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NOTICE TO ALL CONTRACTORS AND SUB-CONTRACTORS

January 9, 2026

Irving Lofts – Historic Rehabilitation – JGR Proj 25-3479

ADDENDUM NO. 2

YOU ARE INSTRUCTED TO READ AND TO NOTE THE FOLLOWING DESCRIBED CHANGES, CORRECTIONS, CLARIFICATIONS, OMISSIONS, DELETIONS, ADDITIONS, APPROVALS, AND STATEMENTS PERTINENT TO THE CONTRACT AND CONSTRUCTION DOCUMENTS. THIS ADDENDUM IS A PART OF THE CONTRACT AND CONSTRUCTION DOCUMENTS AND SHALL GOVERN IN THE PERFORMANCE OF THE WORK.

ARCHITECTURAL – Specifications

1. Section 01220 Unit Prices – the following has been added to Part 3: Execution
 - a. Unit Price No. 2 – Brick & Masonry Repointing – Contractor is to provide a base bid price for the repair of 9,500 SF, plus an additional unit cost per 100 SF
 - b. Unit Price No. 3 – Plaster Repair – Contractor is to provided a base bid price for the repair of 8,000 SF, plus an additional unit cost per 100 SF
2. Section 10431 Signage – Items 6 & 7 have been added under 1.5.A Exterior Signage
3. Section 10850 Building Specialties – Item C, Gates and Hardware, has been added under 1.04 Fencing.

ARCHITECTURAL – Drawings

1. Sheet A1.1 –
 - a. Added Note R to the Site Plan Key Notes.
 - b. Shifted the Accessible path from Anglin street to the new sidewalk/path near the dog park, in lieu of the original sidewalk towards Building A.
 - c. Added Note 'R' to 3 gates, 1 from each public way.
 - d. Shifted the Dog Waste Station to the SW corner of the concrete patio, so that it is along an accessible path.
 - e. Added Detail D
2. Sheet AA2.1 –
 - a. Added Note 10 to the Specific Notes, under the Historic Restoration and Rehab Notes
 - b. Added Note 10 to (5) exterior entrances into Building A
3. Sheet AA2.3 –
 - a. Added Note 10 to the Specific Notes, under the Historic Restoration and Rehab Notes
 - b. Added Note 10 to (3) exterior entrances into Building A

Receipt of this Addendum shall be noted on the Bid Form.

END OF ADDENDUM NO. 2

Attachments:

Revised Specifications: Sections 01220 Unit Prices, 10431 Signage and 10850 Building Specialties
Revised Architectural Sheets A1.1, AA2.1, AA2.3

SECTION 01220

UNIT PRICES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related requirements:
 1. Section 012100 "Allowances" for procedures for using unit prices to adjust quantity allowances.

1.2 DEFINITIONS

- 1. Unit price is an amount incorporated into the Agreement, applicable during the duration of the work as a price per unit of measurement for materials, equipment, or services, or a portion of the work, added to or deducted from the contract sum by appropriate modification, if the scope of work or estimated quantities of work required by the Contract Document are increased or decreased.

1.3 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at the Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections references in the schedule contain requirements for materials described under each unit price.

PART 2 – PRODUCTS (not used)

PART 3 – EXECUTION

3.1 SCHEDULE OF UNIT PRICES

- A. Unit Price No. 1: included in the **BASE BID**: Brick Masonry Repair and Replacement Brick
 1. Description: Repairing brick masonry and replacing units at both the interior and exterior of the building. Reference Section 040120 – Brick Masonry Repair.
 2. Unit of Measurement: **Contractor to provide a price per 100 Bricks.**
- B. Unit Price No. 2: included in the **BASE BID**: Brick & Masonry Repointing
 1. Description: Repointing existing brick and stone masonry at both the exterior and interior of the building. Reference Section 040120 – Brick & Masonry Repointing
 2. Unit of Measurement: **Contractor to provide a base bid price for the repair of 9,500 SF, plus an additional unit cost per 100 s.f.**
- C. Unit Price No. 3: included in the **BASE BID**: Plaster Repair
 1. Description: Repair of existing plaster walls and ceilings at the interior of the building. Reference Section 09230 – Preservation Brief 21: Plaster Walls and Ceilings
 2. Unit of Measurement: **Contractor to provide a base bid price for the repair of 8,000 SF, plus an additional unit cost per 100 s.f.**

END OF SECTION 01220

SECTION 10431

SIGNAGE

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

A. This Section includes the following:

1. Exterior ADA Parking Signs
2. Building Numbering & Addressing
3. Exterior Site & Amenity Signage
4. Interior signage
5. Exterior Sign – new infill for existing monument sign on SW of site.

B. Contractor shall install and furnish Interior Signage: Apartments, Mechanical Rooms, Offices, Restrooms, etc. – (Tactile and Braille Signage), All Exterior Signage and ADA Parking Signage. Bid price to also include the purchase and delivery of all signage.

C. Site Signage, and Interior Signage design should reflect the historic nature of the building. Contractor to submit design options to Architect/Owner prior to Final Shop Drawing Submittal.

D. All signs are to comply with ADA-ABA Accessibility Guidelines and ICC/ANSI A117.1. Including, but not limited to installation height and location, size and tactile & braille requirements.

1.3 DEFINITIONS

A. ADA-ABA Accessibility Guidelines: U.S. Architectural & Transportation Barriers Compliance Board's "Americans with Disabilities Act (ADA) Accessibility Guidelines for Buildings and Facilities; Architectural Barriers Act (ABA) Accessibility Guidelines."

1.4 SUBMITTALS

A. Product Data: For each type of product indicated.

B. Shop Drawings: Show fabrication and installation details for signs.

1. Show sign design – should reflect the historic nature of the building
2. Show sign mounting heights, locations of supplementary supports to be provided by others, and accessories.
3. Provide message list, typestyles, graphic elements, including tactile characters and Braille, and layout for each sign.

C. Samples for Initial Selection: Manufacturer's color charts consisting of actual units or sections of units showing the full range of colors.

D. Samples for Verification: For each of the following products and for the full range of color, texture, and sign material indicated, of sizes indicated:

1. Plaque Casting: 6 inches (150 mm) square including border.
2. Dimensional Characters: Full-size Samples of each type of dimensional character letter, number, and graphic element.
3. Aluminum: For each form, finish, and color, on **6-inch- (150-mm-)** long sections of extrusions and squares of sheet at least **4 by 4 inches (100 by 100 mm)**.

E. Maintenance Date: For signs to include maintenance manuals.

F. Warranty: Special warranty specified in this section.

1.5 SIGN SCHEDULE

A. **EXTERIOR SIGNAGE:**

1. **ADA Parking Signs:** Provide and install pole mounted handicap sign with bottom of sign at 60 inches above grade. (2) Sign labeled "Van Accessible" and (4) designated as standard ADA accessible parking. Submit to Architect for approval.
2. **Monument Sign:** Existing sign on property. Field Verify size and construction of existing sign face. New signage to be installed. Coordinate with owner on design.
3. **Addressing:** Coordinate final numbering (Each building to be labeled A, B, & C) and location with architect.

4. **Dog Park Rules**
5. **Leasing office** – Include (2) wayfinding, wall mounted signs for leasing office and (1) main leasing office sign that includes hours and phone number.
6. **Gate/Fence Directional Signage** – Gates that are not along an accessible path, as noted on the Site Plan A1.1, must have directional signage to provide information about the nearest accessible gate.
7. **Building Entrance Directional Signage** – Building entrances that are considered inaccessible, as noted on floor plans, must have directional signage to provide information about the nearest accessible building entrance.

B. **INTERIOR SIGNAGE:** Coordinate design, final numbering (if applicable), and locations with architect. To include (but not limited to):

1. **Apartment Numbers**
2. **Leasing Office**
3. **Community Room**
4. **Public Restrooms**
5. **Mechanical and Electrical Rooms**
6. **Storage Rooms**
7. **Exit and Stair Signs including Photoluminescent Exit Signs and Stair Level Signs**
8. **Elevator Lobby and Elevator Egress Signs**
9. **Fire Sprinkler Room and Roof Access Signs**
10. **No Smoking Signs**

1.6 **QUALITY ASSURANCE**

A. Fabricator Qualifications: Shop that employs skilled workers who custom-fabricate products similar to those required for this Project and whose products have a record of successful in-service performance.

B. Source Limitations for Signs: Obtain each sign type indicated from one source from a single manufacturer.

C. Regulatory Requirements: Comply with applicable provisions in ADA-ABA Accessibility Guidelines and ICC/ANSI A117.1.

1.7 **PROJECT CONDITIONS**

A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit installation of signs in exterior locations to be performed according to manufacturers' written instructions and warranty requirements.

B. Field Measurements: Verify recess openings by field measurements before fabrication and indicate measurements on Shop Drawings.

1.8 **COORDINATION**

A. Coordinate placement of anchorage devices with templates for installing signs.

1.9 **WARRANTY**

A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components of signs that fail in materials or workmanship within specified warranty period.

1. Failures include, but are not limited to, the following:
 - a. Deterioration of metal and polymer finishes beyond normal weathering.
 - b. Deterioration of embedded graphic image colors and sign lamination.
2. Warranty Period: **Five** years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 **MATERIALS**

A. Aluminum Sheet and Plate: **ASTM B 209 (ASTM B 209M)**, alloy and temper recommended by aluminum producer and finisher for type of use and finish indicated, and with at least the strength and durability properties of Alloy 5005-H32.

B. Interior Signage - Tactile and Braille Signage: Manufacturer's standard process for producing text and symbols complying with ADA-ABA Accessibility Guidelines and with ICC/ANSI A117.1. Text

shall be accompanied by Grade 2 Braille. Produce precisely formed characters with square-cut edges free from burrs and cut marks; Braille dots with domed or rounded shape.

1. Panel Material: **Opaque acrylic sheet**.
2. Raised-Copy Thickness: Not less than **1/32 inch (0.8 mm)**.

2.2 ACCESSORIES

A. Anchors and Inserts: Provide nonferrous-metal or hot-dip galvanized anchors and inserts for exterior installations and elsewhere as required for corrosion resistance. Use toothed steel or lead expansion-bolt devices for drilled-in-place anchors. Furnish inserts, as required, to be set into concrete or masonry work.

2.3 FABRICATION

A. General: Provide manufacturer's standard signs of configurations indicated.

1. Welded Connections: Comply with AWS standards for recommended practices in shop welding. Provide welds behind finished surfaces without distortion or discoloration of exposed side. Clean exposed welded surfaces of welding flux and dress exposed and contact surfaces.
2. Mill joints to tight, hairline fit. Form joints exposed to weather to exclude water penetration.
3. Preassemble signs in the shop to greatest extent possible. Disassemble signs only as necessary for shipping and handling limitations. Clearly mark units for reassembly and installation, in location not exposed to view after final assembly.
4. Conceal fasteners if possible; otherwise, locate fasteners where they will be inconspicuous.

2.4 FINISHES, GENERAL

A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.

B. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.

C. Appearance of Finished Work: Variations in appearance of abutting or adjacent pieces are acceptable if they are within one-half of the range of approved Samples. Noticeable variations in the same piece are not acceptable. Variations in appearance of other components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

2.5 ACRYLIC SHEET FINISHES

A. Colored Coatings for Acrylic Sheet: For copy **and background** colors, provide colored coatings, including inks, dyes, and paints, that are recommended by acrylic manufacturers for optimum adherence to acrylic surface and that are UV and water resistant for **three** years for application intended.

PART 3 - EXECUTION

3.1 EXAMINATION

A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of work.

B. Verify that items, **including anchor inserts** are sized and located to accommodate signs.

C. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

A. Locate signs and accessories where indicated, using mounting methods of types described and complying with manufacturer's written instructions.

1. Install signs level, plumb, and at heights indicated, with sign surfaces free of distortion and other defects in appearance.
2. Interior Wall Signs: Install signs on walls adjacent to latch side of door where applicable. Where not indicated or possible, such as double doors, install signs on nearest adjacent walls. Locate to allow approach within **3 inches (75 mm)** of sign without encountering protruding objects or standing within swing of door.

3.3 CLEANING AND PROTECTION

A. After installation, clean soiled sign surfaces according to manufacturer's written instructions. Protect signs from damage until acceptance by Owner.

END OF SECTION 10431

SECTION 10850

BUILDING SPECIALTIES

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Building specialties shall be furnished and installed as shown and herein specified. Installation shall be in accordance with the respective manufacturer's instructions. Certain manufacturer's products have been selected as a basic standard, and reference to these products has been made. Other manufacturers' products of equal capacities and design characteristics may be used, if approved by the Architect prior to the Bidding. The Contractor shall submit for approval shop drawings or standard cuts and illustrations or a combination thereof showing all items he proposes to use.

1.02 MAILBOXES

A. Manufacturer – **Florence Manufacturing Company**, front loading horizontal mailboxes for recessed mounting with snap-on outer trim kit.

B. Additional Features: Standard 5-pin cylinder tenant can lock with two keys. Engraved identification number for slots with color fill. **Color: Black 6C**

C. Quantity and Size: (4) sections 4CADD-09 (with 36 mailboxes & 8 parcels) Reference details G, K on Sheet A9.5 of bid documents for configuration. Parcel boxes must be 15" high min. per USPS standards.

1.03 SITE AMENITIES

A. Benches – (1) Total – Polywood Traditional Garden 60" Bench. Color TBD

B. Dog Waste Station (1) Total

1. Complete Dog Waste Station, Single Pull from Dog-On-It Parks (Model #74085)
2. Include surface mount plate for concrete slab installation
3. Color: Black

C. Bike Racks (2) total. Belson 3 loop (or approved equal), Reference Detail K-A1.2. Color TBD

1.04 FENCING

A. Manufacturer – Ameristar Fence Products – Montage (Or approved equal)

B. Product Options: Majestic Style, 2 Rail Panels, 4' tall, standard bottom rail, 4" standard picket space

C. Gates and Hardware:

1. All gates shall have self-closing hinges
2. Accessible gates must also have ADA compliant latches and solid kick plate at bottom 10" of gate.
 - a. Accessible Gates shall be located at the Dog Park and along accessible routes as indicated on plans

D. Color: Black

E. Location: Dog Park, Perimeter Site Fencing

1.05 MIRRORS

A. Manufacturer: Mirror Home, Style #20622

B. Size: 42" H x 26" W

C. Finish: Black Nickel

D. Locations: Public Restrooms: #C111 and all Apartment Unit Bathrooms

1.06 FIBERGLASS REINFORCED PLASTIC PANELING

A. Product - Class A – Minimum .090 thickness panel. Include Manufacturer's vinyl molding at all corners, transitions, joints, and tops, bottoms, etc.

B. Product shall be applied using manufacturer recommended adhesive and manufacturer recommended mechanical fasteners. Pre-drill rivet holes and silicone caulk prior to riveting.

C. Locations: install behind mop sinks

1.07 **TACK SURFACE MATERIAL**

- A. TS1 - Interior Source Co – Interior Tack Material 2100-757 Stream. Location: Displays Cabinet in Hallway A207
- B. TS2 - Interior Source Co – Interior Tack Material 2100-750 Cement Mix. Location: Rehabilitated Tack Surfaces in Apartments (Former Classrooms).

1.08 **WALLPAPER/WALLCOVERING**

- A. WC1 – Phillip Jefferies – 7446 Vinyl Houndstooth, Color: Dalmation. Location: Under chair rail (wainscot) at Hall #A111, Hall #A207, and Hall #A307
- B. WC2 – Phillip Jefferies – 7449 Vinyl Houndstooth, Color: Black Scottie. Location: Mailbox wall in Community Room #A119; Office Bathroom #C113.

1.09 **MANUAL PULL-DOWN PROJECTION SCREEN**

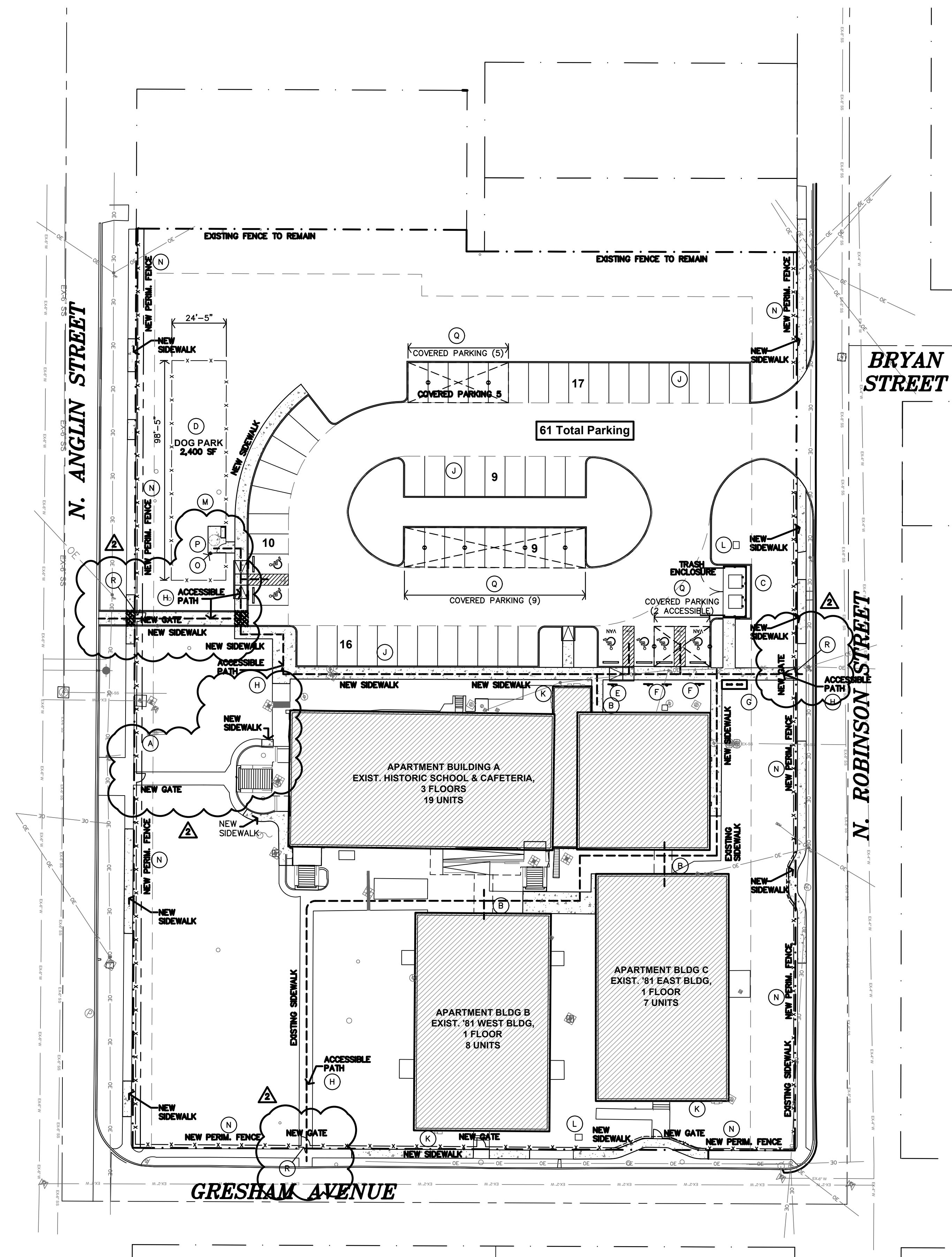
- A. Manufacturer: Elite Screens Manual Pull Down Projection Screen, website: elitescreens.com
- B. Size: 150" (16:9)
- C. Material: MaxWhite 2 – Matte White
- D. Locations: Community Room A119 – Back of Stage Wall

END OF SECTION 10850



REVISION: 1-7-2026

DATE: 11-20-2025
JOB: 25-3479
SHEET NO.: 1



A SITE PLAN
1'-30'-0"

SITE PLAN KEY NOTES

(A)	EXISTING MONUMENT SIGN, MODIFIED BY OWNER
(B)	KNOX BOX COORD. W/ FIRE DEPT. (TYP)
(C)	TRASH ENCLOSURE REF. SHEET A1.2
(D)	DOG PARK W/ 4'-0"tall FENCE, REF. A1.2
(E)	POLE MOUNTED H.C. "VAN" PARKING SIGN MOUNT BTM. OF SIGN @ 60'A.F.F. (TYP)
(F)	POLE MOUNTED H.C. PARKING SIGN MOUNT BTM. OF SIGN @ 60'A.F.F. (TYP)
(G)	BIKE RACK - FOR 5 BIKES
(H)	DASHED LINE INDICATES ACCESSIBLE PATH
(J)	PAINTED STRIPPING
(K)	BUILDING METER CENTER REF. ELECT. DWGS
(L)	BUILDING TRANSFORMER REF. ELECT. DWGS. CONTRACTOR TO COORDINATE SIZE OF CONC. PAD WITH ELECT. COMPANY
(M)	NEW BENCH, REF. SHEET A1.2
(N)	NEW PERIMETER FENCE WITH GATES SIMILAR TO DOG PARK FENCE, REF A1.2
(O)	DOG WASTE STATION (1) REF. A1.2
(P)	8'-0"x12'-0" CONCRETE SLAB AT DOG PARK ENTRANCE.
(Q)	PROTECTIVE COVERS (CARPORTS) BY PREMIER CARPORTS. REFERENCES SPECIFICATIONS. (16) STALLS TOTAL (INCLUDING 2 ADA STALLS). CONTRACTOR TO COORDINATE STRUCTURE LOCATIONS WITH PREMIER CARPORTS.
(R)	NEW GATE ALONG ACCESSIBLE PATH, REF. DETAIL D-A1.1

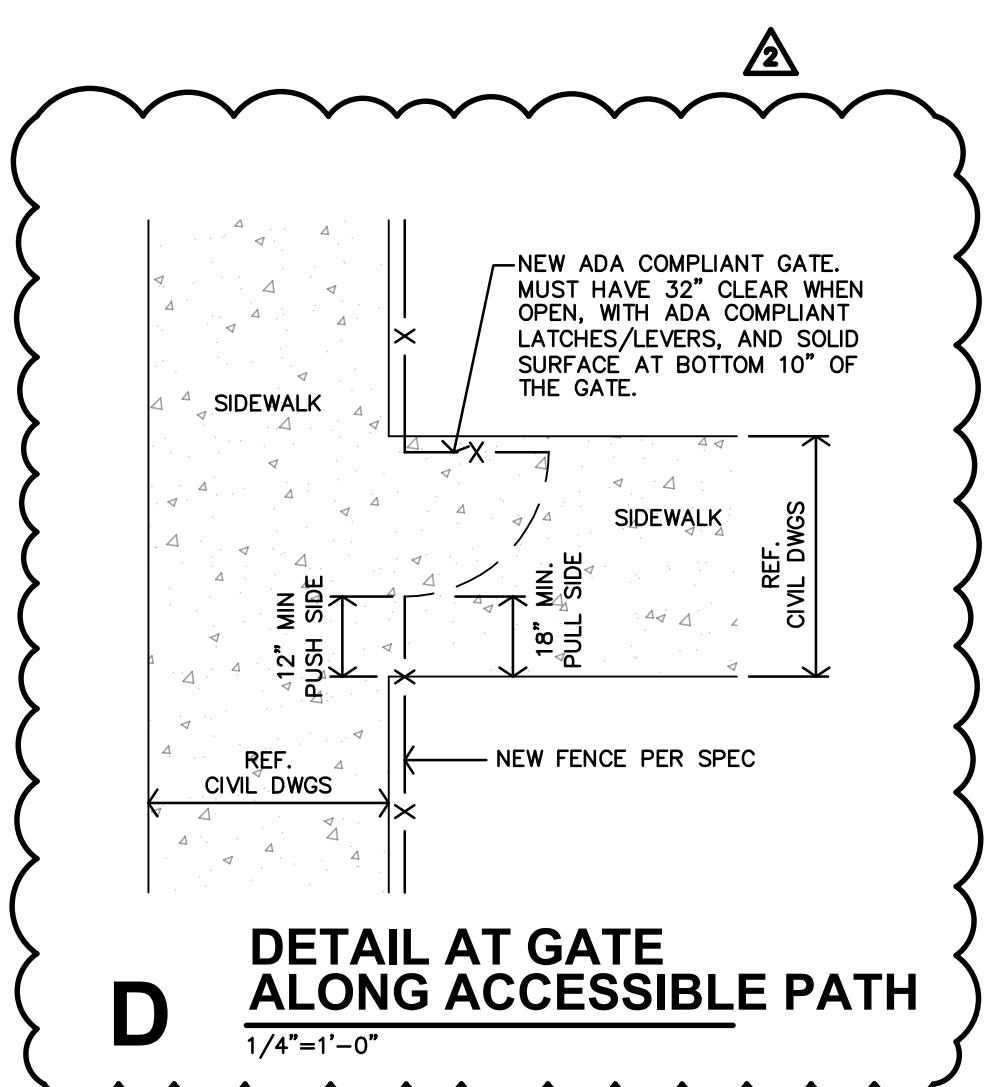
NOTE:
CONC. SLAB SHALL BE 4th, 3,500 PSI W/ 6x6-W1.2W1.2 WWF. SLOPE
ACROSS SLAB NO MORE THAN 24 (1/8" PER 12") OVER 4th. GRANULAR
FILL (MIN.) COMPACTED OVER SUBGRADE, PREP PER SOILS REPORT.

GENERAL SITE PLAN NOTES

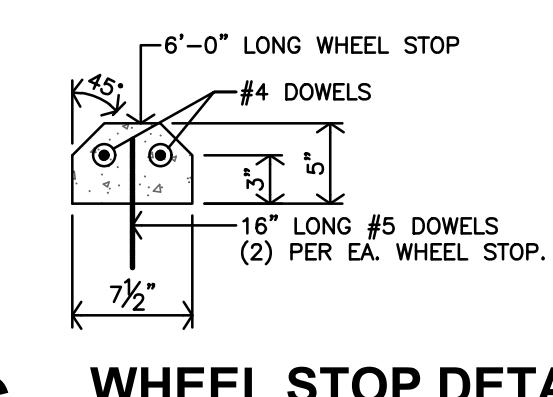
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.
- INSTALL MATERIALS AND FINISHES AS INDICATED, IMPLIED OR AS REQUIRED FOR FINISH INSTALLATION.
- WHERE NEW CONCRETE ABUTS THE BUILDING, PROVIDE 1/4" JOINT & SEAL TOP WITH EPOXY SEALER.
- WHERE ALL EXPANSION JOINTS IN CONCRETE SIDEWALK PAVING AT ±60' O.C. PROVIDE FILLER MATERIAL AND SEALANT. COORDINATE WITH ARCHITECT FOR FINAL LOCATIONS OF EXPANSION JOINTS.
- INSTALL CONTROL JOINTS CONCRETE ROUGHLY SQUARE AND AREAS NOT TO EXCEED 100 S.F.
- EXTERIOR DOOR SWINGS SHALL BE 180° WITHIN 1/2' OF INTERIOR FINISH FLOOR ELEVATION. MAXIMUM SWING DIRECTION SHALL BE 180°.
- PROPOSED GRADE LINE SHALL BE VERIFIED BY GENERAL CONTRACTOR AND CONFIRMED W/ PROPOSED GRADING TO PROVIDE DRAINAGE AWAY FROM THE BUILDING.
- LANDSCAPING, SEDDING, PLANTINGS, ETC. TO BE BY OTHERS. ALL AREAS AROUND THE SITE AND AS INDICATED ON THE SITE PLAN SHALL BE GRADED. NO MATERIAL TOP SOIL AREAS SHALL BE REUSED. ROCKS AND CLUMPS ARE NOT SUITABLE FOR SEDDING.
- NEW PEDESTRIAN SIDEWALKS SHALL NOT HAVE A CROSS SLOPE GREATER THAN 1:50 AND SHALL NOT SLOPES IN THE DIRECTION OF TRAVEL GREATER THAN 1:20.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE UTILITY COMPANIES AND OTHER CONTRACTORS.
- ALL DAMAGED PAVING AND LANDSCAPING CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- DO NOT CONSTRUCT ANY PART OF THE TRASH PAD, ENCLOSURE AND/OR ACCESS TO, TILL, AFTER CONSTRUCTION AND COORDINATION OF LOCAL TRASH SERVICES TO DIFFERENT TRASH COMPANIES, TRUCK AND PICK-UP PROCESSES, CONFIRMATION OF THE TRASH SERVICES AND COORDINATION OF THE DESIGN AND LAYOUT OF THE PAD, ENCLOSURE AND ACCESS MUST BE COMPLETED.
- AT ALL AREAS OF CONCRETE/ASPHALT SIDEWALK, PATIO, PARKING, ETC. THAT ARE EXISTING TO REMAIN:

 - CONTRACTOR TO MAKE REPAIRS AND CORRECTIONS AS REQUIRED TO MAINTAIN THE ADA ACCESSIBLE ROUTE AND MEET ALL ADA STANDARDS FOR PARKING AND ACCESSIBLE ROUTES.
 - CONTRACTOR TO CLEAN-UP AND REPAIR CRACKS DE-WEED, AND TIDY-UP ALL EXISTING CONCRETE/ASPHALT.

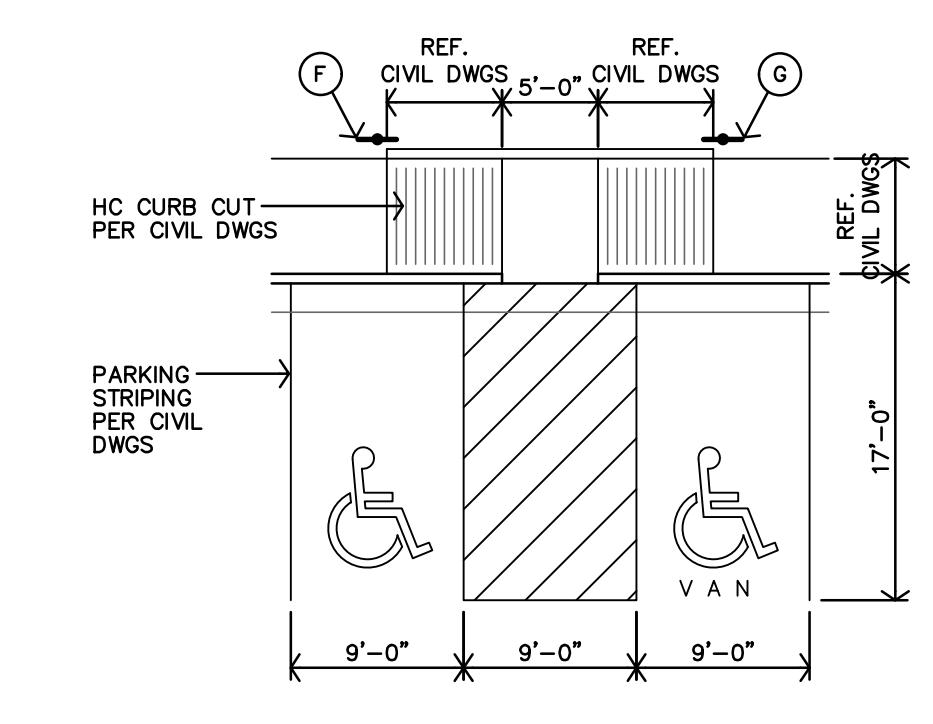
- REF. SHEETS A1.1 & A1.2 FOR LOCATION OF ACCESSIBLE UNITS & HEARING IMPAIRED UNITS.
- EXISTING GROUNDS AREAS/BED - CLEAN OUT ALL NEEDS, DERBIS, OLD MULCH, ETC. ADD NEW LANDSCAPE FABRIC WHERE MISSING & 2" BLACK MULCH (OR OTHER AS SPECIFIED BY OWNER). COORDINATE WITH LOCATION OF NEW PLANTINGS. REF. L1.1, L1.2 & L1.3.



D DETAIL AT GATE
ALONG ACCESSIBLE PATH



C WHEEL STOP DETAIL



B HANDICAPPED PARKING
1"-10'-0"

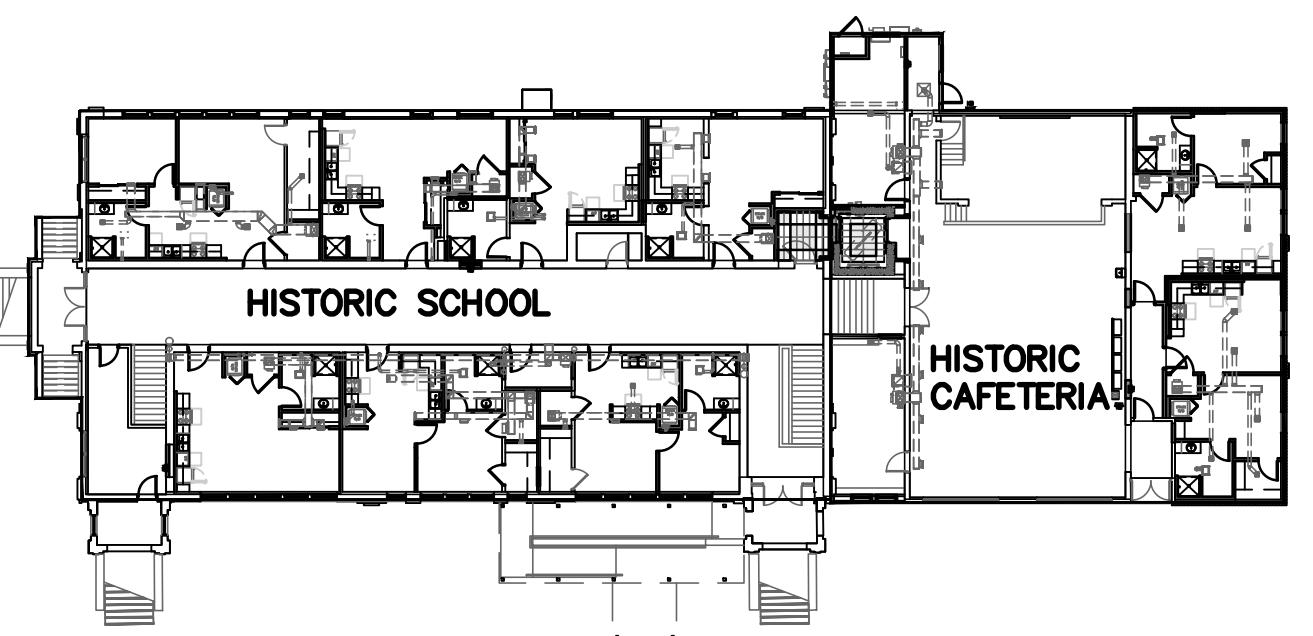


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SHEET NO.:

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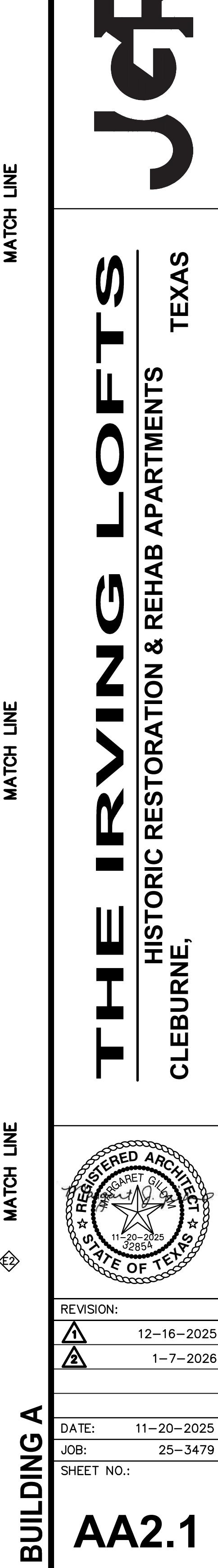
AA2.1



**HISTORIC SCHOOL & CAFETERIA
BLDG A 1ST FLOOR KEY PLAN**

B

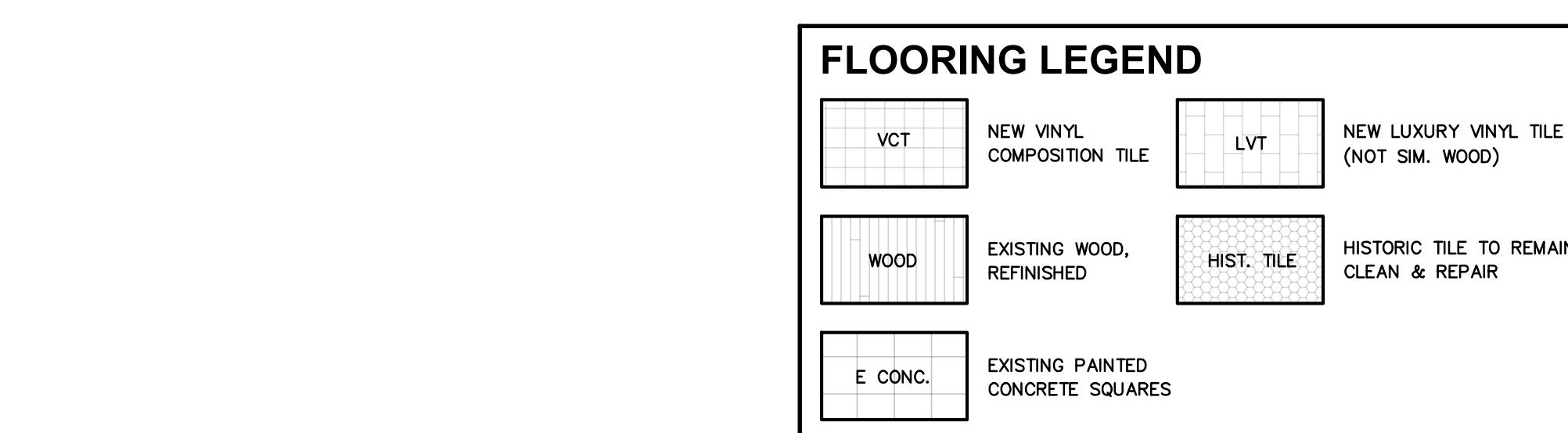
1'-20'-0"



**HISTORIC SCHOOL
BLDG A 1ST FLOOR**

3/16'=1'-0"

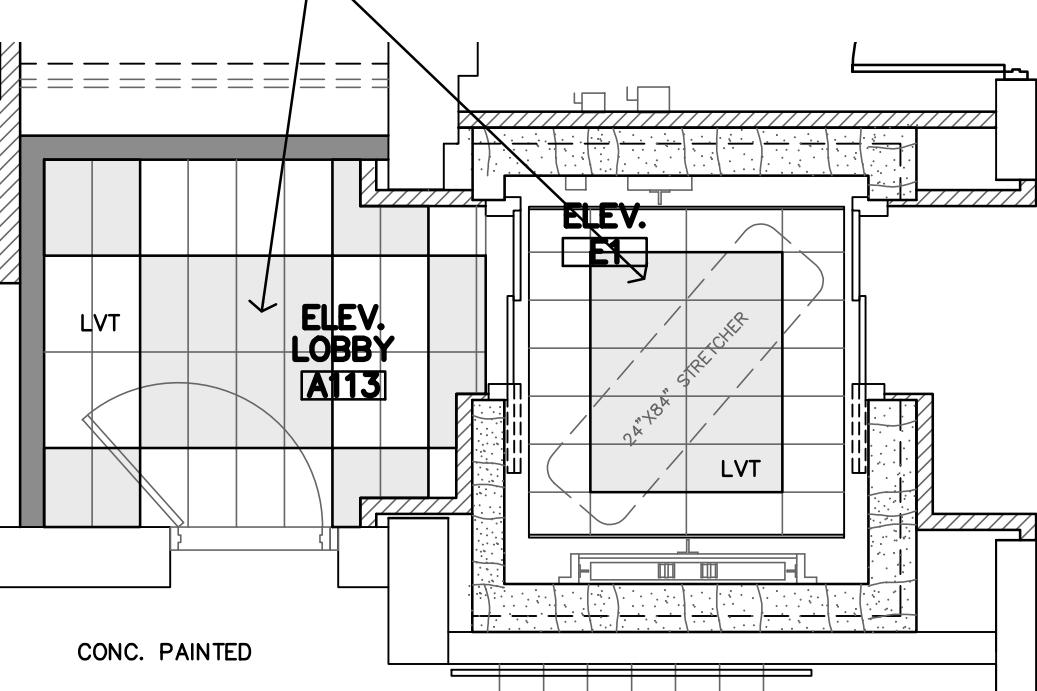
A



PLAN NOTES

1. REF SHEET A2.0 FOR UNIT GENERAL NOTES, PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

SHADED AREA REPRESENTS LVT COLOR 1
OTHER AREAS: LVT COLOR 2



**C ELEV. LOBBY A113 & ELEV. E1
ENLARGED FIN. FLOOR PLAN**

1/4'=1'-0"

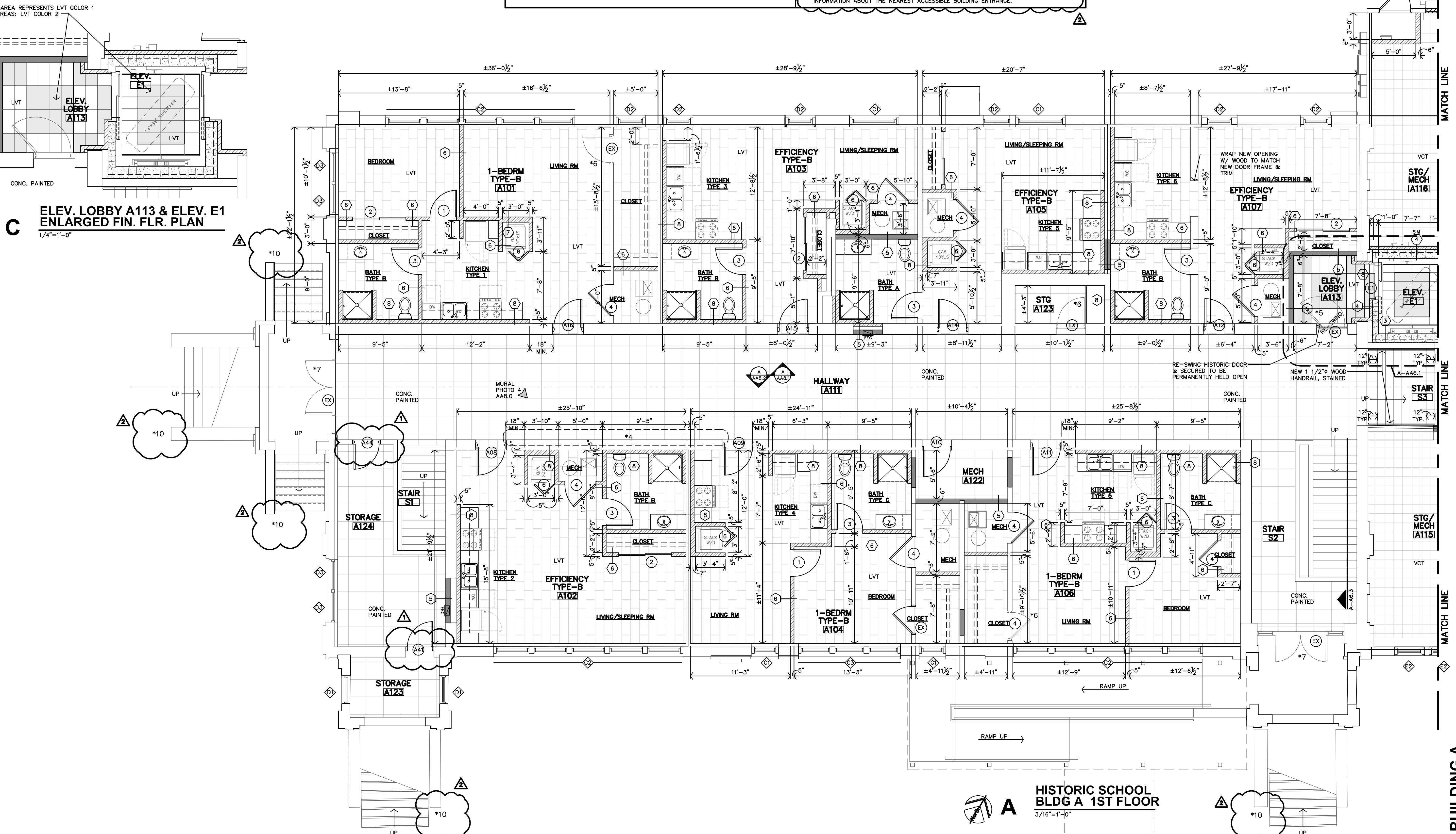
HISTORIC RESTORATION & REHAB NOTES

GENERAL NOTES

- A. TYPES OF FLOORING AND LOCATION MAY VARY. REFERENCE FLOOR PLANS FOR MATERIAL CHANGES AND PATTERNS.
- B. REFER TO OWNER FOR FLOOR PLATE FURNITURE RECOMMENDATIONS AND SELECTIONS. FINAL COLOR TO BE DETERMINED BY OWNER.
- C. REMOVE ANY AND ALL SHEET ROCK, GLUE RESIDUE, ETC. ON THE ORIGINAL PLASTER WALLS. PATCH AND REPAIR AS NEEDED.
- D. EXIST. WOOD BASE AND ALL WOOD TRIM WORK ON WALLS AND AT DOORS AND WINDOWS IS TO BE REMOVED. THE EXPOSED BASE PROFILE ON THE EXIST. BASE IS DAMAGED OR MISSING, REPLACE THE BASE PROFILE TO MATCH EXIST. PAINT.
- E. AT EXIST. PLASTER WALLS AND CEILINGS, CLEAN, REMOVE LOOSE MATERIAL, PATCH, AND REPAIR TO MATCH EXIST. TEXTURE AND PREP FOR PAINT.
- F. PAINT CEILING BEAMS, MOLDING, TRIMWORK, ALL EXPOSED UTILITIES, INCLUDING CONDUIT, PIPING, ETC. TO MATCH PLASTER CEILINGS.
- G. ALL PLUMBING, PIPING (EXCEPT SPRINKLER) AND DUCTWORK SHALL BE CONCEALED IN PAINTED G.B. SOFFITS.
- H. EXISTING WOOD FLOORS ARE TO BE RETAINED AND REFINISHED. THEY ARE TO BE SANDED DOWN, REPAIRED AS NEEDED AND WILL BE STAINED. STAIN COLOR TO BE SELECTED BY ARCHITECT.
- I. EXISTING PAINTED CONCRETE FLOORS SHALL BE RETAINED, REPAIRED AND PATCHED AS NEEDED. REMOVE EXISTING PAINT/SEALANT AND REPAINT/SEAL.
- K. SOME CHALKBOARDS AND TACKBOARDS ARE TO BE RETAINED (THESE ARE IDENTIFIED ON SHEETS AA2.2, AA2.3, AA2.4 AND AA2.5. ALL OTHER CHALKBOARDS AND TACKBOARDS ARE TO BE REMOVED.

SPECIFIC NOTES (LABLED AS #1-#10 ON PLAN)

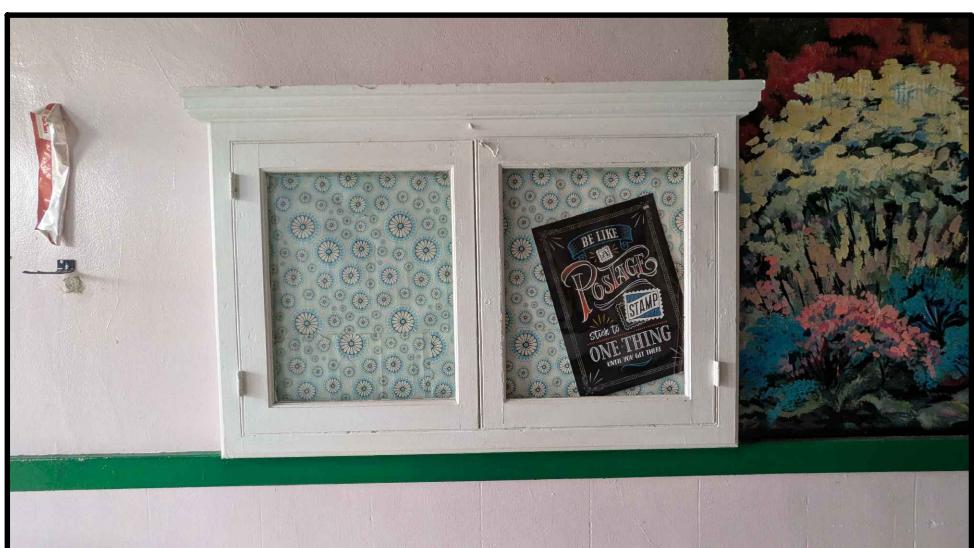
1. ORIGINAL WOOD STAGE AND FLOOR, TO BE RETAINED, PROTECT DURING CONSTRUCTION. EXISTING WOOD FLOORS ARE TO BE REFINISHED, THEY ARE TO BE Sanded DOWN, REPAIRED AS NEEDED. COLOR WILL BE STAIN COLOR OF STAIN TBD.
2. MATCH COLOR TO REMAIN. REPAIR INTERIOR CHALKBOARD/CORKBOARD SURFACE WITH NEW. CLEAN AND REPAIR WOOD TRIM AS NEEDED, PAINT.
3. EXISTING CHALKBOARD, TACKBOARD, CHALK TRAY AND TRIM TO REMAIN. PROTECT DURING CONSTRUCTION. EVALUATE CONDITION OF CHALKBOARD - REPLACE AS NEEDED. ANY EXISTING DRY-ERASE BOARDS SHALL BE REMOVED AND REPLACED WITH NEW BLACK CHALKBOARD SURFACE. ALL TACKBOARD/CORKBOARD MATERIAL SHALL BE REPLACED WITH NEW.
4. EXISTING MURALS BY LOCAL ARTIST SLEEPY READ ARE TO REMAIN. PROTECT DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR NOTIFYING SUBS (PARTICULARLY DEMO SUBS) OF THE IMPORTANCE OF THE MURALS. NEW PAINT ON ADJACENT WALLS SHOULD BE DELAYED AS LONG AS TO NOT PAINT OVER THE EXISTING MURAL, BUT ENSURE THAT ADJACENT WALLS ARE FULLY PAINTED. CLEAN AND REPAIR WOOD TRIM AND CHALK TRAY AS NEEDED, PAINT.
5. REFRESH & REPAIR EXISTING DOOR & FRAME, PAINT. INSTALL NEW HARDWARE. THE DOOR (INTO ELEVATOR LOBBY) IS TO BE FIXED, PERMANENTLY, IN THE OPEN POSITION.
6. EXISTING INTERIOR WOOD DOORS AND FRAMES TO REMAIN: REPAIR AND RESTORE, REPLACE HARDWARE. NEW WOOD DOORS AND FRAMES TO REMAIN: REPAIR AND RESTORE, REPLACE HARDWARE.
7. EXISTING EXTERIOR ALUM. STORMDOOR AND WOOD DOORS/FRAMES TO REMAIN: REPAIR AND RESTORE TO SMOOTH OPERATING ORDER. REPLACE DOORS TO BE RE-KEYED FOR NEW OWNER. COORDINATE NEW KEY FOB SYSTEM WITH OWNER.
8. PAINT SHUFFLE BOARD STENCIL ON WOOD STAGE FLOOR. BEGINNER COURT DIMENSIONS.
9. PAINT COLOR TBD.
10. NON-ACCESSIBLE BUILDING ENTRANCES SHALL PROVIDE DIRECTIONAL SIGNAGE WITH INFORMATION ABOUT THE NEAREST ACCESSIBLE BUILDING ENTRANCE.





REVISION:
1-7-2026

DATE: 11-20-2025
JOB: 25-3479
SHEET NO.:



1 #A207 HALLWAY
MESSAGE BOARD PHOTOGRAPH
NO SCALE

FLOORING LEGEND

VCT	NEW VINYL COMPOSITION TILE	LVT	NEW LUXURY VINYL TILE (NOT SIM. WOOD)
WOOD	EXISTING WOOD, REFINISHED	HIST. TILE	HISTORIC TILE TO REMAIN, CLEAN & REPAIR
E CONC.	EXISTING PAINTED CONCRETE SQUARES		

PLAN NOTES

1. REF SHEET A2.0 FOR UNIT GENERAL NOTES, PARTITION SCHEDULE, KITCHEN/BATH MATRIX AND STANDARD DETAILS.

HISTORIC RESTORATION & REHAB NOTES

GENERAL NOTES

- A. TYPES OF FLOORING AND LOCATION MAY VARY. REFERENCE FLOOR PLANS FOR MATERIAL CHANGES AND PATTERNS.
- B. FINISHES PER ELEVATOR MANUFACTURER RECOMMENDATIONS AND SELECTIONS. FINAL COLORS WILL BE DETERMINED BY OWNER.
- C. REMOVE ALL AND ALL SECRET ROCK, GLUE RESIDUE, ETC. ON THE ORIGINAL PLASTER WALLS. PATCH AND REPAIR AS NEEDED. PAINT.
- D. EXIST. WOOD BASE AND ALL WOOD TRIM WORK ON WALLS AND AT DOORS AND WINDOWS IS TO REMAIN, WHERE EXPOSED. UNITS ON HALLWAYS, WHERE BASE IS DAMAGED OR MISSING, REPAIR AS NEEDED. PAINT AS NEEDED. PAINT.
- E. AT EXIST. PLASTER WALLS AND CEILINGS, CLEAN, REMOVE LOOSE MATERIAL, PATCH, AND REPAIR TO MATCH EXIST. TEXTURE AND PREP FOR PAINT.
- F. PAINT CEILING BEAMS, MOLDING, TRIMWORK, ALL EXPOSED UTILITIES, INCLUDING CONDUIT, J-BOXES, SPRINKLER PIPING, ETC. TO MATCH PLASTER CEILING.
- G. ALL EXPOSED CONDUIT (EXCEPT SPRINKLER) AND DUCTWORK SHALL BE CONCEALED IN PAINTED GB. SOFFITS.
- H. EXISTING WOOD FLOORS ARE TO BE RETAINED AND REFINISHED. THEY ARE TO BE Sanded DOWN, REPAIRED AS NEEDED AND WILL BE STAINED. STAIN COLOR TO BE SELECTED BY ARCHITECT/OWNER.
- I. EXISTING PAINTED CONCRETE FLOORS SHALL BE RETAINED, REPAIRED AND PATCHED AS NEEDED. REMOVE EXISTING PAINT/SEALANT AND REPAINT/SEAL.
- K. SOME CHALKBOARDS AND TACKBOARDS ARE TO BE RETAINED (THESE ARE IDENTIFIED ON SHEETS AA2.2, AA2.3, AA2.4 AND AA2.5. ALL OTHER CHALKBOARDS AND TACKBOARDS ARE TO BE REMOVED.

SPECIFIC NOTES (LABELED AS *1-*10 ON PLAN)

1. ORIGINAL WOOD STAGE AND FLOOR, TO BE RETAINED, PROTECT DURING CONSTRUCTION. EXISTING WOOD FLOORS ARE TO BE REFINISHED. COLOR OF STAIN TBD.
2. MESSAGE BOAR TO REMAIN/REPLACE INTERIOR TACKBOARD/CORKBOARD SURFACE WITH NEW. COLOR OF STAIN TO BE DETERMINED BY OWNER.
3. EXISTING CHALKBOARD, TACKBOARD, CHALK TRAY AND TRIM TO REMAIN. PROTECT DURING CONSTRUCTION. EVALUATE CONDITION OF CHALKBOARD - REPLACE AS NEEDED. ANY EXISTING DRY-ERASE BOARDS SHALL BE REMOVED AND REPLACED WITH NEW BLACK CHALKBOARD SURFACE. ALL TACKBOARD/CORKBOARD MATERIAL SHALL BE REPLACED WITH NEW.
4. EXISTING MURALS BY LOCAL ARTIST SLEEPY READ ARE TO REMAIN. PROTECT DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR NOTIFYING SUBS (PARTICULARLY DEMO SUBS) OF THE IMPORTANCE OF THE MURALS. NEW PAINT ON ADJACENT WALLS SHOULD BE DELICATELY CUT IN AS TO NOT PAINT OVER THE EXISTING MURAL, BUT ENSURE THAT ADJACENT WALLS ARE FULLY PAINTED. CLEAN AND REPAIR WOOD TRIM AND CHALK TRAY AS NEEDED. REPAINT.
5. REFRESH & REPAIR EXISTING DOOR & FRAME, PAINT. INSTALL NEW HARDWARE. THIS DOOR (INTO ELEVATOR LOBBY) IS TO BE FIXED, PERMANENTLY, IN THE OPEN POSITION.
6. EXISTING INTERIOR WOOD DOORS AND FRAMES TO REMAIN. REPAIR AND RESTORE. REPLACE HARDWARE WITH NEW AND REPAINT DOORS/FRAMES.
7. EXISTING EXTERIOR ALUM. STOREFRONT AND H.M. DOORS/FRAMES TO REMAIN. REPAIR AND RESTORE. EXTERIOR DOORS TO BE REMOVED AND REPLACE DOORS TO BE RE-KEYED FOR NEW OWNER. COORDINATE NEW KEY FOB SYSTEM WITH OWNER.
8. PAINT SHUFFLE BOARD STENCIL ON WOOD STAGE FLOOR. BEGINNER COURT DIMENSIONS. PAINT COLOR TBD.
9. INSTALLED NEW MURALS IN HALLWAY. SCREEN FOR PROTECTION. REFERENCE ELEVATIONS.
10. INSTALLED NEW BUILDING ENTRANCE SIGN. PROVIDE DIRECTIONAL SIGNAGE WITH INFORMATION ABOUT THE NEAREST ACCESSIBLE BUILDING ENTRANCE.

