

# CONSTRUCTION PLANS FOR LANDMARK ON PINE FOR JGR ARCHITECTS

TEXARKANA, TEXAS

JOB NO. 256007

FEBRUARY, 2026

## REFERENCE LIST

City of Texarkana, Texas  
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Public Works Director

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Ryan Trammell

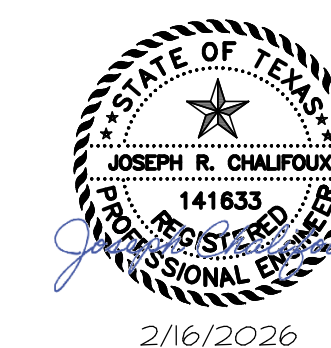
Texarkana Water Utilities  
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Gary Smith

Summit Utilities  
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Diane Engelkes

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## VICINITY MAP

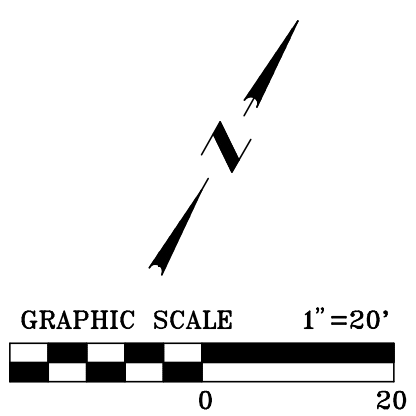
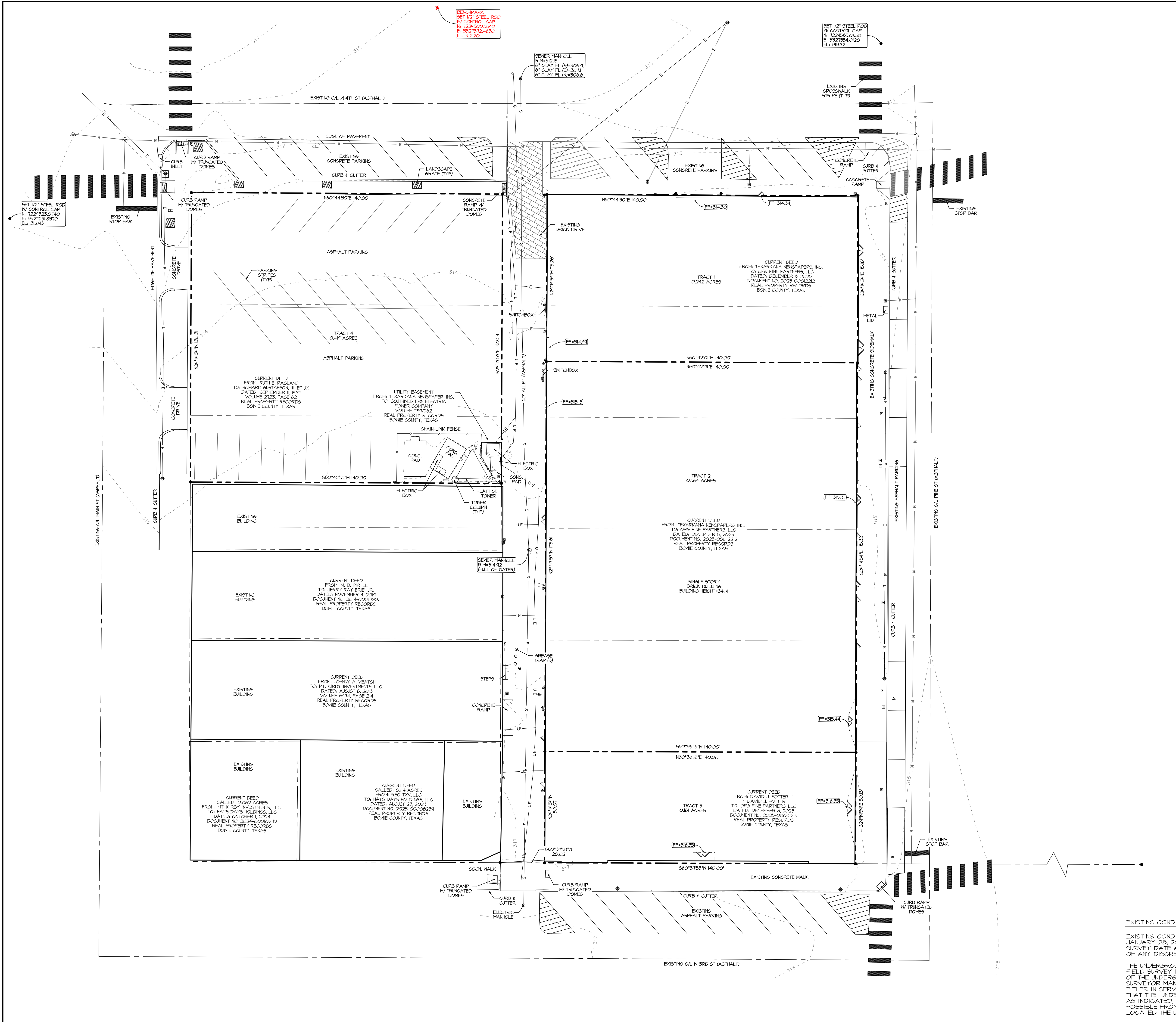


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AR COA NO. 125

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LEGEND	
	PROPERTY LINE
	CURB AND GUTTER
	BUILDING EDGE
	EDGE OF PAVEMENT
	EASEMENT
	BUILDING LINE OFFSET
	TOE OF DITCH/SLOPE
	TOP OF BANK
	OVERHEAD POWER LINE
	WATER MAIN
	SANITARY SEWER MAIN
	TELEPHONE LINE
	PROPOSED CONTOUR INT.
	EXISTING CONTOUR INT.
	SILT FENCE
	STORM DRAIN
	FIRE LANE
	SPOT ELEVATION
	POWER POLE
	WATER METER
	WATER VALVE
	CLEAN OUT
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	SIGN (TYPICAL)
	HANDICAP PARKING SYMBOL (PAINTED)
	FIRE HYDRANT
	LIGHT POLE
	GAS REGULATOR
	IRRIGATION CONTROL VALVE
	FIRE DEPARTMENT CONNECTION
	ROOF DRAIN
	TELEPHONE JUNCTION BOX
	ELECTRIC JUNCTION BOX
	GUY WIRE
	TREE

EXISTING CONDITIONS NOTE:

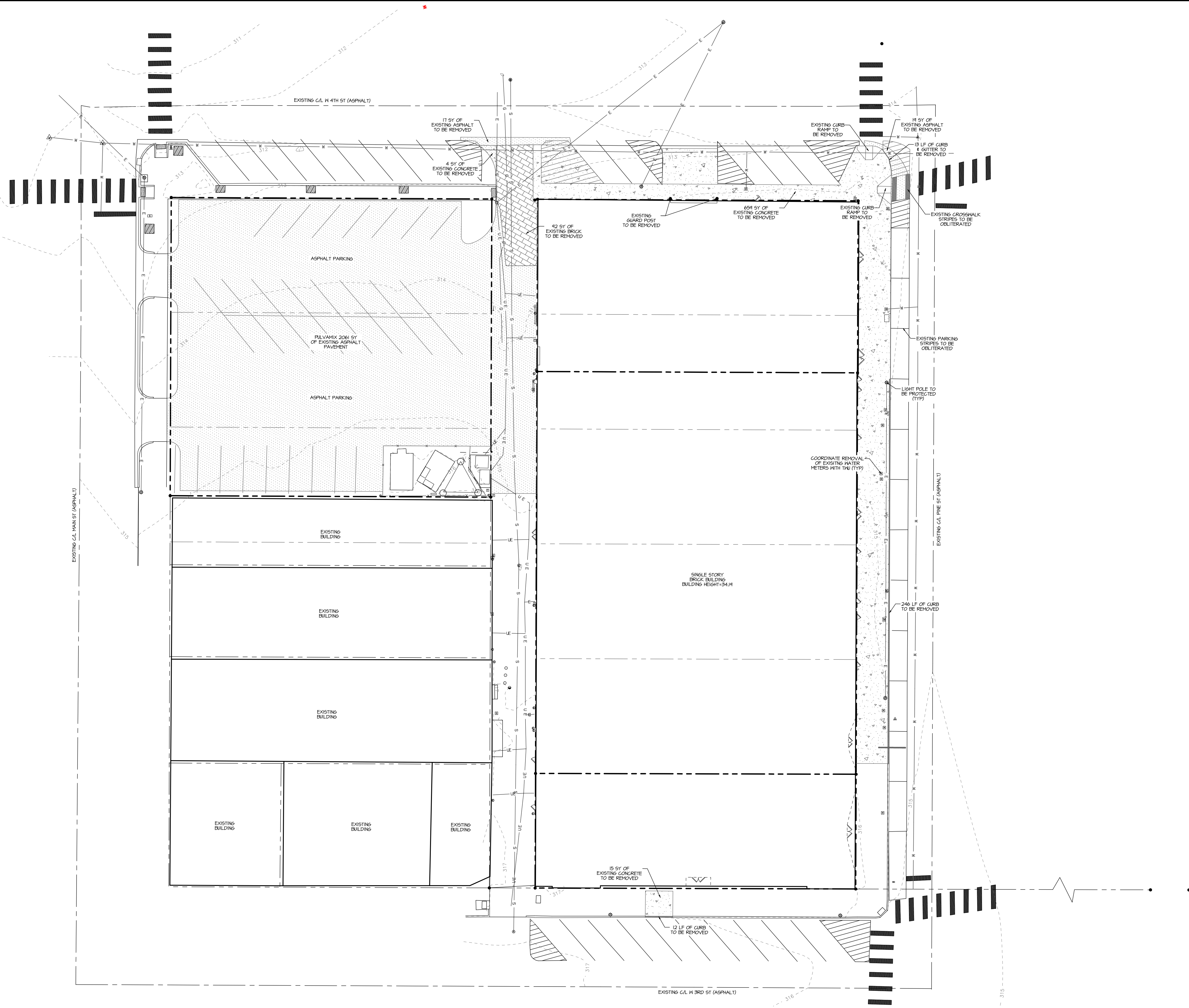
EXISTING CONDITIONS ARE BASED ON THE SURVEY PERFORMED JANUARY 28, 2025. ANY IMPROVEMENTS TO THE SITE AFTER THE SURVEY DATE ARE NOT SHOWN. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN SITE AND PLANS.

THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAININGS. THE SIZE, TYPE, OR PRESSURE OF THE UNDERGROUND UTILITIES IS NOT KNOWN (WATER LINES, GAS LINES, ETC.). THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, THE SURVEYOR, FURTHER, DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ON THIS PLAT ARE IN THE EXACT LOCATION AS INDICATED; ALTHOUGH, HE DOES CERTIFY THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL TEXAS ONE CALL BEFORE DIGGING AT 811.

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EXISTING CONDITIONS	
LANDMARK ON PINE TEXARKANA, TEXAS JGR ARCHITECTS	
Drawing Date 2/16/2026	
Project Number 256007	
Sheet Number C1	



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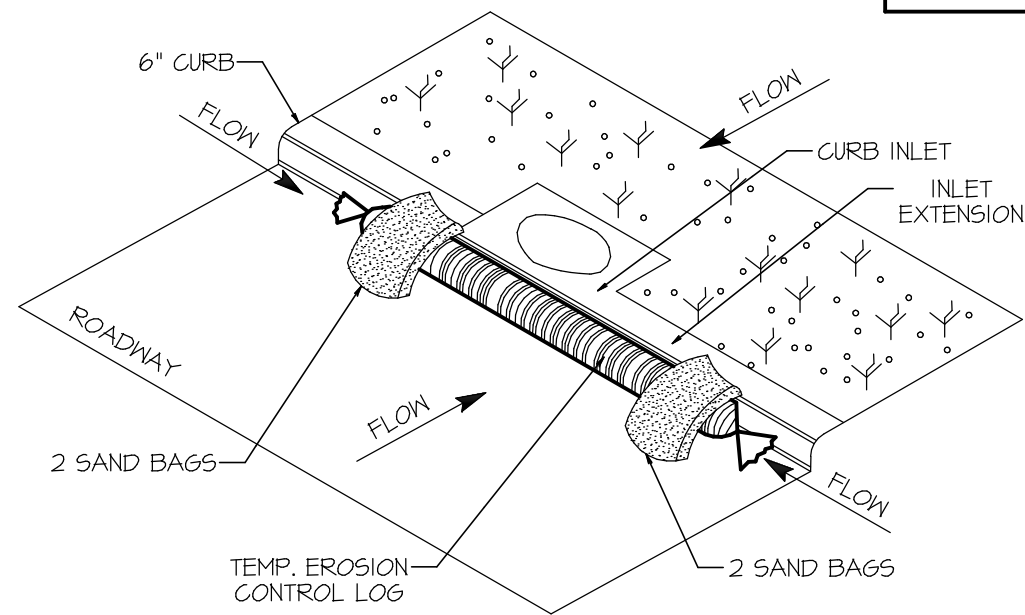
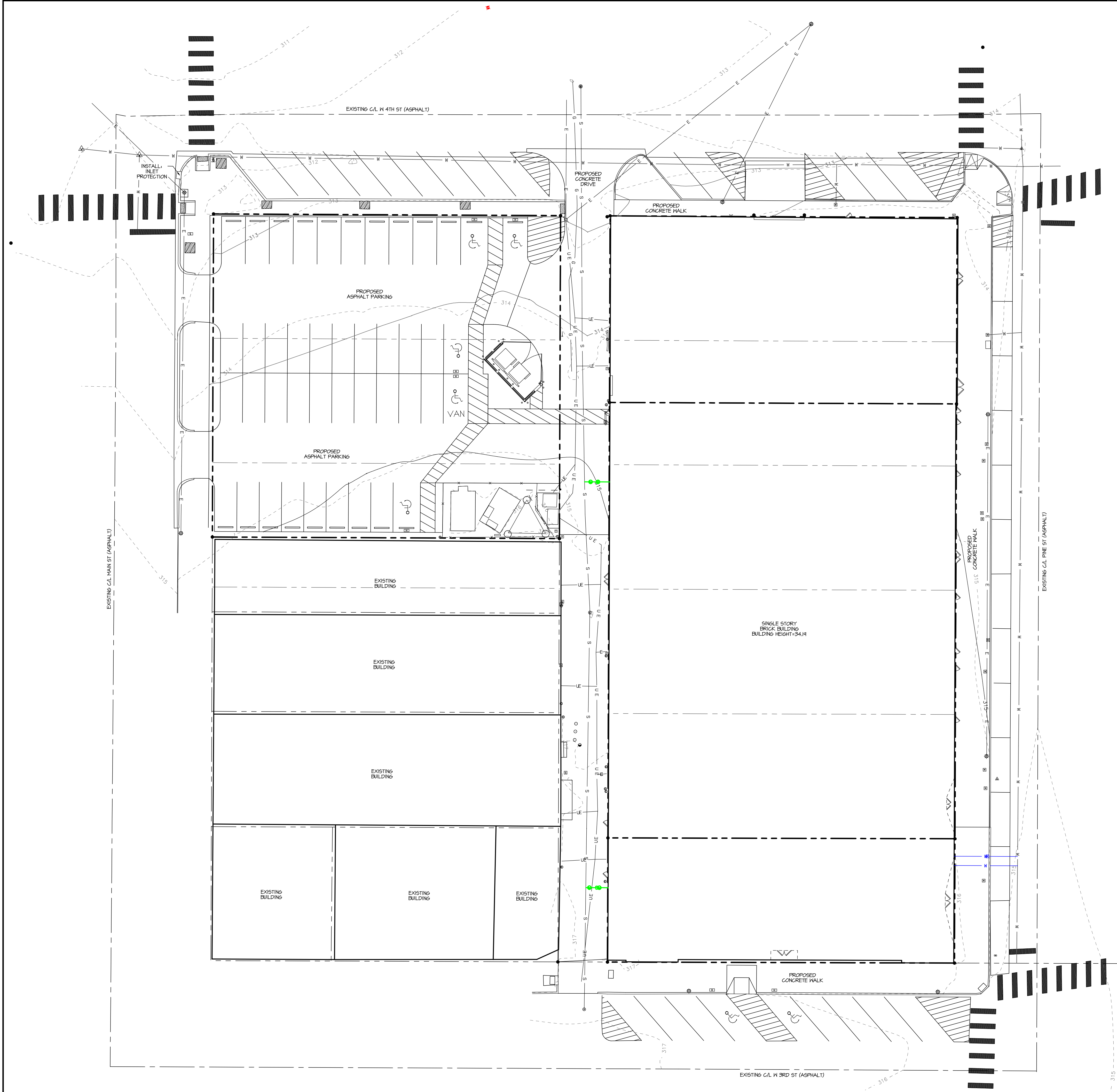


LEGEND	
	PROPERTY LINE
	CURB AND GUTTER
	BUILDING EDGE
	EDGE OF PAVEMENT
	EASEMENT
	BUILDING LINE OFFSET
	TOE OF DITCH/SLOPE
	TOP OF BANK
	OVERHEAD POWER LINE
	WATER MAIN
	SANITARY SEWER MAIN
	TELEPHONE LINE
	PROPOSED CONTOUR INT.
	EXISTING CONTOUR INT.
	SILT FENCE
	STORM DRAIN
	FIRE LANE
	SPOT ELEVATION
	POWER POLE
	WATER METER
	WATER VALVE
	CLEAN OUT
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	SIGN (TYPICAL)
	HANDICAP PARKING SYMBOL (PAINTED)
	FIRE HYDRANT
	LIGHT POLE
	GAS REGULATOR
	IRRIGATION CONTROL VALVE
	FIRE DEPARTMENT CONNECTION
	ROOF DRAIN
	TELEPHONE JUNCTION BOX
	ELECTRIC JUNCTION BOX
	GUY WIRE
	TREE

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DEMOLITION PLAN	
LANDMARK ON PINE TEXARKANA, TEXAS JGR ARCHITECTS	
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EROSION CONTROL LOG AT CURB INLET  
NOT TO SCALE

EROSION CONTROL NOTES:

1. EXCESS DIRT ON ROAD TO BE REMOVED DAILY.
2. CONTRACTOR REQUIRED TO POST SITE NOTICE AND REQUIRED SWPPP PACKAGE IN COMPLIANCE WITH LOCAL AND STATE REGULATIONS. CONTRACTOR TO REVIEW GUIDELINES AND ENSURE ALL REQUIREMENTS ARE MET PRIOR TO GROUND DISTURBING ACTIVITIES..
3. THE BMPs ILLUSTRATED SHOULD BE CONSIDERED THE MINIMUM MEASURES. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS NECESSARY TO CONTROL EROSION AND SEDIMENT RUNOFF FROM THE SITE.

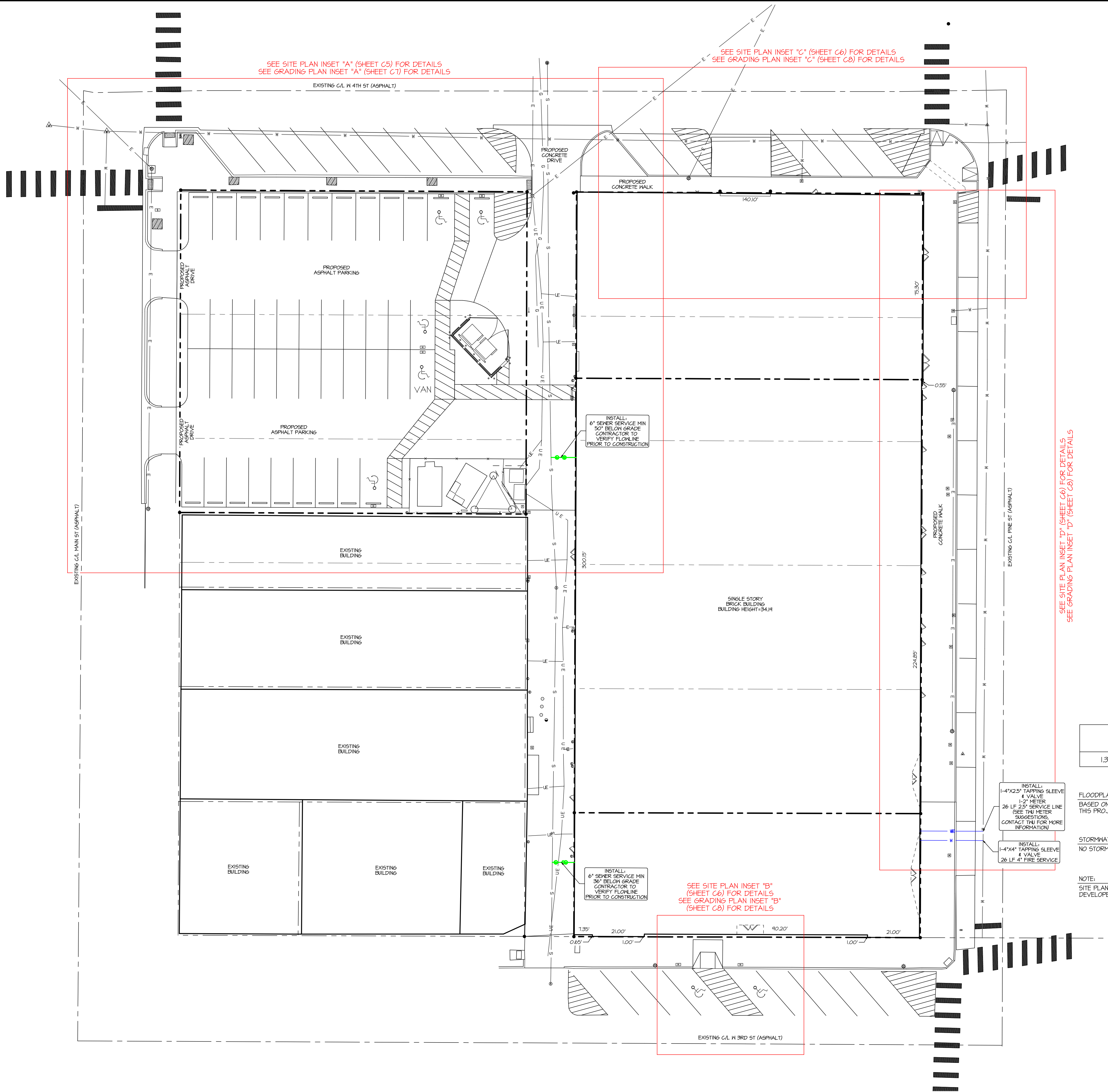
EROSION CONTROL PHASING:

- I. INSTALL TEMPORARY EROSION CONTROL MEASURES.
- II. BEGIN SITE DISTURBANCE AND CONSTRUCTION ACTIVITIES.
- III. COMPLETE CONSTRUCTION ACTIVITIES, PERFORM PERMANENT STABILIZATION ACTIVITIES (PERMANENT PLANTING) AS FINAL GRADES ARE ACHIEVED AND SITE CLEAN-UP.
- IV. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE PERMANENT STABILIZATION COVERS 980% OF DISTURBED AREAS.

LEGEND	
	PROPERTY LINE
	CURB AND GUTTER
	BUILDING EDGE
	EDGE OF PAVEMENT
	EASEMENT
	BUILDING LINE OFFSET
	TOE OF DITCH/SLOPE
	TOP OF BANK
	OVERHEAD POWER LINE
	WATER MAIN
	SANITARY SEWER MAIN
	TELEPHONE LINE
	PROPOSED CONTOUR INT.
	EXISTING CONTOUR INT.
	SILT FENCE
	STORM DRAIN
	FIRE LANE
	SPOT ELEVATION
	POWER POLE
	WATER METER
	WATER VALVE
	CLEAN OUT
	SANITARY SEWER MANHOLE
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	SIGN (TYPICAL)
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	FIRE HYDRANT
	LIGHT POLE
	GAS REGULATOR
	IRRIGATION CONTROL VALVE
	FIRE DEPARTMENT CONNECTION
	ROOF DRAIN
	TELEPHONE JUNCTION BOX
	ELECTRIC JUNCTION BOX
	GUY WIRE
	TREE

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Checked By K.R.V.	File No.
EROSION CONTROL PLAN	
LANDMARK ON PINE TEXARKANA, TEXAS JGR ARCHITECTS	
Drawing Date 2/16/2026	
Project Number 256007	
Sheet Number C3	





SEE SITE PLAN INSET "D" (SHEET C6) FOR DETAILS  
SEE GRADING PLAN INSET "D" (SHEET C8) FOR DETAILS

PARKING SUMMARY	
ZONING REQUIRED	
PARKING SPACES	0
ADA SPACES	2
PROVIDED	
PARKING SPACES	31
ADA SPACES	5
TOTAL SPACES	42
PARKING RATIO (42 STALLS/40 UNITS)	1.05

LOT COVERAGE			
SITE ACRES	SITE SQUARE FOOTAGE	BUILDING COVERAGE (GSF FOOTPRINT)	LOT COVERAGE
1.386 ACRES	60,351 SF	41,878 SF	69%

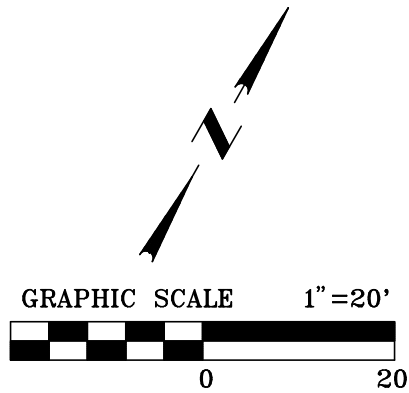
FLOODPLAIN NOTE:  
BASED ON THE FEMA FLOODPLAIN MAPS, TO THE BEST OF OUR KNOWLEDGE  
THIS PROJECT LOCATION IS NOT LOCATED WITHIN A FLOODPLAIN.

STORMWATER NOTE:  
NO STORMWATER RETENTION EXISTS ON THIS SITE.

NOTE:  
SITE PLAN MATERIALLY ADHERES TO ALL APPLICABLE ZONING, SITE  
DEVELOPMENT, AND BUILDING CODE ORDINANCES.

#### GENERAL SITE NOTES

- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING AND PLANNED UTILITIES BEFORE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION WITHIN RIGHT-OF-WAY. ALL WORK WITHIN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH APPROVED PERMIT.
- BUILDING DIMENSIONS SHOWN ON THESE PLANS ARE OUTSIDE FOUNDATION/SLAB LINES. CONTRACTOR SHALL COORDINATE AND VERIFY DIMENSIONS WITH ARCHITECTURAL PLANS. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE SITE PLANS AND ARCHITECTURAL PLANS, THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED.
- DIMENSIONS SHOWN ARE FROM BACK OF CURB AS APPLICABLE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY OBSTRUCTIONS SUCH AS EXISTING STRUCTURES, FENCES, DEBRIS, OR TREES ON SITE, AND SHALL COORDINATE ALL REMOVAL WITH THE GENERAL CONTRACTOR. NO TREES OR OTHER ITEMS SHALL BE REMOVED WITHOUT THE APPROVAL OF THE ARCHITECT, ENGINEER, AND OWNER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES.



#### LEGEND

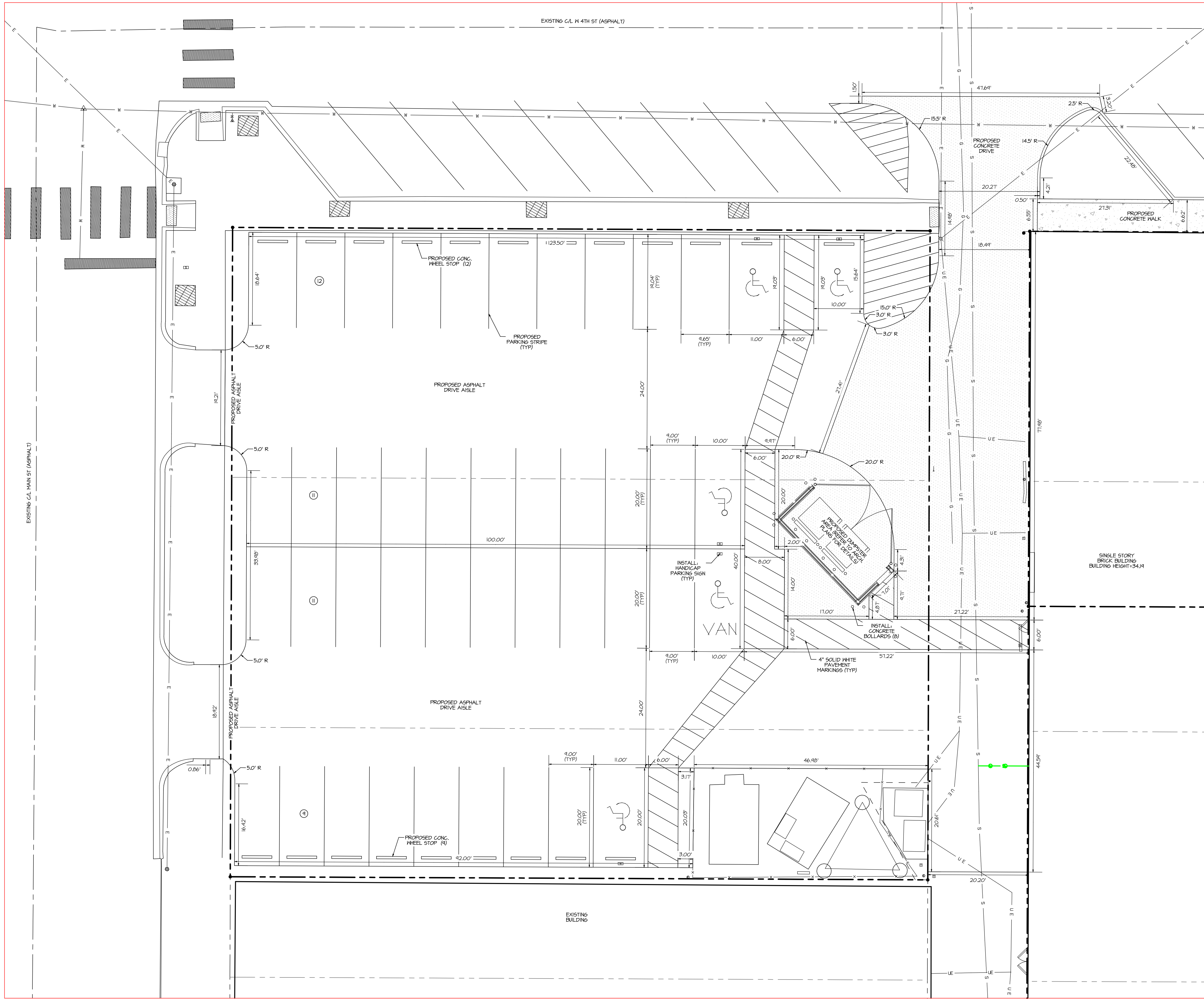
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---	CURB AND GUTTER
---	BUILDING EDGE
---	EDGE OF PAVEMENT
---	EASEMENT
---	BUILDING LINE OFFSET
---	TOE OF DITCH/SLOPE
---	TOP OF BANK
---	OVERHEAD POWER LINE
---	WATER MAIN
---	SANITARY SEWER MAIN
---	TELEPHONE LINE
---	PROPOSED CONTOUR INT.
---	EXISTING CONTOUR INT.
---	SILT FENCE
---	STORM DRAIN
---	FIRE LANE
---	SPOT ELEVATION
---	POWER POLE
---	WATER METER
---	WATER VALVE
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---	FIRE DEPARTMENT CONNECTION
---	ROOF DRAIN
---	TELEPHONE JUNCTION BOX
---	ELECTRIC JUNCTION BOX
---	GUY WIRE
---	TREE

----- ACCESSIBLE WALK OR PATH

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Scale		AS SHOWN		Drawn By		A.M.G.		Checked By		K.R.V.		File No.	
OVERALL SITE PLAN												Date	
LANDMARK ON PINE TEXARKANA, TEXAS JGR ARCHITECTS												Revision/Description	
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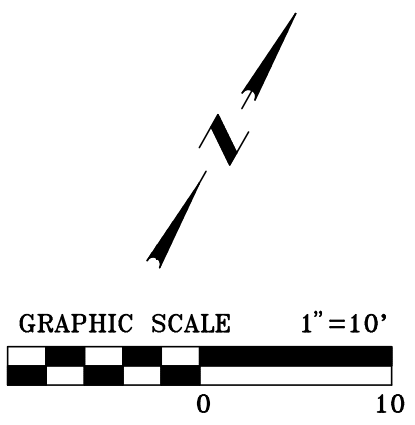
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SITE PLAN  
INSET "A"

GENERAL SITE NOTES

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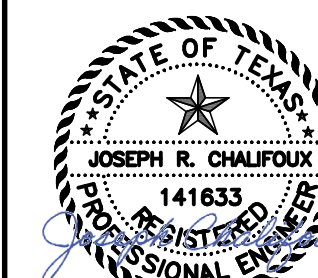


LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- BUILDING EDGE
- EDGE OF PAVEMENT
- EASEMENT
- BUILDING LINE OFFSET
- TOE OF DITCH/SLOPE
- TOP OF BANK
- OVERHEAD POWER LINE
- WATER MAIN
- SANITARY SEWER MAIN
- TELEPHONE LINE
- PROPOSED CONTOUR INT.
- EXISTING CONTOUR INT.
- SILT FENCE
- STORM DRAIN
- FIRE LANE
- SPOT ELEVATION
- POWER POLE
- WATER METER
- WATER VALVE
- CLEAN OUT
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- SIGN (TYPICAL)
- HANDICAP PARKING SYMBOL (PAINTED)
- FIRE HYDRANT
- LIGHT POLE
- GAS REGULATOR
- IRRIGATION CONTROL VALVE
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- ELECTRIC JUNCTION BOX
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- TREE

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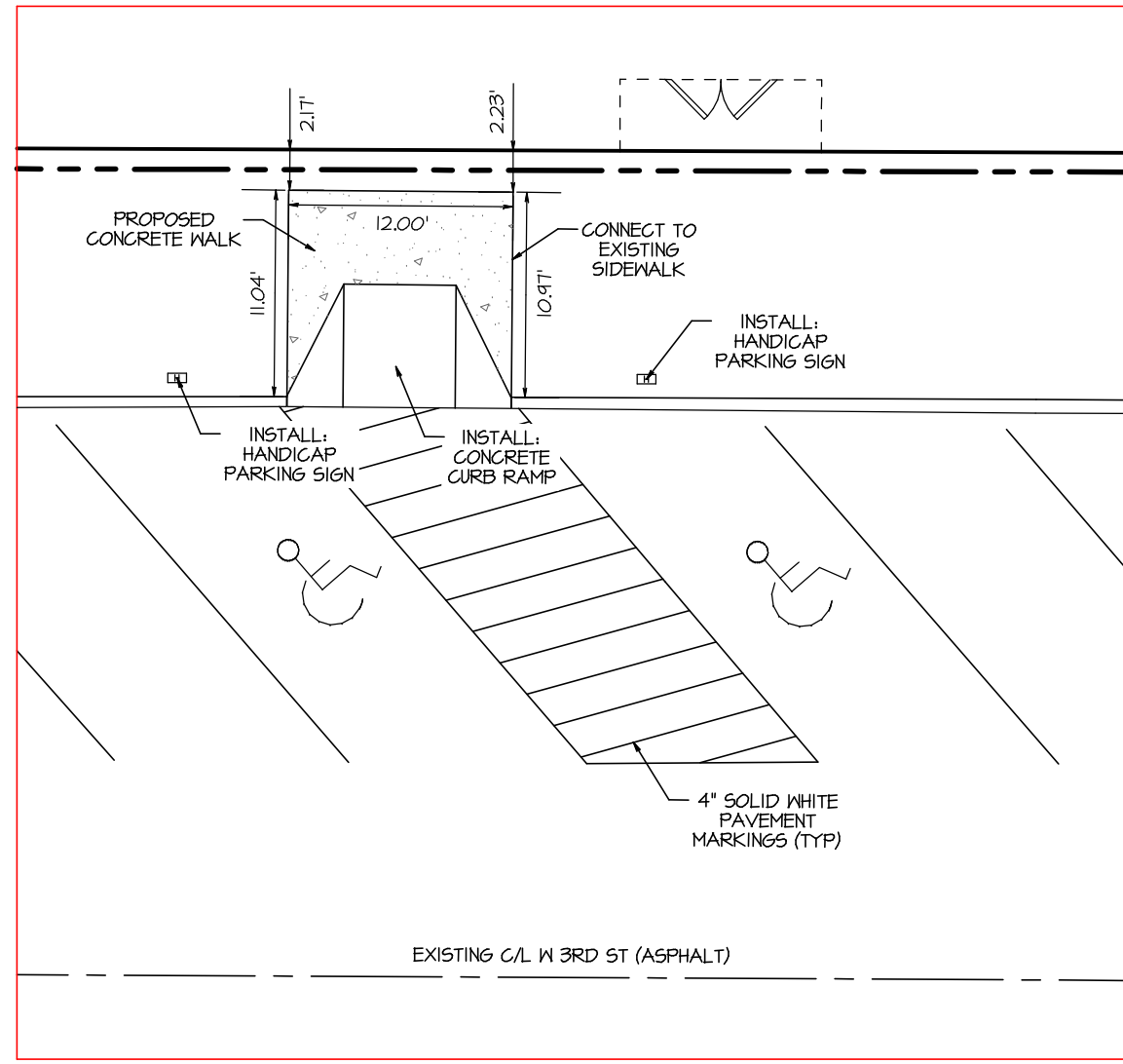
SITE PLAN  
INSET "A"

LANDMARK ON PINE  
TEXARKANA, TEXAS  
JGR ARCHITECTS

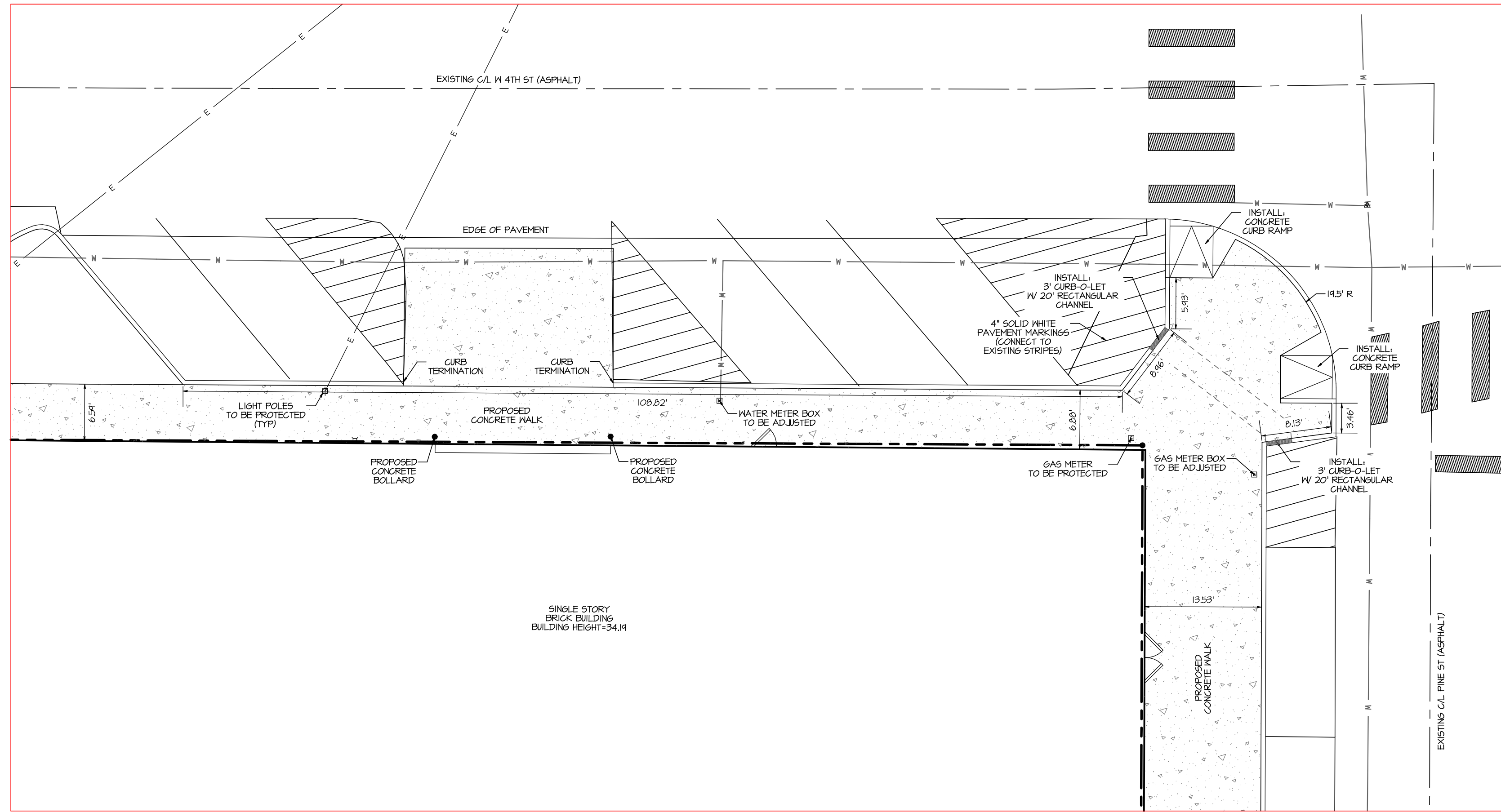
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Sheet Number  
C5



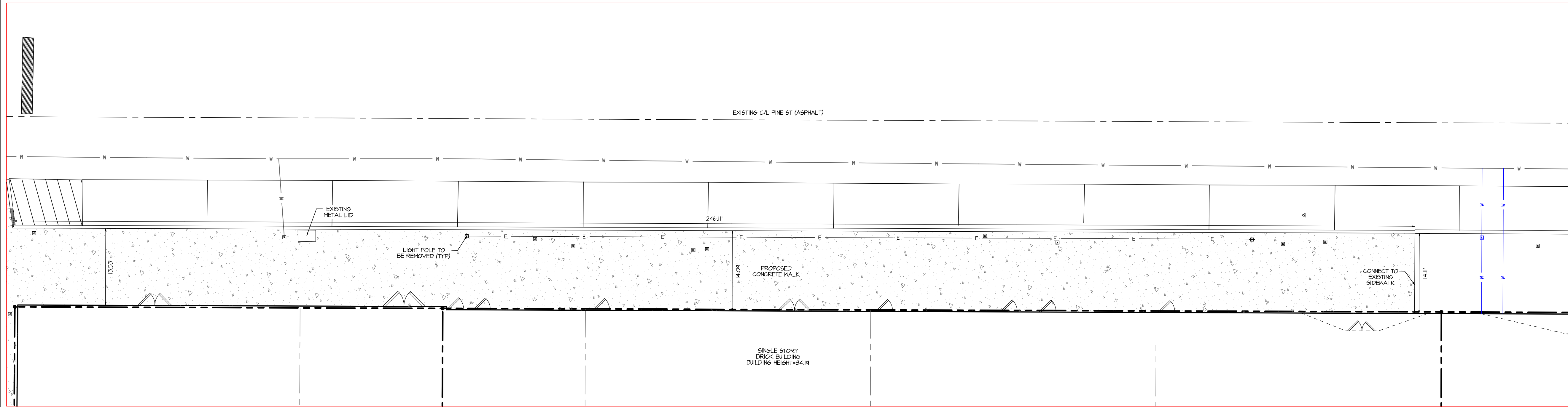
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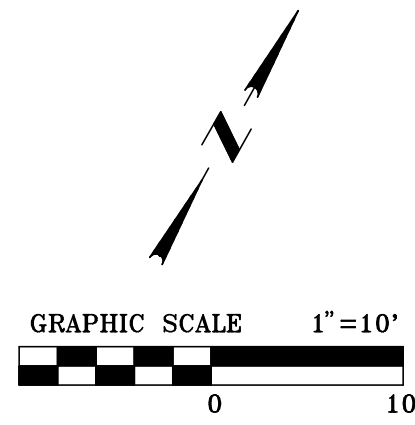
SITE PLAN  
INSET "B"  
SCALE: 1"=10'



SITE PLAN  
INSET "C"  
SCALE: 1"=10'



SITE PLAN  
INSET "D"  
SCALE: 1"=10'



#### LEGEND

---	PROPERTY LINE
---	CURB AND GUTTER
---	BUILDING EDGE
---	EDGE OF PAVEMENT
---	EASEMENT
---	BUILDING LINE OFFSET
---	TOE OF DITCH/SLOPE
---	TOP OF BANK
E	OVERHEAD POWER LINE
W	WATER MAIN
S	SANITARY SEWER MAIN
T	TELEPHONE LINE
---	PROPOSED CONTOUR INT.
---	EXISTING CONTOUR INT.
---	SILT FENCE
---	STORM DRAIN
---	FIRE LANE
356.0	SPOT ELEVATION
Q	POWER POLE
W	WATER METER
W	WATER VALVE
W	CLEAN OUT
W	SANITARY SEWER MANHOLE
W	STORM DRAIN MANHOLE
W	SIGN (TYPICAL)
W	HANDICAP PARKING SYMBOL (PAINTED)
W	FIRE HYDRANT
W	LIGHT POLE
W	GAS REGULATOR
W	IRRIGATION CONTROL VALVE
W	FIRE DEPARTMENT CONNECTION
W	ROOF DRAIN
W	TELEPHONE JUNCTION BOX
W	ELECTRIC JUNCTION BOX
W	GUY WIRE
W	TREE

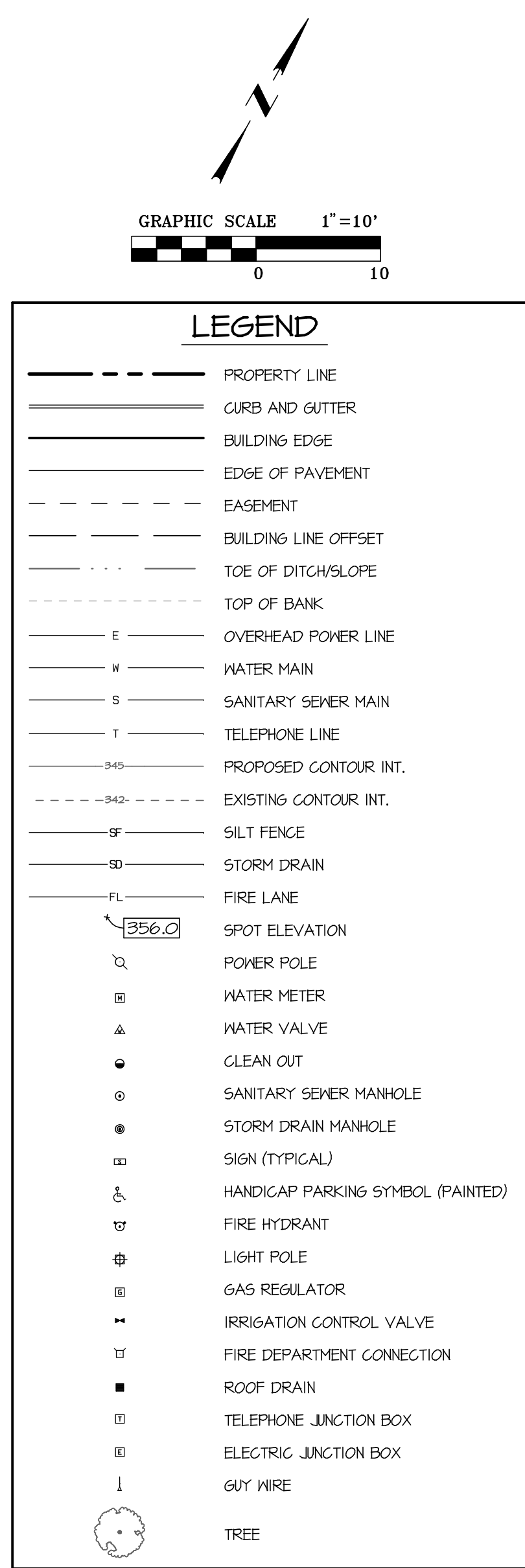
TWO METER SUGGESTIONS:  
1. DIEHL HYDRUS - 5/8" 3/4" 1" 1.5"  
2. DIEHL HYDRUS - 2" WITH A 11" LAY LENGTH  
3. NEPTUNE ULTRASONIC - 2" WITH A 15" LAY LENGTH  
4. NEPTUNE ULTRASONIC - 3" AND LARGER

#### GENERAL SITE NOTES

- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING AND PLANNED UTILITIES BEFORE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
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LANDMARK ON PINE TEXARKANA, TEXAS JGR ARCHITECTS	
Drawing Date 2/16/2026	
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Sheet Number C6	



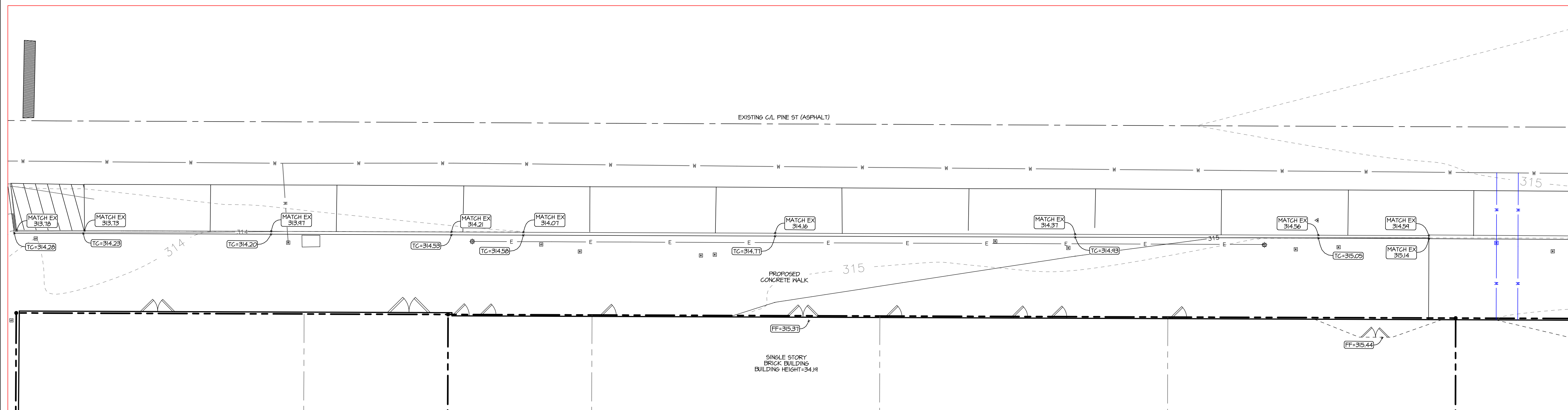
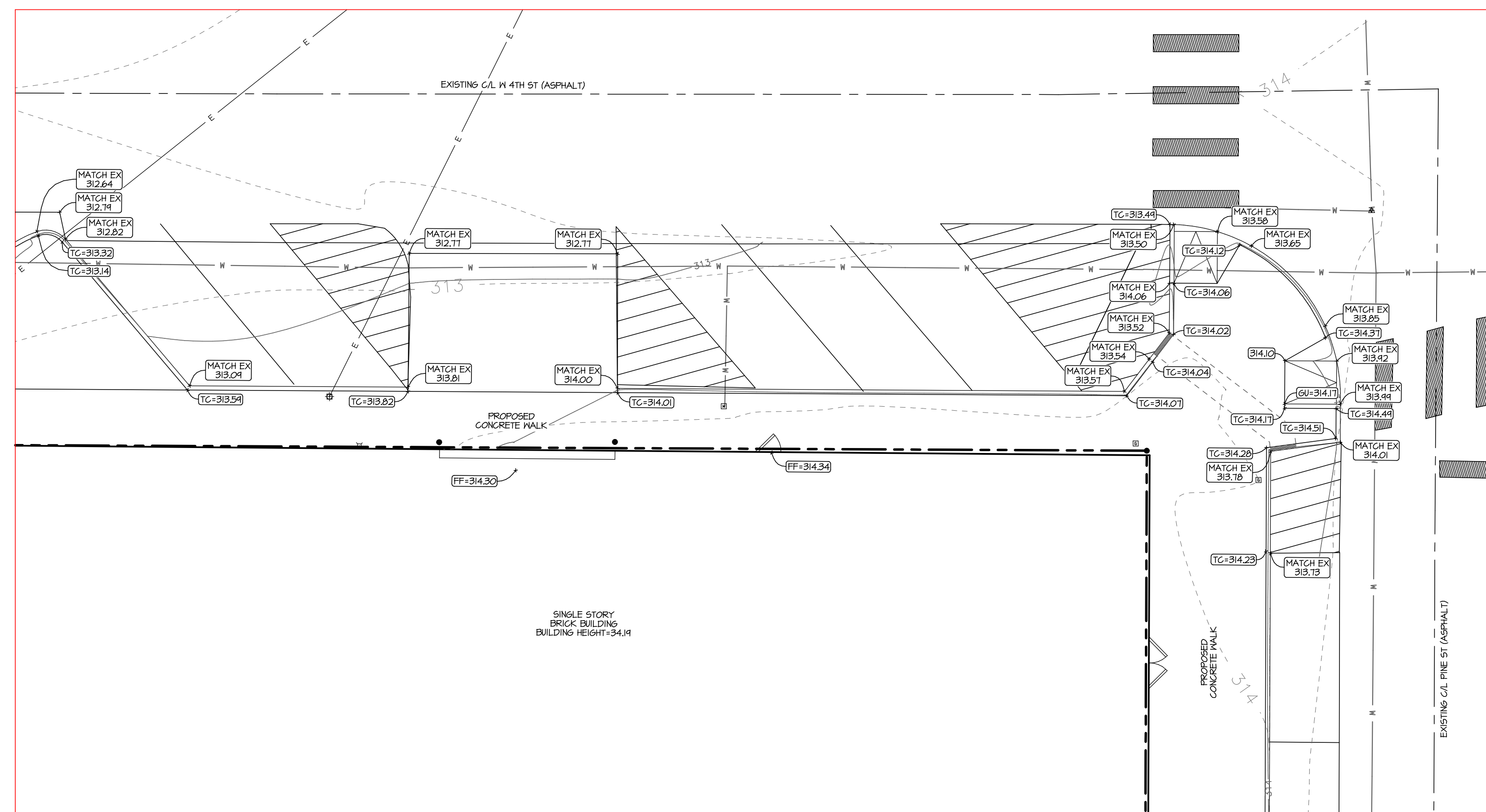
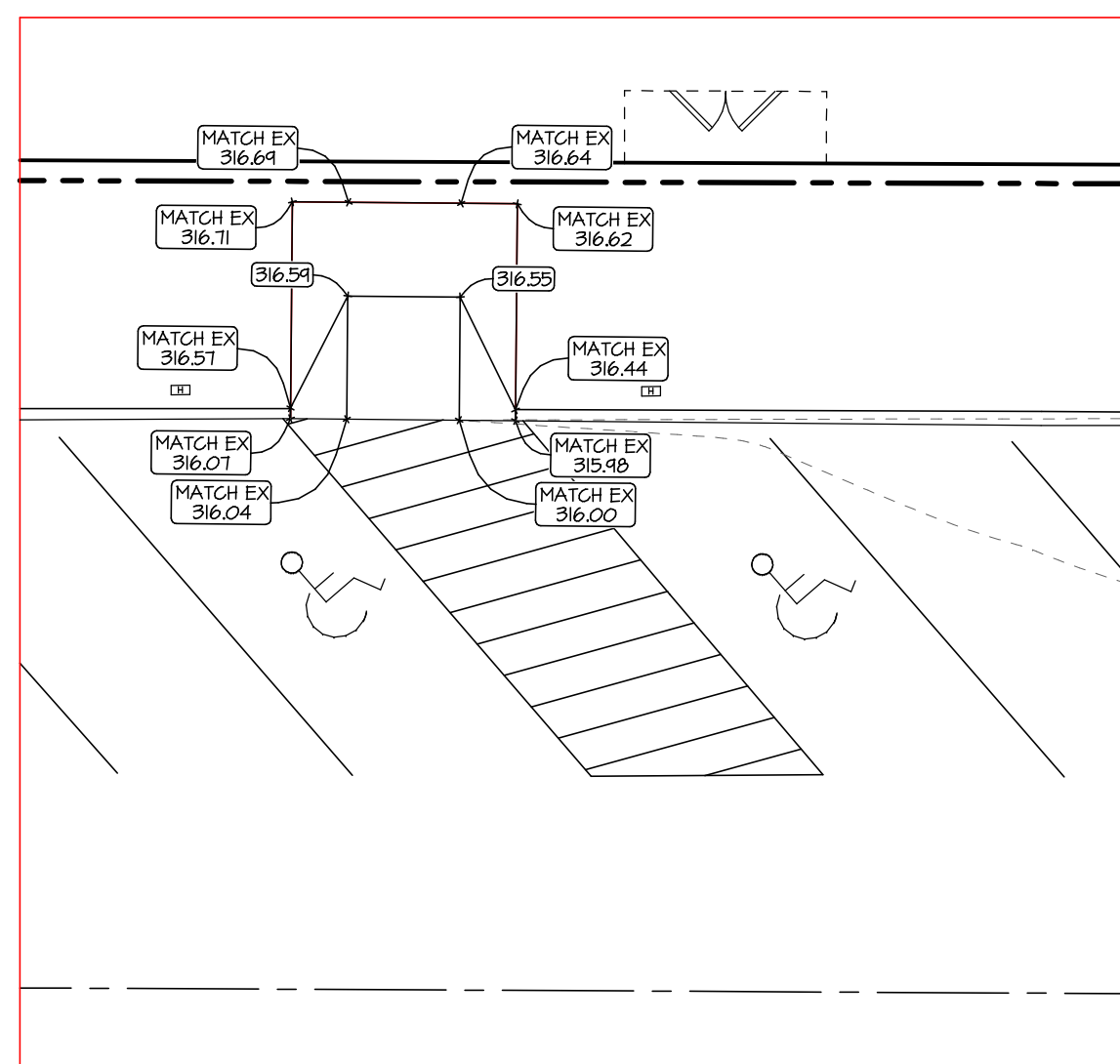


1. VEGETATION, DEBRIS, AND TOPSOIL CONTAINING ORGANIC MATERIALS SHOULD BE CLEARED AND GRUBBED FROM THE ENTIRE SITE AT THE BEGINNING OF EARTHWORK.
2. REFERENCE PLAN SHEETS AND GEOTECHNICAL REPORT FOR PAVEMENT SUBGRADE PREPARATION REQUIREMENTS. REFERENCE ARCHITECTURAL SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD PREPARATION.
3. PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN PAVED AREAS REFLECT TOP OF PAVEMENT SURFACE OR GUTTER GRADES UNLESS OTHERWISE NOTED.
4. ALL ACCESSIBLE PATHWAYS SHALL BE CONSTRUCTED IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL ADA STANDARDS, REFER TO DETAILED HANDICAP PARKING DETAIL FOR RAMP AND PARKING DETAILS.
5. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
6. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER OR OTHER MEANS APPROVED BY THE ARCHITECT, ENGINEER, AND THE OWNER, AT NO ADDITIONAL COST TO THE OWNER.
7. ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNSABLE EXCAVATED MATERIAL AND ALL WASTE SHALL BE DISPOSED OF OFF SITE.

\\2025 Projects\256007 Landmark on Pine\05 Engineering Design\Design\Design\_03.pro  
on Feb 16, 2026 10:36AM

<p>LANDMARK ON PINE TEXARKANA, TEXAS JGR ARCHITECTS</p>	<p>GRADING PLAN INSET "A"</p>	<p>AS SHOWN</p> <p>Drawn By A.M.G.</p> <p>Checked By KRAL</p> <p>File No.</p>	<p>5830 SUMMERHILL ROAD TEXARKANA, TEXAS P 903.838.8533 www.mtginengineers.com TBE FIRM NO. F-354 AR COA NO. 125 © MTG 2026</p> <p><b>MTG</b> <b>ENGINEERS &amp; SURVEYORS</b></p> <p>   2/16/2026 </p>	<p>No.</p> <p>Revision/Description</p> <p>Date</p>
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- # LEGEND
- |  |                                   |
|--|-----------------------------------|
|  | PROPERTY LINE                     |
|  | GUTB AND GUTTER                   |
|  | BUILDING EDGE                     |
|  | EDGE OF PAVEMENT                  |
|  | EASEMENT                          |
|  | BUILDING LINE OFFSET              |
|  | TOE OF DITCH/SLOPE                |
|  | TOP OF BANK                       |
|  | OVERHEAD POWER LINE               |
|  | WATER MAIN                        |
|  | SANITARY SEWER MAIN               |
|  | TELEPHONE LINE                    |
|  | PROPOSED CONTOUR INT.             |
|  | EXISTING CONTOUR INT.             |
|  | SILT FENCE                        |
|  | STORM DRAIN                       |
|  | FIRE LANE                         |
|  | SPOT ELEVATION                    |
|  | POWER POLE                        |
|  | WATER METER                       |
|  | WATER VALVE                       |
|  | CLEAN OUT                         |
|  | SANITARY SEWER MANHOLE            |
|  | STORM DRAIN MANHOLE               |
|  | SIGN (TYPICAL)                    |
|  | HANDICAP PARKING SYMBOL (PAINTED) |
|  | FIRE HYDRANT                      |
|  | LIGHT POLE                        |
|  | GAS REGULATOR                     |
|  | IRRIGATION CONTROL VALVE          |
|  | FIRE DEPARTMENT CONNECTION        |
|  | ROOF DRAIN                        |
|  | TELEPHONE JUNCTION BOX            |
|  | ELECTRIC JUNCTION BOX             |
|  | GUY WIRE                          |
- 
- TREE

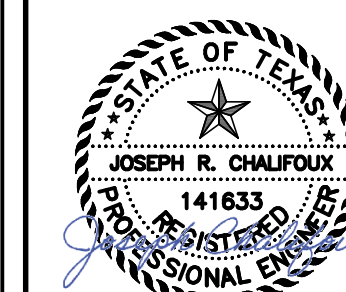
GENERAL GRADING NOTES

1. VEGETATION, DEBRIS, AIR TOPSOIL CONTAINING ORGANIC MATERIALS SHOULD BE CLEARED AND GRUBBED FROM THE ENTIRE SITE AT THE BEGINNING OF EARTHWORK.
2. REFERENCE PLAN SHEETS AND GEOTECHNICAL REPORT FOR PAVEMENT SUBGRADE PREPARATION REQUIREMENTS. REFERENCE ARCHITECTURAL SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD PREPARATION.
3. PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN PAVED AREAS REFLECT TOP OF PAVEMENT SURFACE OR GUTTER GRADES UNLESS OTHERWISE NOTED.
4. ALL ACCESSIBLE PATHWAYS SHALL BE CONSTRUCTED IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL ADA STANDARDS, REFER TO DETAILED HANDICAP PARKING DETAIL FOR RAMP AND PARKING DETAILS.
5. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
6. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE ARCHITECT, ENGINEER, AND THE OWNER. FOR ADDITIONAL GOALS TO THE SPECIFICATIONS, SEE THE ADDITIONAL SPECIFICATIONS.
7. ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE SHALL BE DISPOSED OF OFF SITE.

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2/16/2026

Scale	AS SHOWN
Drawn By	J.M.G.
Checked By	J.R.W.
File No.	

GRADING PLAN  
NSET "B, C & D"

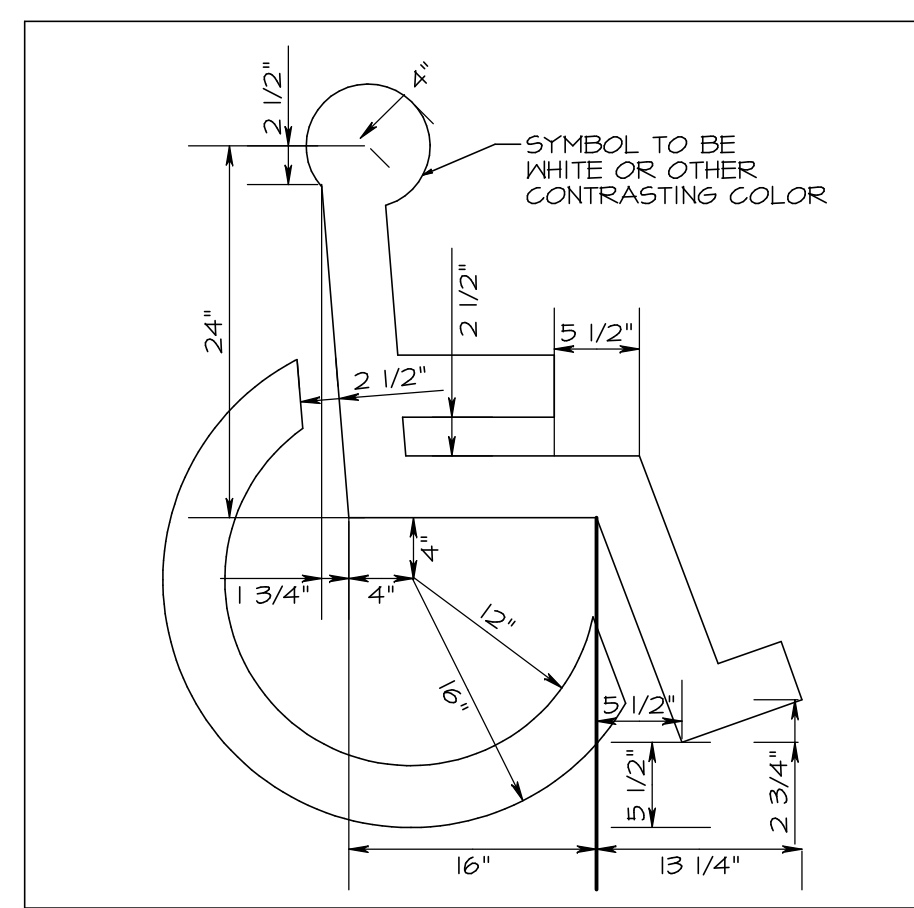
LANDMARK ON PINE  
TEXARKANA, TEXAS  
JGR ARCHITECTS

Drawing Date  
2/16/2026

Project Number  
256007

Sheet Number  
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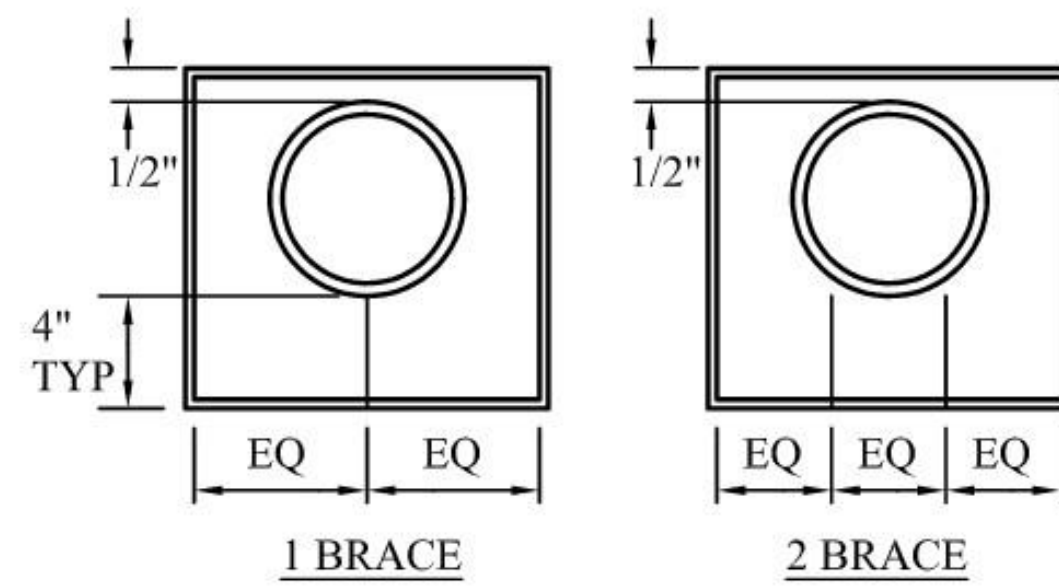


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Project Number	256007
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### 90° ELBOW BRACE DETAIL

NOTE: BRACES HAVE 4-INCH LONG TACK WELD INSIDE  
RECTANGULAR END FOR ADDITIONAL STRENGTH

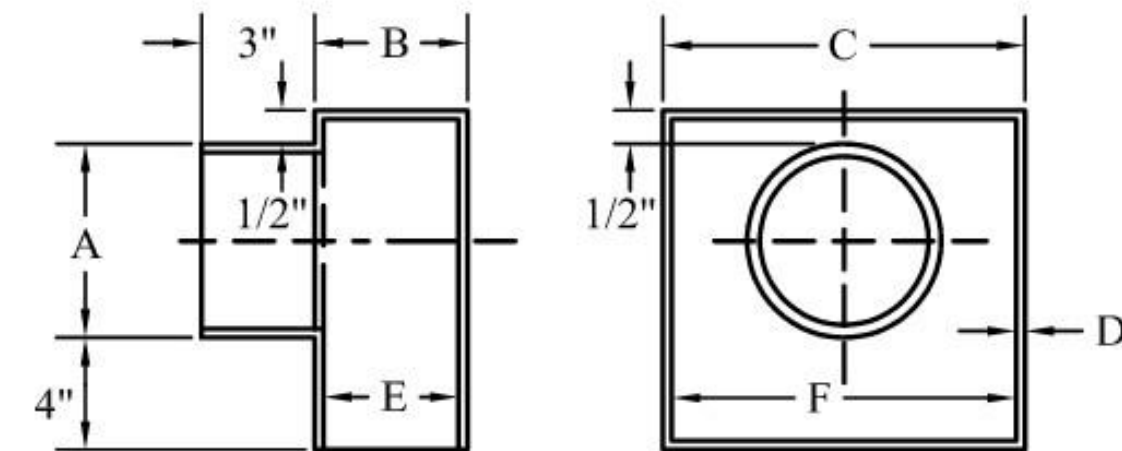
## PRODUCT SPECIFICATION - 90° ELBOW

[illegible]

MATERIAL: 10 GAUGE GALVANIZED A653 G90, MEETS ASTM A-653. TENSILE STRENGTH 50,000. YIELD 36,000. ALL WELDS WILL BE SPRAYED, ROLLED OR BRUSHED WITH GALVANIZED #95 COATING. RECTANGULAR CONNECTION: MASTIC (MUST MEET OR EXCEED ASTM D-4586), CAULKING, EPOXY OR OTHER CITY OF LOS ANGELES APPROVED METHOD. ROUND CONNECTION: CAST IRON/ PLASTIC PIPE CONNECTION USE CAST IRON OR PLASTIC TO STEEL COUPLINGS. CONTACT BUREAU OF CONTRACT ADMINISTRATION MATERIAL CONTROL SECTION AT (213) 485-5080 FOR FABRICATION INSPECTION



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### 90° ELBOW DETAIL

NOTE: BRACES HAVE 4-INCH LONG TACK WELD INSIDE  
RECTANGULAR END FOR ADDITIONAL STRENGTH

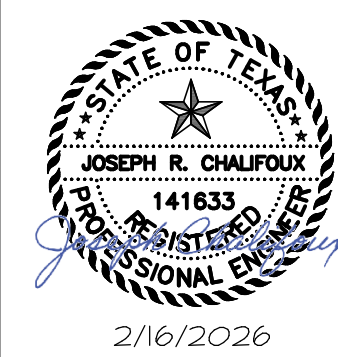
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CURB-O-LET  
DETAILS  
(2 OF 2)

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C/2