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NOTICE TO ALL CONTRACTORS AND SUB-CONTRACTORS

December 16, 2025

Irving Lofts – Historic Rehabilitation – JGR Proj 25-3479

ADDENDUM NO. 1

YOU ARE INSTRUCTED TO READ AND TO NOTE THE FOLLOWING DESCRIBED CHANGES, CORRECTIONS, CLARIFICATIONS, OMISSIONS, DELETIONS, ADDITIONS, APPROVALS, AND STATEMENTS PERTINENT TO THE CONTRACT AND CONSTRUCTION DOCUMENTS. THIS ADDENDUM IS A PART OF THE CONTRACT AND CONSTRUCTION DOCUMENTS AND SHALL GOVERN IN THE PERFORMANCE OF THE WORK.

ARCHITECTURAL – Drawings

1. CFP1 – Building A: Construction Type has been revised to III-A in lieu of III-B. Allowable and actual building area have been revised. Basic allowable height has been revised. Fire Resistance Ratings and Construction chart has been revised.
2. CFP2 – Building A: Corridor walls at the ‘historic school’ have been revised to 1-hr rated walls with 45-min openings.
3. A2.0 – Buildings A, B & C: Apartment General Notes – Sheet references in Notes 6 & 7 have been revised.
4. AA2.1 – Building A: Designations for Doors A41 & A44 have been revised (formerly doors A21 & A24) to avoid duplication of second floor door labels.
5. AA2.2 – Building A: Designations for Doors A42 & A43 have been revised (formerly doors A22 & A23) to avoid duplication of second floor door labels.
6. AA10.1 – Building A: Public Door Schedule – Select doors have been revised to 45 min. rated in lieu of 20 min. Door labels have been revised for first floor doors A41-44 (formerly A21-24) to avoid duplication of second floor door labels.

Receipt of this Addendum shall be noted on the Bid Form.

END OF ADDENDUM NO. 1

Attachments: Revised Architectural Sheets CFP1, CFP2, A2.0, AA2.1, AA2.2, AA10.1

PROJECT INFORMATION

TYPES OF CONSTRUCTION

FACILITY NAME

FACILITY ADDRESS

OWNER NAME

OWNER ADDRESS

REASON FOR SUBMITTAL

COUNTY

LOCAL FIRE DEPARTMENT

WATER SUPPLY

LOCAL BUILDING

INSPECTION DEPARTMENT

ARCHITECT

CODES/REGULATIONS

EXTERIOR RENOVATION, INTERIOR RENOVATION & REMODEL

THE IRVING LOFTS

1108 N ANGLIN ST

CLEBURNE, TEXAS 76031

OPG —IRVING LOFTS PARTNERS, LLC

254 N SANTA FE AVE, STE A

SALINA, KS 67401

ph: 913-396-6310

CHANGE IN USE, PRIOR SCHOOL

TO MULTI-FAMILY HOUSING

JOHNSON

CITY OF CLEBURNE

CITY OF CLEBURNE

CITY OF CLEBURNE

JONES GILLAM RENZ ARCHITECTS, INC.

730 N. NINTH ST.

SALINA, KS 67401

ph: 785-827-0386

2021 INTERNATIONAL BUILDING CODE

2021 INTERNATIONAL MECHANICAL CODE

2021 INTERNATIONAL PLUMBING CODE

2023 NATIONAL ELECTRICAL CODE

2021 INTERNATIONAL FIRE CODE

2021 INTERNATIONAL ENERGY CONSERVATION CODE

FAIR HOUSING ACT DESIGN MANUAL

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

2017 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS

LEGEND

DESIGNATED EMERGENCY EXIT

▲

68"/24.4"

←EXIT WIDTH (ACTUAL/REQUIRED)

122/340

←OCCUPANT LOAD (ACTUAL/ALLOWED)

0 HOUR CONSTRUCTION

1/2 HOUR FIRE PARTITION

W/ 20 MIN OPENINGS (PER IBC TABLE 716.5)

1 HOUR FIRE PARTITION

W/ 45 MIN. OPENINGS (PER IBC 708.3 & 716.1(2))

1 HOUR CONSTRUCTION, SHAFT WALLS

W/ 60 MIN. OPENINGS (PER IBC TABLE 716.1(2))

EXIT LIGHT

EXIT/EMERGENCY LIGHT

EMERGENCY LIGHT

FIRE EXTINGUISHER

FIRE HYDRANT

FIRE ALARM CONTROL PANEL

FIRE ALARM REMOTE ANNUNCIATOR PANEL

KNOX BOX

PH

FACP

FAL

KB

OCCUPANCY GROUP (AU — ACCESSORY USE)

OCCUPANCY USE

ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR

OCCUPANT LOAD/REQUIRED NUMBER OF EXITS

A-1

ASSEMBLY HALL

5,550

15

370

2

BUILDING A CODE INFORMATION

OCCUPANCY OVERALL: RESIDENTIAL

CONSTRUCTION TYPE: III-A (ASSUMED CONSTRUCTION TYPE — EXISTING BUILDING)

OCCUPANCY BASIC

R-2 APARTMENTS

*BUILDING HAS AN NFPA 13R SPRINKLER SYSTEM. SECTION 903.3.1.2

*ALLOWABLE AREA AND HEIGHT BASED ON DIFFERENT USES NOT BEING SEPARATED BY FIRE BARRIERS. MOST RESTRICTIVE ALLOWANCE.

ALLOWABLE AREA INCREASE:

R-2

ACTUAL BUILDING AREA:

BASE ALLOWABLE

24,000 SF

FIRST FLOOR

11,260 SF

AREA INCREASE (37.30%)

8,952 SF

SECOND FLOOR

6,839 SF

TOTAL FLR ALLOWABLE/FLOOR

32,952 SF

THIRD FLOOR

6,889 SF

TOTAL BLDG AREA

24,988 SF

BASIC ALLOWABLE STORIES:

4

ACTUAL STORIES:

3

(PER IBC TABLE 503)

BASIC ALLOWABLE HEIGHT:

60'

ACTUAL HEIGHT:

47'

(PER IBC TABLE 503)

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS: III-A

EXTERIOR BEARING WALLS: 2 HOUR

(EXISTING: BRICK OVER CMU BLOCK, PLASTER FINISH)

PRIMARY STRUCTURAL FRAME: 1 HOUR

(EXISTING: REF. INTERIOR BEARING WALLS & FLOOR/CEILING ASSEMBLY BELOW)

INTERIOR BEARING WALLS: 1 HOUR

(EXISTING: PLASTER FINISH (BOTH SIDES) OVER WOOD CONSTRUCTION)

INTERIOR NON-BEARING WALLS: 0 HOUR

SHAFT ENCLOSURES: 1 HOUR

(NEW ELEVATOR CONSTRUCTION)

STAIRS: 0 HOUR

FLOOR/CEILING ASSEMBLY: 1 HOUR

(EXISTING: T&G FLOORING/Sheathing OVER WOOD TRUSSES, PLASTER FINISH CEILING)

CEILING/ROOF ASSEMBLY: 0 HOUR

(TABLE 601, EXCEPTION B)

CORRIDOR/DWELLING UNITS: 1/2 HOUR

DWELLING UNITS — 1 HR FIRE PARTITIONS

ELEVATOR REQUIREMENTS

HOISTWAY OPENING PROTECTION: NOT REQUIRED PER 3006.2.

ELEVATOR HOISTWAY DOES NOT CONNECT MORE THAN 3 STORIES

BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM

AN APPROVED PICTORIAL SIGN OF A STANDARDIZED DESIGN SHALL BE POSTED ADJACENT TO ELEVATOR CALL STATION ON ALL FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATORS IN CASE OF FIRE.

PLUMBING AND MECHANICAL SYSTEMS SHALL NOT BE LOCATED IN AN ELEVATOR HOISTWAY ENCLOSURE (EXCEPTIONS: FLR DRAINS, SUMPS & SUMP PUMPS)

OPENINGS SHALL BE SELF-CLOSING OR AUTOMATIC CLOSING BY SMOKE DETECTION.

PENETRATIONS OTHER THAN THOSE NECESSARY FOR THE PURPOSE OF THE SHAFT SHALL NOT BE PERMITTED.

ELEVATORS SHALL BE PROVIDED WITH PHASE I EMERGENCY RECALL OPERATION AND PHASE II EMERGENCY IN-CAR OPERATION IN ACCORDANCE WITH ASME A17.1/CSA B44 (3003.2)

AN AREA OF REFUGE IS NOT REQUIRED IN BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM. (SECTION 1009.4.2, Exception 2)

OCCUPANCY & INCIDENTAL SEPARATIONS: (NON-SEPARATED USES: PER IBC SEC. 508.3)

WALLS SEPARATING DWELLING AND SLEEPING UNITS SHALL HAVE A FIRE-RESISTIVE RATING NOT LESS THAN 1-HR (SECT. 708.3)

HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS SHALL NOT BE LESS THAN 1-HR RATED. (SECT. 711.2.4.3)

LAUNDRY ROOMS OVER 100 SF — 1 HR RATED

ROOF COVERINGS

CLASS C OR BETTER (TABLE 1505.1)

REQUIRED SEPARATION OF OCCUPANCIES (PER IBC 508.4.4 & TABLE 508.4)

USES ARE NOT SEPARATED BY FIRE BARRIERS. CONSTRUCTION IS BASED ON THE MOST RESTRICTIVE USE.

DWELLING UNITS —1 HR FIRE PARTITIONS

*THE MAJORITY OF DWELLING UNITS ARE SEPARATED BY EXISTING HISTORIC PLASTER WALLS; ALL NEW WALLS WILL BE 1-FIRE PARTITIONS.

DRAFTSTOPPING (SECT. 708.4.2)

FIRE PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE ROOF DECK ABOVE.

AUTOMATIC FIRE SUPPRESSION SYSTEM:

REQUIRED, NFPA 13 SYSTEM PROVIDED

PORTABLE FIRE EXTINGUISHERS

REQUIRED — PROVIDED.

EACH DWELLING UNIT SHALL BE PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A:10-B:C

SMOKE ALARM REQUIREMENTS:

REQUIRED, PROVIDED AS SPECIFIED BELOW ACCORDING TO SECT. 907.2.11.2

— ON THE CEILING OR WALL OUTSIDE EACH SEPARATE SLEEPING AREA

— IN EACH ROOM USED FOR SLEEPING

— ON EACH STORY

SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT AS REQUIRED ABOVE.

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED, SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS.

WIRING AND ALARM SHALL BE EQUIPPED WITH A BATTERY BACKUP.

FIRE ALARM REQUIREMENTS:

REQUIRED, PROVIDED — MANUAL & AUTOMATIC FIRE ALARM SYSTEM PER NFPA 72

SIGNALING SYSTEM IS AUDIBLE/VISUAL PER NFPA 72 & ADA INSTALLED THROUGHOUT

INITIATING DEVICES: PULL STATIONS; SMOKE DETECTION @ SLEEPING & COMMON AREAS, SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES MONITORED.

SMOKE ALARM REQUIREMENTS:

REQUIRED, PROVIDED — SLEEPING ROOMS, OUTSIDE SLEEPING ROOMS & AT EACH FLOOR

EMERGENCY POWER SOURCE:

EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP

HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1))

NO HAZARDOUS MATERIALS ARE TO BE STORED

SMOKE CONTROL:

SMOKE PARTITIONS:

STANDPIPES:

NOT REQUIRED

NOT REQUIRED

NOT REQUIRED (TOP FLR <30')

TOTAL OCCUPANT LOAD: 88

EXITING: REFERENCE PLAN

OCCUPANT LOAD FACTORS: (TABLES 1004.1.2, 1015.1):

OCCUPANCY

USE

LOAD FACTOR

MAX.OCC/STRY 1 EXIT

R-2

APARTMENT

200 sf/OCCUPANT

10

B

BUSINESS

100 sf/OCCUPANT

49

S-1

STORAGE

300 sf/OCCUPANT

29

M

MECHANICAL

300 sf/OCCUPANT

49

BUILDING B CODE INFORMATION

OCCUPANCY OVERALL: RESIDENTIAL

CONSTRUCTION TYPE: II-B (ASSUMED — EXISTING BUILDING)

OCCUPANCY BASIC

R-2 APARTMENTS

*BUILDING HAS AN NFPA 13R SPRINKLER SYSTEM. SECTION 903.3.1.2

*ALLOWABLE AREA AND HEIGHT BASED ON DIFFERENT USES NOT BEING SEPARATED BY FIRE BARRIERS. MOST RESTRICTIVE ALLOWANCE.

ALLOWABLE AREA INCREASE:

R-2

ACTUAL BUILDING AREA:

BASE ALLOWABLE

16,000 SF

FIRST FLOOR

5,780 SF

AREA INCREASE (25%)

4,000 SF

TOTAL FLOOR ALLOWABLE

20,000 SF

TOTAL BLDG AREA

5,780 SF

BASIC ALLOWABLE STORIES:

2

ACTUAL STORIES:

1

(PER IBC TABLE 503)

BASIC ALLOWABLE HEIGHT:

40'

ACTUAL HEIGHT:

16'

(PER IBC TABLE 503)

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS: V-B

EXTERIOR BEARING WALLS: 0 HOUR

STRUCTURAL FRAME: 0 HOUR

INTERIOR BEARING WALLS: 0 HOUR

INTERIOR NON-BEARING WALLS: 0 HOUR

STAIRS: 0 HOUR

N/A

FLOOR/CEILING ASSEMBLY: 0 HOUR

CEILING/ROOF ASSEMBLY: 0 HOUR

CORRIDOR/DWELLING UNITS: 1/2 HOUR

DWELLING UNITS — 1 HR FIRE PARTITIONS

ROOF COVERINGS

CLASS C OR BETTER

REQUIRED SEPARATION OF OCCUPANCIES (PER IBC 508.4.4 & TABLE 508.4)

USES ARE NOT SEPARATED BY FIRE BARRIERS. CONSTRUCTION IS BASED ON THE MOST RESTRICTIVE USE.

DWELLING UNITS —1 HR FIRE PARTITIONS

DRAFTSTOPPING (PER IBC 718.4.1.1 & 718.4.2)

DRAFTSTOPPING SHALL BE INSTALLED IN LINE WITH UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE ROOF SHEATHING OR ATTIC SPACE MAY BE SUBDIVIDED INTO AREAS NOT EXCEEDING 3,000 SF OF ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER.

OPENING IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

AUTOMATIC FIRE SUPPRESSION SYSTEM:

REQUIRED, PROVIDED PER NFPA 13R — ENTIRE BUILDING

PORTABLE FIRE EXTINGUISHERS

REQUIRED — PROVIDED.

EACH DWELLING UNIT SHALL BE PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A:10-B:C

SMOKE ALARM REQUIREMENTS:

REQUIRED, PROVIDED AS SPECIFIED BELOW ACCORDING TO SECT. 907.2.11.2

— ON THE CEILING OR WALL OUTSIDE EACH SEPARATE SLEEPING AREA

— IN EACH ROOM USED FOR SLEEPING

SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT AS REQUIRED ABOVE.

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED, SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS.

WIRING AND ALARM SHALL BE EQUIPPED WITH A BATTERY BACKUP.

FIRE ALARM REQUIREMENTS:

REQUIRED, PROVIDED — MANUAL & AUTOMATIC FIRE ALARM SYSTEM PER NFPA 72

SIGNALING SYSTEM IS AUDIBLE/VISUAL PER NFPA 72 & ADA INSTALLED THROUGHOUT

INITIATING DEVICES: PULL STATIONS; SMOKE DETECTION @ SLEEPING & COMMON AREAS, SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES MONITORED.

SMOKE ALARM REQUIREMENTS:

REQUIRED, PROVIDED — SLEEPING ROOMS, OUTSIDE SLEEPING ROOMS & AT EACH FLOOR

EMERGENCY POWER SOURCE:

EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP

HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1))

NO HAZARDOUS MATERIALS ARE TO BE STORED

SMOKE CONTROL:

SMOKE PARTITIONS:

STANDPIPES:

NOT REQUIRED

NOT REQUIRED

NOT REQUIRED (TOP FLR <30')

TOTAL OCCUPANT LOAD: 24

EXITING: REFERENCE PLAN

OCCUPANT LOAD FACTORS: (TABLES 1004.1.2, 1015.1):

OCCUPANCY

USE

LOAD FACTOR

MAX.OCC/STRY 1 EXIT

R-2

APARTMENT

200 sf/OCCUPANT

10

M

MECHANICAL

300 sf/OCCUPANT

49

BUILDING C CODE INFORMATION

OCCUPANCY OVERALL: RESIDENTIAL

CONSTRUCTION TYPE: II-B (ASSUMED — EXISTING BUILDING)

OCCUPANCY BASIC

R-2 APARTMENTS

*BUILDING HAS AN NFPA 13R SPRINKLER SYSTEM. SECTION 903.3.1.2

*ALLOWABLE AREA AND HEIGHT BASED ON DIFFERENT USES NOT BEING SEPARATED BY FIRE BARRIERS. MOST RESTRICTIVE ALLOWANCE.

ALLOWABLE AREA INCREASE:

R-2

ACTUAL BUILDING AREA:

BASE ALLOWABLE

16,000 SF

FIRST FLOOR

5,922 SF

AREA INCREASE (25%)

4,000 SF

TOTAL FLOOR ALLOWABLE

20,000 SF

TOTAL BLDG AREA

5,922 SF

BASIC ALLOWABLE STORIES:

2

ACTUAL STORIES:

1

(PER IBC TABLE 503)

BASIC ALLOWABLE HEIGHT:

40'

ACTUAL HEIGHT:

16'

(PER IBC TABLE 503)

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS: V-B

EXTERIOR BEARING WALLS: 0 HOUR

STRUCTURAL FRAME: 0 HOUR

INTERIOR BEARING WALLS: 0 HOUR

INTERIOR NON-BEARING WALLS: 0 HOUR

STAIRS: 0 HOUR

N/A

FLOOR/CEILING ASSEMBLY: 0 HOUR

CEILING/ROOF ASSEMBLY: 0 HOUR

CORRIDOR/DWELLING UNITS: 1/2 HOUR

DWELLING UNITS — 1 HR FIRE PARTITIONS

ROOF COVERINGS

CLASS C OR BETTER

REQUIRED SEPARATION OF OCCUPANCIES (PER IBC 508.4.4 & TABLE 508.4)

USES ARE NOT SEPARATED BY FIRE BARRIERS. CONSTRUCTION IS BASED ON THE MOST RESTRICTIVE USE.

DWELLING UNITS —1 HR FIRE PARTITIONS

DRAFTSTOPPING (PER IBC 718.4.1.1 & 718.4.2)

DRAFTSTOPPING SHALL BE INSTALLED IN LINE WITH UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE ROOF SHEATHING OR ATTIC SPACE MAY BE SUBDIVIDED INTO AREAS NOT EXCEEDING 3,000 SF OF ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER.

OPENING IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

AUTOMATIC FIRE SUPPRESSION SYSTEM:

REQUIRED, PROVIDED PER NFPA 13R — ENTIRE BUILDING

PORTABLE FIRE EXTINGUISHERS

REQUIRED — PROVIDED.

EACH DWELLING UNIT SHALL BE PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A:10-B:C

SMOKE ALARM REQUIREMENTS:

REQUIRED, PROVIDED AS SPECIFIED BELOW ACCORDING TO SECT. 907.2.11.2

— ON THE CEILING OR WALL OUTSIDE EACH SEPARATE SLEEPING AREA

— IN EACH ROOM USED FOR SLEEPING

SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT AS REQUIRED ABOVE.

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED, SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS.

WIRING AND ALARM SHALL BE EQUIPPED WITH A BATTERY BACKUP.

FIRE ALARM REQUIREMENTS:

REQUIRED, PROVIDED — MANUAL & AUTOMATIC FIRE ALARM SYSTEM PER NFPA 72

SIGNALING SYSTEM IS AUDIBLE/VISUAL PER NFPA 72 & ADA INSTALLED THROUGHOUT

INITIATING DEVICES: PULL STATIONS; SMOKE DETECTION @ SLEEPING & COMMON AREAS, SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES MONITORED.

SMOKE ALARM REQUIREMENTS:

REQUIRED, PROVIDED — SLEEPING ROOMS, OUTSIDE SLEEPING ROOMS & AT EACH FLOOR

EMERGENCY POWER SOURCE:

EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP

HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1))

NO HAZARDOUS MATERIALS ARE TO BE STORED

SMOKE CONTROL:

SMOKE PARTITIONS:

STANDPIPES:

NOT REQUIRED

NOT REQUIRED

NOT REQUIRED (TOP FLR <30')

TOTAL OCCUPANT LOAD: 24

EXITING: REFERENCE PLAN

OCCUPANT LOAD FACTORS: (TABLES 1004.1.2, 1015.1):

OCCUPANCY

USE

LOAD FACTOR

MAX.OCC/STRY 1 EXIT

R-2

APARTMENT

200 sf/OCCUPANT

10

B

OFFICE

100 sf/OCCUPANT

49

JonesGillamRenz

1881 Main Street, Suite 301

730 N. Ninth

Salina, KS 67401

785.827.0386

lg@jgarchitects.com

THE IRVING LOFTS

HISTORIC RESTORATION & REHAB APARTMENTS

CLEBURNE, TEXAS

REGISTERED ARCHITECT

STATE OF TEXAS

11-29-2025

92854

REVISION:

12-16-2025

DATE:

11-20-2025

JOB:

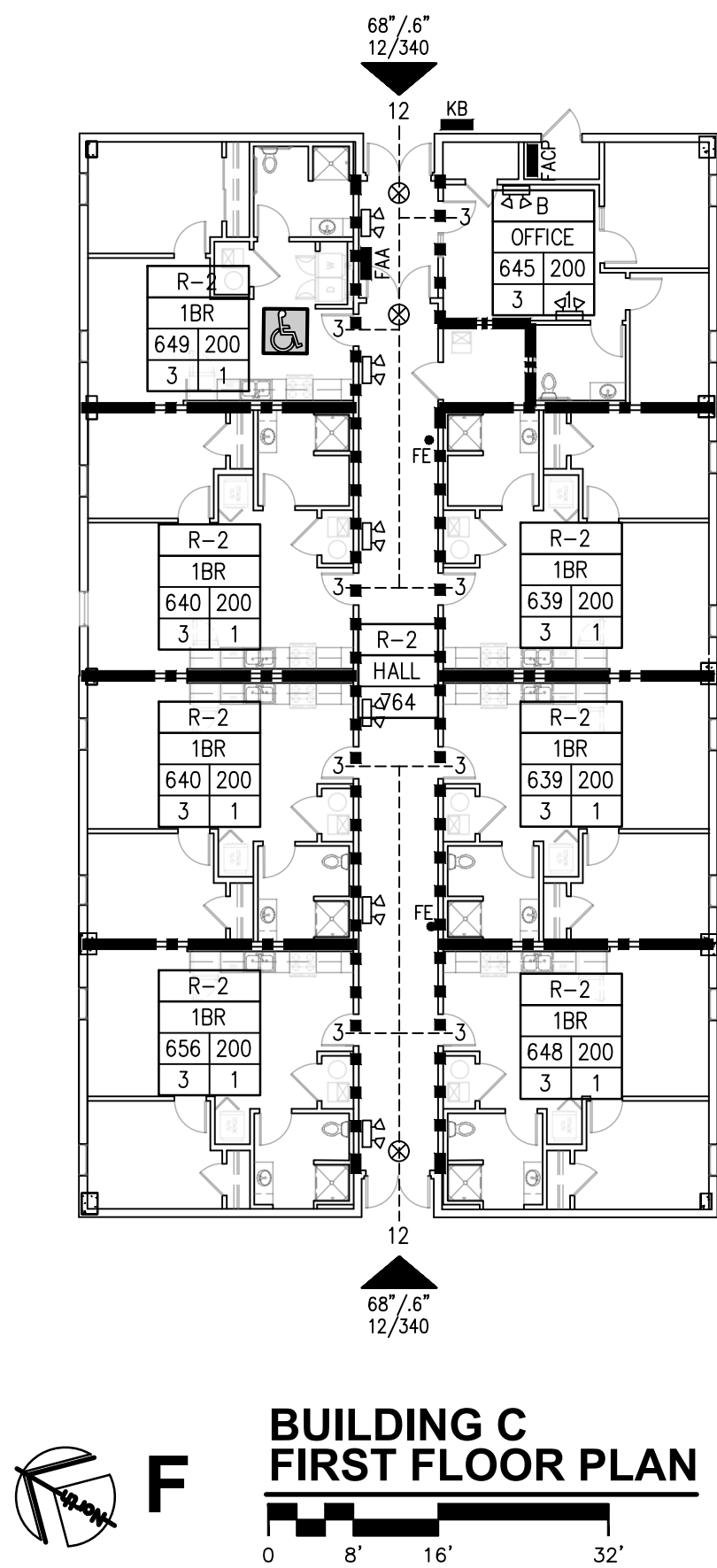
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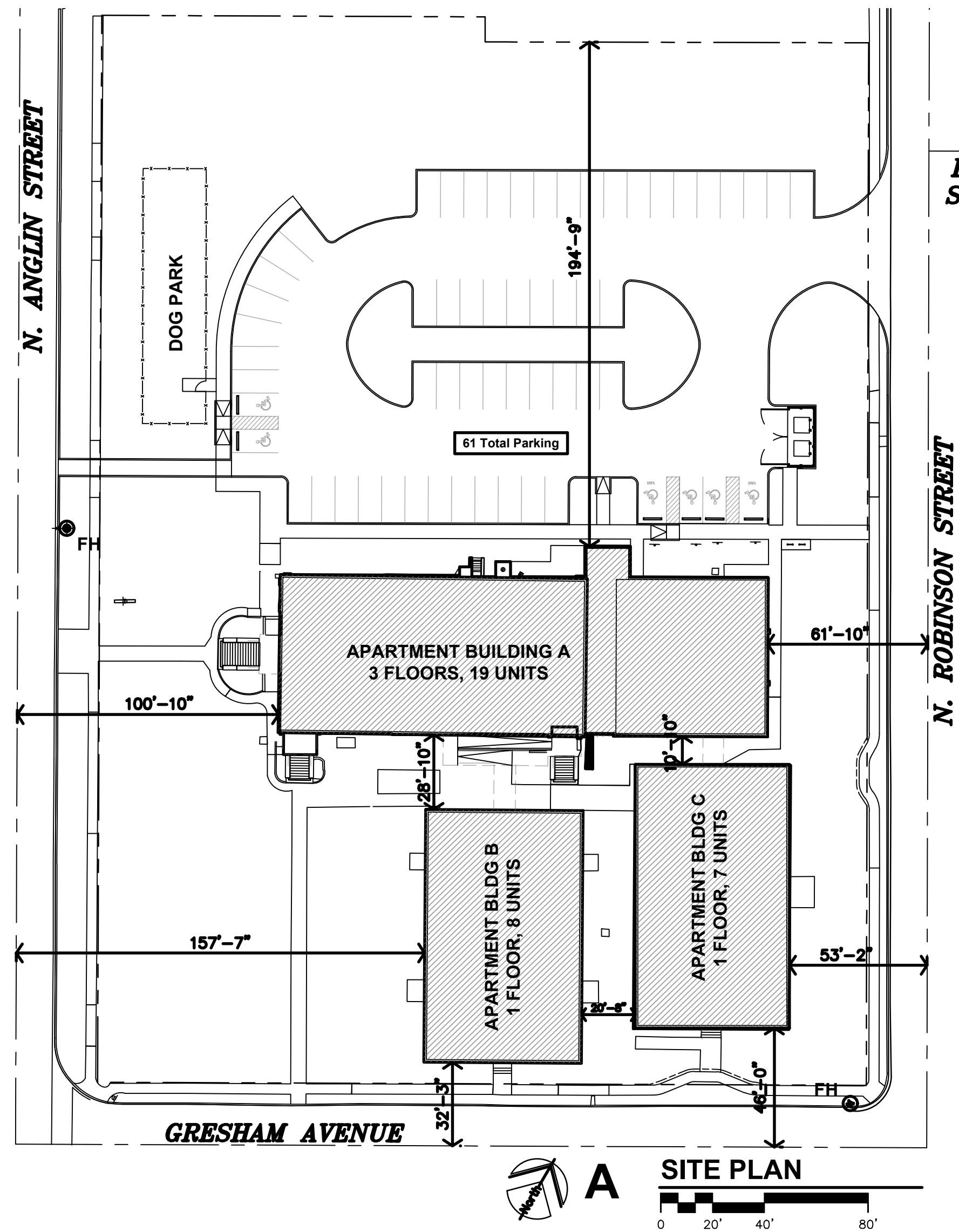
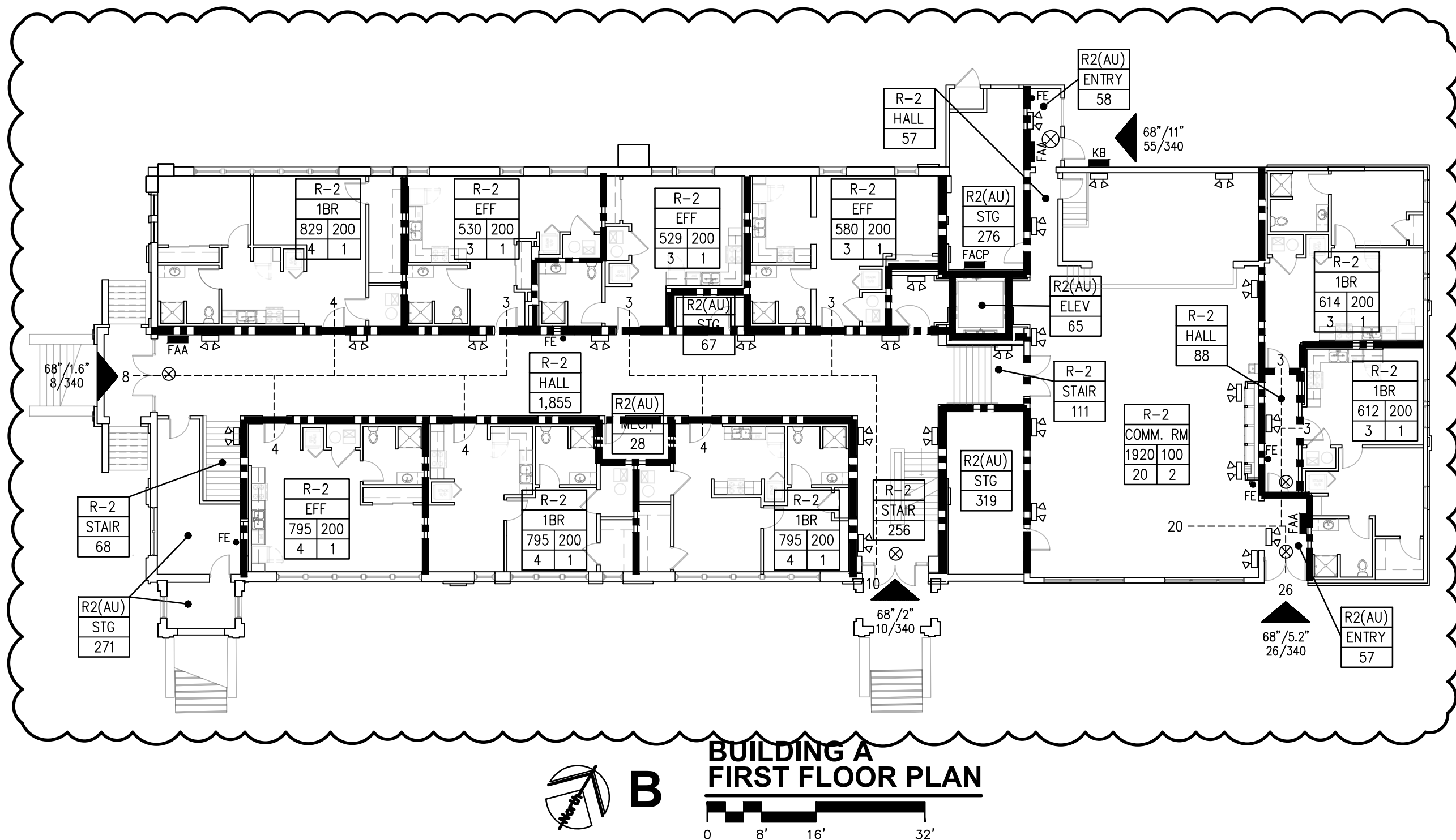
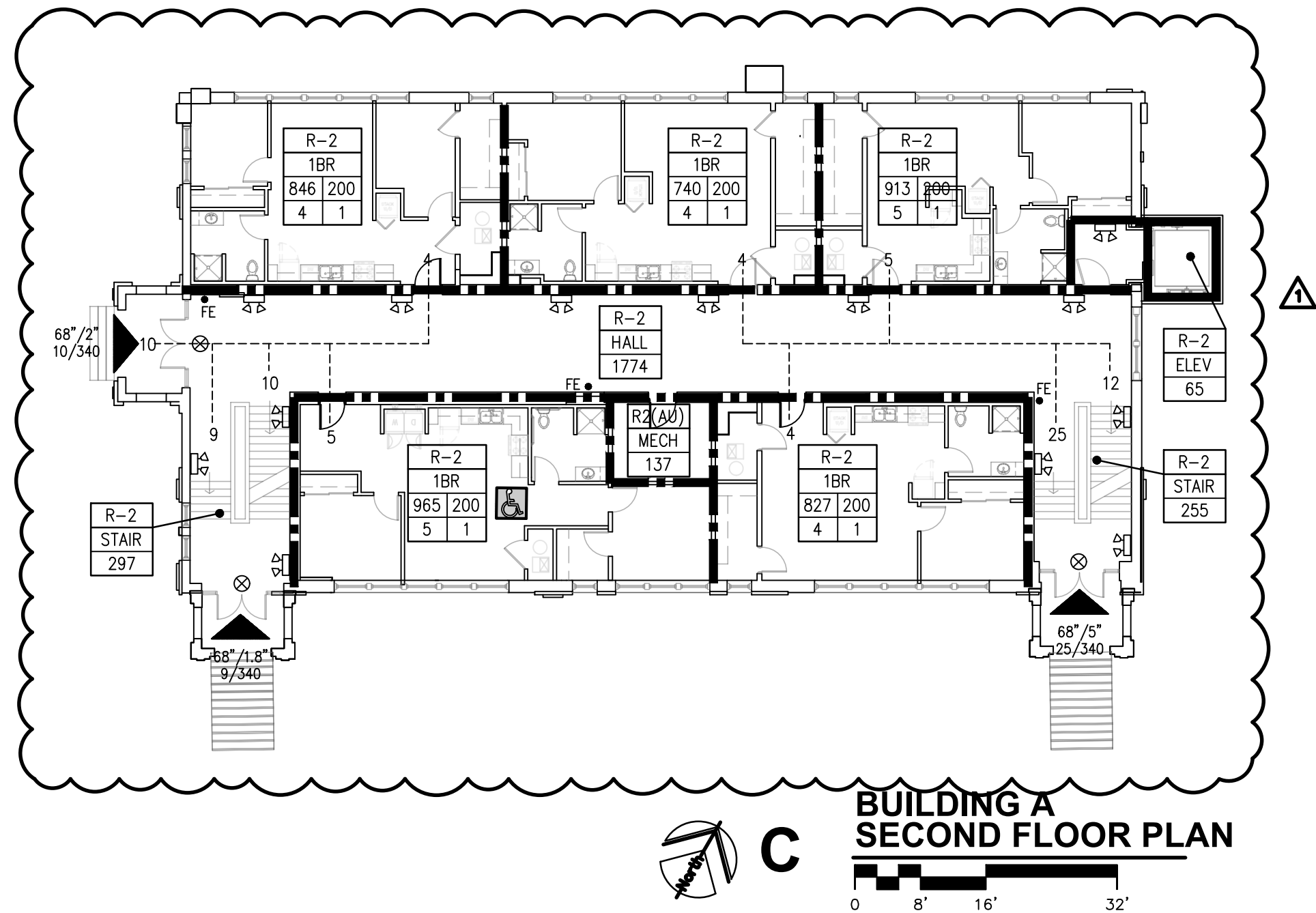
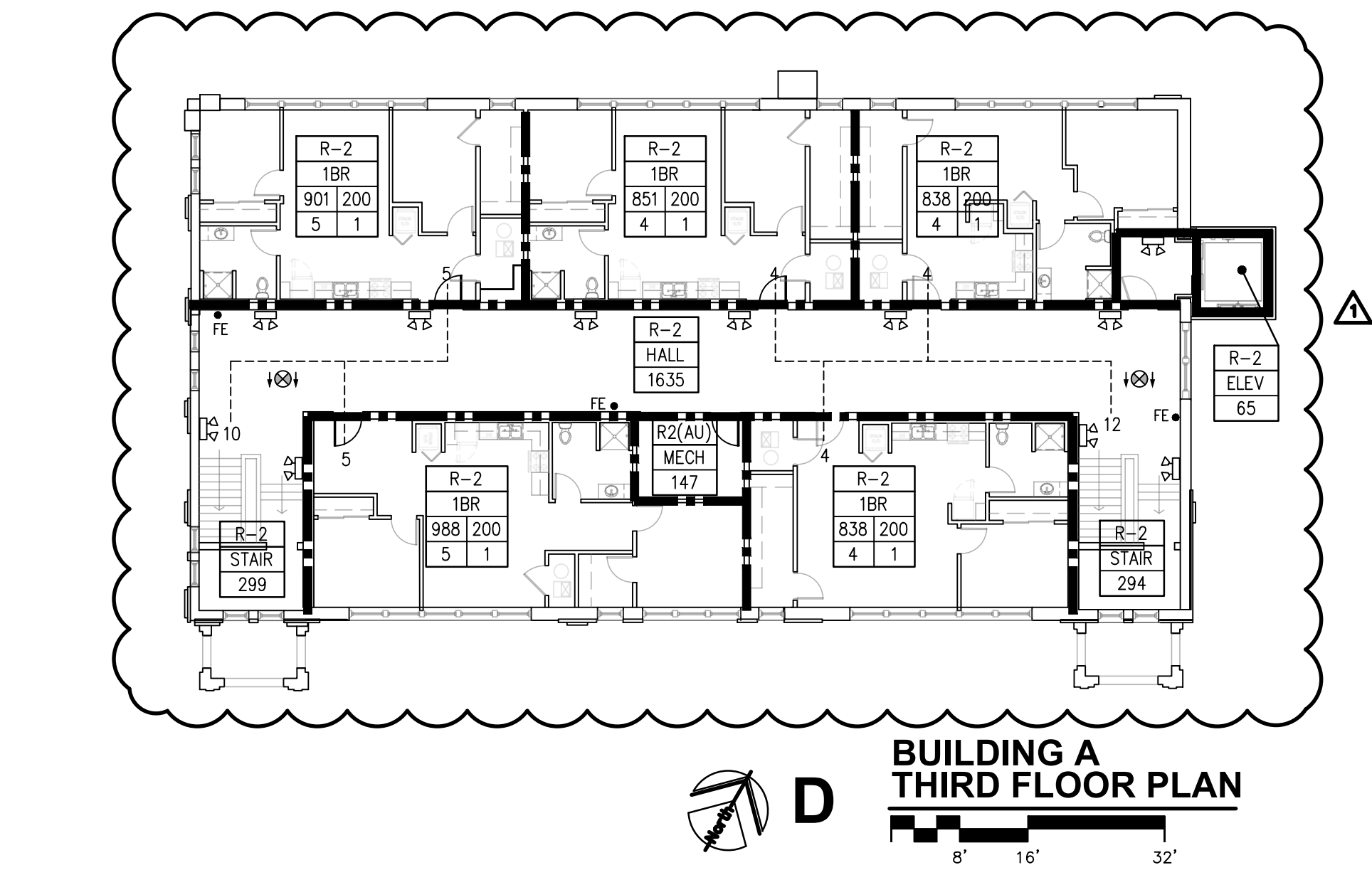
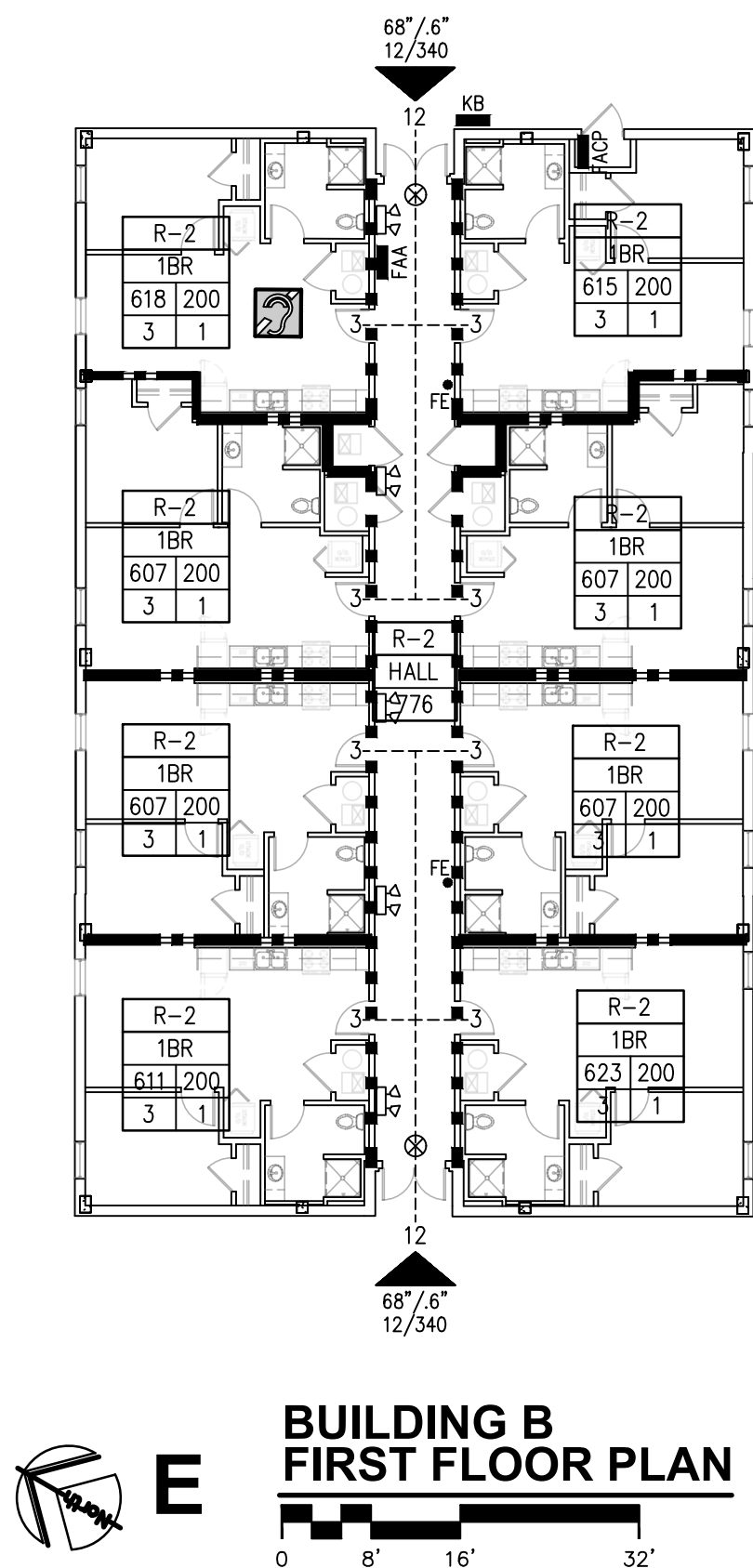
CFP1

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BUILDING C:
TOTAL OCCUPANT LOAD: 24



BUILDING B:
TOTAL OCCUPANT LOAD: 24



PROJECT INFORMATION

TYPES OF CONSTRUCTION	EXTERIOR RENOVATION, INTERIOR RENOVATION & REMODEL
FACILITY NAME	THE IRVING LOFTS
FACILITY ADDRESS	1108 N ANGLIN ST CLEBURNE, TEXAS 76031
OWNER NAME	OPG - IRVING LOFTS PARTNERS, LLC
OWNER ADDRESS	254 N SANTA FE AVE, STE A SALINA, KS 67401 ph: 913-396-6310
REASON FOR SUBMITTAL	CHANGE IN USE, PRIOR SCHOOL TO MULTI-FAMILY HOUSING
COUNTY	JOHNSON
LOCAL FIRE DEPARTMENT	CITY OF CLEBURNE
WATER SUPPLY	CITY OF CLEBURNE
LOCAL BUILDING INSPECTION DEPARTMENT	CITY OF CLEBURNE
ARCHITECT	JONES GILLAM RENZ ARCHITECTS, INC. 730 N. NINTH ST. SALINA, KS 67401 ph: 785-827-0386
CODES/REGULATIONS	2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2023 NATIONAL ELECTRICAL CODE 2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE FAIR HOUSING ACT DESIGN MANUAL 2010 ADA STANDARDS for ACCESSIBLE DESIGN 2017 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS

LEGEND

DESIGNATED EMERGENCY EXIT	68"/24.4" ← EXIT WIDTH (ACTUAL/REQUIRED) 122/340 ← OCCUPANT LOAD (ACTUAL/ALLOWED)
0 HOUR CONSTRUCTION	---
1/2 HOUR FIRE PARTITION W/ 20 MIN. OPENINGS (PER IBC TABLE 716.5)	----
1 HOUR FIRE PARTITION W/ 45 MIN. OPENINGS (PER IBC 708.3 & 716.1(2))	-----
1 HOUR CONSTRUCTION, SHAFT WALLS W/ 60 MIN. OPENINGS (PER IBC TABLE 716.1(2))	=====
EXIT LIGHT	⊗
EXIT/EMERGENCY LIGHT	⊗
EMERGENCY LIGHT	⊗
FIRE EXTINGUISHER	•FE
FIRE HYDRANT	⊗
FIRE ALARM CONTROL PANEL	⊗
FIRE ALARM REMOTE ANNUNCIATOR PANEL	⊗
KNOX BOX	•K
FH	⊗
FAP	⊗
KB	⊗
OCCUPANCY GROUP (AU - ACCESSORY USE)	A-1
OCCUPANCY USE	ASSEMBLY HALL
ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR	5,550 15
OCCUPANT LOAD/REQUIRED NUMBER OF EXITS	370 2

THE IRVING LOFTS
HISTORIC RESTORATION & REHAB APARTMENTS
CLEBURNE, TEXAS



REVISION:
12-16-2025

DATE: 11-20-2025
JOB: 25-3479
SHEET NO.:

CFP2

GENERAL REPAIR REPLACEMENT NOTES

GENERAL NOTES, REPAIRING HISTORIC PLASTER

If major structural problems are found to be the source of the plaster problem, the structural problem should be corrected. Minor structural problems that will not endanger the building can generally be ignored. Cosmetic damages from minor building movement, holes, or bowed areas can be repaired without the need for wholesale demolition. However, it may be necessary to remove deteriorated plaster for masonry walls to dry out. Repairs made to a wet base will fail again.

Filling Cracks

Hairline cracks in wall and ceiling plaster do not a serious cause for concern as long as the underlying plaster is in good condition. Fill with a patching material. For cracks that reopen bridge the crack with fiberglass mesh tape pressed into the patching material. After the first application of a quick setting joint compound dries, apply a second coat to cover the tape, feathering it at the edges. Apply third coat to even out the surface, followed by light sanding. The area is cleaned off with a damp sponge, then dried to remove any leftover plaster residue or dust. When cracks are larger, the plaster on each side of the crack should be removed to a width of about 6 inches down to the lath. The debris is cleaned out, and metal lath applied to the cleared area, leaving the EXISTING wood lath in place. The metal lath usually prevents further cracking. The crack is patched with an appropriate plaster in three layers (i.e., base coats and finish coat).

Replacing Delaminated Areas of the Finish Coat

When the finish coat of plaster comes loose from the base coat. Paint a liquid plaster-bonding agent onto the areas of base-coat plaster that will be replastered with a new lime finish coat. To repair small areas of delaminated finish coat can use the methods described in "Patching Materials."

Patching Holes in Walls

For small holes (less than 4 inches in diameter) that involve loss of the brown and finish coats, the repair is made in two applications. First, a layer of base coat plaster is troweled in place and scraped back below the level of the EXISTING plaster. When the base coat has set but not dried, more plaster is applied to create a smooth, level surface. For larger holes where all three coats of plaster are damaged or missing down to the wood lath. Clean out and any loose lath is re-nailed. Next, a water mist is sprayed on the old lath to keep it from twisting when the new, wet plaster is applied or a bonding agent is used. To strengthen the patch, expanded metal lath (diamond mesh) should be attached to the wood lath with tie wires or nailed over the wood lath with lath nails. The plaster is then applied in three layers over the metal lath, lapping each new layer of plaster over the old plaster so that old and new are evenly joined. This stepping is recommended to produce a strong, invisible patch. If patch is made in a plaster wall that is slightly wavy, the contour of the patch should be made to conform to the irregularities of the EXISTING work.

Patching Holes in Ceilings

First, the plaster around the loose plaster should be examined. To patch a hole in the ceiling plaster, metal lath is fastened over the wood lath; then the hole is filled with successive layers of plaster, as described above. When Damaged Plaster Cannot be Repaired-Replacement Options Partial or complete removal may be necessary if plaster is badly damaged, particularly by long-term moisture problems. Workers undertaking demolition should wear OSHA-approved masks. If plaster in adjacent rooms is still in good condition, walls should not be pounded-a small trowel or pry bar is worked behind the plaster carefully in order to pry loose pieces off. When the damaged plaster has been removed, decide whether to replaster over the EXISTING lath or use a different system. This decision should be based in part on the thickness of the original plaster and the condition of the original lath. It is important to ensure that the wood trim around the walls, windows, and doors will have the same "revel" as before. A lath and plaster system that will give this required depth should be selected.

Replaster Old Wood Lath

When plasterers work with old lath, each lath strip is re-nailed and the chunks of old plaster are cleaned out. Because the old lath is dry, it must be thoroughly soaked before applying the base coats of plaster, or it will warp and buckle; furthermore, because the water is drawn out, the plaster will fail to set properly. As noted earlier, if new metal lath is installed over old wood lath as the base for new plaster, many of these problems can be avoided and the historic lath can be retained. The ceiling should still be sprayed unless a vapor barrier is placed behind the metal lath.

Replaster Over New Metal Lath

Galvanized metal lath. When lathing over open joists, cover the joists with kraft paper or a polyethylene vapor barrier. Three coats of wet plaster are applied consecutively to form a solid, monolithic unit with the lath. The scratch coat keys into the metal lath; the second, or brown, coat bonds to the scratch coat and builds the thickness; the third, or finish coat, consists of lime putty and gauging plaster.

Painting New Plaster

It is best to allow new plaster to cure two to three weeks. A good alkaline-resistant primer, specifically formulated for new plaster, should then be used. A compatible latex or oil-based paint can be used for the final coat.

GENERAL NOTES, REPAIR & REPLACEMENT HISTORIC CERAMIC TILE

The Secretary of the Interior's Standards for the Treatment of Historic Properties emphasize the retention and preservation of historic building material. Preservation and repair treatments are always preferable to replacement.

Mortar Joint Repair

Deteriorated mortar joints and loose mortar or grout can generally be repaired. First, the entire floor should be checked for loose tiles that need to be regrouted. Damaged mortar should be carefully removed by hand and the joints wetted or a bonding agent applied in preparation for regrouting. When doing mortar repairs, it is important to use grout that matches the old in color and consistency as closely as possible.

Tile Repair

Trying to remove one tile can endanger surrounding tiles. Thus, it may be better to preserve and retain an original historic tile that is only slightly damaged, rather than replace it. If a tile is chipped or a small corner or edge is missing, a carefully executed patch of epoxy-mixed with colored enamel, or mortar tinted to blend with the tile, may be less conspicuous than trying to replace every tile that has even the slightest damage. And, it is a better preservation treatment.

Tile Replacement

When an individual tile or a larger portion of an historic ceramic tile floor is missing or so severely damaged that it cannot be repaired, or if it has become a safety hazard, then it should be replaced.

Selective Replacement of Individual Tiles

This cautious approach, typically an attempt to replace only the most seriously damaged tiles, is often taken or considered when only a small number of tiles are involved. Unless old or matching tiles can be found and reused, replacement often requires specially fabricated reproduction tiles. In some instances, individual historic tiles that are damaged may be replaced with matching tiles salvaged from other, less prominent areas of the floor or from other buildings. This is most feasible if the tiles to be replaced are either plain, and easy to match, or decorated with a common historic floor tile pattern.

Replacing a single damaged tile is based on the ability to remove only the deteriorated tile without harming surrounding tiles. To avoid damaging good tiles, all the grout around the tile must be removed. This is best accomplished by an experienced tile installer using a hand tool called a grout saw or, for grout joints wider than 3/8", a dry-cutting diamond blade, mounted in an angle grinder or circular saw. Other difficulties may be encountered when selectively replacing damaged tiles with reproduction tiles. New tiles, especially encaustic tiles, may be different in thickness and, sometimes, despite the attention to detail of the reproduction process, slightly different in color and design from historic tiles.

Sectional Replacement of Tiles

In some instances, the best approach may be to remove a complete section of damaged original tiles and replace that section of floor in its entirety with new reproduction tiles. Advantage of this method includes the ability to lay a level setting bed, as well as achieving a finished product that is uniform in color and pattern match. Although this approach may involve replacing more original tiles with reproduction tiles than may be absolutely necessary, original tiles that remain in good condition can be saved to be reused in other sections where only a few tiles are damaged. This technique is generally most appropriate either when the section being replaced is the most damaged portion of the floor, or is in a relatively inconspicuous location and the tiles that are removed will supply enough salvaged pieces to permit in-kind repair of a more visually prominent area.

When laying a section of reproduction tiles, it may be a good idea to use contemporary materials and installation methods such as expansion joints or flexible expansion material.

HISTORIC PRESERVATION NOTES

STRUCTURE, MASONRY AND EXTERIOR WALLS

- STRUCTURAL REPAIRS SHALL BE MINIMALLY VISIBLE FROM THE EXTERIOR.
- ALL DECORATIVE MASONRY MUST REMAIN.
- MASONRY/BRICK CLEANING MUST BE OF THE GENTLEST MEANS POSSIBLE. CLEANING SHALL BE IN ORDINANCE WITH NPS BRIEF 1, AND THE GSA GUIDELINES FOR CLEANING EXTERIOR BRICK. CONTACT AND REFER TO HISTORIC CONSULTANTS/SPECIALISTS FOR TREATMENT OPTIONS.
- MASONRY REHABILITATION SHALL CONSIST OF SPOT REPOINTING AND REPAIR/REPLACEMENT OF ISOLATED DETERIORATION. ALL WORK SHALL CONFORM TO PRESERVATION STANDARDS OUTLINED IN THE NATIONAL PARK SERVICE PRESERVATION BRIEFS 1.2 & 6. DETERIORATED MORTAR SHOULD BE REMOVED TO SOUND MORTAR. NEW MORTAR SHOULD MATCH EXISTING IN COLOR, TEXTURE, COMPOSITION, AND JOINT PROFILE.
- NATIONAL PARK SERVICE BRIEF 2 SPECIFIES THE RECOMMENDED COMPOSITION OF MORTARS USED IN HISTORIC BUILDINGS..

WINDOWS

- EXISTING WINDOWS IN THE 1915 ARE NOT HISTORICAL, AND WILL BE REPLACED. WINDOWS IN THE 1952 CAFETERIUM ARE TO BE CLEANED, REPAIRED AND PROTECTED. NEW WINDOWS ARE PROPOSED, MATCH WINDOWS VISIBLE IN HISTORIC IMAGES. NEW WINDOWS WILL BE CLAD-WOOD, OR ALUMINUM. ALUMINUM WILL HAVE A PAINT-LIKE, OR BAKED ON FINISH. NEW WINDOWS SHALL BE TRUE DIVIDED OR SIMULATED. SIMULATED WILL HAVE BOTH EXTERIOR AND INTERIOR MUNTIN GRIDS. INSULATED, SHALL HAVE GRID BETWEEN PANES OF GLASS S WELL. WINDOWS WILL BE OPERABLE AND/OR FIXED TO HAVE AN OFFER UPPER SASH SO THAT THEY MIMIC THE HUNG WINDOW CONFIGURATION. HISTORIC GLASS IN NEW WINDOWS MUST BE CLEAR, COLORLESS, AND NON-REFLECTIVE WITH NO LESS THAN 69% VLT AND NO GREATER THAN 11% VLR.
- ANY EXISTING WINDOWS BEING RETAINED ARE TO BE REPAIRED TO THE GREATEST MEANS POSSIBLE WITH ANY MISSING OR DETERIORATED PARTS REPLACED IN KIND.

ROOFS

- EXISTING COPING MUST REMAIN, ANY NEW FLASHING OR COPING SHALL NOT BE VISIBLE FROM THE GROUND.
- SCUPPERS AND DOWNSPOUTS SHOULD BE REPAIRED WHERE EVER POSSIBLE, ANY NEW DOWNSPOUTS SHOULD MATCH EXISTING.

VERTICAL CIRCULATION

- STAIRS TO REMAIN, AND BE REPAIRED & RE-FINISHED AS NEEDED.
- IF ADDITIONAL RAILINGS ARE REQUIRED TO MEET CODE, THEY SHOULD BE SIMPLE AND COMPATIBLE WITH THE BUILDING.
- THE NEW ELEVATOR TOWER SHALL BE COMPATIBLE WITH THE MATERIALS AND MASSING OF THE 1915 BUILDING.

INTERIOR

- THE WOOD STAGE SHALL REMAIN AND BE REPAIRED AS NEEDED. REPAIRS ARE TO BE KNITTED INTO THE EXISTING PATTERN.
- CMU IN THE CAFETERIUM WILL BE PAINTED.
- THE CORRIDOR CONFIGURATION SHALL REMAIN INTACT.
- EXISTING OFFICE AND CLASSROOM OPENINGS SHALL BE RETAINED AND REUSED WHERE POSSIBLE.
- WHERE DOORS ARE NOT USED, THEY SHALL BE FIXED IN PLACE. PLASTER WALLS AND CEILINGS THROUGHOUT ARE TO BE RETAINED AND REPAIRED IN ACCORDANCE WITH PRESERVATION BRIEF 21.
- HEX TILE FLOORS MUST REMAIN AND BE REPAIRED. ANY MISSING TILES ARE TO BE REPLACED TO MATCH.
- CONCRETE FLOORS IN THE BASEMENT SHALL REMAIN AND TO BE REPAIRED.
- LAY-IN GRID CEILINGS ARE TO BE REMOVED THROUGHOUT. PROTECT HISTORIC PLASTER CEILINGS DURING LAY-IN DEMO.
- SOFFITS & EXPOSED MEP WILL BE AVOIDED IN ALL CORRIDORS.
- WHERE PARTITIONS INTERSECT WITH MULLIONS, PARTITION WILL BE NO WIDER THAN THE MULLION FOR 18" BACK FROM WINDOW.
- AREAS OF DROPPED CEILINGS/SOFFITS WILL BE HELD BACK FROM WINDOWS A MINIMUM OF 4 FEET.
- CARPETS ARE TO BE REMOVED TO REVEAL HISTORIC FLOORING. HISTORIC FLOOR IS TO BE RETAINED AND REPAIRED.
- CHALKBOARDS/MILLWORK SHOULD BE RETAINED AND RE-USED WHERE POSSIBLE.
- ANY HISTORIC FINISHES, OR FEATURES NOT PREVIOUSLY NOTED OR UNCOVERED, WILL BE SALVAGED AND RE-USED WHERE POSSIBLE.

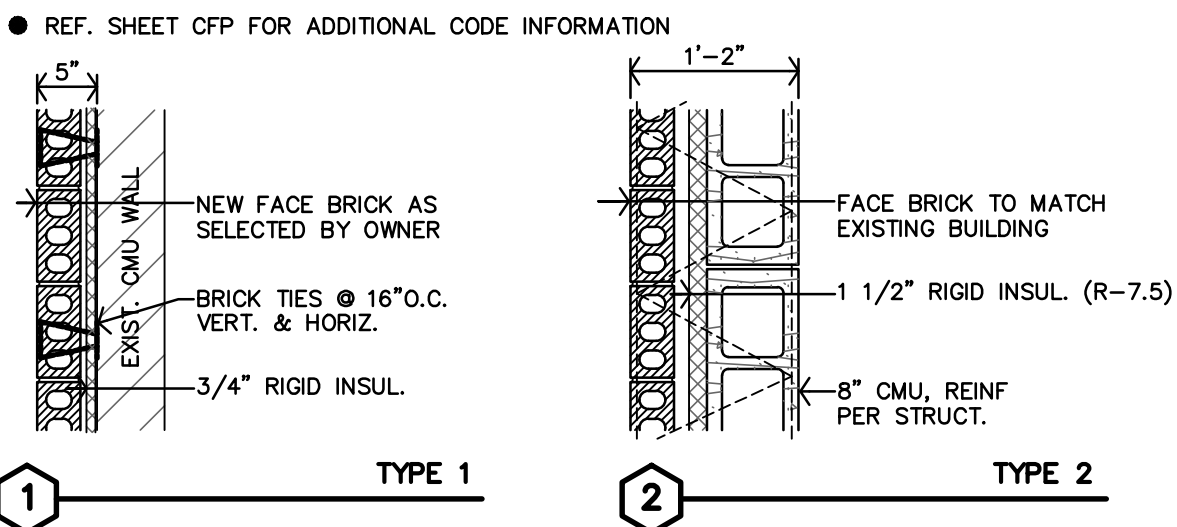
MECHANICAL, ELECTRICAL, PLUMBING, & SIGNAGE

- NEW HVAC SHALL RUN ABOVE CEILINGS AND DUCTS ARE NOT TO BE EXPOSED.
- ROOFTOP EQUIPMENT SHALL NOT BE VISIBLE FROM GROUND.
- NEW PLUMBING SHALL NOT BE EXPOSED.
- ORIGINAL CAFETERIUM SPOTLIGHTS ARE TO REMAIN.
- THE ORIGINAL IRVING SIGN IS TO BE REPAIRED AS NEEDED.
- NEW SIGNAGE IS TO BE COMPATIBLE WITH BUILDING CHARACTER.

LIGHTING & SIGNAGE

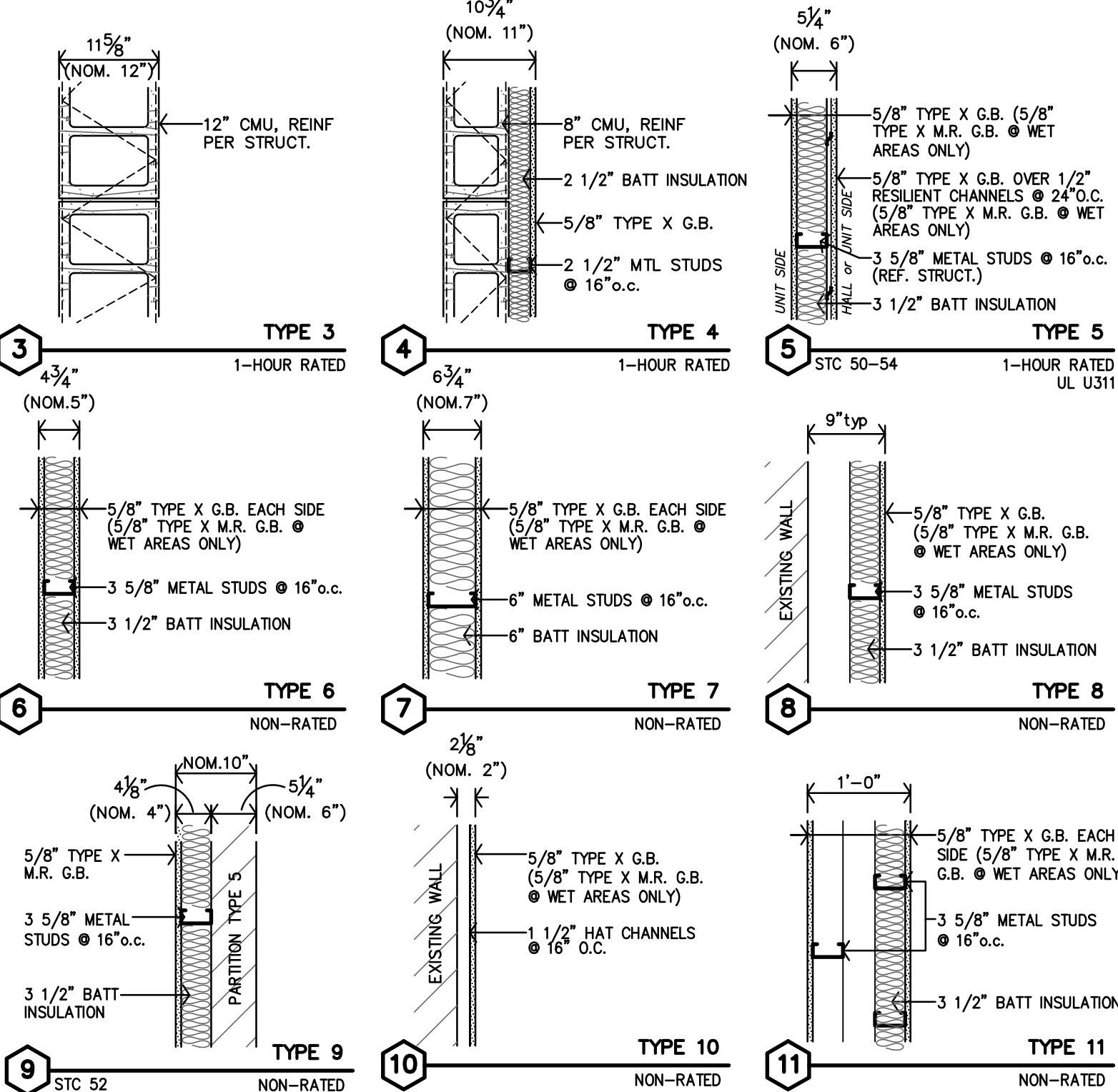
- NEW EXTERIOR LIGHTING FIXTURES SHOULD BE COMPATIBLE WITH THE CHARACTER OF THE BUILDING. ACCENT LIGHTING SHOULD BE VISIBLY UNOBTUSIVE.
- NEW INTERIOR LIGHTING SHOULD BE COMPATIBLE WITH THE CHARACTER OF THE BUILDING.
- THE BLADE SIGN COULD BE REFERENCED IN SHAPE, SCALE, AND STYLE IN A NEW BLADE SIGN WITH THE BUILDING'S NEW NAME.
- SMALLER SIGNS AT THE STOREFRONT LEVEL SHOULD BE INSTALLED ABOVE WINDOWS OR, IF NECESSARY, ANCHORED INTO MASONRY.

EXTERIOR PARTITION SCHEDULE - BLDG A



INTERIOR PARTITION SCHEDULE - BLDG A

- ALL WALLS TO BE EXTEND TO STRUCTURE, UNLESS NOTED OR DETAILED OTHERWISE
 - LOAD BEARING WALLS & FIRE PARTITIONS SHALL EXTEND TO DECK, SEALED SMOKE TIGHT.
 - REF. SHEETS CFP, AA7.1, AB7.2 & AC7.3 FOR RATED WALLS, LOCATIONS & CODE INFORMATION
- HATCH ON PLAN INDICATES RATED, FULL HEIGHT WALL. HATCH ON PLAN INDICATES NON-RATED WALL, 1'-0" ABOVE FINISHED CEILING.



ARCHITECTURAL FLOOR PLAN NOTES

- CONTRACTOR TO ENSURE THAT ALL PLUMBING WALLS AT EACH UNIT STACK FROM FLOOR TO FLOOR.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & EXISTING CONDITIONS.
- INSTALL MATERIALS AND/OR FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR COMPLETE & FINISHED INSTALLATION.
- ALL WORK SHALL BE IN CONFORMANCE W/ APPLICABLE BUILDING CODES & ORDINANCES.
- ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE TO ADA REQUIREMENTS. REFERENCE ADA FOR TYPICAL MIN. CLEARANCE REQUIRED.
- IF THERE IS A DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK SO THAT ANY ISSUES MAY BE CLARIFIED.
- NEW DOORS ARE TYPICALLY LOCATED WITH HINGE-SIDE JAMB 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE OR REQUIRED TO MEET LATCH-SIDE CLEARANCE PER ADA.
- MISQ = INDICATES DOOR WITH MAGNETIC HOLD OPEN.
- EEC = FIRE EXTINGUISHER CABINET & EE = FIRE EXTINGUISHER REF SPEC.
- FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2021 IBC, SECTION 906.1. REF. SHEET A201. CONTRACTOR TO VERIFY EXISTING FIRE EXTINGUISHER CABINET LOCATIONS AND SIZE WILL MEET FOR NEW EXTINGUISHER.
- CONTRACTOR TO VERIFY EXISTING FIRE EXTINGUISHER CABINET LOCATIONS AND SIZE WILL MEET FOR NEW EXTINGUISHER.
- FURNITURE SHOWN IS BY OWNER OR TENANT.
- SUBMIT VERIFICATION THAT ALL CONSTRUCTION MATERIAL WILL MEET US EPA CRITERIA PARTICULARLY MATERIALS THAT WILL BE OBTAINED FROM INTERNATIONAL SOURCES. ALSO PROVIDE VERIFICATION THAT THE CONSTRUCTION WILL NOT RESULT IN OR CONTAIN HAZARDOUS MATERIALS.
- ALL BLOCKING TO BE 2x8 FIRE TREATED
- REF. PLUMBING DRAWINGS FOR RADON PIPE LOCATIONS.

APARTMENT GENERAL NOTES

- ALL WALL DIMENSIONS ARE TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT NEW PARTY WALL AT 10'-0" O.C. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT PARTY WALL AT ALL BACK TO BACK ELECTRICAL OUTLETS. PROVIDED AND INSTALL ALL FIRE BLOCKING AND DRAFTSTOPS PER 2021 IBC, SECTION 718.2.
- ALL PENETRATIONS THRU RATED WALLS AND/OR FLOOR ASSEMBLIES SHALL BE FIRESTOPPED PER APPROVED ULL DESIGNS.
- FE = FIRE EXTINGUISHER, WALL MOUNTED. LOCATION TO BE APPROVED BY LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS SHALL BE INSTALLED & PROVIDED IN ACCORDANCE W/ NFPA 10 & 2021 IBC, SECTION 906.1. KITCHEN & BATH RECEPTACLES ABOVE COUNTERTOP TO BE @ 44" MAX ABOVE FIN FLR.
- TYPE B UNITS: (ALL UNITS EXCEPT FOR ACCESSIBLE UNIT)
 - KITCHEN & BATH - REMOVABLE CABINET FRONTS @ SINKS WHERE INDICATED ON ELEVATIONS. WALLS SHALL BE FINISHED & FLOORING CONTINUOUS UNDERNEATH. NO PLUMBING MODIFICATIONS ALLOWED AFTER CABINET FRONT IS REMOVED.
 - WHERE REMOVABLE CABINETS ARE INDICATED, CONTRACTOR SHALL PROVIDE HOT WATER & DRAIN PIPES & DISPOSAL COVERS. OWNER TO INSTALL COVERS AFTER CABINET FRONT IS REMOVED AT LATER DATE.
 - CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL COUNTERTOPS/SUPPORT BRACES, SHOWER SURROUND & BASES, FUTURE GRAB BARS AND FUTURE SHOWER SEATS, ETC. AS REQ'D. (REF. SHEET A9.2 & A9.5)
 - ALL TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - INSTALL PLASTIC COATED WIRE CLOTHES SHELF & ROD @ 69" AFF
- ACCESSIBLE UNITS:
 - CONTRACTOR SHALL PROVIDE & INSTALL HOT WATER & DRAIN PIPES & DISPOSAL COVERS WHERE TYPING IS EXPOSED.
 - CONTRACTOR TO INSTALL 2x8 FIRE TREATED BLOCKING IN WALLS FOR ALL INSTALLED GRAB BARS, COUNTERTOPS/SUPPORT BRACES, SHOWER SURROUND & BASES, SHOWER SEATS, ETC. AS REQ'D. (REF. SHEET A9.2 & A9.5)
 - ALL TOILETS SHALL BE ADA COMPLIANT (17"-19" HIGH).
 - INSTALL PLASTIC COATED WIRE CLOTHES SHELF & ROD. HEIGHT AS NOTED.
- HEARING/VISION IMPAIRED UNIT:
 - CONTRACTOR SHALL INSTALL EQUIPMENT REQUIRED PER 2010 ADA SEC. 809.5. & ICC A117.1-2021 SEC. 1106.
- PER CODE, A TOTAL OF 2 ACCESSIBLE UNITS ARE PROVIDED. THESE ARE LOCATED ON FLOORS 1 AND 2 OF THE BUILDING.
- ALL UNITS WILL COMPLY WITH THE VISITABILITY REQUIREMENTS AS OUTLINED IN THE TEXAS ACCESSIBILITY STANDARDS.
- THE FOLLOWING AMENITIES SHALL BE PROVIDED AT ALL UNITS:
 - a. ALL BEDROOMS, DINING ROOMS AND LIVING ROOMS TO BE WIRED WITH CURRENT CABLING TECHNOLOGY FOR DATA & PHONE.
 - b. LAUNDRY CONNECTIONS.
 - c. EXHAUST/VENT FANS (VENTED TO OUTSIDE) IN ALL BATHROOMS
 - d. SCREENS ON ALL OPERABLE WINDOWS
 - e. DISPOSAL
 - f. ENERGY-STAR OR EQUIVALENTLY RATED DISHWASHER
 - g. ENERGY-STAR OR EQUIVALENTLY RATED REFRIGERATOR WITH ICE MAKER
 - h. BLINDS OR WINDOW COVERINGS FOR ALL WINDOWS
 - m. ENERGY-STAR OR EQUIVALENTLY RATED CEILING FANS IN ALL BEDROOMS.
 - n. ENERGY-STAR OR EQUIVALENTLY RATED LIGHTING
 - o. ALL AREAS OF UNIT WILL BE HEATED AND AIR-CONDITIONED
 - p. ENERGY STAR OR EQUIVALENTLY RATED WINDOWS
 - q. COVERED ENTRIES
 - r. MICROWAVE OVENS
 - s. SELF-CLEANING OR CONTINUOUS CLEANING OVEN/RANGE
 - t. BUILT-IN (RECESSED INTO THE WALL) SHELVING UNIT
 - j. KITCHEN PANTRY WITH SHELVING
 - k. HARD FLOOR SURFACES IN OVER 50% OF UNIT NRA.
 - l. RECESSED LED LIGHTING OR LED LIGHTING FIXTURES IN KITCHEN AND LIVING AREAS
 - m. EPA WATERSENSE OR EQUIVALENTLY QUALIFIED TOILETS IN ALL BATHROOMS.
 - n. EPA WATERSENSE OR EQUIVALENTLY QUALIFIED SHOWERHEADS AND FAUCETS IN ALL BATHROOMS.

TYPE OF APARTMENT	BLDG A	BLDG B	BLDG C	TOTAL
ACCESSIBLE UNITS	A202	C101		2
HEARING/VISION IMPAIRED TYPE B UNIT		B101		1
TYPE B UNITS	ALL REMAINING UNITS			31
TOTAL	19	8	7	34

#B101 - 1BED HEARING/VISION IMPAIRED
#A202 - 2BED ACCESSIBLE
#C101 - 1BED ACCESSIBLE

NOTE: UNIT NUMBERS SHOWN ARE FOR CONSTRUCTION PURPOSES ONLY & DO NOT REFLECT FINAL UNIT NUMBERING/LETTERING.

SQUARE FOOTAGE

NO.	UNIT	TDHCA NRA	IBC 2021
A101	1-bedroom	829sf	
A102	EFFICIENCY	795sf	
A103	EFFICIENCY	530sf	
A104	1-bedroom	795sf	
A105	EFFICIENCY	529sf	
A106	1-bedroom	795sf	
A107	EFFICIENCY	580sf	
A108	1-bedroom	612sf	
A109	1-bedroom	614sf	
A201	2-bedroom	846sf	
A202	2-bedroom	965sf	
A203	1-bedroom	740sf	
A204	1-bedroom	827sf	
A205	1-bedroom	913sf	
A301	2-bedroom	901sf	
A302	2-bedroom	988sf	
A303	2-bedroom	851sf	
A304	1-bedroom	838sf	
A305	1-bedroom	838sf	
B101	1-bedroom	818sf	
B102	1-bedroom	607sf	
B103	1-bedroom	607sf	
B104	1-bedroom	611sf	
B105	1-bedroom	623sf	
B106	1-bedroom	607sf	
B107	1-bedroom	607sf	
B108	1-bedroom	615sf	
C101	1-bedroom	649sf	
C102	1-bedroom	640sf	
C103	1-bedroom	640sf	
C104	1-bedroom	656sf	
C105	1-bedroom	648sf	
C106	1-bedroom	639sf	
C107	1-bedroom	639sf	

APT. KITCHEN MATRIX

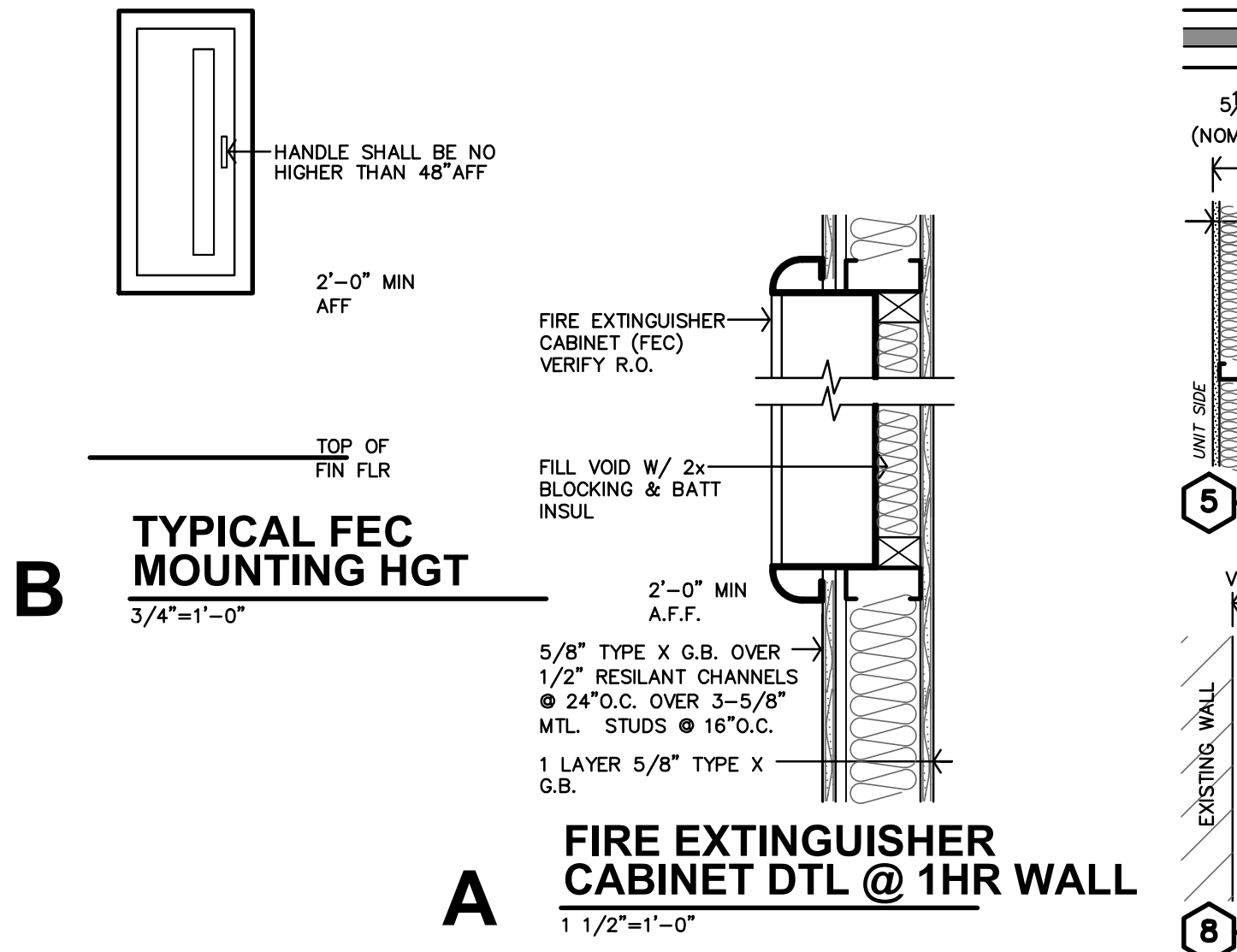
REF. SHEETS AA9.1-AA9.5

TYPE	UNIT NO.
TYPE 1	A101, A109
TYPE 2	A102, A201, A203, A301, A303
TYPE 3	A103, A108
TYPE 4	A104
TYPE 5	A105, A106
TYPE 6	A106
ACC. TYPE 7	A202, A302sim
TYPE 8	A204, A304
TYPE 9	A205, A305
TYPE 10	B101, B102, B103, B104, B105, B106, B107, B108, C102, C103, C104, C105, C106, C107
ACC. TYPE 11	C101

APT. BATH MATRIX

REF. SHEETS AA9.1-AA9.5

TYPE	UNIT NO.
TYPE A	A105, A203
TYPE B	A101, A102, A103, A107, A109, A201, A204, A205, A301, A303, A305
TYPE C	A104, A106, A108, A302, A304sim
ACC. TYPE D	A202
TYPE E	B101, B102, B103, B104, B105, B106, B107, B108, C102, C103, C104, C105, C106, C107
ACC. TYPE F	C101



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THE IRVING LOFTS

HISTORIC RESTORATION & REHAB APARTMENTS

TEXAS

CLEBURNE,



REVISION:

12-16-2025

DATE: 11-20-2025

JOB: 25-3479

SHEET NO.:

A2.0

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FLOORING LEGEND

VCT	NEW VINYL COMPOSITION TILE	LVT	NEW LUXURY VINYL TILE (NOT SIM. WOOD)
WOOD	EXISTING WOOD, REFINISHED	HIST. TILE	HISTORIC TILE TO REMAIN, CLEAN & REPAIR
E CONC.	EXISTING PAINTED CONCRETE SQUARES		

PLAN NOTES

1. REF SHEET A2.0 FOR UNIT GENERAL NOTES, PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

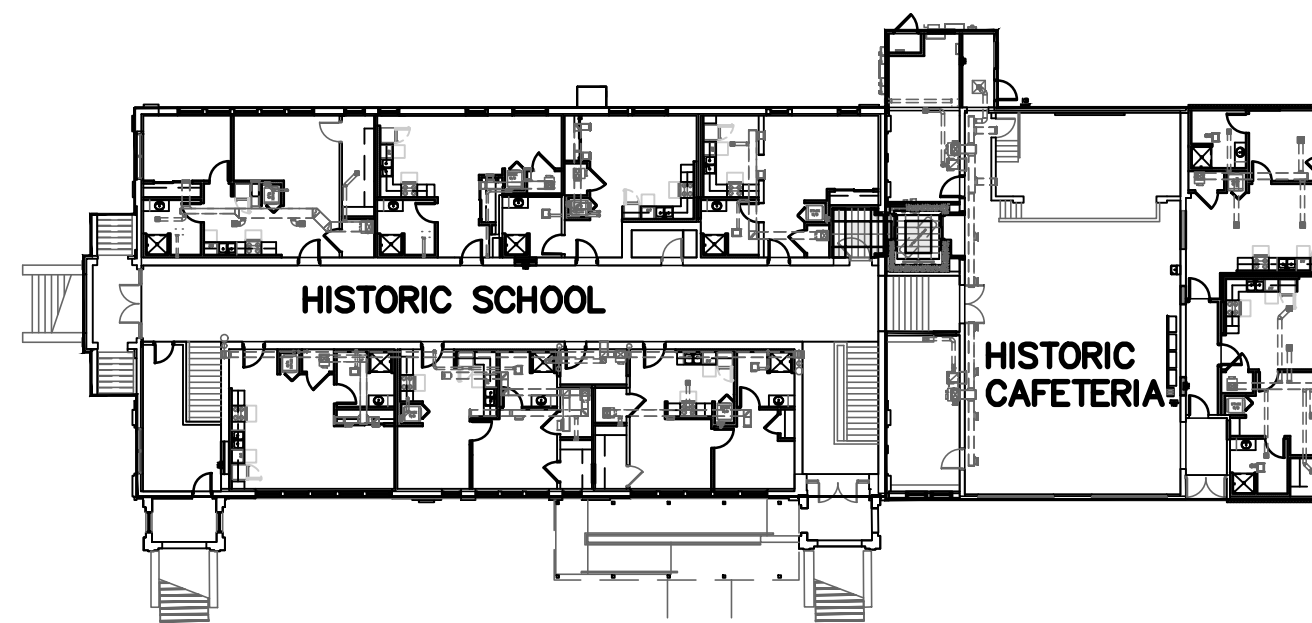
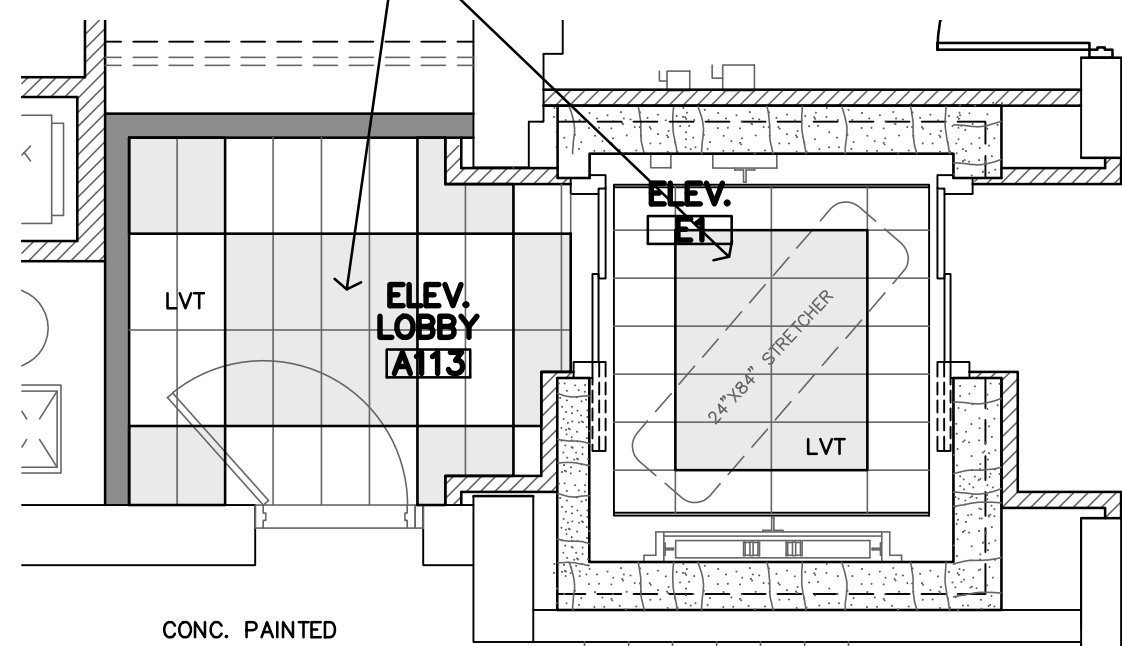
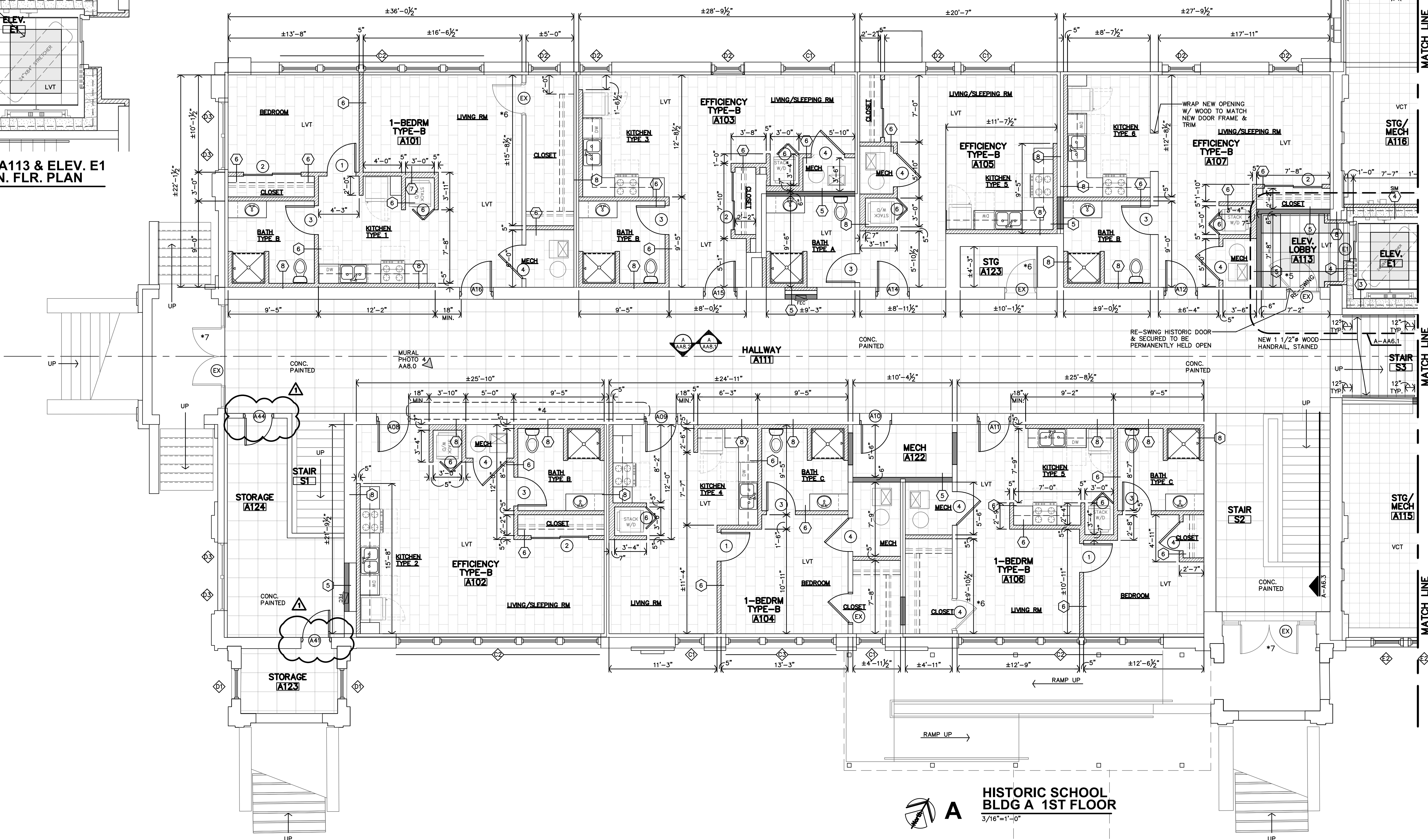
HISTORIC RESTORATION & REHAB NOTES

GENERAL NOTES

- A. TYPES OF FLOORING AND LOCATION MAY VARY. REFERENCE FLOOR PLANS FOR MATERIAL CHANGES AND PATTERNS.
- B. FINISHES PER ELEVATOR MANUFACTURER RECOMMENDATIONS AND SELECTIONS. FINAL COLORS TO BE DETERMINED BY OWNER.
- C. REMOVE ANY AND ALL SHEET ROCK, GLUE RESIDUE, ETC. ON THE ORIGINAL PLASTER WALLS. PATCH AND REPAIR AS NEEDED, PAINT.
- D. EXIST. WOOD BASE AND ALL WOOD TRIM WORK ON WALLS AND AT DOORS AND WINDOWS IS TO REMAIN, WHERE EXPOSED IN UNITS OR HALLWAYS. WHERE BASE IS DAMAGED OR MISSING, REPLACE WITH BASE PROFILE TO MATCH EXIST. PAINT.
- E. AT EXIST. PLASTER WALLS AND CEILINGS, CLEAN, REMOVE LOOSE MATERIAL, PATCH, AND REPAIR TO MATCH EXIST. TEXTURE AND PREP FOR PAINT.
- F. PAINT CEILING BEAMS, MOLDING, TRIMWORK, ALL EXPOSED UTILITIES, INCLUDING CONDUIT, J-BOXES, SPRINKLER PIPING, ETC. TO MATCH PLASTER CEILING.
- G. ALL PLUMBING, PIPING (EXCEPT SPRINKLER) AND DUCTWORK SHALL BE CONCEALED IN PAINTED G.B. SOFFITS.
- H. EXISTING WOOD FLOORS ARE TO BE RETAINED AND REFINISHED. THEY ARE TO BE SANDED DOWN, REPAIRED AS NEEDED AND WILL BE STAINED. STAIN COLOR TO BE SELECTED BY ARCHITECT/OWNER.
- I. EXISTING PAINTED CONCRETE FLOORS SHALL BE RETAINED, REPAIRED AND PATCHED AS NEEDED. REMOVE EXISTING PAINT/SEALANT AND REPAINT/SEAL.
- J. SOME CHALKBOARDS AND TACKBOARDS ARE TO BE RETAINED (THESE ARE IDENTIFIED ON SHEETS AA2.2, AA2.3, AA2.4 AND AA2.5. ALL OTHER CHALKBOARDS AND TACKBOARDS ARE TO BE REMOVED).

SPECIFIC NOTES (LABELED AS #1-#9 ON PLAN)

1. ORIGINAL WOOD STAGE AND FLOOR. TO BE RETAINED, PROTECT DURING CONSTRUCTION. EXISTING WOOD FLOORS ARE TO BE REFINISHED. THEY ARE TO BE SANDED DOWN, REPAIRED AS NEEDED AND WILL BE STAINED. COLOR OF STAIN TBD.
2. MESSAGE BOX TO REMAIN/REPLACE INTERIOR TACKBOARD/CORKBOARD SURFACE WITH NEW. CLEAN AND REPAIR WOOD TRIM AS NEEDED. REPAIR.
3. EXISTING CHALKBOARD, TACKBOARD, CHALK TRAY AND TRIM TO REMAIN. PROTECT DURING CONSTRUCTION. EVALUATE CONDITION OF CHALKBOARD - REPLACE AS NEEDED. ANY EXISTING DRY-ERASE BOARDS SHALL BE REMOVED AND REPLACED WITH NEW BLACK CHALKBOARD SURFACE. ALL TACKBOARD/CORKBOARD MATERIAL SHALL BE REPLACED WITH NEW.
4. EXISTING MURALS BY LOCAL ARTIST SLEEPY READ ARE TO REMAIN. PROTECT DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR NOTIFYING SUBS (PARTICULARLY DEMO SUBS) OF THE IMPORTANCE OF THE MURALS. NEW PAINT ON ADJACENT WALLS SHOULD BE DELICATELY CUT IN AS TO NOT PAINT OVER THE EXISTING MURAL, BUT ENSURE THAT ADJACENT WALLS ARE FULLY PAINTED. CLEAN AND REPAIR WOOD TRIM AND CHALK TRAY AS NEEDED. REPAIR.
5. REFINISH & REPAIR EXISTING DOOR & FRAME, PAINT. INSTALL NEW HARDWARE. THIS DOOR (INTO ELEVATOR LOBBY) IS TO BE FIXED, PERMANENTLY, IN THE OPEN POSITION.
6. EXISTING INTERIOR WOOD DOORS AND FRAMES TO REMAIN: REPAIR AND RESTORE, REPLACE HARDWARE WITH NEW AND REPAIR DOORS/FRAMES.
7. EXISTING EXTERIOR ALUM. STOREFRONT AND H.M. DOORS/FRAMES TO REMAIN. REPAIR AND RESTORE TO SMOOTH OPERATING ORDER. REPLACE DOORS TO BE RE-KEYED FOR NEW OWNER. COORDINATE NEW KEY FOB SYSTEM WITH OWNER.
8. PAINT SHUFFLE BOARD STENCIL ON WOOD STAGE FLOOR. BEGINNER COURT DIMENSIONS. PAINT COLOR TBD.
9. INSTALL NEW MANUAL PULL-DOWN SCREEN FOR PROJECTION. REFERENCE SPECIFICATIONS.

B HISTORIC SCHOOL & CAFETERIA BLDG A 1ST FLOOR KEY PLAN
1"=20'-0"SHADED AREA REPRESENTS LVT COLOR 1
OTHER AREAS: LVT COLOR 2C ELEV. LOBBY A113 & ELEV. E1 ENLARGED FIN. FLR. PLAN
1/4"=1'-0"A HISTORIC SCHOOL BLDG A 1ST FLOOR
3/16"=1'-0"

BUILDING A

REVISION:
12-16-2025DATE: 11-20-2025
JOB: 25-3479
SHEET NO.:

AA2.1

THE IRVING LOFTS
HISTORIC RESTORATION & REHAB APARTMENTS
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BUILDING A										
UNIT FINISH SCHEDULE - 19 UNITS										
FINISHES & INSTRUCTIONS										
P1 LATEX PAINT		EWD		ENGINEERED WOOD FLR'G		CT		CERAMIC TILE		
P2 EPOXY PAINT		VET		VINYL ENHANCED TILE		TX		TEXTURE		
C CARPET		LVT		LUXURY VINYL TILE		E		EXISTING		
DESCRIPTION	FLOOR		BASE		WALLS		CEILING		REMARKS	
	WD RESTORE-REFIN.						REF. REFLECTED CEILING PLANS			
	LUXURY VINYL TILE									
	EXISTING CONCRETE									
	WD REFIN EXIST'G, OR NEW									
	EXIST'G WD	LVT	WD		5/8" FIRE RATED C.B.	EXIST. PLASTER (note 15)		(E) PLASTER & BEAMS		
								5/8" FIRE RATED C.B.		
1ST FLOOR UNITS: A101 - A109										
KITCHEN		LVT	WD		P1	P1	P1	P1		NOTES 11-21
LIVING ROOM		LVT	WD		P1	P1	P1	P1		NOTES 11-21
BEDROOM		LVT	WD		P1	P1	P1	P1		NOTES 11-21
CLOSET		LVT	WD		P1	P1	P1	P1		NOTES 11-21
BATH		LVT	WD		P2	P2	P2	P2		NOTES 11-21
LAUNDRY		LVT	WD		P1	P1	P1	P1		NOTES 11-21
MECHANICAL		LVT	WD		P1	P1	P1	P1		NOTES 11-21
2ND FLOOR UNITS: A201 - A205										
KITCHEN	WD		WD		P1	P1	P1	P1		NOTES 11-21
LIVING ROOM	WD		WD		P1	P1	P1	P1		NOTES 11-21
BEDROOM	WD		WD		P1	P1	P1	P1		NOTES 11-21
CLOSET	WD	C	WD		P1	P1	P1	P1		NOTES 11-21
BATH	WD		WD		P2	P2	P2	P2		NOTES 11-21
LAUNDRY	WD		WD		P1	P1	P1	P1		NOTES 11-21
MECHANICAL	WD		WD		P1	P1	P1	P1		NOTES 11-21
3RD FLOOR UNITS: A301 - A305										
KITCHEN	WD		WD		P1	P1	P1	P1		NOTES 11-21
LIVING ROOM	WD		WD		P1	P1	P1	P1		NOTES 11-21
BEDROOM	WD		WD		P1	P1	P1	P1		NOTES 11-21
CLOSET	WD	C	WD		P1	P1	P1	P1		NOTES 11-21
BATH	WD		WD		P2	P2	P2	P2		NOTES 11-21
LAUNDRY	WD		WD		P1	P1	P1	P1		NOTES 11-21
MECHANICAL	WD		WD		P1	P1	P1	P1		NOTES 11-21

FLOORING LEGEND			
VCT	NEW VINYL COMPOSITION TILE	LVT	NEW LUXURY VINYL TILE (NOT SIM. WOOD)
WOOD	EXISTING WOOD, REFINISHED	HIST. TILE	HISTORIC TILE TO REMAIN, CLEAN & REPAIR
E CONC.	EXISTING PAINTED CONCRETE SQUARES		

BUILDING A - PUBLIC FINISH SCHEDULE													
FINISHES & INSTRUCTIONS													
P1 LATEX PAINT EWD ENGINEERED WOOD FLR'G CT CERAMIC TILE													
P2 EPOXY PAINT VET VINYL ENHANCED TILE TX TEXTURE													
C CARPET LVT LUXURY VINYL TILE E EXISTING													
DESCRIPTION	FLOOR			BASE	WALLS			CEILING			REMARKS		
	EXIST. CONCRETE REFINISH	EXISTING C.T. RESTORE	LUXURY VINYL TILE	EXIST'G WD RESTORE-REFIN.	EXIST'G VINYL TILE. RESTORE	EXIST'G WOOD. REFINISH	SELF COVE RUBBER BASE	EXIST. TO REMAIN	5/8" FIRE RATED G.B.	CMU BLOCK & BRICK		EXIST. PLASTER (SEE HISTORIC PRESERVATION NOTES)	REF. REFLECTED CEILING PLANS
(E) PLASTER & BEAMS	GYP. BOARD	STRUCT. EXPOSED											
FIRST FLOOR													
A110	NOT USED												
A111	HALL	PT			WD		P1	P1	P1	P1		HIST. NOTES 11-21	
A112	NOT USED												
A113	ELEV. LOBBY	LVT			WD		P1	P1	P1	P1		HIST. NOTES 11-21	
A114	NOT USED												
A115	STG. MECH		LVT			RB	P1	P1	P1	P1		HIST. NOTES 11-21	
A116	STG. MECH		LVT				P1	P1	P1	P1		HIST. NOTES 11-21	
A117	ENTRY	PT				WD	P1	P1	P1	P1		HIST. NOTES 11-21	
A118	STAGE			WD		WD	P1	P1	P1		P1	HIST. NOTES 11-21	
A119	COMM. RM					WD	P1	P1	P1	P1			
A120	HALL		LVT			WD	P1	P1	P1	P1		HIST. NOTES 11-21	
A121	ENTRY		LVT			WD	P1	P1	P1	P1		HIST. NOTES 11-21	
A122	FIRE SPRINK.				E	RB	P1	P1	P1	P1			
A123	STORAGE		LVT			RB	P1	P1	P1	P1		HIST. NOTES 11-21	
A124	STORAGE	PT			WD		P1	P1	P1	P1		HIST. NOTES 11-21	
SECOND FLOOR													
A206	NOT USED												
A207	HALLWAY	CT			WD		P1	P1	P1	P1		HIST. NOTES 11-21	
A208	STG. MECH		LVT			RB	P1	P1	P1	P1		HIST. NOTES 11-21	
A209	NOT USED												
A210	ELEV LOBBY		LVT		WD		P1	P1	P1	P1		HIST. NOTES 11-21	
THIRD FLOOR													
A306	NOT USED												
A307	HALLWAY	CT			WD		P1	P1	P1	P1		HIST. NOTES 11-21	
A308	STG. MECH		LVT			RB	P1	P1	P1	P1		HIST. NOTES 11-21	
A309	NOT USED												
A310	ELEV LOBBY		LVT		WD		P1	P1	P1	P1		HIST. NOTES 11-21	
A311	SITTING RM		LVT		WD		P1	P1	P1	P1		HIST. NOTES 11-21	
A312	SITTING RM		LVT		WD		P1	P1	P1	P1		HIST. NOTES 11-21	
THIRD FLOOR													
E1	ELEVATOR			LVT			RB	[REMAINDER] OF FINISHES BY ELEVATOR MANUFACTURER					
S1	STAIR		CT	LVT			WD	P1	P1	P1	P1	HIST. NOTES 11-21	
S2	STAIR	PT	CT				WD	P1	P1	P1	P1	HIST. NOTES 11-21	
S3	STAIR			LVT			WD	P1	P1	P1	P1	HIST. NOTES 11-21	
GENERAL NOTES:													
A. INSTALL VINYL, RUBBER, OR ALUMINUM TRANSITION STRIP BETWEEN FLOOR MATERIAL OF DIFFERING HEIGHTS, INCLUDING BUT NOT LIMITED TO CONCRETE/LVT TRANSITIONS.													
B. ALL GYPSUM BOARD AREAS WHICH ARE ACCESSORIES TO THE ROOM INCLUDING BUT NOT LIMITED TO SOFFITS, BULKHEADS, TRIM, ETC. SHALL BE PAINTED REGARDLESS OF WHETHER IT IS SPECIFICALLY INDICATED PER SCHEDULE.													
C. INDICATED PER SCHEDULE.													
D. ALL G.B. WALLS & PERMANENT PARTITIONS SHALL RECEIVE WOOD BASE UNLESS NOTED OTHERWISE.													
E. WALL TYPE SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL COORDINATE WALL MATERIAL W/ DRAWINGS AND FIELD CONDITIONS. ALL AREAS INDICATED TO RECEIVE NEW FINISH SHALL RECEIVE COMPLETE FINISH AS SCHEDULED AT ENTIRE ROOM. CONTRACTOR SHALL COORDINATE FINISHES AND ACCENTS WITH DETAILS AND INTERIOR ELEVATIONS.													
F. FLOORING CONTRACTOR SHALL VERIFY THAT SUBFLOOR IS LEVEL AND PROPERLY PREPPED, PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS.													
G. CONTRACTOR SHALL VERIFY THAT FLOORS ARE PREPPED/"FLOORSTONED" FOR LEVEL TRANSITION BETWEEN DIFFERING MATERIALS.													
H. ALL H.M. DOORS & FRAMES TO BE PAINTED W/ INDUSTRIAL ENAMEL UNLESS NOTED OTHERWISE. H.M. DOORS AND FRAMES SHALL BE SANDED SMOOTH PRIOR TO PAINTING. SPRAY FINISH ONLY. NO BRUSH FINISH.													
I. CONTRACTOR SHALL COORDINATE WITH INTERIOR ELEVATIONS, FLOOR PLANS AND MISCELLANEOUS DETAILS TO VERIFY ALL AESTHETIC ACCENTS AND DETAILS.													
J. REFERENCE INTERIOR ELEVATIONS, WALL SECTIONS AND DETAILS FOR WOOD BASE AND TRIM LOCATIONS.													
K. STAIRS & LANDINGS, PAINT & REFINISH.													
L. LEVEL 4 FINISH WITH ORANGE PEEL TEXTURE AT ALL WALLS & GYP CEILINGS.													

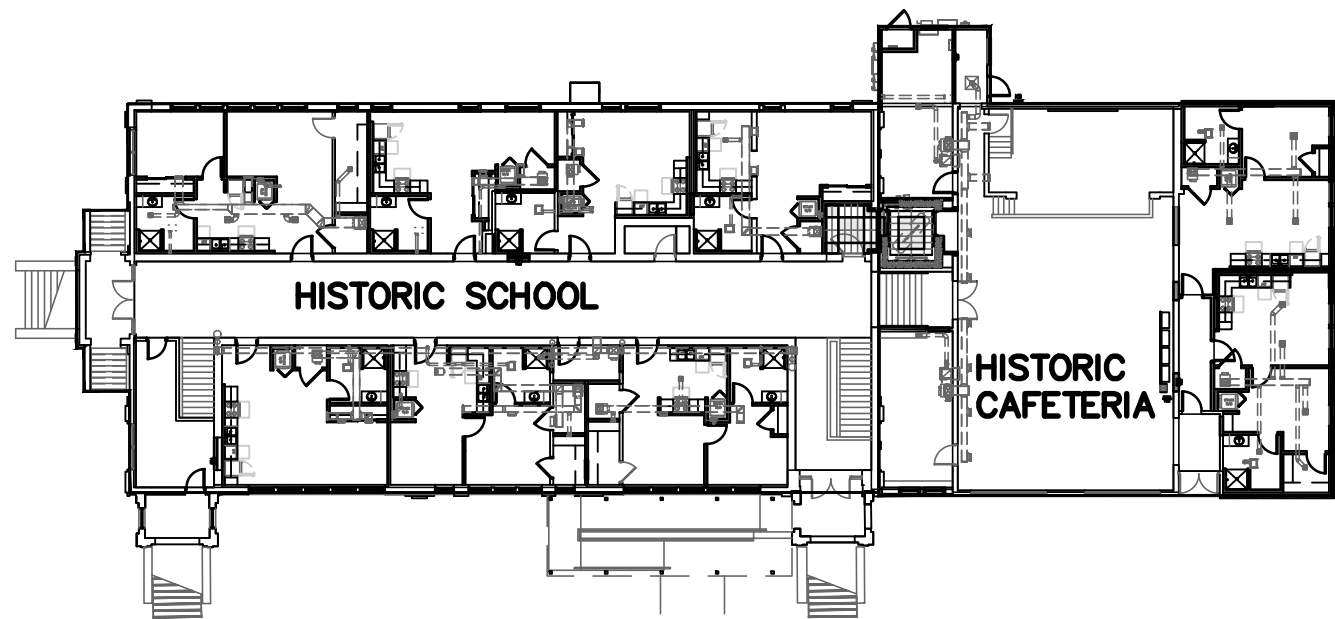
HISTORIC RESTORATION & REHAB NOTES

GENERAL NOTES

- TYPES OF FLOORING AND LOCATION MAY VARY. REFERENCE FLOOR PLANS FOR MATERIAL CHANGES AND PATTERNS.
- FINISHES PER ELEVATOR MANUFACTURER RECOMMENDATIONS AND SELECTIONS. FINAL COLORS TO BE DETERMINED BY OWNER.
- REMOVE ANY AND ALL SHEET ROCK, GLUE RESIDUE, ETC. ON THE ORIGINAL PLASTER WALLS. PATCH AND REPAIR AS NEEDED. PAINT.
- EXIST. WOOD BASE AND ALL WOOD TRIM WORK ON WALLS AND AT DOORS AND WINDOWS IS TO REMAIN, WHERE EXPOSED IN UNITS OR HALLWAYS. WHERE BASE IS DAMAGED OR MISSING, REPLACE WITH BASE PROFILE TO MATCH EXIST. PAINT.
- AT EXIST. PLASTER WALLS AND CEILINGS, CLEAN, REMOVE LOOSE MATERIAL, PATCH, AND REPAIR TO MATCH EXIST. TEXTURE AND PREP FOR PAINT.
- PAINT CEILING BEAMS, MOLDING, TRIMWORK, ALL EXPOSED UTILITIES, INCLUDING CONDUIT, J-BOXES, SPRINKLER PIPING, ETC. TO MATCH PLASTER CEILING.
- ALL PLUMBING, PIPING (EXCEPT SPRINKLER) AND DUCTWORK SHALL BE CONCEALED IN PAINTED G.B. SOFFITS.
- EXISTING WOOD FLOORS ARE TO BE RETAINED AND REFINISHED. THEY ARE TO BE SANDED DOWN, REPAIRED AS NEEDED AND WILL BE STAINED. STAIN COLOR TO BE SELECTED BY ARCHITECT/OWNER.
- EXISTING PAINTED CONCRETE FLOORS SHALL BE RETAINED, REPAIRED AND PATCHED AS NEEDED. REMOVE EXISTING PAINT/SEALANT AND REPAIR/SEAL.
- SOME CHALKBOARDS AND TACKBOARDS ARE TO BE RETAINED (THESE ARE IDENTIFIED ON SHEETS AA2.2, AA2.3, AA2.4 AND AA2.5. ALL OTHER CHALKBOARDS AND TACKBOARDS ARE TO BE REMOVED).

SPECIFIC NOTES (LABELED AS #1-#9 ON PLAN)

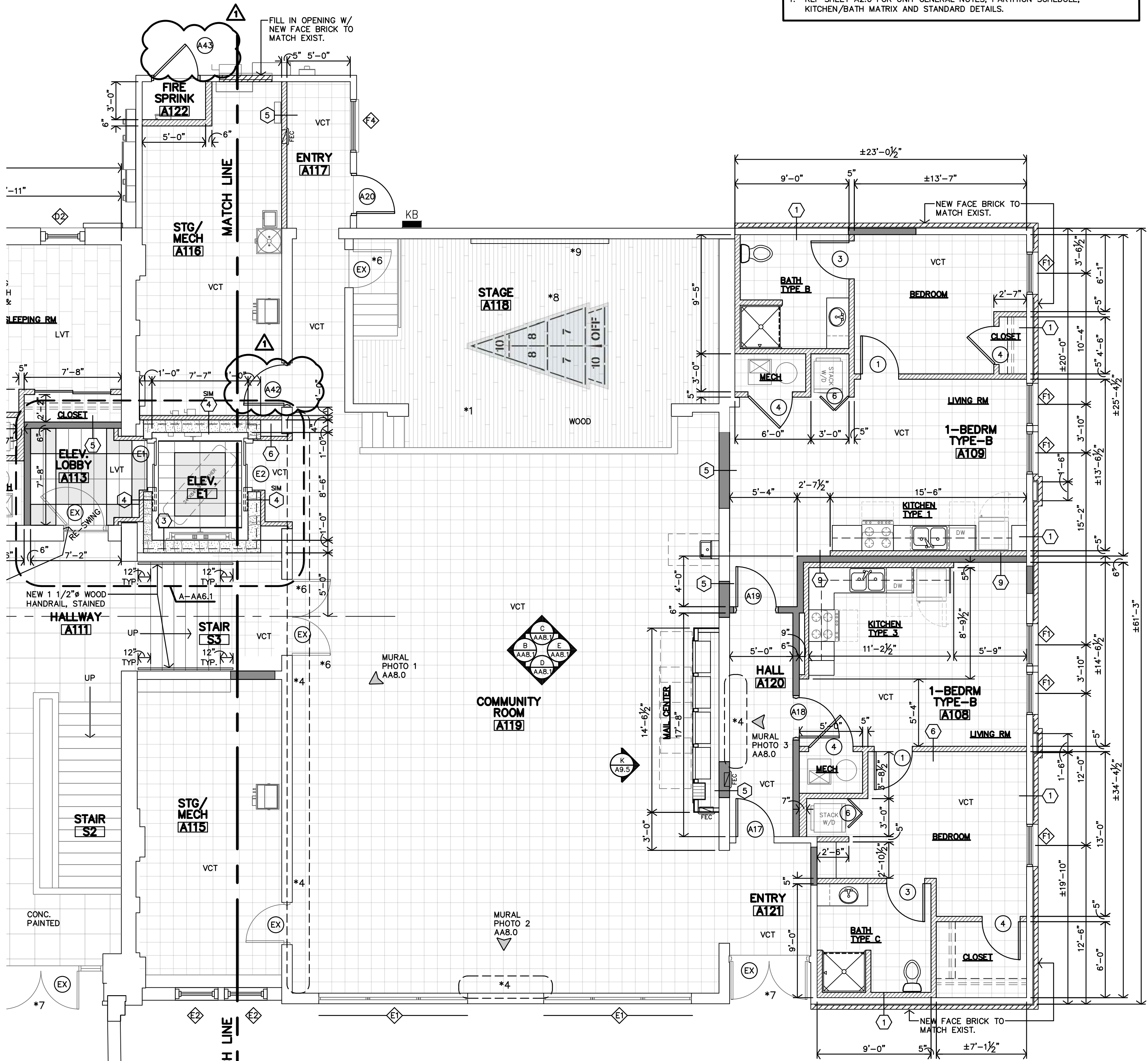
- ORIGINAL WOOD STAGE AND FLOOR: TO BE RETAINED, PROTECT DURING CONSTRUCTION. EXISTING WOOD FLOORS ARE TO BE REFINISHED. THEY ARE TO BE SANDED DOWN, REPAIRED AS NEEDED AND WILL BE STAINED. COLOR OF STAIN TBD.
- MESSAGE BOX TO REMAIN/REPLACE INTERIOR TACKBOARD/CORKBOARD SURFACE WITH NEW. CLEAN AND REPAIR WOOD TRIM AS NEEDED. REPAIR.
- EXISTING CHALKBOARD, TACKBOARD, CHALK TRAY AND TRIM TO REMAIN. PROTECT DURING CONSTRUCTION. EVALUATE CONDITION OF CHALKBOARD - REPLACE AS NEEDED. ANY EXISTING DRY-ERASE BOARDS SHALL BE REMOVED AND REPLACED WITH NEW BLACK CHALKBOARD SURFACE. ALL TACKBOARD/CORKBOARD MATERIAL SHALL BE REPLACED WITH NEW.
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- INSTALL NEW MANUAL PULL-DOWN SCREEN FOR PROJECTION. REFERENCE SPECIFICATIONS.



HISTORIC SCHOOL BLDG A 1ST FLOOR KEY PLAN
1"=20'-0"

PLAN NOTES

- REF SHEET AA2.0 FOR UNIT GENERAL NOTES, PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.



HISTORIC CAFETERIA BLDG A 1ST FLOOR
3/16"=1'-0"

BUILDING A

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THE IRVING LOFTS
HISTORIC RESTORATION & REHAB APARTMENTS
CLEBURNE, TEXAS

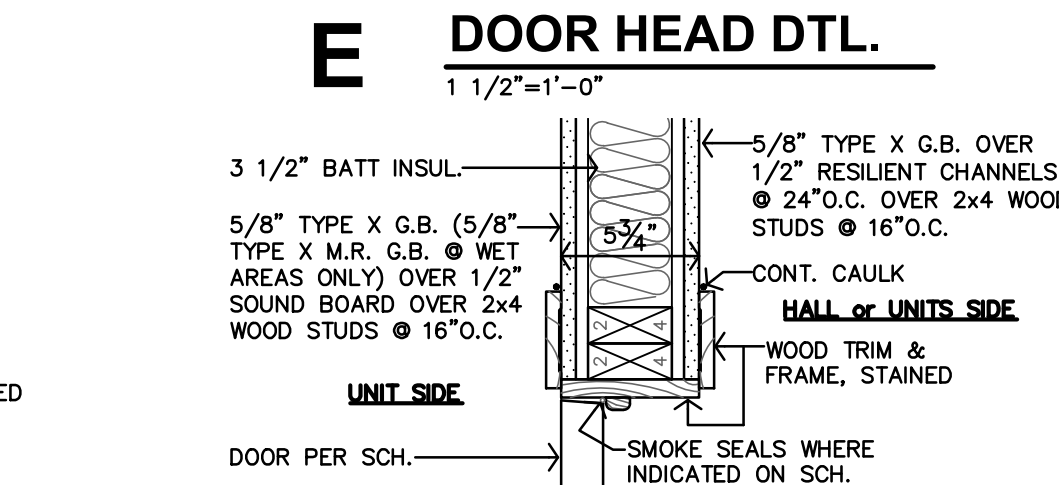
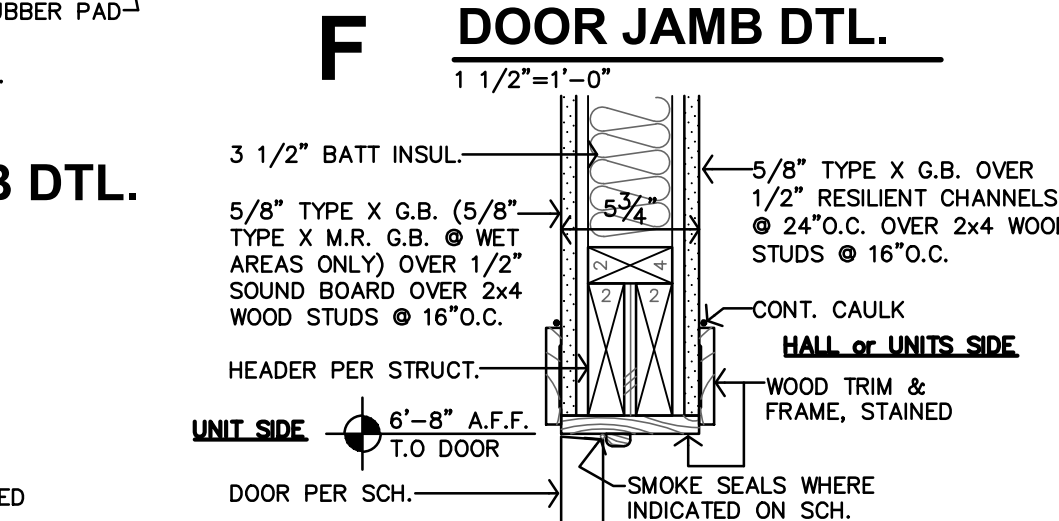
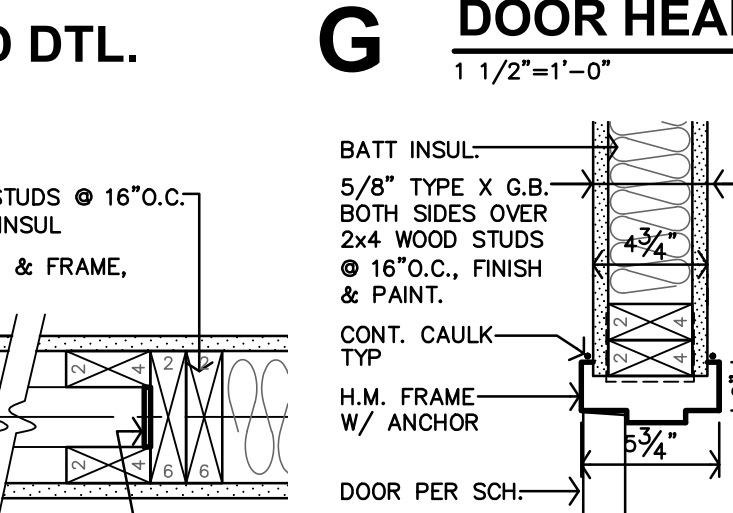
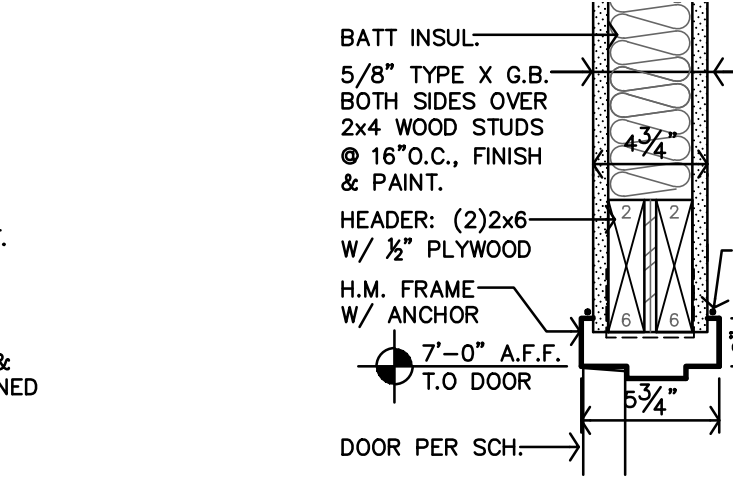
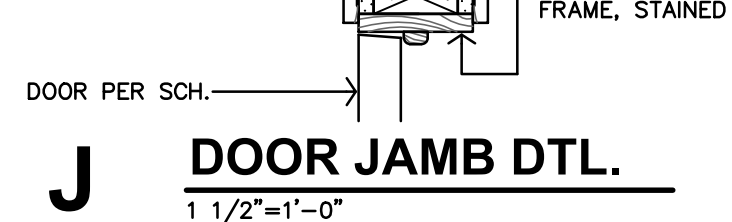
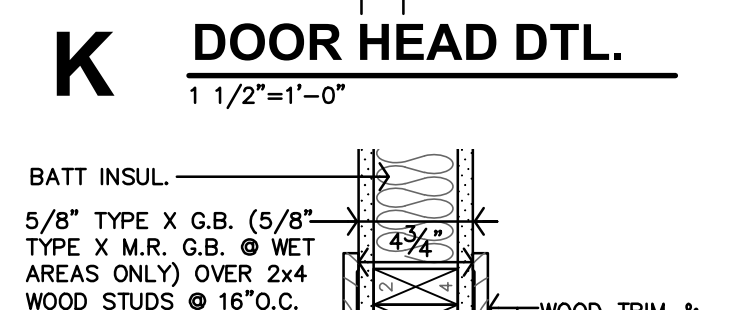
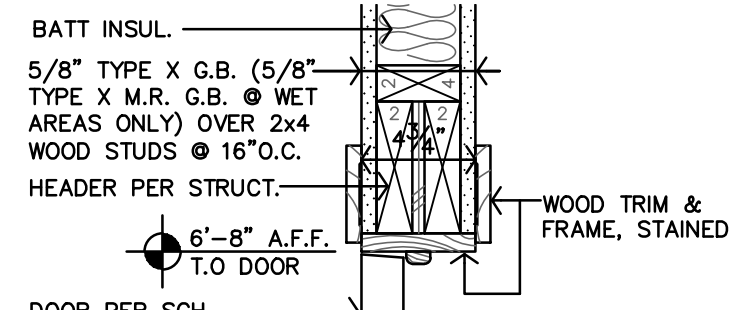
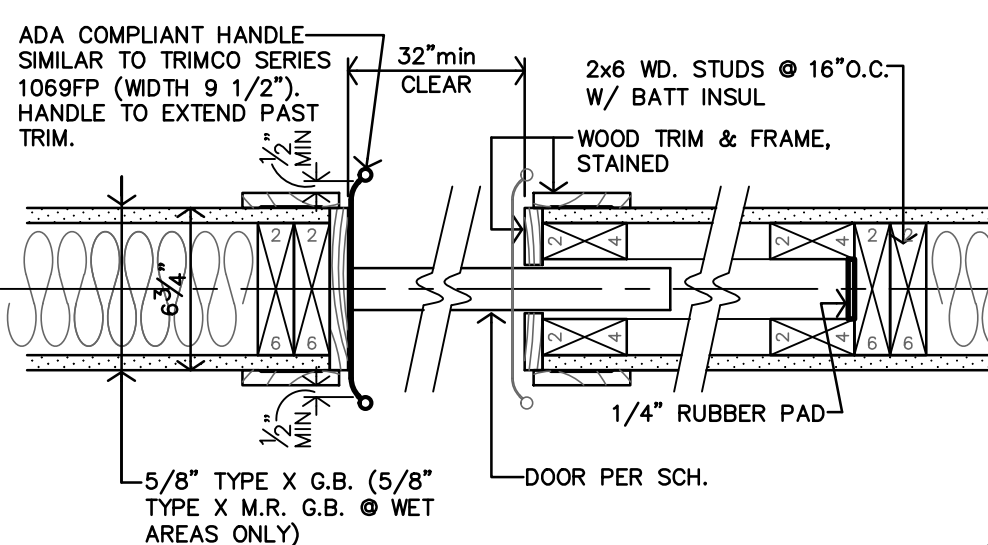
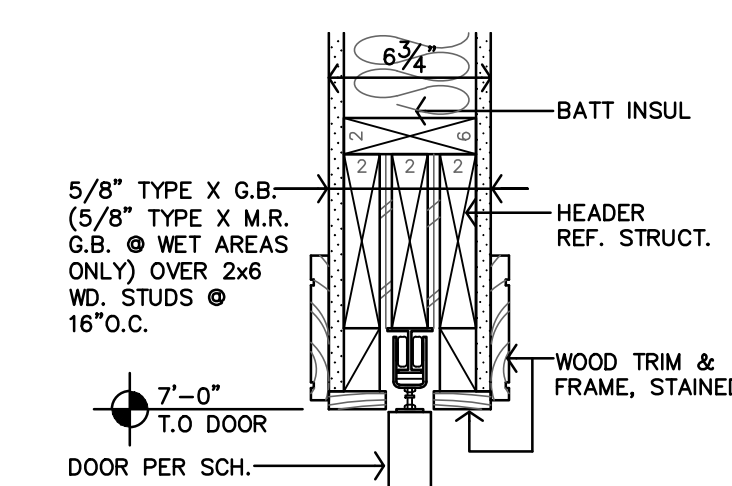
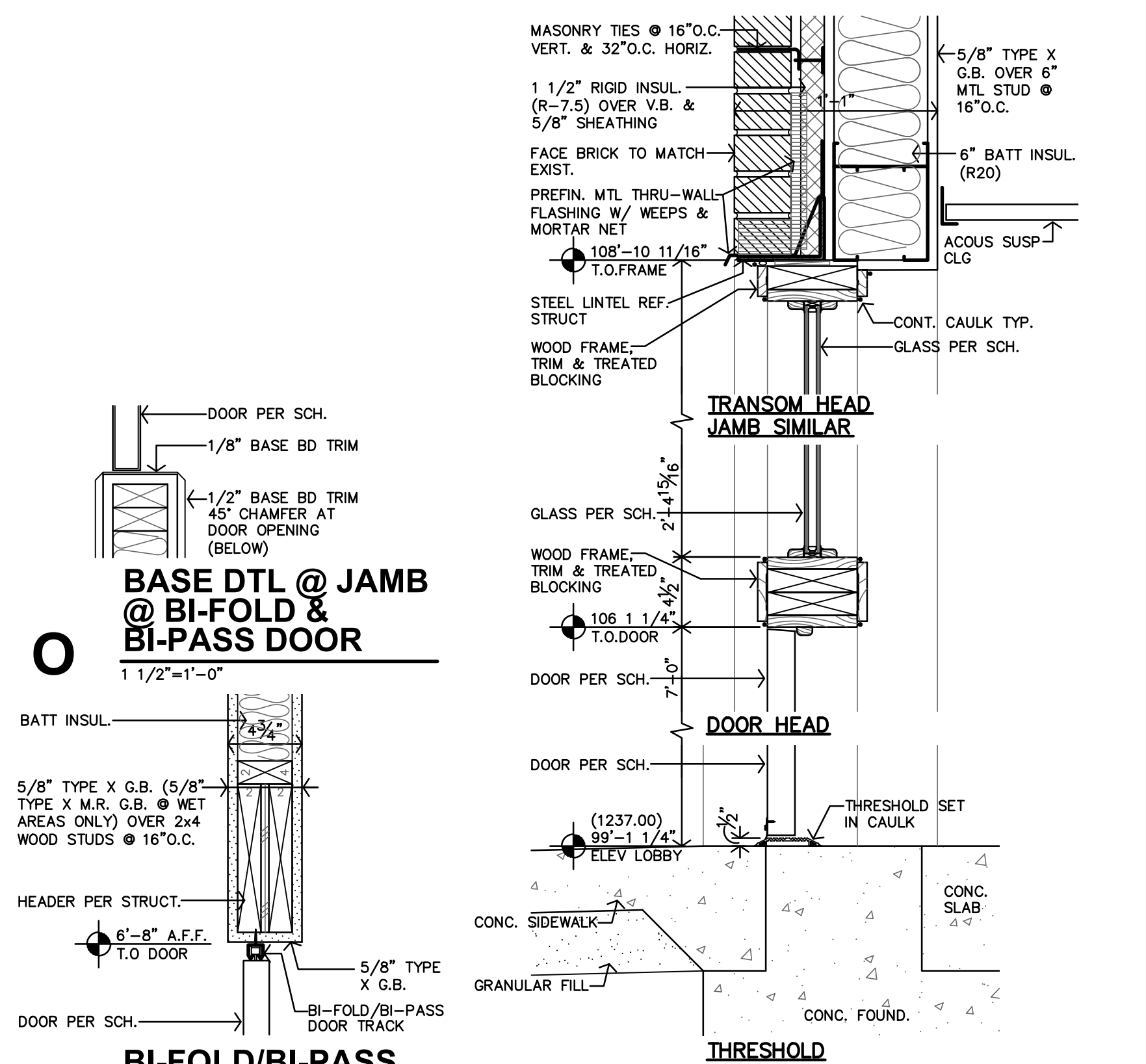


REVISION:
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DATE: 11-20-2025
JOB: 25-3479
SHEET NO.:

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BUILDING A - PUBLIC DOOR SCHEDULE															
MARK	DOOR								FRAME			RATING	DETAILS	REMARKS	
	W	H	T	SIZE	MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH					
				HOLLOW METAL S.C. WOOD	TYPE MATCH STREPT PREFINISHED PAINT	HOLLOW METAL WOOD	TYPE PREFINISHED PAINT								
FIRST FLOOR															
EX	EXISTING DOOR & FRAME F.V.			CLEAN, RESTORE, REFINISH (RE-SWING & REBOLT AS INDICATED)							NOTES 1,2,3,4,5,6				
A08	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min	A	UNIT ENTRY: NOTES 7,8,10,11		
A09	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A10	3'-0"	6'-8"	1 3/4"	●	D	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A11	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A12	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A14	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A15	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A16	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A17	3'-0"	6'-8"	1 3/4"	●	J	●	●	●	1	●	20min		UNIT ENTRY: NOTES 7,8,10,11		
A18	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	20min	UNIT ENTRY: NOTES 7,8,10,11			
A19	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	20min	UNIT ENTRY: NOTES 7,8,10,11			
A20	3'-0"	7'-0"	1 3/4"	●	J	●	●	●	2	●	45min	NOTES 1,2,3,5			
A41	3'-0"	6'-8"	1 3/4"	●	D	●	●	●	1	●					
A42	3'-0"	6'-8"	1 3/4"	●	H	●	●	●	2	●					
A43	3'-6"	7'-0"	1 3/4"	●	C	●	●	●	2	●					
A44	3'-0"	6'-8"	1 3/4"	●	D	●	●	●	1	●	20min				
SECOND FLOOR															
EX	EXISTING DOOR & FRAME F.V.			CLEAN, RESTORE, REFINISH (RE-SWING & REBOLT AS INDICATED)							NOTES 1,2,3,4,5,6				
A21	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min	A	UNIT ENTRY: NOTES 7,8,10,11		
A22	3'-0"	6'-8"	1 3/4"	●	D	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A23	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A24	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A25	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A26	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
THIRD FLOOR															
EX	EXISTING DOOR & FRAME F.V.			CLEAN, RESTORE, REFINISH (RE-SWING & REBOLT AS INDICATED)							NOTES 1,2,3,4,5,6				
A31	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min	A	UNIT ENTRY: NOTES 7,8,10,11		
A32	3'-0"	6'-8"	1 3/4"	●	D	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A33	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A34	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A35	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
A36	3'-0"	6'-8"	1 3/4"	●	C	●	●	●	1	●	45min		UNIT ENTRY: NOTES 7,8,10,11		
ELEVATOR															
E1	3'-6"	7'-0"		●					●		60min	REF. SHT. A6.2			
E2	3'-6"	7'-0"		●					●		60min	REF. SHT. A6.2			
E3	3'-6"	7'-0"		●					●		60min	REF. SHT. A6.2			
E4	3'-6"	7'-0"		●					●		60min	REF. SHT. A6.2			
NOTES:															
1. ALL EXPOSED LINTELS TO BE PAINTED AT INTERIOR AND EXTERIOR.															
2. CONTRACTOR MUST INSTALL MTL. FLASHINGS & CONT. CAULK FOR A WEATHERTIGHT SEAL, AT ALL EXTERIOR DOORS & FRAMES.															
3. ALUMINUM THRESHOLD EXPANSION JOINT COVER BETWEEN CONCRETE AND WOOD FLOOR.															
4. RESTORE EXISTING DOOR & FRAME, INSTALL NEW HARDWARE, FIELD VERIFY CONDITIONS															
5. EXTERIOR DOORS, INSTALL NEW SILL & WEATHERSTRIPPING, FOR A WEATHERTIGHT SEAL, FIELD VERIFY CONDITIONS															
6. EXISTING DOOR, VERIFY NEW FINISHES AND COORDINATE, OOT AND FIT DOOR AS REQUIRED FOR PROPER OPERATION															
7. UNIT ENTRY DOOR - HARDWARE TO BE LEVER TYPE LATCH SETS KEIED OUTSIDE, RELEASE INSIDE AND DEADBOLT W/ THUMB TURN INSIDE, NON-KEY OUTSIDE W/ 1" MIN. THROW.															
8. UNIT ENTRY DOOR - PEEP HOLES AT ADAPTABLE UNITS: (1) PEEP HOLE TO BE INSTALLED @ 60" AFF.															
9. UNIT ENTRY DOOR - PEEP HOLES AT ACCESSIBLE UNITS: (2) PEEP HOLES TO BE INSTALLED @ 43" AFF & 60" AFF.															
10. EXISTING/NEW DOOR OPENING, FIELD VERIFY SIZE & CONDITIONS, REWORK, REPAIR, REFINISH, PROVIDE & INSTALL NEW: DOOR, TRIM, FRAME & HARDWARE AS REQ'D.															
11. UNIT ENTRY DOOR - ADD SMOKE SENSLS.															

BUILDING A - UNIT DOOR SCHEDULE - 18 UNITS														
MARK	LOCATION	DOOR							FRAME			DETAILS	REMARKS	
		SIZE			MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH				
		W	H	T	S.C. WOOD, PANEL H.C. WOOD, PANEL	S.C. WOOD, LOUVER	BI-FOLD BI-PASS	PAINT	WOOD	TYPE	PAINT			
1	BEDROOM	3'-0"	6'-8"	1 3/4"	●	●	●	●	1	●	●	J/K-AA10.1	NOTES 1	
2	CLOSET	PR 3'-0"	6'-8"	1 3/4"	●	●	●	●	1	●	●	L/M-AA10.1	NOTES 3,4	
3	BATHROOM	3'-0"	6'-8"	1 3/4"	●	●	●	●	1	●	●	J/K-AA10.1	NOTES 1	
4	MECH	3'-6"	6'-8"	1 3/4"	●	●	●	●	1	●	●	J/K-AA10.1		
5	CLOSET	3'-0"	6'-8"	1 3/4"	●	●	●	●	1	●	●	J/K-AA10.1		
6	LAUNDRY	PR 2'-8"	6'-8"	1 3/4"	●	●	●	●	1	●	●	N/O-AA10.1	NOTES 3,4	
7	BED (HISTORIC)	VARIES	F.V.	1 3/4"	●	●	●	●	EXISTING	FRAME	●		NOTES 1,5	
GENERAL NOTES:														
A. ALL DOOR HARDWARE SHALL BE LEVER TYPE LATCH SETS UNLESS NOTED OTHERWISE. PROVIDED & INSTALLED PER SPECIFICATIONS SECTION 8710														
B. COORDINATE W/ MFR. FOR ADA INSTALLATION REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER.														
C. UNDERCUT DOORS PER MCM DWGS.														
D. HISTORIC SCHOOL & CAFETERIA BUILDING: SEVERAL EXISTING DOORS AND FRAMES ARE TO REMAIN. CONTRACTOR TO REPAIR AND RESTORE EXISTING DOORS & FRAMES. REPLACE EXISTING HARDWARE WITH NEW AND PAINT DOOR/FRAME.														
SPECIFIC NOTES:														
1. BEDROOM & BATH DOOR - HARDWARE TO BE PRIVACY LEVER TYPE LATCH SET.														
2. POCKET DOOR - 32" MIN CLEAR OPENING, W/ ADA COMPLIANT HANDLE SIMILAR TO TRIMCO SERIES 1069.														
3. BI-FOLD DOORS - VERIFY OPENING W/ SIZE OF DOOR HARDWARE.														
4. FINISHED G.B AT DOOR OPENING - NO FRAME.														
5. HISTORIC DOOR FRAME TO REMAIN. CLEAN, SAND, REPAIR AS NEEDED. REPAIR.														
REPLACE ALL GLASS WITH NEW GLASS (FROSTED GLASS AT ALL UNIT ENTRIES). VERIFY THICKNESS OF EXISTING GLASS/FRAME.														

GLAZING SCHEDULE						
MARK	INTERIOR	EXTERIOR	1/4"	3/4" INSULATED	TINTED	TEMPERED
A1		●		●	●	●

