

PAVING, STORM DRAIN, WATER AND SANITARY SEWER CONSTRUCTION PLANS

for

IRVING LOFTS

CLEBURNE, TEXAS

OWNER/DEVELOPER:

OVERLAND PROPERTY GROUP
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PREPARED BY:



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VICINITY MAP
 NO SCALE

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SOURCE BENCHMARK:

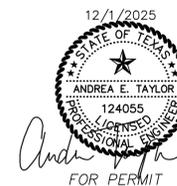
NATIONAL GEODETIC SURVEY MONUMENT #1293 - AT CLEBURNE, JOHNSON COUNTY, AT THE NORTHEAST CORNER OF THE CROSSING OF ROBERTS AND EAST CHAMBERS STREET, AT THE WEST SIDE OF THE POST OFFICE, AND IN THE TOP OF THE BASE OF THE SECOND COLUMN NORTH OF THE MAIN ENTRANCE. A STANDARD DISK, STAMPED J 293 1934. NOTE - THE POST OFFICE IS LOCATED BETWEEN EAST HENDERSON AND EAST CHAMBERS STREET, THE MAIN ENTRANCE IS ON THE EAST SIDE OF SOUTH ROBINSON STREET IN CLEBURNE.
 ELEV: 768.13'
 NAD83 TXNC (GRID)

SITE BENCHMARK:

BM #1 - "X" CUT IN SQUARE LOCATED ON THE EAST CURB LINE OF N ROBINSON ST AND BEING JUST SOUTH OF BRYAN AVE. BENCHMARK IS LOCATED IN FRONT OF A RESIDENCE AT 1212 N ROBINSON ST, AT THE PC OF CURB LINE LOCATED AT THE SOUTHEAST INTERSECTION CORNER OF SAID ROBINSON ST AND BRYAN AVE.
 N: 796.91'
 NAD83 TXNC (GRID)
 N: 6817103.14'
 E: 2311423.03'

BM #2 - "X" CUT IN SQUARE LOCATED ON THE WEST CURB LINE OF N ANGLIN ST, BENCHMARK LOCATED IN FRONT OF THE RESIDENCE LOCATED AT 1017 N ANGLIN ST.
 ELEV: 795.24'
 NAD83 TXNC (GRID)
 N: 6816789.41'
 E: 2311163.01'

BEARINGS & COORDINATE VALUES SHOWN HEREON ARE IN REFERENCE TO THE NAD83 - TEXAS COORDINATE SYSTEM - NORTH CENTRAL ZONE, 4202, BASED ON GPS OBSERVATIONS UTILIZING THE LEICA GPS REFERENCE NETWORK. ALL DISTANCES SHOWN HEREON WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000089466603-(0.999910541400), BASE POINT OF 0,0,0.



GENERAL NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF CLEBURNE STANDARD SPECIFICATIONS.
- THE LOCATIONS OF ALL EXISTING UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS OR PROVIDED BY VARIOUS OWNERS OF THE FACILITIES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF VERTICAL AND HORIZONTAL LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. SUCH VERIFICATION SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS. NOTIFY THE PROJECT INSPECTOR PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WITH FACILITIES IN THE PROJECT AREA 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES TO RELOCATE, BRACE, AND SUPPORT ANY UTILITY IN CONFLICT WITH THE PROPOSED CONSTRUCTION. ALL ASSOCIATED WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS. ANY REPAIR TO THE DAMAGED EXISTING UTILITIES SHALL BE AT THE COST OF CONTRACTOR.
- PUBLIC OR PRIVATE UTILITY LINES MAY EXIST THAT ARE NOT SHOWN ON THE CONSTRUCTION PLANS. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE INTEGRITY OF THESE LINES. SUCH WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS.
- A TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) PERMIT WILL BE REQUIRED WHEN ENTERING/CROSSING RIGHT-OF-WAY OF TXDOT. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING TXDOT 48 HOURS PRIOR TO CONSTRUCTION.
- TRENCH SAFETY PLAN SHALL BE STAMPED, SIGNED, AND DATED BY A LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE APPROPRIATE JURISDICTIONAL AUTHORITIES PRIOR TO CONSTRUCTION.
- THE "STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" SHALL BE SUBMITTED TO THE APPROPRIATE JURISDICTIONAL AUTHORITIES PRIOR TO CONSTRUCTION. A "NOTICE OF INTENT" (NOI) SHALL BE INCLUDED IN THE SUBMITTAL IF THE PROJECT IS 5 ACRES IN SIZE OR LARGER. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING A NOTICE OF TERMINATION (NOT) WITHIN 30 DAYS OF THE PROJECT COMPLETION.
- A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE APPROPRIATE JURISDICTIONAL AUTHORITIES FOR APPROVAL FOR ANY UTILITY AND STREET WORK THAT WILL CAUSE LANE CLOSURES. AT LEAST ONE LANE TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.
- THE CONTRACTOR SHALL COORDINATE CONSTRUCTION, ADMINISTRATION, AND INSPECTION ACTIVITIES WITH THE PROJECT INSPECTOR IN ACCORDANCE WITH CITY REGULATIONS.
- ALL PRIVATE WATER AND SANITARY SEWER WORK REQUIRED WITHIN THE PRIVATE PROPERTY SHALL BE PERFORMED BY A LICENSED PLUMBER. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED PROPERTY OWNERS. SURFACE RESTORATION TO AN EQUAL OR BETTER CONDITION SHALL BE PERFORMED IMMEDIATELY AFTER THE WATER AND SEWER WORK IS COMPLETE.
- THE CONTRACTOR SHALL AVOID DAMAGING EXISTING SPRINKLER SYSTEMS THAT MAY BE IN THE CONSTRUCTION AREA. REMOVED OR DAMAGED SPRINKLER SYSTEMS SHALL BE REPAIRED BY A LICENSED IRRIGATOR. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS.
- THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DAMAGING ANY LANDSCAPING THAT MAY BE IN THE CONSTRUCTION AREA. REPLACING DAMAGED LANDSCAPING SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.
- REMOVAL OF TREES AND EXISTING STRUCTURES SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLANS OR BID PROPOSAL.
- ALL TRENCHES SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL PROVIDE ALL FENCING AND/OR BARRICADES TO MAINTAIN PUBLIC SAFETY AROUND THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL CLEAN UP DIRT AND DEBRIS IN THE PAVED AREAS TO ENSURE THE STREET IS IN DRIVABLE CONDITION AT THE END OF EACH WORKING DAY.
- EXISTING MAIL BOXES SHALL BE PROTECTED AND MAIL SERVICE SHALL NOT BE INTERRUPTED.
- REMOVAL AND HAUL-OFF EXCESS CONSTRUCTION MATERIALS FROM THE CONSTRUCTION SITE SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLANS OR BID PROPOSAL.
- THE CONTRACTOR SHALL AVOID REMOVING OR DAMAGING EXISTING FENCES. REMOVED OR DAMAGED FENCES SHALL BE REPLACED OR RESTORED WITH SAME TYPE, STYLE, AND MATERIAL TO AN EQUAL OR BETTER CONDITION. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLANS OR BID PROPOSAL.
- TEMPORARY FENCES SHALL BE INSTALLED TO PROTECT PRIVATE PROPERTIES WHEN THE CONSTRUCTION WORK IS PERFORMED WITHIN THE EASEMENTS. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLANS OR BID PROPOSAL.

WATER NOTES:

- ALL WATER MAINS USING PVC PIPE SHALL BE IN COMPLIANCE WITH AWWA C900 OR C905.
- CLASS "C" EMBEDMENT SHALL BE USED FOR ALL WATER MAINS.
- A MINIMUM COVER OF FORTY-TWO INCHES (42") OVER THE WATER PIPE AS MEASURED FROM THE TOP OF THE PIPE TO THE PROPOSED FINISHED GRADES.
- ALL VALVE BOXES SHALL BE ADJUSTED UP TO THE FINISHED PAVEMENT GRADE. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS

OTHERWISE INDICATED ON THE CONSTRUCTION PLANS OR BID PROPOSAL.

SANITARY SEWER NOTES:

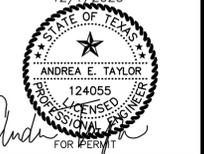
- ALL SANITARY SEWER MAINS USING PVC PIPE SHALL BE SDR-26, HEAVY WALL, IN COMPLIANCE WITH ASTM D-3034 LATEST REVISION.
- CLASS "B" EMBEDMENT SHALL BE USED FOR ALL SANITARY SEWER MAINS.
- THE CONTRACTOR SHALL ENSURE ALL THE EXISTING SEWER SERVICES CAN BE RECONNECTED OR REROUTED TO THE NEW MAINS. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION SO THE MODIFICATION CAN BE MADE IF NECESSARY.
- THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION TELEVISION INSPECTION OF ALL THE EXISTING SEWER LINES TO BE ABANDONED OR REHABILITATED BY OTHER THAN OPEN CUT TO VERIFY THE SERVICE LOCATIONS AND LINE CONDITIONS. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLANS OR BID PROPOSAL.
- ALL SEWER SERVICES SHALL BE REPLACED WITH 4" PVC FROM THE NEW MAIN TO THE PROPERTY LINE OR EASEMENT LINE UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.
- THE CONTRACTOR SHALL VERIFY THE EXISTING SANITARY SEWER SLOPE PRIOR TO MAKING CONNECTIONS. SLOPE OF THE NEW MAIN AND THE EXISTING MAIN SHALL MATCH UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN. A REDUCER SHALL BE USED WHEN A LARGER SIZE LINE CONNECTS TO A SMALLER SIZE LINE.
- THE CONTRACTOR SHALL VERIFY THE SIZE, ELEVATION, AND MATERIAL OF THE EXISTING LINE PRIOR TO ORDERING PREFABRICATED MANHOLE.
- REWORK THE INVERT WHERE TYING INTO AN EXISTING MANHOLE.
- BYPASS PUMPING REQUIRED FOR PERFORMING CONSTRUCTION WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLANS OR BID PROPOSAL.
- ALL MANHOLES AND CLEANOUTS SHALL BE ADJUSTED UP TO THE FINISHED PAVEMENT GRADE. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLANS OR BID PROPOSAL.

**IRVING LOFTS
 CLEBURNE, TEXAS
 GENERAL NOTES**



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12/1/2025



PROJECT NUMBER: 3949-00-02
 PROJECT MANAGER: A. TAYLOR
 DRAWN BY: B. SHELTON
 CHECKED BY: A. TAYLOR
 ISSUE DATE: 12/1/2025

SOURCE BENCHMARK:

NATIONAL GEODETIC SURVEY MONUMENT #1293 - AT
 CLEBURNE, JOHNSON COUNTY, AT THE NORTHEAST CORNER OF
 THE CROSSING OF ROBERTS AND EAST CHAMBERS STREET, AT
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REV.	DATE	DESCRIP.	BY

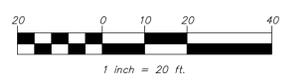
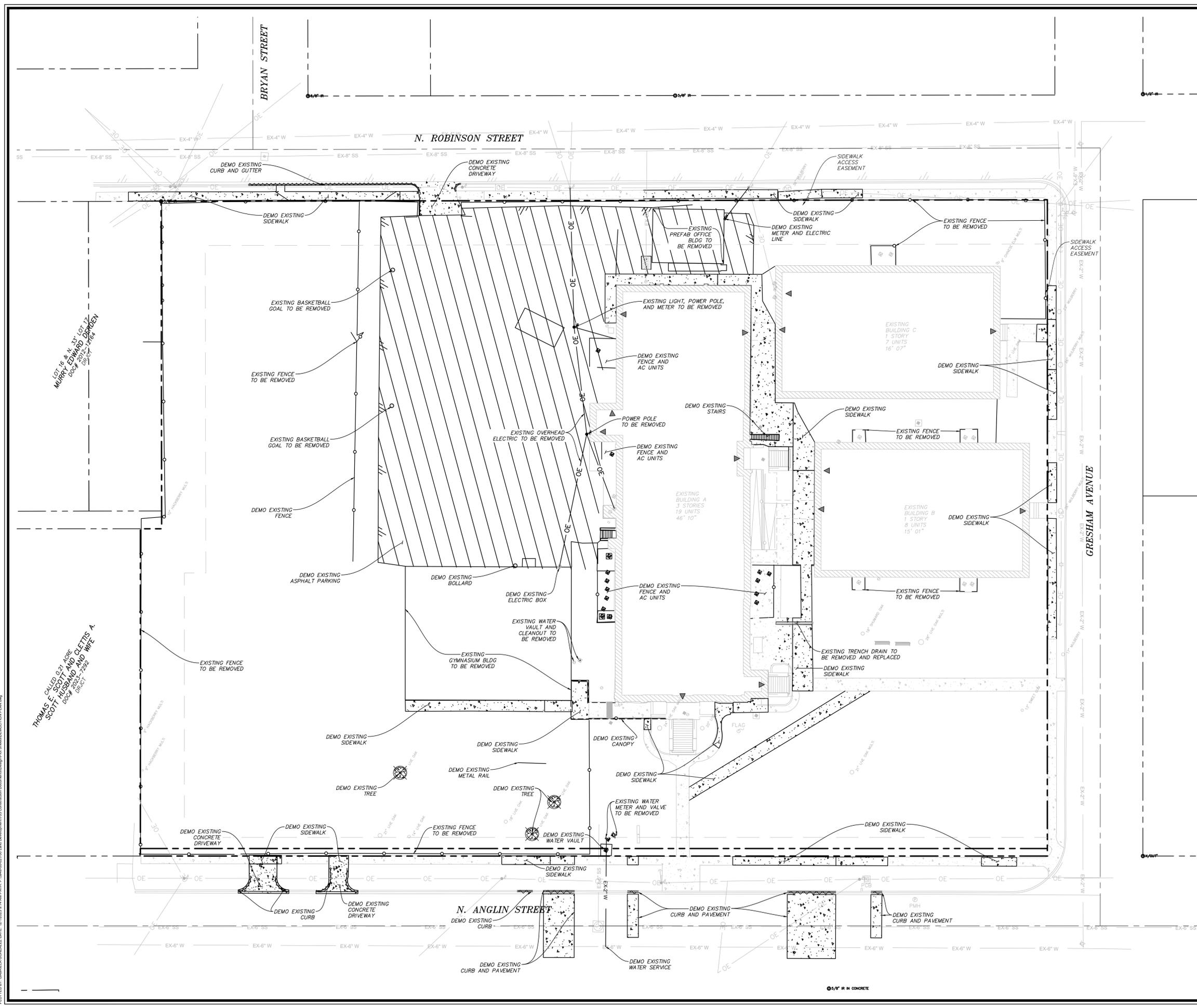
SHEET CONTENT:

GENERAL NOTES

SHEET NO:

C1.0

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- LEGEND:**
- SAWCUT & REMOVE EXISTING CURB & GUTTER
 - REMOVE EXISTING CONCRETE PAVEMENT
 - REMOVE EXISTING TREE

- NOTES:**
1. CONTRACTOR TO DISPOSE OF ALL DEMOLITION DEBRIS AT AN APPROVED DISPOSAL FACILITY.
 2. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND PROTECTING THEM THROUGHOUT CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR SITE DEMOLITION.
 4. ALL WASTE WATER AND SANITARY SEWER SERVICES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS.
 5. REFER TO SITE AND GRADING PLAN FOR CONSTRUCTION LIMITS.
 6. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE PATTERNS.
 7. EXISTING SIDEWALKS TO BE DEMOLISHED AND REPLACED AS NEEDED TO MEET CURRENT ADA STANDARDS.

GENERAL UTILITY NOTES:

ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT NEITHER THE OWNER NOR THE ENGINEER ASSUME ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

CALL TEXAS 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

IRVING LOFTS CLEBURNE, TEXAS DEMOLITION PLAN

mma
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12/1/2025
STATE OF TEXAS
ANDREA E. TAYLOR
124055
REGISTERED PROFESSIONAL ENGINEER
FOR PERMIT

PROJECT NUMBER:	3948-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

REV.	DATE	DESCRIP.	BY

DEMOLITION PLAN

SHEET NO: **C2.0**

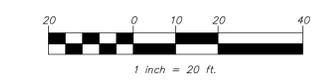
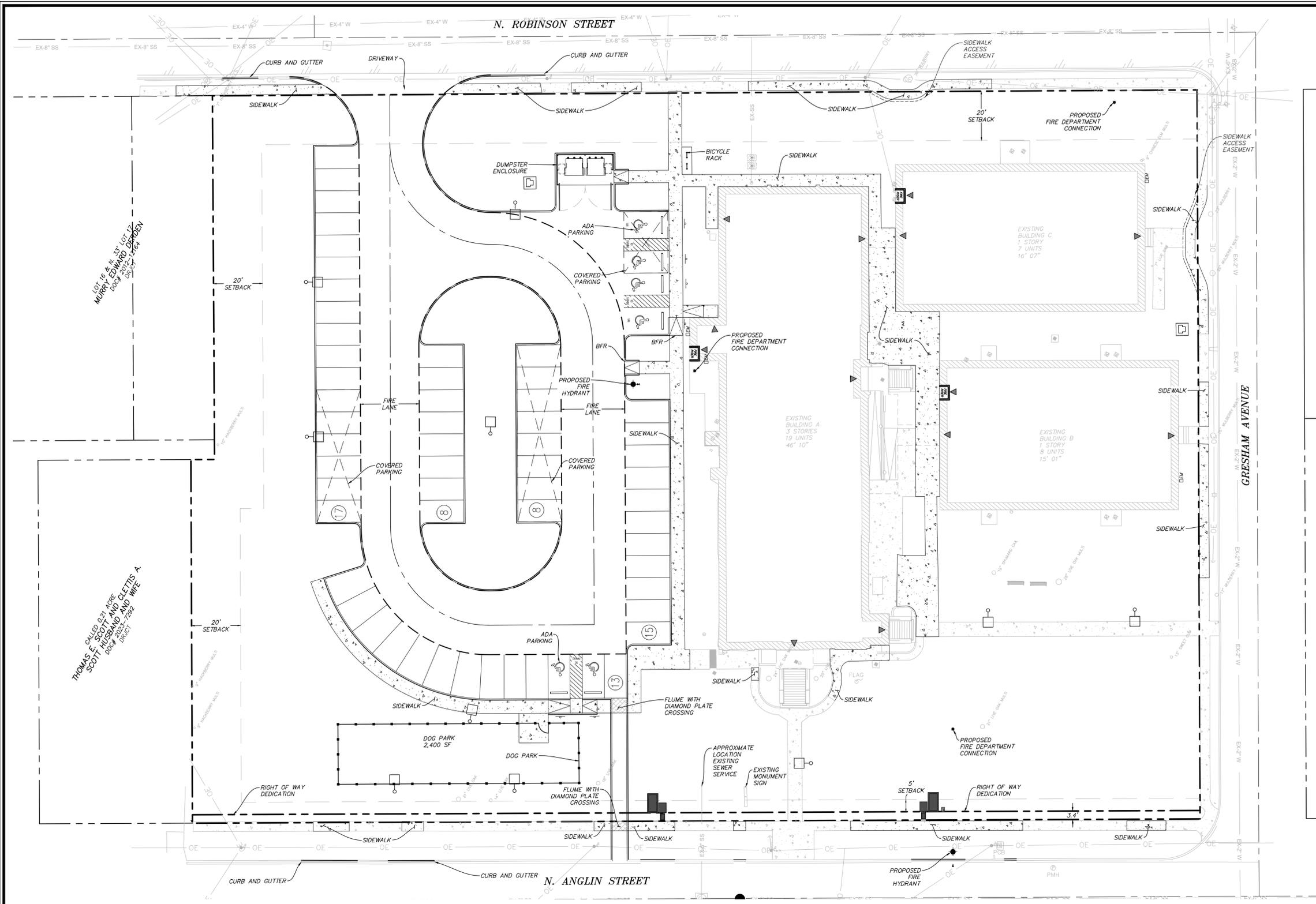
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PLOTTED BY: GABRIELA GONZALEZ DATE: 12/10/2025 8:14 AM PATH: P:\344-00-02\703-Construction Documents\Drawings\Sheet\DEMOLITION PLAN.dwg

CALLED 0.21 ACRES
THOMAS E. SCOTT AND CLETTIS A.
SCOTT HUSBAND AND WIFE
DOB# 032-1-1982
DOB# 032-1-1982

LOT 12 & N. 337
MURPHY EDWARD
DOB# 032-1-1947

5/8" IR IN CONCRETE



LEGEND:

FIRE LANE	---
ACCESSIBLE PARKING SPACE	♿
SIGN	⊕
WHEEL STOP	▬
EXISTING SANITARY SEWER	EX-SS
EXISTING SEWER MANHOLE	⊙
EXISTING WATER LINE	EX-W
EXISTING WATER VALVE	⊕
EXISTING FIRE HYDRANT	⊕
PROPOSED FIRE HYDRANT	⊕
EXISTING OVERHEAD ELECTRIC	OE
EXISTING GRATE INLET	⊕
EXISTING CLEANOUT	⊕
EXISTING FLUME AND PLATE	⊕
EXISTING AC UNIT	⊕
EXISTING POWER POLE	⊕
PARKING COUNT	⊕

NOTES:

1. TYPICAL PARKING STALL IS 18' LONG X 9' WIDE.
2. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
4. REFER TO SHEET C1.0 FOR GENERAL NOTES.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
6. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.

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12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 FOR PERMIT

PROJECT NUMBER: 3949-00-02
 PROJECT MANAGER: A. TAYLOR
 DRAWN BY: B. SHELTON
 CHECKED BY: A. TAYLOR
 ISSUE DATE: 12/1/2025

ADDRESS	1108 N. ANGLIN STREET, CLEBURNE, TEXAS LOT 1, BLOCK 1, IRVING LOFTS ADDITION		
LOT AREA	2.770 ACRES, 120,661.2 SQUARE FEET		
ZONING	HIGH-DENSITY RESIDENTIAL DISTRICT & NEIGHBORHOOD TRANSITION OVERLAY		
USE	MULTI-FAMILY		
BUILDING AREA COVERAGE	19.00%		
BUILDING FLOOR AREA	BLDG A=24,775 SF	BLDG B=5,780 SF	BLDG C= 5,922 SF

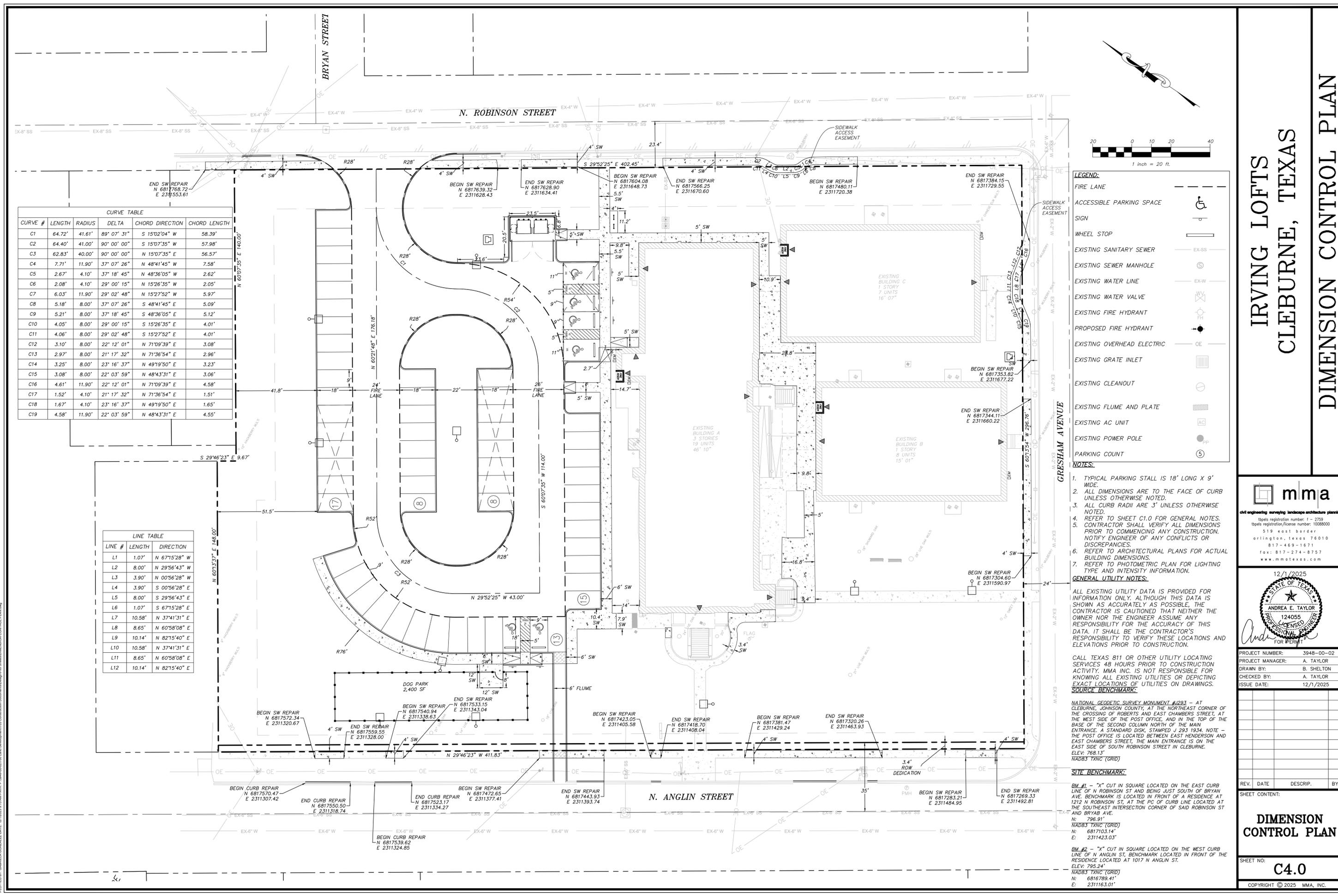
	REQUIREMENT	#	SPACES REQUIRED	SPACES PROVIDED
PARKING	1.75 PS / UNIT	34	60	
UNCOVERED PARKING			45	45
COVERED PARKING	25% REQUIRED PARKING		15	16
ADA PARKING	(51-75 PS)		3	6
VAN ACCESSIBLE	(1 PER 6 ADA)		1	2
TOTAL			60	61

PLOTTED BY: GABRIELA GONZALEZ DATE: 12/10/2025 8:14 AM PATH: P:\344-00-02\700 Land Development\303 Construction Documents\Drawings\Sheet\Overall Site Plan.dwg

OVERALL SITE PLAN

SHEET NO: **C3.0**

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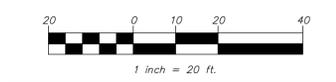


CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	64.72'	41.61'	89° 07' 31"	S 15°02'04" W	58.39'
C2	64.40'	41.00'	90° 00' 00"	S 15°07'35" W	57.98'
C3	62.83'	40.00'	90° 00' 00"	N 15°07'35" E	56.57'
C4	7.71'	11.90'	37° 07' 26"	N 48°41'45" W	7.58'
C5	2.67'	4.10'	37° 07' 26"	N 48°36'05" W	2.62'
C6	2.08'	4.10'	29° 00' 15"	N 15°26'35" W	2.05'
C7	6.03'	11.90'	29° 02' 48"	N 15°27'52" W	5.97'
C8	5.18'	8.00'	37° 07' 26"	S 48°41'45" E	5.09'
C9	5.21'	8.00'	37° 18' 45"	S 48°36'05" E	5.12'
C10	4.05'	8.00'	29° 00' 15"	S 15°26'35" E	4.01'
C11	4.06'	8.00'	29° 02' 48"	S 15°27'52" E	4.01'
C12	3.10'	8.00'	22° 12' 01"	N 71°09'39" E	3.08'
C13	2.97'	8.00'	21° 17' 32"	N 71°36'54" E	2.96'
C14	3.25'	8.00'	23° 16' 37"	N 49°19'50" E	3.23'
C15	3.08'	8.00'	22° 03' 59"	N 48°43'31" E	3.06'
C16	4.61'	11.90'	22° 12' 01"	N 71°09'39" E	4.58'
C17	1.52'	4.10'	21° 17' 32"	N 71°36'54" E	1.51'
C18	1.67'	4.10'	23° 16' 37"	N 49°19'50" E	1.65'
C19	4.58'	11.90'	22° 03' 59"	N 48°43'31" E	4.55'

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	1.07'	N 67°15'28" W
L2	8.00'	N 29°56'43" W
L3	3.90'	N 00°56'28" W
L4	3.90'	S 00°56'28" E
L5	8.00'	S 29°56'43" E
L6	1.07'	S 67°15'28" E
L7	10.58'	N 37°41'31" E
L8	8.65'	N 60°58'08" E
L9	10.14'	N 82°15'40" E
L10	10.58'	N 37°41'31" E
L11	8.65'	N 60°58'08" E
L12	10.14'	N 82°15'40" E



LEGEND:

FIRE LANE	---
ACCESSIBLE PARKING SPACE	♿
SIGN	○
WHEEL STOP	▬
EXISTING SANITARY SEWER	EX-SS
EXISTING SEWER MANHOLE	⊙
EXISTING WATER LINE	EX-W
EXISTING WATER VALVE	⊕
EXISTING FIRE HYDRANT	⊙
PROPOSED FIRE HYDRANT	⊙
EXISTING OVERHEAD ELECTRIC	OE
EXISTING GRATE INLET	⊕
EXISTING CLEANOUT	⊕
EXISTING FLUME AND PLATE	▨
EXISTING AC UNIT	AC
EXISTING POWER POLE	⊕
PARKING COUNT	⊕

- NOTES:**
1. TYPICAL PARKING STALL IS 18' LONG X 9' WIDE.
 2. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 3. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
 4. REFER TO SHEET C1.0 FOR GENERAL NOTES.
 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
 6. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
 7. REFER TO PHOTOMETRIC PLAN FOR LIGHTING TYPE AND INTENSITY INFORMATION.
- GENERAL UTILITY NOTES:**
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SOURCE BENCHMARK:

NATIONAL GEODETIC SURVEY MONUMENT #1293 - AT CLEBURNE, JOHNSON COUNTY, AT THE NORTHEAST CORNER OF THE CROSSING OF ROBERTS AND EAST CHAMBERS STREET, AT THE WEST SIDE OF THE POST OFFICE, AND IN THE TOP OF THE BASE OF THE SECOND COLUMN NORTH OF THE MAIN ENTRANCE. A STANDARD DISK, STAMPED J 293 1934. NOTE - THE POST OFFICE IS LOCATED BETWEEN EAST HENDERSON AND EAST CHAMBERS STREET. THE MAIN ENTRANCE IS ON THE EAST SIDE OF SOUTH ROBINSON STREET IN CLEBURNE. ELEV: 768.13' NAD83 TXNC (GRID)

SITE BENCHMARK:

BM #1 - "X" CUT IN SQUARE LOCATED ON THE EAST CURB LINE OF N ROBINSON ST AND BEING JUST SOUTH OF BRYAN AVE. BENCHMARK IS LOCATED IN FRONT OF A RESIDENCE AT 1212 N ROBINSON ST. AT THE PO OF CURB LINE LOCATED AT THE SOUTHEAST INTERSECTION CORNER OF SAID ROBINSON ST AND BRYAN AVE. N: 796.91' NAD83 TXNC (GRID) N: 6817103.14' E: 2311423.03'

BM #2 - "X" CUT IN SQUARE LOCATED ON THE WEST CURB LINE OF N ANGLIN ST, BENCHMARK LOCATED IN FRONT OF THE RESIDENCE LOCATED AT 1017 N ANGLIN ST. ELEV: 795.24' NAD83 TXNC (GRID) N: 6816789.41' E: 2311163.01'

IRVING LOFTS
CLEBURNE, TEXAS
DIMENSION CONTROL PLAN

mma
 civil engineering surveying landscape architecture planning
 tpeles registration number: 1 - 2759
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 519 east border
 arlington, texas 76010
 817-469-1671
 fax: 817-274-8757
 www.mmatus.com

12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED SURVEYOR
 FOR PERMIT

PROJECT NUMBER:	3949-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

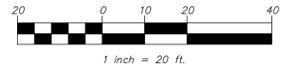
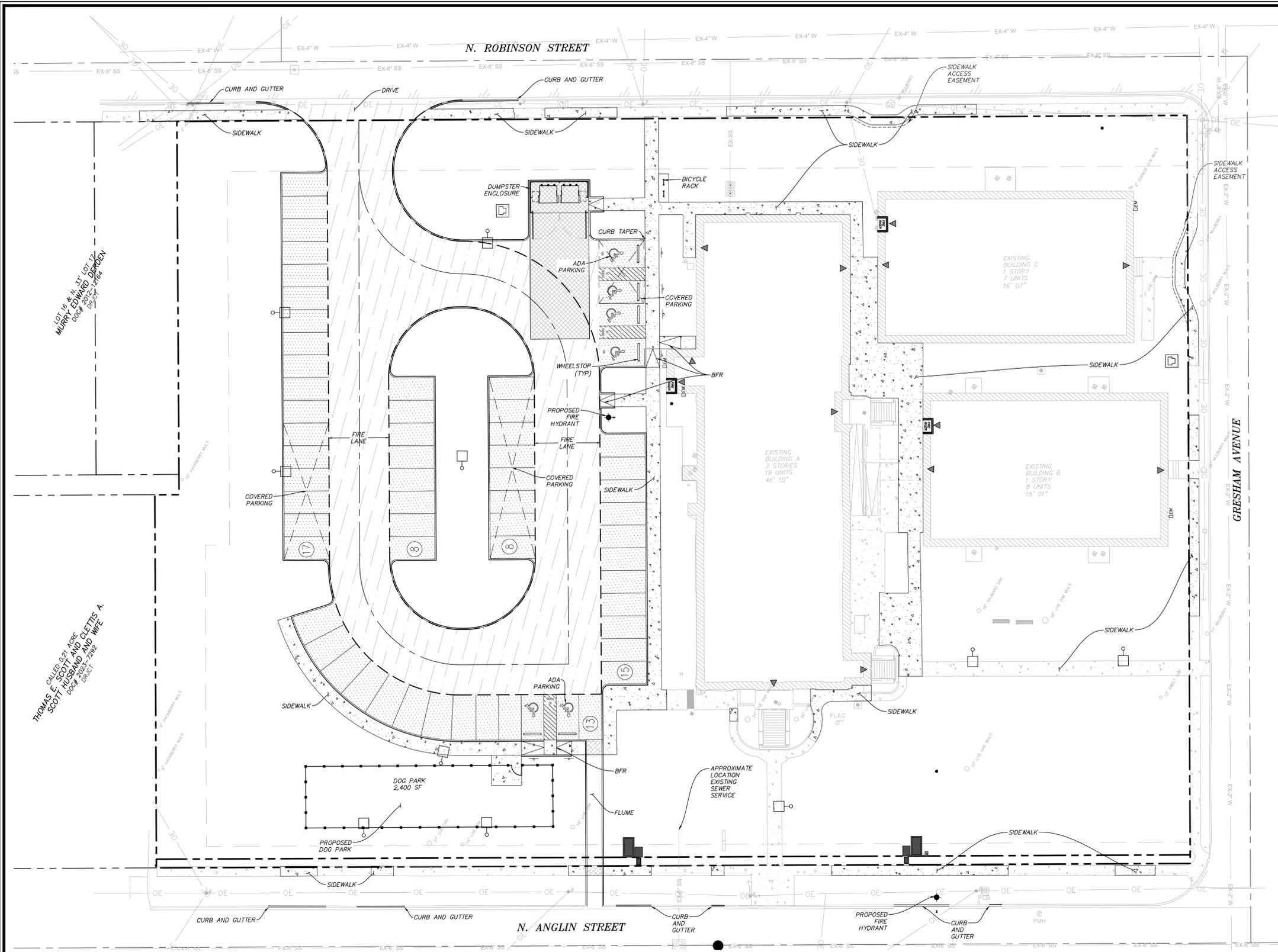
REV.	DATE	DESCRIP.	BY

DIMENSION CONTROL PLAN

SHEET NO: **C4.0**

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PLOTTED BY: GABRIELA GONZALEZ DATE: 12/1/2025 8:11 AM PATH: P:\344-00-00\700 Land Development\30\Construction Documents\Drawings\Sheet\DIMENSION CONTROL PLAN.dwg



LEGEND:

- 4" - 3000 PSI CONCRETE SIDEWALK WITH #3 BARS @ 18" O.C.E.W. OVER 6" COMPACTED SUBGRADE TO 95% STANDARD PROCTOR DENSITY AT A MOISTURE CONTENT OF OPTIMUM MOISTURE UP TO 0% TO +4%
- PARKING PAVING - TO BE DETERMINED BY GEOTECHNICAL REPORT
- FIRE LANE PAVING - TO BE DETERMINED BY GEOTECHNICAL REPORT
- DUMPSTER PAVING - TO BE DETERMINED BY GEOTECHNICAL REPORT
- FIRE LANE (PER CITY OF CLEBURNE)

NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF CLEBURNE, TEXAS STANDARDS AND SPECIFICATIONS, AND TO THE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG).
2. TYPICAL PARKING STALL IS 18' LONG X 9' WIDE.
3. PARKING STALL LINE SHALL BE A 4" SOLID WHITE STRIPE.
4. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
6. ALL CURBS TO BE 6" HIGH UNLESS OTHERWISE NOTED.
7. REFER TO SHEET C1.0 FOR GENERAL NOTES.
8. REFER TO SHEET C10.4 FOR PAVING DETAILS.
9. REFER TO SHEET C4.0 FOR ALL SITE DIMENSIONS.
10. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
11. REFER TO ARCHITECTURE PLANS FOR ALL FENCING AND GATE SPECIFICATIONS.
12. FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY TWENTY-FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.
13. FIRE LANE ACCESS MUST BE COMPLETE AND FIRE HYDRANTS MUST BE APPROVED BY THE FIRE DEPARTMENT AND MUST BE IN-SERVICE PRIOR TO CONSTRUCTION PROGRESSING ABOVE FOUNDATION.
14. REFER TO PHOTOMETRIC PLAN FOR LIGHTING TYPE AND INTENSITY INFORMATION.
15. ALL UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, AND TELEPHONE SHALL BE PLACED UNDERGROUND.

CONSTRUCTION JOINT NOTES:

DUMMY JOINTS SHALL BE ONE OF THE FOLLOWING METHODS: SAWED, HAND-FORMED OR FORMED BY PREMOLDED FILLER. JOINT DEPTH SHOULD BE EQUAL TO ONE-FOURTH (1/4) OF THE SLAB THICKNESS. HAND FORMED JOINTS SHOULD HAVE A MAXIMUM EDGE RADIUS OF ONE-FOURTH (1/4) INCH. SAWING OF JOINTS SHOULD BEGIN AS SOON AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING AND AVOID RAVELING. ALL JOINTS SHOULD BE COMPLETED BEFORE UNCONTROLLED SHRINKAGE CRACKING OCCURS. JOINTS SHALL BE CONTINUOUS ACROSS THE SLAB UNLESS INTERRUPTED BY FULL-DEPTH PREMOLDED JOINT FILLER AND EXTENDED COMPLETELY THROUGH THE CURB. ALL JOINT OPENINGS SHALL BE CLEANED AND SEALED BEFORE OPENING PAVED AREA TO TRAFFIC.

SOURCE BENCHMARK:

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 N: 796.91'
 NAD83 TXNC (GRID)
 N: 6817103.14'
 E: 2311423.03'

BM #2 - "X" CUT IN SQUARE LOCATED ON THE WEST CURB LINE OF N ANGLIN ST, BENCHMARK LOCATED IN FRONT OF THE RESIDENCE LOCATED AT 1017 N ANGLIN ST.
 ELEV: 795.24'
 NAD83 TXNC (GRID)
 N: 6816789.41'
 E: 2311163.01'

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PAVING NOTES:

1. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF WATER AND SANITARY SEWER APPURTENANCES IN ACCORDANCE WITH THE STANDARD DETAILS AND SPECIFICATIONS OF THE CITY OF CLEBURNE, TEXAS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
3. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED.
4. CONCRETE SURFACE FINISHING SHALL BE SKID RESISTANT, A WHITE PIGMENTED LIQUID CURING COMPOUND SHALL BE UNIFORMLY SPRAYED ON THE CONCRETE IMMEDIATELY AFTER THE FINISHED OPERATION.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A TRAFFIC CONTROL PLAN FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY.
6. CONTRACTOR SHALL PROVIDE ALL SAFETY DEVICES FOR THE PROTECTION OF THE PUBLIC. CONCRETE PAVEMENT AND STRUCTURES SHALL BE BACKFILLED AS SOON AS POSSIBLE AFTER FORMS ARE REMOVED.
7. CONTRACTOR RESPONSIBLE FOR IRRIGATION AND FRANCHISE UTILITY SLEEVING. REFERENCE IRRIGATION PLAN FOR IRRIGATION SLEEVING DETAILS.
8. CONTRACTOR TO PROVIDE JOINTING PLAN FOR REVIEW & APPROVAL BY ENGINEER.
9. CONTRACTOR IS RESPONSIBLE FOR ENSURING GRADES ON ALL WALKS DO NOT EXCEED 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE. ADJUST GRADES AS NECESSARY.

THIS PLAN IS PROVIDED AS A REFERENCE TO SHOW THE LOCATIONS OF VARYING PAVEMENT THICKNESS AND SUBGRADE TREATMENT AS RECOMMENDED IN THE GEOTECH REPORT. IF ANY DISCREPANCIES ON PAVING THICKNESS OR SUBGRADE TREATMENT EXIST BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, THE REPORT SHALL GOVERN IN ALL CASES. THE CONTRACTOR SHOULD ALSO NOTE THAT FIELD TESTING OF SOIL CONDITIONS DURING CONSTRUCTION MAY CHANGE SUBGRADE TREATMENT RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER.

**IRVING LOFTS
CLEBURNE, TEXAS
PAVING PLAN**

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 tlpels registration number: 1 - 2759
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12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 FOR PERMIT

PROJECT NUMBER:	3949-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

REV.	DATE	DESCRIP.	BY

PAVING PLAN

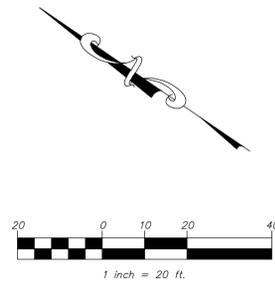
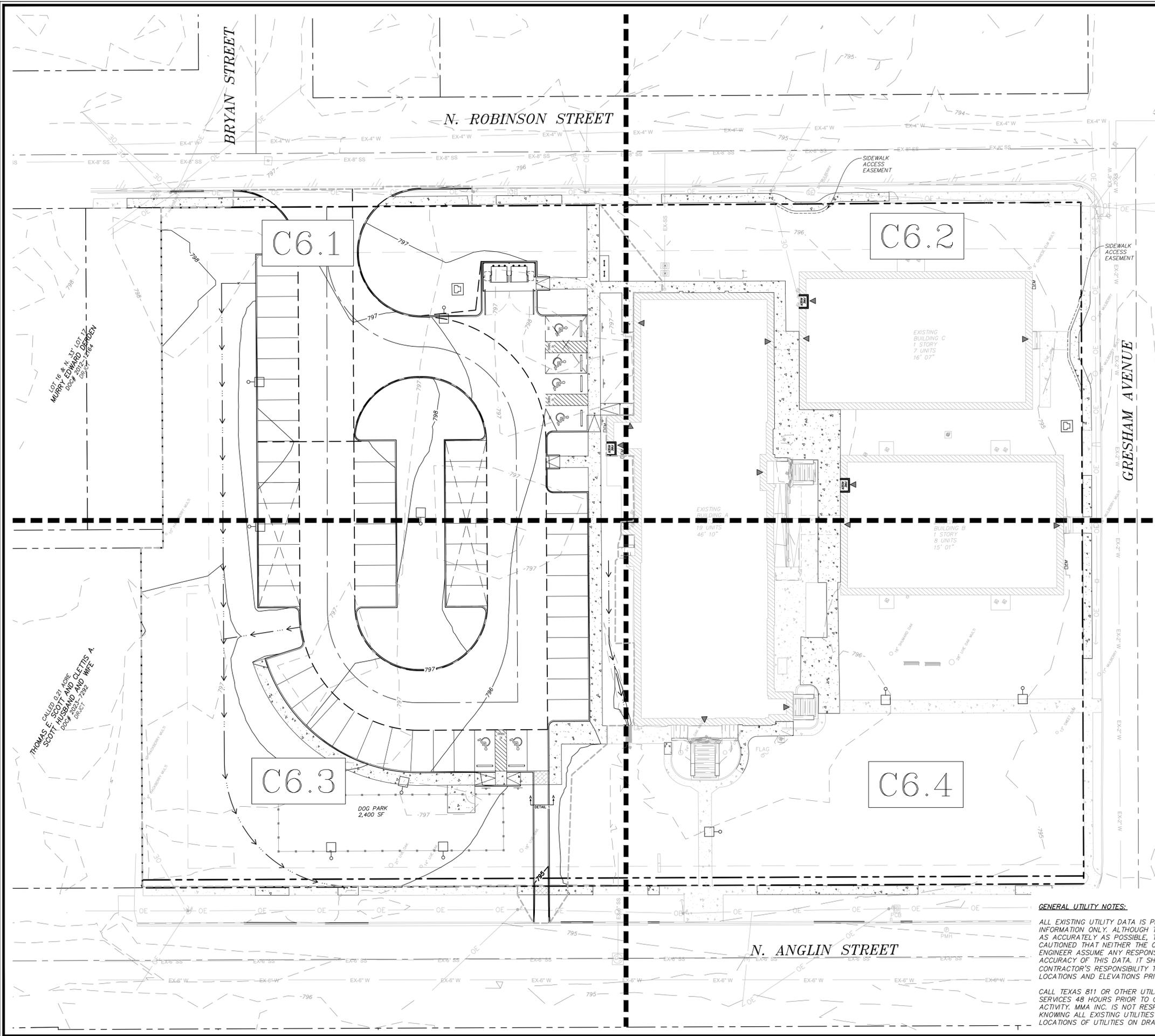
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LOT 18 & N. 331' OF 12 MURPHY DRIVE DEDICATED 02/22/2024

CALLED 0.2 ACRE SCOTT HUBBARD AND CLETIS A. THOMAS 02/22/2024 DIRECT



LEGEND:

EXISTING MAJOR CONTOUR	— 640 —
EXISTING MINOR CONTOUR	— 641 —
PROPOSED MAJOR CONTOUR	— 640 —
PROPOSED MINOR CONTOUR	— 641 —
FINISHED GRADE	• FG 630.00
FINISHED FLOOR ELEVATION	FF 630.0
MINIMUM FINISHED FLOOR	MFF 630.0
PROPOSED TOP OF PAVEMENT	• TP 630.00
PROPOSED TOP OF CURB	• TC 630.00
PROPOSED GUTTER	• GT 630.00
PROPOSED TOP OF WALL	• TW 630.00
PROPOSED BOTTOM OF WALL	• BW 630.00
MATCH EXISTING	• EX 630.00±

GRADING NOTES:

- CLEARING AND GRUBBING SHALL CONSIST OF REMOVING ALL NATURAL AND ARTIFICIAL OBJECTIONABLE MATERIALS FROM THE PROJECT SITE.
- ALL TREES, SHRUBS AND ALL SCRUB GROWTH SHALL BE CLEARED. ALL DEAD TREES, LOGS, STUMPS, RUBBISH OF ANY NATURE, AND OTHER SURFACE DEBRIS SHALL ALSO BE CLEARED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE SITE OF THE WORK AND THE ADJACENT PREMISES AS FREE FROM MATERIAL, DEBRIS AND RUBBISH AS IS PRACTICABLE AND SHALL REMOVE SAME FROM ANY PORTION OF THE SITE.
- UNSATURATED MATERIAL, INCLUDING ALL ROCKS MEASURING LARGER THAN 6" IN THE LARGEST DIMENSION, REFUSE AND OTHER DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. CONTRACTOR SHALL, ALSO, COMPLY WITH ALL APPLICABLE LAWS GOVERNING THE SPILLING OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE.
- SIX (6") INCHES OF TOP SOIL SHALL BE PLACED ON ALL LANDSCAPE AREAS AND PARKING ISLANDS.
- POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION MUST BE PROVIDED. CONTRACTOR TO ENSURE THERE IS NO PONDING AROUND FOUNDATION.
- THE GRADES SHOWN ON THIS PLAN ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
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CLEBURNE, TEXAS
OVERALL GRADING PLAN**

mma
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12/1/2025
STATE OF TEXAS
ANDREA E. TAYLOR
124055
REGISTERED PROFESSIONAL ENGINEER
FOR PERMIT

PROJECT NUMBER:	3949-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

REV.	DATE	DESCRIP.	BY

OVERALL GRADING PLAN

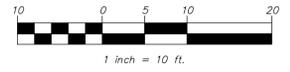
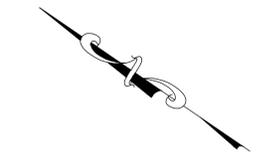
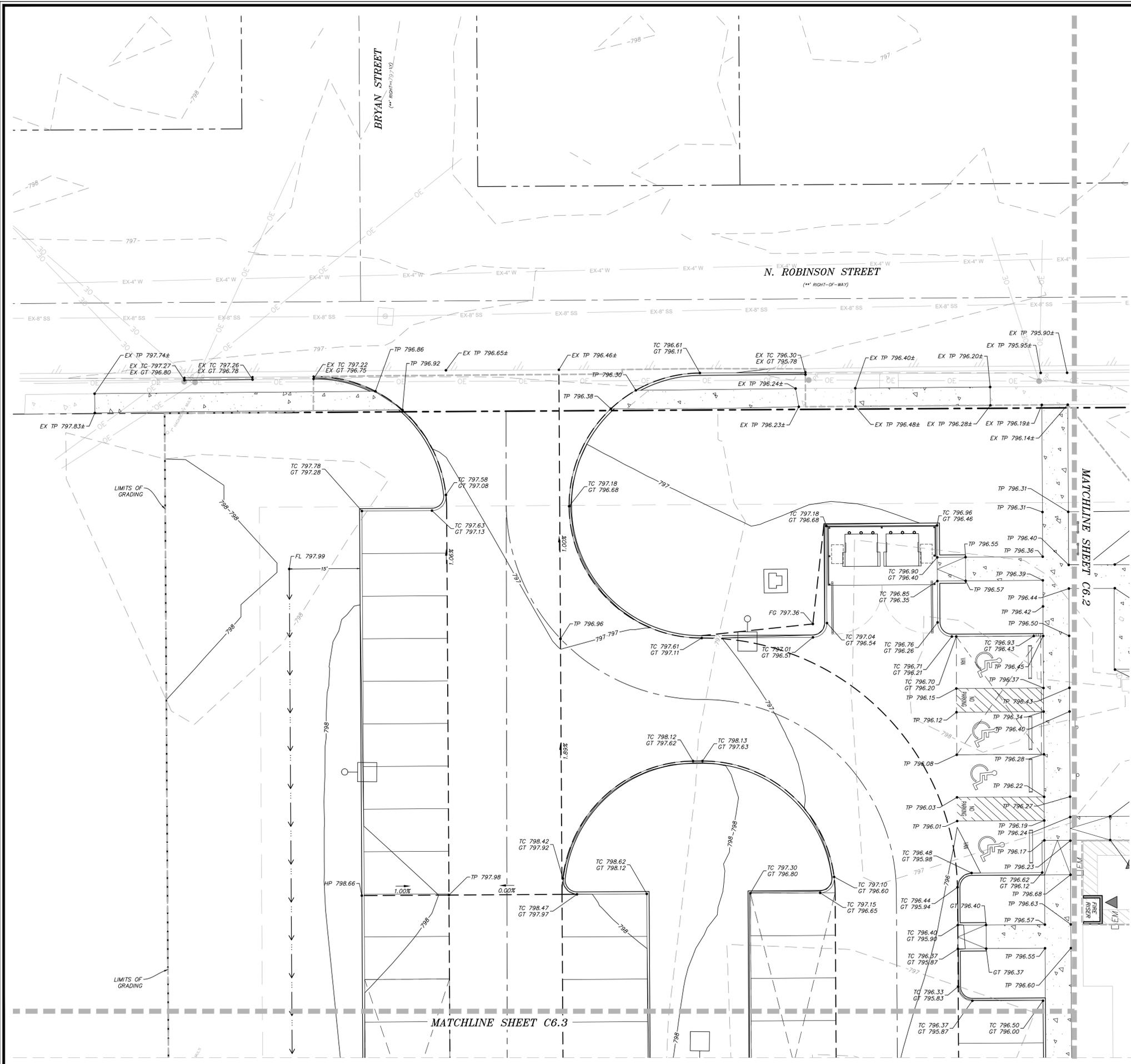
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LOT 18 & N. 3710
MURPHY EDWARD DEPTEN
LOCAL 2012
SUBJECT

CALLED BY: ABE
THOMAS E. SCOTT AND CLETIS A.
MURPHY
LOCAL 2012
SUBJECT



LEGEND:

EXISTING MAJOR CONTOUR	---640---
EXISTING MINOR CONTOUR	---641---
PROPOSED MAJOR CONTOUR	—640—
PROPOSED MINOR CONTOUR	—641—
FINISHED GRADE	• FG 630.00
FINISHED FLOOR ELEVATION	FF 630.0
PROPOSED TOP OF PAVEMENT	• TP 630.00
PROPOSED TOP OF CURB	• TC 630.00
PROPOSED GUTTER	• GT 630.00
MATCH EXISTING	• EX 630.00±

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12/1/2025
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ANDREA E. TAYLOR
124055
REGISTERED PROFESSIONAL ENGINEER
FOR PERMIT

PROJECT NUMBER:	3949-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

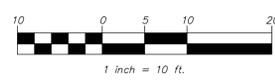
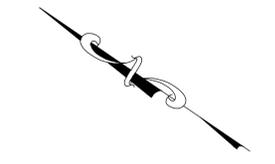
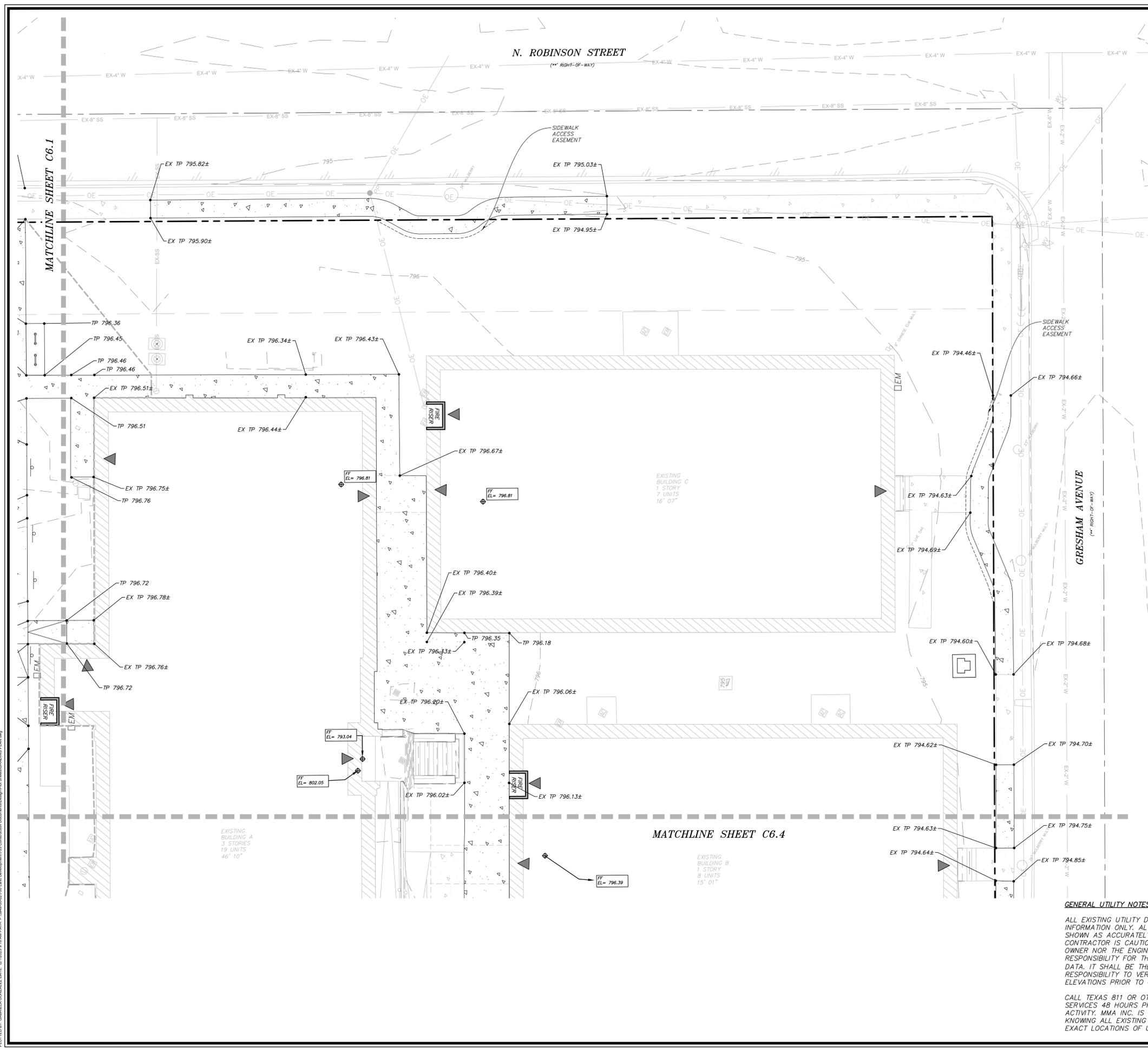
REV.	DATE	DESCRIP.	BY

GRADING PLAN

SHEET NO: **C6.1**

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PLOTTED BY: GABRIELA GONZALEZ DATE: 12/1/2025 9:14AM PATH: P:\344-00-02\700-00\Construction Documents\Drawings\Sheet\Grading Plan.dwg



LEGEND:

EXISTING MAJOR CONTOUR	--640--
EXISTING MINOR CONTOUR	--641--
PROPOSED MAJOR CONTOUR	—640—
PROPOSED MINOR CONTOUR	—641—
FINISHED GRADE	• FG 630.00
FINISHED FLOOR ELEVATION	FF 630.0
PROPOSED TOP OF PAVEMENT	• TP 630.00
PROPOSED TOP OF CURB	• TC 630.00
PROPOSED GUTTER	• GT 630.00
MATCH EXISTING	• EX 630.00±

GRADING NOTES

- CLEARING AND GRUBBING SHALL CONSIST OF REMOVING ALL NATURAL AND ARTIFICIAL OBJECTIONABLE MATERIALS FROM THE PROJECT SITE.
- ALL TREES, SHRUBS AND ALL SCRUB GROWTH SHALL BE CLEARED. ALL DEAD TREES, LOGS, STUMPS, RUBBISH OF ANY NATURE, AND OTHER SURFACE DEBRIS SHALL ALSO BE CLEARED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE SITE OF THE WORK AND THE ADJACENT PREMISES AS FREE FROM MATERIAL, DEBRIS AND RUBBISH AS IS PRACTICABLE AND SHALL REMOVE SAME FROM ANY PORTION OF THE SITE.
- UNSUITABLE MATERIAL, INCLUDING ALL ROCKS MEASURING LARGER THAN 6" IN THE LARGEST DIMENSION, REFUSE AND OTHER DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. CONTRACTOR SHALL, ALSO, COMPLY WITH ALL APPLICABLE LAWS GOVERNING THE SPILLING OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE.
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- POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION MUST BE PROVIDED. CONTRACTOR TO ENSURE THERE IS NO PONDING AROUND FOUNDATION.
- THE GRADES SHOWN ON THIS PLAN ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
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- REFERENCE LANDSCAPE PLANS FOR TREE PROTECTION METHODS.
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SOURCE BENCHMARK:

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SITE BENCHMARK:

BM #1 - "X" CUT IN SQUARE LOCATED ON THE EAST CURB LINE OF N ROBINSON ST AND BEING JUST SOUTH OF BRYAN AVE. BENCHMARK IS LOCATED IN FRONT OF A RESIDENCE AT 1212 N ROBINSON ST. AT THE PC OF CURB LINE LOCATED AT THE SOUTHEAST INTERSECTION CORNER OF SAID ROBINSON ST AND BRYAN AVE.
 N: 796.91'
 NAD83 TXNC (GRID)
 N: 6817103.14'
 E: 2311423.03'

BM #2 - "X" CUT IN SQUARE LOCATED ON THE WEST CURB LINE OF N ANGLIN ST, BENCHMARK LOCATED IN FRONT OF THE RESIDENCE LOCATED AT 1017 N ANGLIN ST.
 ELEV: 795.24'
 NAD83 TXNC (GRID)
 N: 6816789.41'
 E: 2311163.01'

GENERAL UTILITY NOTES:

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CALL TEXAS 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

**IRVING LOFTS
 CLEBURNE, TEXAS
 GRADING PLAN**

mma
 civil engineering surveying landscape architecture planning
 tlpels registration number: 1 - 2759
 tlpels registration/license number: 10088000
 519 east border
 arlington, texas 76010
 817-469-1671
 fax: 817-274-8757
 www.mmatus.com

12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 FOR PERMIT

PROJECT NUMBER: 3949-00-02
 PROJECT MANAGER: A. TAYLOR
 DRAWN BY: B. SHELTON
 CHECKED BY: A. TAYLOR
 ISSUE DATE: 12/1/2025

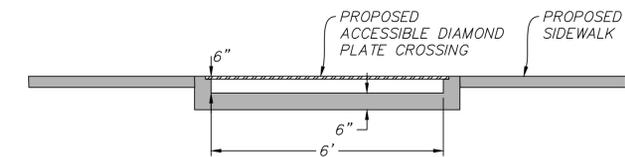
REV.	DATE	DESCRIP.	BY

GRADING PLAN

SHEET NO:
C6.2

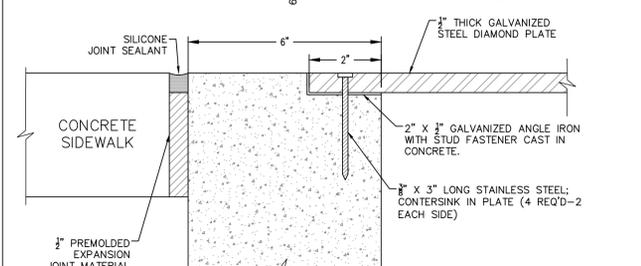
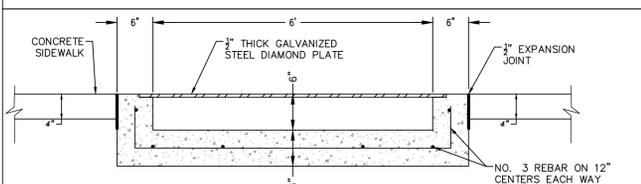
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$Q_{100} = 7.91 \text{ cfs}$
 $A = 0.75 \text{ acres}$
 $c = 0.77$
 $n = 0.015$
 $S = 0.50\%$
 $d = 0.39 \text{ ft}$
 $V = 3.38 \text{ fps}$

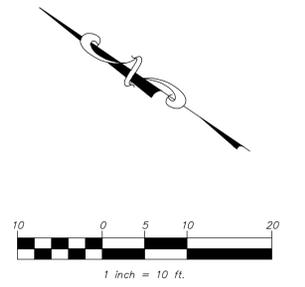
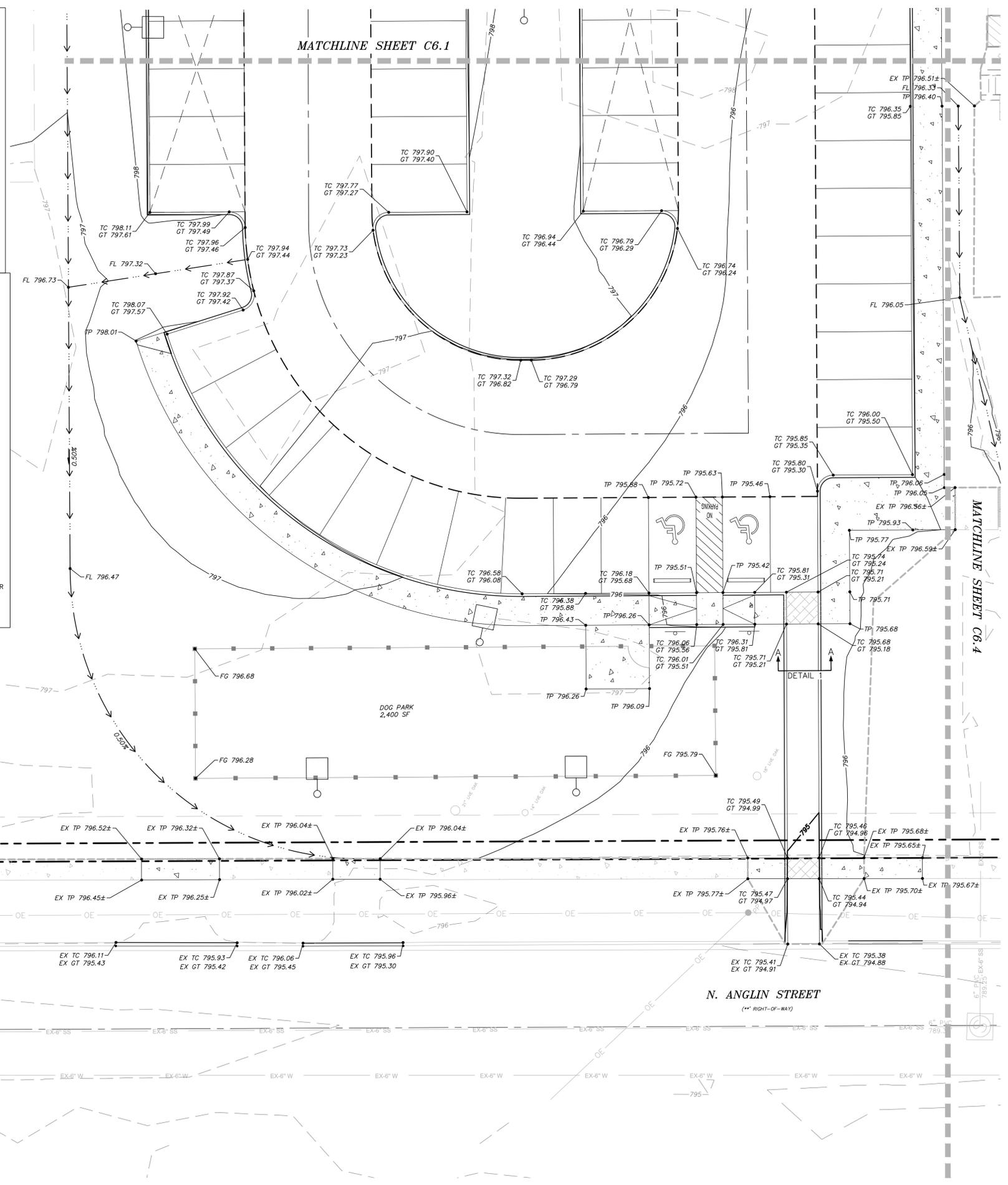
1 SECTION A-A CONCRETE FLUME
NOT TO SCALE



NOTES:
 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH $f'_c = 3,000 \text{ PSI}$ AT 28 DAYS.
 2. ALL REINFORCING STEEL SHALL BE GRADE 60.
 3. ALL REINFORCING STEEL SHALL HAVE MINIMUM 2" COVER TO CENTER OF BAR, UNLESS NOTED OTHERWISE.

2 CONCRETE FLUME WITH DIAMOND PLATE CROSSING
NOT TO SCALE

- GRADING NOTES**
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LEGEND:

EXISTING MAJOR CONTOUR	- - - 640 - - -
EXISTING MINOR CONTOUR	- - - 641 - - -
PROPOSED MAJOR CONTOUR	- - - 640 - - -
PROPOSED MINOR CONTOUR	- - - 641 - - -
FINISHED GRADE	• FG 630.00
FINISHED FLOOR ELEVATION	FF 630.0
PROPOSED TOP OF PAVEMENT	• TP 630.00
PROPOSED TOP OF CURB	• TC 630.00
PROPOSED GUTTER	• GT 630.00
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 NAD83 TXNC (GRID)
 N: 6817103.14'
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 ELEV: 795.24'
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 N: 6816789.41'
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12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 CIVIL
 FOR PERMIT

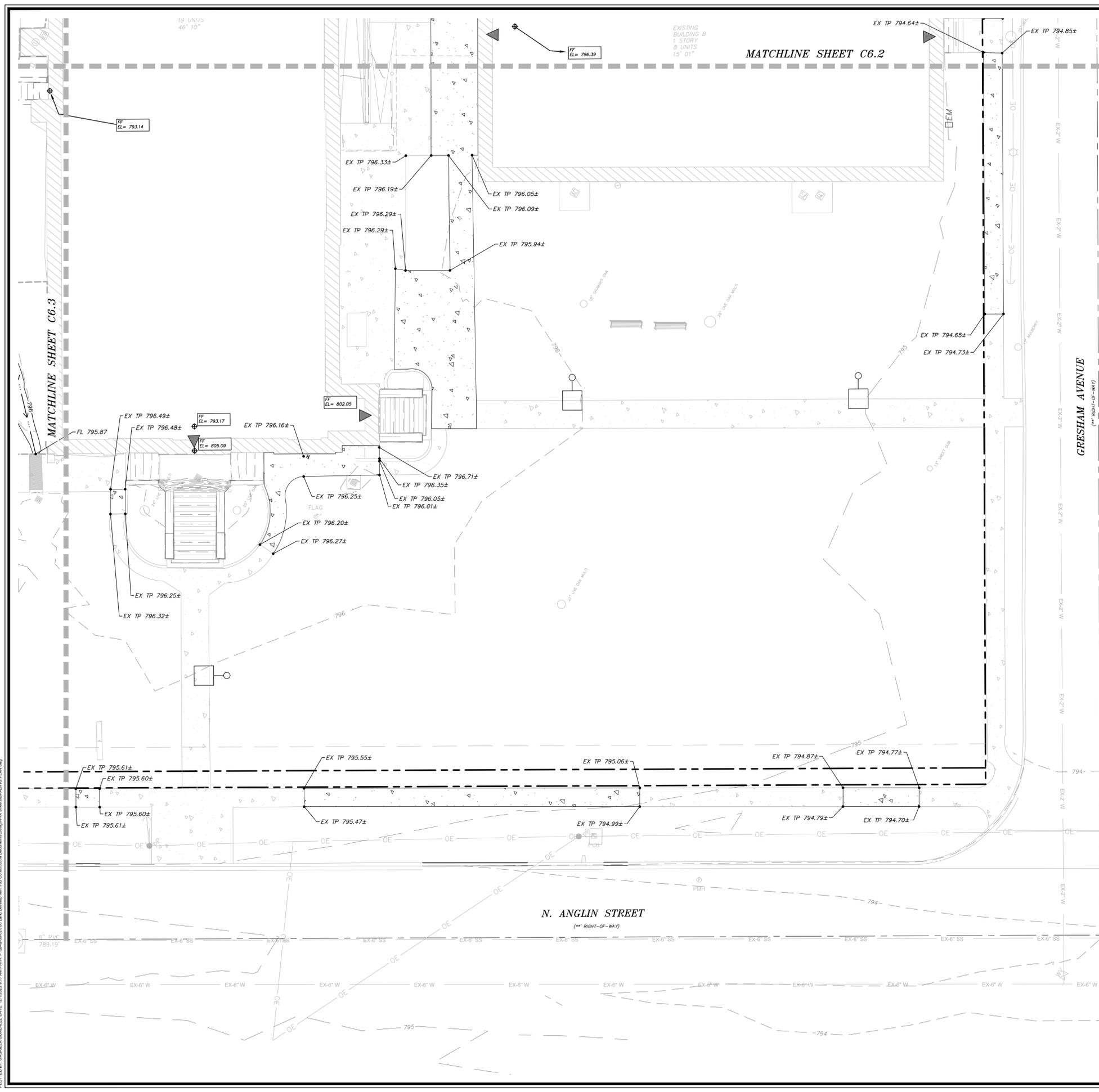
PROJECT NUMBER:	3949-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

GRADING PLAN

SHEET NO: **C6.3**

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LEGEND:

EXISTING MAJOR CONTOUR	---640---
EXISTING MINOR CONTOUR	---641---
PROPOSED MAJOR CONTOUR	---640---
PROPOSED MINOR CONTOUR	---641---
FINISHED GRADE	• FG 630.00
FINISHED FLOOR ELEVATION	FF 630.0
PROPOSED TOP OF PAVEMENT	• TP 630.00
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MATCH EXISTING	• EX 630.00±

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 ELEV: 795.24'
 NAD83 TXNC (GRID)
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 E: 2311163.01'

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12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 FOR PERMIT

PROJECT NUMBER:	3949-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

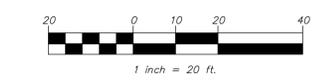
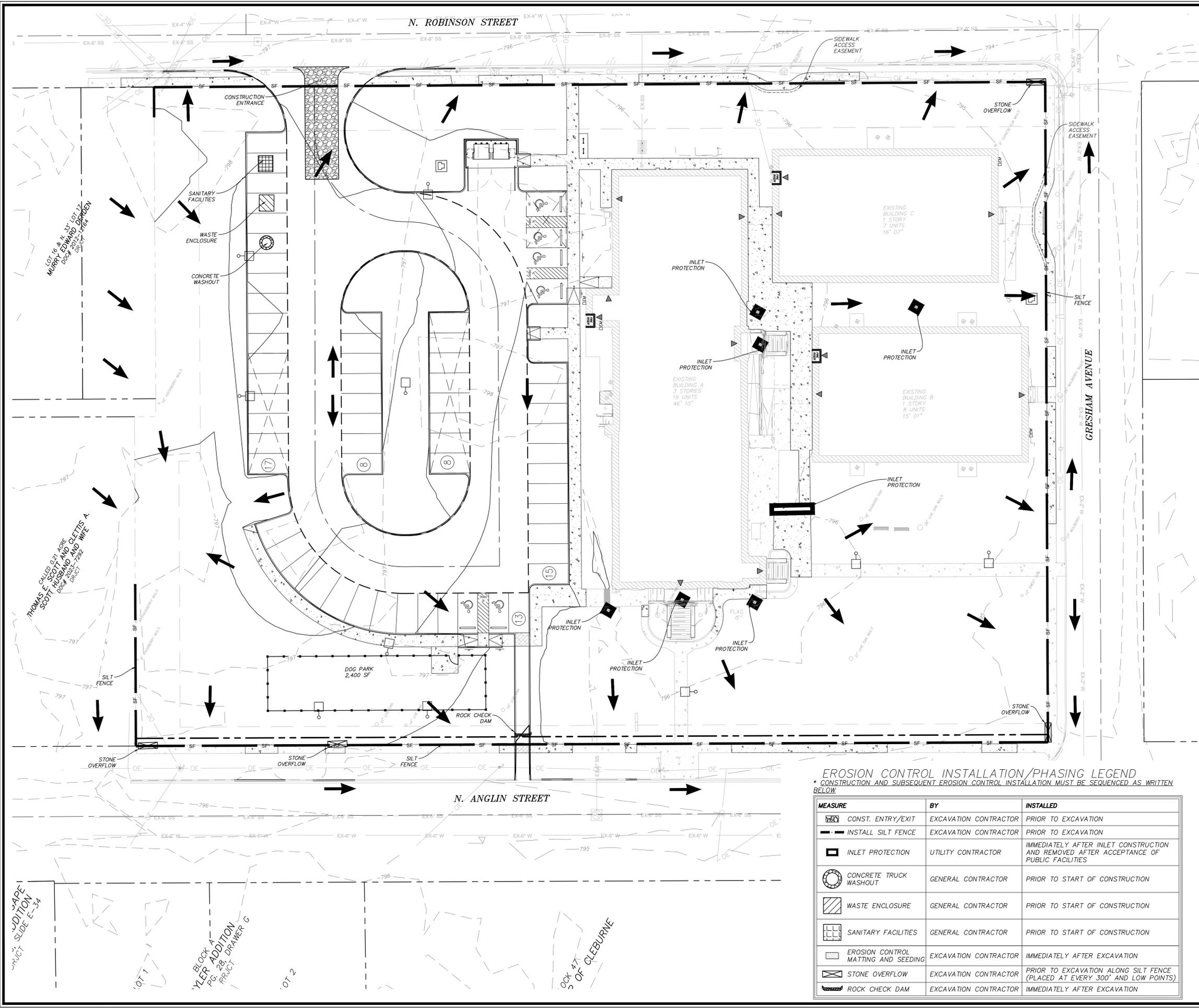
REV.	DATE	DESCRIP.	BY

GRADING PLAN

SHEET NO: **C6.4**

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PLOTTED BY: GABRIELA GONZALEZ DATE: 12/1/2025 8:11 AM PATH: P:\344-00-02\703 Construction Documents\Drawings\Grading\Grading PLAN.dwg



EROSION CONTROL NOTES

- OWNER: OVERLAND PROPERTY GROUP
5341 W. 151ST TERRACE
LEAWOOD, KANSAS & 67401
CONTACT NAME: APRIL ENGSTROM
EMAIL: AENGSTROM@OVERLANDPG.COM
- PERIMETER EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE STARTING ANY SOIL DISTURBING ACTIVITIES.
- STREET EXCAVATION TO BE PERFORMED AND EROSION CONTROL MEASURES IN PLACE BEFORE GRUBBING/LOT GRADING.
- SEDIMENT DISCHARGED OR TRACKED ON TO EXISTING PAVEMENT SHALL BE REMOVED DAILY. CONTRACTOR IS TO CONTAIN ALL RUNOFF FROM MATERIALS USED IN THE SUBGRADE STABILIZATION PROCESS.
- RETAIN FLOATABLE AND WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
- PAVING CONTRACTOR TO INSTALL A PIT FOR TEMPORARY ON-SITE DISPOSAL OF CONCRETE WASTE FROM MIXING DRUMS AND CHUTES.
- INSPECT POLLUTION CONTROL MEASURES EVERY TWO WEEKS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2" OR MORE. REPAIR OR REPLACE DAMAGED MEASURES TO RETAIN SEDIMENT AND OTHER POLLUTANTS ON SITE. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS.
- PERMANENTLY STABILIZE EXPOSED SOIL WITHIN AND ADJACENT TO THE SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION ACTIVITIES. STABILIZATION IS OBTAINED WHEN THE SOIL IS COVERED BY A COMBINATION OF STRUCTURES, PAVING, AND PERENNIAL VEGETATION.
- INSTALL A LIQUID TIGHT BERMED AREA (LINER REQUIRED), OR OTHER SPILL PROTECTION MEASURE PER THE FIRE CODE, FOR ANY TEMPORARY FUEL TANKS PLACED ON SITE DURING CONSTRUCTION.
- ALL CONTRACTORS TO MAINTAIN EXISTING EROSION CONTROL MEASURES IN PLACE.
- CONSTRUCTION ENTRANCE/EXIT TO BE LOCATED BY GRADING CONTRACTOR AND APPROVED BY OWNER.
- ALL GRADING TO CONFORM TO THE APPROVED GRADING PLAN FOR IRVING LOFTS.
- EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT RISK OF CONSTRUCTION. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREGGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.
- SEE LANDSCAPE PLAN FOR SOD LOCATIONS.
- TOTAL DISTURBED AREA = 1.12 AC.

**IRVING LOFTS
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EROSION CONTROL PLAN**

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12/1/2025
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ANDREA E. TAYLOR
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REGISTERED PROFESSIONAL ENGINEER
FOR PERMIT

PROJECT NUMBER:	3949-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

EROSION CONTROL INSTALLATION/PHASING LEGEND
* CONSTRUCTION AND SUBSEQUENT EROSION CONTROL INSTALLATION MUST BE SEQUENCED AS WRITTEN BELOW

MEASURE	BY	INSTALLED
CONST. ENTRY/EXIT	EXCAVATION CONTRACTOR	PRIOR TO EXCAVATION
INSTALL SILT FENCE	EXCAVATION CONTRACTOR	PRIOR TO EXCAVATION
INLET PROTECTION	UTILITY CONTRACTOR	IMMEDIATELY AFTER INLET CONSTRUCTION AND REMOVED AFTER ACCEPTANCE OF PUBLIC FACILITIES
CONCRETE TRUCK WASHOUT	GENERAL CONTRACTOR	PRIOR TO START OF CONSTRUCTION
WASTE ENCLOSURE	GENERAL CONTRACTOR	PRIOR TO START OF CONSTRUCTION
SANITARY FACILITIES	GENERAL CONTRACTOR	PRIOR TO START OF CONSTRUCTION
EROSION CONTROL MATTING AND SEEDING	EXCAVATION CONTRACTOR	IMMEDIATELY AFTER EXCAVATION
STONE OVERFLOW	EXCAVATION CONTRACTOR	PRIOR TO EXCAVATION ALONG SILT FENCE (PLACED AT EVERY 300' AND LOW POINTS)
ROCK CHECK DAM	EXCAVATION CONTRACTOR	IMMEDIATELY AFTER EXCAVATION

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NATIONAL GEODETIC SURVEY MONUMENT #1293 - AT CLEBURNE, JOHNSON COUNTY, AT THE NORTHEAST CORNER OF THE GRESHAM AND ROBERTS AND EAST CHAMBERS STREET, AT THE WEST SIDE OF THE POST OFFICE, AND IN THE TOP OF THE BASE OF THE SECOND COLUMN NORTH OF THE MAIN ENTRANCE. A STANDARD DISK, STAMPED J 293 1934. NOTE - THE POST OFFICE IS LOCATED BETWEEN EAST HENDERSON AND EAST CHAMBERS STREET, THE MAIN ENTRANCE IS ON THE EAST SIDE OF SOUTH ROBINSON STREET IN CLEBURNE. ELEV: 768.13' NAD83 TXNC (GRID)

SITE BENCHMARK:

BM #1 - "X" CUT IN SQUARE LOCATED ON THE EAST CURB LINE OF N ROBINSON ST AND BEING JUST SOUTH OF BRYAN AVE. BENCHMARK IS LOCATED IN FRONT OF A RESIDENCE AT 1212 N ROBINSON ST, AT THE PC OF CURB LINE LOCATED AT THE SOUTHEAST INTERSECTION CORNER OF SAID ROBINSON ST AND BRYAN AVE. N: 796.91' NAD83 TXNC (GRID) N: 6817103.14' E: 2311423.03'

BM #2 - "X" CUT IN SQUARE LOCATED ON THE WEST CURB LINE OF N ANGLIN ST, BENCHMARK LOCATED IN FRONT OF THE RESIDENCE LOCATED AT 1017 N ANGLIN ST. ELEV: 795.24' NAD83 TXNC (GRID) N: 6816789.41' E: 2311163.01'

REV. DATE DESCRIP. BY

SHEET CONTENT:
EROSION CONTROL PLAN

SHEET NO:
C7.0

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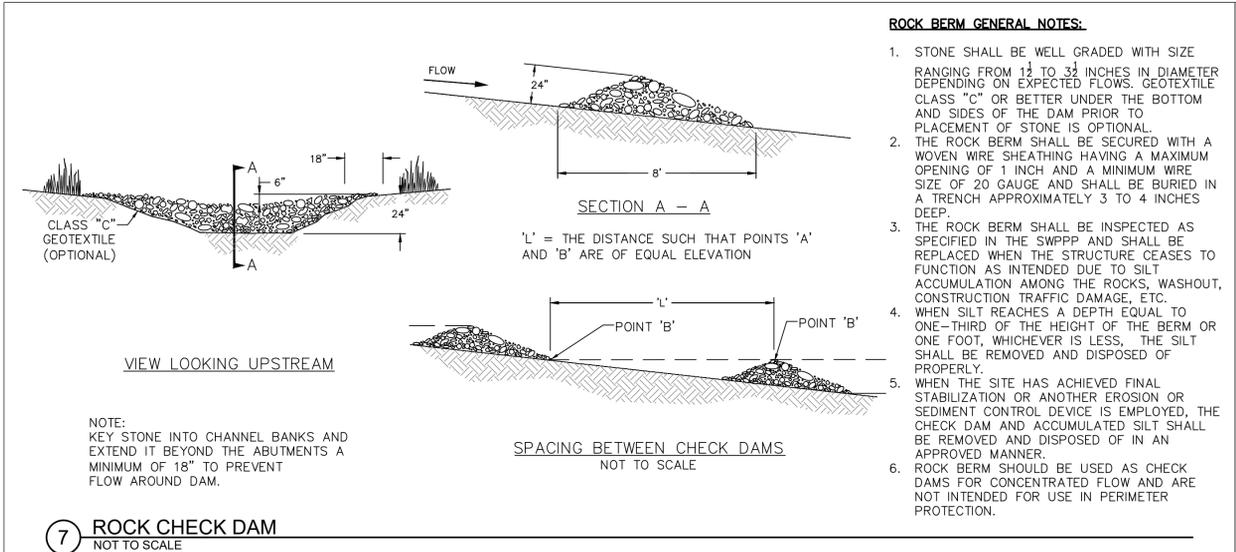
PLOTTED BY: GABRIELA GONZALEZ DATE: 12/10/2025 8:11 AM PATH: P:\344\00\027070 Land Development\03 Construction Documents\Drawings\Erosion Control Plan.dwg

ADDITIONAL SHEET E-34

BLOCK A
CYLER ADDITION
PG 28
PROJECT DRAINER G

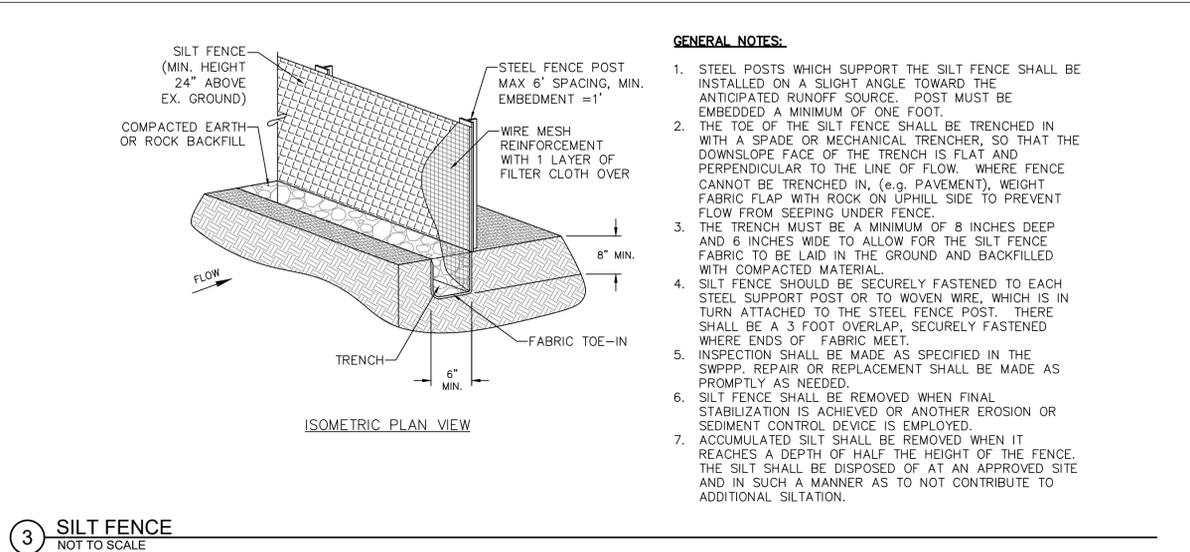
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S OF CLEBURNE

REV.	DATE	DESCRIP.	BY



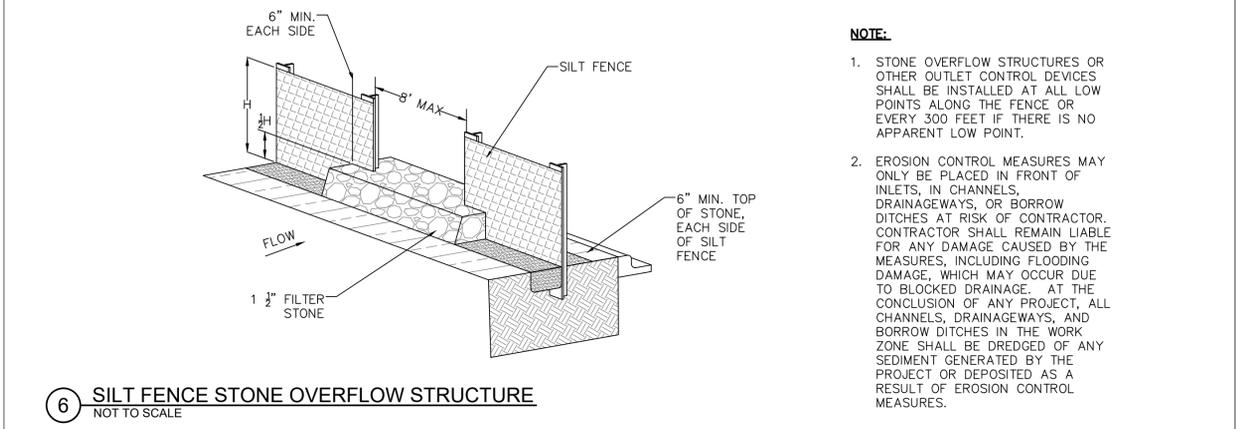
ROCK BERM GENERAL NOTES:

- STONE SHALL BE WELL GRADED WITH SIZE RANGING FROM 1 1/2 TO 3/4 INCHES IN DIAMETER DEPENDING ON EXPECTED FLOWS. GEOTEXTILE CLASS "C" OR BETTER UNDER THE BOTTOM AND SIDES OF THE DAM PRIOR TO PLACEMENT OF STONE IS OPTIONAL.
- THE ROCK BERM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING A MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE SIZE OF 20 GAUGE AND SHALL BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP.
- THE ROCK BERM SHALL BE INSPECTED AS SPECIFIED IN THE SWPPP AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
- WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE BERM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
- WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
- ROCK BERM SHOULD BE USED AS CHECK DAMS FOR CONCENTRATED FLOW AND ARE NOT INTENDED FOR USE IN PERIMETER PROTECTION.



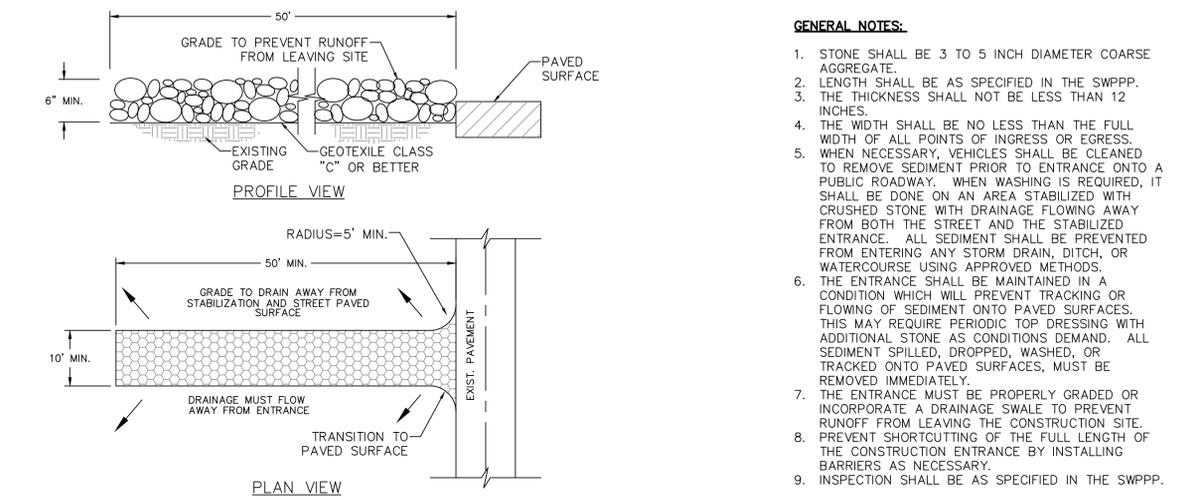
GENERAL NOTES:

- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN, (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 8 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE MADE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



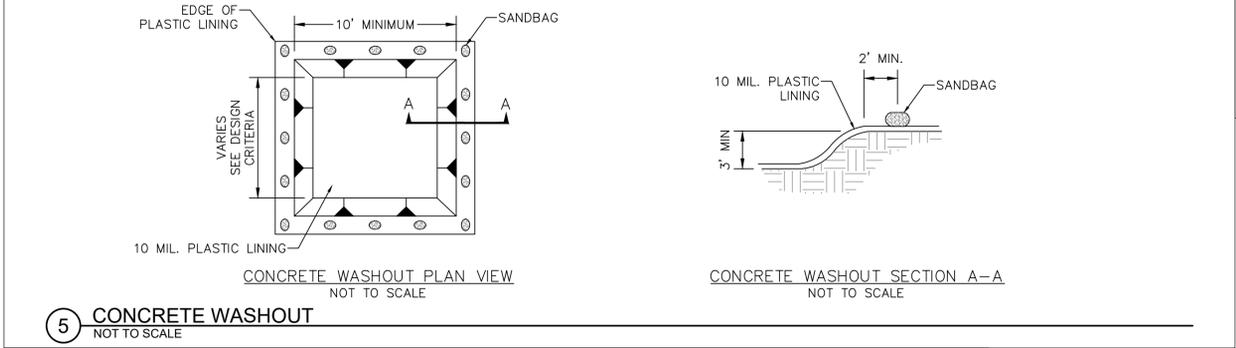
NOTE:

- STONE OVERFLOW STRUCTURES OR OTHER OUTLET CONTROL DEVICES SHALL BE INSTALLED AT ALL LOW POINTS ALONG THE FENCE OR EVERY 300 FEET IF THERE IS NO APPARENT LOW POINT.
- EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, IN CHANNELS, DRAINAGEWAYS, OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS, AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREDGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.

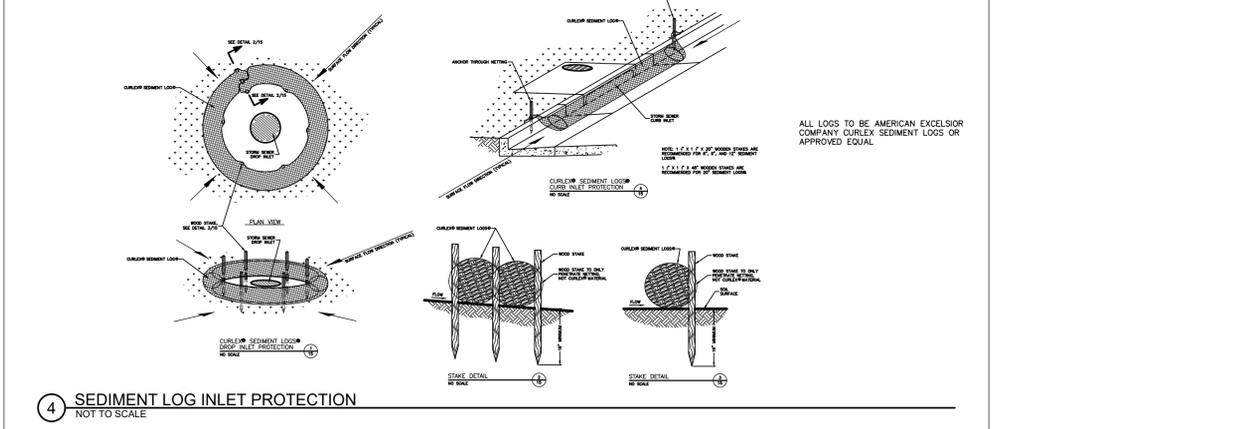


GENERAL NOTES:

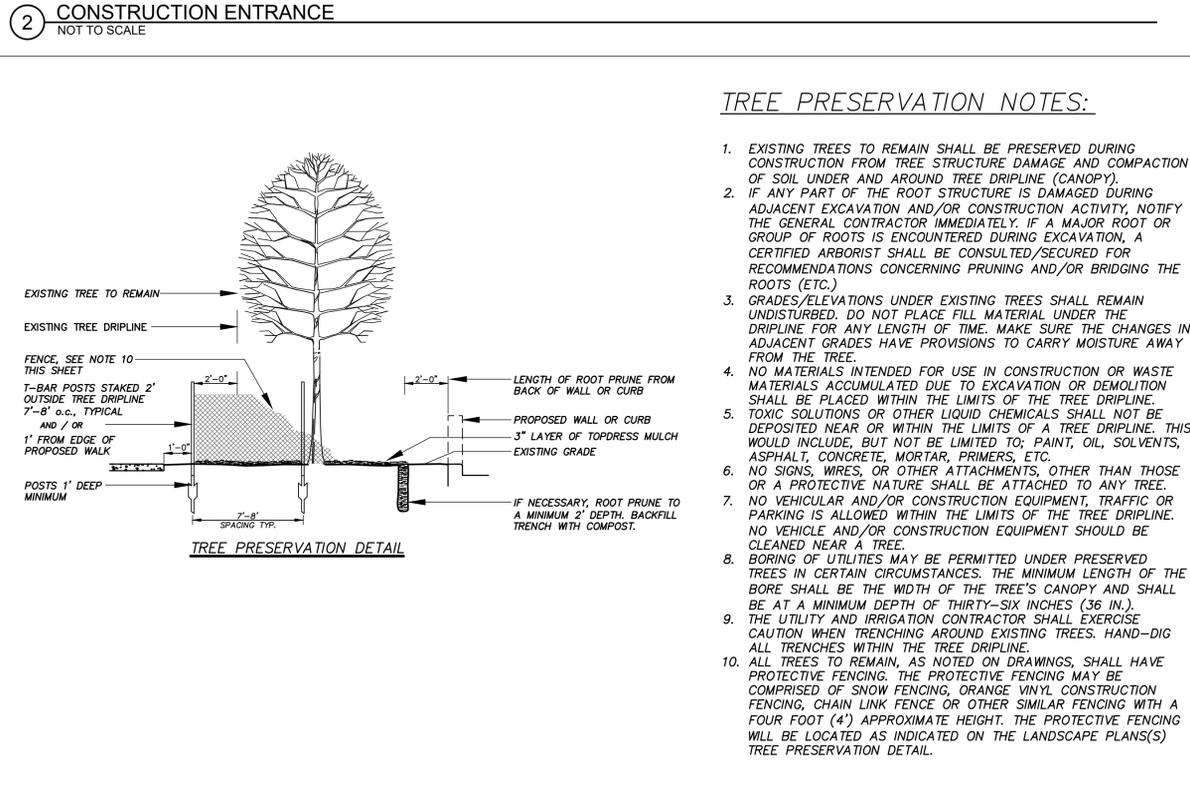
- STONE SHALL BE 3 TO 5 INCH DIAMETER COARSE AGGREGATE.
- LENGTH SHALL BE AS SPECIFIED IN THE SWPPP.
- THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
- THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
- THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
- PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
- INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.



CONCRETE WASHOUT SECTION A-A
NOT TO SCALE

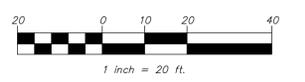
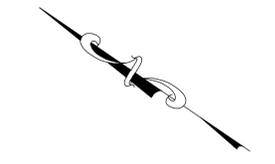
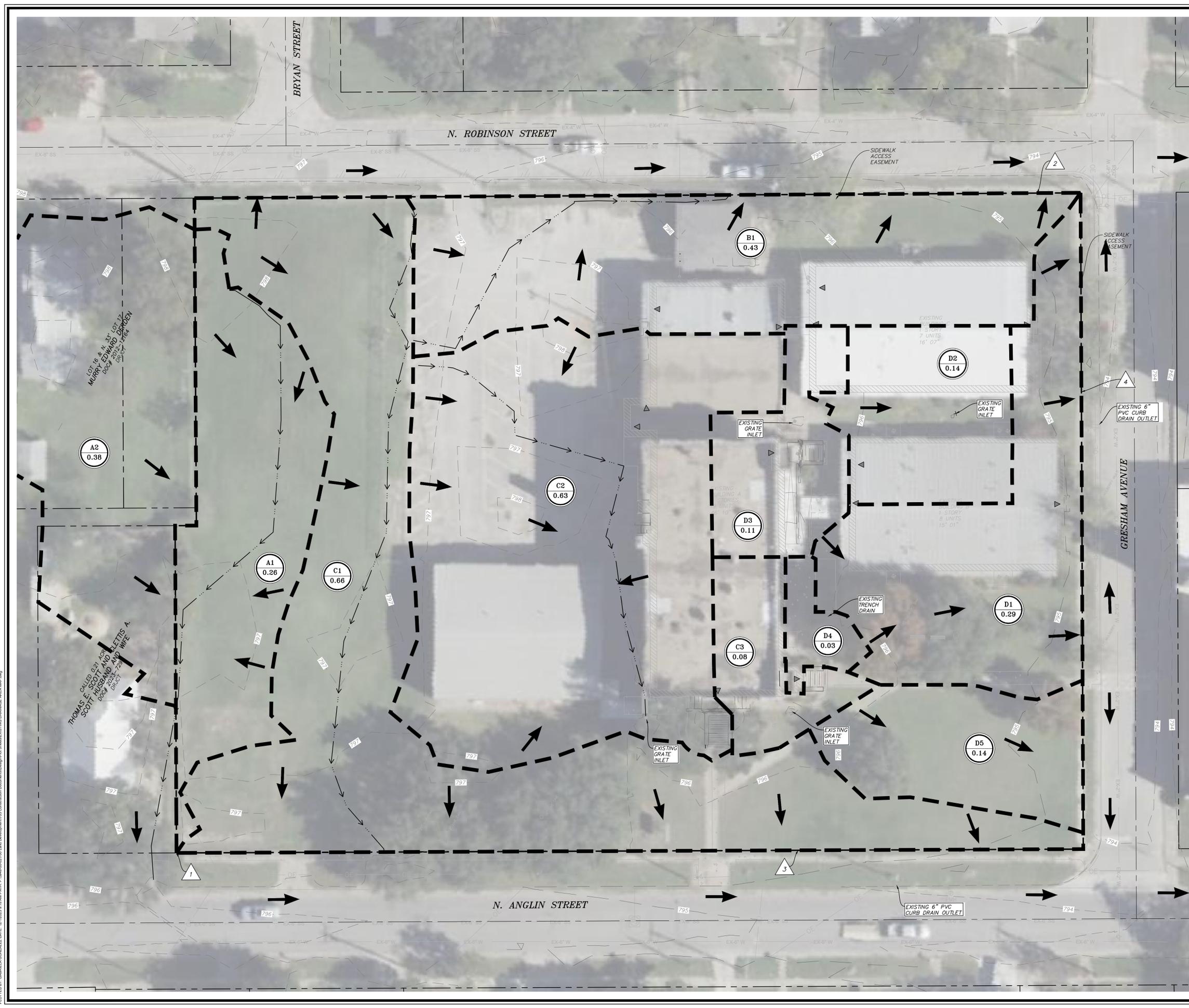


ALL LOGS TO BE AMERICAN EXCELSIOR COMPANY CURLEX SEDIMENT LOGS OR APPROVED EQUAL.



TREE PRESERVATION NOTES:

- EXISTING TREES TO REMAIN SHALL BE PRESERVED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND TREE DRIPLINE (CANOPY).
- IF ANY PART OF THE ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION AND/OR CONSTRUCTION ACTIVITY, NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY. IF A MAJOR ROOT OR GROUP OF ROOTS IS ENCOUNTERED DURING EXCAVATION, A CERTIFIED ARBORIST SHALL BE CONSULTED/SECURED FOR RECOMMENDATIONS CONCERNING PRUNING AND/OR BRIDGING THE ROOTS (ETC).
- GRADES/ELEVATIONS UNDER EXISTING TREES SHALL REMAIN UNDISTURBED. DO NOT PLACE FILL MATERIAL UNDER THE DRIPLINE FOR ANY LENGTH OF TIME. MAKE SURE THE CHANGES IN ADJACENT GRADES HAVE PROVISIONS TO CARRY MOISTURE AWAY FROM THE TREE.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE TREE DRIPLINE.
- TOXIC SOLUTIONS OR OTHER LIQUID CHEMICALS SHALL NOT BE DEPOSITED NEAR OR WITHIN THE LIMITS OF A TREE DRIPLINE. THIS WOULD INCLUDE, BUT NOT BE LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OR A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT, TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE TREE DRIPLINE. NO VEHICLE AND/OR CONSTRUCTION EQUIPMENT SHOULD BE CLEARED NEAR A TREE.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PRESERVED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE AT A MINIMUM DEPTH OF THIRTY-SIX INCHES (36 IN.).
- THE UTILITY AND IRRIGATION CONTRACTOR SHALL EXERCISE CAUTION WHEN TRENCHING AROUND EXISTING TREES. HAND-DIG ALL TRENCHES WITHIN THE TREE DRIPLINE.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR FOOT (4') APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE LANDSCAPE PLANS(S) TREE PRESERVATION DETAIL.



LEGEND:

EXISTING MAJOR CONTOUR	---640---
EXISTING MINOR CONTOUR	---641---
PROPOSED MINOR CONTOUR	---640---
PROPOSED MAJOR CONTOUR	---641---
PROPOSED STORM DRAIN	====
DRAINAGE AREA BOUNDARY	-----
DRAINAGE AREA LABEL	
NAME	A1
AREA (ACRES)	2.6
INLET DESIGNATION	XX' C.I. XX
FLOW AREA	→
DESIGN POINT	▲

- NOTES:**
1. PROPERTY IS ZONED MF-2.
 2. DESIGN CRITERIA IS BASED ON CLEBURNE, TEXAS CODE OF ORDINANCES DRAINAGE STANDARDS SECTION 154.124.
 3. EXISTING CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY PREPARED BY MMA, DATED AUGUST, 2025 AND LIDAR COMPLETED IN 2019 DOWNLOADED FROM TXGEO.
 4. DRAINAGE AREAS ARE BASED ON EXISTING TOPOGRAPHY.

GENERAL UTILITY NOTES:

ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT NEITHER THE OWNER NOR THE ENGINEER ASSUME ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

CALL TEXAS 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

SOURCE BENCHMARK:

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**IRVING LOFTS
 CLEBURNE, TEXAS
 EXISTING DRAINAGE AREA MAP**

mma
 civil engineering surveying landscape architecture planning
 tlpels registration number: 1 - 2759
 tlpels registration/license number: 10088000
 519 east border
 orlington, texas 76010
 817-469-1671
 fax: 817-274-8757
 www.mmatexas.com

12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 FOR PERMIT

PROJECT NUMBER:	3949-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

REV.	DATE	DESCRIP.	BY

EXISTING DRAINAGE AREA MAP

SHEET NO: **C8.0**
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IRVING LOFTS																					
EXISTING CONDITIONS DRAINAGE AREA COMPUTATIONS																					
Area Name	Runoff Coef. "C"	AREA "A" (ac.)	Total "CA"	Time of Concentration (min)	Ca 10	C*Ca 10	I10 (in/hr)	Q10 (cfs)	Ca 25	C*Ca 25	I25 (in/hr)	Q25 (cfs)	Ca 50	C*Ca 50	I50 (in/hr)	Q50 (cfs)	Ca 100	C*Ca 100	I100 (in/hr)	Q100 (cfs)	COMMENTS
A1	0.38	0.26	0.10	5.00	1.00	0.38	7.88	0.77	1.10	0.41	9.26	0.99	1.20	0.45	10.37	1.22	1.25	0.47	10.96	1.34	NORTH TO ADJACENT PROPERTY-DESIGN POINT 1
A2	0.55	0.38	0.21	5.00	1.00	0.55	7.88	1.65	1.10	0.61	9.26	2.13	1.20	0.66	10.37	2.60	1.25	0.69	10.96	2.86	TO DESIGN POINT 1
B1	0.73	0.43	0.32	5.00	1.00	0.73	7.88	2.48	1.10	0.80	9.26	3.21	1.20	0.88	10.37	3.92	1.25	0.91	10.96	4.32	TO N. ROBINSON STREET-DESIGN POINT 2
C1	0.39	0.66	0.26	5.00	1.00	0.39	7.88	2.02	1.10	0.43	9.26	2.61	1.20	0.47	10.37	3.19	1.25	0.49	10.96	3.51	TO N. ANGLIN STREET-DESIGN POINT 3
C2	0.82	0.64	0.52	5.00	1.00	0.82	7.88	4.12	1.10	0.91	9.26	5.33	1.20	0.99	10.37	6.51	1.25	1.00	10.96	6.96	TO EXISTING GRATE INLET-DESIGN POINT 3
C3	0.77	0.08	0.06	5.00	1.00	0.77	7.88	0.48	1.10	0.84	9.26	0.62	1.20	0.92	10.37	0.75	1.25	0.96	10.96	0.83	TO EXISTING GRATE INLET-DESIGN POINT 3
D1	0.55	0.29	0.16	5.00	1.00	0.55	7.88	1.28	1.10	0.61	9.26	1.65	1.20	0.66	10.37	2.02	1.25	0.69	10.96	2.22	TO GRESHAM AVENUE-DESIGN POINT 4
D2	0.77	0.14	0.11	5.00	1.00	0.77	7.88	0.85	1.10	0.84	9.26	1.10	1.20	0.92	10.37	1.35	1.25	0.96	10.96	1.49	TO EXISTING GRATE INLET-DESIGN POINT 4
D3	0.89	0.11	0.10	5.00	1.00	0.89	7.88	0.77	1.10	0.98	9.26	1.00	1.20	1.00	10.37	1.14	1.25	1.00	10.96	1.21	TO EXISTING GRATE INLET-DESIGN POINT 4
D4	0.82	0.03	0.02	5.00	1.00	0.82	7.88	0.19	1.10	0.91	9.26	0.25	1.20	0.99	10.37	0.30	1.25	1.00	10.96	0.32	TO EXISTING TRENCH DRAIN-DESIGN POINT 4
D5	0.32	0.14	0.05	5.00	1.00	0.32	7.88	0.36	1.10	0.36	9.26	0.46	1.20	0.39	10.37	0.56	1.25	0.41	10.96	0.62	TO GRESHAM AVENUE-DESIGN POINT 4

IRVING LOFTS						
EXISTING CONDITIONS WEIGHTED C VALUE COMPUTATIONS						
AREA NAME	DESCRIPTION	AREA - A (AC.)	"C"	C*A	WEIGHTED "C"	
Area No. A1	PERVIOUS	0.2259	0.30	0.0678		
	IMPERVIOUS	0.0332	0.90	0.0299		
	TOTALS	0.2591		0.0977	0.377	
Area No. B1	PERVIOUS	0.1221	0.30	0.0366		
	IMPERVIOUS	0.3095	0.90	0.2786		
	TOTALS	0.4316		0.3152	0.730	
Area No. C1	PERVIOUS	0.5629	0.30	0.1689		
	IMPERVIOUS	0.0971	0.90	0.0874		
	TOTALS	0.6600		0.2563	0.388	
Area No. C2	PERVIOUS	0.0806	0.30	0.0242		
	IMPERVIOUS	0.5546	0.90	0.4991		
	TOTALS	0.6352		0.5233	0.824	
Area No. C3	PERVIOUS	0.0177	0.30	0.0053		
	IMPERVIOUS	0.0613	0.90	0.0552		
	TOTALS	0.0790		0.0605	0.766	
Area No. D1	PERVIOUS	0.1710	0.30	0.0513		
	IMPERVIOUS	0.1231	0.90	0.1108		
	TOTALS	0.2941		0.1621	0.551	
Area No. D2	PERVIOUS	0.0315	0.30	0.0095		
	IMPERVIOUS	0.1100	0.90	0.0990		
	TOTALS	0.1415		0.1085	0.766	
Area No. D3	PERVIOUS	0.0022	0.30	0.0007		
	IMPERVIOUS	0.1080	0.90	0.0972		
	TOTALS	0.1102		0.0979	0.888	
Area No. D4	PERVIOUS	0.0037	0.30	0.0011		
	IMPERVIOUS	0.0257	0.90	0.0231		
	TOTALS	0.0294		0.0242	0.824	
Area No. D5	PERVIOUS	0.1336	0.30	0.0401		
	IMPERVIOUS	0.0058	0.90	0.0052		
	TOTALS	0.1394		0.0453	0.325	

IRVING LOFTS
CLEBURNE, TEXAS
EXISTING DRAINAGE AREA CALCULATIONS

m m a
 civil engineering surveying landscape architecture planning
 tlpels registration number: 1 - 2759
 tlpels registration/license number: 10088000
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 www.mmatexas.com

12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 FOR PERMIT

PROJECT NUMBER: 3949-00-02
 PROJECT MANAGER: A. TAYLOR
 DRAWN BY: B. SHELTON
 CHECKED BY: A. TAYLOR
 ISSUE DATE: 12/1/2025

REV.	DATE	DESCRIP.	BY

EXISTING DRAINAGE AREA CALCULATIONS

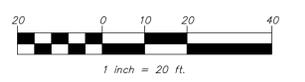
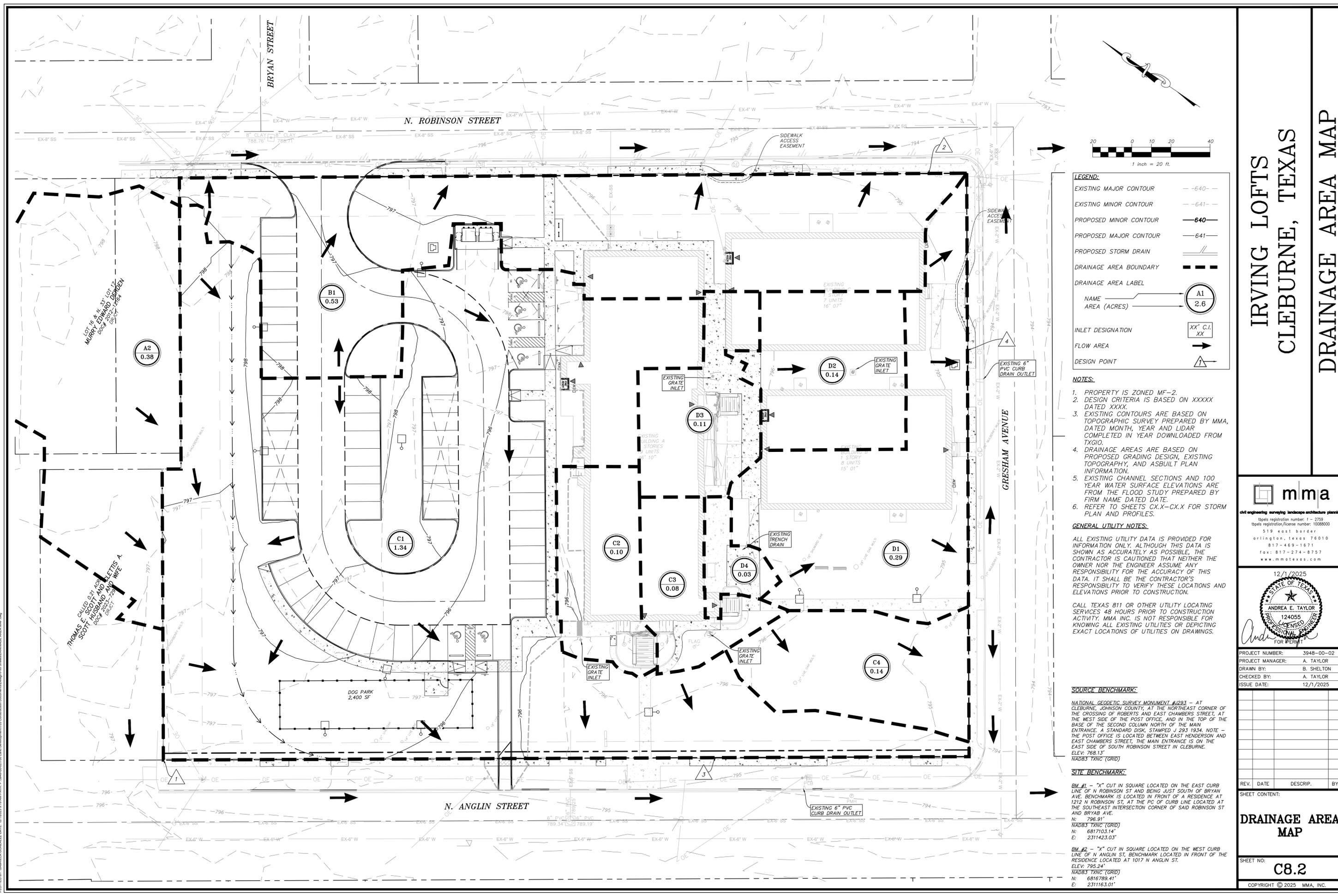
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PLOTTED BY: GABRIELA GONZALEZ DATE: 12/10/2025 9:11AM PATH: P:\344-00-02\700 Land Development\703 Construction Documents\Drawings\Sheet\EXISTING DRAINAGE AREA MAP.dwg



LEGEND:

EXISTING MAJOR CONTOUR	-640-
EXISTING MINOR CONTOUR	-641-
PROPOSED MINOR CONTOUR	—640—
PROPOSED MAJOR CONTOUR	—641—
PROPOSED STORM DRAIN	— —
DRAINAGE AREA BOUNDARY	- - - - -
DRAINAGE AREA LABEL	(A1)
NAME	XXXXXXXXXX
AREA (ACRES)	2.6
INLET DESIGNATION	XX' C.I. XX
FLOW AREA	→
DESIGN POINT	△

NOTES:

1. PROPERTY IS ZONED MF-2.
2. DESIGN CRITERIA IS BASED ON XXXXX DATED XXXX.
3. EXISTING CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY PREPARED BY MMA, DATED MONTH, YEAR AND LIDAR COMPLETED IN YEAR DOWNLOADED FROM TXGEO.
4. DRAINAGE AREAS ARE BASED ON PROPOSED GRADING DESIGN, EXISTING TOPOGRAPHY, AND ASBUILT PLAN INFORMATION.
5. EXISTING CHANNEL SECTIONS AND 100 YEAR WATER SURFACE ELEVATIONS ARE FROM THE FLOOD STUDY PREPARED BY FIRM NAME DATED DATE.
6. REFER TO SHEETS CX.X-CX.X FOR STORM PLAN AND PROFILES.

GENERAL UTILITY NOTES:

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CALL TEXAS 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA INC. IS NOT RESPONSIBLE FOR KNOWING A UTILITY'S OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

SOURCE BENCHMARK:

NATIONAL GEODETIC SURVEY MONUMENT #1293 - AT CLEBURNE, JOHNSON COUNTY, AT THE NORTHEAST CORNER OF THE CROSSING OF ROBERTS AND EAST CHAMBERS STREET, AT THE WEST SIDE OF THE POST OFFICE, AND IN THE TOP OF THE BASE OF THE SECOND COLUMN NORTH OF THE MAIN ENTRANCE. A STANDARD DISK, STAMPED J 293 1934. NOTE - THE POST OFFICE IS LOCATED BETWEEN EAST HENDERSON AND EAST CHAMBERS STREET, THE MAIN ENTRANCE IS ON THE EAST SIDE OF SOUTH ROBINSON STREET IN CLEBURNE. ELEV: 768.13' NAD83 TXNC (GRID)

SITE BENCHMARK:

BM #1 - "X" CUT IN SQUARE LOCATED ON THE EAST CURB LINE OF N ROBINSON ST AND BEING JUST SOUTH OF BRYAN AVE. BENCHMARK IS LOCATED IN FRONT OF A RESIDENCE AT 1212 N ROBINSON ST, AT THE PC OF CURB LINE LOCATED AT THE SOUTHEAST INTERSECTION CORNER OF SAID ROBINSON ST AND BRYAN AVE. N: 796.91' NAD83 TXNC (GRID) N: 6817103.14' E: 2311423.03'

BM #2 - "X" CUT IN SQUARE LOCATED ON THE WEST CURB LINE OF N ANGLIN ST, BENCHMARK LOCATED IN FRONT OF THE RESIDENCE LOCATED AT 1017 N ANGLIN ST. ELEV: 795.24' NAD83 TXNC (GRID) N: 6816789.41' E: 2311163.01'

**IRVING LOFTS
CLEBURNE, TEXAS
DRAINAGE AREA MAP**

mma
 civil engineering surveying landscape architecture planning
 tlpels registration number: 1 - 2759
 tlpels registration/license number: 10088000
 519 east border
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 817-469-1671
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 www.mmatexas.com

12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 FOR PERMIT

PROJECT NUMBER:	3949-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	B. SHELTON
CHECKED BY:	A. TAYLOR
ISSUE DATE:	12/1/2025

REV.	DATE	DESCRIP.	BY

DRAINAGE AREA MAP

SHEET NO: **C8.2**

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PLOTTED BY: GABRIELA GONZALEZ DATE: 12/10/2025 9:15AM PATH: P:\384-00-02\700 Land Development\700 Construction Documents\Drawings\Sheet\Drainage Area Map.dwg

IRVING LOFTS																					
PROPOSED CONDITIONS DRAINAGE AREA COMPUTATIONS																					
Area Name	Runoff Coef. "C"	AREA "A" (ac.)	Total "CA"	Time of Concentration (min)	Ca 10	C*Ca 10	I10 (in/hr)	Q10 (cfs)	Ca 25	C*Ca 25	I25 (in/hr)	Q25 (cfs)	Ca 50	C*Ca 50	I50 (in/hr)	Q50 (cfs)	Ca 100	C*Ca 100	I100 (in/hr)	Q100 (cfs)	COMMENTS
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22
A2	0.55	0.38	0.21	5.00	1.00	0.55	7.88	1.65	1.10	0.61	9.26	2.13	1.20	0.66	10.37	2.60	1.25	0.69	10.96	2.86	TO N. ANGLIN STREET-DESIGN POINT 3
B1	0.59	0.53	0.31	5.00	1.00	0.59	7.88	2.48	1.10	0.65	9.26	3.20	1.20	0.71	10.37	3.91	1.25	0.74	10.96	4.31	TO N. ROBINSON STREET-DESIGN POINT 2
C1	0.58	1.34	0.78	5.00	1.00	0.58	7.88	6.18	1.10	0.64	9.26	7.99	1.20	0.70	10.37	9.76	1.25	0.73	10.96	10.74	TO N. ANGLIN STREET-DESIGN POINT 3
C2	0.85	0.10	0.09	5.00	1.00	0.85	7.88	0.68	1.10	0.93	9.26	0.87	1.20	1.00	10.37	1.05	1.25	1.00	10.96	1.11	TO EXISTING GRATE INLET-DESIGN POINT 3
C3	0.77	0.08	0.06	5.00	1.00	0.77	7.88	0.48	1.10	0.84	9.26	0.62	1.20	0.92	10.37	0.75	1.25	0.96	10.96	0.83	TO EXISTING GRATE INLET-DESIGN POINT 3
D1	0.55	0.29	0.16	5.00	1.00	0.55	7.88	1.28	1.10	0.61	9.26	1.65	1.20	0.66	10.37	2.02	1.25	0.69	10.96	2.22	TO GRESHAM AVENUE-DESIGN POINT 4
D2	0.77	0.14	0.11	5.00	1.00	0.77	7.88	0.85	1.10	0.84	9.26	1.10	1.20	0.92	10.37	1.35	1.25	0.96	10.96	1.49	TO EXISTING GRATE INLET-DESIGN POINT 4
D3	0.89	0.11	0.10	5.00	1.00	0.89	7.88	0.77	1.10	0.98	9.26	1.00	1.20	1.00	10.37	1.14	1.25	1.00	10.96	1.21	TO EXISTING GRATE INLET-DESIGN POINT 4
D4	0.82	0.03	0.02	5.00	1.00	0.82	7.88	0.19	1.10	0.91	9.26	0.25	1.20	0.99	10.37	0.30	1.25	1.00	10.96	0.32	TO EXISTING TRENCH DRAIN-DESIGN POINT 4
D5	0.30	0.14	0.04	5.00	1.00	0.30	7.88	0.33	1.10	0.33	9.26	0.43	1.20	0.36	10.37	0.52	1.25	0.38	10.96	0.57	TO GRESHAM AVENUE-DESIGN POINT 4

IRVING LOFTS					
PROPOSED CONDITIONS WEIGHTED C VALUE COMPUTATIONS					
AREA NAME	DESCRIPTION	AREA - A (AC.)	"C"	C*A	WEIGHTED "C"
Area No. B1	PERVIOUS	0.2764	0.30	0.0829	
	IMPERVIOUS	0.2574	0.90	0.2317	
	TOTALS	0.5338		0.3146	0.589
Area No. C1	PERVIOUS	0.7040	0.30	0.2112	
	IMPERVIOUS	0.6368	0.90	0.5731	
	TOTALS	1.3408		0.7843	0.585
Area No. C2	PERVIOUS	0.0089	0.30	0.0027	
	IMPERVIOUS	0.0924	0.90	0.0832	
	TOTALS	0.1013		0.0858	0.847
Area No. C3	PERVIOUS	0.0177	0.30	0.0053	
	IMPERVIOUS	0.0613	0.90	0.0552	
	TOTALS	0.0790		0.0605	0.766
Area No. D1	PERVIOUS	0.1710	0.30	0.0513	
	IMPERVIOUS	0.1231	0.90	0.1108	
	TOTALS	0.2941		0.1621	0.551
Area No. D2	PERVIOUS	0.0315	0.30	0.0095	
	IMPERVIOUS	0.1100	0.90	0.0990	
	TOTALS	0.1415		0.1085	0.766
Area No. D3	PERVIOUS	0.0022	0.30	0.0007	
	IMPERVIOUS	0.1080	0.90	0.0972	
	TOTALS	0.1102		0.0979	0.888
Area No. D4	PERVIOUS	0.0037	0.30	0.0011	
	IMPERVIOUS	0.0257	0.90	0.0231	
	TOTALS	0.0294		0.0242	0.824
Area No. D5	PERVIOUS	0.1393	0.30	0.0418	
	IMPERVIOUS	0.0001	0.90	0.0001	
	TOTALS	0.1394		0.0419	0.300

RUNOFF SUMMARY TABLE												
Design Point	Existing Discharge (cfs)				Proposed Discharge (cfs)				Difference			
	10-yr	25-yr	50-yr	100-yr	10-yr	25-yr	50-yr	100-yr	10-yr	25-yr	50-yr	100-yr
1	2.42	3.12	3.82	4.20	0.00	0.00	0.00	0.00	-2.42	-3.12	-3.82	-4.20
2	2.48	3.21	3.92	4.32	2.48	3.20	3.91	4.31	0.00	-0.01	-0.01	-0.01
3	6.62	8.55	10.45	11.30	8.98	11.60	14.16	15.55	2.36	3.05	3.71	4.25
4	3.45	4.46	5.37	5.86	3.42	4.42	5.33	5.81	-0.03	-0.03	-0.04	-0.05
N. Anglin Street	9.39	12.14	14.83	16.12	9.31	12.03	14.68	16.12	-0.08	-0.11	-0.15	0.00

IRVING LOFTS
 CLEBURNE, TEXAS
 DRAINAGE AREA CALCULATIONS



 civil engineering surveying landscape architecture planning

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12/1/2025



 ANDREA E. TAYLOR

 124055

 LICENSED PROFESSIONAL ENGINEER

 FOR PERMIT

PROJECT NUMBER: 3949-00-02

 PROJECT MANAGER: A. TAYLOR

 DRAWN BY: B. SHELTON

 CHECKED BY: A. TAYLOR

 ISSUE DATE: 12/1/2025

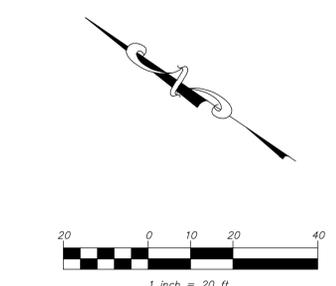
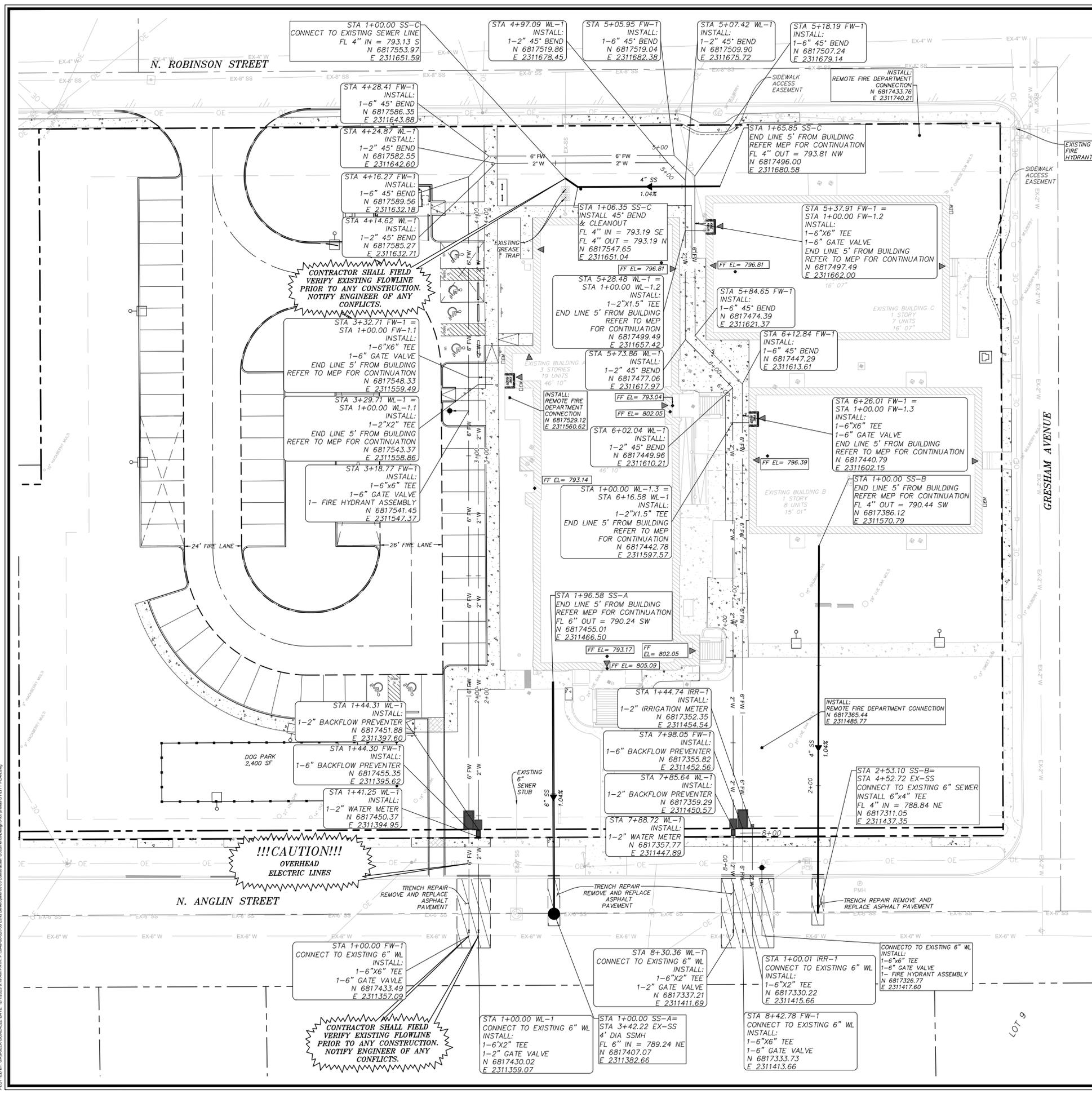
REV.	DATE	DESCRIP.	BY

SHEET CONTENT:
DRAINAGE AREA CALCULATIONS

SHEET NO:
C8.3

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PLOTTED BY: GABRIELA GONZALEZ DATE: 12/1/2025 9:11 AM PATH: P:\344-00-02\030 Land Development\03 Construction Documents\Drawings\Sheet\DRAINAGE AREA MAP.dwg



LEGEND:

FIRE LANE	---
ACCESSIBLE PARKING SPACE	⊕
SIGN	⊙
WHEEL STOP	⊓
EXISTING SANITARY SEWER	EX-SS
EXISTING SEWER MANHOLE	⊙
EXISTING WATER LINE	EX-W
EXISTING WATER VALVE	⊕
EXISTING FIRE HYDRANT	⊕
PROPOSED FIRE HYDRANT	⊕
EXISTING OVERHEAD ELECTRIC	OE
EXISTING GRATE INLET	⊕
EXISTING CLEANOUT	⊕
EXISTING FLUME AND PLATE	⊕
EXISTING AC UNIT	⊕
EXISTING POWER POLE	⊕
PARKING COUNT	⊕

NOTES:

- MINIMUM COVER ON WATER PIPE SHALL BE 48" OVER THE WATER PIPE AS MEASURED FROM THE TOP OF THE PIPE TO THE EXISTING GROUND OR PROPOSED FINISHED GRADE, WHICHEVER IS GREATER.
- FIRE HYDRANT ASSEMBLY SHALL INCLUDE HYDRANT, FITTINGS, AND 6" LEAD PIPE.
- ALL FIRE LINES, SHALL BE SIZED AND INSTALLED BY A STATE OF TEXAS LICENSED FIRE SPRINKLER CONTRACTOR.
- GENERAL CONTRACTOR SHALL PURCHASE AND INSTALL WATER METERS. METERS TO BE PURCHASED FROM CITY OF CLEBURNE WATER DEPARTMENT.
- MAINTAIN A MINIMUM SEPARATION OF 9 FEET BETWEEN WATER AND SEWER LINES.
- SEE SHEET C10.0 FOR WATER DETAILS.
- ALL PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CLEBURNE STANDARDS AND SPECIFICATIONS. A COPY OF THE CITY STANDARDS AND SPECIFICATIONS FOR USE ON THIS PROJECT MAY BE OBTAINED FROM THE CITY OF CLEBURNE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND DOCUMENTS APPROVED BY THE PERMITTING AGENCIES.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON CITY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- TRENCH EXCAVATION FOR TRENCHES 5 FEET OR MORE IN DEPTH SHALL BE IN ACCORDANCE WITH ALL PROVISIONS OF PART 1926, SUBPART B - "EXCAVATIONS, TRENCHING AND SHORING OF THE OCCUPATIONAL SAFETY AND HEALTH'S STANDARDS AND INTERPRETATIONS". IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM TO THE ABOVE PROVISIONS AND PROVIDE NECESSARY TRENCH SAFETY PLANS TO THE CITY PRIOR TO RELEASE OF PLANS FOR CONSTRUCTION.
- A TRENCH SAFETY PLAN AND A TRAFFIC SAFETY PLAN BOTH SEALED BY AN ENGINEER LICENSED IN THE STATE OF TEXAS WILL BE PROVIDED BY THE CONTRACTOR.
- STATE LAW REQUIRES THE PRIVATE FIRE SERVICE UTILITIES AND UNDERGROUND SPRINKLER SYSTEM PIPING BE INSTALLED BY A CONTRACTOR LICENSED BY THE TEXAS COMMISSION OF FIRE PROTECTION TO INSTALL PRIVATE FIRE SERVICE UTILITIES. FLUSHING OF THE PIPING AND A HYDROSTATIC TEST IS TO BE WITNESSED BY THE FIRE DEPARTMENT PRIOR TO COVERING THE PIPING OR MAKING CONNECTION TO ANY ABOVEGROUND PIPING. A PERMIT ISSUED BY THE FIRE DEPARTMENT IS REQUIRED PRIOR TO STARTING WORK ON THE UTILITIES.
- THE FIRE DEPARTMENT CONNECTION FOR THE SPRINKLER SYSTEM IS A 4" STORZ CONNECTION.
- INSTALL CLEANOUTS REQUIRED BY PLUMBING CODE.

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SITE BENCHMARK:
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**IRVING LOFTS
CLEBURNE, TEXAS
UTILITY PLAN**

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12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 FOR PERMIT

PROJECT NUMBER: 3949-00-02
 PROJECT MANAGER: A. TAYLOR
 DRAWN BY: B. SHELTON
 CHECKED BY: A. TAYLOR
 ISSUE DATE: 12/1/2025

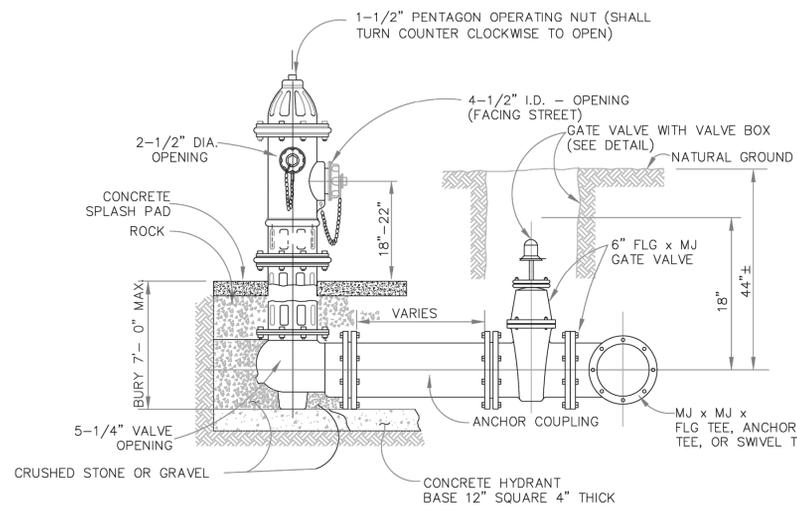
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UTILITY PLAN

SHEET NO: **C9.0**

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STANDARD FIRE HYDRANT DETAIL

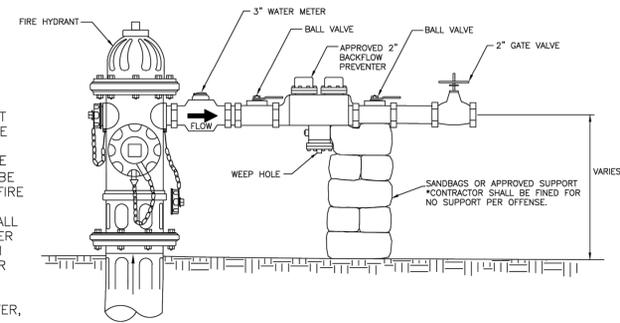
N.T.S.

FIRE HYDRANT NOTES:

1. FIRE HYDRANT SHALL BE CLOW OR MUELLER.
2. CENTER OF F.H. BARREL SHALL BE NOT LESS THAN 2.5' OR MORE THAN 3.5' FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE APPROVED BY THE ENGINEERING DEPARTMENT.
3. ON PRIVATE CONTRACTS, THE DEVELOPER'S ENGINEER WILL STAKE F.H. HORIZONTAL LOCATION AND FLANGE ELEVATION.
4. FIRE HYDRANTS SHALL BE INSTALLED PRIMED ONLY, PAINTED AFTER INSTALLATION.
5. FIRE HYDRANTS TO BE PAINTED BY BUILDER - SHERWIN WILLIAMS POLANE SILVER, PART #: F635L5 OR EQUIVALENT.
6. HYDRANT LEADS OR FIRE LINES IN EXCESS OF 200' REQUIRE DOUBLE-CHECK ASSEMBLY AT MAIN.
7. ALL HYDRANT EXTENSIONS SHALL HAVE BREAKAWAY FLANGE AND STEM COUPLING.
8. BLOCKING OF FIRE HYDRANT SHALL BE REQUIRED FOR EXTENSIONS ACROSS STREETS FROM MAINS OF LEADS LONGER THAN ONE JOINT OF PIPE. LAST JOINT OF PIPE CONNECTING TO HYDRANT MUST BE A FULL JOINT.
9. LOWER BARREL ON FIRE HYDRANT SHALL NOT EXCEED 7'-0". IF NECESSARY, RETAINED BENDS MAY BE USED TO ACHIEVE GRADE NEEDED WITHOUT EXCEEDING 7'-0" LOWER BARREL HEIGHT. ALL PIPING TO BE DUCTILE IRON.
10. PIPE WITH RETAINER GLANDS WILL ONLY BE PERMITTED FOR LEADS THAT EXCEED 36".
11. FIRE HYDRANTS SHALL NOT BE INSTALLED IN EXISTING OR PROPOSED SIDEWALKS.
12. FIRE HYDRANT SHALL BE LOCATED OUTSIDE OF CURB RETURNS AND A MINIMUM OF 4' FROM DRIVEWAYS APPROACH RADIUS.
13. HYDRANT VALVE SHALL FOLLOW GATE VALVE DETAIL.
14. ALL PIPING SHALL BE DUCTILE IRON WITH ALL BURIED VALVE, PIPE, AND FITTINGS TO BE POLY-WRAPPED.
15. HYDRANTS LOCATED IN PARKWAY MUST HAVE SPLASH PADS EXTENDED TO CURB.

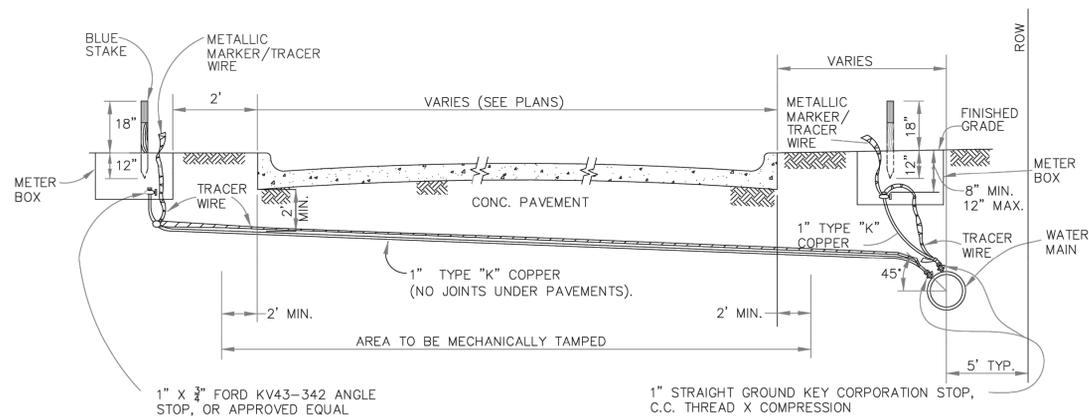
NOTES:

1. USE OF HYDRANT REQUIRES VALID WATER FIRE HYDRANT METER AGREEMENT. CONTACT WATER UTILITIES CUSTOMER SERVICE OFFICE FOR APPLICATION.
2. METER AND REDUCED BACKFLOW PRESSURE ZONE (RPZ) BACKFLOW ASSEMBLY SHALL BE FULLY SUPPORTED WHEN CONNECTED TO FIRE HYDRANT.
3. METER AND RPZ BACKFLOW ASSEMBLY SHALL BE APPROVED BY CITY OF CLEBURNE WATER UTILITIES. METER MUST BE OBTAINED FROM CITY OF CLEBURNE WATER UTILITIES. METER SHALL BE TESTED ANNUALLY BY CITY OF CLEBURNE WATER UTILITIES.
4. PRIOR TO ANY USE OF FIRE HYDRANT WATER, THE RPZ MUST BE TESTED BY A CITY-REGISTERED BACKFLOW PREVENTION ASSEMBLY TESTER (BPAT), AND A CURRENT AND PASSING TEST AND MAINTENANCE REPORT (TMR) FOR THE RPZ MUST BE SENT TO UTILITY BILLING AT (817) 645-0919. BACKFLOW ASSEMBLY SHALL BE TESTED ANNUALLY AND EACH TIME THE ASSEMBLY IS MOVED TO A DIFFERENT FIRE HYDRANT SITE. COPY OF TEST SHALL BE SENT TO CITY OF CLEBURNE WATER UTILITIES WATER RESOURCE SERVICES BEFORE USAGE WILL BE ALLOWED. CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO FIRE HYDRANT DURING USE.
5. SANDBAGS OR APPROVED SUPPORT SHALL NOT OBSTRUCT WEEP HOLE.



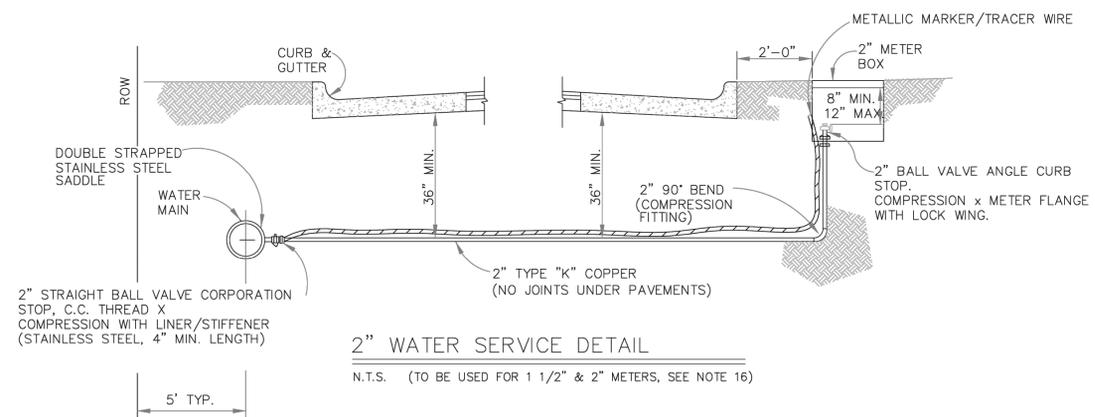
CONSTRUCTION WATER METER DETAIL

N.T.S.



1" WATER SERVICE DETAIL

N.T.S. (TO BE USED FOR 3/4" & 1" METER, TO BE REDUCED AT METER)



2" WATER SERVICE DETAIL

N.T.S. (TO BE USED FOR 1 1/2" & 2" METERS, SEE NOTE 16)

WATER SERVICE NOTES:

1. TRACER WIRE IS REQUIRED ALONG CITY SIDE SERVICE CONNECTION FROM MAIN TO METER
2. TRACER WIRE IS REQUIRED ALONG ENTIRE LENGTH OF MAIN
3. METER BOX MUST BE BEDDED WITH AT LEAST 4" CRUSHED STONE OR PEA GRAVEL



DETAIL NAME / PROJECT NO.		WATER DETAILS	
ENGINEERING SERVICES DEPARTMENT	FILE:	W-1	SCALE: NOT TO SCALE
			DATE: 2020 VERSION

IRVING LOFTS
CLEBURNE, TEXAS
WATER DETAILS

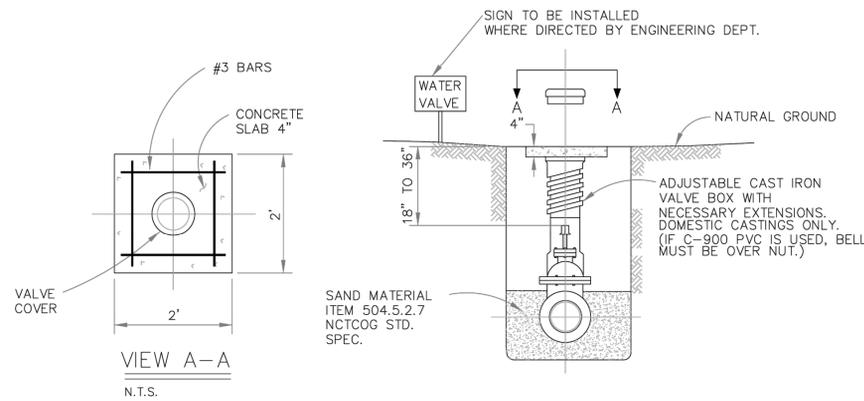
mma
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12/1/2025
STATE OF TEXAS
ANDREA E. TAYLOR
124055
REGISTERED PROFESSIONAL ENGINEER
FOR PERMIT
PROJECT NUMBER: 3948-00-02
PROJECT MANAGER: A. TAYLOR
DRAWN BY: B. SHELTON
CHECKED BY: A. TAYLOR
ISSUE DATE: 12/1/2025

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:
WATER DETAILS

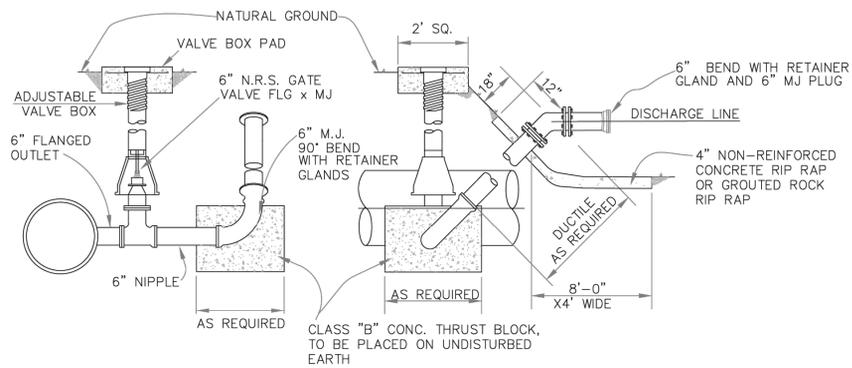
SHEET NO:
C10.0
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TYPICAL VALVE SETTING AND BOX
4" TO 12" GATE VALVE
N.T.S.

NOTES: WATER VALVE

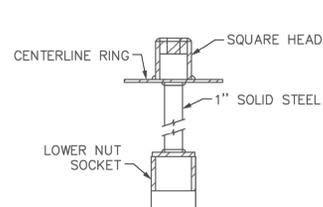
1. ALL VALVES TO BE RESILIENT SEAT GATE VALVES WITH NON-RISING STEMS, COUNTER-CLOCKWISE OPENING.
2. VALVE STEM EXTENSIONS WITH ROCK GUARDS AND LOCK CLIPS SHALL BE INSTALLED WHERE NECESSARY TO PLACE OPERATING NUT NOT MORE THAN 36" BELOW FINISHED GRADE.
3. VALVES SHALL BE CLOW VALVES (OR APPROVED EQUAL) WITH STAINLESS STEEL HARDWARE (NUTS AND BOLTS). FLANGED WHERE APPLICABLE. MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCTCOG ITEM 502.6
4. ALL VALVES SHALL BE INSTALLED WITH 2'X2' CONCRETE PAD WITH VALVE COVERS IN CENTER OF PAD. THE CONCRETE PAD SHALL MATCH PAVEMENT THICKNESS WITHIN PAVEMENT, OR BE 4" THICK OUTSIDE PAVED AREAS. PADS SHALL BE REINFORCED WITH FOUR NO. 3 REBARS AROUND CONCRETE PADS.
5. VALVES SHALL BE INSTALLED IN CENTER OF LANES AND OUTSIDE NORMAL TIRE PATH OF LANE WHEN IN PAVED ROADWAYS.



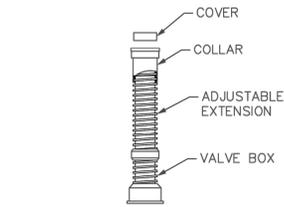
BLOW OFF VALVE DETAIL
N.T.S.

NOTES:

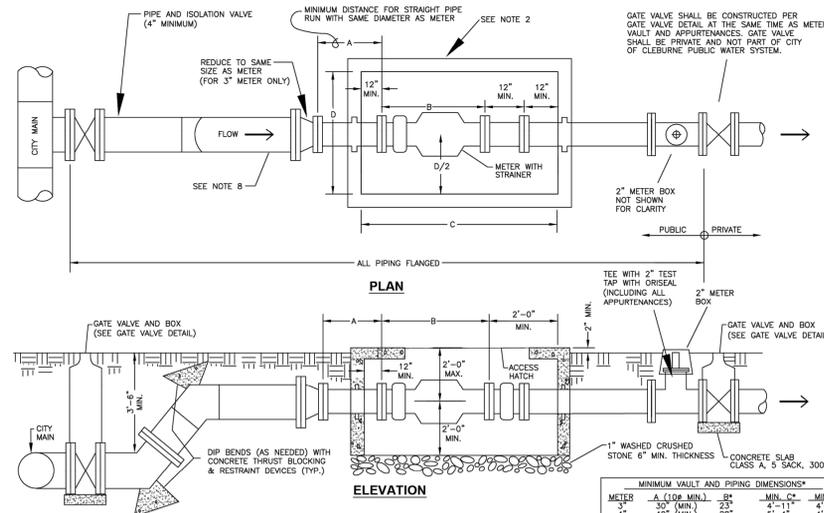
1. MUST BE DISCHARGED INTO STORM SEWER, BRIDGE OR CULVERT.
2. USE APPROPRIATE BEND TO MAKE DISCHARGE END HORIZONTAL.
3. ALL FITTINGS SHALL BE RETAINED & DISCHARGE END SHALL BE CLOSED W/MJ PLUG.



VALVE EXTENSION
N.T.S.



N.T.S.



- NOTES:
1. PIPING & BENDS IN METER VAULT SHALL BE FLANGED DUCTILE IRON, CLASS 350. OTHER PIPING & FITTINGS SHALL BE RESTRAINTED MJ OR FLANGED DUCTILE IRON.
 2. METER VAULT SHALL NOT BE INSTALLED IN EXISTING OR PROPOSED SIDEWALKS, DRIVEWAYS, PAVEMENTS OR ANY TRAFFIC AREAS.
 3. ACCESS HATCH FOR METER VAULT SHALL BE 3'-6" X 3'-6" AS MANUFACTURED BY BLOCO OR APPROVED EQUAL. HATCH SHALL BE LOCATED FOR EASE OF ENTRY AND ACCESS TO METER.
 4. TOP OF VAULT SHALL BE 2" ABOVE GROUND WITH DRAINAGE SLOPING DOWN AWAY FROM VAULT.
 5. METER BYPASSES ARE ONLY ALLOWED ON ONE-WAY FEEDS.
 6. A 4" SERVICE IS REQUIRED FOR 3" AND 4" METERS. SERVICES FOR METERS GREATER THAN 4" SHALL MATCH THE METER SIZE.
- MINIMUM VAULT AND PIPING DIMENSIONS*
- | METER | A (OD MIN.) | B* | MIN. C* | MIN. D |
|-------|-------------|---------|---------|--------|
| 3" | 30" (MIN.) | 23" | 4'-11" | 4'-0" |
| 4" | 40" (MIN.) | 28" | 5'-4" | 4'-0" |
| 6" | 60" (MIN.) | 45 1/4" | 6'-3" | 4'-0" |
| 8" | 80" (MIN.) | 52" | 7'-4" | 4'-6" |
| 10" | 100" (MIN.) | 57 1/4" | 8'-7" | 4'-6" |
- *SEE NOTE 2. METER LENGTH (B) MAY CHANGE ANNUALLY AND WILL AFFECT MIN. VAULT LENGTHS (C). DIMENSIONS SHOWN ARE FOR DOMESTIC METERS ONLY. IRRIGATION METERS HAVE SHORTER DIMENSIONS.

METER VAULT DETAIL
N.T.S.



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WATER DETAILS

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12/1/2025
STATE OF TEXAS
ANDREA E. TAYLOR
124055
REGISTERED PROFESSIONAL ENGINEER
FOR PERMIT
PROJECT NUMBER: 3949-00-02
PROJECT MANAGER: A. TAYLOR
DRAWN BY: B. SHELTON
CHECKED BY: A. TAYLOR
ISSUE DATE: 12/1/2025

DETAIL NAME / PROJECT NO. WATER DETAILS
ENGINEERING SERVICES DEPARTMENT FILE: W-2
SCALE: NOT TO SCALE
DATE: 2020 VERSION

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SHEET CONTENT:
WATER DETAILS
SHEET NO: C10.1
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**IRVING LOFTS
 CLEBURNE, TEXAS
 SEWER DETAILS**

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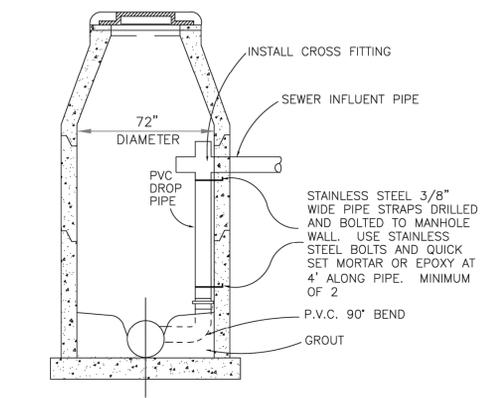
12/1/2025
 STATE OF TEXAS
 ANDREA E. TAYLOR
 124055
 LICENSED PROFESSIONAL ENGINEER
 FOR PERMIT

PROJECT NUMBER: 3949-00-02
 PROJECT MANAGER: A. TAYLOR
 DRAWN BY: B. SHELTON
 CHECKED BY: A. TAYLOR
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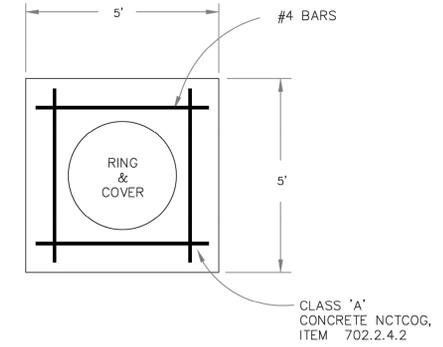
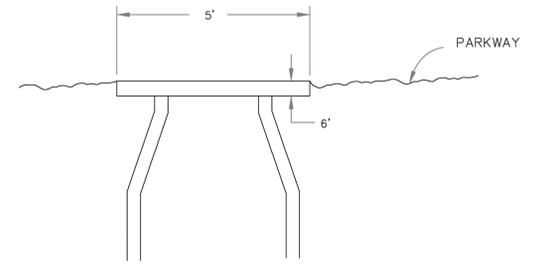
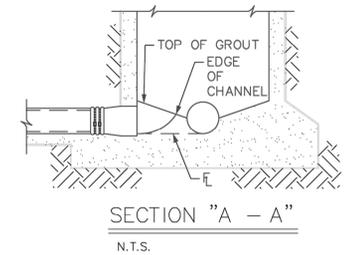
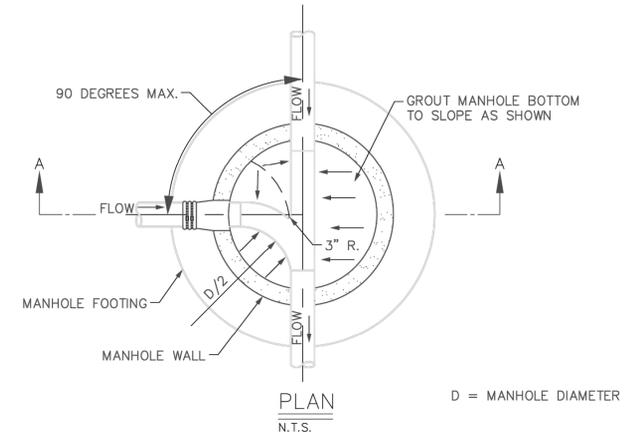
GENERAL NOTES:

1. ALL CONSTRUCTION MATERIALS, METHODS AND PLACEMENT NOT DETAILED BELOW SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, OCTOBER 2004 EDITION UNLESS SUPERSEDED BY CITY OF CLEBURNE STANDARD SPECIFICATIONS OR MATERIAL TESTING POLICIES.
2. RING AND COVER SHALL BE DOMESTIC CASTING ONLY. (BASS & HAYS VRM 30). CAST IN PLACE MANHOLE OR WEIGHTED DESIGNED CONE WITH BOLT DOWN RING AND COVER TO BE USED IN FLOOD-PRONE AREA AND MUST BE ANCHORED INTO CONE.
3. MANHOLE MARKERS SHALL BE INSTALLED IN ALL UNDEVELOPED AREAS.
4. MANHOLES SHALL BE PLACED MONOLITHICALLY WITH STREET. IF A BLOCK OUT IS NEEDED INSPECTOR WILL PRE-APPROVE SIZE & SHAPE OF BLOCK OUT.
5. INVERTS FOR CAST-IN-PLACE MANHOLES SHALL BE MADE BY PLACING PIPE CONTINUOUSLY THROUGH MANHOLES AND CUTTING OUT THE TOP OF THE PIPE. A MINIMAL AMOUNT OF CONCRETE INVERT BETWEEN PIPE ENDS WILL BE PERMITTED.
6. CONCRETE FOR MANHOLES TO BE CLASS "F" (6.5 SACK, 4200 PSI) PER NCTCOG SPECIFICATIONS 702.2.4.2. ALL CONCRETE SHALL CONTAIN SUFFICIENT AIR ENTRAINING AGENT TO YIELD 5% AIR CONTENT.
7. NO HINGED MANHOLE LIDS WITHOUT REASON AND APPROVED BY DIRECTOR OF PUBLIC WORKS.
8. WATER AND SEWER MAINS SHALL BE PLACED ON OPPOSITE SIDES OF THE STREET.
9. ALL MANHOLES SHALL BE INSTALLED WITH 5'X5' CONCRETE PAD WITH MANHOLE COVERS IN CENTER OF PAD. THE CONCRETE PAD SHALL MATCH PAVEMENT THICKNESS WITHIN PAVEMENT, OR BE 6" THICK OUTSIDE PAVED AREAS. PADS SHALL BE REINFORCED WITH FOUR NO. 4 REBARS. AROUND CONCRETE PADS.
10. MANHOLES SHALL BE INSTALLED IN CENTER OF LANES AND OUTSIDE NORMAL TIRE PATH OF LANE WHEN IN PAVED ROADWAYS.
11. VALVE AND MANHOLE MARKERS SHALL BE ETCHED INTO CURB AND PAINTED WITH DIRECTION ARROWS.
12. SERVICE LINES SHALL NOT CROSS LOT LINES.
13. SEWER AND WATER MAINS SHALL BE MINIMUM 9' APART.
14. CLEANOUTS ARE TO BE LOCATED IN THE PARKWAY BETWEEN THE CURB AND SIDEWALK.
15. CLEANOUTS ARE NOT ALLOWED IN DRIVEWAYS OR SIDEWALKS.

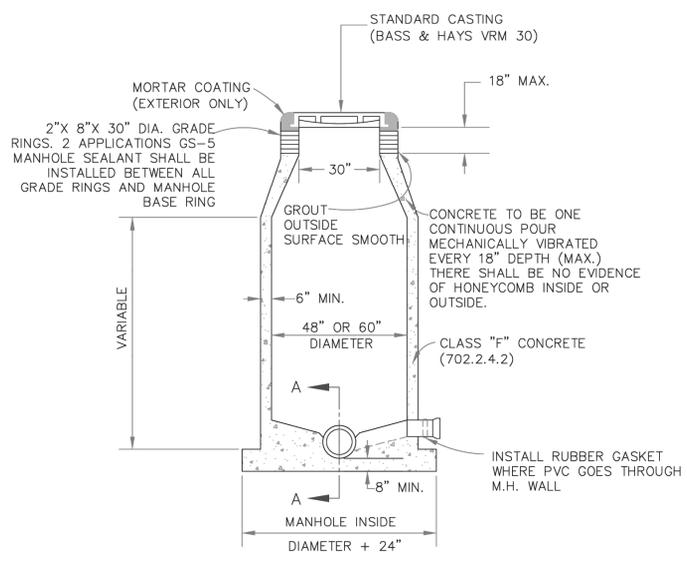
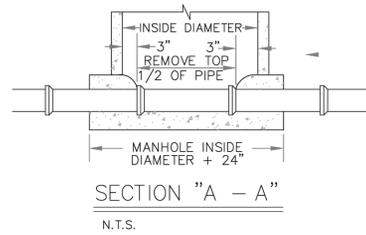


DROP CONNECTIONS FOR SANITARY SEWER MANHOLE

- N.T.S.
1. DROP PIPE SHALL BE ONE SIZE LARGER THAN SEWER INFLUENT PIPE.
 2. ALL DROP MANHOLES SHALL BE 72" DIAMETER.
 3. NO DROP PIPING SHALL BE REQUIRED IF SEWER INFLUENT PIPE FLOWLINE IS 18" OR LESS ABOVE MAIN SEWER PIPE FLOWLINES OR IF MAIN SEWER PIPE BENCH IS HIGHER THAN SEWER INFLUENT FLOWLINE.

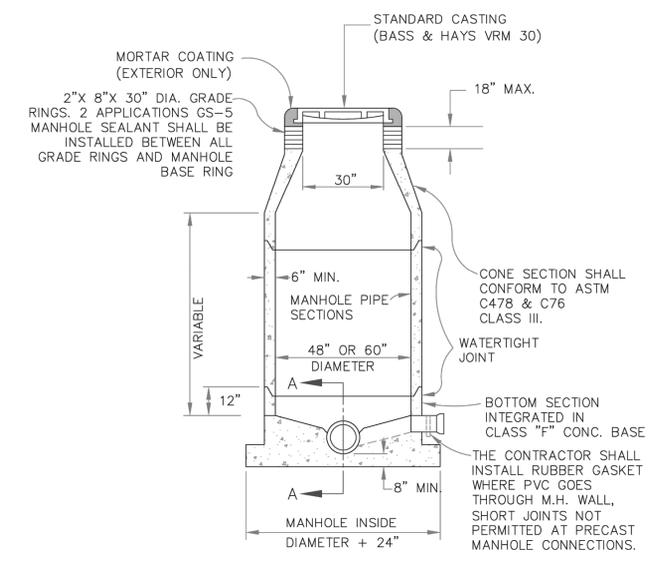


MANHOLE PAD DETAIL



CAST IN PLACE MANHOLE

- N.T.S.
1. MANHOLES FOR SEWER MAINS 15" OR LARGER SHALL BE 5' DIAMETER MINIMUM
 2. MANHOLES 10" OR DEEPER SHALL BE 5' DIAMETER MINIMUM



PRECAST CONCRETE MANHOLE

- N.T.S.
1. MANHOLES FOR SEWER MAINS 15" OR LARGER SHALL BE 5' DIAMETER MINIMUM
 2. MANHOLES 10" OR DEEPER SHALL BE 5' DIAMETER MINIMUM

DETAIL NAME / PROJECT NO. **SEWER DETAILS**

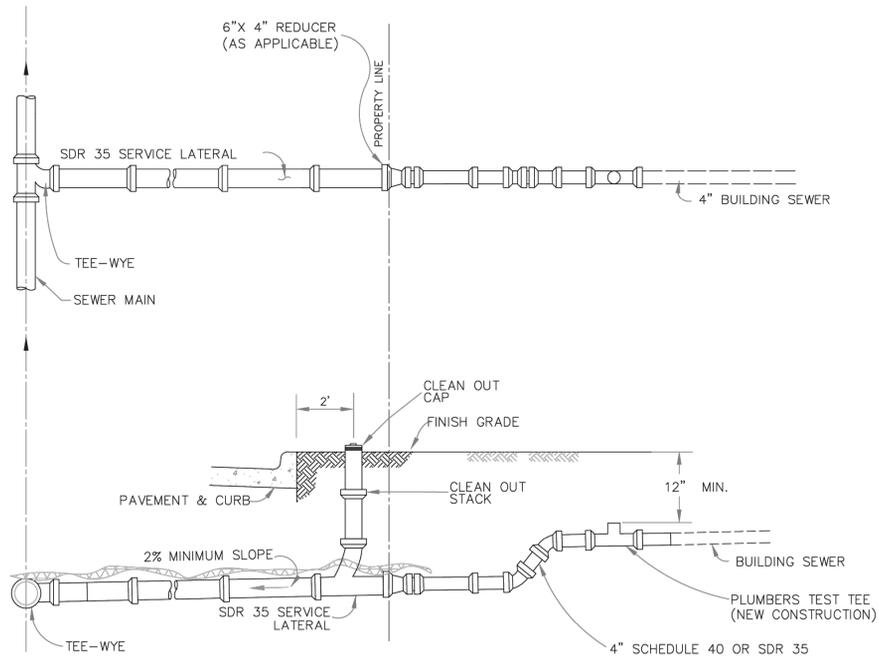
ENGINEERING SERVICES DEPARTMENT FILE: SS-1

SCALE: NOT TO SCALE
 DATE: 2022 VERSION

SEWER DETAILS

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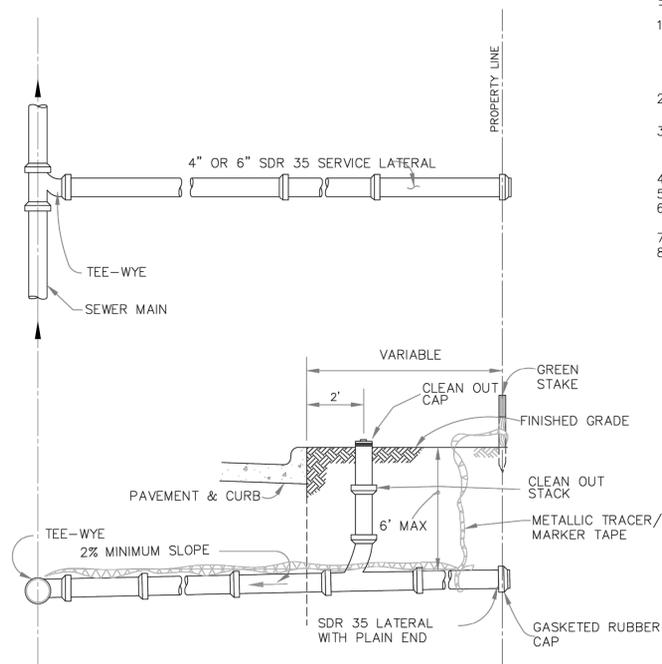


NOTES:

1. RUBBER BOOTS WILL ONLY BE PERMITTED FOR CLAY OR CONCRETE TILE SERVICE PIPE AND MUST BE CONCRETE ENCASED.
2. ONE 4" CONNECTION PER DWELLING UNIT (RESIDENTIAL ONLY)

STANDARD SEWER SERVICE CONNECTION

N.T.S. (PLUMBER CONNECTION OR CIP RECONSTRUCTION)



NOTES:

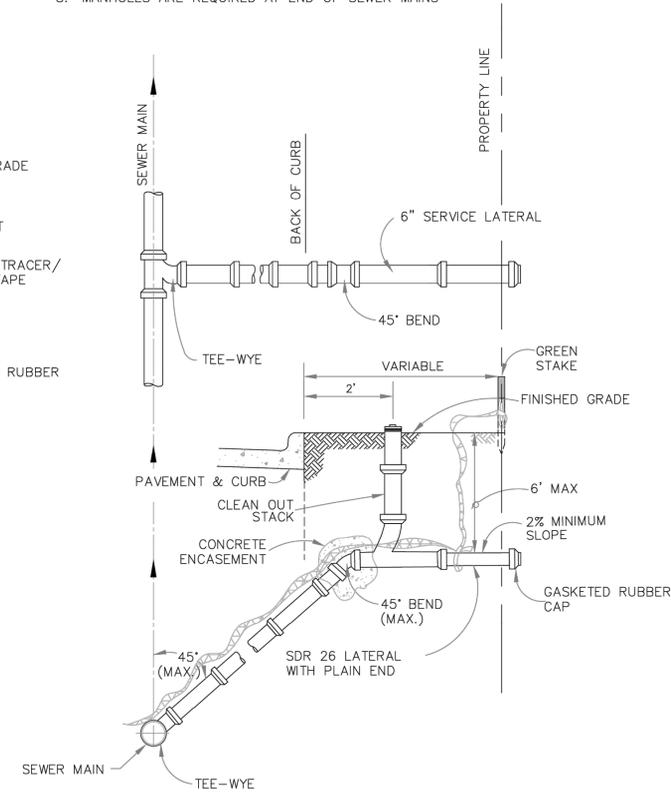
1. ONE 4" CONNECTION PER DWELLING UNIT (RESIDENTIAL ONLY)

STANDARD SEWER SERVICE FOR NEW CONSTRUCTION

N.T.S. (4" MIN. FOR RESIDENTIAL ONLY)

GENERAL NOTES:

1. ALL CONSTRUCTION MATERIALS, METHODS AND PLACEMENT NOT DETAILED BELOW SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, OCTOBER 2004 EDITION UNLESS SUPERSEDED BY CITY OF CLEBURNE STANDARD SPECIFICATIONS OR MATERIAL TESTING POLICIES.
2. WHERE COVER IS LESS THAN 3.5 FEET, SANITARY SEWER MAINS AND LATERALS SHALL BE CONCRETE ENCASED OR CAPPED (SEE SHEET SS-3).
3. METALLIC TRACER/MARKER TAPE, GREEN IN COLOR AND MARKED "SANITARY SEWER", TO BE PLACED ALONG MAIN LINES & SERVICES ON TOP OF CRUSHED STONE EMBEDMENT.
4. DOUBLE SWEEP CLEANOUT TEE 2' BEHIND CURB
5. NO APPURTENANT STRUCTURES ALLOWED IN SIDEWALK OR DRIVEWAYS
6. CLEANOUTS ARE TO BE LOCATED IN THE PARKWAY BETWEEN THE CURB AND SIDEWALK.
7. CLEANOUTS ARE NOT ALLOWED IN DRIVEWAYS OR SIDEWALKS.
8. MANHOLES ARE REQUIRED AT END OF SEWER MAINS

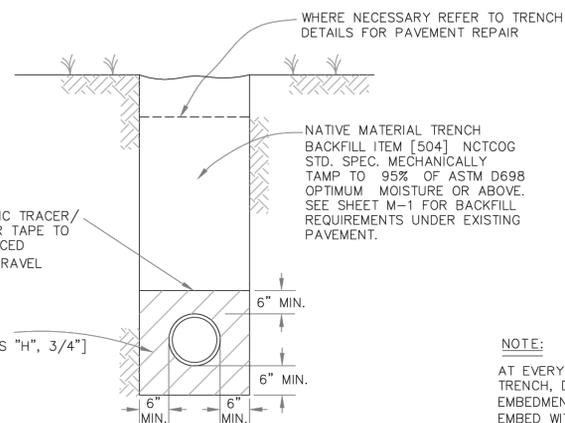


STANDARD DEEP SERVICE DETAIL FOR NEW CONSTRUCTION

N.T.S.

NOTES:

1. ROTATE TEE-WYE TO 45° MAX.
2. ONLY ONE 45° BEND WILL BE USED, 45° BEND MUST BE PLACED OUTSIDE OF PAVEMENT WHERE POSSIBLE.
3. CONCRETE ENCASE 45° BEND.



NOTE:

AT EVERY 100' INTERVAL ALONG TRENCH, DELETE BEDDING AND EMBEDMENT FOR 6' ALONG TRENCH. EMBED WITH CLASS "B" CONCRETE OR FLOWABLE FILL TO DISCOURAGE WATER MOVEMENT DOWN TRENCH.

SANITARY SEWER TYPICAL EMBEDMENT

N.T.S.

DETAIL NAME / PROJECT NO.

SEWER DETAILS

ENGINEERING SERVICES DEPARTMENT

FILE:

SS-2

SCALE: NOT TO SCALE
DATE: 2022 VERSION

**IRVING LOFTS
CLEBURNE, TEXAS
SEWER DETAILS**



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arlington, texas 76010
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12/1/2025



PROJECT NUMBER: 3949-00-02
PROJECT MANAGER: A. TAYLOR
DRAWN BY: B. SHELTON
CHECKED BY: A. TAYLOR
ISSUE DATE: 12/1/2025

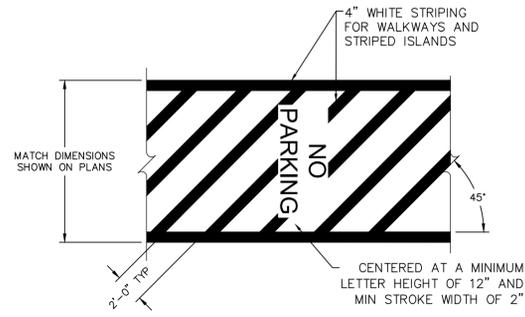
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SEWER DETAILS

SHEET NO: **C10.3**

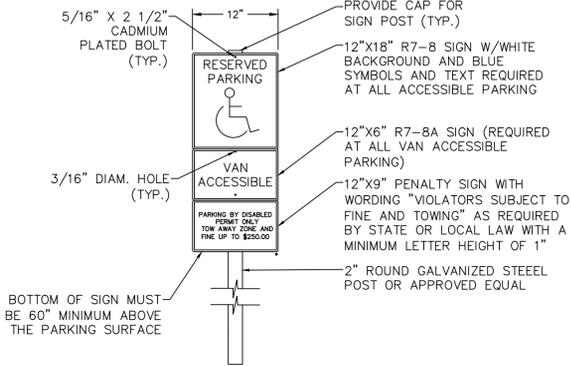
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7 LOADING ZONE STRIPING DETAIL
NOT TO SCALE

NOTE:

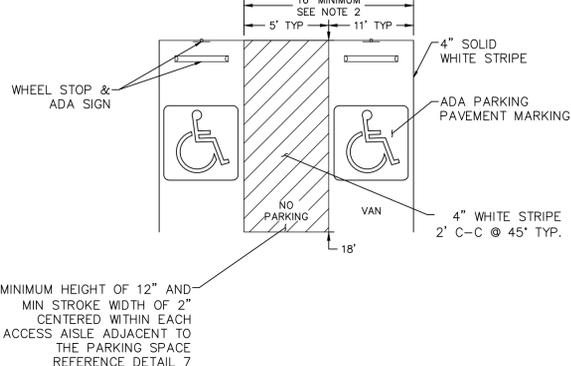
1. SIGN AND INSTALLATION TO BE IN ACCORDANCE W/ALL ADA, STATE AND CITY CODES. CONTRACTOR SHALL VERIFY COMPLIANCE WITH ALL CODES BEFORE FABRICATION.
2. THE HEIGHT OF THE PARKING SIGN REQUIRED BY TAS SECTION 502.6 IS 60" MINIMUM ABOVE THE PARKING SURFACE.



6 TYPICAL ACCESSIBLE PARKING SIGNAL DETAIL
NOT TO SCALE

NOTE:

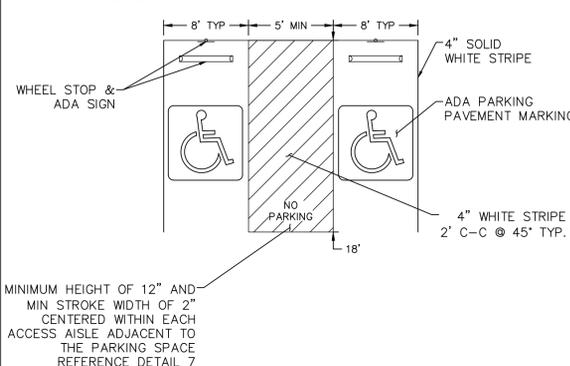
1. TYPICALLY VAN SPACES SHALL BE 132" MINIMUM.
2. EXCEPTION: VAN SPACES SHALL BE PERMITTED TO BE 96" WIDE MINIMUM WHERE THE ACCESS AISLE IS 96" WIDE MINIMUM.
3. REFER TO NOTES ON DETAIL 3.



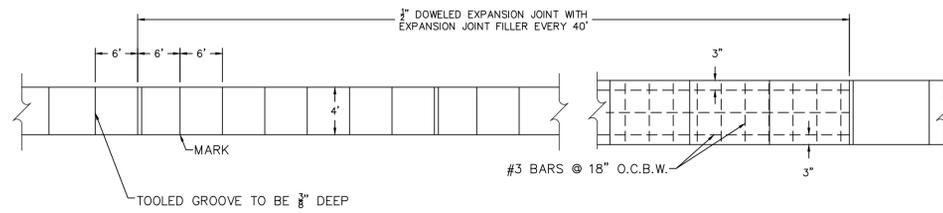
5 TYPICAL VAN ACCESSIBLE PARKING DETAIL
NOT TO SCALE

NOTE:

1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED CONSPICUOUSLY ON THE SURFACE IN A COLOR THAT CONTRASTS THE PAVEMENT.
2. THE WORDS "NO PARKING" PAINTED AND CENTERED WITHIN ANY ACCESS AISLE ADJACENT TO THE PARKING SPACE.

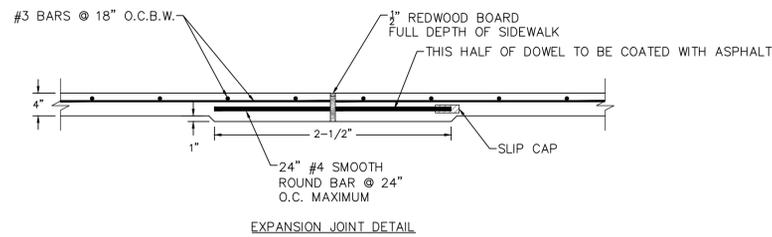


3 TYPICAL ACCESSIBLE PARKING DETAIL
NOT TO SCALE

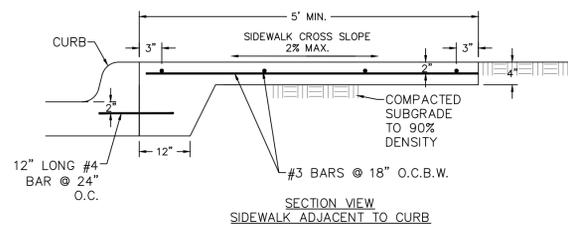


- NOTES:
1. "W"=SIDEWALK WIDTH 4' MIN. 5' IF SIDEWALK IS ADJACENT TO CURB, OR GREATER AS INDICATED ON THE PLANS.

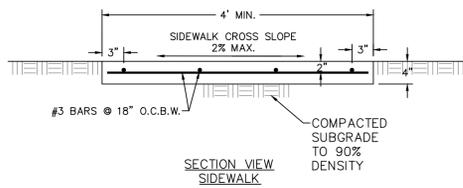
PLAN REINFORCED CONCRETE SIDEWALK



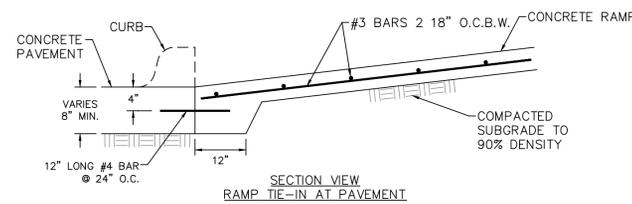
EXPANSION JOINT DETAIL



SECTION VIEW SIDEWALK ADJACENT TO CURB



SECTION VIEW SIDEWALK

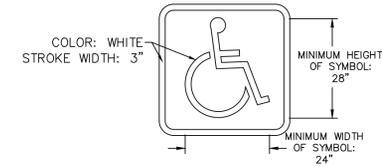


SECTION VIEW RAMP TIE-IN AT PAVEMENT

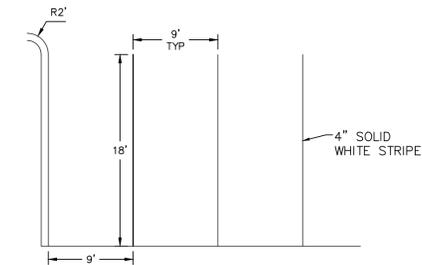
4 SIDEWALK DETAILS
NOT TO SCALE

NOTE:

1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED CONSPICUOUSLY ON THE SURFACE IN A COLOR THAT CONTRASTS THE PAVEMENT.



2 ADA PARKING PAVEMENT MARKING DETAIL
NOT TO SCALE



1 TYPICAL PARKING DETAIL
NOT TO SCALE

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PROJECT NUMBER: 3948-00-02
PROJECT MANAGER: A. TAYLOR
DRAWN BY: B. SHELTON
CHECKED BY: A. TAYLOR
ISSUE DATE: 12/1/2025

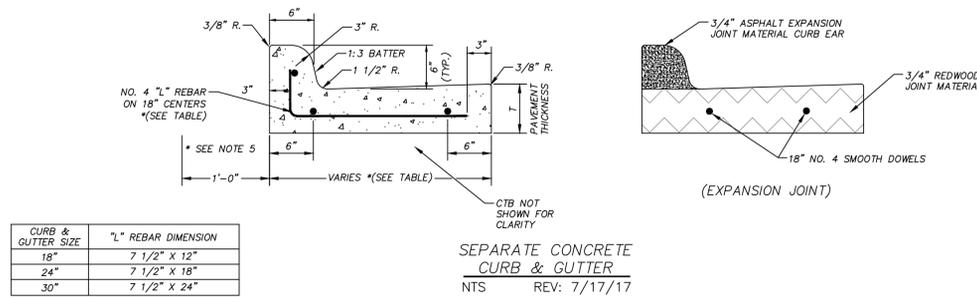
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SHEET NO:
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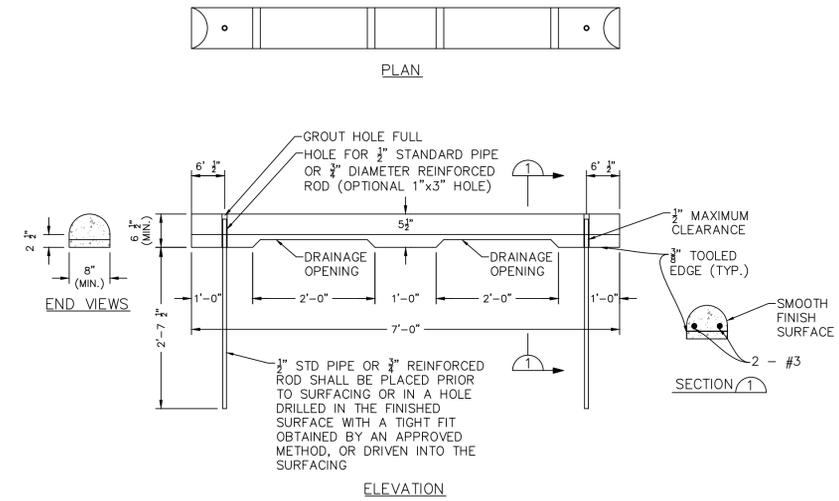
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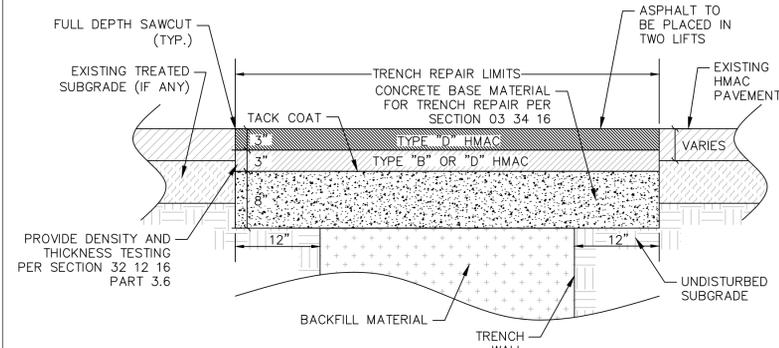
CURB & GUTTER SIZE	"L" REBAR DIMENSION
18"	7 1/2" X 12"
24"	7 1/2" X 18"
30"	7 1/2" X 24"

- NOTES:
1. REINFORCEMENT SHALL BE NO. 4 REBAR.
 2. CONCRETE SHALL BE CLASS C, 5 1/2 SACK, 3600 PSI.
 3. TOOLED JOINTS SHALL BE PLACED AT FIVE FOOT INTERVALS OR MATCHING ABUTTING SIDEWALK JOINTS AND DRIVEWAY JOINTS.
 4. EXPANSION JOINTS SHALL BE PLACED AT ALL INTERSECTIONS, PCS, PTS DRIVEWAYS, INLETS, OTHER CURB AND GUTTER OR EVERY 200 FEET.
 5. REMOVE AN ADDITIONAL 8 INCHES THICK OF EXISTING MATERIAL UNDER NEW CURB AND GUTTER LIMITS, ONE FOOT BACK OF CURB, AND REPLACE WITH 8 INCHES CTB COMPACTED TO 95% DENSITY PER TEX-113E AT OPTIMUM TO PLUS 4%.
 6. SEPARATE CURB AND GUTTER SHALL BE PLACED ON 8 INCH CEMENT TREATED BASE (CTB). CTB IS SUBSIDIARY TO CURB AND GUTTER UNIT PRICE.

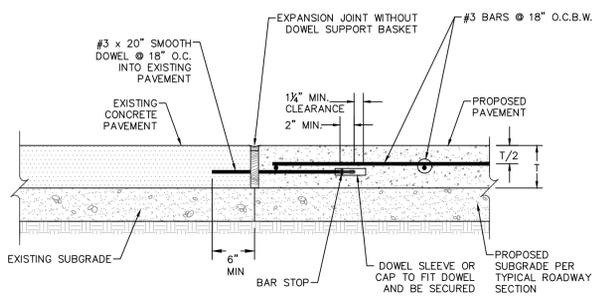
6 SEPARATE CONCRETE CURB AND GUTTER
NOT TO SCALE



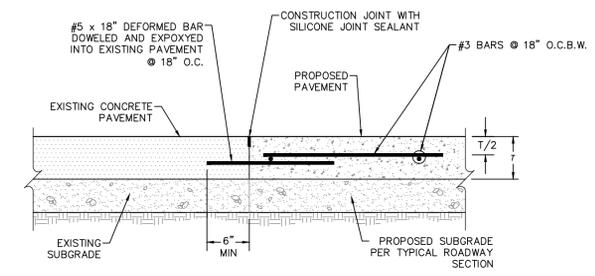
2 PRECAST CONCRETE WHEEL STOP DETAILS
NOT TO SCALE



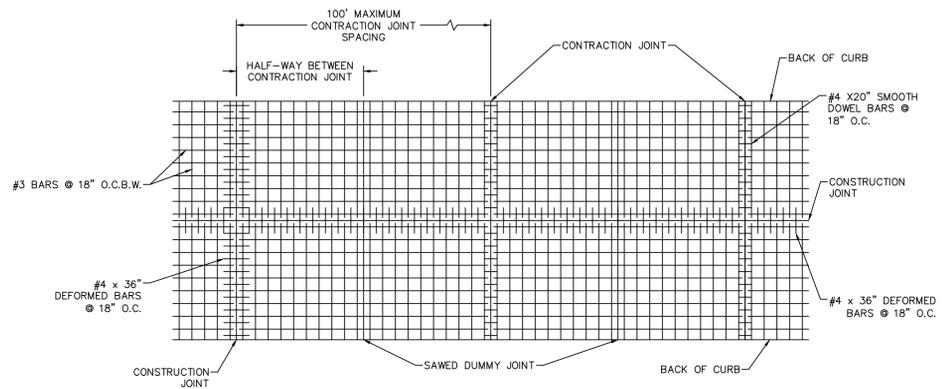
5 ASPHALT PAVEMENT TRENCH REPAIR
NOT TO SCALE



4 EXPANSION CONSTRUCTION JOINT (BETWEEN EXISTING AND PROPOSED PAVEMENT)
NOT TO SCALE



3 CONSTRUCTION JOINT (BETWEEN EXISTING AND PROPOSED PAVEMENT)
NOT TO SCALE



1 PAVEMENT STEEL REINFORCING GENERAL LAYOUT
NOT TO SCALE

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PAVING DETAILS

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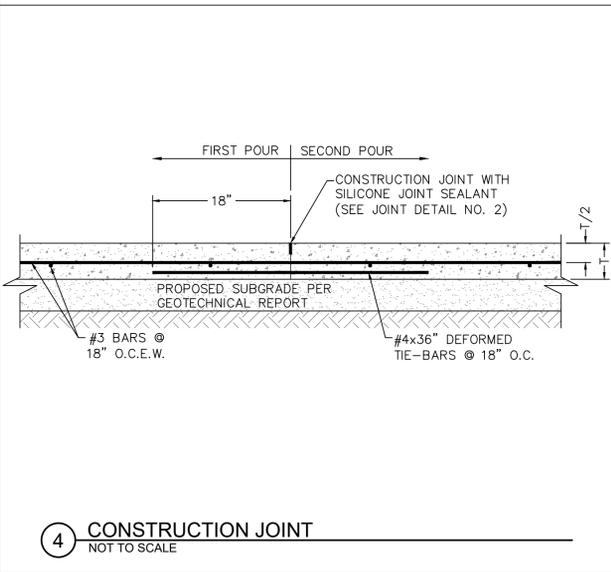
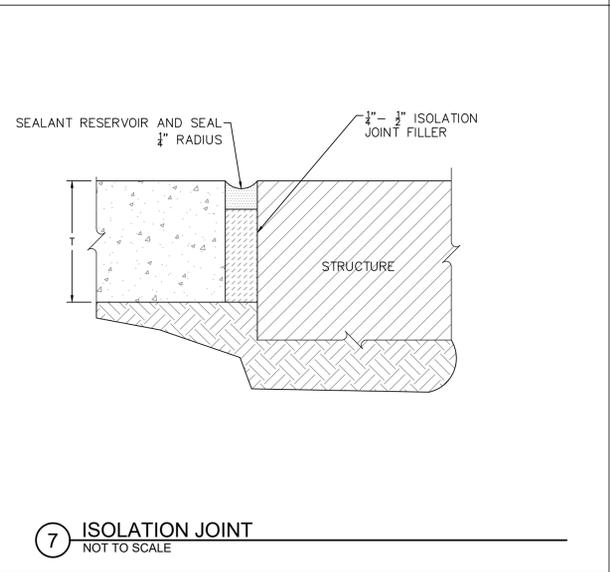
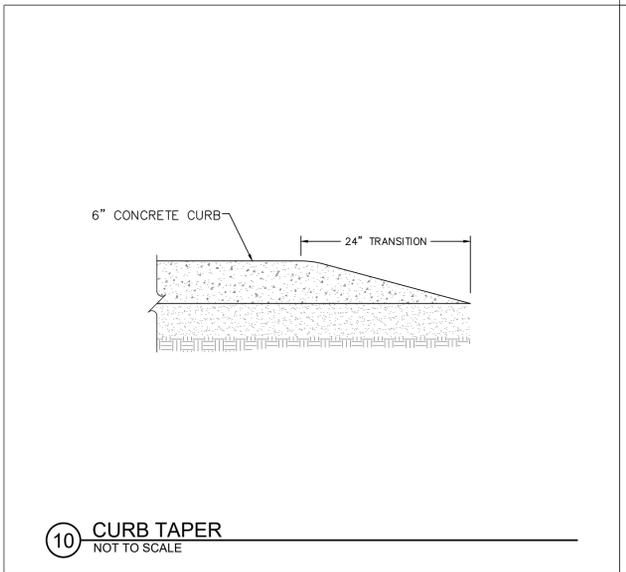
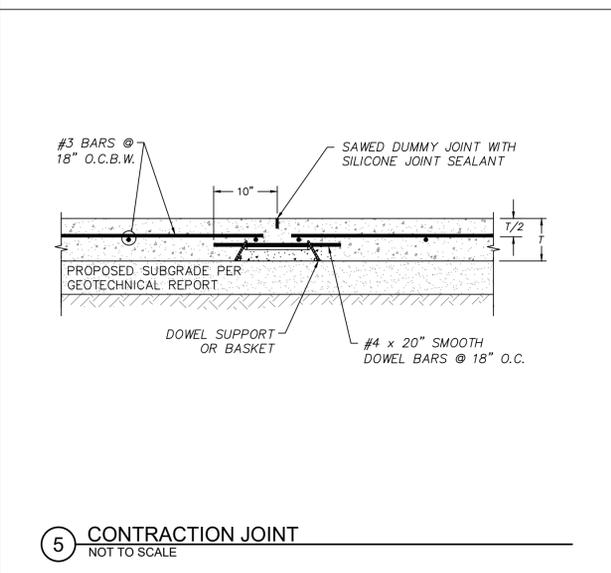
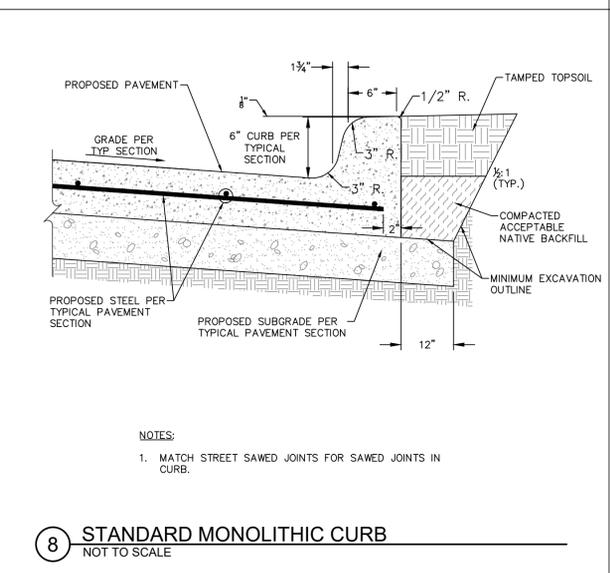
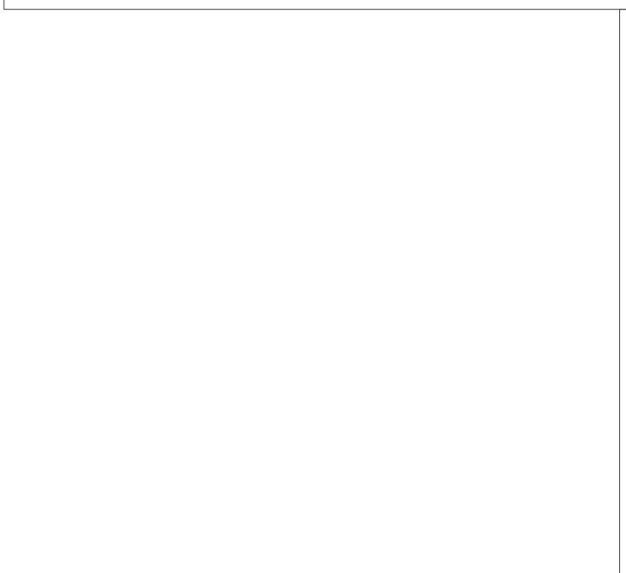
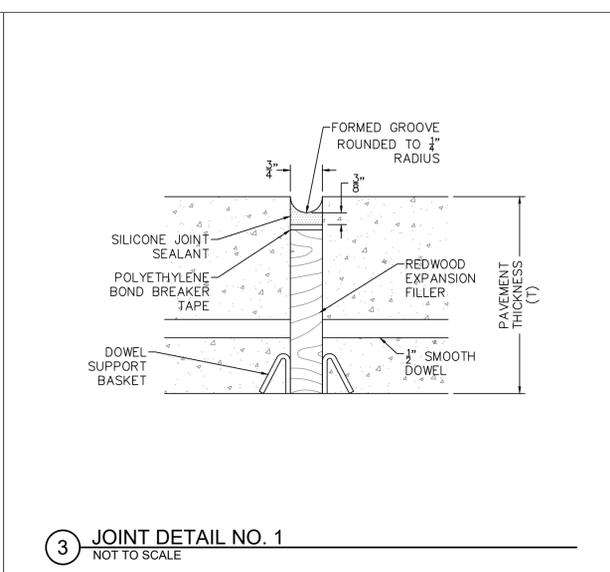
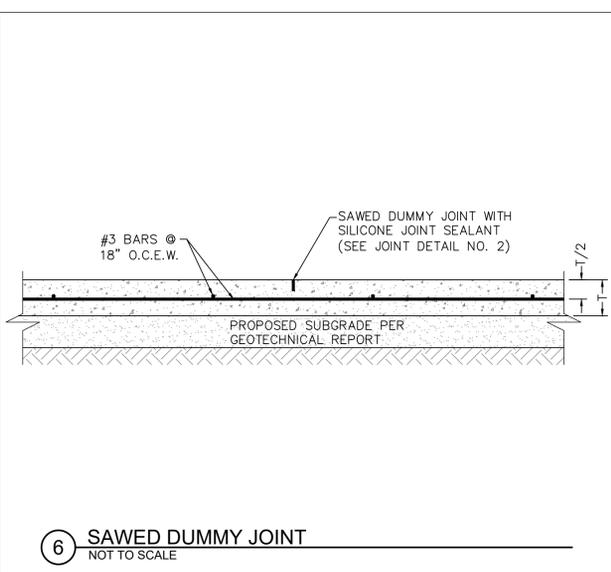
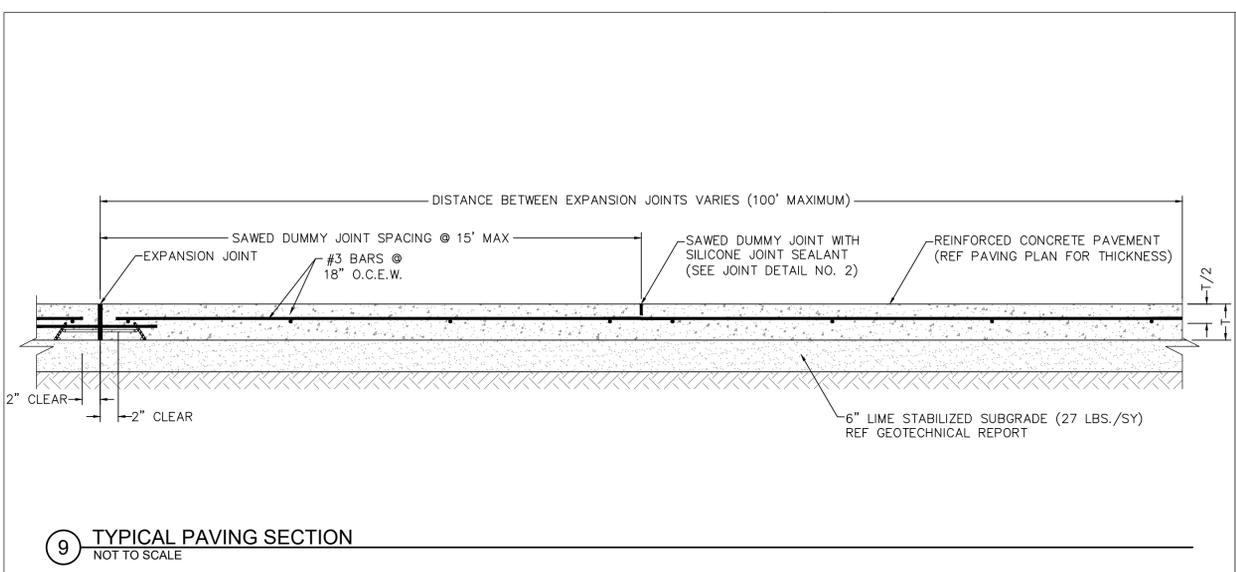
IRVING LOFTS
CLEBURNE, TEXAS
PAVING DETAILS

mma
civil engineering surveying landscape architecture planning
texas registration number: 1 - 2759
texas registration/license number: 10088000
519 east border
arlington, texas 76010
817-469-1671
fax: 817-274-8757
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12/1/2025
STATE OF TEXAS
ANDREA E. TAYLOR
124055
LICENSED PROFESSIONAL ENGINEER
FOR PERMIT
PROJECT NUMBER: 3949-00-02
PROJECT MANAGER: A. TAYLOR
DRAWN BY: B. SHELTON
CHECKED BY: A. TAYLOR
ISSUE DATE: 12/1/2025

REV.	DATE	DESCRIP.	BY

PAVING DETAILS
SHEET NO:
C10.6
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CONSTRUCTION NOTES

- FOR DEFORMED BAR SPLICES, LAP BARS 40 DIAMETERS AND TIE.
- FOR PAVEMENT THICKNESS "T" REFER TO PAVING PLAN.

DIM T = PAVEMENT THICKNESS	DIM T/4 = JOINT DEPTH
5"	1 1/4"
6"	1 1/2"
7"	1 3/4"
8"	2"
9"	2 1/4"

DIM T = PAVEMENT THICKNESS	* (CLEARANCE FROM FACE OF CONCRETE)
5"	2"
6"	2"
7"	2 1/2"
8"	2 3/4"
9"	3"

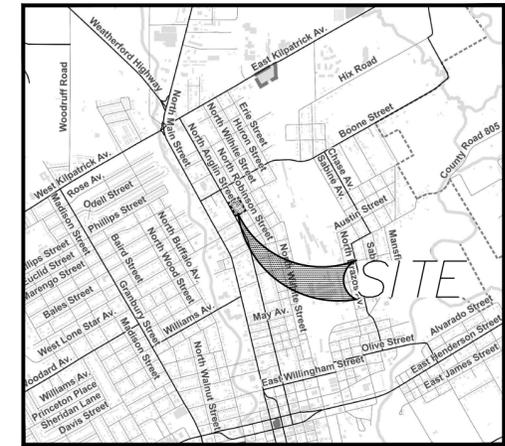
NOTE: ALL DOWELS TO BE PLACED AT T/2.

1 PAVING NOTES & TABLES
NOT TO SCALE

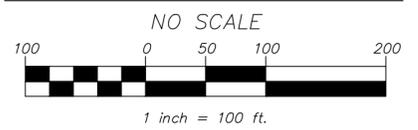
PLOTTED BY: GABRIELA GONZALEZ DATE: 12/1/2025 3:30 AM PATH: P:\344-00-02\700 Land Development\700 Construction Documents\Drawings\Sheet\DETAILS.dwg

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 29°46'23" E	9.67'
L2	S 29°52'25" E	26.40'
L3	N 62°31'48" W	2.90'
L4	N 29°56'43" W	8.00'
L5	N 01°02'37" W	6.07'
L6	S 60°13'54" W	44.90'
L7	N 42°14'45" E	4.26'
L8	N 37°41'31" E	10.58'
L9	N 60°58'08" E	8.65'
L10	N 82°15'40" E	10.14'
L11	N 75°35'08" E	3.69'

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	4.66'	0.98'	12° 04' 00"	N 67°12'46" W	0.98'
C2	9.00'	5.91'	37° 38' 21"	N 48°45'53" W	5.81'
C3	9.00'	4.56'	28° 59' 54"	N 15°26'46" W	4.51'
C4	9.00'	3.66'	23° 16' 37"	N 49°19'50" E	3.63'
C5	9.00'	3.34'	21° 17' 32"	N 71°36'54" E	3.33'
C6	7.00'	2.71'	22° 12' 01"	N 71°09'39" E	2.70'



VICINITY MAP



LEGEND/ABBREVIATIONS

CIRS	5/8" CAPPED IRON ROD SET STAMPED "MMA" (UNLESS OTHERWISE NOTED)
CIRF	CAPPED IRON ROD FOUND
DRJCT	DEED RECORDS
PRJCT	JOHNSON COUNTY, TEXAS PLAT RECORDS
OPRJCT	JOHNSON COUNTY, TEXAS OFFICIAL PUBLIC RECORDS
DOC. No.	JOHNSON COUNTY, TEXAS COUNTY CLERK'S DOCUMENT NUMBER
UE	UTILITY EASEMENT
BL	BUILDING LINE
DE	DRAINAGE EASEMENT
SSE	SANITARY SEWER EASEMENT
POB	POINT OF BEGINNING
FND.	FOUND
IRF	IRON ROD FOUND
MFF	MINIMUM FINISHED FLOOR ELEVATION
*	FEMA ELEVATION CERTIFICATE NOT REQUIRED

GENERAL NOTES

- THE PURPOSE OF REPLAT IS TO COMBINE 2 PLATTED LOTS, THE REMAINDERS OF 2 PLATTED LOTS AND 6 UNRECORDED LOTS INTO ONE PLATTED LOT.
- THE BEARINGS AND COORDINATES SHOWN HEREON ARE GRID BASED ON THE "TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE, 4202 (2011) AS DETERMINED BY GPS OBSERVATIONS. THE CONVERGENCE ANGLE AT THE POINT OF BEGINNING IS 0°36'20.2". ALL DISTANCES SHOWN HAVE BEEN ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000089466603.
- ALL CORNERS ARE 5/8 INCH CAPPED IRON RODS SET STAMPED "MMA" UNLESS OTHERWISE NOTED.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAPS, MAP NO. 48251C0285K, MAP EFFECTIVE DATE: SEPTEMBER 21, 2023.
- BUILDING SETBACK LINES ARE TO BE OBTAINED FROM THE CITY OF CLEBURNE.
- THIS PLAT VOID UNLESS RECORDED IN THE DEED RECORDS OF JOHNSON COUNTY WITHIN FIVE (5) YEARS OF THE DATE OF APPROVAL OF CITY OF CLEBURNE.
- THE PLACE OF SIDEWALKS SHALL BE REQUIRED ALONG SCHOOL ACCESS STREETS AND STREETS IN COMMERCIAL DISTRICT AND OTHER LOCATIONS. IT SHALL BE WITHIN THE DISCRETION OF THE PLANNING AND ZONING COMMISSION AND THE CITY COUNCIL TO DESIGNATE OTHER LOCATIONS WHERE SIDEWALKS ARE TO BE PLACED. 154.084 CODE OF ORDINANCES
- ON SITE DRAINAGE SHALL BE CONVEYED BY DRAINAGE SWALES BETWEEN LOTS. SWALES SHALL BE A MINIMUM OF EIGHT (8) INCHES FROM BUILDING FOUNDATION TO FINISHED GROUND LEVEL GRADE ADJOINING BUILDING AND DIRECTION TOWARD PUBLIC STREETS OR DRAINAGE EASEMENTS.
- CONSTRUCTION PROHIBITED OVER EASEMENTS: NO PERMANENT BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED OVER ANY EXISTING OR PLATTED WATER, SANITARY SEWER, DRAINAGE, GAS, ELECTRIC, CABLE OR OTHER UTILITY EASEMENT OF ANY TYPE.
- UTILITY EASEMENTS: ANY PUBLIC UTILITY, INCLUDING THE CITY OF CLEBURNE, SHALL HAVE THE RIGHT, BUT NOT THE RESPONSIBILITY, TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, FENCE, TREE, SHRUB, OTHER GROWTH OR IMPROVEMENT WHICH IN ANY WAY ENDANGERS OR INTERFERES WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS SHOWN ON THE PLAT; AND THEY SHALL HAVE THE RIGHT AT ALL TIMES TO INGRESS AND EGRESS UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING, AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.
- RECORDED COVENANTS AND RESTRICTIONS: THIS PLAT DOES NOT ATTEMPT TO AMEND OR REMOVE RECORDED COVENANTS OR RESTRICTIONS.
- WATER AND SEWER SERVICE TO BE PROVIDED BY THE CITY OF CLEBURNE.

PRELIMINARY
This document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document.

CERTIFICATION OF CITY COUNCIL

WHEREAS THE CITY COUNCIL OF THE CITY OF CLEBURNE, TEXAS VOTED AFFIRMATIVELY ON THIS ____ DAY OF _____, 20____, TO RECOMMEND APPROVAL OF THIS PLAT.

MAYOR, CITY OF CLEBURNE

ATTEST: CITY SECRETARY

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF CLEBURNE, TEXAS.

CERTIFICATION OF PLANNING AND ZONING COMMISSION

WHEREAS THE PLANNING AND ZONING COMMISSION OF THE CITY OF CLEBURNE, TEXAS VOTED AFFIRMATIVELY ON THIS ____ DAY OF _____, 20____, TO RECOMMEND APPROVAL OF THIS PLAT.

CHAIR, PLANNING AND ZONING COMMISSION

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF CLEBURNE, TEXAS.

DIRECTOR CERTIFICATION

ADDITION: LOT 1, BLOCK 1, IRVING LOFTS ADDITION.
LOCATION: 1108 N. ANGLIN STREET, CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS.

I HEREBY CERTIFY THAT ALL REQUIREMENTS OF THE "SUBDIVISION ORDINANCE" [I.E., CH. 154 OF THE CODE OF ORDINANCES OF THE CITY] CONCERNING SUBMISSION AND/OR APPROVAL OF INFORMATION AND DATA REQUIRED FOR FINAL PLAT APPROVAL, HAVE BEEN COMPLIED WITH FOR THE ABOVE REFERENCED SUBDIVISION.

DIRECTOR OF PUBLIC WORKS

DATE

DIRECTOR OF COMMUNITY DEVELOPMENT

DATE

OWNER:

KAUFFMAN LEADERSHIP ACADEMY

2315 ROCK CREEK ROAD
CROWLEY, TEXAS 76036
TEL:
CONTACT: GREG KAUFFMAN
email:

DEVELOPER:

OPG IRVING PARTNERS, LLC

5341 W. 151ST TERRACE
LEAWOOD, KANSAS 66224
TEL: 913-396-6310
CONTACT: APRIL ENGSTROM
email: aengstrom@overlandpg.com

PLAT RECORDED IN

YEAR _____ INSTRUMENT # _____

DRAWER _____ SLIDE _____

DATE _____

COUNTY CLERK, JOHNSON COUNTY, TEXAS

DEPUTY _____

REPLAT

**LOT 1, BLOCK 1
IRVING LOFTS ADDITION**

AN ADDITION TO THE CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS

BEING 2.770 ACRES OF LAND SITUATED IN THE C. CHANEY SURVEY, ABSTRACT No. 124 BEING ALL OF LOTS 1, 2, 3, 4, 5 AND 6, BLOCK 138 OF THE OFFICIAL MAP OF THE CITY OF CLEBURNE (UNRECORDED), ALL OF LOT 1, A PORTION OF LOT 2, A PORTION OF LOT 17, ALL OF LOT 18, AND A PORTION OF A 16 FOOT WIDE ALLEY, BLOCK 1, NORTH ANGLIN HEIGHTS ADDITION, AN ADDITION TO THE CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 79, PAGE 642, PLAT RECORDS, JOHNSON COUNTY, TEXAS

NOVEMBER 2025
SURVEYOR/ENGINEER:



civil engineering surveying landscape architecture planning
tbpels registration number: f - 2759
tbpels registration/license number: 10088000
519 east border
arlington, texas 76010
817-469-1671
fax: 817-274-8757
www.mmatexas.com
CONTACT: ANDREA TAYLOR, P.E.
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SHEET 1 OF 2

PLOTTED BY: JENNIFER STORZ DATE: 11/5/2025 4:17 PM PATH: P:\3948-00-02\500 Land Surveying\505 Platting\3948-00-02 Final Plat.dwg

OWNER'S CERTIFICATE

STATE OF TEXAS)(
COUNTY OF JOHNSON)(
)

WHEREAS KAUFFMAN LEADERSHIP ACADEMY, ACTING BY AND THROUGH THE UNDERSIGNED, IT'S DULY AUTHORIZED AGENT, IS THE SOLE OWNER OF A 2.770 ACRE TRACT OF LAND.

BEING A 2.770 ACRE TRACT OF LAND SITUATED IN THE C. CHANEY SURVEY, ABSTRACT NO. 124, CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS, BEING ALL OF LOTS 1, 2, 3, 4, 5 AND 6, BLOCK 138 OF THE OFFICIAL MAP OF THE CITY OF CLEBURNE (UNRECORDED), ALL OF LOT 1, A PORTION OF LOT 2, A PORTION OF LOT 17, ALL OF LOT 18, AND A PORTION OF A 16 FOOT WIDE ALLEY, BLOCK 1, NORTH ANGLIN HEIGHTS ADDITION, AN ADDITION TO THE CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 79, PAGE 642, PLAT RECORDS, JOHNSON COUNTY, TEXAS, AND DESCRIBED IN THE DEED TO KAUFFMAN LEADERSHIP ACADEMY, AS RECORDED IN DOCUMENT NO. 2011-1036, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD FOUND (NAD83 GRID: N: 6,817,145.90 E: 2,311,354.07) FOR THE NORTHEAST CORNER OF SAID ACADEMY TRACT, THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN THE DEED TO MURRY EDWARD DERDEN, AS RECORDED IN DOCUMENT NO. 2012-12164, DEED RECORDS, JOHNSON COUNTY, TEXAS (DRJCT), AND IN THE WESTERLY RIGHT-OF-WAY LINE OF N. ROBINSON STREET, A 60 FEET WIDE RIGHT-OF-WAY AS SHOWN ON SAID NORTH ANGLIN HEIGHTS ADDITION AND SAID OFFICIAL MAP OF THE CITY OF CLEBURNE;

THENCE SOUTH 29°52'25" EAST, WITH THE EASTERLY LINE OF SAID ACADEMY TRACT AND THE WESTERLY RIGHT-OF-WAY LINE OF SAID N. ROBINSON STREET, A DISTANCE OF 402.45 FEET TO AN "X" CUT SET IN CONCRETE SIDEWALK FOR THE SOUTHEAST CORNER OF SAID ACADEMY TRACT, AT INTERSECTION OF THE WESTERLY RIGHT-OF-WAY LINE OF SAID N. ROBINSON STREET AND THE NORTHERLY RIGHT-OF-WAY LINE OF GRESHAM AVENUE, AN APPARENT 40 FEET WIDE RIGHT-OF-WAY;

THENCE SOUTH 60°13'54" WEST, WITH THE SOUTHERLY LINE OF SAID ACADEMY TRACT AND THE NORTHERLY RIGHT-OF-WAY LINE OF SAID GRESHAM AVENUE, A DISTANCE OF 296.76 FEET TO A 5/8" CAPPED IRON ROD STAMPED "MMA" SET FOR THE SOUTHWEST CORNER OF SAID ACADEMY TRACT, AT THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF SAID GRESHAM AVENUE AND THE EASTERLY RIGHT-OF-WAY LINE OF N. ANGLIN STREET;

THENCE NORTH 29°46'23" WEST, WITH THE WESTERLY LINE OF SAID ACADEMY TRACT AND THE EASTERLY RIGHT-OF-WAY LINE OF SAID N. ANGLIN STREET, A DISTANCE OF 411.83 FEET TO A 5/8" CAPPED IRON ROD STAMPED "MMA" SET FOR THE NORTHWEST CORNER OF SAID ACADEMY TRACT AND THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN THE DEED TO THOMAS E. SCOTT AND CLETTIS A. SCOTT, HUSBAND AND WIFE, AS RECORDED IN DOCUMENT NO. 2023-7292, DRJCT;

THENCE NORTH 60°13'37" EAST, DEPARTING THE EASTERLY RIGHT-OF-WAY LINE OF SAID N. ANGLIN STREET AND WITH THE COMMON LINE OF SAID ACADEMY TRACT AND SAID SCOTT TRACT, PASSING THE WESTERLY LINE OF SAID 16 FOOT WIDE ALLEY, AT A DISTANCE OF 140.00 FEET, AND CONTINUE FOR A TOTAL DISTANCE OF 148.00 FEET TO A 5/8" CAPPED IRON ROD STAMPED "MMA" SET FOR CORNER IN THE CENTER OF SAID 16 FOOT WIDE ALLEY;

THENCE SOUTH 29°46'23" EAST, WITH THE CENTER OF SAID 16 FOOT WIDE ALLEY, A DISTANCE OF 9.67 FEET TO A 5/8" CAPPED IRON ROD STAMPED "MMA" SET FOR CORNER;

THENCE NORTH 60°07'35" EAST, PASSING A 5/8" CAPPED IRON ROD STAMPED "MMA" SET IN THE EASTERLY LINE OF SAID 16 FOOT WIDE ALLEY AND FOR THE SOUTHWEST CORNER OF SAID DERDEN TRACT, AT A DISTANCE OF 8.00 FEET AND CONTINUE WITH THE COMMON LINE OF SAID ACADEMY TRACT AND SAID DERDEN TRACT, A DISTANCE OF 148.05 FEET TO THE POINT OF BEGINNING AND CONTAINING 120,658 SQUARE FEET OR 2.770 ACRES OF LAND, MORE OR LESS.

OWNER'S DEDICATION

STATE OF TEXAS)(
COUNTY OF JOHNSON)(
)

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, KAUFFMAN LEADERSHIP ACADEMY, ACTING BY AND THROUGH THE UNDERSIGNED, DO HEREBY ADOPT THIS REPLAT DESIGNATING THE HEREIN ABOVE DESCRIBED REAL PROPERTY AS LOT 1, BLOCK 1, IRVING LOFTS ADDITION, AN ADDITION TO THE CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS, AND DO HEREBY DEDICATE TO THE PUBLIC'S USE THE STREETS AND EASEMENTS SHOWN HEREON. THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTION OR COVENANTS, IF ANY, ON THIS PROPERTY.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20____.

BY: KAUFFMAN LEADERSHIP ACADEMY

NAME: _____

STATE OF TEXAS)(
COUNTY OF JOHNSON)(
)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 20____,
BY _____, _____, KAUFFMAN LEADERSHIP ACADEMY.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME: _____

COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE

I, LON E. WHITTEN, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF TEXAS, AFFIRM THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, FROM RECORDED DOCUMENTATION, EVIDENCE COLLECTED ON THE GROUND DURING FIELD OPERATIONS AND OTHER RELIABLE DOCUMENTATION; AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE RULES AND REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING. I FURTHER AFFIRM THAT MONUMENTATION SHOWN HEREON WAS EITHER FOUND OR PLACED IN ACCORDANCE WITH THE SUBDIVISION REQUIREMENTS OF THE CITY OF CLEBURNE.

PRELIMINARY
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.
Released for review by

LON E. WHITTEN DATE: NOVEMBER 05, 2025
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5893
lwhitten@mmatexas.com

REPLAT

**LOT 1, BLOCK 1
IRVING LOFTS ADDITION**

AN ADDITION TO THE CITY OF CLEBURNE,
JOHNSON COUNTY, TEXAS

BEING 2.770 ACRES OF LAND SITUATED IN THE C. CHANEY SURVEY, ABSTRACT No. 124 BEING ALL OF LOTS 1, 2, 3, 4, 5 AND 6, BLOCK 138 OF THE OFFICIAL MAP OF THE CITY OF CLEBURNE (UNRECORDED), ALL OF LOT 1, A PORTION OF LOT 2, A PORTION OF LOT 17, ALL OF LOT 18, AND A PORTION OF A 16 FOOT WIDE ALLEY, BLOCK 1, NORTH ANGLIN HEIGHTS ADDITION, AN ADDITION TO THE CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 79, PAGE 642, PLAT RECORDS, JOHNSON COUNTY, TEXAS

OWNER:

**KAUFFMAN LEADERSHIP
ACADEMY**

2315 ROCK CREEK ROAD
CROWLEY, TEXAS 76036
TEL:
CONTACT: GREG KAUFFMAN
email:

DEVELOPER:

OPG IRVING PARTNERS, LLC

5341 W. 151ST TERRACE
LEAWOOD, KANSAS 66224
TEL: 913-396-6310
CONTACT: APRIL ENGSTROM
email: aengstrom@overlandpg.com

NOVEMBER 2025
SURVEYOR/ENGINEER:



civil engineering surveying landscape architecture planning

tbpls registration number: f - 2759
tbpls registration/license number: 10088000
519 east border
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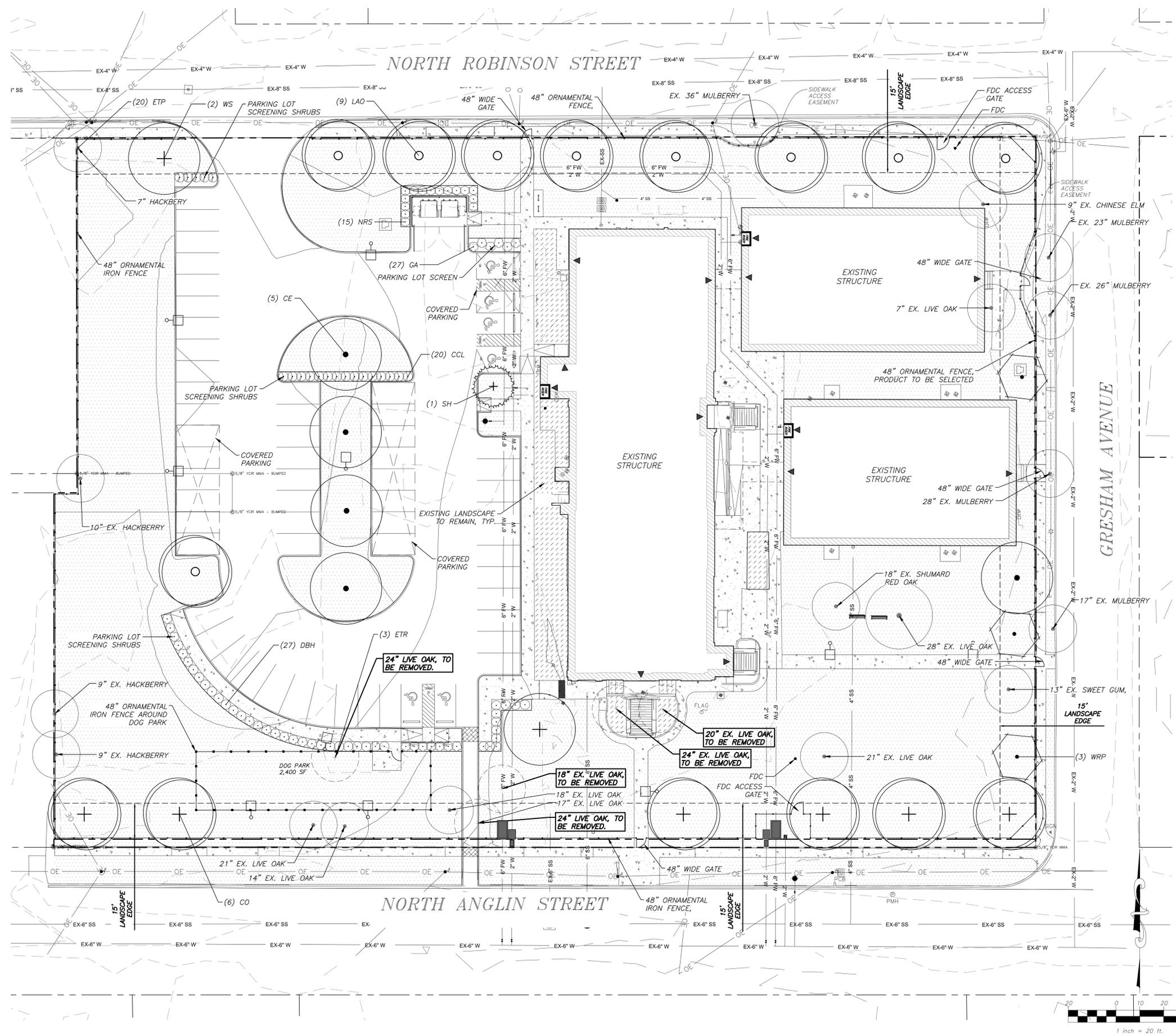
CONTACT: ANDREA TAYLOR, P.E.

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SHEET 2 OF 2

PLANT SCHEDULE

SYMBOL	CODE	COMMON / BOTANICAL NAME
EXISTING TREE		
	ETP	EXISTING TREE TO BE PRESERVED
	ETR	EXISTING TREE TO BE REMOVED
LARGE TREES		
	CE	CEDAR ELM ULMUS CRASSIFOLIA
	CO	CHINQUAPIN OAK QUERCUS MUEHLENBERGII NURSERY GROWN
	LAO	LACEY OAK QUERCUS LACEYI NURSERY GROWN
	WS	WESTERN SOAPBERRY SAPINDUS DRUMMONDII
ORNAMENTAL TREES		
	SH	SAVANNAH HOLLY ILEX X ATTENUATA 'SAVANNAH'
	WRP	WARREN'S RED POSSUMHAW ILEX DECIDUA 'WARREN'S RED'
SCREENING SHRUBS		
	CCL	COMPACT CAROLINA CHERRY LAUREL PRUNUS CAROLINIANA 'COMPACTA'
	DBH	DWARF BURFORD HOLLY ILEX CORNUTA 'BURFORDII NANA'
	GA	GLOSSY ABELIA ABELIA X GRANDIFLORA
	NRS	NELLIE R. STEVENS HOLLY ILEX X 'NELLIE R. STEVENS' MIN. 42" HT. AT TIME OF PLANTING
SHRUB AREAS		
	EX-LAND	EXISTING LANDSCAPE TO REMAIN
	CD	COMMON BERMUDA CYNODON DACTYLON



IRVING LOFTS CLEBURNE, TEXAS LANDSCAPE PLAN

mimja
 civil engineering surveying landscape architecture planning
 tlpels registration number: 1 - 2759
 tlpels registration/license number: 10088000
 519 east border
 orlington, texas 76010
 817-469-1671
 fax: 817-274-8757
 www.mmatexas.com

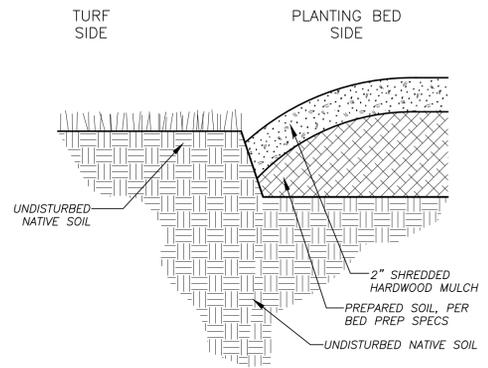


PROJECT NUMBER:	3945-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	D. JOINER
CHECKED BY:	D. JOINER
ISSUE DATE:	12/2/2025

LANDSCAPE PLAN

SHEET NO:
L1.02
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PLOTTED BY: DUWANE JOINER DATE: 12/22/2025 2:31 PM PATH: P:\3044\00-02\00 Landscape Architecture\3044 Construction Plans\3044-00-02 Landscape Base.dwg

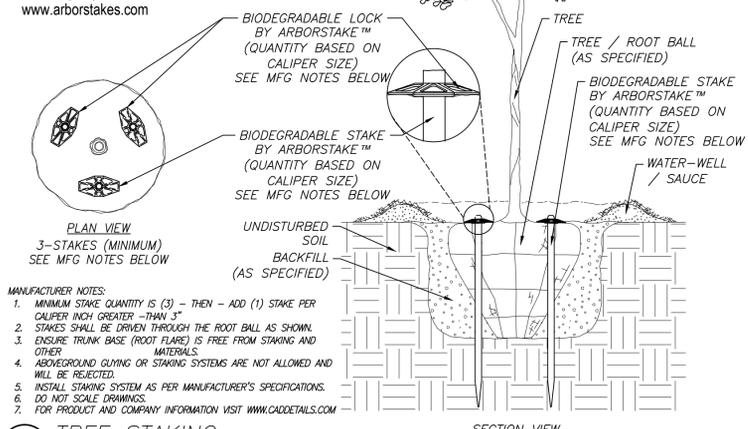


8 SHOVEL CUT EDGE AT PLANTING BED

NTS
SPECIAL BIDDING NOTE:

CONTRACTOR IS DIRECTED TO BID TREE STAKING AS AN ADD ALTERNATE, BY PROVIDING AN "EACH" PRICE FOR STAKING TREES. TREES WILL BE STAKED ON AN "AS NEEDED" BASIS ONLY!

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 PHONE: (214) 810-6678
 www.arborstakes.com



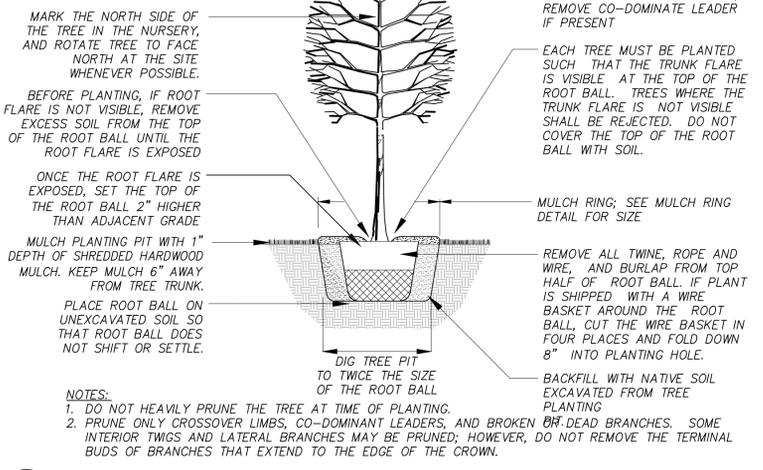
- MANUFACTURER NOTES:**
- MINIMUM STAKE QUANTITY IS (3) - THEN - ADD (1) STAKE PER CALIPER INCH GREATER - THAN 3"
 - STAKES SHALL BE DRIVEN THROUGH THE ROOT BALL AS SHOWN.
 - ENSURE TRUNK BASE (ROOT FLARE) IS FREE FROM STAKING AND OTHER MATERIALS.
 - BACKGROUND GUYING OR STAKING SYSTEMS ARE NOT ALLOWED AND WILL BE REJECTED.
 - INSTALL STAKING SYSTEM AS PER MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.
 - FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDETAILS.COM

7 TREE STAKING

NTS

IMPORTANT BACKFILL NOTE:

ADD 2/3 CUPS PER CALIPER INCH OF MEDIUM TEXTURE TERRA-SORB HYDROGEL TO TOP SIX INCHES OF NATIVE SOIL BACKFILL MATERIAL. THOROUGHLY MIX TERRA-SORB INTO BACKFILL.



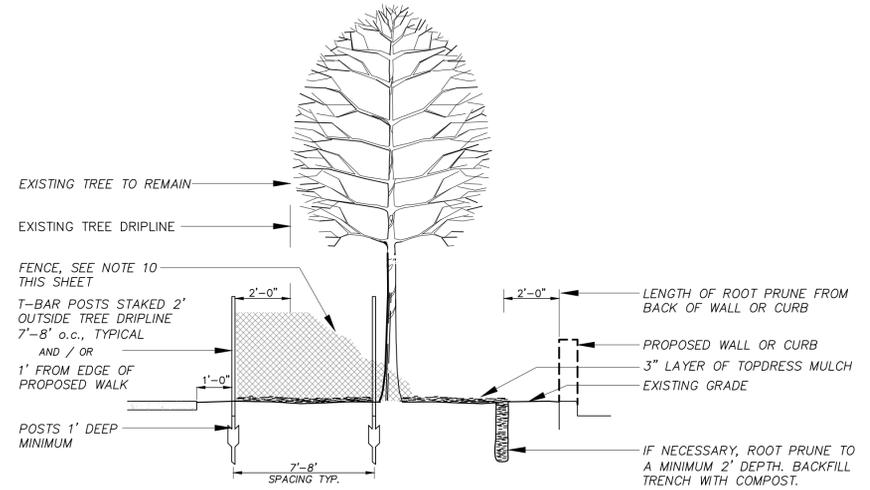
- NOTES:**
- DO NOT HEAVILY PRUNE THE TREE AT TIME OF PLANTING.
 - PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

6 TREE PLANTING DETAIL IN ALL SOIL TYPES

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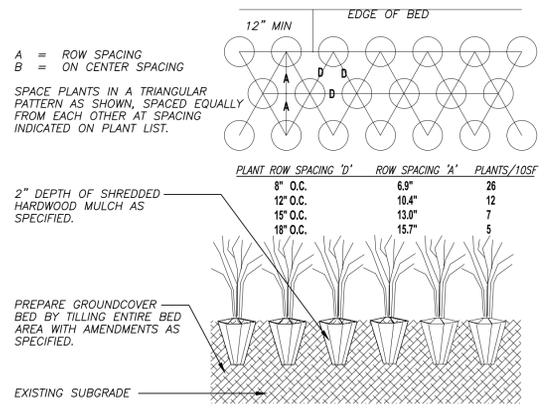
TREE PRESERVATION NOTES:

- EXISTING TREES TO REMAIN SHALL BE PRESERVED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND TREE DRIPLINE (CANOPY).
- IF ANY PART OF THE ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION AND/OR CONSTRUCTION ACTIVITY, NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY. IF A MAJOR ROOT OR GROUP OF ROOTS IS ENCOUNTERED DURING EXCAVATION, A CERTIFIED ARBORIST SHALL BE CONSULTED/SECURED FOR RECOMMENDATIONS CONCERNING PRUNING AND/OR BRIDGING THE ROOTS (ETC.)
- GRADES/ELEVATIONS UNDER EXISTING TREES SHALL REMAIN UNDISTURBED. DO NOT PLACE FILL MATERIAL UNDER THE DRIPLINE FOR ANY LENGTH OF TIME. MAKE SURE THE CHANGES IN ADJACENT GRADES HAVE PROVISIONS TO CARRY MOISTURE AWAY FROM THE TREE.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE TREE DRIPLINE.
- TOXIC SOLUTIONS OR OTHER LIQUID CHEMICALS SHALL NOT BE DEPOSITED NEAR OR WITHIN THE LIMITS OF A TREE DRIPLINE. THIS WOULD INCLUDE, BUT NOT BE LIMITED TO; PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OR A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT, TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE TREE DRIPLINE. NO VEHICLE AND/OR CONSTRUCTION EQUIPMENT SHOULD BE CLEANED NEAR A TREE.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PRESERVED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE AT A MINIMUM DEPTH OF THIRTY-SIX INCHES (36 IN.).
- THE UTILITY AND IRRIGATION CONTRACTOR SHALL EXERCISE CAUTION WHEN TRENCHING AROUND EXISTING TREES. HAND-DIG ALL TRENCHES WITHIN THE TREE DRIPLINE.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR FOOT (4') APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE LANDSCAPE PLANS(S) TREE PRESERVATION DETAIL.



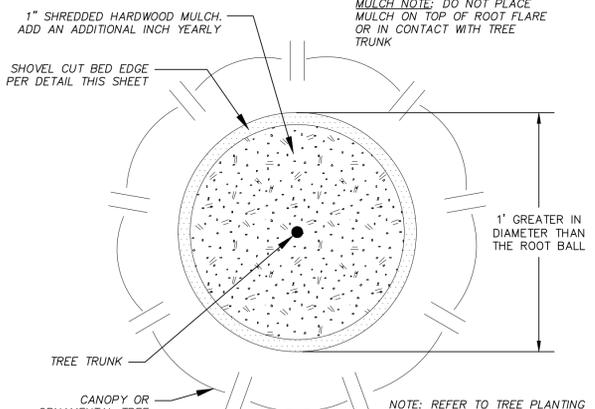
5 TREE PRESERVATION

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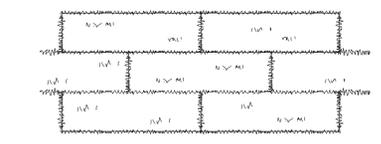
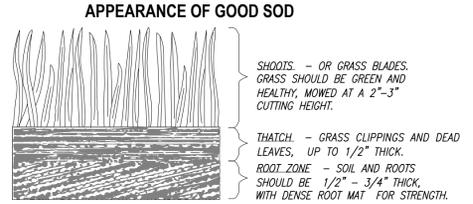
4 GROUNDCOVER PLANTING

NOT TO SCALE



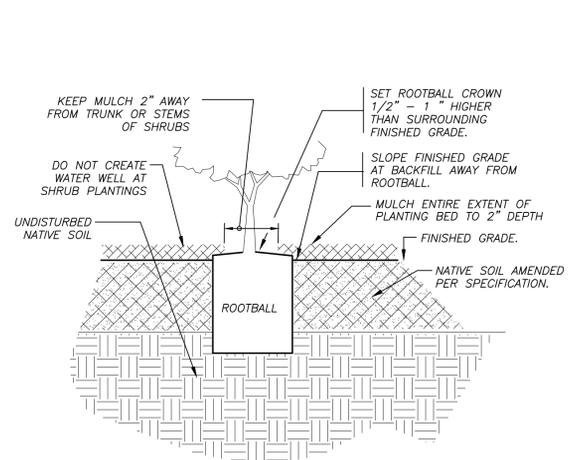
3 MULCH RING AT TREES

NTS



2 SOD

NOT TO SCALE



1 SHRUB PLANTING

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REGISTERED LANDSCAPE ARCHITECT
 DWYANE K. JOINER
 STATE OF TEXAS
 11/04/2025

PROJECT NUMBER:	3948-00-02
PROJECT MANAGER:	A. TAYLOR
DRAWN BY:	D. JOINER
CHECKED BY:	D. JOINER
ISSUE DATE:	11/21/2025

REV.	DATE	DESCRIP.	BY

LANDSCAPE DETAILS

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L1.03
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PLOTTED BY: DWYANE JOINER DATE: 11/21/2025 9:56 AM PATH: F:\3044\02-00-001 Landscape Architecture\03 Construction Plans\DesignFiles\03-02-001 LANDSCAPE BASE.dwg