



Jones Gillam Renz Architects

Address

730 N 9th St.
Salina, KS 67401

1881 Main St., Suite 301
Kansas City, MO 64108

Contact

jgr@jgrarchitects.com
(785) 827-0386

Web

jgrarchitects.com

NOTICE TO CONTRACTOR AND ALL SUB-CONTRACTORS
September 16, 2025

Astra Bank, Dodge City– New Facility – JGR Proj #25-3515

Bid Date: *Thursday, September 25, 2025 by 2:00 p.m.*

ADDENDUM NO. 1

YOU ARE INSTRUCTED TO READ AND TO NOTE THE FOLLOWING DESCRIBED CHANGES, CORRECTIONS, CLARIFICATIONS, OMISSIONS, DELETIONS, ADDITIONS, APPROVALS, AND STATEMENTS PERTINENT TO THE CONTRACT AND CONSTRUCTION DOCUMENTS. THIS ADDENDUM IS A PART OF THE CONTRACT AND CONSTRUCTION DOCUMENTS AND SHALL GOVERN IN THE PERFORMANCE OF THE WORK.

CIVIL –Drawings

1. Sheet 2 – Revised to indicate new 2" water service and meter.
2. Sheet 4 – Revised to indicate water service changes.
3. Sheet 5 – Revised to indicate water service changes.
4. Sheet 9 – Revised to indicate extended area of new 2" water service line to the north per the request of Dodge City utility department.

ARCHITECTURAL –Specifications

1. Section 07611 Pre-Manufactured Sheet Metal, paragraph 2.01 C – Berridge Zee-Lock, 20 ga, with rib-roller type A, Matte Black is an approved substitution for metal roof panels.
2. Section 07611 Pre-Manufactured Sheet Metal, paragraph 2.02 B – Berridge FW-12 with beads at 4" o.c., 24 ga, is an approved substitute for metal soffits. Matte Black (except at Main Entry and Drive-Thru soffits shall be either Parchment or Almond. Color selected at later date).
3. Section 08410 Aluminum Entrances and Storefronts, paragraph 2.02 – Material shall be anodized aluminum.
4. Section 08520 Aluminum Windows, paragraph 2.02 – Material shall be anodized aluminum.

ARCHITECTURAL –Drawings

1. Sheet CFP, Project Information, Codes/Regulations – 2018 International Mechanical Code and 2018 International Plumbing Code are required in lieu of Uniform Codes listed.
2. Sheet A2.1, Partition Types –
 - A. Type 4 shall occur at: Work 115 (South & West Walls), Break Room #116 (South Wall), Conference Room #117 (Partial South Wall), Mechanical Room #119 (West Wall), Offices #120, #121, #122 (West Wall).
 - B. Type 5 shall occur at: Work #115 (East Wall), Conference Room #117 (Partial South Wall).
3. Sheet A3.1 –
 - A. Elevations A, B, C and D are mislabeled. Elevation A is South Elevation. Elevation B is East Elevation. Elevation C is North Elevation. Elevation D is West Elevation.
 - B. Enlarged Elevation F – Upper cast stone quoin and adjacent brick is drawn incorrectly. Quoins are three brick courses (approximately 8") tall. Face brick is standard size.
4. Sheets A4.1-A4.5 – Clarifications
 - A. Reference attachment ADD-1 for expanded notes and information in regards to typical wainscot wall section weeps, mortar net, waterproofing, mortar.
 - B. Roof system coverboard shall be ½" APA-rated plywood or OSB.
5. Sheet A9.1, Elevation B – The undercounter refrigerator shall be supplied by GC in lieu of owner. Reference specification Section 10850, paragraph 1.04.
6. Sheet A10.1, Window Types A, B, C, E and Window Schedule Note #4 – Muntin bars shall be Manko #824, ¾" wide in lieu of 1" wide.

ELECTRICAL – Drawings

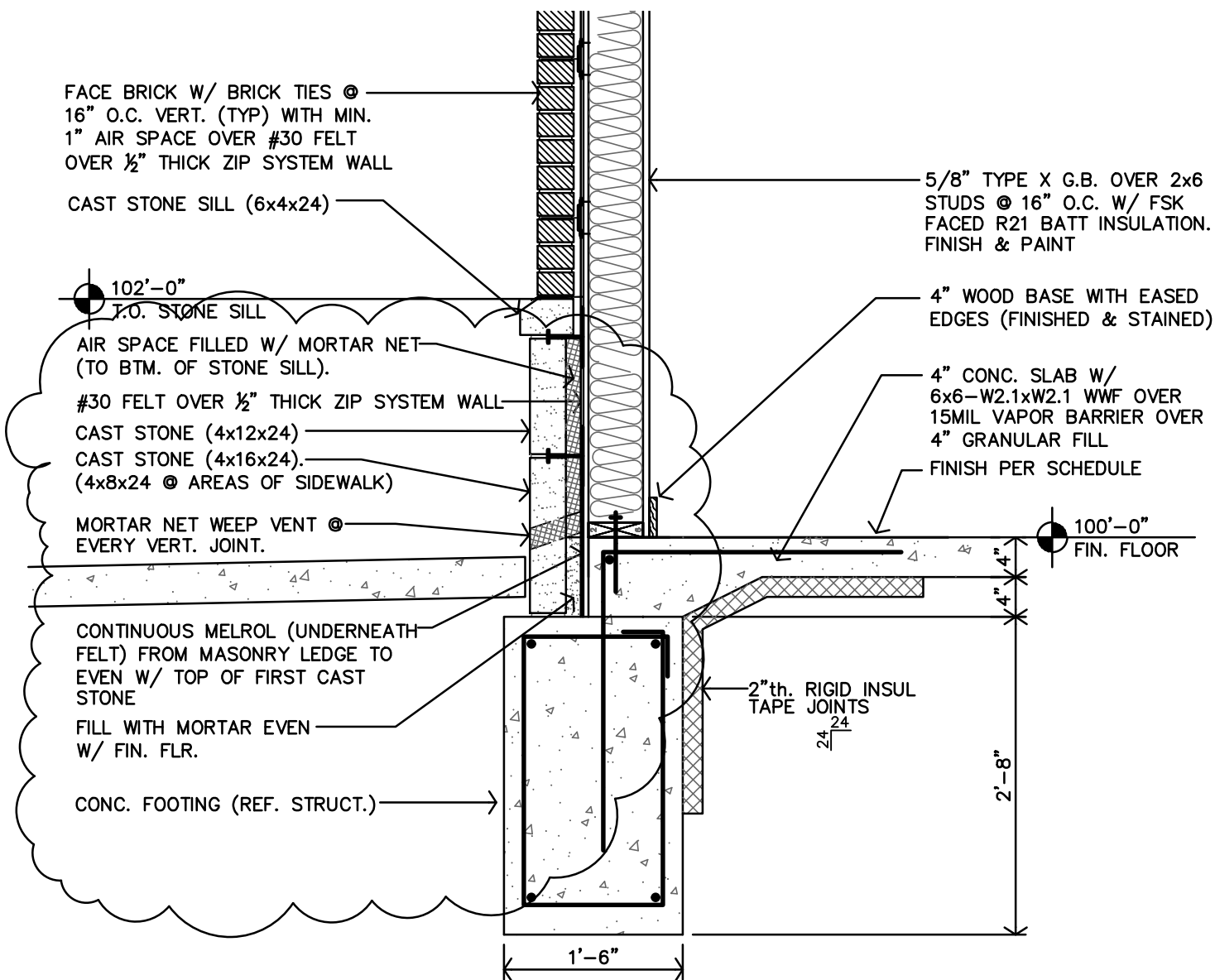
1. Sheet E6.1, Detail 2 – Sheet has been revised to indicate bonding on the gas line.

Receipt of this Addendum shall be noted on the Bid Form.

END OF ADDENDUM NO. 1

Attachments

- Sheet ADD-1, 8 ½"x11", 1-page.
- Civil Sheets 2, 4, 5 and 9 – revised, 11x17, 4 pages
- Sheet E6.1 – revised, 11x17, 1 page.



A

TYP. WAINSCOT WEEPS, MORTAR NET, WATERPROOFING, MORTAR DETAIL

3/4"=1'-0"

PROJECT GENERAL NOTES

1.

Trees and shrubs in public right of way, which are in direct conflict with the proposed new construction, shall be removed and disposed of by the contractor with the engineer's approval. Trees and shrubs which are not in direct conflict with proposed construction and not shown to be removed shall be saved and protected from damage.
2.

Utility service lines, poles, valve boxes, meter et cetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the contractor. Existing utilities and their location, as shown on the plans, represent the best information, obtained for design. Location information has been obtained by various utility companies and is either from company records and drawings or company field locations. The plan locations are not guaranteed. Additional existing utilities may be encountered. The contractor will be required to work around existing utilities with the right-of-way, which do not conflict with proposed construction. Three (3) working days prior to construction of each phase of the project, the contractor will be required to field verify the location and elevation of existing utilities. Any discrepancies shall be immediately brought to the attention of the engineer. No property shall be left without any utility overnight.
3.

Any water meters along the project that require adjustment or relocation will be done by the contractor and shall be subsidiary to other items in the contract.
4.

All manhole rings and covers, inlet grates and frames, and storm sewer drainage culvert structures to be removed shall become property of the contractor. This work shall be considered to "removal of existing structures".
5.

A full depth saw cut of the existing total pavement thickness shall be provided at locations where proposed construction abuts an existing surface course or pavement for which partial removal of that surface or pavement is required. Removal limits shown within three (3) feet of existing joints shall extend to the existing joint. Such saw cuts will not be paid for directly and this cost shall be considered as subsidiary to the removal of the surface or pavement.
6.

Rubble for the removal of miscellaneous structure and excess excavation and pavement removal, which is to be wasted and excavation to be wasted shall be disposed of on sites to be provided by the contractor. These sites shall be approved by the engineer as to suitability, appearance, and site locations. Locations that, in the opinion of the engineer, will leave an unsightly appearance will not be permitted.
7.

All disposal sites must be approved by the Kansas Department of Health and Environment. Materials either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agricultural permit. Any materials dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations.
8.

Any material buried or stockpiled beyond the approved construction limits would require additional archeological investigations unless buried in a previously approved borrow location.
9.

The constructor shall be responsible for preserving property monuments. The contractor shall be required to re-establish any property monuments which are damaged or destroyed by their construction operations. Such monuments shall be re-established by a licensed land surveyor in accordance with state laws. No separate measurement or payment will be made for this work as it shall be considered subsidiary to other items in the contract.
10.

All elevations and benchmarks are tied to NAVD88.
11.

All labor, materials and equipment necessary to make connections to an existing pipe or existing structures shall not be paid for directly, but shall be subsidiary to the new pipe placement.
12.

All storm sewer pipe placed beneath the street or driveway pavement shall receive flowable fill backfill. The contractor shall place flowable fill backfill around storm sewer pipe under pavement. The backfill shall be paid for as flowable fill - "low strength".
13.

All existing structures within the construction limits shall be removed unless noted otherwise. The removal of these structure is covered as part of the bid items, "removal of existing structures". Existing utilities are to be relocated prior to construction by the responsibility of the contractor unless otherwise noted.
14.

The contractor shall be responsible for implementing and maintaining the approved erosion control plan during the time of construction. Erosion control plan shall be subsidiary to temporary water pollution control.
15.

All trees, hedge rows, shelter belts, and woody shrubs not shown to be removed, located between the construction limits and the right-of-way line or easement line shall be spared unless directed by the engineer to be removed. All trees within the appropriated clear zone shall be removed.
16.

All locations where drainage flows away for the curb and gutter, the contractor shall construct an inverted gutter cross slope.

17.

All waterline in conflict with proposed improvements shall be adjusted during construction by the contractor.
18.

Waterline shall maintain at least 2 ft of vertical separation at waterline and sewerline crossings. Crossings at points where gravity sanitary sewers cross water lines with less than 2 ft of vertical separation, the sanitary sewer shall be constructed of materials specified in section 31000 of the project specifications or pipe shall be encased in concrete with a minimum thickness of 6 inches for a distance of 10 ft in each direction as measured from the outside of the pipe not being encased. This encasement with concrete shall be subsidiary to the waterline construction.
19.

When potable water pipes and gravity sewers are laid parallel to each other, the horizontal distance between them shall not be less than 10ft.
20.

Sidewalks, landscaping & irrigation are for information only. Conduit for these items are part of the contract.
21.

Contractor shall field verify all plan tie-in points and elevations. Contractor shall notify the engineer of any discrepancies.
22.

The Contractor shall utilize a KDOT approved concrete mix design for all concrete placed on the project, unless otherwise specified.

PROJECT CONTROL & BENCHMARKS				
NAME	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM #1	10000.0000	10000.0000	2602.8600	Top of Capped Pipe



KANSAS ONE-CALL
1-800-DIG-SAFE (344-7233)
ALLOW 2-10 WORKING DAYS

SUMMARY OF QUANTITIES For Information Only		
BID ITEM	QUANTITY	UNITS
MOBILIZATION	1	LS
CLEARING AND GRUBBING	1	LS
CONTRACTOR CONSTRUCTION STAKING	1	LS
REMOVE ASPHALT PAVEMENT	2,053	SY
REMOVE CONCRETE	303	SY
REMOVAL OF EXISTING STRUCTURES	1	LS
REMOVAL OF EXISTING UTILITIES	1	LS
COMMON EXCAVATION	743	CY
EARTHWORK COMPACTION	475	CY
CONCRETE PAVEMENT (6") (AE)	2,012	SY
CONCRETE SIDEWALK (4") (AE)	76	SY
THICKENED EDGE CONCRETE SIDEWALK (6") (AE)	144	SY
COMBINED CURB AND GUTTER (6")	720	LF
TRUNCATED DOMES	6	EA
4" SANITARY SEWER LINE (PVC)	57	LF
4" SANITARY SEWER SERVICE TAP	1	EA
2" WATER SERVICE LINE	267	LF
2" WATER METER SETTING	1	EA
CONNECT TO EXISTING WATER LINE	1	EA
CONNECT TO EXISTING GAS LINE	1	EA
1" GAS LINE	48	LF
4" HDPE STORM SEWER PIPE	5	LF
SIDEWALK TRENCH DRAIN	6	EA
DIRECTIONAL SIGNAGE	1	LS
PAVEMENT MARKINGS	1	LS
EROSION CONTROL	1	LS



UTILITY CONTACTS

Gas:
Black Hills Energy
Dodge City, Kansas 67801
620-338-5051

Electric:
Victory Electric
3230 N 14th
Dodge City, KS 64121
(785) 623-3025

Telephone:
AT&T
1-800-499-7926

Water and Sewer:
City of Dodge City
703 West Trail
Dodge City, KS 67801
620-225-8176

DESIGN ENGINEER
Christina Cook, PE
1115 Westport Drive Suite F
Manhattan, KS 66502
(785)-320-6639
Email: ccook@driggsdesign.com

Architect:
JGR
Mark Regier
730 N 9th Street
Salina, KS 67401
(785) 827-0386
Email: mregier@jgrarchitects.com

REVISED 09-16-25



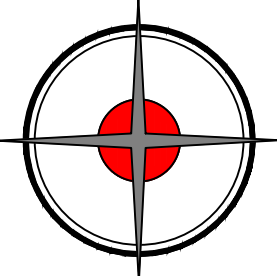
Water Service Line Modification

CITY OF DODGE CITY, KANSAS
ASTRA BANK
GENERAL NOTES

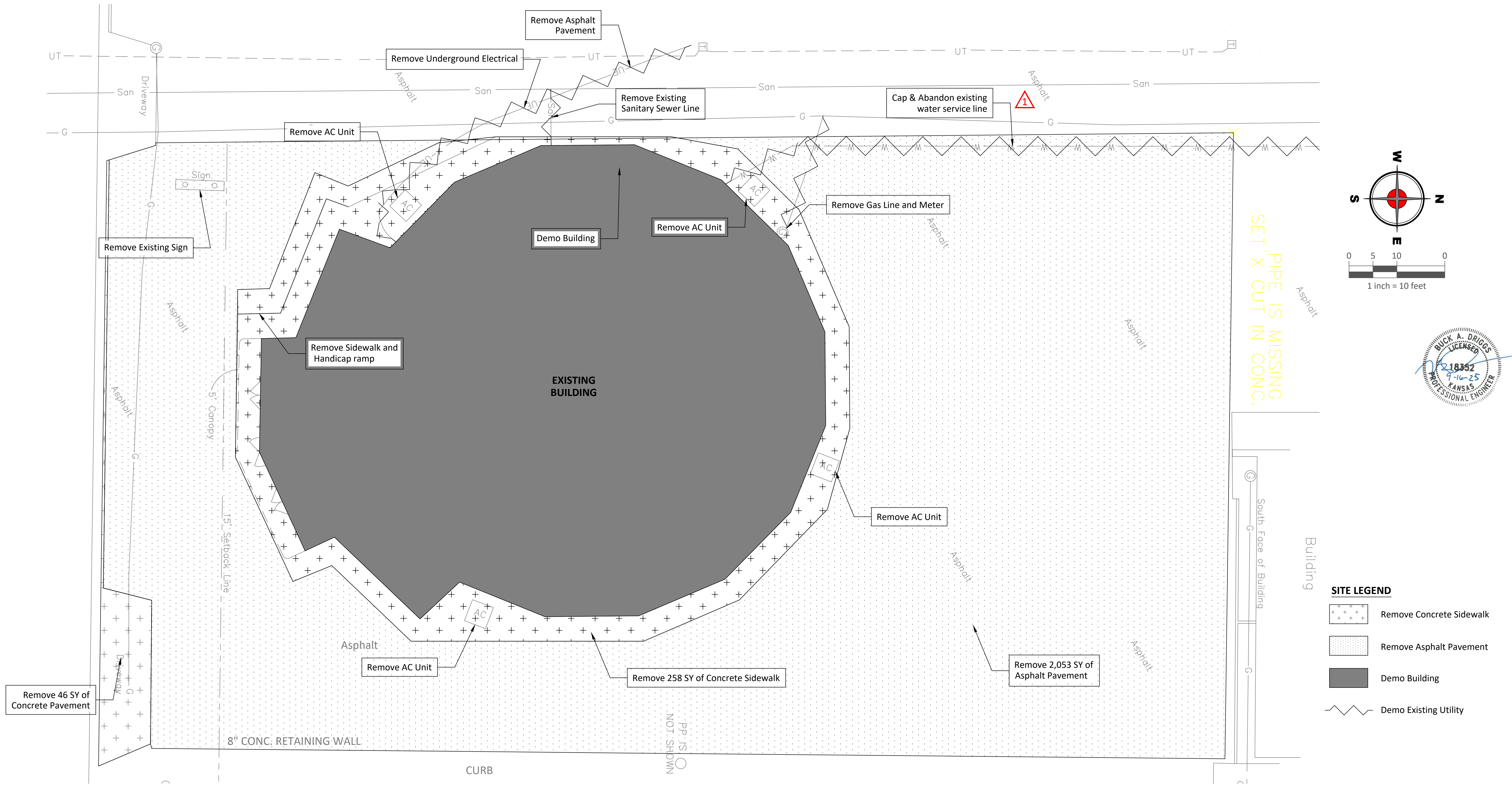
DRIGGS DESIGN GROUP, PA

Surveying Engineering Planning

MANHATTAN - HAYS - EMPORIA - TOPEKA - GOODLAND



Project No.:	(EC2025-13)
Date:	9/16/2025
Sheet No.:	2 OF 16



DEMO NOTES:

- Contractor is responsible for coordinating with each utility owner regarding termination of utilities and removal of existing utility lines.
- The Contractor shall field verify the actual locations, bury depths and sizes of all existing utilities prior to commencing construction activities. Contractor shall also contact any utility owner not subscribing to KANSAS ONE-CALL system.
- The Contractor shall install and maintain initial erosion control BMP's along the private drive and other areas as shown on the Erosion Control Plan prior to commencing any significant land disturbance operations. Mud and debris dropped or tracked along the roadway shall be cleaned up, keeping the public ways clear. Other BMP's will be installed as construction progresses as part of the Erosion Control Plan.
- The Contractor shall keep existing roadways open to the public. Contractor shall maintain or provide alternate provisions for pedestrian traffic in a manner that is acceptable to the owner. The Contractor shall stage, coordinate and schedule demolition activities in a manner that minimizes disruption of building services, along with both vehicular and pedestrian traffic. The Contractor shall provide and maintain temporary fences, barricades, warning devices and other appropriate measures to protect the public.
- The Contractor shall disconnect/remove and cap designated utilities within the demolition areas.
- The Contractor shall saw cut all limits of pavement demolition work clean, neat lines. Where practical, saw cut along the nearest appropriate joint or remove $\frac{1}{2}$ panel.
- The Contractor shall backfill and compact depressions, open pits and holes caused as a result of the demolition. Backfill shall be placed and compacted in accordance with the earthwork specifications.

REVISED 09-16-25
1 Water Service Line Modification

No.	Revision	Date

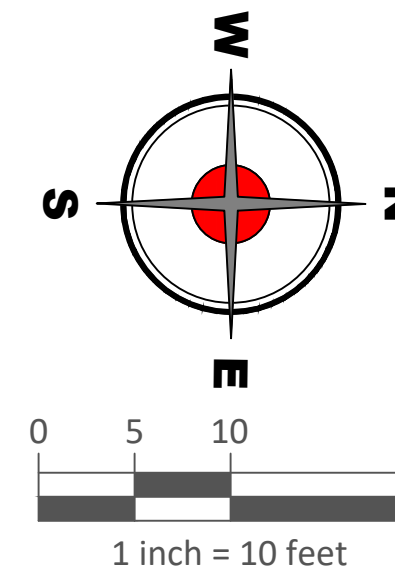
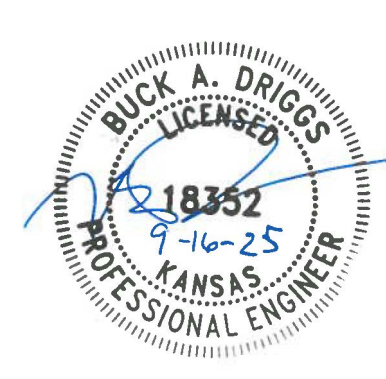
CITY OF DODGE CITY, KANSAS
ASTRA BANK
DEMOLITION PLAN

DRIGGS DESIGN GROUP, PA
Surveying Engineering Planning
MANHATTAN - HAYS - EMPORIA - TOPEKA - GOODLAND

Project No.:
(EC2025-13)
Date:
9/16/2025
Sheet No.:
4 OF 16

Owner Info
Name: PEACOCK, ALLAN
Address: 2400 1ST AVENUE

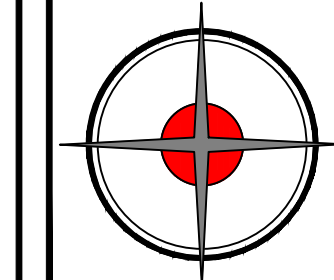
Owner Info
Name: SUNFLOWER BANK N A
Address: 2408 1ST Avenue



No.	Revision	Date

CITY OF DODGE CITY, KANSAS
ASTRA BANK
SITE PLAN

DRIGGS DESIGN GROUP, PA
Surveying Engineering Planning
MANHATTAN - HAYS - EMPORIA - TOPEKA - GOODLAND



Project No.:
(EC2025-13)
Date:
9/16/2025
Sheet No.:
5 OF 16

SITE INFORMATION

- Owner: Capitol Development
- Current Zoning: C2
- Site Area: 28968.4904 SF
- Building Setbacks:
 - Front: 15'
- Parking Requirements
 - 4,830 SF /200 = 24.15 Parking Stalls
 - 24 Regular Parking Stalls
 - 1 ADA Stalls
 - 25 Total

SITE IMPROVEMENTS

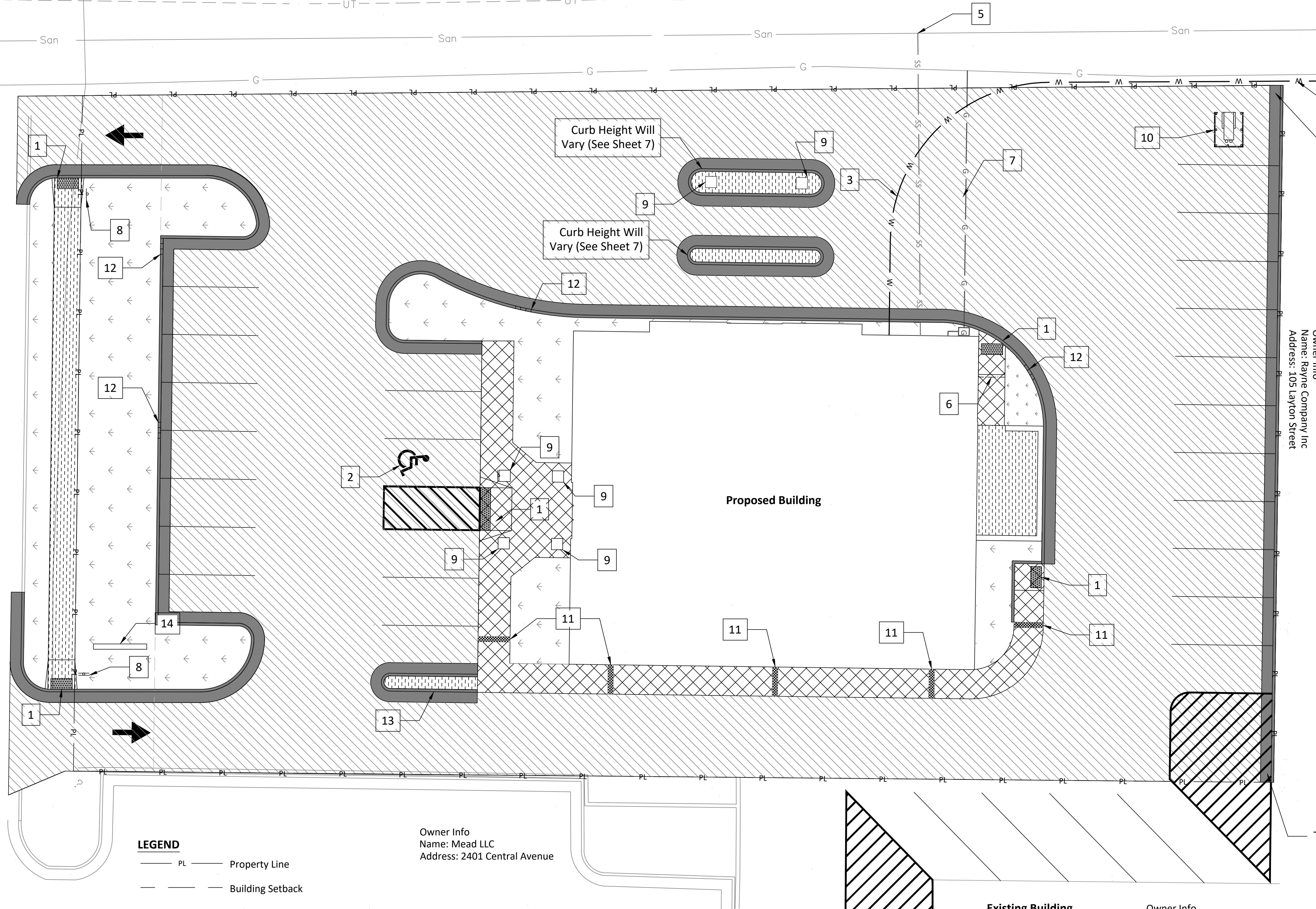
- Construct ADA Ramp
- Install ADA Stall w/ Signage
- Install 2" Water Service ⚠
- ~~Connect to Existing Water Meter ⚠~~
- Install 4" Sanitary Sewer Service
- Install 4" HDPE Pipe under sidewalk
- Install Gas Line
- Proposed Directional Sign (See sheet 12)
- Proposed Building Columns
- Construct Trash Enclosure (See Architect Plans)
- Install Trench Drain (See Architect Plans)
- Install Concrete Curb Cut
- Construct Transition Curb (6" to 3" height) (See grading plan)
- Install Pole Sign (By others)

SHEET REFERENCE

- See Sheet 6-7 for Geometric and Grading Plan
- See Sheets 9-11 for Utility Plan & Details

REVISED 09-16-25
⚠ Water Service Line Modification

KINKHEAD STREET



LEGEND

- PL — Property Line
- — Building Setback
- - - Utility Easement
- W — Proposed Waterline
- SS — Proposed Sanitary Sewer Line
- OE — Proposed Electrical Line
- G — Proposed Gas Line
- - - W - - - Existing Waterline
- - - SS - - - Existing Sanitary Sewer Line
- - - G - - - Existing Gas Line
- - - FO - - - Existing Fiber Optic Line

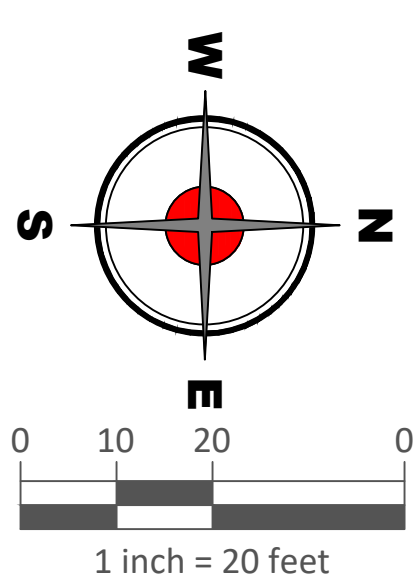
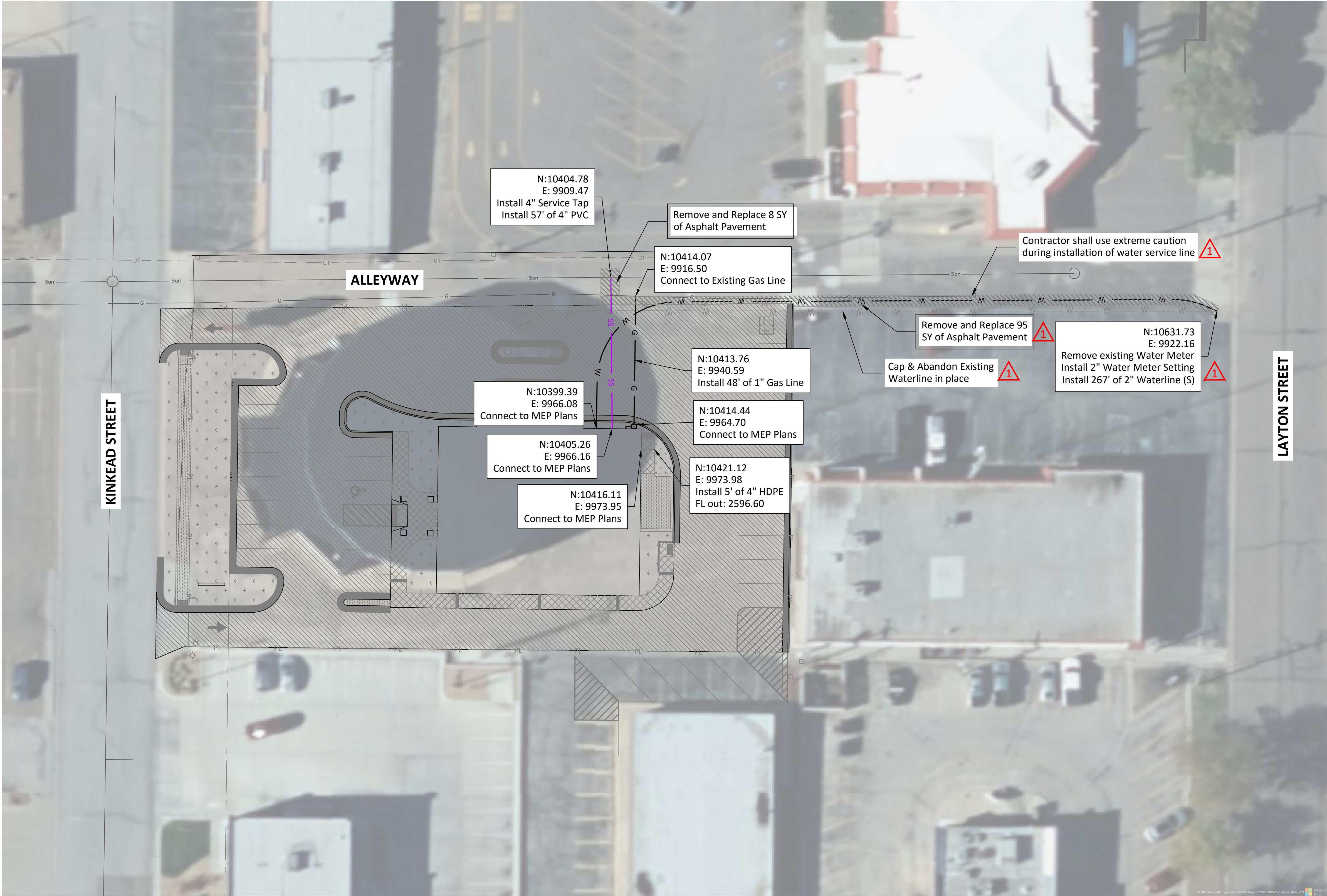
Owner Info
Name: Mead LLC
Address: 2401 Central Avenue

LEGEND

- Construct 6" Concrete Pavement (AE)
- Construct 4" Concrete Sidewalk
- Construct 6" Curb & Gutter
- Green Space Area
- Construct 6" Thickened Edge Sidewalk

Existing Building

Owner Info
Name: CBDB LLC
Address: 2405 Central Avenue



LEGEND

- PL Property Line
- Building Setback
- Utility Easement
- W Proposed Waterline
- SS Proposed Sanitary Sewer Line
- OE Proposed Electrical Line
- G Proposed Gas Line
- W Existing Waterline
- SS Existing Sanitary Sewer Line
- G Existing Gas Line
- FO Existing Fiber Optic Line

UTILITY CONTACTS

Gas:
Black Hills Energy
Dodge City, Kansas 67801
620-338-5051

Electric:
Victory Electric
3230 N 14th
Dodge City, KS 64121
(785) 623-3025

Telephone:
AT&T
1-800-499-7926

Water and Sewer:
City of Dodge City
703 West Trail
Dodge City, KS 67801
620-225-8176

UTILITY NOTES

- The contractor shall field verify the location, bury depths and sizes of all existing utilities prior to commencing construction.
- The contractor shall contact any utility owners not subscribed to Kansas One-Call System.
- See MEP plans for the building utilities tie in information.
- Quantities are for information only. Contractors shall be responsible for verification.
- Electric service location to be determined by MEP Engineer.
- Waterline to be installed a minimum of 4 ft. below finish grade.
- Contractor shall coordinate with gas company during installation of water service line due to close proximity.



KANSAS ONE-CALL
1-800-DIG-SAFE (344-7233)
ALLOW 2-10 WORKING DAYS

REVISED 09-16-25
1 Water Service Line Modification

No.	Revision	Date

CITY OF DODGE CITY, KANSAS
ASTRA BANK
UTILITY PLAN

DRIGGS DESIGN GROUP, PA
Surveying Engineering Planning
MANHATTAN - HAYS - EMPORIA - TOPEKA - GOODLAND

Project No.: (EC2025-13)
Date: 9/16/2025
Sheet No.: 9 OF 16



REVISION:

DATE: 08-28-2025

JOB: 25-3515

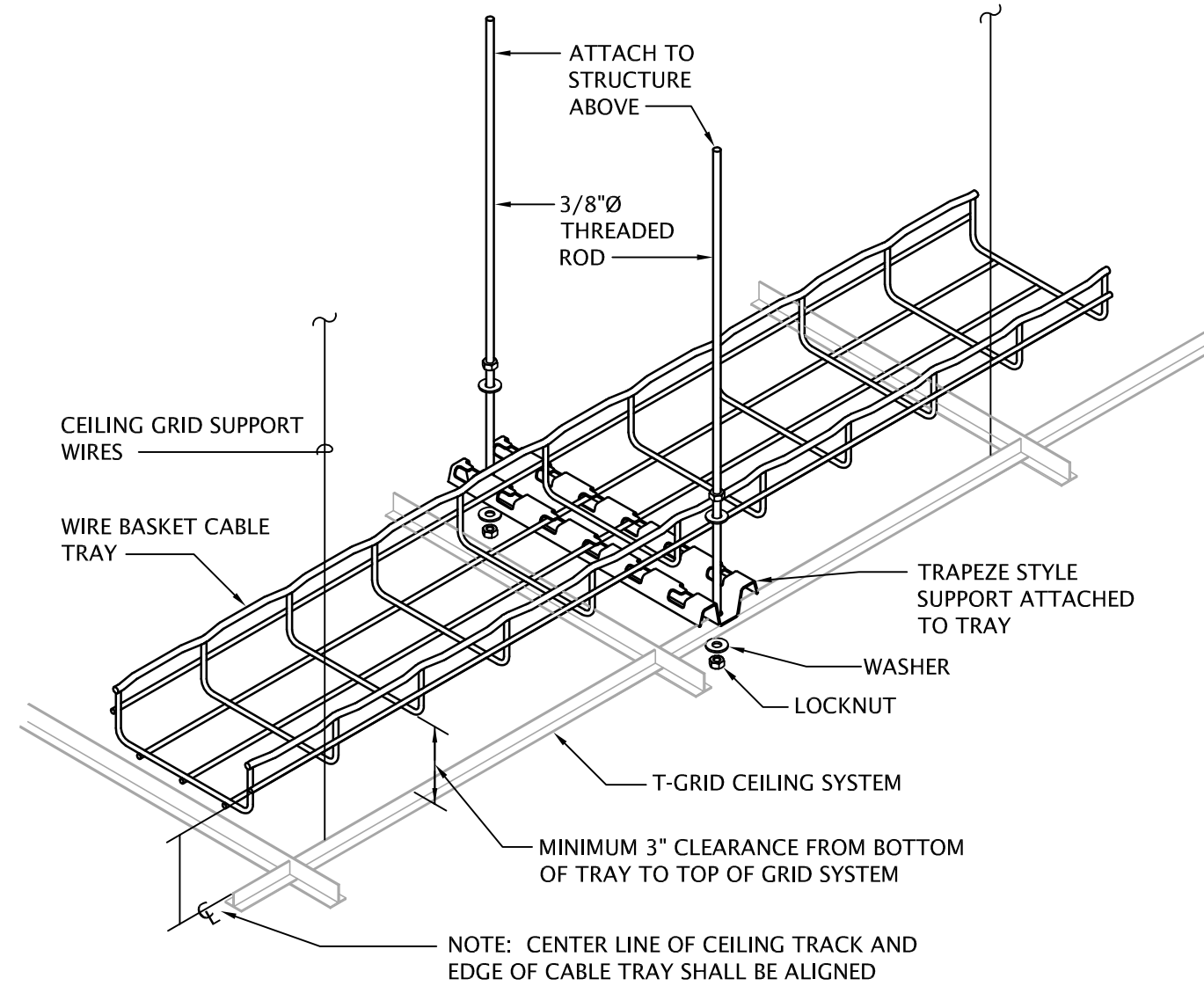
SHEET NO.:

E6.1

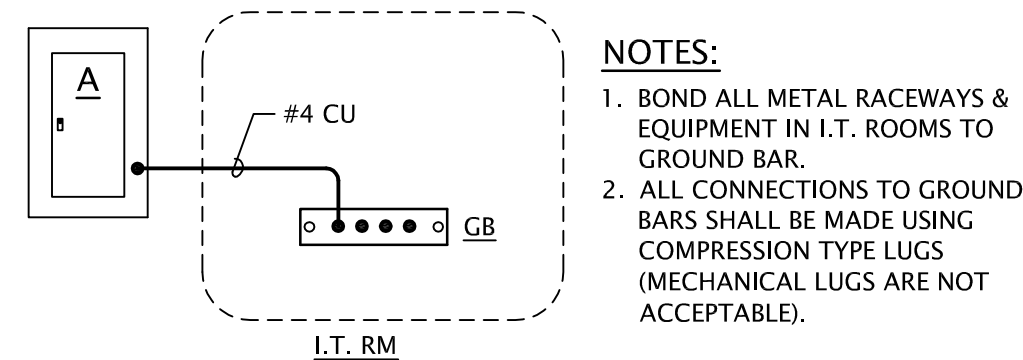
COPYRIGHTED ©

Designation: A				Manufacturer: Square D 'NQ'			
Location: Mech Room 109				Bus Amps: 400A			
Voltage: 240/120V-1Ph-3W				MCB Amps: 400/2			
Enclosure: NEMA 1				AIC Rating: 22 kAIC Series Rated			
Mounting: Surface				Other: Service Entrance Rated			
				200/2 Sub-Feed Breaker			
Circuit #	Load Description	Conductors	C/B Size	C/B Size	Conductors	Load Description	Circuit #
1	Condensing Unit 'CU-1'	2#10,#10G	25 / 2	20 / 1	2#12,#12G	RCPT: 110, 112, 113	2
3				20 / 1	2#12,#12G	RCPT: W. IT Room	4
5	Condensing Unit 'CU-2'	2#8,#10G	35 / 2	20 / 1	2#12,#12G	RCPT: S. IT Room	6
7				20 / 1	2#12,#12G	RCPT: W. IT Room	8
9	Condensing Unit 'CU-3'	2#8,#10G	35 / 2	20 / 1	2#12,#12G	RCPT: N. IT Room	10
11				20 / 1	2#12,#12G	RCPT: Office 106	12
13	Condensing Unit 'CU-4'	2#10,#10G	25 / 2	20 / 1	2#12,#12G	Customer Terminal	14
15				20 / 1	2#12,#12G	ATM Machine	16
17	Condensing Unit 'CU-5'	2#10,#10G	25 / 2	20 / 1	2#12,#12G	RCPT: W. Teller	18
19				20 / 1	2#12,#12G	RCPT: E. Teller	20
21	Heat Pump 'OU-1'	2#12,#12G	15 / 2	20 / 1	2#12,#12G	Deal Drawer	22
23				20 / 1	2#12,#12G	Teller Window	24
25	Furnace 'F-3'	2#12,#12G	15 / 1	20 / 1	2#12,#12G	RCPT: Work 104	26
27	Furnace 'F-4'	2#12,#12G	15 / 1	20 / 1	2#12,#12G	RCPT: Work Printer	28
29	Furnace 'F-5'	2#12,#12G	15 / 1	20 / 1	2#12,#12G	RCPT: Work Counter	30
31	Water Heater 'WHH'	2#10,#10G	30 / 2	20 / 1	2#12,#12G	RCPT: Office 103	32
33				20 / 1	2#12,#12G	RCPT: Mech Rm 107	34
35	LTS: Lobby, Tellers	2#12,#12G.	20 / 1	20 / 1	2#12,#12G	Lobby Sign	36
37	LTS: W. & N. Offices, Toilets	2#12,#12G.	20 / 1	20 / 1	---	SPARE	38
39	RADON FAN	2#12,#12G.	20 / 1	20 / 1	---	SPARE	40
41	SPARE	---	20 / 1	20 / 1	---	SPARE	42
43	SPARE	---	20 / 1	20 / 1	---	SPARE	44
45	SPARE	---	20 / 1	20 / 1	---	SPARE	46
47	SPARE	---	20 / 1	---	---	BLANK	48
49	SPARE	---	20 / 1	---	---	BLANK	50
51	SPARE	---	20 / 1	30 / 2	2#10,#10G	TVSS	52
53	SPARE	---	20 / 1				54

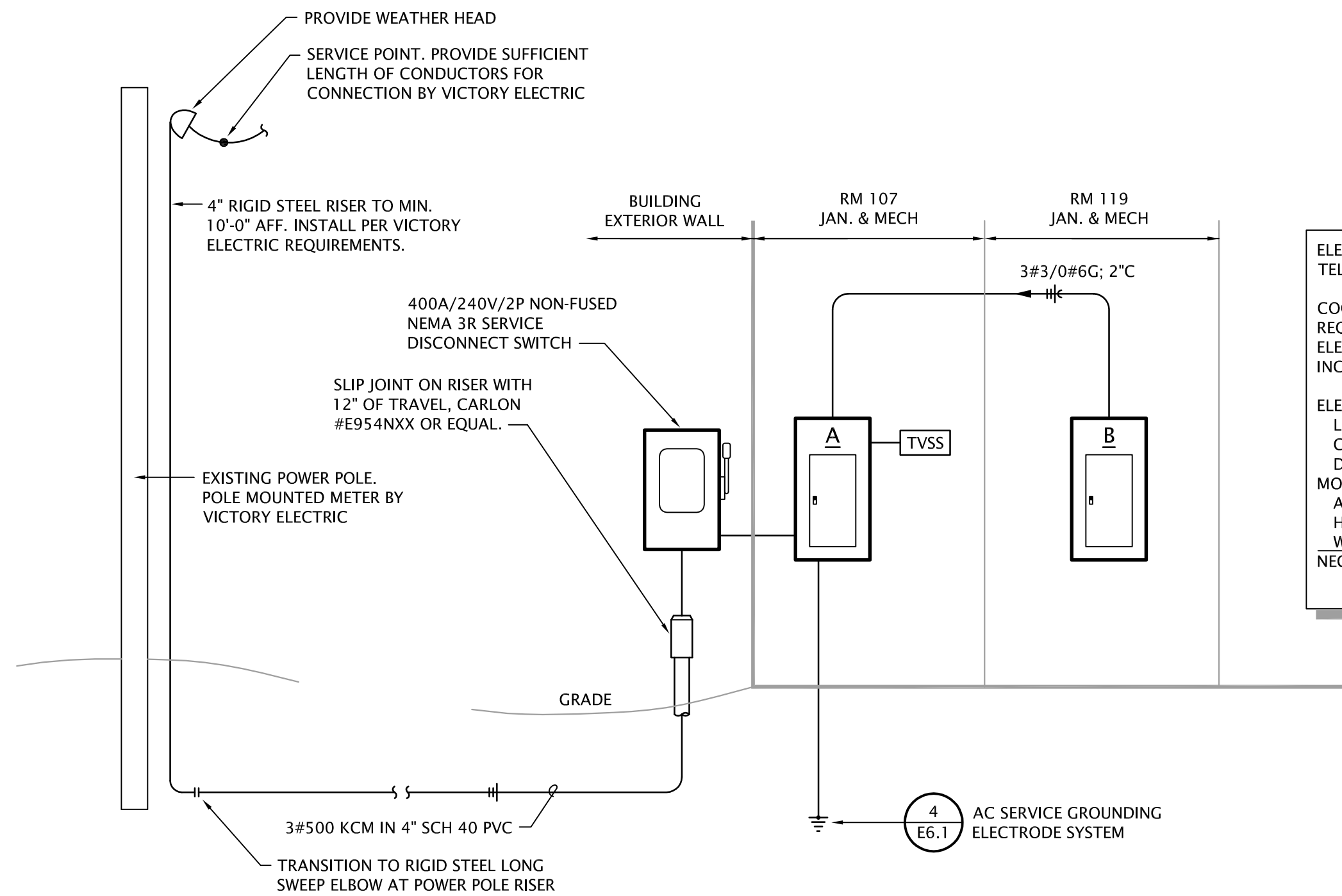
Designation: B				Manufacturer: Square D 'NQ'			
Location: Mech Room 122				Bus Amps: 225A			
Voltage: 240/120V-1Ph-3W				MCB Amps: MLO			
Enclosure: NEMA 1				AIC Rating: 10 kAIC			
Mounting: Surface				Other:			
Circuit #	Load Description	Conductors	C/B Size	C/B Size	Conductors	Load Description	Circuit #
1	RCPT: Office 102	2#12,#12G	20 / 1	20 / 1	2#12#12G	RCPT: Work 115	2
3	RCPT: Vestibule / Entry	2#12,#12G	20 / 1	20 / 1	2#12#12G	RCPT: Work Printer	4
5	Vestibule 'EWH'	2#12,#12G	20 / 1	20 / 1	2#12#12G	RCPT: Work Counter	6
7	RCPT: Office 122	2#12,#12G	20 / 1	20 / 1	2#12#12G	RCPT: Break Rm	8
9	RCPT: Office 123	2#12,#12G	20 / 1	20 / 1	2#12#12G	RCPT: Break Rm Fridge	10
11	RCPT: Lobby Floor Box	2#12,#12G	20 / 1	20 / 1	2#12#12G	RCPT: Break Rm Microwave	12
13	RCPT: Lobby CT, Fridge	2#12,#12G	20 / 1	20 / 1	2#12#12G	RCPT: Break Counter	14
15	RCPT: Lobby CT, TV	2#12,#12G	20 / 1	20 / 1	2#12#12G	RCPT: Break Counter	16
17	RCPT: Lobby Tellers	2#12,#12G	20 / 1	20 / 1	2#12#12G	Conf. UC Fridge	18
19	Soffit/Drive Thru Lights	2#12,#12G	20 / 1	20 / 1	2#12#12G	Conf. AV Cabinet	20
21	Building Sign	2#12,#12G	20 / 1	20 / 1	2#12#12G	Conf. Counter, TV	22
23	Site Pole Lights	2#10,#10G	20 / 1	20 / 1	2#12#12G	RCPT: Conf. Floor Box, East Wall	24
25	Bank Pole Sign	2#10,#10G	60 / 1	20 / 1	2#12#12G	RCPT: Conf. West, North	26
27	ATM Sign	2#10,#10G	20 / 1	15 / 1	2#12#12G	Furnace 'F-2'	28
29	LTS: N. Offices, Conf, Break, Work Rm	2#12,#12G	20 / 1	15 / 1	2#12#12G	Furnace 'F-1'	30
31	RCPT: Office 121	2#12,#12G	20 / 1	20 / 1	2#12#12G	RCPT: Mech Rm 119	32
33	RCPT: Office 120	2#12,#12G	20 / 1	20 / 1	---	SPARE	34
35	SPARE	---	20 / 1	20 / 1	---	SPARE	36
37	SPARE	---	20 / 1	20 / 1	---	SPARE	38
39	SPARE	---	20 / 1	20 / 1	---	SPARE	40
41	SPARE	---	20 / 1	20 / 1	---	SPARE	42



3 WIRE BASKET TRAY ABOVE CEILING
No Scale



4 TELECOM GROUNDING & BONDING DIAGRAM
No Scale

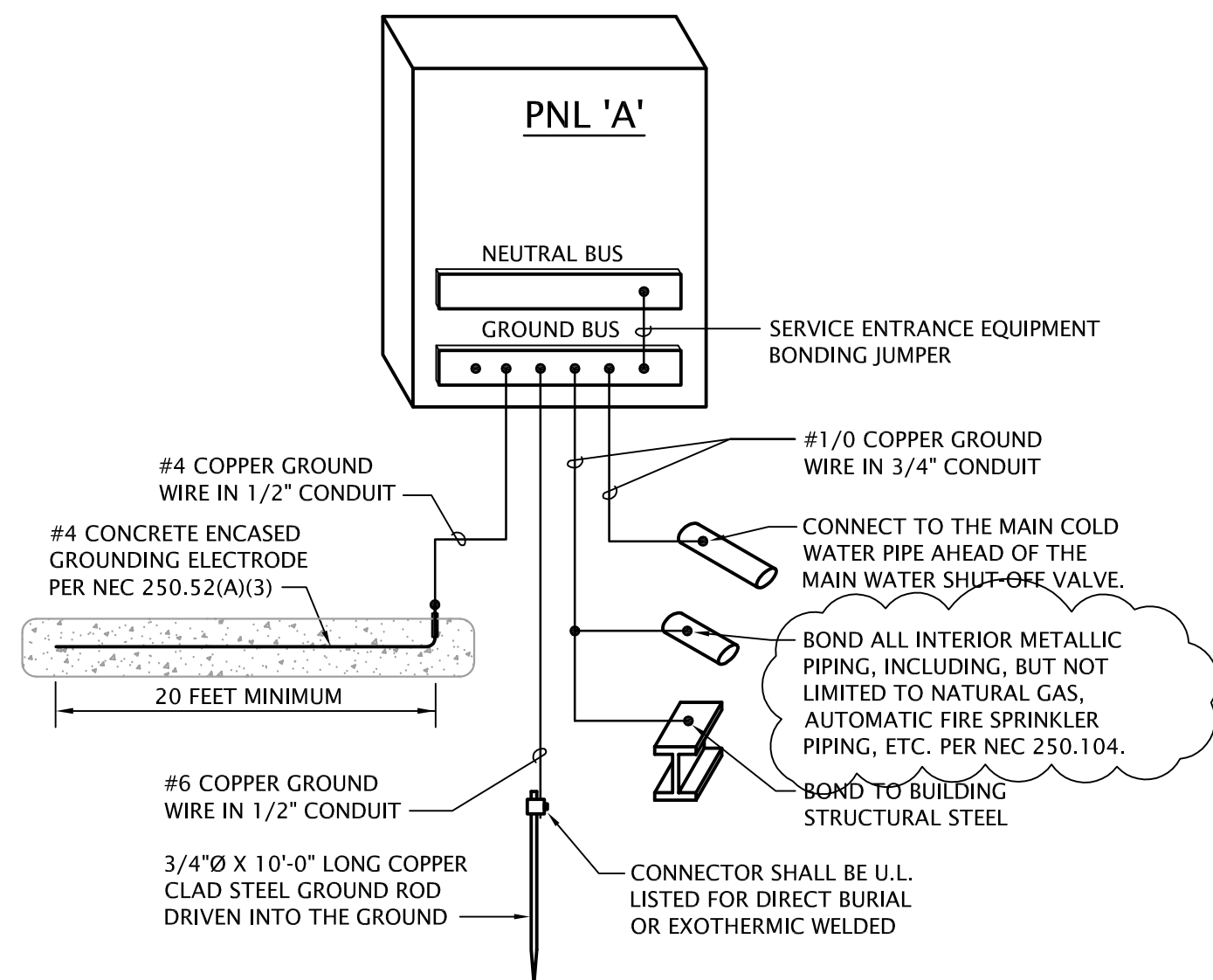


1 ELECTRICAL RISER DIAGRAM
No Scale

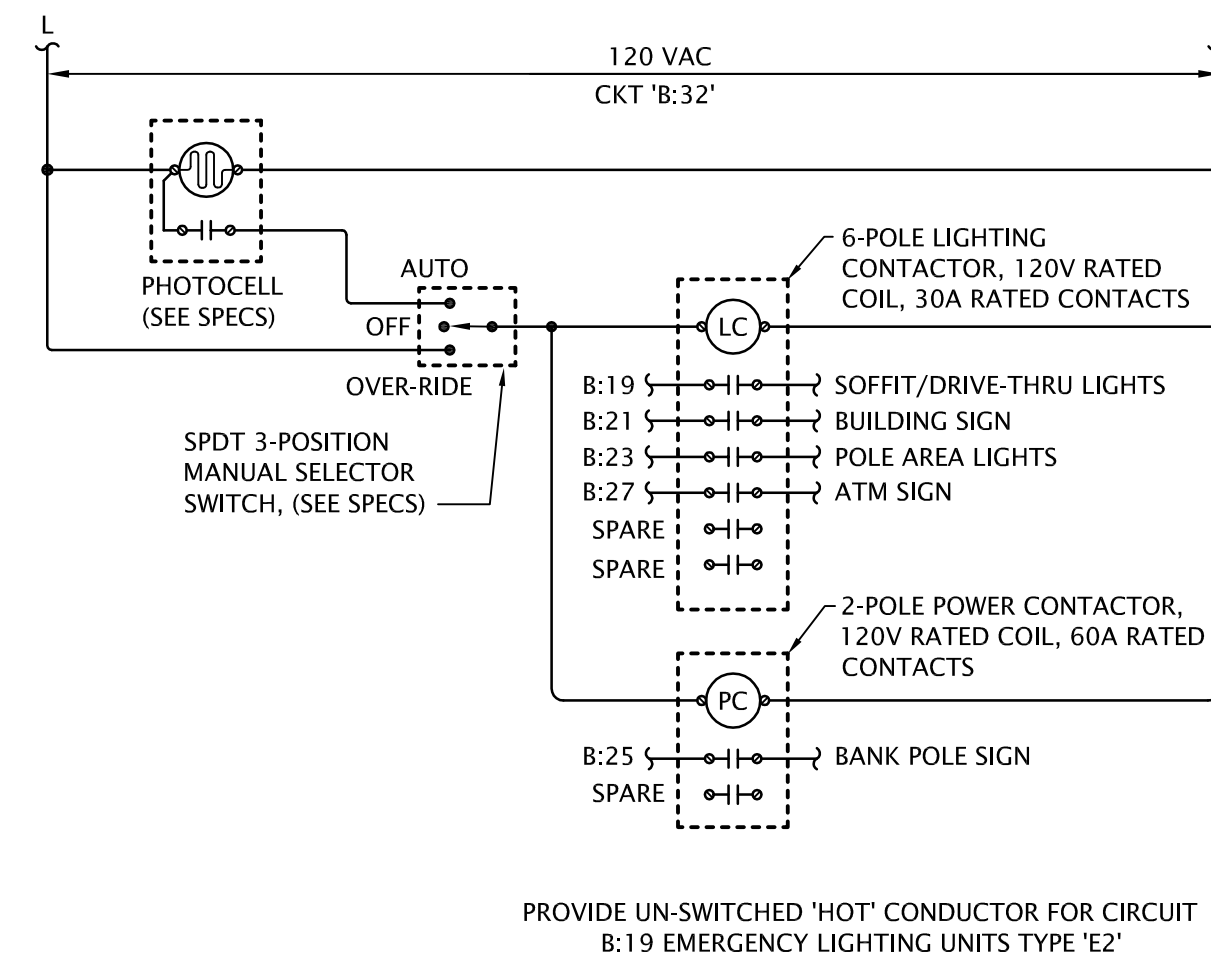
ELECTRIC COMPANY: VICTORY ELECTRIC
TELE: 620-227-2139

COORDINATE RESPONSIBILITIES AND REQUIREMENTS FOR SERVICE WITH VICTORY ELECTRIC AND PAY ASSOCIATED FEES INCLUDING NEW TRANSFORMER COST.

ELECTRIC LOAD SUMMARY:
LIGHTING: 11.5KVA
CONV. RECEPTACLES: 14.1 KVA
DEDICATED OUTLETS: 12.8 KVA
MOTORS: 5.8 KVA
AIR CONDITIONING: 18.3 KVA
HEAT PUMPS: 2.3 KVA
WATER HEATER: 4.5 KVA
NEC SIZING LOAD: 69.3 KVA
289A @ 120/240V-1PH, 3W



2 SERVICE GROUNDING ELECTRODE SYSTEM DIAGRAM
No Scale



5 EXTERIOR LIGHTING CONTROL DIAGRAM
No Scale