



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	The Irving Lofts Historic Rehabilitation Cleburne, Texas	Report No.	Four (4)
OWNER:	OPG Irving Partners, LLC Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	July 23, 2026
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	24-3479
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

- 1) Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions:
 - a. Sheet A1.1 – Parking layout has been adjusted to match Civil Drawings.
 - b. Sheet ABC5.2 – Draftstopping and additional ventilation has been added to Building B and Building C Roofs.
 - i. Legend – Notes 5 & 6 have been added
 - ii. Draftstopping & Attic Ventilation Notes and Calculations have been added
 - iii. Install new gravity ventilators to roofs at Buildings B & C as shown. Substitutions may be reviewed and approved by architect.
 - iv. Install new draftstopping above residential units/corridors below as shown on plan.

Attachments:

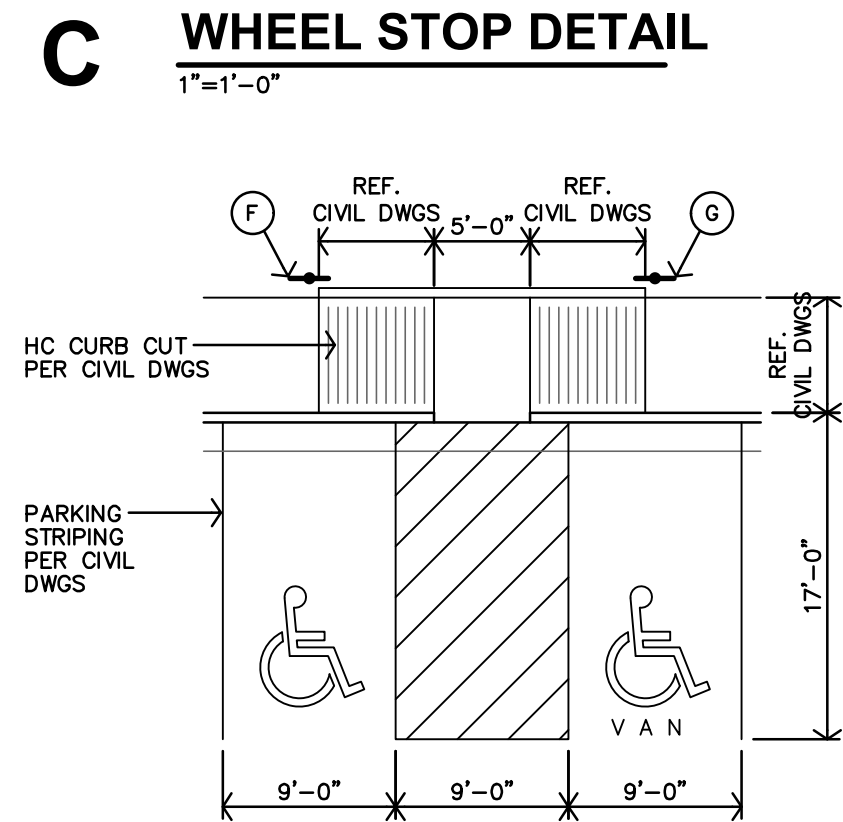
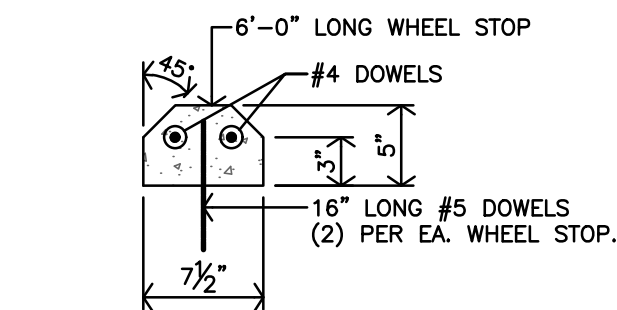
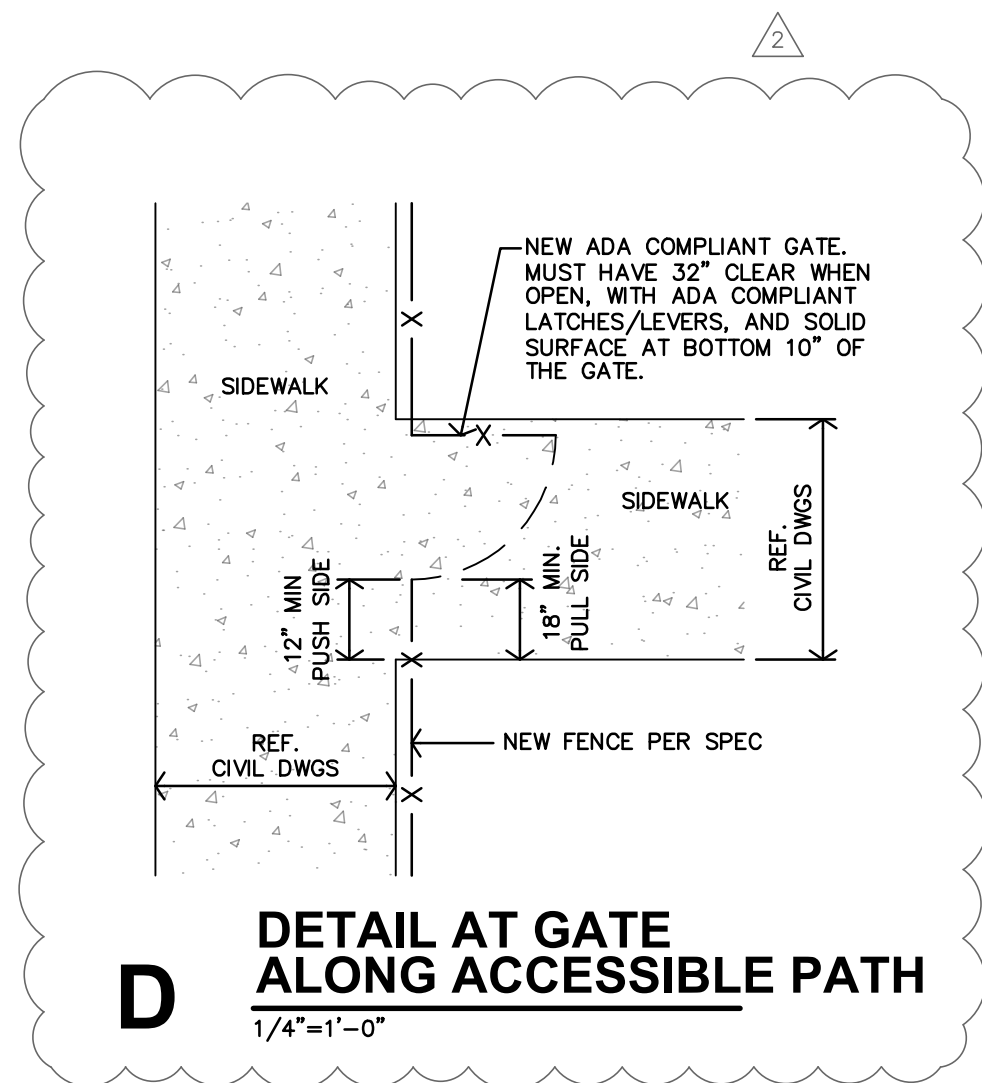
1. Revised Architectural Sheets A1.1, ABC5.2

Issued by:

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Copies to:

MCP Group – Adam Wegener, Bruce Melius, Alysia Best, Dave Noll
OPG – Dan Maximuk, April Engstrom, Caroline Hurst, Amanda Klaus
Design Team – Maggie Gillam, Ryan Lies, Andrea Taylor, Brent Engelland, Jackson Rhoades, Michael Boerst, Heather Braland
Historic – Ellis Mumford-Russell, Megan McDonald



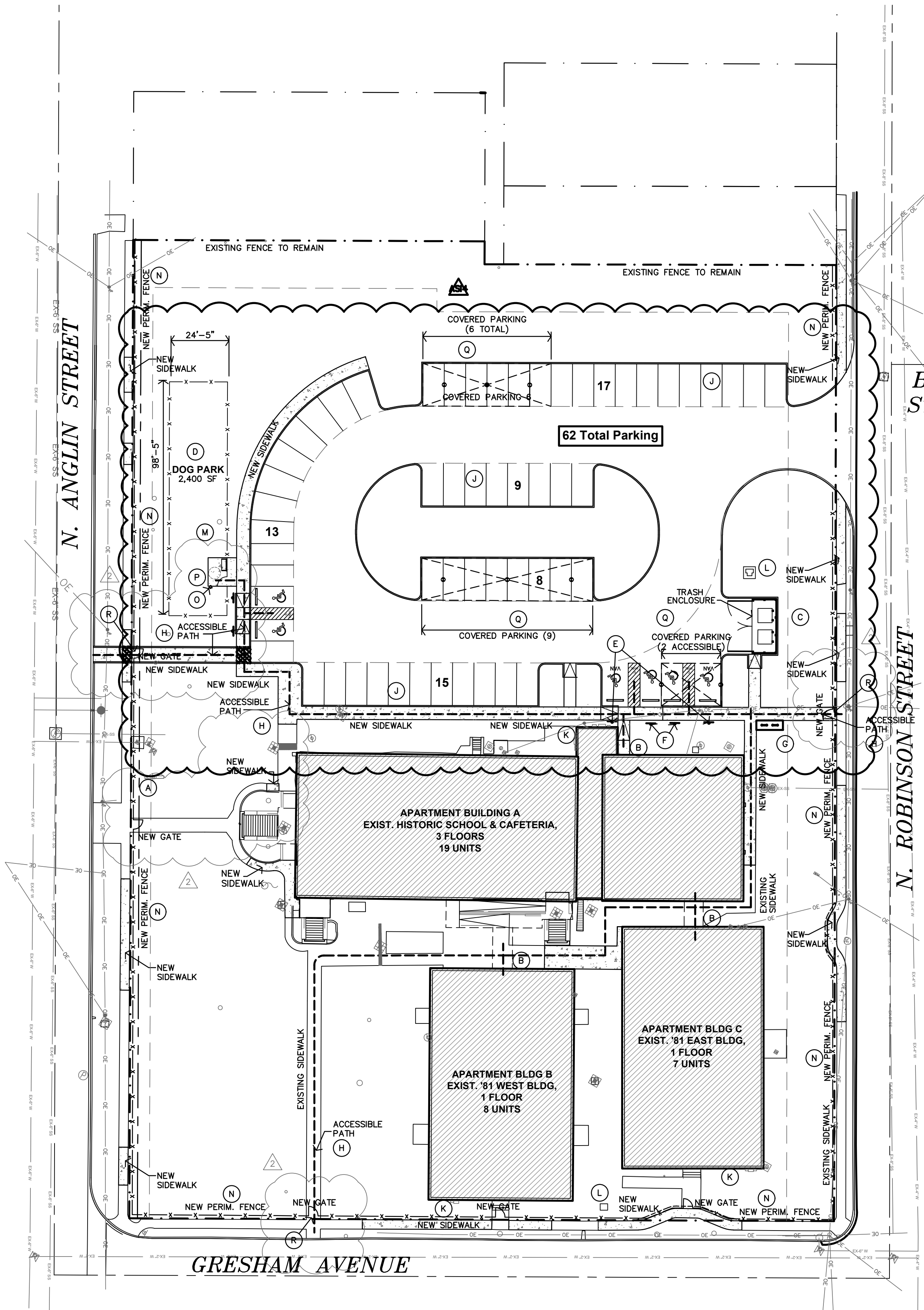
SITE PLAN KEY NOTES

A	EXISTING MONUMENT SIGN, MODIFIED BY OWNER
B	KNOX BOX COORD. W/ FIRE DEPT. (TYP)
C	TRASH ENCLOSURE REF. SHEET A1.2
D	DOG PARK W/ 4'-0" TALL FENCE, REF. A1.2
E	POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60" A.F.F. (TYP)
F	POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60" A.F.F. (TYP)
G	BIKE RACK - FOR 5 BIKES
H	DASHED LINE INDICATES ACCESSIBLE PATH
J	PAINTED STRIPPING
K	BUILDING METER CENTER REF. ELECT. DWGS
L	BUILDING TRANSFORMER REF. ELECT. DWGS, CONTRACTOR TO COORDINATE SIZE OF CONC. PAD WITH ELECT. COMPANY
M	NEW BENCH, REF. SHEET A1.2
N	NEW PERIMETER FENCE WITH GATES SIMILAR TO DOG PARK FENCE, REF. A1.2
O	DOG WASTE STATION (1) REF. A1.2
P	8'-0"x12'-0" CONCRETE SLAB AT DOG PARK ENTRANCE.
Q	PROTECTIVE COVERS (CARPORTS) BY PREMIER CARPORTS. REFERENCES SPECIFICATIONS. (16) STALLS TOTAL (INCLUDING 2 ADA STALLS), CONTRACTOR TO COORDINATE STRUCTURE COLUMN LOCATIONS WITH PREMIER CARPORTS.
R	NEW GATE ALONG ACCESSIBLE PATH, REF. DETAIL D-A1.1

NOTE:
CONC. SLAB SHALL BE 4" TH. 3,500 PSI W/ 6x6-W1.2xW1.2 WWF. SLOPE ACROSS SLAB NO MORE THAN 2% (1/8" PER 12") OVER 4" TH. GRANULAR FILL (MIN) COMPACTED OVER SUBGRADE, PREP PER SOILS REPORT.

GENERAL SITE PLAN NOTES

- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.
- INSTALL MATERIALS AND FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR FINISH INSTALLATION.
- WHERE NEW CONCRETE ABUTS THE BUILDING, PROVIDE 3/4" EXPANSION JOINT & SEAL TOP WITH EPOXY SEALER.
- INSTALL EXPANSION JOINTS IN CONCRETE SIDEWALK PAVING AT ±60" O.C. PROVIDE FILLER MATERIAL AND SEALANT. COORDINATE WITH ARCHITECT FOR FINAL LOCATIONS OF EXPANSION JOINTS.
- INSTALL CONTROL JOINTS IN CONCRETE ROUGHLY SQUARE AND AREAS NOT TO EXCEED 100 S.F.
- EXTERIOR DOOR LANDINGS SHALL BE WITHIN 1/2" OF INTERIOR FINISH FLOOR ELEVATION. MAXIMUM SLOPE IN ANY DIRECTION SHALL BE 1:50.
- FINISH FLOOR ELEVATION SHALL BE VERIFIED BY GENERAL CONTRACTOR AND CONFIRMED W/ PROPOSED GRADING TO PROVIDE DRAINAGE AWAY FROM THE BUILDING.
- LANDSCAPING, SEEDING, PLANTINGS, ETC. TO BE BY OTHERS. ALL AREAS AROUND THE SITE AND AS INDICATED ON THE SITE PLAN SHALL BE FINE GRADED WITH MIN. 2" TOP SOIL AREAS SHALL BE FREE OF ROCKS AND CLUMPS AS SUITABLE FOR SEEDING OR SODDING.
- NEW PEDESTRIAN SIDEWALKS SHALL NOT HAVE A CROSS SLOPE GREATER THAN 1:50 AND SHALL NOT SLOPE IN THE DIRECTION OF TRAVEL GREATER THAN 1:20.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE UTILITY COMPANIES AND THE CITY OF CONROE.
- ALL DAMAGED PAVING AND LANDSCAPING CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- DO NOT CONSTRUCT ANY PART OF THE TRASH PAD, ENCLOSURE AND/OR ACCESS TO, TILL AFTER CONFIRMATION AND COORDINATION OF LOCAL TRASH SERVICE. DUE TO DIFFERENT TRASH COMPANIES, TRUCKS AND PICK-UP PROCESSES, CONFIRMATION OF THE TRASH SERVICE AND COORDINATION OF THE DESIGN AND LAYOUT OF THE PAD, ENCLOSURE AND ACCESS MUST BE COMPLETED.
- AT ALL AREAS OF CONCRETE/ASPHALT SIDEWALK, PATIO, PARKING, ETC. THAT ARE EXISTING TO REMAIN:
A) CONTRACTOR TO MAKE REPAIRS AND CORRECTIONS AS REQUIRED TO MAINTAIN THE ADA ACCESSIBLE ROUTE AND MEET ALL ADA STANDARDS FOR PARKING AND ACCESSIBLE ROUTES.
B) CONTRACTOR TO CLEAN-UP AND REPAIR CRACKS, DE-WEED, AND TIDY-UP ALL EXISTING CONCRETE/ASPHALT.
- REF. SHEETS A2.0 - A22.6 FOR LOCATION OF ACCESSIBLE UNITS & HEARING IMPAIRED UNITS.
- EXISTING PLANTER AREAS/BED - CLEAN OUT ALL WEEDS, DEBRIS, OLD MULCH, ETC. ADD NEW LANDSCAPE FABRIC WHERE MISSING & 2" BLACK MULCH (OR OTHER AS SPECIFIED BY OWNER). COORDINATE WITH LOCATION OF NEW PLANTINGS. REF. L1.1, L1.2 & L1.3.



REVISION:
1-7-2026
7-23-2026

DATE: 11-20-2025
JOB: 25-3479
SHEET NO.:

A1.1

JCR
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THE IRVING LOFTS
HISTORIC RESTORATION & REHAB APARTMENTS
CLEBURNE, TEXAS

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GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING. CONTACT ARCHITECT IMMEDIATELY W/ ANY DISCREPANCIES.
2. ROOFING INSTALLATION: MANUFACTURERS DETAILS ARE GENERIC/GENERAL. CONTRACTOR SHALL COMPLY TO SPECIFICATIONS, MANUFACTURER'S DETAILS & RECOMMENDATIONS & THOSE RECOMMENDED BY NRCA'S "THE ROOFING & WATERPROOFING MANUAL".
3. CONTRACTOR MUST COMPLY W/ ALL STATE & LOCAL CODES & REGULATIONS.
4. CONTRACTOR TO REPLACE ALL EXISTING VENT BOOTS EXISTING VENTS & FLASHINGS TO REMAIN. PROTECT DURING CONSTRUCTION.
5. CAULK & SEAL WATERTIGHT ALL JOINTS & TRANSITIONS.
6. DIMENSIONS ON ROOF PLAN REFLECT DIMENSIONS PARALLEL WITH FLOOR PLANE. ACTUAL ROOF AREA IS LARGER DUE TO ROOF SLOPE.
7. ALL METAL MATERIALS (I.E. FLASHINGS, ETC...) SHALL BE .0217" (26 GA.) THICK PREFINISHED GALVANIZED OR ALUM. ZINC ALLOY. ALL FASTENERS MUST BE COMPATIBLE WITH ASSOCIATED METALS/MATERIALS. METALS MUST BE INSTALLED PER SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL".
8. EXISTING ROOFING MUST BE REMOVED, INSPECT AND REPAIR DAMAGED DECKING PRIOR TO PROCEEDING WITH NEW ROOF ASSEMBLY.

LEGEND

- 1 BUILDING MTL ROOFS; RETAIN EXISTING METAL ROOFING. REMOVE & REPLACE DAMAGED PANELS. REPLACE FLASHINGS, GUTTERS DOWNSPOUTS, RELATED ITEMS & MATERIALS. INSTALL NEW FLASHINGS, GUTTERS DOWNSPOUTS, RELATED ITEMS & MATERIALS.
- 2 COORDINATE ALL NEW, ROOF PENETRATIONS; EXHAUST, VENTS, PIPES, EQUIPMENT, ETC., PROVIDE ROOF CURBS, FLASHINGS AND ACCESSORIES FOR WATER TIGHT INSTALLATION.
- 3 CANOPIES; REMOVE & REPLACE EXISTING ALL ROOFING PANELS, FLASHINGS, GUTTERS DOWNSPOUTS, RELATED ITEMS & MATERIALS. REPAIR AND/OR REPLACE DAMAGED STRUCTURE, & PAINT. PROVIDE ALL NEW TRANSITION OR CONNECTION FLASHINGS, SEALANT, & CAULKING. ENTIRE ROOF ASSEMBLY SHALL BE PROVIDED AND INSTALLED AS REQUIRED & RECOMMENDED BY MANUFACTURER WITH 20 YEAR WATER TIGHTNESS WARRANTY. REF. SPEC.
- 4 CONTRACTOR TO INSTALL R49 BLOWN-IN INSULATION IN THE ATTIC SPACE AT BUILDINGS
- 5 NEW GRAVITY ROOF VENTILATOR
- 6 EXISTING WALL VENT (TO REMAIN)

DRAFTSTOPPING & ATTIC VENTILATION

DRAFTSTOPPING IS PROVIDED IN THE ATTIC SPACE ACCORDING TO 2021 IBC SECTIONS 708.4.2 & 718.4. DRAFTSTOP SHALL BE CONSTRUCTED OF 2" G.D. OR 3/4" PLYWOOD, ALONG ONE SIDE OF THE IDENTIFIED DRAFTSTOP WALL. DRAFTSTOP SHALL EXTEND UP TO THE UNDERSIDE OF THE ROOF DECK ABOVE.

DRAFTSTOPPING AREA CALCULATIONS SHOWN BELOW.

GRAVITY ROOF VENTS - COOK PR SPUN ALUMINUM INTAKE/RELIEF VENTILATOR, SIZE 20", NFA = 2.292 SF
EXISTING WALL VENTS - SIZE 24 IN. ROUND, NFA = APPROX. 3.14 SF

AREA B1 (1,206 SF) 1,206/150 = 8.04 (of NFA VENTILATION REQ'D) (4) GRAVITY ROOF VENTS x 2.292 SF = 9.168 SF TOTAL NFA PROVIDED = 9.168 SF	AREA B3 (1,583 SF) 1,583/150 = 10.57 (of NFA VENTILATION REQ'D) (4) GRAVITY ROOF VENTS x 2.292 = 9.168 SF (1) EXIST. WALL VENT x 3.14 = 3.14 SF TOTAL NFA PROVIDED = 12.308 SF
AREA B2 (1,586 SF) 1,586/150 = 10.57 (of NFA VENTILATION REQ'D) (4) GRAVITY ROOF VENTS x 2.292 = 9.168 SF (1) EXIST. WALL VENT x 3.14 = 3.14 SF TOTAL NFA PROVIDED = 12.308 SF	AREA B4 (1,219 SF) 1,219/150 = 8.126 (of NFA VENTILATION REQ'D) (4) GRAVITY ROOF VENTS x 2.292 SF = 9.168 SF TOTAL NFA PROVIDED = 9.168 SF
AREA C1 (1,239 SF) 1,239/150 = 8.26 (of NFA VENTILATION REQ'D) (4) GRAVITY ROOF VENTS x 2.292 SF = 9.168 SF TOTAL NFA PROVIDED = 9.168 SF	AREA C3 (1,646 SF) 1,646/150 = 10.97 (of NFA VENTILATION REQ'D) (4) GRAVITY ROOF VENTS x 2.292 = 9.168 SF (1) EXIST. WALL VENT x 3.14 = 3.14 SF TOTAL NFA PROVIDED = 12.308 SF
AREA C2 (1,647 SF) 1,647/150 = 10.98 (of NFA VENTILATION REQ'D) (4) GRAVITY ROOF VENTS x 2.292 = 9.168 SF (1) EXIST. WALL VENT x 3.14 = 3.14 SF TOTAL NFA PROVIDED = 12.308 SF	AREA C4 (1,238 SF) 1,238/150 = 8.25 (of NFA VENTILATION REQ'D) (4) GRAVITY ROOF VENTS x 2.292 SF = 9.168 SF TOTAL NFA PROVIDED = 9.168 SF

	INDICATES GRAVITY ROOF VENTILATOR
	INDICATES EXISTING WALL VENT



'81 (WEST) BLDG
BLDG B ROOF PLAN
1/8"=1'-0"

'81 (EAST) BLDG
BLDG C ROOF PLAN
1/8"=1'-0"

BUILDING B & C

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