



Jones Gillam Renz Architects

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ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

JONES GILLAM RENZ DOCUMENT JGR 710

PROJECT:	The Irving Lofts Historic Rehabilitation Cleburne, Texas	Report No.	Five (5)
OWNER:	OPG Irving Partners, LLC Dan Maximuk 234 N. Santa Fe Ave, Suite A Salina, KS 67401	Date	July 27, 2026
CONTRACTOR:	MCP Group 3501 SW Fairlawn Rd. Topeka, KS 66614	Architect's Proj No.	24-3479
		Contract For:	General Construction Mechanical, Electrical

The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the Work as consistent with the Contract Documents and return a copy to the Architect.

DESCRIPTION:

- 1) Contractor to make adjustments as needed and required per the modifications as indicated on attached drawings and in the below descriptions:
 - a. Interior Paint Schedule is attached along with supporting drawings and photographs.

Attachments:

1. Interior Paint Schedule
2. Support drawings & Photographs

Issued by: Jones Gillam Renz Architects PO Box 2928, Salina, KS 67402
Maggie Gillam, Project Manager 785-827-0386 mgillam@jgrarchitects.com

Copies to:

MCP Group – Adam Wegener, Bruce Melius, Alysia Best, Dave Noll
OPG – Dan Maximuk, April Engstrom, Caroline Hurst, Amanda Klaus
Design Team – Maggie Gillam, Ryan Lies, Andrea Taylor, Brent Engelland, Jackson Rhoades, Michael Boerst, Heather Braland
Historic – Ellis Mumford-Russell, Megan McDonald



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Interior Paint Schedule

Irving Lofts
Cleburne, Texas
July 24, 2026

Proj. No. 25-3479

Reference attached photos, plans, elevations & notes for more detail and clarification.

P1 – Sherwin Williams SW 7008 Alabaster

Locations:

- All Ceilings and walls (unless noted otherwise below)
 - Including all exposed conduit & boxes, sprinkler pipes, etc. on these surfaces (or hung from).
- Stage A118 – Shuffleboard Stencil

P2 – Sherwin Williams SW 6258 Tricorn Black

Locations:

- All Doors (*EXCEPT* within the apartment units)
 - Note: Apartment Entry doors shall be painted tricorn black (both interior side and corridor side)
- All door casings, wood base, trim and chair rails. (*EXCEPT* within the apartment units).
- Stage A118 ceiling & back wall. Including all exposed conduit & boxes, sprinkler pipes, etc. on these surfaces (or hung from).
- Community Room A119 – Wood trim around mailboxes, in-house mail slots and trim along top of wall above mail boxes.
- Restroom C111 – ceiling and door/casing.

P3 – Sherwin Williams SW 7036 Accessible Beige

Locations:

- Within all apartment units: All wood base, trim, doors.

P4 – Sherwin Williams SW 2802 Rockwood Red

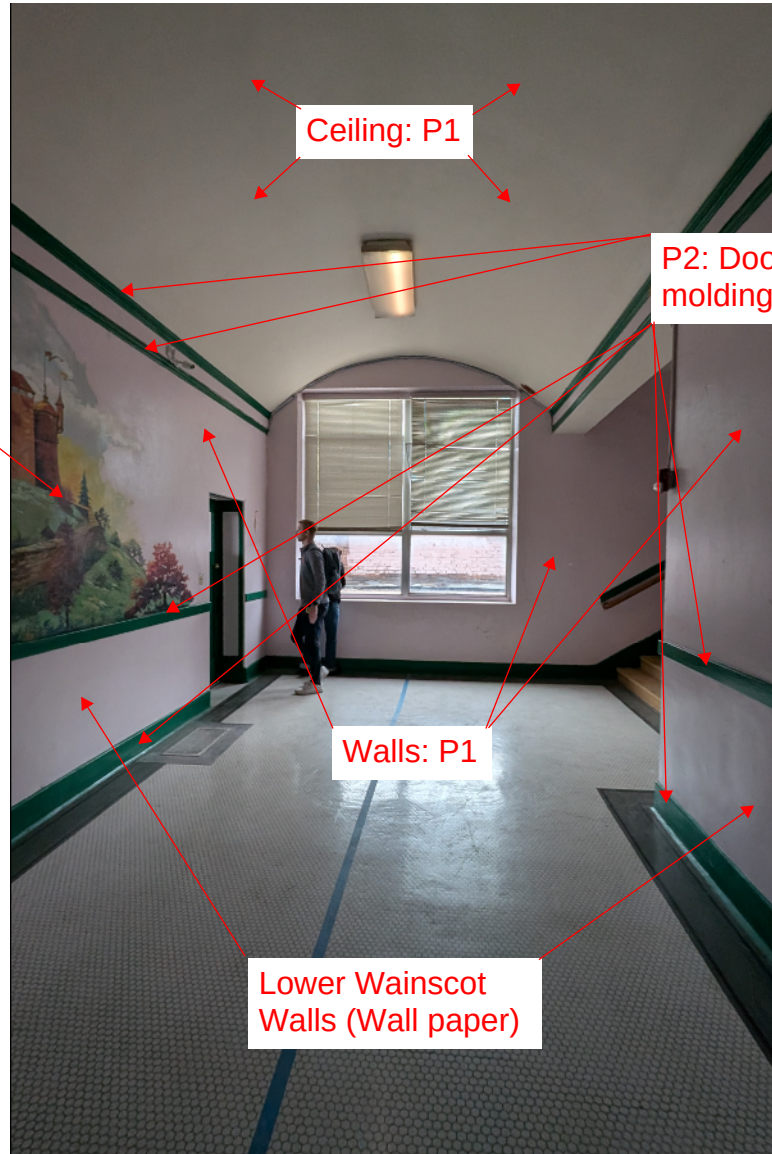
Locations:

- Exposed Concrete Floors in Building A
- Stairs (treads and risers) in Building A (existing are painted yellow).

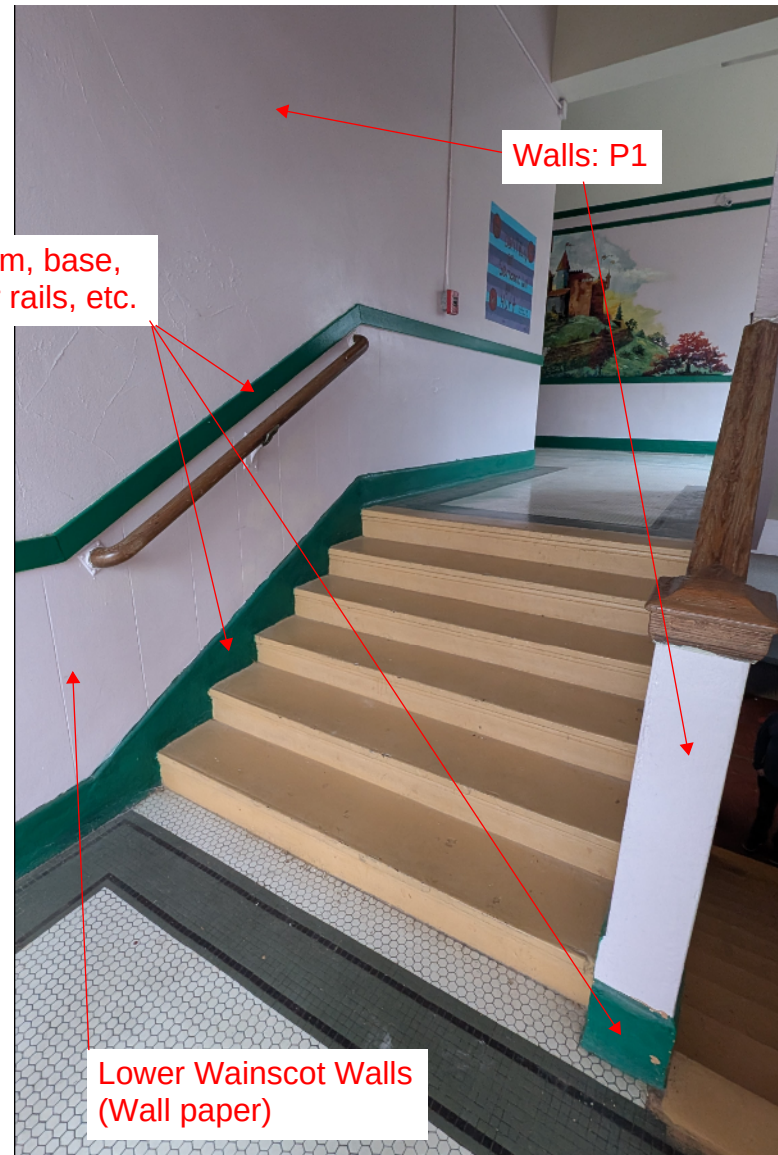
Paint Finishes:

- Walls: Eggshell/Matte
- Ceiling: Flat
- Trim and Casings: Satin Enamel

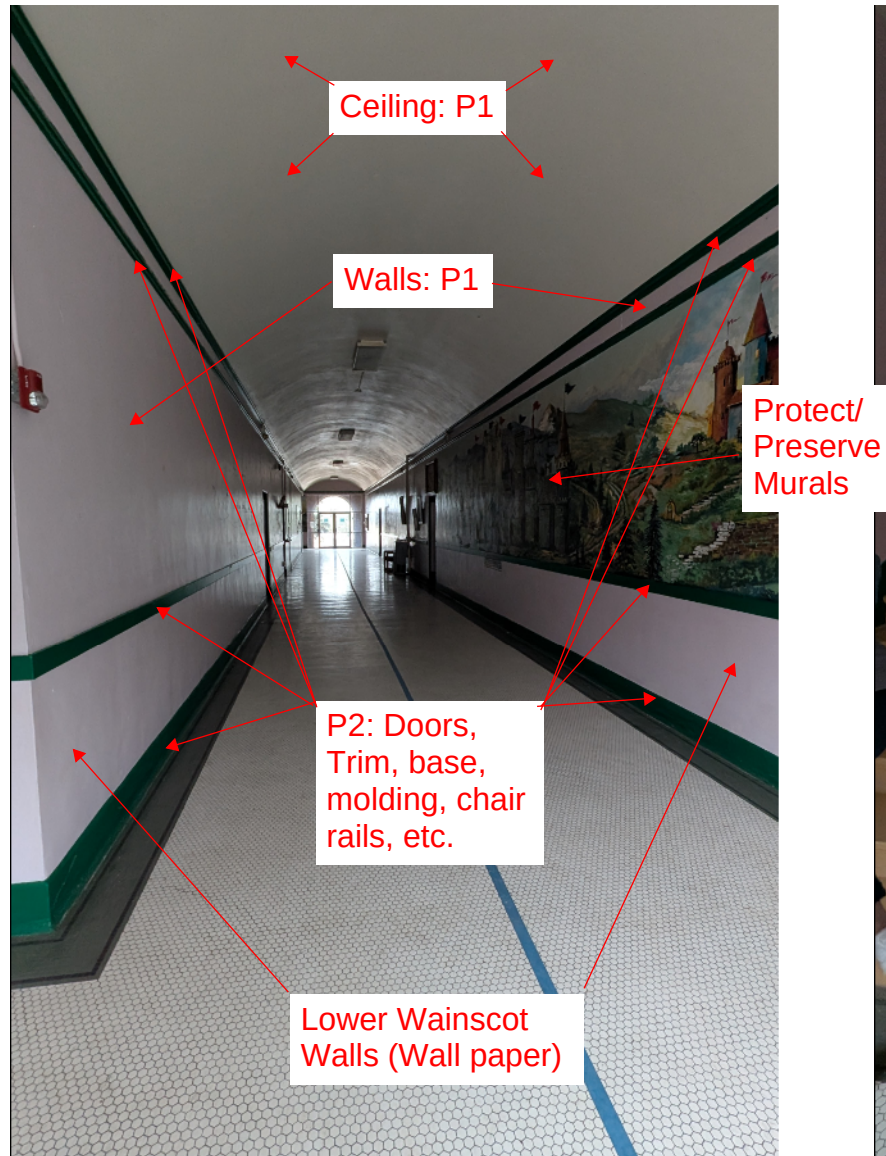
HALLWAY A207



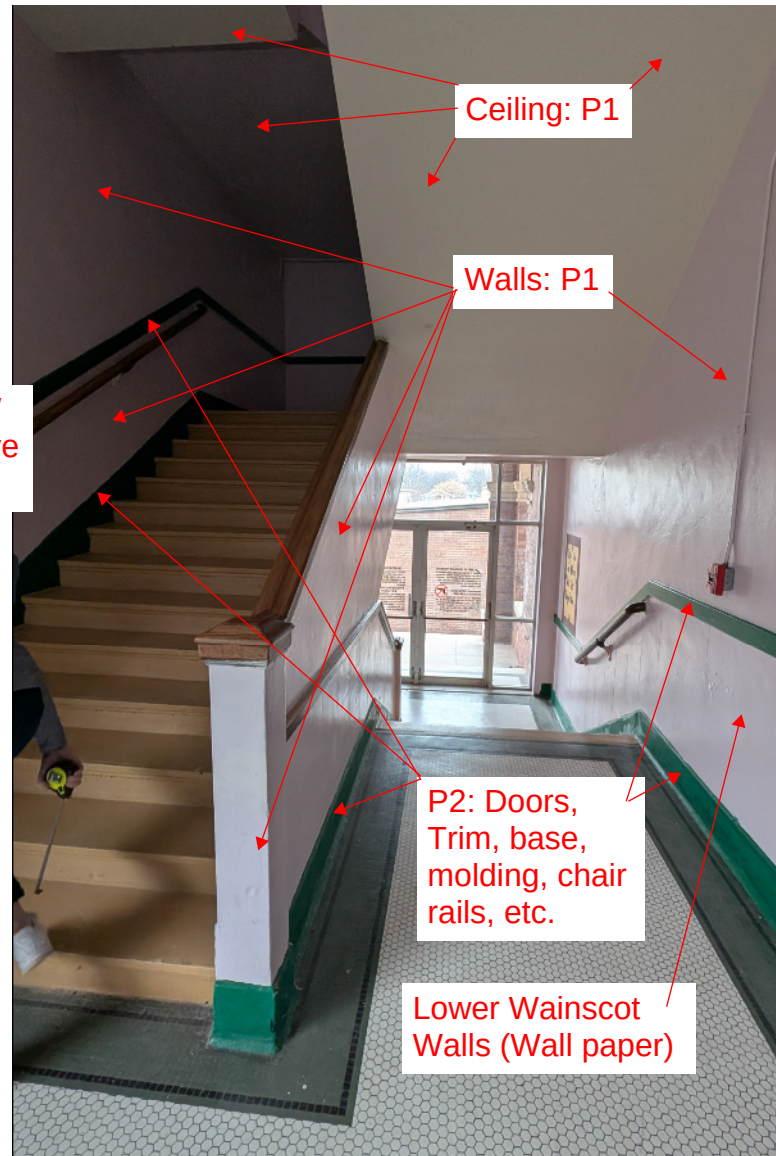
STAIR S2



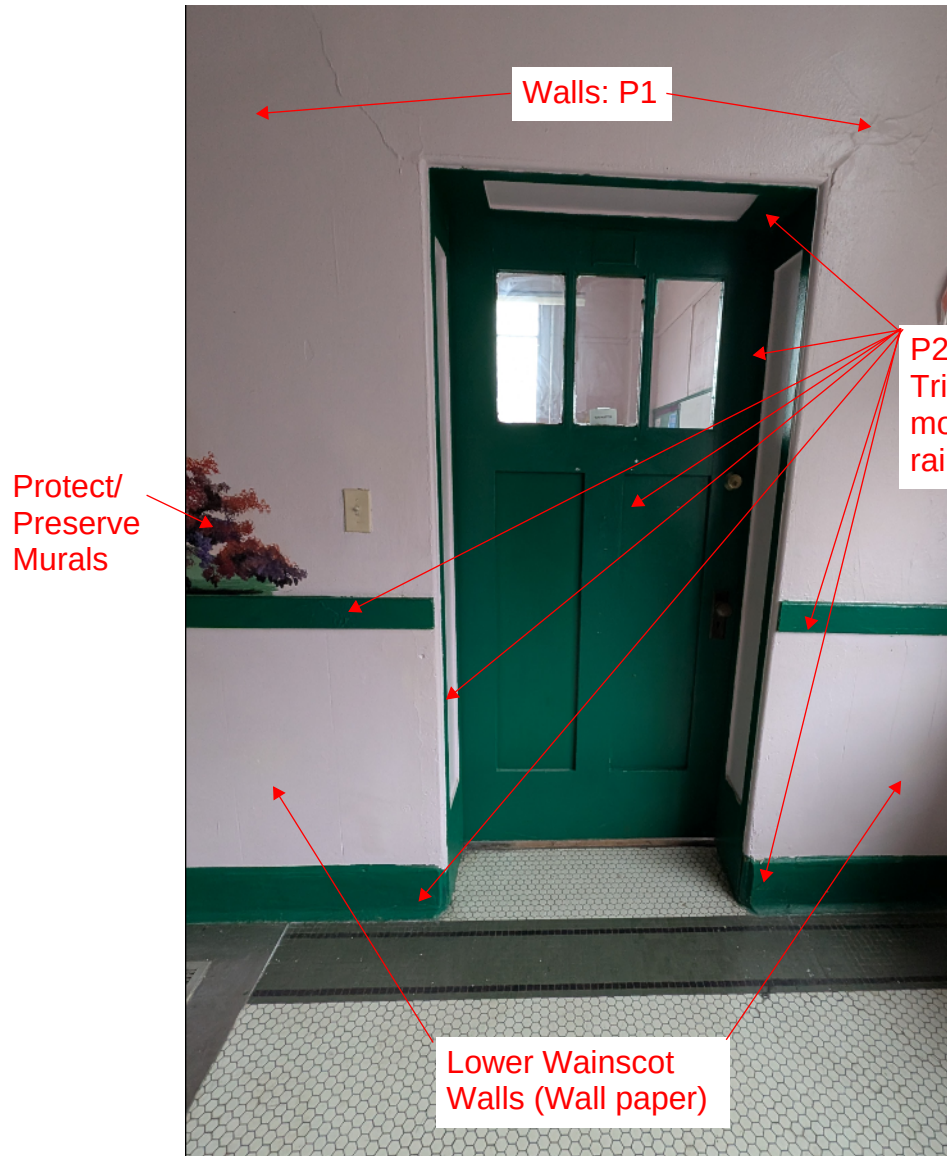
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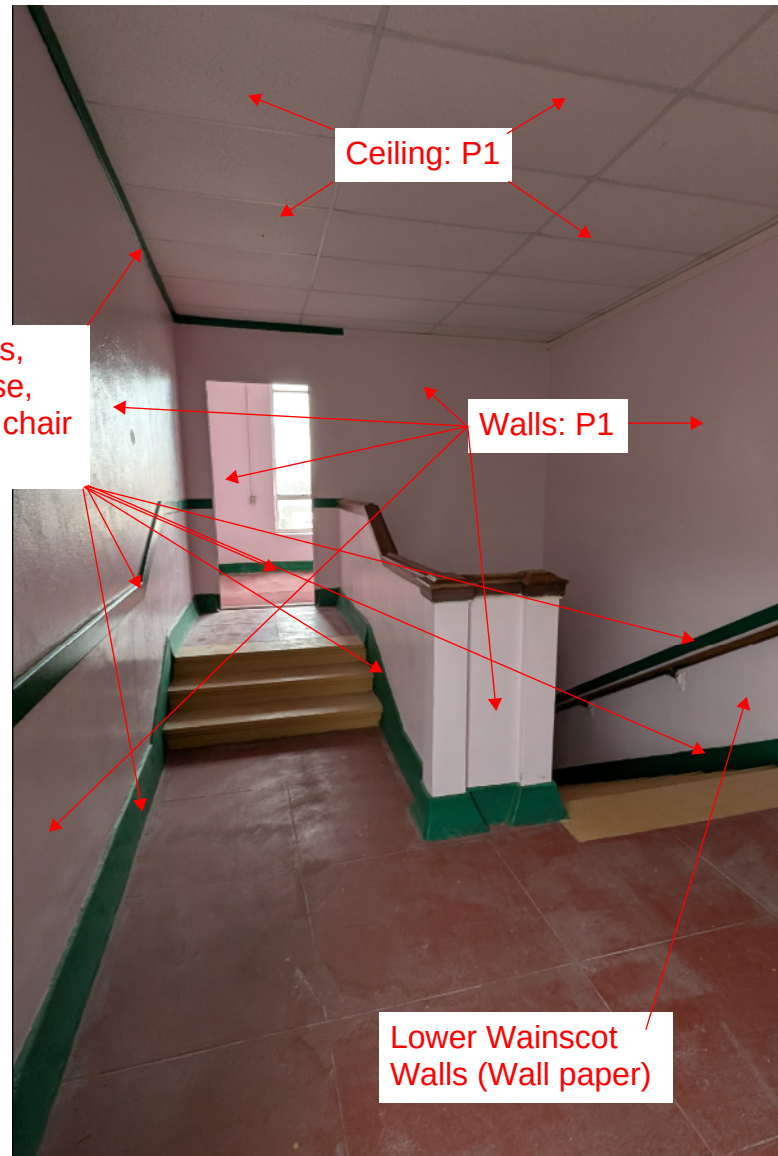
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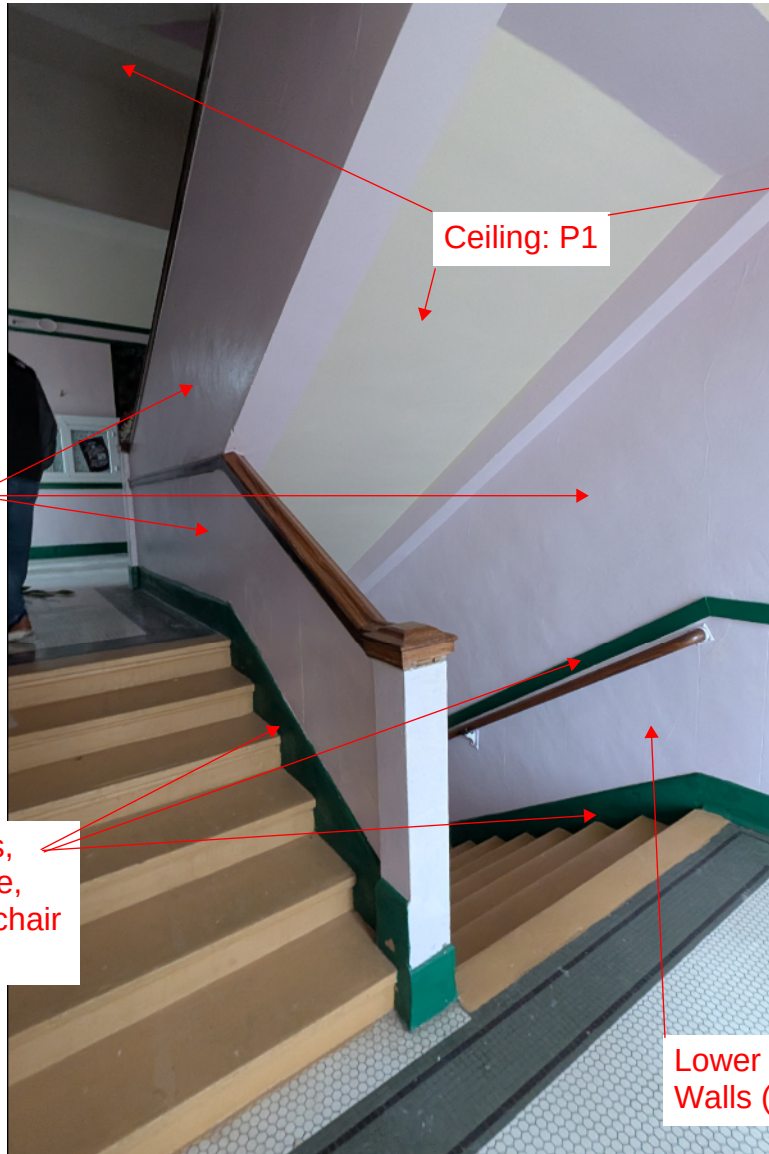
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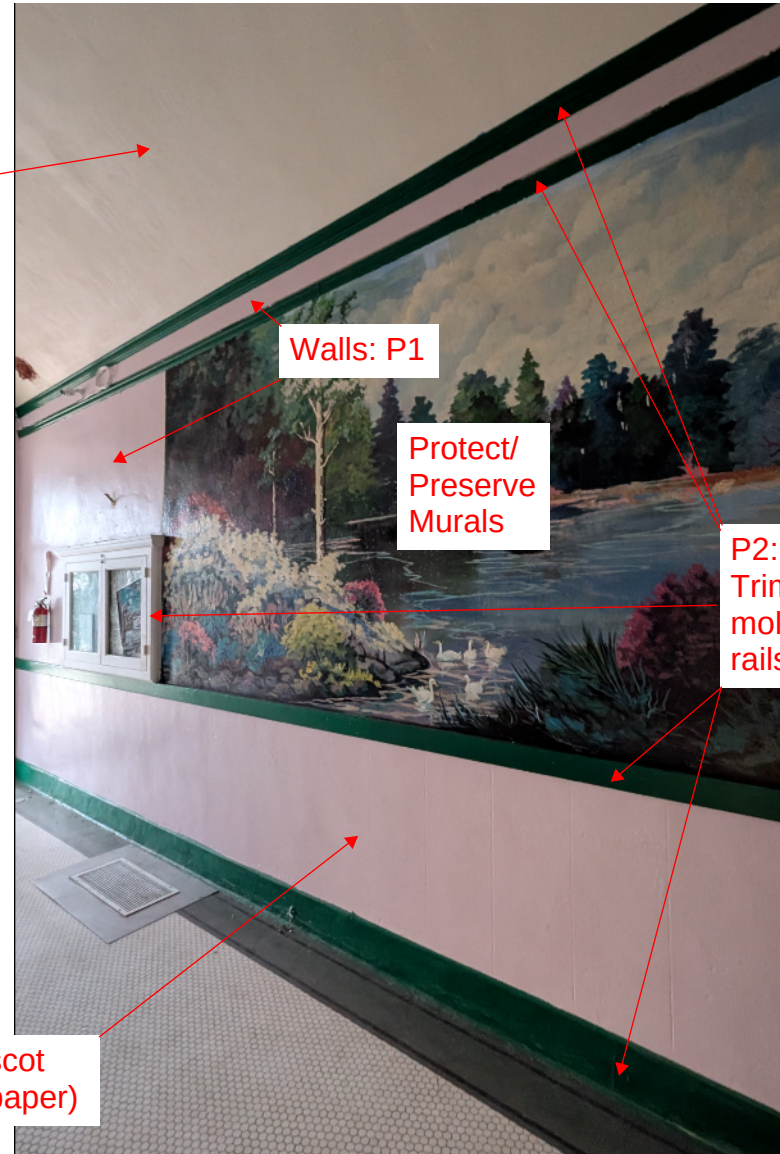
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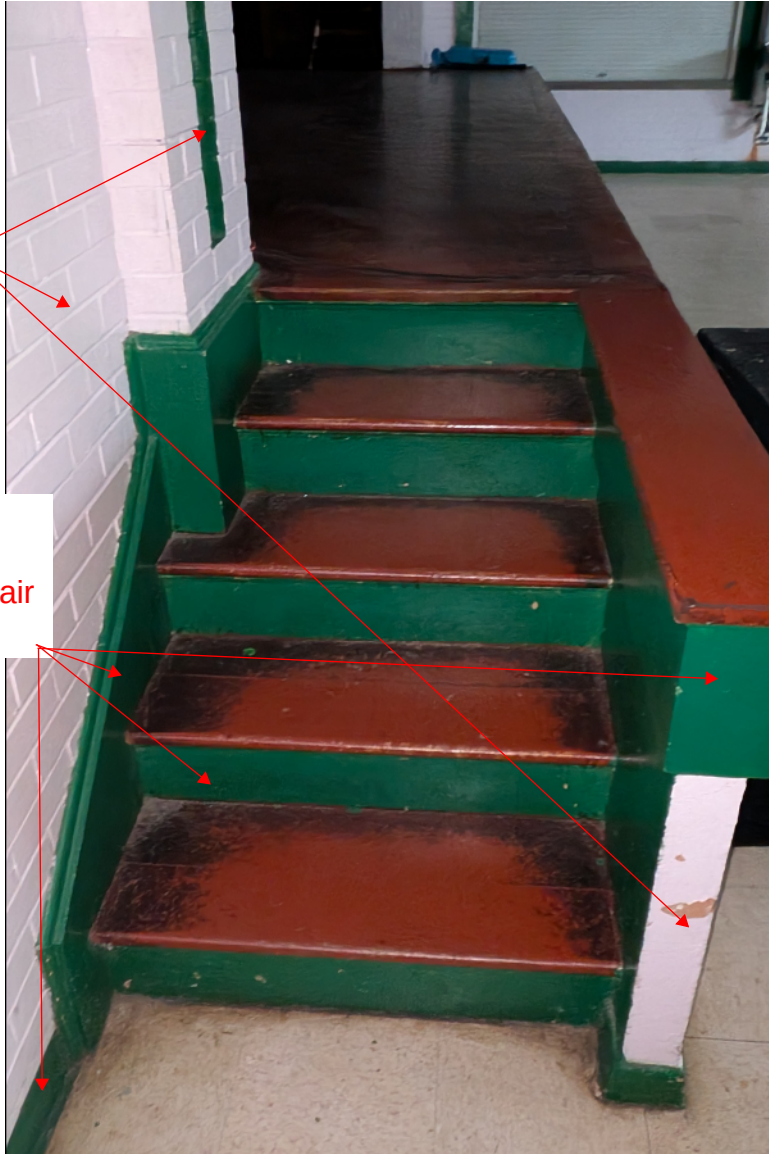
STAIR S1



HALLWAY A207



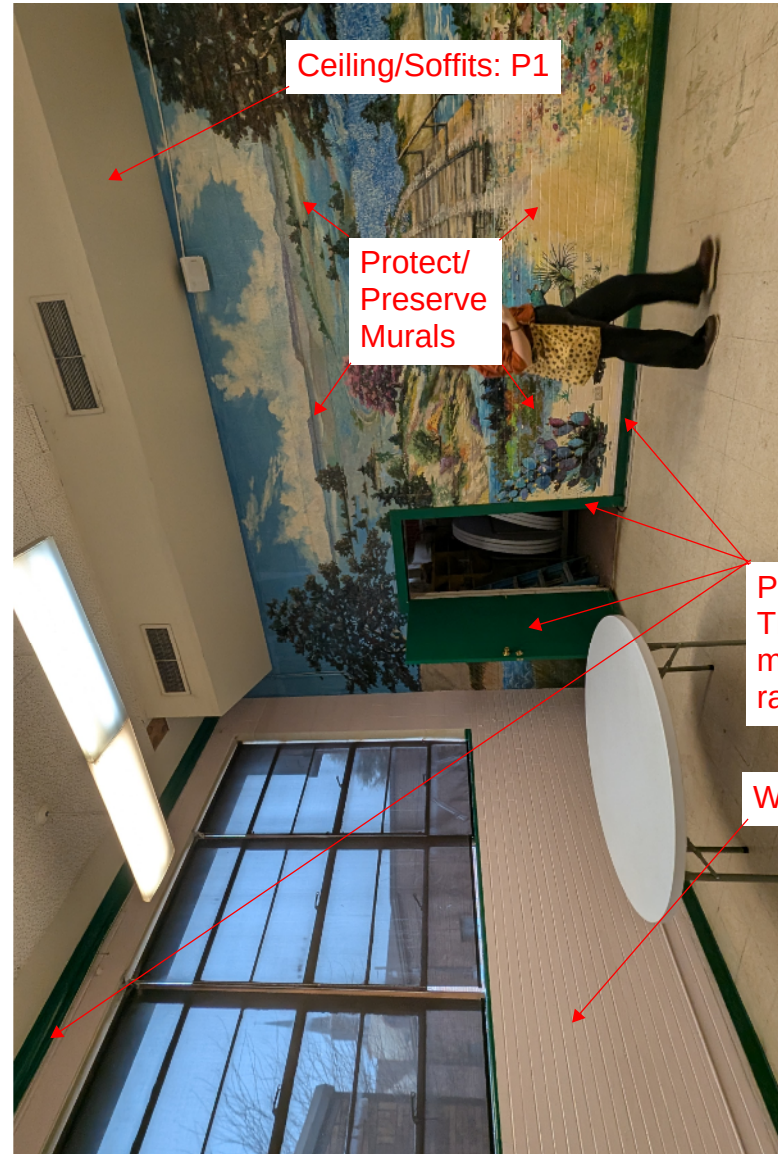
STAGE A118



Walls: P1

P2: Doors,
Trim, base,
molding, chair
rails, etc.

COMMUNITY ROOM A119



Ceiling/Soffits: P1

Protect/
Preserve
Murals

P2: Doors,
Trim, base,
molding, chair
rails, etc.

Walls: P1

COMMUNITY ROOM A119



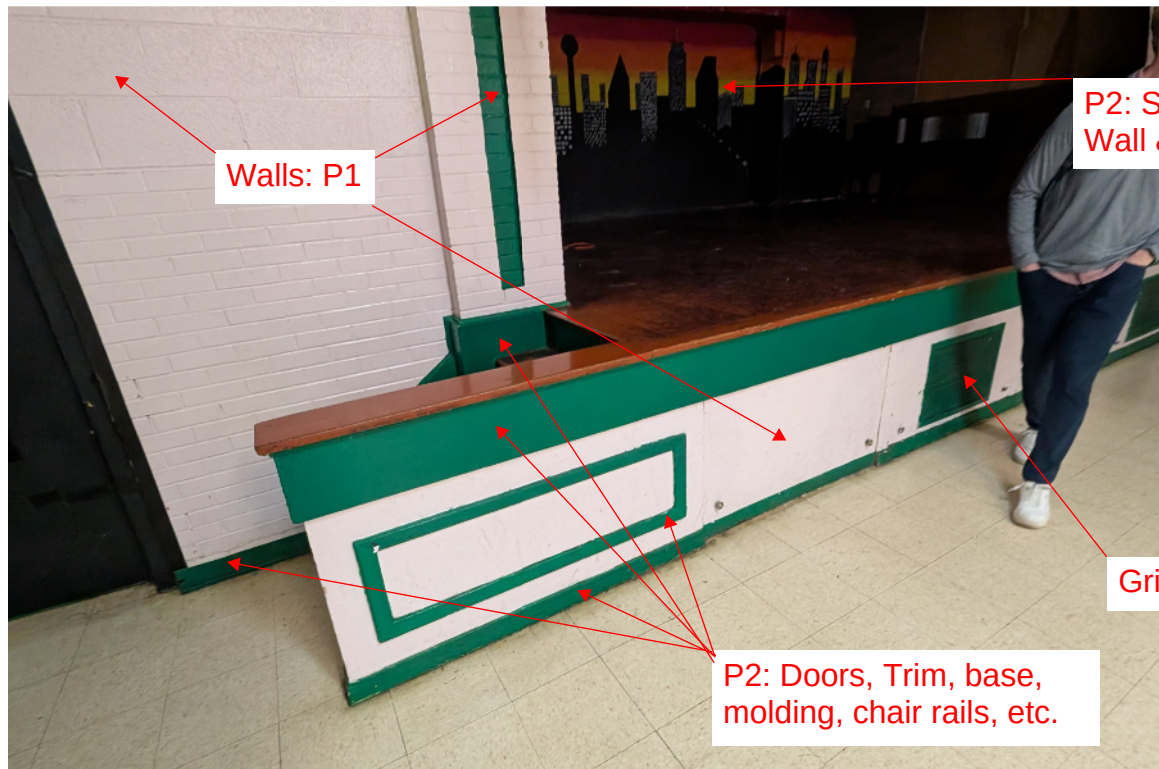
Ceiling/Soffits: P1

Protect/
Preserve
Murals

Walls: P1

P2: Doors, Trim, base,
molding, chair rails, etc.

STAGE A118



Walls: P1

P2: Stage Back
Wall & Ceiling

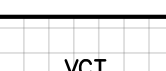
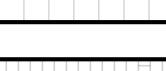
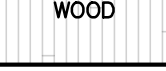
Grills: P1

P2: Doors, Trim, base,
molding, chair rails, etc.

GENERAL NOTES	SPECIFIC NOTES (LABELED AS #1-#11 ON PLAN)
A. TYPES OF FLOORING AND LOCATION MAY VARY. REFERENCE FLOOR PLANS FOR MATERIAL CHANGES AND PATTERNS. B. FINISHES PER ELEVATOR MANUFACTURER RECOMMENDATIONS AND SELECTIONS. FINAL COLORS TO BE DETERMINED BY OWNER. C. REMOVE ANY AND ALL SHEET ROCK, GROUT RESIDUE, ETC. ON THE ORIGINAL PLASTER WALLS. PATCH AND REPAIR AS NEEDED. PAINT D. EXIST. WOOD BASE AND ALL WOOD TRIM WORK ON WALLS AND AT DOORS AND WINDOWS IS TO REMAIN, WHERE EXPOSED IN UNITS OR HALLWAYS. WHERE BASE IS DAMAGED OR MISSING, REPLACE WITH BASE PROFILE TO MATCH EXIST. PAINT E. AT EXIST. PLASTER WALLS AND CEILINGS, CLEAN, REMOVE LOOSE MATERIAL, PATCH, AND REPAIR TO MATCH EXIST. TEXTURE AND PREP FOR PAINT. F. PAINT CEILING, BASES, MOLDING, TRIMWORK, ALL EXPOSED UTILITIES, INCLUDING CONDUIT, J-BOXES, SPRINKLER PIPING, ETC. TO MATCH PLASTER GROUND. H. ALL PAINTING, (EXCEPT SPRINKLER) AND DUCTWORK SHALL BE CONCEALED IN PAINTED C.B. OFFSETS. I. EXISTING WOOD FLOORS ARE TO BE RETAINED AND REFINISHED. THEY ARE TO BE SANDED DOWN, REPAIRED AS NEEDED AND WILL BE STAINED. STAIN COLOR TO BE SELECTED BY ARCHITECT/OWNER. J. EXISTING PAINTED CONCRETE FLOORS SHALL BE RETAINED, REPAIRED AND PATCHED AS NEEDED. REMOVE EXISTING PAINT/SEALANT AND REPAINT/SEAL. K. EXISTING CHALKBOARD AND TACKBOARD SHEETS (THESE ARE IDENTIFIED ON SHEETS AA2.2, AA2.3, AA2.4 AND AA2.5) ALL OTHER CHALKBOARDS AND TACKBOARDS ARE TO BE REMOVED.	1. ORIGINAL WOOD CHALKBOARD FLOOR TO BE RETAINED, REFINISHED DURING CONSTRUCTION. EXISTING WOOD FLOORS ARE TO BE REFINISHED. THEY ARE TO BE SANDED DOWN, REPAIRED AS NEEDED AND WILL BE STAINED. COLOR OF STAIN TBD. 2. MESSAGE BOX TO REMAIN/REPLACE INTERIOR TACKBOARD/CORKBORD SURFACE WITH NEW. CLEAN AND REPAIR WOOD TRIM AS NEEDED. REPAINT 3. EXISTING CHALKBOARD, TACKBOARD, CHALK TRAY AND TRIM TO REMAIN. PROTECT DURING CONSTRUCTION. EVALUATE CONDITION OF CHALKBOARD – REPLACE AS NEEDED. ANY EXISTING DRYER BOARD BODIES SHALL BE REMOVED AND REPLACED WITH NEW BLACK CHALKBOARD SURFACE, ALL TACKBOARD/CORKBORD MATERIAL SHALL BE REPLACED WITH NEW. 4. EXISTING MURALS BY LOCAL ARTIST SLEEPY READ ARE TO REMAIN. PROTECT DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR NOTIFYING SUBS (PARTICULARLY DEMO SUBS) OF THE IMPORTANCE OF THE MURALS. NEW PAINT ON ADJACENT WALLS SHOULD BE DELICATELY CUT IN AS TO NOT PAINT OVER THE EXISTING MURAL, BUT ENSURE THAT ADJACENT WALLS ARE FULLY PAINTED. CLEAN AND REPAIR WOOD TRIM AND CHALK TRAY AS NEEDED. REPAINT. 5. REFINISH & REPAIR EXISTING DOOR & FRAME, PAINT. INSTALL NEW HARDWARE. THIS DOOR TO BE KEPT IN PLACE. ELEVATOR DOORS TO BE FIXED, PERMANENTLY, IN THE OPEN POSITION. 6. EXISTING INTERIOR WOOD DOORS AND FRAMES TO REMAIN: REPAIR AND RESTORE, REPLACE HARDWARE WITH NEW AND REPAINT DOORS/FRAMES. 7. EXISTING EXTERIOR ALUM. STOREFRONT AND H.W. DOORS/FRAMES TO REMAIN. REPAIR AND RESTORE TO SMOOTH OPERATION. REPLACE DOORS TO BE RE-KEYED FOR NEW OWNER. COORDINATE NEW KEY FOR SYSTEM WITH OWNER. 8. PAINT SHUFFLE BOARD STENCIL ON WOOD STAGE FLOOR. BEGINNER COURT DIMENSIONS. PAINT COLOR TBD. 9. INSTALL NEW MANUAL PULL-DOWN SCREEN FOR PROJECTION. REFERENCE SPECIFICATIONS. 10. NON-ACCESSIBLE BUILDING ENTRANCES SHALL PROVIDE DIRECTIONAL SIGNAGE WITH INFORMATION ABOUT THE NEAREST ACCESSIBLE BUILDING ENTRANCE. 11. NEW ROOF HATCH AND WALL-MOUNTED LADDER, NEW ROOF HATCH SHALL BE INSTALLED IN EXISTING ROOF ACCESS OPENING. ROOF HATCH SHALL BE LOCATED AS FAR SOUTH IN THE OPENING AS POSSIBLE AND NORTH OPEN END OF HATCH SHALL BE INTENT TO OPEN. 12. FLOAT THE FLOOR IN THIS CLOSET (SHOWN AS HATCH) TO ACCOMMODATE A SLOPE OF 1:48 MAX. PER ADA. 13. NEW SLOPING SLAB IN THIS AREA (SHOWN AS HATCH) TO ACCOMMODATE A SLOPE OF 1:48 MAX. PER ADA. 14. ENLARGE EXISTING DOOR OPENING TO FIT NEW 42" DOOR AND FRAME FOR MECHANICAL ROOM.

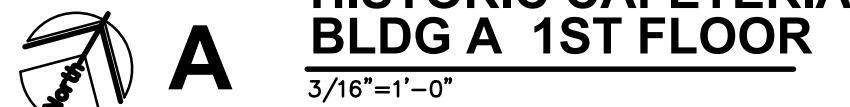


FLOORING LEGEND

	NEW VINYL COMPOSITION TILE		NEW LUXURY VINYL TILE (NOT SIM. WOOD)
	EXISTING WOOD, REFINISHED		HISTORIC TILE TO REMAIN, CLEAN & REPAIR
	EXISTING PAINTED CONCRETE SQUARES		

GENERAL NOTES:

- A. INSTALL VINYL, RUBBER, OR ALUMINUM TRANSITION STRIP BETWEEN FLOOR MATERIAL OF DIFFERING HEIGHTS, INCLUDING BUT NOT LIMITED TO CONCRETE/LVT TRANSITIONS.
- B. ALL GYPSUM BOARD AREAS WHICH ARE ACCESSORIES TO THE ROOM INCLUDING BUT NOT LIMITED TO SOFFITS, BULKHEADS, TRIM, ETC. SHALL BE PAINTED REGARDLESS OF WHETHER IT IS SPECIFICALLY NOTED TO BE PAINTED.
- C. ALL G.B. WALLS & PERMANENT PARTITIONS SHALL RECEIVE WOOD BASE UNLESS NOTED OTHERWISE.
- D. WALL TYPE SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL COORDINATE WALL MATERIAL W/ DRAWINGS AND FIELD CONDITIONS. ALL AREAS INDICATED TO RECEIVE NEW FINISH SHALL RECEIVE A COMPLETE FINISH AS SCHEDULED AT ENTIRE ROOM. CONTRACTOR SHALL COORDINATE FINISHES AND ACCENTS WITH DETAILS AND INTERIOR ELEVATIONS.
- E. FLOORING CONTRACTOR SHALL VERIFY THAT SUBFLOOR IS LEVEL AND PROPERLY PREPPED, PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS.
- F. CONTRACTOR SHALL VERIFY THAT FLOORS ARE PREPPED "FLOORSTONED" FOR LEVEL TRANSITION BETWEEN DIFFERING MATERIALS.
- G. ALL H.M. DOORS & FRAMES TO BE PAINTED W/ INDUSTRIAL ENAMEL UNLESS NOTED OTHERWISE. H.M. DOORS AND FRAMES SHALL BE SANDED SMOOTH PRIOR TO PAINTING. SPRAY FINISH ONLY. NO BRUSH-ON/ROLL.
- H. CONTRACTOR SHALL COORDINATE WITH INTERIOR ELEVATIONS, FLOOR PLANS AND MISCELLANEOUS DETAILS TO VERIFY ALL AESTHETIC ACCENTS AND DETAILS.
- I. REFERENCE INTERIOR ELEVATIONS, WALL SECTIONS AND DETAILS FOR WOOD BASE & TRIM LOCATIONS.
- J. STAIRS & BALANCE, PAINT & RETURN LOCATIONS.
- K. LEVEL 4 FINISH WITH ORANGE PEEB TEXTURE AT ALL WALLS & GYP CEILINGS.



1. REF SHEET A2.0 FOR UNIT GENERAL NOTES, PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

