



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	Landmark on Cypress Historic Rehabilitation Abilene, Texas	Report No.	Seven (7)
OWNER:	OPG Cypress Partners, LLC Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	August 26, 2026
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	25-3483
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions:

- Door 113, into Commercial Space 2, is being eliminated. Window type 'I' to be installed. Reference attached revised sheets CFP2, A2.1, and A10.2.

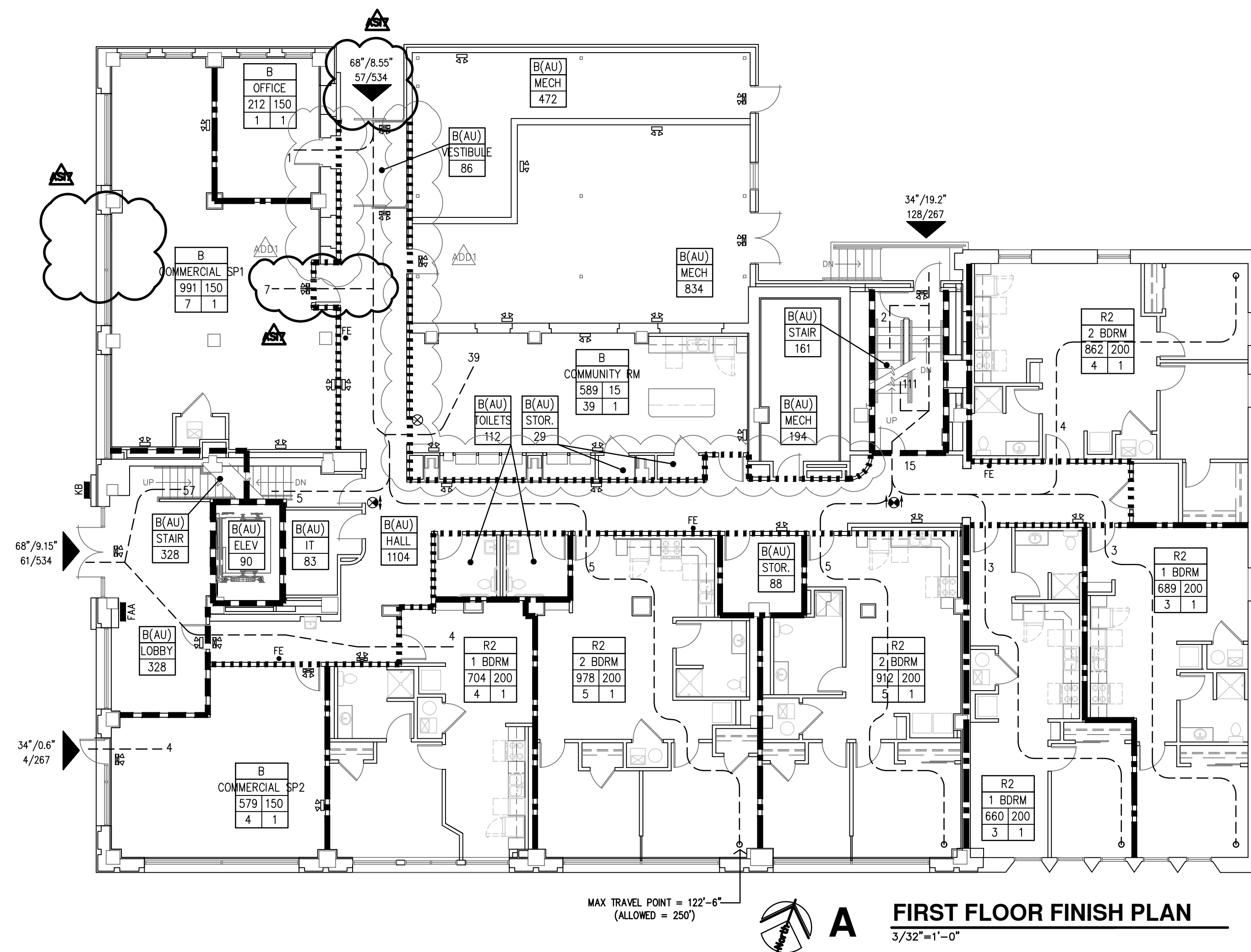
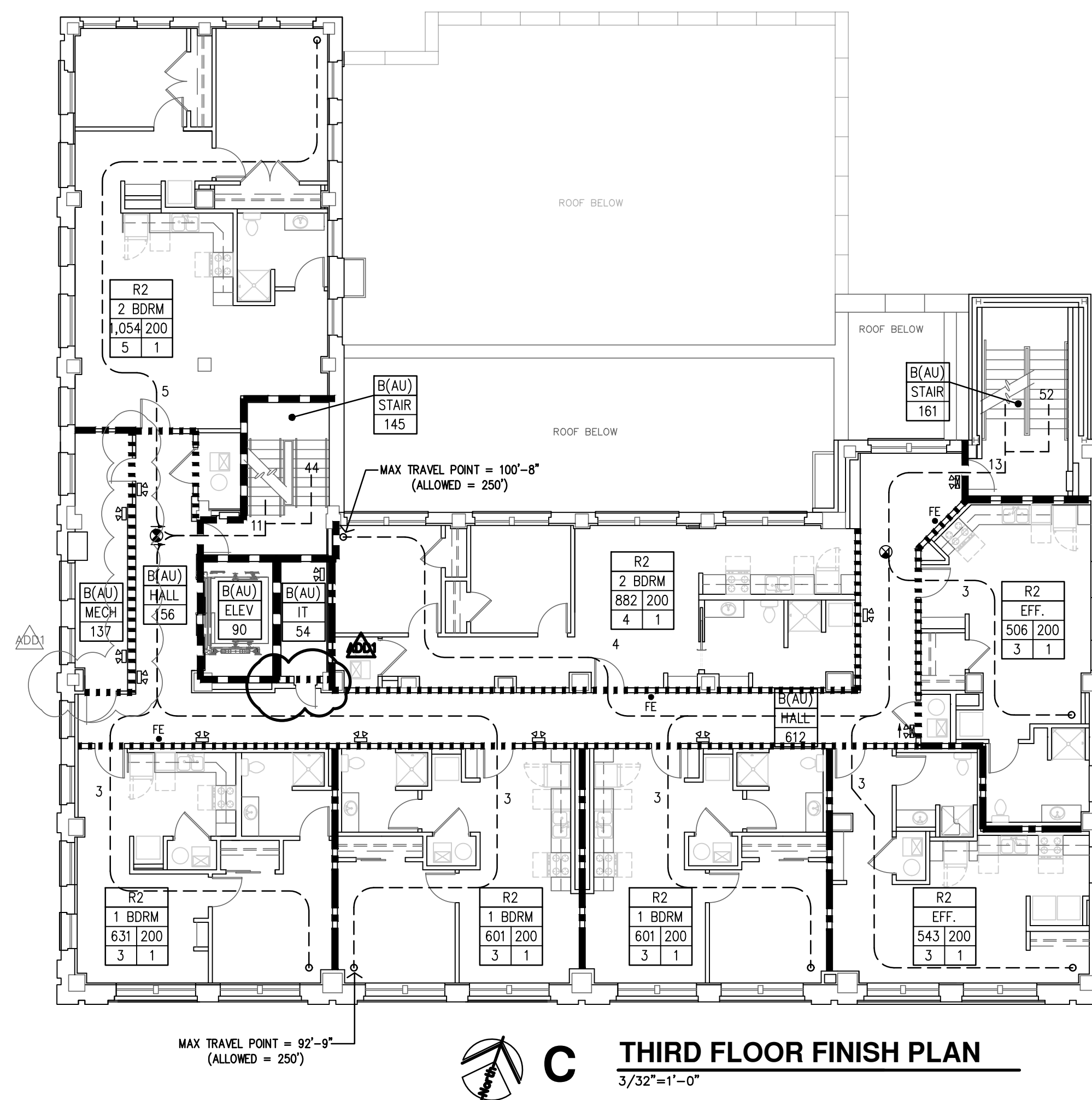
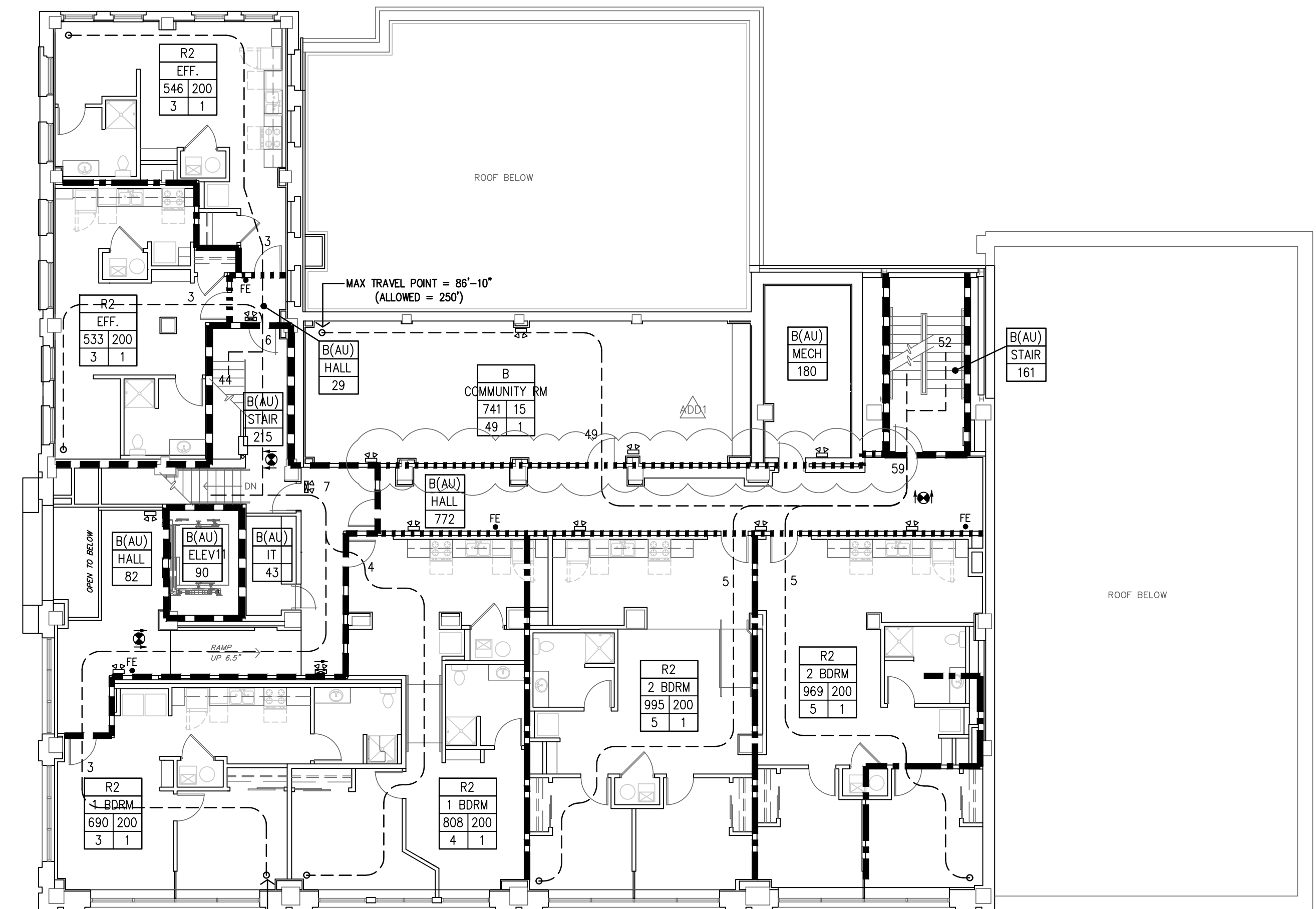
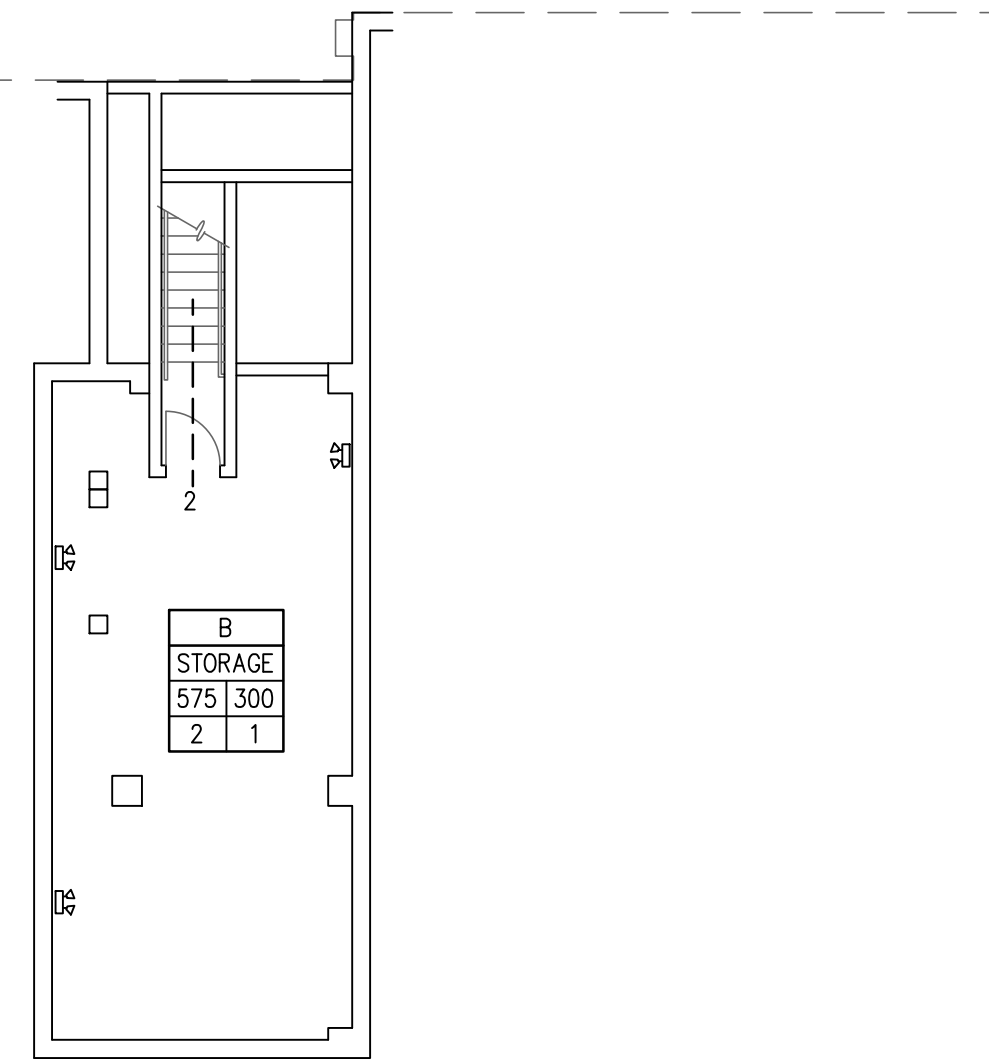
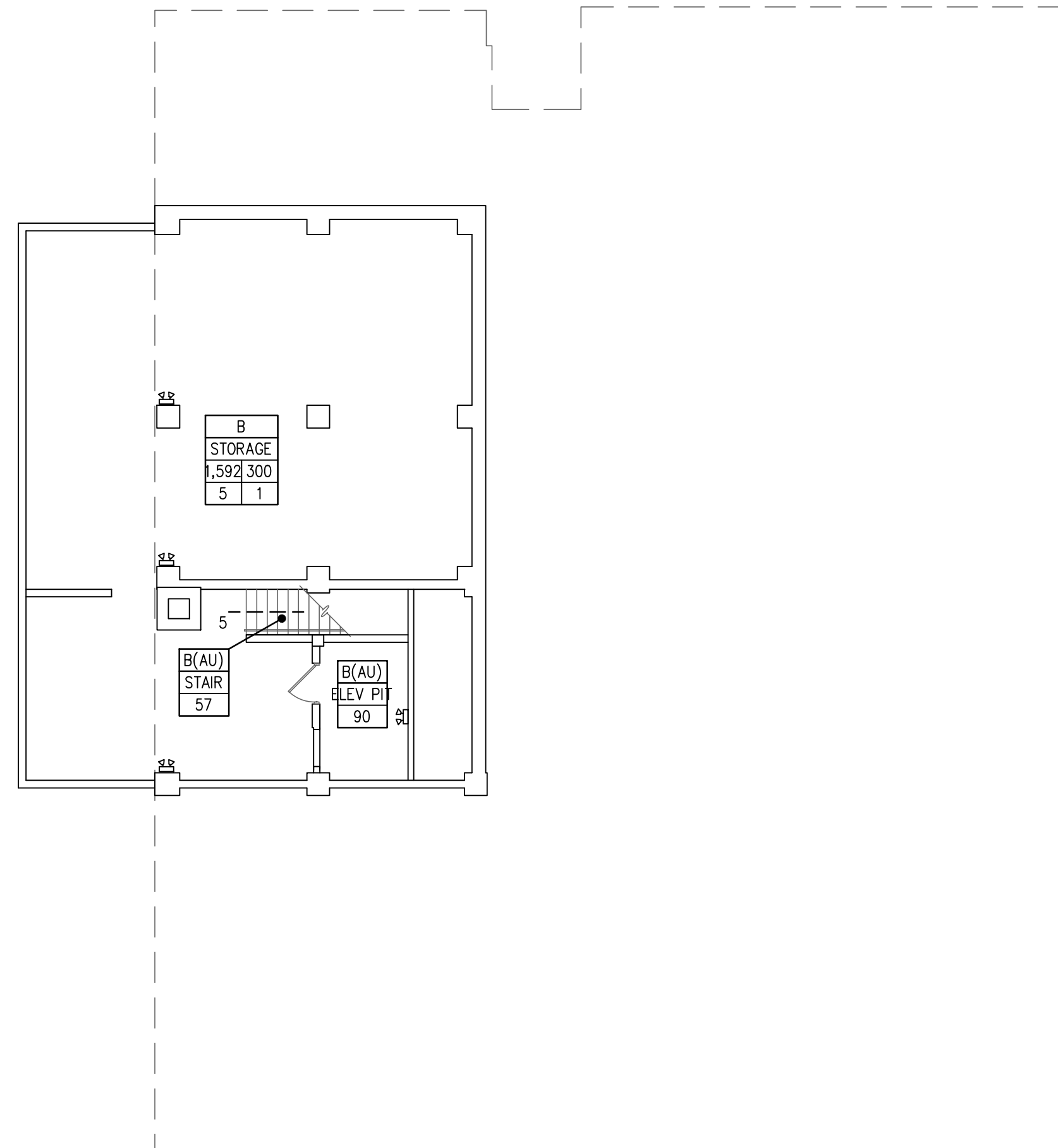
Attachments:

1. Revised Sheets CFP2, A2.1, A10.2

Issued by:	Jones Gillam Renz Architects Maggie Gillam, Project Manager	PO Box 2928, Salina, KS 67402 785-827-0386 mgillam@jgrarchitects.com
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Copies to:

MCP Group – Eric Hubener, Will Allen, Brady Mulroy, Jayna Sanchez, Jeff Noorda, Tanner Jones
OPG – Dan Maximuk, Amanda Klaus, April Engstrom, Caroline Hurst
JGR – Maggie Gillam, BJ Prichard, Ryan Lies, Brent Engellant, Jackson Rhoades, Michael Boerst

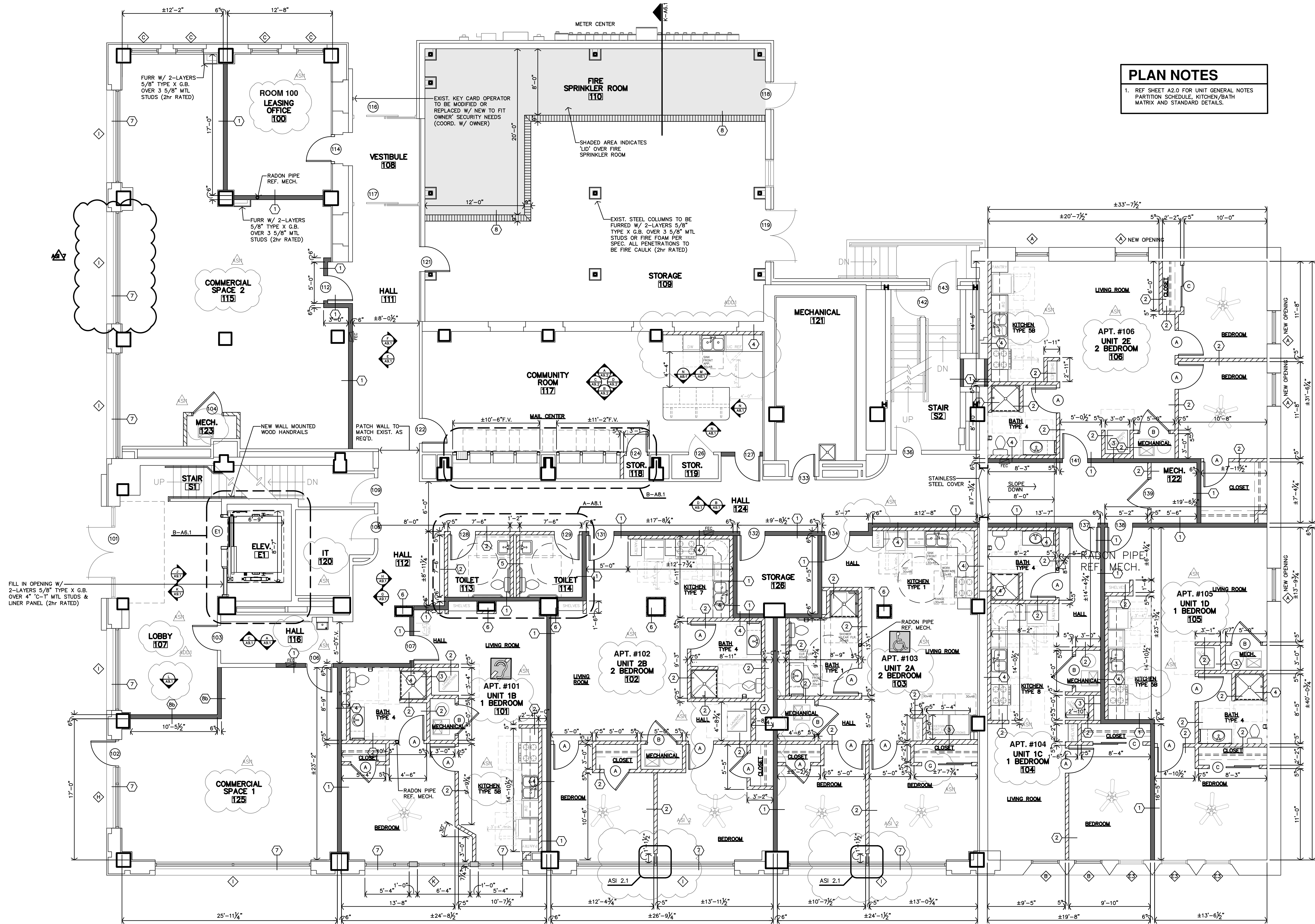


PROJECT INFORMATION

TYPE OF CONSTRUCTION	INTERIOR REMODEL
FACILITY NAME	LANDMARK ON CYPRESS
FACILITY ADDRESS	301 CYPRESS ABILENE, TEXAS 79601
OWNER NAME	OPG - LANDMARK ON CYPRESS PARTNERS, LLC
OWNER ADDRESS	254 N SANTA FE AVE, STE A SALINA, KS 67401 ph: 913-396-6310
REASON FOR SUBMITTAL	CHANGE IN USE, PRIOR OFFICE TO MULTI-FAMILY HOUSING
COUNTY	TAYLOR
FIRE DEPARTMENT	CITY OF ABILENE
WATER SUPPLY	CITY OF ABILENE
BUILDING INSPECTION DEPT	CITY OF ABILENE
AUTHORITY HAVING JURISDICTION	CITY OF ABILENE
ARCHITECT	JONES GILLAM RENZ ARCHITECTS, INC. 730 N. NINTH ST. SALINA, KS 67401 ph: 785-827-0386
CODES/REGULATIONS	2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2020 NATIONAL ELECTRICAL CODE 2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE FAIR HOUSING ACT DESIGN MANUAL 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN 2017 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS and FACILITIES

LEGEND

DESIGNATED EMERGENCY EXIT 1 HOUR CONSTRUCTION 1/2 HOUR FIRE PARTITION; CORRIDOR (PER IBC TABLE 716.2.2) W/ 20 MIN OPENINGS (PER IBC TABLE 716.1(2)) 1 HOUR FIRE PARTITION; BETWEEN DWELLING UNITS & TENANT SPACES W/ 45 MIN OPENINGS (PER IBC 708.3 & 716.1(2)) 2 HOUR CONSTRUCTION; EXIT ENCLOSURE, SHAFT WALLS, W/ 90 MIN OPENINGS (PER IBC TABLE 716.1(2))	68°/24"4° — EXIT WIDTH (ACTUAL/REQUIRED) 122/340 — OCCUPANT LOAD (ACTUAL/ALLOWED) OCCUPANCY GROUP (AU — ACCESSORY USE) OCCUPANCY USE ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR OCCUPANT LOAD/REQUIRED NUMBER OF EXITS <table border="1" style="margin: auto;"> <tr> <td colspan="2">R-2</td> </tr> <tr> <td colspan="2">APARTMENT</td> </tr> <tr> <td>1,000</td> <td>200</td> </tr> <tr> <td>5</td> <td>1</td> </tr> </table>	R-2		APARTMENT		1,000	200	5	1
R-2									
APARTMENT									
1,000	200								
5	1								



PLAN NOTES

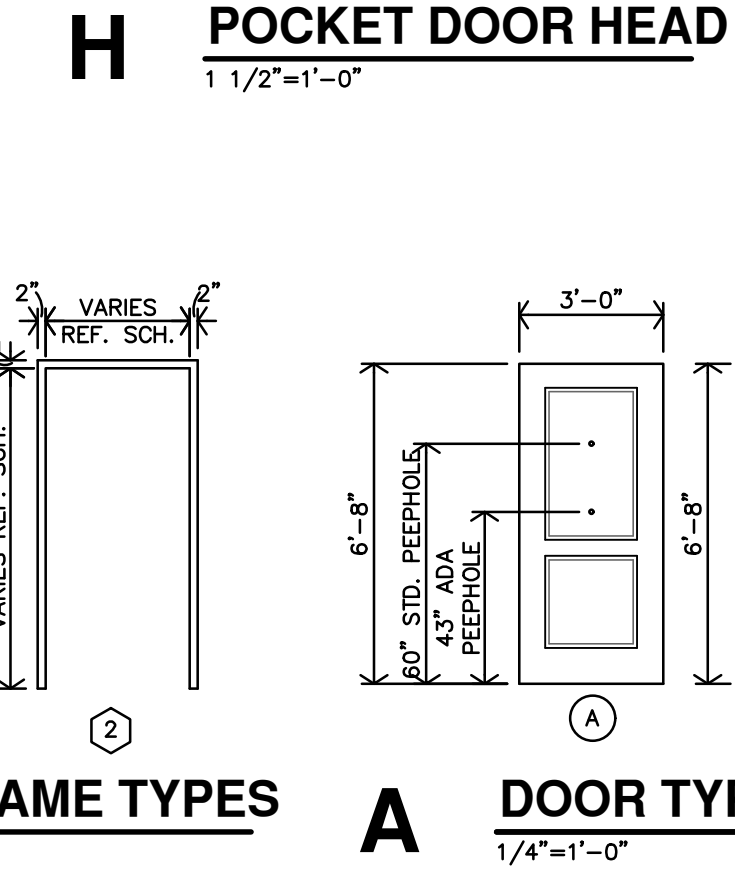
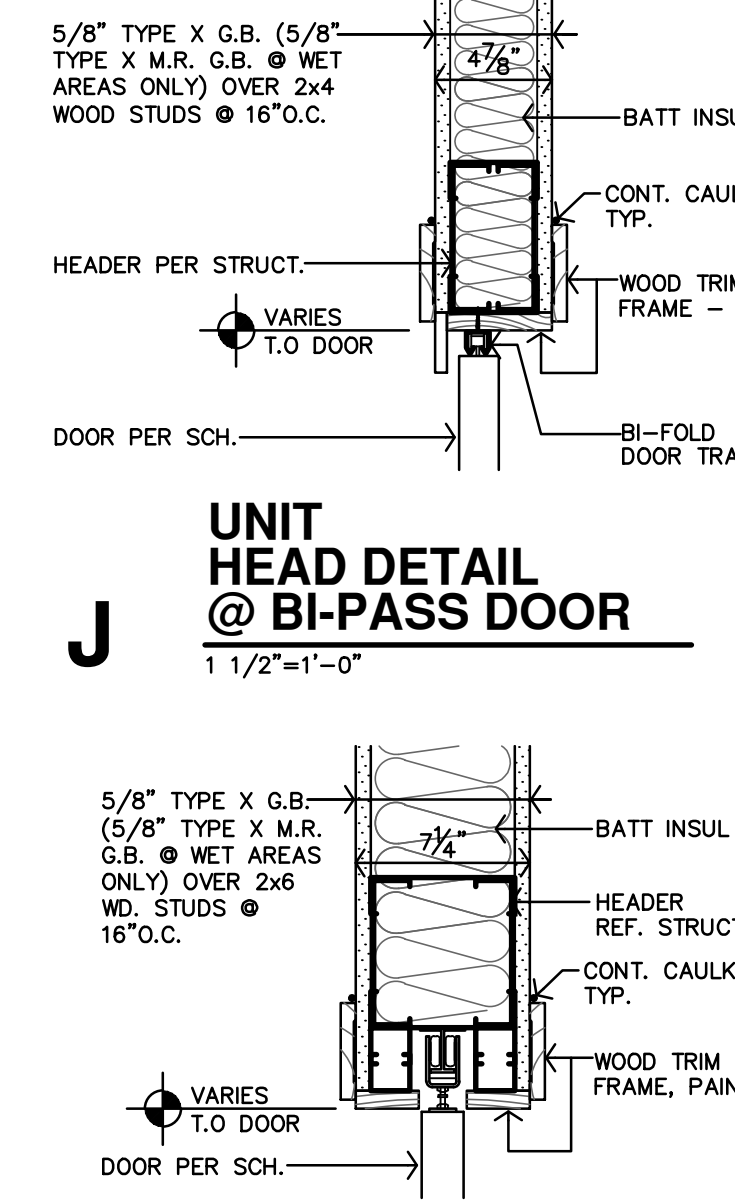
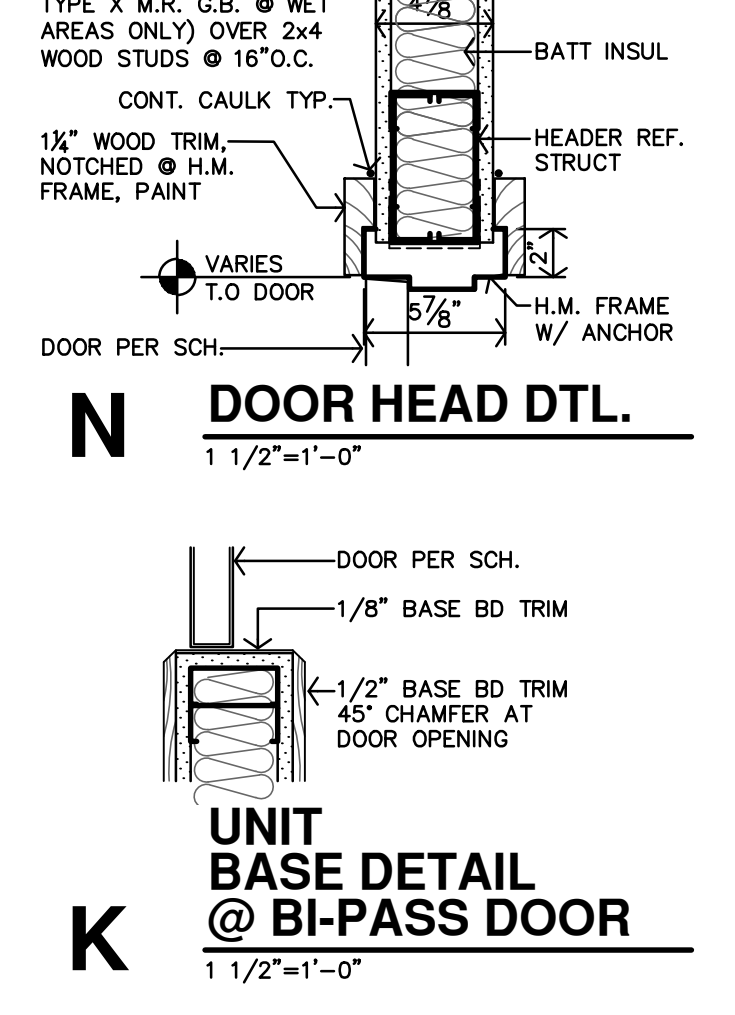
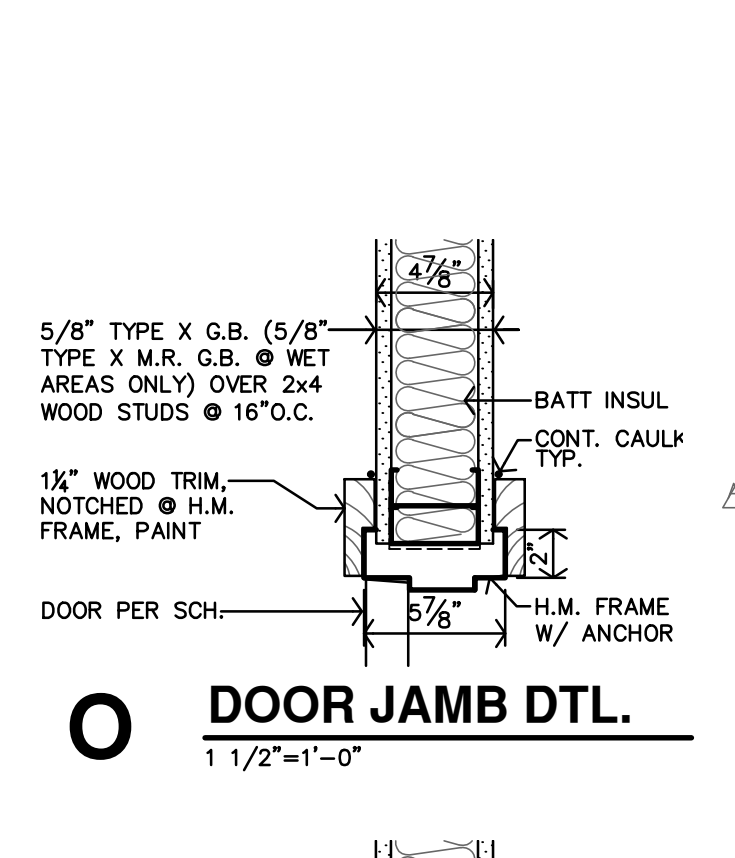
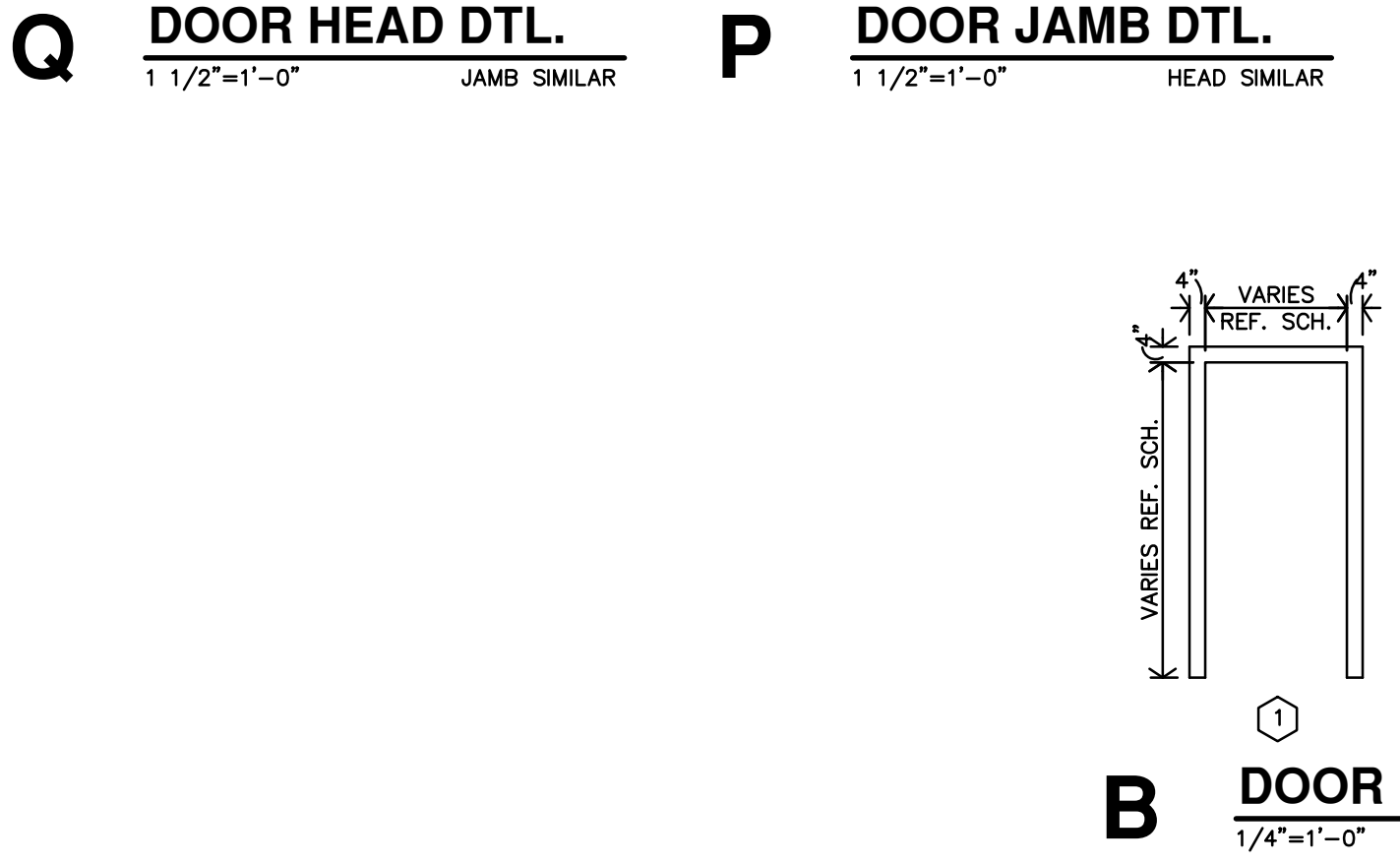
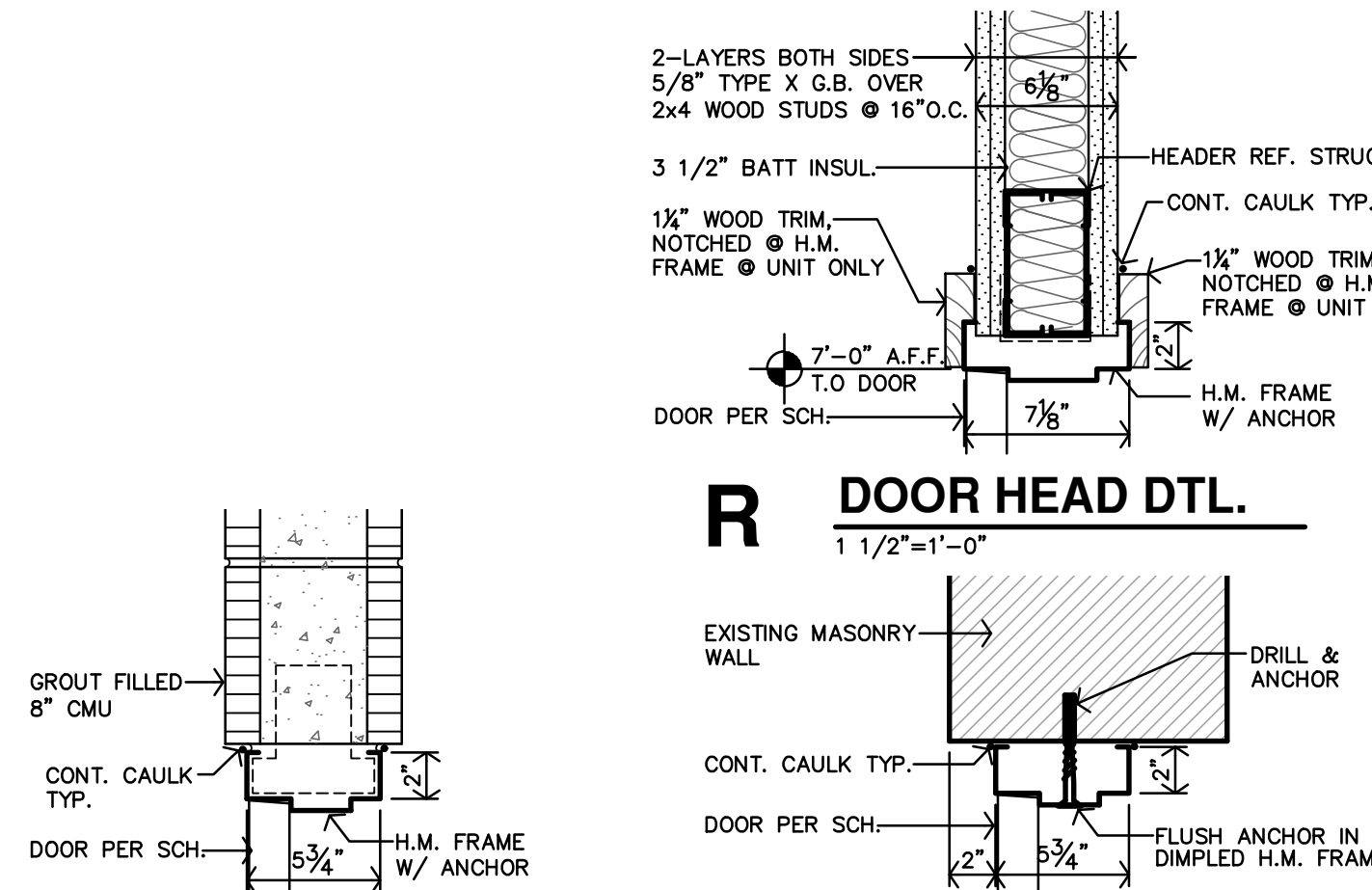
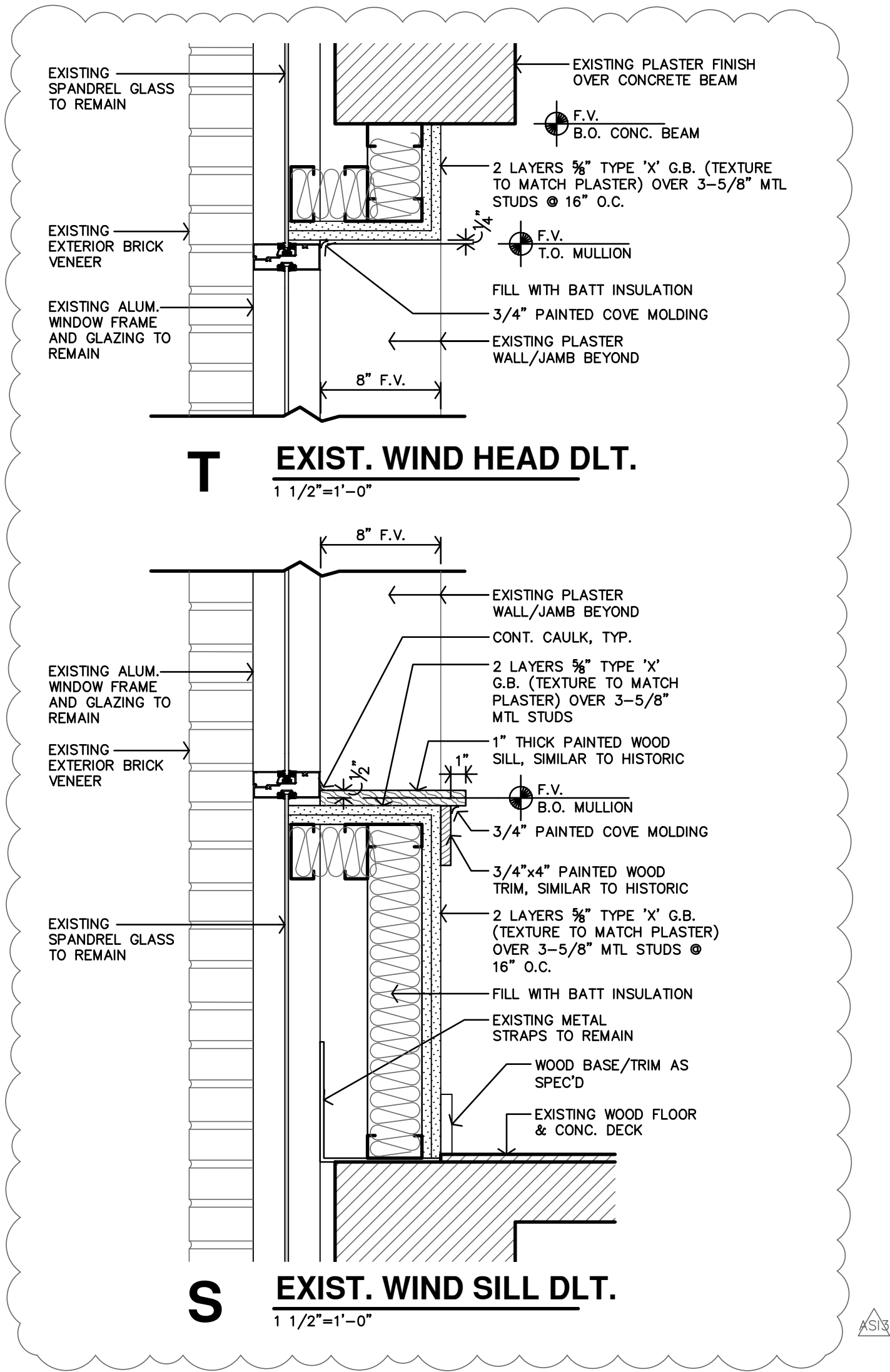
1. REF SHEET A2.0 FOR UNIT GENERAL NOTES
PARTITION SCHEDULE, KITCHEN/BATH
MATRIX AND STANDARD DETAILS.

A FIRST FLOOR PLAN
3/16"=1'-0"

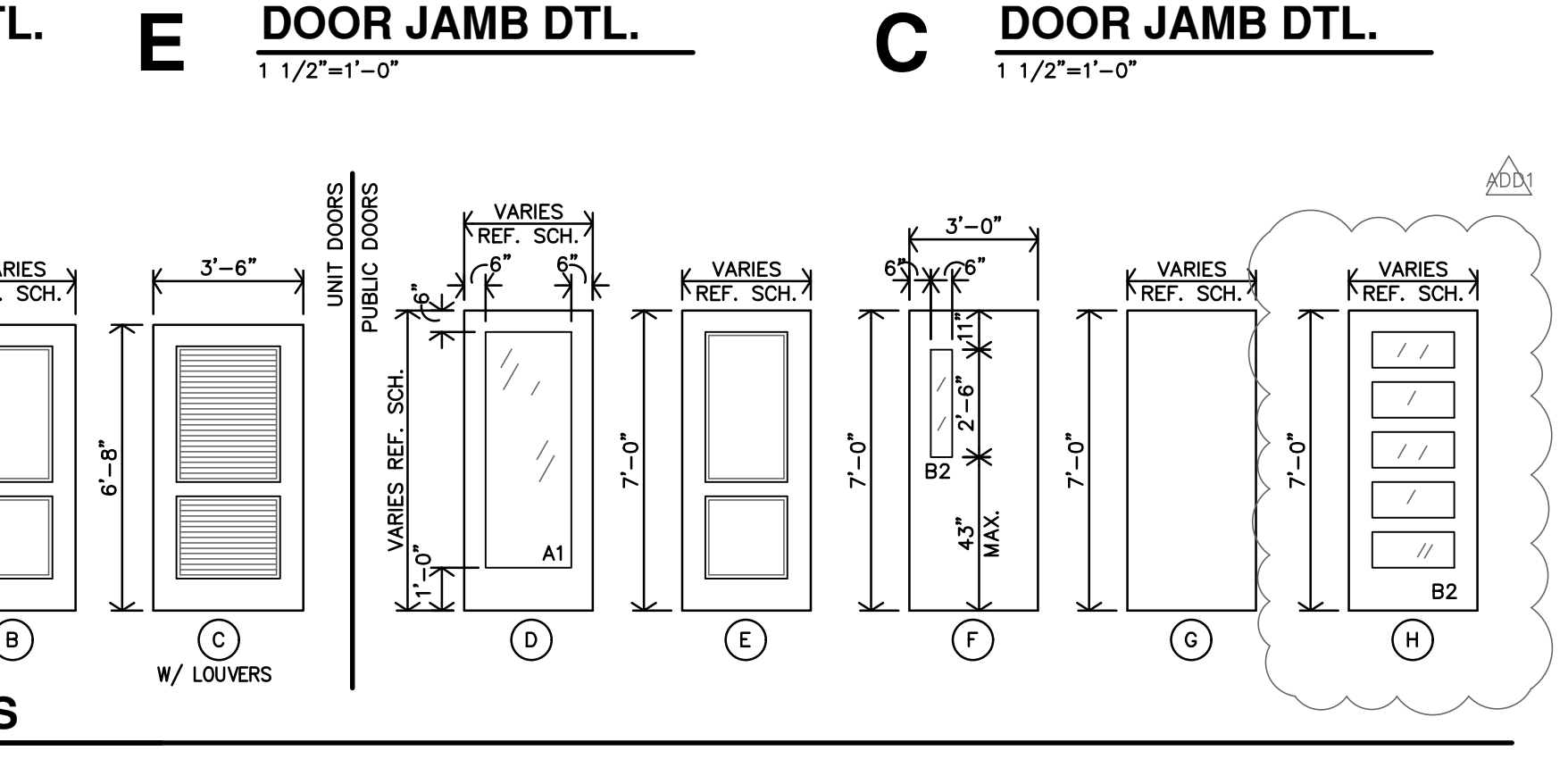
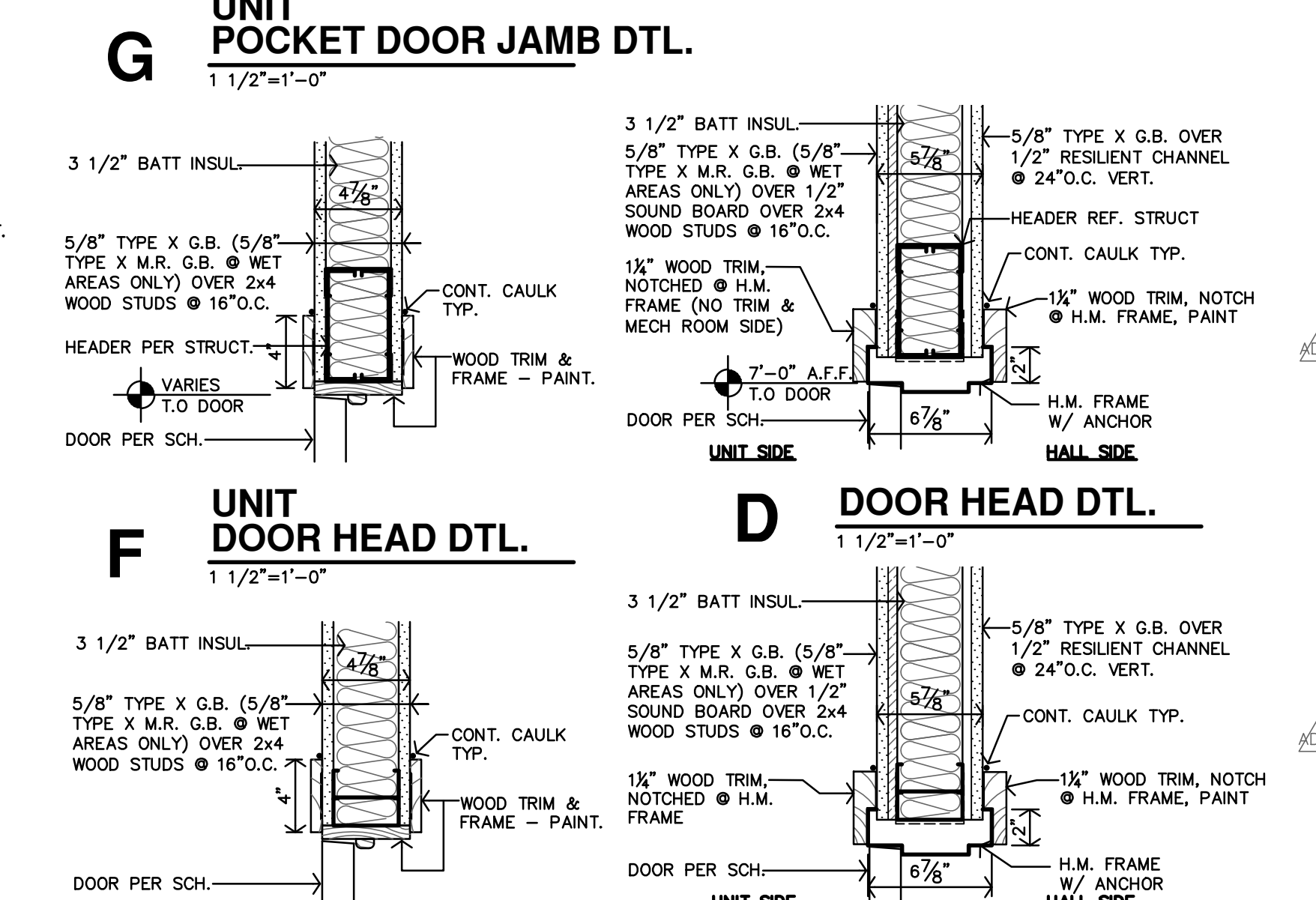
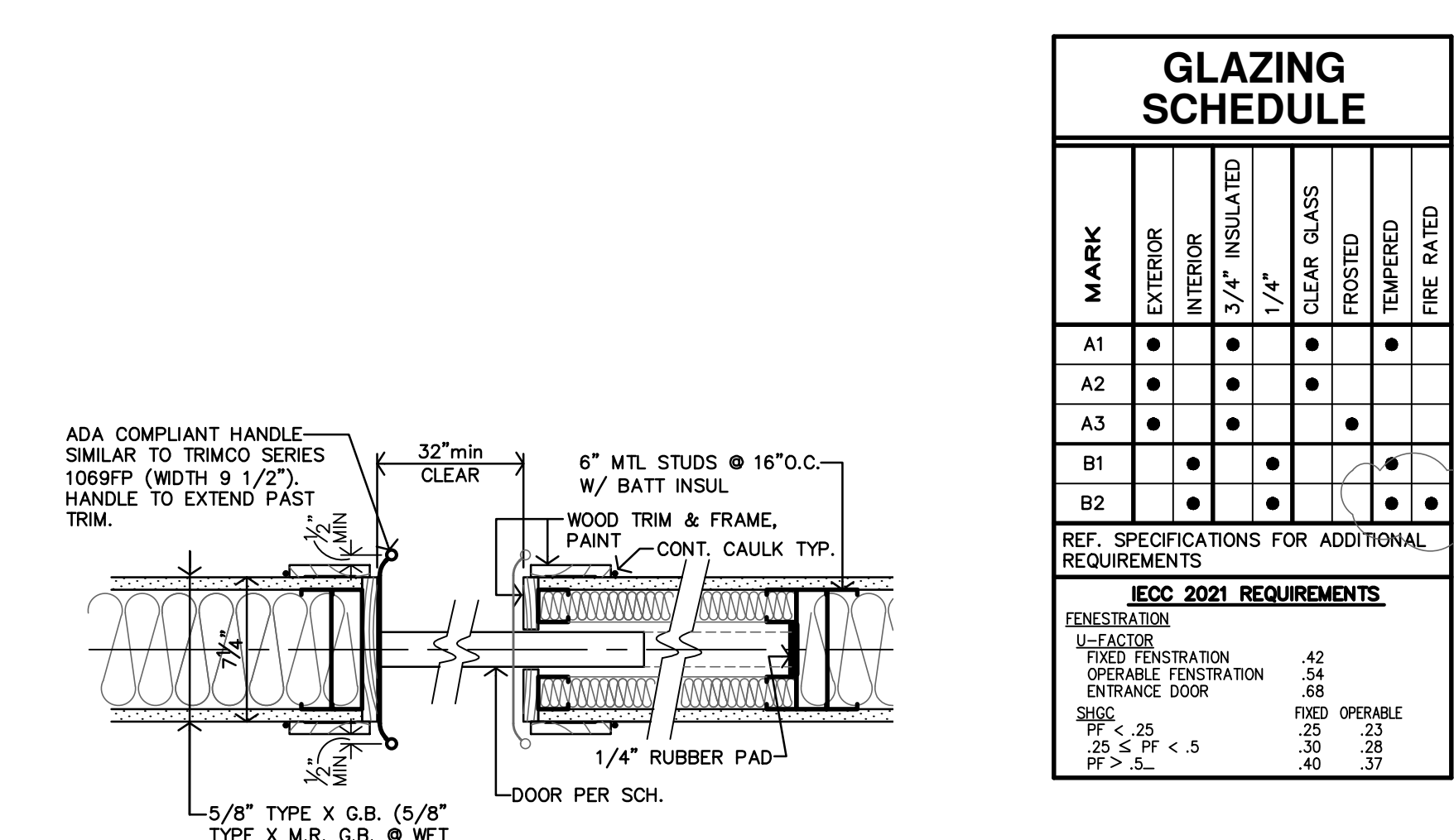
LANDMARK ON CYPRESS
HISTORIC REHABILITATION - APARTMENTS
ABILENE, TEXAS



REVISION:	
ADD	11-17-2025
ASH	1-23-2026
ASI	4-28-2026
ASI	8-26-2026
DATE:	10-24-2025
JOB:	24-3483
SHEET NO.:	



UNIT DOOR SCHEDULE - 25 UNITS																			
MARK	LOCATION	DOOR				FRAME				DETAILS	REMARKS								
		SIZE			MATERIAL	TYPE	FINISH	MATERIAL	TYPE			FINISH							
		W	H	T															
					H.C.WOOD	S.C.WOOD/LOUVER													
A	BDRM/BATH/CLST	3'-0"	6'-8"	1 3/4"	●	●	B	TYPE	POCKET	BI-PASS	●	PREFINISHED PAINT	●	WOOD	●	TYPE	PREFINISHED PAINT	C/D-A10.2	1,4
B	MECHANICAL	3'-6"	6'-8"	1 3/4"	●	●	●	C	●	●	●	●	●	●	●	●	●	E/F-A10.2	5
C	CLOSET	PR2'-6"	6'-8"	1 3/4"	●	●	●	●	B	●	●	●	●	●	●	●	●	J/K-A10.2	3
D	CLOSET	PR3'-0"	6'-8"	1 3/4"	●	●	●	●	●	●	●	●	●	●	●	●	●	G/H-A10.2	2
E	CLOSET	2'-0"	6'-8"	1 3/4"	●	●	●	●	B	●	●	●	●	●	●	●	●	E/F-A10.2	2
F	CLOSET	PR3'-0"	6'-8"	1 3/4"	●	●	●	●	●	●	●	●	●	●	●	●	●	E/F-A10.2	2
G	CLOSET (ADA)	PR3'-0"	6'-8"	1 3/4"	●	●	●	●	●	●	●	●	●	●	●	●	●	J/K-A10.2	3
GENERAL NOTES:																			
A. ALL DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS U.N.O. PROVIDED & INSTALLED PER SPECIFICATIONS SECTION 870.																			
B. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS.																			
C. COORDINATE KEYING REQUIREMENTS WITH OWNER.																			
D. CONTRACTOR TO REVIEW AND ENSURE THE FOLLOWING DETAILS AND STATUTES HAVE BEEN MET AS WELL: http://codes.enr.findon.com/Uselists.aspx?PR/8/92/0/92153																			
E. (1) window latch on each exterior window if dwelling; (2) double lock or keyed dead bolt on each exterior door;																			
F. (3) sliding door pin lock on each exterior sliding glass door;																			
G. (4) handle latch or security bar on each exterior sliding glass door;																			
H. (5) keyless balling device and a door viewer on each exterior door;																			
D. ALL SIGNAGE TO HAVE BRAILLE/TACTILE SURFACE.																			
SPECIFIC NOTES:																			
1. BEDROOM & BATH DOOR – HARDWARE TO BE PRIVACY LEVER TYPE LATCH SET.																			
2. POCKET DOOR – 32" MIN CLEAR OPENING, W/ ADA COMPLIANT HANDLE SIMILAR TO TRIMCO SERIES 1069.																			
3. BI-PASS/BI-FOLD DOORS – VERIFY FINISHED G.B. OPENING W/ SIZE OF DOOR HARDWARE & MANUFACTURER.																			
4. BEDROOM & BATH DOORS – UNDERDOOR DOORS PER MECH DWGS. 1" TYP.																			
5. MECHANICAL DOORS WITHIN UNITS SHALL BE LOCKED, NOT ACCESSIBLE TO RESIDENTS																			



PUBLIC DOOR SCHEDULE														
MARK	DOOR							FRAME			RATING	DETAILS	REMARKS	
	SIZE			MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH					
	W	H	T											
				HOLLOW METAL ALUMINUM	S.C. WOOD		PREFINISHED PAINT	HOLLOW METAL ALUMINUM	WOOD	TYPE (UNPAINTED)	PREFINISHED PAINT			
BASEMENT														
01	3'-3 1/2" V.	7'-0"	1 3/4"	●			G	●	●	2	●	90min	Q-A10.2	
02	EXISTING DOOR & FRAME													
FIRST FLOOR														
101	EXISTING DOOR & FRAME									E6			B-A10.5	
102	3'-0"	7'-0"	1 3/4"	●			D	●	●	H	●	90min	P-A10.2 SIM	
103	3'-0"	7'-0"	1 3/4"	●	●		E	●	●		●		E/F-A10.2	
104	3'-0"	7'-0"	1 3/4"	●	●		G	●	●	2	●		C/D-A10.2	
106	3'-0"	7'-0"	1 3/4"	●	●		G	●	●	2	●	20min	C/D-A10.2	
107	3'-0"	7'-0"	1 3/4"	●	●		F	●	●	2	●	20min	C/D-A10.2	1,2,3,4
108	EXISTING DOOR & FRAME													
109	EXISTING DOOR & FRAME													
111	NOT USED													
112	3'-0"	7'-0"	1 3/4"	●	●		B	●	●	2	●	20min	C/D-A10.2	
113	3'-0"	7'-0"	1 3/4"	●	●		B	●	●	H	●		B-A10.6	
114	3'-0"	7'-0"	1 3/4"	●	●		C	●	●	2	●		R-A10.2	
116	EXISTING DOOR & FRAME									E5				
117	EXISTING DOOR & FRAME													
118	EXISTING DOOR & FRAME													
119	EXISTING DOOR & FRAME													
121	3'-0"	7'-0"	1 3/4"	●	●		G	●	●	2	●	20min	P-A10.2	
122	3'-0"	7'-0"	1 3/4"	●	●		H	●	●	2	●	20min	E/F-A10.2	
123	NOT USED													
124	3'-6"	7'-0"	1 3/4"	●	●		G	●	●	2	●		E/F-A10.2	
126	EXISTING DOOR & FRAME													
127	3'-0"	7'-0"	1 3/4"	●	●		H	●	●	2	●	20min	E/F-A10.2	
128	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	
129	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	
131	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
132	3'-0"	7'-0"	1 3/4"	●	●		G	●	●	2	●	20min	C/D-A10.2	
133	2'-8" (FV)	7'-0"	1 3/4"	●	●		G	●	●	2	●	20min	P-A10.2	
134	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
136	EXISTING DOOR & FRAME											90min		7
137	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
138	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
139	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	
141	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
142	EXISTING DOOR & FRAME													
143	EXISTING DOOR & FRAME													
SECOND FLOOR														
201	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	90min	R-A10.2	1,2,3,4
202	EXISTING VAULT DOOR & FRAME													8
203	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	90min	R-A10.2	
204	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	90min	P-A10.2 SIM	
206	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
207	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
208	3'-0"	7'-0"	1 3/4"	●	●		F	●	●	2	●	90min	R-A10.2	1,2,3,4
209	3'-0"	7'-0"	1 3/4"	●	●		H	●	●	2	●	20min	E/F-A10.2	9
211	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
212	3'-0"	7'-0"	1 3/4"	●	●		F	●	●	2	●	20min	C/D-A10.2	1,2,3,4
213	3'-0"	7'-0"	1 3/4"	●	●		G	●	●	2	●	20min	P-A10.2	9
214	EXISTING DOOR & FRAME											90min		7
THIRD FLOOR														
301	EXISTING DOOR & FRAME											90min		7
302	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	5
303	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
304	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	P-A10.2	9
306	3'-0"	7'-0"	1 3/4"	●	●		G	●	●	2	●	20min	P-A10.2	9
307	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
308	EXISTING VAULT DOOR & FRAME													8
309	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
311	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
312	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
313	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
314	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	5
316	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
317	EXISTING DOOR & FRAME											90min		7
FOURTH FLOOR — FIFTH/SIXTH/SEVENTH FLOORS SIMILAR														
401	EXISTING DOOR & FRAME											90min		7
402	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	5
403	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
404	3'-0"	7'-0"	1 3/4"	●	●		G	●	●	2	●	20min	P-A10.2	9
406	EXISTING DOOR & FRAME													
407	3'-0"	7'-0"	1 3/4"	●	●		G	●	●	2	●	20min	P-A10.2	9
408	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
409	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●		N/D-A10.2	5
411	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
412	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
413	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
414	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
416	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	5
417	3'-0"	7'-0"	1 3/4"	●	●		E	●	●	2	●	20min	C/D-A10.2	1,2,3,4
418	EXISTING DOOR & FRAME											90min		7
PENTHOUSE														
P1	EXISTING DOOR & FRAME													
P2	EXISTING DOOR & FRAME													
ELEVATOR														
E1	3'-6"	7'-0"										90min	J-A6.1	
GENERAL NOTES:														
A. ALL EXPOSED UNITS TO BE PAINTED AT INTERIOR AND EXTERIOR.														
B. INSTALL MTL FLASHINGS & CONT. CAULKING FOR A WEATHERTIGHT SEAL, AT ALL EXTERIOR DOORS & FRAMES.														
C. AT ALL EXISTING OPENINGS TO RECEIVE NEW DOORS/FRAMES, CONTRACTOR TO VERIFY EXISTING CONSTRUCTION.														
SPECIFIC NOTES:														
1. UNIT ENTRY DOOR — HARDWARE TO BE LEVER TYPE LATCH SETS, KEYS TO EXISTING & RELEASE INSIDE LOCKSET & DEADBOLT W/ THUMB TURN INSIDE & NO KEY OUTSIDE W/ 1" MIN THROW. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER. WEATHER STRIPPING TO BE INSTALLED.														
2. UNIT ENTRY DOOR — 180° PEEP HOLES AT ADAPTABLE UNITS: (1) PEEP HOLE TO BE INSTALLED @ 60" AFF.														
3. UNIT ENTRY DOOR — 180° PEEP HOLES AT ACCESSIBLE UNITS: (2) PEEP HOLES TO BE INSTALLED @ 43" AFF & 60" AFF.														
SPECIFIC NOTES:														
4. NOISE THRESHOLD TO NOT EXCEED CODE VALUES FOR DWELLING TO CORRIDOR RATING.														
5. OMIT WOOD TRIM AT INTERIOR OF MECH ROOM.														
6. EXISTING KEY CARD OPERATOR TO BE MODIFIED OR REPLACED W/ NEW TO FIT OWNER SECURITY NEEDS (COORD. W/ OWNER).														
7. EXISTING DOOR — VERIFY THAT DOOR MEETS REQUIRED FIRE RATING. IF NOT, DOOR WILL NEED TO BE REPLACED WITH NEW COMPLIANT DOOR AND FRAME.														
8. EXISTING VAULT DOOR AND FRAME, CLEAN AND REPAIR AS NEEDED. DOOR TO BE EQUIPPED WITH LOCKING MECHANISM TO KEEP CLOSED AT ALL TIMES. COORDINATE WITH OWNER.														
9. REPLACE EXISTING DOORS/FRAMES WITH NEW. NEW DOORS SHALL BE 36" WIDE MIN. (IF SPACE ALLOWS). NOTIFY ARCHITECT IF 36" DOOR CANNOT BE ACCOMMODATED.														

GENERAL NOTES:

- ALL EXPOSED UNITS TO BE PAINTED AT INTERIOR AND EXTERIOR.
- INSTALL MTL. FLASHINGS & CONT. CAULKING FOR A WEATHERTIGHT SEAL. AT ALL EXTERIOR DOORS & FRAMES.
- AT ALL EXISTING OPENINGS TO RECEIVE NEW DOORS/FRAMES: CONTRACTOR TO VERIFY EXISTING CONSTRUCTION.

SPECIFIC NOTES:

- UNIT ENTRY DOOR - HARDWARE TO BE LEVER TYPE LATCH SETS. KEYED OUTSIDE & RELEASE INSIDE LOCKSET & DEADBOLT W/ 1" MIN. THROW. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER.
- UNIT ENTRY DOOR - 180° PEEP HOLES @ ADAPTABLE UNITS: (1) PEEP HOLE TO BE INSTALLED @ 60" AFF. (2) PEEP HOLES @ 43" AFF. & 60" AFF.
- UNIT ENTRY DOOR - 180° PEEP HOLES @ ACCESSIBLE UNITS: (1) PEEP HOLES TO BE INSTALLED @ 43" AFF. & 60" AFF.
- NOISE THRESHOLD TO NOT EXCEED CODE VALUES FOR DWELLING TO CORRIDOR RATING.
- UNIT WOOD TRIM AT INTERIOR OF MECH. ROOM.
- EXISTING KEY CARD OPERATOR TO BE MODIFIED OR REPLACED W/ NEW TO FIT OWNER'S SECURITY NEEDS (COORD. W/ OWNER) AT ALL TIMES. COORDINATE WITH OWNER.
- IF NOT, DOOR WILL NEED TO BE REPLACED WITH NEW COMPLIANT DOOR AND FRAME.
- EXISTING VAULT DOOR AND FRAME, CLEAN AND REPAIR AS NEEDED. DOOR TO BE EQUIPPED WITH LOCKING MECHANISM TO KEEP CLOSED AT ALL TIMES. COORDINATE WITH OWNER.
- REPLACE EXISTING DOORS/FRAMES WITH NEW. NEW DOORS SHALL BE 36" WIDE MIN. (IF SPACE ALLOWS). NOTIFY ARCHITECT IF 36" DOOR CANNOT BE ACCOMMODATED.