

CONSTRUCTION PLANS
FOR
LANDMARK ON PINE
FOR
JGR ARCHITECTS

TEXARKANA, TEXAS

JOB NO. 256007

FEBRUARY, 2026

REFERENCE LIST

City of Texarkana, Texas
Ph: 903-798-3948

Dustin Henslee
Public Works Director

A.E.P. Electric
Ph: 903-223-5731
Zac Planalto

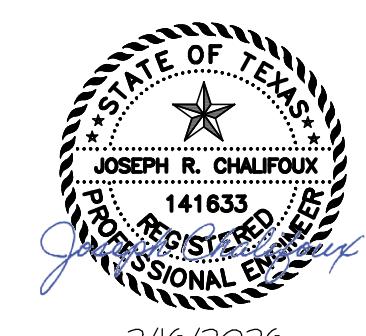
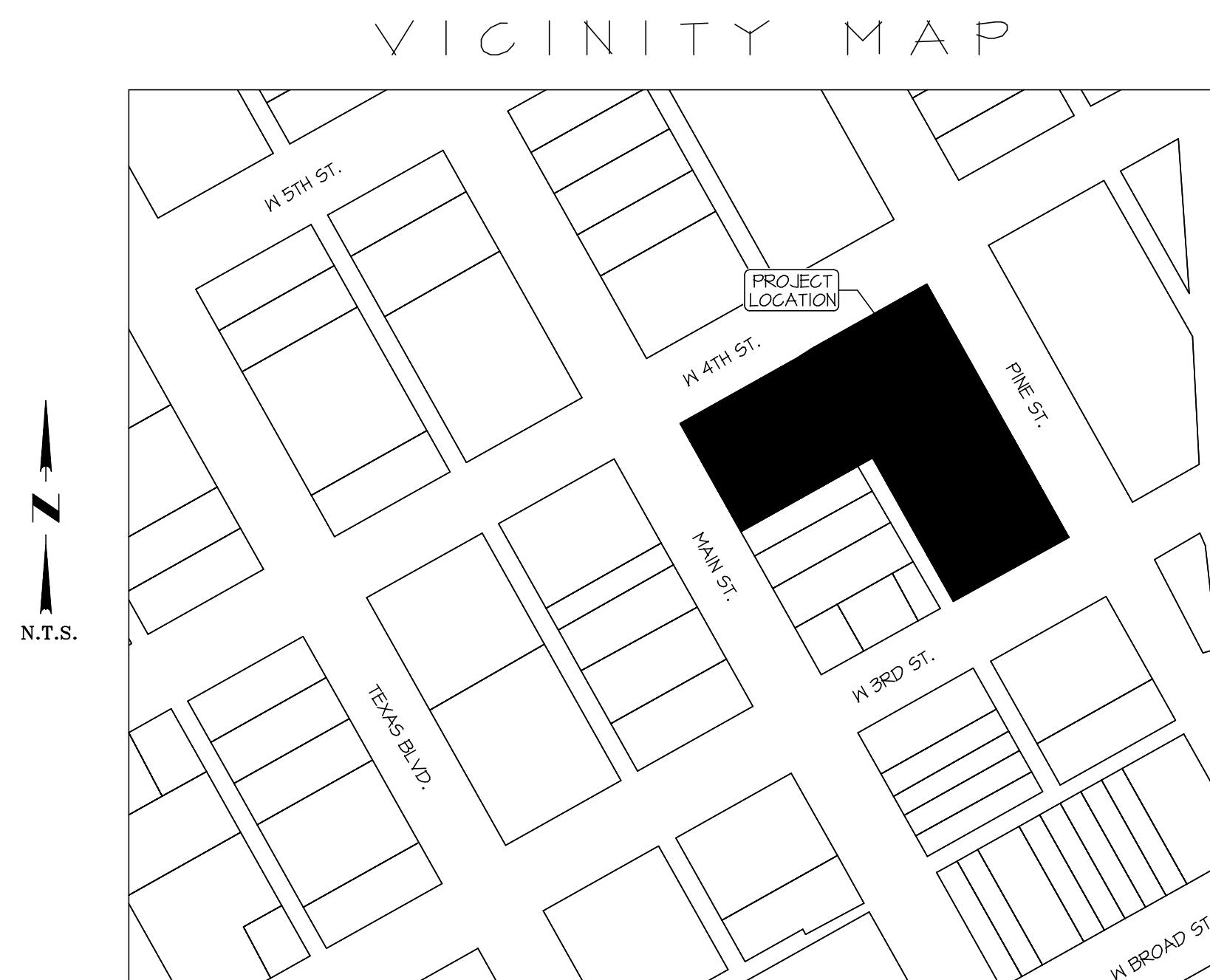
Windstream
Ph: 903-223-4383
Ryan Trammell

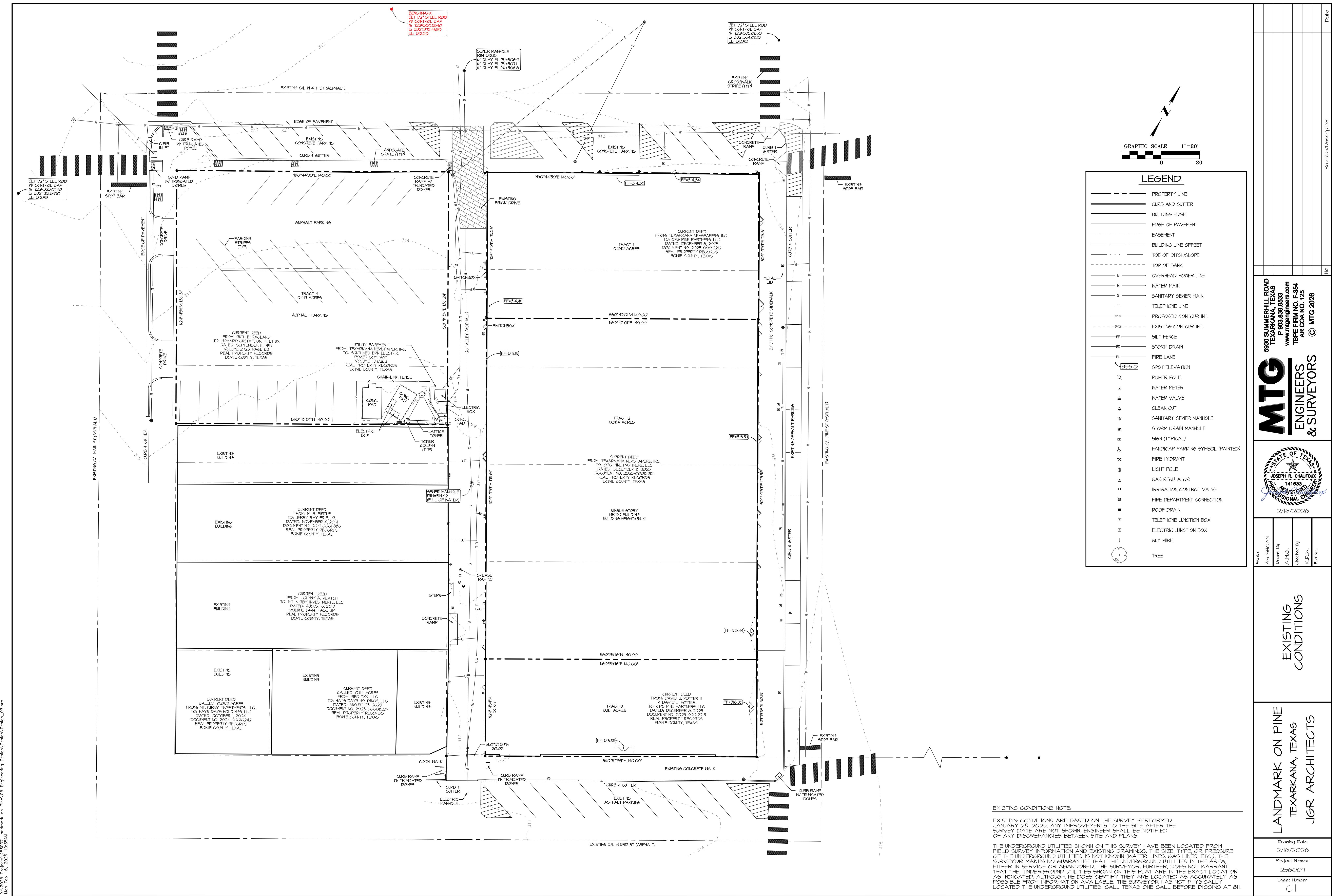
Texarkana Water Utilities
Ph: 903-798-3800
Gary Smith

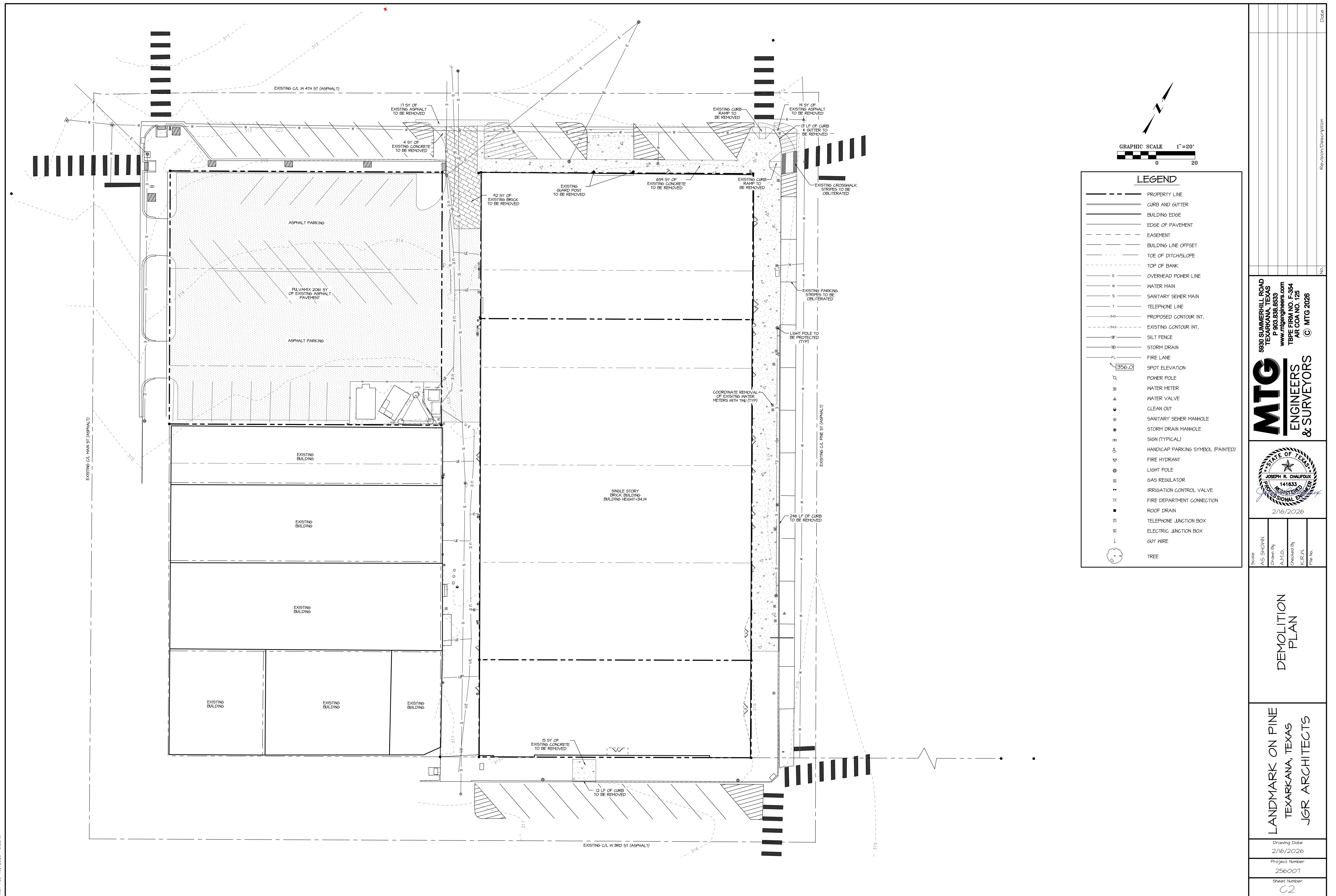
Summit Utilities
Ph: 870-779-6338
Diane Engelkes

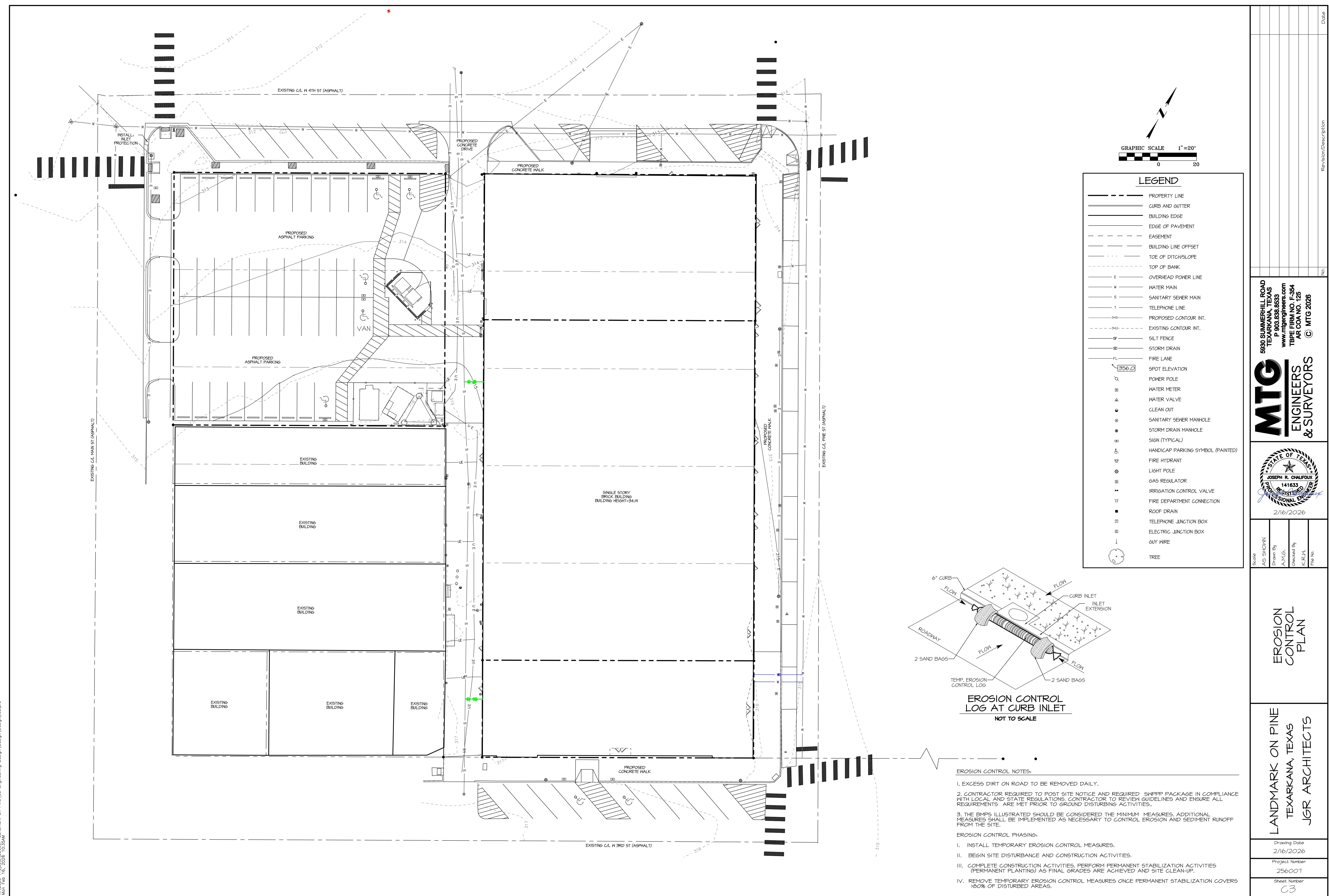
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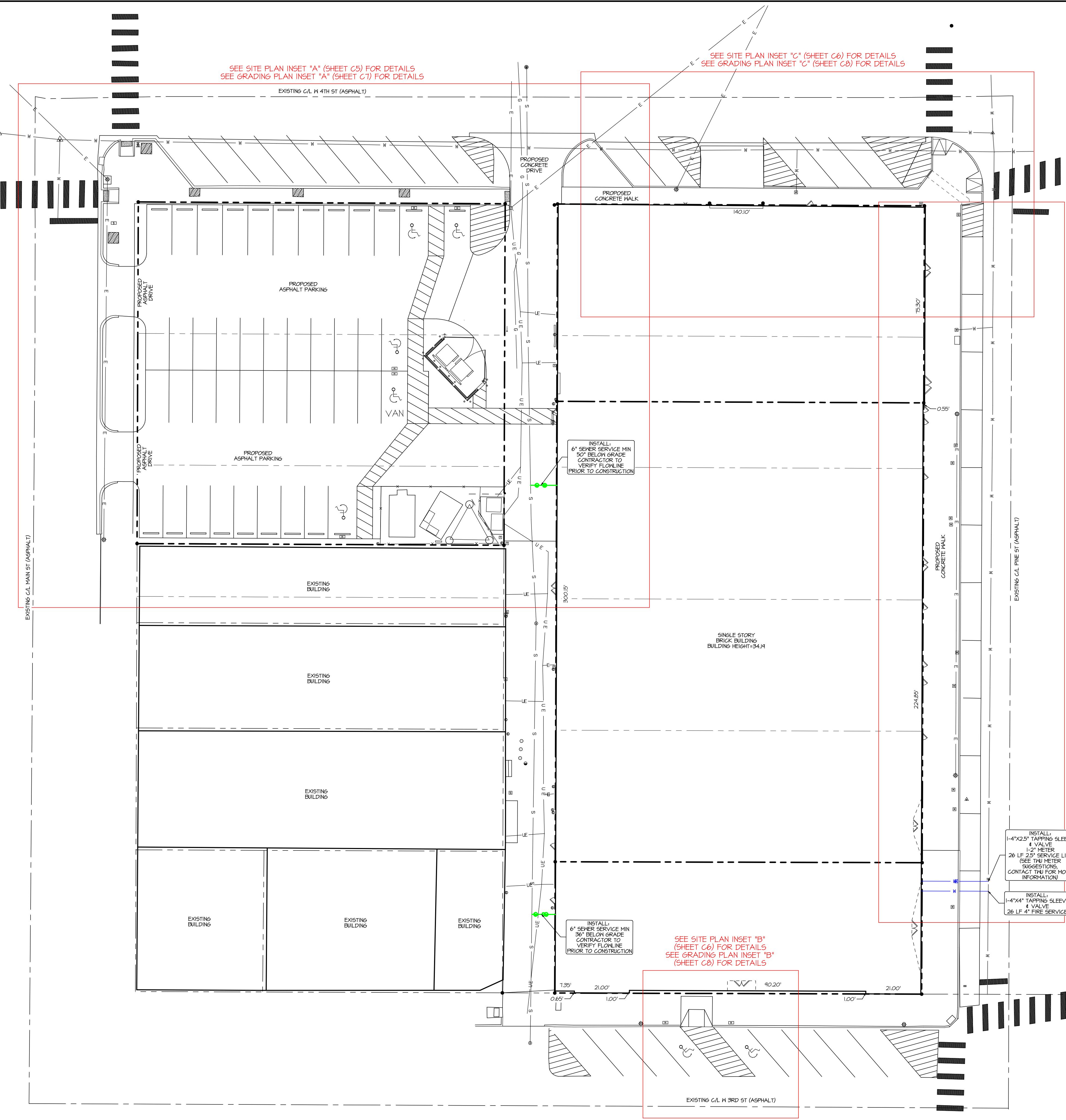
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	CURB-O-LET DETAILS (2 OF 2)











SEE SITE PLAN INSERT "D" (SHEET C6) FOR DETAILS
SEE GRADING PLAN INSERT "D" (SHEET C8) FOR DETAILS

PARKING SUMMARY

ZONING REQUIRED	
PARKING SPACES	0
ADA SPACES	2
PROVIDED	
PARKING SPACES	31
ADA SPACES	5
TOTAL SPACES	42
PARKING RATIO (42 STALLS/40 UNITS)	1.05

LOT COVERAGE

SITE ACRES	SITE SQUARE FOOTAGE	BUILDING COVERAGE (GSF FOOTPRINT)	LOT COVERAGE
1.386 ACRES	60,351 SF	41,878 SF	69%

FLOODPLAIN NOTE:
BASED ON THE FEMA FLOODPLAIN MAPS, TO THE BEST OF OUR KNOWLEDGE
THIS PROJECT LOCATION IS NOT LOCATED WITHIN A FLOODPLAIN.

ORMWATER NOTE:
STORMWATER RETENTION EXISTS ON THIS SITE.

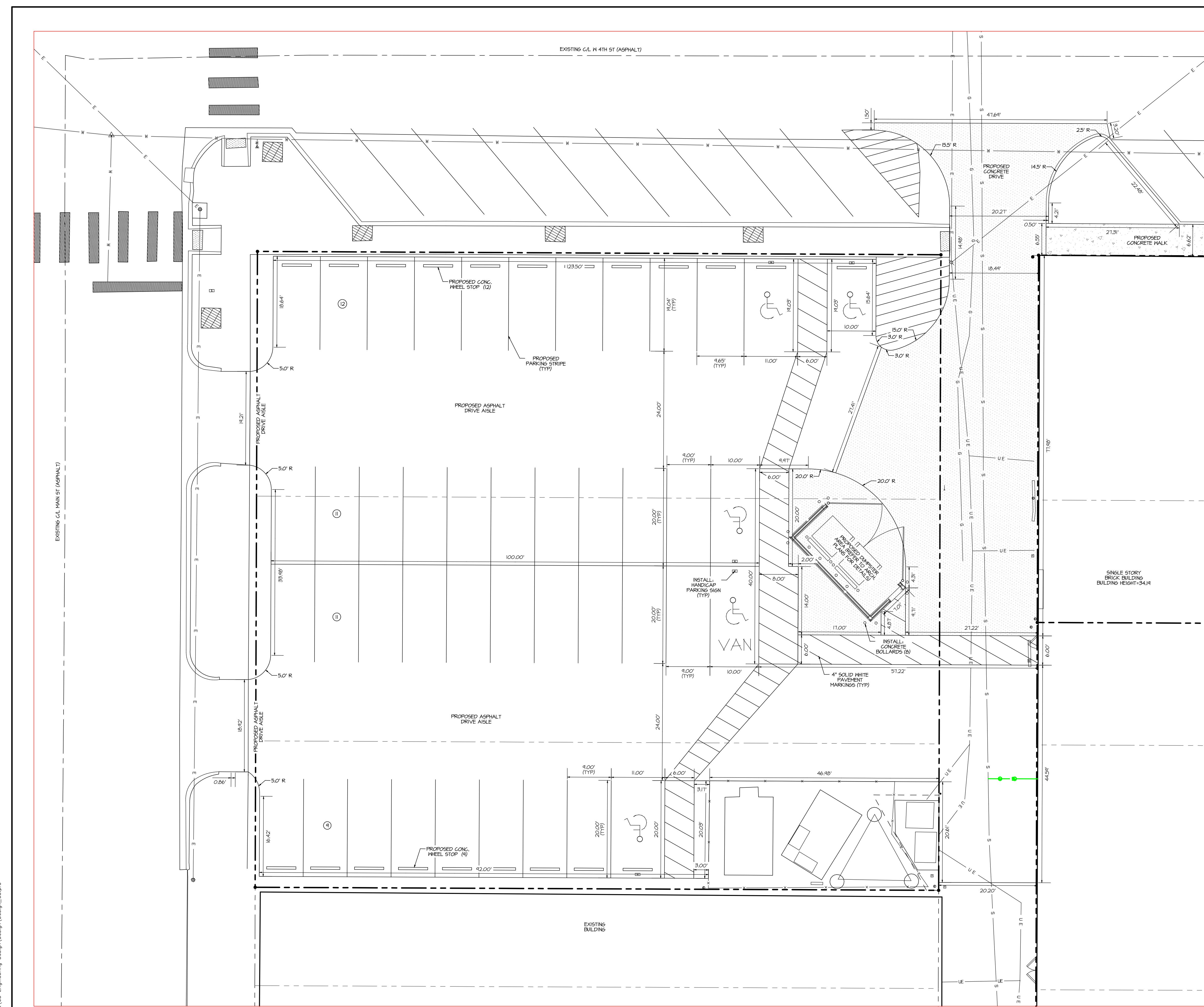
TE: _____
TE PLAN MATERIALLY ADHERES TO ALL APPLICABLE ZONING, SITE
DEVELOPMENT, AND BUILDING CODE ORDINANCES.

GENERAL SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING AND PLANNED UTILITIES BEFORE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
2. CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION WITHIN RIGHT-OF-WAY. ALL WORK WITHIN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH APPROVED PERMIT.
3. BUILDING DIMENSIONS SHOWN ON THESE PLANS ARE OUTSIDE FOUNDATION/SLAB LINES. CONTRACTOR SHALL COORDINATE AND VERIFY DIMENSIONS WITH ARCHITECTURAL PLANS. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE SITE PLANS AND ARCHITECTURAL PLANS, THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED.
4. DIMENSIONS SHOWN ARE FROM BACK OF CURB AS APPLICABLE, UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY OBSTRUCTIONS SUCH AS EXISTING STRUCTURES, FENCES, DEBRIS, OR TREES ON SITE, AND SHALL COORDINATE ALL REMOVAL WITH THE GENERAL CONTRACTOR. NO TREES OR OTHER ITEMS SHALL BE REMOVED WITHOUT THE APPROVAL OF THE ARCHITECT, ENGINEER, AND OWNER.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES.

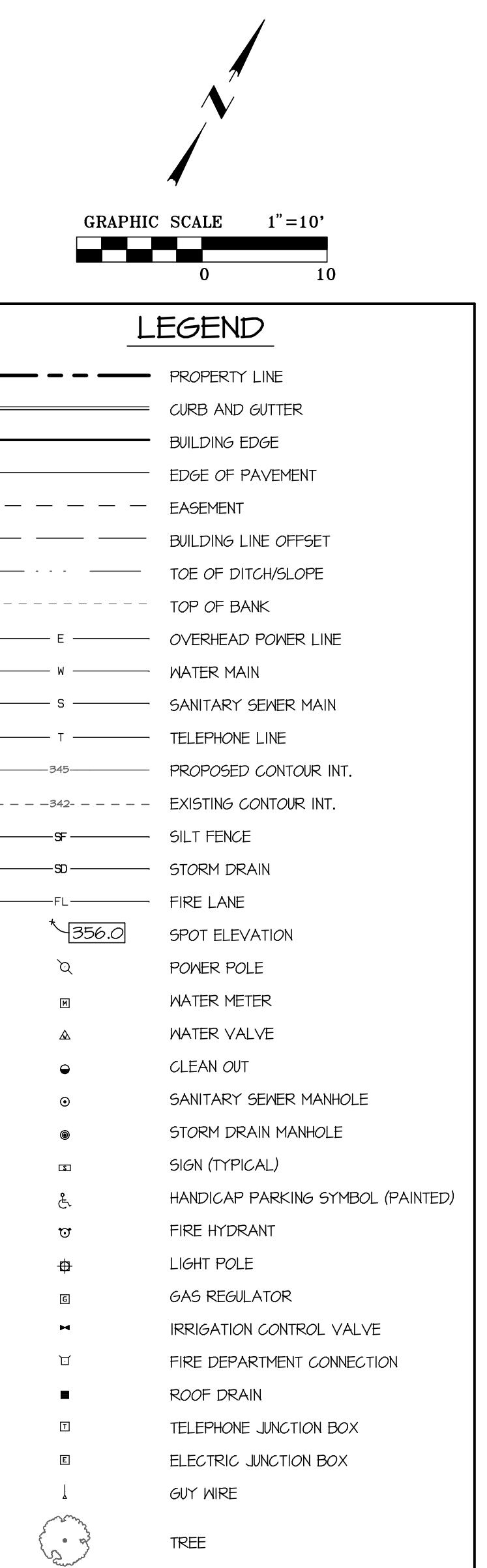
LANDMARK ON PINE
TEXARKANA, TEXAS
JGR ARCHITECTS

Drawing Date	2/16/2026
Project Number	256007
Sheet Number	C4

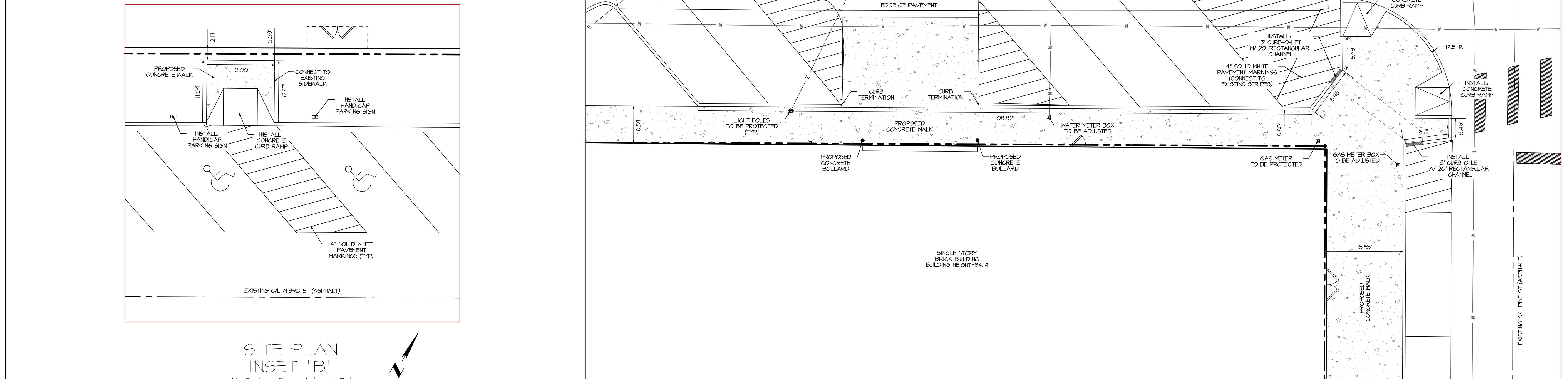
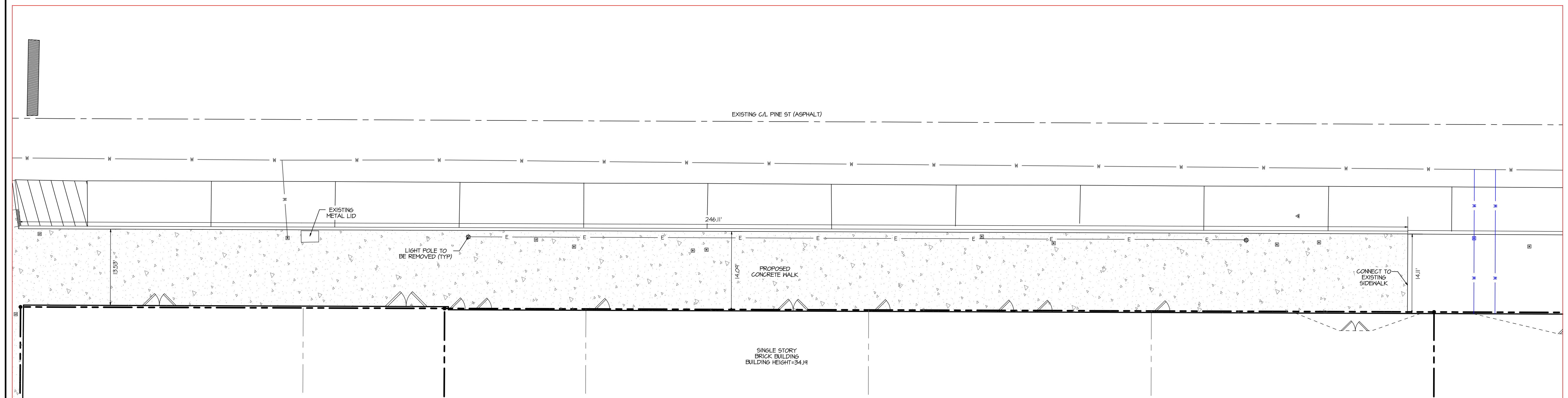


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LANDMARK ON PINE	TEXARKANA, TEXAS	JGR ARCHITECTS	Drawing Date 2/16/2026
			Project Number 256007
			Sheet Number C5
			Revision/Description



GENERAL SITE NOTES

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THW METER SUGGESTIONS:
 1. DIEHL HYDRUS - 5/8", 3/4", 1", 1.5"
 2. DIEHL HYDRUS - 2" WITH A 17' LAY LENGTH
 3. NEPTUNE ULTRASONIC - 2" WITH A 15' LAY LENGTH
 4. NEPTUNE ULTRASONIC - 3" AND LARGER

SITE PLAN INSET "B, C & D"

LANDMARK ON PINE
TEXARKANA, TEXAS
JGR ARCHITECTS

Scale
AS SHOWN
Drawn By
A.M.G.
Checked By
K.R.N.
File No.

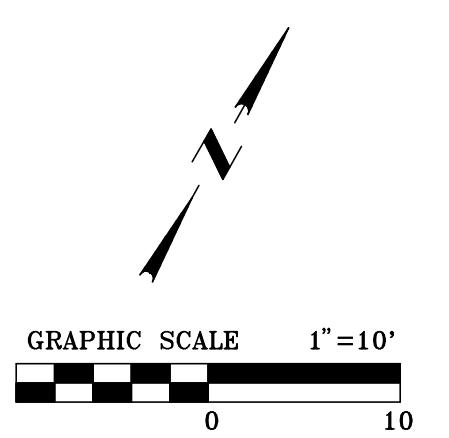
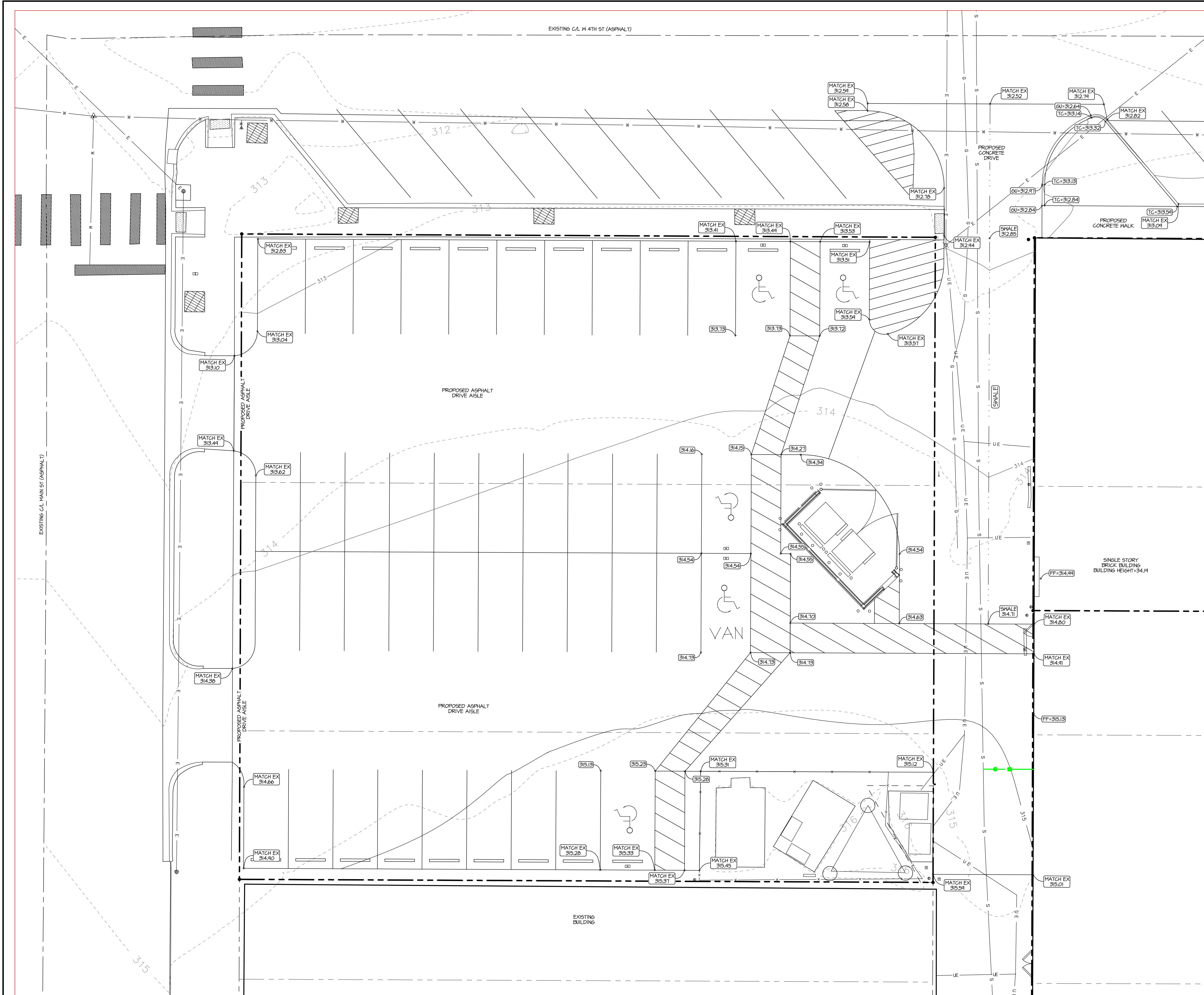
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LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- BUILDING EDGE
- EDGE OF PAVEMENT
- EASEMENT
- BUILDING LINE OFFSET
- TOE OF DITCH/SLOPE
- TOP OF BANK
- OVERHEAD POWER LINE
- WATER MAIN
- SANITARY SEWER MAIN
- TELEPHONE LINE
- 345- PROPOSED CONTOUR INT.
- 342- EXISTING CONTOUR INT.
- SF- SILT FENCE
- SD- STORM DRAIN
- FL- FIRE LANE
- 350.0- SPOT ELEVATION
- POWER POLE
- WATER METER
- CLEAN OUT
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- SIGN (TYPICAL)
- HANDICAP PARKING SYMBOL (PAINTED)
- FIRE HYDRANT
- LIGHT POLE
- GAS REGULATOR
- IRRIGATION CONTROL VALVE
- FIRE DEPARTMENT CONNECTION
- ROOF DRAIN
- TELEPHONE JUNCTION BOX
- ELECTRIC JUNCTION BOX
- GUY WIRE
- TREE

GRAPHIC SCALE 1"=10'
0 10

Revision/Description



— - - - -	PROPERTY LINE
— — — — —	CURB AND GUTTER
— — — — —	BUILDING EDGE
— — — — —	EDGE OF PAVEMENT
- - - - - - -	EASEMENT
— — — — —	BUILDING LINE OFFSET
— — — - - - -	TOE OF DITCH/SLOPE
- - - - - - -	TOP OF BANK
— — — E — — —	OVERHEAD POWER LINE
— — — W — — —	WATER MAIN
— — — S — — —	SANITARY SEWER MAIN
— — — T — — —	TELEPHONE LINE
— — — 345 — — —	PROPOSED CONTOUR INT.
- - - - - 342 - - - - -	EXISTING CONTOUR INT.
— — — SF — — —	SILT FENCE
— — — SD — — —	STORM DRAIN
— — — FL — — —	FIRE LANE
↗ 356.0	SPOT ELEVATION
❑	POWER POLE
■	WATER METER
▲	WATER VALVE
●	CLEAN OUT
◎	SANITARY SEWER MANHOLE
◎	STORM DRAIN MANHOLE
■■	SIGN (TYPICAL)
♿	HANDICAP PARKING SYMBOL (PAINTED)
●●	FIRE HYDRANT
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■	GAS REGULATOR
►	IRRIGATION CONTROL VALVE
□	FIRE DEPARTMENT CONNECTION
■■	ROOF DRAIN
■■	TELEPHONE JUNCTION BOX
■■	ELECTRIC JUNCTION BOX
↓	GUY WIRE

The logo for MTC Engineers & Surveyors. On the left, a large, bold, black 'MTC' monogram is displayed. A vertical line to the right of the monogram separates it from the text 'ENGINEERS & SURVEYORS' which is stacked vertically. Below this, a circular seal for 'JOSEPH R. CHALIFOUX' is shown, featuring a five-pointed star in the center, surrounded by the text 'STATE OF TEXAS' and 'PROFESSIONAL REGISTERED SURVEYOR' at the bottom, with the number '141633' in the center of the seal.

GRADING PLAN

LANDMARK ON PINE
TEXARKANA, TEXAS
JGR ARCHITECTS

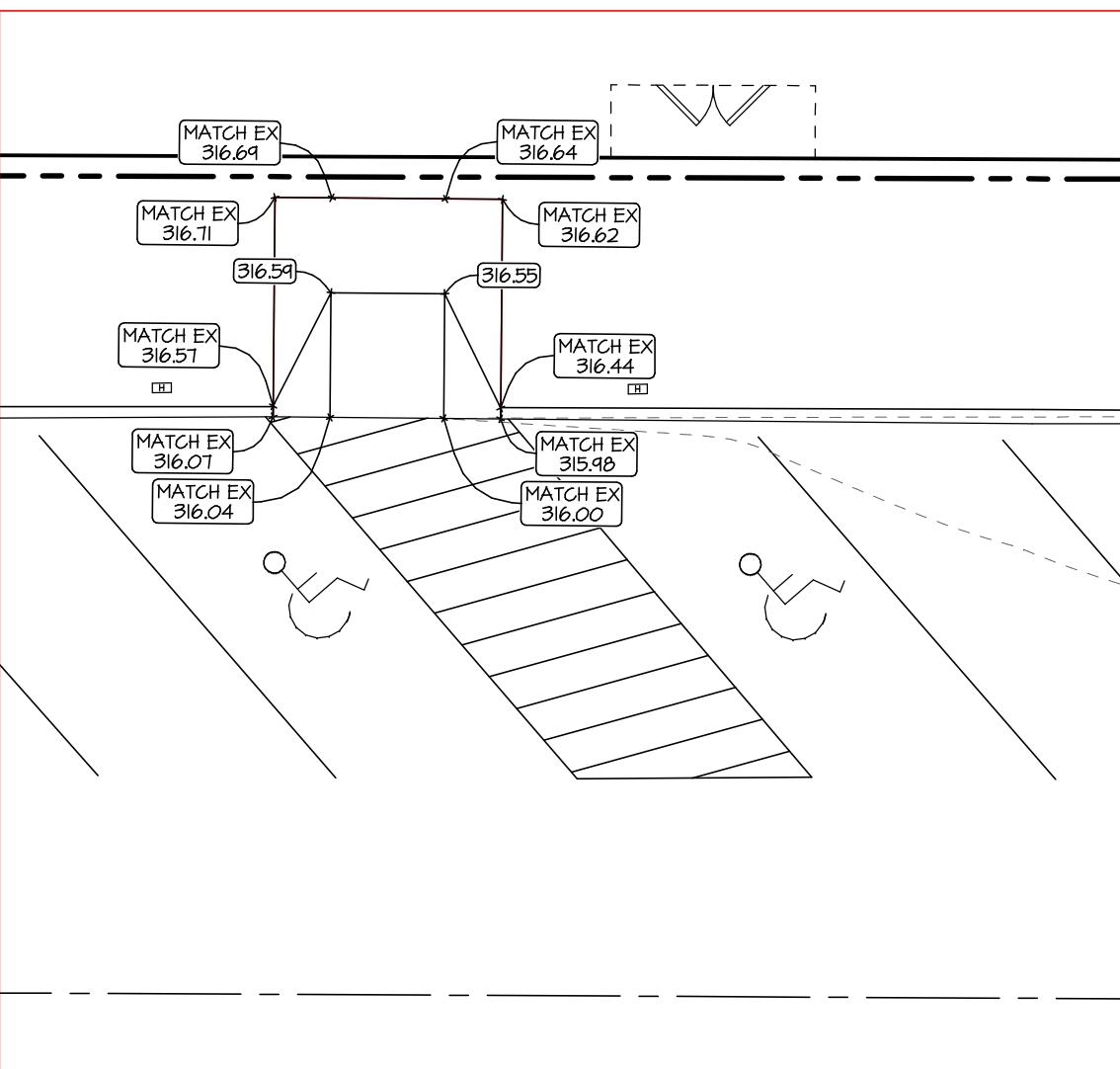
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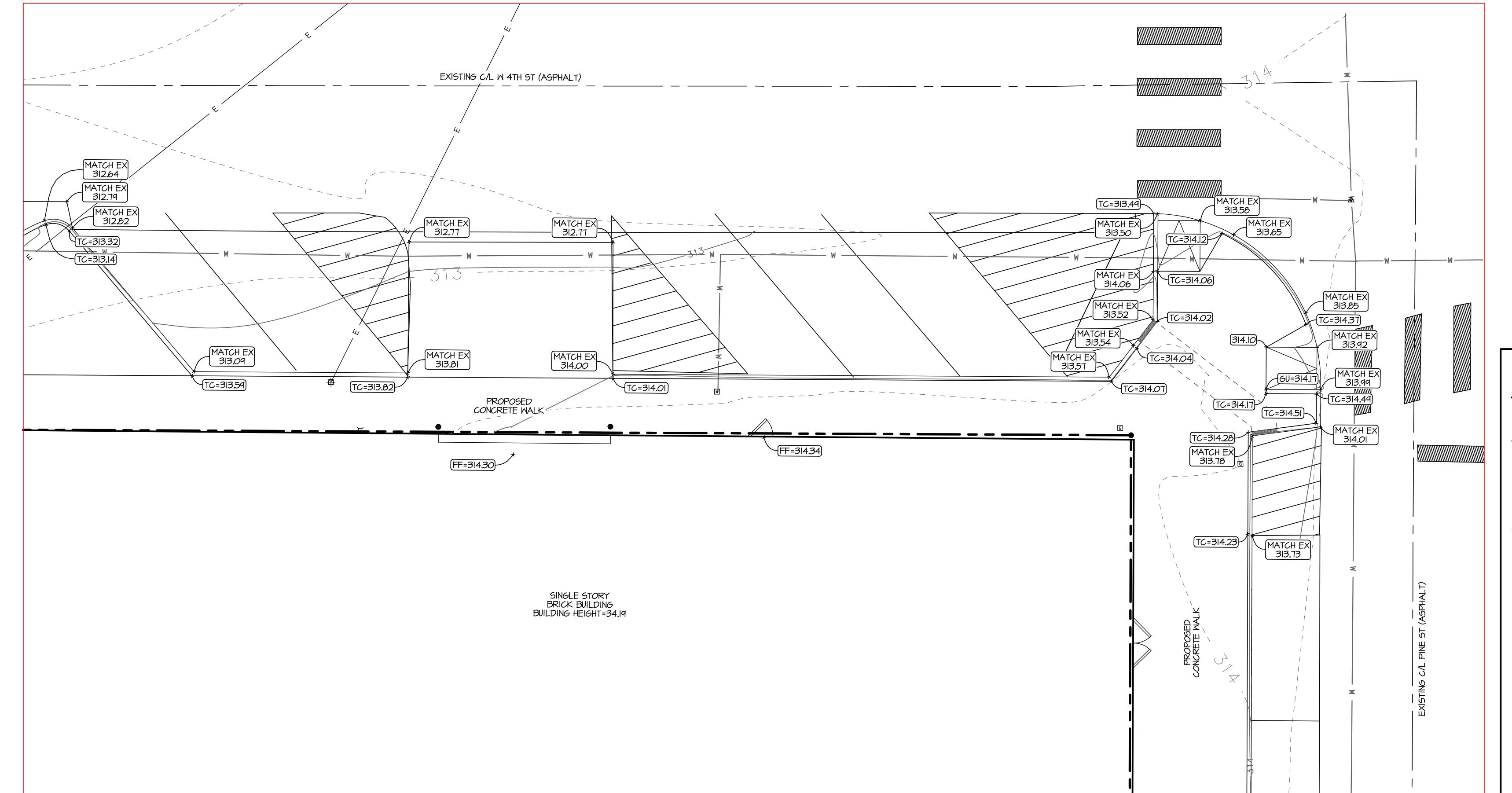
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GENERAL GRADING NOTES

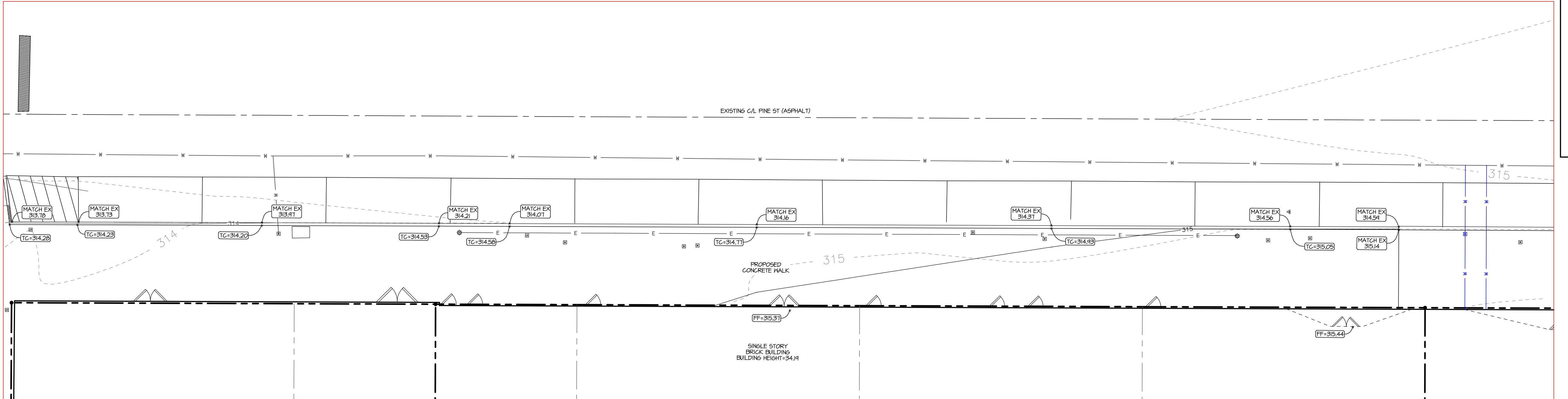
1. VEGETATION, DEBRIS, AND TOPSOIL CONTAINING ORGANIC MATERIALS SHOULD BE CLEARED AND GRUBBED FROM THE ENTIRE SITE AT THE BEGINNING OF EARTHWORK.
2. REFERENCE PLAN SHEETS AND GEOTECHNICAL REPORT FOR PAVEMENT SUBGRADE PREPARATION REQUIREMENTS. REFERENCE ARCHITECTURAL SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD PREPARATION.
3. PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN PAVED AREAS REFLECT TOP OF PAVEMENT SURFACE OR GUTTER GRADES UNLESS OTHERWISE NOTED.
4. ALL ACCESSIBLE PATHWAYS SHALL BE CONSTRUCTED IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL ADA STANDARDS. REFER TO DETAILED HANDICAP PARKING DETAIL FOR RAMP AND PARKING DETAILS.
5. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
6. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE ARCHITECT, ENGINEER, AND THE OWNER, AT NO ADDITIONAL COST TO THE OWNER.
7. ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE SHALL BE DISPOSED OF OFF SITE.



GRADING PLAN
INSET "B"
SCALE: 1"=10'



GRADING PLAN
INSET "C"
SCALE: 1"=10'



GRADING PLAN
INSET "D"
SCALE: 1"=10'

GENERAL GRADING NOTES

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LANDMARK ON PINE
TEXARKANA, TEXAS
JGR ARCHITECTS

GRADING PLAN
INSET "B, C & D"

MTG
ENGINEERS
& SURVEYORS

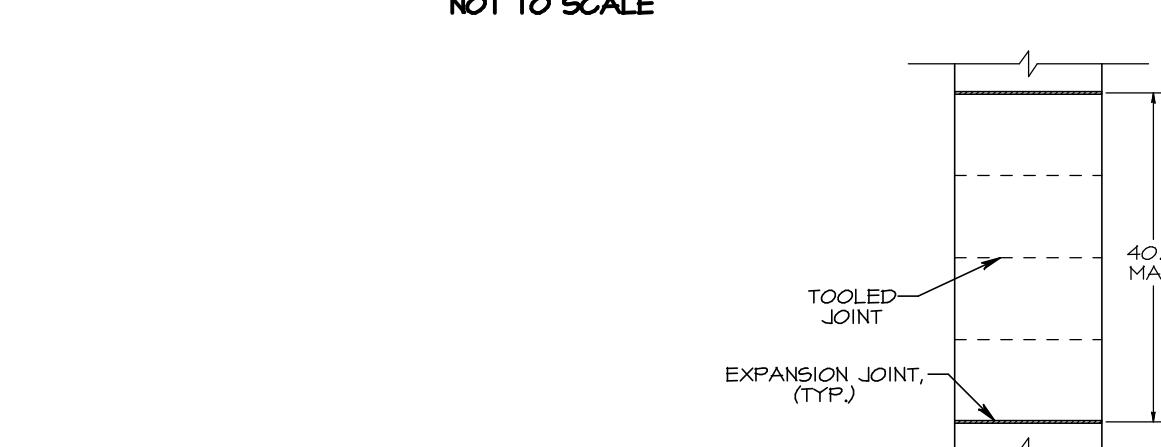
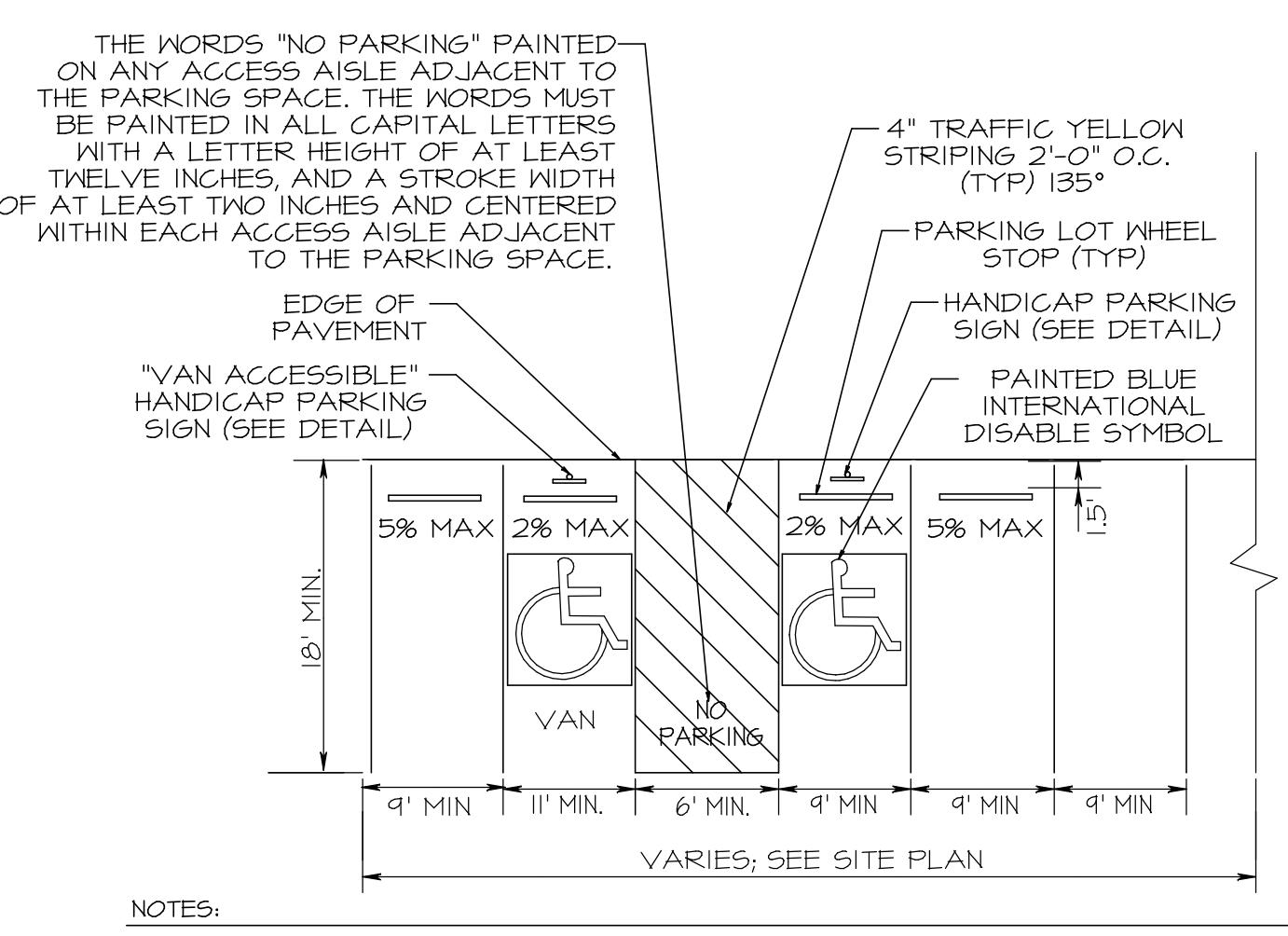
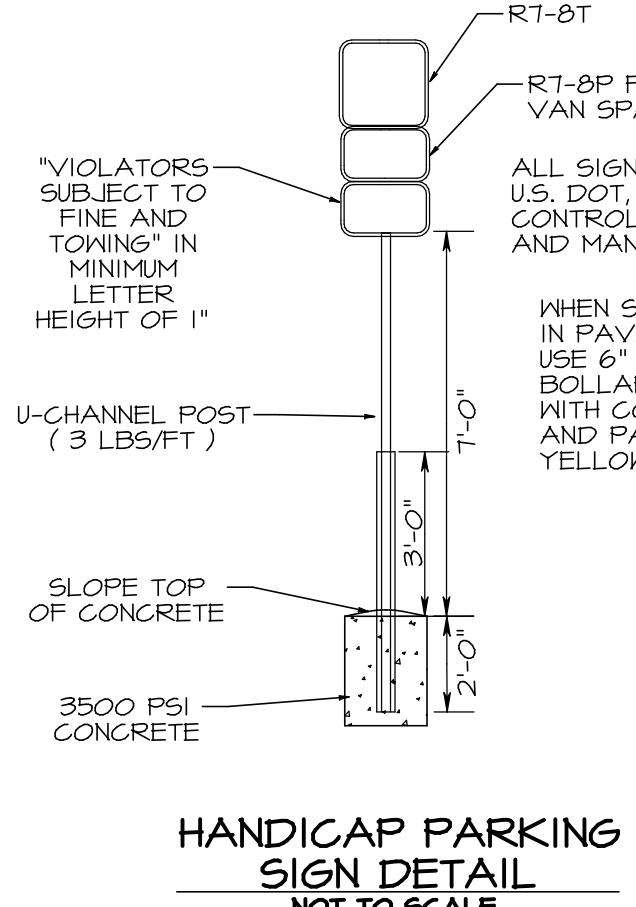
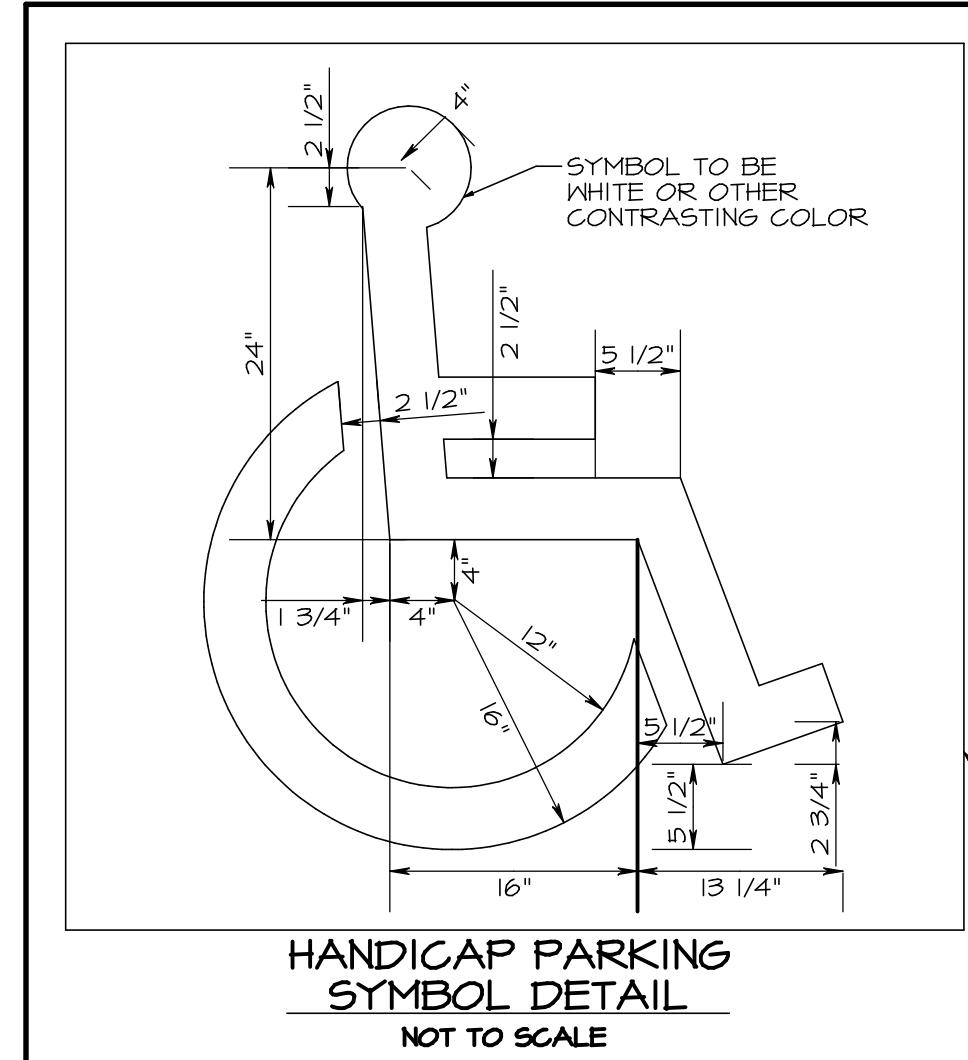
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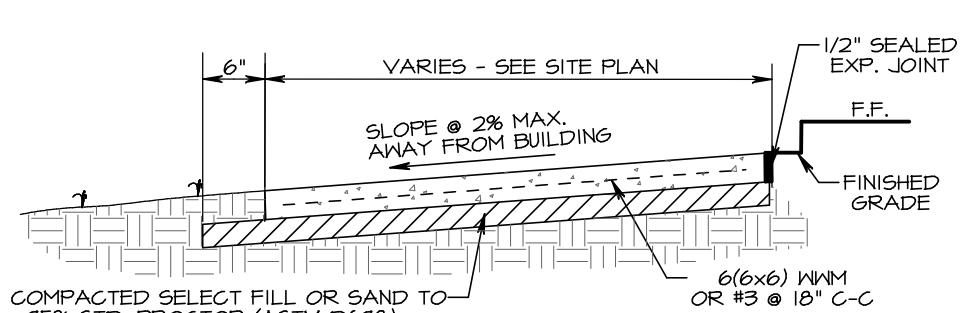
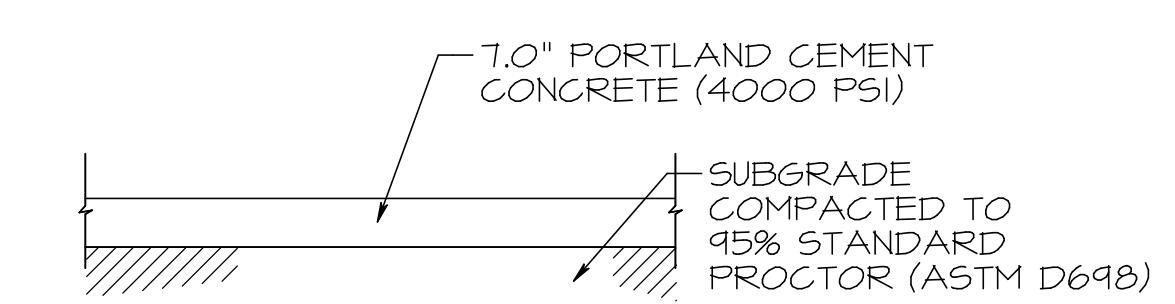
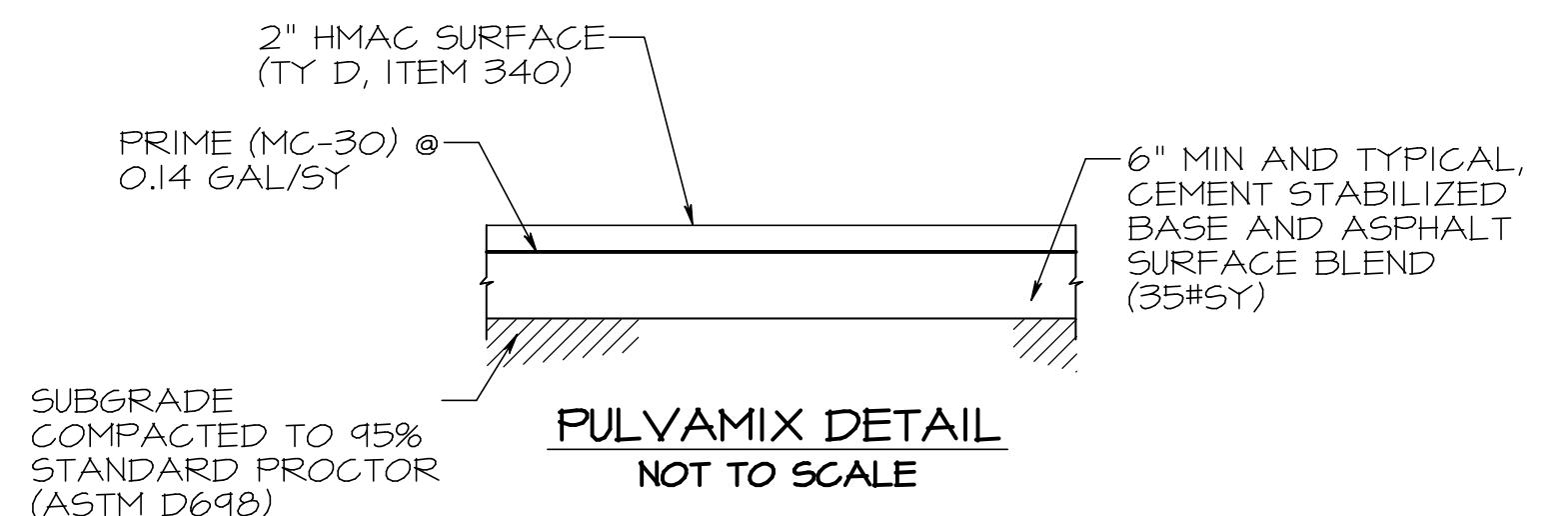
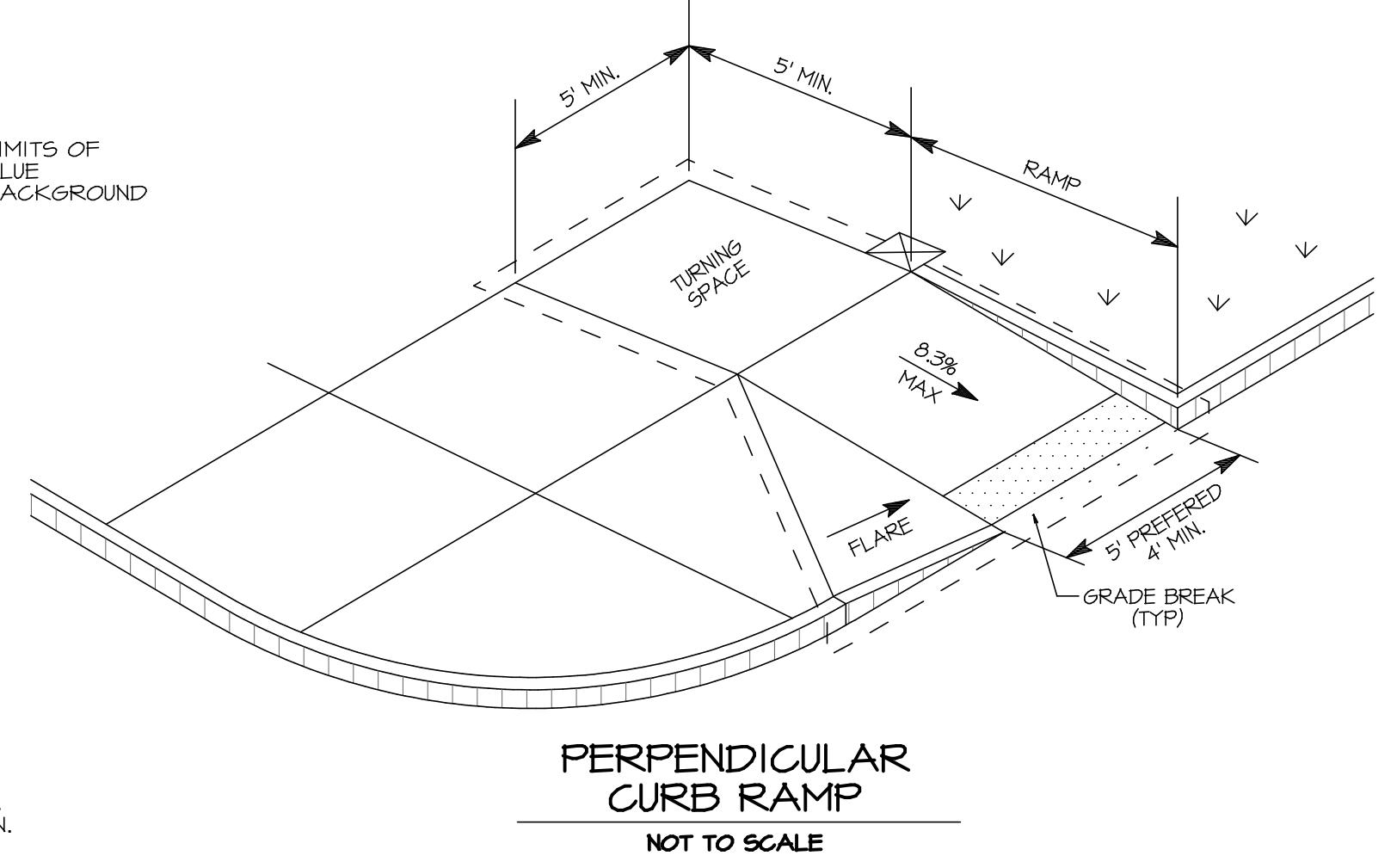
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No.
Date

Scale
AS SHOWN
Drawn By
A.M.G.
Checked By
K.R.N.
File No.
2/16/2026

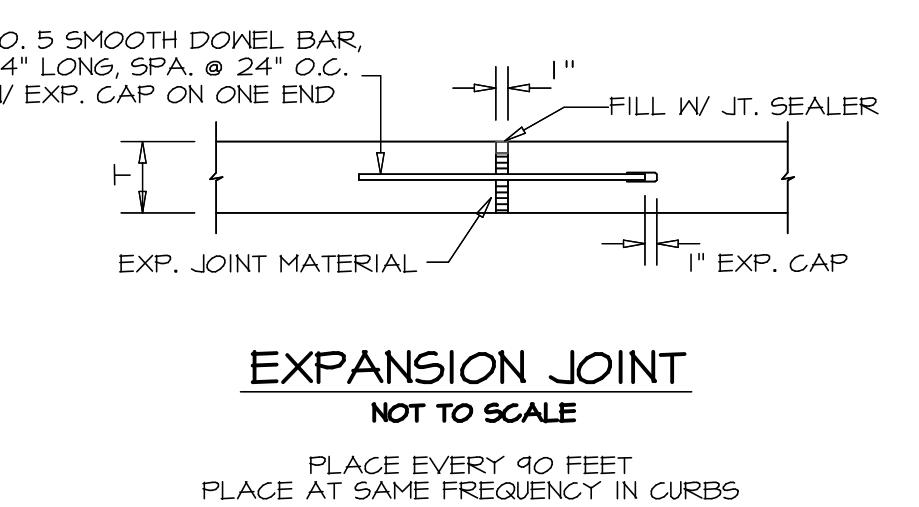
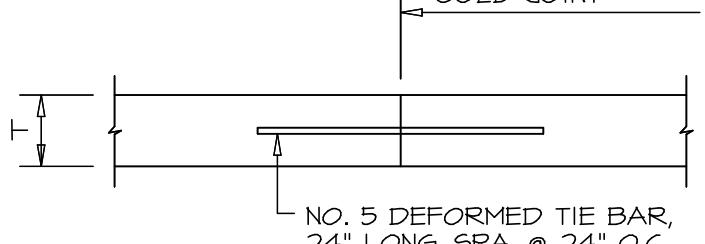
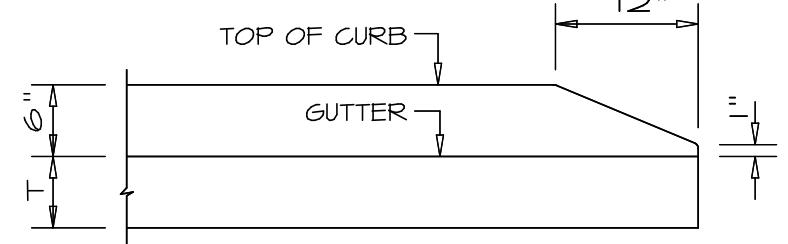
Drawing Date
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256007
Sheet Number
C8



SIDWALK JOINT LAYOUT
NOT TO SCALE



NOTE:
ALL SIDEWALKS SHALL HAVE A SLIP RESISTANT BROOM FINISH APPLIED.

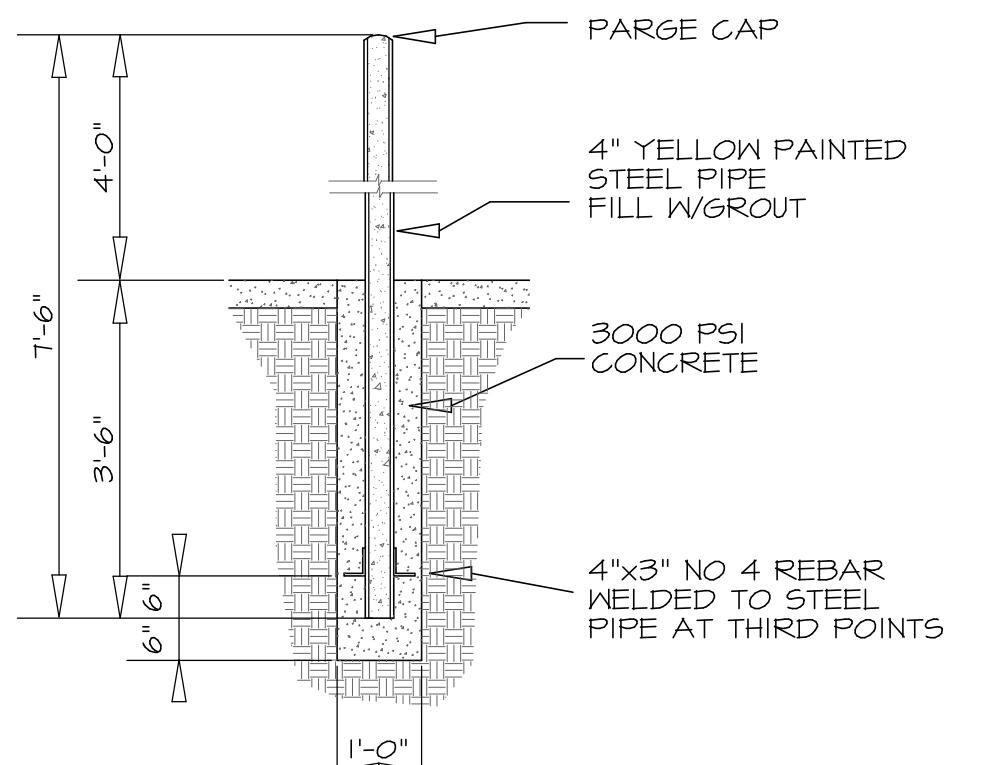


PLACE EVERY 90 FEET
PLACE AT SAME FREQUENCY IN CURBS

SAW JOINT
NOT TO SCALE

NOTES:

1. DIMENSION SHOWN AS "T" SHALL BE 7" DEPENDING ON PAVEMENT SECTION.
2. PROVIDE EXPANSION JOINTS AT ALL RADIUS POINTS UNLESS OTHERWISE SHOWN IN THE PLANS.
3. THE CONTRACTOR SHALL SUBMIT A JOINT LAYOUT PLAN TO THE ENGINEER FOR APPROVAL PRIOR TO THE START OF PAVEMENT CONSTRUCTION.
4. ALL PAVEMENT JOINTS SHALL EXTEND THROUGH THE CURB.
5. ALL JOINTS SHALL BE SEALED.
6. PROVIDE CONSTRUCTION OR SAWED JOINTS AT A MAXIMUM SPACING OF 12 FEET UNLESS OTHERWISE SHOWN IN THE PLANS. AT CURVES, INSTALL SAW JOINTS AT MID & TANGENT POINTS OF CURVE.
7. CONSTRUCTION JOINTS MAY BE SUBSTITUTED FOR ANY SAW JOINT. A CONSTRUCTION OR EXPANSION JOINT MUST BE PROVIDED AT THE END OF EACH DAY'S POUR.
8. EXPANSION CAPS FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF 1/16" GREATER THAN THE DIAMETER OF THE DOWEL BAR. EXPANSION CAPS MUST BE APPROVED BY THE ENGINEER PRIOR TO BEING USED.
9. THE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI WITH 4-6% ENTRAINED AIR.
10. ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60 AND SHALL BE ADEQUATELY SUPPORTED BY BAR CHAIRS OR OTHER METHODS APPROVED BY THE ENGINEER.
- II. VERIFY THAT ALL PROPOSED SLEEVING, PIPING AND CONDUIT ARE COMPLETE AND IN PLACE PRIOR TO PAVEMENT PLACEMENT.



BOLLARD SECTION
NOT TO SCALE

TYPICAL DETAILS

LANDMARK ON PINE TEXARKANA, TEXAS JGR ARCHITECTS

Drawing Date
2/16/2020

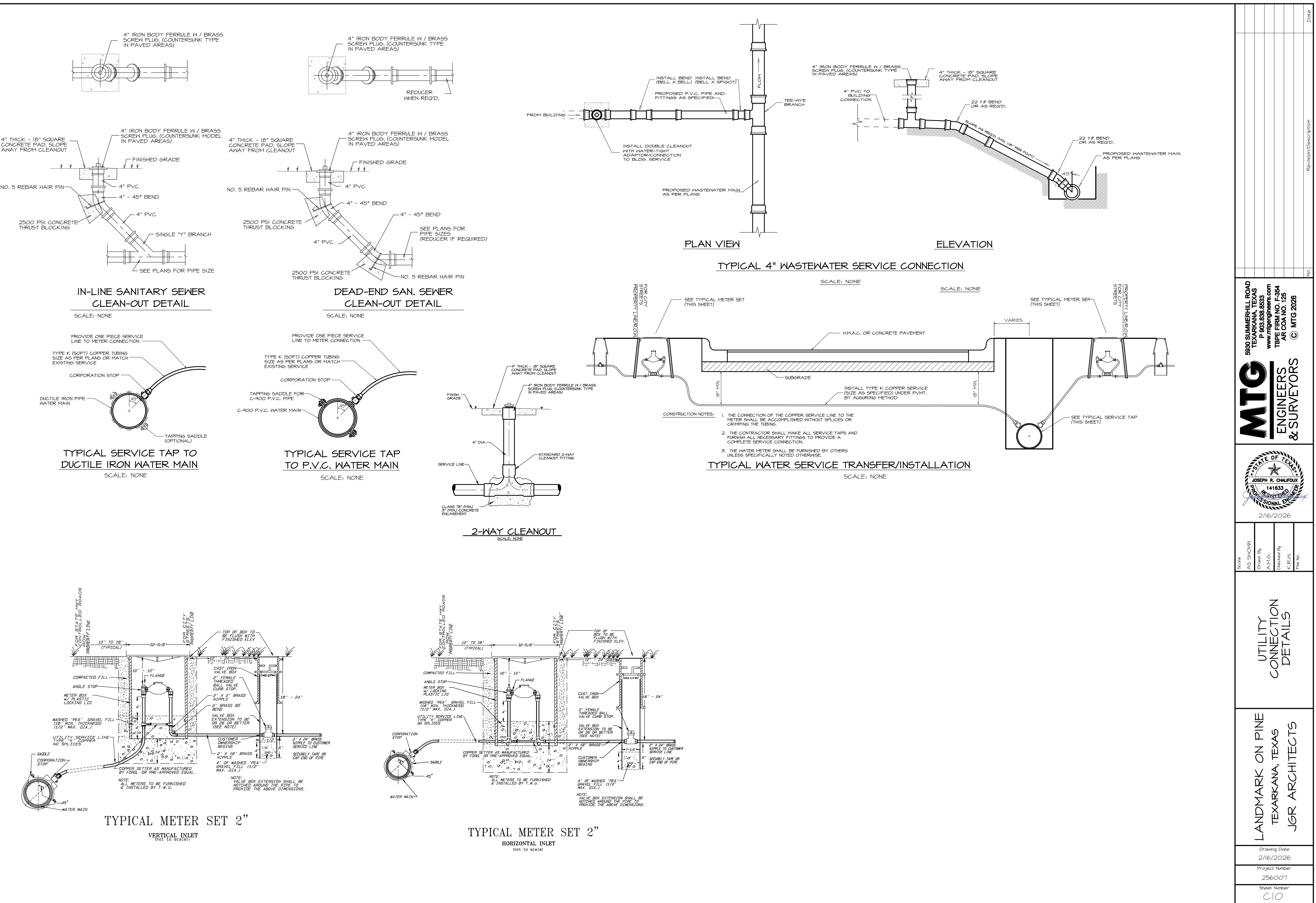
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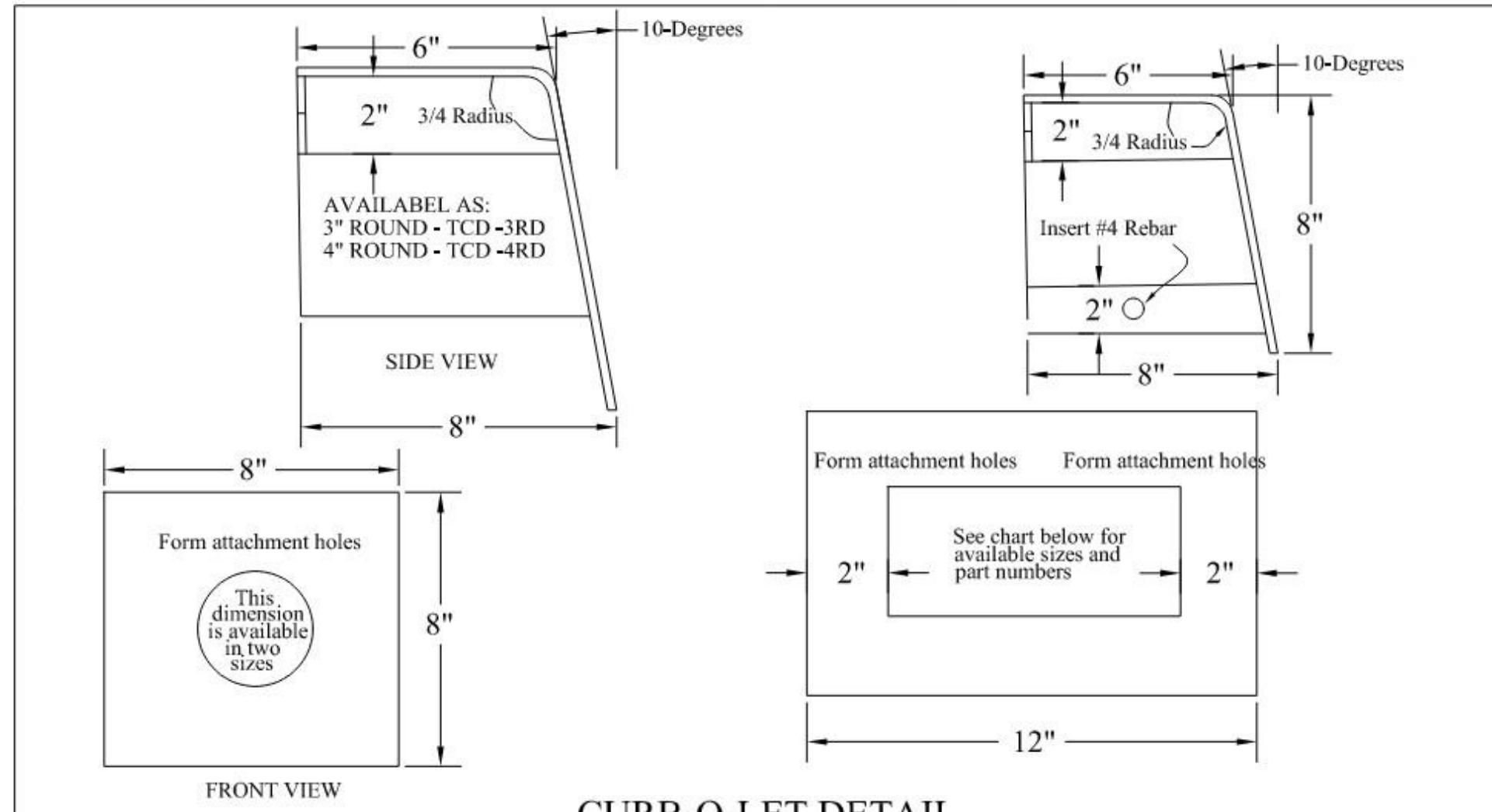
Sheet Number
C9

MTG
ENGINEERS & SURVEYORS



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TEXARKANA, TEXAS
P 903.336.5653
www.mtgengineers.com
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AR CO. NO. 125
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CURB-O-LET DETAIL

PRODUCT SPECIFICATION - CURB-O-LET

PRODUCT LIST

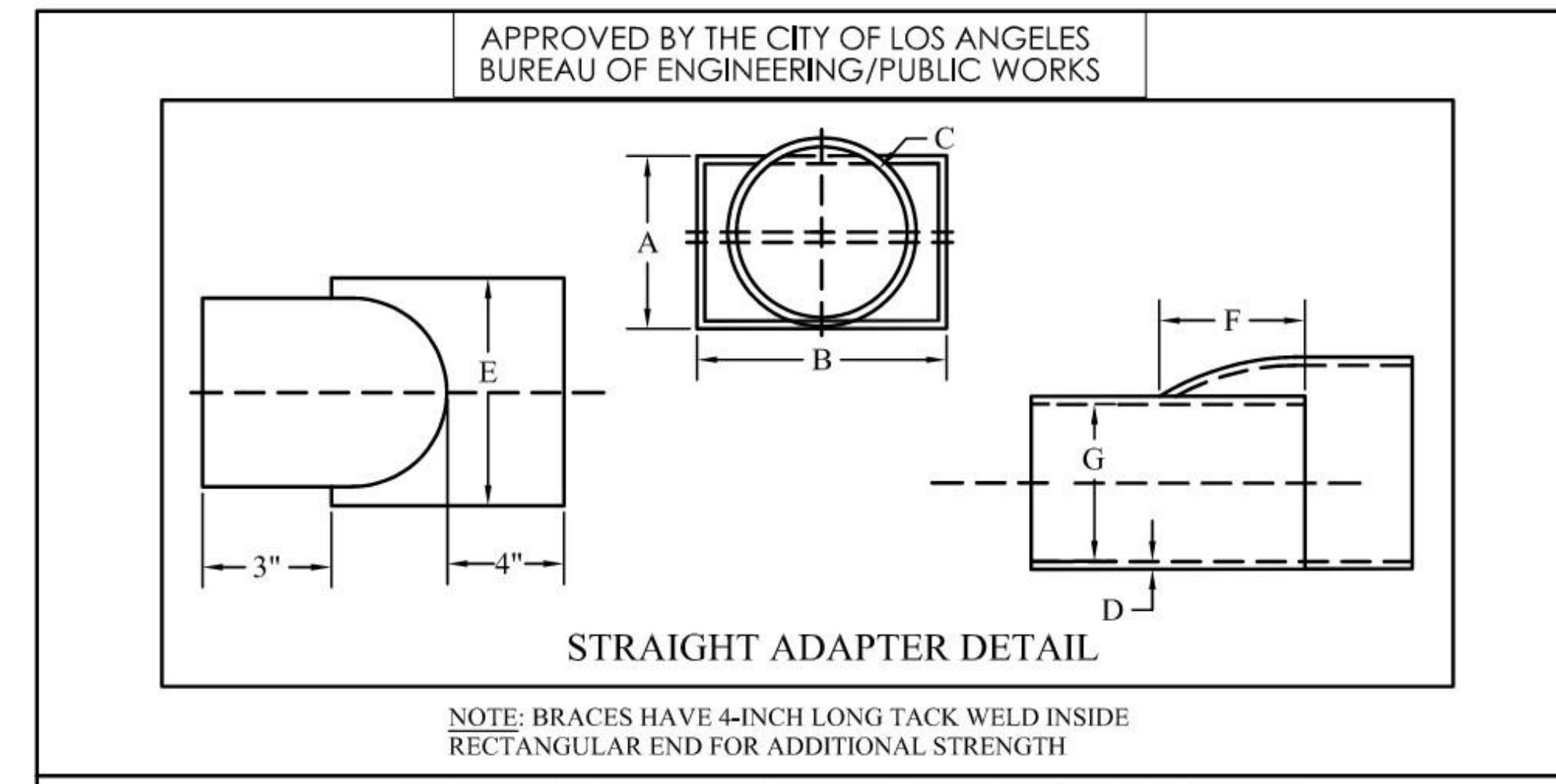
ROUND EQUIV.	SIZE	MODEL	(ROOF DRAIN) LABEL MODEL NUMBER	(OVERFLOW DRAIN) LABEL MODEL NUMBER	REMARKS
3"	3" ROUND	TCD-3RD	TCD-3RD-RFD	TCD-3RD-OFD	6"-8" CURB FACE
4"	4" ROUND	TCD-4RD	TCD-4RD-RFD	TCD-4RD-OFD	6"-8" CURB FACE
4"	3"x5"	TCD-35	TCD-35-RFD	TCD-35-OFD	6"-8" CURB FACE
5"	3"x8"	TCD-38	TCD-38-RFD	TCD-38-OFD	6"-8" CURB FACE
6"	3"x12"	TCD-312	TCD-312-RFD	TCD-312-OFD	6"-8" CURB FACE
8"	4"x14"	TCD-414	TCD-414-RFD	TCD-414-OFD	NOTE: 8" CURB FACE ONLY
8"	3"x17"	TCD-317	TCD-317-RFD	TCD-317-OFD	6"-8" CURB FACE
10"	3"x27"	TCD-327	TCD-327-RFD	TCD-327-OFD	6"-8" CURB FACE
10"	4"x22"	TCD-422	TCD-422-RFD	TCD-422-OFD	NOTE: 8" CURB FACE ONLY

ALL CURB-O-LET PRODUCTS ARE MANUFACTURED TO CLOSE TOLERANCES. VERY SLIGHT VARIATIONS IN SIZE ARE POSSIBLE. CURB-O-LET FITS STANDARD 6" AND 8" CURB FACE. EPOXY COATING FINISHES AVAILABLE ON REQUEST.

REV	ZONE	DATE	REVISION DESCRIPTION	BY	CK'D
RECTANGULAR STEEL PIPE AND FITTINGS. CURB-O-LET					
SCALE:	None	DRAWN BY	08/18/16	CHECKED BY	APPROVED BY



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PRODUCT SPECIFICATION - STRAIGHT ADAPTER

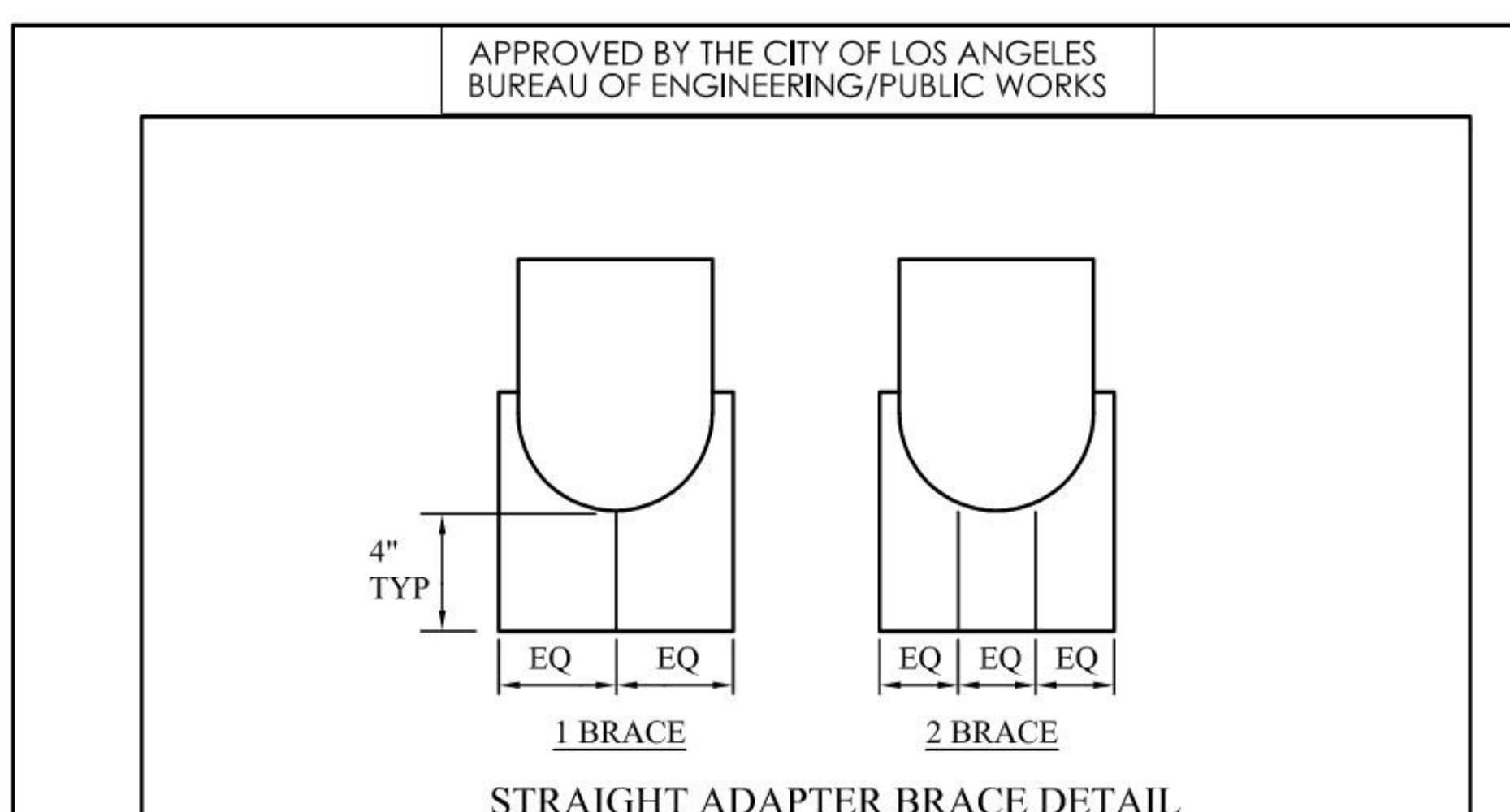
PRODUCT LIST

ROUND EQUIV.	DIMENSIONS	MODEL	ROUND AREA (SQ. IN.)	A	B	C	D	E	F	G	NUMBER OF BRACES
4"	3"x5"x9"	CP-SPA05	12.730	3.269"	5.269"	4.5"	10 GA.	5"	2"	3"	
5"	3"x8"x11"	CP-SPA08	20.005	3.269"	8.269"	5.563"	10 GA.	8"	4"	3"	
6"	3"x12"x13"	CP-SPA12	28.890	3.269"	12.269"	6.625"	10 GA.	12"	6"	3"	
8"	4"x14"x15"	CP-SPA14	50.027	4.269"	14.269"	8.625"	10 GA.	14"	8"	4"	
8"	3"x17"x15"	CP-SPA17	50.027	3.269"	17.269"	8.625"	10 GA.	17"	8"	3"	1
10"	3"x27"x17"	CP-SPA27	78.854	3.269"	27.269"	10.75"	10 GA.	27"	10"	3"	2
10"	4"x22"x17"	CP-SPA22	78.854	4.269"	22.269	10.75"	10 GA.	22"	10"	4"	1
12"	4"x28"x18"	CP-SPA28	111.931	4.269"	28.269	12.75"	10 GA.	28"	11"	4"	2

MATERIAL: 10 GAUGE GALVANIZED A653 G90, MEETS ASTM A-653. TENSILE STRENGTH 50,000. YIELD 36,000. ALL WELDS WILL BE SPRAYED, ROLLED OR BRUSHED WITH GALVANIZED #95 COATING. RECTANGULAR CONNECTION: MASTIC (MUST MEET OR EXCEED ASTM D-4586), CAULKING, EPOXY OR OTHER CITY OF LOS ANGELES APPROVED METHOD. ROUND CONNECTION: CAST IRON/ PLASTIC PIPE CONNECTION USE CAST IRON OR PLASTIC TO STEEL COUPLINGS. CONTACT BUREAU OF CONTRACT ADMINISTRATION MATERIAL CONTROL SECTION AT (213) 485-5080 FOR FABRICATION INSPECTION



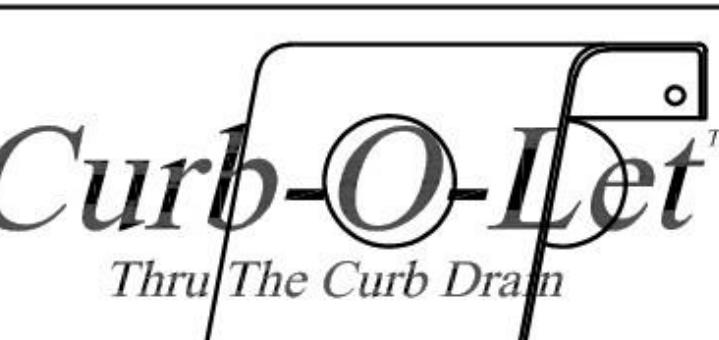
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PRODUCT SPECIFICATION - STRAIGHT ADAPTER

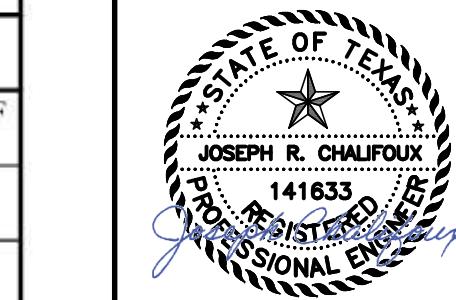
ROUND EQUIV.	DIMENSIONS	MODEL	ROUND AREA (SQ. IN.)	A	B	C	D	E	F	G	NUMBER OF BRACES
8"	4"x14"x15"	CP-SPA14	50.027	4.269"	14.269"	8.625"	10 GA.	14"	8"	4"	
8"	3"x17"x15"	CP-SPA17	50.027	3.269"	17.269"	8.625"	10 GA.	17"	8"	3"	1
10"	3"x27"x17"	CP-SPA27	78.854	3.269"	27.269"	10.75"	10 GA.	27"	10"	3"	2
10"	4"x22"x17"	CP-SPA22	78.854	4.269"	22.269	10.75"	10 GA.	22"	10"	4"	1
12"	4"x28"x18"	CP-SPA28	111.931	4.269"	28.269	12.75"	10 GA.	28"	11"	4"	2

MATERIAL: 10 GAUGE GALVANIZED A653 G90, MEETS ASTM A-653. TENSILE STRENGTH 50,000. YIELD 36,000. ALL WELDS WILL BE SPRAYED, ROLLED OR BRUSHED WITH GALVANIZED #95 COATING. RECTANGULAR CONNECTION: MASTIC (MUST MEET OR EXCEED ASTM D-4586), CAULKING, EPOXY OR OTHER CITY OF LOS ANGELES APPROVED METHOD. ROUND CONNECTION: CAST IRON/ PLASTIC PIPE CONNECTION USE CAST IRON OR PLASTIC TO STEEL COUPLINGS. CONTACT BUREAU OF CONTRACT ADMINISTRATION MATERIAL CONTROL SECTION AT (213) 485-5080 FOR FABRICATION INSPECTION

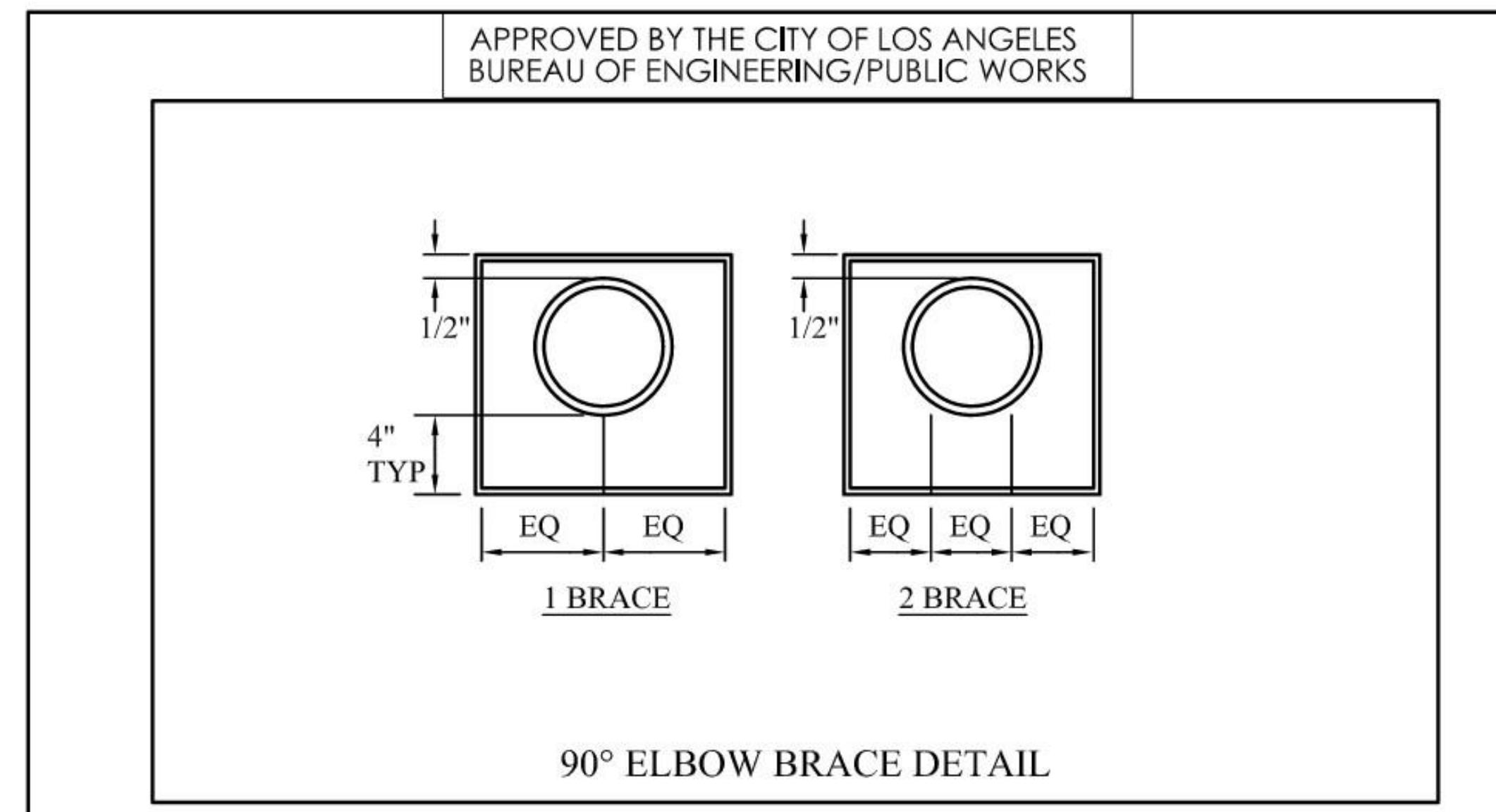


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LANDMARK ON PINE	TEXARKANA, TEXAS	JGR ARCHITECTS
Drawing Date 2/16/2020		
Project Number 256007		
Sheet Number C11		

5630 SUMMERHILL ROAD	TEXARKANA, TEXAS	www.mtgengineers.com
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 JOSEPH R. CHAMBERS 41633 STATE OF TEXAS 2/16/2026		
Scale	AS SHOWN	Drawn By
		Checked By
		K.R.N.
		File No.

CURB-O-LET
DETAILS
(1 OF 2)



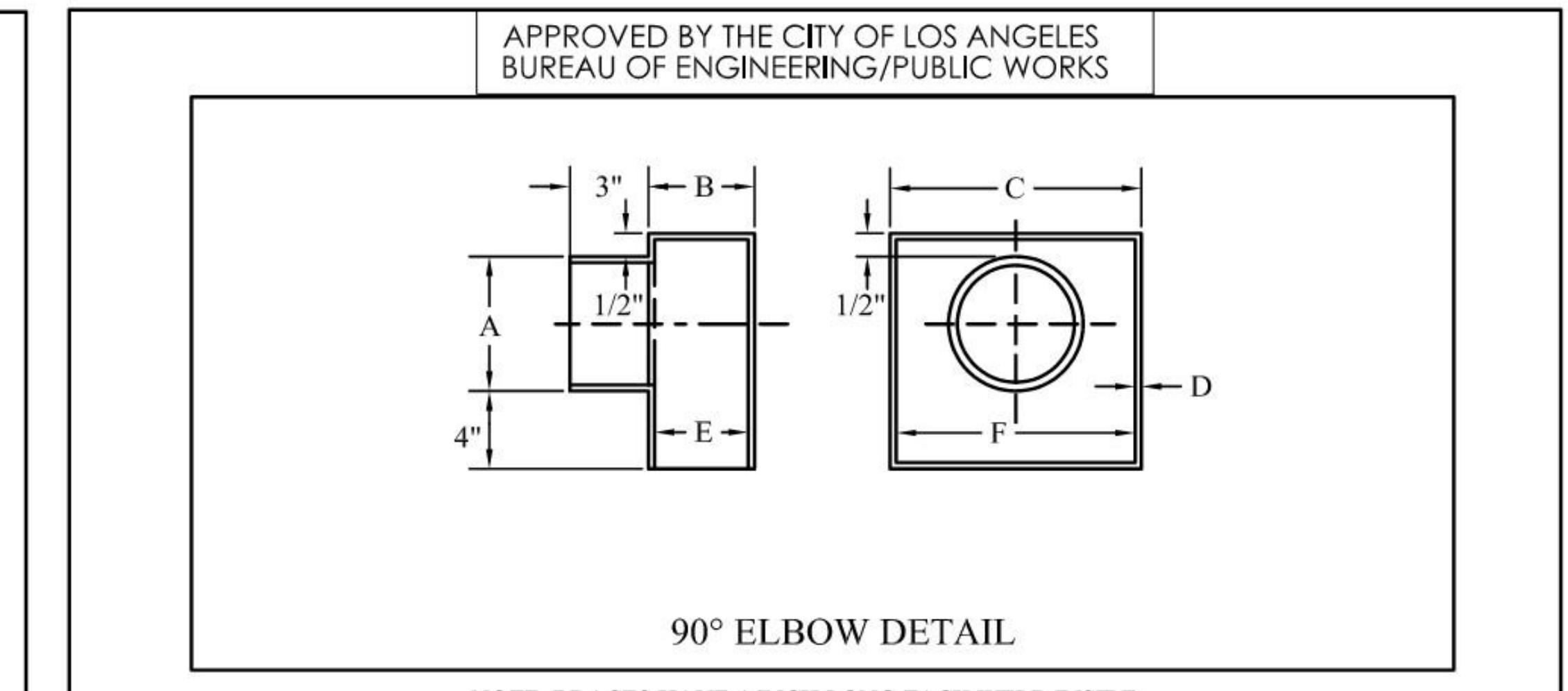
NOTE: BRACES HAVE 4-INCH LONG TACK WELD INSIDE
RECTANGULAR END FOR ADDITIONAL STRENGTH

MATERIAL: 10 GAUGE GALVANIZED A653 G90, MEETS ASTM A-653. TENSILE STRENGTH 50,000. YIELD 36,000. ALL WELDS WILL BE SPRAYED, ROLLED OR BRUSHED WITH GALVANIZED #95 COATING. RECTANGULAR CONNECTION: MASTIC (MUST MEET OR EXCEED ASTM D-4586), CAULKING, EPOXY OR OTHER CITY OF LOS ANGELES APPROVED METHOD. ROUND CONNECTION: CAST IRON/ PLASTIC PIPE CONNECTION USE CAST IRON OR PLASTIC TO STEEL COUPLINGS.

CONTACT BUREAU OF CONTRACT ADMINISTRATION MATERIAL CONTROL SECTION AT (213) 485-5080 FOR FABRICATION INSPECTION



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PRODUCT SPECIFICATION - 90° ELBOW

**NOTE: BRACES HAVE 4-INCH LONG TACK WELD INSIDE
RECTANGULAR END FOR ADDITIONAL STRENGTH**

MATERIAL: 10 GAUGE GALVANIZED A653 G90, MEETS ASTM A-653. TENSILE STRENGTH 50,000. YIELD 36,000. ALL WELDS WILL BE SPRAYED, ROLLED OR BRUSHED WITH GALVANIZED #95 COATING. RECTANGULAR CONNECTION: MASTIC (MUST MEET OR EXCEED ASTM D-4586), CAULKING, EPOXY OR OTHER CITY OF LOS ANGELES APPROVED METHOD. ROUND CONNECTION: CAST IRON/ PLASTIC PIPE CONNECTION USE CAST IRON OR PLASTIC TO STEEL COUPLINGS.

CONTACT BUREAU OF CONTRACT ADMINISTRATION MATERIAL CONTROL SECTION AT (213) 485-5080 FOR FABRICATION INSPECTION



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