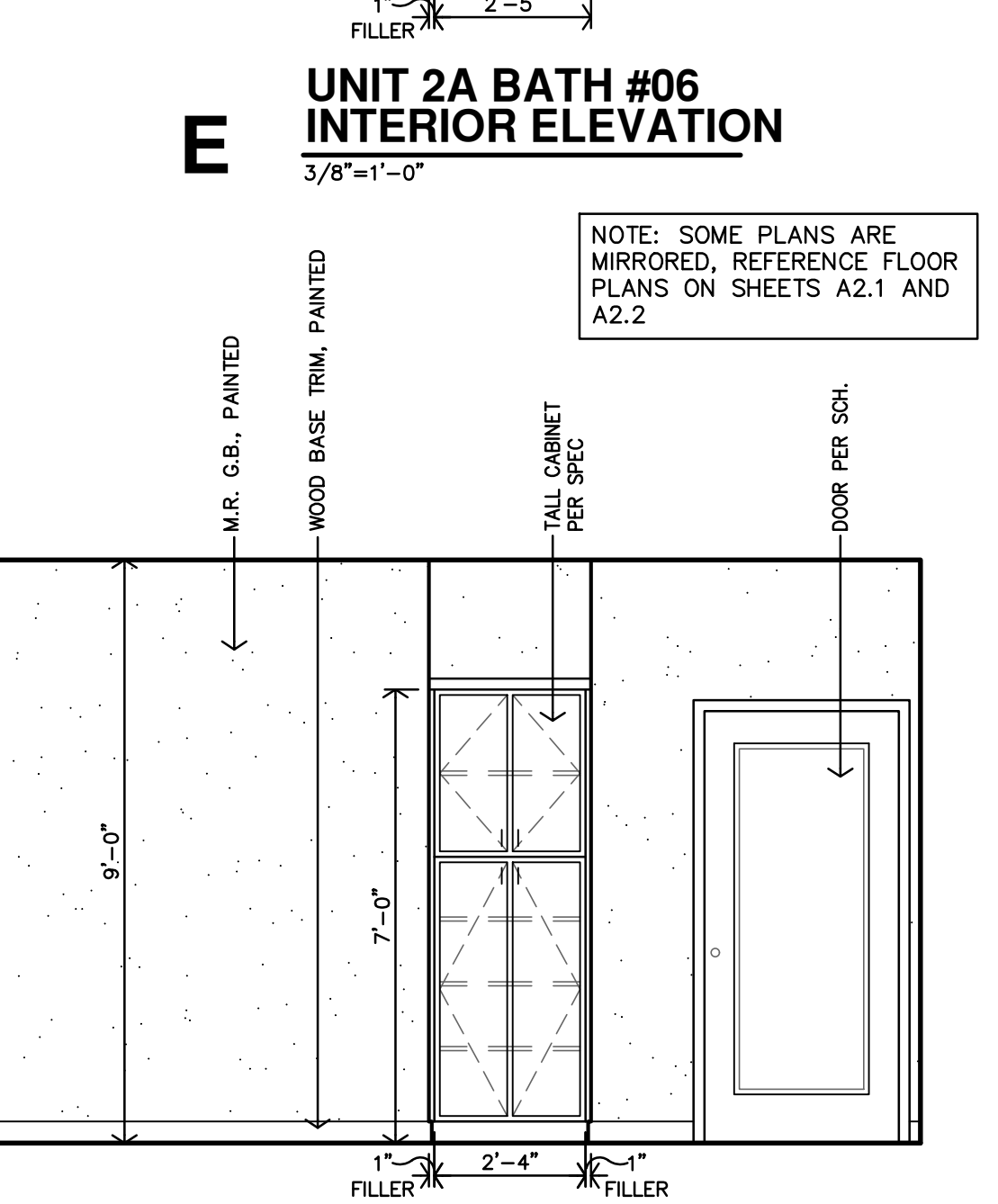
UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"

UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"



UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"

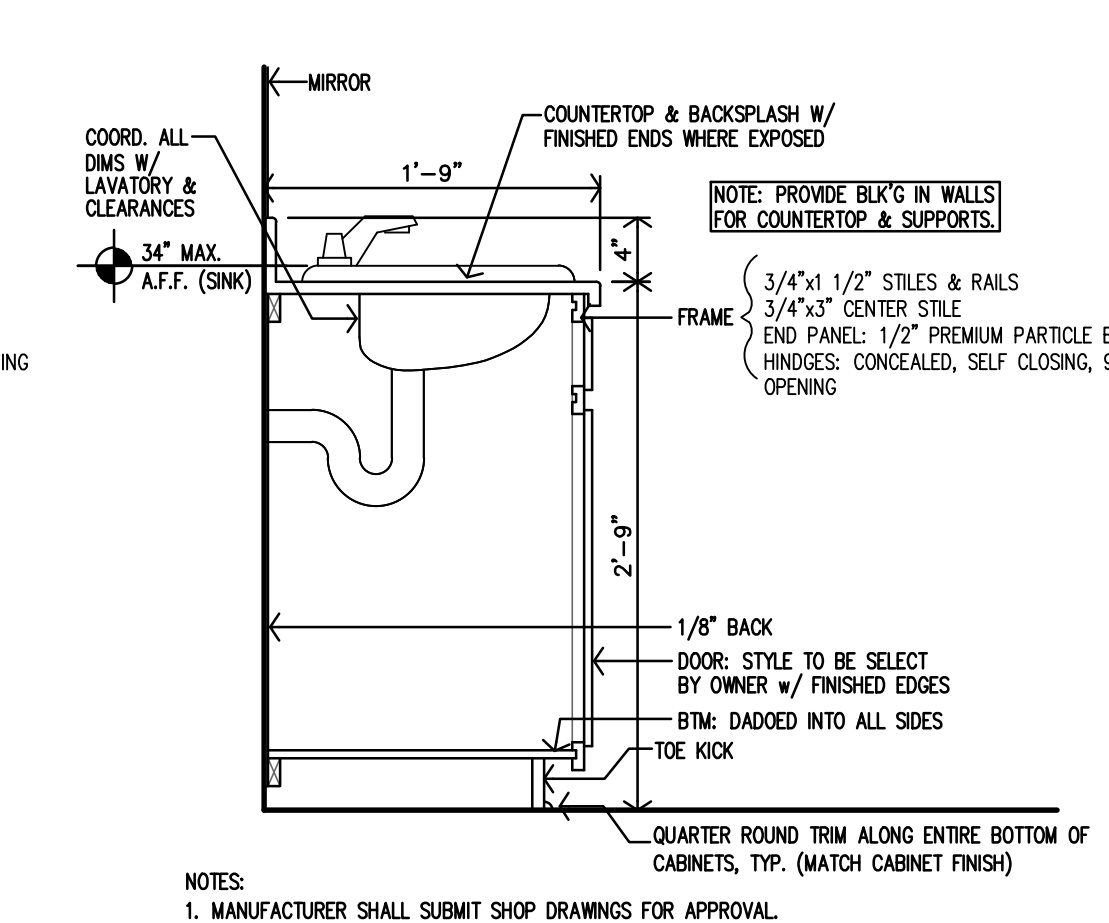
UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"

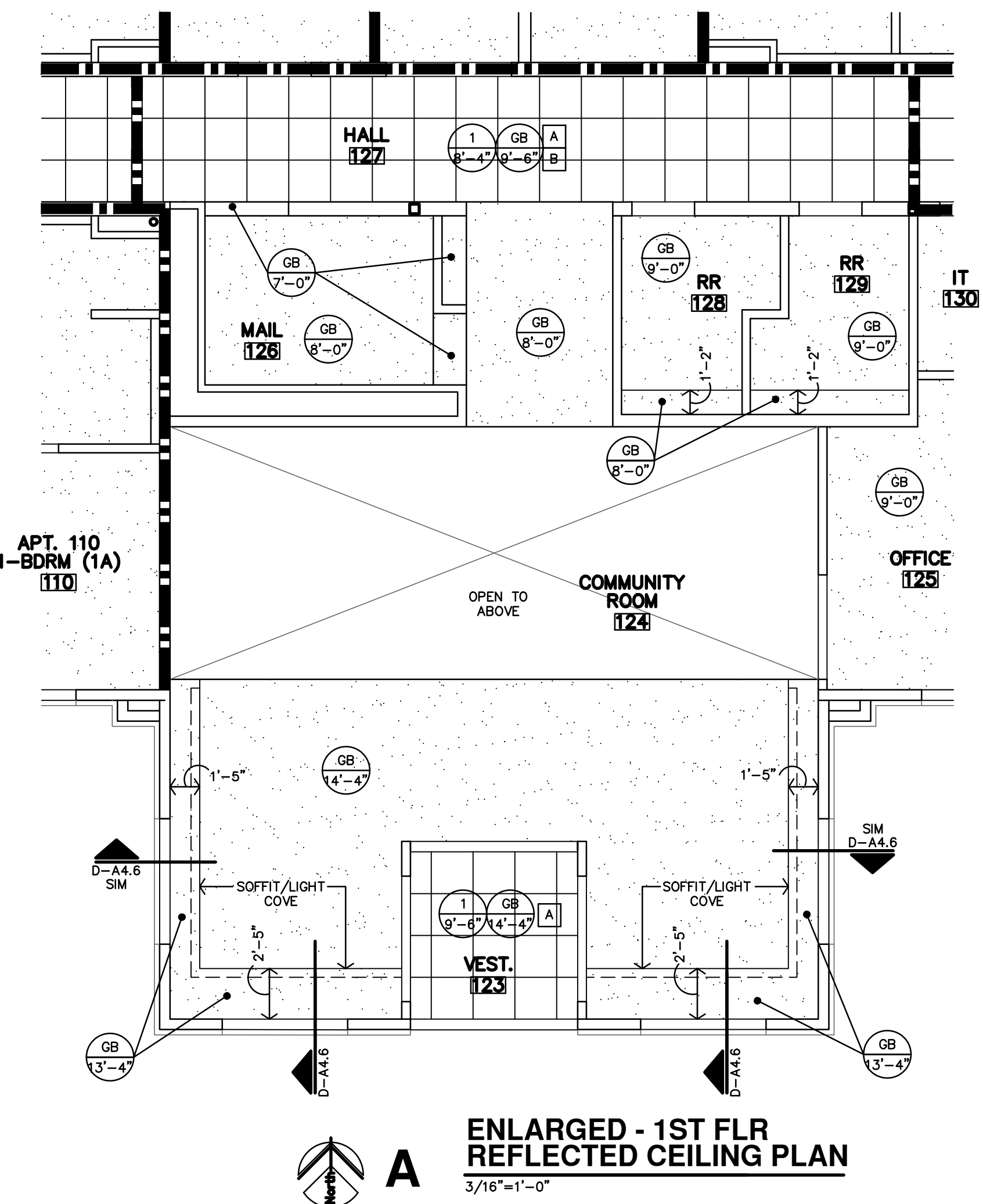
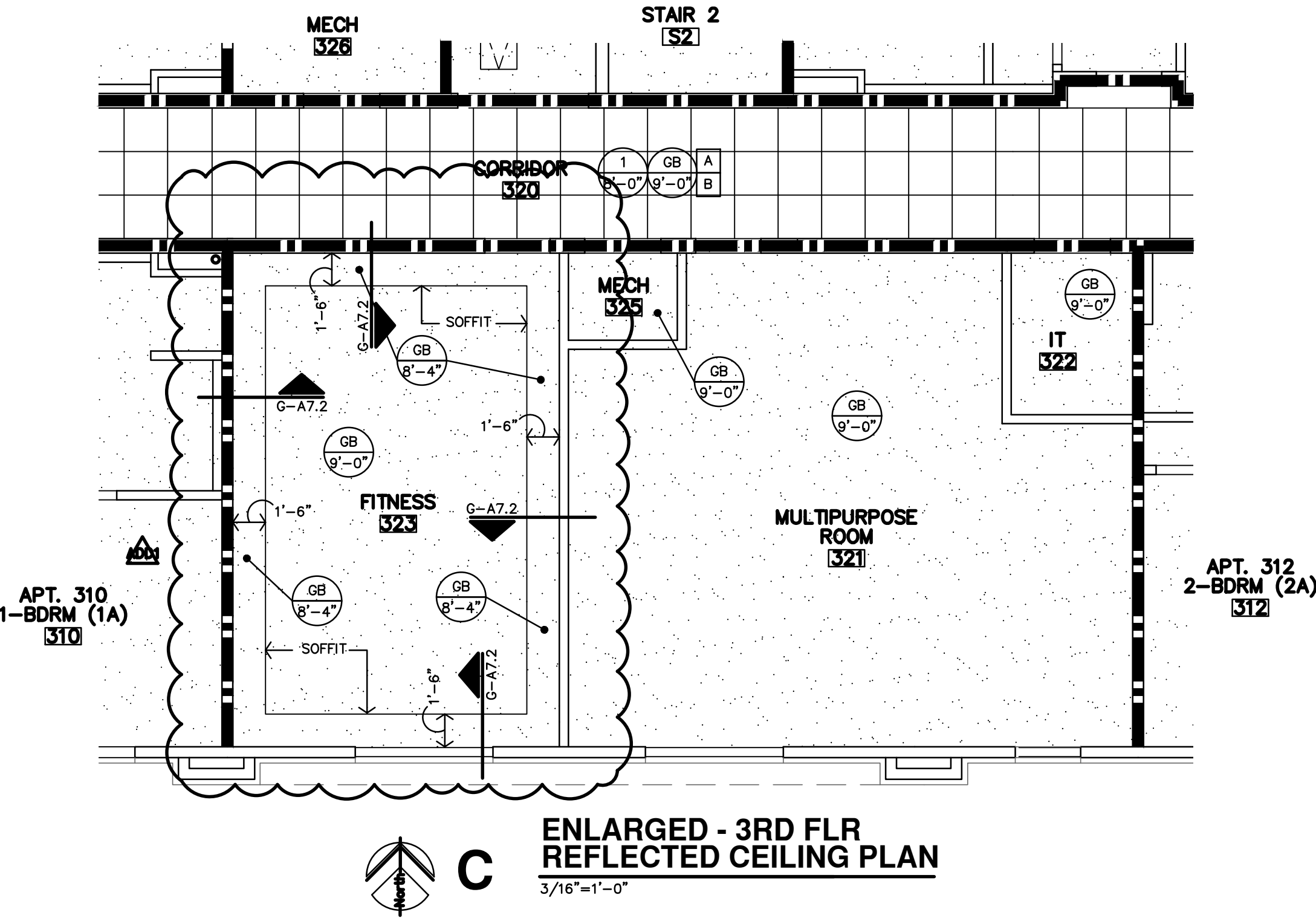
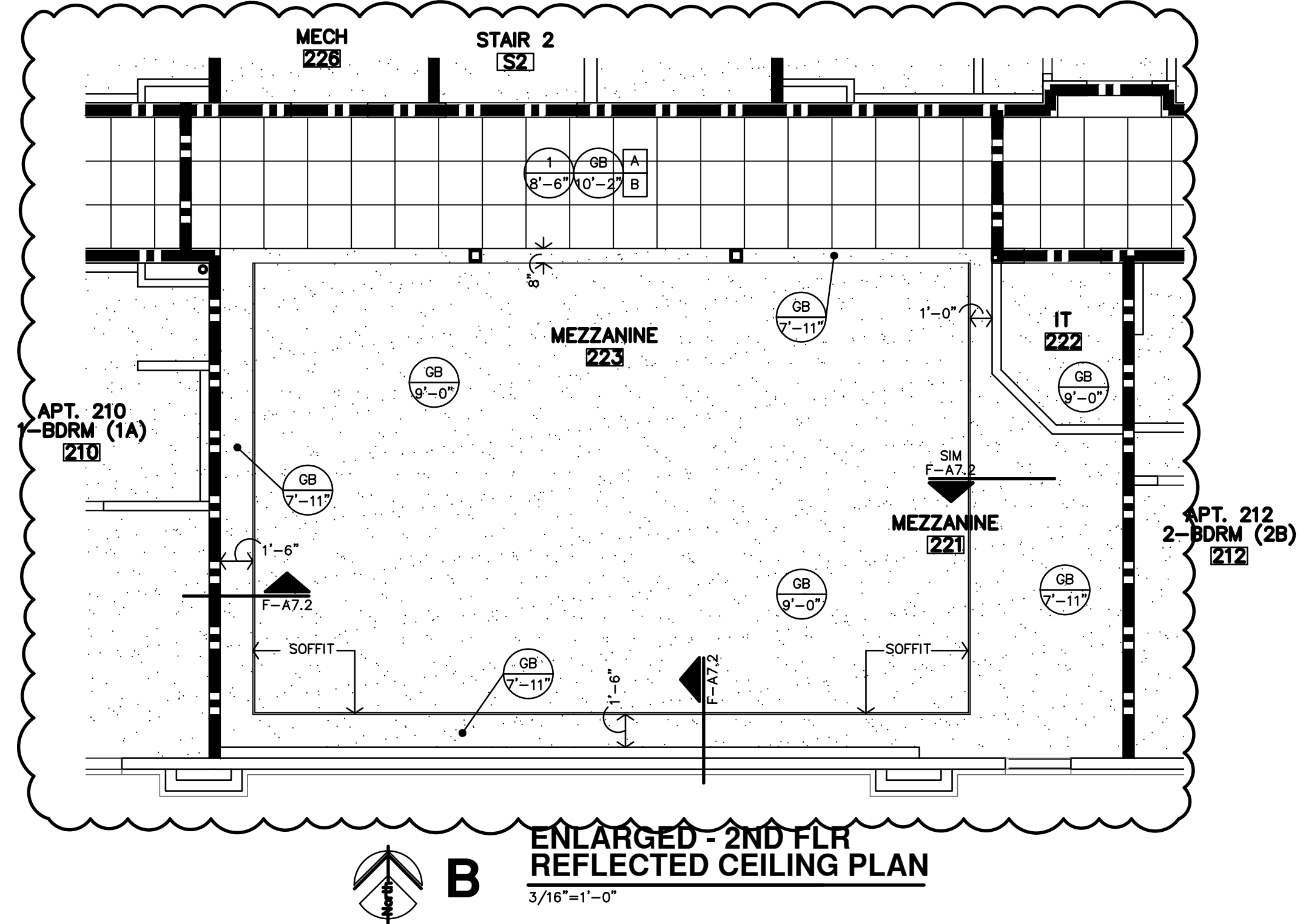
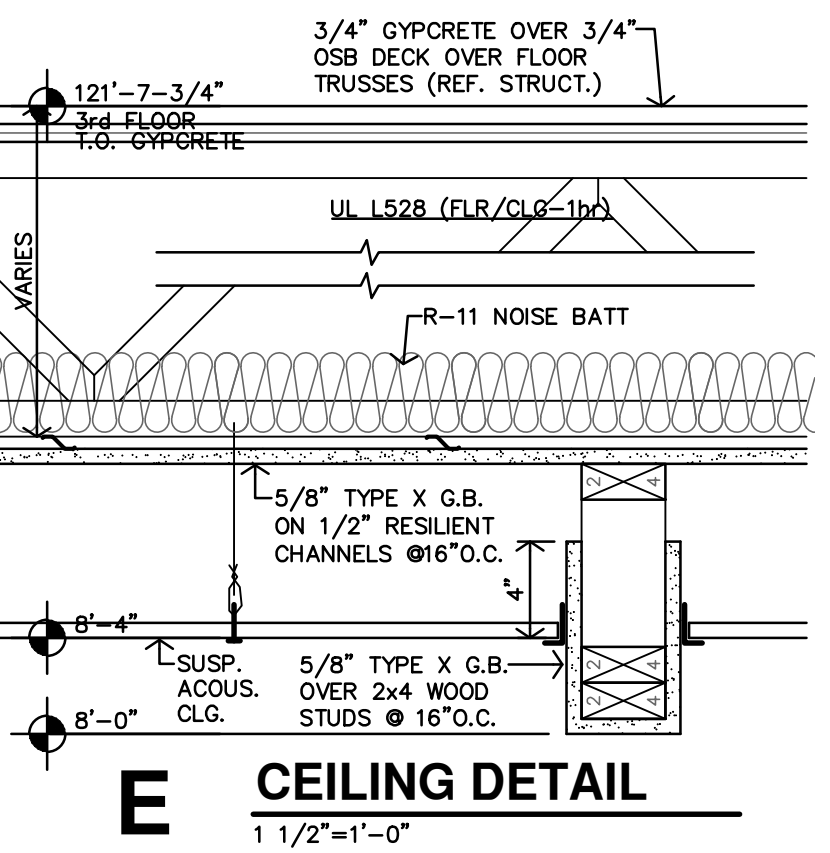
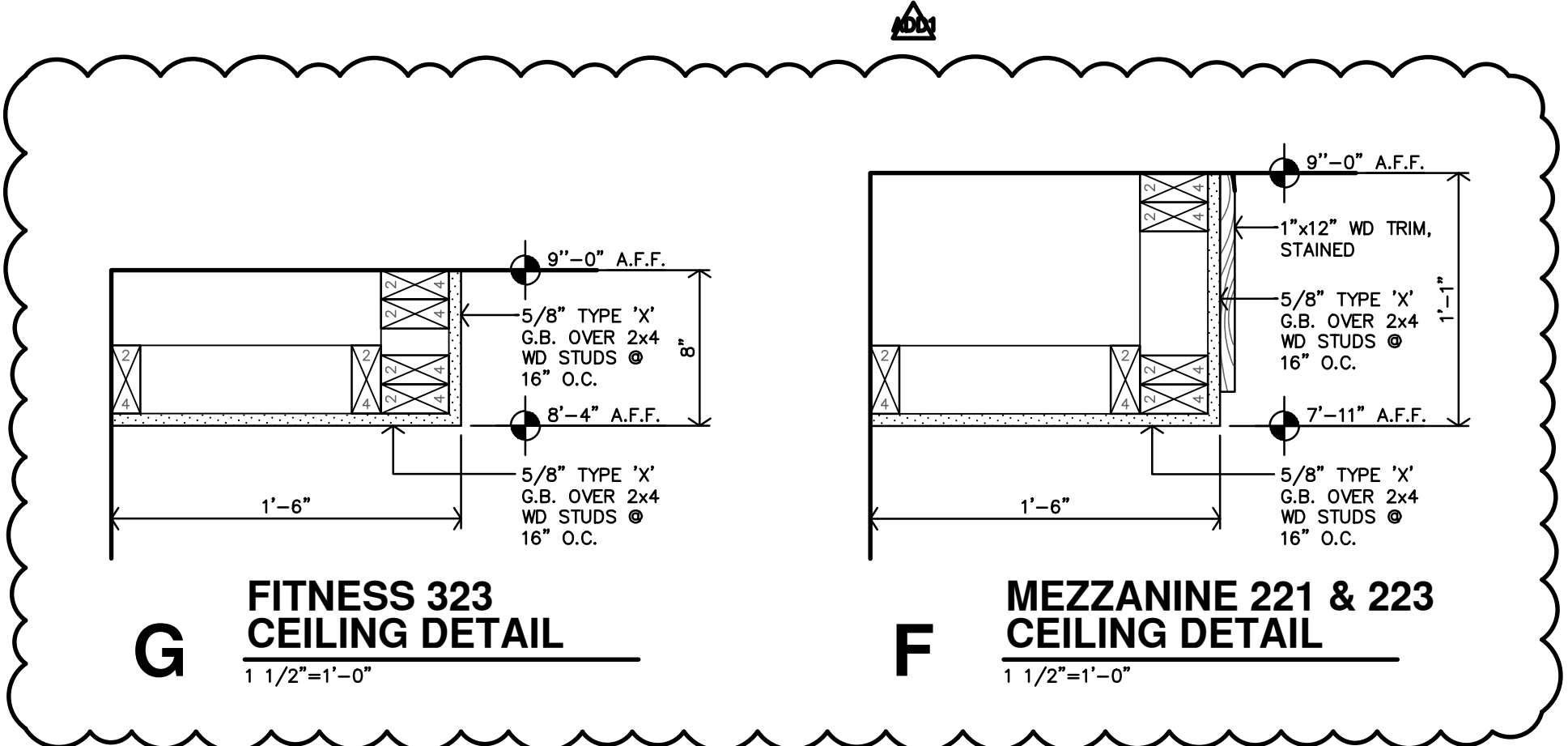


UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"

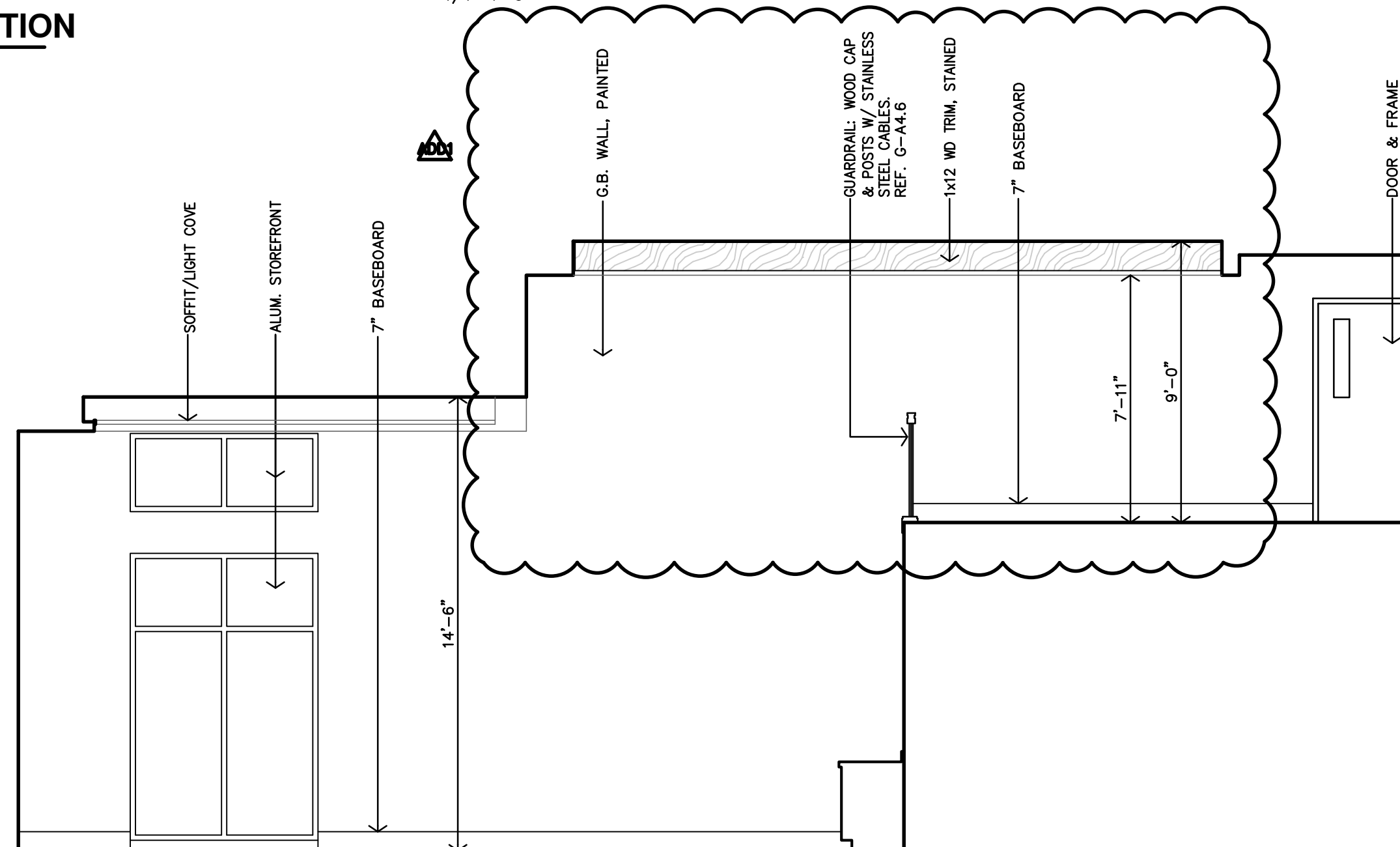
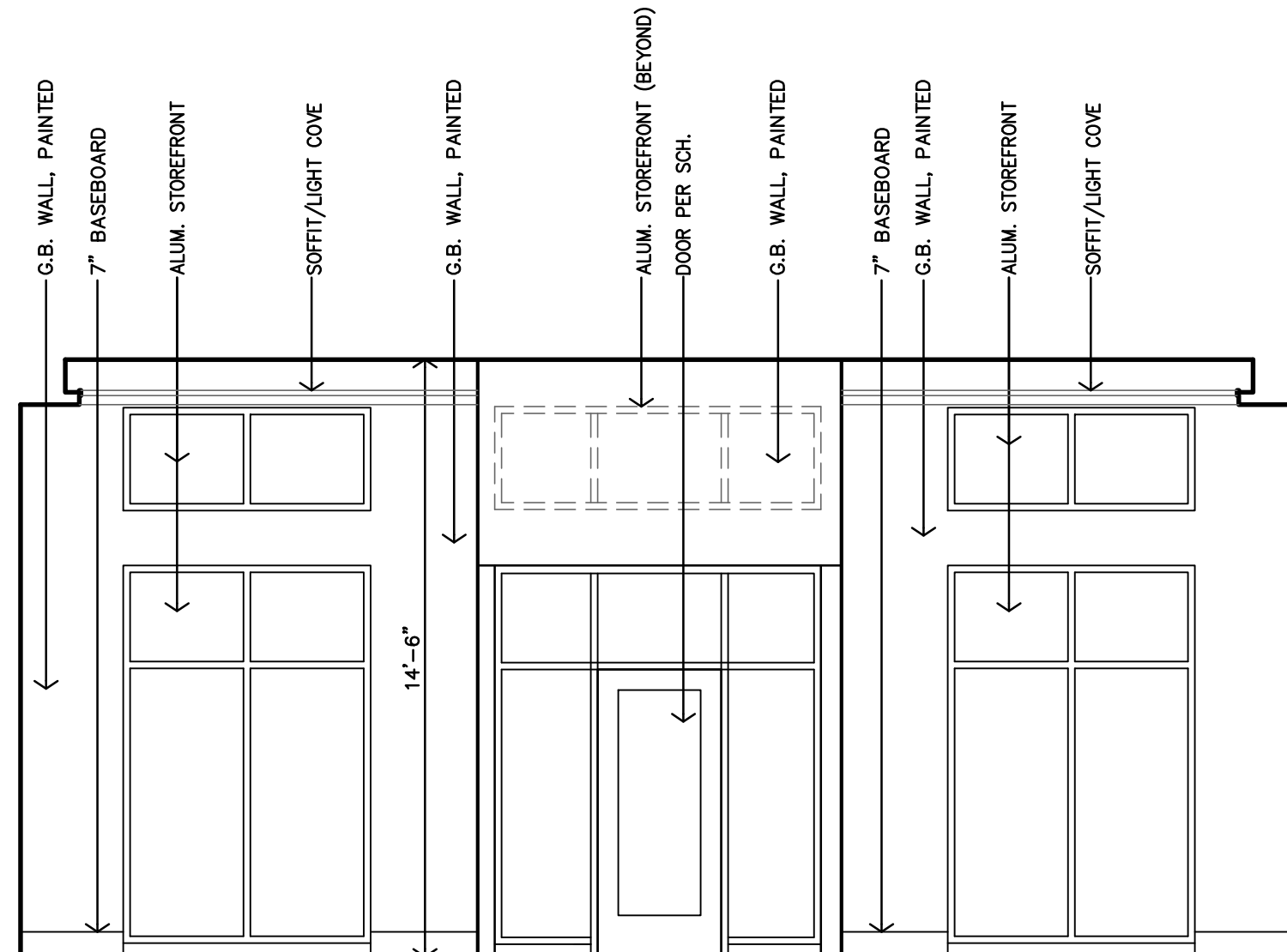
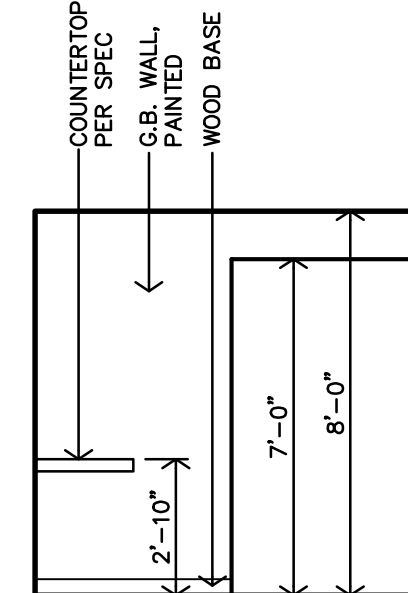
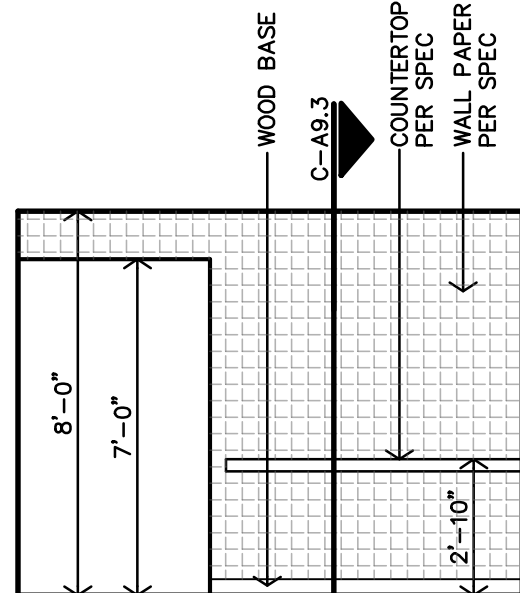
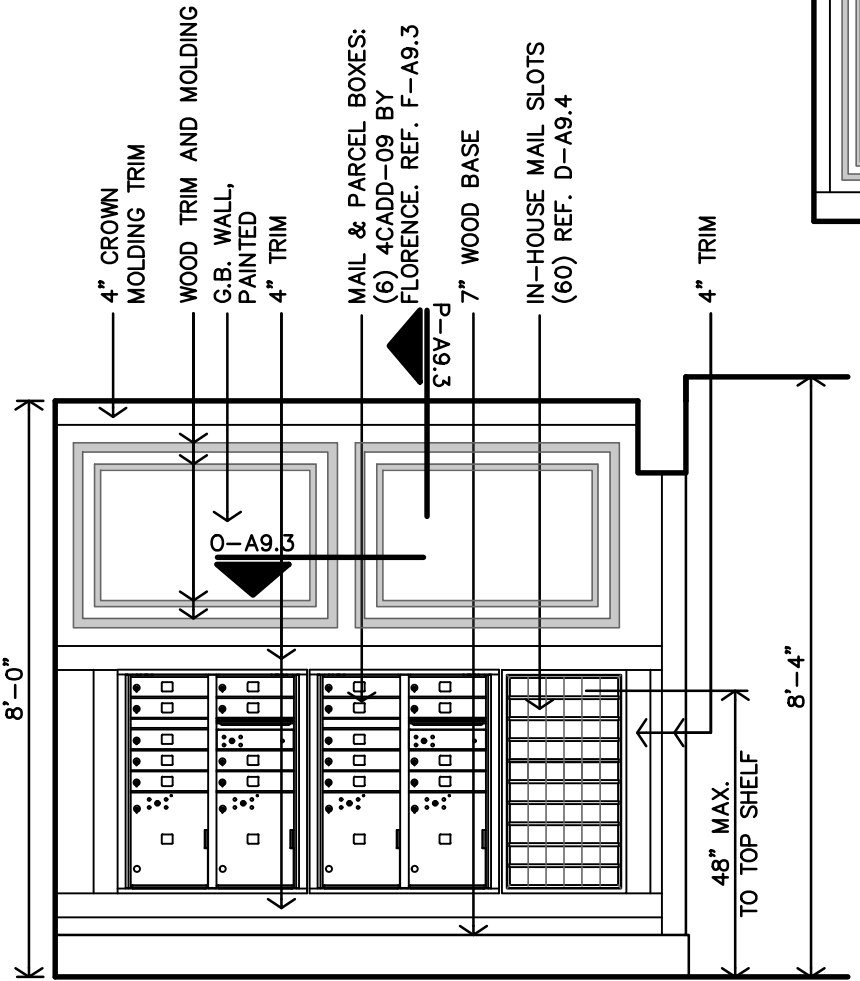
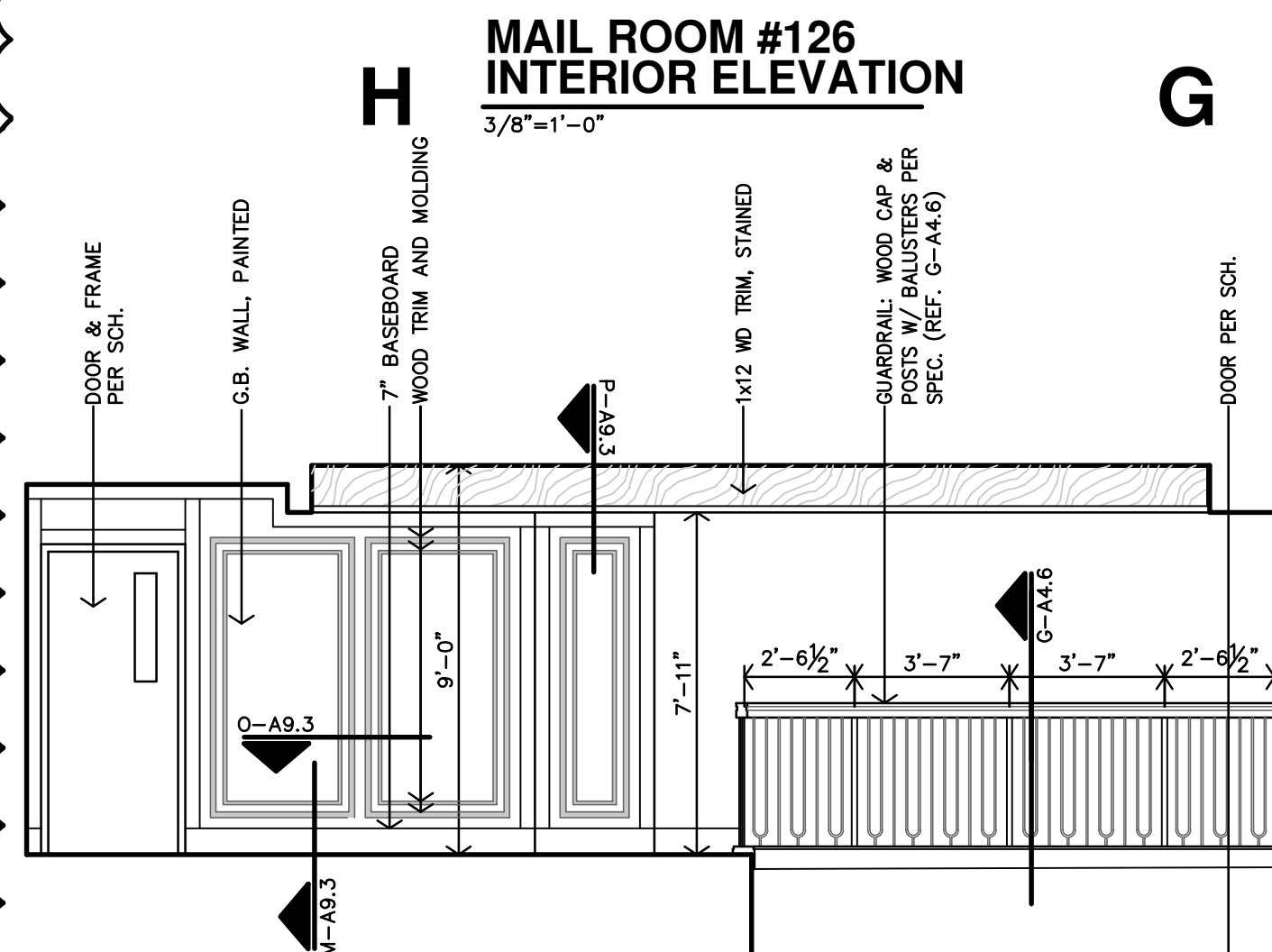
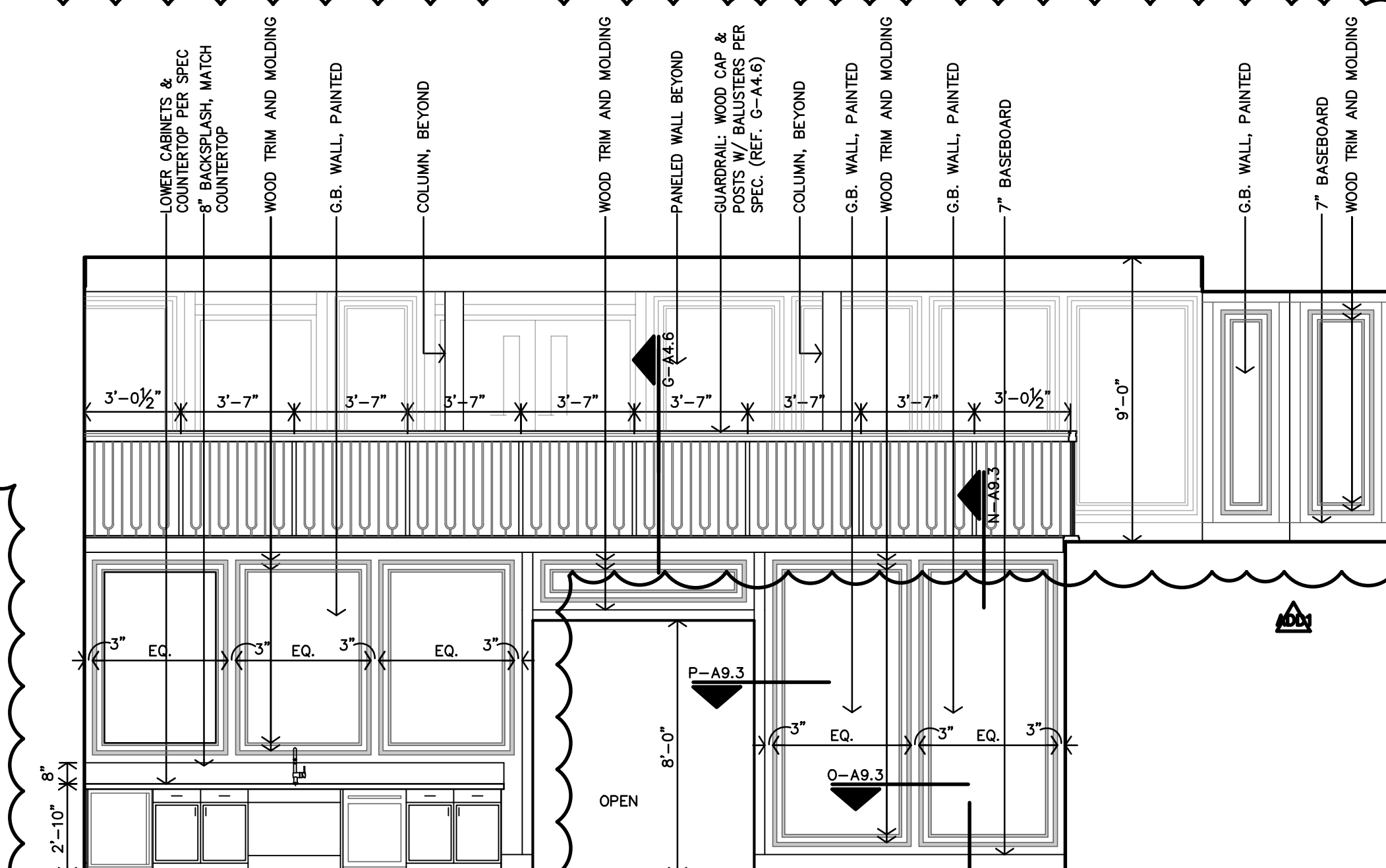
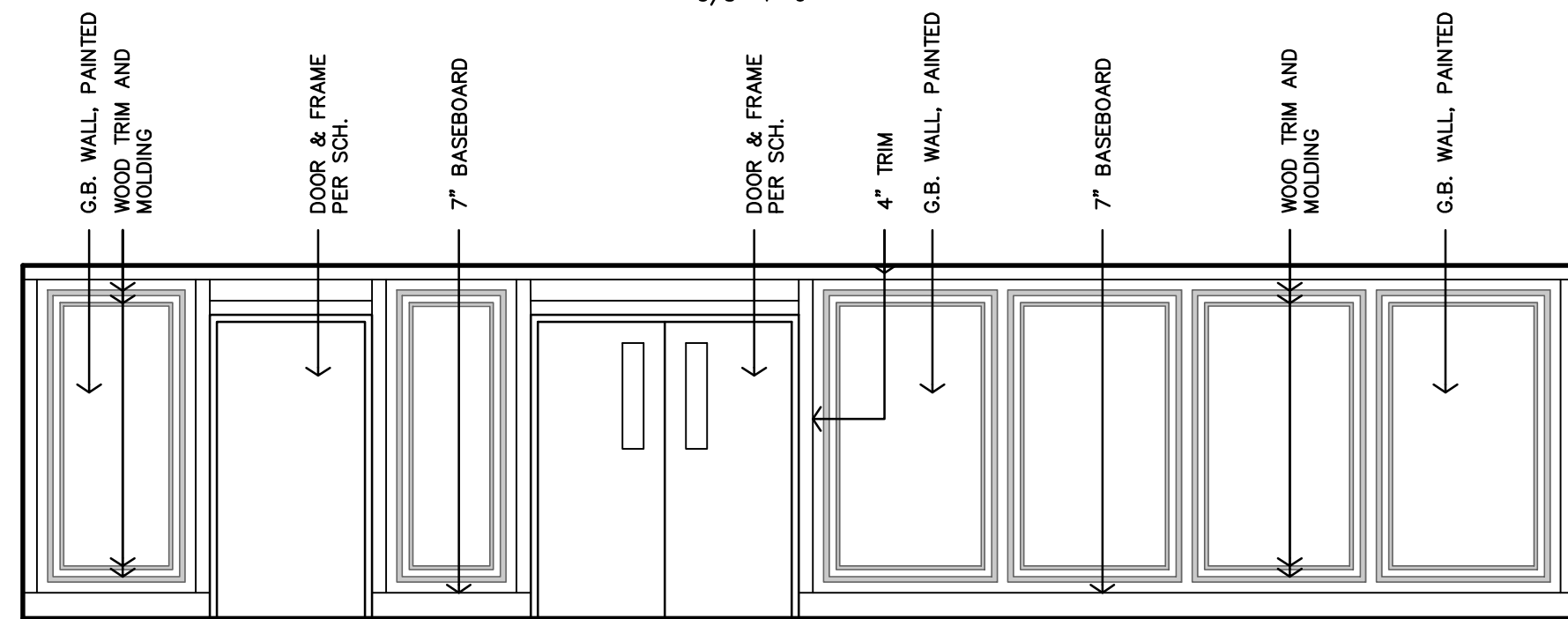
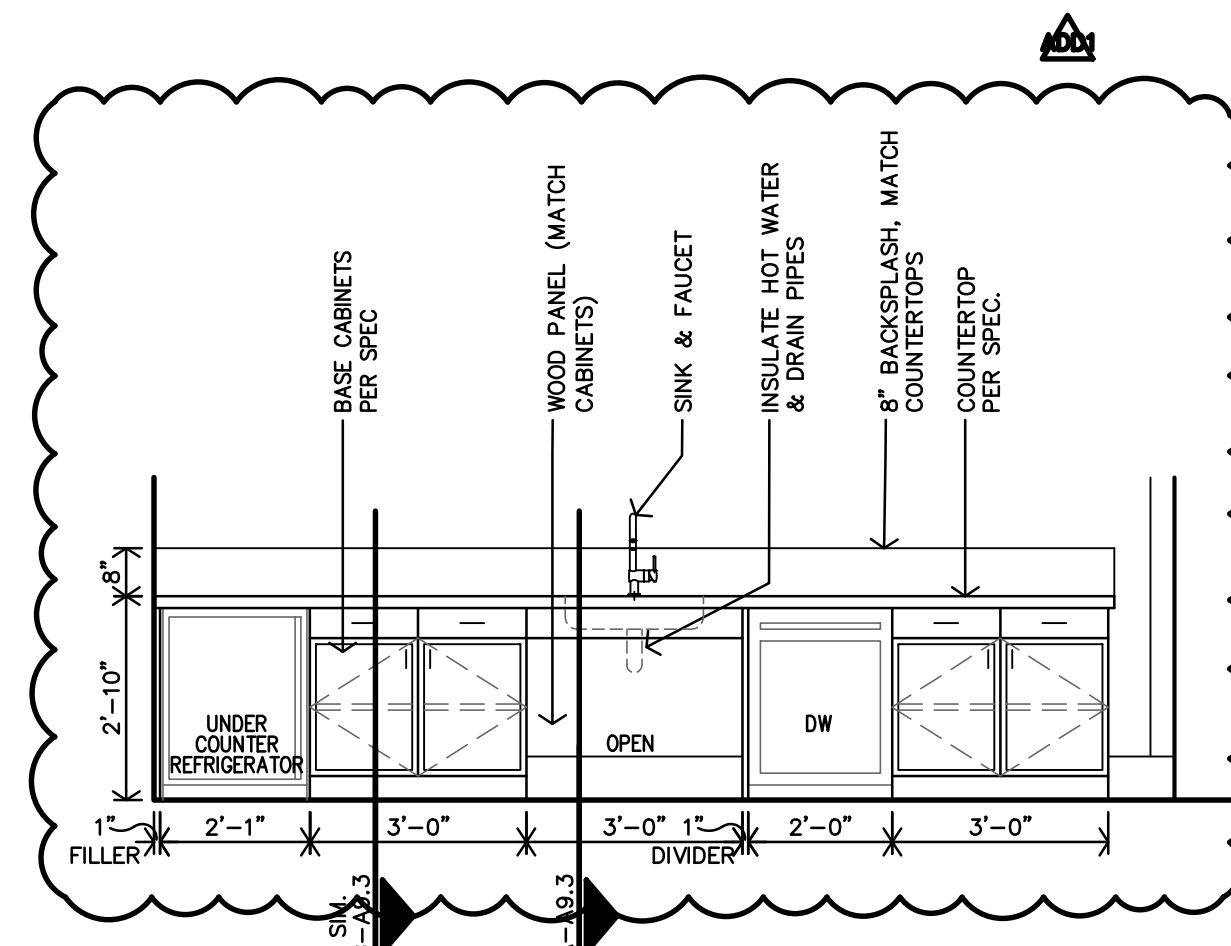
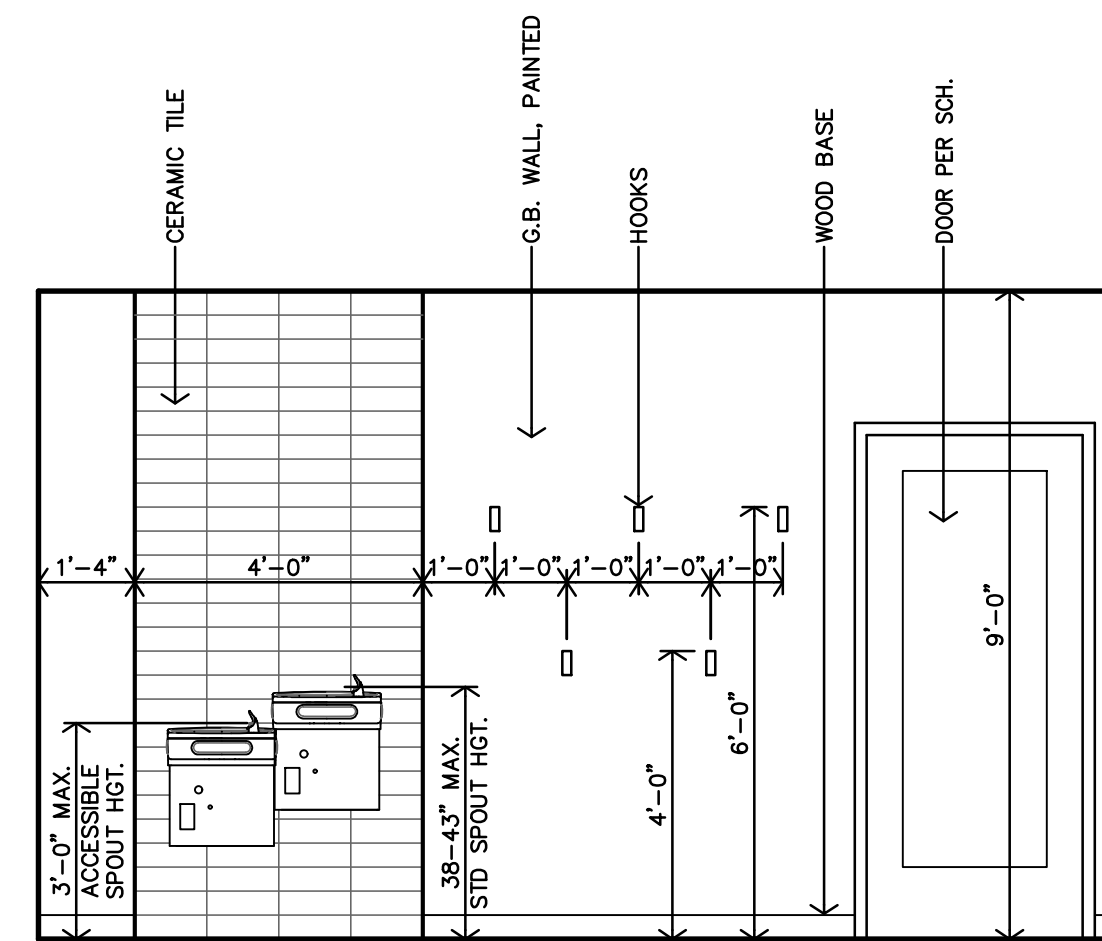
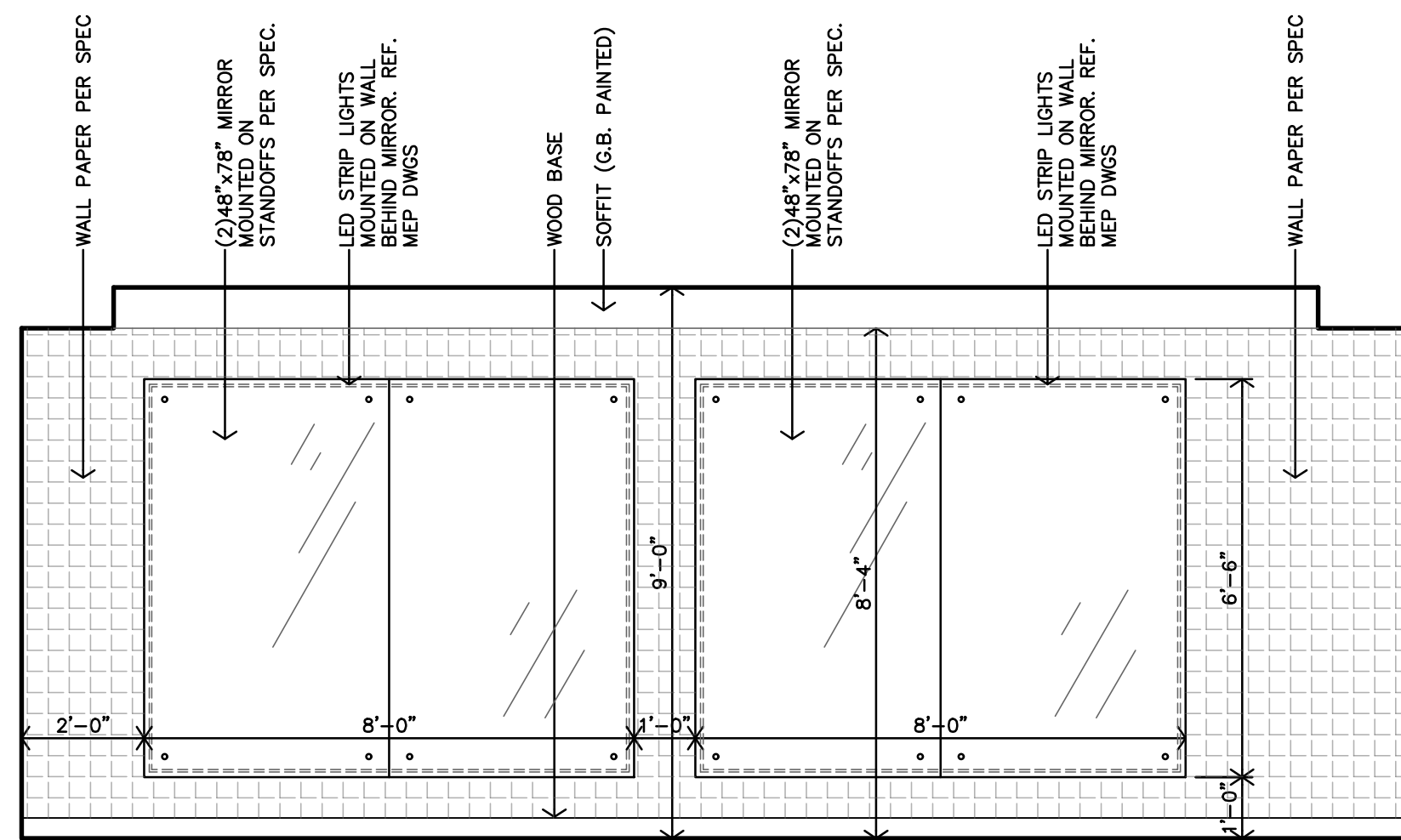
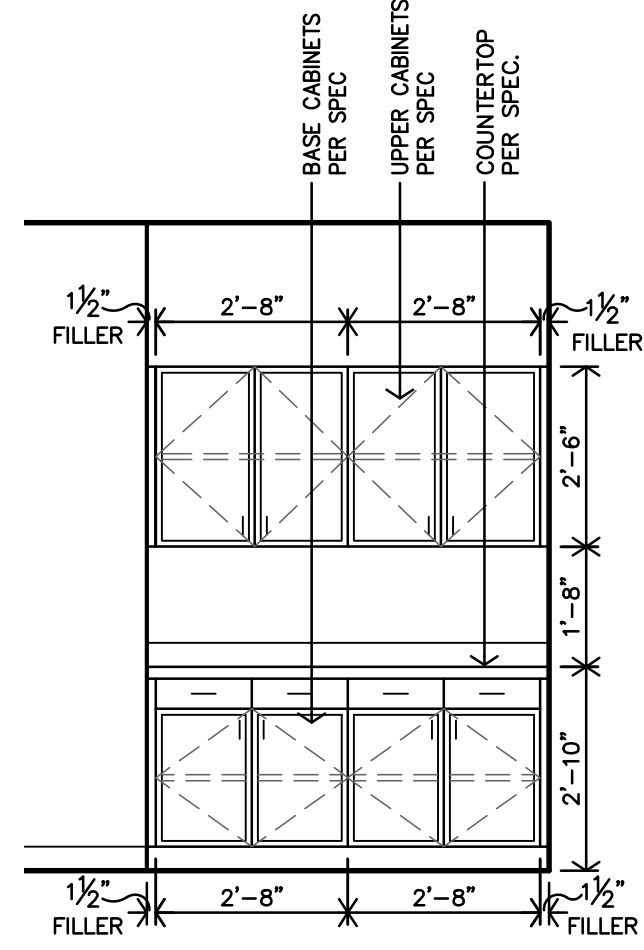
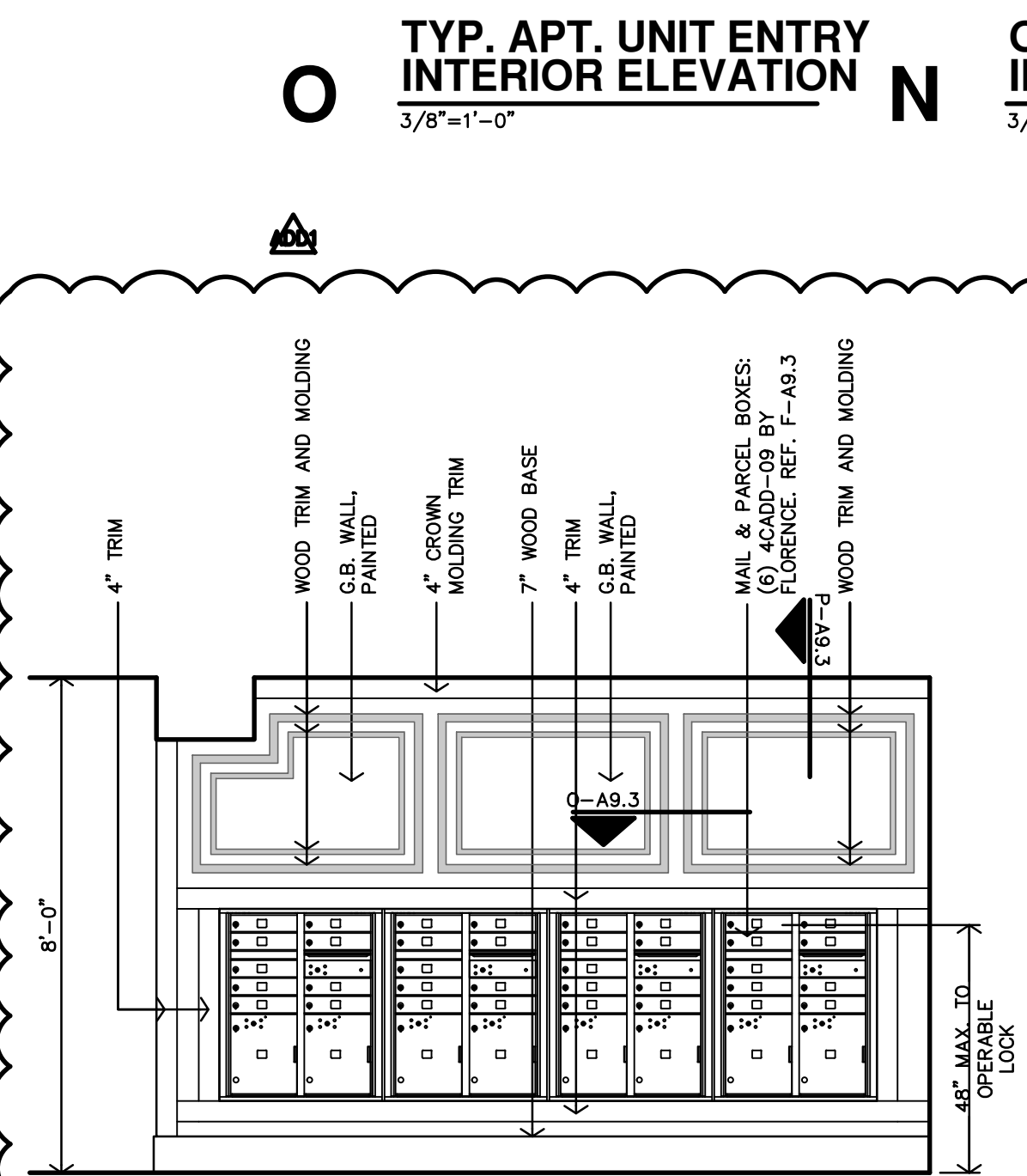
UNIT 2A BATH #06 INTERIOR ELEVATION
3/8"=1'-0"

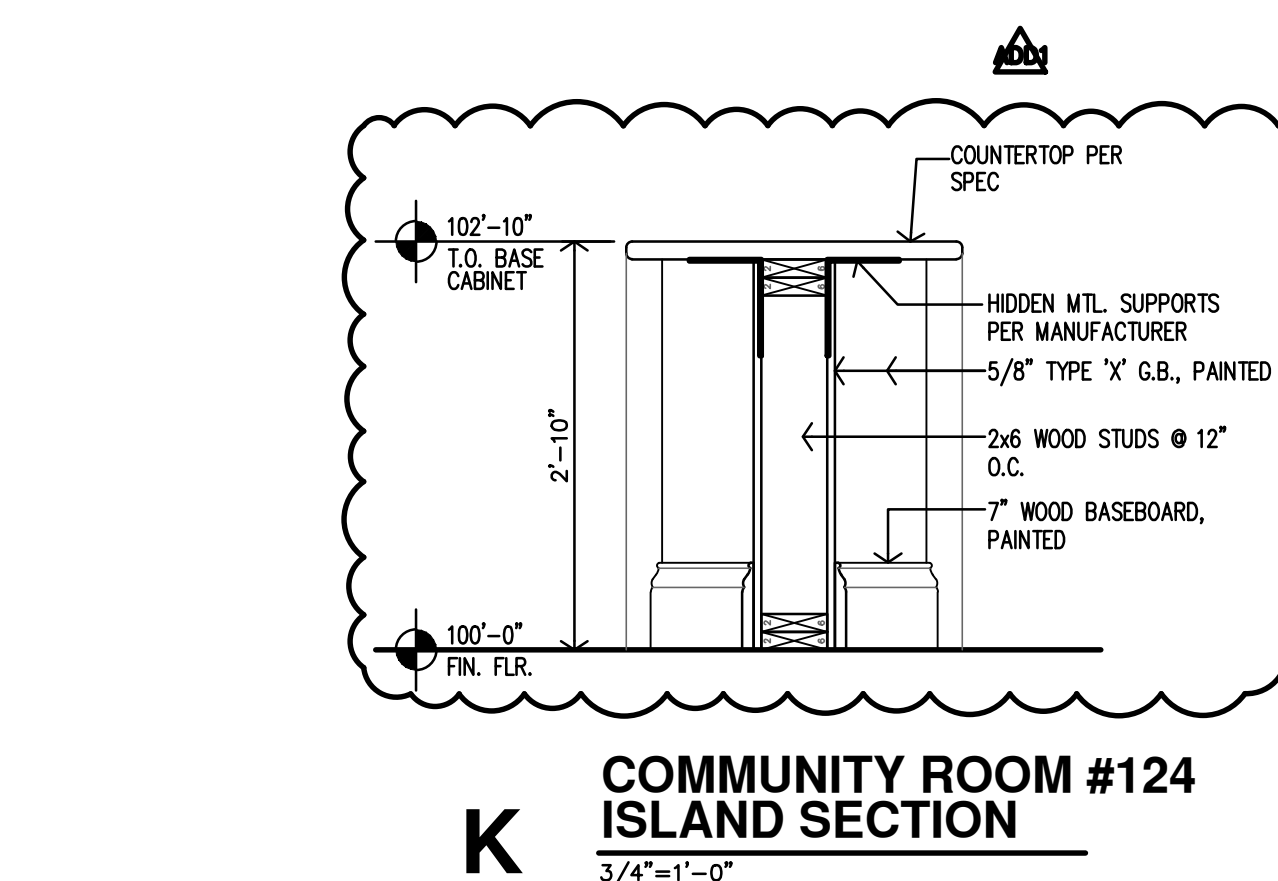
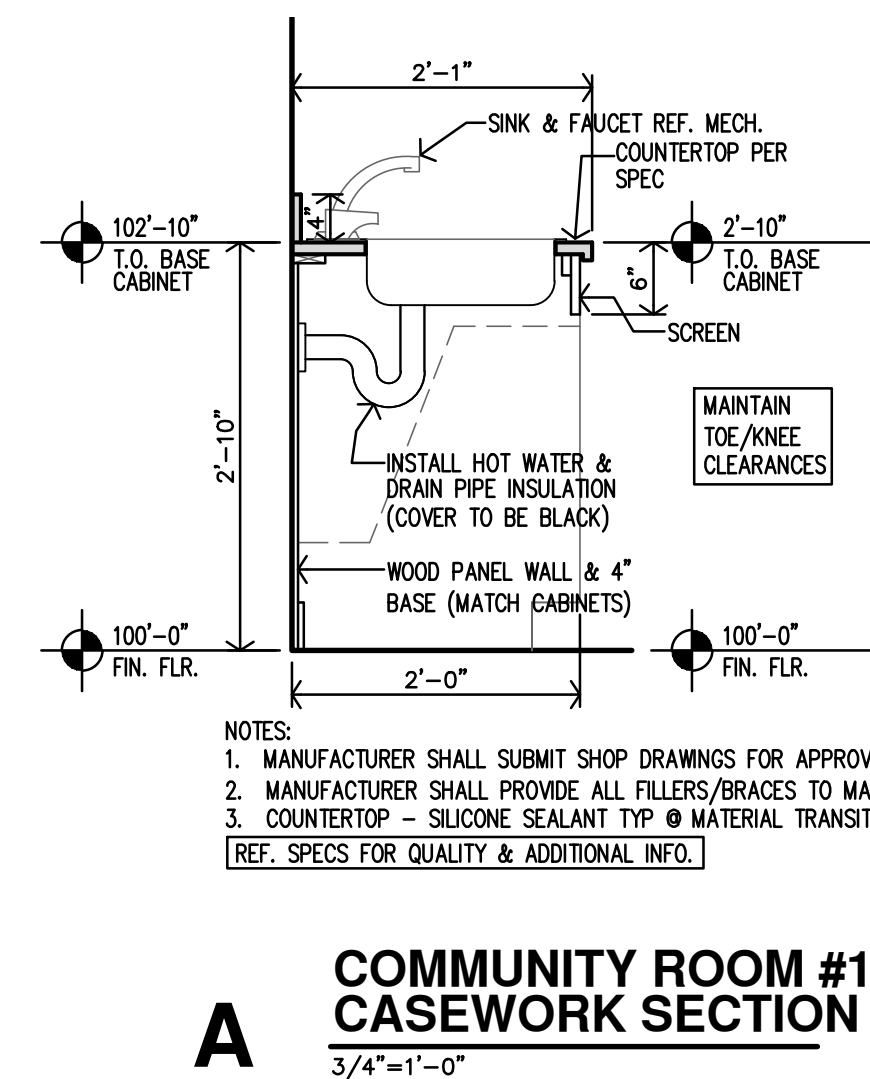
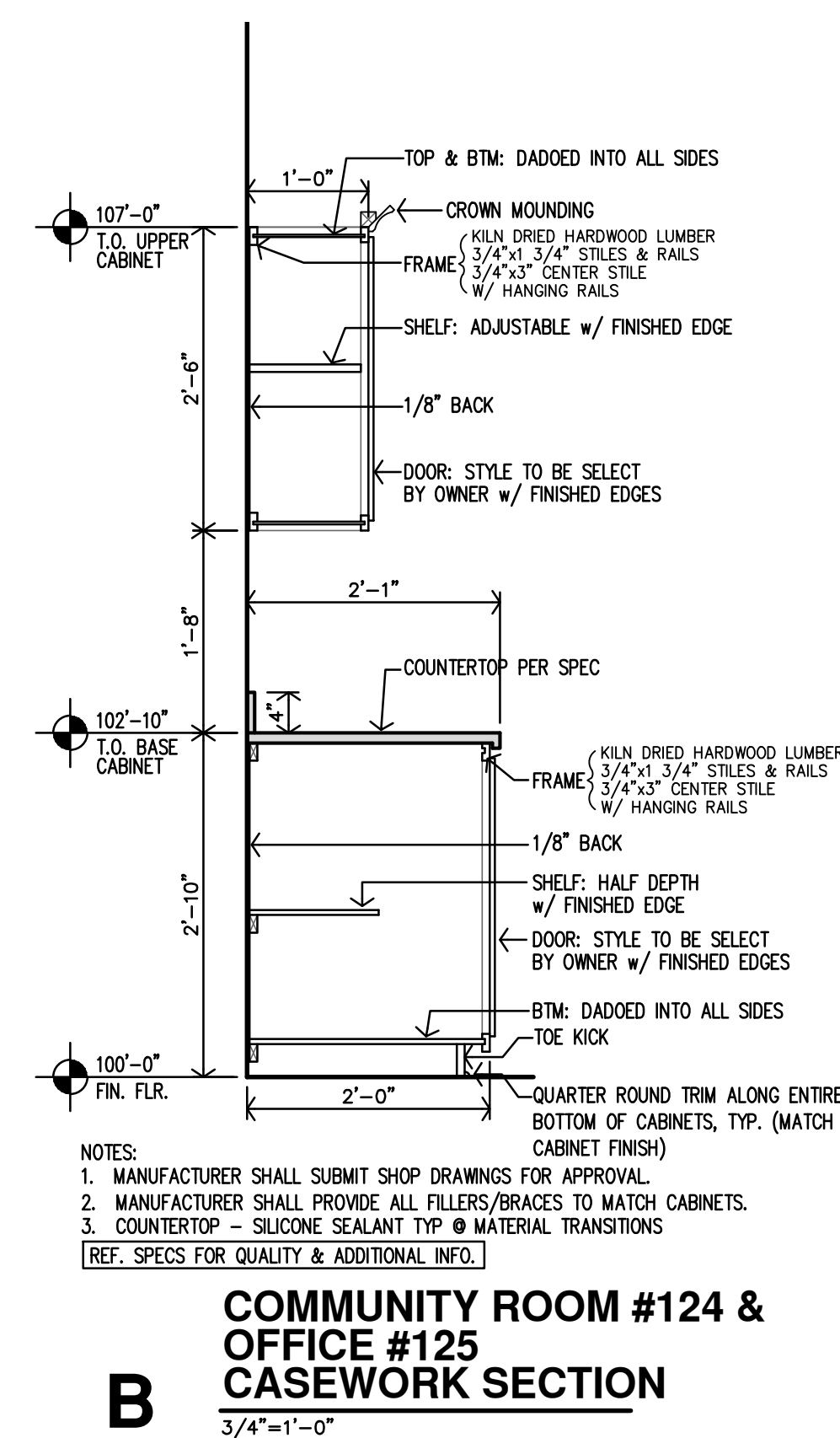
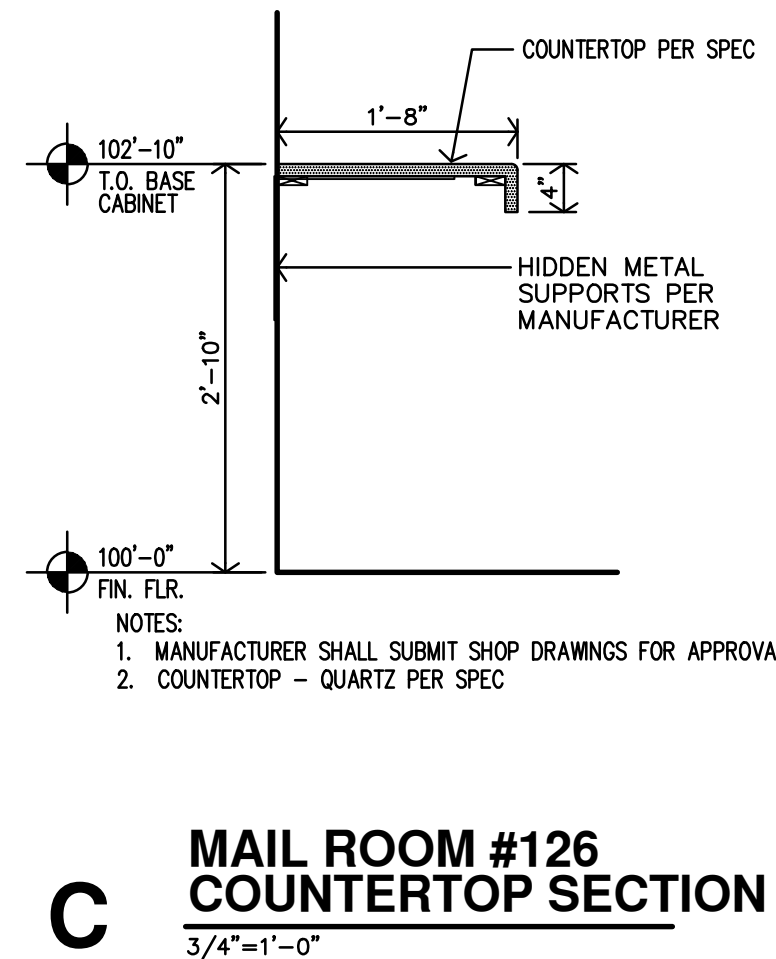
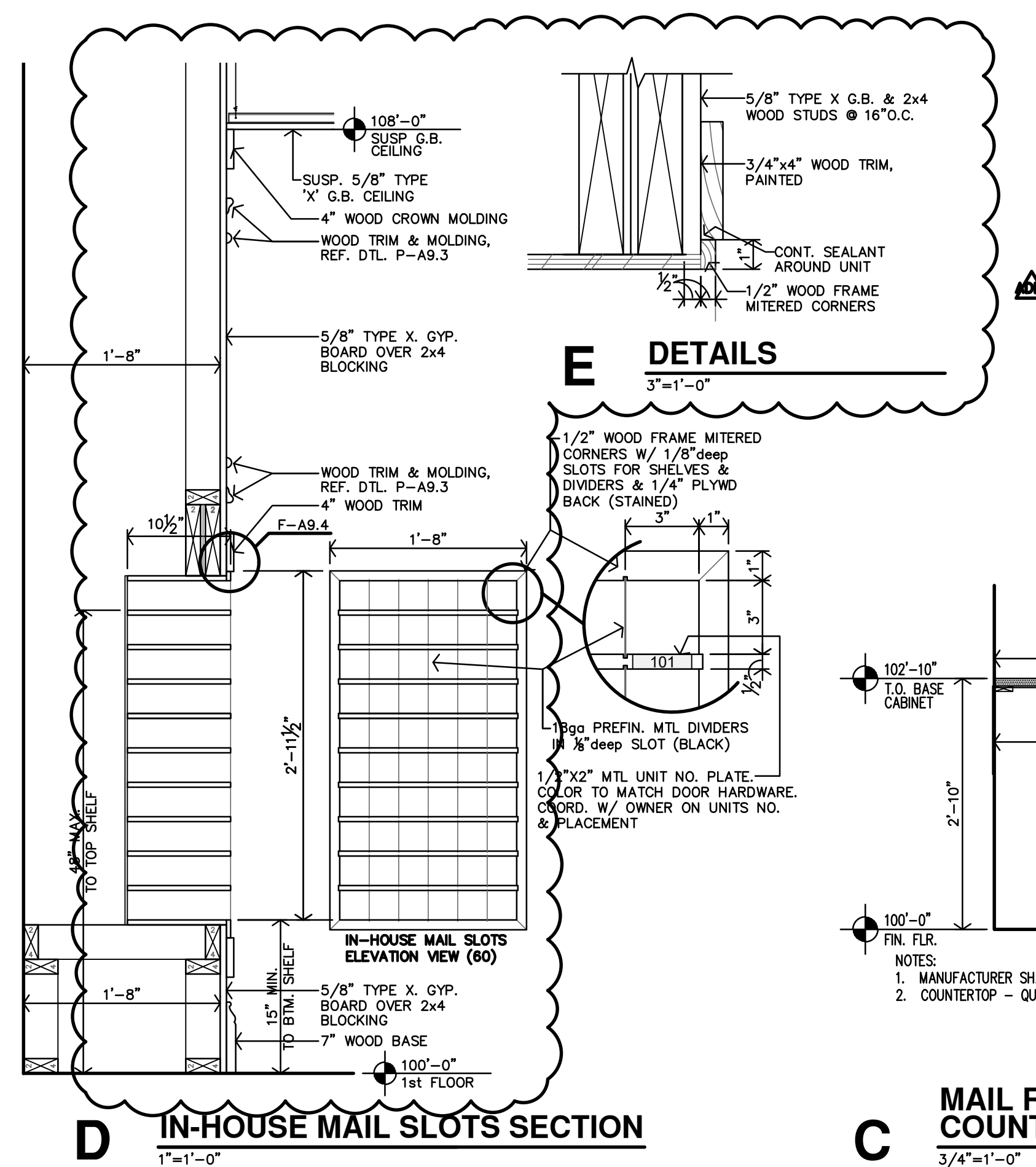
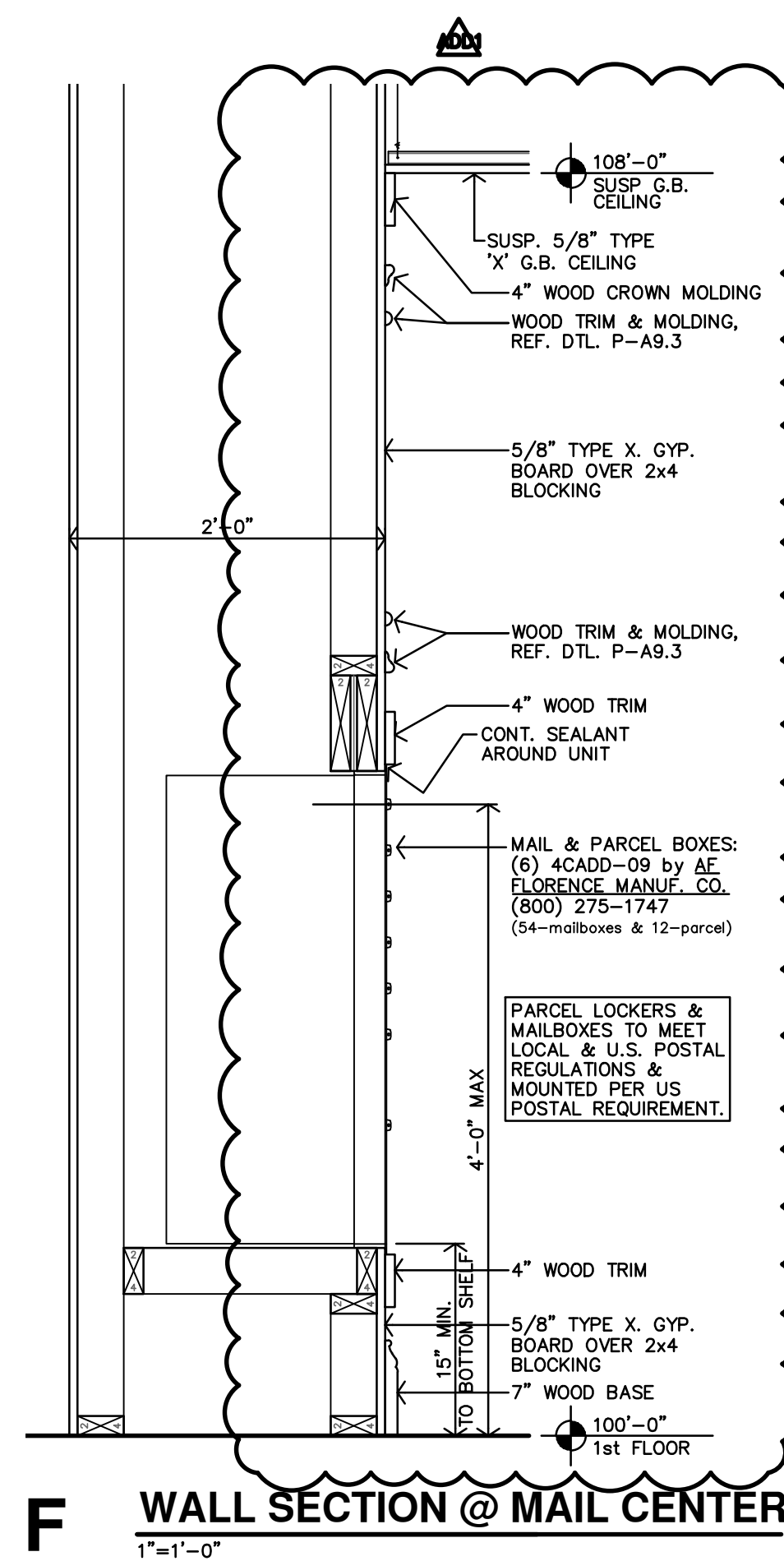
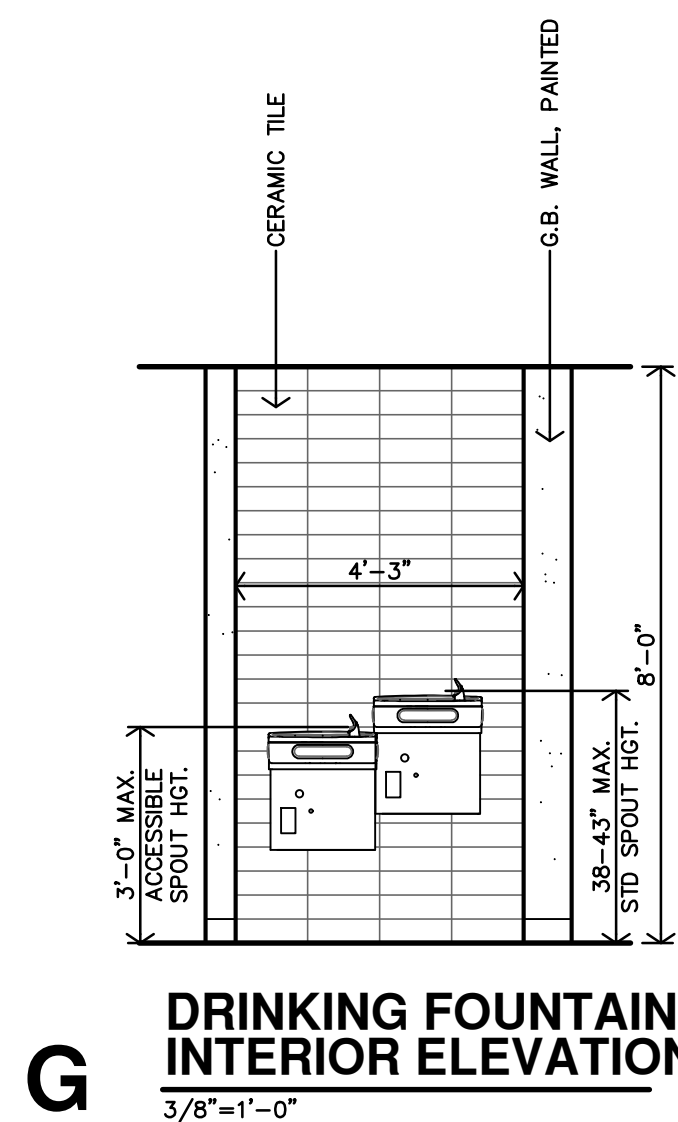
TYP. TUB/SHOWER SURROUND BLOCKING



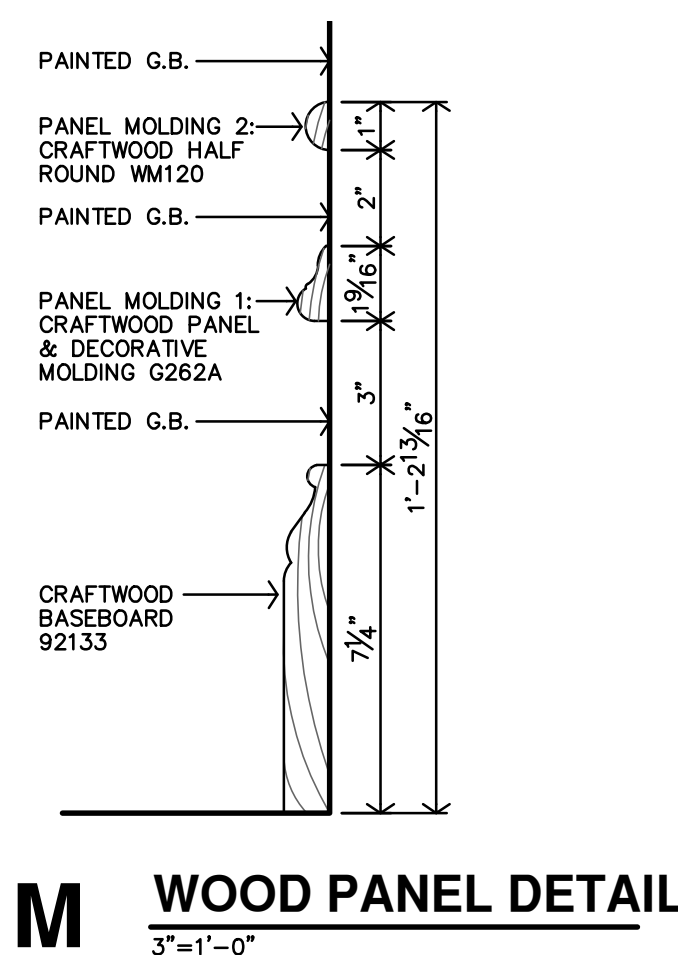
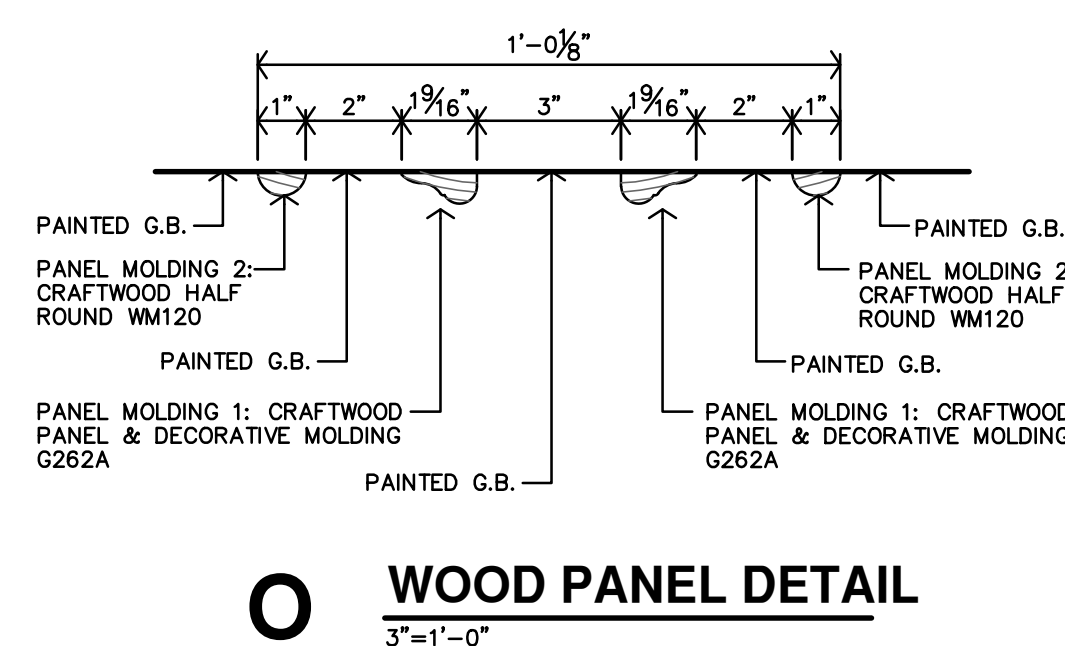
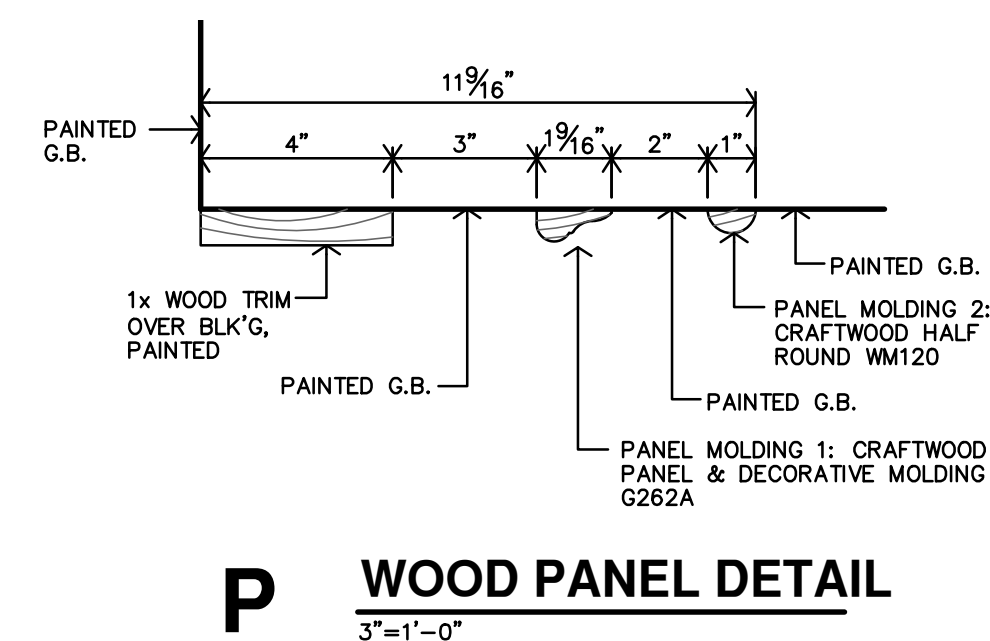
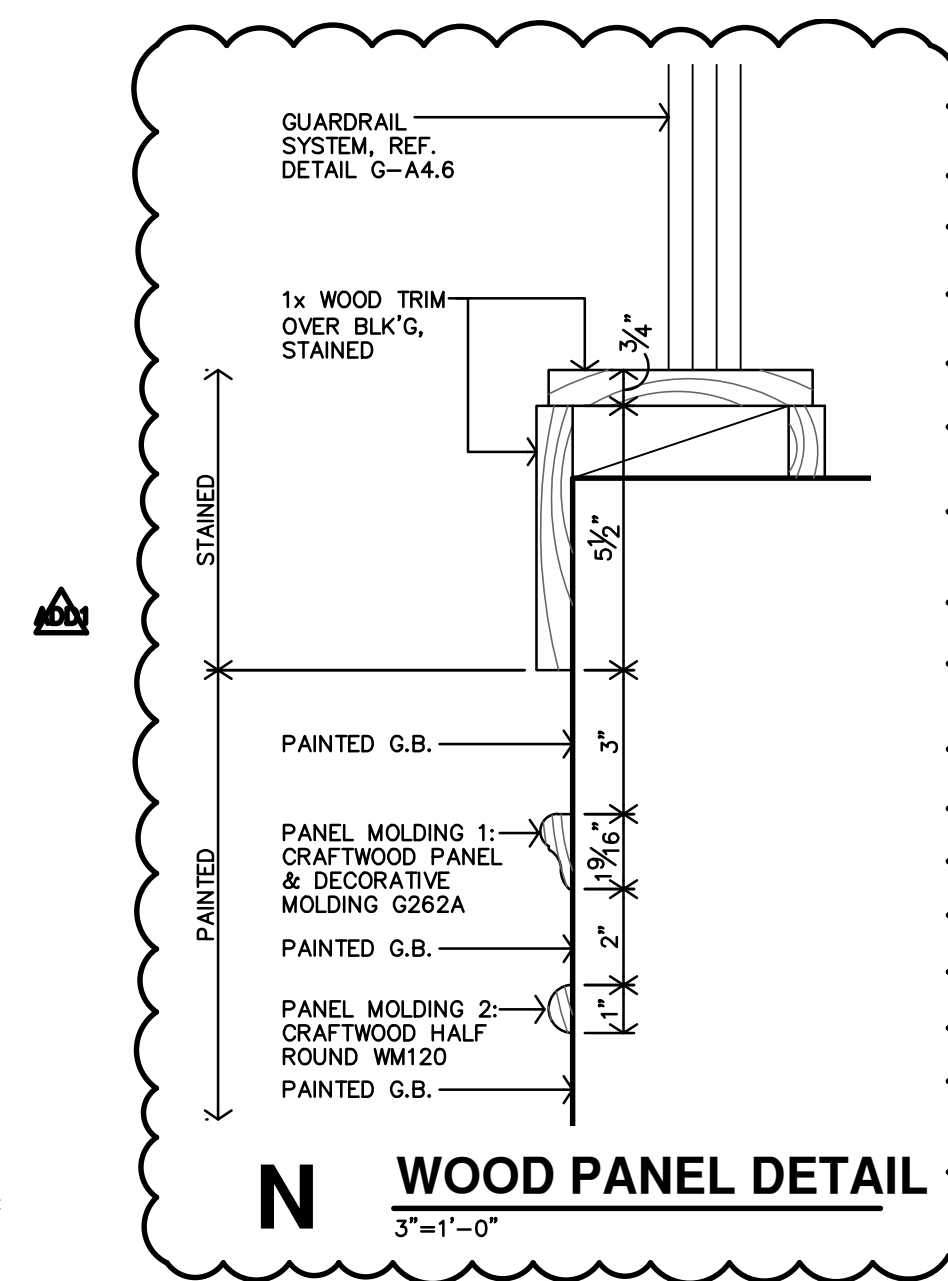
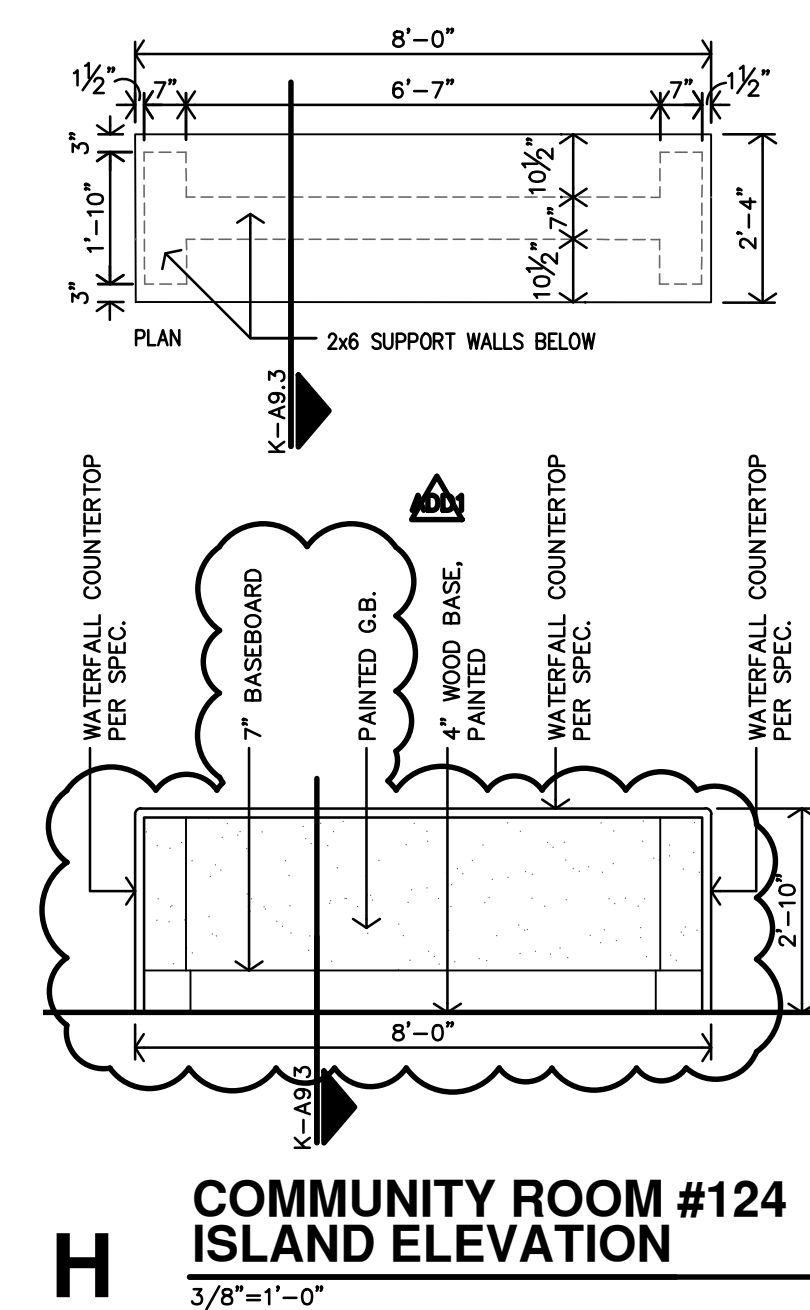


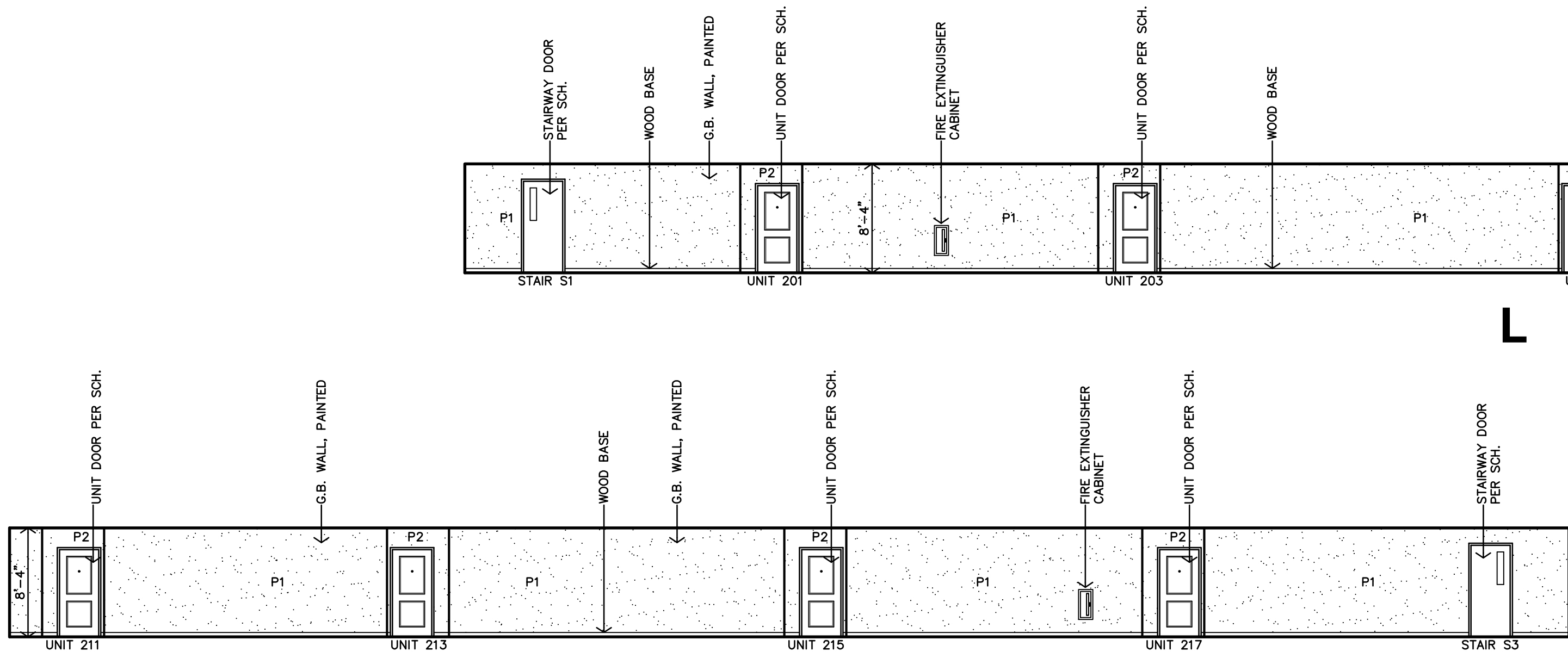
REFLECTED CEILING PLAN NOTES		
1. CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OR DISCREPANCY.		
2. MECHANICAL/ELECTRICAL FIXTURES @ RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.		
3. CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.		
4. WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B.		
NON-RATED WALLS - EXTEND TO BOTTOM OF FLOOR TRUSSES 1 HOUR LOAD BEARING WALLS - EXTEND TO DECK 2 HOUR CONSTRUCTION; SHAFT WALLS 1 HOUR FIRE PARTITION SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSUL., PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION. AT RATED WALLS.		
CEILING TYPES REFER SPECIFICATIONS		KEY NOTES
1 2x2 ACOUSTIC LAY-IN TILES & GRID		A FIRE RATED G.B. CEILING AT BOT. OF FRAMING TO BE CONTINUOUS
GB GYP BD (PAINTED)		B VALVES TO BE INSTALLED ABOVE SUSPENDED CEILING
SGB SUSPENDED GYP BD (PAINTED)		C ATTIC ACCESS. MIN. 20"x30". COORDINATE LOCATION W/ ROOF TRUSSES. REF. DTL. D-A4.4
M PREFIN. MTL. SOFFIT PANEL		D ROOF HATCH AND LADDER, PER SPEC. COORDINATE LOCATION W/ ROOF TRUSSES.
1 CLG. TYPE		
8'-8" CLG. HEIGHT		



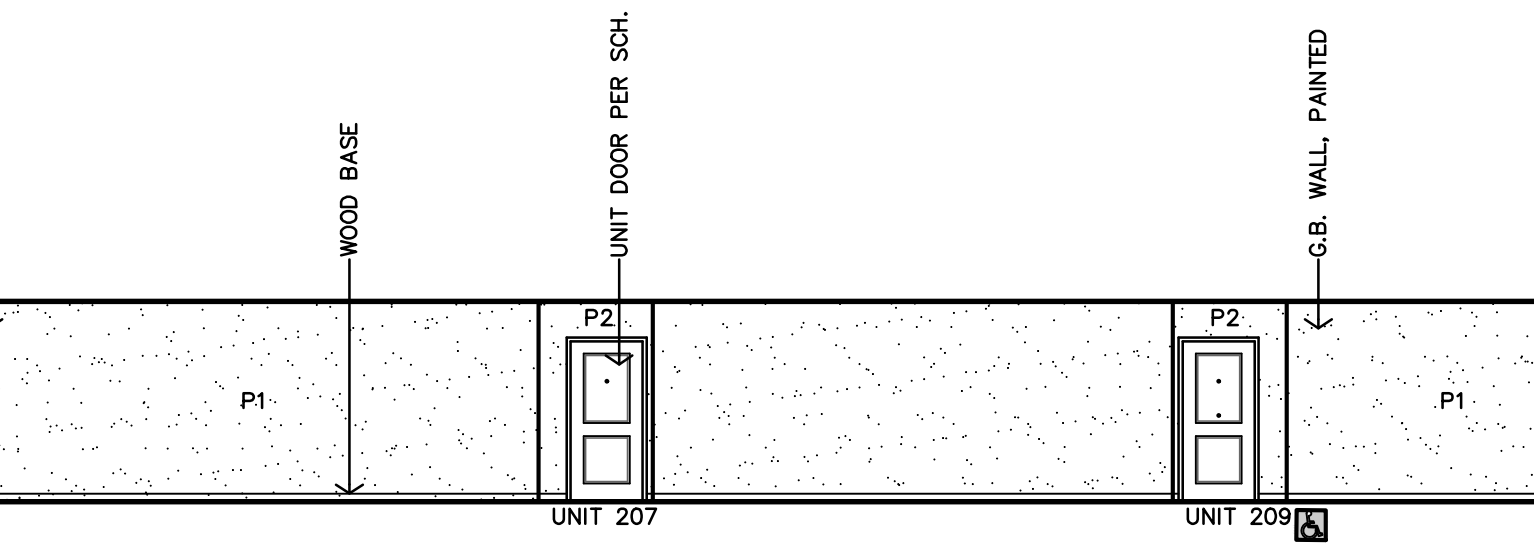


J **COMMUNITY ROOM #124**
ISLAND ELEVATION
3/8"=1'-0"

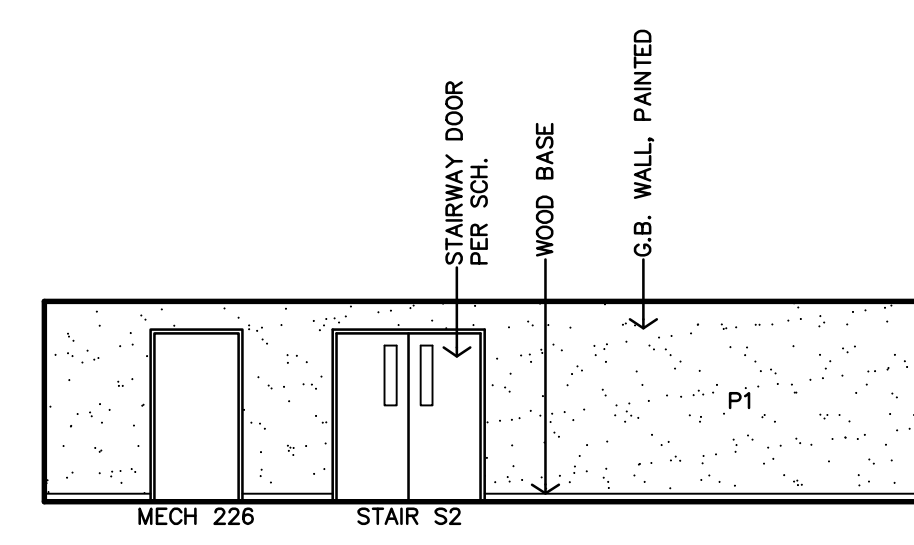




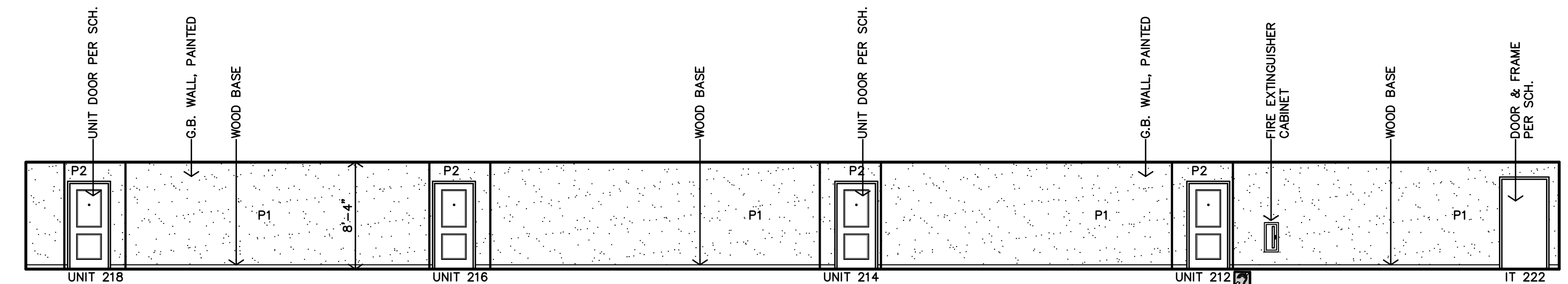
J **CORRIDOR #225 (NORTH) INTERIOR ELEVATION**
1/8"=1'-0"



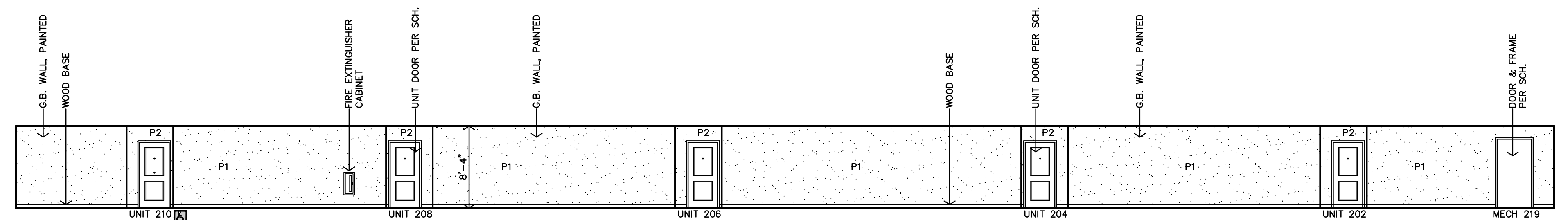
L **CORRIDOR #220 (NORTH) INTERIOR ELEVATION**
1/8"=1'-0"



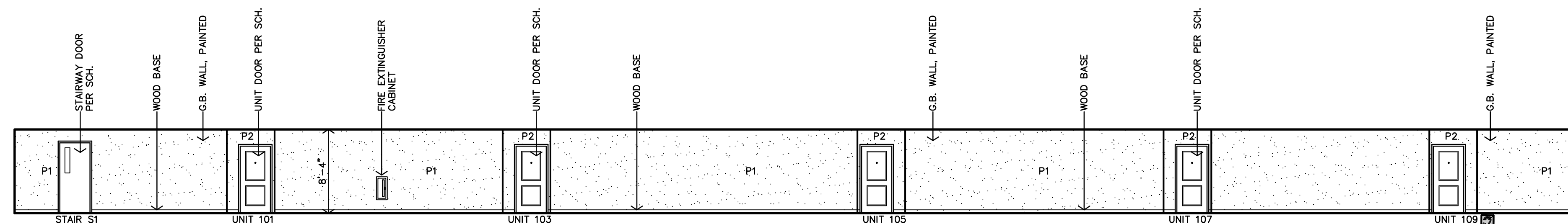
K **MEZZANINE #223 (NORTH) INTERIOR ELEVATION**
1/8"=1'-0"



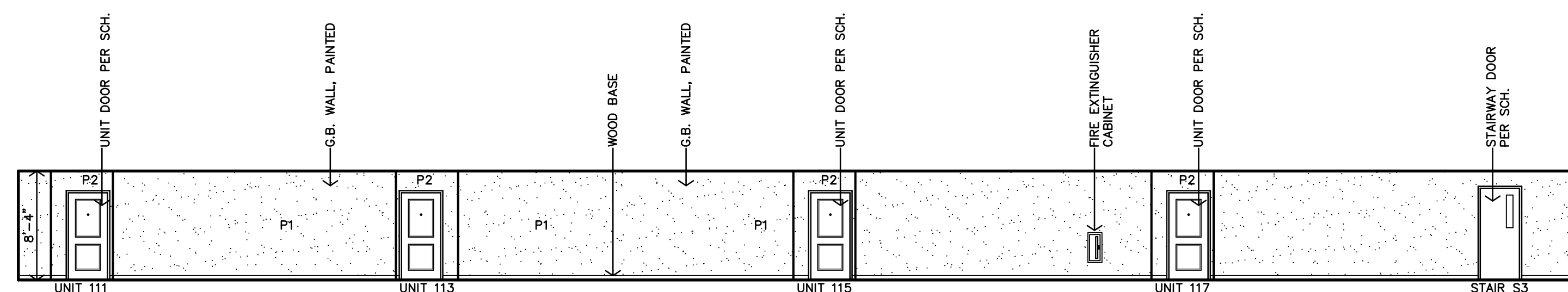
H **CORRIDOR #225 (SOUTH) INTERIOR ELEVATION**
1/8"=1'-0"



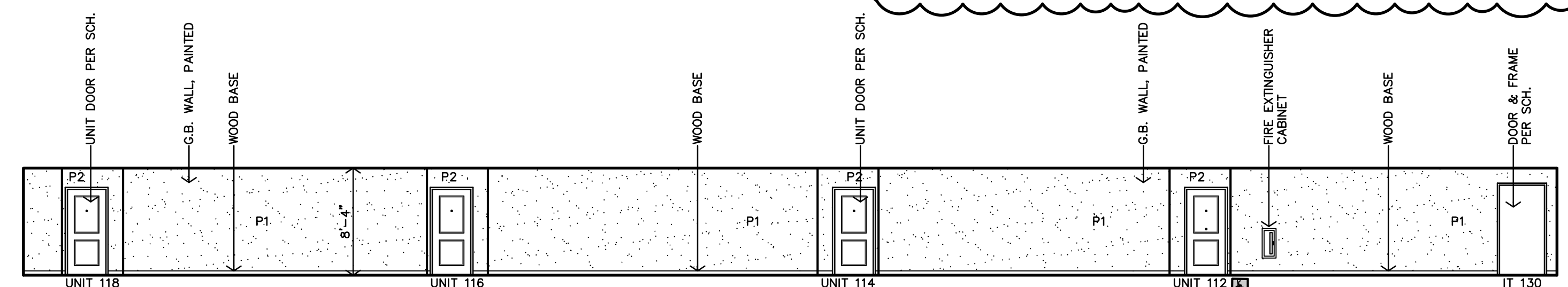
G **CORRIDOR #220 (SOUTH) INTERIOR ELEVATION**
1/8"=1'-0"



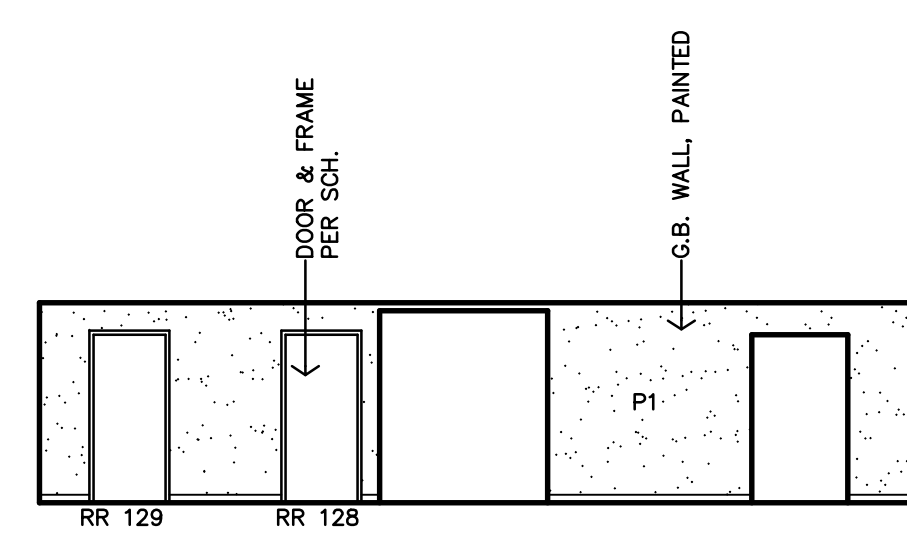
F **CORRIDOR #121 (NORTH) INTERIOR ELEVATION**
1/8"=1'-0"



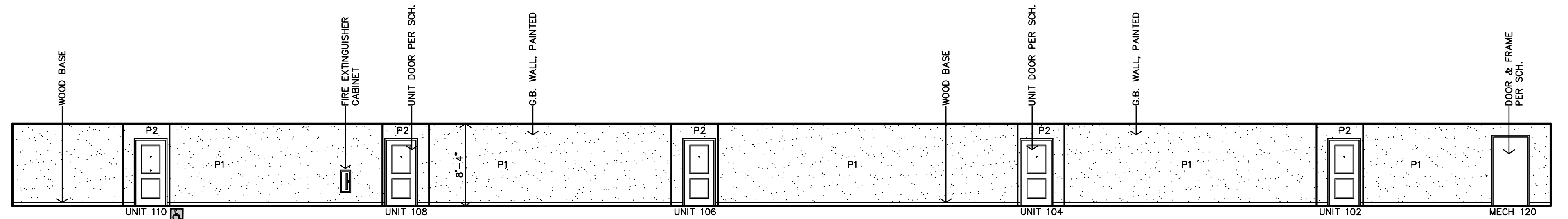
D **CORRIDOR #132 (NORTH) INTERIOR ELEVATION**
1/8"=1'-0"



C **CORRIDOR #132 (SOUTH) INTERIOR ELEVATION**
1/8"=1'-0"



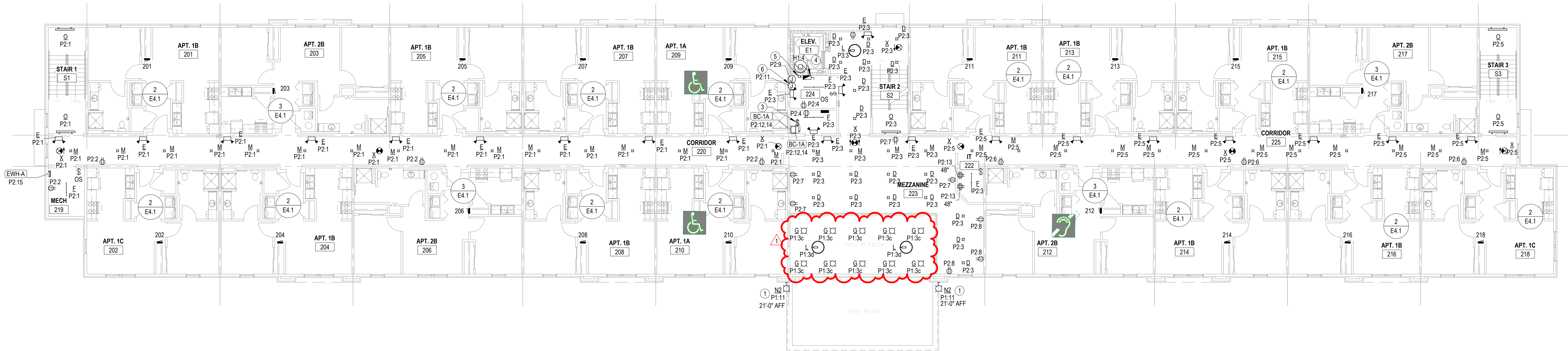
B **HALL #127 (SOUTH) INTERIOR ELEVATION**
1/8"=1'-0"



A **CORRIDOR #121 (SOUTH) INTERIOR ELEVATION**
1/8"=1'-0"

E **DETAIL NOT USED**

- NOTES BY SYMBOL**
- ROUTE CIRCUIT THROUGH CONTACTOR INDICATED.
 - 120V POWER FOR FIRE SPRINKLER SYSTEM FLOW SWITCH(ES) AND BELL. PROVIDE #8 CU BONDING JUMPER FROM CIRCUIT EQUIPMENT GROUNDING CONDUCTOR TO METAL SPRINKLER SYSTEM PIPING AT AN ACCESSIBLE LOCATION PER NEC 250.104(B). COORDINATE WORK WITH FIRE SPRINKLER SYSTEM INSTALLER.
 - PROVIDE 30A/2P, SINGLE THROW, MANUAL MOTOR CONTROLLER SNAP SWITCH IN NEMA 1 ENCLOSURE, HUBBELL #HBL7832D OR EQUAL. MAKE FINAL FLEXIBLE CONNECTION TO BLOWER COIL/ELECTRIC HEAT.
 - ELEVATOR POWER MODULE SWITCH: 400A/208V/3P SWITCH COMPLETE WITH 225A DUAL ELEMENT, TIME DELAY CLASS 'J' FUSES, 120V CONTROL TRANSFORMER, FIRE ALARM SAFETY INTERFACE RELAY, KEY TEST SWITCH, GREEN PILOT LIGHT, AUXILIARY CONTACTS FOR ELEVATOR RECALL, AND FIRE ALARM VOLTAGE MONITORING RELAY. EATON BUSSMAN #PS-4-T20-R1-K-G-B-F1 OR EQUAL. COORDINATE EXACT MOUNTING LOCATION AND REQUIREMENTS WITH ELEVATOR EQUIPMENT INSTALLER, AND PROVIDE FINAL ELECTRICAL CONNECTION TO ELEVATOR CONTROLLER. SEE DETAIL 1:E6.1.
 - 30A DISCONNECT SWITCH, LOCKABLE IN "OFF" POSITION, WITH SOLID NEUTRAL AND (1) 20A DUAL-ELEMENT, TIME DELAY FUSE IN NEMA 1 ENCLOSURE FOR ELEVATOR CAB LIGHTS & EXHAUST. MOUNT AT 6'-0" AFF TO TOP AND LABEL WITH CORRESPONDING ELEVATOR CAR NUMBER AND CIRCUIT NUMBER. COORDINATE EXACT MOUNTING LOCATION AND REQUIREMENTS WITH ELEVATOR EQUIPMENT INSTALLER. PROVIDE FINAL ELECTRICAL CONNECTION TO ELEVATOR CONTROLLER.
 - PROVIDE POWER FOR ELEVATOR SHUNT TRIP CONTROL. SEE 1:E6.1 FOR MORE INFORMATION.



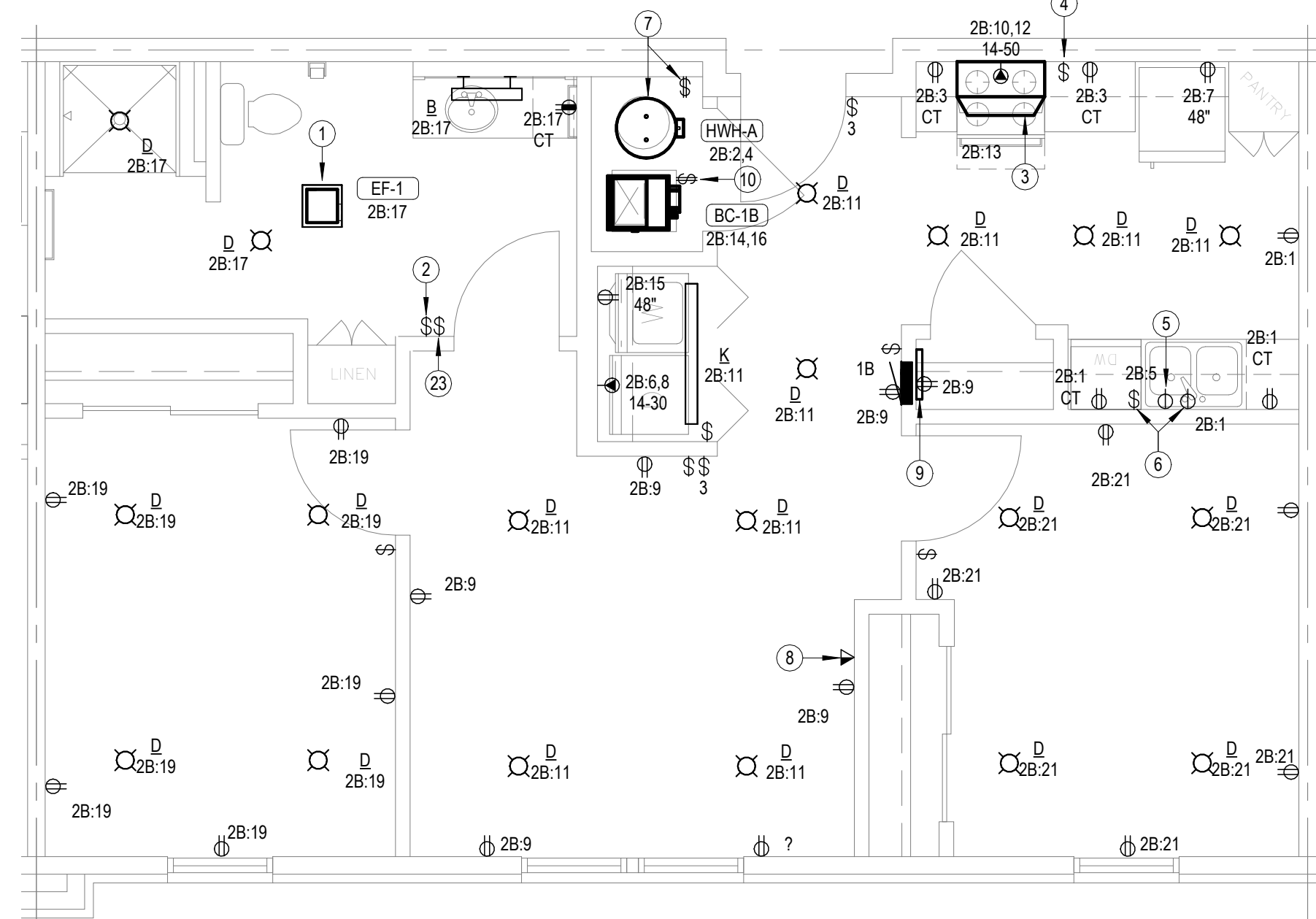
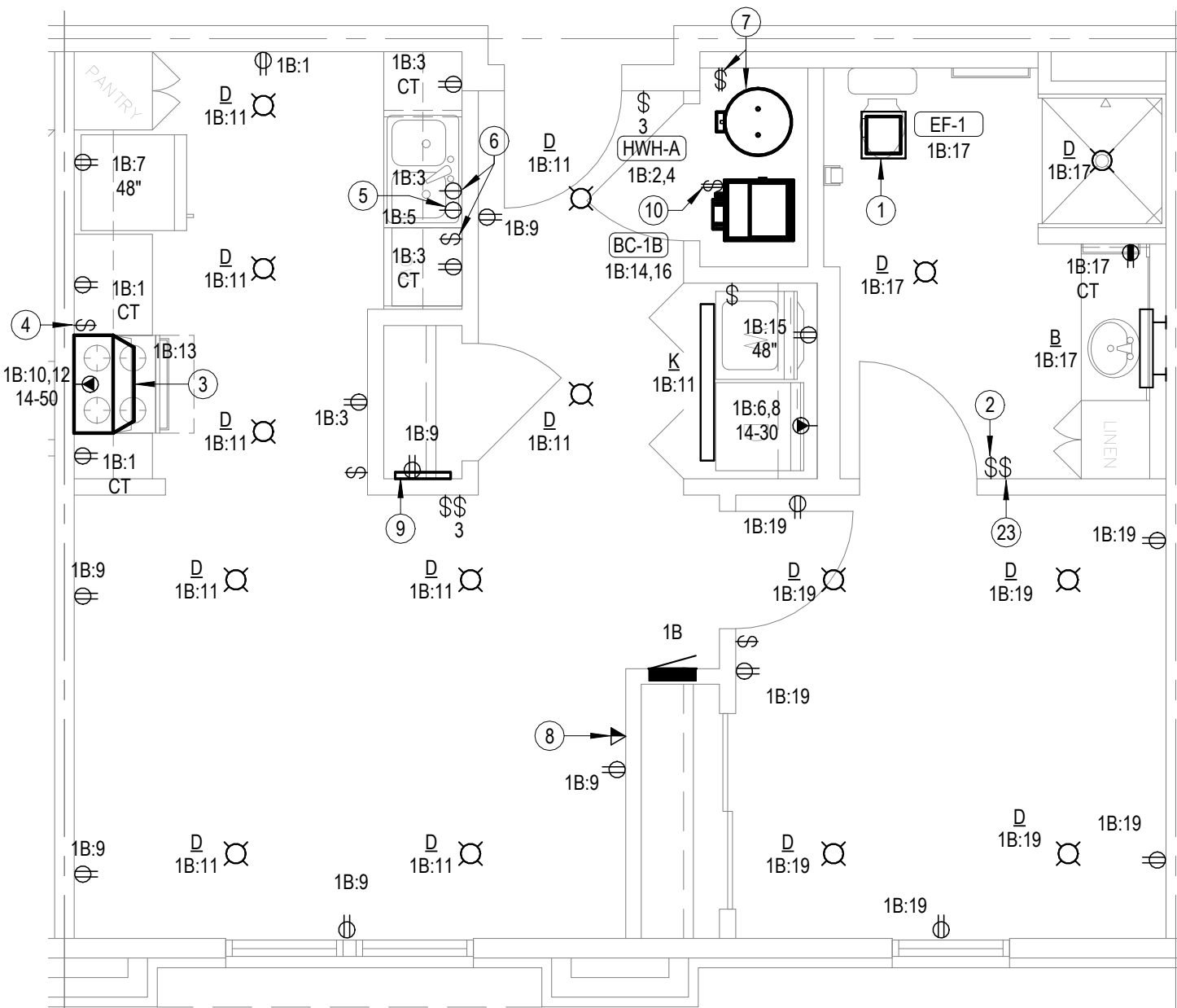
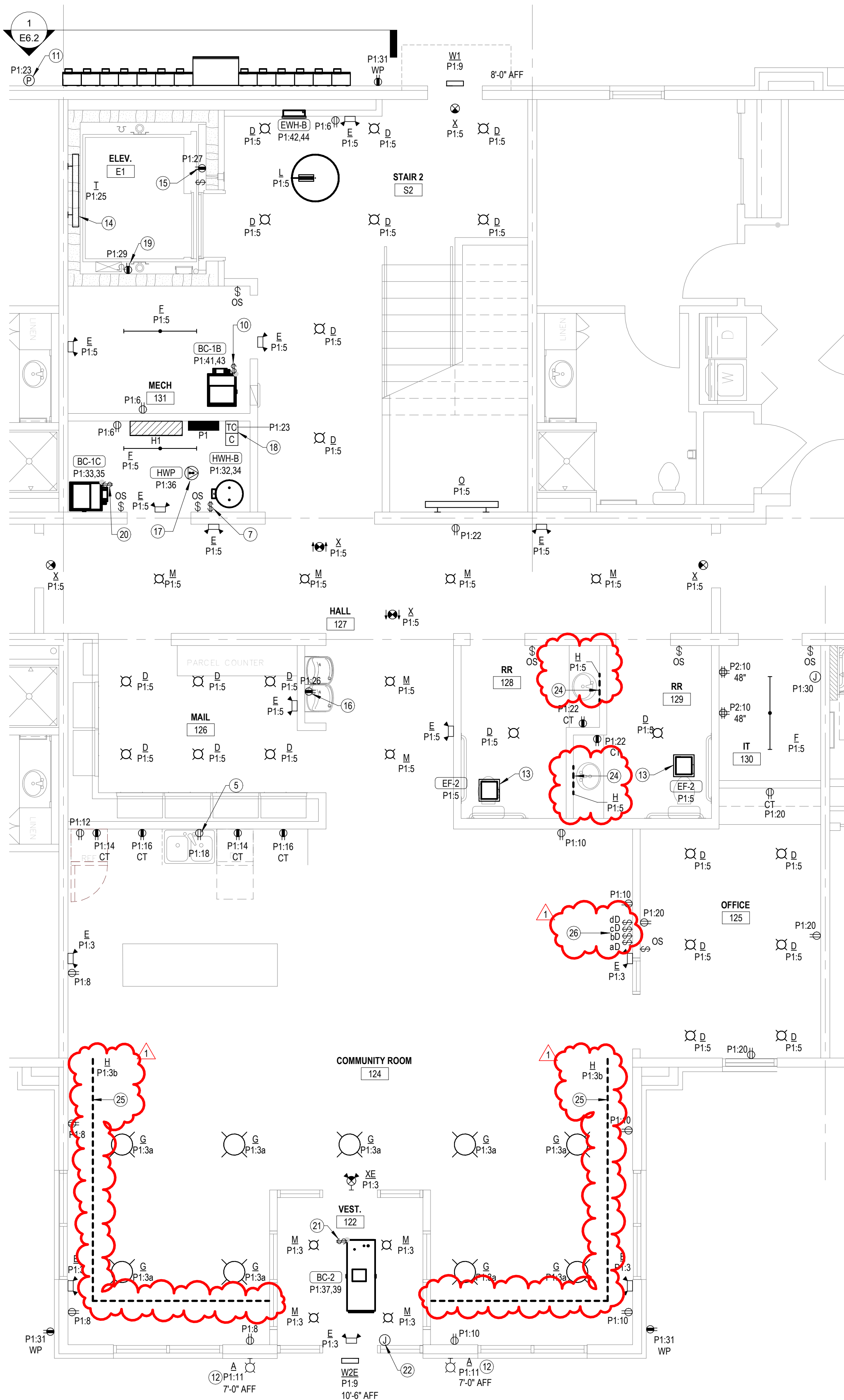


REVISIONS:
1 09-03-2025 ADDENDUM #1

DATE: 8-1-2025
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SHEET NO.:

NOTES BY SYMBOL

- CONNECT EXHAUST FANLIGHT PROVIDED BY MECHANICAL CONTRACTOR.
- SWITCH CLOSEST TO DOOR SHALL CONTROL ALL LIGHTS IN BATHROOM, AND THE OTHER SWITCH SHALL CONTROL THE EXHAUST FAN.
- PROVIDE 120V CONNECTION TO MICROWAVE/RANGE HOOD. STANDARD AND ADAPTABLE UNITS WILL HAVE MICROWAVE ABOVE RANGE. ACCESSIBLE UNITS WILL HAVE RANGE HOOD. COORDINATE EXACT ELECTRICAL ROUGH-IN REQUIREMENTS WITH EQUIPMENT PROVIDED. IF EQUIPMENT IS CORD AND PLUG, PROVIDE RECEPTACLE INSIDE CABINET ABOVE RANGE.
- PROVIDE SWITCH IN ACCESSIBLE UNITS FOR CONTROL OF RANGE HOOD.
- PROVIDE RECEPTACLE BELOW COUNTER FOR CORD AND PLUG CONNECTION OF DISHWASHER. PROVIDE CORD AND GROUNDING PLUG AS REQUIRED.
- SWITCHED RECEPTACLE BELOW COUNTER FOR GARBAGE DISPOSAL. COORDINATE EXACT LOCATION OF SWITCH WITH ARCHITECT.
- PROVIDE 30A/2P SNAP SWITCH AND CONNECT WATER HEATER. INSTALL SWITCH ADJACENT TO WATER HEATER.
- COORDINATE FINAL LOCATIONS OF ALL CATV AND PHONE OUTLETS WITH OWNER.
- TELECOM DISTRIBUTION DEVICE APPROXIMATELY 4'-0" AFF. COORDINATE EXACT REQUIREMENTS WITH UTILITY PROVIDER SELECTED BY OWNER.
- PROVIDE 40A/2P, SINGLE THROW, MANUAL MOTOR CONTROLLER SNAP SWITCH IN NEMA 1 ENCLOSURE. HUBBELL #HBL842D OR EQUAL. MAKE FINAL FLEXIBLE CONNECTION TO BLOWER COIL/ELECTRIC HEAT.
- PHOTOCELL FOR CONTROL OF EXTERIOR LIGHTS. SEE 2.E6.1 FOR MORE INFORMATION.
- ROUTE CIRCUIT THROUGH CONTACTOR INDICATED.
- SWITCH EXHAUST FAN WITH ROOM LIGHTS.
- INSTALL LUMINAIRE ON WALL OF ELEVATOR PIT/HOISTWAY.
- INSTALL RECEPTACLE ON WALL OF ELEVATOR PIT/HOISTWAY. VERIFY EXACT LOCATION WITH EQUIPMENT INSTALLER.
- COORDINATE EXACT MOUNTING LOCATION OF DRINKING FOUNTAIN RECEPTACLE WITH PLUMBING CONTRACTOR. WIRE FROM LOAD SIDE OF ADJACENT GFI RECEPTACLE TO PROVIDE GFI PROTECTION FOR DRINKING FOUNTAIN RECEPTACLE.
- ROUTE 120V CIRCUIT FOR HOT WATER RECIRCULATION PUMP THROUGH ADJACENT AQUASTAT. PROVIDE 20A/1P SNAP SWITCH ADJACENT TO PUMP AND MAKE FINAL FLEXIBLE CONNECTION. COORDINATE WITH PLUMBING CONTRACTOR.
- TIMECLOCK AND CONTACTORS FOR EXTERIOR LIGHTING CONTROL. RE: 2.E6.1.
- PROVIDE 120V POWER CONNECTION TO ELEVATOR SUMP PUMP ALARM PANEL AND 1" CONDUIT WITH PULL STRING STUBBED INTO ELEVATOR PIT FOR CONTROL CABLING. COORDINATE ALL WORK WITH PLUMBING CONTRACTOR.
- PROVIDE 50A/2P, SINGLE THROW, MANUAL MOTOR CONTROLLER SNAP SWITCH IN NEMA 1 ENCLOSURE. HUBBELL #HBL7852D OR EQUAL. MAKE FINAL FLEXIBLE CONNECTION TO BLOWER COIL/ELECTRIC HEAT.
- PROVIDE 60A/2P, SINGLE THROW, MANUAL MOTOR CONTROLLER SNAP SWITCH IN NEMA 1 ENCLOSURE. HUBBELL #HBL7862D OR EQUAL. MAKE FINAL FLEXIBLE CONNECTION TO BLOWER COIL/ELECTRIC HEAT.
- PREP DOOR JAMB WITH RACEWAY AS INDICATED IN DETAIL 3.E6.1 FOR AUTOMATIC DOOR OPENER. COORDINATE EXACT REQUIREMENTS WITH OWNER.
- PROVIDE TIMER SWITCH EQUAL TO AIR CYCLER "SMART EXHAUST" FOR CONTROL OF EXHAUST FAN. SET SWITCH PER MANUFACTURER'S INSTRUCTIONS TO OPERATE FAN AS INDICATED BELOW:
1 BEDROOM: 26 MINUTES PER HOUR
2 BEDROOM: 35 MINUTES PER HOUR
- INSTALL LED TAPE LIGHT BEHIND RESTROOM MIRROR. REFERENCE 'E.A8.1' FOR MORE INFORMATION. PROVIDE ALL REQUIRED COMPONENTS AND ACCESSORIES FOR COMPLETE INSTALLATION.
- INSTALL LED TAPE LIGHT IN CEILING COVE. REFERENCE 'W.A4.5' AND 'A.A7.1' FOR MORE INFORMATION. PROVIDE ALL REQUIRED COMPONENTS AND ACCESSORIES FOR COMPLETE INSTALLATION.
- PROVIDE PRESET SLIDE DIMMER COMPATIBLE WITH ASSOCIATED LIGHT FIXTURES. SEE 2.E1.1 FOR FIXTURES TO BE CONTROLLED BY SWITCHES 'C' AND 'D'.



1 **ENLARGED ELECTRICAL PLAN-COMMONS**
1/4" = 1'-0"

2 **ENLARGED ELECTRICAL PLAN-1 BEDROOM**
1/4" = 1'-0"

3 **ENLARGED ELECTRICAL PLAN-2 BEDROOM**
1/4" = 1'-0"



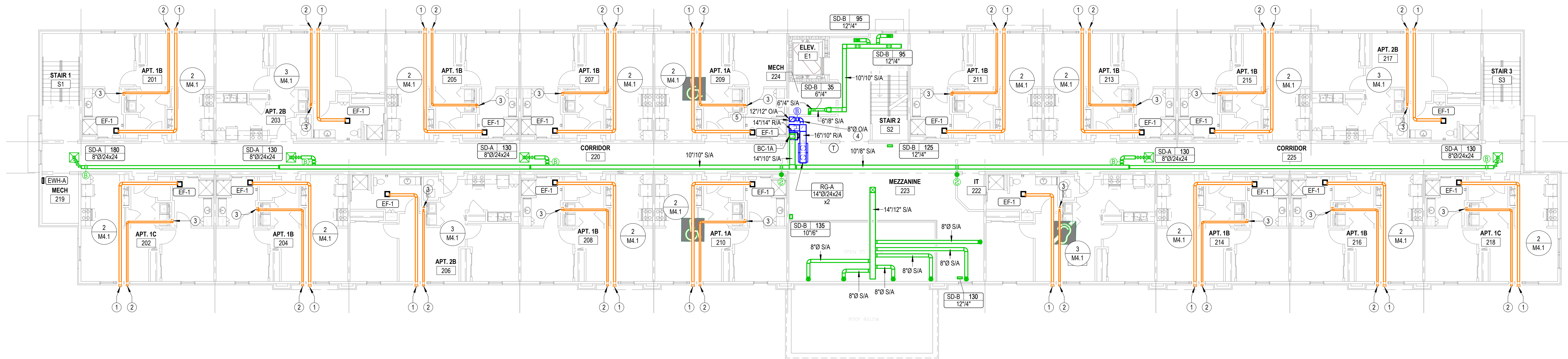
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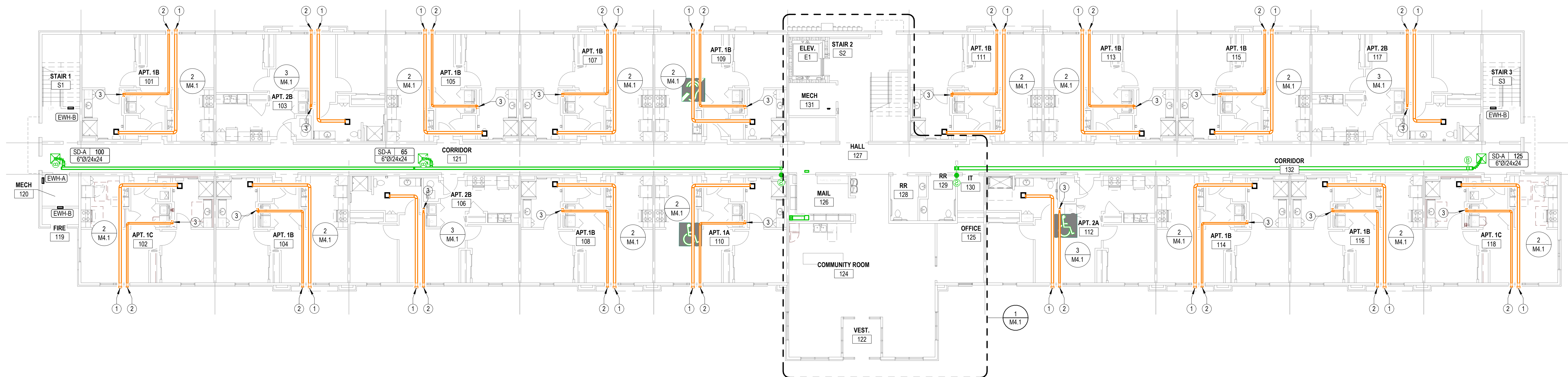
M1.1

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- NOTES BY SYMBOL**
- ROUTE 6"Ø EXHAUST DUCT TO MANUFACTURER'S WALL CAP WITH BACKDRAFT DAMPER AND BIRD SCREEN, COORDINATE FINAL LOCATION WITH ARCHITECT.
 - 4" DRYER DUCT, SEE ENLARGED PLANS FOR MORE INFORMATION. COORDINATE FINAL LOCATION OF WALL CAP WITH ARCHITECT.
 - PROVIDE UL LISTED DRYER BOX EQUAL TO IN-O-VATE TECHNOLOGIES IN WALL INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND ROUTE 4"Ø DRYER EXHAUST DUCT TO WALL CAP WITH BACKDRAFT DAMPER. SEE OVERALL MECHANICAL PLANS FOR UNIT SPECIFIC ROUTING. MAXIMUM ALLOWABLE EQUIVALENT DUCT LENGTH = 35'. UTILIZE LONG RADIUS SMOOTH ELBOWS WHERE REQUIRED. MAXIMUM EQUIVALENT DUCT LENGTH MAY BE INCREASED WHERE DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS ALLOW, AND DOCUMENTATION IS PROVIDED TO CODE OFFICIAL PRIOR TO CONCEALMENT INSPECTION. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT PROVIDED. PROVIDE PERMANENT LABEL IDENTIFYING EQUIVALENT LENGTH OF DRYER DUCT INSTALLED PER IMC 504.
 - NOTE: ANNULAR SPACE AROUND DUCT IS TO BE SEALED AT ALL PENETRATIONS OF FLOORS AND CEILINGS WITH U.L. LISTED FIRE STOPPING SYSTEM.
 - CONNECT O.A. DUCT TO RISER AS HIGH AS POSSIBLE AND ROUTE TO RETURN AIR DUCT WORK AND BALANCE AS FOLLOWS:
1ST FLOOR BC-1C: 200 CFM
1ST FLOOR BC-1B: 105 CFM
2ND FLOOR BC-1A: 110 CFM
2ND FLOOR BC-1F: 116 CFM
 - ROUTE O.A. DUCT DOWN THROUGH RATED SHAFT, PROVIDE FIRE DAMPER AT EACH LEVEL WHERE O.A. BRANCH DUCT PENETRATES SHAFT WALL.



SECOND FLOOR-HVAC PLAN
3/32" = 1'-0"



FIRST FLOOR HVAC PLAN
3/32" = 1'-0"

