



Jones Gillam Renz Architects

Address

730 N 9th St.
Salina, KS 67401

1881 Main St., Suite 301
Kansas City, MO 64108

Contact

jgr@jgrarchitects.com
(785) 827-0386

Web

jgrarchitects.com

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Lee Lofts III Historic Rehabilitation & New Apartments Salina, KS	Report No.	Six (6)
		Date	July 23, 2026
OWNER:	Overland Property Group Dan Maximuk 250 N. Santa Fe Ave. Suite A Salina, KS 67401	Architect's Proj No.	22-3243
		Contract For:	General Construction Mechanical, Electrical
CONTRACTOR:	Overland Construction Group 250 N. Santa Fe Ave. Suite A Salina, KS 67401		

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

- 1) Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions (In response to several items listed on RFIs #18, 20, 22 & 25):
 - Apartment Numbers have been revised – shown in Red on plan.

Attachments:

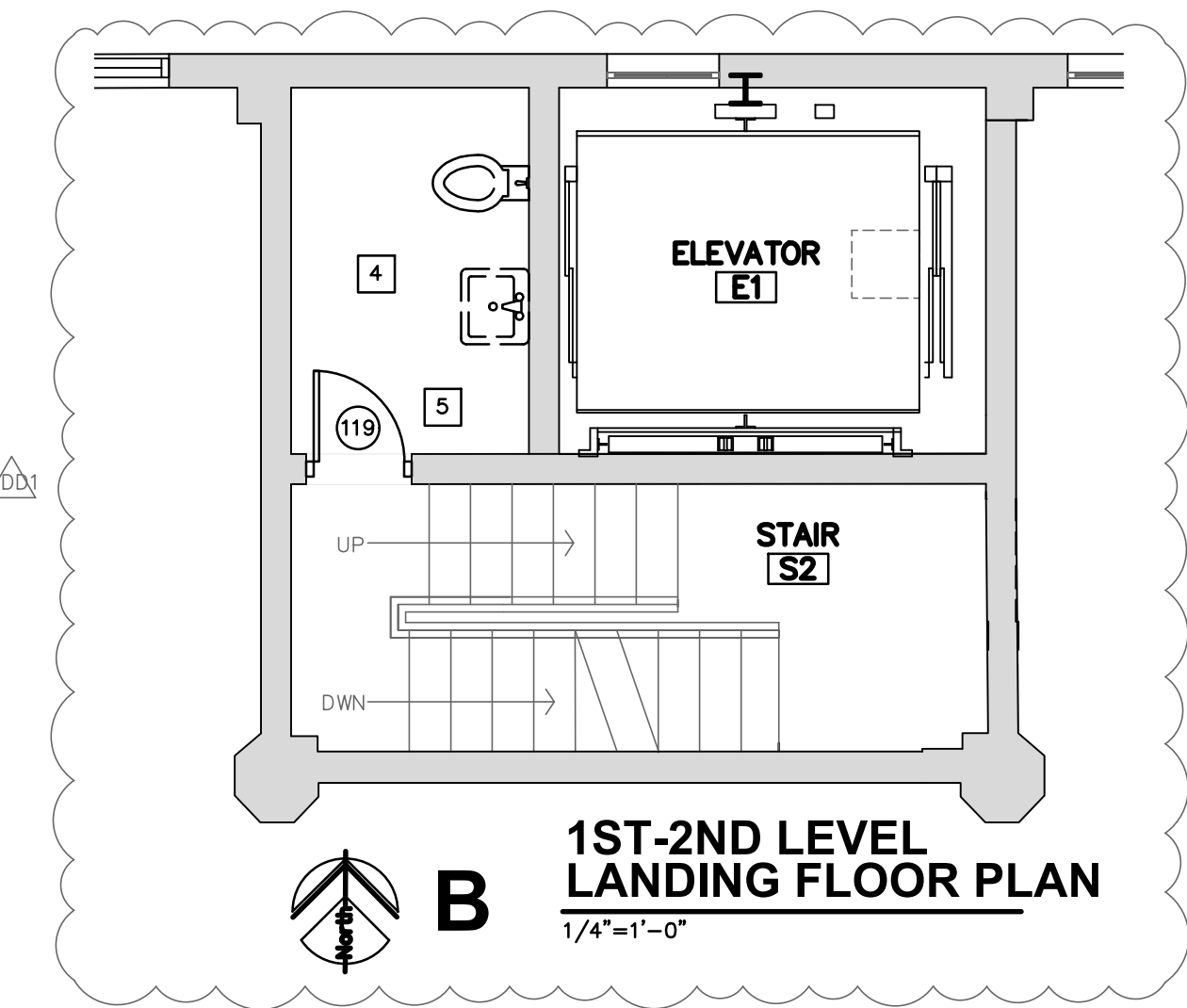
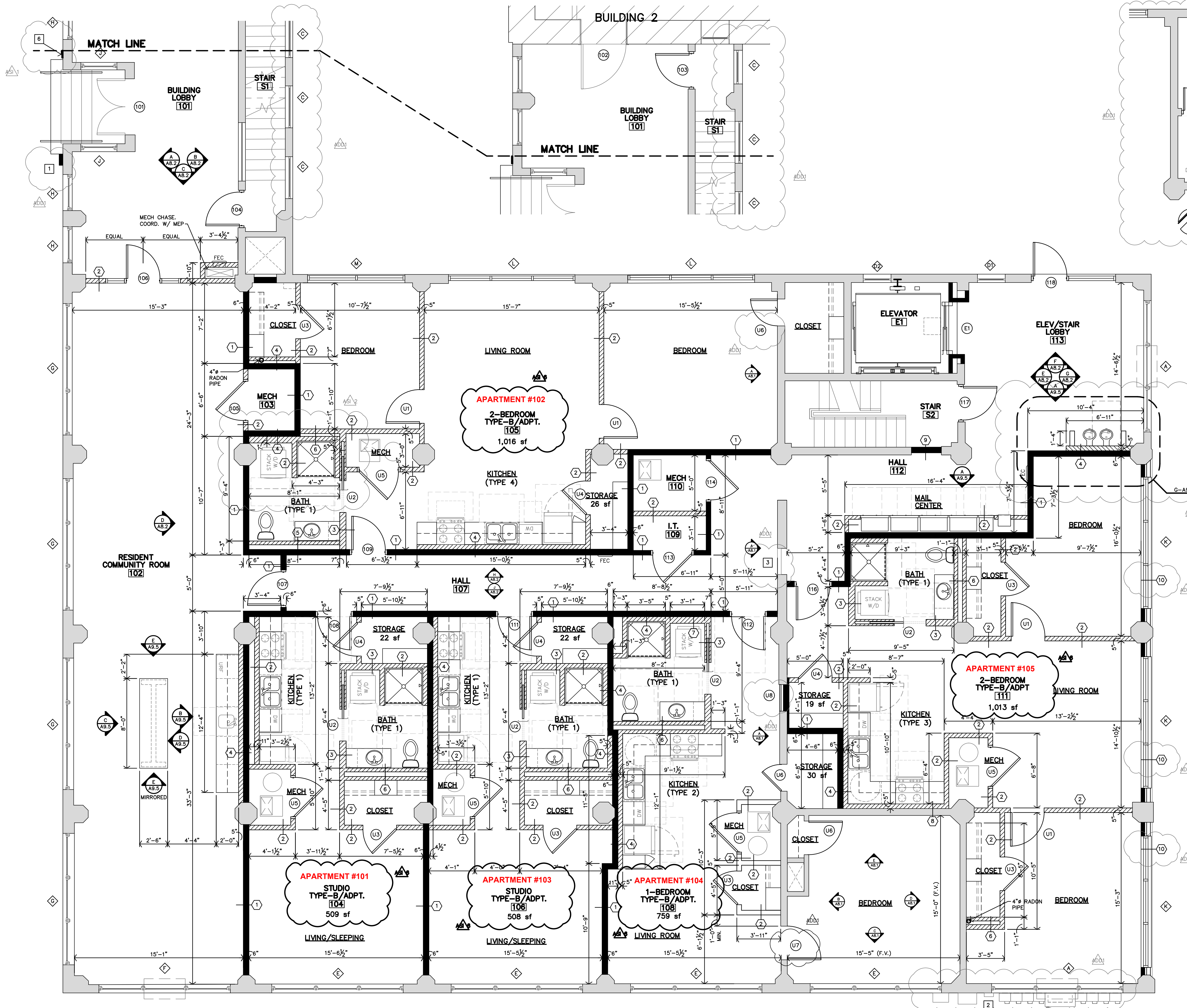
1. Revised Architectural Sheets: A2.1, A2.2 & A2.3

Issued by:

Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Maggie Gillam, Project Architect 785 827 0386 mgillam@jgrarchitects.com

Copies to:

MCP Group – Eric Hubener, DJ Brown
OPG – Dan Maximuk, Amanda Klaus, Austin Kack, Katie Jardieu
Design Team – Ryan Lies (LST), Brent Engellant (EC), Justin Owens & Matt Rowe (Kaw Valley)



- KEY NOTES**
- 1 KNOX BOX REF. COORDINATE FINAL LOCATION WITH SALINA FIRE DEPARTMENT
 - 2 METER CENTER LOCATON REF. ELECT. DWGS
 - 3 EXISTING VAULT DOOR TO REMAIN. PER HISTORIC PRESERVATION BRIEFS, REMOVE PAINT, CLEAN DOOR, HARDWARE, ETC., REPAINT AND FIX DOOR PERMANENTLY SHUT.
 - 4 EXISTING RESTROOM. REMOVE ALL EXISTING FIXTURES, ACCESSORIES, PLUMBING, ETC. PATCH AND REPAIR PENETRATIONS IN FLOORS/WALLS. ROOM SHALL BE USED FOR STORAGE.
 - 5 REMOVE EXISTING DOOR & FRAME. REPLACE WITH NEW. DOOR TO HAVE STORAGE-TYPE LATCH SET.
 - 6 WALL MOUNTED SIGN: DIRECTIONAL SIGNAGE FOR ACCESSIBLE ENTRANCE ON NORTHEAST CORNER (REFERENCE SPECIFICATIONS).

- WALL HATCH LEGEND**
- PLAN SYMBOL 1-HOUR RATED (UL U305) FULL HEIGHT
- PLAN SYMBOL NON-RATED, FULL HEIGHT
- PLAN SYMBOL NON-RATED, LOW WALL (8'-0")
- PLAN SYMBOL EXISTING BLDG WALLS & COLUMNS FULL HEIGHT (TO REMAIN)

1ST LEVEL FLOOR PLAN
1/4"=1'-0" 6,802 sf

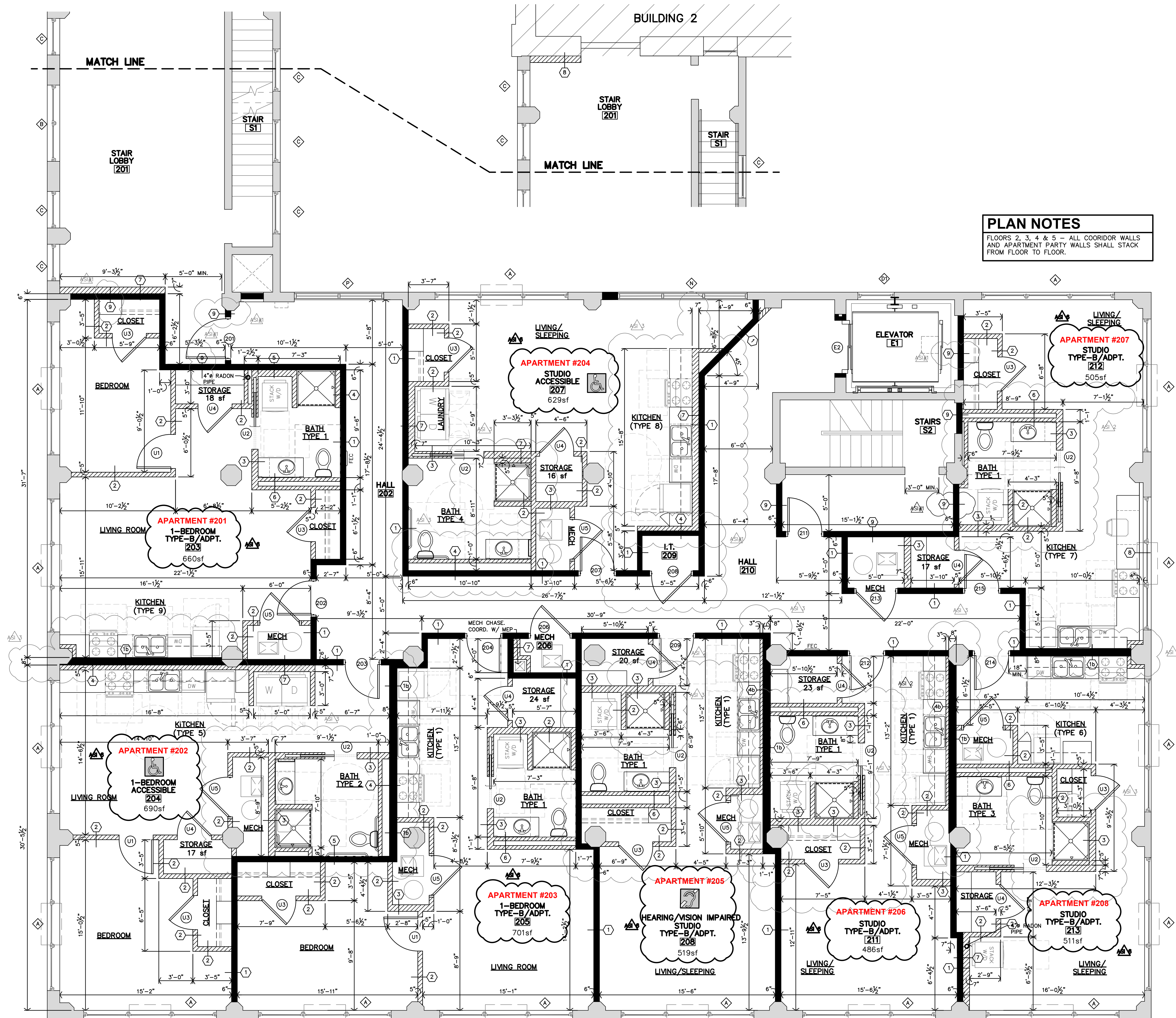
LEE LOFTS, PHASE III, BUILDING 3
HISTORIC REHABILITATION - NEW APARTMENTS
SALINA, KANSAS



REVISION:	
	2-13-2026
	7-16-2026
DATE:	9-19-2025
JOB:	22-3243
SHEET NO.:	

PREVIOUS REVISIONS:
 10-14-2025
 1-7-2026

A2.1



PLAN NOTES
FLOORS 2, 3, 4 & 5 - ALL CORRIDOR WALLS
AND APARTMENT PARTY WALLS SHALL STACK
FROM FLOOR TO FLOOR.

WALL HATCH LEGEND
PLAN SYMBOL
1-HOUR RATED (UL U305)
FULL HEIGHT
PLAN SYMBOL
NON-RATED, FULL HEIGHT
PLAN SYMBOL
NON-RATED, LOW WALL (8'-0")
PLAN SYMBOL
EXISTING BLDG WALLS & COLUMNS
FULL HEIGHT (TO REMAIN)

2ND LEVEL FLOOR PLAN
1/4"=1'-0" 6,856 sf

LEE LOFTS, PHASE III, BUILDING 3
HISTORIC REHABILITATION - NEW APARTMENTS
SALINA, KANSAS



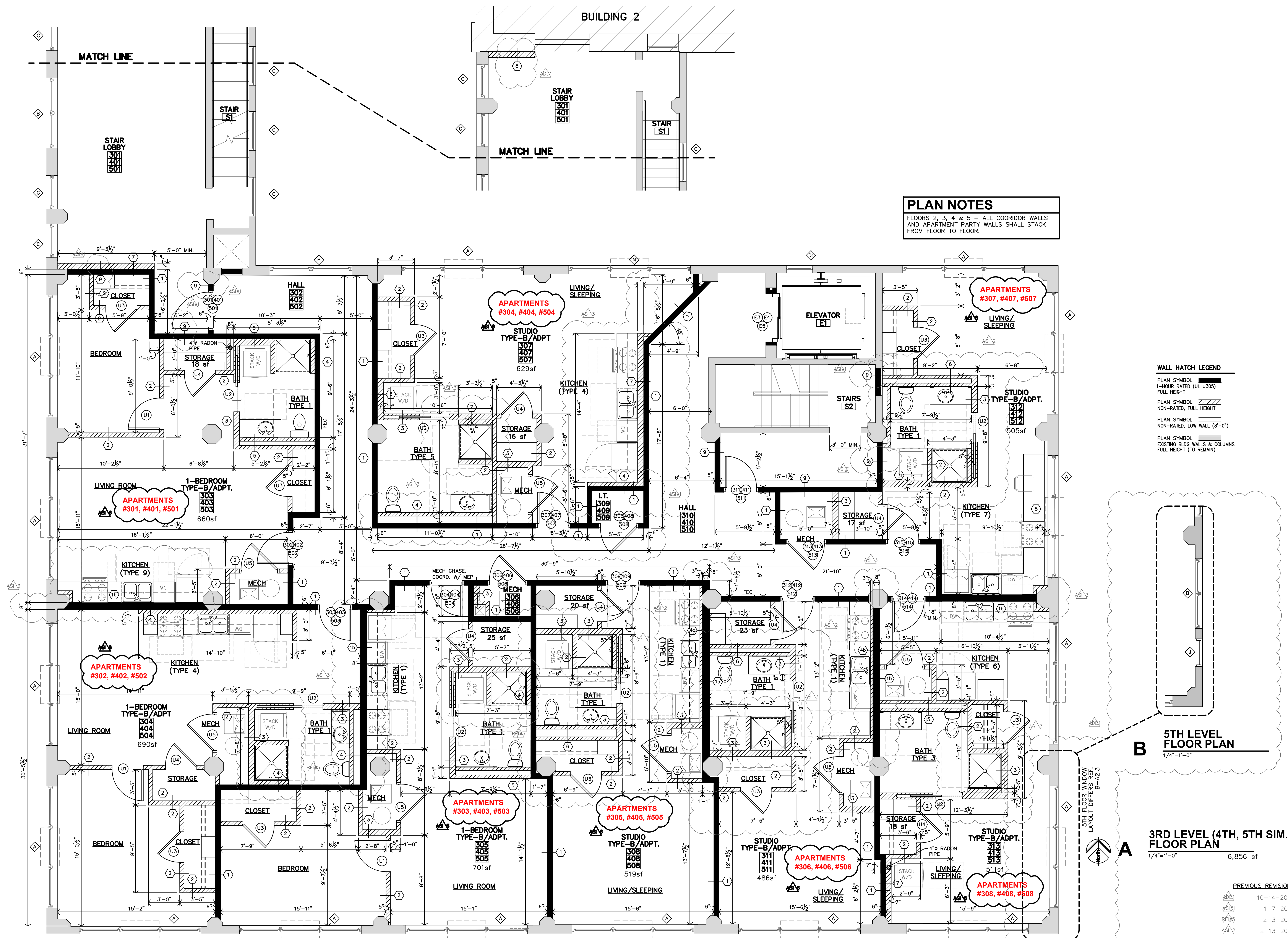
REVISION:	
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PREVIOUS REVISIONS:
1-7-2026
2-13-2026

A2.2

JGR
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PLAN NOTES
FLOORS 2, 3, 4 & 5 - ALL COORIDOR WALLS
AND APARTMENT PARTY WALLS SHALL STACK
FROM FLOOR TO FLOOR.

WALL HATCH LEGEND
PLAN SYMBOL
1-HOUR RATED (UL U305)
FULL HEIGHT
PLAN SYMBOL
NON-RATED, FULL HEIGHT
PLAN SYMBOL
NON-RATED, LOW WALL (8'-0")
PLAN SYMBOL
EXISTING BLDG. WALLS & COLUMNS
FULL HEIGHT (TO REMAIN)

5TH LEVEL FLOOR PLAN
1/4"=1'-0"

3RD LEVEL (4TH, 5TH SIM.) FLOOR PLAN
1/4"=1'-0" 6,856 sf

PREVIOUS REVISIONS
10-14-2025
1-7-2026
2-3-2026
2-13-2026