



**Jones Gillam Renz Architects**

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**NOTICE TO ALL CONTRACTORS AND SUB-CONTRACTORS**

**September 12, 2025**

**CKMHC – Children Services, Building Renovation – JGR Proj #24-3459**

**ADDENDUM NO. 1**

YOU ARE INSTRUCTED TO READ AND TO NOTE THE FOLLOWING DESCRIBED CHANGES, CORRECTIONS, CLARIFICATIONS, OMISSIONS, DELETIONS, ADDITIONS, APPROVALS, AND STATEMENTS PERTINENT TO THE CONTRACT AND CONSTRUCTION DOCUMENTS. THIS ADDENDUM IS A PART OF THE CONTRACT AND CONSTRUCTION DOCUMENTS AND SHALL GOVERN IN THE PERFORMANCE OF THE WORK.

**Bid Date:** *Thursday, September 18, 2025 to JGR Architects by 2:00 pm*

**GENERAL**

1. The Pre-Bid Sign In Sheet is attached.
2. An updated Bid Form is attached with the addition of Alternates 4 and 5.
3. Please ensure that the Structural drawings in your set are sealed. The drawings on the JGR Plan Room were not sealed on the first day after being loaded. Sealed drawings were loaded immediately after discovering. Please confirm your structural drawings are sealed.
4. Existing textured ceilings contain asbestos. The owner is working to have that removed prior to construction. All asbestos containing material shall be removed prior to contractor being on site.

**ARCHITECTURAL –Specifications**

1. Section 01030 Alternate. Updated to include Alternates 4 and 5.
2. Section 72726 Fluid Applied, Vapor-Permeable Membrane Air Barriers. Include WR Meadows as an approved Manufacturer for bidding Purposes.

**ARCHITECTURAL – Drawings**

1. Sheet D2.1, Demolition Plan- All existing lay-in ceiling at the basement and first floor shall be removed by the contractor. Remove all components including light fixtures, duct, wiring, etc., as required for preparation of new construction.
2. Sheet D2.1 Demolition Plan- All existing flooring shall be removed throughout the building and preparation of existing floor shall be performed by the contractor for installation of new flooring.
3. Sheet A2.1 Floor Plans. Furred Partition type F2 shall include unfaced batt insulation at the interior side.
4. Sheet A7.1 Reflected Ceiling Plans. Spray-on Acoustic Finish material shall be installed above all open and semi-open ceilings. This includes Open Office 129, Open Office 131, and Group Therapy Rooms B6, B9, B16, and B17.
5. Sheet A7.1 Details G and J. The spray-on acoustic finish shall be installed at the flat underside of the concrete tees. The vertical face of the Tees and underside of the tees shall be painted. Reference revised sheet A7.1.
6. Sheet 8.1 Enlarged Plan. Updated to include Equipment Room 110.
7. Sheet 9.3 Casework Sections. Eliminate wood base on the schedule. Rubber base throughout.
6. Sheet A10.1 Door Schedule. Reference Door Schedule to include Doors B20 and B25. Door 137 shall be Hollow Metal in lieu of wood.
7. Sheet A10.1 Interior Finish Schedule. Reference Revised Interior Finish Schedule.
  - a. Eliminate Wood Base throughout. Rubber Base shall be installed throughout.
  - b. Room finish clarifications – for reference, Drawing sheet A2.2 does identify correct finishes.
8. Code Footprint. For Clarification, The entire building is to be sprinkled. The Attic Sprinkler shall be dry type system. For bidding purposes, assume the new fire service line to be 6".

**ELECTRICAL – Drawings**

1. Sheet E5.1 Details. Revised service lateral conduit size on one-line diagram to 4" trade size.

Receipt of this Addendum shall be noted on the Bid Form.

**END OF ADDENDUM NO. 1**

**Attachments**

Pre-Bid Sign In Sheet, Bid Form  
Section 01030  
Sheets CFP, D2.1, A2.1, A7.1, A8.1, A9.3, A10.1, E5.1

| Name             | Company              | General Contractor (X) | Sub-Contractor Trade | Phone Number | Email Address                  | Email Address where Bid Information is to be sent         |
|------------------|----------------------|------------------------|----------------------|--------------|--------------------------------|-----------------------------------------------------------|
| Larry Martin     | Street Plbg          |                        | plbg-hvac            | 785 524 4557 | estimator@streetplbg.com       | estimator@streetplbg.com                                  |
| Jon Vesper       | Street Plbg          |                        | Plbg                 | 785 524 4557 | estimator@streetplbg.com       | estimator@streetplbg.com                                  |
| Dave Sharp       | Callabresi           |                        | HVAC                 | 785-829-0327 | dsharp@callabresi.com          | dsharp@callabresi.com                                     |
| Chad McClain     | Boretec              |                        | Utilities            | 785-819-6685 | chad@boretec.com               | ←                                                         |
| Jarrod Retzlaff  | Accurate Electric    |                        | electric             | 785-829-6257 | jarrod@accurateelectric.com    | jarrod@accurateelectric.com or billy@accurateelectric.com |
| Ken McDonald     | Ponten Const         | X                      | General              | 785-820-1088 | Arch@Ponten.com                | Arch@Ponten.com                                           |
| Dustin Pestinger | Pestinger Htg/HVAC   |                        | HVAC                 | 785-527-6361 | dustin@pestingerhvac.com       | Same                                                      |
| Creighton Faber  | Ryan Roofing         |                        | Roofing/Gutter       | 785-342-9817 | Creighton.Ryan@ryanroofing.com | Same                                                      |
| GARY SCHOOLEY    | LANDSCAPE CONSULTING |                        | LANDSCAPE            | 785-565-1160 | gschooley@lcsalina.com         | Same                                                      |
| BILL SHIPLEY     | HARBIN CONST.        | X                      |                      | 785-493-2741 | bill@harbinconstruction.com    |                                                           |
| Bryson Flax      | Ryan Roofing         |                        | Roof/Gutter          | 785-201-2924 | bflax.ryanroofing@outlook.com  | Same                                                      |
| BARRY COFFEE     | 4 SEASONS            |                        | Plumbing             | 785-263-2922 | ablenet@seasonsinc.com         | @outlook.com                                              |
| ERIC HOLMGREN    | PRECISION            |                        | ELECTRICAL           | 785-820-7977 | erich@pecsalina.com            | SAME                                                      |
| JASON GILLIG     | HUTTON               | X                      | E.C.                 | 785 825 4664 | jgillig@huttondailys.com       |                                                           |
| Alan Barker      | JAE's Electric LLC   |                        | Electrical           | 407-927-8372 | abarker@jaeselectric.com       |                                                           |
|                  |                      |                        |                      |              |                                |                                                           |
|                  |                      |                        |                      |              |                                |                                                           |
|                  |                      |                        |                      |              |                                |                                                           |
|                  |                      |                        |                      |              |                                |                                                           |

# CKMHC – Children Services Building Renovation, Salina, Kansas BID FORM

Bid of \_\_\_\_\_  
(Firm Name)  
Date \_\_\_\_\_

BID FORM FOR:  
CKMHC – Children Services  
Building Renovation, Salina, Kansas

TO: Glenna Phillips  
**Central Kansas Mental Health Center**  
809 Elmhurst Blvd.  
Salina, KS 67401

In compliance with your INVITATION TO BID, the undersigned proposes to furnish all labor and materials and perform all work for the General Construction, including Mechanical and Electrical Work, incidental for the construction and equipping of CKMHC – Children Services, Building Renovation, Salina, Kansas, in strict accordance with the Specifications and the Drawings dated August 18, 2025, mentioned therein for the consideration of the following:

**BASE BID** \_\_\_\_\_ **Dollars**

\$ \_\_\_\_\_

**The Base Bid includes all allowances as outlined in Section 01019 – Special Provisions.**

Number of consecutive Calendar Days to complete this project in accordance with Drawings and Specifications, to be coordinated with General Contractor and subject to Liquidated Damages,

Section 01019 - SPECIAL PROVISIONS -- \_\_\_\_\_ **DAYS**

The Undersigned acknowledges receipt of the following addenda:

Addendum #1 \_\_\_\_\_ Addendum #2 \_\_\_\_\_ Addendum #3 \_\_\_\_\_ Addendum #4 \_\_\_\_\_ Addendum #5 \_\_\_\_\_

ALTERNATE PRICES: For the Alternates as described in the Specifications and/or Drawings, the undersigned agrees to ADD or DEDUCT the following amounts to or from the BASE BID as hereinafter itemized:

| <u>ALTERNATE NO.</u> | <u>ADD/DEDUCT</u> |
|----------------------|-------------------|
|----------------------|-------------------|

|                                                              |          |
|--------------------------------------------------------------|----------|
| <u>Alternate No. 1</u><br>Parking lot replacement, West side | \$ _____ |
|--------------------------------------------------------------|----------|

|                                                               |          |
|---------------------------------------------------------------|----------|
| <u>Alternate No. 2</u><br>Parking lot Replacement, South side | \$ _____ |
|---------------------------------------------------------------|----------|

|                                                |          |
|------------------------------------------------|----------|
| <u>Alternate No. 3</u><br>50 year roof shingle | \$ _____ |
|------------------------------------------------|----------|

|                                                                 |          |
|-----------------------------------------------------------------|----------|
| <u>Alternate No. 4</u><br>Eliminate the attic sprinkler system. | \$ _____ |
|-----------------------------------------------------------------|----------|

|                                                                      |          |
|----------------------------------------------------------------------|----------|
| <u>Alternate No. 5</u><br>All landscaping – plants, irrigation, etc. | \$ _____ |
|----------------------------------------------------------------------|----------|

**Unit Prices**

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Unit Price No. 1 Removal, haul-off, and replacement of unsuitable soil \$ \_\_\_\_\_ per C.Y.

**I (or WE) FURTHER AGREE AS FOLLOWS:**

1. To furnish labor and materials for additional work (except Mechanical and Electrical) ordered by the Owner and for which no pre-agreed upon amount has been determined for the cost of the labor and materials involved plus 10% for overhead and profit.
2. To furnish supervision and coordination for 10% of the cost of additional Mechanical and Electrical work ordered by the Owner.
3. To accept the provisions of Section 01019 - SPECIAL PROVISIONS regarding the date of completion of the Project and Liquidated Damages.
4. If written notice of the acceptance of the Bid is mailed, telegraphed or delivered to the Undersigned within 30 days after the date of the opening of the Bids, or anytime thereafter before this Bid is withdrawn, the Undersigned will, within ten (10) days after the date of such mailing, telegraphing or delivery of such notice, execute and deliver a contract in accordance with AIA Document A101, Standard Form of Agreement Between Owner and Contractor, and give Performance Bond in accordance with the Specifications and bid as accepted.
5. That upon failure or refusal to execute and deliver the contract and bonds required within ten (10) days after receipt of notice of acceptance of the Bid, that security deposited with Bid shall be forfeited to the Owner as liquidated damages for such failure or refusal.

**DECLARATION:**

1. The Undersigned hereby declares that he has carefully examined the Invitation and Information for Bidders, the Drawings and Specifications, has visited the actual location of the Work and has consulted his sources of supply, and has satisfied himself as to all quantities and conditions, and understands that in signing this Bid, he waives all rights to plead any misunderstanding regarding the same.
2. The Undersigned understands that his competence and responsibility and that of his proposed subcontractors, time of completion, as well as any other factors of interest to the Owner will be considered in making the award. The Owner reserves the right to reject any or all bids, to accept or reject alternate bids and unit prices and to waive technicalities concerning the bids received, as it may be in his interest to do so.

\_\_\_\_\_  
(Legal Name of Bidder)

(SEAL, if bid is by a corporation)

\_\_\_\_\_  
(Address of Bidder)

BY \_\_\_\_\_ in longhand

\_\_\_\_\_  
(Title) Typewritten



## SECTION 01030

### ALTERNATES

#### PART 1 – GENERAL

##### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

##### 1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for alternates.

##### 1.3 GENERAL

1. The General Contractor shall state in his Bid Form the amount of dollars to be ADDED or DEDUCTED from his Base Bid for the following Alternates.
2. Alternates are not in order of acceptance.
3. It shall be the responsibility of the General Contractor to advise all necessary personnel and suppliers as to the nature and extent of all alternates selected by the owner.
4. Circle Add or Deduct to indicate that the alternate price is to be added or subtracted from the base bid.

##### 1.4 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

##### 1.5 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A Schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

#### PART 2 - PRODUCTS (Not Used)

## PART 3 - EXECUTION

### 3.1 SCHEDULE OF ALTERNATES

1. ALTERNATE NO. 1

The Contractor shall state the amount of dollars to be added to the base bid for the complete removal of the existing west asphalt paving, located west of the main building, and replacing with new 6" thick concrete paving over 6" of crushed rock.

Add \$ \_\_\_\_\_

2. ALTERNATE NO. 2

The Contractor shall state the amount of dollars to be added to the base bid for the complete removal of the existing south asphalt parking lot, and replacing with new 6" thick concrete paving over 6" of crushed rock.

Add \$ \_\_\_\_\_

3. ALTERNATE NO. 3

The Contractor shall state the amount of dollars to be added to the base bid to include all labor and material associated with the installation of a 50 year metal shingle per the specifications, at all existing roof areas to be replaced.

Add \$ \_\_\_\_\_

4. ALTERNATE NO. 4

The Contractor shall state the amount of dollars to be deducted from the base bid to eliminate the Attic Sprinkler system (Dry Syster) in its entirety. This alternate will leave the Attic unsprinkled.

Deduct \$ \_\_\_\_\_

5. ALTERNATE NO. 5

The Contractor shall state the amount of dollars to be added to the base bid to include all landscaping. This includes all plantings, irrigation, etc.

Add \$ \_\_\_\_\_

END OF SECTION 01030

PROJECT INFORMATION

|                               |                                                                                                                                                                                                                                          |
|-------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| TYPE OF CONSTRUCTION          | INTERIOR REMODEL & ADDITION                                                                                                                                                                                                              |
| FACILITY NAME                 | CENTRAL KANSAS MENTAL HEALTH                                                                                                                                                                                                             |
| FACILITY ADDRESS              | 124 IOWA AVE<br>SALINA KS 67401                                                                                                                                                                                                          |
| OWNER NAME                    | CENTRAL KANSAS MENTAL HEALTH                                                                                                                                                                                                             |
| OWNER ADDRESS                 | 809 ELMHURST BLVD<br>SALINA KS 67401                                                                                                                                                                                                     |
| REASON FOR SUBMITTAL          | INTERIOR REMODEL                                                                                                                                                                                                                         |
| COUNTY                        | SALINE                                                                                                                                                                                                                                   |
| FIRE DEPARTMENT               | CITY OF SALINA                                                                                                                                                                                                                           |
| WATER SUPPLY                  | CITY OF SALINA                                                                                                                                                                                                                           |
| BUILDING INSPECTION DEPT      | CITY OF SALINA                                                                                                                                                                                                                           |
| AUTHORITY HAVING JURISDICTION | CITY OF SALINA                                                                                                                                                                                                                           |
| ARCHITECT                     | JONES GILLAM RENZ ARCHITECTS<br>730 N. NINTH ST.<br>SALINA, KS 67401<br>ph: 785-827-0386                                                                                                                                                 |
| CODES/REGULATIONS             | 2012 INTERNATIONAL BUILDING CODE<br>2012 UNIFORM MECHANICAL CODE<br>2012 UNIFORM PLUMBING CODE<br>2011 NATIONAL ELECTRIC CODE<br>2012 INTERNATIONAL FIRE CODE<br>KANSAS FIRE PREVENTION CODE<br>2010 ADA STANDARDS for ACCESSIBLE DESIGN |

LEGEND

|                                          |                                                                                                                                                                      |
|------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DESIGNATED EMERGENCY EXIT                |  68"/24.4" EXIT WIDTH (ACTUAL/REQUIRED)<br>122/340 OCCUPANT LOAD (ACTUAL/ALLOWED) |
| 0 HOUR CONSTRUCTION                      |                                                                                   |
| EXIT LIGHT                               |                                                                                   |
| FIRE EXTINGUISHER                        |                                                                                   |
| EXIT/EMERGENCY LIGHTS                    |                                                                                   |
| EMERGENCY LIGHTS                         |                                                                                   |
| FIRE HYDRANT                             |                                                                                   |
| FIRE DEPARTMENT CONNECTION               |                                                                                   |
| OCCUPANCY GROUP (AU - ACCESSORY USE)     | A-1                                                                                                                                                                  |
| OCCUPANCY USE                            | ASSEMBLY HALL                                                                                                                                                        |
| ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR | 5,550 15                                                                                                                                                             |
| OCCUPANT LOAD/REQUIRED NUMBER OF EXITS   | 370 2                                                                                                                                                                |

CODE INFORMATION

|                                                                                                                                |                        |
|--------------------------------------------------------------------------------------------------------------------------------|------------------------|
| OCCUPANCY OVERALL:                                                                                                             | B                      |
| OCCUPANCY GROUPS:                                                                                                              | B OFFICE               |
| CONSTRUCTION TYPE:                                                                                                             | V-B                    |
| BASIC ALLOWABLE AREA:                                                                                                          | B 9,000 SF             |
| ALLOWABLE AREA INCREASE:                                                                                                       | B                      |
| BASE ALLOWABLE                                                                                                                 | 9,000 SF               |
| AREA INCREASE (6.43%)                                                                                                          | 578 SF                 |
| BASE ALLOWABLE                                                                                                                 | 9,578 SF               |
| SPRINKLER INCREASE 300%                                                                                                        | 27,000 SF              |
| TOTAL ALLOWABLE AREA                                                                                                           | 36,578 SF              |
| ACTUAL BUILDING AREA:                                                                                                          |                        |
| BASEMENT                                                                                                                       | 5,009 SF               |
| FIRST FLOOR                                                                                                                    | 8,359 SF               |
| TOTAL                                                                                                                          | 13,368 SF              |
| (BASEMENT NOT INCLUDED IN TOTAL PER IBC SEC. 506.4)                                                                            |                        |
| BASIC ALLOWABLE STORIES:                                                                                                       | 2                      |
| ACTUAL STORIES:                                                                                                                | 1                      |
| BASIC ALLOWABLE HEIGHT:                                                                                                        | 40'                    |
| ACTUAL HEIGHT:                                                                                                                 | 18'                    |
| FIRE RESISTANCE RATING FOR BUILDING ELEMENTS                                                                                   | V-B                    |
| STRUCTURAL FRAME:                                                                                                              | 0 HOUR                 |
| INTERIOR BEARING WALLS:                                                                                                        | 0 HOUR                 |
| INTERIOR NON-BEARING WALLS:                                                                                                    | 0 HOUR                 |
| EXTERIOR BEARING WALLS:                                                                                                        | 0 HOUR                 |
| EXTERIOR NON-BEARING WALLS:                                                                                                    | 0 HOUR                 |
| FLOOR/CEILING:                                                                                                                 | 0 HOUR                 |
| CEILING/ROOF:                                                                                                                  | 0 HOUR                 |
| SHAFT ENCLOSURES:                                                                                                              | 1 HOUR                 |
| OCCUPANCY SEPARATIONS:                                                                                                         |                        |
| (NON-SEPARATED USES, PER IBC SEC. 508.2)                                                                                       |                        |
| ALLOWABLE AREA & HEIGHT CALCULATIONS ARE BASED ON THE MOST RESTRICTIVE USE. DIFFERENT USES ARE NOT SEPARATED BY FIRE BARRIERS. |                        |
| ROOF COVERINGS:                                                                                                                | (PER IBC TABLE 1505.1) |
| CLASS C OR BETTER                                                                                                              |                        |
| INCIDENTAL SEPARATIONS:                                                                                                        | (PER IBC TABLE 509)    |
| N/A                                                                                                                            |                        |
| SPECIAL CONDITIONS:                                                                                                            |                        |
| EXIT LIGHTING                                                                                                                  |                        |
| EMERGENCY LIGHTING                                                                                                             |                        |
| PORTABLE FIRE EXTINGUISHERS                                                                                                    |                        |
| FIRE ALARM REQUIREMENTS:                                                                                                       |                        |
| NOT REQUIRED, PROVIDED PER NFPA 72 FOR MONITORING OF SPRINKLER SYSTEM                                                          |                        |

AUTOMATIC FIRE SUPPRESSION SYSTEM:  
REQUIRED, PROVIDED PER NFPA 13

EMERGENCY POWER SOURCE:  
EXIT SIGNS, EXIT ILLUMINATION, EMERGENCY LIGHTING IS PER BATTERY BACKUP.

HAZARDOUS MATERIALS: (PER IBC TABLES 414)

NONE NOTED

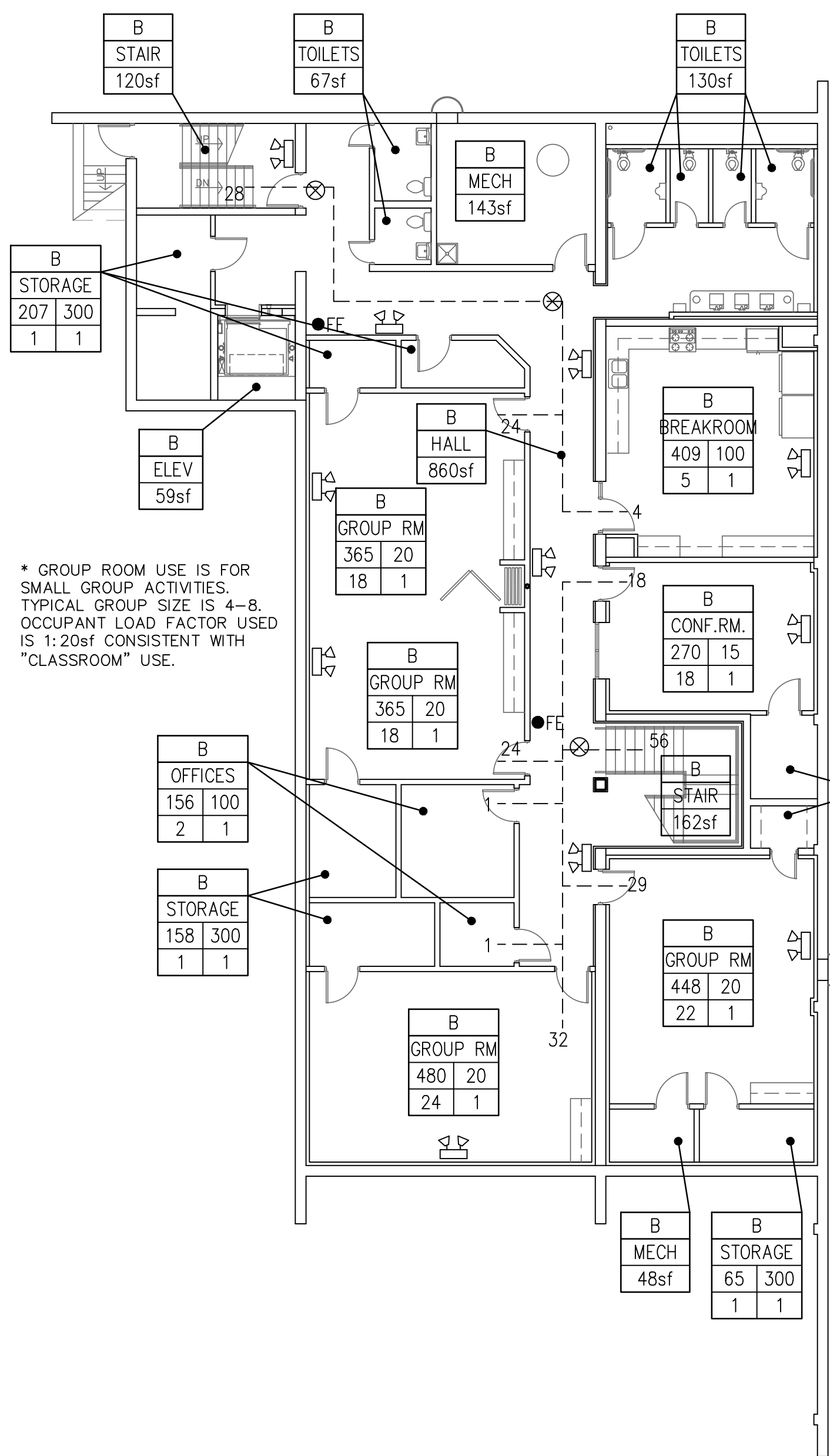
SMOKE PARTITIONS: SMOKE CONTROL: STANDPIPES:  
NOT REQUIRED NOT REQUIRED NOT REQUIRED

TOTAL OCCUPANT LOAD: 148 CALCULATED (REF. PLAN)

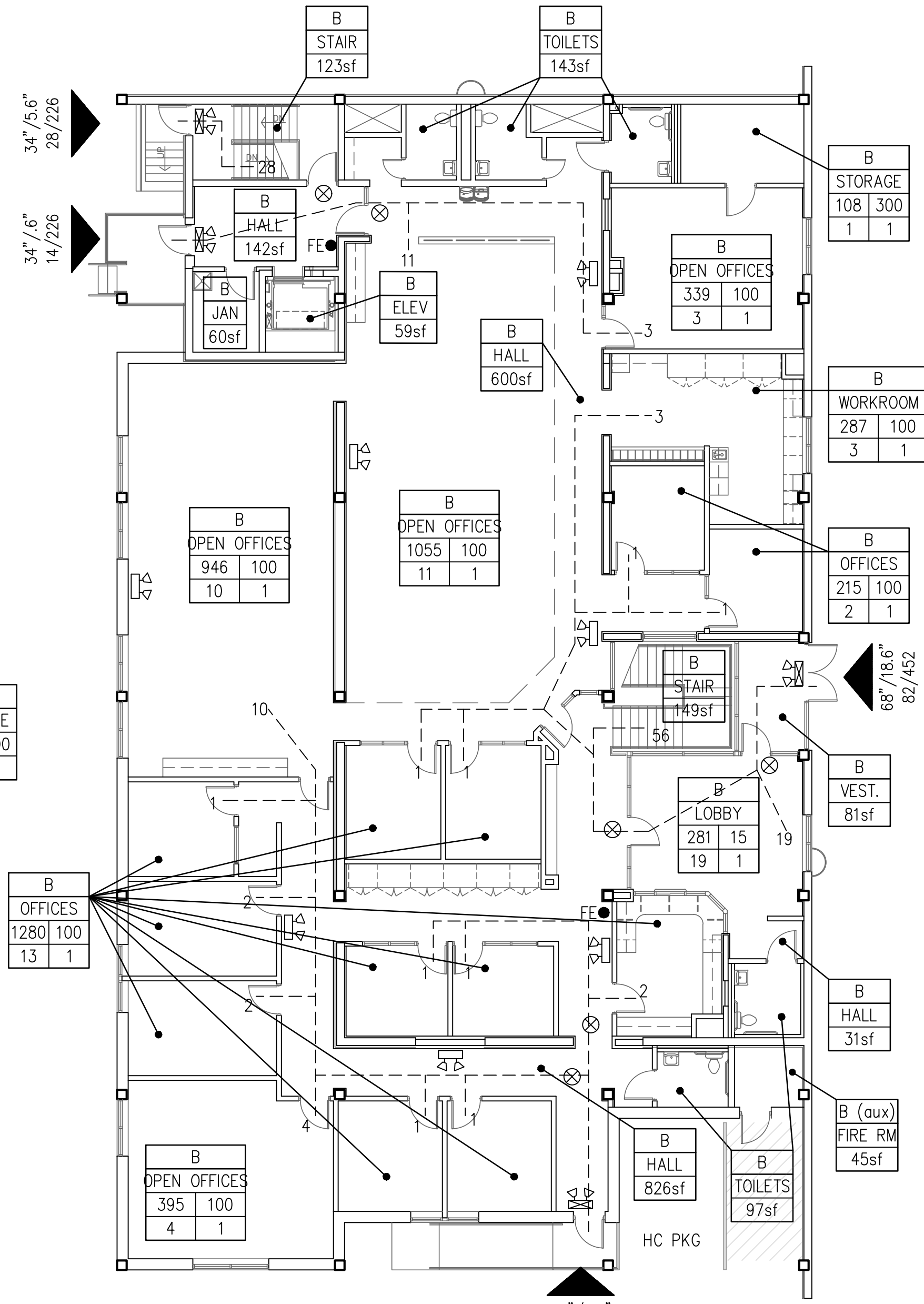
EXITING: REFERENCE PLAN

OCCUPANT LOAD FACTORS:

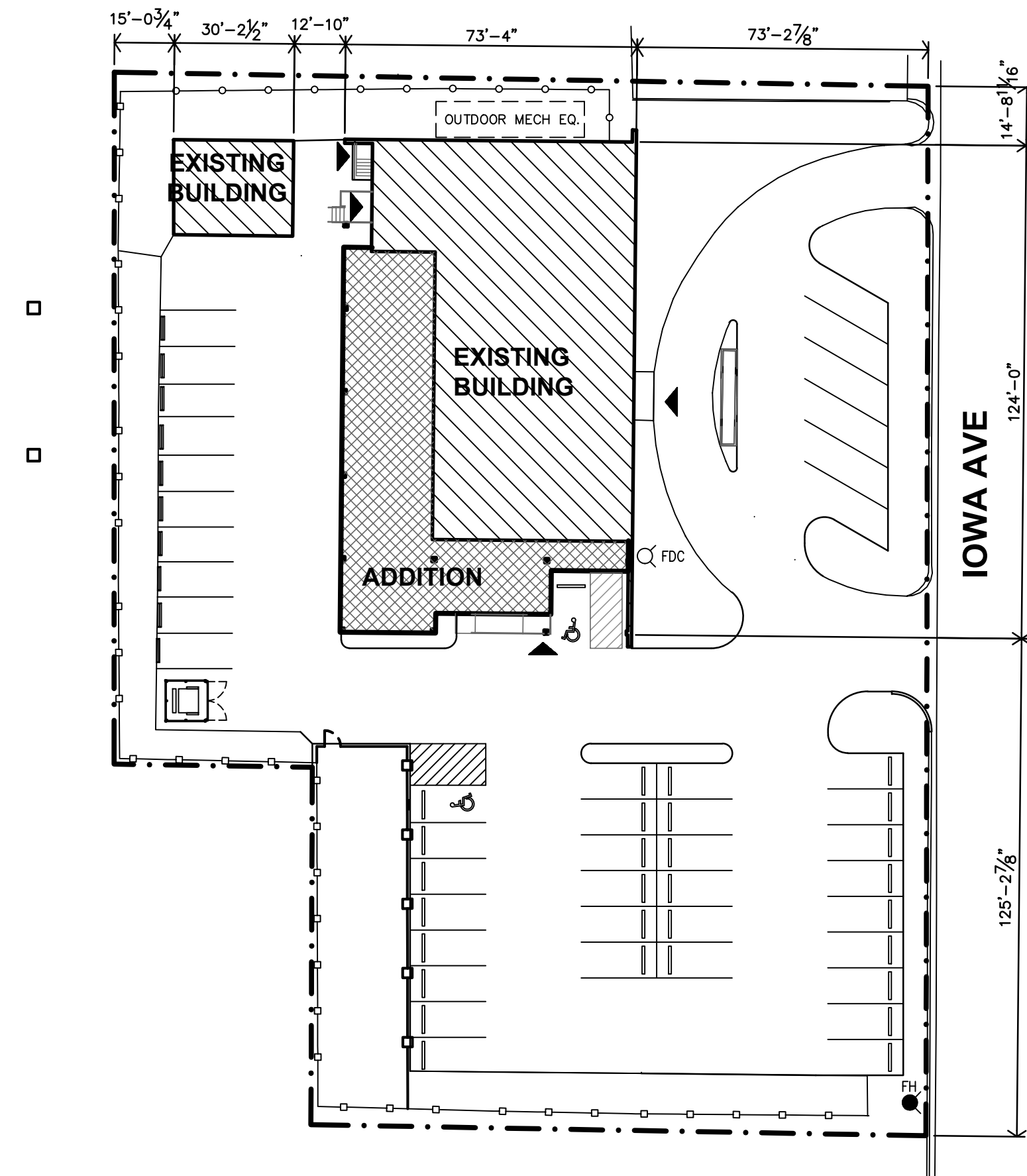
| OCCUPANCY | USE        | LOAD FACTOR     | OCCS=1 EXITS | OCCS=2 EXITS |
|-----------|------------|-----------------|--------------|--------------|
| B         | LOBBY      | 15 sf/OCCUPANT  | 49           | 50+          |
| B         | OFFICE     | 100 sf/OCCUPANT | 49           | 50+          |
| B         | STORAGE    | 300 sf/OCCUPANT | 29           | 30+          |
| B         | CONFERENCE | 15 sf/OCCUPANT  | 49           | 50+          |
| B         | BREAK ROOM | 15 sf/OCCUPANT  | 49           | 50+          |



C BASEMENT PLAN

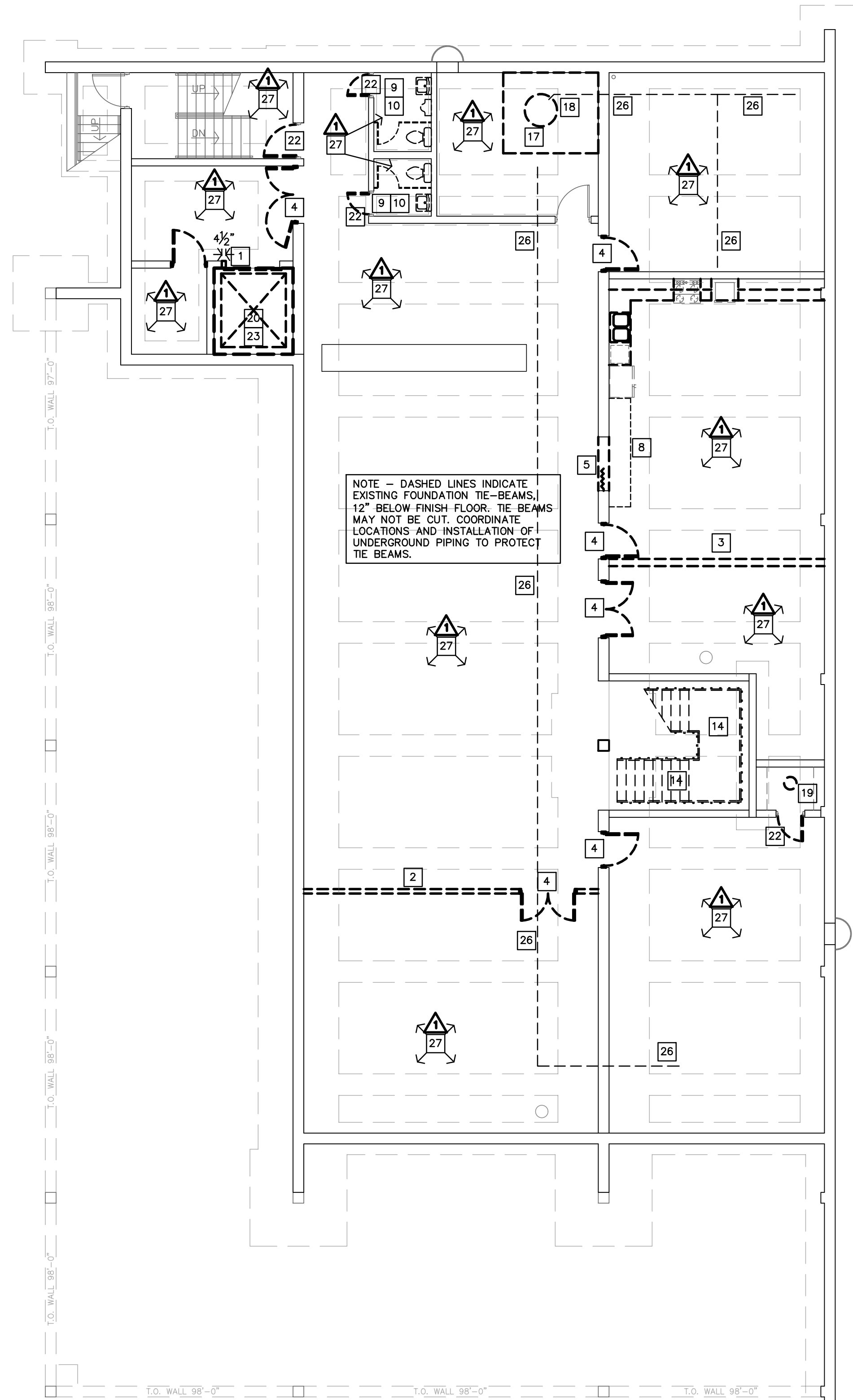


B FIRST FLOOR PLAN



A SITE PLAN





B

**DEMOLITION  
BASEMENT PLAN**  
1/8"=1'-0"

COORDINATE SLAB DEMOLITION WITH  
INSTALLATION OF NEW UNDERGROUND  
PIPING PER MECHANICAL.



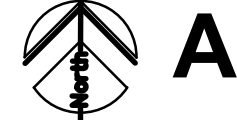
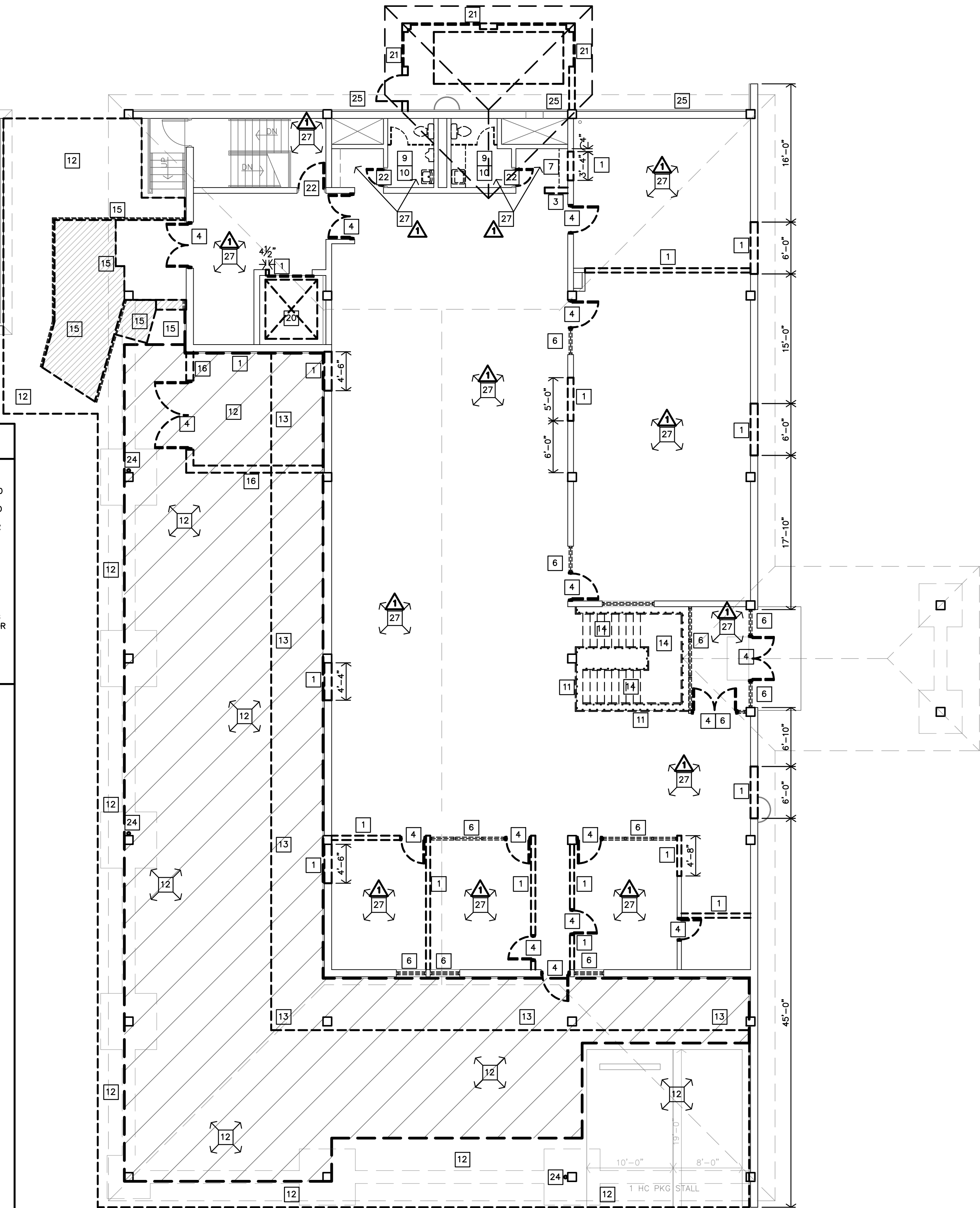
**DEMOLITION NOTES**

**GENERAL**

- WHERE EXIST. BLDG. COMPONENTS ARE TO BE REMOVED; PATCH & REPAIR THE SURFACES TO MATCH EXIST. FINISH, UNLESS NEW FINISHES ARE CALLED FOR IN THE FINISH SCHEDULE.
- REMOVE EXIST. BLDG. COMPONENTS AS INDICATED, IMPLIED OR AS REQUIRED SCHEMATICALLY SHOWN AS DASHED LINES. FIELD VERIFY ALL LOCATIONS.
- THE ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CORE DRILLING FOR PIPING & CONDUIT INSTALLATION.
- ALL OTHER CUTTING, PATCHING & FINISHING, I.N.O. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- SHORING OF EXISTING STRUCTURE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- NOTIFY ARCHITECT IMMEDIATELY IF ASBESTOS OR OTHER HAZARDOUS MATERIAL IS SUSPECTED ON SITE. DO NOT DISTURB UNLESS DIRECTED.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE DEMOLITION BY DIFFERING TRADES.
- CONTRACTOR COORDINATE SCHEDULE & LOCATION OF ANY OR ALL EXISTING RECEPTACLES, SWITCHES, DEVICES, ETC. PRIOR TO DEMOLITION, RELOCATE OR ABANDON ACCORDINGLY.
- COORDINATE & REFERENCE MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS AND DETAILS.
- ALL DAMAGED PAVING AND LANDSCAPING CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

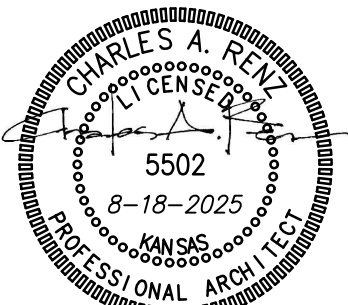
**SPECIFIC**

- SAWCUT & REMOVE PORTION OF EXISTING MASONRY WALL.
- REMOVE EXISTING G.B. & STUD WALL.
- REMOVE EXISTING CMU WALL.
- REMOVE EXISTING DOOR & H.M. FRAME.
- REMOVE EXISTING ACCORDION DOOR & MASONRY WALL BELOW. FOR NEW DOOR & FRAME.
- REMOVE EXISTING H.M. WINDOW.
- REMOVE EXISTING SHELF & COAT ROD.
- REMOVE EXISTING COUNTERTOP & BASE CABINETS.
- REMOVE EXIST. PLUMBING FIXTURES. PREP FOR INSTALLATION OF NEW FIXTURES. REF. MEP DWGS.
- REMOVE EXIST. GRAB BARS, MIRROR, ACCESSORIES, ETC. NEW MIRROR TO BE INSTALLED. GRAB BARS, & ACCESSORIES TO BE RE-INSTALLED.
- REMOVE EXISTING WOOD RAILING & MTL. PICKETS.
- SAWCUT & REMOVE EXISTING PAVING AS REQ'D FOR ADDITION.
- SAWCUT & REMOVE EXISTING CONCRETE SIDEWALK.
- SAWCUT & REMOVE EXISTING STEEL/CONCRETE STAIR & WOOD RAILING.
- SAWCUT & REMOVE EXISTING CONCRETE DOCK, RAMP & RAILING.
- SAWCUT & REMOVE EXISTING MASONRY WALL.
- SAWCUT & REMOVE EXISTING CONCRETE SLAB. REPLACE CONCRETE.
- REMOVE & REPLACE EXISTING SEWAGE EJECTOR. REF. MECH DWGS
- REMOVE & REPLACE EXISTING SUMP PUMP. REF. MECH DWGS
- REMOVE EXISTING ELEVATOR CAB, RAILS, ETC.
- REMOVE EXISTING MECHANICAL ENCLOSURE, INCLUDING WALL, LOUVERS, DOOR, ROOF, FINISHING, ETC.
- REMOVE EXISTING WOOD DOOR, H.M. FRAME TO REMAIN.
- SAWCUT & REMOVE EXISTING CONCRETE "T" ROOF STRUCT. REF. STRUCT.
- SAWCUT & REMOVE EXISTING ROOF DOWNSPOUT. FILL IN OPENING TO MATCH EXIST.
- EXCAVATE AS REQUIRED FOR BASEMENT WALL REPAIR AND WATERPROOFING. REFERENCE SITE PLAN.
- NEW SEWER LINE UNDER SLAB. COORDINATE DEMOLITION AND INSTALLATION TO PROTECT EXISTING STRUCTURAL TIE BEAMS, AND FOOTINGS.
- REMOVE EXISTING FLOORING, BASE MATERIAL & SUSP. CEILING. PREP FOR NEW FLOOR, BASE & CEILING FINISHES.



A

**DEMOLITION  
FIRST FLOOR PLAN**  
1/8"=1'-0"



REVISION:  
9-10-2025

DATE: 8-18-2025  
JOB: 24-3459  
SHEET NO.:

D2.1

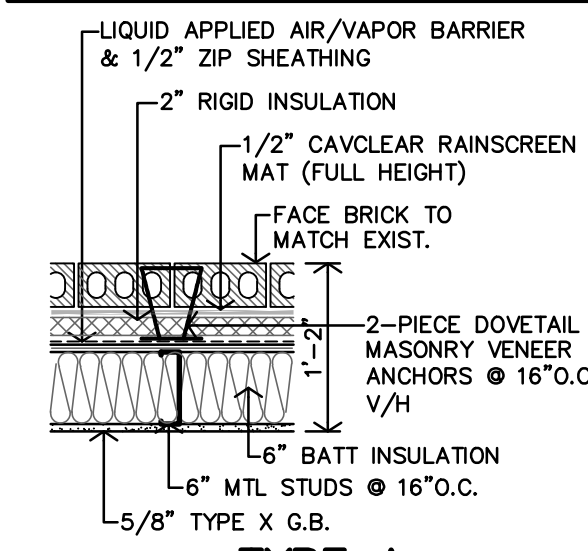
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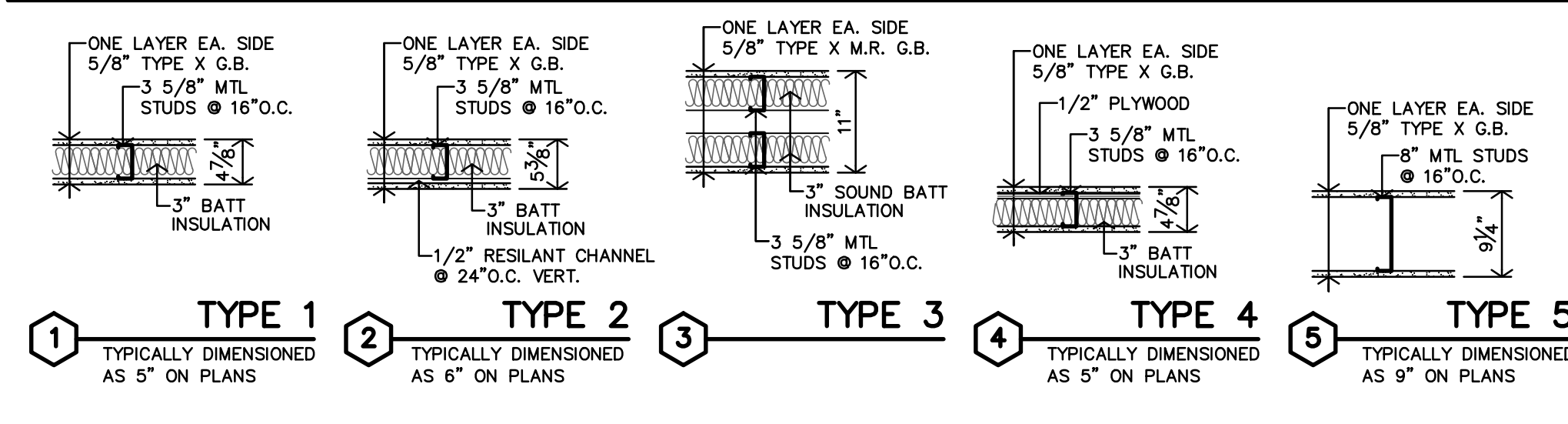
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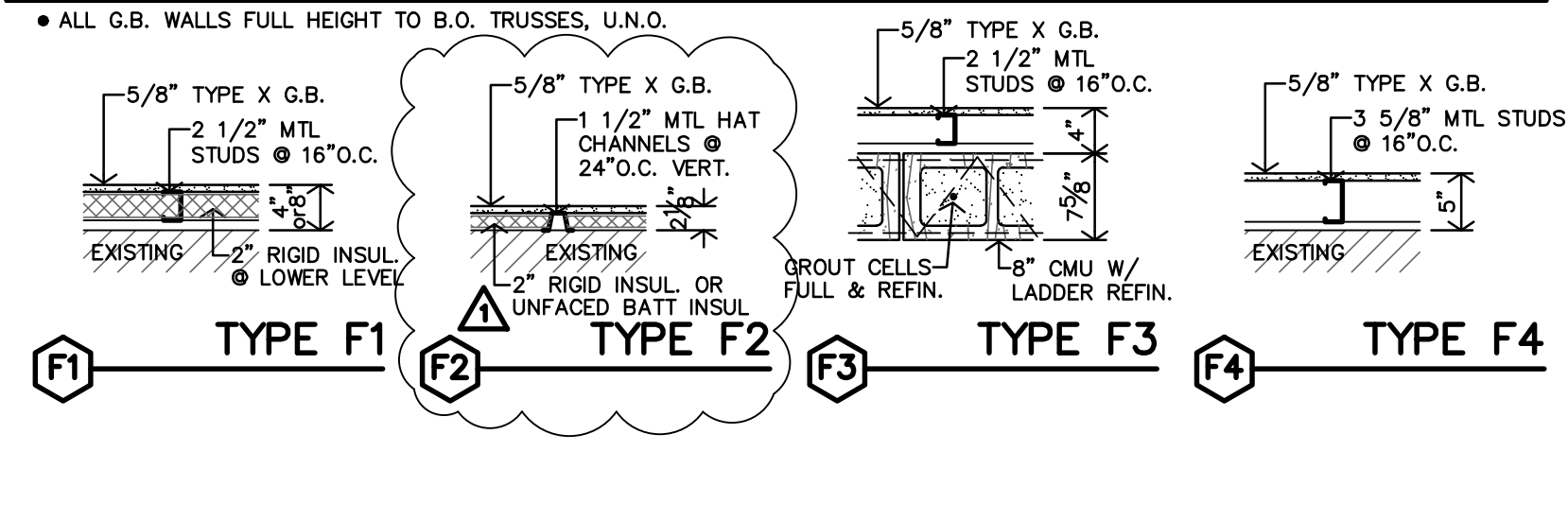
## EXTERIOR PARTITION TYPES



## INTERIOR PARTITION TYPES

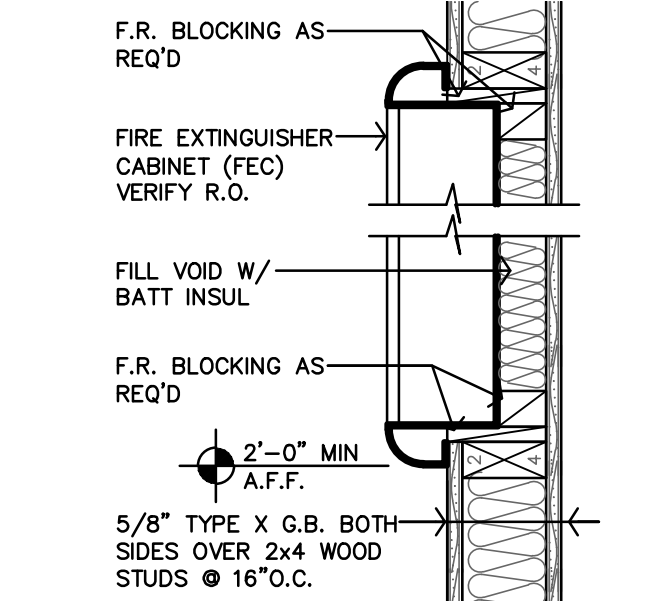


## FURRED PARTITION TYPES



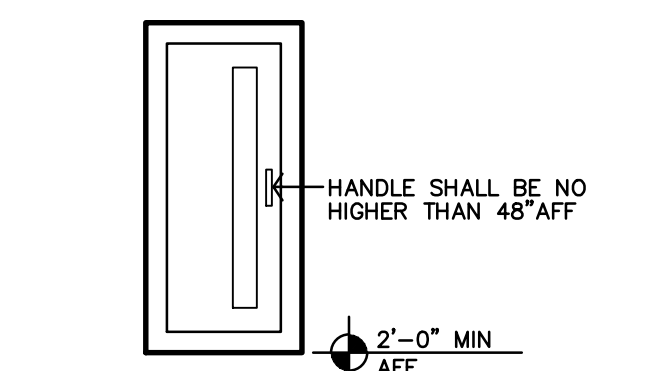
## GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
- IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
- ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
- ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MINIMUM CLEARANCE REQ'D.
- INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
- ALL NEW DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS UNLESS NOTED OTHERWISE. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER.
- DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA.
- DIMENSIONS TO NEW INTERIOR WALLS ARE TO THE FACE OF G.B. U.N.O.
- ALL FURNITURE SHOWN IS TO BE PROVIDED BY OWNER.
- FEC - INDICATES NEW RECESSED FIRE EXTINGUISHER CABINET.
- ① - INDICATES LOCATIONS OF BADGE ACCESS CONTROL. REF. SPECS.
12. CG - INDICATES LOCATION OF FULL HEIGHT CORNER GUARDS.



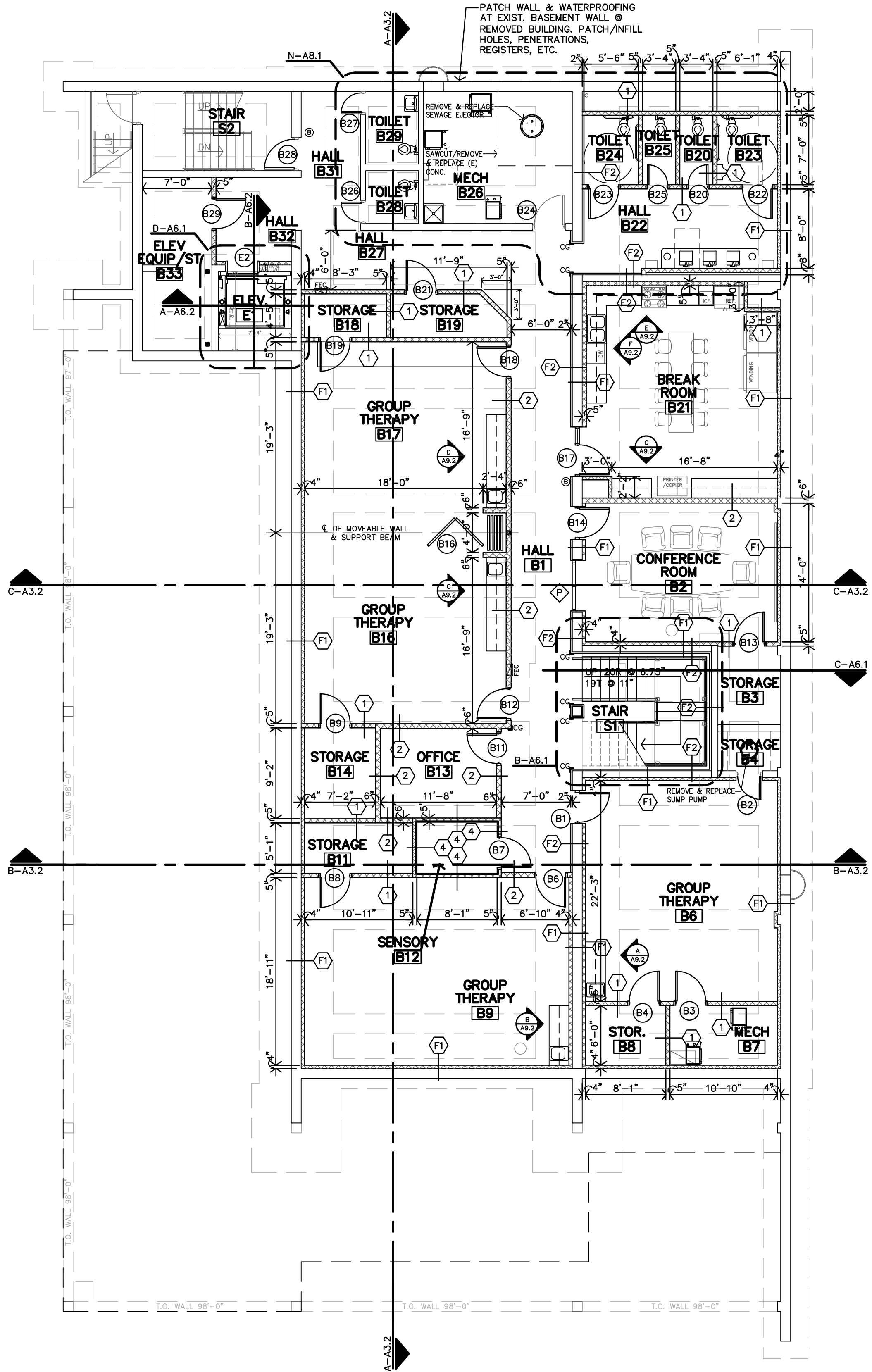
## D FIRE EXTINGUISHER CABINET DTL

1 1/2"=1'-0"



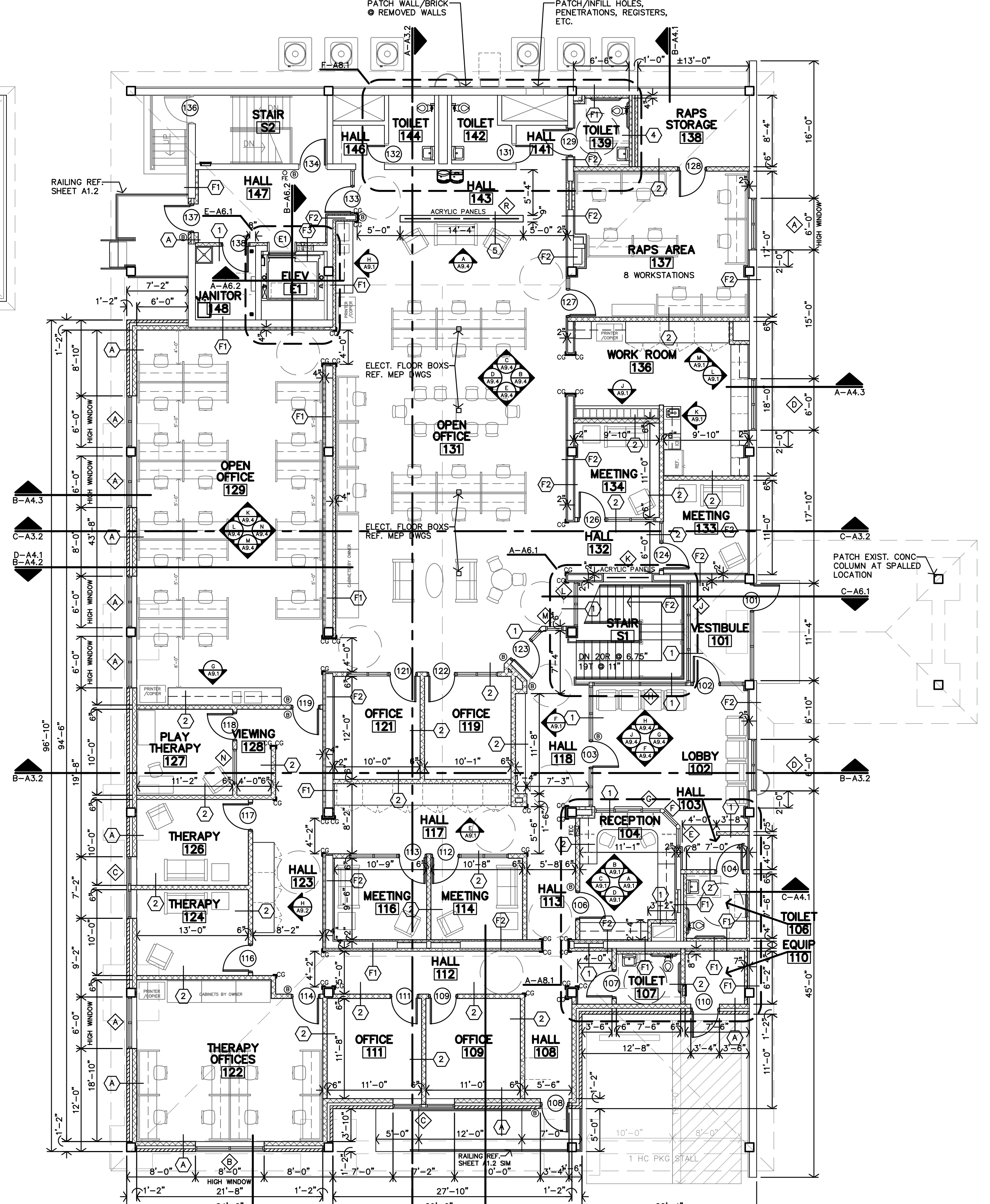
## C TYPICAL FEC MOUNTING HGT

3/4"=1'-0"



## B BASEMENT PLAN

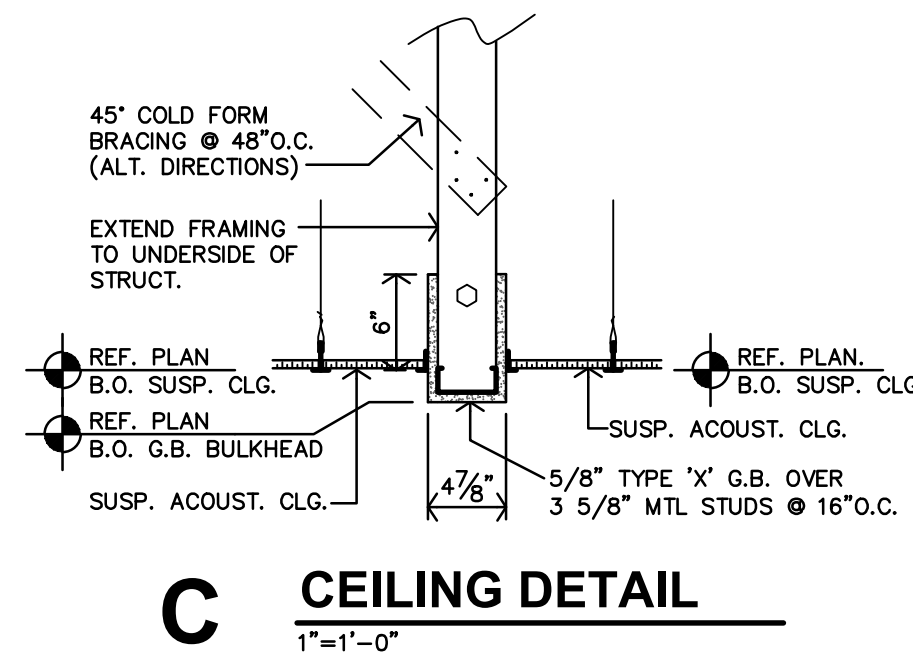
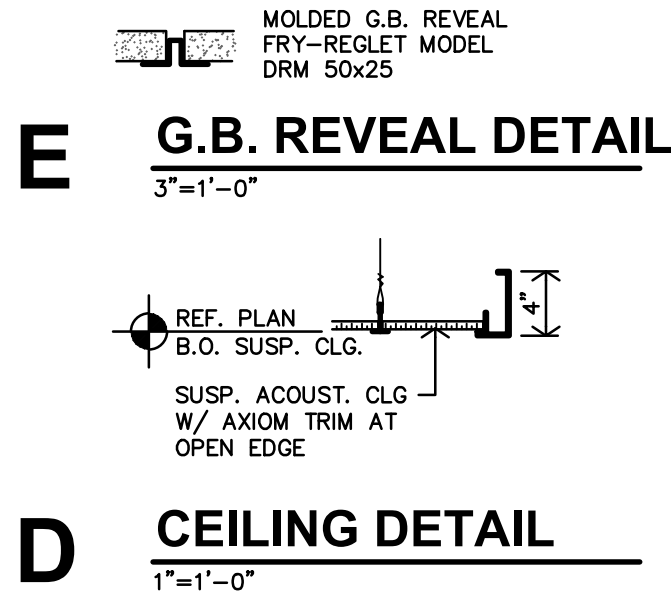
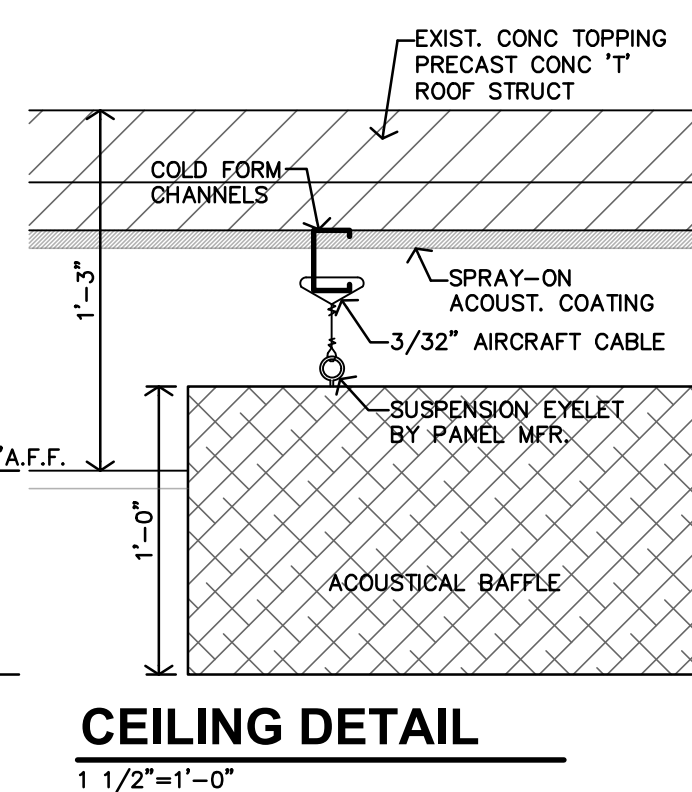
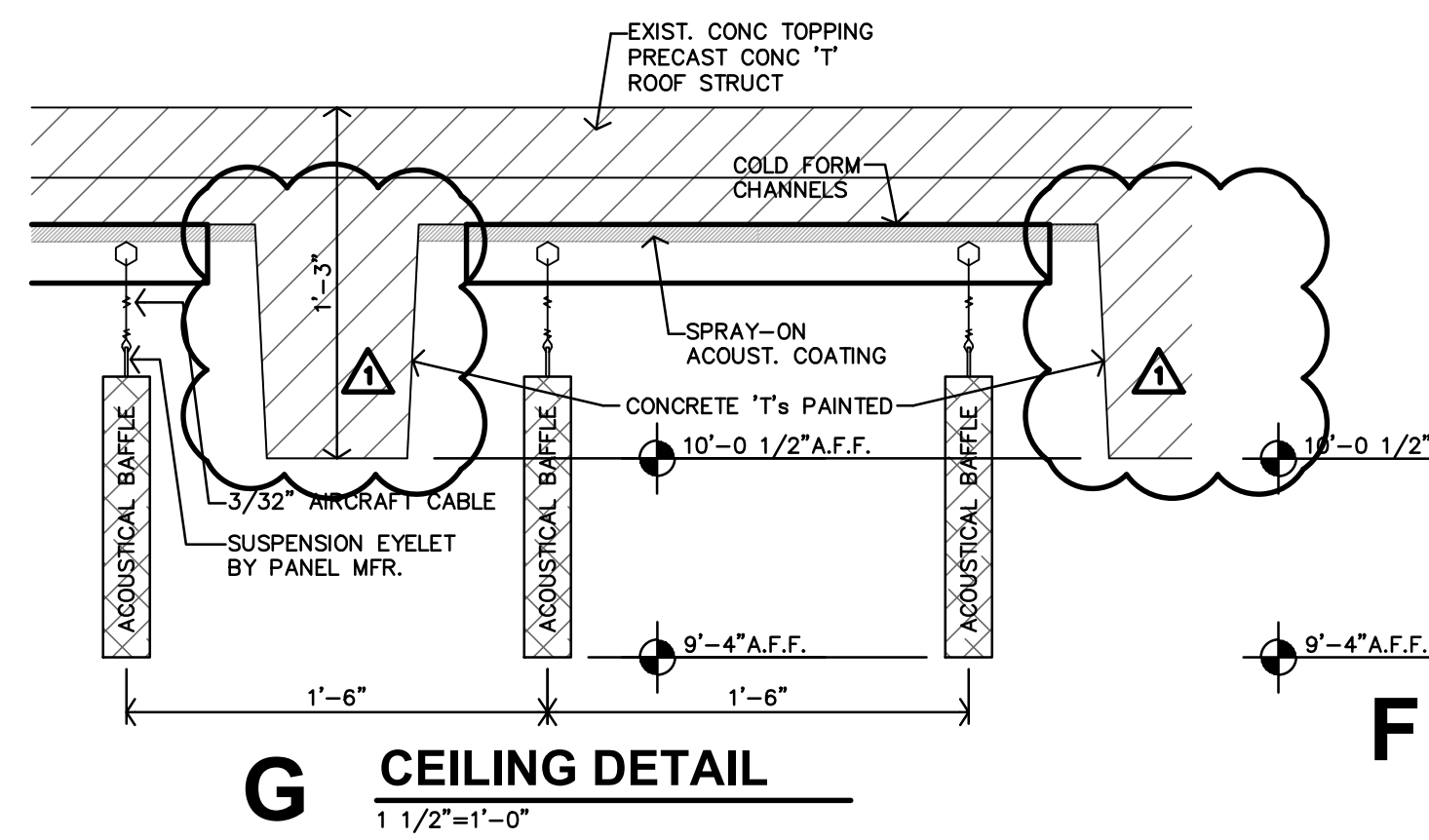
1/8"=1'-0"



## A FIRST FLOOR PLAN

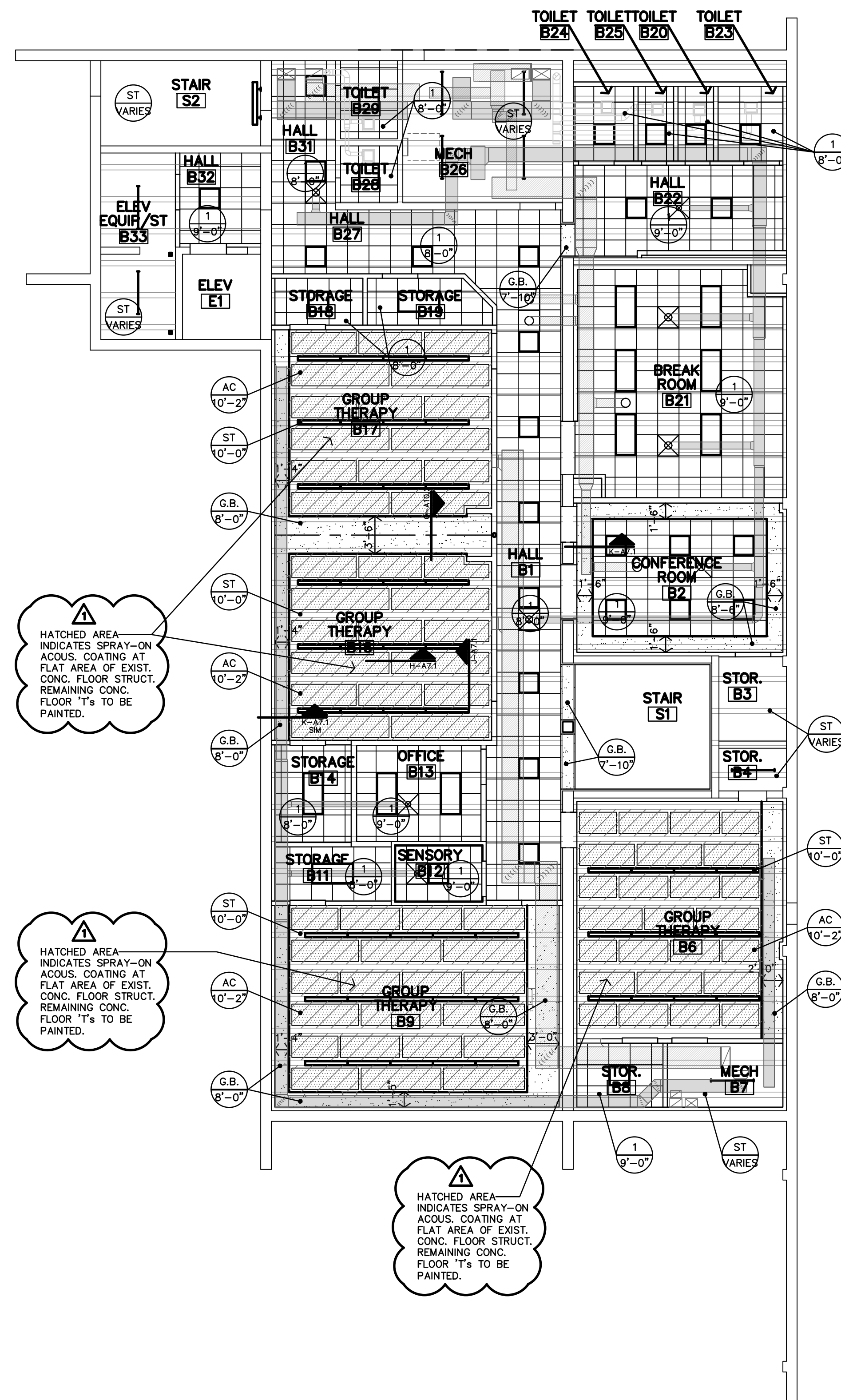
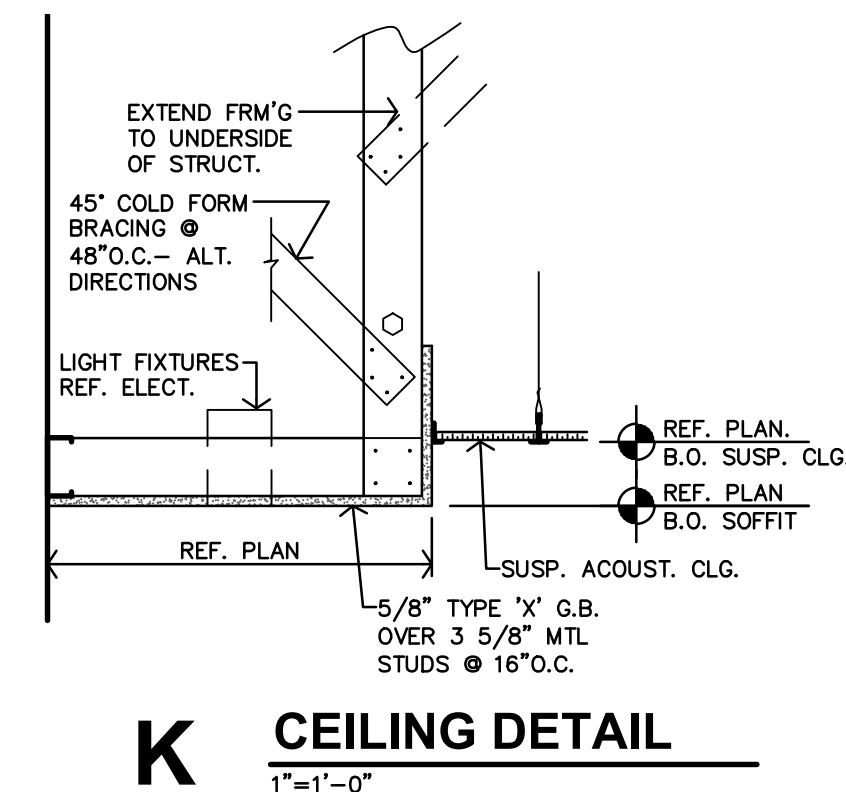
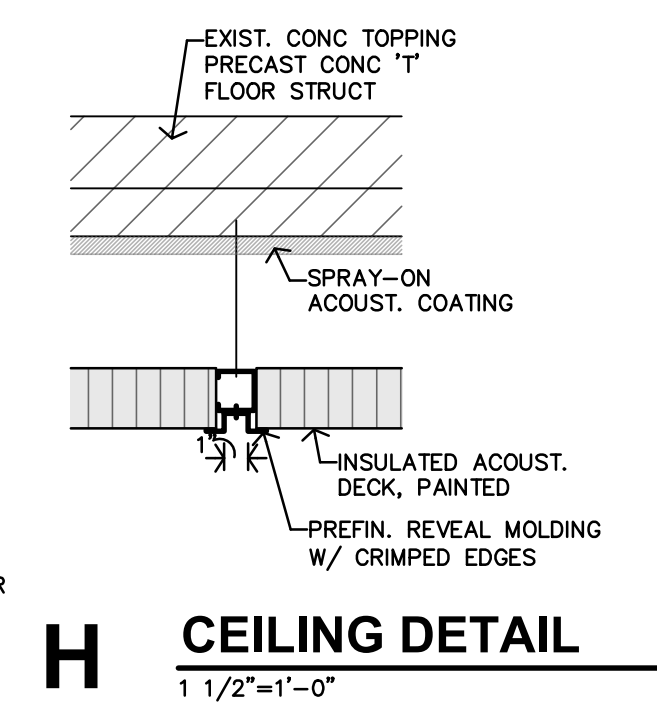
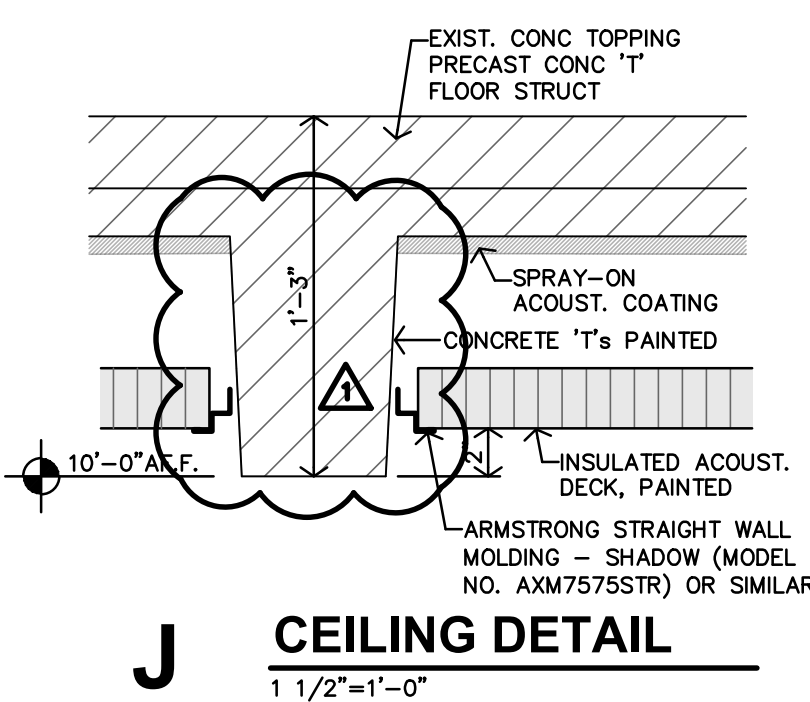
1/8"=1'-0"



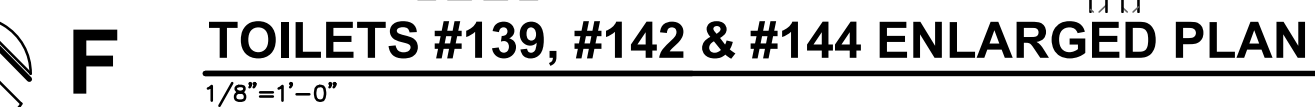
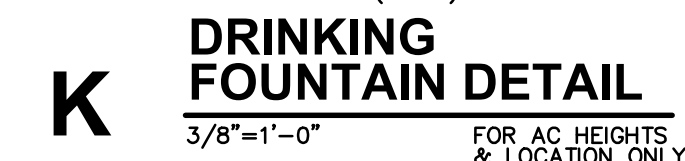


| CEILING TYPES        |                          |
|----------------------|--------------------------|
| REFER SPECIFICATIONS |                          |
| 1                    | 2x2 FISSURED             |
| AC                   | ACOUSTICAL DECK          |
| GB                   | GYP BD (PAINTED)         |
| ST                   | EXPOSED STRUCTURE & DECK |
| EX                   | EXISTING                 |
| 1                    | CLG. TYPE                |
| 8'-8"                | CLG. HEIGHT A.F.F.       |

- REFLECTED CEILING PLAN NOTES**
- GENERAL**
- CONTRACTOR SHALL COORDINATE CEILING LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURE LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICT OF DISCREPANCY.
  - MECHANICAL/ELECTRICAL FIXTURES AT RATED CEILINGS SHALL BE HUNG IN CONFORMANCE TO U.L. SYSTEM REQUIREMENTS.
  - CEILING MOUNTED MECHANICAL EQUIPMENT AND SUSPENDED MECHANICAL EQUIPMENT MUST BE SUSPENDED DIRECTLY FROM THE STRUCTURE.
  - AREAS ABOVE THE FINISHED CEILING ARE PART OF A RETURN AIR PLenum ALL MATERIALS INCLUDING THE INSULATION SHALL HAVE FLAME SPREAD LESS THAN 25 AND SMOKE DEVELOPED LESS THAN 50.
  - SPECIAL CEILING GRID FRAMING IS REQUIRED AT SOME CEILING MOUNTED MECHANICAL EQUIPMENT. CONTRACTOR SHALL COORDINATE WITH MECHANICAL UNITS AND PROVIDED ALL SUSPENSION, TRIM, CLIPS, ETC. AS REQUIRED FOR A NEAT, FINISHED, AND SECURE CEILING SYSTEM.
  - WHERE SUSPENSION DEVICES, WIRES, RODS, ETC. PENETRATE CEILING GRID AND/OR TILE OR G.B. PENETRATIONS SHALL BE NEAT AND CLEANLY CUT. PENETRATION OPENING SHALL BE AS SMALL AS POSSIBLE. SEAL AT G.B. AT TOP.
  - ALL SOUND WALLS SHALL EXTEND TO STRUCTURE OR DECK, TAPE SEAL AT TOP.
  - SEAL VOIDS AT TOPS OF WALLS AND PENETRATIONS WITH U.L. LISTED FIRE BATT INSULATION, PILLOWS, AND/OR FIRE SEALANT AS REQUIRED BY CONDITION AT RATED WALLS.







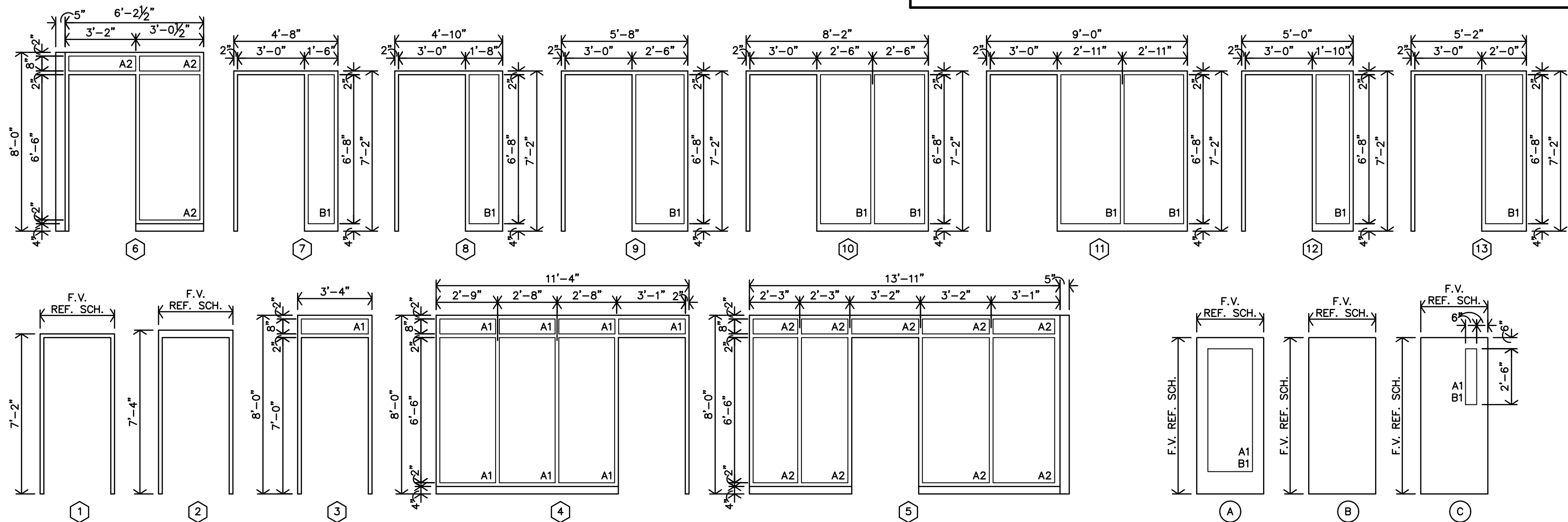


1. SOLID SURFACE COUNTERTOPS & BACKSPLASHES W/ EASED EDGES, U.N.O.
2. 3MM PVC EDE BAND AT ALL EXPOSED EDGES OF DOORS & DRAWERS.
3. EXTERIOR CABINET DOOR (INTERIOR & EXTERIOR) TO BE FLUSH LAMINATE.
4. COUNTERTOPS & BACKSPLASHES TO BE PLAM W/ EASED EDGES.
5. PROVIDE ALL NECESSARY FILLERS OF MATCHING MATERIALS. INSTALL CONTINUOUS FINISH FLOORING BASE @ CASEWORK TOE/KICK.
6. ADJUSTABLE SHELVING SHALL BE 3/4" THICK MATERIAL.
7. EXPOSED ADJUSTABLE SHELVING SHALL HAVE FULL THICKNESS PLASTIC LAMINATE AT ALL FOUR EDGES. TAPE IS NOT ACCEPTABLE.
8. ADJUSTABLE SHELVES SHALL HAVE 1 ADJUSTABLE SHELVES PER EACH CABINET, U.N.O.
9. ALL BASE CABINETS SHALL HAVE (1) ADJUSTABLE SHELF PER EACH CABINET, U.N.O.
10. REFERENCE ELEVATIONS FOR NUMBER OF ADJUSTABLE SHELVES AT LOWER CABINET UNITS.
11. SHELVES PREMIUM FINISH WILL BE SELECTED BY ARCHITECT.
12. CABINETS TO BE FLUSH OVERLAY, U.N.O.
13. PROVIDE BLOCKING BEHIND WALL FOR SUPPORT OF CABINETRY.
14. ANCHORS & INSTALL ANGLE SUPPORT BRACKETS WHERE COUNTERTOP SPAN EXCEEDS 36" INCH WIDTH.





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## B FRAME TYPES

## A DOOR TYPES



